



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: November 21, 2018 REPORT NO. PC-18-069

HEARING DATE: November 29, 2018

SUBJECT: VERIZON WIRELESS SCRIPPS GREEN ROW, Process Four Decision

PROJECT NUMBER: [590724](#)

APPLICANT: Verizon Wireless (VAW), LLC

SUMMARY

Issue: Should the Planning Commission approve a modification to an existing Wireless Communication Facility (WCF) within the City of San Diego Public Right-of-Way, located at the southwest corner of the intersection of North Torrey Pines Road and Genesee Avenue, in the University Community Planning area?

Staff Recommendation: APPROVE Conditional Use Permit (CUP) No. 2201217, Neighborhood Development Permit (NDP) No. 2201218, and Site Development Permit (SDP) No. 2201219.

Community Planning Group Recommendation: On September 11, 2018, the University Community Planning Group voted 18-0 to support the proposed Verizon Wireless Scripps Green ROW project (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The [environmental exemption determination](#) for this project was made on October 4, 2018, and the opportunity to appeal that determination ended October 17, 2018 (Attachment 7).

Fiscal Impact Statement: None.

Code Enforcement Impact: None.

BACKGROUND

This Wireless Communication Facility (WCF) is located within the public Right-of-Way (ROW) at the intersection of North Torrey Pines Road and Genesee Avenue, with a physical address of 10299

North Torrey Pines Road in the IP-1-1 zone of the University Community Planning area (Attachment 1). The site is adjacent to the Center for Creative Leadership to the west, with the Scripps South Employee Parking Lot to the north, and the University of California San Diego (UCSD) campus to the east, and to the south (Attachment 3). Verizon's WCF was originally approved on June 10, 2009 supporting twelve (12) antennas on a 30-foot tall monopine with a 240-square foot equipment enclosure.

As part of the original approval, the City imposed a ten-year term condition on all WCFs to allow for future review of the facility to determine whether technology advancements can eliminate components of the facility or eliminate the facility altogether. This facility remains essential to Verizon's coverage objective to the surrounding area including the UCSD campus, Scripps Research Institute and the traffic concentrated within the intersection of North Torrey Pines Road and Genesee Avenue.

The WCFs regulations have changed over the years; however, the key requirement to architecturally integrate a facility into a building or the environment remains to be the purpose and intent of the regulations. Staff has reviewed the existing monopine design and determined that the existing faux tree has been well maintained and is consistent with the current City standards associated with WCF faux trees. The site continues to be surrounded by mature and established Torrey Pines extending much taller than the 30-foot monopine tree. Furthermore, the equipment area is also consistent with the existing permit conditions associated with screening and integration. The existing overall design complies with the [WCF Regulations Land Development Code Section 141.0420](#), the [City's General Plan for Wireless Facilities](#) and the [WCF Design Guidelines](#).

DISCUSSION

Project Description:

The project modification consists of the addition of a backup emergency generator. To maintain the existing equipment enclosure design, Verizon is proposing to expand the current enclosure an additional 40 square feet (Attachment 11). No modifications are proposed to the faux tree at this time. The project pursuant to San Diego Municipal Code Section 126.0113(c) would result in an amendment to the original permit which under the current regulations requires a CUP, NDP, and SDP.

The proposed backup generator will only be used in situations when power has been impacted due to an emergency related event. This will allow Verizon Wireless to continue to operate at this site for an extended period while repairs can be done to the



power. Weekly to monthly tests may take place to ensure the generator is operational but it will otherwise remain dormant. The existing equipment enclosure will increase 40 square feet to accommodate the generator, but the overall design will remain the same. Consistent with SDMC 141.0420, Verizon collaborated with the University Community Planning Group to propose additional landscape with the intent to help further screen the enclosure from the public-right-of-way.

In addition to the modification, Verizon Wireless is also pursuing new permits to allow the use of this facility for another ten years since the original permit is set to expire on June 10, 2019. Therefore, the following permits shall be required as a consolidated Process Four application:

- Conditional Use Permit (CUP) – Pursuant to SDMC Section 141.0420(e)(3) Wireless communication facilities, with above ground equipment, in the public right-of-way requires a CUP. The existing 30-foot tall monopine supports twelve antennas and associated remote radio units and provides coverage to a high traffic area that includes the UCSD Campus and the Scripps Research Institute. Furthermore, the site is well integrated and concealed behind established Torrey Pines and other native landscaping.
- Neighborhood Development Permit (NDP) – Pursuant to SDMC Section 141.0420(g)(3), the equipment enclosure expansion will result in an increase that exceeds the total square footage of 250 square feet. As a result, the site is required to obtain an NDP.
- Site Development Permit (SDP) – Pursuant to SDMC Section 126.0502(d)(6) which states that, “any encroachment or object which is erected, placed, constructed, established or maintained in the public right-of-way when the applicant is not the record owner of the property on which the proposed encroachment will be located in accordance with Section 129.0710(b), an SDP is required. The existing site is located within the City ROW however, the applicant is not the record owner of the property and would therefore be required to obtain an SDP. Furthermore, the project is located in the Community Plan Implementation Overlay Zone B and pursuant to SDMC Section 126.0502(c)(1), an SDP is required.



Community Plan Analysis:

The University Community Plan relies on the City's General Plan for design and placement

locations for all wireless facilities. Consistent with the Urban Design Element Section UD-A.15, the Verizon WCF is camouflaged as a 30-foot tall monopine and screened behind existing mature and established Torrey Pines. The equipment is also located behind a Concrete Masonry Unit block wall enclosure and screened by the Torrey Pine trees and proposed native landscaping (Attachment 12).

Council Policy 600-43:

According to City [Council Policy 600-43](#), this location is the most preferred location and is classified a Preference 1 level Location (Attachment 9). Since the site is in the right-of-way, no other lower preference level sites are required. However, since the project is located on a privately-owned structure within the right-of-way, a Site Development Permit, Process Four application is required.

Conclusion:

The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations of the IP-1-1 zone and [SDMC Section 141.0420](#). The antennas associated with this design will continue to be integrated on an existing 30-foot tall monopine, and the equipment enclosure expansion will remain concealed behind the CMU block wall and screened by both the existing mature Torrey Pines and proposed native landscaping species. Staff recommends approval of the proposed Verizon Scripps Green ROW project and the findings of approval can be found in Attachment 5 of this report.

ALTERNATIVES

1. Approve Conditional Use Permit (CUP) No. 2201217, Neighborhood Development Permit (NDP) No. 2201218, and Site Development Permit (SDP) No. 2201219, with modifications.
2. Deny Conditional Use Permit (CUP) No. 2201217, Neighborhood Development Permit (NDP) No. 2201218, and Site Development Permit (SDP) No. 2201219, if the Planning Commission makes findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Patricia J. Fitzgerald
Assistant Deputy Director
Development Services Department



Simon Tse
Development Project Manager
Development Services Department

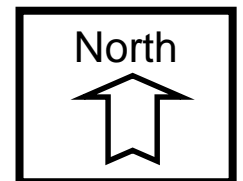
Attachments:

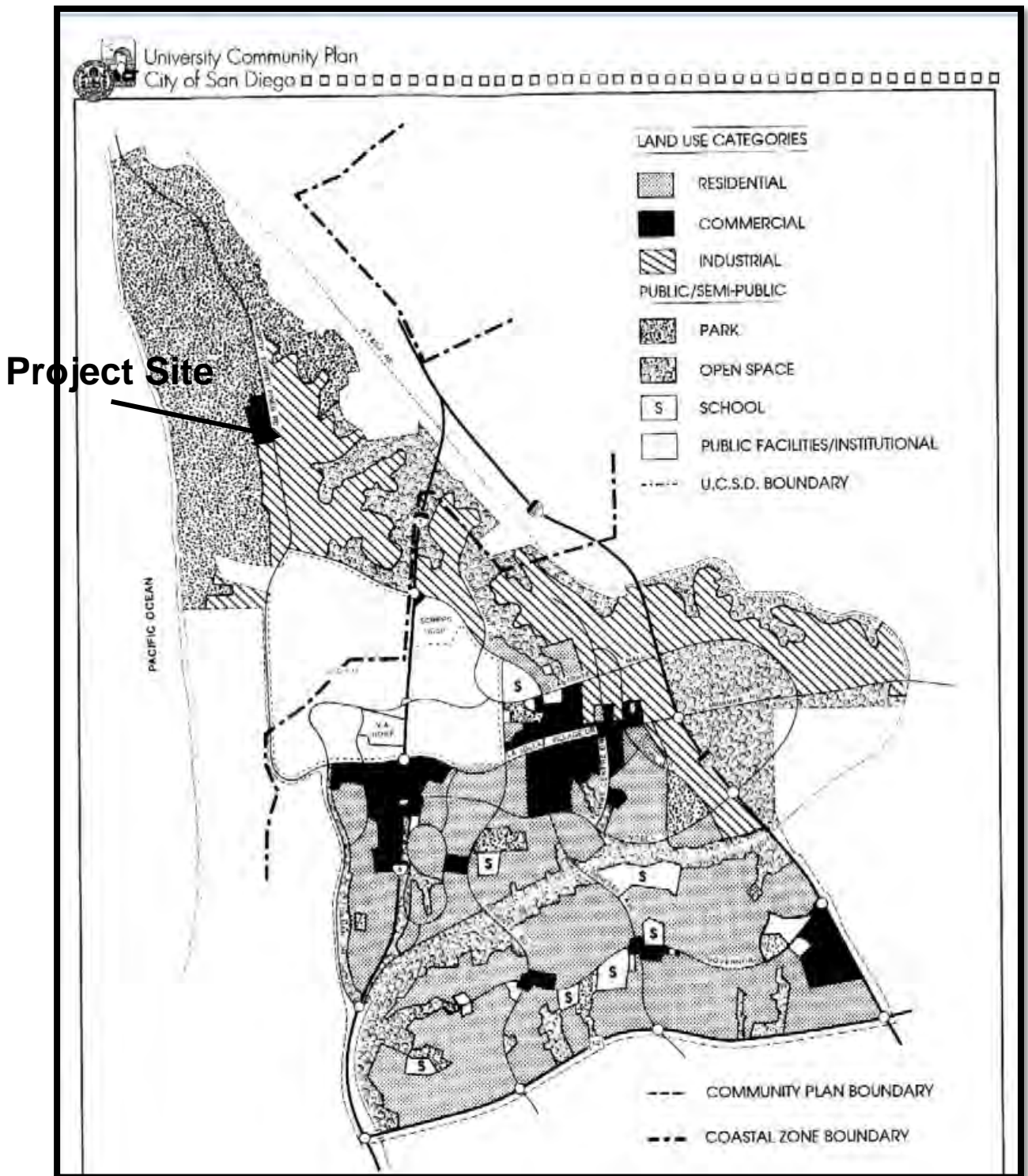
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Site Justification
10. Photo Survey
11. Photo Simulations
12. Project Plans



Aerial Photo

Verizon Wireless Scripps Green ROW / 10299 Block of North Torrey Pines Road
PROJECT NO. 590724



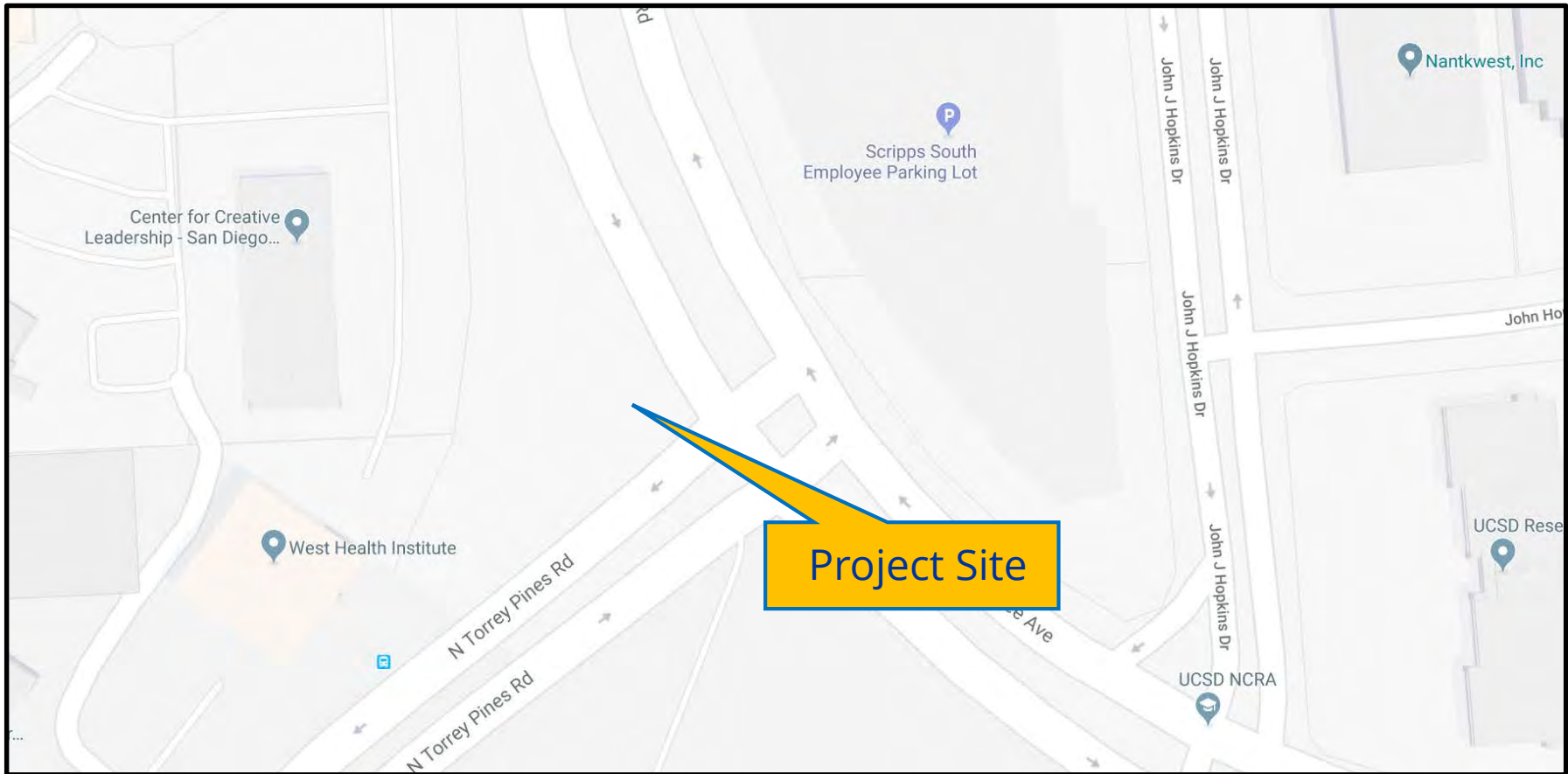


Land Use Map

Verizon Wireless Scripps Green ROW / 10299 Block of North Torrey Pines Road
PROJECT NO. 590724

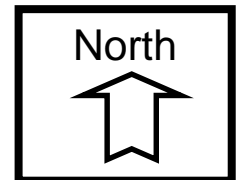
North





Project Location Map

Verizon Wireless Scripps Green ROW / 10299 North Torrey Pines Road
PROJECT NO. 590724



PROJECT DATA SHEET		
PROJECT NAME:	Verizon Wireless Scripps Green Right-Of-Way (ROW)	
PROJECT DESCRIPTION:	Modification to an existing Wireless Communication Facility (WCF) located within the City of San Diego Public Right-of-Way at the southwest corner of the intersection of North Torrey Pines Road and Genesee Avenue. The project site is zoned IP-1-1 and is located within the Coastal Overlay Zone and the Community Plan Implementation Overlay Zone B. The modification consists of expanding the existing equipment enclosure an additional 40 square feet to install an emergency back-up generator. The existing WCF, which consists of a 30-foot tall monopine supporting twelve antennas will continue to operate without any changes.	
COMMUNITY PLAN AREA:	University	
DISCRETIONARY ACTIONS:	Conditional Use Permit, Site Development Permit and Neighborhood Development Permit.	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial	
ZONING INFORMATION: ZONE: IP-1-1 (Site is located within the Public Right-of-Way) HEIGHT LIMIT: 30'-0" (Coastal Height) FRONT SETBACK: -- SIDE SETBACK: -- STREETSIDE SETBACK: -- REAR SETBACK: --		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Industrial/IP-1-1	Scripps South Employee Parking Lot
SOUTH:	UCSD/RS-1-14	UCSD Campus
EAST:	UCSD/RS-1-14	UCSD Campus
WEST:	Industrial/IP-1-1	Center for Creative Leadership
DEVIATION REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 11, 2018, the University Community Planning Group voted 18-0 to support the proposed Verizon Wireless Scripps Green ROW Project.	

PLANNING COMMISSION RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2201217
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2201218
SITE DEVELOPMENT PERMIT NO. 2201219
VERIZON WIRELESS SCRIPPS GREEN ROW PROJECT NO. 590724

WHEREAS, VERIZON WIRELESS (VAW), LLC, Permittee, filed an application with the City of San Diego for a permit to modify an existing Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2201217, 2201218, and 2201219); and

WHEREAS, the project site is located within the City of San Diego public right-of-way at the southwest corner of the intersection of North Torrey Pines Road and Genesee Avenue, (10299 block of North Torrey Pines Road) in the IP-1-1 zone of the University Community Plan;

WHEREAS, the project site is legally described as the City of San Diego Public Right-of-Way, located in the 10299 block of North Torrey Pines Road; and

WHEREAS, on October 4, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on November 29, 2018, the PLANNING COMMISSION of the City of San Diego considered CONDITIONAL USE PERMIT NO. 2201217, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2201218, SITE DEVELOPMENT PERMIT NO. 2201219 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the PLANNING COMMISSION of the City of San Diego, that it adopts the following findings with respect to CONDITIONAL USE PERMIT NO. 2201217, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2201218, SITE DEVELOPMENT PERMIT NO. 2201219:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Verizon Wireless Scripps Green right-of-way project proposes to expand the existing equipment enclosure an additional 40 square feet to a total of 280 square feet to install an emergency backup generator. Verizon's existing Wireless Communication Facility (WCF) is located within the City of San Diego's public right-of-way and consists of an existing 30-foot-tall monopine concealing twelve antennas and associated remote radio units. The monopine will continue to operate without any changes. The equipment associated with this WCF will also continue to operate inside the existing concrete masonry enclosure. In addition to the proposed equipment enclosure expansion, new landscaping surrounding the enclosure will be added as part of the site improvement. Overall the site is heavily screened by existing mature Torrey Pine trees to minimize the visibility of the WCF.

The University Community Plan designates the t site as Industrial and is currently zoned IP-1-1 (Industrial Park).

The University Community Plan relies on the City's General Plan (GP) policies for Wireless Communication Facilities. The GP contains the following recommendations: 1) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; 2) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; and 3) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. Consistent with the GP, Verizon's existing 30-foot tall monopine is camouflaged and existing mature Torrey Pines extending beyond 30-feet into the City's public right-of-way provide screening and integration for the faux tree. Verizon's monopine is well maintained, which includes preserving the branch density and branch coverage to effectively conceal the antennas and remote radio units from public views. The proposed equipment expansion will also have minimal increase in visual impacts because of the existing and proposed landscaping. The proposed project is therefore consistent with both the University Community Plan and the City's General Plan policies for wireless facilities.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project modification consists of the addition of a backup emergency generator, proposed to be located within the existing equipment enclosure which will be expanded an additional 40 square feet. The existing faux tree will continue to operate without any changes. The project pursuant to San Diego Municipal Code Section 126.0113(c) would result in an amendment to the original permit which under the current regulations requires a CUP, NDP, and SDP.

The project will not have a significant effect on the environment, as was concluded in the initial study and then determined to be categorically exempt from the California Environmental Quality Act pursuant to Sections 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 4, 2018 and the opportunity to appeal that determination ended October 17, 2018.

The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare, including the requirement to obtain building permits which requires compliance with the applicable building, fire, mechanical, and plumbing codes and State and Federal disability access laws.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." Verizon's existing Electro-Magnetic Emission Analysis continues to apply since there are not modifications to the antennas. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project complies with all applicable development regulations including the IP-1-1 development regulations of the San Diego Municipal Code (SDMC) and the City of San Diego Wireless Communication Facilities Section 141.0420. The proposed equipment enclosure expansion will allow Verizon to install an emergency back-up generator but will also increase the size of the enclosure to 280 square feet. Pursuant to SDMC 141.0420(g)(3), an NDP is required for equipment enclosures exceeding 250 square feet. This modification will allow Verizon Wireless to continue to operate at this site for an extended period while repairs can be done to the power if there was ever an outage and/or an emergency. Weekly to monthly tests may take place to ensure the generator is operational but it will otherwise remain dormant.

The existing WCF camouflaged as a 30-foot-tall monopine supporting twelve antennas will continue to operate without any changes. The monopine has been well maintained and is consistent with the current faux tree standards identified under SDMC 141.0420(g)(1) and 141.0420(g)(2) and the WCF Design Guidelines. The use of the facility is located within the public right-of-way with above ground equipment and pursuant to SDMC 141.0420(e)(3), a Conditional Use Permit is required.

Lastly, a Site Development Permit is required pursuant to SDMC Sections 126.0502(c)(1) and 126.0502(d)(6). The site is located within the University Community Planning Implementation Overlay Zone (CPIOZ "B") Type B and the WCF is within the public right-of-way where the applicant is not the record owner of the property on which the encroachment will continue to be located.

Verizon WCF is located in CPIOZ "B" which requires additional review focused on specific issues for this permit type. As designed, Verizon's WCF is consistent and compatible with the guidelines contained in the Urban Design Element of the City's General Plan and will not impact the existing pedestrian circulation. The area where the WCF is located is used solely for landscaping and screening purposes from the adjacent industrial use. Combined with the neutral earth tone colored CMU enclosure and a 30-foot tall monopole, the site is minimally visible and integrates into this setting. Furthermore, the scale of the enclosure and the faux tree is compatible with the surrounding development, the existing and mature landscaping, and all 13 issues listed in the Type "B" permit (1. Architectural design of buildings, structures, and signs; 2. Construction materials; 3. Grading and site development; 4. Height and bulk of buildings; 5. Land use, including intensity of land use and accessory uses; 6. Lot coverage; 7. Orientation of buildings; 8. Yards; 9. Pedestrian circulation within the site and connections to adjacent projects; 10. Parking; 11. Safety Zones for MCAS Miramar; 12. Noise; 13. Issues discussed in the Urban Design Element of the Plan).

There are no deviations from the development regulations, or variances requested with this application. Therefore, the project is in compliance with the applicable regulations of the SDMC.

d. The proposed use is appropriate at the proposed location.

The City of San Diego Council Policy 600-43 encourages wireless carriers to locate on nonresidential properties in Preference 1 locations whenever possible. In this case, the location is an industrial zone within the public right-of-way, identified as a Preference 1 location. Applicants are strongly encouraged to site a facility in a Preference 1 location or in the public right-of-way before pursuing a Preference 2 Location.

The site consists of an existing 30-foot tall monopine supporting twelve antennas. The faux tree maintains a heavy branch density and is configured to effectively conceal the antennas and additional components from public views behind a combination of branches and antenna socks. The equipment associated with this project is also well integrated behind both existing and proposed landscaping. Furthermore, the entire site is screened heavily behind existing mature Torrey Pines, minimizing and reducing any potential visual impacts. This location near Interstate-5, UCSD and Scripps Research

Institute is a high impact location heavily traveled on a daily basis. Maintaining a WCF here along with an emergency generator to provide wireless coverage during emergency situations is appropriate for this site.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding (a) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

Please see CUP Finding (b) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Please see CUP Finding (c) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings - Public Right-of-Way Encroachments.

a. The proposed encroachment is reasonably related to public travel, or benefits a public purpose, or all record owners have given the applicant written permission to maintain the encroachment on their property.

The proposed WCF and accompanying development of the existing unused portion of public right-of-way benefits a public purpose in two main ways: 1) the WCF will allow for greater wireless coverage and capacity for the surrounding businesses and the UCSD campus 2) travelers and commuters on North Torrey Pines and Genesee Ave will be able to rely on cell coverage for personal, business and safety needs.

b. The proposed encroachment does not interfere with the free and unobstructed use of the public right-of-way for public travel.

The proposed WCF encroachment is located in an unused portion of public right-of-way and does not obstruct the use of the existing road or sidewalk. In fact, the existing use

has been designed to complement the current landscaping which includes mature Torrey Pines and other native landscaping for added screening to the WCF.

c. The proposed encroachment will not adversely affect the aesthetic character of the community.

The proposed encroachment is located in an unused portion of public right-of-way and does not obstruct the use of the existing road or sidewalk. The WCF as designed, compliments the existing public right-of-way with a tree species that is comparable to the mature Torrey Pines. Furthermore, the associated concrete masonry unit enclosure design maintains an earth tone stucco surface appearance that is consistent with the existing right-of-way environment.

d. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law.

The proposed WCF complies with the applicable regulations of the Municipal Code and would be permitted with the approval of a CUP, SDP, and NDP.

e. For coastal development in the coastal overlay zone, the encroachment is consistent with Section 132.0403 (Supplemental Use Regulations of the Coastal Overlay Zone).

The project is located within the Coastal Overlay Zone – Appealable area but is exempt from obtaining a Coastal Development Permit. More specifically, this is considered a communication facility under the Interpretive Guidelines on Exclusion from CDP for Roads and Public Utilities Section 2.b., which allows maintenance, replacement and modifications of such equipment within the public right-of-way.

B. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404]

1. Findings for all Neighborhood Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding (a) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

Please see CUP Finding (b) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Please see CUP Finding (c) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the PLANNING COMMISSION, CONDITIONAL USE PERMIT NO. 2201217, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2201218, SITE DEVELOPMENT PERMIT NO. 2201219 is hereby GRANTED by the PLANNING COMMISSION to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in CONDITIONAL USE PERMIT NO. 2201217, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2201218, SITE DEVELOPMENT PERMIT NO. 2201219, a copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: November 29, 2018

IO#: 11003679

fm 7-17-17

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2201217
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 201218
SITE DEVELOPMENT PERMIT NO. 2201219
VERIZON WIRELESS SCRIPPS GREEN ROW PROJECT NO. 590724
PLANNING COMMISSION

This Conditional Use Permit No. 2201217, Neighborhood Development Permit No. 2201218, and Site Development Permit No. 2201219 is granted by the Planning Commission of the City of San Diego to Verizon Wireless (VAW), LLC., Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, 126.0401, 126.0501, and 141.0420. The site is located within the City of San Diego public right-of-way at the southwest corner of the intersection of North Torrey Pines Road and Genesee Avenue, (10299 block of North Torrey Pines Road) in the IP-1-1 zone of the University Community Plan. The project site is legally described as the City of San Diego Public Right-of-Way, located in the 10299 block of North Torrey Pines Road.

Subject to the terms and conditions set forth in this Permit, permission is granted to Permittee to modify an existing Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 29, 2018, on file in the Development Services Department.
The project shall include:

- a. A modification to an existing Wireless Communication Facility that consists of expanding the existing 240-square-foot equipment enclosure an additional 40 square feet (total of 280 square feet) to install a new emergency back-up 15kW, 54-gallon diesel fuel generator; and;
- b. Retain and continue the use of an existing 30-foot tall faux monopine supporting twelve antennas and twelve remote radio units.
- c. Landscaping (planting, irrigation and landscape related improvements);

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **December 13, 2021**.
2. This Conditional Use Permit [CUP], Neighborhood Development Permit [NDP], and Site Development Permit [SDP] and corresponding use of this site shall expire on **December 13, 2028**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix G of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

15. Prior to issuance of any building permit (including shell), the Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

16. The Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

17. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

18. Any future modifications to the antennas must be approved by Development Services Department. Antennas deviating up to the approved size (length, width, or height), must include screening designed to create the appearance of uniformity among the antennas to the satisfaction of the Development Services Department. At that time, the Permittee shall provide evidence demonstrating compliance with Federal standards for radio frequency emissions in accordance with the Telecommunications Act of 1996 and any subsequent amendments.

19. Photo simulations shall be printed on the construction plans.

20. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

21. All proposed hand-holes shall be covered with bark material to match the monopine trunk to the satisfaction of the Development Services Department.

22. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
23. All branches at the antenna level shall extend a minimum of 24-inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department.
24. Starting branch height shall be no lower than 10-feet, as illustrated on the stamped, approved Exhibit "A."
25. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
26. RF socks fully covering the front and back of the antennas (and any other components) shall be used.
27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the /Permittee.

INFORMATION ONLY:

- A Telecom Inspection is required prior to construction permit completion.
- The City of San Diego reserves the right to rescind any approval made under Section 6409(a) or the Spectrum Act should any portion of Section 6409(a) or the Spectrum Act, of the FCC's interpretation thereof, be deemed unconstitutional by a court of law, the FCC or any other competent authority.
- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on November 29, 2018 and [Approved Resolution Number].

ATTACHMENT 6

Conditional Use Permit No. 2201217
Neighborhood Development Permit No. 2201218
Site Development Permit No. 2201219
November 29, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Verizon Wireless (VAW), LLC

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION**Attachment 7***(Check one or both)*

TO: ☒ RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 590724

Project Title: Verizon Scripps Green

PROJECT LOCATION-SPECIFIC: The project is located at 10286 1/3 North Torrey Pines Road, San Diego, CA., within the University Community Planning Area.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: Site Development Permit (SDP) Conditional Use Permit (CUP) and Neighborhood Development Permit (NDP) application to modify an existing Verizon Wireless Communication Facility (WCF). The project would build an additional 40 square-feet to an existing 280 square-foot equipment enclosure. The new enclosure would contain a stand by generator with a 54-gallon diesel fuel tank. The WCF is located within the Right-of-Way at the intersection of North Torrey Pines and Genesee Avenue, within the IP-1-1 zone of the University Community Planning area. The site is adjacent to the Center for Creative Leadership to the west, with the Scripps South Employee Parking Lot to the north, and the University of California San Diego (UCSD) campus to the east, and south. Verizon's WCF was originally approved on June 10, 2009.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Plancom Inc., Shelly Kilbourn, 302 State Place, Escondido CA 92029. (619) 208-4685

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- ☒ CATEGORICAL EXEMPTION: 15301 (Existing Facility)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project would create additional space for a stand by generator and would not expand any uses. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



SIGNATURE/TITLE

10/18/2018
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name:		Project Number:	Distribution Date:
Project Scope/Location:			
Applicant Name:		Applicant Phone Number:	
Project Manager:	Phone #:	E-mail Address:	
Project Issues (To be completed by Community Planning Committee for initial review):			
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name:		Project Number:		Distribution Date:	
Project Scope/Location:					
Applicant Name:				Applicant Phone Number:	
Project Manager:		Phone #:		E-mail Address:	
Committee Recommendations (To be completed for Initial Review):					
<input type="checkbox"/> Vote to Approve		Members Yes		Members No	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes		Members No	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes		Members No	
<input type="checkbox"/> Vote to Deny		Members Yes		Members No	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS:					
NAME:				TITLE:	
SIGNATURE:				DATE:	
Attach Additional Pages If Necessary.				Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					

<p style="text-align: center;">SITE JUSTIFICATION Verizon Wireless Scripps Green</p>

PROJECT DESCRIPTION

The project proposes to add an emergency backup generator to an existing wireless communication facility located at 10299 North Torrey Pines Road, San Diego. The project also proposes to retain the existing facility for another 10 years.

The purpose of this project is to add an emergency backup generator to the facility, which Verizon has been doing throughout the network, to ensure that their facilities remain on air in the event of a power outage. The proposed generator will be enclosed within a 40 square foot expansion to the existing 240 square foot equipment enclosure. The generator will be used for emergency purposes only and will not be used for regular operation of the facility. The generator will run approximately 15 minutes once per week for maintenance purposes. There are no other changes proposed to the existing wireless communication facility.

SITE DESIGN

As indicated above, the proposed generator will be located inside an expanded portion of the existing equipment enclosure. Forty square feet will be added to the existing 240 square foot enclosure and will be minimally noticeable. Shrubs will be provided around the equipment enclosure to soften the appearance. There is existing mature landscaping surrounding the entire WCF that screens it from view from the adjacent streets and properties.

PREFERENCE 3 LOCATION

The proposed facility is located in the public right-of-way adjacent to on industrially zoned property. Because the WCF uses above ground equipment, the project falls to a Preference 3 on WCF Hierarchy. There are Preference 1 locations within the surrounding area; however, due to the existing landscaping surrounding this project, there are no other surrounding sites that would be as visibly unobtrusive as the existing location. We believe that the facility as it exists, and the generator project as designed are consistent with all relevant regulations and will be completely visually integrated with the existing property.

CO-LOCATION OF FACILITIES

The existing WCF is located on a 30-foot monopine tree. Colocation is unlikely due to the low height of the monopine and a height increase is not permitted due to the Coastal Height Limitation Overlay. However, Verizon would not be opposed to another carrier locating on the faux tree.

PHOTOGRAPHIC STUDY AND KEY MAP

Verizon Wireless
"Scripps Green Gen Add"
10299 North Torrey Pines Road
San Diego, CA 92037

Prepared for:
City of San Diego
1222 First Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Shelly Kilbourn, Land Use Consultant
(619) 208-4685

December 17, 2017



South and East Elevation of the Equipment Enclosure – Photo 1



North Elevation – Photo 2



West Elevation -Photo 3



View to the West



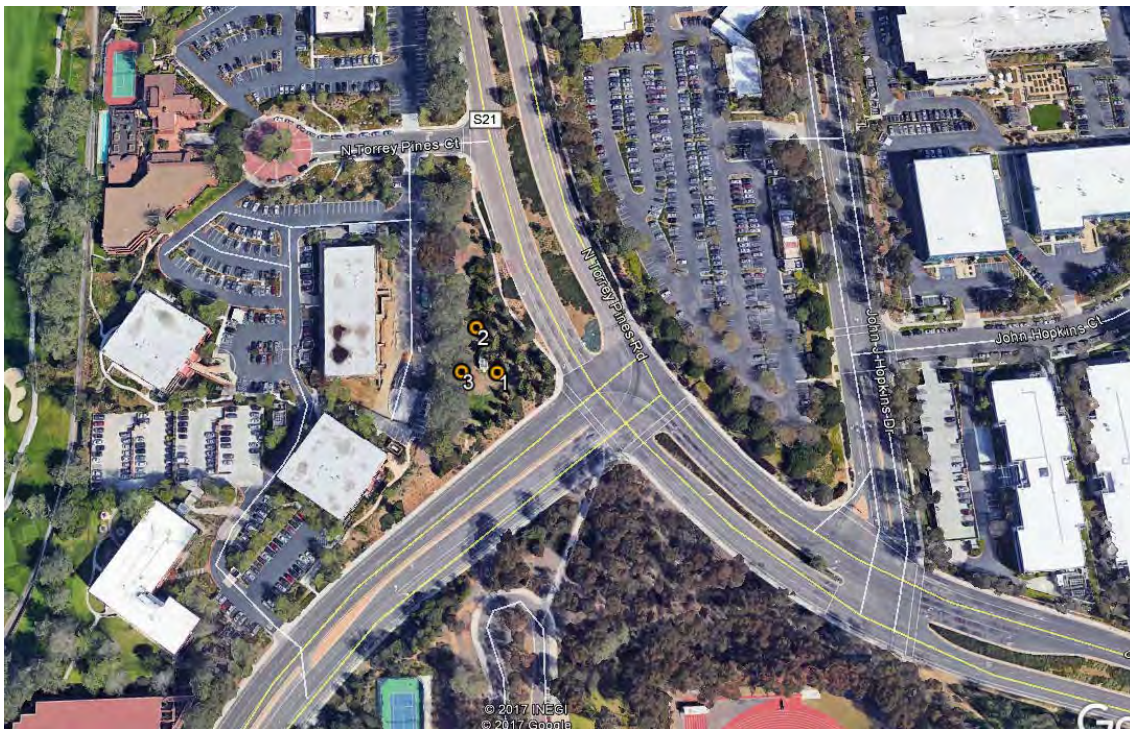
View to the East



View to the East



View to the North



Aerial Photograph



verizon

SCRIPPS GREEN
(GENERATOR ADD)
10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA 92037

JRA

Jeffrey Rome |
ASSOCIATES

architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR

verizon

15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME

SCRIPPS GREEN
(GENERATOR ADD)

10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA

I.O.=24005153
P.T.S. No.=390471
L.C.=264-1695
CCS83=1904-6255
DWG. NO.=38351-PG#-D

DRAWING DATES

08/25/17 STRUCTURAL DETAILS (P1-B3)
09/27/17 STRUCTURAL CHANGE (P1-B4)
10/23/17 CLIENT COMMENTS (P1-B5)
12/11/17 CLIENT COMMENTS (P1-B6)
02/27/18 CITY COMMENTS (P1-B7)
05/03/18 LANDSCAPING COMMENTS (P1-B8)
07/11/18 LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18 LANDSCAPING REVISION (P1-B10)

SHEET TITLE

TITLE SHEET

T-1

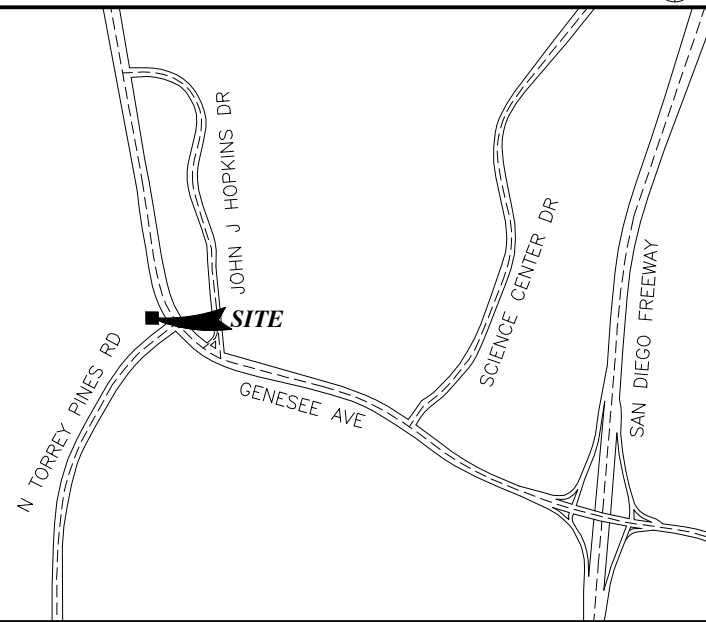
JRA JOB NUMBER: 141119

SPECIAL INSPECTIONS

- | | | | |
|-----|---|------|--|
| 1 | CONCRETE | 13.1 | VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT |
| 2 | BOLTS INSTALLED IN CONCRETE | 13.2 | VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA |
| 3 | CONCRETE MOMENT-RESISTING SPACE FRAME | 13.3 | PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES |
| 4 | REINFORCING STEEL AND PRESTRESSING STEEL | 13.4 | PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON-GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE |
| 5.1 | ALL STRUCTURAL WELDING | 14 | SMOKE CONTROL SYSTEM |
| 5.2 | WELD TESTING DUCTILE MOMENT-RESISTING STEEL FRAME | 15 | SPECIAL CASES (DESCRIBE) |
| 5.3 | WELDING REINFORCING STEEL | 16 | OFF-SITE FABRICATION OF BUILDING COMPONENTS |
| 6 | HIGH-STRENGTH BOLTING | 17 | OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER |
| 7 | STRUCTURAL MASONRY | | |
| 8 | REINFORCED GYPSUM CONCRETE | | |
| 9 | INSULATING CONCRETE FILL | | |
| 10 | SPRAY-APPLIED FIREPROOFING | | |
| 11 | DEEP FOUNDATIONS (PILING, DRILLED & CAISSONS) | | |
| 12 | SHOTCRETE | | |

NO.	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS.
2	HILTI KWIK BOLT (PERIODIC INSPECTION)
	EPOXY DOWEL ANCHORS (CONTINUOUS INSPECTION)

VICINITY MAP



CONSULTANT TEAM

CLIENTS REPRESENTATIVE:

PLANCOM, INC.
302 STATE PLACE
ESCONDIDO, CALIFORNIA 92029
PHONE: (760) 533-6065
CONTACT: BRENT HELMING

ARCHITECT:

JEFFREY ROME & ASSOCIATES
131 INNOVATION DRIVE
SUITE: 100
IRVINE, CALIFORNIA 92617
PHONE: (949) 760-3929
FAX: (949) 760-3931
CONTACT: JEFFREY ROME

LANDSCAPE ARCHITECT:

CS DESIGN GROUP, INC.
6965 EL CAMINO REAL
SUITE: 105-482
CARLSBAD, CALIFORNIA 92009
PHONE: (760) 272-5742
FAX: (760) 454-3097
CONTACT: GARY CHAPMAN

DEVELOPMENT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618

OWNER: CITY OF SAN DIEGO
1200 THIRD AVENUE, SUITE 1700
SAN DIEGO, CALIFORNIA 92109

EXISTING USE: COMMERCIAL UNMANNED WIRELESS FACILITY

PROPOSED USE: COMMERCIAL UNMANNED WIRELESS FACILITY

OTHER ON-SITE TELECOM FACILITIES: NO

ASSESSORS PARCEL NUMBER: PUBLIC RIGHT OF WAY

EXISTING ZONING: 1P-1-1

EXISTING PROJECT AREA: 240 SQ.FT. ENCLOSURE

PROPOSED PROJECT AREA: 40 SQ.FT. ADDITION 280 SQ.FT. TOTAL

EXISTING TYPE OF CONSTRUCTION: TYPE V-1 HOUR

PROPOSED TYPE OF CONSTRUCTION: TYPE V-1 HOUR

EXISTING OCCUPANCY: UNMANNED TELECOMMUNICATIONS FACILITY

PROPOSED OCCUPANCY: UNMANNED TELECOMMUNICATIONS FACILITY

JURISDICTION: CITY OF SAN DIEGO

PROPOSED PERMIT: CONDITIONAL USE PERMIT, SITE DEVELOPMENT PERMIT, AND NEIGHBORHOOD DEVELOPMENT PERMIT.

LEGAL DESCRIPTION

RIGHT-OF-WAY ON THE SW SIDE OF 10350 BLOCK OF N. TORREY PINES ROAD.

PROJECT DESCRIPTION

VERIZON WIRELESS PROPOSES TO MODIFY AN UNOCCUPIED TELECOMMUNICATIONS FACILITY.

- INSTALL (N) 15kW STAND-BY GENERATOR WITH 54 GALLON DIESEL FUEL TANK ON (N) CONCRETE PAD EXTENSION WITHIN (E) EQUIPMENT ENCLOSURE.
- EXTEND (N) PORTION OF (E) EQUIPMENT ENCLOSURE.
- REMOVE (E) PORTION OF CMU WALL ENCLOSURE.
- RELOCATE (E) SOLID METAL DOOR TO (N) CMU WALL ENCLOSURE EXTENSION.
- INSTALL (N) LANDSCAPING AND IRRIGATION.

SHEET INDEX

- T-1 TITLE SHEET
T-2 SPECIFICATIONS AND NOTES
- A-0 SITE PLAN
A-1 EQUIPMENT PLAN
A-2 ELEVATION
A-3 GENERATOR SPECIFICATIONS
A-3.1 GENERATOR DETAILS
A-4 DETAILS
A-5 DETAILS
A-6 CHAIN LINK LID DETAILS
- E-1 SINGLE LINE DIAGRAM
E-2 GROUNDING PLAN
- L-1 LANDSCAPING PLAN
- LS-1 TOPOGRAPHICAL SURVEY

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CALIFORNIA FIRE CODE, 2016 EDITION
CALIFORNIA BUILDING CODE, 2016 EDITION
CALIFORNIA PLUMBING CODE, 2016 EDITION
CALIFORNIA MECHANICAL CODE, 2016 EDITION
CALIFORNIA ELECTRICAL CODE, 2016 EDITION
CALIFORNIA GREEN BUILDING CODE, 2016 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

NOTES

THE PROPOSED WIRELESS FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCIES IN ACCORDANCE WITH THE TELECOMMUNICATIONS ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY THE STATE OR FEDERAL REGULATORY AGENCIES.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"X36" FORMAT. IF THIS DRAWING SET IS NOT 24"X36", THIS SET IS NOT TO SCALE.

GENERAL SPECIFICATIONS

1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.

2. THIS FACILITY IS AN UNOCCUPIED PCS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. IF DISCREPANCIES, OMISSION, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY VERIZON WIRELESS' CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.

4. DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC ONLY. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.

5. THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.

6. CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.

7. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS' CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.

8. THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, PERFORMANCE, INSTALLATION AND FINAL LOCATIONS WITH VERIZON WIRELESS. CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE EQUIPMENT CABINET MANUFACTURER.

9. ALL SYMBOLS & ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE VERIZON WIRELESS. CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.

10. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO VERIZON WIRELESS.

11. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANYL SUBCONTRACTORS OR WORKMEN ARE IN THE SITE AND SHALL SUPERVISEN AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

12. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:

NRCA

NATIONAL ROOFING CONTRACTORS ASSOCIATION
O'HARE INTERNATIONAL CENTER
10255 W. HIGGINS ROAD, SUITE 600
ROSEMONT, IL 60018-5607

SMACNA

SHEET METAL AND AIR CONDITIONING CONTRACTORS
NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATILLY, VA 20151-1209

ITLP

INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
P.O. BOX 1663
LAFAYETTE, CA 94549

13. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.

14. THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGARS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.

15. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.

16. THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND VERIZON WIRELESS. PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF VERIZON WIRELESS., AND THE PROPERTY OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY, ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY VERIZON WIRELESS. UNDER THIS CONTRACT.

18. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, OR CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR THE REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY VERIZON WIRELESS.
- 20.THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER, VERIZON WIRELESS., AND THE CITY OR GOVERNING AGENCY.

21.THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE CONSTRUCTION DOCUMENTS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN AWARDED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY. ONE SET OF REDLINED DRAWINGS SHALL BE PROVIDED TO THE VERIZON WIRELESS. CONSTRUCTION MANAGER.

22.THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.

23.THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILEY BASIS, EXCEPT FOR THAT SPECIFIED AS REMAINING THE PROPERTY OF THE BUILDING OR PROPERTY OWNER AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM CLEAN CONDITION, FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE AT COMPLETION OF WORK.

24.THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.

25.ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.

26.SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.

27.PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.

28.ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 810.

29.ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE CAULKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE.

30.UPON COMPLETION OF CONSTRUCTION, VERIZON WIRELESS. CONSTRUCTION MANAGER SHALL CONDUCT A WALK-THRU WITH PROPERTY OWNER OR REPRESENTATIVE OF PROPERTY OWNER.

31.THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEM EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY VERIZON WIRELESS.

32.INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATION TAKE PRECEDENCE.

PAINTING NOTES & SPECIFICATIONS

- A. GENERAL

1. ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS UNLESS SPECIFICALLY NOTED OTHERWISE.

2. CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.

3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROVISIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.

4. FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.

5. ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE VERIZON WIRELESS CONSTRUCTION MANAGER.

6. PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.

7. FURNISH DROP CLOTHES, SHIELDS, MASKING AND PROTECTIVE METHODS TO PREVENT SPRAY OR DROPPINGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.

8. APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.

10. APPLY BLOCK FILTER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.

11. CONTRACTOR SHALL CORRECT RUNS, SAGS, MISSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE VERIZON WIRELESS. CONSTRUCTION MANAGER. REPAINT AS NECESSARY TO ACHIEVE SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.

B. PAINTING SCOPE

1. PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOWWITH THE COATING SYSTEM INDICATED.

PAINTING SCOPE				
SURFACE TO BE PAINTED	COATING SYSTEM	PAINT	DO NOT PAINT	N/A
BTS UNIT				
ALL EQUIPMENT & CABINETS OTHER THAN THE BTS UNIT				
ANTENNA COVERS, TILT BRACKETS, MOUNTING BRACKETS AND ASSOCIATED MOUNTING, CABLE AND CABLE COVERS EXPOSED TO VIEW, EXPOSED CONDUIT AND HANDSLES, ETC.				
FLUORING UNITS, METAL TRIM AND OTHER METAL SURFACES				
STUCCO, CONCRETE, CONCRETE BLOCK AND BRICKWORKS TYPE PAINT SYSTEMS				
PLYWOOD, LUMBER AND WOOD TRIM INCLUDING THE BACK SIDE OF ALL SCREENWALLS				
SPRINKLER CONCRETE PIPES				
METAL POLES AND METAL POLE BRACE-OFF				

C. COATING SYSTEM SPECIFICATIONS

1. DTM ACRYLIC COATING (SERIES B66) BY SHERWIN WILLIAMS CO. 1MIL DFT PER COAT APPLIED IN TWO COATS OVER DTM BONDING PRIMER (B66A50).

2. 100% ACRYLIC, LATEX COATING EQUIVALENT TO A-100 (SERIES A-82) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER SPECIFIED PRIMER.

D. PAINT & PRIMER

ANTENNAS
PRIMER – KEM AQUA E61-W525
TOPCOAT – COROTHANE II B65W200/B60V22

BTS CABINET
PRIMER – KEM AQUA E61-W525
TOPCOAT – COROTHANE II B65W200/B60V22

COAXIAL JUMPER CABLES
PRIMER – AS REQUIRED FOR ADHESION. APPLY ONE COAT OF KEM AQUA WATER REDUCIBLE PRIMER E61W25 REDUCED 25%
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

RAW STEEL
PRIMER – KEM BOND HS B50WZ4, DMT ACRYLIC PRIMER
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

GALVANIZED METAL
ACID ETCH WITH COMMERCIAL ETCH OR VINEGAR PRIMER COAT AND FINISH COAT (GALVITE HIGH SOLIDS OR DTM PRIMER/FINISH)

STAINLESS STEEL
PRIMER – OTM WASH PRIMER, B71Y1
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

PRE-PRIMED STEEL
TOUCH UP ANY RUST OR UN-PRIMED STEEL WITH KEM BOND HS, SS0WZ4

ALUMINUM & COPPER
PRIMER – DTM WASH PRIMER, B71Y1
TOPCOAT – 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

CONCRETE MASONRY
PRIMER – PRO MAR EXTERIOR BLOCK FILLER
TOPCOAT – 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH

CONCRETE STUCCO(EXISTING)
2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH

STUCCO
PRIMER – PRO MAR MASONRY CONDITONER B-46-W21000
TOPCOAT – SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS

WOOD
PRIMER – A-100 EXTERIOR ALKYD W009D PRIMER Y-24W20
TOPCOAT – 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH ADJACENT SURFACES

GLU-LAM BEAMS
PRIMER – A-100 EXTERIOR ALKYD WOOD PRIMER Y-24W20
TWO COATS SHOP APPLIED PER GLU-LAM MANUFACTURER'S SPECIFICATIONS
TOPCOAT – SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS
TWO COATS SHOP OR FIELD APPLIED AT CONTRACTOR'S OPTION

FIELD CUTS/DAMAGE(PRIOR TO PRIME & PAINT)
FIRST & SECOND COAT – CUPRINOL CLEAR WOOD PRESERVATIVE #158-0356
ALL PENETRATIONS INTO FINISHED CLU-LAMS SHALL BE CAULKED WITH "SIKAFLEX" SEALANT

STEEL TOUCH UP
STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT

STRUCTURAL SPECIFICATIONS

- A. GENERAL

PRECEDENCE: UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE.

A. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.

B. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

C. MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.

2. OTHER TRADES: SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN.

3. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.

4. SHORING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN IT'S COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.

5. SAFETY: THESE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.

6. WATERPROOFING: WATERPROOFING AND DRAINAGE, DETAILS AND SPECIFICATIONS, ALTHOUGH SOMETIMES SHOWN ON STRUCTURAL DRAWING ARE OF GENERAL INFORMATION PURPOSES ONLY. WATERPROOFING AND DRAINAGE ARE SOLELY THE DESIGN RESPONSIBILITY OF THE ARCHITECT.

B. STEEL

1. ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS SHALL CONFORM TO ASTM A-36 AND BE FABRICATED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AISI.

2. ALL BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325.

3. STEEL PIPE COLUMNS SHALL BE GRADE "B" CONFORMING TO ASTM A53.

4. STEEL TUBING SHALL BE GRADE "B" CONFORMING TO ASTM A500.

5. ALL WELDING SHALL BE DONE BY THE SHIELDED ARC METHOD. ALL WELDERS SHALL BE PROPERLY QUALIFIED AND BE PRE-APPROVED. SURPLUS METAL SHALL BE DRESSED OFF TO SMOOTH, EVEN SURFACES WHERE WELDS ARE NOT EXPOSED TO VIEW. ALL WELDING SHALL COMPLY WITH THE LATEST A.W.S. SPECIFICATIONS.

6. THE FOLLOWING WELDING EQUIPMENT MUST BE USED:

A. 250 AMP WELDERS.

B. ROD OVENS.

C. GRINDERS.

7. NO BUZZ BOXES SHALL BE USED.

8. ALL STRUCTURAL STEEL SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE DESIGN ENGINEER AND THE CITY INSPECTOR.

9. ALL HIGH STRENGTH BOLTS SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE INSPECTOR.

10. STEEL THAT HAD BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZING PAINT.

11. WELDING INDICATED IN THESE DRAWINGS IS DESIGNED FOR ONE HALF OF ALLOWABLE CODE STRESSES UNLESS SPECIFICALL NOTED "FULL STRESS" AT END OF WELD SYMBOL.

C. CONCRETE

1. STRENGTH: CONCRETE FOR THE PROJECT SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:

LOCATION	STRENGTH	WT.	SLUMP	ADMIXTURE
A. SLAB&FOOTING	2500psi	150pcf	4"	NONE

2. INSPECTION: CONCRETE WITH SPECIFIED STRENGTH GREATER THAN 2500psi SHALL BE CONTINUOUSLY INSPECTED DURING PLACEMENT BY A DEPUTY INSPECTOR EMPLOYED BY A TESTING LABORATORY APPROVED BY THE BUILDING DEPT.

3. REBAR GRADES: REINFORCING STEEL SHALL BE CLEAN PREFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:

#4 & SMALLER BARS.....GRADE 40

#5 & LARGER BARS.....GRADE 60

ALL BARS AT CAISSON FOOTING...GRADE 60

4. CEMENT: FOUNDATIONS & SLABS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
PIER/CAISSON FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.

5. AGGREGATE: USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:

A. FOUNDATIONS & SLABS 9" OR LESS: 3/4" GRAVEL

B. PIER/CAISSON FOOTING: 1" GRAVEL.

6. WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION.
7. MIXING: PREPARATION OF CONCRETE SHALL CONFORM TO ASTM C-94. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY A TESTING AGENCY.

8. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE FLOPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, CAISSON, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES, TRUNKS OR PUMP HOSE SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FT.

9. SPLICES OF REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 DIAMETERS AND SECURELY WIRED TOGETHER. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE.

10. REAR CLEARANCE: MINIMUM COVERAGE FOR JOISTS, BEAMS, GIRDERS AND COLUMNS SHALL BE TO FACE OF STIRRUPS OR TIES, UNLESS OTHERWISE NOTED, CONCRETE COVERAGE FOR REINFORCING BARS TO FACE OF BAR SHALL BE AS FOLLOWS:

A. CONCRETE IN CONTACT WITH EARTH, UNFORMED 3"

B. CONCRETE IN CONTACT WITH EARTH, FORMED 2"

C. WALL, EXTERIOR FACE 1-1/2"

D. WALL, INTERIOR FACE 1"

E. STRUCTURAL SLABS 3/4"

F. JOISTS 3/4"

G. BEAMS, GIRDERS & COLUMNS 1-1/2"

11. PENETRATIONS: NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATIONS OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE SLEEVED. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.

12. EMBEDDED ITEMS: CONDUIT PLACED IN A CONCRETE SLAB SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/4 THE THICKNESS OF THE SLAB. CONDUIT SHALL NOT BE EMBEDDED IN A SLAB THAT IS LESS THAN 3-1/2" THICK, UNLESS SLAB IS LOCALLY THICKENED. MINIMUM CLEAR DISTANCE BETWEEN COUNDITS SHALL BE SIX INCHES.

13. ANCHORING: ALL ANCHOR BOLTS, REINFORCING STEEL, DOWELS, INSERTS, ETC.,SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.

14. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUNDS USED ON CONCRETE WHERE TILE OR FLOOR COVERING IS TO BE BONDED TO THE CONCRETE SURFACE SHALL BE APPROVED BY THE TILE OR FLOOR COVERING MANUFACTURER. KEEP SLAB WET FOR 7 DAY MINIMUM PERIOD.

15. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.



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PROPRIETARY INFORMATION

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PREPARED FOR



15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME

**SCRIPPS GREEN
(GENERATOR ADD)**

10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA

I.O.=24005153
P.T.S. No.=390471
L.C.=264-1695
CS83=1904-6255
DWG. NO.=38351-PG#-D

DRAWING DATES	
08/25/17	STRUCTURAL DETAILS (P1-B3)
09/27/17	STRUCTURAL CHANGE (P1-B4)
10/23/17	CLIENT COMMENTS (P1-B5)
12/11/17	CLIENT COMMENTS (P1-B6)
02/27/18	CITY COMMENTS (P1-B7)
05/03/18	LANDSCAPING COMMENTS (P1-B8)
07/11/18	LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18	LANDSCAPING REVISION (P1-B10)

SHEET TITLE

SPECIFICATIONS AND NOTES

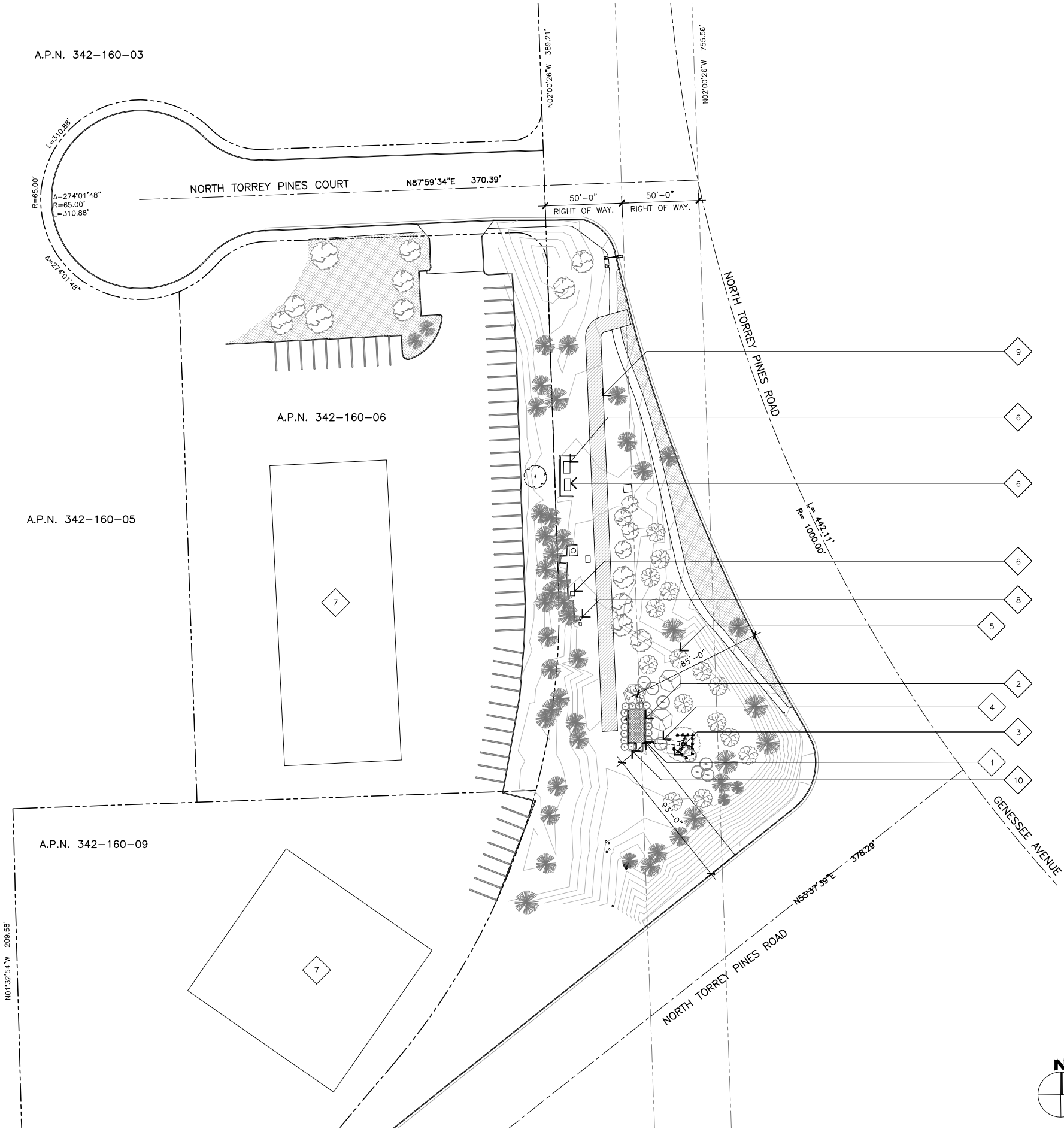
T-2

SITE PLAN

- 1
- (N) VZW 15KW STAND-BY DIESEL GENERATOR MOUNTED WITHIN (N) CMU ENCLOSURE EXTENSION; SEE SHEET A-1.
- 2
- (N) VZW EQUIPMENT ENCLOSURE EXTENSION; SEE SHEET A-1.
- 3
- (E) VZW ANTENNAS MOUNTED TO (E) MONOPINE.
- 4
- (E) VZW UNDERGROUND COAXIAL CABLE TRENCH.
- 5
- (E) TREE, TYP.
- 6
- (E) SDG&E TRANSFORMERS.
- 7
- (E) BUILDING.
- 8
- (E) ELECTRICAL METER.
- 9
- (E) VZW PATH OF TRAVEL.
- 10
- (N) AND (E) LANDSCAPING; SEE SHEET L-1.

NOTE

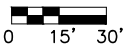
1. VEHICULAR ACCESS ONTO THE ACCESS PATH IS PROHIBITED.
2. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.



SITE PLAN

SCALE:

1"=30'



1

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08/30/18	LANDSCAPING REVISION (P1-B10)

SHEET TITLE

SITE PLAN

A-0

JRA JOB NUMBER: 141119

GENERATOR PLAN KEYNOTES

- 1

(N) VZW 15KW STAND-BY DIESEL GENERATOR MOUNTED WITHIN (N) CMU ENCLOSURE EXTENSION; SEE SHEET A-3.
- 2

(N) VZW 8'-0" TALL CMU EXTENSION TO MATCH (E) VZW ENCLOSURE; SEE A-4.
- 3

(N) POWER AND CONTROL CONDUITS FROM (N) STAND-BY GENERATOR TO (E) BATTERY/POWER PLANT.
- 3A

(N) CONDUITS FROM (N) STAND-BY GENERATOR TO (E) ALARM PANEL INSIDE (E) TELCO BOX.
- 4

(N) VZW CHAIN LINK TOPPER TO MATCH (E) SEE SHEET A-6.
- 4A

(E) VZW CHAIN LINK TOPPER.
- 5

(E) CMU WALL TO BE DEMOLISHED FOR (N) CMU EXTENSION.
- 6

(E) VZW POWER PANEL.
- 7

(E) VZW GENERATOR PLUG.
- 8

(E) VZW MANUAL TRANSFER SWITCH (MTS).
- 9

(E) VZW DISCONNECT.
- 10

(E) VZW FIBER CABINET.
- 11

(E) VZW CMU WALL EQUIPMENT ENCLOSURE.
- 12

(E) VZW ENTRY DOOR TO BE RELOCATED TO (N) CMU EXTENSION AS SHOWN. DOOR TO REMAIN TAN COLOR AND UNCHANGED TO MATCH (E) BLOCK WALL ENCLOSURE; SEE DETAIL 5/A-5.
- 13

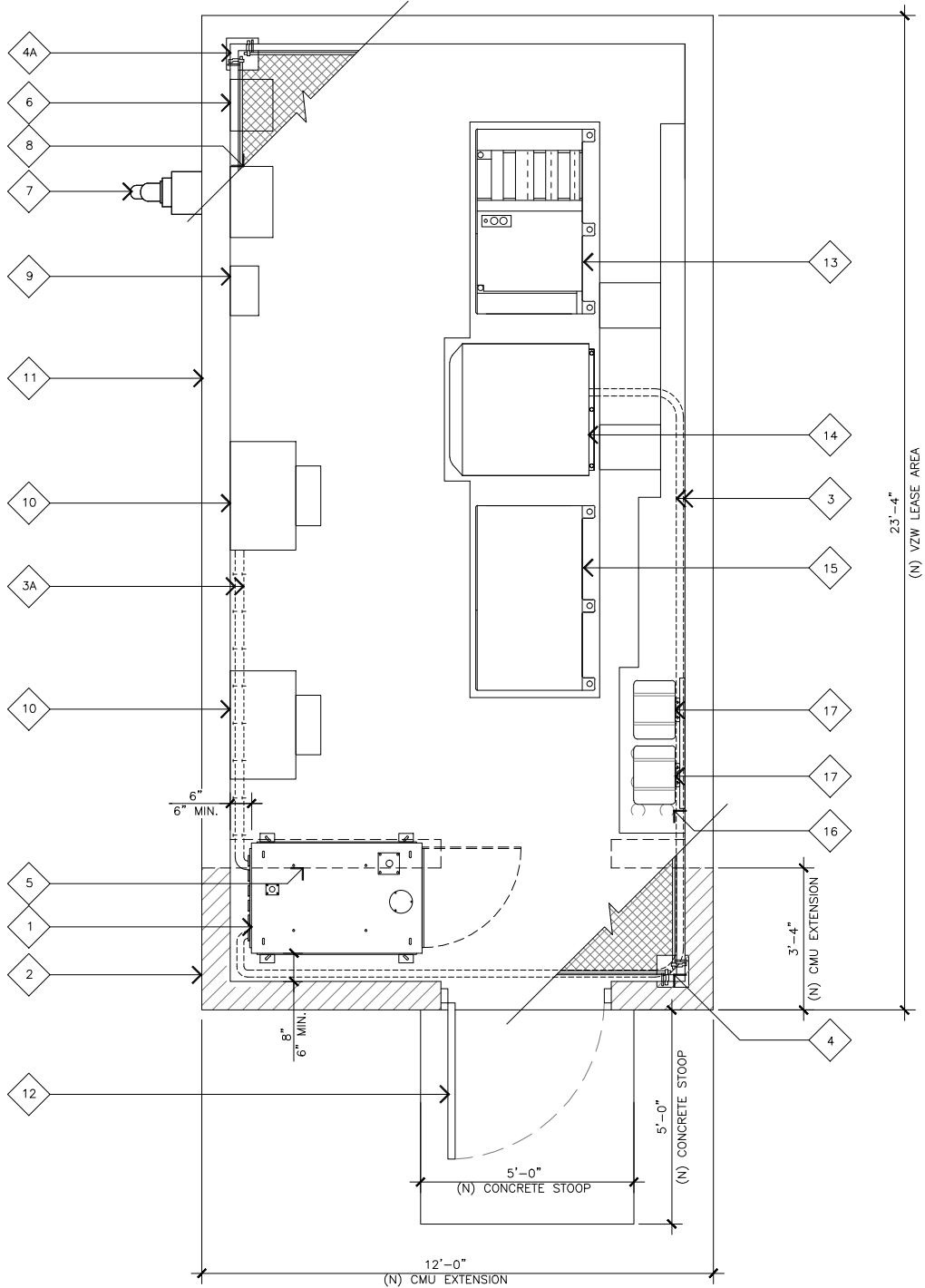
(E) VZW "CMO" COMPACT METRO CELL.
- 14

(E) VZW 72" TALL POWER/BATTERY CABINET.
- 15

(E) VZW 6102 LTE CABINET.
- 16

(E) VZW CONDUIT STUB-UPS BELOW (N) RAYCAPS.
- 17

(E) VZW RAYCAP MOUNTED TO (E) CMU WALL.



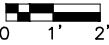
NOT USED

2

EQUIPMENT PLAN

SCALE:

1/2"=1'-0"



1

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PREPARED FOR



15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
**SCRIPPS GREEN
(GENERATOR ADD)**
10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA
I.O.=24005153
P.T.S. No.=390471
L.C.=264-1695
CCS83=1904-6255
DWG. NO.=38351-PG#-D

DRAWING DATES
08/25/17 STRUCTURAL DETAILS (P1-B3)
09/27/17 STRUCTURAL CHANGE (P1-B4)
10/23/17 CLIENT COMMENTS (P1-B5)
12/11/17 CLIENT COMMENTS (P1-B6)
02/27/18 CITY COMMENTS (P1-B7)
05/03/18 LANDSCAPING COMMENTS (P1-B8)
07/11/18 LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18 LANDSCAPING REVISION (P1-B10)

SHEET TITLE

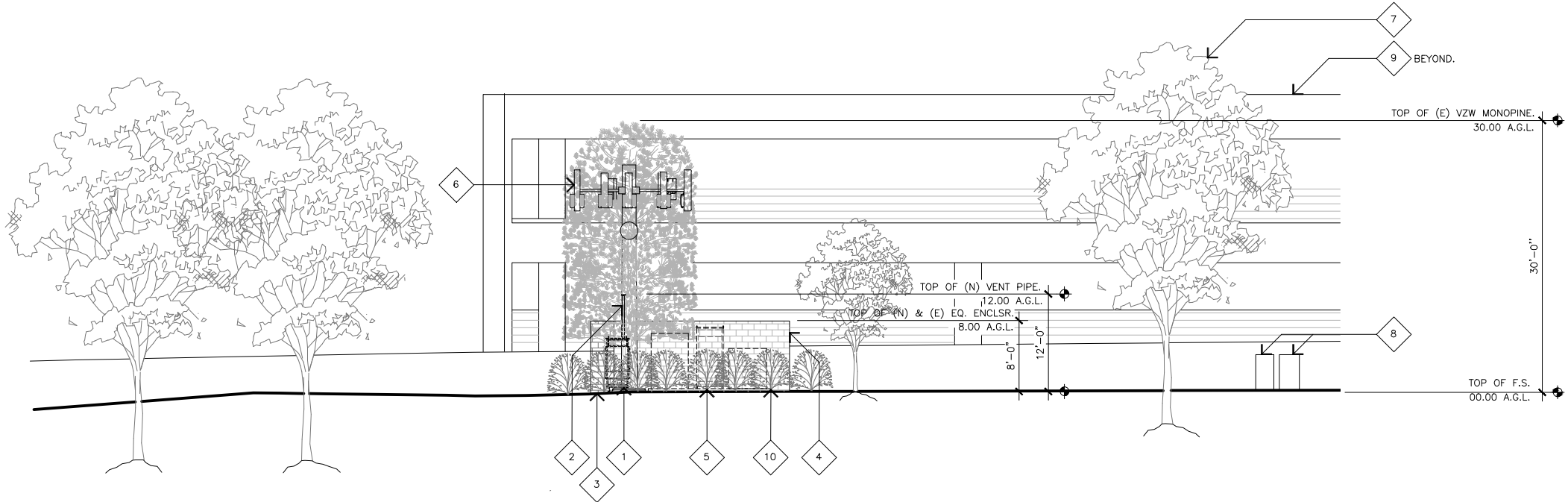
EQUIPMENT PLAN

A-1

JRA JOB NUMBER: 141119

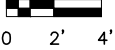
ELEVATION KEYNOTES

- 1 (N) VERIZON STAND-BY GENERATOR MOUNTED INSIDE (E) EXTENDED EQUIPMENT ENCLOSURE.
- 2 (N) VZW GENERATOR VENT PIPE.
- 3 (N) VZW 8'-0" TALL CMU EXTENSION TO MATCH (E) VZW ENCLOSURE.
- 4 (E) VZW CMU WALL EQUIPMENT ENCLOSURE.
- 5 (E) VZW OUTDOOR EQUIPMENT.
- 6 (E) VZW ANTENNAS MOUNTED ON (E) MONOPINE.
- 7 (E) TREE, TYP.
- 8 (E) METER.
- 9 (E) OFFICE BUILDING.
- 10 (N) AND (E) LANDSCAPING.



EAST ELEVATION

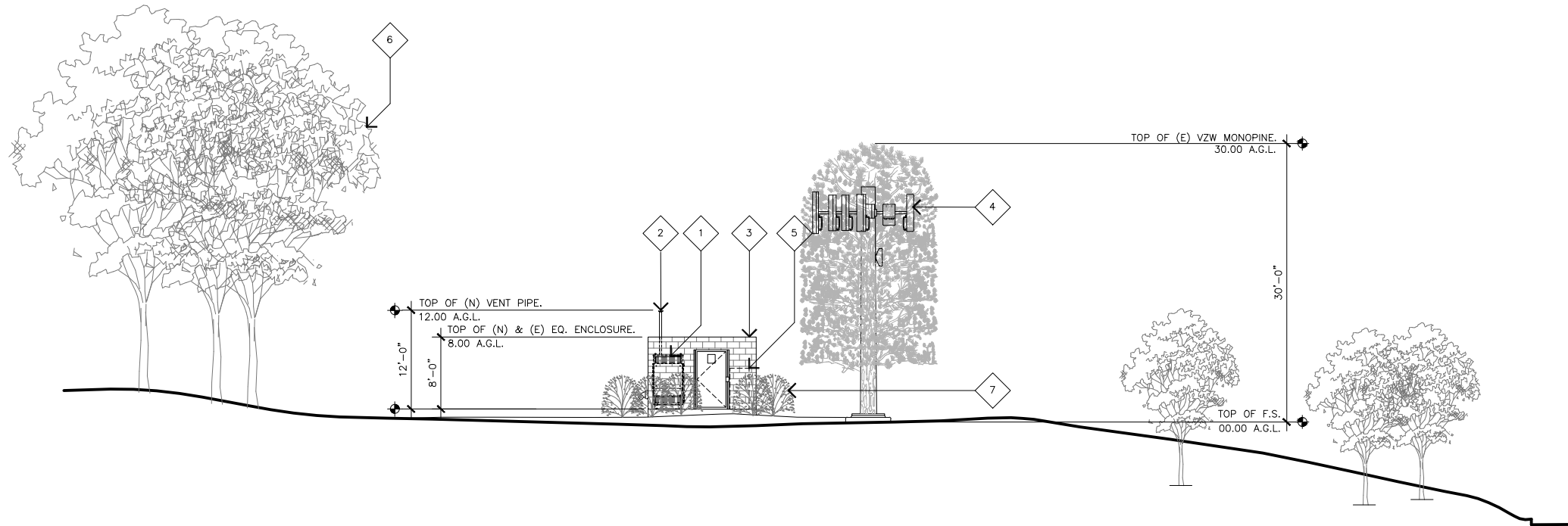
SCALE:
1/8"=1'-0"



2

ELEVATION KEYNOTES

- 1 (N) VERIZON STAND-BY GENERATOR MOUNTED INSIDE (E) EXTENDED EQUIPMENT ENCLOSURE.
- 2 (N) VZW GENERATOR VENT PIPE.
- 3 (E) VZW EQUIPMENT ENCLOSURE WITH (N) EXTENSION.
- 4 (E) VZW ANTENNAS MOUNTED ON (E) MONOPINE.
- 5 (E) VZW OUTDOOR EQUIPMENT.
- 6 (E) TREE, TYP.
- 7 (N) AND (E) LANDSCAPING.



SOUTH ELEVATION

SCALE:
1/8"=1'-0"



1

Jeffrey Rome | ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
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verizon

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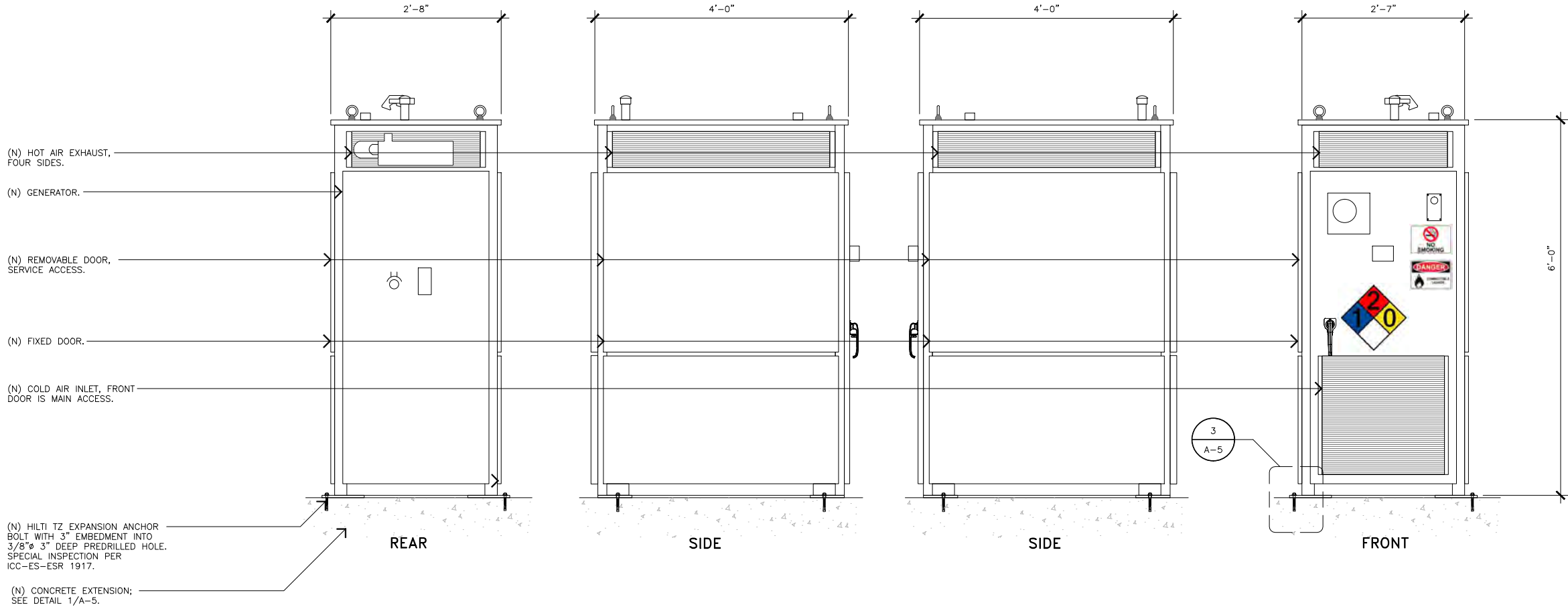
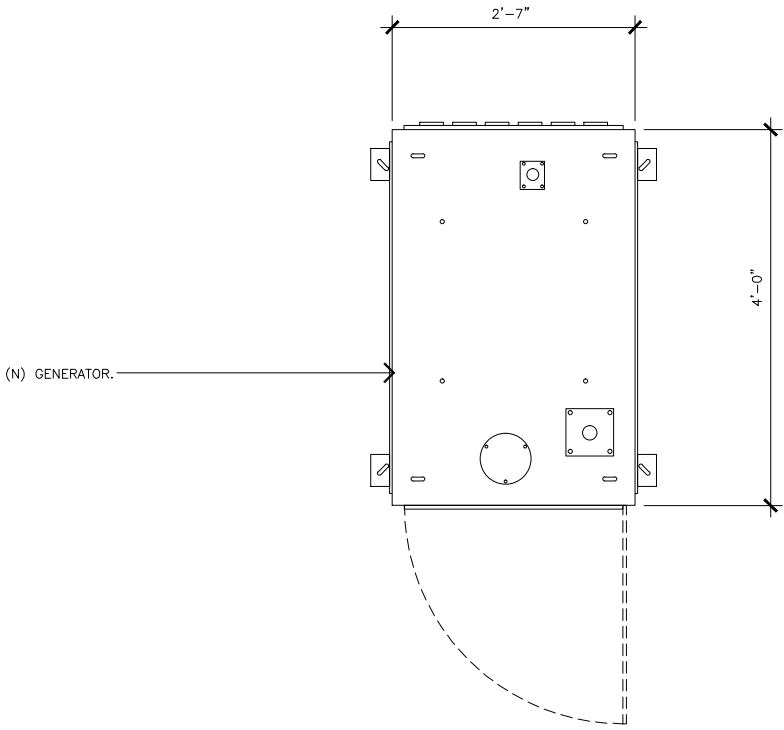
ELEVATIONS

A-2

JRA JOB NUMBER: 141119

POLAR POWER 15kW DC GENERATOR

DIMENSIONS, LxWxH:	34.05"x48.00"x76.53"
SOUND ENCLOSURE, SOUND PRESSURE:	63 dB
TOTAL WEIGHT:	1097 LBS.



GENERATOR SPECIFICATIONS

SCALE:
NTS

1

jra Jeffrey Rome | ASSOCIATES
architecture | telecommunications
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Irvine, California 92617
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08/30/18 LANDSCAPING REVISION (P1-B10)

SHEET TITLE

**GENERATOR
SPECIFICATIONS**

A-3

JRA JOB NUMBER: 141119



NO SMOKING SIGN

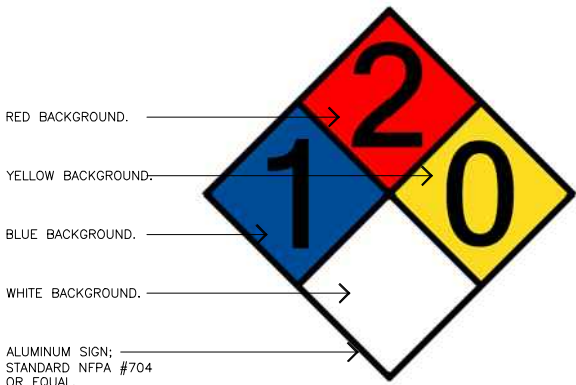
SCALE:
NTS 5



NOTE:
GC TO MOUNT SIGN TO GENERATOR.

DANGER DIESEL SIGN

SCALE:
NTS 4



WHITE ALUMINUM SIGN;
SKU NFPA-CHART_1
OR EQUAL.

NFPA Rating Explanation Guide					
RATING NUMBER	HEALTH HAZARD	FLAMMABILITY HAZARD	INSTABILITY HAZARD	RATING SYMBOL	SPECIAL HAZARD
4	Can be lethal	Will vaporize and readily burn at normal temperatures	May explode at normal temperatures and pressures	ALK	Alkaline
3	Can cause serious or permanent injury	Can be ignited under almost all ambient temperatures	May explode at high temperature or shock	ACID	Acidic
2	Can cause temporary incapacitation or residual injury	Must be heated or high ambient temperature to burn	Violent chemical change at high temperatures or pressures	COR	Corrosive
1	Can cause significant irritation	Must be preheated before ignition can occur	Normally stable. High temperatures make unstable	OX	Oxidizing
0	No hazard	Will not burn	Stable	Radioactive	Reacts violently or explosively with water
				W OX	Reacts violently or explosively with water and oxidizing

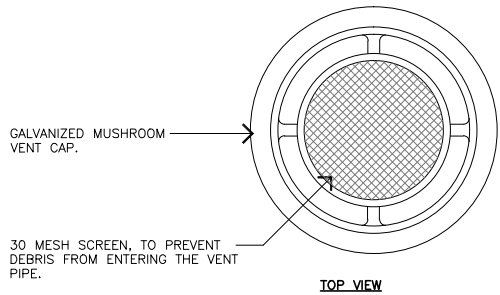
This chart for reference only - For complete specifications consult the NFPA 704 Standard

NOT USED

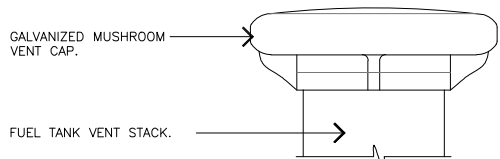
SCALE:
NTS 6

NFPA SIGNAGE

SCALE:
NTS 3



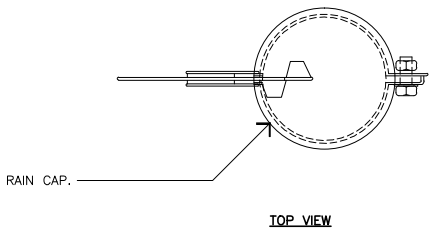
TOP VIEW



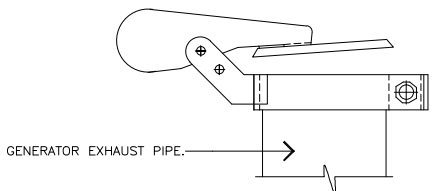
SIDE VIEW

VENT STACK MUSHROOM CAP

SCALE:
NTS 2



TOP VIEW



SIDE VIEW

EXHAUST RAIN CAP

SCALE:
NTS 1

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07/11/18 LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18 LANDSCAPING REVISION (P1-B10)

SHEET TITLE

GENERATOR DETAILS

A-3.1

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07/11/18	LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18	LANDSCAPING REVISION (P1-B10)

DETAILS

A-4

JRA JOB NUMBER: 141119

1. CONTRACTOR SHALL VISIT THE BUILDING SITE AND SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUB-CONTRACTORS. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND.
2. TYPICAL DETAILS SHALL APPLY WHERE NO SPECIAL DETAIL IS SHOWN.
3. ALL DISMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
4. CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL ELEMENTS INCLUDING (N) CURBS. ERECTION BRACING SHALL BE REMOVED UNTIL THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING ITS DESIGN LOAD.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CALIFORNIA BUILDING CODE AND ALL LOCAL CODE REQUIREMENTS.
6. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
7. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MOULDS, ORNAMENTS, GROOVES, CLIPS, CORNICES, DROPPED SLABS, CURBS, ETC. NOT SHOWN ON DRAWINGS.
8. BACKFILL BEHIND RETAINING WALL SHALL NOT BE DONE PRIOR TO THE RETAINING WALL STEMS' GROUTING IS CURED.

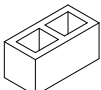
ALL REINFORCING STEEL SHALL BE NEW DEFORMED BARS
CONFORMING TO ASTM A-615 GRADE 60.
LAP REINFORCING STEEL AT SPLICES TO THE FOLLOWING
MINIMUM LENGTHS UNLESS NOTED OTHERWISE:

#3 AND #4.....	2'-0"	#8.....	5'-3"
#5.....	2'-1"	#9.....	6'-8"
#6.....	3'-0"	#10.....	8'-6"
#7.....	4'-1"	#11.....	10'-5"

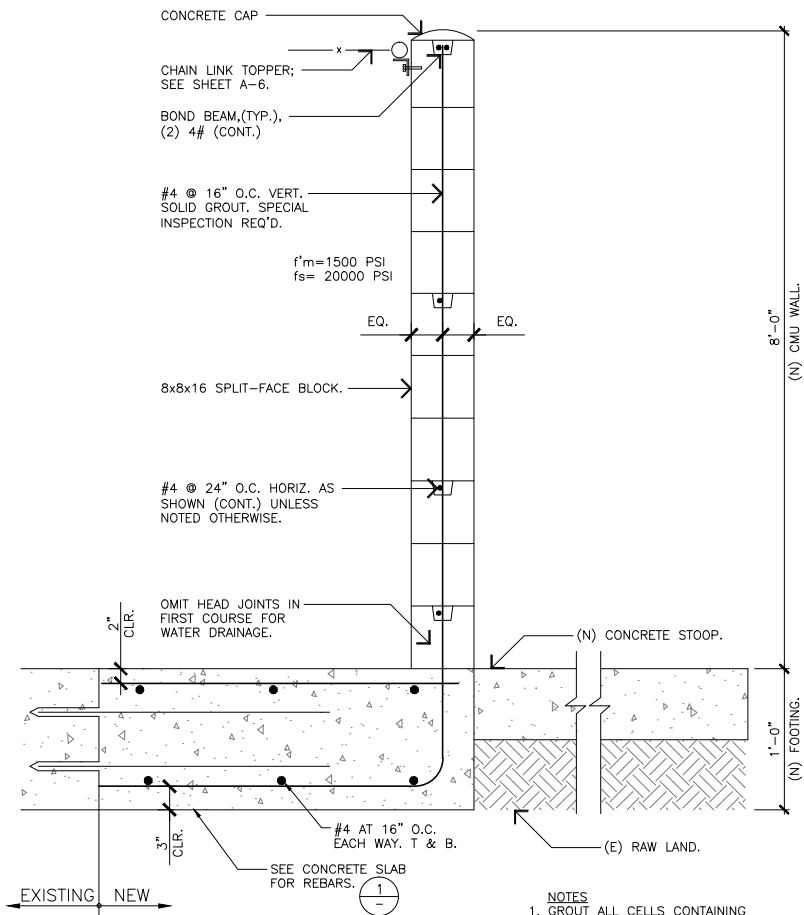
1. ALL POURED-IN-PLACE CONCRETE SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED. CEMENT TO BE TYPE II FROM TESTED STOCK PER ASTM C-150.
2. CONCRETE FORM TOLERANCES SHALL BE WITHIN THE STANDARDS SET BY THE AMERICAN CONCRETE INSTITUTE.
3. ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE POURING OF THE CONCRETE.
4. NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS.
5. FORM EXPOSED CORNERS OF COLUMNS, BEAMS, WALLS, ETC. WITH FINISH CHAMFER OR RADIUS UNLESS SPECIFICALLY DETAILED OTHERWISE.
6. PROVIDE LIGHT BROOM FINISH ON ALL EXPOSED CONCRETE UNLESS NOTED OTHERWISE.

1. MASONRY UNITS FOR HOLLOW UNIT MASONRY SHALL BE GRADE "N" CONCRETE BLOCKS CONFORMING TO ASTM C-90. CONSTRUCTION SHALL COMPLY WITH SECTION CHAPTER 21 OF 2016 CALIFORNIA BUILDING CODE AND LOCAL CODES.
2. MASONRY SHALL BE LAID IN STRAIGHT UNIFORM COURSES IN REVERSE SHED. JOINTS SHALL BE TOOLED CONCAVE AND BE UNIFORM IN SIZE, THE INTERSECTING WALLS BY OVERLAPPING UNITS IN ALTERNATE COURSES. ROUGHEN AND CLEAN CONCRETE BEARING SURFACES FOR THE PLACEMENT OF THE FIRST COURSE. VERTICAL HEAD JOINTS SHALL BE FILLED SOLID AND SHOVED TIGHTLY TO PRODUCE BOND TO BOTH BLOCKS.
3. MORTAR SHALL BE FRESHLY PREPARED AND UNIFORMLY MIXED OF 1 PART PORTLAND CEMENT, 1/2 MAXIMUM TO 1/4 MINIMUM PARTS LIME PUTTY OR HYDRATED LIME, AND 3 PARTS SAND.
4. GROUT SHALL BE FLUID CONSISTENCY AND MIXED IN RATIO OF 1 PART CEMENT AND 3 PARTS SAND FOR GROUT SPACES LESS THAN 4" IN ANY DIRECTION, FOR SPACES GREATER THAN 4" THE RATIO IS 1 PART CEMENT, 1 PART SAND AND 2 PARTS FEA GRAVEL, AGGREGATE AND SAND SHALL CONFORM TO ASTM C-144. SOLID GROUT ALL CELLS IN RETAINING WALLS, ALL CELLS BELOW FLOOR GRADE, AND ALL REINFORCED CELLS; OTHERWISE ALL CELLS SHALL NOT BE GROUTED, UNLESS NOTED ON PLANS.
5. ALL SPILLS TO BE REMOVED IMMEDIATELY. ANY SPILLAGE ON THE FACE OF THE MASONRY, LEAK SUCH SPILLAGE IMMEDIATELY, REPAIR ANY DAMAGES OR INTERSECTIES BETWEEN BLOCK AND REMOVE STAINS AT THE COMPLETION OF WORK.
6. SPLICE ALL BARS IN MASONRY WITH A MINIMUM OF 48 BAR DIAMETER LAPS (2" O" MINIMUM).
7. ALL ISOLATED BOLTS EMBEDDED IN MASONRY SHALL BE GROUTED SOLIDLY IN PLACE TO A MINIMUM OF NOT LESS THAN 2" OF GROUT SURROUNDING THE BOLT.
8. SEAL RETAINING FACE OF WALL AND FOOTING WITH 2 COATS OF HENRY'S 502 ASPHALTIC MASTIC.

1. ALL CONCRETE AND GROUT SHALL BE MIN. $f'_c = 2500$ PSI.
2. CMU BLOCK SHALL BE MIN. $f'_m = 1500$ PSI. 8"x8"x16"
3. ALL STEEL SHALL BE GRADE 60. $f'_y = 60,000$ PSI, $F_s = 24,000$ PSI

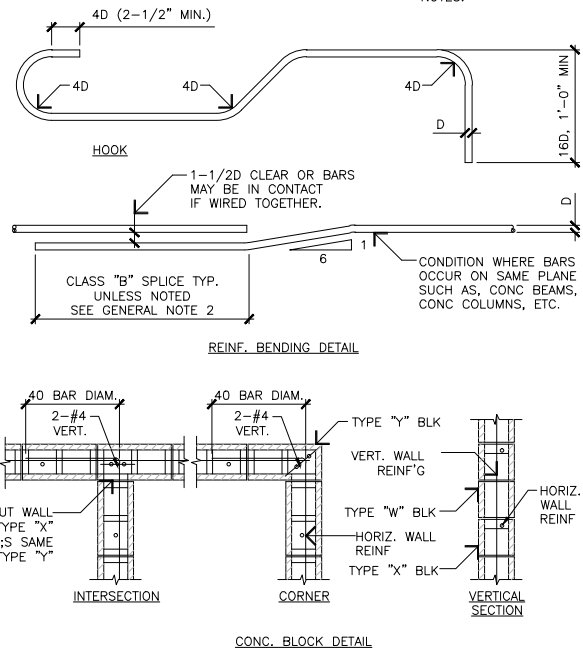


TYPE "Y" BLOCK



NOTES

1. GROUT ALL CELLS CONTAINING REINFORCING BARS UNLESS NOTED OTHERWISE.
2. VERTICAL REINFORCING TO BE AT C OF WALL UNLESS NOTED OTHERWISE.
3. ALSO SEE GENERAL MASONRY NOTES.



SCALE:
NTS

3

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301-14, ACI 318-14 AND THE SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS UNLESS NOTED OTHERWISE.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE SHOWN UNLESS NOTED OTHERWISE.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....3 IN.

CONCRETE EXPOSED TO EARTH OR WEATHER:

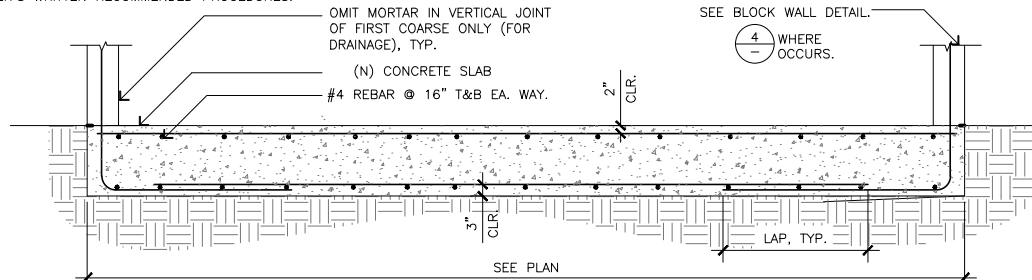
#6 AND LARGER2 IN.
#5 AND SMALLER & WWF.....1-1/2 IN.

CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:

SLAB AND WALL3/4 IN.
BEAMS AND COLUMNS.....1-1/2 IN.

5. A CHAMFER 3/4" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE U.N.O. IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

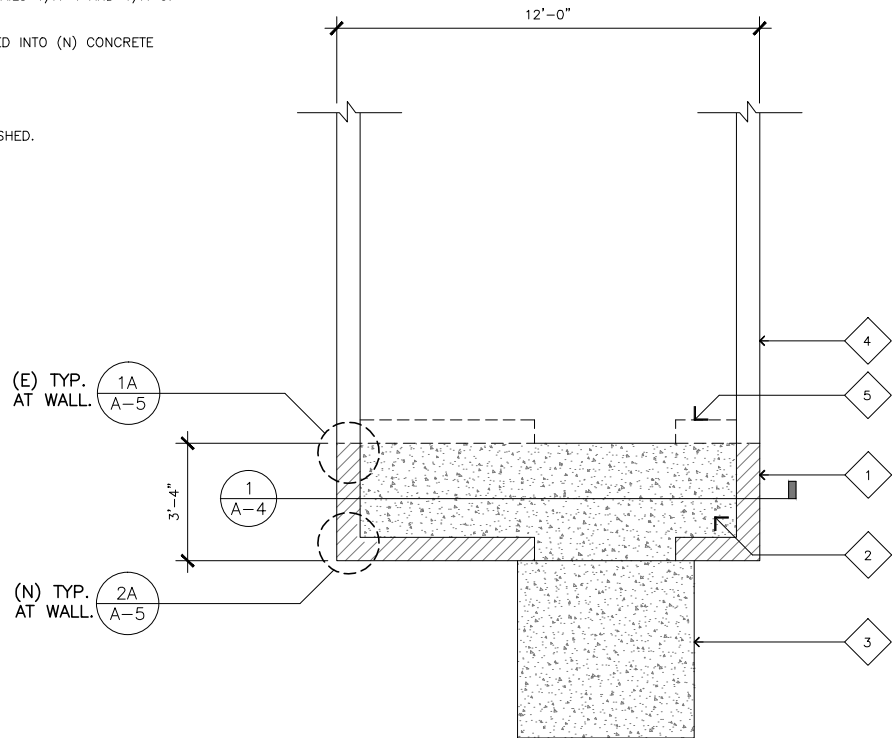
6. HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. LOCATE AND AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN ELEVATED CONCRETE SLABS.
7. USE AND INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER ICBO & MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.



SCALE:
NTS

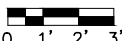
1

1	(N) SPLIT FACED BLOCK WALL, SOLID GROUTED, PAINT TO MATCH (E) CMU WALL; SEE WALL SECTIONS FOR ADDITIONAL INFO.
2	(N) CONCRETE SLAB; SEE DETAILS 1/A-4 AND 1/A-5.
3	(N) CONCRETE STOOP DOWELED INTO (N) CONCRETE SLAB EXTENSION.
4	(E) CMU WALL.
5	(E) CMU WALL TO BE DEMOLISHED.

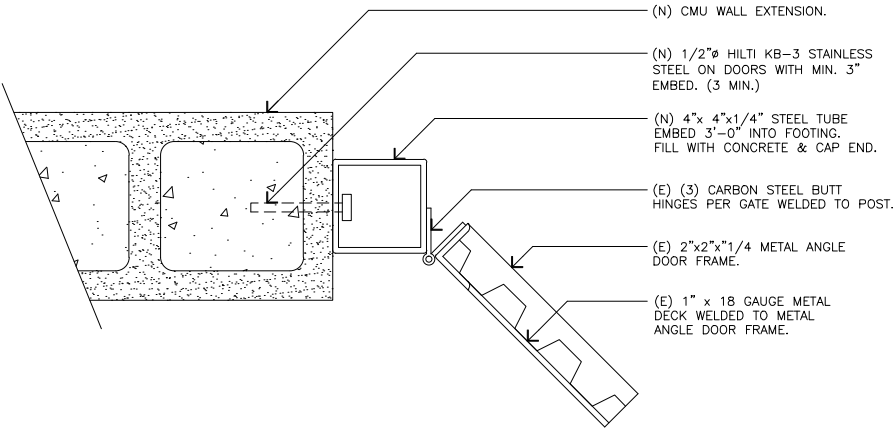


SCALE:
1/8"=1'-0"

SCALE:
$3/8" = 1' - 0"$



2

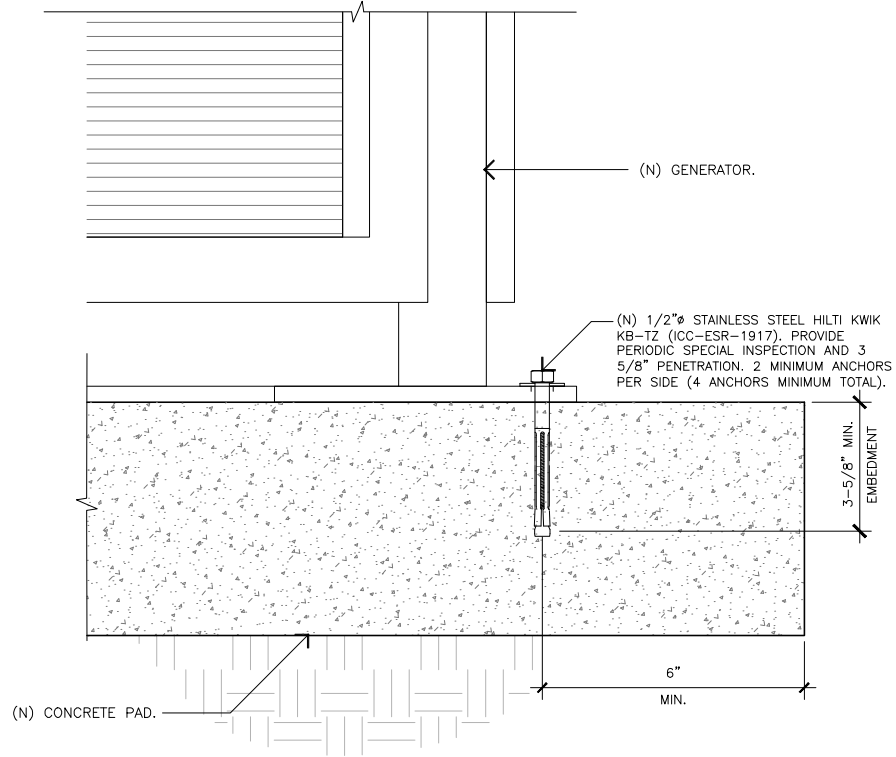


GATE PLAN

SCALE:

NONE

5

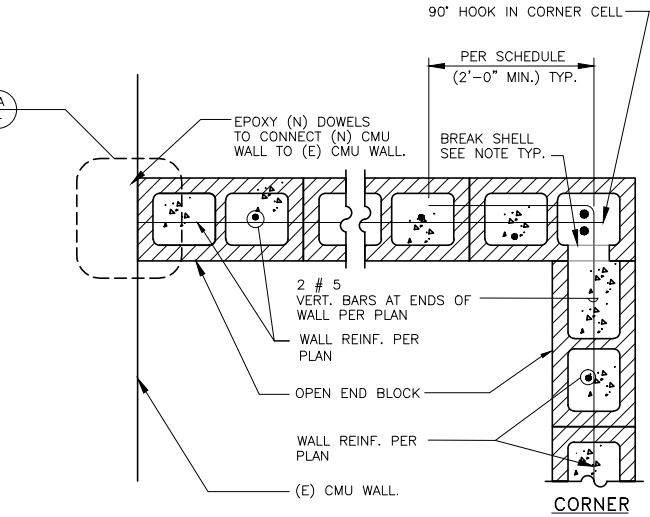


GENERATOR ANCHORAGE DETAIL

SCALE:

NTS

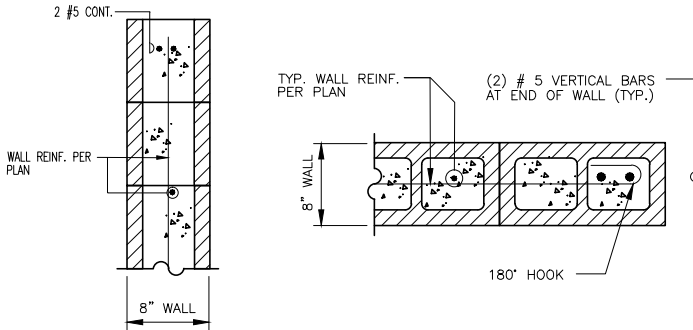
3



CMU WALL INTERSECTION REINF.

SCALE: N.T.S.

A



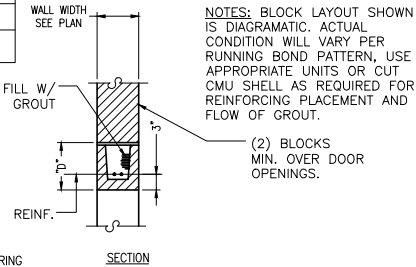
DETAIL AT TOP AND END OF WALL

SCALE: N.T.S.

B

BOND BEAM LINTEL SCHEDULE		
CLEAR SPAN	D"	REINFORCING
0" TO 3'-4"	8"	2-#4 BOT.
3'-5" TO 5'-4"	8"	2-#5 BOT.
5'-5" TO 6'-8"	8"	2-#6 BOT.

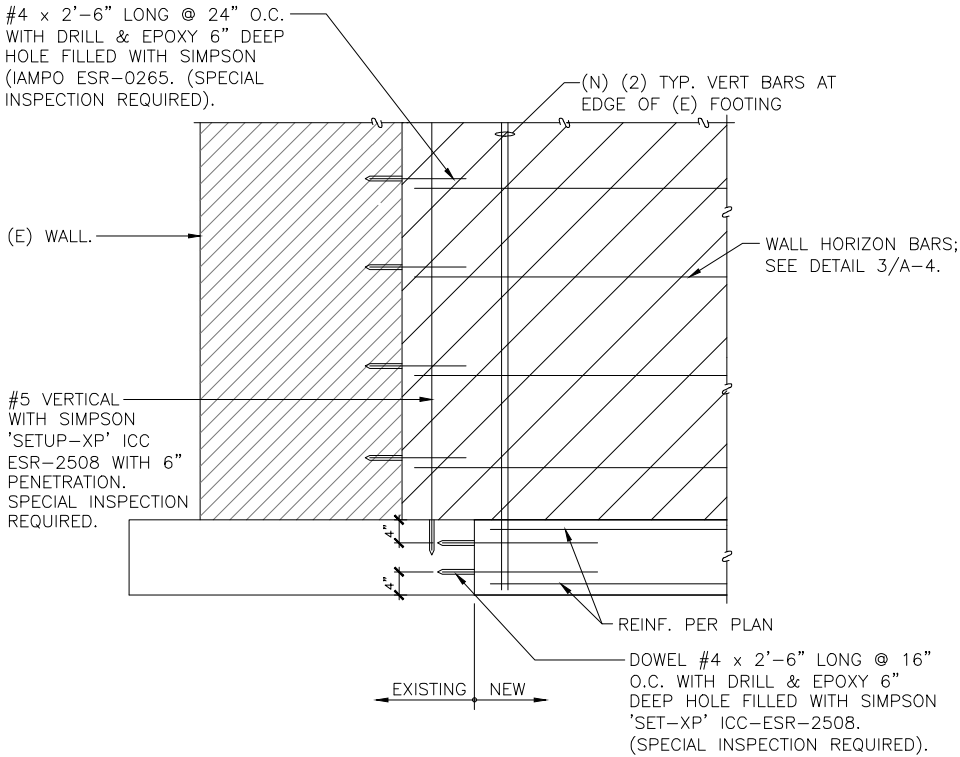
- NOTES:
- SEE THE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS.
 - PROVIDE 8" MIN. BEARING EACH END.
 - SCHEDULE APPLIES ONLY TO LINTELS NOT OTHERWISE SHOWN.
 - CONTRACTOR TO PROVIDE TEMPORARY SHORING UNTIL MASONRY HAS PROPERLY SET. (3 DAY MIN.)



BOND BEAM LINTEL DETAILS

SCALE: N.T.S.

C



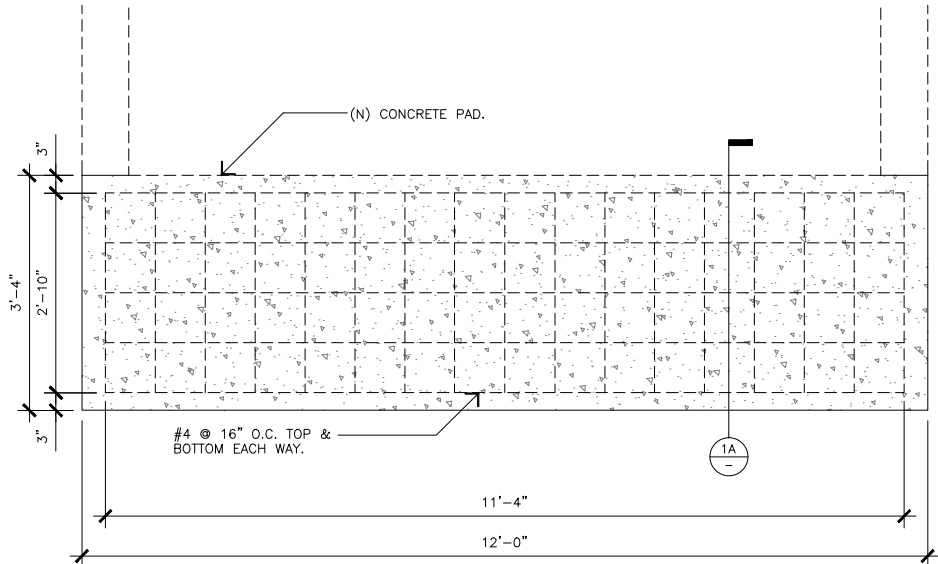
NOTE: CONT. INSPECTION REQUIRED FOR EPOXY ANCHORS.

DOWEL DETAIL

SCALE:

NTS

1A



CONCRETE PAD PLAN

SCALE:

NONE

1

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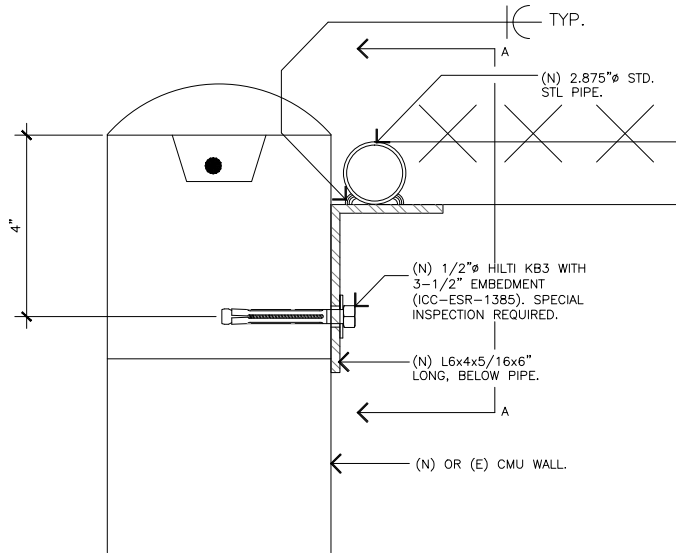
DRAWING DATES

08/25/17	STRUCTURAL DETAILS (P1-B3)
09/27/17	STRUCTURAL CHANGE (P1-B4)
10/23/17	CLIENT COMMENTS (P1-B5)
12/11/17	CLIENT COMMENTS (P1-B6)
02/27/18	CITY COMMENTS (P1-B7)
05/03/18	LANDSCAPING COMMENTS (P1-B8)
07/11/18	LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18	LANDSCAPING REVISION (P1-B10)

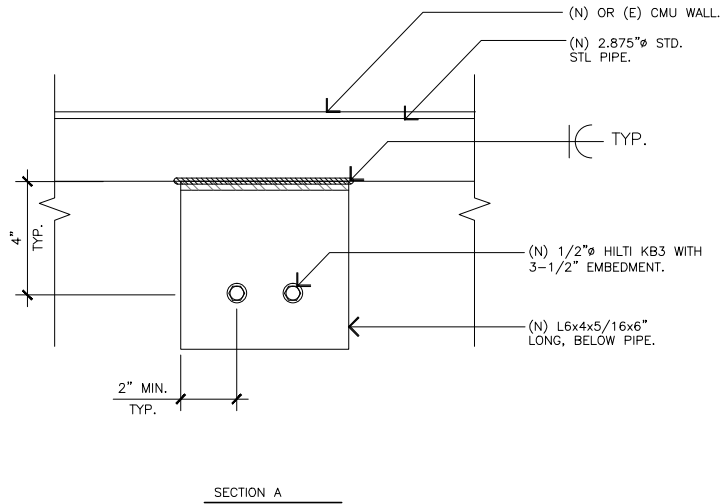
SHEET TITLE

DETAILS

A-5



NOTE:
ALL NEW STEEL SHALL BE HOT
DIPPED GALVANIZED.



SECTION A

ATTACHMENT SECTION

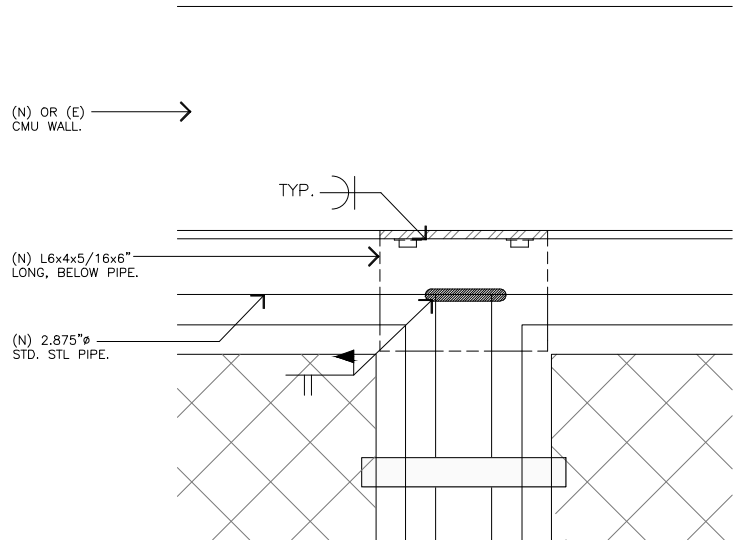
SCALE:
NTS

4

NOT USED

SCALE:
NTS

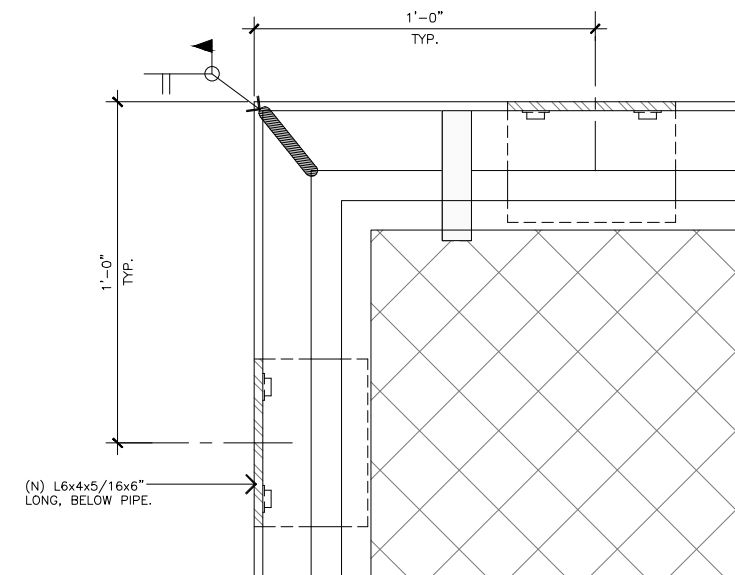
2



TOPPER RAIL WELDING

SCALE:
NTS

5

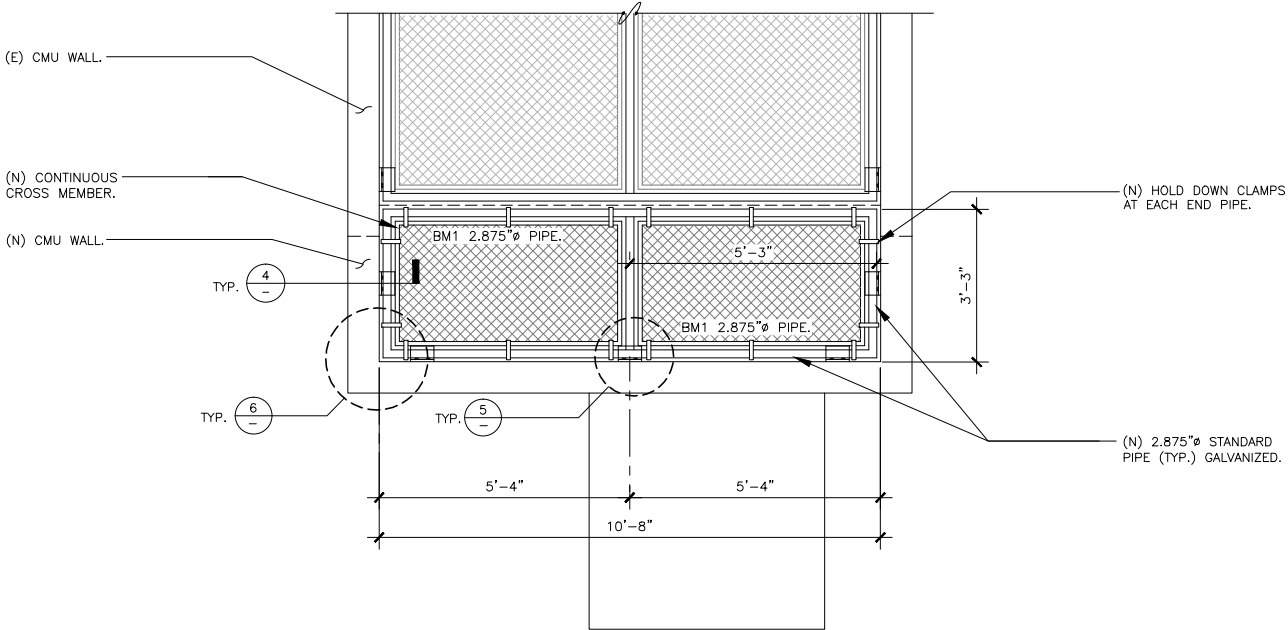


TOPPER RAIL WELDING

SCALE:
NTS

6

CHAIN LINK TOPPER



NOTE:
TOPPER ASSEMBLY SHALL BE HOT
DIPPED GALVANIZED.



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PROPRIETARY INFORMATION

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PREPARED FOR

verizon

15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
**SCRIPPS GREEN
(GENERATOR ADD)**
10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA

I.O. = 24005153
P.T.S. No. = 390471
L.C. = 264-1695
CCS83 = 1904-6255
DWG. NO. = 38351-PG#-D

DRAWING DATES
08/25/17 STRUCTURAL DETAILS (P1-B3)
09/27/17 STRUCTURAL DETAILS (P1-B4)
10/23/17 CLIENT COMMENTS (P1-B5)
12/11/17 CLIENT COMMENTS (P1-B6)
02/27/18 CITY COMMENTS (P1-B7)
05/03/18 LANDSCAPING COMMENTS (P1-B8)
07/11/18 LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18 LANDSCAPING REVISION (P1-B10)

SHEET TITLE

**CHAIN LINK LID
DETAILS**

A-6

JRA JOB NUMBER: 141119

SCALE:
NTS

1

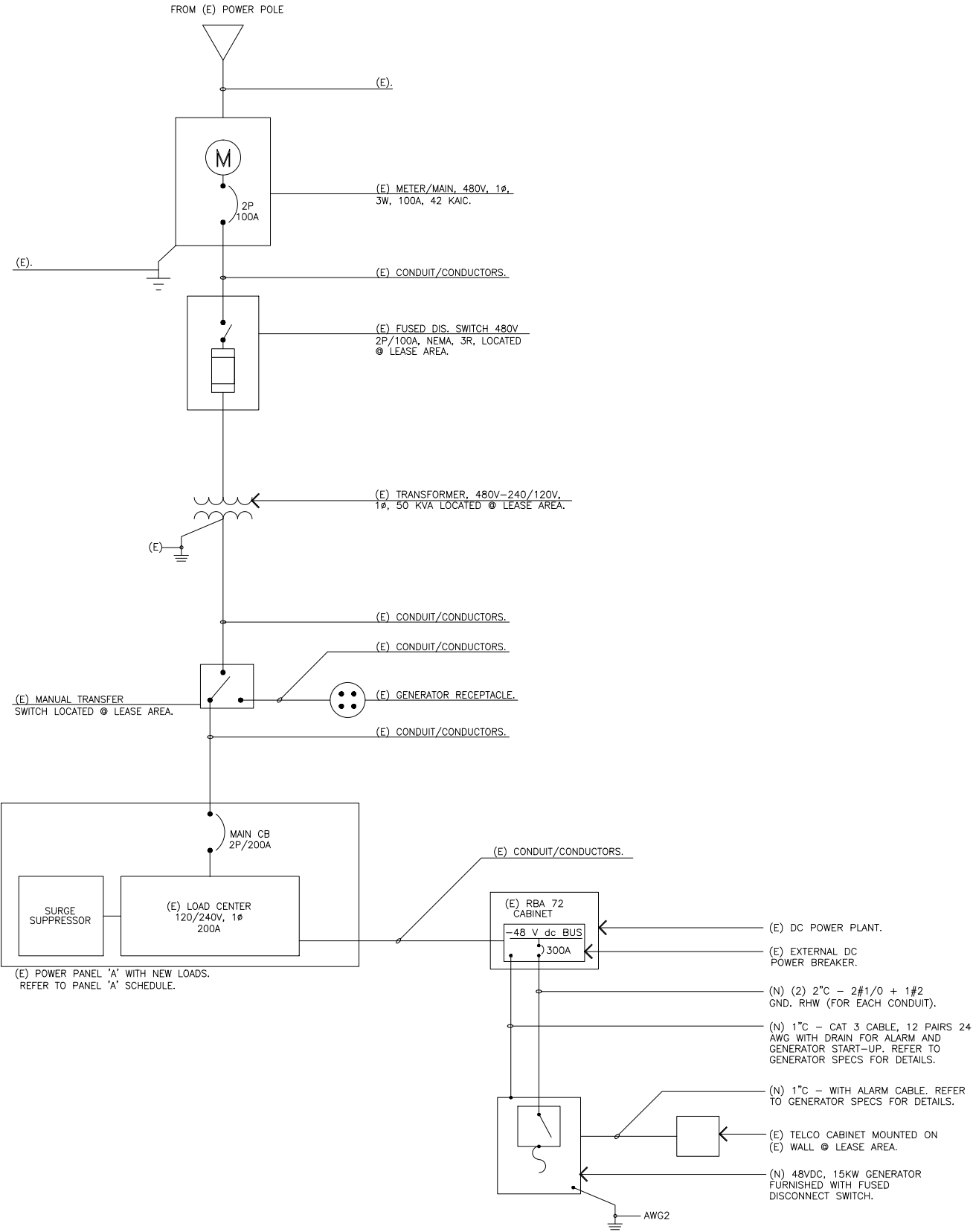
NOT USED

3

NOT USED

2

SINGLE LINE DIAGRAM



SCALE:
3/8"=1'-0"

0 1' 2' 3'

1

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verizon
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IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____

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SITE NAME
**SCRIPPS GREEN
(GENERATOR ADD)**
10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA

I.O.=24005153
P.T.S. No.=390471
L.C.=264-1695
CCSB3=1904-6255
DWG. NO.=38351-PG#-D

DRAWING DATES
08/25/17 STRUCTURAL DETAILS (P1-B3)
09/27/17 STRUCTURAL DETAILS (P1-B4)
10/23/17 CLIENT COMMENTS (P1-B5)
12/11/17 CLIENT COMMENTS (P1-B6)
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07/11/18 LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18 LANDSCAPING REVISION (P1-B10)

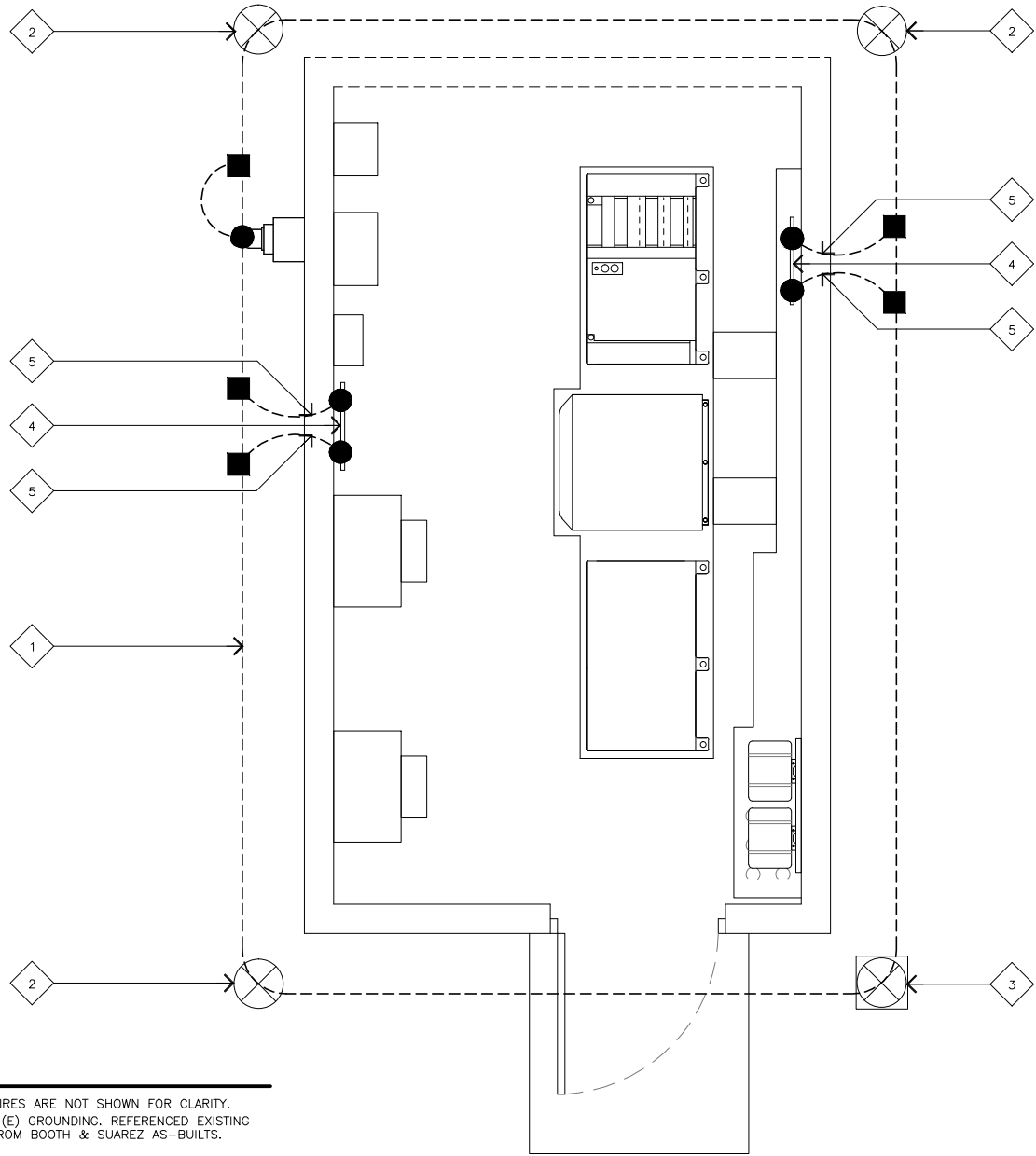
SHEET TITLE

**SINGLE LINE DIAGRAM
AND PANEL SCHEDULE**

E-1

EXISTING GROUNDING PLAN KEYNOTES

- 1 (E) GROUND RING.
- 2 (E) GROUND ROD.
- 3 (E) GROUND TEST WELL.
- 4 (E) MAIN GROUND BUS BAR.
- 5 (E) AWG 2 BCW.



- NOTES
- 1. (E) GROUND WIRES ARE NOT SHOWN FOR CLARITY.
 - 2. GC TO VERIFY (E) GROUNDING. REFERENCED EXISTING GROUNDING FROM BOOTH & SUAREZ AS-BUILTS.

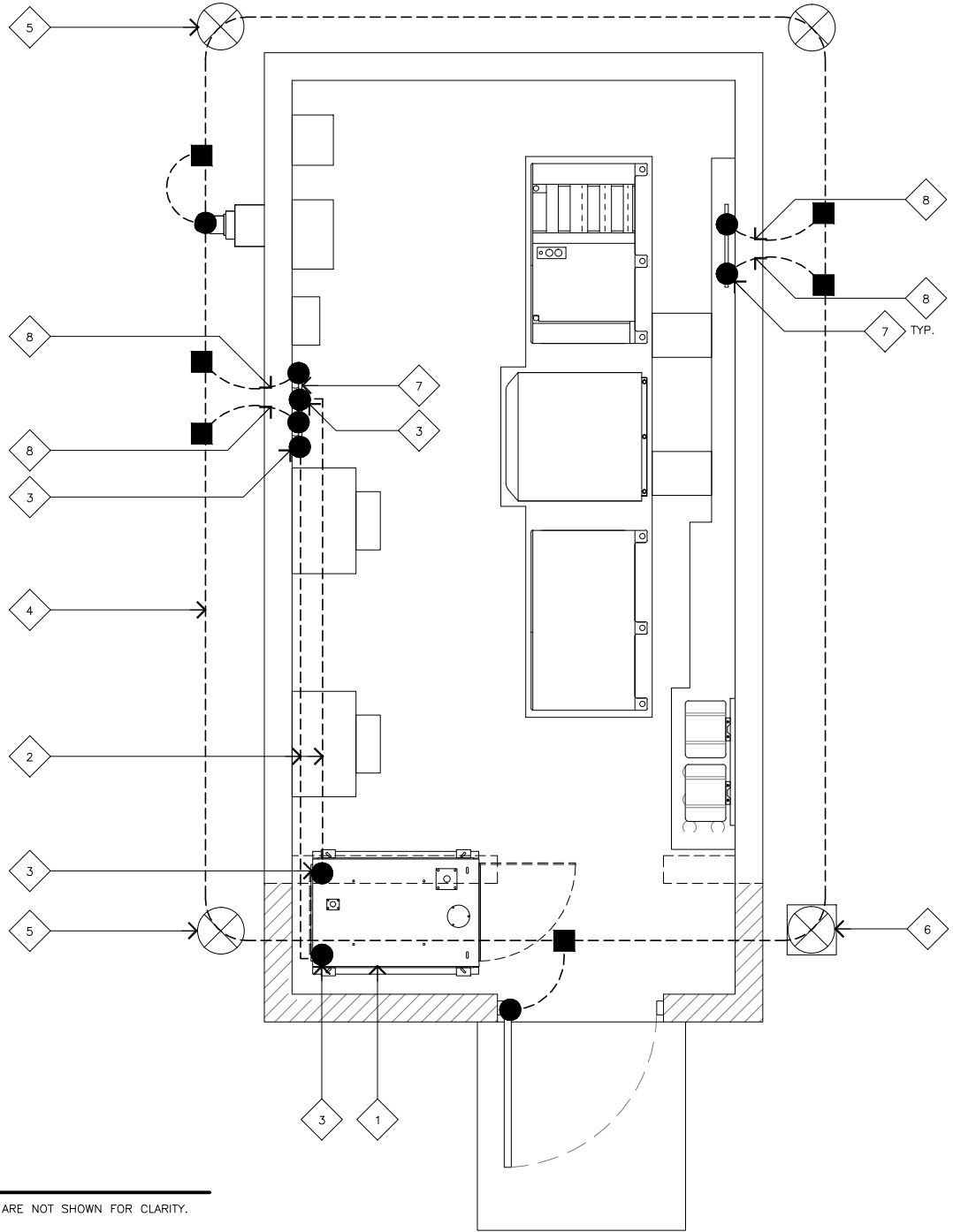
EXISTING GROUNDING PLAN

SCALE:
NTS

2

PROPOSED GROUNDING PLAN KEYNOTES

- 1 (N) 15kW DC STAND-BY GENERATOR.
- 2 (N) #2 AWG GREEN INSULATED COPPER GROUND TO (E) GROUND BUS BAR (TYP. OF 2 FOR ALL NEW CABINET EQUIPMENT.
- 3 (N) MECHANICAL CONNECTION.
- 4 (E) GROUND RING.
- 5 (E) GROUND ROD.
- 6 (E) GROUND TEST WELL.
- 7 (E) MAIN GROUND BUS BAR.
- 8 (E) AWG 2 BCW.



- NOTES
- 1. (E) GROUND WIRES ARE NOT SHOWN FOR CLARITY.

PROPOSED GROUNDING PLAN

SCALE:
NTS

1



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PREPARED FOR



15505 SAND CANYON AVENUE

IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME

SCRIPPS GREEN

(GENERATOR ADD)

10299 NORTH TORREY PINES ROAD

SAN DIEGO, CALIFORNIA

I.O.=24005153

P.T.S. No.=390471

L.C.=264-1695

CCS83=1904-6255

DWG. NO.=38351-PG#-D











DRAWING DATES	
08/25/17	STRUCTURAL DETAILS (P1-B3)
09/27/17	STRUCTURAL CHANGE (P1-B4)
10/23/17	CLIENT COMMENTS (P1-B5)
12/11/17	CLIENT COMMENTS (P1-B6)
02/27/18	CITY COMMENTS (P1-B7)
05/03/18	LANDSCAPING COMMENTS (P1-B8)
07/11/18	LDR-ENGINEERING COMMENTS (P1-B9)
08/30/18	LANDSCAPING REVISION (P1-B10)

SHEET TITLE

GROUNDING PLAN

E-2

JRA JOB NUMBER: 141119

PLANT LEGEND							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	HGHT/SPRD	FORM	FUNCTION
EXISTING TREES (NOT PART OF ORIGINAL APPROVED PERMIT)							
	Pinus torreyana	Torrey Pine	refer to plan for caliper size and height (cal/hgt)				
	Pinus canariensis	Canary Island Pine	refer to plan for caliper size and height (cal/hgt)				
	Eucalyptus parvula	Small-leaved Gum	refer to plan for caliper size and height (cal/hgt)				
	Acacia Auriculiformis	Earleaf Acacia	refer to plan for caliper size and height (cal/hgt)				
EXISTING SHRUBS (NOT PART OF ORIGINAL APPROVED PERMIT)							
	Leptospermum s.	New Zealand Tea Tree	refer to plan for height and spread (hgt/sprd)				
	Cistus purpureus	Purple Rockrose	refer to plan for height and spread (hgt/sprd)				
EXISTING TREES (AS PART OF ORIGINAL APPROVED PERMIT)							
	Pinus torreyana	Torrey Pine	refer to plan for caliper size and height (cal/hgt)				
	Pinus canariensis	Canary Island Pine	refer to plan for caliper size and height (cal/hgt)				
PROPOSED SHRUBS (AS PART OF ORIGINAL APPROVED PERMIT)							
	Heteromeles arbutifolia	Toyon	5 Gal	14	6' / 6'	Medium Shrub	Screening
	Rhus integrifolia	Lemonade Berry	5 Gal	8	8' / 12'	Large Shrub	Screening

MAINTENANCE NOTE:
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY VERIZON WIRELESS. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY VERIZON WIRELESS. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

IRRIGATION NOTE:
AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0405(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. PROPOSED PLANT MATERIAL TO RECEIVE DRIP IRRIGATION

CITY OF SAN DIEGO NOTE:
ALL LANDSCAPE AN IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

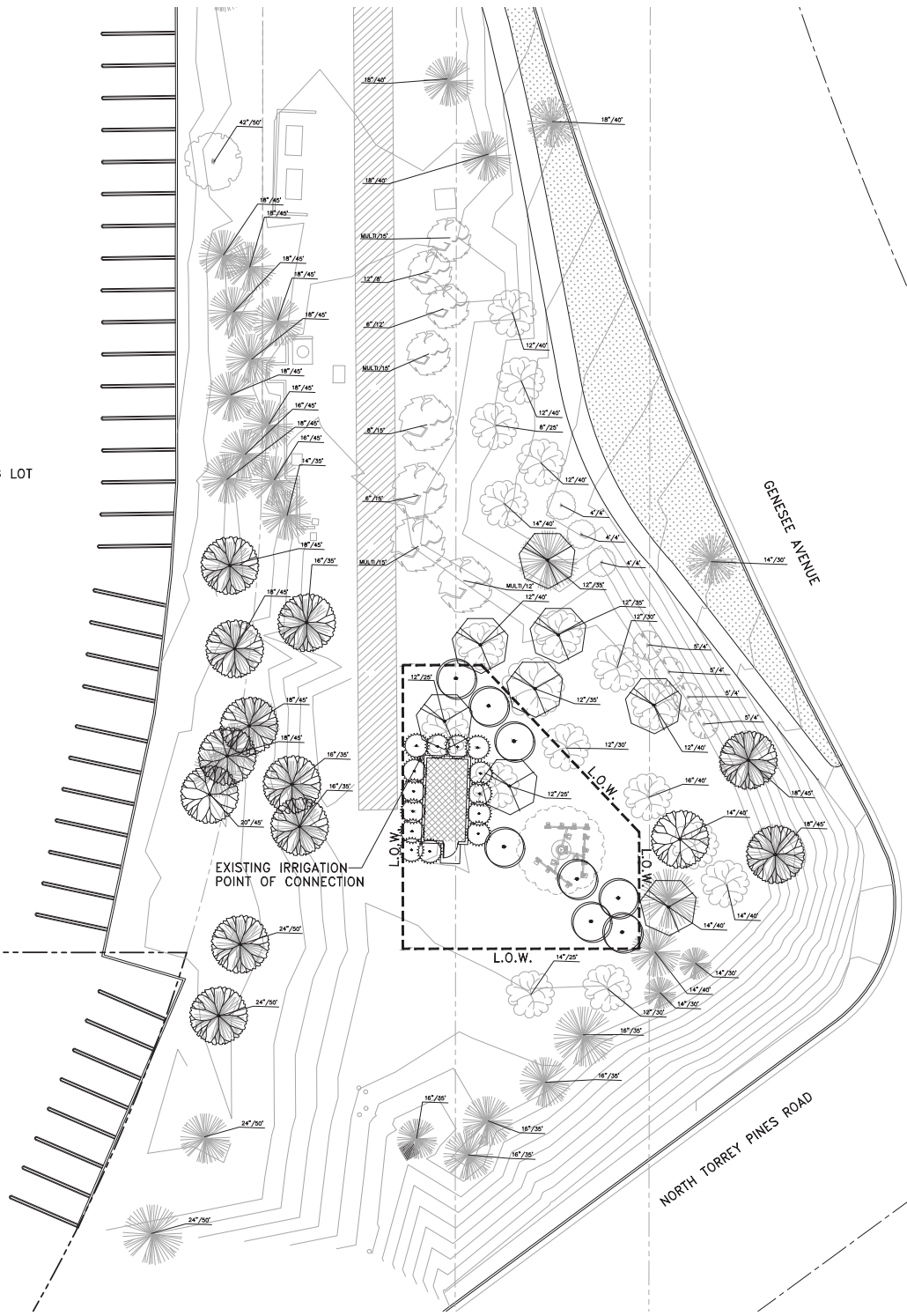
PROTECT-IN-PLACE NOTE:
EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

LANDSCAPE DAMAGE NOTE:
IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND / OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

ORIGINAL APPROVAL PERMIT NOTE:
1. ALL TREES SHOWN ON ORIGINAL APPROVED PLAN ARE EXISTING AND IN GOOD HEALTH. NO ADDITIONAL TREES REQUIRED TO PLANT.
2. NO SHRUBS SHOWN ON THE ORIGINAL APPROVED PLAN EXIST. THEREFORE, THE REQUIRED (8) SHRUBS ARE TO BE PLANTED AND PROVIDED IRRIGATION.

EXISTING BUILDING

EXISTING PARKING LOT



CS
DG

6965 El Camino Real
Suite 105-482
Carlsbad, CA 92009
(P) 760-272-5742
(F) 760-454-3097

CS Design Group, Inc.

SCALE:
1"=20'

N

0 10' 20'

PREPARED FOR



15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME
**SCRIPPS GREEN
(GENERATOR ADD)**
10299 NORTH TORREY PINES ROAD
SAN DIEGO, CALIFORNIA

L.O.=24005153
P.T.S. No.=380471
L.C.=264-1695
CCS83=1904-6255
DWG. NO.=38351-PG#-D

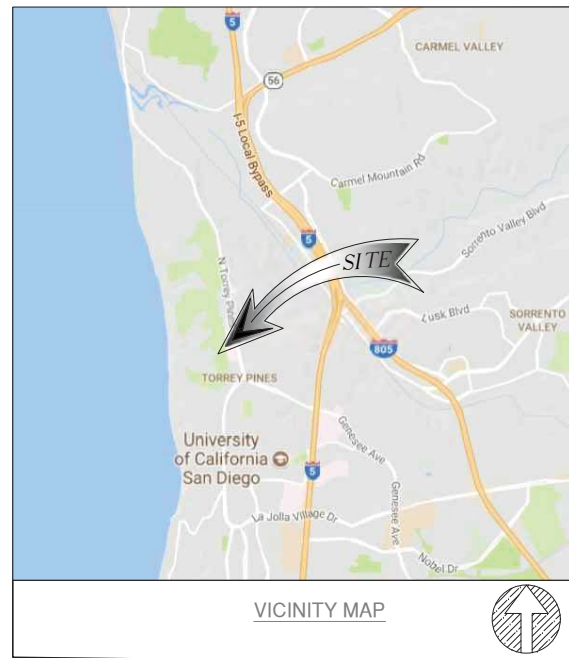
DRAWING DATES
05/15/17 PRELIM CD'S (P1-B1)
07/18/17 100% CD'S (P1-B2)
08/25/17 STRUCTURAL DETAILS (P1-B3)
09/27/17 STRUCTURAL CHANGE (P1-B4)
10/23/17 CLIENT COMMENTS (P1-B5)
12/11/17 CLIENT COMMENTS (P1-B6)
02/27/18 CITY COMMENTS (P1-B7)

SHEET TITLE

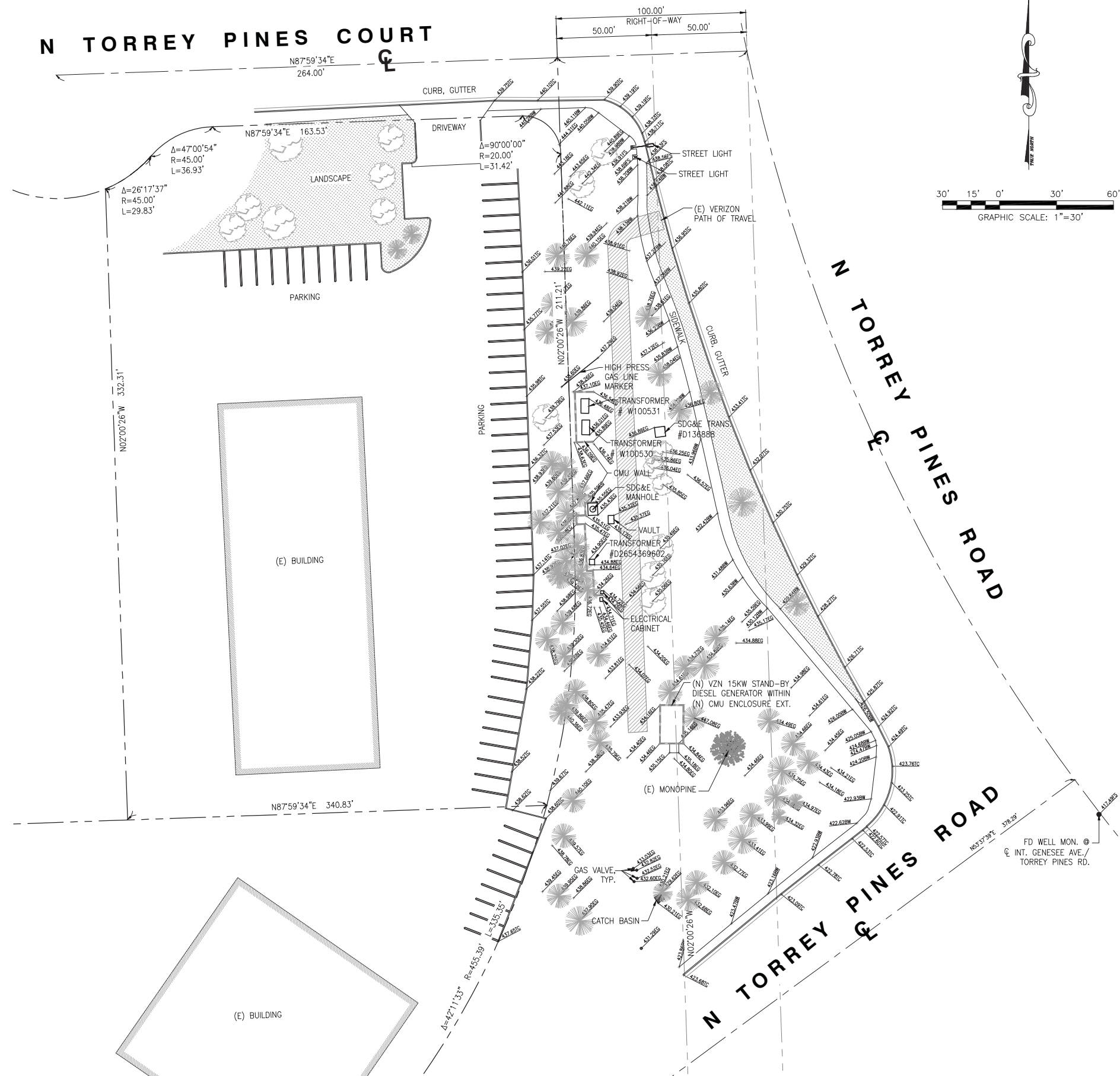
LANDSCAPE PLAN

L-1

JRA JOB NUMBER: 141119



N TORREY PINES COURT



NOTES:

1. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP. THE PROPERTY LINES AND EASEMENTS SHOWN HEREON ARE FROM RECORD INFORMATION AS NOTED HEREON. **AJK ENGINEERING AND SURVEY** TRANSLATED THE TOPOGRAPHIC SURVEY TO RECORD INFORMATION USING FOUND MONUMENTS SHOWN HEREON.
2. THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.
3. FIELD SURVEY COMPLETED ON SEPTEMBER 15, 2017.

BASIS OF BEARING

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 6.

BENCH MARK

THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "TRAK"

LEGEND

	CENTER LINE		TREE
	PROPERTY LINE		PINE TREE
	CHAIN-LINK FENCE		BUSH
	WOOD FENCE		PALM TREE
	EASEMENT LINE		EXISTING CONCRETE
	CMU WALL		EXISTING GRASS/TURF
	PROPERTY LINE		
	POWER POLE		
	ROOFTOP		
	TOP OF CURB		
	TOP OF WALL		
	TOP OF ANTENNA		
	BOTTOM OF ANTENNA		
	TOP OF STAIR		
	CENTER OF VENT		
	RAISED PLATFORM		
	EXISTING LIGHT		
	EXISTING ELECTRICAL MH		
	EXISTING POLE		
	EXISTING LIGHT STANDARD		
	ROOF DRAIN		
	EXISTING SATELLITE DISH		
	EXISTING ANTENNA		
	EXISTING SIGN		
	EXISTING TRAFFIC SIGNAL		
	EXISTING MICROWAVE DISH		
	EXISTING SEWER MANHOLE		
	POWER POLE		
	GUY WIRE ANCHOR		
	CATCH BASIN		
	FIRE HYDRANT		
	VALVE (UTILITY)		

PROPERTY LINES ARE BASED FROM
MAP NO. 8395 DATED OCT. 8, 1976

ISSUE STATUS

[illegible]

10005 MUIRLANDS BLVD.
SUITE "E"
IRVINE, CA 92618
PH: 714.624.9027

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15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618



JRA VZ

GENERATOR
LA JOLLA

10299 N TORREY PINES ROAD
SAN DIEGO, CA 92037

SHEET TITLE:
TOPOGRAPHIC
SURVEY

LS-1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.