



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: November 29, 2018 REPORT NO. PC-18-078

HEARING DATE: December 6, 2018

SUBJECT: MPF 10170 Sorrento Valley Road, Suite B, Process Three Decision

PROJECT NUMBER: [585472](#)

REFERENCE: Report to the Hearing Officer, MPF 10170 Sorrento Valley Road, Suite B, [Report No. 18-068](#) (Attachment 4)

OWNER/APPLICANT: CIRE STNL, LLC, Owner / SVRMC, LLC, Applicant

### SUMMARY

Issue(s): Should the Planning Commission approve or deny an appeal of the Hearing Officer's decision to approve a 36,361 square-foot Marijuana Production Facility (MPF) within an existing 41,124-square-foot, two-story building located at 10170 Sorrento Valley Road, Suite B, within the Torrey Pines Community Plan area.

Staff Recommendation(s): Deny the appeal and uphold the Hearing Officer's decision to Approve Conditional Use Permit No. 2071481.

Community Planning Group Recommendation: On September 13, 2018, the Torrey Pines Community Planning Board (TPCPB) voted 6-0-1 to recommend approval of the project with two recommendations. Recommendation one, to provide an aggressive fire protection system; and recommendation two, to provide a more comprehensive plan for storm water (Attachment 4).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(existing facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 21, 2018, and the opportunity to appeal that determination ended July 6, 2018.

Fiscal Impact Statement: None. All costs associated with the processing of this project are paid from a deposit account funded by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The current use is an office space with no housing on-site, the proposed project is a Marijuana Production Facility and would not have an impact on housing.

## BACKGROUND

As mandated by the passage of Proposition 64, the Adult Use of Marijuana Act (AUMA), by State of California voters on Nov. 8, 2016, the City of San Diego approved San Diego Municipal Code (SDMC) regulations to outline the City's definition and requirements for marijuana businesses. The AUMA allows adults 21 years of age or older to legally grow, possess, and use cannabis for nonmedicinal purposes, with certain restrictions. In 2017, the City introduced amendments to the Land Development Code and the Local Coastal Program related to the testing, retail sales and production of marijuana.

### *Marijuana Outlets:*

[Ordinance No. O-20793](#), relating to Marijuana Outlets, was introduced in February 2017 and instituted a new retail sales use, called a Marijuana Outlet (Outlet), replacing the previous Medical Marijuana Consumer Cooperatives (MMCC) use. Retail marijuana sales commenced when the State began issuing licenses for commercial marijuana activities on January 1, 2018.

### *Marijuana Production Facilities (MPF) and Marijuana Testing Facilities:*

On October 17, 2017, [Ordinance No. O-20858](#) and [Ordinance No. O-20859](#) were approved to regulate the marijuana industry including commercial cultivation, distribution and storage, and production of medical and recreational marijuana and marijuana products through approval of a Conditional Use Permit (Process 3) for a new separately regulated industrial use category known as a Marijuana Production Facility (MPF); and to allow by right (Process 1) testing labs for commercial testing of marijuana & marijuana products.

As defined by the SDMC a [marijuana production facility](#) means individual or combined uses, operating with a Conditional Use Permit in accordance with section 141.1004, engaged in the agricultural raising, harvesting, and processing of marijuana-, wholesale distribution and storage of marijuana and marijuana products; and production of goods from marijuana and marijuana products consistent with the requirements of State of California Statutes and the Food and Agriculture, Consumer Affairs, and Public Health regulations.

The total number of MPFs is limited to forty (40) City-wide, with no limitations on number per Council District, within light and heavy industrial zones. MPF's require compliance with [SDMC section 141.1004](#), which requires a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance requirement of 100 feet from a residential zone. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with [SDMC Chapter 4, Article 2, Division 15](#) ("Division 15: Marijuana Outlets, Marijuana Production Facilities, and Transportation of Marijuana" which provides guidelines for lawful operation.

The proposed MPF 10170 Sorrento Valley Road, Suite B project (Project) is a Conditional Use Permit (CUP) application, deemed complete on December 12, 2017, requesting to operate a 36,361 square-foot Marijuana Production Facility (MPF) within an existing 41,124-square-foot, two-story building located at 10170 Sorrento Valley Road, Suite B. The 2.80-acre site is in the IL-3-1 zone, within the Torrey Pines Community Plan area in Council District 1. The MPF operations would include the commercial cultivation, distribution and storage, production and testing of medical and recreational marijuana and marijuana products.

On September 19, 2018, the Hearing Officer approved the Project and on October 3, 2018, Sean St. Peter, filed a Development Permit Appeal Application (Attachment 3). The issues raised in the appeal application are regarding access and parking. This appeal will be the first MPF project considered by the Planning Commission. As of the drafting of this report, a total of 21 MPFs have been approved by the Hearing Officer (some currently in the appeal period) with approximately 44 CUP applications currently in various stages in the review and appeal process.

### PROJECT APPEAL DISCUSSION

The appellant's project appeal issues are provided below along with City staff responses:

**Appeal Issue No. 1:** *"The project does not comply with the regulations of the Land Development Code. The project's access and parking is inconsistent with the requirements of the development code."*

**Staff's Response:** The project site has an existing driveway directly on Sorrento Valley Road which serves the site's loading area and five parking spaces. The project proposes to take its primary access from an existing driveway on Sorrento Valley Road located on the parcel immediately to the east of the project site. As identified on the Plan Sheet A102 (Attachment 5) and disclosed on the Grant Deed (Attachment 7) of the property, the project has legal and assured ingress and egress rights in coordination with the adjacent lot. Both driveways are proposed to be reconstructed to meet current City standards. The project will provide a total of 140 parking spaces, where a minimum of 112 parking spaces are required per the SDMC. The proposed project complies with all pertinent regulations of the Land Development Code.

**Appeal Issue No. 2:** *"The project presented to the Hearing Officer fails to identify key information related to access and parking. The appellant is in the process of gathering the specific details to present to staff and the planning commission. Additional supporting materials will be submitted within the next 5 days."*

**Staff's Response:** Staff has reviewed and confirmed the Plan Sheet A102 within the Hearing Officer report was not consistent with the latest Plan Sheet A102 reviewed by staff. A copy of the corrected Plan Sheet A102 is provided (Attachment 5), which shows the pedestrian accessible path from the public right-of-way to the proposed facility. This issue was not discussed during the Hearing Officer hearing meeting on September 19, 2018.

On November 12, 2018, Gina Austin with Austin Legal Group submitted a letter in support of the appeal (Attachment 8). Ms. Austin's discussion issues are provided below along with City staff responses.

The site plan shows a proposed accessible pedestrian path (highlighted in green) running parallel to an existing driveway. The path is labeled "PROPOSED ACCESSIBLE PEDESTRIAN PATH FROM ROW". The driveway is labeled "EXISTING DRIVEWAY TO REMAIN". To the right of the path is an "EXISTING CONCRETE PARKING LOT". To the left of the path are "PARKING SPACES 8 THROUGH 14" which are to be provided with electric vehicle charging stations. The plan also shows "PROPOSED PARKING SPACES ALONG DRIVEWAY OVERHANG LANDSCAPE AREA BY 3'". Other features include "EXISTING FIRE", "EXISTING DRIVEWAY TO REMAIN", "EXISTING CONCRETE PARKING LOT", "PROPOSED ACCESSIBLE PEDESTRIAN PATH FROM ROW", "PARKING SPACES 8 THROUGH 14 SHALL BE PROVIDED WITH ELECTRIC VEHICLE CHARGING STATIONS", and "PROPOSED PARKING SPACES ALONG DRIVEWAY OVERHANG LANDSCAPE AREA BY 3'". Dimensions and other details are provided throughout the plan.

**Figure - 1**

**Staff's Response:** Refer to Attachment 5 for the corrected Plan Sheet A102, which illustrates the proposed pedestrian accessible path between the existing structure and parking stalls. This proposed accessible path will be implemented as part of the Building Permit process as required under Condition No. 12 of the draft permit (Attachment 2).

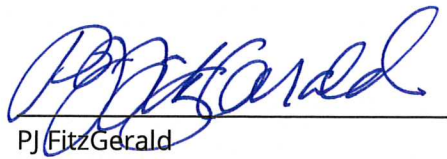
City staff has reviewed the proposed application for a CUP and supports that the Project is consistent with the recommended land use and development standards in effect for the site. Staff has provided draft Findings (Attachment 1) and permit conditions (Attachment 2) to support approval of the Project. Staff recommends that the Planning Commission deny the appeal and uphold the Hearing Officer's decision to approve Conditional Use Permit No. 20171481.



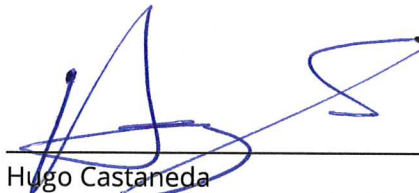
## ALTERNATIVES

1. Uphold the Hearing Officer decision to Approve Conditional Use Permit No. 20171481, with modifications.
2. Approve the project appeal and Deny Conditional Use Permit No. 20171481, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



PJ FitzGerald  
Assistant Deputy Director  
Development Services Department



Hugo Castaneda  
Development Project Manager  
Development Services Department

### Attachments:

1. Draft Permit Resolution with Findings
2. Draft Permit with Conditions
3. Copy of Appeal
4. Report to the Hearing Officer No. 18-068, and Memorandum.
5. Corrected Plan Sheet A102
6. Aerial of Site and Site Vicinity Photos
7. Grant Deed
8. Support of Appeal Letter

PLANNING COMMISSION RESOLUTION NO. XXXX-PC  
CONDITIONAL USE PERMIT NO. 2071481  
**MPF 10170 SORRENTO VALLEY ROAD, SUITE B - PROJECT NO. 585472**

WHEREAS, CIRE STNL, LLC, a California limited liability company, Owner, and SVRMC, LLC, a California limited liability company, Permittee, filed an application with the City of San Diego for a permit to operate a 36,361-square-foot Marijuana Production Facility within an existing 41,124-square-foot two-story office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2071481), on portions of a 2.80-acre site;

WHEREAS, the project site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan;

WHEREAS, the project site is legally described as all that portion of acre Lot 4 of Sorrento Lands and Townsite, according to Map thereof No. 483, filed February 9, 1888, lying northeasterly of the right-of-way of Atchison, Topeka and Santa Fe Railroad Co., formerly California Southern Railroad;

WHEREAS, on June 21, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 19, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2071481 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 3, 2018, an appeal of the Hearing Officer decision to approve Conditional Use Permit No. 2071481 was filed by Sean St. Peter, which was considered and denied by the Planning Commission on December 6, 2018, NOW, THEREFORE,

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 6, 2018.

**A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]**

**1. Findings for all Conditional Use Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The proposed project requests a Conditional Use Permit to operate a 36,361 square-foot Marijuana Production Facility (MPF) within an existing 41,124 square-foot, two-story office building. The 2.80-acre site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan.

The Torrey Pines Community Plan designates the site for Light Industrial development. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting non-industrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including non-industrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because MPF's are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed 36,361 square-foot MPF will be located within an existing 41,124 square-foot, two-story office building. The project proposes interior improvements that include non-load bearing partitions, doors, lighting, security cameras and system, millwork, finishes throughout and associated mechanical, electrical and plumbing improvements. Other minor site improvements are proposed consistent with the City of San Diego requirements. No exterior building alterations would occur. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Public improvements would include the removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standards on Sorrento Valley Road and dedicate an additional three feet on Sorrento Valley Road to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.

MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC), section 141.1004, which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance of 100 feet from a residential zone. The proposed MPF complies with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed project will be required to comply with the development conditions as described in the Conditional Use Permit No. 2071481. The Conditional Use Permit No. 2071481 will be valid for five years and may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in the Conditional Use Permit No. 2071481. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed 36,361 square-foot MPF will be located within an existing 41,124 square-foot, two-story office building located at 10170 Sorrento Valley Road, Suite B within an existing two-story building on a 2.80-acre site. The site is located in the IL-3-1 zone in the Torrey Pines Community Plan area. The site was developed in 1985. The project proposes interior improvements including a reception area, offices, restrooms, indoor loading/unloading area, cultivation area, and drying and curing area. Other minor site improvements are proposed consistent with the City of San Diego requirements.

MPF's are allowed in the IL-3-1 Zone of the Torrey Pines Community Plan with a Conditional Use Permit. The proposed use requires compliance with San Diego Municipal Code (SDMC), Section 141.1004 and Chapter 4, Article 2, Division 15. Section 141.1004 requires a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. The proposed MPF complies with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements, expressed as conditions in the Permit, include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours.

The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. Therefore, the proposed MPF will comply with the regulations of the Land Development Code.

**d. The proposed use is appropriate at the proposed location.**

The proposed 36,361 square-foot MPF within an existing 41,124 square-foot, two-story office building is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the

Torrey Pines Community Plan. The Torrey Pines Community Plan designates the site for Light Industrial development. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because MPF's are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit. The proposed MPF, classified as industrial, is consistent with the community plan and General Plan. The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. The proposed Marijuana Production Facility is a compatible use for this location with a Conditional Use Permit. Therefore, the proposed MPF is an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 2071481 is hereby GRANTED by the Planning Commission

to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2071481, a copy of which is attached hereto and made a part hereof.

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Hugo Castaneda  
Development Project Manager  
Development Services

Adopted on: December 6, 2018

IO#: 24007576



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007568

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Conditional Use Permit No. 2071481

**MPF 10170 SORRENTO VALLEY ROAD, SUITE B PROJECT NO. 585472**  
PLANNING COMMISSION

This Conditional Use Permit No. 2071481 is granted by the Planning Commission of the City of San Diego to CIRE STNL, LLC, a California limited liability company, Owner, and SVRMC, LLC, a California limited liability company, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 2.80-acre site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone, within the Torrey Pines Community Plan area. The project site is legally described as all that portion of acre Lot 4 of Sorrento Lands and Townsite, according to Map thereof No. 483, filed February 9, 1888, lying northeasterly of the right-of-way of Atchison, Topeka and Santa Fe Railroad Com, formerly California Southern Railroad.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot, two-story office building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 6, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot, two-story office building. The operation shall include the production of marijuana products consistent with the requirements of the State of California statutes and the California Departments of Food and Agriculture, Consumer Affairs and Public Health regulations; and the wholesale distribution and storage of marijuana products;
- b. The Marijuana Production Facility operations will include commercial cultivation, distribution and storage, production and testing of medical and recreational marijuana and marijuana products;
- c. Off-street parking; and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 6, 2021.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on December 6, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **BUILDING OFFICIAL REQUIREMENTS:**

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private landscaping and irrigation within Sorrento Valley Road public right of way.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standard SDG- 159 on Sorrento Valley Road, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate an additional three feet on Sorrento Valley Road to provide a 10-foot-wide curb-to-property-line distance, satisfactory to the City Engineer.

**PLANNING/DESIGN REQUIREMENTS:**

16. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
17. All operations shall be conducted indoors within a secured structure. All equipment and storage shall be also located within a secure structure.
18. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.
19. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
20. The name and emergency contact telephone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public right-of-way to the address.
21. A permit shall be obtained as required pursuant to SDMC Chapter 4, Article 2, Division 15.

22. The retail sale of marijuana and marijuana products shall only be conducted by a marijuana outlet in accordance with SDMC Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than another marijuana production facility, a testing lab, or a marijuana outlet.

23. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.

24. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

25. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 6, 2018 by Resolution No. XXXX-PC.

Conditional Use Permit/PTS Approval No.: 2071481

Date of Approval: December 6, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Hugo Castaneda  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**CIRE STNL, LLC**

a California limited liability company  
Owner

By \_\_\_\_\_

Name:

Title:

**SVRMC, LLC**

a California limited liability company  
Permittee

By \_\_\_\_\_

Name:

Title:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

# Development Permit/ Environmental Determination Appeal Application

November 2017

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Upon request, this information is available in alternative formats for persons with disabilities.  
DS-3032 (11-17)





THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: August 28, 2018 REPORT NO. [HO-18-068](#)

HEARING DATE: September 5, 2018

SUBJECT: MPF 10170 Sorrento Valley Road, Suite B, Process Three Decision

PROJECT NUMBER: [585472](#)

OWNER/APPLICANT: CIRE STNL, LLC, Owner / SVRMC, LLC, Applicant

### SUMMARY

Issue: Should the Hearing Officer approve operation of a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot two-story office building at 10170 Sorrento Valley Road, Suite B within the Torrey Pines Community Plan area?

Staff Recommendation: Approve Conditional Use Permit No. 2071481.

Community Planning Group Recommendation: At the time of printing of this report, the Torrey Pines Community Planning Board (TPCPB) has not taken any action on this project, has not forwarded a recommendation or a vote at the time of the printing of this report. The project applicant has decided to continue processing their application for the City's public hearing and should a recommendation be provided by the TPCPB, then it will be provided to the decision-maker. It should be noted the TPCPB did not conduct meetings during the months of July and August.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The environmental exemption determination for this project was made on June 21, 2018, and the opportunity to appeal that determination ended July 6, 2018.

## BACKGROUND

The Torrey Pines Community Plan designates the site for Light Industrial development (Attachment 2). The 2.80-acre site is located at 10170 Sorrento Valley Road in the IL-3-1 zone (Attachment 1). The building is currently being used for office purposes. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses. The site is presently developed with industrial buildings constructed in 1985 (Attachment 3).

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because Marijuana Production Facilities (MPF's) are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with [San Diego Municipal Code \(SDMC\), section 141.1004](#), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance requirement of 100 feet from a residential zone. Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

## DISCUSSION

### Project Description

The project proposes to operate a 36,361 square-foot MPF within an existing 41,124-square-foot, two-story office building at 10170 Sorrento Valley Road, Suite B. The 2.80-acre site is in the IL-3-1 zone, within the Torrey Pines Community Plan area in Council District 1. The MPF operations would include the commercial cultivation, distribution and storage, production and testing of medical and recreational marijuana and marijuana products. (Attachment 4).

The project proposes interior improvements that include non-load bearing partitions, doors, lighting, security cameras and system, millwork, finishes throughout and associated mechanical, electrical and plumbing improvements. Other minor site improvements are proposed consistent with the City of San Diego requirements. No exterior building alterations would occur. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Public improvements would include the removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standards on Sorrento Valley Road and dedicate an additional three feet on Sorrento Valley Road to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.


### Conclusion

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project complies with all development regulations of the IL-3-1 zone and no deviations are required to approve the project. Staff has provided draft findings (Attachment 5) to support the proposed development and draft conditions of approval (Attachment 6). Staff is recommending the Hearing Officer approve the Project as presented.

### ALTERNATIVES

1. Approve Conditional Use Permit No. 2071481, with modifications.
2. Deny Conditional Use Permit No. 2071481, if the findings required to approve the project cannot be affirmed.

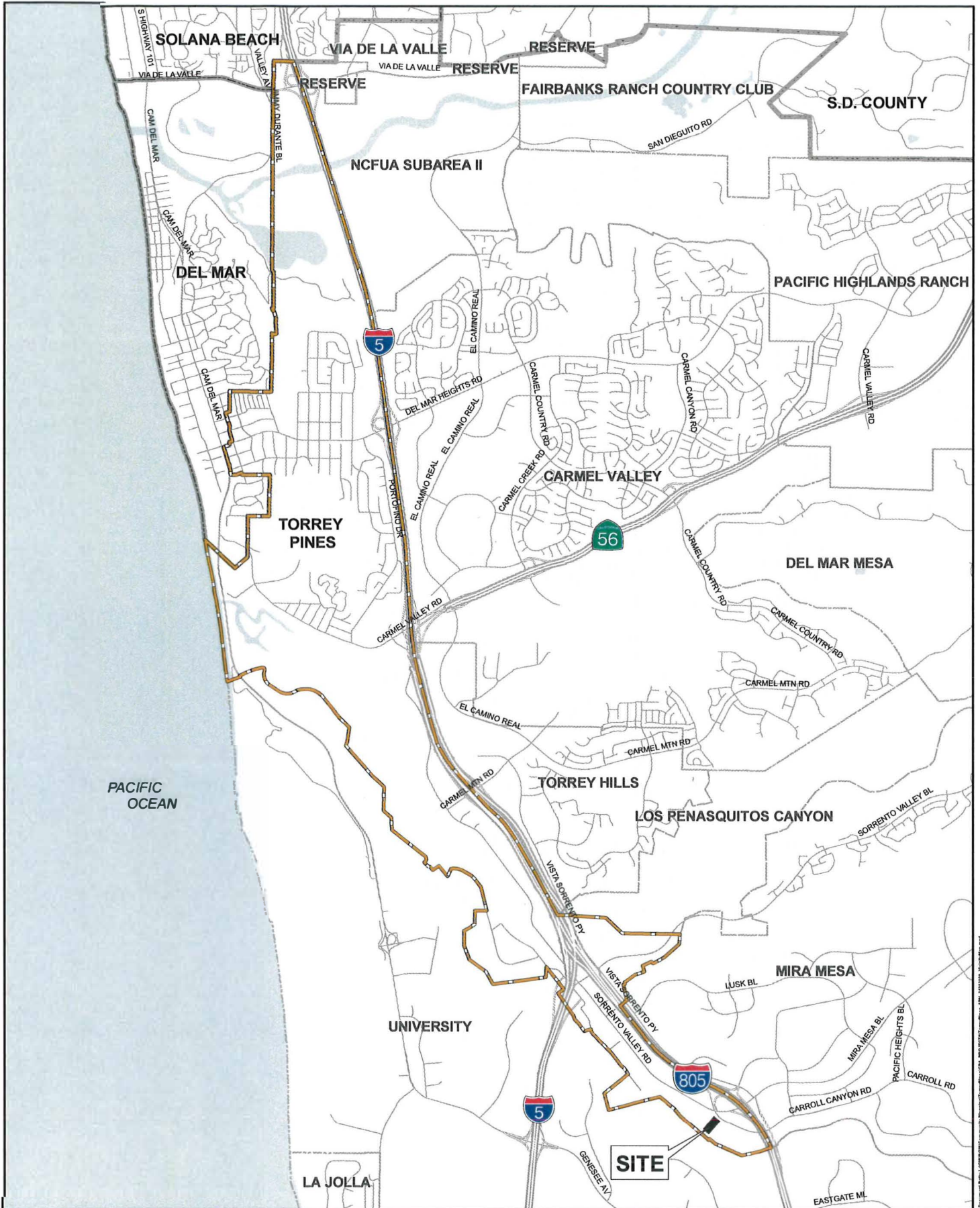
Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Hugo Castaneda', is written over a horizontal line.

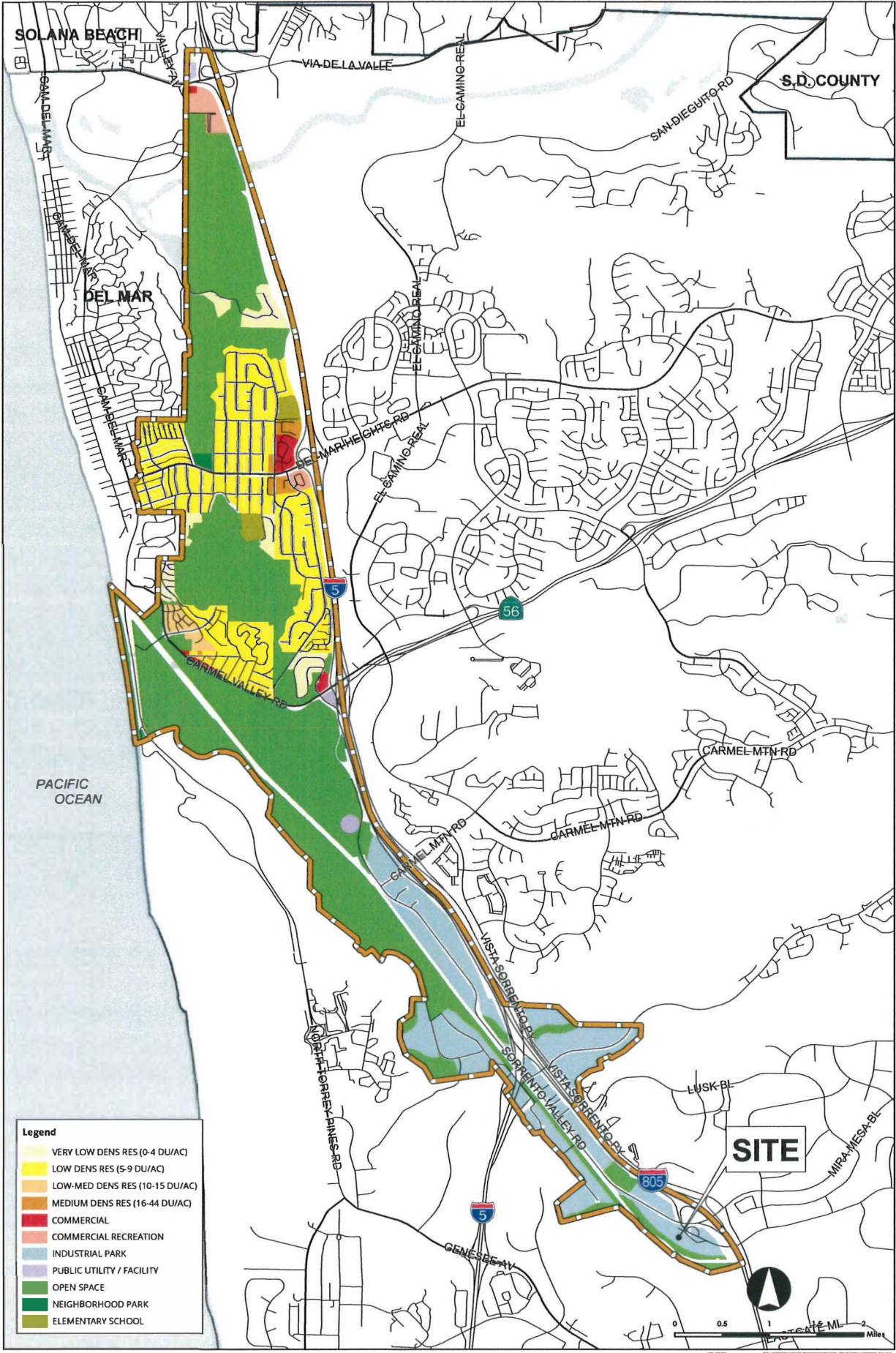
Hugo Castaneda  
Development Project Manager

### Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption and Notice of Right to Appeal Environmental Determination
7. Ownership Disclosure Statement
8. Project Plans





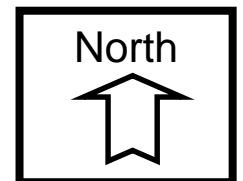






## Aerial Photo

MPF 10170 Sorrento Valley Rd, Suite B  
PROJECT NO. 585472



HEARING OFFICER RESOLUTION NO. HO-XXXX  
CONDITIONAL USE PERMIT NO. 2071481  
**MPF 10170 SORRENTO VALLEY ROAD, SUITE B - PROJECT NO. 585472**

WHEREAS, CIRE STNL, LLC, a California limited liability company, Owner, and SVRMC, LLC, a California limited liability company, Permittee, filed an application with the City of San Diego for a permit to operate a 36,361-square-foot Marijuana Production Facility within an existing 41,124-square-foot two-story office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2071481), on portions of a 2.80-acre site;

WHEREAS, the project site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan;

WHEREAS, the project site is legally described as all that portion of acre Lot 4 of Sorrento Lands and Townsite, according to Map thereof No. 483, filed February 9, 1888, lying northeasterly of the right-of-way of Atchison, Topeka and Santa Fe Railroad Co., formerly California Southern Railroad;

WHEREAS, on June 21, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;



WHEREAS, on September 5, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2071481 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 5, 2018.

**A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]**

**1. Findings for all Conditional Use Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The proposed project requests a Conditional Use Permit to operate a 36,361 square-foot Marijuana Production Facility (MPF) within an existing 41,124 square-foot, two-story office building. The 2.80-acre site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan.

The Torrey Pines Community Plan designates the site for Light Industrial development. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting non-industrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including non-industrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because MPF's are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing

firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed 36,361 square-foot MPF will be located within an existing 41,124 square-foot, two-story office building. The project proposes interior improvements that include non-load bearing partitions, doors, lighting, security cameras and system, millwork, finishes throughout and associated mechanical, electrical and plumbing improvements. Other minor site improvements are proposed consistent with the City of San Diego requirements. No exterior building alterations would occur. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Public improvements would include the removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standards on Sorrento Valley Road and dedicate an additional three feet on Sorrento Valley Road to provide a 10 foot curb-to-property-line distance, satisfactory to the City Engineer.

MPF's are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC), section 141.1004, which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPF's also require a minimum distance of 100 feet from a residential zone. The proposed MPF complies with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPF's must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed project will be required to comply with the development conditions as described in the Conditional Use Permit No. 2071481. The Conditional Use Permit No. 2071481 will be valid for five years and may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in the Conditional Use Permit No. 2071481. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons

patronizing, residing or working within the surrounding area. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed 36,361 square-foot MPF will be located within an existing 41,124 square-foot, two-story office building located at 10170 Sorrento Valley Road, Suite B within an existing two-story building on a 2.80-acre site. The site is located in the IL-3-1 zone in the Torrey Pines Community Plan area. The site was developed in 1985. The project proposes interior improvements including a reception area, offices, restrooms, indoor loading/unloading area, cultivation area, and drying and curing area. Other minor site improvements are proposed consistent with the City of San Diego requirements.

MPF's are allowed in the IL-3-1 Zone of the Torrey Pines Community Plan with a Conditional Use Permit. The proposed use requires compliance with San Diego Municipal Code (SDMC), Section 141.1004 and Chapter 4, Article 2, Division 15. Section 141.1004 requires a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. The proposed MPF complies with the separation requirements between uses set forth in SDMC Section 141.1004 (a). Security requirements, expressed as conditions in the Permit, include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours.

The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. Therefore, the proposed MPF will comply with the regulations of the Land Development Code.

**d. The proposed use is appropriate at the proposed location.**

The proposed 36,361 square-foot MPF within an existing 41,124 square-foot, two-story office building is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone of the Torrey Pines Community Plan. The Torrey Pines Community Plan designates the site for Light Industrial development. The purpose and intent of the IL-3-1 zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a

range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 allows a mix of light industrial, office, and commercial uses.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The General Plan identifies a city-wide shortage of land suitable for manufacturing activities and a need to protect a reserve of manufacturing land from non-manufacturing uses. The Industrial and Business Park designation would permit light manufacturing uses, thereby providing additional land suitable for manufacturing activities.

The proposed project would promote the policies of the General Plan because MPF's are industrial/manufacturing uses. Industrial development in the Torrey Pines community is located in Sorrento Valley, which contains approximately 380 acres of industrially-designated property. Industrial development in Sorrento Valley includes manufacturing firms, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit. The proposed MPF, classified as industrial, is consistent with the community plan and General Plan. The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. The proposed Marijuana Production Facility is a compatible use for this location with a Conditional Use Permit. Therefore, the proposed MPF is an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2071481 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2071481, a copy of which is attached hereto and made a part hereof.

---

Hugo Castaneda  
Development Project Manager  
Development Services

Adopted on: September 5, 2018

IO#: 24007576

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007568

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Conditional Use Permit No. 2071481

**MPF 10170 SORRENTO VALLEY ROAD, SUITE B PROJECT NO. 585472**

Hearing Officer

This Conditional Use Permit No. 2071481 is granted by the Hearing Officer of the City of San Diego to CIRE STNL, LLC, a California limited liability company, Owner, and SVRMC, LLC, a California limited liability company, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 2.80-acre site is located at 10170 Sorrento Valley Road, Suite B in the IL-3-1 zone, within the Torrey Pines Community Plan area. The project site is legally described as all that portion of acre Lot 4 of Sorrento Lands and Townsite, according to Map thereof No. 483, filed February 9, 1888, lying northeasterly of the right-of-way of Atchison, Topeka and Santa Fe Railroad Com, formerly California Southern Railroad.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot, two-story office building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 5, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a 36,361 square-foot Marijuana Production Facility within an existing 41,124 square-foot, two-story office building. The operation shall include the production of marijuana products consistent with the requirements of the State of California statutes and the California Departments of Food and Agriculture, Consumer Affairs and Public Health regulations; and the wholesale distribution and storage of marijuana products;
- b. The Marijuana Production Facility operations will include commercial cultivation, distribution and storage, production and testing of medical and recreational marijuana and marijuana products;
- c. Off-street parking; and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 20, 2021.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on September 20, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).



8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **BUILDING OFFICIAL REQUIREMENTS:**

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private landscaping and irrigation within Sorrento Valley Road public right of way.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, removal of two existing driveways serving the site and replace them with two 24-foot-wide driveways per current City Standard SDG- 159 on Sorrento Valley Road, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate an additional three feet on Sorrento Valley Road to provide a 10-foot-wide curb-to-property-line distance, satisfactory to the City Engineer.

**PLANNING/DESIGN REQUIREMENTS:**

16. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
17. All operations shall be conducted indoors within a secured structure. All equipment and storage shall be also located within a secure structure.
18. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.
19. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
20. The name and emergency contact telephone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public right-of-way to the address.
21. A permit shall be obtained as required pursuant to SDMC Chapter 4, Article 2, Division 15.

22. The retail sale of marijuana and marijuana products shall only be conducted by a marijuana outlet in accordance with SDMC Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than another marijuana production facility, a testing lab, or a marijuana outlet.
23. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.
24. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
25. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 5, 2018 by Resolution No. HO-XXXX.

Conditional Use Permit/PTS Approval No.: 2071481  
Date of Approval: September 5, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Hugo Castaneda  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**CIRE STNL, LLC**  
a California limited liability company  
Owner

By \_\_\_\_\_  
Name:  
Title:

**SVRMC, LLC**  
a California limited liability company  
Permittee

By \_\_\_\_\_  
Name:  
Title:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

**NOTICE OF EXEMPTION****ATTACHMENT 6***(Check one or both)*

TO: ☒ Recorder/County Clerk  
P.O. Box 1750, MS A-33  
1600 Pacific Hwy, Room 260  
San Diego, CA 92101-2400

FROM: City of San Diego  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, CA 92101

☐ Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, CA 95814

**Project Name:** MPF 10170 Sorrento Valley Road, Suite B

**Project No.:** 585472

**Project Location-Specific:** 10170 Sorrento Valley Road, Suite B, San Diego, CA 92121

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** The project is a Conditional Use Permit (CUP) to operate a 36,361-square-foot Marijuana Production Facility (MPF) in a suite within an existing 41,124-square-foot warehouse building at 10170 Sorrento Valley Road, Suite B in the Torrey Pines Community Plan area. The 2.90-acre site is designated Light Industrial and zoned IL-3-1. It is subject to the Coastal Overlay Zone (Non-Appealable and Appealable), Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, FAA Part 77 Noticing Area for MCAS Miramar (580-590), Airport Influence Area for MCAS Miramar Review Area 1, ALUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident Potential Zone 2, Sensitive Vegetation, MHPA, and MSCP Vegetation - Southern Riparian Woodland.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** SVRMC, LLC  
Renny Bowden  
1495 Pacific Highway, Suite 275  
San Diego, CA 92101  
(619) 987-8296

**Exempt Status: (CHECK ONE)**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- ☒ Categorical Exemption: CEQA Section 15301 (Existing Facilities)

**Reasons why project is exempt:** The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, a minor modification of an existing WCF, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

**Lead Agency Contact Person:** Anna L. McPherson AICP

**Telephone:** (619) 446-5276

## ATTACHMENT 6

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ( ) Yes ( ) No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Amal. MGR

/Senior Planner

July 9, 2018

Signature/Title

Date

Check One:

(X) Signed By Lead Agency

( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:



THE CITY OF SAN DIEGO

DATE OF NOTICE: June 21, 2018

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007576

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**PROJECT NO:** 585472  
**PROJECT NAME:** MPF 10170 Sorrento Valley Road, Suite B  
**COMMUNITY PLAN AREA:** Torrey Pines  
**COUNCIL DISTRICT:** 1  
**LOCATION:** 10170 Sorrento Valley Road, Suite B, San Diego, CA 92121

**PROJECT DESCRIPTION:** The project is a Conditional Use Permit (CUP) to operate a 36,361-square-foot Marijuana Production Facility (MPF) in a suite within an existing 41,124-square-foot warehouse building at 10170 Sorrento Valley Road, Suite B in the Torrey Pines Community Plan area. The 2.90-acre site is designated Light Industrial and zoned IL-3-1. It is subject to the Coastal Overlay Zone (Non-Appealable and Appealable), Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, FAA Part 77 Noticing Area for MCAS Miramar (580-590), Airport Influence Area for MCAS Miramar Review Area 1, ALUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident Potential Zone 2, Sensitive Vegetation, MHPA, and MSCP Vegetation - Southern Riparian Woodland.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** CEQA Exemption 15301 (Existing Facilities)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, as included in the Project Description of this notice, is not an expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

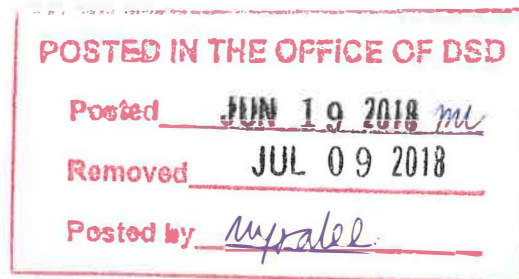
**CITY PROJECT MANAGER:** John Fisher  
**MAILING ADDRESS:** 1222 First Avenue, MS 501  
San Diego, CA 92101  
**PHONE NUMBER/E-MAIL:** (619) [446-5231](tel:446-5231)/[jsfisher@sanidiego.gov](mailto:jfisher@sanidiego.gov)

---

On June 21, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 6, 2018). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	<b>FORM DS-318</b>  October 2017
---	---	--	--

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title:** SDR Production **Project No. For City Use Only:** 585472  
**Project Address:** 10170 Sorrento Valley Rd., San Diego CA 92101

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? CA Corporate Identification No. 46-2145283  
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: CIRE STNL, LLC - Trevor Smith, Co-Manager of CIRE Management, LLC, Manager of CIRE STNL, LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 530 B Street, Suite 2050  
 City: San Diego State: CA Zip: 92101  
 Phone No.: (310) 547-1466 Ext.130 Fax No.: (858) 367-5884 Email: tsmith@cireequity.com  
 Signature: [Signature] Date: 11/07/2017  
 Additional pages Attached: ☐ Yes ☒ No

**Applicant**

Name of Individual: SVRMC, LLC -Renny Bowden ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency  
 Street Address: 1495 Pacific Highway, Suite 275  
 City: San Diego State: CA Zip: 92101  
 Phone No.: (619) 987-8296 Fax No.: (858) 408-3400 Email: rennybowden@gmail.com  
 Signature: [Signature] Date: 11/07/2017  
 Additional pages Attached: ☐ Yes ☒ No

**Other Financially Interested Persons**

Name of Individual: Lighthouse Strategies, LLC -Michael Hayford ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency  
 Street Address: 1495 Pacific Highway, Suite 275  
 City: San Diego State: CA Zip: 92101  
 Phone No.: (619) 838-8492 Fax No.: \_\_\_\_\_ Email: michael@lhslc.com  
 Signature: [Signature] Date: 11/07/2017  
 Additional pages Attached: ☒ Yes ☐ No

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	<b>City of San Diego</b> <b>Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM</b> <b>DS-318</b>  <b>October 2017</b>
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☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other \_\_\_\_\_

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**Property Owner**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

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 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

**Other Financially Interested Persons**

Name of Individual: Lighthouse Strategies, LLC -Ross C Goodman Esq. ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency  
 Street Address: 1495 Pacific Highway, Suite 275  
 City: San Diego State: CA Zip: 92101  
 Phone No.: (702) 217-0500 Fax No.: (702) 385-5088 Email: ross@rosscgoodman.com  
 Signature:  Date: 11/07/2017  
 Additional pages Attached: ☒ Yes ☐ No

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 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

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 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No

**Other Financially Interested Persons**

Name of Individual: Lighthouse Strategies, LLC -Tim Walters ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency  
 Street Address: 1495 Pacific Highway, Suite 275  
 City: San Diego State: CA Zip: 92101  
 Phone No.: (617) 594-5812 Fax No.: \_\_\_\_\_ Email: timw@usctp.com  
 Signature: Tim Walters Date: 11/07/2017  
 Additional pages Attached: ☒ Yes ☐ No





3956 30th Street, San Diego, CA 92104  
techn-e-us.com    sustainablearchitect.org  
o 619-940-5814    m 313-595-5814

CONSULTANTS

PROPERTY OWNER

10170 Sorrento Valley Rd.  
San Diego CA. 92121

CIRE Equity  
530 B. St. San Diego CA. 92121

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
6/20/2018	10:31:01 AM	

PROJECT NO:	1731
CAD DWG FILE:	G001-G004 COVER SHEET.DWG
DRAWN BY:	A.S., B.P., C.G., S.V.
CHK'D BY:	A.S.

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SHEET TITLE

COVER SHEET

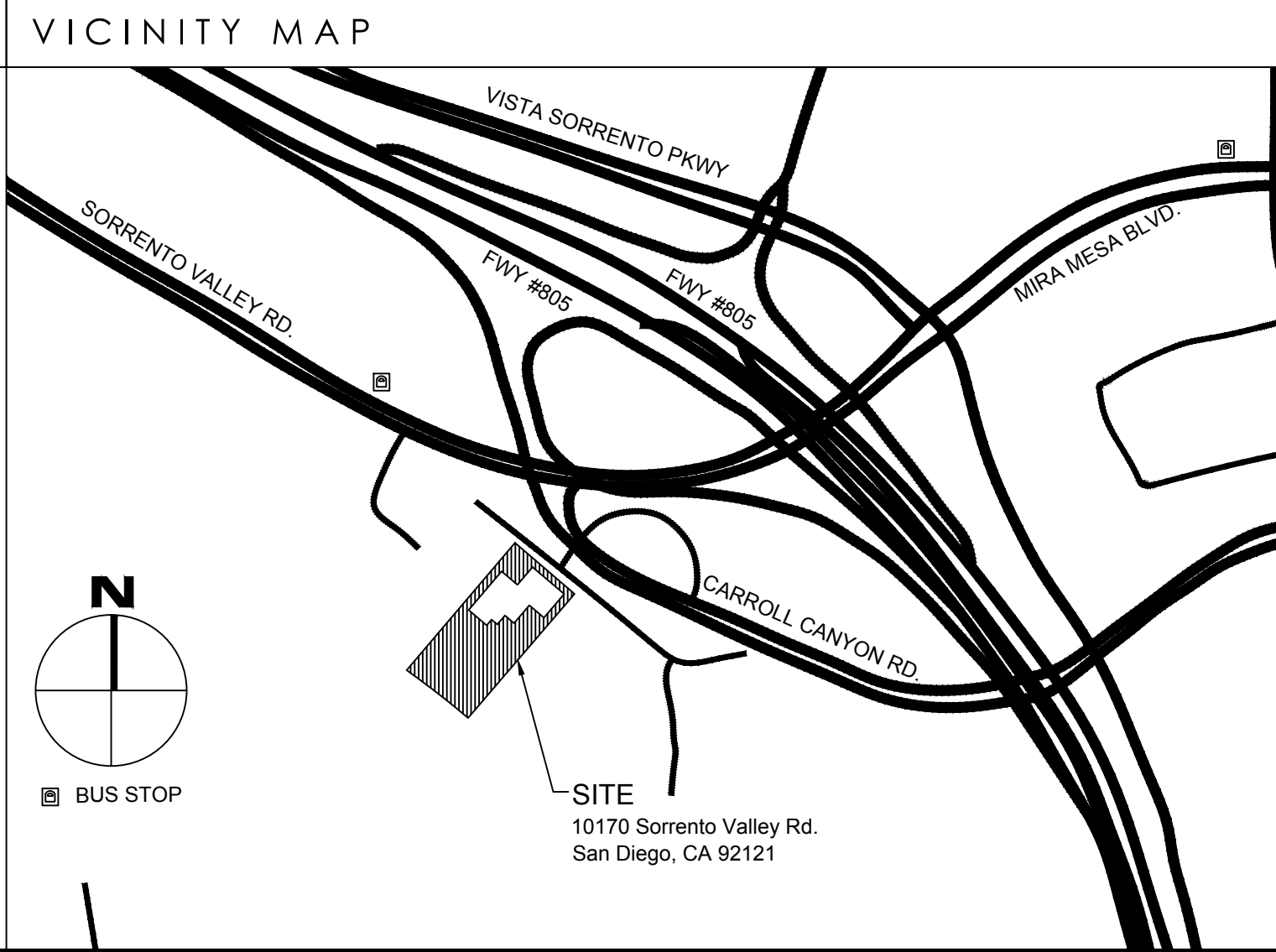
G001

PROJECT INFORMATION				10170 Sorrento Valley Rd.
PROJECT ADDRESS:				10170 Sorrento Valley Rd. San Diego, CA 92121
ASSESSORS PARCEL NUMBER:				343-130-09-00
LEGAL DESCRIPTION:				Lot: 4 Map Ref: 000483 Abbreviated Description: LOT:4 CITY:SAN DIEGO SUBD:SORRENTO LANDS & TOWNSITE 000483 LOT 4*(EX ST WID&NWLY 417.04 FT THF)ALLY NELY OF RR R/W IN City/Muni/Twp: SAN DIEGO
YEAR BUILT:				1985
BUILDING CODES:				CALIFORNIA BUILDING CODE (CBC), 2016 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2016 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2016 EDITION CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION CITY OF SAN DIEGO MUNICIPAL CODE
EXISTING OCCUPANCY CLASSIFICATION:				B - Business
PROPOSED OCCUPANCY CLASSIFICATION:				M - Mercantile & F-2
EXISTING USE:				Office
PROPOSED USE:				Office / Marijuana Production Facility
CONSTRUCTION TYPE:				Type II - Sprinklered
NUMBER OF STORIES:				2
BUILDING HEIGHT:				~30 ft (approximate. No change to exterior of building)
LOT AREA:		122,038.08	sf	2.80 acres
GROSS FLOOR AREA (First Floor Project Suite):		23,916.68	sf	(Marijuana Production Facility)
GROSS FLOOR AREA (First Floor Remainder):		4,763.68	sf	(Adjacent suites on first floor, not part of project)
TOTAL GROSS FLOOR AREA (First Floor):		28,680.36	sf	
TOTAL GROSS FLOOR AREA (Second Floor):		12,444.10	sf	(Marijuana Production Facility - Entire Second Floor)
TOTAL GROSS FLOOR AREA (Project Suite):		36,360.77	sf	(Marijuana Production Facility)
TOTAL GROSS FLOOR AREA (entire building)		41,124.46	sf	

ZONING INFORMATION				10170 Sorrento Valley Rd.
BASE ZONE:				Industrial - IL-3-1
OVERLAY ZONES:				Geological Hazard Category - 31, Coastal Overlay Zone, Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, Torrey Pines Community Plan, FAA Part 77 Noticing Area for MCAS Miramar (580-590), Airport Influence Area for MCAS Miramar Review Area 1, ALUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident Potential Zone 2, Sensitive Vegetation, MHPA, and MSCP Vegetation in the form of Southern Sycamore-Alder Riparian Woodland.
NUMBER OF BUILDINGS:				1
SETBACKS:				
	FRONT:			20'-0" (Standard Front Setback)
	SIDE:			10'-0"
	REAR:			0'-0" (Not required)
MAX. STRUCTURE HEIGHT:				30' (Prop D)
Max. FAR		2.0	244,076.17	sf
Actual FAR		0.3	41,124.46	sf

PARKING CALCULATION				
Marijuana Production Facility 1070 Sorrento Valley Rd., San Diego, CA 92121				
PARKING CALCULATIONS		Area (sf)	Ratio (per 1,000sf of GFA)	Parking Stalls
Uses				
Project Area				
Proposed MPF, Suite B (Light Manufacturing, Table 142-05G)		36,360.77	2.50	90.9
Retail (MMCC) (Separate CUP, Not part of project)		2,013.79	5.00	10.1
Medical, & Health Practitioners (Not Part of project)		2,749.90	4.00	11.0
Total Parking Required				112.0
Total Building Gross Floor Area		41,124.46		
* Exemption per SDMC Sec. 142.0530- Table 142-05G (6)				
Parking Ratios per SDMC SDMC Sec. 142.0530- Table 142-05E Table 142-05G				
Compact Parking (On Site)		Total Parking Spaces	Ratio	Parking Spaces
Exceptions to Parking Regulations for Non Residential (Sec. 142.0560(e)(2))		140	60% total Parking max.	84.0
Max. Compact Vehicle Spaces Allowed (On Site)				84
Proposed Carpool / Zero Emission Vehicle Parking (On Site)		Req. Parking Spaces	Ratio	Parking Spaces
		112	101-150	11.0
Total Carpool / Zero Emission Vehicle Spaces Required *				11
Electric Vehicle Charging Spaces (On Site)		Req. Parking Spaces	Ratio	Parking Spaces
CGBSC, Table 5.106.5.3.3		112	101-150	7.0
Total Electric Vehicle Charging Stations Required *				7
Proposed Motorcycle Spaces (On site)		Req. Parking Spaces	Ratio	Parking Stalls
2% of Req. Automobile Parking (Min. Req. = 2)		112	0.02	2.2
Total Motorcycle Spaces Required *				2
Proposed Bicycle Spaces (Short Term)		Req. Parking Spaces	Ratio	Bicycle Spaces
5% of Req. Automobile Parking (Min. Req. = 2)		112	0.05	5.6
Total Short term Bicycle Spaces Required				6
Proposed Bicycle Spaces (Long Term)		Parking Spaces	Ratio	Parking Stalls
5% of Req. Automobile Parking (Min. Req. = 1)		112	0.05	5.6
Total Long term Bicycle Spaces Required				6
EXISTING PARKING		Number / Area (sf)	Ratio	Parking Stalls
Parking Spaces (Previously Conforming)		41,124.5	4.4	149
Accessible Spaces (On Site)		(Previously Conforming)	0.0	3
Bicycle Parking (On Site)		0.0	0.0	0
Motorcycle Parking (On site)		0.0	0.0	0
TOTAL				152
PROPOSED PARKING		Number / Area (sf)	Ratio	
Standard Parking Spaces (On Site)		41,124.5	Varies	81
Compact Parking Spaces (On Site) (Max. 60% of required parking allowed)		140	31% of Total Parking	43
Van Accessible / Accessible Spaces (On Site)		112	101-150 (CBC 2016 118-208.2)	5
Carpool / Zero Emission Vehicles (On Site)		112	101-150	11
Electrical Vehicle Charging Parking Spaces (On Site)(Table 5.106.5.3.3 CGBSC non Res.)		112	101-150	7
Bicycle Parking (On Site, Short/Long Term)		112	0.05	12
Motorcycle Parking (On site)		112	0.02	2
TOTAL PARKING (On Site)				154
VEHICULAR PARKING SUMMARY - Proposed Project				
	Standard Parking	Compact Parking	Accessible Parking	Totals
	92	43	5	140

SHEET INDEX	
#	SHEET NAME
G001	Cover Sheet
G002	DS-560 - Storm Water Requirements Checklist
G003	General Notes
G004	CUP Conditions
	Topographic Survey
A101	Site Plan - Existing
A102	Site Plan - Proposed
A102a	Site Plan - Floodway
A102b	Site Plan - Existing Easements
A102c	Site Plan - Proposed - ROW
A103	First Floor Plan - Existing
A104	Second Floor Plan - Existing
A105	Roof Plan - Existing
A106	First Floor Plan - Proposed
A107	Second Floor Plan - Proposed
A108	First Floor Security Plan - Proposed
A109	Second Floor Security Plan - Proposed



CONDITIONS FOR MARIJUANA PRODUCTION FACILITY - CUP

- The Marijuana Production Facility shall operate only between the hours of 6:00 a.m. and 10:00 p.m., seven days a week.

SCOPE OF WORK

Conversion of Suit B approximately 36,476sf of an existing 41,249sf 2-story industrial building into a Marijuana Production Facility.

- Addition of 4 short term and 4 long term on-site bicycle parking spaces.
- Addition of 2 on-site motorcycle spaces.

\* Conditional Use Permit (CUP) Requested for Marijuana Production Facility.

APPLICABLE CODES

- City of San Diego Municipal Code
- 2016 California Building Code
- 2016 California Green Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Mechanical Code

PROJECT TEAM

**PROPERTY OWNER:**  
CIRE Equity  
530 B. St. San Diego CA. 92121  
**APPLICANT:**  
SVRMC, LLC  
1495 Pacific Coast Hwy., Suite 275  
San Diego, CA. 92101  
Contact: Renny Bowden  
Phone #: 619.987.8296  
**DESIGN FIRM:**  
TECHNE  
Project Contact: Abhay Schweitzer - Assoc. AIA  
3956 30th Street, San Diego, CA 92104  
Phone #: 619-940-5814, email:  
abhay@techn-e-us.com  
**SURVEYOR:**  
LG Land Surveying, Inc.  
30355 Callejo Feliz Ter. Valley Center, CA 92082  
Phone #: 619-535-1172



10. *Journal of the American Medical Association*, 2000; 284: 1039-1044.

10. *Journal of the American Medical Association*, 2000; 284: 2561-2566.

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[illegible][illegible]

MARK	DATE	DESCRIPTION
5/21/2018 9:09:51 AM		

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SHEET TITLE

DS 540 STORM

DS-58

G002
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3956 30th Street, San Diego, CA 92104  
techne-us.com sustainablearchitect.org  
o 619-940-5814 m 313-595-5814

## CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

CONDITIONS FOR MPF CUP:

### PLANNING/DESIGN REQUIREMENTS:

1. Marijuana production facilities shall maintain the following minimum separation between uses, as measured between property lines, in accordance with Section 113.0225:
  - 1.1. 1,000 feet from resource and population-based city parks, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools. For purposes of this section, school means any public or private institution of learning providing instruction in kindergarten or grades 1 to 12, inclusive, but not include any private school in which education is primarily conducted in private homes.
  - 1.2. 100 feet from residential zone.
2. All operations, including equipment and storage, shall be conducted indoors within a secured structure. Greenhouses are prohibited.
3. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
4. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
5. The name and emergency contact phone number of an operator or manager shall be posted outside the marijuana production facility in a location visible to the public from the public-right-of-way in character size at least two inches in height. The permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a marijuana production facility shall limit signage on the exterior of the property visible from the public-right-of-way to the address.
6. A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
7. A Conditional Use Permit for a marijuana production facility shall expire no later than five (5) years from the date of issuance.
8. An extension of time for a Conditional Use Permit granted to a marijuana production facility shall comply with the requirements of section 126.0111 with the following exceptions:
  - 8.1. The extension shall be for a maximum of five (5) years.
  - 8.2. a decision on an application for an extension of time shall be made in accordance with Process Two. Appeals of a decision to approve an extension of time shall be made to the Planning Commission.
  - 8.3. The separation requirements in Section 141.0504(a) shall not be considered in making the findings required in Section 126.0111(g) when a specified use in Section 141.1004(a) has located within the required distance after the approval date of the initial Conditional Use Permit.
  - 8.4. A change in zoning after the approval date of the initial Conditional Use Permit shall not be considered in making the findings required in Section 126.0111(g).
9. The sale of marijuana and marijuana products shall be conducted by a marijuana outlet in accordance with Section 141.0504. A marijuana production facility is prohibited from providing marijuana and marijuana products to any person other than other marijuana production facility, a testing lab, or a marijuana outlet.
10. The marijuana production facility, adjacent public sidewalks, and areas under the control of the marijuana production facility shall be maintained free of litter and graffiti at all times.
11. The marijuana production facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

5

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
5/21/2018 8:09:51 AM		

PROJECT NO: 1731

CAD DWG FILE: G001-G004 COVER SHEET.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

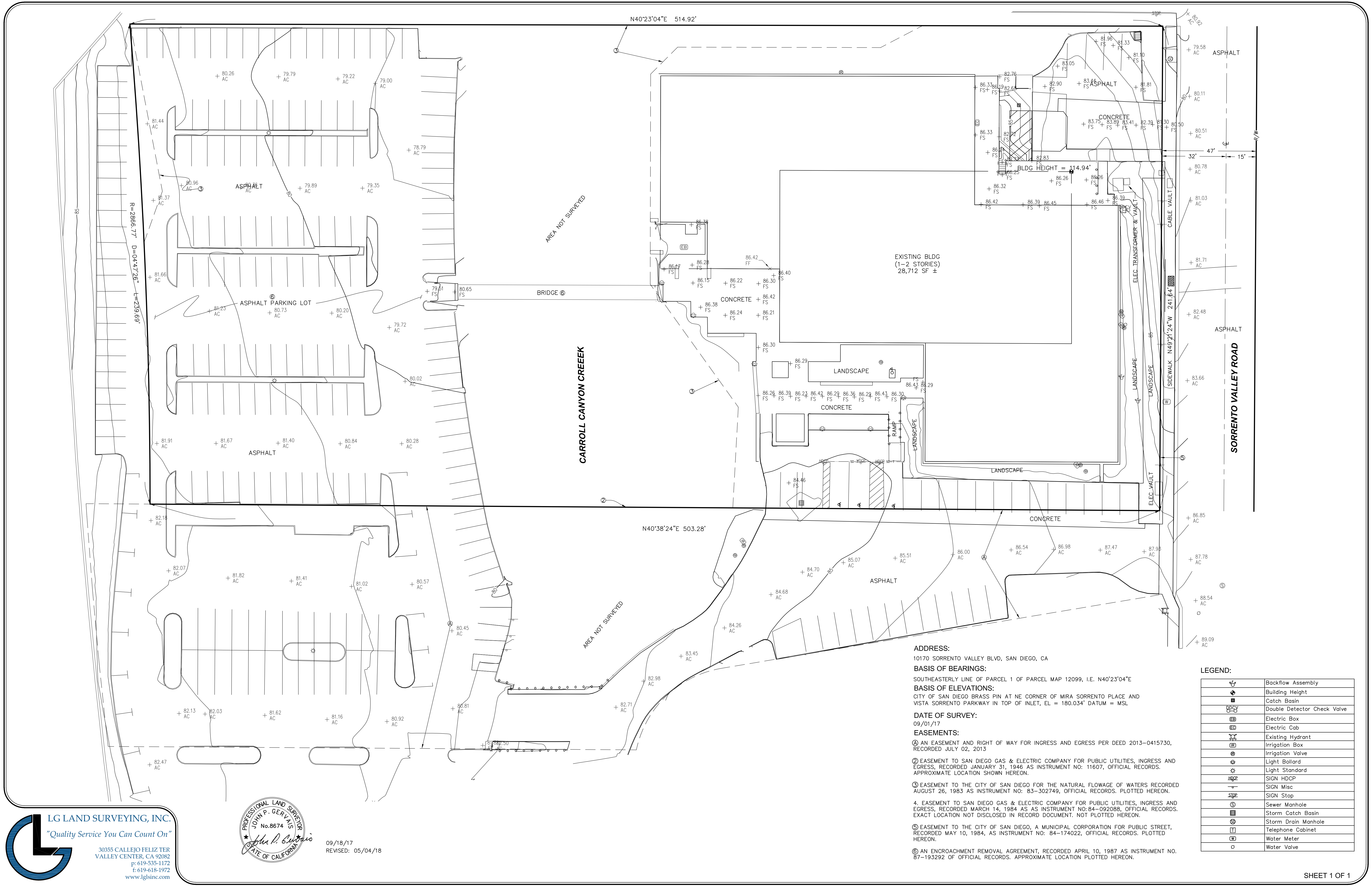
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## SHEET TITLE

## CUP CONDITIONS

G004





ADDRESS:  
10170 SORRENTO VALLEY BLVD, SAN DIEGO, CA

BASIS OF BEARINGS:  
SOUTHEASTERLY LINE OF PARCEL 1 OF PARCEL MAP 12099, I.E. N40°23'04"E

BASIS OF ELEVATIONS:  
CITY OF SAN DIEGO BRASS PIN AT NE CORNER OF MIRA SORRENTO PLACE AND VISTA SORRENTO PARKWAY IN TOP OF INLET, EL = 180.034' DATUM = MSL

DATE OF SURVEY:  
09/01/17

EASEMENTS:  
① AN EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS PER DEED 2013-0415730, RECORDED JULY 02, 2013  
② EASEMENT TO SAN DIEGO GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED JANUARY 31, 1946 AS INSTRUMENT NO: 11607, OFFICIAL RECORDS. APPROXIMATE LOCATION SHOWN HEREON.  
③ EASEMENT TO THE CITY OF SAN DIEGO FOR THE NATURAL FLOWAGE OF WATERS RECORDED AUGUST 26, 1983 AS INSTRUMENT NO: 83-302749, OFFICIAL RECORDS. PLOTTED HEREON.  
④ EASEMENT TO SAN DIEGO GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED MARCH 14, 1984 AS INSTRUMENT NO: 84-092088, OFFICIAL RECORDS. EXACT LOCATION NOT DISCLOSED IN RECORD DOCUMENT. NOT PLOTTED HEREON.  
⑤ EASEMENT TO THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION FOR PUBLIC STREET, RECORDED MAY 10, 1984, AS INSTRUMENT NO: 84-174022, OFFICIAL RECORDS. PLOTTED HEREON.  
⑥ AN ENCROACHMENT REMOVAL AGREEMENT, RECORDED APRIL 10, 1987 AS INSTRUMENT NO. 87-193292 OF OFFICIAL RECORDS. APPROXIMATE LOCATION PLOTTED HEREON.

LEGEND:

	Backflow Assembly
	Building Height
	Catch Basin
	Double Detector Check Valve
	Electric Box
	Electric Cab
	Existing Hydrant
	Irrigation Box
	Irrigation Valve
	Light Bollard
	Light Standard
	SIGN HDGP
	SIGN Misc
	SIGN Stop
	Sewer Manhole
	Storm Catch Basin
	Storm Drain Manhole
	Telephone Cabinet
	Water Meter
	Water Valve

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09/18/17  
REVISED: 05/04/18







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DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
techn-e-us.com sustainablearchitect.org  
619-940-5814 313-595-5814

## CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

## PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

## SITE PLAN NOTES

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shutoff of any site utilities.
- F. Refer to Topographic Survey for additional information.
- G. The existing water and sewer services will remain.
- H. No obstruction including solid walls in the visibility area shall exceed 2 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.

## SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF PROPOSED PROJECT
- OUTLINE OF PARKING AREA NOT PART OF PROJECT
- SITE DRAINAGE PATTERN
- ACCESSIBLE ROUTE
- VEHICULAR CIRCULATION

## ADDITIONAL SITE PLAN NOTES

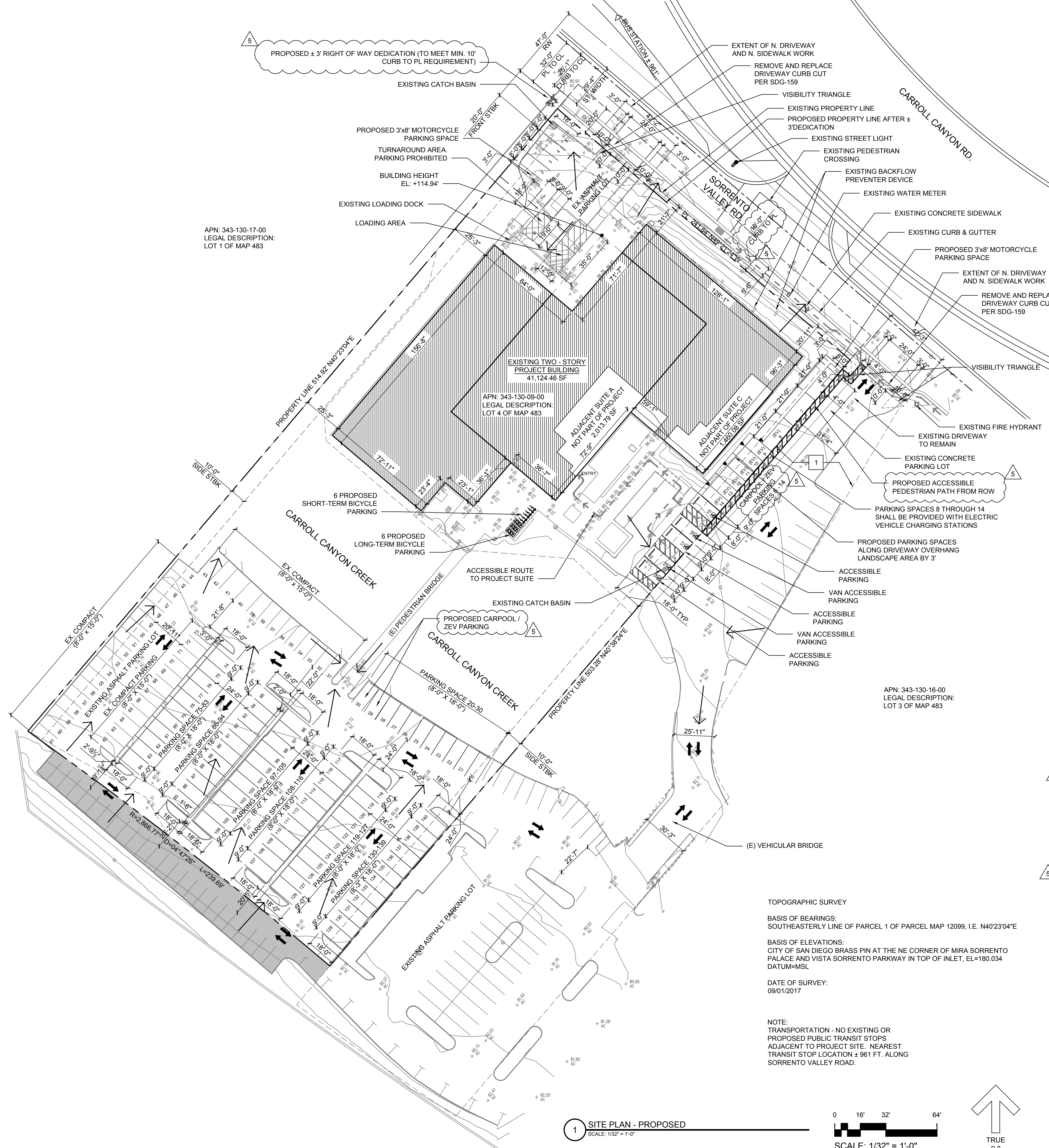
- a. BUILDING ADDRESS: Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- b. If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plans, floor plans, details, etc.) will be submitted to the department for review and approval.
- c. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private Landscaping/Irrigation within Sorrento Valley Road public right of way.
- d. Prior to issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, removal of existing two driveway serving the site and replace them with two 24 ft driveway per current City Standard SDG-159 on Sorrento Valley Road.

## EASEMENTS KEYNOTES

- 1 An easement and right of way for ingress and egress per deed 2013-0415730, recorded July 02, 2013.

## SFHA DETERMINATION NOTES

- SUBJECT STRUCTURE IS NOT WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) PER LOMR-FW, CASE NO. 18-09-1122A, DATED APRIL 13, 2018.

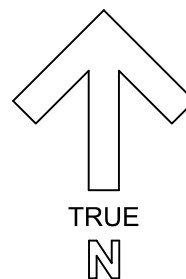


1 SITE PLAN - PROPOSED

SCALE: 1/32" = 1'-0"

0 16' 32' 64'

SCALE: 1/32" = 1'-0"

SITE PLAN -  
PROPOSED

A102

SHEET 7 OF 17

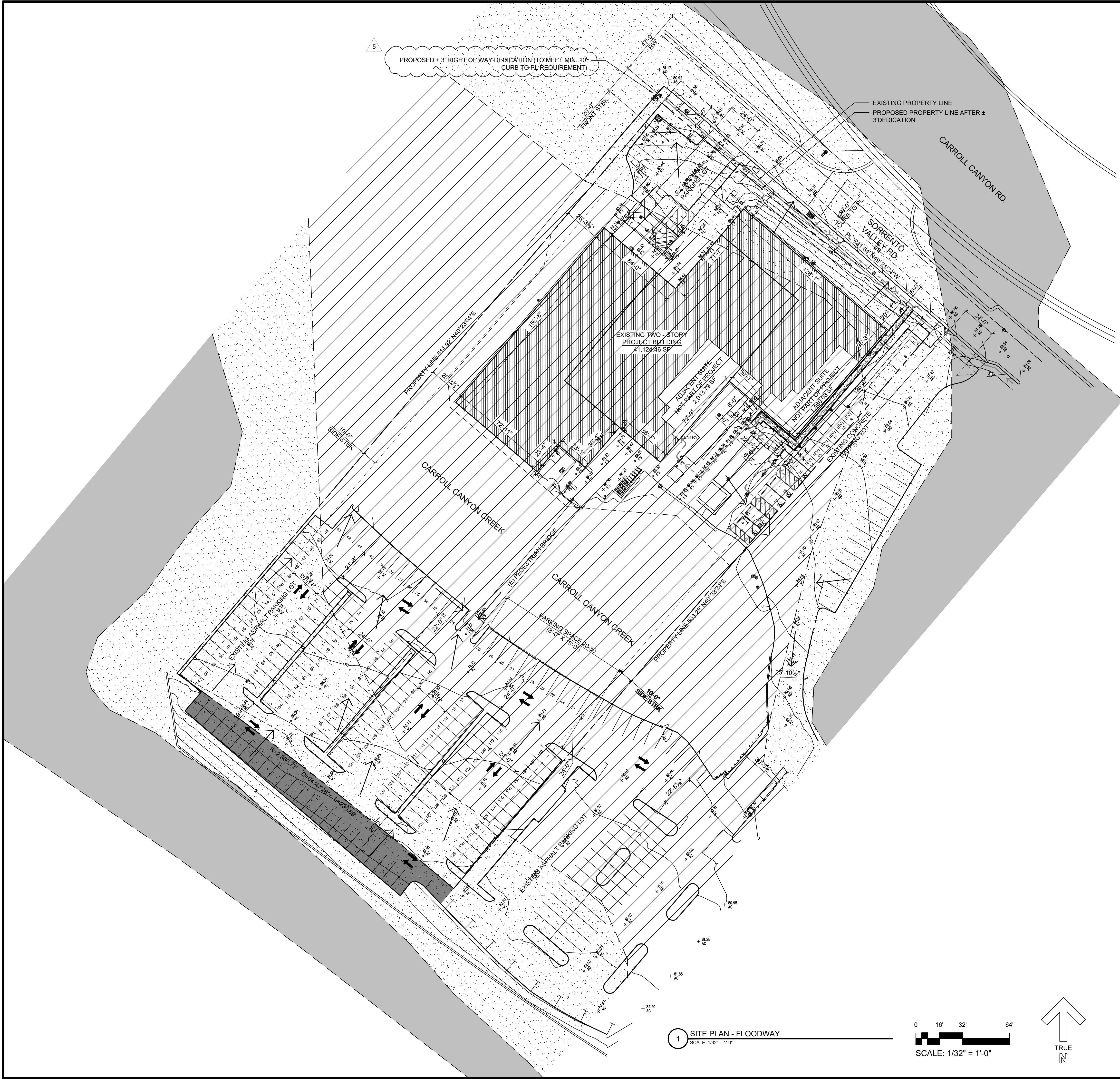


CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121



TOPOGRAPHIC SURVEY

BASIS OF BEARINGS:  
SOUTHEASTERLY LINE OF PARCEL 1 OF PARCEL MAP 12099, I.E. N40°23'04"E

BASIS OF ELEVATIONS:  
CITY OF SAN DIEGO BRASS PIN AT THE NE CORNER OF MIRA SORRENTO  
PALACE AND VISTA SORRENTO PARKWAY IN TOP OF INLET, EL=180.034  
DATUM=MSL

DATE OF SURVEY:  
09/01/2017

NOTE:  
TRANSPORTATION - NO EXISTING OR  
PROPOSED PUBLIC TRANSIT STOPS  
ADJACENT TO PROJECT SITE. NEAREST  
TRANSIT STOP LOCATION ± 961 FT. ALONG  
SORRENTO VALLEY ROAD.

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES

FLOODWAY LEGEND

COMMUNITY: SAN DIEGO, CITY OF  
NUMBER: 060295  
PANEL: 1339  
SUFFIX: G

- 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.
- WITHOUT BASE FLOOD ELEVATION (BFE) ZONE A.V. A99
- REGULATORY FLOODWAY AREA REVISED TO REFLECT LOMR EFFECTIVE: JULY 24, 2017 (PANEL 1339 OF 2375)

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
	05/02/2018 2:14:59 PM	
PROJECT NO: 1731		
CAD DWG FILE: A102A SITE PLAN - FLOOD PLAIN DWG		
DRAWN BY: A.S., B.P., C.G., S.V.		
CHK'D BY: A.S.		

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SHEET TITLE

SITE PLAN -  
FLOODWAY

A102a





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CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
501	02/18/18 9:04:05 AM	

PROJECT NO: 1731

CAD DWG FILE: A102B SITE PLAN - EXISTING EASEMENTS.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN -  
EXISTING  
EASEMENTS

A102b

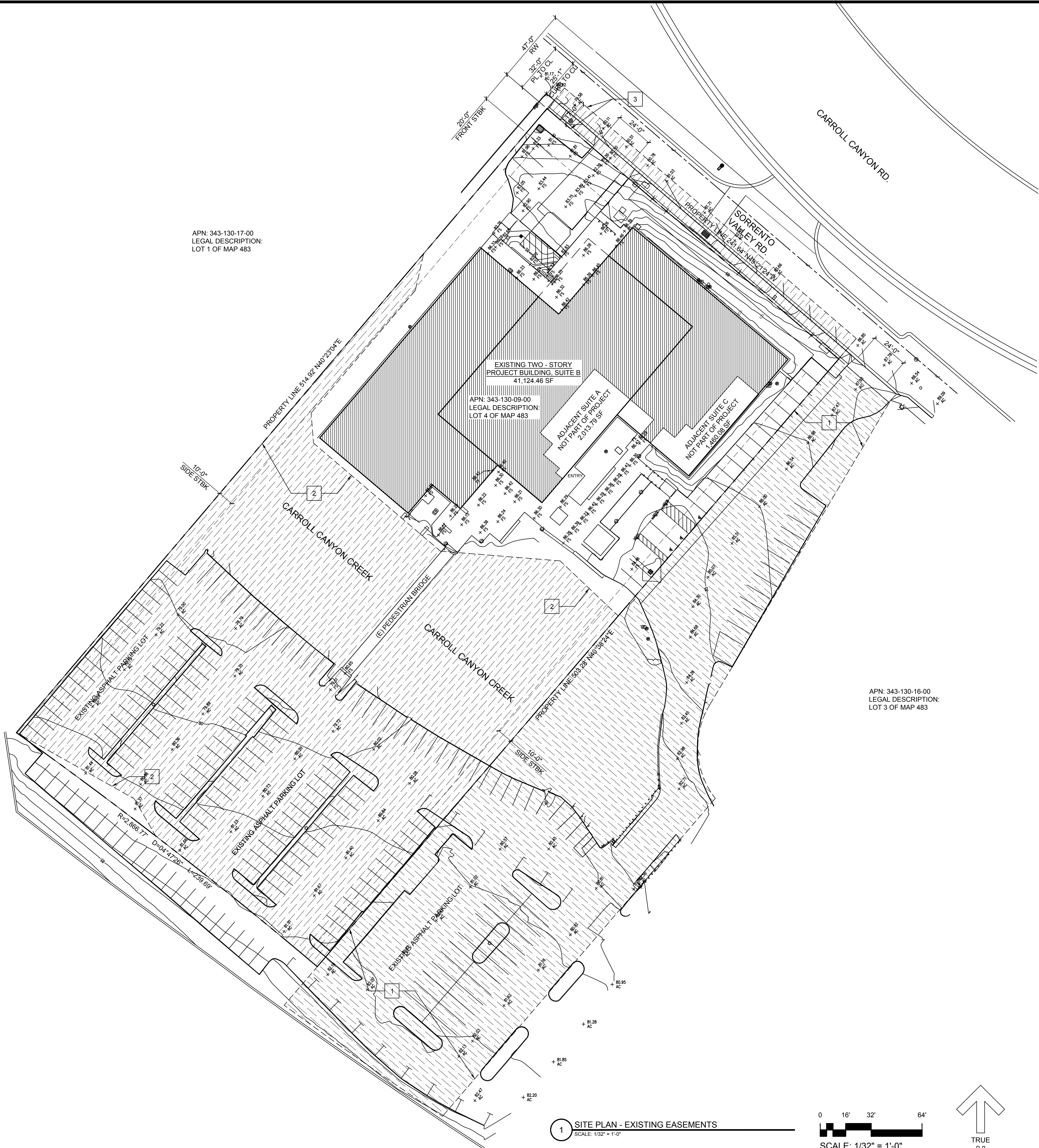
SHEET 9 OF 17

SITE PLAN LEGEND

- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF PROPOSED PROJECT
- AREA OF EXISTING EASEMENT
- SITE DRAINAGE PATTERN

EASEMENTS KEYNOTES

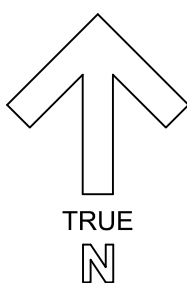
- An easement and right of way for ingress and egress per deed 2013-0415730, recorded July 02, 2013.
- Easement to the city of San Diego for the natural flowage of waters recorded August 26, 1983 as instrument No: 83-302749, official records. Plotted hereon.
- Easement to the city of San Diego, a municipal corporation for public street, recorded May 10, 1984, as instrument No: 84-174022, official records. Plotted hereon.



1 SITE PLAN - EXISTING EASEMENTS

SCALE: 1/32" = 1'-0"

0 16' 32' 64'  
SCALE: 1/32" = 1'-0"





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CONSULTANTS

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San Diego CA. 92121

PROPERTY OWNER

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01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
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PROJECT NO: 1731

CAD DWG FILE: A102C SITE PLAN - PROPOSED - ROW.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN -  
PROPOSED - ROW

A102c

SHEET 10 OF 17

SITE PLAN LEGEND

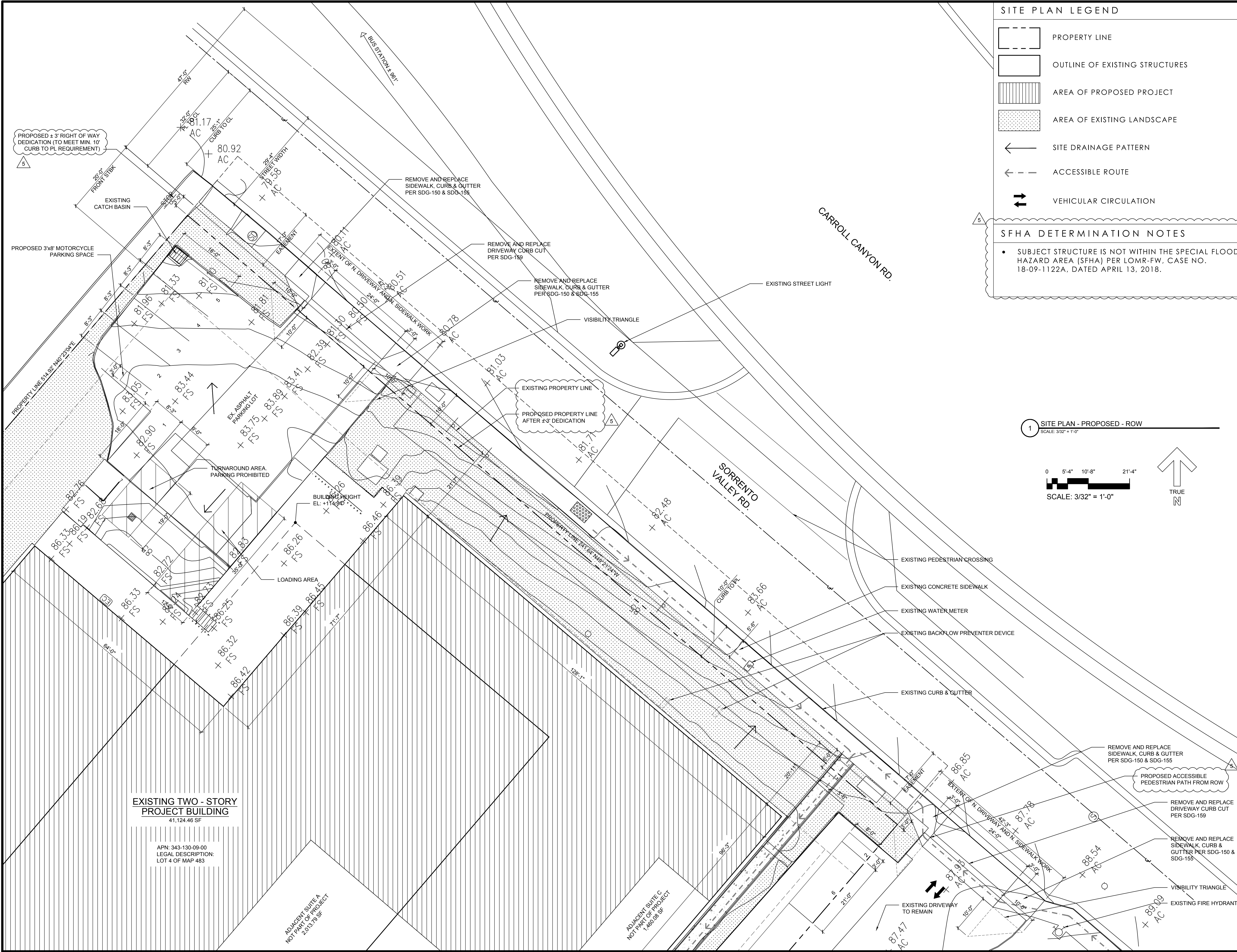
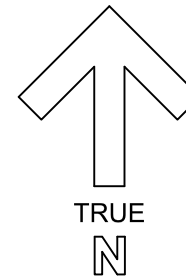
- PROPERTY LINE
- OUTLINE OF EXISTING STRUCTURES
- AREA OF PROPOSED PROJECT
- AREA OF EXISTING LANDSCAPE
- SITE DRAINAGE PATTERN
- ACCESSIBLE ROUTE
- VEHICULAR CIRCULATION

SFHA DETERMINATION NOTES

- SUBJECT STRUCTURE IS NOT WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) PER LOMR-FW, CASE NO. 18-09-1122A, DATED APRIL 13, 2018.

1 SITE PLAN - PROPOSED - ROW  
SCALE: 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"  
SCALE: 3/32" = 1'-0"





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## CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

## PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

## DEMOLITION GENERAL NOTES

- TECHNE shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNE issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNE and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
- Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off to and/or salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNE to make modifications and/or other corrective measures.

## FLOOR PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE and the Architect. Do not proceed with work until written or verbal instructions are issued by TECHNE and the Architect.

## DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

## FLOOR PLAN LEGEND

- EXISTING DOOR
- EXISTING NON-STRUCTURAL INTERIOR WALL
- EXISTING 10" CONCRETE WALL TO REMAIN
- EXISTING WINDOW

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
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PROJECT NO: 1731

CAD DWG FILE: A103 FIRST FLOOR PLAN - EXISTING.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

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## SHEET TITLE

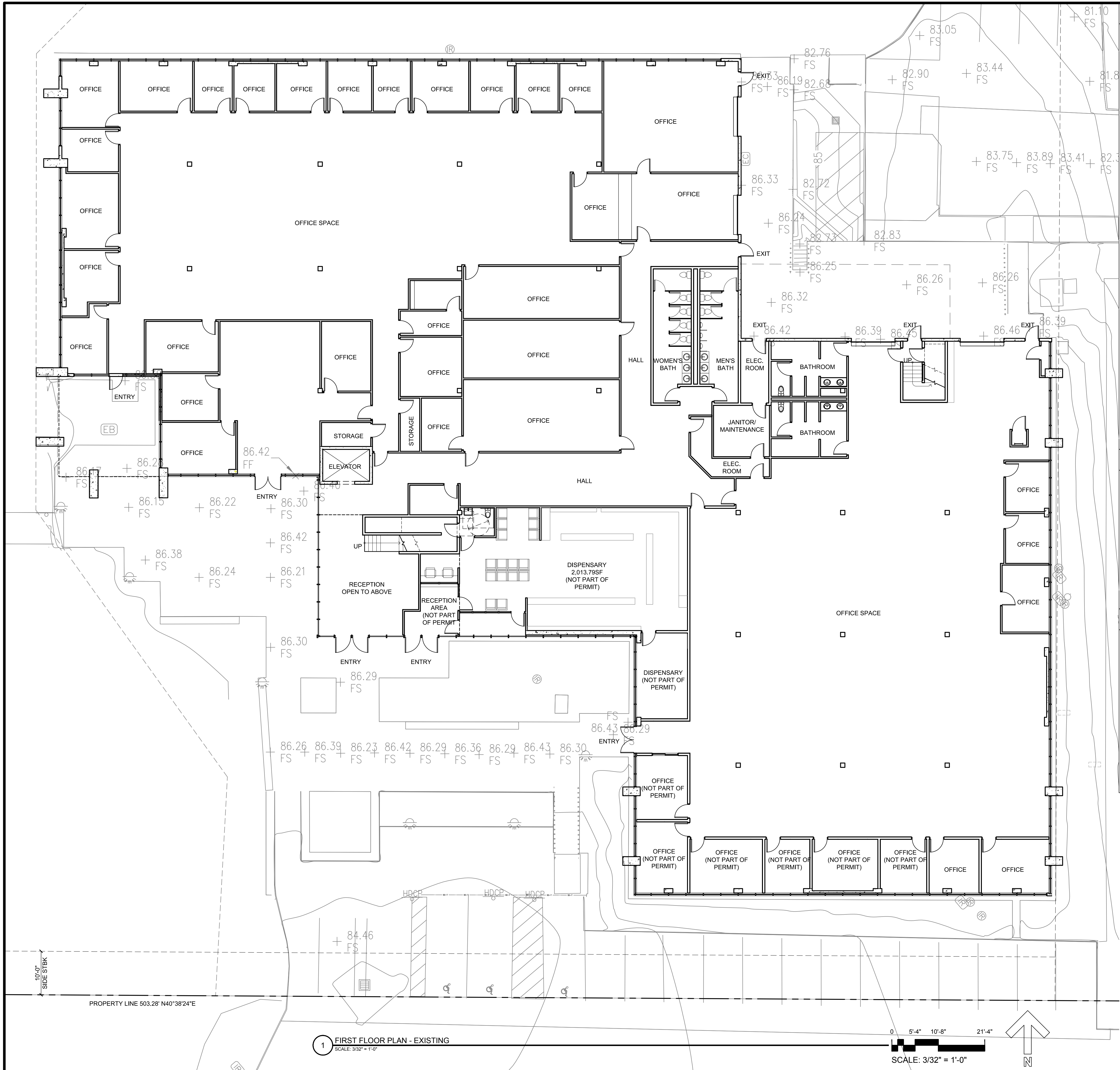
FIRST FLOOR PLAN  
- EXISTING

A103

SHEET 11

OF

17





3956 30th Street, San Diego, CA 92104  
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## CONSULTANTS:

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

## DEMOLITION GENERAL NOTES

- TECHNICAL shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until TECHNICAL issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Contractor to pay for and replace any item not intended for demolition but damaged during construction.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed at city-approved locations by the Dumpster location.
- Contractor to verify Dumpster location with owner before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify TECHNICAL and owner if any removed wood showing evidence of active water leaks, termites or dry rot.
- Prepare existing window and door framing openings (to remain) to receive new window units. Coordinate work with proposed floor plans, elevations and door & window schedules.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
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- Existing framing and floor surfaces may be out of plumb and not level. They shall be leveled by ironing plumb and leveled by the contractor. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify TECHNICAL to make modifications and/or other corrective measures.

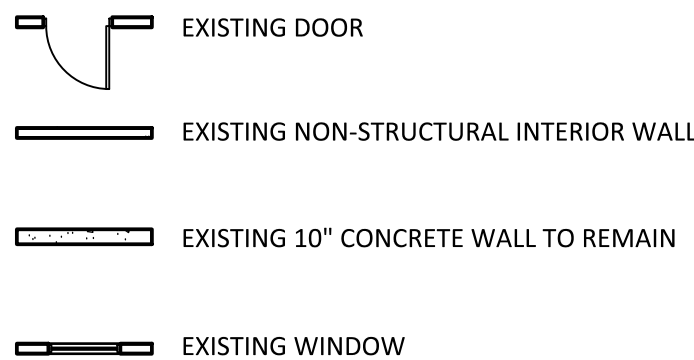
## FLOOR PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNÉ and the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of the Architect and the General Contractor. Do not proceed with work until written or verbal instructions are issued by TECHNÉ and the Architect.

## DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

## FLOOR PLAN LEGEND



01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
5/15/2018 11:31:34 AM		

PROJECT NO: 1731

CAD DWG FILE: A104 SECOND FLOOR PLAN - EXISTING.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

---

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## SHEET TITLE

## SECOND FLOOR PLAN - EXISTING

A 104

SHEET 12

OF

17

## OUTLINE OF FIRST LEVEL

## OFFICE SPACE

PEN TO

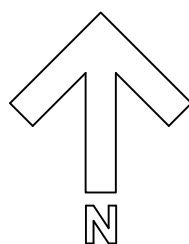
## OUTLINE OF FIRST LEVEL

PROPERTY LINE 503.28' N40°38'24"E

1 SECOND FLOOR PLAN - EXISTING  
SCALE: 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"

SCALE: 3/32" = 1'-0"



10'-0"  
SIDE STBK

TECHNE

DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
techn-e-us.com sustainablearchitect.org  
619-940-5814 313-595-5814

CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

MARK	DATE	DESCRIPTION
01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

PROJECT NO: 1731

CAD DWG FILE: A105 ROOF PLAN - EXISTING.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

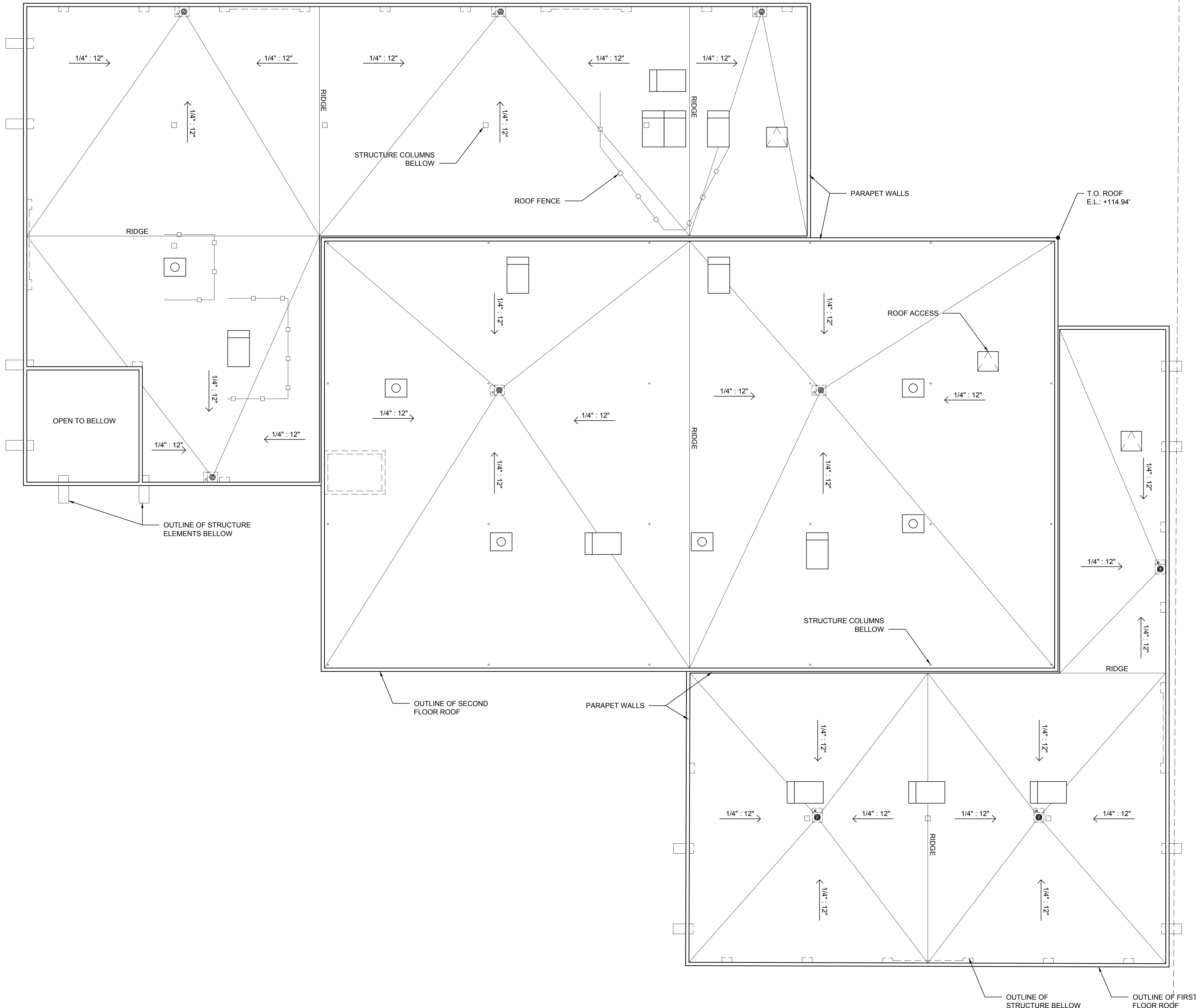
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SHEET TITLE

ROOF PLAN - EXISTING

A105

SHEET 13 OF 17

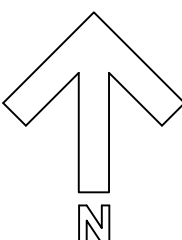


ROOF PLAN LEGEND

- SLOPE → ROOF SLOPE INDICATOR
- OUTLINE OF WALLS BELOW
- EXISTING ROOF DRAIN
- EXISTING ROOF MOUNTED HVAC TYPE 1
- EXISTING ROOF MOUNTED HVAC TYPE 2

1 ROOF PLAN - EXISTING  
SCALE: 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"  
SCALE: 3/32" = 1'-0"





CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

01	11.16.17	CUP - Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK DATE DESCRIPTION

PROJECT NO: 1731

CAD DWG FILE: A106 FIRST FLOOR PLAN - PROPOSED DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

FIRST FLOOR PLAN  
- PROPOSED

A106

SHEET 14

OF 17

FLOOR PLAN LEGEND

- EXISTING 10" CONCRETE WALL TO REMAIN
- EXISTING NON-STRUCTURAL INTERIOR WALL TO REMAIN
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 5½" Light Gauge Steel Stud @ 24" O.C. with 1 layer of ½" gypsum board each side.
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 3½" Light Gauge Steel Stud @ 24" O.C. with 1 layer of ½" gypsum board each side.
- DOOR AND SYMBOL. See door schedule for complete information
- WINDOW AND SYMBOL. See window schedule for complete information
- FIRE EXTINGUISHER CABINET

FLOOR PLAN NOTES

- The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

DIMENSIONS

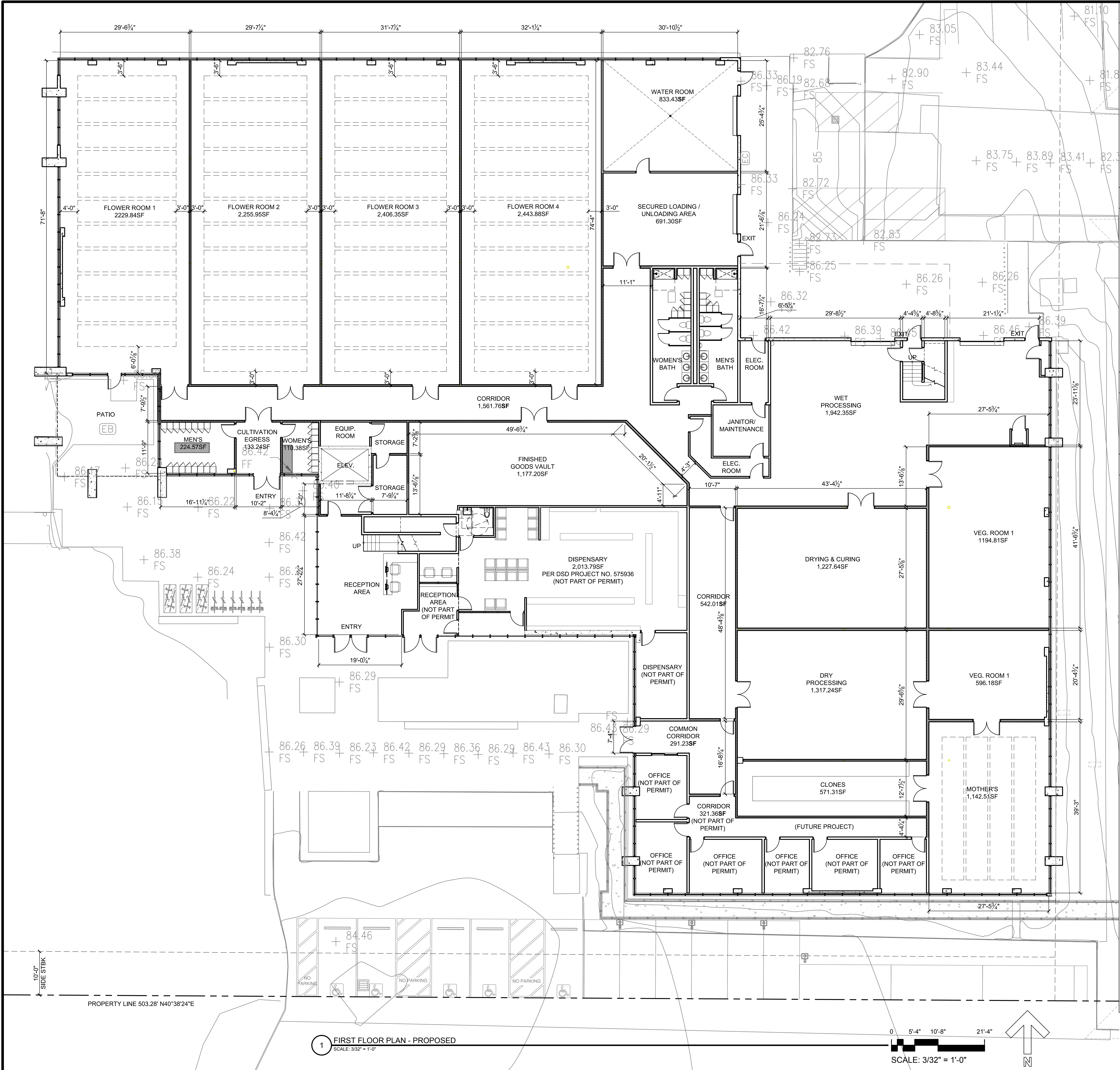
- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

ODOR SUPPRESSION MEASURES

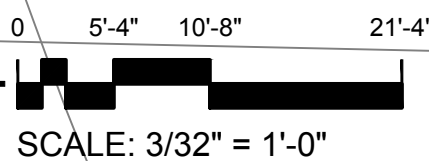
- The project will implement a strategy of filtering any exhaust air through a carbon scrubber to mitigate odor and will also design the HVAC system with negative and positive pressure rooms, as appropriate, to control the flow or air with others and to prevent it from escaping the building. The carbon scrubber (filtering system) shall be Air Box 4+ Stealth Edition 3,500 CFM 12" Flange or similar as specified by a qualified licensed design professional.

DETAILED DESCRIPTION OF SPACES

- Reception Area- Refer to plans for square footage. This entry is one of two doors used by employees to enter and exit the building. It is also the visitor entrance/exit. The external door to the Entry Lobby is open to visitors. A bell dings alerting staff that a visitor has arrived. The door from the Entry Lobby to the secure area has an electronic key pad entry. All employees have a unique digital electronic key code for entry through this door. There will be approximately 1-2 occupants in this space intermittently.
- Flower Room 1, 2, 3 & 4 - These rooms are an indoor agriculture, third stage of cultivating plants which are moved from veg rooms to flower rooms, where again they are exposed to specific environmental conditions for approximately 8 weeks. There will be approximately 600-1,000 plants per cycle, per room, based upon the specific plant type. There will be approximately 4-6 occupants in these spaces intermittently.
- Water Room - This room contains the water and fertigation systems, water filtration, plant nutrients, water reservoirs, water treatment and collection. There will be no occupants in this space.
- Wet Processing - First stage of harvesting plant material, separation of usable and non-usable materials. There will be 2 occupants in this space.
- Drying & Curing - This room contains the second stage of harvesting plan materials. Materials are stored in this room for 10-15 days to reduce the moisture content within the plan materials. There will be no occupants in this space.
- Dry Processing - This room contains the third stage of harvesting, plant materials are taken from the drying & curing room and processed into (5lb) lots for storage and 3rd party lab testing. Upon receipt of 3rd party lab reports, plant materials are then packaged for sales. There will be 4-6 occupants in this space intermittently.
- Mother's - This room contains the indoor agriculture, repository of plant genetics in the form of mature cannabis plants, these plants provide cuttings to support the entire cultivation process. This room will contain approximately 30-50 plants at a time. There will be 0-2 occupants in this space intermittently.
- Clones - This room contains indoor agriculture, first stage of cultivating; Cuttings "clones from mother plants are maintained in the clone's room under specific environmental conditions for two weeks. This room will contain approximately 1,000 - 3,000 plant cuttings, i.e. "Clones" at a time. There will be 0-2 occupants in this space intermittently.
- Veg. Room - This room is mainly comprised of trays where indoor agriculture, second stage of cultivating. Two-week old clones are moved to the veg room and exposed to specific environmental conditions for approximately 4 weeks. This room will contain 1,200-2,000 plants per cycle based upon plant type. There will be approximately 0-2 occupants in this space intermittently.
- Entry (Cultivation Egress) - This door is one of two doors that employees use to enter and exit the building which branches off into men's and women's locker room areas. The outside door has a commercial grade electronic key pad entry system. Each employee has a unique entry code. The interior door is kept closed, but not locked. There will be no occupants in this space.
- Men's Locker Room - This room contains employee storage facilities for personalized items. There will be approximately 0-16 occupants in this space intermittently.
- Women's Locker Room - This room contains employee storage facilities for personalized items. There will be approximately 0-8 occupants in this space intermittently.
- Finished Goods Vault - Warehousing of finished goods, order fulfillment and traditional warehouse of logistics activities. There will be approximately 2-4 occupants in this space intermittently.
- Janitor / Maintenance - Facility for sanitation. There will be approximately 1 occupant in this space intermittently.
- Equipment Room - Elevator equipment room. There will be approximately no occupants in this space.
- Storage Room - General supply storage. There will be approximately no occupants in this space.
- Electrical Room- No work preformed in this area. There will be approximately no occupants in this space.
- Men's and Women's Baths - Available to all employees and visitors. These two rooms have appropriate facilities including hand washing sinks. There will be approximately 0-6 occupants in these spaces intermittently.
- Secure Loading/Unloading Area - Raw cannabis is received in this space. Shipping manifests are reviewed, product is inspected, and shipments are accepted or rejected. After accepting a shipment, the external door is closed and the locking mechanism engages. At this point, raw cannabis is moved to the Raw Material Storage area until the manufacturing facility is ready to use it. Other raw materials are received in this space in the same manner. Complete packaged products are also loaded into distribution vans from this location. There will be no occupants in this space.



1 FIRST FLOOR PLAN - PROPOSED  
SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"





DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
techn-e-us.com sustainablearchitect.org  
619-940-5814 313-595-5814

CONSULTANTS



10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

FLOOR PLAN LEGEND

- EXISTING 10" CONCRETE WALL TO REMAIN
- EXISTING NON-STRUCTURAL INTERIOR WALL TO REMAIN
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 5½" Light Gauge Steel Stud @ 24" O.C. with 1 layer of ½" gypsum board each side.
- PROPOSED NON-STRUCTURAL INTERIOR WALL: 3½" Light Gauge Steel Stud @ 24" O.C. with 1 layer of ½" gypsum board each side.
- 4½" U.N.O.
- DOOR AND SYMBOL. See door schedule for complete information
- WINDOW AND SYMBOL. See window schedule for complete information
- FIRE EXTINGUISHER CABINET

FLOOR PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH ( U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD ( U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

ODOR SUPPRESSION MEASURES

- a. The project will implement a strategy of filtering any exhaust air through a carbon scrubber to mitigate odor and will also design the HVAC system with negative and positive pressure rooms, as appropriate, to control the flow or air with others and to prevent it from escaping the building. The carbon scrubber (filtering system) shall be Air Box 4+ Stealth Edition 3,500 CFM 12" Flange or similar as specified by a qualified licensed design professional.

DETAILED DESCRIPTION OF SPACES

- Business Services Area – Business management, administrative, finance, compliance, human resources and sales activity will take place in this space. There will be approximately 6-8 occupants in this space intermittently.
- Office's 1 to 7 – Used by management staff for daily research activities. This room is not separately locked. There will be approximately 1 occupant in each office space.
- Bio-Research Lab– Research and development laboratory. There will be approximately 0-2 occupants in this space intermittently.
- Sanitation Room – Washing, mopping and cleaning. There will be approximately 1 occupant in this space.
- Packaging Batch Preparation – Production batching, processing and packaging of concentrates, edibles, topical and other miscellaneous products. There will be approximately 8-12 occupants in this space intermittently.
- Beverage Production – The production and packaging of beverages, this includes ready to drink, single serve and pyramid tea bag style products. There will be approximately 2-4 occupants in these spaces intermittently.
- Science Lab Extraction Room – Cannabis is processed for extraction; to be further refined as an ingredient for manufactured consumables such as edibles, vapeable's, topical and research ingredients. Extraction involves washing the plant material with a non-volatile solvent, in an approved closed loop extraction system. The solvent is removed using approved laboratory process and equipment. The raw extract undergoes further processing for activation and refinement. the activation and refinement implement approved filtering, washing and distilling processes and equipment, employing best. There will be approximately 2-4 occupants in this space intermittently.
- Volatile Processing – This is a supplemental room of the Science Extraction lab that houses Volatile Processing Equipment and processing. The area employs the use of approved hydrocarbons as a solvent, in a closed loop extraction system. Due to the volatility of the solvents, the room is fabricated in a way to be approved by the local fire code official for it's purpose. There will be no occupants in this space.
- Chocolate Room – Confections productions to include chocolates. There will be 2-4 occupants in this space intermittently.
- Tablet Room – Tablet production, to include mints and hard shelled edibles.. There will be 1 occupant in this space.
- Break Room – The employee break room is used for breaks, lunches, etc. It is not separately locked. There will be approximately 2-4 occupants in this space intermittently.
- Men's and Women's Baths– Available to all employees and visitors. These two rooms have appropriate facilities including hand washing sinks. There will be approximately 0-3 occupants in these spaces intermittently.

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

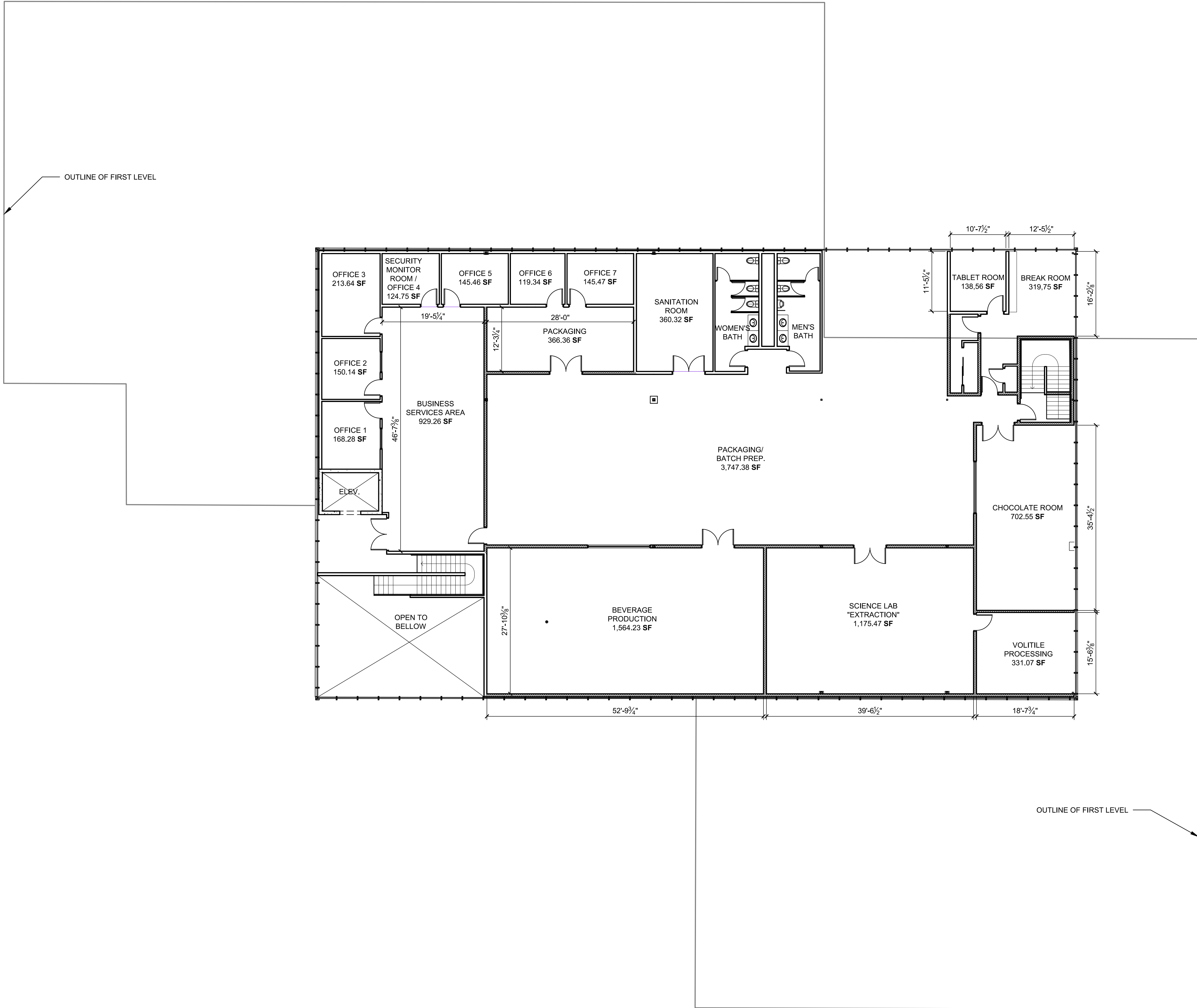
MARK	DATE	DESCRIPTION
	6/29/2018 10:20:58 AM	

PROJECT NO:	1731
CAD DWG FILE:	A107 SECOND FLOOR PLAN - PROPOSED.DWG
DRAWN BY:	A.S., B.P., C.G., S.V.
CHK'D BY:	A.S.

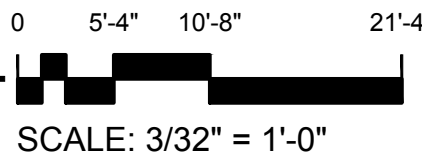
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SHEET TITLE  
SECOND FLOOR  
PLAN - PROPOSED

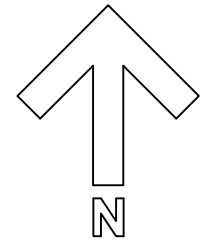
A107



1 SECOND FLOOR PLAN - PROPOSED  
SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"





CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

SECURITY NOTES

- A. The site shall be alarmed with centrally monitored fire and burglary alarm system and monitored by an alarm company licensed by the State of California (B & P Code 7590 et seq.)
- B. A surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
- C. 24-hour fixed camera video surveillance shall be available for 90 days after recording. The recording shall be of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter area within a minimum of 50 feet; and that the City of La Mesa Police Department or other city authorized department shall have 24 hour remote access to the surveillance system.
- City of La Mesa Municipal Code: Sec. 10.100.040 - Alarm User Responsibility
- D. It shall be the responsibility of the alarm user to maintain or have maintained in proper working order, any type of security alarm system installed upon, in or around the protected property, from system failure, malfunction, misuse, misoperation or accidental tripping and to insure that any agent, lessee, relative or guest does not falsely activate the system due to system failure, malfunction, misuse, misoperation or accidental tripping.
- D.a. Every alarm user shall post, legible to law enforcement personnel, 1) the name and phone number of the alarm company providing 24 hour response service; or 2) shall make available and keep up to date, on file with the La Mesa Police Department, the names and phone numbers of two persons who will respond at the request of the police department to silence the alarm and check the alarmed area. This section provides ability to notify a responsible party.
- D.b. It shall be unlawful to use an alarm designed to report robberies (211 P.C.), burglaries (459 P.C.) or fires for any other purpose, non-emergency service or disturbance, knowing such report to be false, (Ord.2313; May 12, 1983)

SECURITY PLAN LEGEND

- PROPOSED SECURITY CAMERA
- 69 - PROPOSED INTERIOR SECURITY CAMERAS  
22 - PROPOSED EXTERIOR SECURITY CAMERAS
- SECURITY CAMERA PER PROJECT NO. 575936
- LEVEL 1 BULLET RESISTANT WALL.

SECURITY MEASURES

- THIS PROJECT PROPOSES TO IMPLEMENT THE FOLLOWING SECURITY MEASURES:
- OPERABLE CAMERAS (On-site and off-site monitoring with remote backup)
  - ALARMS
  - LICENSED SECURITY GUARD DURING BUSINESS HOURS
  - BULLET RESISTANT ASSEMBLIES TO PROTECT EMPLOYEES
  - METAL DETECTORS
  - "MAN-TRAP" TYPE EXIT
  - ILLUMINATION AROUND BUILDING, IN PARKING AREAS AND IN ADJACENT SIDEWALKS

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

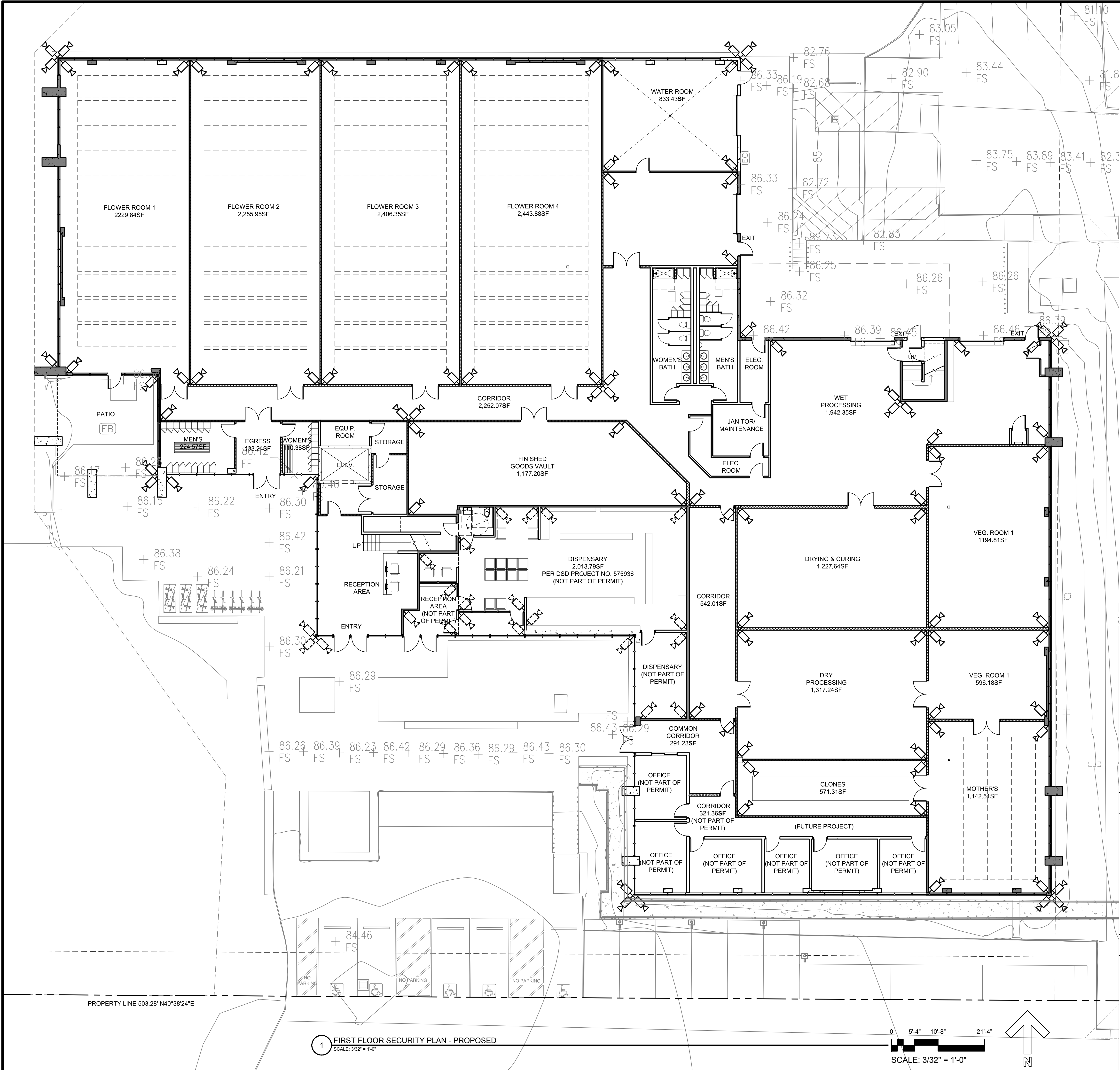
MARK	DATE	DESCRIPTION
5	05/20/18 11:08:24 AM	

PROJECT NO:	1731
CAD DWG FILE:	A108 FIRST FLOOR SECURITY PLAN - PROPOSED.DWG
DRAWN BY:	A.S., B.P., C.G., S.V.
CHK'D BY:	A.S.

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FIRST FLOOR  
SECURITY PLAN -  
PROPOSED

A108







DESIGN | DEVELOPMENT

3956 30th Street, San Diego, CA 92104  
techn-e-us.com sustainablearchitect.org  
619-940-5814 313-595-5814

CONSULTANTS

10170 Sorrento Valley Rd.  
San Diego CA. 92121

PROPERTY OWNER

CIRE Equity  
530 B. St. San Diego CA. 92121

SECURITY NOTES

- A. The site shall be alarmed with centrally monitored fire and burglary alarm system and monitored by an alarm company licensed by the State of California (B & P Code 7590 et.seq.)
- B. A surveillance camera shall be placed at face level to capture recording of every individual coming and going from the business for identification purposes.
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- D. It shall be the responsibility of the alarm user to maintain or have maintained in proper working order, any type of security alarm system installed upon, in or around the protected property, from system failure, malfunction, misuse, misoperation or accidental tripping and to insure that any agent, lessee, relative or guest does not falsely activate the system due to system failure, malfunction, misuse, misoperation or accidental tripping.
- D.a. Every alarm user shall post, legible to law enforcement personnel, 1) the name and phone number of the alarm company providing 24 hour response service; or 2) shall make available and keep up to date, on file with the La Mesa Police Department, the names and phone numbers of two persons who will respond at the request of the police department to silence the alarm and check the alarmed area. This section provides ability to notify a responsible party.
- D.b. It shall be unlawful to use an alarm designed to report robberies (211 P.C.), burglaries (459 P.C.) or fires for any other purpose, non-emergency service or disturbance, knowing such report to be false, (Ord.2313; May 12, 1983)

SECURITY PLAN LEGEND

- SECURITY CAMERA
- 45 - INTERIOR SECURITY CAMERAS
- LEVEL 1 BULLET RESISTANT WALL.

SECURITY MEASURES

- THIS PROJECT PROPOSES TO IMPLEMENT THE FOLLOWING SECURITY MEASURES:
- OPERABLE CAMERAS (On-site and off-site monitoring with remote backup)
  - ALARMS
  - LICENSED SECURITY GUARD DURING BUSINESS HOURS
  - BULLET RESISTANT ASSEMBLIES TO PROTECT EMPLOYEES
  - METAL DETECTORS
  - "MAN-TRAP" TYPE EXIT
  - ILLUMINATION AROUND BUILDING, IN PARKING AREAS AND IN ADJACENT SIDEWALKS

01	11.16.17	CUP Completeness Review
02	12.11.17	CUP - First Submittal
03	02.08.18	CUP - Second Submittal
04	04.05.18	CUP - Third Submittal
05	05.24.18	CUP - Fourth Submittal

MARK	DATE	DESCRIPTION
5	05/20/18 11:11:41 AM	

PROJECT NO: 1731

CAD DWG FILE: A108 SECOND FLOOR SECURITY PLAN - PROPOSED.DWG

DRAWN BY: A.S., B.P., C.G., S.V.

CHK'D BY: A.S.

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SHEET TITLE

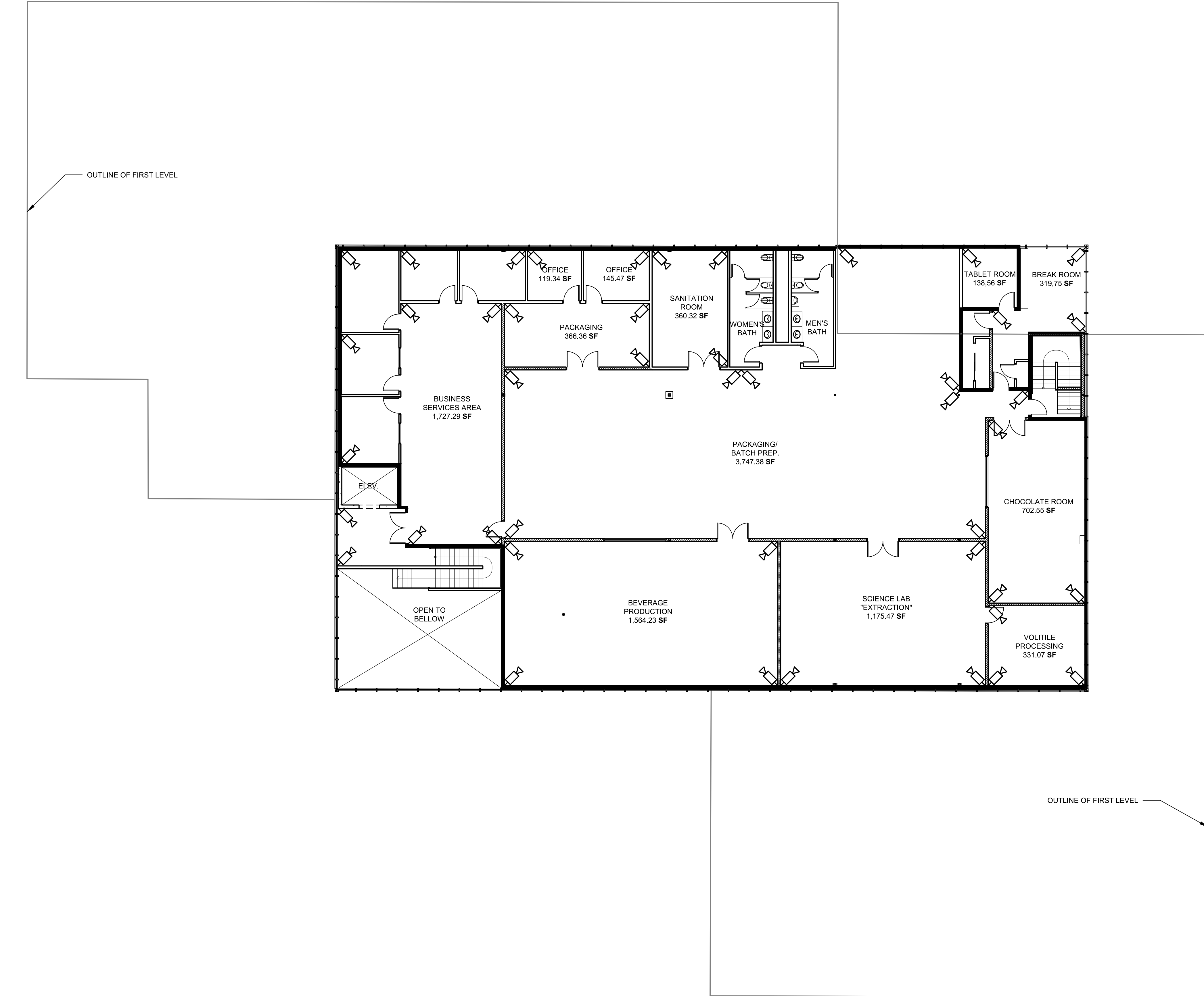
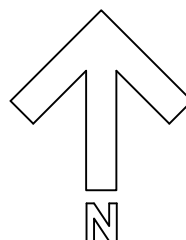
SECOND FLOOR  
SECURITY PLAN -  
PROPOSED

A109

SHEET 17 OF 17

1 SECOND FLOOR SECURITY PLAN - PROPOSED  
SCALE: 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"  
SCALE: 3/32" = 1'-0"





**THE CITY OF SAN DIEGO**

**M E M O R A N D U M**

DATE: September 18, 2018

TO: Chris Larson, Hearing Officer

FROM: Hugo Castaneda, Development Project Manager

SUBJECT: MPF 10170 Sorrento Valley Rd | Project No. 585472

---

The subject project requested a continuance on the September 5, 2018 Hearing Officer hearing to allow the project to be heard and voted upon by the Torrey Pines Community Planning Board (TPCPB). The project was presented to the TPCPB on September 13, 2018, see attached email from the TPCPB Chair, Dennis Ridz for TPCPB's vote and recommendations.



## Castaneda Jr, Hugo

---

**From:** Dennis Ridz <dennisridz@hotmail.com>  
**Sent:** Friday, September 14, 2018 9:10 AM  
**To:** Castaneda Jr, Hugo  
**Cc:** dee rich; wayne.cox8@sbcglobal.net; Murray, Justine; sheryl adams; Susan Lyon; barb cerny; DSD HearingOfficer; Turgeon, Bernard; mikehastings1066@gmail.com  
**Subject:** Re: 585472 | MPF 10170 Sorrento V. RD #B

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

The Board approved MPF by a vote of 6-0-1 with two provisions; that the applicants work with the board to provide a more aggressive fire protection scheme center around the storage of solvents and provide more comprehensive plans for Storm Water retention to remain on the property and avoid run off into the Carroll Canyon Creek.

The applicant agreed to review these two issue and provide solutions/approaches at our Board meeting on October 11th.

---

**From:** Castaneda Jr, Hugo <HCastaneda@sandiego.gov>  
**Sent:** Thursday, September 13, 2018 7:46 AM  
**To:** Dennis Ridz  
**Subject:** RE: 585472 | MPF 10170 Sorrento V. RD #B

Thanks Dennis, keep me posted on the results.

**Hugo Castaneda**  
Development Project Manager  
City of San Diego  
Development Services Department

(T) 619.446.5220  
[HCastaneda@sandiego.gov](mailto:HCastaneda@sandiego.gov)

**CONFIDENTIAL COMMUNICATION**

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---

**From:** Dennis Ridz <dennisridz@hotmail.com>  
**Sent:** Wednesday, September 12, 2018 7:05 PM  
**To:** Castaneda Jr, Hugo <HCastaneda@sandiego.gov>  
**Subject:** Re: 585472 | MPF 10170 Sorrento V. RD #B

as you can see meeting is tomorrow night -

---









## CONSULTANTS

PROPERTY OWNER

## SITE PLAN NOTES

- A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- E. Coordinate with other tenants the temporary shutoff of any site utilities.
- F. Refer to Topographic Survey for additional information. The existing water and sewer services will remain.
- G. No obstruction including solid walls in the visibility area shall exceed 2 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.

### SITE PLAN LEGEND

- |   |                                |
|---|--------------------------------|
|  | PROPERTY LINE                  |
|  | OUTLINE OF EXISTING STRUCTURES |
|  | AREA OF PROPOSED PROJECT       |
|  | SITE DRAINAGE PATTERN          |
|  | ACCESSIBLE ROUTE               |
|  | VEHICULAR CIRCULATION          |

### ADDITIONAL SITE PLAN NOTES

- a. **BUILDING ADDRESS:** Building address numbers must be visible and legible from the street or road fronting the property, per FHPS Policy P-00-6 (UFC 901.4.4)
- b. If the City Building Inspector determines non-compliance with any accessibility provisions, a complete and detailed revised plans clearly showing all existing non-complying conditions and the proposed modifications to meet current accessibility requirements (including site plans, floor plans, details, etc.) will be submitted to the department for review and approval.
- c. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private Landscaping/Irrigation within Sorrento Valley Road public right of way.
- d. Prior to issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, removal of existing two driveway serving the site and replace them with two 24 ft driveway per current City Standard SDG-159 on Sorrento Valley Road.

## EASEMENTS KEYNOTES

- 1 An easement and right of way for ingress and egress per deed 2013-0415730, recorded July 02, 2013.

TOPOGRAPHIC SURVEY

BASIS OF BEARINGS:  
SOUTHEASTERLY LINE OF PARCEL 1 OF PARCEL MAP 12099, I.E. N40°23'04"E

BASIS OF ELEVATIONS:  
CITY OF SAN DIEGO BRASS PIN AT THE NE CORNER OF MIRA SORRENTO  
PALACE AND VISTA SORRENTO PARKWAY IN TOP OF INLET, EL=180.034  
DATUM=MSL


DATE OF SURVEY:  
09/01/2017

NOTE:  
TRANSPORTATION - NO EXISTING OR  
PROPOSED PUBLIC TRANSIT STOPS  
ADJACENT TO PROJECT SITE. NEAREST  
TRANSIT STOP LOCATION  $\pm$  961 FT. ALONG  
SORRENTO VALLEY ROAD.

1 SITE PLAN - PROPOSED  
SCALE: 1/32" = 1'-0"

0 16' 32' 64'

SCALE: 1/32" = 1'-0"



## SITE PLAN - PROPOSED

5 A102

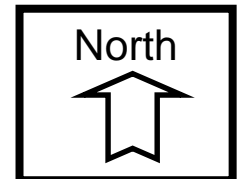
SHEET 7 OF 17





## Aerial Photo

MPF 10170 Sorrento Valley Rd, Suite B  
PROJECT NO. 585472







Front Elevation, Looking Southwest on Sorrento Valley Road



Site on the left, Looking Northwest on Sorrento Valley Road



## Site Photo's

MPF 10170 Sorrento Valley Rd, Suite B  
PROJECT NO. 585472



Site to the right, Looking Southeast on Sorrento Valley Road



## Site Photo

MPF 10170 Sorrento Valley Rd, Suite B  
PROJECT NO. 585472

DOC # 2013-0415730



RECORDING REQUESTED BY:

FIDELITY NATIONAL TITLE

AND WHEN RECORDED MAIL THIS DEED  
AND, UNLESS OTHERWISE SHOWN BELOW,  
MAIL TAX STATEMENTS TO:

CIRE STNL, LLC  
1020 Prospect Street, Ste. 425  
La Jolla, CA 92037  
Attn: Joshua Volen

F6  
3P  
UF  
NP  
TT

JUL 02, 2013 4:22 PM

OFFICIAL RECORDS  
SAN DIEGO COUNTY RECORDER'S OFFICE  
Ernest J. Dronenburg, Jr., COUNTY RECORDER

FEES: 31.00  
OC: OC TAX: N.D.

15430

PAGES: 3



Order #23019367-TC

SPACE ABOVE THIS LINE FOR RECORDER'S USE

APN: 343-130-09

**GRANT DEED**

The undersigned declares that the documentary transfer tax is \$\*\* -and \*\*Transfer Tax set forth in a  
[ ] is computed on the full value of the interest or property conveyed, or separate statement to be affixed  
[X] is computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale, or after the  
[ ] the transfer is exempt from imposition of documentary transfer tax pursuant to Revenue and Taxation Code § permanent  
record is made.

The land, tenements or realty is located in the City of San Diego, State of California

R&amp;T Section 11932

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

The Silverstone Company, LP, a California limited partnership

hereby grants to

CIRE STNL, LLC, a California limited liability company

the following described real property together with all improvements thereon and all interests, easements, and all rights and privileges  
appurtenant thereto, situated in the City of San Diego, County of San Diego, State of California:

A complete legal description is attached and made a part hereof.

THIS GRANT DEED IS MADE AND ACCEPTED SUBJECT TO ALL ITEMS OF RECORD, INCLUDING THE DEED OF TRUST,  
SECURITY AGREEMENT AND FIXTURE FILING DATED JUNE 29, 2006 AND RECORDED IN OFFICIAL RECORDS OF THE  
RECORDER OF SAN DIEGO COUNTY, CALIFORNIA AS DOCUMENT NUMBER 2006-0461958.

DATED: 6-27-13

THE SILVERSTONE COMPANY, LP,  
a California limited partnership

By: Beckridge Corporation,  
a California corporation,  
its General Partner

John C. Raymond, President

15431

STATE OF CALIFORNIA )  
COUNTY OF San Diego ) ss.

On June 27, 2013, before me, Vicki Vail, a Notary Public, personally appeared JOHN C. RAYMOND, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument, and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity, and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY of PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Vicki Vail  
Notary Public



Escrow No.: 23019367-DG

**EXHIBIT A  
LEGAL DESCRIPTION****15432****PARCEL 1:**

ALL THAT PORTION OF ACRE LOT 4 OF SORRENTO LANDS AND TOWNSITE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 483, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 9, 1888, LYING NORTHEASTERLY OF THE RIGHT OF WAY OF ATCHISON, TOPEKA AND SANTA FE RAILROAD CO., FORMERLY CALIFORNIA SOUTHERN RAILROAD.

EXCEPTING THEREFROM THE NORTHWESTERLY 417.04 FEET.

**PARCEL 1A:**

AN EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS OVER THAT PORTION OF LOT 3, IN THE TOWN OF SORRENTO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAPS THEREOF NO. 362 AND 483 AS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF SAID LOT 3; THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT, SOUTH 40° 32' 49" WEST, 17.00 FEET TO THE TRUE POINT OF BEGINNING OF THE EASEMENT TO BE HEREIN DESCRIBED; THENCE LEAVING SAID NORTHWESTERLY LINE, SOUTH 49° 21' 24" EAST, 42.00 FEET; THENCE SOUTH 30° 38' 17" WEST 221.28 FEET TO THE BEGINNING OF A TANGENT 52.00 FEET RADIUS CURVE, CONCAVE EASTERLY; THENCE SOUTHWESTERLY, SOUTHERLY AND SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 68° 39' 45" AN ARC LENGTH OF 62.32 FEET; THENCE, LEAVING SAID CURVE ON A LINE PARALLEL TO THE NORTHWESTERLY LOT LINE OF SAID LOT 3 SOUTH 40° 32' 49" WEST, 263.30 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF A.T. & S.F.R.R.; THENCE, ALONG SAID RIGHT OF WAY LINE, NORTH 56° 57' 34" WEST, 6.38 FEET; NORTH 55° 52' 34" WEST, 36.13 FEET; NORTH 54° 57' 34" WEST, 36.27 FEET; NORTH 54° 12' 34" WEST, 36.42 FEET; NORTH 53° 37' 34" WEST, 6.39 FEET TO A POINT ON THE NORTHWESTERLY LOT LINE OF SAID LOT 3; THENCE ALONG SAID LOT LINE, NORTH 40° 32' 49" EAST, 535.21 FEET TO THE TRUE POINT OF BEGINNING.

gEXHIBITA



Austin Legal Group  
LAWYERS  
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SAN DIEGO, CA 92110

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TELEPHONE  
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(619) 881-0045

Writer's Email:  
gaustin@austinlegalgroup.com

November 9, 2018

Planning Commission  
City of San Diego  
1222 First Ave  
San Diego, CA 92101

**VIA EMAIL**

**RE: Marijuana Outlet at 10170 Sorrento Valley Rd  
PTS # 585472**

Dear Planning Commission

This letter is in support of the appeal of Project No. 585472. This appeal was filed by our client, Sean St. Peter. This letter provides additional support for the appeal of this project and is expressly intended to be part of the record of the appeal. As explained in more detail below, this project does not comply with the parking guidelines laid out in the San Diego Municipal Code and the accessibility guidelines for pedestrian access routes.

#### Background

Heather Riley, on behalf of SVRMC, LLC, submitted an application for a CUP to operate a Marijuana Outlet at 10170 Sorrento Valley Road. On September 5, 2018, the Hearing Officer followed approved the project despite noncompliance with the parking requirements and pedestrian access. Due to these issues, Mr. St. Peter has appealed this project and submits this letter as additional support as to the non-compliance with City requirements.

#### Discussion

As stated above, the two primary concerns for this project are improper parking area and unsafe access to the building's entrance. The San Diego Municipal Code requires minimum width dimension for a perpendicular parking aisle of 24 feet. (§142.0560). The parking area for this project does not provide sufficient backup aisle width. This poses as a safety risk for the vehicles flowing in and out of the designated area as there is not enough room to safely back out of the spaces. In addition, when vehicles are backing out of the parking areas on this project's

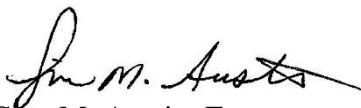
Planning Commission  
November 9, 2018  
Page 2

premises onto the neighboring parcel. There are no parking easements granted to the 10170 Sorrento Valley premises.

The second concern related to this project is the designated pedestrian access route. The access route is located behind a row of parking spaces in direct violation of the City of San Diego's Accessibility Guide for Small Businesses which encompasses the requirements laid out under the Americans with Disabilities Act ("ADA"). The California Building Code ("CBC") also prohibits placing pedestrian access directly behind parking spaces. The CBC requires that accessible routes and paths that are at risk of vehicle encroachment must include some type of barrier, such as a curb or wheel stop, to prevent vehicles from obstructing the path. § 11B-812.5.3. This project provides a pedestrian access path directly behind a row of parking spaces, specifically parking spaces 6-14, without any type of barrier to prevent vehicles from blocking the path. Not only is this a direct violation of the CBC and ADA, but it also poses a major public safety risk.

Considering the project's issues with its provided parking plan and pedestrian access route, the City's approval of the project should be reversed as it is not in full compliance of applicable City requirements and guidelines unless and until the applicant can correct the design of its project. In the highly competitive MPF environment, it is critical that all applications are treated equally and are in full compliance with the San Diego Municipal Code, the ADA, and CBC.

Sincerely,  
AUSTIN LEGAL GROUP, APC



Gina M. Austin, Esq.