



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: February 6, 2020 REPORT NO. PC-20-003

HEARING DATE: February 13, 2020

SUBJECT: BORDER BUSINESS PARK TRUCK.NET. Process Four Decision

PROJECT NUMBER: [497545](#)

OWNER/APPLICANT: Otay Mesa Property L.P., Otay Acquisition L.P., Truck.Net L.P., Otay Truck Parking L.P./David Wick

SUMMARY

Issue: Should the Planning Commission approve the continued operation of a truck/trailer parking and storage facility with proposed site improvements on a 16.43-acre site located at 2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Fuente within the Otay Mesa Community Plan area?

Staff Recommendations:

1. **Approve** Planned Development Permit No. 1752902; and
2. **Approve** Conditional Use Permit No. 1752903.

Community Planning Group Recommendation: On October 17, 2019, the Otay Mesa Community Planning Group voted 10-0-3 to recommend approval of the project without conditions (Attachment 11).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Sections 15301 (Existing Facilities) and 15311 (Accessory Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 17, 2019 and the opportunity to appeal that determination ended October 31, 2019.

Fiscal Impact Statement: None associated with this action. All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: There is no impact on the provision of housing with the

proposed project. The site is designated as International Business and Trade (IBT). The site is further identified in the Otay Mesa's Community Plan Economic Prosperity Element as Prime Industrial. The project proposes the continued operation of an existing truck/trailer parking and storage facility with proposed site improvements, consistent with the proposed land use designation and proposed zoning.

BACKGROUND

The project site consists of 16.43-acres of disturbed land occupied by an existing truck/trailer parking and storage facility located at 2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Fuente. The site is located within the De La Fuente Business Park Tentative Map area approved by the Planning Commission on June 24, 1985 (Figure 1). The site is zoned IBT-1-1 and designated International Business Trade and Prime Industrial within the Otay Mesa Community Plan. Additionally, the site is located within the Community Plan

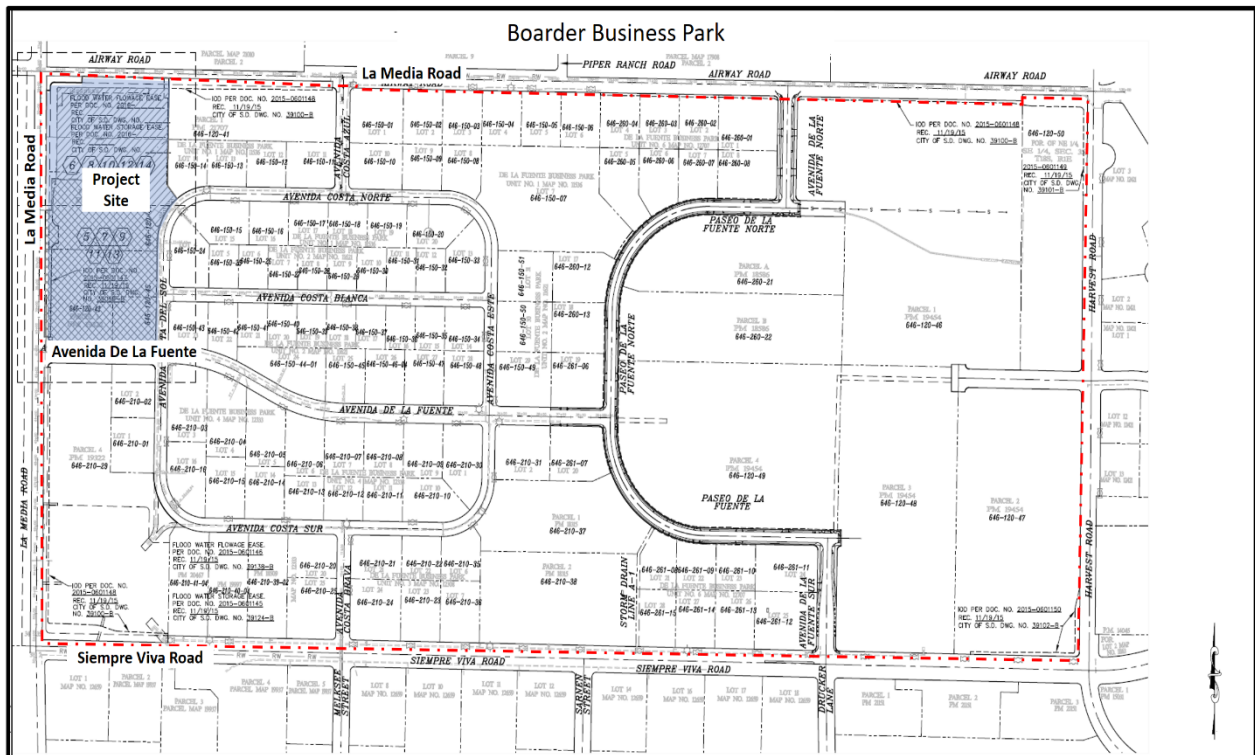


Figure 1: Border Business Park Site Plan

Implementation Overlay Zone (CPIOZ)-A, Airport Land Use Compatibility Overlay Zone, Airport Influence Area (Review Area 2), and the Federal Aviation Administration Part 77 Notification area. To the south and east of the site are other truck/trailer parking and storage facilities that are part of the De La Fuente Business Park, and vacant land lies to the west and north across La Media Road and Airway Road.

On October 19, 1989, the Planning Commission approved Otay Mesa Development (OMD) Permit No. 89-1013 for the construction of a 16,800 square-foot industrial building, landscaping and 51 off-street parking spaces (Attachment 9). On August 6, 1992 the Planning Commission approved Otay

Mesa Development Permit No. 92-0465 for the construction of a 3,933 square-foot truck terminal and supporting facility, landscaping and 22 on-site parking spaces (Attachment 10). Both OMD No. 89-1013 and OMD No. 92-0465 are being amended with this application to allow for proposed improvements to the existing facility.

The entire site is irregular in shape and flat with an elevation differential of five feet from the northern property line to the southern property line. The site currently includes truck parking, an office building inclusive of a restaurant and convenience store located adjacent to Avenida De La Fuente, gas and diesel fuel pumps with canopies, a truck wash and various storage and repair places. The majority of the site has been previously paved (concrete). The project site is not located within or adjacent to the Multiple Habitat Planning Area and does not contain Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) [Section 113.0103](#).

DISCUSSION

Project Description:

The project proposes the continued operation of an existing truck/trailer parking and storage facility with proposed site improvements. The proposed improvements include modified drive aisles, reconstructed driveways, landscaping, a new diesel dispenser island, truck scale, fire lane access, canopy structures, and new curb, gutter and sidewalks. The project proposes deviations to the street side yard setback, driveway widths, and driveway separation (see Project related discussion below). Additionally, the project will include bike parking, additional storm drain installation, additional concrete paving, fencing, infiltration basins, and a new mechanical room. Egress and ingress will be updated so that one-way truck circulation will enter the site from Airway Road and exit through Avenida De La Fuente when the curb cut along Airway Road are reconstructed.

Development of the project includes a Planned Development Permit in accordance with San Diego Municipal Code (SDMC) Section 126.0602 for deviations to the street side yard setback, curb cut widths, and driveway separation, and a Conditional Use Permit in accordance with SDMC Section 126.0303 to expand an automobile service station.

Community Plan Analysis:

The Otay Mesa Community Plan (OMCP) designates the proposed project site as International Business and Trade (IBT). The site is further identified in the Otay Mesa's Economic Prosperity Element as Prime Industrial. In general, lands identified as Prime Industrial in the Community Plan are intended to support export-oriented activities such as warehouse distribution, manufacturing, research and development uses, and supporting business services uses. The project is consistent with the site's identification as Prime Industrial lands as the project provides goods and services to land transportation cargo haulers who carry goods between the United States and Mexico. Additionally, the existing service station is consistent with the IBT land use designation because of the fact it provides support to land transportation cargo haulers. The project provides diesel fueling stations, truck scales, a truck wash and lube station, food and beverage for consumption on-site and off-site, rest-stop facilities and parking for the cargo haulers. The project also supports the IBT businesses by providing these same services to their employees and customers other than cargo

haulers.

The project is within the Otay Mesa Community Plan Implementation Overlay Zone-A (CPIOZ-A) which includes all industrial and commercial properties within Otay Mesa. The CPIOZ-A protects sensitive resources, ensures construction of circulation infrastructure, and ensures conformance with appropriate policies of the Community Plan's Urban Design Element. The project is consistent with CPIOZ-A. It will provide on-site improvements, and screening and separation from industrial uses to the public right-of-way as a required by CPIOZ-A. The proposed facility and use, along with the associated improvements are consistent with the IBT industrial use designation.

Project-Related Issues:

Deviations - An applicant may request deviations from the applicable development regulations in accordance with a Planned Development Permit decided in accordance with Process Four, provided that the findings in [SDMC Section 126.0605\(a\)](#) are made. Three deviations are being requested as part of the project design including: 1) encroachment into the street side yard setback for La Media Road; 2) enlarged driveway widths along La Media Road, Airway Road and Avendia Costa Del Sol; and 3) reduction in driveway separation requirements (Figure 2). The following outlines the deviations and justifications:

DEVIATIONS SUMMARY			
Table 1			
Deviation Description	Deviation from SDMC	Required	Proposed
1. Street Side Yard Setback	SDMC Section 131.0631 Table 131.06C	20 feet	11-foot street side yard setback along La Media Road
2. Driveway Widths	SDMC Section 142.0560(j) Table 142.05M	Maximum driveway widths of 30 feet for two-ways and 20 feet for one-way travel.	60 feet, 40 feet, and 38 feet
3. Driveway Separation	SDMC section 142.0560(j)(6) Table 142-05M	45 feet	14 feet along Avenida De La Fuente

1. *Encroachment into the street side yard setback:* The 2014 Otay Mesa Community Plan Update added an enhanced parkway along La Media Road. The enhanced parkway reconfigured the property line and resulted in the property owner dedicating a portion of the site for the parkway. SDMC section 131.0631 requires a 20-foot street side yard setback. Due to the reconfiguration of La Media Road, the existing 20-foot long fuel dispenser and three existing, 30-foot long metal canopies, with a 26-foot high ceiling encroach 11 feet into the setback along La Media Road. Additionally, the proposed fuel dispenser will also encroach 11 feet into the setback along La Media Road to align with the existing development.

2. Enlarged Driveway Widths: SDMC section 142.0560(j) and Table 142-05M require nonresidential development outside of the Parking Impact Overlay Zone to provide maximum driveway widths of 30 feet for two-way and 20 feet for one-way vehicle travel. The project proposes one 60-foot wide driveway along La Media Road and Avenida De La Fuente, two 40-foot wide driveways along Avenida Costa Del Sol, and one 38-foot wide driveway along Airway Road.

The project's primary purpose is to provide goods and services to land transportation cargo haulers who carry goods between the United States and Mexico. These land transportation haulers use semi-trucks and trailers which require special consideration for ingress, egress, and on-site circulation patterns. Five of the existing eight driveways have been designed to accommodate the land transportation cargo haulers. The California Department of Transportation (Caltrans) requires for a 56-foot turning radius for semi-trucks and trailers. The proposed curb return with curb ramp will efficiently accommodate the 56-foot turning radius.

The Airway Road driveway would eventually be updated to current City improvement standards using City Standard Drawing SDG-120, subject to the approved Capital Improvement Project (CIP) No. B-19020. CIP No. 19020 would modify the Airway Road driveway reducing the curb cut from 60 feet to 38 feet. This alignment would change the ingress/egress from a two-way driveway to a one-way driveway to allow access but not negatively impact operations at the La Media/Airway intersection.

3. Driveway Separation: SDMC section 142.0560(j)(6) and Table 142-05M require a 45-foot length full-height curb between driveways serving the same premises. The project is proposing a 14-foot separation for two driveways located along Avenida De La Fuente.

The project provides diesel fueling stations, truck scales, truck wash and lube, food and beverage for consumption on-site and off-site, rest-stop facilities, and parking for the cargo haulers. The public who live, work, or are passing through Otay Mesa in passenger vehicles also use the project's amenities. The two driveways allow the separation of two different types of traffic uses, truck/trailer storage haulers and patrons walking or using an automobile to access the facility including the convenience store. The two driveways will allow access to the truck/trailer storage yard and access to the convenience store, providing for efficient and safe on-site circulation.

The above three deviations have been analyzed and determined to be consistent with the goals and recommendations of the General Plan, Otay Mesa Community Plan, and the purpose and intent of the IBT 1-1 Zone. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety.

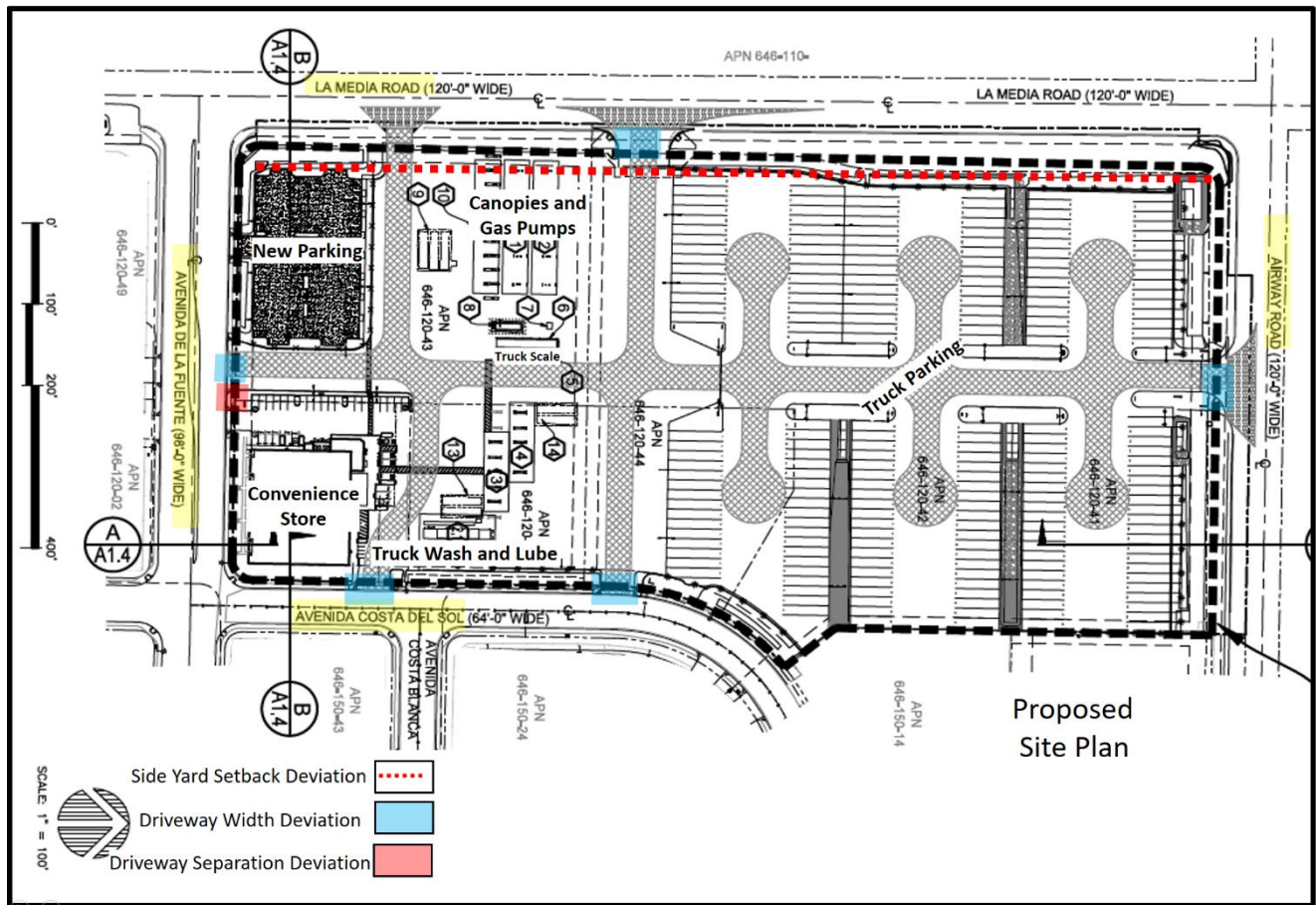


Figure 2: Proposed Site Plan and Deviations

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the SDMC. With the approval of the deviations, the project is consistent with the recommended land use plan, development standards in effect for this site per the SDMC, the Otay Mesa Community Plan, and the General Plan. Thus, staff recommends that the Planning Commission approve the project as proposed.

ALTERNATIVES

1. Approve Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903 with modifications.
2. Deny Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



P. Fitzgerald
Assistant Deputy Director
Development Services Department

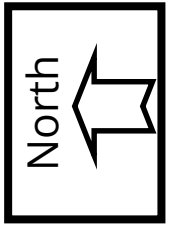


William Zounes
Development Project Manager
Development Services Department

FITZGERALD/WJZ

Attachments:

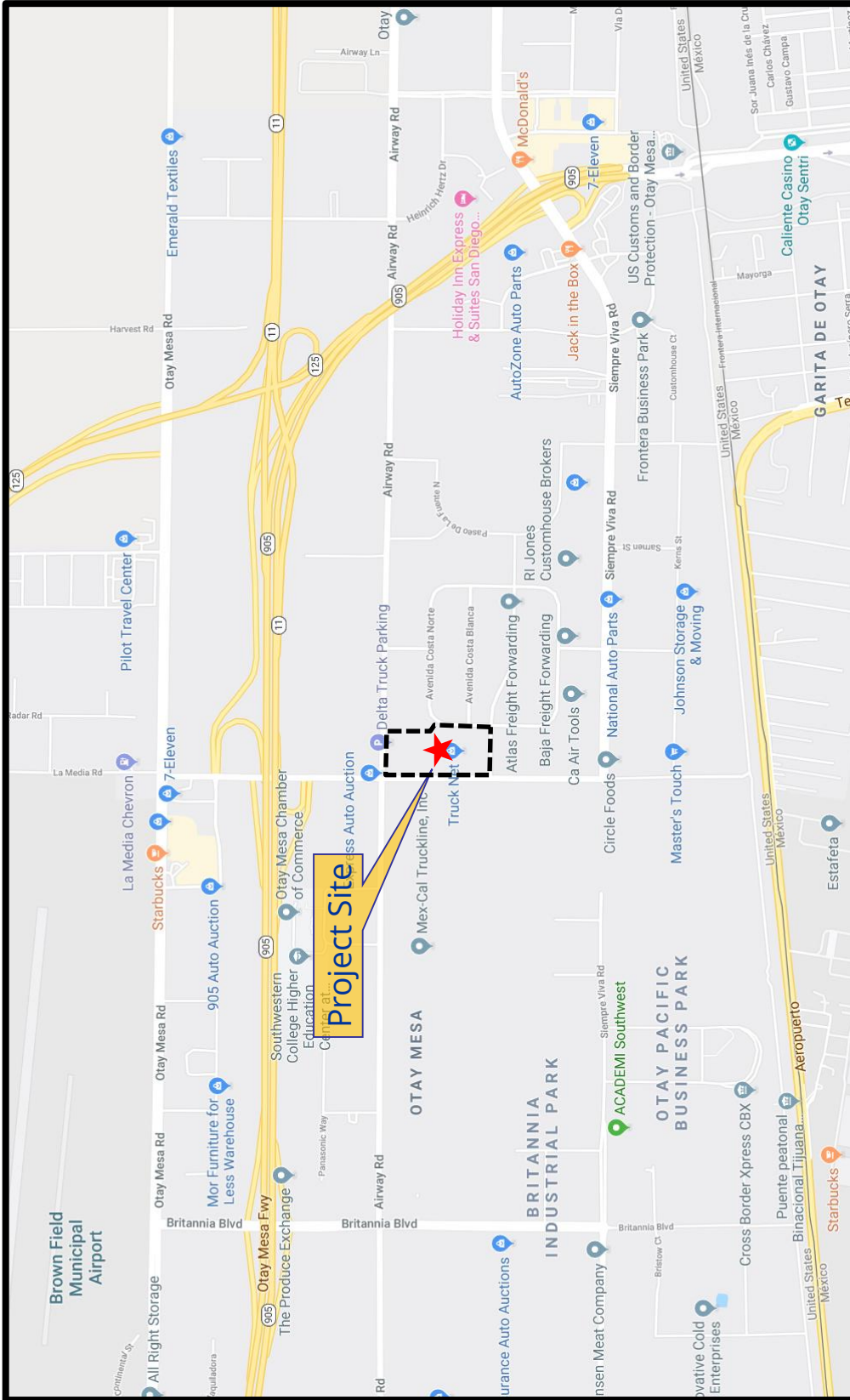
1. Location Map
2. Existing Land Use Designation
3. Aerial Photograph
4. Existing Zoning
5. Site Photographs (Existing)
6. Data Sheet
7. Draft PDP/CUP Resolution with Findings
8. Draft PDP/CUP Permit with Conditions
9. Otay Mesa Development Permit No. 89-1013
10. Otay Mesa Development Permit No. 92-0465
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Plans

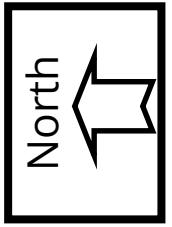


Location Map

BBP Truck.Net -Project No. 497545

2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Fuente



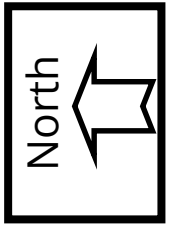


Aerial Photograph

BBP Truck.Net -Project No. 497545

2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Fuente





Zoning Map

BBP Truck.Net -Project No. 497545

2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Fuente





Site Photographs - Looking North from Avenida De La Fuente

BBP Truck.Net -Project No. 497545

**2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa
Del Sol, and 8490 Avenida De La Fuente**





Site Photographs - Looking west from Avenida Costa Del Sol

BBP Truck.Net -Project No. 497545

**2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa
Del Sol, and 8490 Avenida De La Fuente**



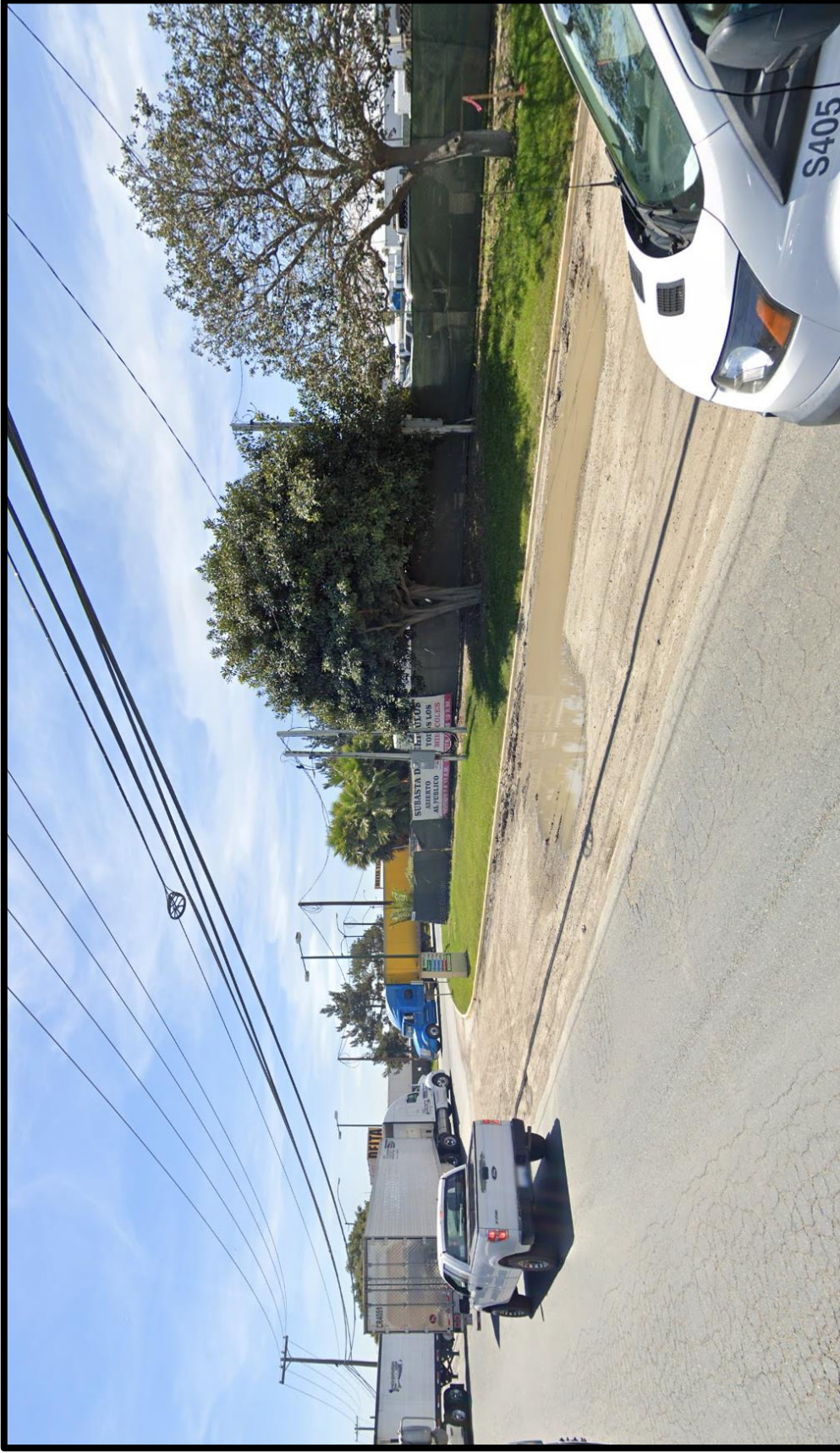


Site Photographs - Looking East from La Media Road

BBP Truck.Net -Project No. 497545

**2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa
Del Sol, and 8490 Avenida De La Fuente**





Site Photographs - Looking Southeast from Airway Road

BBP Truck.Net -Project No. 497545

**2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa
Del Sol, and 8490 Avenida De La Fuente**



PROJECT DATA SHEET		
PROJECT NAME:	BBP – Truck.Net - Project No. 497545	
PROJECT DESCRIPTION:	The continued operation of an existing truck/trailer parking and storage facility with proposed site improvements. The proposed improvements include modified drive aisles, reconstructed driveways, landscaping, a new diesel dispenser with island, truck scale, fire lane access, canopy structures, and new curb, gutter and sidewalks with deviations to the street side yard setback and driveway widths	
COMMUNITY PLAN AREA:	Otay Mesa	
DISCRETIONARY ACTIONS:	Planned Development Permit and Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Business Trade and Prime Industrial	
<u>ZONING INFORMATION:</u>		
<p style="text-align: center;">ZONE: IBT-1-1 HEIGHT LIMIT: N/A LOT SIZE: 16.43-acre FLOOR AREA RATIO: 2.0 FRONT SETBACK: 20/25 SIDE SETBACK: 15 feet STREETSIDE SETBACK: 20 feet REAR SETBACK: 25 feet PARKING: Varies</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Heavy Commercial; IL-3-1	Vacant Land
SOUTH:	International Business and Trade; IBT-1-1	Truck/Trailer Parking and Storage Facility
EAST:	International Business and Trade; IBT-1-1	Truck/Trailer Parking and Storage Facility
WEST:	International Business and Trade; IBT-1-1	Vacant Land
DEVIATIONS OR VARIANCES REQUESTED:	Street Side Yard Setback, driveway widths, and driveway separation.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 17, 2019 the Otay Mesa Community Planning Group voted 10-0-3 to recommend approval of the project without conditions	

PLANNING COMMISSION
RESOLUTION NO. _____
PLANNED DEVELOPMENT PERMIT NO. 1752902
CONDITIONAL USE PERMIT NO. 1752903
BORDER BUSINESS PARK - TRUCK.NET PROJECT NO. 497545
AMENDMENT TO OTAY MESA DEVELOPMENT PERMIT NO. 89-1013 AND
OTAY MESA DEVELOPMENT PERMIT NO. 92-0465

WHEREAS, Otay Mesa Property L.P., Otay Acquisitions L.P., Truck.net LLC, and Otay Truck Parking L. P., Owner/Permittee, filed an application with the City of San Diego for a permit to modify an existing truck/trailer parking and storage facility with proposed off and on-site improvements and remodel an existing automobile service station/food mart as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1752902 and 1752903, on portions of a 16.43-acre site;

WHEREAS, the project site is located at 2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Furente in the IBT-1-1 zone of the Otay Mesa Community Plan;

WHEREAS, the project site is legally described as Parcel 1, 2 and 3 of Parcel Map No. 19322, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, September 10, 2003 and Parcel 1 of Parcel Map No. 19322, as file/page No. 2003-1106905 Official Records;

WHEREAS, on October 17, 2019 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and 15311 (existing facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 13, 2020, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903:

A. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes the continued operation of an existing truck/trailer parking and storage facility with proposed site improvements to include modified drive aisles, reconstructed driveways, landscaping, a new diesel dispenser with island, a truck scale, a new fire lane access, canopy structures, and new curb, gutter and sidewalks. The project also includes improvements to an existing automobile service station/food mart. The 16.43-acre site is located at 2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Furente . The project is in the IBT-1-1 Zone and Community Plan Implementation Overlay Zone (CPIOZ)-A of the Otay Mesa Community Plan .

The Otay Mesa Community Plan (OMCP) designates the proposed project site as International Business and Trade (IBT). The site is further identified in the Otay Mesa's Economic Prosperity Element as Prime Industrial. In general, lands identified as Prime Industrial in the Community Plan are intended to support export-oriented activities such as warehouse distribution, manufacturing, research and development uses, and supporting business services uses. The project is consistent with the site's identification as Prime Industrial lands as the project provides goods and services to land transportation cargo haulers who carry goods between the United States and Mexico. Additionally, the existing service station is consistent with the IBT land use designation because it provides support to land transportation cargo haulers. The project provides diesel fueling stations, truck scales, a truck wash and lube station, food and beverage for consumption on-site and off-site, rest-stop facilities and parking for the cargo haulers. The project also supports the IBT businesses by providing these same services to their employees and customers other than cargo haulers.

The project is within the CPIOZ-A which includes all industrial and commercial properties within Otay Mesa. The CPIOZ-A protects sensitive resources, ensures construction of circulation infrastructure, and ensures conformance with appropriate policies of the Community Plan's Urban Design Element. The project is consistent with CPIOZ-A. It will provide on-site improvements, screening and separation from industrial uses to the public right-of-way as a required by CPIOZ-A.

The proposed facility and use, along with the associated improvements are consistent with IBT industrial use designation. Therefore, the proposed project and its associated site improvements will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project was determined to be categorically exempt from CEQA pursuant to CEQA State Guidelines, Sections 15301 (Existing Facilities) and 15311 (Accessory Structures). The project involves negligible expansion of the existing use and consists of the construction, or placement of minor structures accessory to (appurtenant to) existing commercial, industrial, or institutional facilities, including on-premise signs and small parking lots.

The permit prepared for this project includes various conditions and corresponding exhibits of approvals relevant to achieving compliance with the regulations of the San Diego Municipal Code and California Building Codes for grading and construction. Conditions required for the project include, but are not limited to, storm water and general runoff requirements, landscaping, public improvements including the reconstruction of driveways to current standards, lighting, and sign requirements. The project is required to continue to implement Best Management Practices to minimize discharges to soil and surface waters. All Building, Fire, Plumbing, Electrical and Mechanical Codes governing the construction and continued operation of the development apply to this site to prevent adverse effects. Therefore, the project will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project proposes the continued operation of an existing truck/trailer parking and storage facility with proposed site improvements to include modified drive aisles,

reconstructed driveways, landscaping, a new diesel dispenser with island, a truck scale, a new fire lane access, canopy structures, and new curb, gutter and sidewalks. The project also includes improvements to an existing automobile service station/food mart. The 16.43-acre site is located at 8490 Avenida De La Fuente east of La Media Road between Airway Road and Avenida De La Fuente. The project is in the IBT-1-1 Zone of the Otay Mesa Community Plan and Community Plan Implementation Overlay Zone (CPIOZ)-A.

Encroachment into the street side yard setback: The 2014 Otay Mesa Community Plan Update added an enhanced parkway along La Media Road. The enhanced parkway reconfigured the property line and resulted in the property owner dedicating a portion of the site for the parkway. SDMC section 131.0631 requires a 20-foot street side yard setback. Due to the reconfiguration of La Media Road, the existing 20-foot long fuel dispenser and three existing, 30-foot long metal canopies, with a 26-foot high ceiling encroach 11 feet into the setback along La Media Road. Additionally, the proposed fuel dispenser will also encroach 11 feet into the setback along La Media Road to align with the existing development.

Enlarged Driveway Widths: SDMC section 142.0560(j) and Table 142-05M require nonresidential development outside of the Parking Impact Overlay Zone to provide maximum driveway widths of 30 feet for two-way and 20 feet for one-way vehicle travel. The project proposes one 60-foot wide driveway along La Media Road and Avenida De La Fuente, two 40-foot wide driveways along Avenida Costa Del Sol, and one 38-foot wide driveway along Airway Road.

The project's primary purpose is to provide goods and services to land transportation cargo haulers who carry goods between the United States and Mexico. These land transportation haulers use semi-trucks and trailers which require special consideration for ingress, egress, and on-site circulation patterns. Five of the existing eight driveways have been designed to accommodate the land transportation cargo haulers. The California Department of Transportation (Caltrans) requires for a 56-foot turning radius for semi-trucks and trailers. The proposed curb return with curb ramp will efficiently accommodate the 56-foot turning radius.

The Airway Road driveway would eventually be updated to current City improvement standards using City Standard Drawing SDG-120, subject to the approved Capital Improvement Project (CIP) No. B-19020. CIP No. 19020 would modify the Airway Road driveway reducing the curb cut from 60 feet to 38 feet. This alignment would change the ingress/egress from a two-way driveway to a one-way driveway to allow access but not negatively impact operations at the La Media/Airway intersection.

Driveway Separation: SDMC section 142.0560(j)(6) and Table 142-05M require a 45-foot length full-height curb between driveways serving the same premises. The project is proposing a 14-foot separation for two driveways located along Avenida De La Fuente.

The project provides diesel fueling stations, truck scales, truck wash and lube, food and beverage for consumption on-site and off-site, rest-stop facilities, and parking for the cargo haulers. The public who live, work, or are passing through Otay Mesa in passenger vehicles also use the project's amenities. The two driveways allow the separation of two different types of traffic uses, truck/trailer storage haulers and patrons walking or using an automobile to access the facility including the convenience store. The two driveways will allow access to the truck/trailer storage yard and access to the convenience store, providing for efficient and safe on-site circulation.

The above three deviations have been analyzed and determined to be consistent with the goals and recommendations of the General Plan, Otay Mesa Community Plan, and the purpose and intent of the IBT 1-1 Zone. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

B. CONDITIONAL USE PERMIT [SDMC 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use Plan.

As outlined in Planned Development Permit Finding No. (1)(a), the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Planned Development Permit Finding No. (1)(b), the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As outlined in Planned Development Permit Finding No. (1)(c), the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

ATTACHMENT 7

The project proposes the continued operation of an existing truck/trailer parking and storage facility with site improvements to include modified drive aisles, reconstructed driveways, landscaping, a new diesel dispenser with island, a truck scale, a new fire lane access, canopy structures, and new curb, gutter and sidewalks. The project also includes improvements to an existing automobile service station/food mart.

The proposed Conditional Use Permit is to amend two previously approved Otay Mesa Development Permits (OMD 89-1013 and OMD 92-0465) approved by the Planning Commission on October 19, 1989 and OMD 92-0465 and August 6, 1992, respectively. Both sites are part of the De La Fuente Business Park approved by the Planning Commission on June 24, 1985. The base use for the business park since the 1980's has primarily been truck/trailer parking and storage facility which includes providing goods and services to land transportation cargo haulers who carry goods between the United States and Mexico.

The existing facility currently includes a 20,585-square-foot concrete tilt-up building with a convenience store, delicatessen, public showers, restrooms, laundry facilities, lounge, retail and office space with customer parking areas; 21 diesel fuel dispensers with metal canopies; a masonry building for truck wash and lube services with metal canopy; one ground-level truck scale; an electrical switchboard outbuilding; three 30,000 gallon underground diesel fuel storage tanks; one 10,000 gallon above ground Diesel Exhaust Fluid tank; three 20,000 gallon underground diesel fuel storage tanks; one 22,000 gallon underground diesel fuel storage tank; truck park and storage yards; one monument sign; and one pole sign. The project proposes to add an additional ground-level truck scale, customer vehicular parking, and parking for cargo haulers, as well as directional signage.

The proposed improvements to the existing truck/trailer parking and storage facility use are consistent with the existing industrial use of the property and implements the International Business and Trade (IBT) land use designation of the Community Plan. The existing use is expanding with improvements and providing appropriate accommodations to keep up with current market demand for the facility, therefore, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form,

ATTACHMENT 7

exhibits, terms and conditions as set forth in Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: February 13, 2019

IO#: 24006607

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006607

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 1752902
CONDITIONAL USE PERMIT NO. 1752903
BORDER BUSINESS PARK – TRUCK.NET PROJECT NO. 497545
[AMENDMENT TO OTAY MESA DEVELOPMENT PERMIT NO. 89-1013 AND
OTAY MESA DEVELOPMENT PERMIT NO. 92-0465]
PLANNING COMMISSION

This Planned Development Permit No. 1752902 and Conditional Use Permit No. 1752903 [amendment to Otay Mesa Development Permit No. 89-1013 and Otay Mesa Development Permit No. 92-04654] is granted by the Planning Commission of the City of San Diego to Otay Mesa Property LP, Otay Acquisitions L.P., Truck.Net LLC, and Otay Truck Parking, L. P. Owners, and Permittees, pursuant to San Diego Municipal Code [SDMC] section 143.0402, 126.0303 and 141.0801. The 16.43-acre site is located at 2222 Avenida Costa Del Sol, 8470 Avenida De La Fuente, 2224 Avenida Costa Del Sol, and 8490 Avenida De La Fuente in the IBT-1-1 zone of the Otay Mesa Community Plan. The project site is legally described as: Parcel 2 of Parcel Map No. 21707, in the City of San Diego, County of san Diego, State of California, filed in the Office of the County Recorder of San Diego County, August 9, 2019 as file/page No. 2019-7000294 Official Records and Parcel 3 of Parcel Map No. 19322, filed in the Office of the County Recorder of San Diego County, September 10, 2003 as file/page No. 2003-1106905 Official Records;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for modifications to an existing truck/trailer parking and storage facility with proposed off and on-site improvements and remodel to an existing truck/automobile service station/food mart described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 13, 2020, on file in the Development Services Department.

The project shall include:

- a. Modifications to an existing truck/trailer parking and storage facility to include improvements to:
 - The remodel of a 20,585 square-foot truck/automobile service station/food mart;
 - Removal/Replacement of a 6,240 square-foot truck wash canopy;

- Construction of two existing 3,000 square-foot Novum Open canopies;
- Truck scales;
- Asphalt paving;
- Automobile Parking;
- Chain link fence;
- Loading area;
- Infiltration basin;
- Light poles;
- Curb, gutters, and sidewalks;
- Wheel stops;
- Bicycle/motorcycle parking;
- Zero emissions parking;
- Signs;
- Truck parking;
- Storm drain;
- Additional diesel dispenser and island
- Fire access;
- Pedestrian ramps;
- Decorative gravel;
- Mechanical room;
- Shower facility;
- Truck wash and lube facility; and
- Refuse and recycling area.

b. Deviations:

1. A deviation from SDMC Section 131.0631, and Table 131-06C allowing a portion of an existing 20-foot long fuel dispenser, three existing, 30-foot long metal canopies, with a 26-foot high ceiling to encroach 11 feet, and a proposed fuel dispenser into the setback along La Media Road ;
2. A deviation from SDMC section 142.0560(j), and Table 142-05M allowing one 60-foot wide driveway along La Media Road and Avenida De La Fuente, two, 40-foot wide driveways along Avenida Costa Del Sol, and one 38-foot wide driveway along Airway Road;
3. A deviation from SDMC section 142.0560(j)(6), and Table 142-05M allowing a 14-foot separation for two driveways located along Avenida De La Fuente.

c. Landscaping (planting, irrigation and landscape related improvements);

d. Off-street parking;

e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by February 27, 2023.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit supersedes Otay Mesa Development Permit NO. 89-1013 and Otay Mesa Development Permit NO. 92-0465.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, in a manner satisfactory to the City Engineer.
14. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
15. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009DWQ and a copy shall be submitted to the City, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.
17. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
18. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC 142.0403(b)(5).
19. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all

landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

21. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

23. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

25. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

26. Prior to issuance of the first building permit, the applicant shall provide a recorded Shared Parking Agreement between all affected properties, satisfactory to the City Engineer.

27. Prior to issuance of the first building permit, the applicant shall provide a recorded Joint Use Driveway/Mutual Access Agreement between all affected properties, satisfactory to the City Engineer.

28. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of two 24-foot wide driveway curb cuts along Avenida De La Fuente in the location shown on Exhibit A, satisfactory to the City Engineer.

29. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of one 60-foot wide driveway curb cut along Avenida De La Fuente in the location shown on Exhibit A, satisfactory to the City Engineer.

30. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of two 40-foot wide driveway curb cut along Avenida Costa Del Sol in the location shown on Exhibit A, satisfactory to the City Engineer.

31. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of one 60-foot wide driveway with 30-foot radius curb returns along La Media Road in the location shown on Exhibit A, satisfactory to the City Engineer. This may be completed by CIP project WBS # B-19020.

32. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of one 30-foot wide driveway curb cut along La Media Road in the location shown on Exhibit A, satisfactory to the City Engineer. This may be completed by CIP project WBS # B-19020.

33. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a 38-foot wide one-way driveway with 30-foot radius curb returns along Airway Road in the location shown on Exhibit A, satisfactory to the City Engineer. This may be completed by CIP project WBS # B-19020.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

34. All on-site utilities must be private.

35. All proposed private sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

36. The proposed development is currently subject to the following sewer reimbursement fee: The Otay Mesa Sewer Surcharge fee of \$1821.75 per equivalent dwelling unit (EDU) plus six percent simple interest from 3 12 08 (21351-D-O).

37. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 8

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on February 13, 2020.

DRAFT

PDP No. 1752902/CUP No. 1752903
Date of Approval: February 13, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Otay Mesa Property L.P.
Owner/Permittee

Otay Truck Parking, LP
Owner/Permittee

By _____

By _____

Otay Acquisitions L.P.
Owner/Permittee

Truck.Net LLC
Owner/Permittee

By _____

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

#57

T+I:
OMDD.
Permit
No. 89-1013
Granted
10-19-89
For
16,800 Square-
Foot
Industrial
Building

OTAY MESA DEVELOPMENT PERMIT NO. 89-1013
PLANNING DIRECTOR

This Otay Mesa Development Permit is granted by the Planning Director of the City of San Diego to LOWELL D. STRATE, Owner/Permittee, under conditions in Section 103.1100 of the Municipal Code of the City of San Diego.

1. Permission is hereby granted to Owner/Permittee, to construct an industrial use building located at 6310 Avenida de la Fuente, between Avenida Costa del Sol and the western development boundary, described as Lot 3, Unit 2 of the De La Fuente Business Park, in the Industrial Zone.

2. The Project shall consist of the following:

- a. One 16,800-square-foot industrial use building;
- b. Landscaping;
- c. Off-street Parking; and
- d. Incidental accessory uses as may be determined incidental and approved by the Planning Director.

3. Not fewer than 51 off-street parking spaces shall be maintained on the property in the approximate location shown on Exhibit "A," dated October 19, 1989, on file in the office of the Planning Department. Parking spaces shall be consistent with Division 8 of the Municipal Code and shall be permanently maintained and not converted for any other use. Parking spaces and aisles shall conform to Planning Department standards. Parking areas shall be marked.

4. Before issuance of any building permits, complete grading and building plans shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated October 19, 1989, on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications or amendment of the permit shall have been granted.

5. Before issuance of any grading or building permits, a complete landscape plan, including a permanent irrigation system, shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated October 19, 1989, on file in the office of the Planning Department. Approved plantings shall be installed before issuance of any occupancy permit on any building. Such plantings shall not be modified or altered unless this permit has been amended.

6. All outdoor lighting shall be so shaded and adjusted that the light is directed to fall only on the same premises as light sources are located.
7. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment is stored to a height greater than any adjacent wall or fence.
8. No mechanical equipment, tank, duct, elevator enclosure, cooling tower or mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed structure whose top and sides may include grillwork, louvers and latticework.
9. No merchandise, material or equipment shall be stored on the roof of any building.
10. This Otay Mesa Development Permit must be used within 36 months after the date of City approval October 19, 1989, or the permit shall be void. An Extension of Time may be granted as set forth in Section 101.0920 of the Municipal Code. Any extension of time shall be subject to all standards and criteria in effect at the time the extension is applied for.
11. Construction and operation of the approved use shall comply at all times with the regulations of this or any other governmental agencies.
12. After establishment of the project, the property shall not be used for any other purposes unless:
 - a. Authorized by the Planning Director; or
 - b. The proposed use meets every requirement of the zone existing for the property at the time of conversion; or
 - c. The permit has been revoked by the City.
13. This Otay Mesa Development Permit may be revoked by the City if there is a material breach or default in any of the conditions of this permit.

May 05 04 09:40a

TF Inc

14. Office use shall be permitted on this site in accordance with the Ordinance, provided adequate parking ratios exist for such uses.

15. Prior to the issuance of any building permits, the applicant shall grant an avigation easement over the entire site. The conditions of this easement shall be made satisfactory to the Deputy Director of the Airports Division of the General Services Department.

16. As a condition of approval for this project, the applicant must submit \$289.00 to the Metropolitan Transit Development Board for the Otay Mesa Transit Study.

17. As a final condition of approval for this project, the applicant must satisfy the San Diego Fire Department's requirements. Applicant must provide building address numbers visible and legible from street or road fronting property or a directory, and provide access in conformance with Fire Department Policy A-85-3.

18. This Otay Mesa Development Permit is a covenant running with the lands and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out.

Passed and adopted by the Planning Director of the City of San Diego on October 19, 1989.

ATTACHMENT 10

OTAY MESA DEVELOPMENT PERMIT NO. 92-0465
OTAY TRUCK STOP
PLANNING DIRECTOR

This Otay Mesa Development Permit is granted by the Planning Director of the City of San Diego to VICTORIA GOMEZ Owner/Permittee, under conditions in Section 103.1100 of the Municipal Code of the City of San Diego.

1. Permission is hereby granted to Owner/Permittee, to construct a truck terminal and supporting facility located at 2222 Avenida Costa Del Sol, described as Lots 1 & 2, unit 2 of the De La Fuente Business Park, in the industrial Zone.
2. The Project shall consist of the following:
 - a. Truck terminal and supporting facility of total 3,933 square feet;
 - b. Landscaping;
 - c. Off-street Parking; and
 - d. Incidental accessory uses as may be determined incidental and approved by the Planning Director.
3. Not fewer than 22 off-street parking spaces shall be maintained on the property in the approximate location shown on Exhibit "A," dated August 6, 1992, on file in the office of the Planning Department. Parking spaces shall be consistent with Division 8 of the Municipal Code and shall be permanently maintained and not converted for any other use. Parking spaces and aisles shall conform to Planning Department standards. Parking areas shall be marked.
4. Before issuance of any building permits, complete grading and building plans shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated August 6, 1992, on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.
5. Before issuance of any grading or building permits, a complete landscape plan, including a permanent irrigation system, shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated August 6, 1992, on file in the office of the Planning Department. Approved plantings shall be installed before issuance of any occupancy permit on any building. Such plantings shall not be modified or altered unless this permit has been amended.

ATTACHMENT 10

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6. Prior to the issuance of any building permits, the applicant shall assure the installation of fire hydrants at locations satisfactory to the Fire Department and to the City Engineer.
7. Prior to the issuance of any building permits, the applicant shall provide evidence to the Planning Department indicating that approval has been obtained from the Otay Water District for this development.
8. This Otay Mesa Development Permit must be used within 36 months after the date of City approval (August 6, 1995), or the permit shall be void. An Extension of Time may be granted as set forth in Section 101.0920 of the Municipal Code. Any extension of time shall be subject to all standards and criteria in effect at the time the extension is applied for.
9. Construction and operation of the approved use shall comply at all times with the regulations of this or any other governmental agencies.
10. After establishment of the project, the property shall not be used for any other purpose unless:
 - a. Authorized by the Planning Director; or
 - b. The proposed use meets every requirement of the zone existing for the property at the time of conversion; or
 - c. The permit has been revoked by the City.

Passed and adopted by the Planning Director of the City of San Diego on August 6, 1992.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: BBP-Truck.Net Project No. 497545		Project Number: 497545	Distribution Date:
Project Scope/Location: Conditional Use Permit for Truck Stop at Airway Road and La Media Road			
Applicant Name:		Applicant Phone Number:	
Project Manager: William Zounes	Phone Number: 619 687 5942	Fax Number: (619) 321-3200	E-mail Address: wzounes@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 10	Members No 0	Members Abstain 3 (Ted Shaw, Alejandra Mier y Teran & Diane Kirma)
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: Rob Hixson & Ted Shaw		TITLE: Planning Group Chair and Vice Chair	
SIGNATURE: 		DATE: 10/29/2019	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

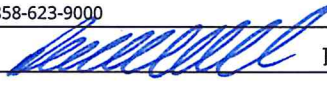
	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Border Business Park - Truck Net Project No. 497545 **Project No. For City Use Only:** _____
Project Address: 2222 - 2224 Avenida Costa Del Sol; 8470 - 8490 Avenida De La Fuente San Diego, CA 92154

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? California Corporate Identification No. 200112000006; 200524900003, 199706300032
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
 Name of Individual: Otay Mesa Property LP Owner Tenant/Lessee Successor Agency
 Street Address: 5440 Morehouse Drive Suite 4000
 City: San Diego State: CA Zip: 92121
 Phone No.: 858-623-9000 Fax No.: 858-623-9009 Email: dwick@natent.com
 Signature:  David Wick, President of Date: 1/7/2020
 Additional pages Attached: Yes No G.P.

Applicant
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

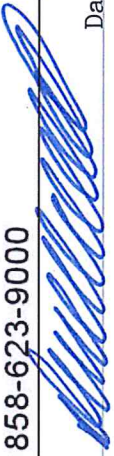
Property Owner

Name of Individual: Otay Acquisitions LP Owner Tenant/Lessee Successor Agency

Street Address: 5440 Morehouse Drive Suite 4000

City: San Diego State: CA Zip: 92121

Phone No.: 858-623-9000 Fax No.: 858-623-9009 Email: dwick@natent.com

Signature:  Date: 1/07/2020

Additional pages Attached: Yes No David Wick, President of General Partner

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Property Owner

Name of Individual: Otay Truck Parking, LP Owner Tenant/Lessee Successor Agency

Street Address: 5440 Morehouse Drive Suite 4000

City: San Diego State: CA Zip: 92121

Phone No.: 858-623-9000 Fax No.: 858-623-9009 Email: dwick@natent.com

Signature:  Date: 1/07/2020

Additional pages Attached: Yes No
David Wick, President of SD Commercial, LLC, Sole Member of General Partner

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No

Applicant

Name of Individual: Truck.Net LLC Owner Tenant/Lessee Successor Agency
Street Address: 5440 Morehouse Drive Suite 4000
City: San Diego State: CA Zip: 92121
Phone No.: 858-623-9000 Fax No.: 858-623-9009 Email: dwick@natent.com
Signature: _____ Date: 1/07/2020
David Wick, President of Member
Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No

BORDER BUSINESS PARK – TRUCK.NET PROJECT NO. 497545

There are three record owners of the real estate which compose the Proposed Conditional Use Permit 1752903 – Otay Mesa Property LP, Otay Truck Parking, LP, and Otay Acquisitions LP.

TRUCK.NET LLC

The owner and operator of the actual truck stop business is Truck.Net LLC. **Truck.Net LLC** is a California limited liability company, corporate identification number 101998327072.

There are two members in **Truck.Net LLC**. **R.K.R. DLFY LP**, is a California limited partnership which owns 99% interest in **Truck.Net LLC**. Its corporate identification number is 199814000038. One percent of **Truck.Net LLC** is owned by **SD Commercial, LLC**.

The General Partner and 1% owner of **R.K.R. DLFY LP** is **NEI Holdings, LLC**. There are 3 limited partners in **R.K.R. DLFY LP**, each of which owns 33% of the limited partnership. The partners are Jaime Marti Irturbide and Gary Triphan co-trustees for the Roque De La Fuente III 1995 Irrevocable Trust; Jaime Marti Irturbide and Gary Triphan co-trustees for the Katayoun De La Fuente Yazdani 1995 Irrevocable Trust; and Jaime Marti Irturbide and Gary Triphan co-trustees for the Ricardo De La Fuente Yazdani 1995 Irrevocable Trust.

SD Commercial, LLC is a California limited liability company which has two members. Its corporate identity is 101995010005. **National Enterprises, Inc.** owns 99% of **SD Commercial, LLC** and **International Property Enterprises, Inc.** owns 1%. The President of **SD Commercial, LLC** is David Wick.

National Enterprises, Inc. is a California corporation. Its corporate identity is 1550918. The President of **National Enterprises, Inc.** is David Wick. The following parties account for 95% of the stock ownership in **National Enterprises, Inc.**: Jaime Marti Irturbide and Gary Triphan co-trustees for the Roque De La Fuente III 1995 Irrevocable Trust; Jaime Marti Irturbide and Gary Triphan co-trustees for the Katayoun De La Fuente Yazdani 1995 Irrevocable Trust; and Jaime Marti Irturbide and Gary Triphan co-trustees for the Ricardo De La Fuente Yazdani 1995 Irrevocable Trust.

International Property Enterprises, Inc. is a Nevada corporation. Its corporate identity is 7270-95. There are three shareholders in **International Property Enterprises, Inc.**, each of which own 1/3 of the company: Jaime Marti Irturbide and Gary Triphan co-trustees for the Roque De La Fuente III 1995 Irrevocable Trust; Jaime Marti Irturbide and Gary Triphan co-trustees for the Katayoun De La Fuente Yazdani 1995 Irrevocable Trust; and Jaime Marti Irturbide and Gary Triphan co-trustees for the Ricardo De La Fuente Yazdani 1995 Irrevocable Trust.

NEI Holdings, LLC is a Delaware limited liability company. Its corporation identity is LLC-4039059. It is sole member is **SD Commercial, LLC**.

Otay Mesa Property LP

Otay Mesa Property LP is one of three real property owners. It is a California limited partnership. Its corporation identity is 200112000006. The general partner and 1% owner of **Otay Mesa Property LP** is **SD Commercial, LLC**. The remaining 99% owner of **Otay Mesa Property LP** is **NEI Real Estate LLC**, which is also the sole limited partner. **NEI Real Estate LLC** is a Nevada limited liability company. Its corporate identity is 3295-98. There are two managing members: **National Enterprises, Inc.** which owns 99% of **NEI Real Estate LLC** and **SD Commercial, LLC** which owns 1% of **NEI Real Estate LLC**.

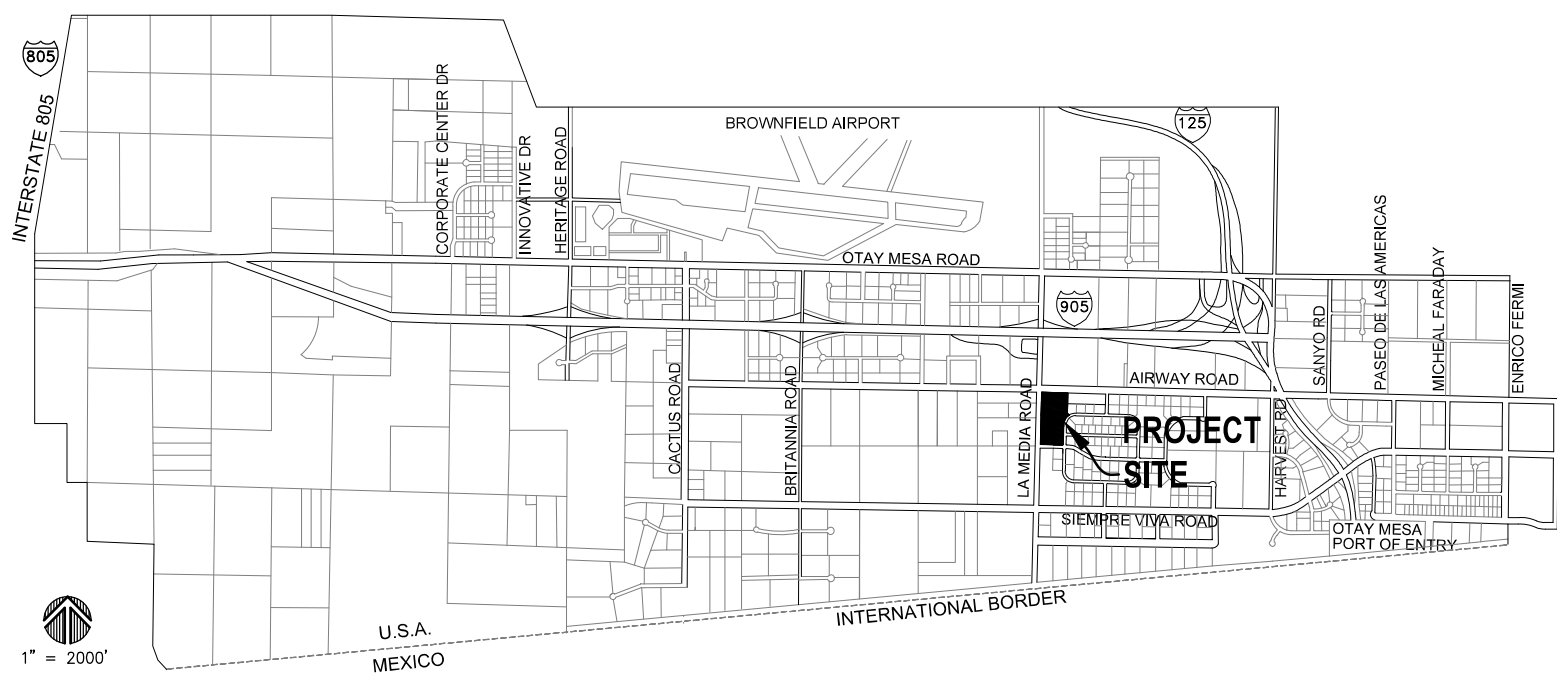
Otay Truck Parking, LP

Otay Truck Parking, LP is the second of three real property owners. It is a California limited partnership. Its corporation identity is 200524900003. The general partner and 1% owner of **Otay Truck Parking, LP** is **NEI Holdings, LLC**. The limited partner and 99% owner of **Otay Truck Parking, LP** is **NEI REAL ESTATE LLC**.

Otay Acquisitions LP

Otay Acquisitions LP is the third of three real property owners. It is a California limited partnership. Its corporation identity is 199706300032. The general partner and 1% owner of **Otay Acquisitions LP** is **SD Commercial, LLC**. The remaining 99% owner of **Otay Acquisitions LP** is **NEI Real Estate LLC**, which is also the sole limited partner.

VICINITY MAP



SITE & BUILDING DATA

COMMUNITY PLAN: OTAY MESA COMMUNITY PLAN (OMCP)
ZONING: INTERNATIONAL BUSINESS & TRADE (IBT-1-1) PRIME INDUSTRIAL
OVERLAY ZONE: COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ-A-2)
PERMITTED USES: TRUCK/TRAILER PARKING, TRUCK TERMINAL, TRUCK/TRAILER STORAGE, CONTAINER STORAGE, WHOLESALE DISTRIBUTION STORAGE
EXISTING USE: TRUCK/TRAILER PARKING, TRUCK TERMINAL, TRUCK WASH AND LUBE, FOOD MART
PROPOSED USE: SAME
CONSTRUCTION TYPE: OFFICE - V WAREHOUSE/STORAGE - VB (NON-FIRE SPRINKLERED) (NON-FIRE SPRINKLERED)
BUILDING CODE DATA: 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA FIRE CODE, 2013 ENERGY CODE / 2008 EES
OCCUPANCY: M, B, S, U
GROSS SITE AREA: 75,691 SQ. FT. / 16.43 ACRES
NET SITE AREA: 640,768 SQ. FT. / 14.71 ACRES
TOTAL FLOOR AREA: 33,818 SQ. FT. / 0.77 ACRES
FLOOR AREA RATIO: 0.047 / 4.5 %
LANDSCAPE AREA: 87,363 SQ. FT. / 2.006 ACRES
REFUSE/RECYCLING AREA: 192 S.F. PER TABLE 142-08C (< 50,000 S.F.)

SHEET INDEX

Table with columns: NO., SHT., SHEET TITLE - DESCRIPTION. Lists sheets 1 through 46 including Title Sheet, Site Easement Plan, Site Plan, Key Map, and various structural and landscape plans.

FAA NOTIFICATION

I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS PROJECT; I CERTIFY THAT THE STRUCTURES SHOWN ON THE PLANS DO NOT REQUIRE FAA NOTIFICATION PER SECTION 77.15 (g) OF THE TITLE 14 OF THE CODE OF FEDERAL REGULATIONS PART 77.
SIGNATURE: KYLE D. STEPHENS DATE: 4/27/2017

ACCESSIBILITY STATEMENTS

I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT; I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.
I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT; I HAVE INSPECTED THE TOILET AND BATHING FACILITIES FOR MEN AND WOMEN, AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PROJECT TEAM

Table listing project address, owner, main office, contact/phone, tenant, and address for various team members including Alta Consultants and TRH, Inc.

PARKING CALCULATIONS

Table showing parking calculations for different zones (IBT-1-1, Retail Sales, Eating & Drinking Establishment, Truck Wash and Lube) with columns for square footage, minimum required ratio, and accessible spaces.

SETBACKS

Table detailing setbacks for Front Street, Street Side, Side Yard, and Rear Yard.

PARCELS

Table listing parcel information including APN, AC., and Owner for parcels 646-120-42 through 646-120-45.

LOCATION MAP



ADDRESSES

2224 AVENIDA COSTA DEL SOL, 8470 AVENIDA DE LA FUENTE, 2224 AVENIDA COSTA DEL SOL, 8490 AVENIDA DE LA FUENTE & APN: 646-120-4300

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 19322, IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 10, 2003 AS FILE/PAGE NO. 2003-1106905 OFFICIAL RECORDS.

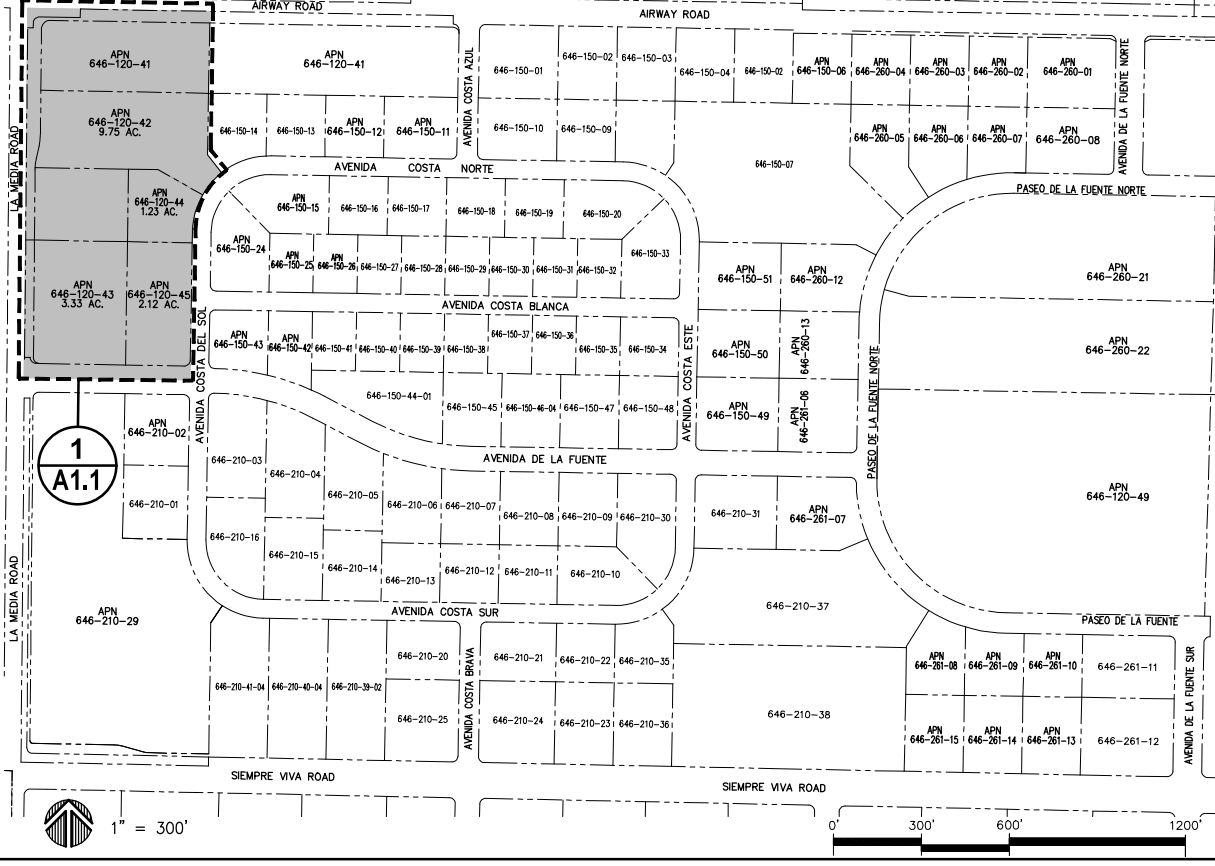
SCOPE OF WORK

PLANNED DEVELOPMENT PERMIT (PDP) AND CONDITIONAL USE PERMIT (CUP) AMENDING OTAY MESA DEVELOPMENT PERMIT NOS. 89-1013 AND 92-0465, FOR AN EXISTING TRUCK/TRAILER PARKING AND STORAGE FACILITY WITH PROPOSED SITE IMPROVEMENTS AND TO AN EXISTING AUTOMOBILE SERVICE STATION/FOOD MART, TO INCLUDE MODIFIED DRIVE AISLES, RECONSTRUCTED DRIVEWAYS, LANDSCAPING, NEW DIESEL DISPENSER AND ISLAND, TRUCK SCALE, FIRE LANE ACCESS, CANOPY STRUCTURES, AND NEW CURB, GUTTER AND SIDEWALKS WITH DEVIATIONS TO THE STREET SIDE YARD SETBACK AND DRIVEWAY WIDTHS, THE 16.43-ACRE SITE IS LOCATED AT 8490 AVENIDA DE LA FUENTE EAST OF LA MEDIA ROAD BETWEEN AIRWAY ROAD AND AVENIDA DE LA FUENTE, THE PROJECT IS IN IBT 1-1 ZONE OF THE OTAY MESA COMMUNITY PLAN, COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ)-A BRUSH MANAGEMENT, VERY HIGH FIRE HAZARD SEVERITY ZONES, AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE, AIRPORT INFLUENCE AREA (REVIEW AREA 2), AND THE FEDERAL AVIATION ADMINISTRATION PART 77 NOTIFICATION AREA, THE COMMUNITY PLAN DESIGNATES THE SITE AS PRIME INDUSTRIAL.

NOTES

- 1. FOR GRADING/PUBLIC IMPROVEMENT APPROVAL PLEASE SEE PTS 412811, 38647-D.
2. FOR POST-CONSTRUCTION BMP APPROVALS PLEASE SEE PTS 412811, SWMDCMA APPROVAL NO. 1601910.
3. ALL CONSTRUCTION BMPs HAVE BEEN ADDRESSED UNDER CONSTRUCTION PERMIT SWPPP FILED UNDER WJD NO. XXXXXXXXXX.
4. THE PUBLIC IMPROVEMENTS ALONG THE PROJECT FRONTAGE ON AIRWAY ROAD AND LA MEDIA ROAD ARE TO BE CONSTRUCTED BY THE CITY'S CAPITAL IMPROVEMENT PROJECT WBS # B-19020.

BORDER BUSINESS PARK



TRH INC. logo and contact information: 1350 COLUMBIA ST., SUITE 702, SAN DIEGO, CA 92101. TEL: (619) 230-1088, FAX: (619) 230-1089, trhinc.com.

APPLICANT: Truck.Net LLC, 5440 MOREHOUSE DR. #4000, SAN DIEGO, CA 92121.

PROJECT: TRUCK.NET CUP, 8490 AVENIDA DE LA FUENTE SUITE 5, SAN DIEGO, CA 92154.

Table with columns: REVISION, ITEM, DATE. Shows a list of revisions with triangle symbols.

Table with columns: THIS SET, ISSUE DATE. Lists items like Design Level, Permit Submittal, Full Submittal, Resubmittal 1-6 with their respective dates.

SHEET TITLE / CONTENTS: TITLE SHEET, INDEX, VICINITY & LOCATION MAPS, DATA, NOTES & INFO

TRH PROJECT#: 248-13-CUP, SCALE: AS NOTED, DRAWN BY: TRH, ORIGINAL DATE: 1/4/2016, CHECKED BY:

SHEET: 1 OF: 46, A0.1

Vertical text on the left margin: All plans, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of, TRH, Inc. and were created, evolved, and developed as instruments of service to, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Stop Drawing submittal, detailed changes must be submitted to this office for approval before proceeding with fabrication.



1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089
trhinc.com



APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△	-	-
△	-	-
△	-	-
△	-	-

THIS SET ISSUE DATE

- DESIGN DEVEL. _____
- PERMIT SUBMITTAL 6/27/16
- FULL SUBMITTAL 7/20/16
- RESUBMITTAL 1 12/9/16
- RESUBMITTAL 2 4/27/17
- RESUBMITTAL 3 1/9/2018
- RESUBMITTAL 4 12/3/2018
- RESUBMITTAL 5 9/10/2019
- RESUBMITTAL 6 10/21/2019

SHEET TITLE / CONTENTS

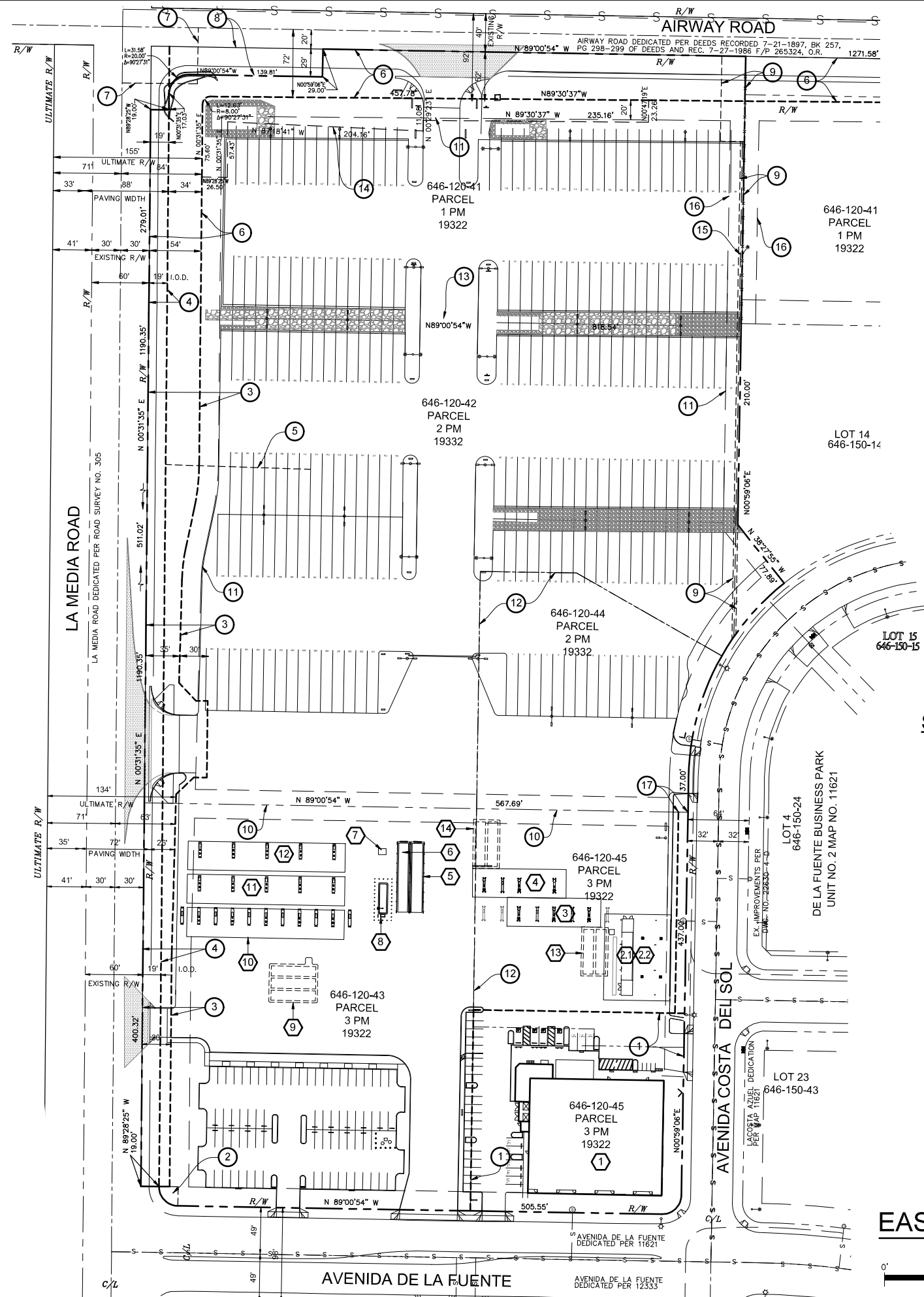
EASEMENT PLAN

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 2 OF: 46

A0.2

ATTACHMENT 13



STRUCTURES KEYNOTES

- ① EXISTING C-STORE
- ② EXISTING TRUCK WASH & LUBE STORAGE BUILDING
- ③ EXISTING METAL CANOPY REMOVE AND REPLACE
- ④ EXISTING DISPENSER CANOPY TO BE PERMITTED
- ⑤ EXISTING DISPENSER CANOPY TO BE PERMITTED
- ⑥ PROPOSED TRUCK SCALE
- ⑦ EXISTING TRUCK SCALE
- ⑧ EXISTING ELECTRICAL SHED
- (1) EXISTING 10,000 GALLON A.G. DEF TANK
- (3) EXISTING 30,000 GALLON U.G. FUEL TANKS
- ⑩ EXISTING DISPENSER CANOPY
- ⑪ EXISTING DISPENSER CANOPY
- ⑫ EXISTING DISPENSER CANOPY
- (2) EXISTING 20,000 GAL. U.G. FUEL TANKS
- (1) EXISTING 20,000 GAL. & (1) 22,000 GAL. U.G. FUEL TANKS

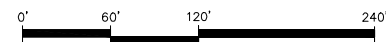
EASEMENT KEYNOTES

- ① EXISTING AVIGATION EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED MAY 22, 1990 FILE NO. 90-279997, O.R.
- ② EXISTING EASEMENT FOR LANDSCAPE AND SIGN MONUMENTATION RECORDED APRIL 29, 2002, AS FILE NO. 2002-0357776, O.R.
- ③ EXISTING IOD PER DOC. NO.2015-0601147 RECORDED 11/19/15, CITY OF SAN DIEGO DWG. NO. 39099-B
- ④ EXISTING 19' IRREVOCABLE OFFER TO DEDICATE PER PM 19332
- ⑤ EXISTING SAN DIEGO GAS & ELECTRIC EASEMENT PER DEED REC. 10/26/48 IN BOOK 2996, PAGE 185, O.R.
- ⑥ EXISTING IOD PER DOC. NO.2015-0601148 RECORDED 11/19/15, CITY OF SAN DIEGO DWG. NO. 39100-B
- ⑦ EXISTING EASEMENT FOR LANDSCAPE AND SIGN MONUMENTATION RECORDED APRIL 29, 2002, AS FILE NO. 2002-0357776, O.R.
- ⑧ PORTION OF AIRWAY ROAD AND LA MEDIA ROAD DEDICATED PER DEED RECORDED FEBRUARY 13, 2013 AS DOCUMENT NO. 2013-0099269, O.R.
- ⑨ EXISTING PACIFIC BELL EASEMENT PER DEED REC. 12/3/86 AS FILE/PAGE NO. 86-558001, O.R.
- ⑩ EXISTING PROPERTY LINE TO REMAIN
- ⑪ EXISTING BUILDING SETBACK LINE
- ⑫ EXISTING ASSESSOR'S LINE
- ⑬ EXISTING PROPERTY LINE TO BE ADJUSTED PER LOT LINE ADJUSTMENT PARCEL MAP/PTS 525906
- ⑭ PROPOSED FLOOD WATER FLOWAGE AND STORAGE EASEMENT PER DOC. NO. 2016- DATED PER SD CITY DWG. 39412-B, STORM WATER MANAGEMENT & DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO. 1809117
- ⑮ PROPOSED PROPERTY LINE ADJUSTMENT PER LOT LINE ADJUSTMENT PARCEL MAP/PTS 525906
- ⑯ PROPOSED BUILDING SETBACK LINE PER LOT LINE ADJUSTMENT PARCEL MAP/PTS 525906
- ⑰ EXISTING 10' SDG&E EASEMENT PER FILE NO. B7-194667

EASEMENT PLAN



SCALE: 1" = 60'



NOTE: EASEMENTS PLOTTED HEREON ARE FROM TITLE REPORTS PREPARED BY CHICAGO TITLE COMPANY ORDER NUMBERS 12206312-996-SD1 AND 12206313-996-SD1 BOTH DATED OCTOBER 5, 2015

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation without the written consent of TRH, Inc. TRH, Inc. shall be held responsible for any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



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APPLICANT:
Truck.Net LLC
5440 MOREHOUSE DR. #400
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP
8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE

THIS SET	ISSUE DATE
<input type="checkbox"/> DESIGN LEVEL	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
<input checked="" type="checkbox"/> RESUBMITTAL 2	4/27/17
<input checked="" type="checkbox"/> RESUBMITTAL 3	1/9/2018
<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
PARTIAL SITE PLAN, LEGEND & KEYNOTES

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 4 OF: 46

ATTACHMENT 13

SEE SHEET A1.3

SITE KEYNOTES

- 1 EXISTING PERMITTED FIRE HYDRANT
- 2 EXISTING PERMITTED STREET LIGHT PER CITY STANDARDS
- 3 EXISTING PERMITTED STREET IMPROVEMENTS
- 4 EXISTING CURB TO BE REMOVED
- 5 EXISTING PERMITTED ACCESSIBLE PEDESTRIAN RAMP
- 6 EXISTING PERMITTED ASPHALT PAVEMENT
- 7 EXISTING PERMITTED STORMDRAIN SYSTEM PER 23712-D & 22830-D
- 8 EXISTING PERMITTED SEWER POC TO REMAIN PER 22598-D
- 9 EXISTING PERMITTED PVC SEWER LINE TO REMAIN
- 10 EXISTING PERMITTED STREET MEDIAN TO REMAIN
- 11 EXISTING PERMITTED ACP WATER LINE TO REMAIN
- 12 EXISTING PERMITTED POTABLE WATER METER TO REMAIN
- 13 EXISTING PERMITTED IRRIGATION WATER LINE TO REMAIN
- 14 EXISTING PERMITTED IRRIGATION WATER METER TO REMAIN
- 15 EXISTING PERMITTED SDG&E ELECTRICAL OVERHEAD LINES
- 16 EXISTING PERMITTED SDG&E ELECTRICAL UNDERGROUND LINES
- 17 EXISTING PERMITTED ELECTRICAL VAULT PER SDG&E
- 18 EXISTING PERMITTED SDG&E ELECTRICAL TRANSFORMER
- 19 EXISTING PERMITTED CONCRETE PAVEMENT
- 20 EXISTING PERMITTED ON-SITE LIGHT POST & FIXTURE(S) PER E SHEETS
- 21 RELOCATE PERMITTED ON-SITE LIGHT POST & FIXTURE(S) PER E SHEETS
- 22 EXISTING PERMITTED STANDARD AUTO VEHICLE PARK SPACE
- 23 EXISTING PERMITTED CONCRETE CURB TO REMAIN
- 24 EXISTING PERMITTED LANDSCAPING & IRRIGATION
- 25 EXISTING PERMITTED MASONRY WALL TO REMAIN
- 26 EXISTING BUILDING SETBACK LINE
- 27 EXISTING PERMITTED FIRE SERVICE LINE & BACKFLOW TO REMAIN
- 28 EXISTING PERMITTED SDG&E ELECTRICAL UTILITY POLE
- 29 EXISTING PERMITTED DIESEL DISPENSERS & ISLANDS (18) TO REMAIN
- 30 REMOVE EXISTING DRIVEWAY AND REPLACE WITH CURRENT CITY STANDARD DRIVEWAY PER DEVIATION REQUEST FORM
- 31 EXISTING DISPENSERS & ISLANDS TO BE REMOVED - TOTAL 3
- 32 EXISTING NON-PERMITTED FENCE TO BE REMOVED
- 33 EXISTING PERMITTED WATER P.O.C. TO REMAIN
- 34 EXISTING NON-PERMITTED PATIO CANOPY
- 35 EXISTING PERMITTED CONCRETE SIDEWALK
- 36 EXISTING SIGN TO BE RELOCATED
- 37 EXISTING PERMITTED EDGE OF PAVEMENT
- 38 EXISTING (1) GASOLINE & DIESEL DISPENSER TO REMAIN
- 39 EXISTING ASSESSORS PARCEL LINE
- 40 EXISTING PERMITTED PROPANE TANKS TO REMAIN

- 41 PROPOSED ASPHALT PAVEMENT
- 42 PROPOSED 8'-6" X 18'-0" VEHICULAR PARKING SPACE PER CITY STANDARDS
- 43 PROPOSED CHAINLINK FENCE W/ GREEN SHADE CLOTH
- 44 PROPOSED 12'-0" X 35'-0" LOADING / UNLOADING SPACE
- 45 PROPOSED INFILTRATION BASINS PER GRADING PLANS
- 46 PROPOSED LIGHT POLE PER CITY STANDARDS AND KEY LEGEND
- 47 PROPOSED LANDSCAPING AND IRRIGATION PER LANDSCAPE SHEETS
- 48 PROPOSED 6" HIGH CONCRETE CURB & GUTTER PER CITY STANDARDS
- 49 PROPOSED 6" HIGH CONCRETE WHEEL STOPS
- 50 PROPOSED CONCRETE SIDEWALK
- 51 PROPOSED 5'-0" X 10'-0" BICYCLE PARKING SPACE
- 52 PROPOSED 8'-0" X 15'-0" MOTORCYCLE PARKING SPACE
- 53 PROPOSED 9'-0" X 20'-0" CARPOOL/ZERO EMISSION PARKING SPACE - TOTAL 8
- 54 PROPOSED ACCESSIBILITY SIGNS
- 55 PROPOSED CONCRETE PAVEMENT
- 56 PROPOSED 12'-0" X 65'-0" TRUCK PARKING SPACE
- 57 PROPOSED STORM DRAIN SYSTEM PER GRADING PLANS
- 58 PROPOSED (1) NEW DIESEL DISPENSER & ISLAND
- 59 PROPOSED ACCESSIBLE PATH OF TRAVEL:
A. RUNNING SLOPES NOT TO EXCEED 1:20 (5% GRADIENT)
B. CROSS SLOPE NOT TO EXCEED 1:50 (2% GRADIENT)
- 60 PROPOSED 10'X10' VISIBILITY TRIANGLES PER CITY STANDARDS (LDC 113.0273)
- 61 PROPOSED ON-SITE FIRE ACCESS LANE
- 62 PROPOSED SLOPE TO BE LANDSCAPED & IRRIGATED
- 63 PROPOSED SURFACE PAINTED NUMBERS, LETTERS, STRIPES, & SYMBOLS
- 64 PROPOSED SITE SIGNAGE PER SHEETS E1.1 & E1.2
- 65 PROPOSED DECORATIVE GRAVEL, BOULDERS & RIVER ROCK TO REPLACE GRASS
- 66 PROPOSED MECHANICAL ROOM
- 67 PROPOSED EXTERIOR DOOR W/ LEVEL LANDING
- 68 PROPOSED I.O.D., PER EASEMENT PLAN SHEET A0.2
- 69 PROPOSED REFUSE AND RECYCLING AREAS ENCLOSURE
- 70 PROPOSED 25'X25' VISIBILITY TRIANGLES PER CITY STANDARDS
- 71 PROPOSED ACCESSIBLE PEDESTRIAN RAMP
- 72 PROPOSED CLEARANCE SIGN
- 73 PROPOSED CONCRETE CURB, GUTTER & SIDEWALK PER CITY STANDARDS
- 74 PROPOSED 60'-0" WIDE DRIVEWAY PER CITY OF SAN DIEGO ENGINEERING
- 75 PROPOSED 30'-0" RADIUS CURB RETURN PER CITY STANDARDS
- 76 PROPOSED RELOCATED SIGN

STREET IMPROVEMENTS KEYNOTES

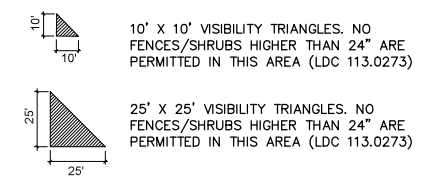
- E.P. EXISTING PERMITTED
- NEW PROPOSED DRIVEWAY CURB-CUT

SITE NOTES

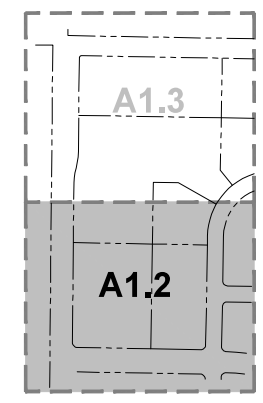
1. NO PROPOSED AUTOMOBILE SERVICE STATIONS. ONLY COMMERCIAL SEMI TRUCK SERVICE STATION FOR TRUCK WASH & LUBE.
2. THE PUBLIC IMPROVEMENTS ALONG THE PROJECT FRONTAGE ON AIRWAY ROAD AND LA MEDIA ROAD ARE TO BE CONSTRUCTED BY THE CITY'S CAPITAL IMPROVEMENT PROJECT WS# B-19020.

SITE LEGEND

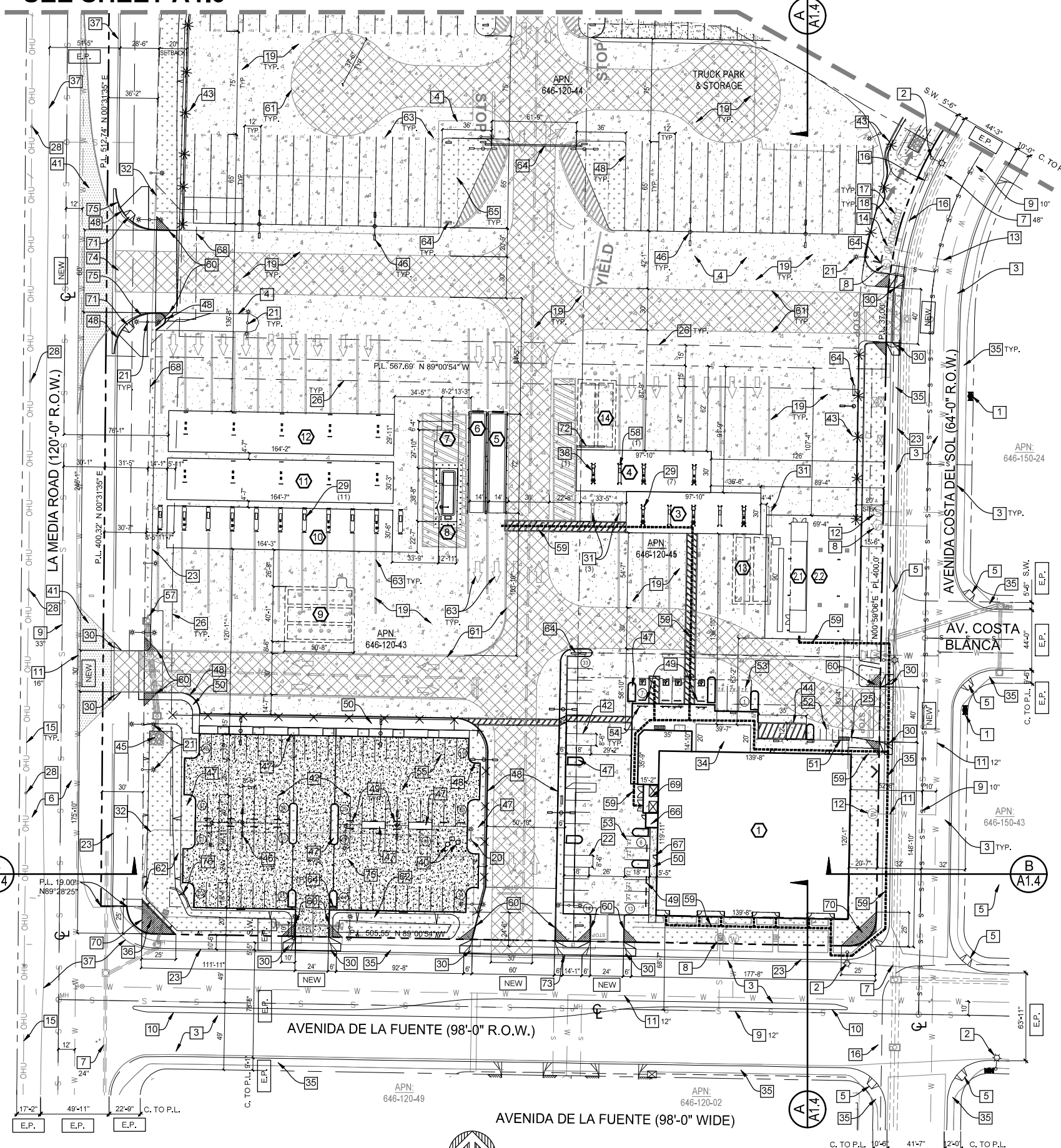
- EXISTING CONCRETE PAVEMENT TO REMAIN
- PROPOSED CONCRETE PAVEMENT
- PROPOSED LANDSCAPING PER LANDSCAPING PLANS
- PROPERTY LINE
- PROPOSED CHAINLINK FENCE W/ GREEN SHADE CLOTH PER CITY STANDARDS
- SITE KEYNOTE SYMBOL THIS SHEET SIZE OF UTILITY LINE WHERE NOTED
- STRUCTURE NUMBER SYMBOL PER STRUCTURE DATA SHEET A1.1
- VEHICULAR PARKING SPACE SYMBOL
- TRUCK PARKING SPACE SURFACE PAINTED NUMBER
- STREET IMPROVEMENTS KEYNOTE SYMBOL THIS SHEET
- 29'-0" HIGH LIGHT POLE & FIXTURE, PER CITY STANDARDS
- PROPOSED FIRE ACCESS LANE
- SECTION REFERENCE NUMBER SHEET NUMBER
- ACCESSIBLE PATH OF TRAVEL NOT TO EXCEED 2% SLOPE IN ALL DIRECTIONS
- PROPOSED LOADING ZONE



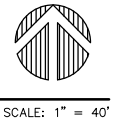
- ABBREVIATIONS:
- S.W. = SIDEWALK
 - C.C. & D.W. = CURB CUT & DRIVE-WAY
 - C. TO P.L. = CURB TO PROPERTY LINE



KEY MAP



PARTIAL SITE PLAN

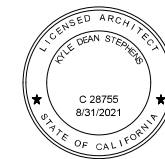


SCALE: 1" = 40'

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APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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△	-	-
△	-	-
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△	-	-

THIS SET	ISSUE DATE
<input type="checkbox"/> DESIGN LEVEL	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
<input checked="" type="checkbox"/> RESUBMITTAL 2	4/27/17
<input checked="" type="checkbox"/> RESUBMITTAL 3	1/9/2018
<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS

PARTIAL SITE PLAN, LEGEND & KEYNOTES

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 5 OF: 46

A1.3

SITE KEYNOTES

- 1 EXISTING PERMITTED FIRE HYDRANT
- 2 EXISTING PERMITTED STREET LIGHT PER CITY STANDARDS
- 3 EXISTING PERMITTED STREET IMPROVEMENTS
- 4 NOT USED
- 5 NOT USED
- 6 EXISTING PERMITTED ASPHALT PAVEMENT
- 7 EXISTING PERMITTED STORMDRAIN SYSTEM PER 23712-D & 22630-D
- 8 EXISTING PERMITTED SEWER P.O.C. TO REMAIN PER 22598-D
- 9 EXISTING PERMITTED PVC SEWER LINE TO REMAIN
- 10 NOT USED
- 11 EXISTING PERMITTED ACP WATER LINE TO REMAIN
- 12 NOT USED
- 13 NOT USED
- 14 NOT USED
- 15 EXISTING PERMITTED SDG&E ELECTRICAL OVERHEAD LINES
- 16 EXISTING PERMITTED SDG&E ELECTRICAL UNDERGROUND LINES
- 17 EXISTING PERMITTED ELECTRICAL VAULT PER SDG&E
- 18 EXISTING PERMITTED SDG&E ELECTRICAL TRANSFORMER
- 19 EXISTING PERMITTED CONCRETE PAVEMENT
- 20 EXISTING PERMITTED ON-SITE LIGHT POST & FIXTURE(S) PER E SHEETS
- 21 RELOCATE PERMITTED ON-SITE LIGHT POST & FIXTURE(S) PER E SHEETS
- 22 NOT USED
- 23 EXISTING PERMITTED CONCRETE CURB TO REMAIN
- 24 NOT USED
- 25 NOT USED
- 26 EXISTING BUILDING SETBACK LINE
- 27 NOT USED
- 28 EXISTING PERMITTED SDG&E ELECTRICAL UTILITY POLE
- 29 NOT USED
- 30 EXISTING PERMEABLE SURFACE PER CHAPTER 14, ARTICLE 2, DIV. 11
- 31 EXISTING PERMITTED HIGH-RISE SIGN TO REMAIN
- 32 EXISTING NON-PERMITTED FENCE TO BE REMOVED
- 33 EXISTING PERMITTED WATER P.O.C. TO REMAIN
- 34 NOT USED
- 35 EXISTING PERMITTED CONCRETE SIDEWALK
- 36 NOT USED
- 37 EXISTING PERMITTED EDGE OF PAVEMENT
- 38 NOT USED
- 39 NOT USED
- 40 NOT USED

- 41 PROPOSED ASPHALT
- 42 PROPOSED TRENCH RESURFACING
- 43 PROPOSED CHAINLINK FENCE W/ GREEN SHADE CLOTH
- 44 PROPOSED 38'-0" WIDE CONCRETE DRIVEWAY PER CITY STANDARDS
- 45 PROPOSED INFILTRATION BASINS PER GRADING PLANS
- 46 PROPOSED LIGHT POLE PER CITY STANDARDS AND KEY LEGEND
- 47 PROPOSED LANDSCAPING AND IRRIGATION PER LANDSCAPE SHEETS
- 48 NOT USED
- 49 NOT USED
- 50 NOT USED
- 51 NOT USED
- 52 NOT USED
- 53 NOT USED
- 54 NOT USED
- 55 PROPOSED CONCRETE PAVEMENT
- 56 PROPOSED 12'-0" X 65'-0" TRUCK PARKING SPACE
- 57 PROPOSED STORM DRAIN SYSTEM PER GRADING PLANS
- 58 PROPOSED COBBLE PER GRADING PLANS
- 59 PROPOSED GRAVEL PER GRADING PLANS
- 60 PROPOSED VISIBILITY TRIANGLES PER CITY STANDARDS (LDC 113.0273)
- 61 PROPOSED ON-SITE FIRE ACCESS LANE
- 62 PROPOSED SLOPE TO BE LANDSCAPED & IRRIGATED
- 63 PROPOSED SURFACE PAINTED NUMBERS, LETTERS, STRIPES, & SYMBOLS
- 64 PROPOSED SITE SIGNAGE PER SHEETS E1.1 & E1.2
- 65 PROPOSED DECORATIVE GRAVEL, BOULDERS & RIVER ROCK TO REPLACE GRASS
- 66 NOT USED
- 67 NOT USED
- 68 PROPOSED I.O.D. PER EASEMENT PLAN SHEET A0.2
- 69 NOT USED
- 70 PROPOSED 25'X25' VISIBILITY TRIANGLES PER CITY STANDARDS
- 71 PROPOSED ACCESSIBLE PEDESTRIAN RAMP
- 72 NOT USED
- 73 PROPOSED 30'-0" RADIUS CURB RETURN PER CITY STANDARDS
- 74 PROPOSED LOT LINE ADJUSTMENT PER PARCEL MAP PTS 525906

STREET IMPROVEMENTS KEYNOTES SITE NOTES

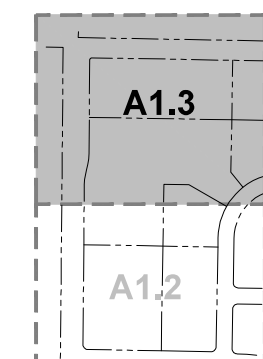
- E.P. EXISTING PERMITTED
- NEW PROPOSED DRIVEWAY CURB-CUT

- NO PROPOSED AUTOMOBILE SERVICE STATIONS. ONLY COMMERCIAL SEMI TRUCK SERVICE STATION FOR TRUCK WASH & LUBE.
- THE PUBLIC IMPROVEMENTS ALONG THE PROJECT FRONTAGE ON AIRWAY ROAD AND LA MEDIA ROAD ARE TO BE CONSTRUCTED BY THE CITY'S CAPITAL IMPROVEMENT PROJECT WBS # B-19020.

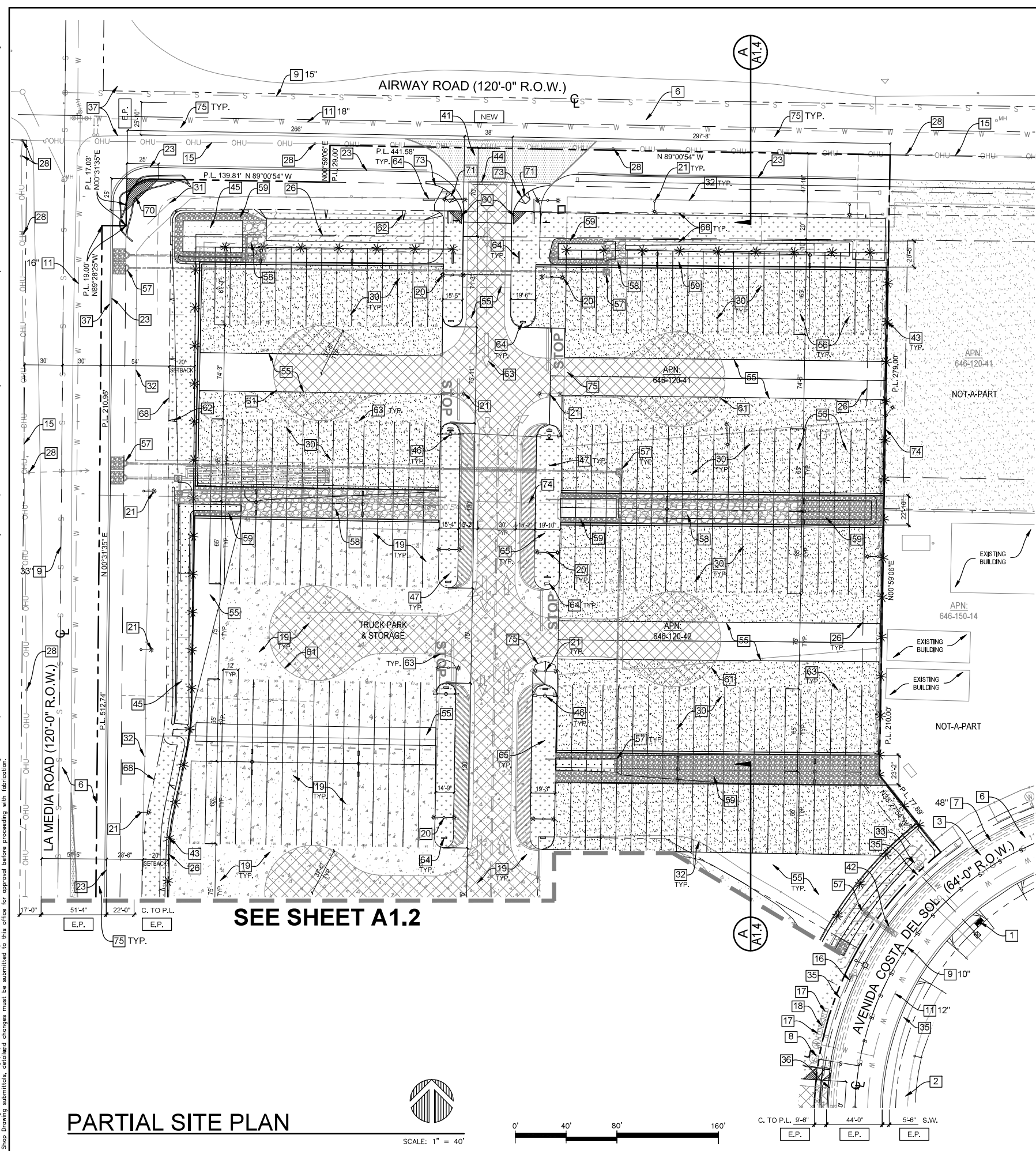
SITE LEGEND

- EXISTING DG BASE TO REMAIN
- EXISTING CONCRETE PAVEMENT TO REMAIN
- PROPERTY LINE
- PROPOSED CHAINLINK FENCE W/ GREEN SHADE CLOTH PER CITY STANDARDS
- SITE KEYNOTE SYMBOL THIS SHEET
- TRUCK PARKING SPACE SURFACE PAINTED NUMBER
- STREET IMPROVEMENTS KEYNOTE SYMBOL THIS SHEET
- 29'-0" HIGH LIGHT POLE & FIXTURE, PER CITY STANDARDS
- PROPOSED FIRE ACCESS LANE
- SECTION REFERENCE NUMBER SHEET NUMBER
- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL PER GRADING PLANS
- PROPOSED COBBLE PER GRADING PLANS
- PROPOSED LANDSCAPING PER LANDSCAPING PLANS

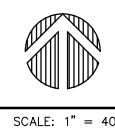
- ABBREVIATIONS:**
- S.W. = SIDEWALK
 - C.C. & D.W. = CURB CUT & DRIVE-WAY
 - C. TO P.L. = CURB TO PROPERTY LINE
 - 10' X 10' VISIBILITY TRIANGLES. NO FENCES/SHRUBS HIGHER THAN 24" ARE PERMITTED IN THIS AREA (LDC 113.0273)
 - 25' X 25' VISIBILITY TRIANGLES. NO FENCES/SHRUBS HIGHER THAN 24" ARE PERMITTED IN THIS AREA (LDC 113.0273)



NO SCALE
KEY MAP



PARTIAL SITE PLAN



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SITE SECTION KEYNOTES

- | | | |
|---|--|---|
| 1 EXISTING PROPERTY LINE TO REMAIN | 16 EXISTING BOLLARDS TO REMAIN | 31 PROPOSED LIMIT OF WORK |
| 2 EXISTING CONCRETE CURB & SIDEWALK TO REMAIN | 17 EXISTING CONCRETE CURB TO REMAIN | 32 PROPOSED CURB |
| 3 EXISTING LIGHT POLE AND FIXTURE TO REMAIN | 18 EXISTING CONCRETE SIDEWALK TO REMAIN | 33 PROPOSED SIDEWALK |
| 4 EXISTING NON-PERMITTED DISPENSER CANOPY TO BE PERMITTED | 19 EXISTING WALL TO REMAIN | 34 PROPOSED LIGHT POLE AND FIXTURE(S) |
| 5 (NOT USED) | 20 EXISTING ASSESSOR PARCEL LINE TO REMAIN | 35 PROPOSED TRUCK PARKING SPACE |
| 6 EXISTING TRUCK LUBE & WASH BUILDING TO REMAIN | 21 EXISTING (2) PROPANE TANKS TO REMAIN | 36 PROPOSED TRUCK PARKING AISLE |
| 7 EXISTING C-STORE BLDG TO REMAIN | 22 EXISTING LUBE PIT TO REMAIN | 37 PROPOSED AUTO PARKING SPACE |
| 8 EXISTING GRADE TO REMAIN | 23 EXISTING PARKWAY TO REMAIN | 38 PROPOSED FIRE ACCESS ROAD |
| 9 EXISTING FINISH FLOOR ELEVATION TO REMAIN | 24 EXISTING STREET | 39 PROPOSED DISPENSERS |
| 10 EXISTING FLOOR ELEVATION TO REMAIN | 25 EXISTING PATIO CANOPY TO REMAIN | 40 PROPOSED BOLLARDS |
| 11 EXISTING CEILING ELEVATION TO REMAIN | 26 EXISTING TOP OF ROOF TO REMAIN | 41 PROPOSED 8' HIGH FENCE |
| 12 EXISTING PARAPET ELEVATION TO REMAIN | 27 EXISTING ELECTRICAL METAL SHED TO REMAIN | 42 EXISTING TRUCK LUBE & WASH METAL CANOPY - REMOVE AND REPLACE |
| 13 EXISTING ELEVATION TO REMAIN | 28 EXISTING TOP OF ELECTRICAL METAL SHED TO REMAIN | 43 PROPOSED CANOPY ELEVATION |
| 14 EXISTING AUTO PARKING SPACE(S) TO REMAIN | 29 EXISTING U.G. STORAGE TANKS TO REMAIN | 44 PROPOSED SIGNS PER SHEETS A5.1 & A5.2 |
| 15 EXISTING DISPENSERS TO REMAIN | 30 EXISTING A.G. DEF TANK TO REMAIN | 45 EXISTING NON-PERMITTED FUEL DISPENSER CANOPY TO BE PERMITTED |

SITE SECTION NOTES

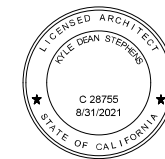
- ALL SPOT ELEVATIONS ARE BASED ON TOPOGRAPHIC SOURCE DATED OCTOBER 2013 BY MERCATOR ASSOCIATES, INC.
- ALL GRADES ARE EXISTING TO REMAIN.
- GRADING SHEETS PREPARED BY ALTA CONSULTANTS.

STRUCTURES KEYNOTES

- | |
|---|
| 1 EXISTING C-STORE |
| 2.1 EXISTING TRUCK WASH & LUBE STORAGE BUILDING |
| 2.2 EXISTING METAL CANOPY REMOVE AND REPLACE |
| 3 EXISTING DISPENSER CANOPY TO BE PERMITTED |
| 4 EXISTING DISPENSER CANOPY TO BE PERMITTED |
| 5 PROPOSED TRUCK SCALE |
| 6 EXISTING TRUCK SCALE |
| 7 EXISTING ELECTRICAL SHED |
| 8 (1) EXISTING 10,000 GALLON A.G. DEF TANK |
| 9 (3) EXISTING 30,000 GALLON U.G. FUEL TANKS |
| 10 EXISTING DISPENSER CANOPY |
| 11 EXISTING DISPENSER CANOPY |
| 12 EXISTING DISPENSER CANOPY |
| 13 (2) EXISTING 20,000 GAL. U.G. FUEL TANKS |
| 14 (1) EXISTING 20,000 GAL. & (1) 22,000 GAL. U.G. FUEL TANKS |



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SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△	-	-
△	-	-
△	-	-
△	-	-

THIS SET	ISSUE DATE
<input type="checkbox"/> DESIGN DEVEL.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
<input checked="" type="checkbox"/> RESUBMITTAL 2	4/27/17
<input checked="" type="checkbox"/> RESUBMITTAL 3	1/9/2018
<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS

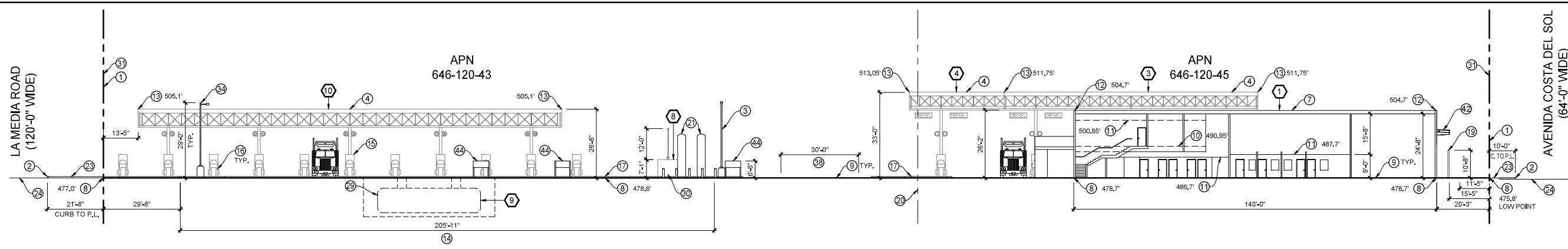
SITE SECTIONS

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

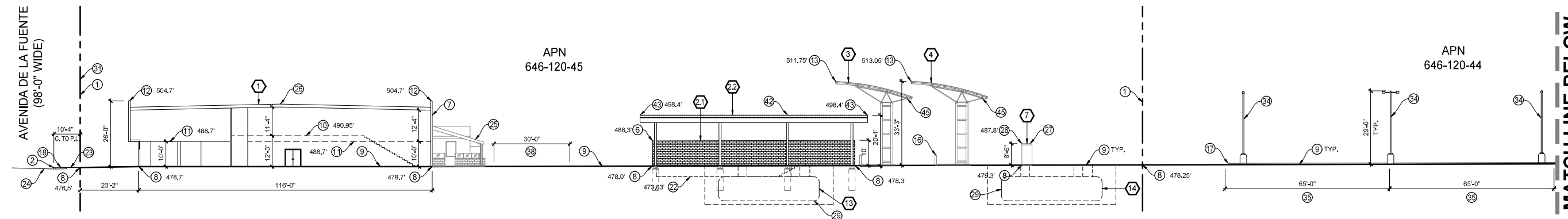
SHEET: 6 OF: 46

A1.4

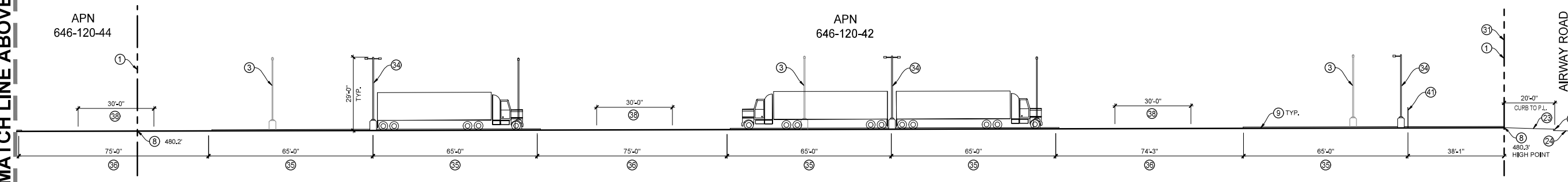
ATTACHMENT 13



0' 20' 40' 80' **SITE SECTION B**
SCALE: 1"=20'



A PARTIAL SITE SECTION
SCALE: 1"=20'



0' 20' 40' 80' **PARTIAL SITE SECTION A**
SCALE: 1"=20'

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FLOOR PLAN KEYNOTES

- 1 EXISTING CONCRETE TILT-UP WALL PER LEGEND BELOW
- 2 EXISTING ACCESSIBLE PATH OF TRAVEL
- 3 EXISTING INTERIOR WALL
- 4 EXISTING STOREFRONT WINDOW
- 5 EXISTING ROOF ACCESS LADDER
- 6 EXISTING INTERIOR BUILDING STRUCTURAL COLUMN
- 7 EXISTING DOOR
- 8 EXISTING INTERIOR WINDOW
- 9 EXISTING ROLL-UP DOOR
- 10 EXISTING ENTRANCE CANOPY ABOVE
- 11 EXISTING INTERIOR STAIRS
- 12 EXISTING COOLER WALLS
- 13 EXISTING CONCRETE FLOOR
- 14 EXISTING SINKS
- 15 EXISTING KITCHEN EQUIPMENT
- 16 EXISTING COUNTER
- 17 EXISTING HAND SINK
- 18 EXISTING PATIO WALL
- 19 EXISTING PATIO COUNTER
- 20 EXISTING PATIO CANOPY STEEL COLUMN
- 21 EXISTING PATIO CANOPY ABOVE
- 22 EXISTING RAILING
- 23 PROPOSED EXTERIOR WALL
- 24 PROPOSED ACCESSIBLE PATH OF TRAVEL
- 25 PROPOSED INTERIOR WALL
- 26 PROPOSED INTERIOR DOOR
- 27 PROPOSED INTERIOR STAIRS
- 28 PROPOSED SINKS & COUNTERTOPS
- 29 PROPOSED SHOWERS
- 30 PROPOSED 5'-0" HIGH PARTITION WALL
- 31 PROPOSED INTERIOR RAILING
- 32 PROPOSED TRASH ENCLOSURE DOORS
- 33 PROPOSED EXTERIOR DOOR TO MATCH EXISTING

APPLICANT:
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SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE

THIS SET ISSUE DATE

- DESIGN DEVL. _____
- PERMIT SUBMITTAL 6/27/16
- FULL SUBMITTAL 7/20/16
- RESUBMITTAL 1 12/9/16
- RESUBMITTAL 2 4/27/17
- RESUBMITTAL 3 1/9/2018
- RESUBMITTAL 4 12/3/2018
- RESUBMITTAL 5 9/10/2019
- RESUBMITTAL 6 10/21/2019

SHEET TITLE / CONTENTS

C-STORE
FIRST FLOOR PLAN,
LEGEND & KEYNOTES
(STRUCTURE 1)

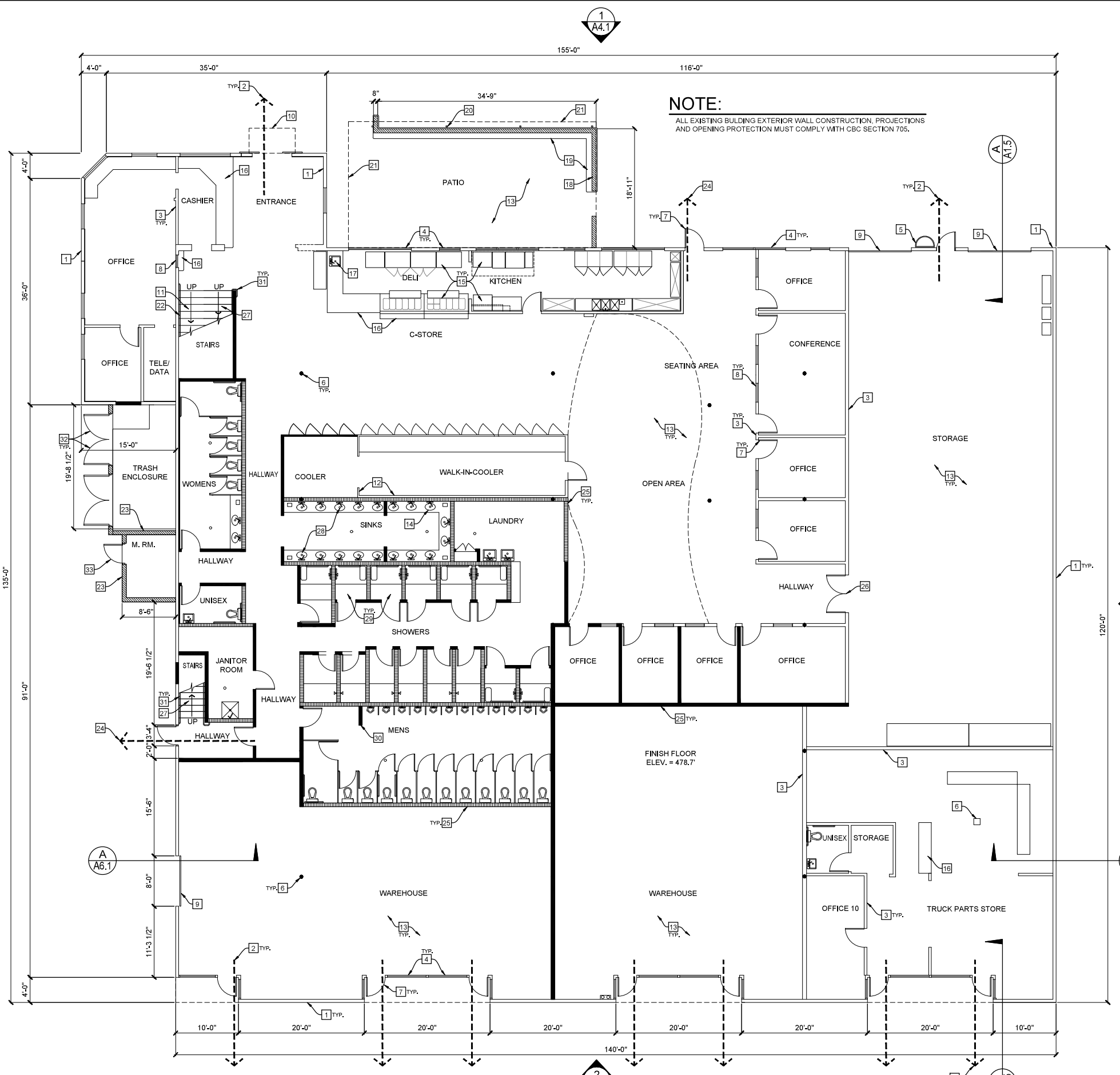
TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 7 OF: 46

ATTACHMENT 13

A2.1

NOTE:
ALL EXISTING BUILDING EXTERIOR WALL CONSTRUCTION, PROJECTIONS AND OPENING PROTECTION MUST COMPLY WITH CBC SECTION 705.



FLOOR PLAN LEGEND

- EXISTING EXTERIOR CONCRETE PANEL WALL TO HAVE A MINIMUM FIRE PROTECTION RATING OF NOT LESS THAN SPECIFIED IN CBC TABLE 602
- EXISTING INTERIOR WALL
- EXISTING MASONRY WALL
- NEW 1 HR. RATED WALL W/ METAL STUDS @ 16" O.C. W/ 5/8" GYP. ON BOTH SIDES
-
- ACCESSIBLE PATH OF TRAVEL NOT TO EXCEED 2% SLOPE IN ALL DIRECTIONS
- NEW EXTERIOR WALL TO MATCH EXISTING WALL & FIRE RATING
- KEY NOTE SYMBOL
- SECTION REFERENCE NUMBER SHEET NUMBER
- EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- DIMENSION TO FACE OR CENTER OF STUD, COLUMN OR WALL

FIRST FLOOR PLAN - STRUCTURE 1

SCALE: 1/8" = 1'-0"

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<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
C-STORE MEZZANINE PLAN, LEGEND & KEYNOTES (STRUCTURE 1)

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 8 OF: 46

A2.2

ATTACHMENT 13

FLOOR PLAN KEYNOTES

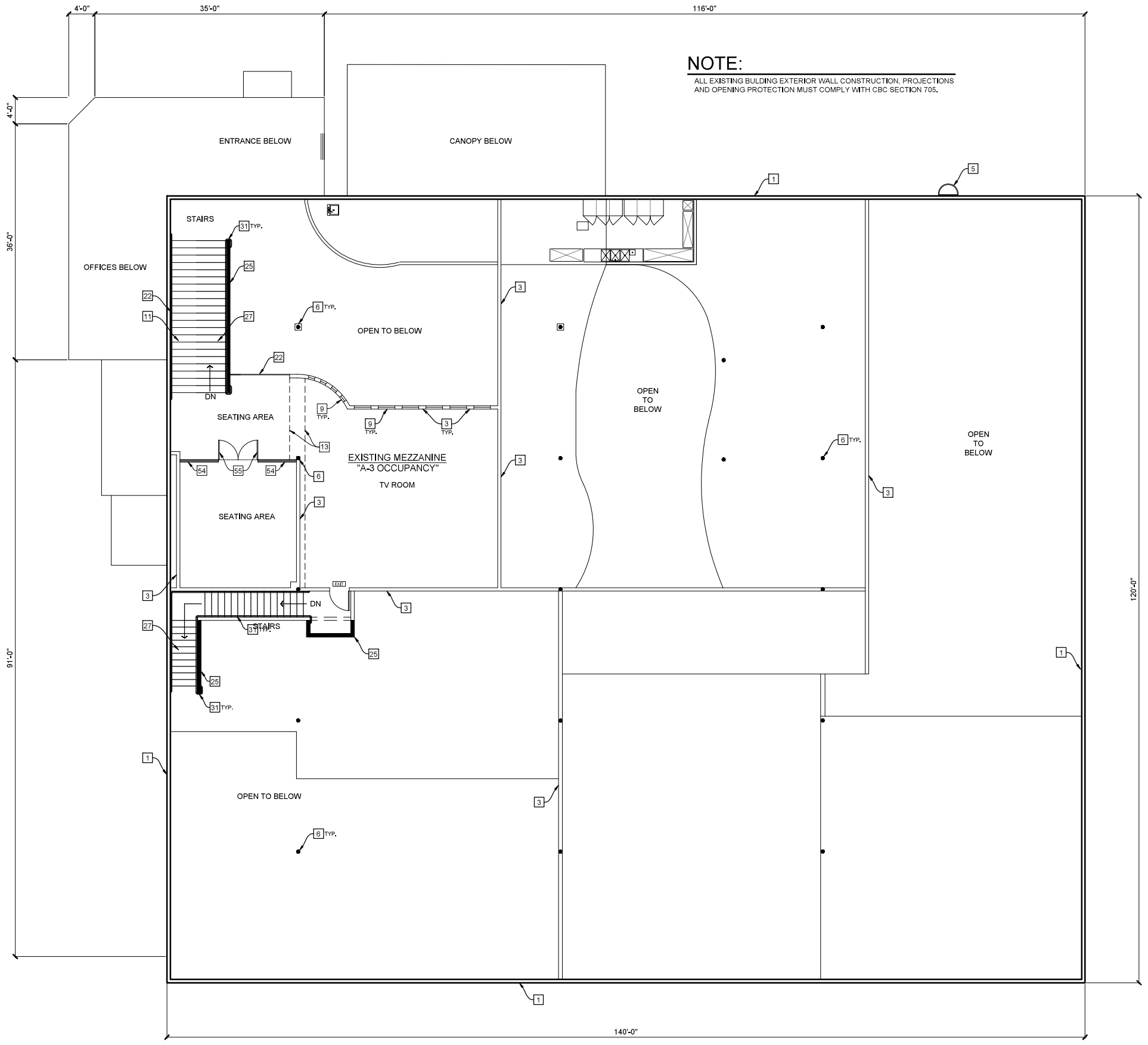
- 1 EXISTING CONCRETE TILT-UP WALL PER LEGEND BELOW
- 2 EXISTING ACCESSIBLE PATH OF TRAVEL
- 3 EXISTING INTERIOR WALL
- 4 EXISTING STOREFRONT WINDOW
- 5 EXISTING ROOF ACCESS LADDER
- 6 EXISTING INTERIOR BUILDING STRUCTURAL COLUMN
- 7 EXISTING DOOR
- 8 EXISTING INTERIOR WINDOW
- 9 EXISTING ROLL-UP DOOR
- 10 EXISTING ENTRANCE CANOPY ABOVE
- 11 EXISTING INTERIOR STAIRS
- 12 EXISTING COOLER WALLS
- 13 EXISTING CONCRETE FLOOR
- 14 EXISTING SINKS
- 15 EXISTING KITCHEN EQUIPMENT
- 16 EXISTING COUNTER
- 17 EXISTING HAND SINK
- 18 EXISTING PATIO WALL
- 19 EXISTING PATIO COUNTER
- 20 EXISTING PATIO CANOPY STEEL COLUMN
- 21 EXISTING PATIO CANOPY ABOVE
- 22 EXISTING RAILING
- 23 PROPOSED EXTERIOR WALL
- 24 PROPOSED ACCESSIBLE PATH OF TRAVEL
- 25 PROPOSED INTERIOR WALL
- 26 PROPOSED INTERIOR DOOR
- 27 PROPOSED INTERIOR STAIRS
- 28 PROPOSED SINKS & COUNTERTOPS
- 29 PROPOSED SHOWERS
- 30 PROPOSED 5'-0" HIGH PARTITION WALL
- 31 PROPOSED INTERIOR RAILING
- 32 PROPOSED TRASH ENCLOSURE DOORS
- 33 PROPOSED EXTERIOR DOOR TO MATCH EXISTING

FLOOR PLAN LEGEND

- EXISTING EXTERIOR CONCRETE PANEL WALL TO HAVE A MINIMUM FIRE PROTECTION RATING OF NOT LESS THAN SPECIFIED IN CBC TABLE 602
- EXISTING INTERIOR WALL
- EXISTING MASONRY WALL
- NEW 1 HR. RATED WALL W/ METAL STUDS @ 16" O.C. W/ 5/8" GYP. ON BOTH SIDES
- NEW 7" PLUMBING WALL @ 16" O.C. W/ 5/8" GYPSUM BOARD ON BOTH SIDES - TAPE, MUD, SAND, PRIMER AND PAINT. (COLOR BY OWNER)
- ACCESSIBLE PATH OF TRAVEL NOT TO EXCEED 2% SLOPE IN ALL DIRECTIONS
- NEW EXTERIOR WALL TO MATCH EXISTING WALL & FIRE RATING
- KEY NOTE SYMBOL
- SECTION REFERENCE NUMBER SHEET NUMBER
- EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- DIMENSION TO FACE OR CENTER OF STUD, COLUMN OR WALL

NOTE:

ALL EXISTING BUILDING EXTERIOR WALL CONSTRUCTION, PROJECTIONS AND OPENING PROTECTION MUST COMPLY WITH CBC SECTION 705.



MEZZANINE FLOOR PLAN - STRUCTURE 1

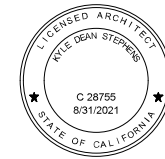
SCALE: 1/8"=1'-0"



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5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP
8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE

THIS SET	ISSUE DATE
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<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
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<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
TRUCK WASH & LUBE FLOOR & ROOF PLANS, LEGEND & KEYNOTES (STRUCTURE 2.2)

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 9 OF: 46

A2.3

ATTACHMENT 13

ROOF PLAN KEYNOTES:

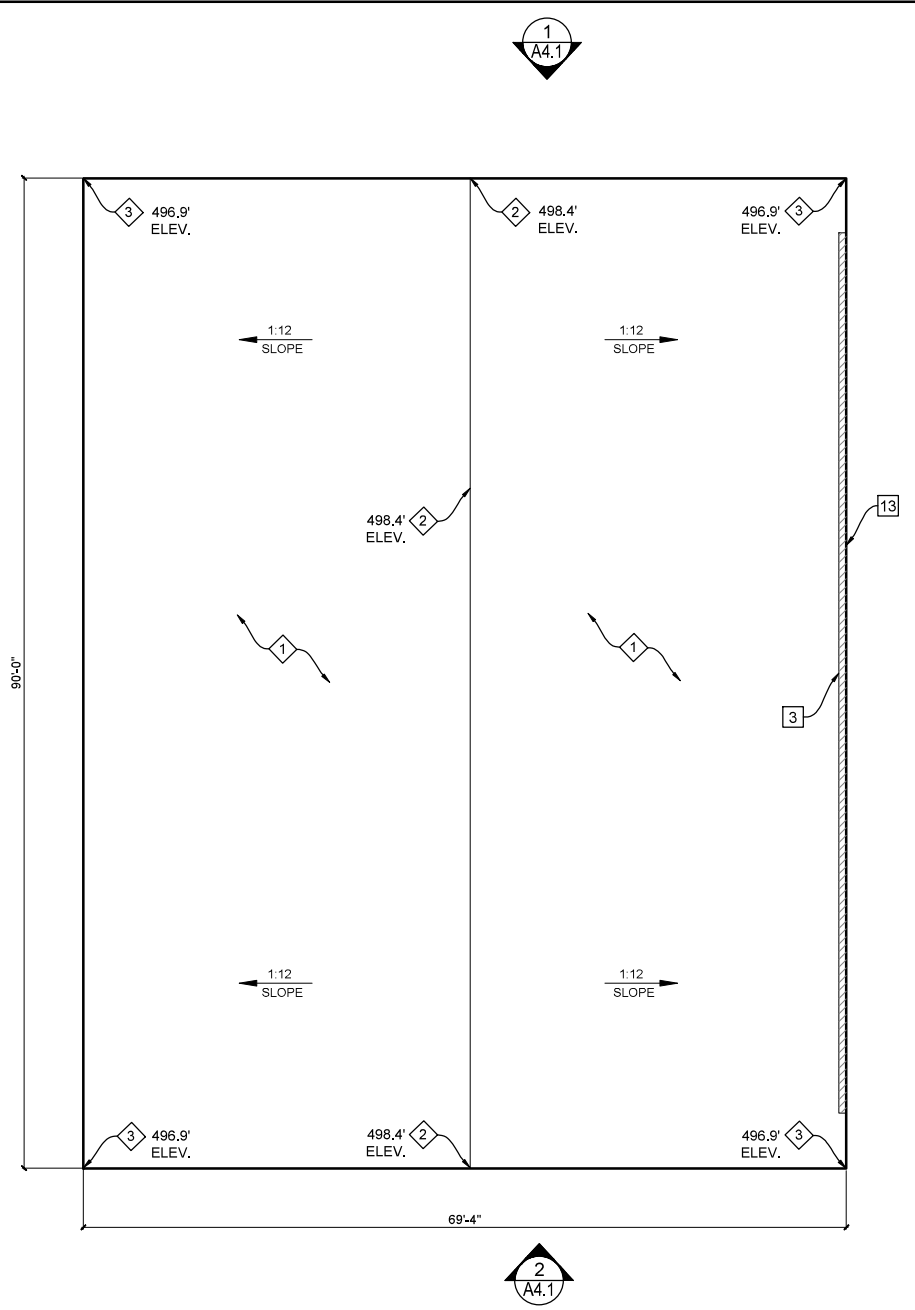
- 1 NEW METAL ROOF CANOPY TO REPLACE EXISTING NON-PERMITTED
- 2 NEW METAL ROOF CANOPY RIDGE LINE
- 3 NEW METAL ROOF CANOPY LOW POINT
- 4 NEW METAL ROOF CANOPY HIGH POINT

FLOOR PLAN LEGEND

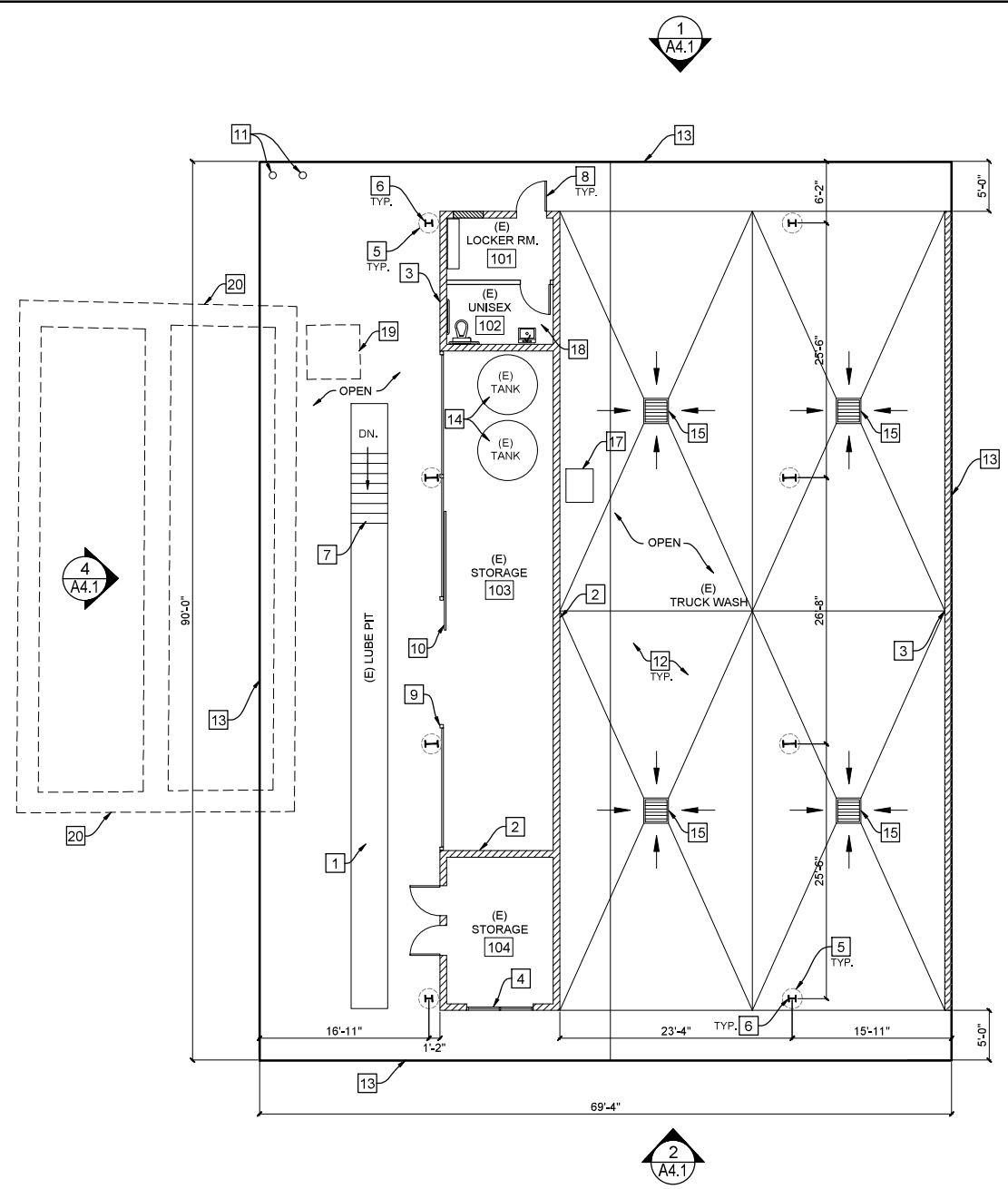
- EXISTING MASONRY WALL TO HAVE A MINIMUM FIRE PROTECTION RATING OF NOT LESS THAN SPECIFIED IN CBC TABLE 602
- # KEY NOTE SYMBOL
- DETAIL REFERENCE NUMBER SHEET NUMBER
- ⊙ SECTION REFERENCE NUMBER SHEET NUMBER
- EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- +— DIMENSION TO FACE OR CENTER OF STUD COLUMN OR WALL

FLOOR PLAN KEYNOTES

- 1 EXISTING BELOW GRADE LUBE PIT TO REMAIN
- 2 EXISTING MASONRY BUILDING TO REMAIN
- 3 EXISTING MASONRY WALL TO REMAIN
- 4 EXISTING STOREFRONT WINDOW TO REMAIN
- 5 NEW CONCRETE CAISSON PER STRUCTURAL PLANS
- 6 NEW METAL COLUMN PER STRUCTURAL PLANS
- 7 EXISTING CONCRETE STAIRS TO REMAIN
- 8 EXISTING DOOR TO REMAIN
- 9 EXISTING 4" METAL COLUMN TO REMAIN
- 10 EXISTING METAL SLIDING DOOR TO REMAIN
- 11 EXISTING BOLLARDS TO REMAIN
- 12 EXISTING CONCRETE FLOOR TO REMAIN
- 13 NEW ROOF OVERHANG
- 14 EXISTING WATER TANK TO REMAIN
- 15 EXISTING FLOOR DRAIN GRATE TO REMAIN (TOTAL 4)
- 16 EXISTING BOILER TO REMAIN
- 17 EXISTING HOT WATER PRESSURE WASHER TO REMAIN
- 18 EXISTING RESTROOM TO REMAIN
- 19 EXISTING PERMITTED (1) 1,000 GAL. U.G. WASTE OIL TANK TO REMAIN
- 20 EXISTING PERMITTED (2) 20,000 GAL. U.G. FUEL TANKS TO REMAIN



PROPOSED TRUCK WASH AND LUBE ROOF PLAN - STRUCTURE 2.2
SCALE: 1/8"=1'-0"

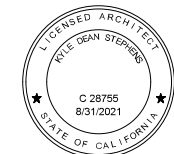


PROPOSED TRUCK WASH AND LUBE FLOOR PLAN - STRUCTURE 2.1 & 2.2
SCALE: 1/8"=1'-0"

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SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
**PROPOSED DISPENSER
CANOPIES FLOOR &
ROOF PLANS, NOTES &
SCHEDULES**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

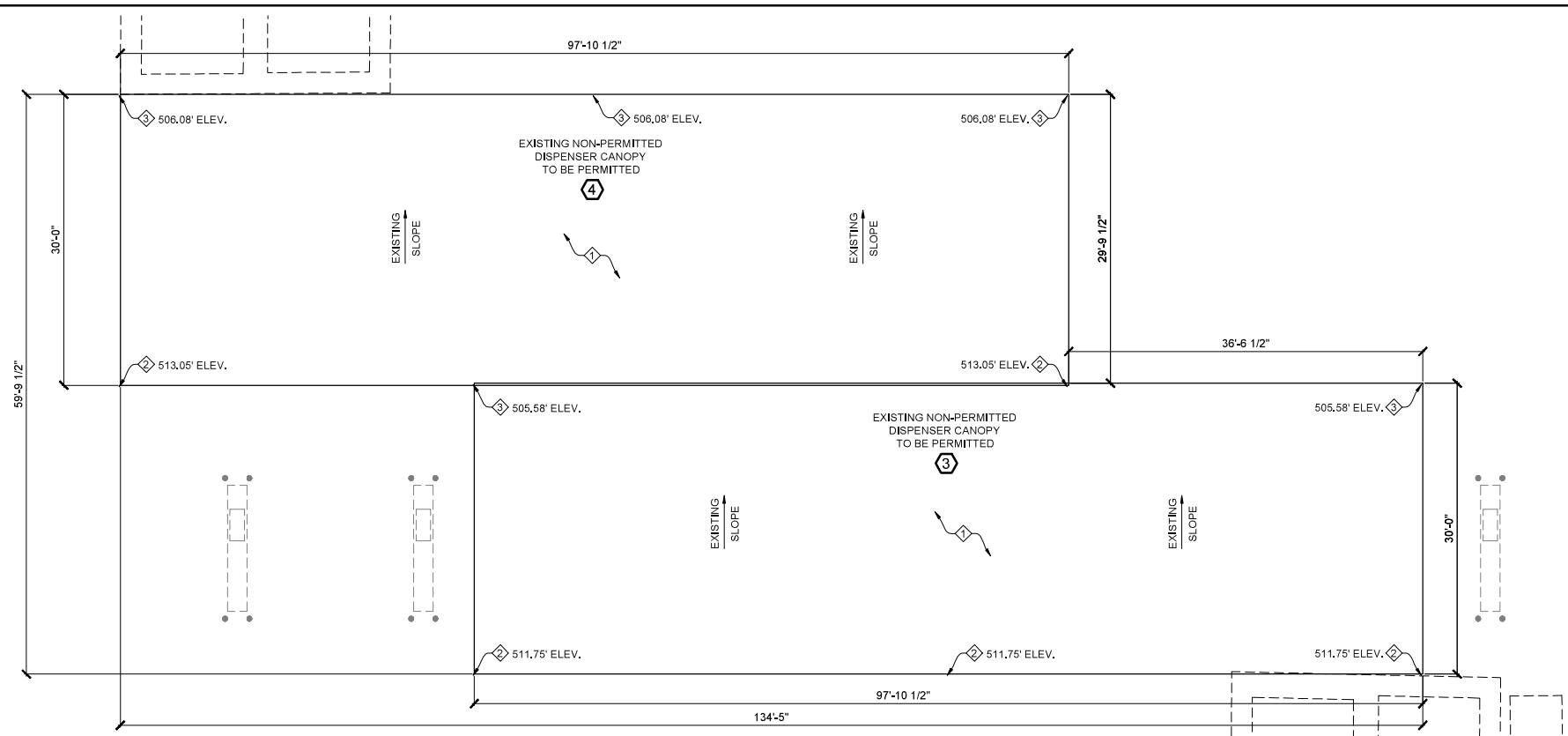
SHEET: 10 OF: 46

A2.4

ATTACHMENT 13

ROOF PLAN KEYNOTES:

- ◇ EXISTING NON-PERMITTED METAL ROOF CANOPY TO BE PERMITTED
- ◇ EXISTING METAL ROOF CANOPY HIGH POINT TO REMAIN
- ◇ EXISTING METAL ROOF CANOPY LOW POINT TO REMAIN



PROPOSED DISPENSER CANOPIES ROOF PLAN - STRUCTURES 3 AND 4

SCALE: 1/8"=1'-0"

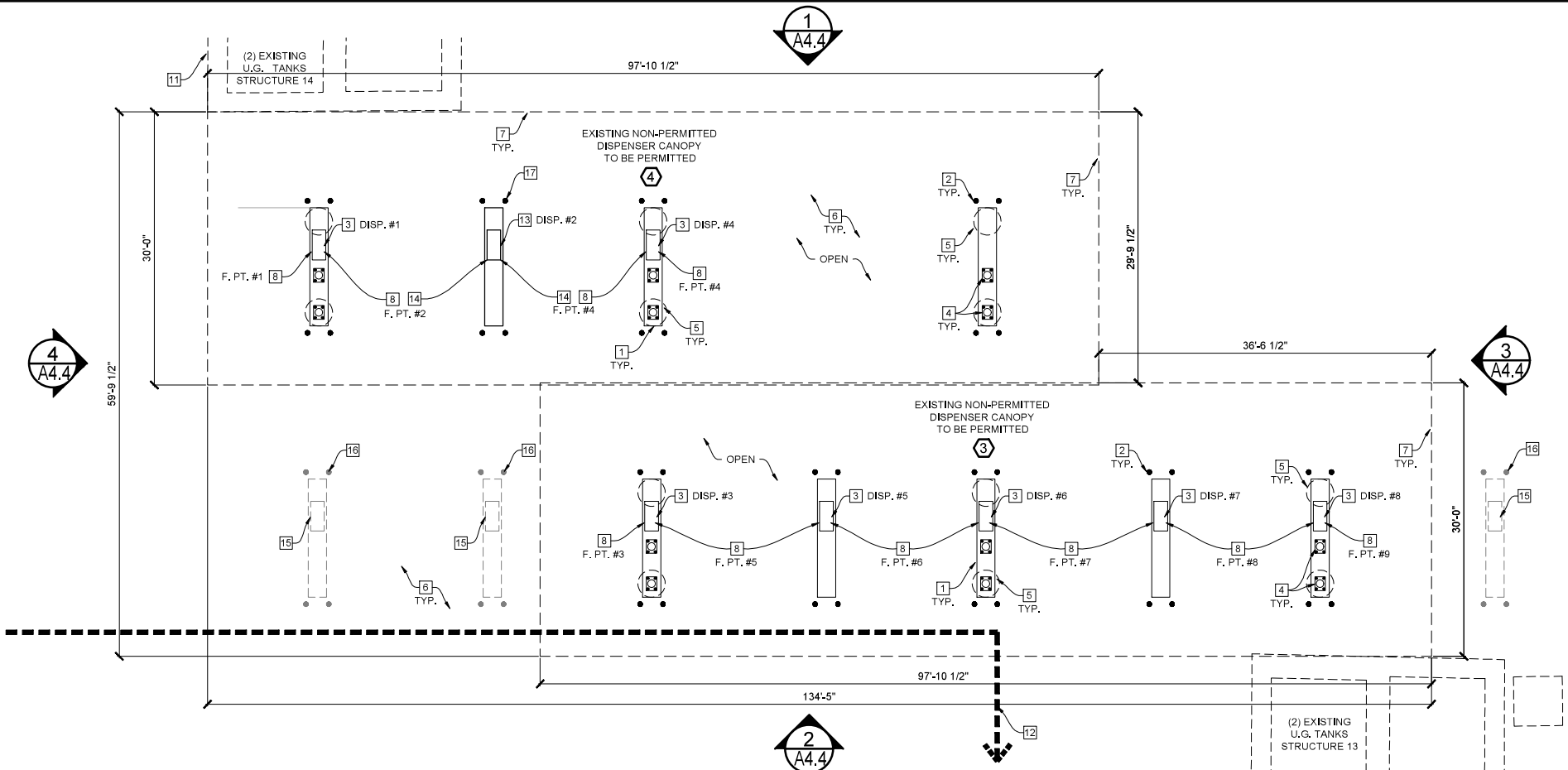


FLOOR PLAN KEYNOTES:

- 1 EXISTING RAISED CONCRETE ISLAND TO REMAIN
- 2 EXISTING METAL BOLLARD TO REMAIN
- 3 EXISTING FUEL DISPENSERS TO REMAIN - TOTAL 8
- 4 EXISTING METAL CANOPY COLUMN TO REMAIN
- 5 EXISTING BELOW GRADE CONCRETE CAISSON TO REMAIN
- 6 EXISTING CONCRETE PAVEMENT TO REMAIN
- 7 EXISTING NON-PERMITTED METAL CANOPY TO BE PERMITTED
- 8 EXISTING FUELING POINTS TO REMAIN - TOTAL 9
- 9 EXISTING PERMITTED (1) 1,000 GAL. U.G. WASTE OIL TANK TO REMAIN
- 10 EXISTING PERMITTED (2) 20,000 GAL. U.G. FUEL TANKS TO REMAIN
- 11 EXISTING PERMITTED (1) 20,000 & (1) 22,000 GAL. U.G. FUEL TANKS TO REMAIN
- 12 PROPOSED PATH OF TRAVEL
- 13 PROPOSED FUEL DISPENSER AND ISLAND - TOTAL 1
- 14 PROPOSED FUELING POINTS - TOTAL 2
- 15 EXISTING DISPENSER & ISLAND TO BE REMOVED - TOTAL 3
- 16 EXISTING BOLLARDS TO BE REMOVED
- 17 PROPOSED BOLLARDS - TOTAL 4

FLOOR PLAN LEGEND

- KEYNOTE SYMBOL
- DETAIL REFERENCE NUMBER SHEET NUMBER
- SECTION REFERENCE NUMBER SHEET NUMBER
- EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- ↑ DIMENSION TO FACE OR CENTER OF WALL OR COLUMN



PROPOSED DISPENSER CANOPIES FLOOR PLAN - STRUCTURES 3 AND 4

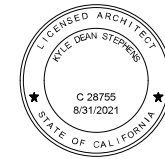
SCALE: 1/8"=1'-0"



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SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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SHEET TITLE / CONTENTS

**TRUCK SCALES,
DEF TANK & SHED
PLANS, LEGEND & KEYNOTES
(STRUCTURES 5,6,7 & 8)**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 11 OF: 46

A2.5

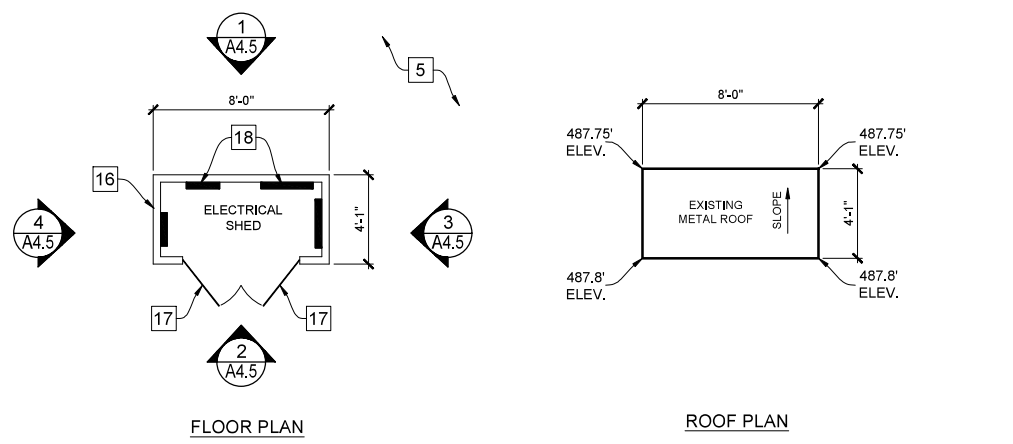
ATTACHMENT 13

FLOOR PLAN KEYNOTES

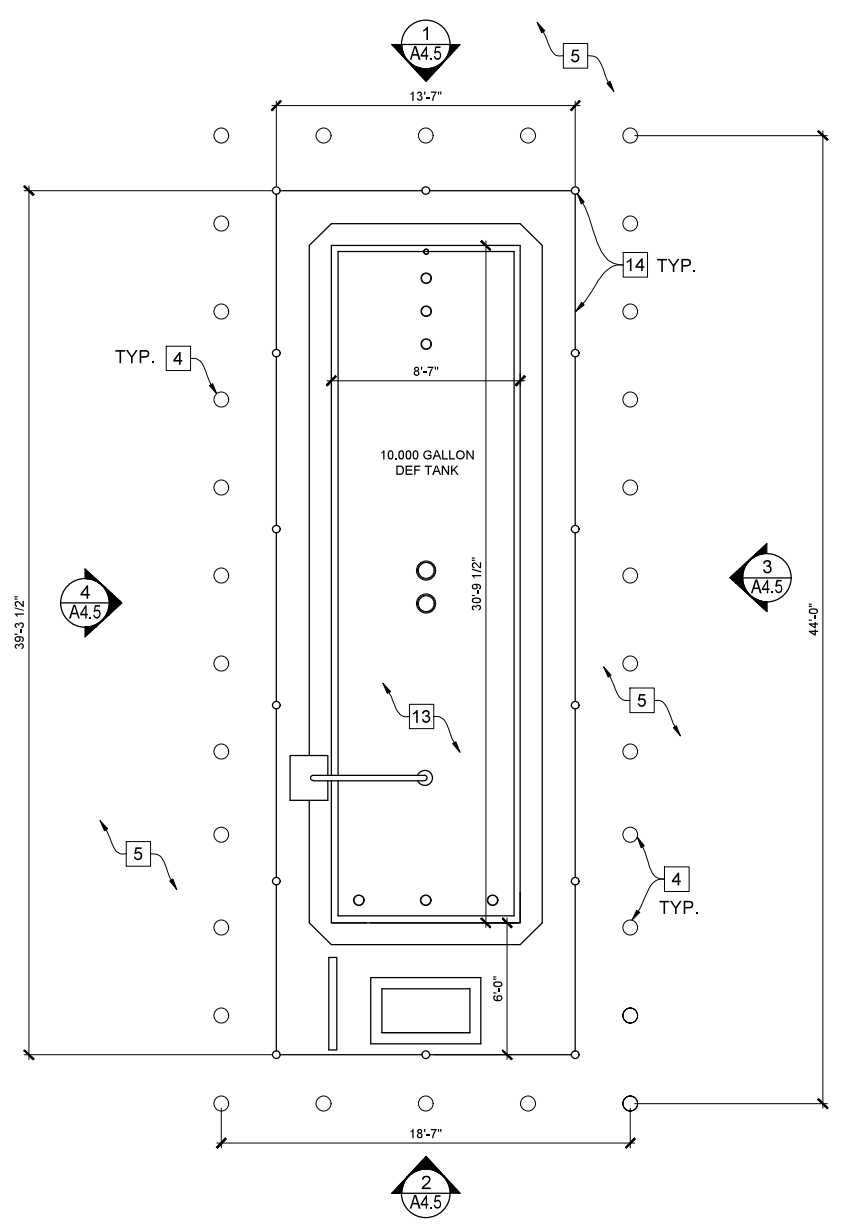
- 1 EXISTING GROUND LEVEL METAL TRUCK SCALE TO REMAIN
- 2 EXISTING ELECTRICAL CONDUIT AND J-BOX TO CONFORM TO CURRENT CODE
- 3 EXISTING METAL GUARD RAIL TO REMAIN
- 4 EXISTING METAL BOLLARDS TO REMAIN
- 5 EXISTING CONCRETE PAVEMENT
- 6 EXISTING METAL COLUMN FOR SIGN ABOVE TO REMAIN
- 7 EXISTING SIGN ABOVE TO REMAIN
- 8 PROPOSED GROUND LEVEL METAL TRUCK SCALE TO MATCH EXISTING
- 9 PROPOSED METAL GUARD RAIL TO MATCH EXISTING
- 10 PROPOSED METAL BOLLARDS TO MATCH EXISTING
- 11 PROPOSED METAL COLUMN FOR SIGN ABOVE TO MATCH EXISTING
- 12 PROPOSED SIGN ABOVE TO MATCH EXISTING
- 13 EXISTING ABOVE GROUND 10,000 GALLON DEF TANK
- 14 EXISTING CHAINLINK FENCE
- 15 EXISTING ACCESSIBLE PATH OF TRAVEL
- 16 EXISTING ELECTRICAL METAL SHED ENCLOSURE TO REMAIN
- 17 EXISTING METAL DOOR TO REMAIN
- 18 EXISTING ELECTRICAL PANELS TO REMAIN

FLOOR PLAN LEGEND

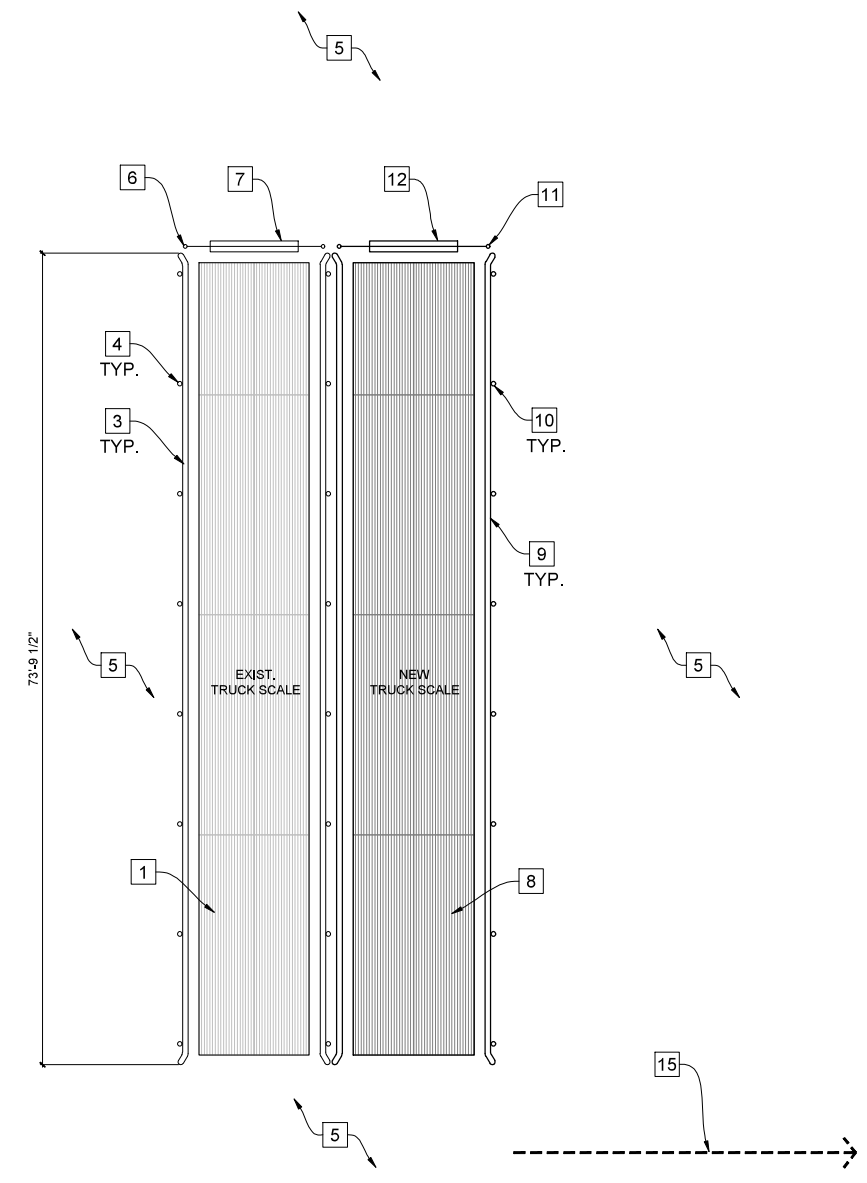
- 1 KEY NOTE SYMBOL
- 2 DETAIL REFERENCE NUMBER SHEET NUMBER
- 3 SECTION REFERENCE NUMBER SHEET NUMBER
- 4 EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- 5 DIMENSION TO FACE OR CENTER OF WALL OR COLUMN



ELECTRICAL SHED PLAN - STRUCTURE 7
SCALE: 1/4" = 1'-0"



DEF TANK PLAN - STRUCTURE 8
SCALE: 1/4" = 1'-0"



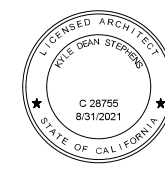
TRUCK SCALES PLAN - STRUCTURES 5 & 6
SCALE: 1/8" = 1'-0"



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PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
**EXISTING DISPENSER
CANOPIES FLOOR &
ROOF PLANS, NOTES
& SCHEDULES**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
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SHEET: 12 OF: 46

ATTACHMENT 13

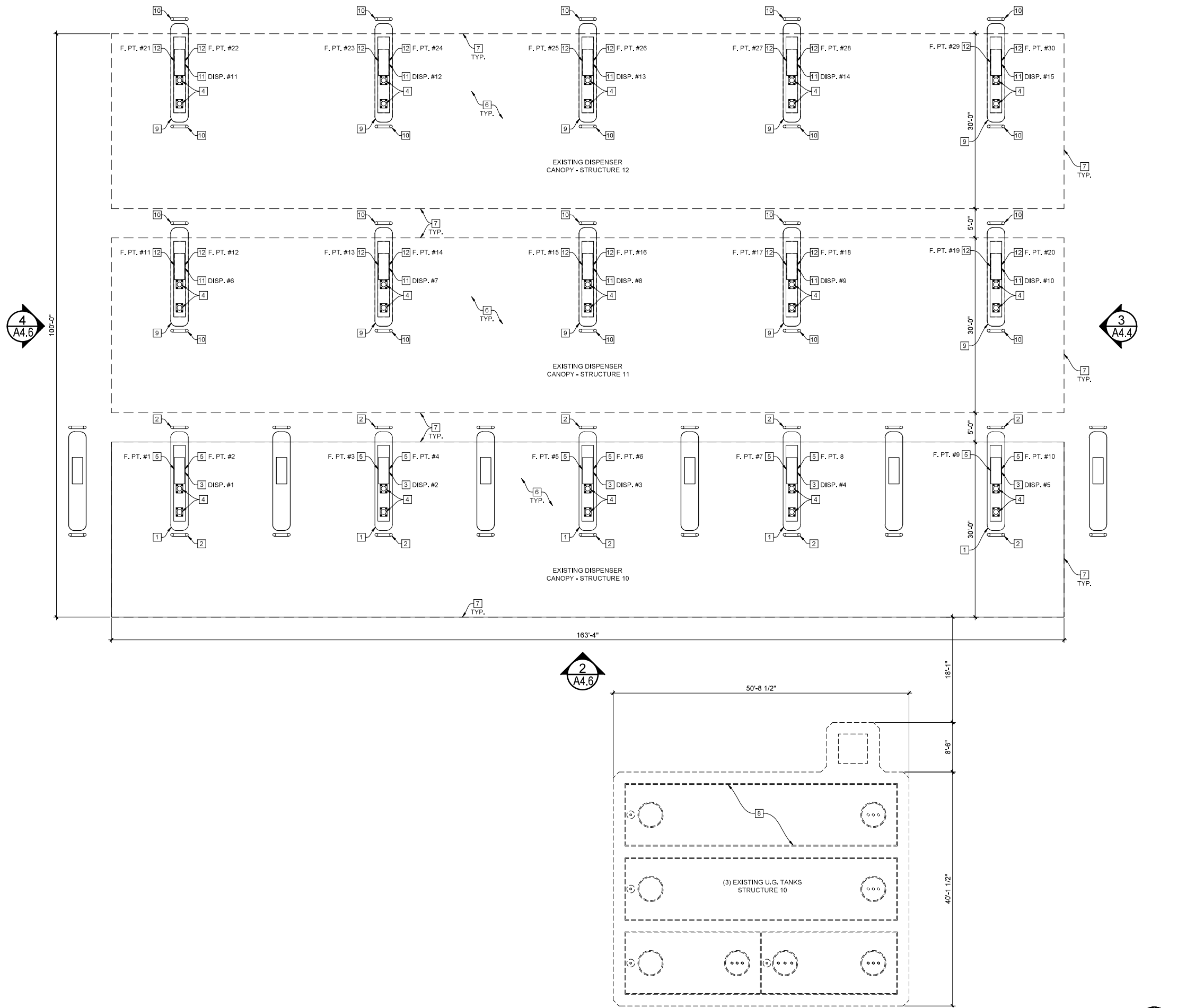
A2.6

FLOOR PLAN KEYNOTES:

- 1 EXISTING RAISED CONCRETE ISLAND TO REMAIN - TOTAL 5
- 2 EXISTING METAL BOLLARDS TO REMAIN - TOTAL 10 LOCATIONS
- 3 EXISTING PERMITTED DIESEL DISPENSERS TO REMAIN - TOTAL 5
- 4 EXISTING PERMITTED METAL CANOPY COLUMN TO REMAIN
- 5 EXISTING FUELING POINTS TO REMAIN - TOTAL 10
- 6 EXISTING CONCRETE PAVEMENT TO REMAIN
- 7 EXISTING PERMITTED METAL CANOPY ABOVE TO REMAIN
- 8 EXISTING (3) 30,000 GAL. U.G. FUEL TANKS TO REMAIN
- 9 EXISTING RAISED CONCRETE ISLAND TO BE REMOVED - TOTAL 10
- 10 EXISTING METAL BOLLARDS TO BE REMOVED - 20 LOCATIONS
- 11 EXISTING PERMITTED DIESEL DISPENSER TO BE REMOVED - TOTAL 10
- 12 EXISTING FUELING POINTS TO BE REMOVED - TOTAL 20

FLOOR PLAN LEGEND

- KEYNOTE SYMBOL
- ⊙ EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- DIMENSION TO FACE OR CENTER OF WALL OR COLUMN



EXISTING UNDERGROUND TANK & DISPENSER CANOPIES PLAN - STRUCTURES 9, 10, 11 & 12

SCALE: 1/8"=1'-0"



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SHEET TITLE / CONTENTS
**PROPOSED
DISPENSER CANOPIES
FLOOR & ROOF PLANS,
NOTES & SCHEDULES**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
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SHEET: 13 OF: 46

A2.6.1

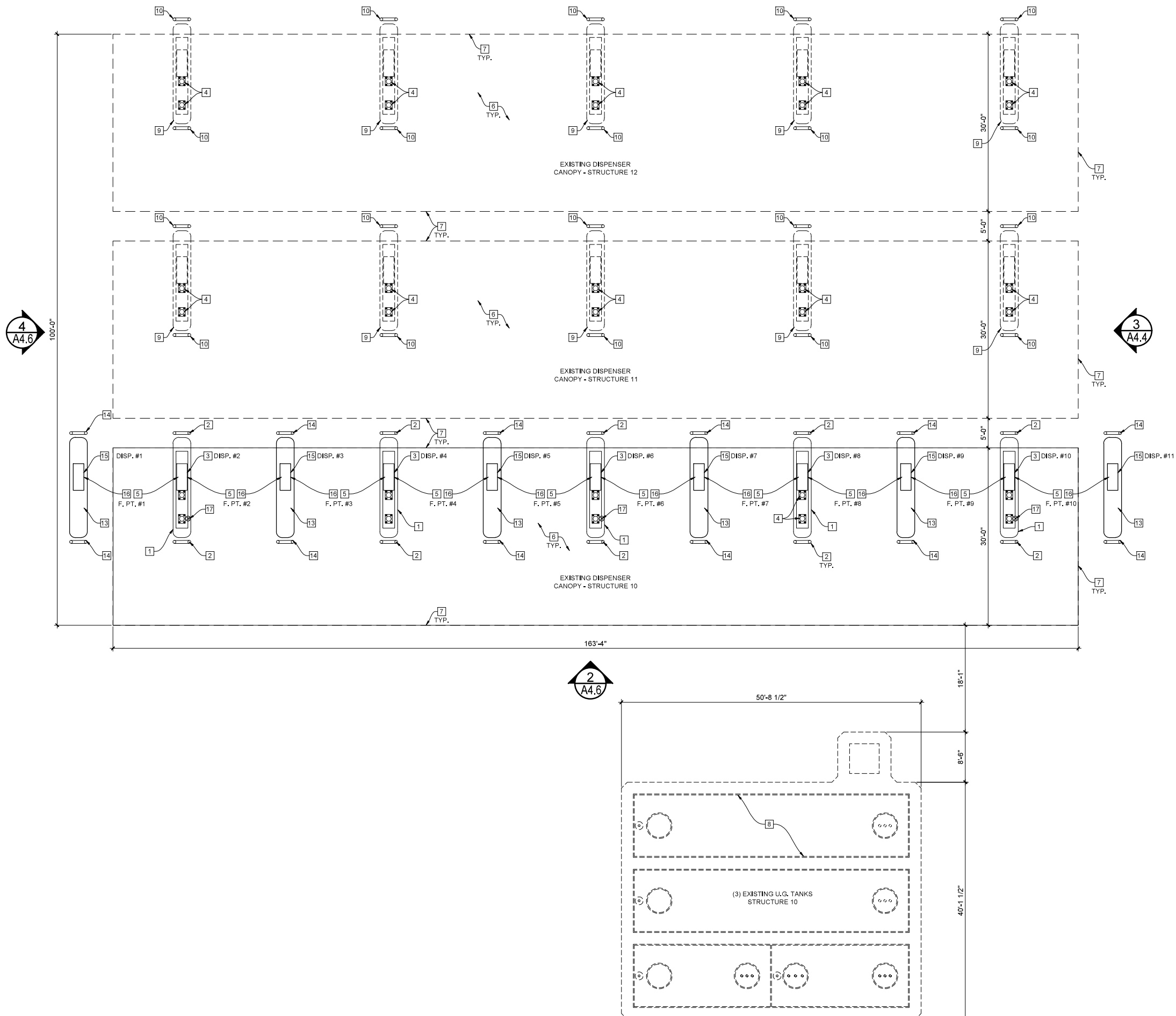
ATTACHMENT 13

FLOOR PLAN KEYNOTES:

- 1 EXISTING RAISED CONCRETE ISLAND TO REMAIN - TOTAL 5
- 2 EXISTING METAL BOLLARDS TO REMAIN - TOTAL 10 LOCATIONS
- 3 EXISTING PERMITTED DIESEL DISPENSERS TO REMAIN - TOTAL 5
- 4 EXISTING PERMITTED METAL CANOPY COLUMN TO REMAIN
- 5 EXISTING FUELING POINTS TO REMAIN - TOTAL 10
- 6 EXISTING CONCRETE PAVEMENT TO REMAIN
- 7 EXISTING PERMITTED METAL CANOPY ABOVE TO REMAIN
- 8 EXISTING (3) 30,000 GAL. U.G. FUEL TANKS TO REMAIN
- 9 EXISTING RAISED CONCRETE ISLAND TO BE REMOVED - TOTAL 10
- 10 EXISTING METAL BOLLARDS TO BE REMOVED - 20 LOCATIONS
- 11 EXISTING PERMITTED DIESEL DISPENSER TO BE REMOVED - TOTAL 10
- 12 EXISTING FUELING POINTS TO BE REMOVED - TOTAL 20
- 13 PROPOSED RAISED CONCRETE ISLAND - TOTAL 5
- 14 PROPOSED METAL BOLLARDS - TOTAL 10 LOCATIONS
- 15 PROPOSED FUEL DISPENSERS - TOTAL 5
- 16 PROPOSED FUELING POINTS - TOTAL 10
- 17 PROPOSED 4A-60B.C FIRE EXTINGUISHER

FLOOR PLAN LEGEND

- KEYNOTE SYMBOL
- ⊙ EXTERIOR ELEVATION REFERENCE NUMBER SHEET NUMBER
- DIMENSION TO FACE OR CENTER OF WALL OR COLUMN



PROPOSED UNDERGROUND TANK & DISPENSER CANOPIES PLAN - STRUCTURES 9, 10, 11 & 12

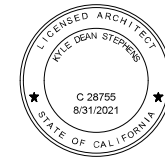
SCALE: 1/8"=1'-0"



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PROJECT:
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CUP**

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<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS

**C-STORE
ROOF PLAN,
LEGEND & KEYNOTES
(STRUCTURE 1)**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 14 OF: 46

A2.7

ATTACHMENT 13

ROOF PLAN KEYNOTE SYMBOLS:

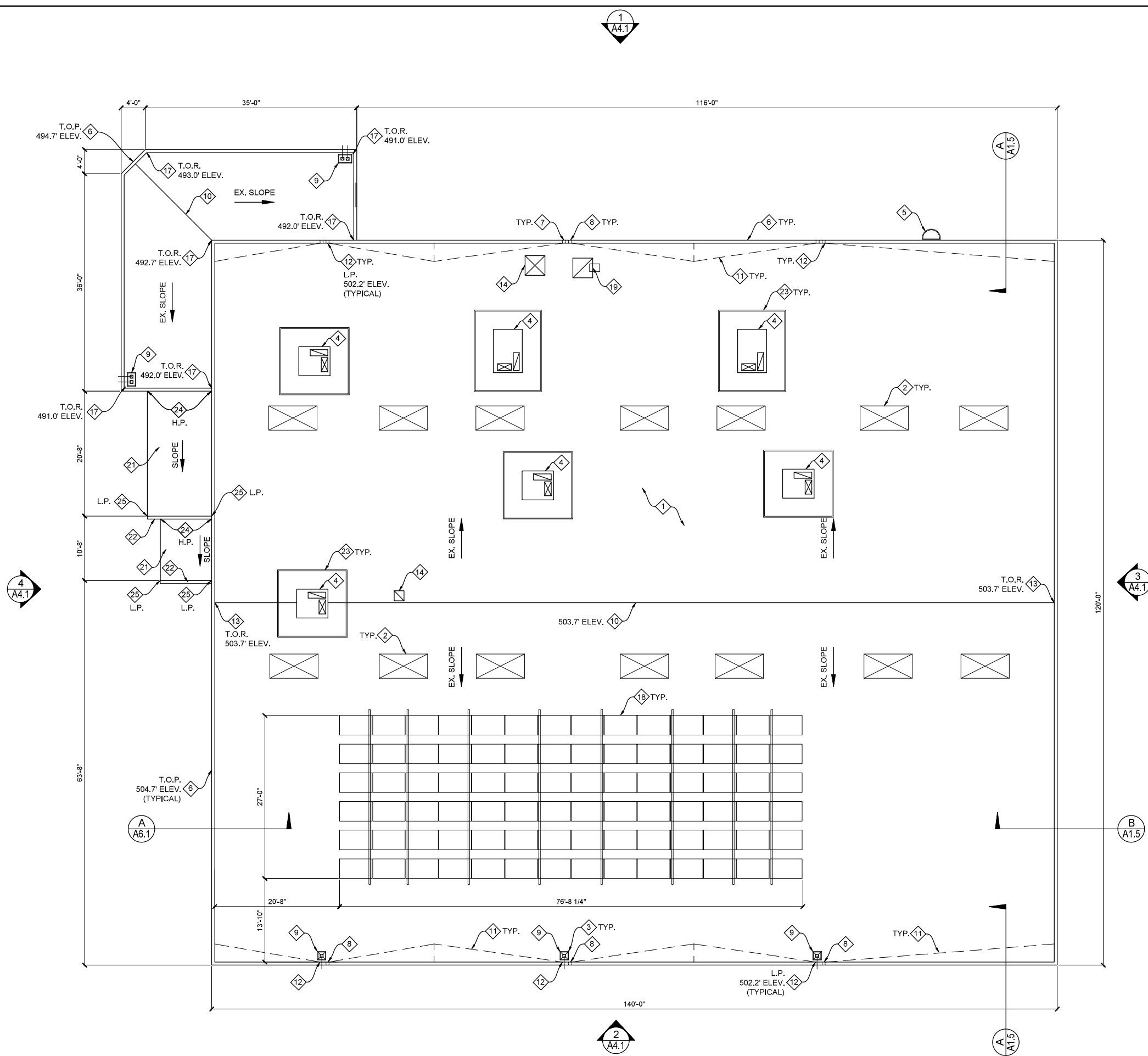
- 1 EXISTING 4-PLY BUILT-UP CLASS "A" ROOF SYSTEM TO BE MAINTAINED
- 2 EXISTING SKYLIGHT TO REMAIN
- 3 EXISTING TAPERED INSULATIONS @ 1/4" FT TO PROVIDE POSITIVE SLOPE TO ROOF DRAIN
- 4 EXISTING HVAC ROOF TOP UNIT - VERIFY EXACT LOCATION
- 5 EXISTING ROOF LADDER TO REMAIN
- 6 EXISTING PARAPET TO REMAIN
- 7 EXISTING ROOF DRAIN SCUPPER TO REMAIN - V.I.F.
- 8 EXISTING ROOF OVERFLOW SCUPPER - V.I.F.
- 9 EXISTING ROOF DRAIN - V.I.F.
- 10 EXISTING ROOF RIDGE LINE - V.I.F.
- 11 EXISTING ROOF CRICKET - V.I.F.
- 12 EXISTING ROOF LOW POINT - V.I.F.
- 13 EXISTING ROOF HIGH POINT - V.I.F.
- 14 EXISTING ROOF EXHAUST FAN - V.I.F.
- 15 (NOT USED)
- 16 EXISTING MECHANICAL DUCTWORK
- 17 EXISTING TOP OF ROOF
- 18 EXISTING SOLAR PANELS TO REMAIN
- 19 EXISTING MAKE-UP AIR DIFFUSER
- 20 (NOT USED)
- 21 PROPOSED CLASS "A" ROOF SYSTEM
- 22 PROPOSED COMMERCIAL GRADE GUTTER & DOWNSPOUTS
- 23 PROPOSED RTU SCREENING IF MECHANICAL EQUIPMENT EXCEEDS 30" HEIGHT
- 24 PROPOSED NEW ROOF HIGH POINT
- 25 PROPOSED NEW ROOF LOW POINT

ROOF PLAN NOTES:

1. PRIMARY ROOF SLOPE (MIN. 3/16" FT.) CREATED THROUGH ELEVATION OF PRIMARY STRUCTURAL SYSTEM COMPONENTS.
2. SECONDARY ROOF SLOPES CREATED THROUGH INSTALLATION OF TAPERED ROOF INSULATION (1/4" FT.) AS INDICATED TO ADVANCE DRAINAGE TOWARDS ROOF DRAINS.
3. VERIFY LOCATIONS OF ALL ROOF DRAINS & MECHANICAL EQUIPMENT.
4. ALL NEWLY CONSTRUCTED ROOFS SHALL BE CLASS "A" ROOFING ASSEMBLY

ROOF ABBREVIATIONS:

- T.O.P. = TOP OF PARAPET
- L.P. = LOW POINT
- H.P. = HIGH POINT
- ELEV. = ELEVATION
- T.O.R. = TOP OF ROOF



ROOF PLAN - STRUCTURE 1

SCALE: 1/8"=1'-0"



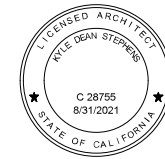
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ROOF PLAN KEYNOTES:

- 1 EXISTING METAL ROOF CANOPY TO REMAIN
- 2 EXISTING METAL ROOF CANOPY HIGH POINT
- 3 EXISTING METAL ROOF CANOPY LOW POINT
- 4 EXISTING FUEL DISPENSER BELOW
- 5 EXISTING METAL COLUMN BELOW
- 6 EXISTING METAL BOLLARD BELOW
- 7 EXISTING CONCRETE ISLAND BELOW



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Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
**DISPENSER
CANOPYS,
LEGEND & KEYNOTES
(STRUCTURES 10,11&12)**

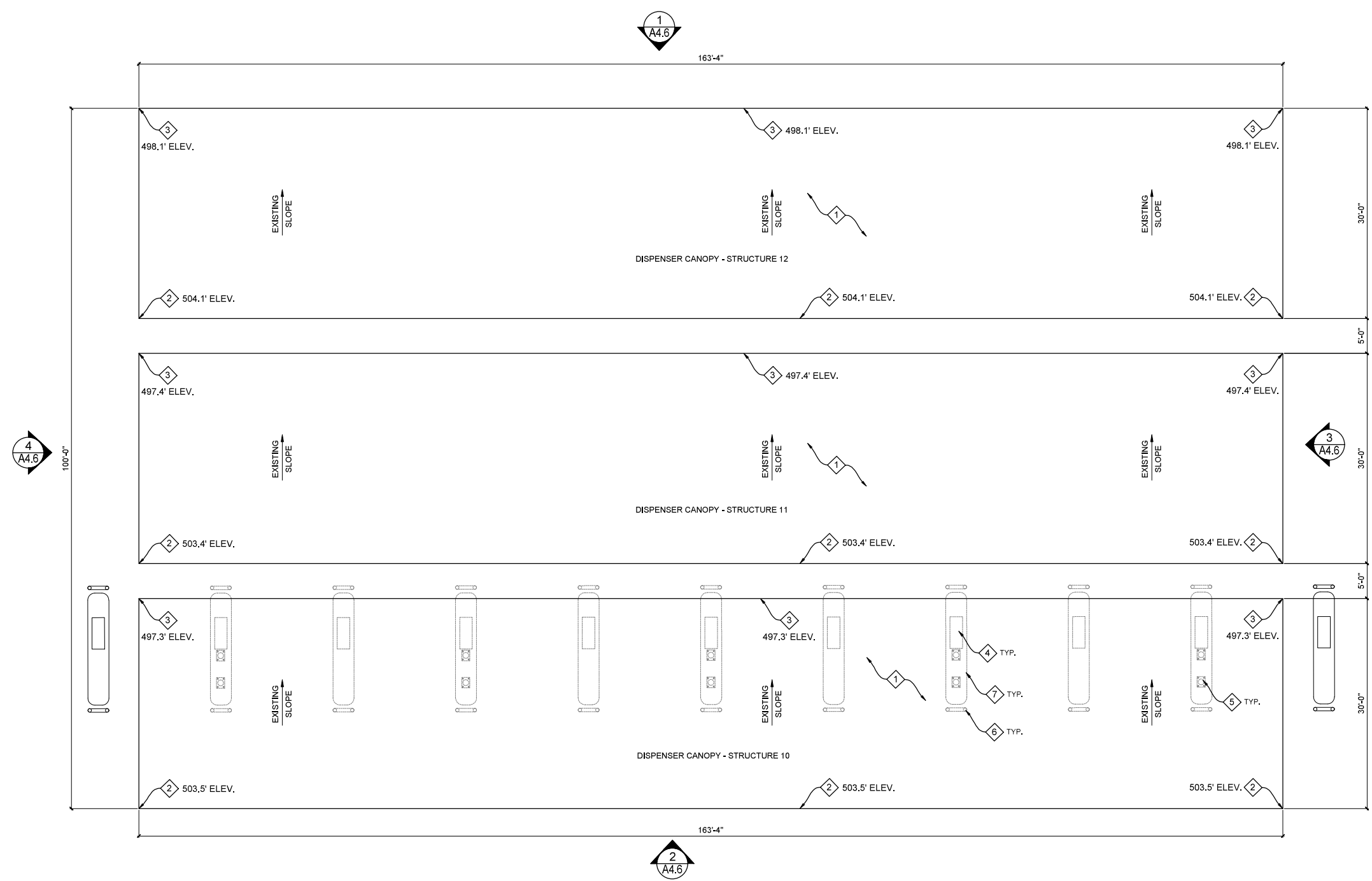
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SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 15 OF: 46

A2.8

ATTACHMENT 13

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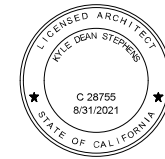
ROOF PLAN - STRUCTURES 10, 11 & 12

SCALE: 1/8"=1'-0"





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ELEVATION KEYNOTES

- 1 EXISTING CONCRETE TILT-UP WALL
- 2 EXISTING PARAPET
- 3 EXISTING GAP
- 4 EXISTING STOREFRONT WINDOW
- 5 EXISTING ROOF LADDER
- 6 EXISTING STRUCTURAL COLUMN
- 7 EXISTING DOOR
- 8 EXISTING STOREFRONT DOOR
- 9 EXISTING ROOF LINE
- 10 EXISTING ROLL-UP DOOR
- 11 EXISTING WALL OPENING
- 12 EXISTING ENTRANCE CANOPY
- 13 EXISTING REVEAL LINE
- 14 EXISTING FIRE RISER
- 15 EXISTING EXTERIOR SIGN
- 16 EXISTING DOWNSPOUT
- 17 EXISTING BEIGE COLOR PAINTED SURFACE
- 18 EXISTING LIGHT BROWN COLOR PAINTED SURFACE
- 19 EXISTING DARK BROWN COLOR PAINTED SURFACE
- 20 EXISTING TRASH ENCLOSURE WALL
- 21 EXISTING DRAIN PIPE
- 22 EXISTING DEMISING WALL
- 23 EXISTING PATIO WALL
- 24 EXISTING PATIO COUNTER
- 25 EXISTING PATIO CANOPY STEEL COLUMN
- 26 EXISTING PATIO CANOPY STEEL BEAM
- 27 EXISTING PATIO FURNITURE
- 28 EXISTING PATIO CANOPY
- 29 EXISTING GRADE TO REMAIN
- 30 EXISTING WALL MOUNTED LIGHT FIXTURE
- 31 PROPOSED TRASH ENCLOSURE WALL
- 32 PROPOSED TRASH ENCLOSURE DOORS
- 33 PROPOSED OPENING IN EXISTING WALL
- 34 PROPOSED SWINGING STOREFRONT DOOR
- 35 PROPOSED ELECTRIC SLIDING GLASS DOOR

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SHEET TITLE / CONTENTS
C-STORE ELEVATIONS & KEYNOTES (STRUCTURE 1)

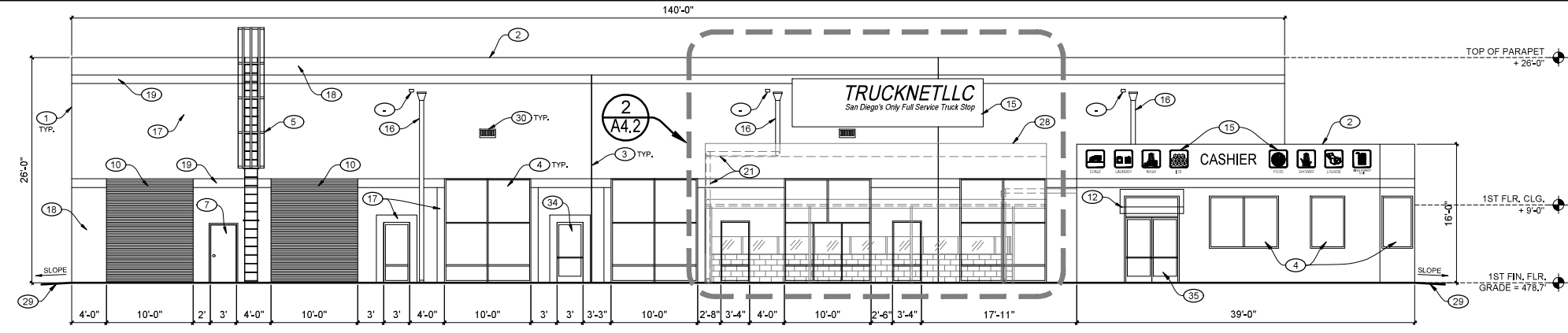
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DRAWN BY: TRH
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A4.1

ATTACHMENT 13

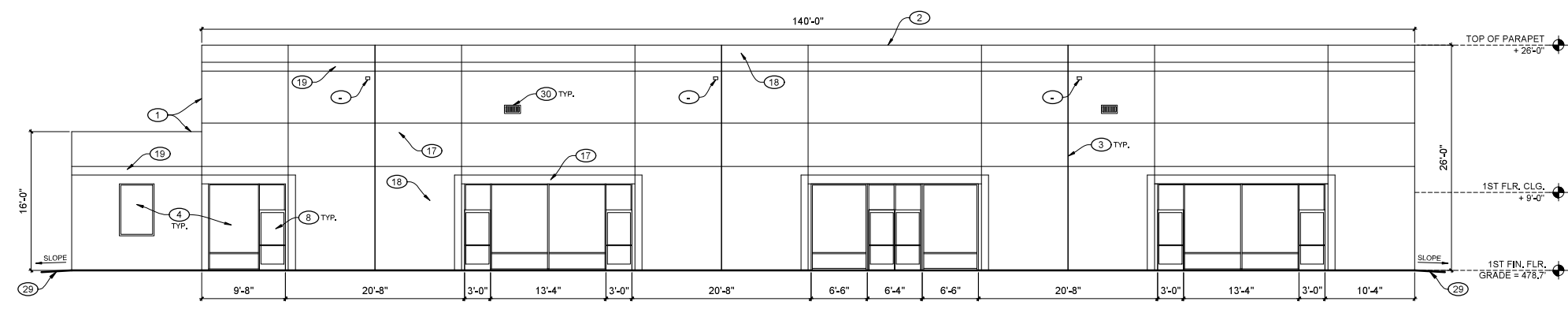
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C-STORE NORTH ELEVATION - STRUCTURE 1

SCALE: 1/8" = 1'-0"

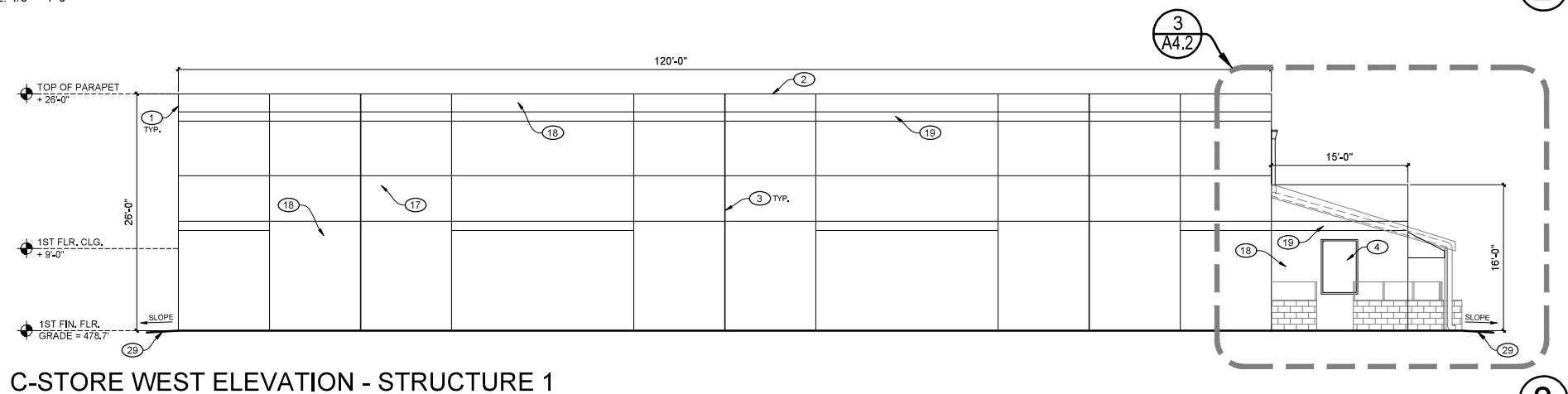
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C-STORE SOUTH ELEVATION - STRUCTURE 1

SCALE: 1/8" = 1'-0"

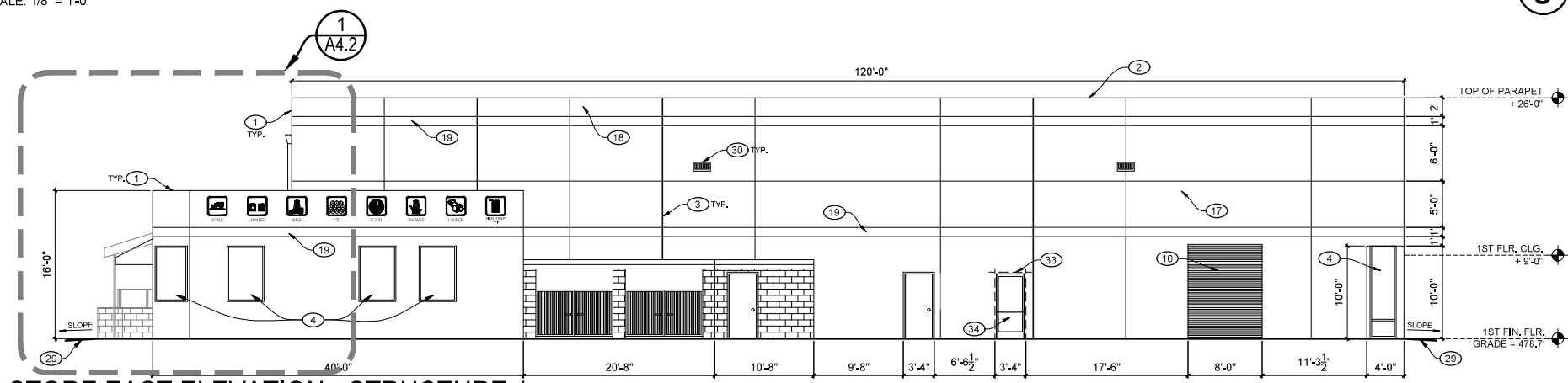
2



C-STORE WEST ELEVATION - STRUCTURE 1

SCALE: 1/8" = 1'-0"

3



C-STORE EAST ELEVATION - STRUCTURE 1

SCALE: 1/8" = 1'-0"

4



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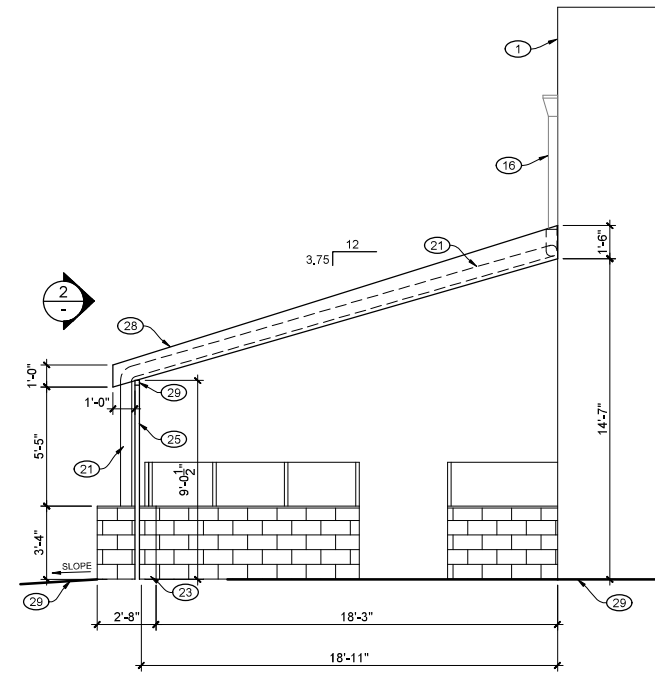
**C-STORE
PATIO CANOPY
ELEVATIONS
(STRUCTURE 1)**

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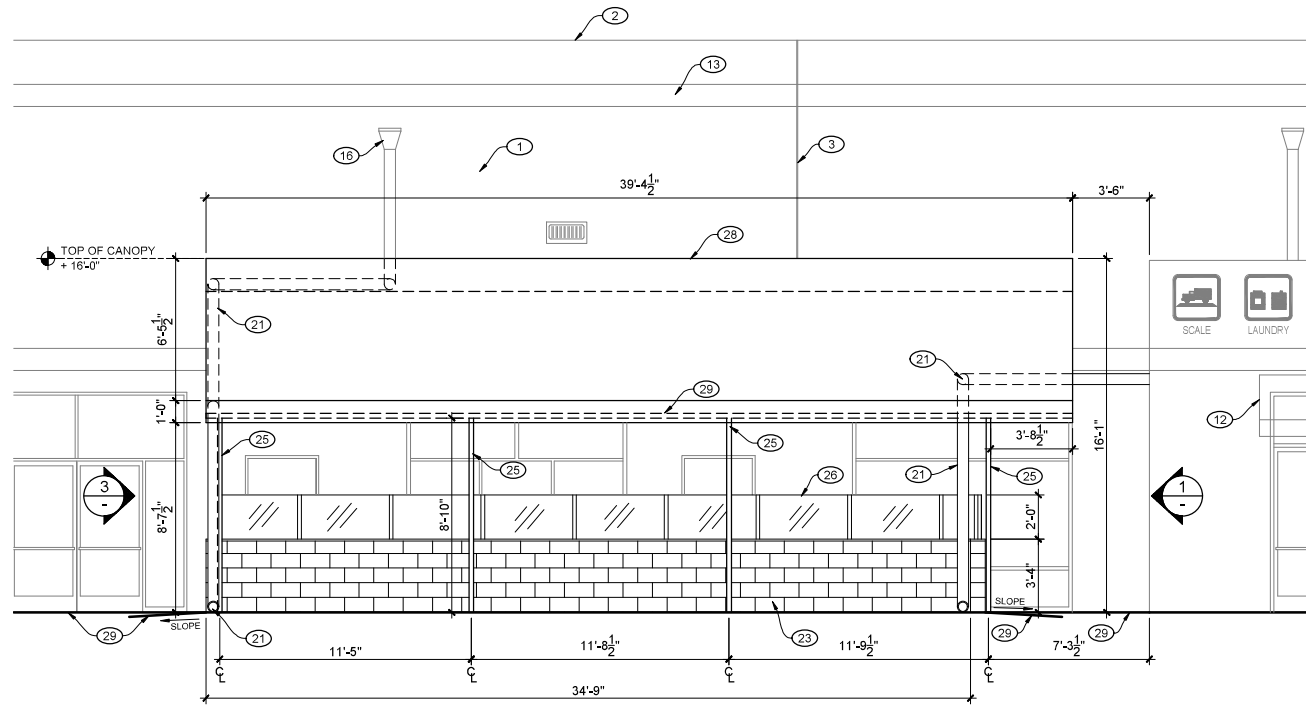
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ATTACHMENT 13



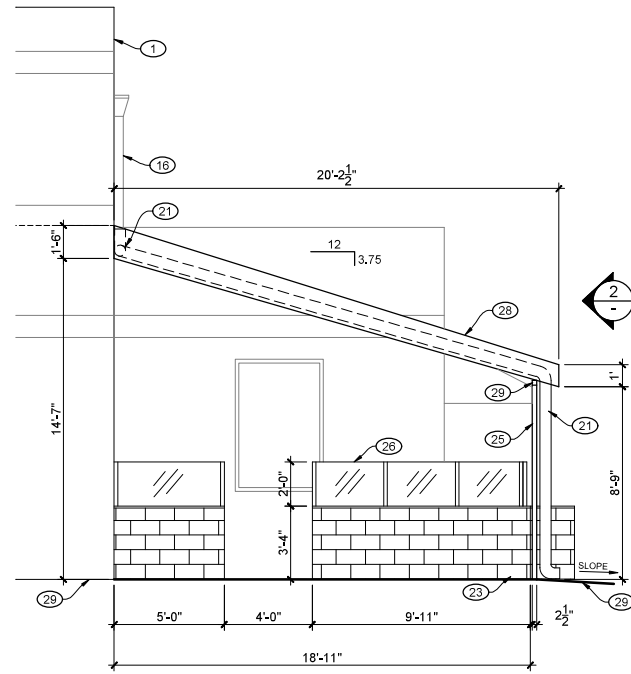
PATIO CANOPY WEST ELEVATION

SCALE: 1/4" = 1'-0"



PATIO CANOPY NORTH ELEVATION - STRUCTURE 1

SCALE: 1/4" = 1'-0"



PATIO CANOPY EAST ELEVATION

SCALE: 1/4" = 1'-0"

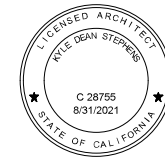
ELEVATION KEYNOTES

- ① EXISTING CONCRETE TILT-UP WALL
- ② EXISTING PARAPET
- ③ EXISTING GAP
- ④ EXISTING STOREFRONT WINDOW
- ⑤ EXISTING ROOF LADDER
- ⑥ EXISTING STRUCTURAL COLUMN
- ⑦ EXISTING DOOR
- ⑧ EXISTING STOREFRONT DOOR
- ⑨ EXISTING ROOF LINE
- ⑩ EXISTING ROLL-UP DOOR
- ⑪ EXISTING WALL OPENING
- ⑫ EXISTING ENTRANCE CANOPY
- ⑬ EXISTING REVEAL LINE
- ⑭ EXISTING FIRE RISER
- ⑮ EXISTING EXTERIOR SIGN
- ⑯ EXISTING DOWNSPOUT
- ⑰ EXISTING BEIGE COLOR PAINTED SURFACE
- ⑱ EXISTING LIGHT BROWN COLOR PAINTED SURFACE
- ⑲ EXISTING DARK BROWN COLOR PAINTED SURFACE
- ⑳ EXISTING TRASH ENCLOSURE WALL
- ㉑ EXISTING DRAIN PIPE
- ㉒ EXISTING DEMISING WALL
- ㉓ EXISTING PATIO WALL
- ㉔ EXISTING PATIO COUNTER
- ㉕ EXISTING PATIO CANOPY STEEL COLUMN
- ㉖ EXISTING PATIO CANOPY STEEL BEAM
- ㉗ EXISTING PATIO FURNITURE
- ㉘ EXISTING PATIO CANOPY
- ㉙ EXISTING GRADE TO REMAIN
- ㉚ EXISTING WALL MOUNTED LIGHT FIXTURE
- ㉛ PROPOSED TRASH ENCLOSURE WALL
- ㉜ PROPOSED TRASH ENCLOSURE DOORS
- ㉝ PROPOSED OPENING IN EXISTING WALL
- ㉞ PROPOSED SWINGING STOREFRONT DOOR
- ㉟ PROPOSED ELECTRIC SLIDING GLASS DOOR

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SAN DIEGO, CA 92121

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TRUCK WASH & LUBE ELEVATIONS & KEYNOTES (STRUCTURE 2)

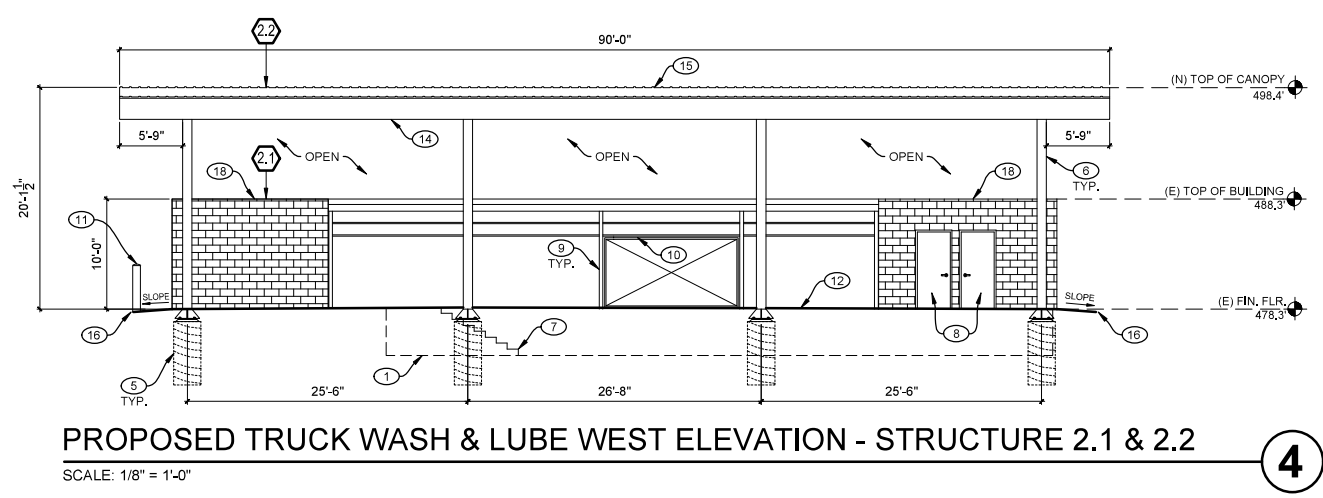
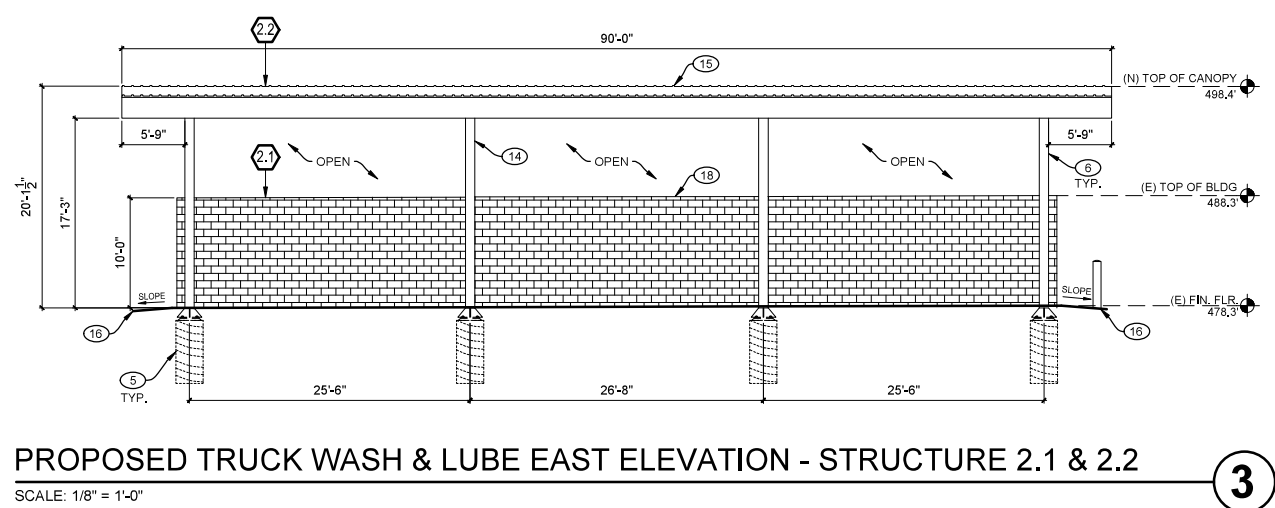
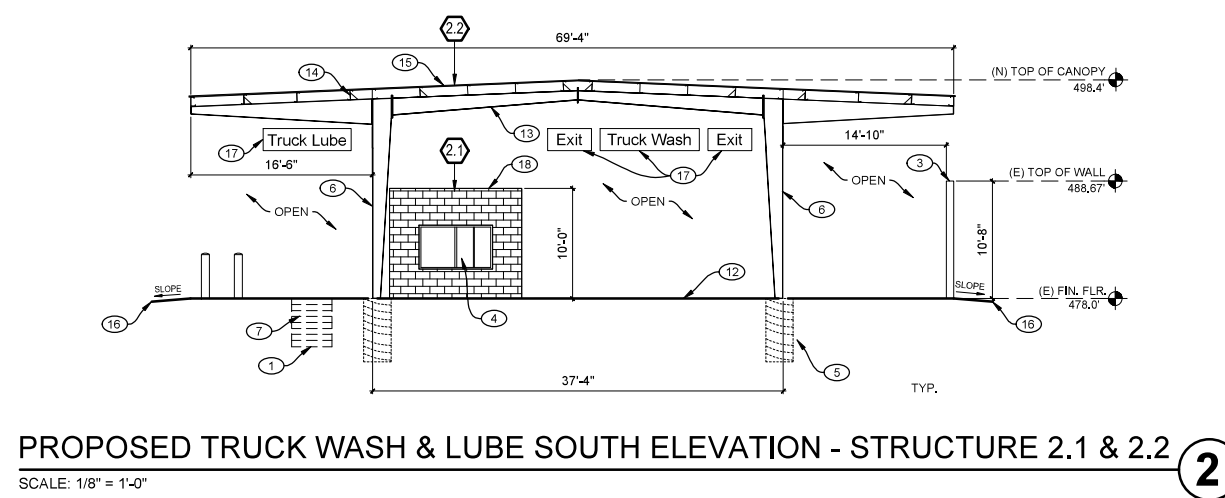
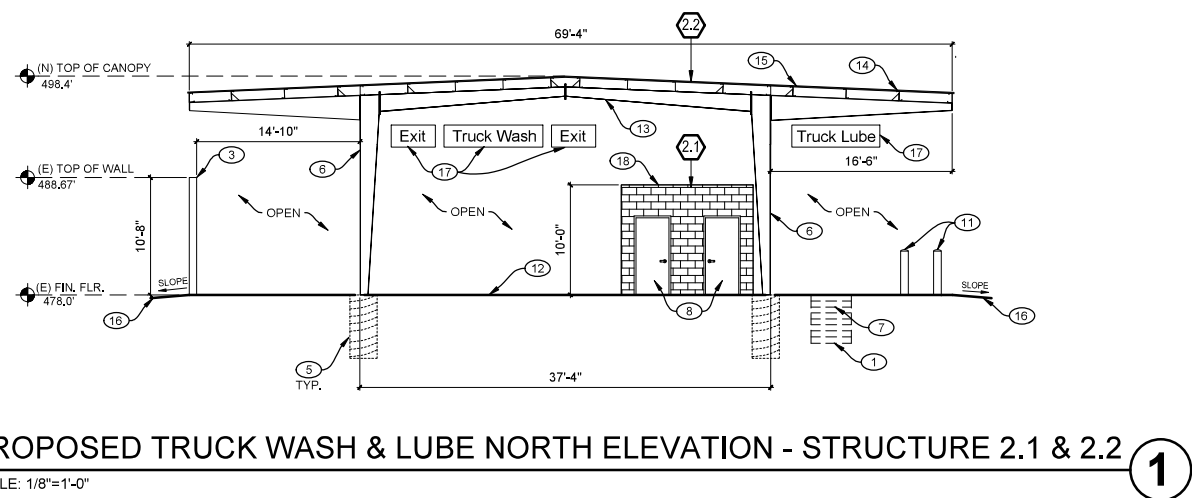
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ELEVATION KEYNOTES

- 1 EXISTING BELOW GRADE CONCRETE LUBE PIT TO REMAIN
- 2 EXISTING EXTERIOR SIGN TO REMAIN
- 3 EXISTING MASONRY WALL TO REMAIN
- 4 EXISTING STOREFRONT WINDOW TO REMAIN
- 5 NEW CONCRETE CAISSON PER STRUCTURAL PLANS
- 6 NEW METAL COLUMN PER STRUCTURAL PLANS
- 7 EXISTING CONCRETE STAIRS TO REMAIN
- 8 EXISTING DOOR TO REMAIN
- 9 EXISTING 4" METAL COLUMN TO REMAIN
- 10 EXISTING METAL SLIDING DOOR TO REMAIN
- 11 EXISTING 8.5" BOLLARDS TO REMAIN
- 12 EXISTING CONCRETE FLOOR TO REMAIN
- 13 NEW METAL TRUSSES PER STRUCTURAL PLANS
- 14 NEW METAL BEAMS PER STRUCTURAL PLANS
- 15 NEW CORRUGATED METAL DECK
- 16 EXISTING GRADE TO REMAIN
- 17 RELOCATED EXISTING EXTERIOR SIGN TO REMAIN
- 18 EXISTING MASONRY BUILDING TO REMAIN

LEGEND

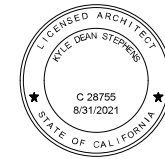
- (E) EXISTING
- (N) NEW

STRUCTURES KEYNOTES

- 2.1 EXISTING TRUCK WASH & LUBE STORAGE BUILDING
- 2.2 EXISTING METAL CANOPY REMOVE AND REPLACE



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ELEVATION KEYNOTES

- 1 EXISTING DIESEL DISPENSER TO REMAIN
- 2 EXISTING BOLLARDS TO REMAIN
- 3 EXISTING RAISED CONCRETE ISLAND TO REMAIN
- 4 EXISTING DISPENSER NUMBER SIGN TO REMAIN
- 5 EXISTING METAL CANOPY COLUMN TO REMAIN
- 6 EXISTING METAL CANOPY ROOF STRUCTURE TO REMAIN
- 7 EXISTING SIGN TO REMAIN
- 8 EXISTING GRADE TO REMAIN
- 9 EXISTING DISPENSER & ISLAND TO BE REMOVED
- 10 EXISTING BOLLARDS TO BE REMOVED
- 11 PROPOSED (1) NEW DISPENSER & ISLAND
- 12 PROPOSED BOLLARDS

STRUCTURES KEYNOTES

- 3 EXISTING DISPENSER CANOPY TO BE PERMITTED
- 4 EXISTING DISPENSER CANOPY TO BE PERMITTED

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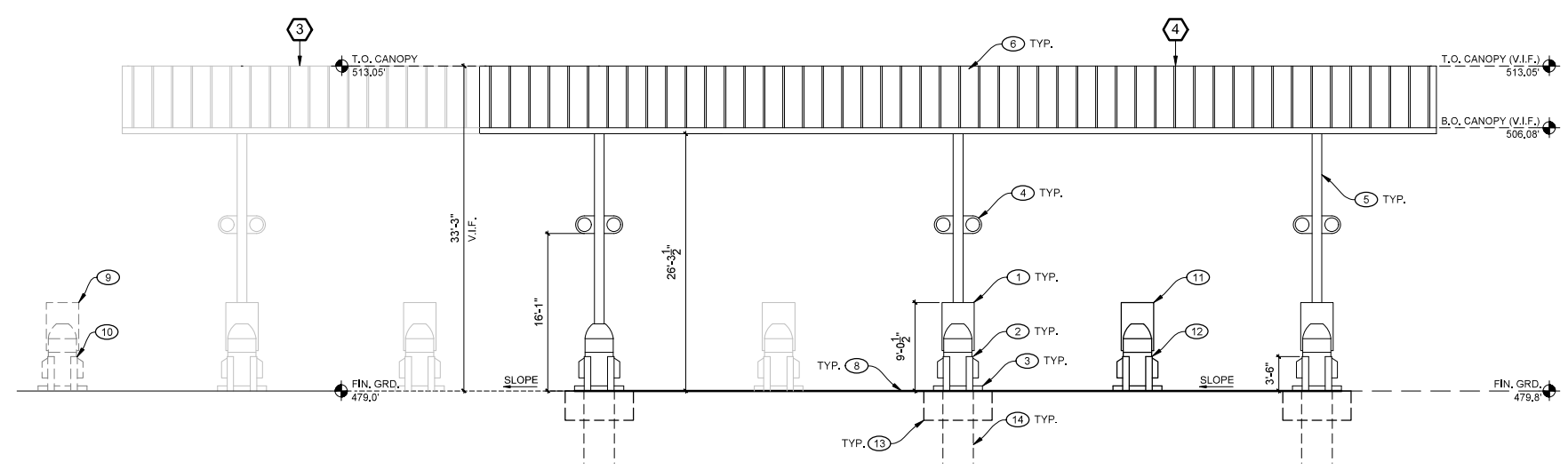
DISPENSER CANOPIES ELEVATIONS & KEYNOTES (STRUCTURE 3 & 4)

TRH PROJECT#: 248-13-CUP
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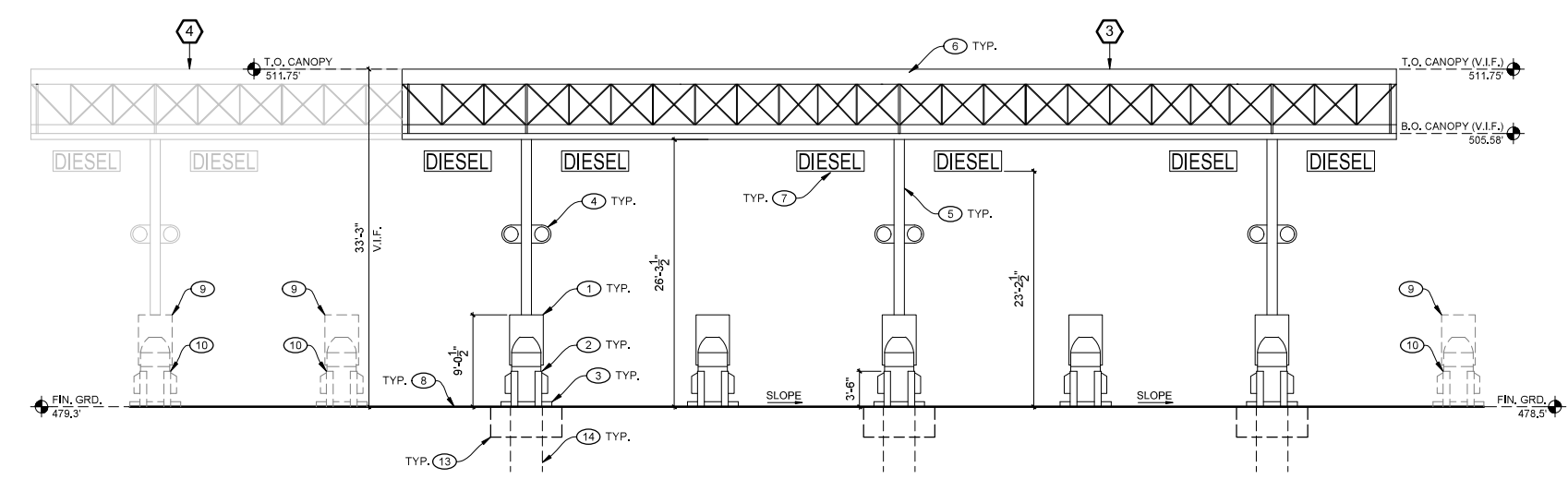
ATTACHMENT 13



DISPENSER CANOPIES NORTH ELEVATION - STRUCTURES 3 AND 4

SCALE: 1/8" = 1'-0"

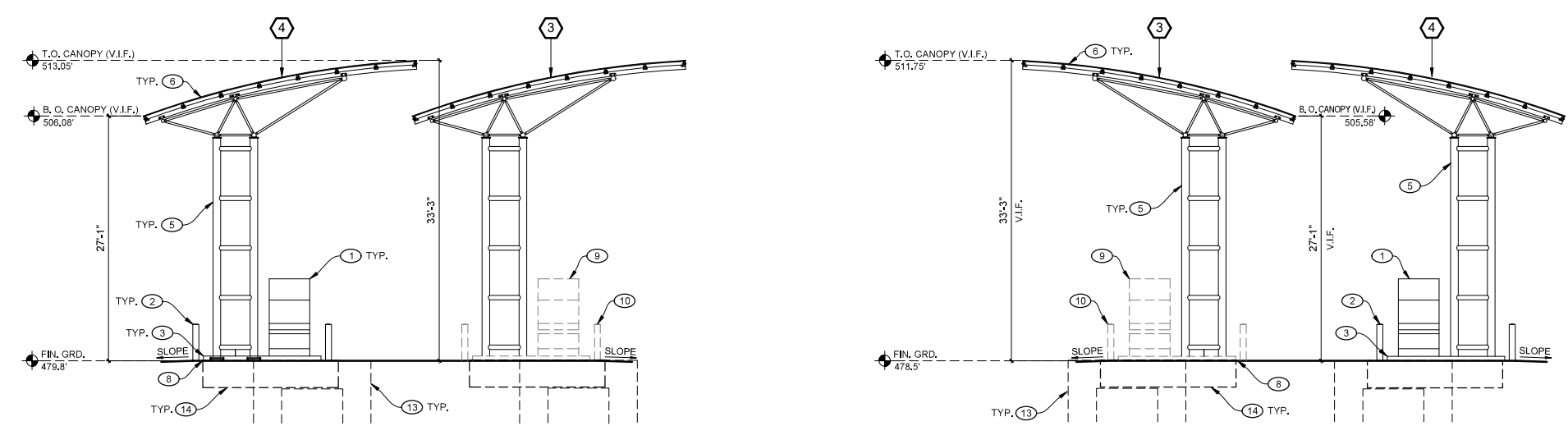
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DISPENSER CANOPIES SOUTH ELEVATION - STRUCTURES 3 AND 4

SCALE: 1/8" = 1'-0"

2



DISPENSER CANOPIES WEST ELEVATION - STRUCTURES 3 AND 4

SCALE: 1/8" = 1'-0"

4

DISPENSER CANOPIES EAST ELEVATION - STRUCTURES 3 AND 4

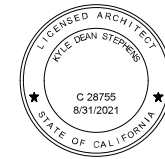
SCALE: 1/8" = 1'-0"

3

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<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
**DEF TANK & SHED
ELEVATIONS
& KEYNOTES
(STRUCTURE 7 & 8)**

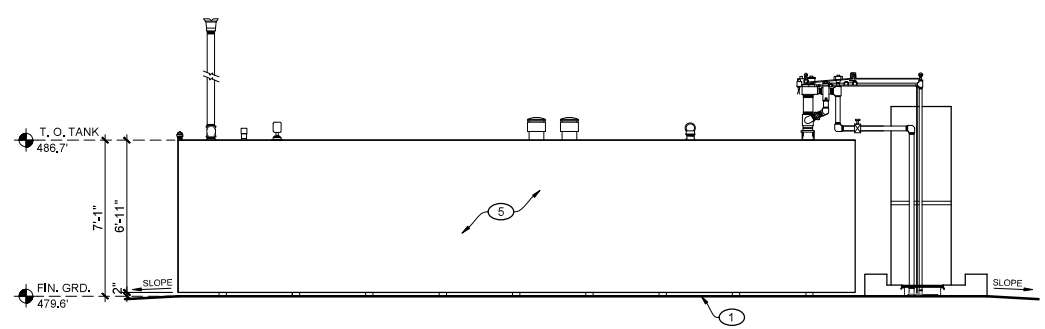
TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 20 OF: 46

A4.5

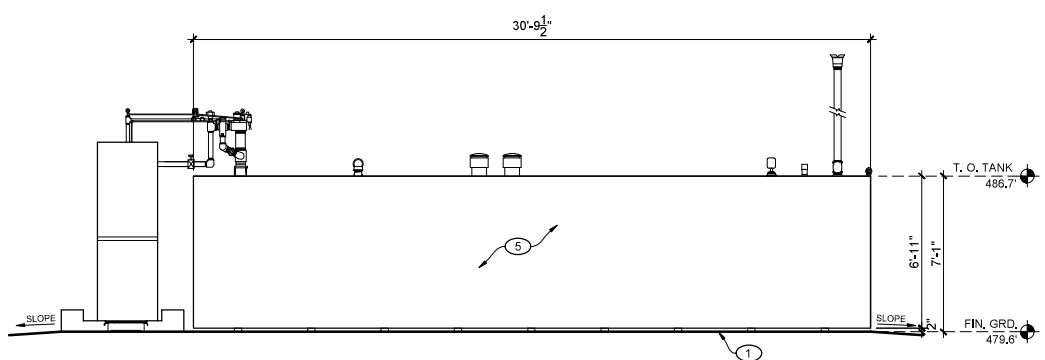
ATTACHMENT 13

EXISTING DEF TANK - STRUCTURE 8



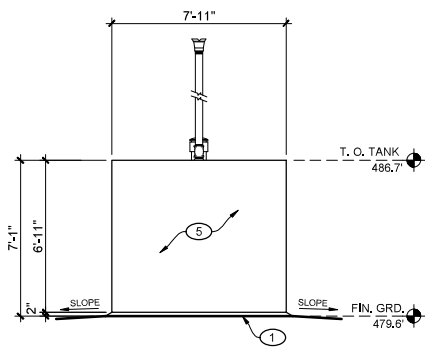
WEST ELEVATION
SCALE: 1/4" = 1'-0"

1



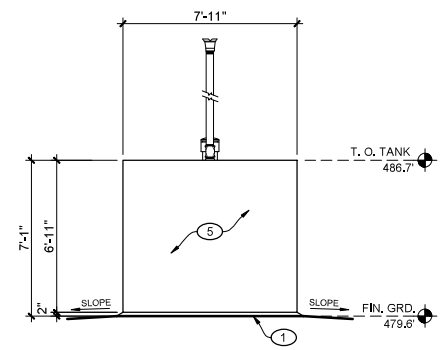
EAST ELEVATION
SCALE: 1/4" = 1'-0"

2



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

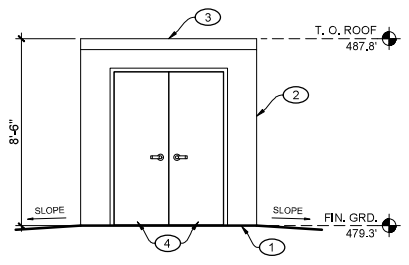
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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

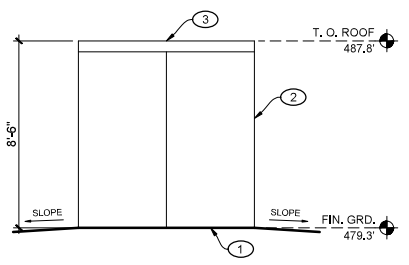
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EXISTING ELECTRICAL SHED - STRUCTURE 7



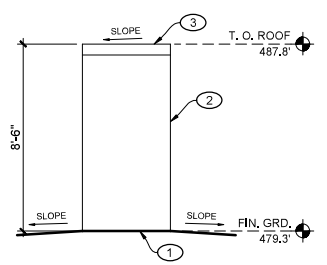
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

1



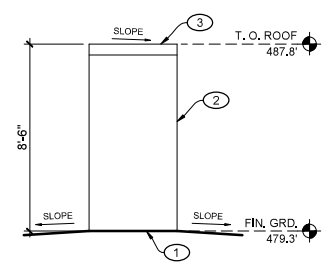
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2



EAST ELEVATION
SCALE: 1/4" = 1'-0"

4



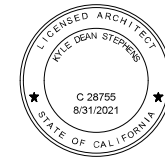
WEST ELEVATION
SCALE: 1/4" = 1'-0"

3

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ELEVATION KEYNOTES

- ① EXISTING DIESEL DISPENSER TO REMAIN
- ② EXISTING BOLLARDS TO REMAIN
- ③ EXISTING RAISED CONCRETE ISLAND TO REMAIN
- ④ EXISTING DISPENSER NUMBER SIGN TO REMAIN
- ⑤ EXISTING METAL CANOPY COLUMN TO REMAIN
- ⑥ EXISTING METAL CANOPY ROOF STRUCTURE TO REMAIN
- ⑦ EXISTING SIGN TO REMAIN
- ⑧ EXISTING GRADE TO REMAIN

STRUCTURES KEYNOTES

- ⑩ EXISTING DISPENSER CANOPY
- ⑪ EXISTING DISPENSER CANOPY
- ⑫ EXISTING DISPENSER CANOPY

APPLICANT:

Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:

**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△	-	-
△	-	-
△	-	-
△	-	-
△	-	-

THIS SET ISSUE DATE

<input type="checkbox"/>	DESIGN DEVEL.	
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/>	FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/>	RESUBMITTAL 1	12/9/16
<input checked="" type="checkbox"/>	RESUBMITTAL 2	4/27/17
<input checked="" type="checkbox"/>	RESUBMITTAL 3	1/9/2018
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<input checked="" type="checkbox"/>	RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/>	RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS

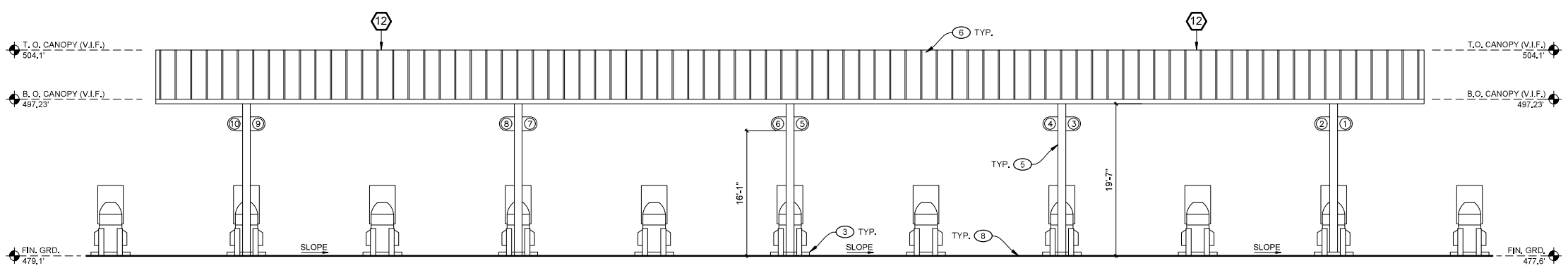
**DISPENSER CANOPIES
ELEVATIONS
& KEYNOTES
(STRUCTURE 10, 11 & 12)**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 21 OF: 46

A4.6

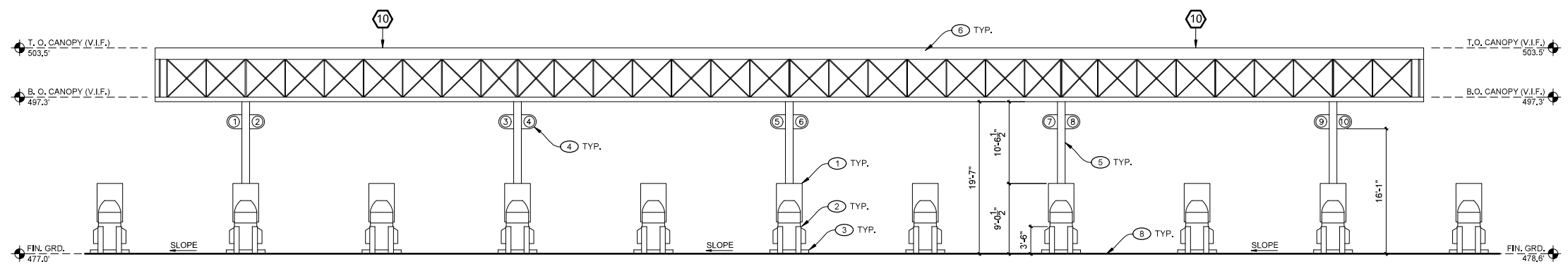
ATTACHMENT 13



DISPENSER CANOPIES NORTH ELEVATION - STRUCTURE 12

SCALE: 1/8" = 1'-0"

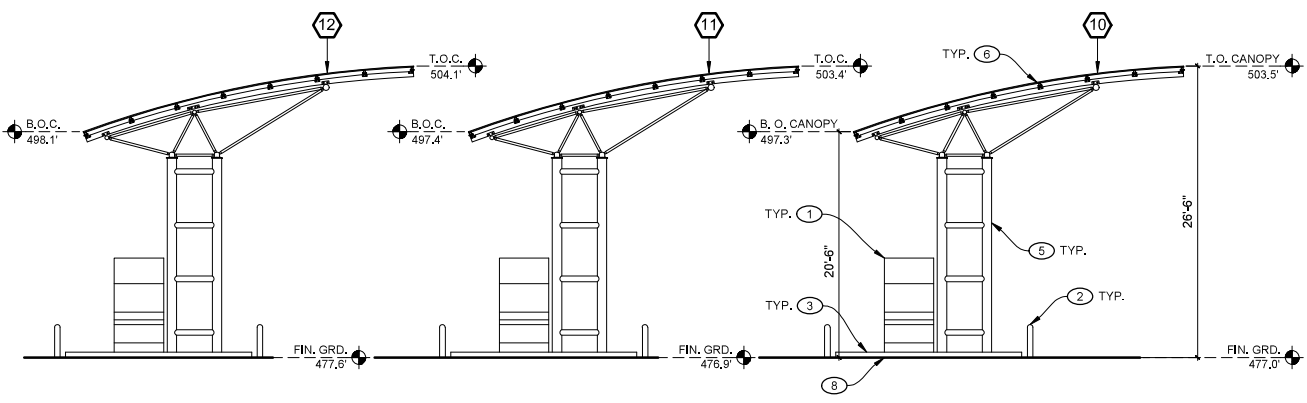
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DISPENSER CANOPIES SOUTH ELEVATION - STRUCTURE 10

SCALE: 1/8" = 1'-0"

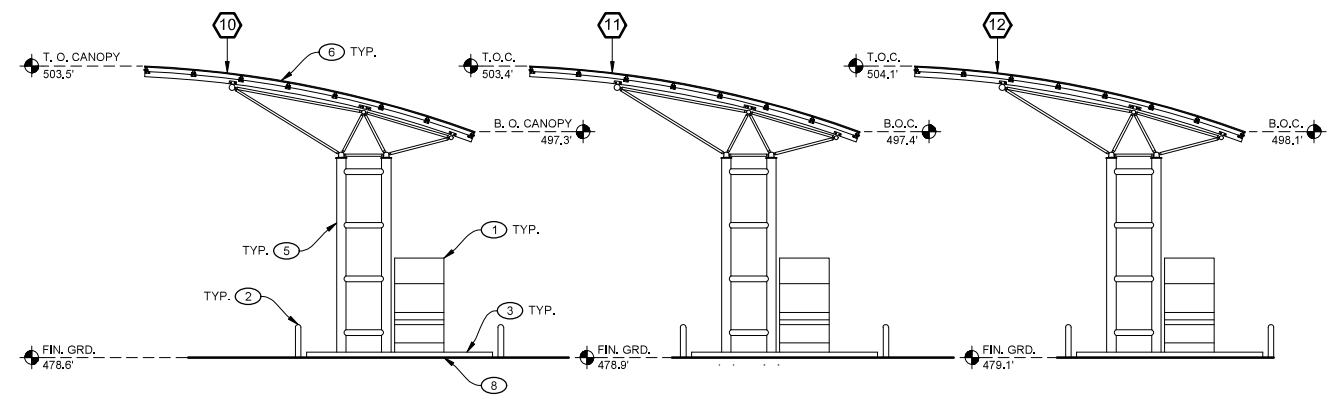
②



DISPENSER CANOPIES WEST ELEVATION - STRUCTURES 10, 11 AND 12

SCALE: 1/8" = 1'-0"

④



DISPENSER CANOPIES EAST ELEVATION - STRUCTURES 10, 11 AND 12

SCALE: 1/8" = 1'-0"

③

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APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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SHEET TITLE / CONTENTS

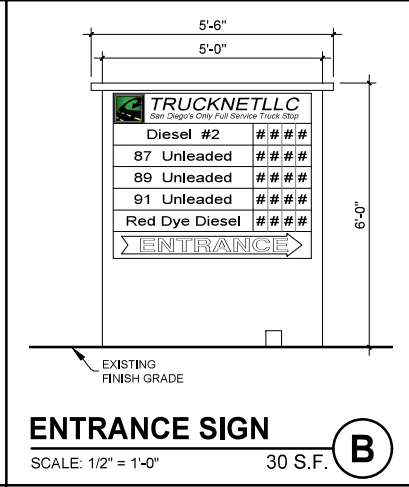
SITE SIGNAGE PROFILES

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

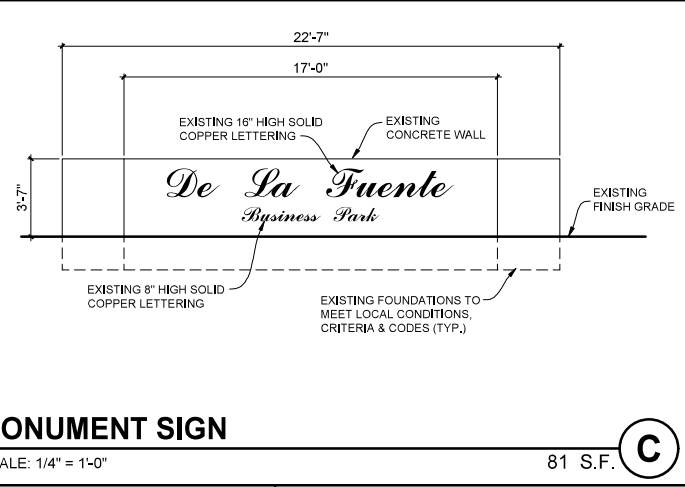
SHEET: 22 OF: 46

A5.1

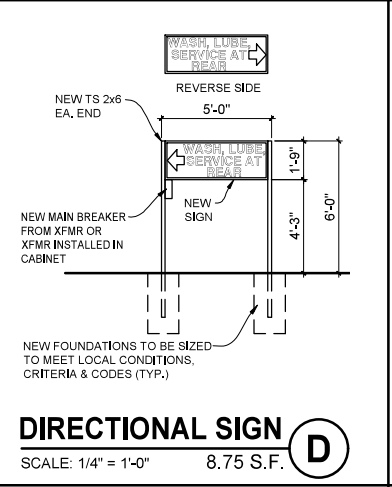
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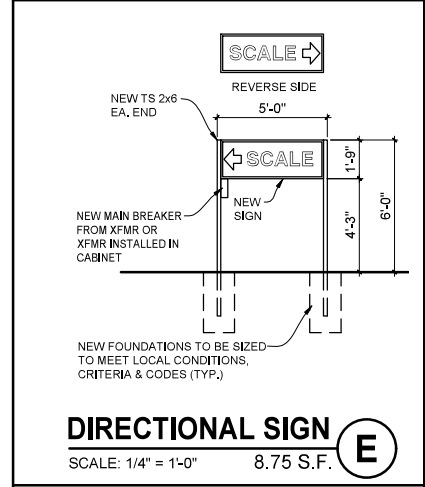
ENTRANCE SIGN (B)
SCALE: 1/2" = 1'-0" 30 S.F.



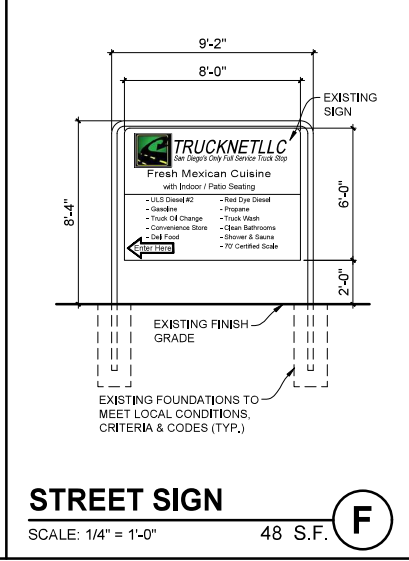
MONUMENT SIGN (C)
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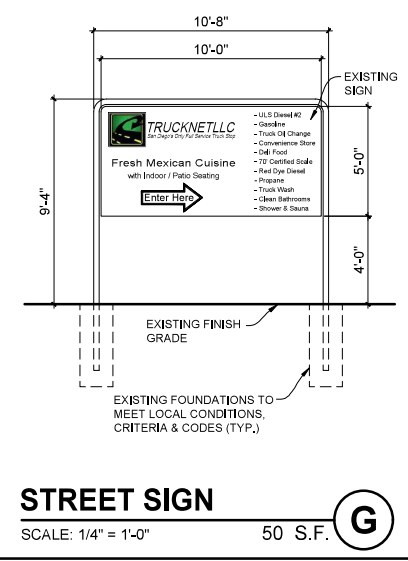
DIRECTIONAL SIGN (D)
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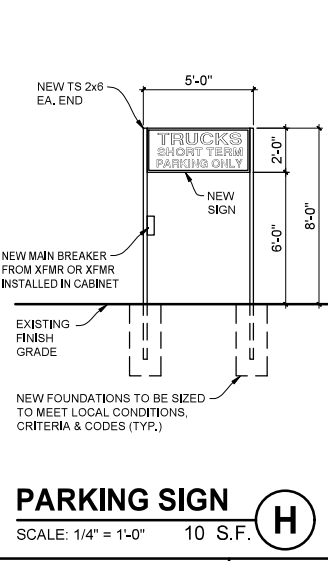
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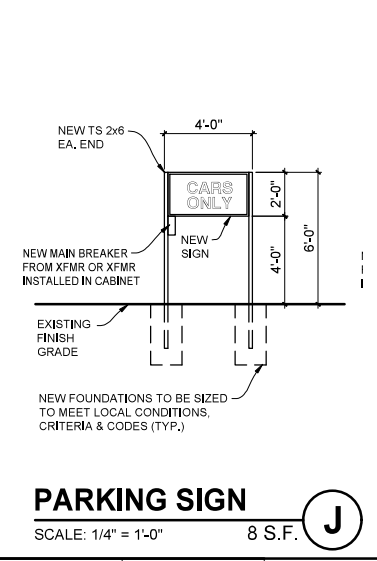
STREET SIGN (F)
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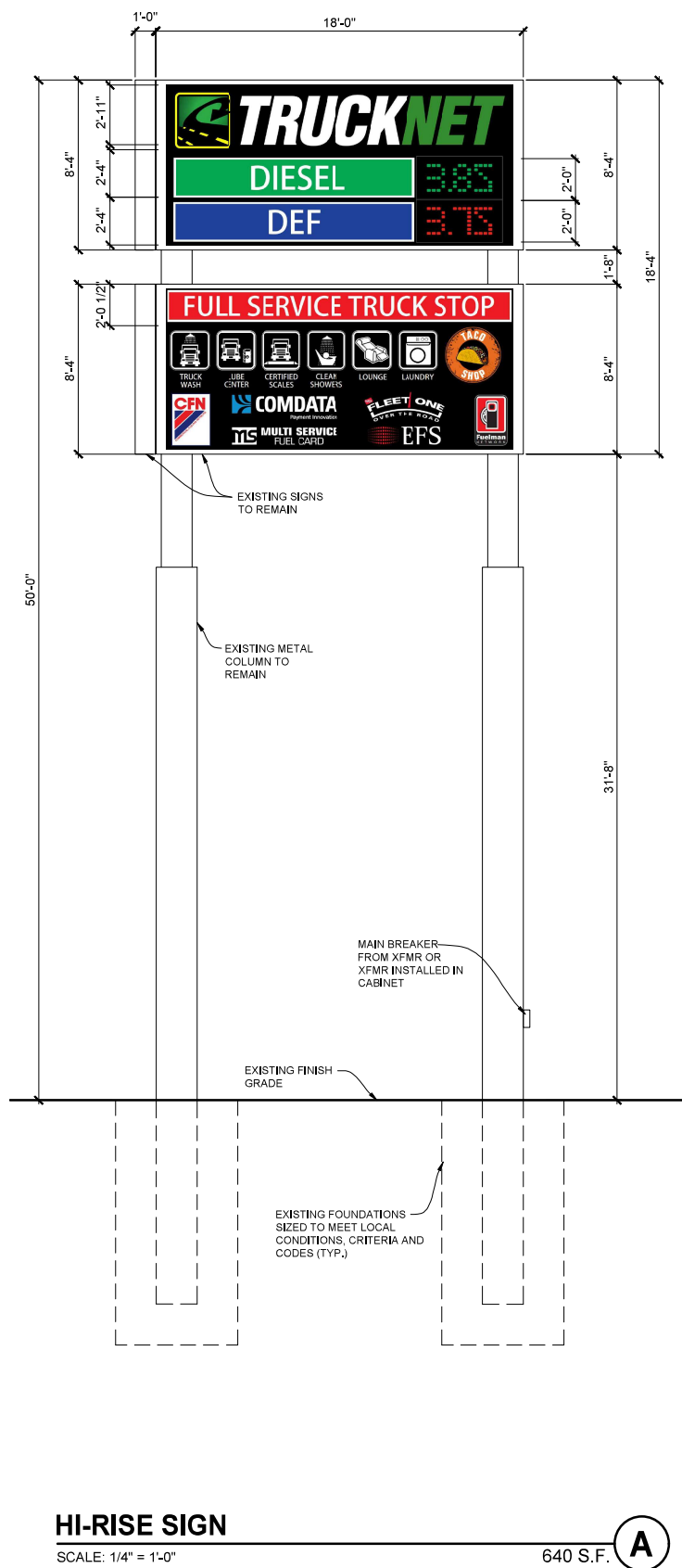
STREET SIGN (G)
SCALE: 1/4" = 1'-0" 50 S.F.



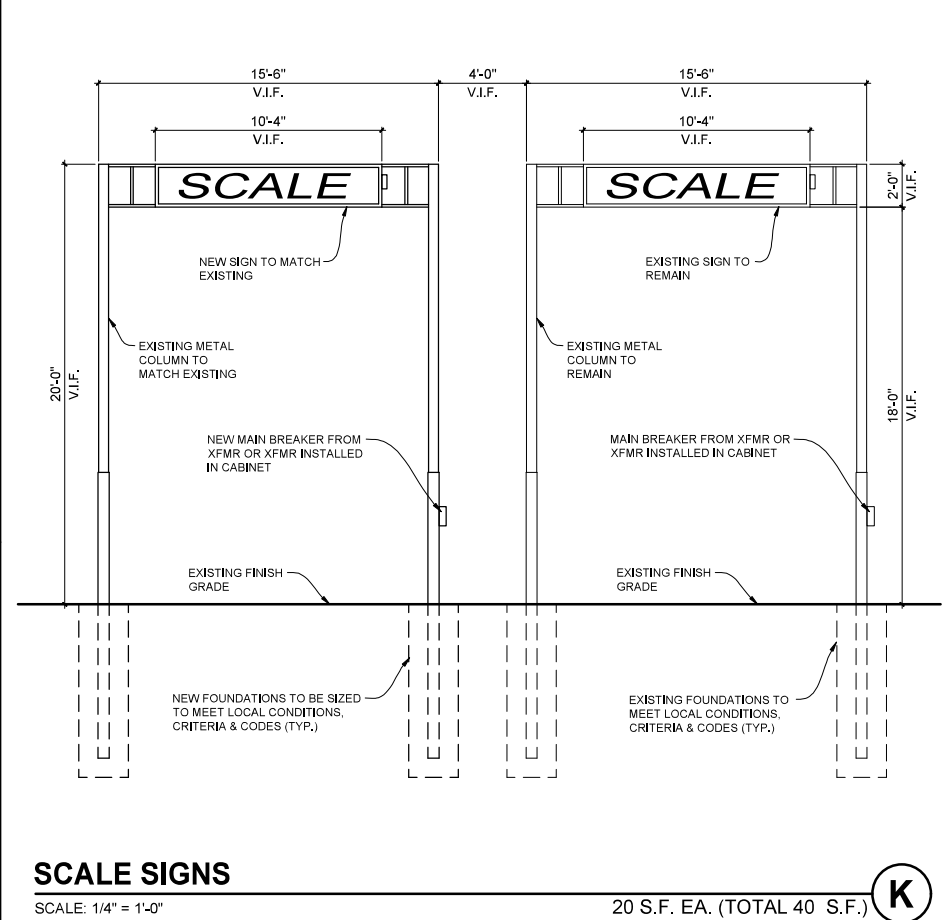
PARKING SIGN (H)
SCALE: 1/4" = 1'-0" 10 S.F.



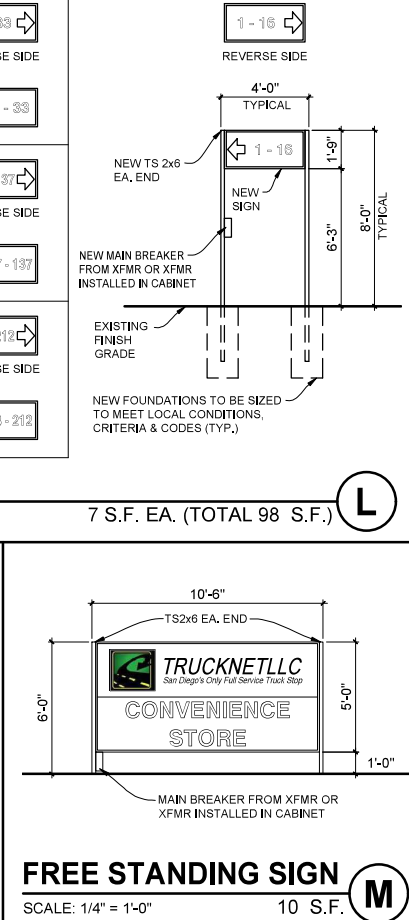
PARKING SIGN (J)
SCALE: 1/4" = 1'-0" 8 S.F.



HI-RISE SIGN (A)
SCALE: 1/4" = 1'-0" 640 S.F.



SCALE SIGNS (K)
SCALE: 1/4" = 1'-0" 20 S.F. EA. (TOTAL 40 S.F.)



FREE STANDING SIGN (M)
SCALE: 1/4" = 1'-0" 10 S.F.

86 - 116	75 - 95	84 - 74	34 - 53	17 - 33
96 - 116	75 - 95	54 - 74	34 - 53	17 - 33
185 - 197	168 - 182	153 - 167	138 - 152	117 - 137
183 - 197	168 - 182	153 - 167	138 - 152	117 - 137
	228 - 244	213 - 228	188 - 212	
	228 - 244	213 - 228	188 - 212	

TRUCK SPACES NUMBERING SIGNS (L)
SCALE: 1/4" = 1'-0" 7 S.F. EA. (TOTAL 98 S.F.)

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APPLICANT:

Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:

**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△	-	-
△	-	-
△	-	-
△	-	-

THIS SET ISSUE DATE

- DESIGN DEVL. _____
- PERMIT SUBMITTAL 6/27/16
- FULL SUBMITTAL 7/20/16
- RESUBMITTAL 1 12/9/16
- RESUBMITTAL 2 4/27/17
- RESUBMITTAL 3 1/9/2018
- RESUBMITTAL 4 12/3/2018
- RESUBMITTAL 5 9/10/2019
- RESUBMITTAL 6 10/21/2019

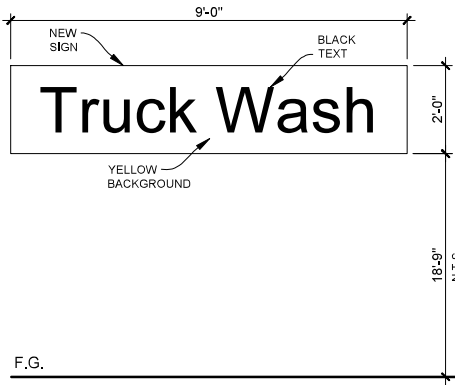
SHEET TITLE / CONTENTS

**SITE SIGNAGE
PROFILES**

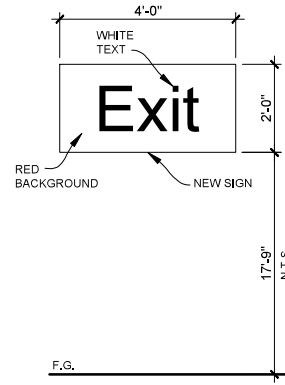
TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 23 OF: 46

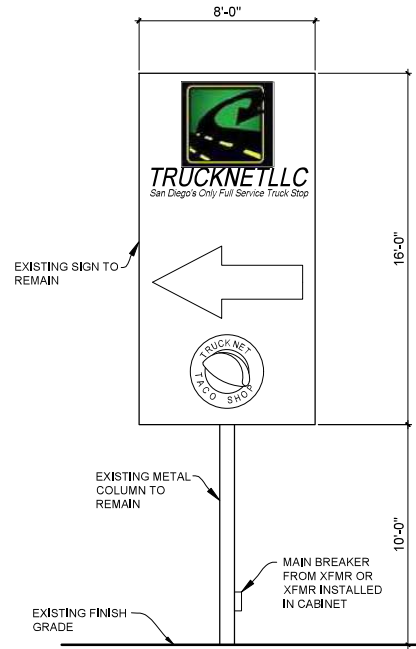
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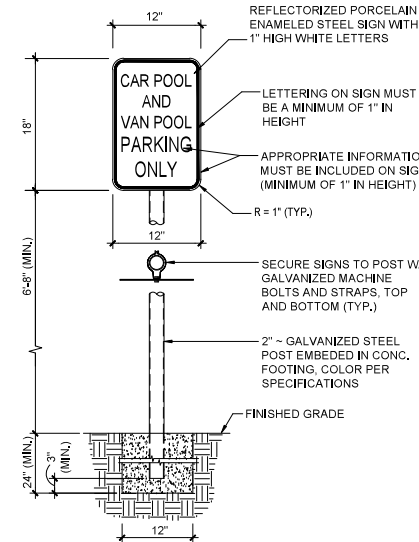
CANOPY SIGN
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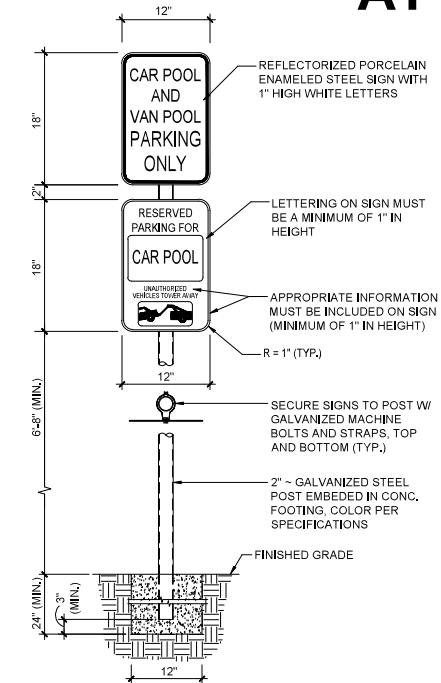
CANOPY SIGN
SCALE: 1/2" = 1'-0" 8 S.F. **Q**



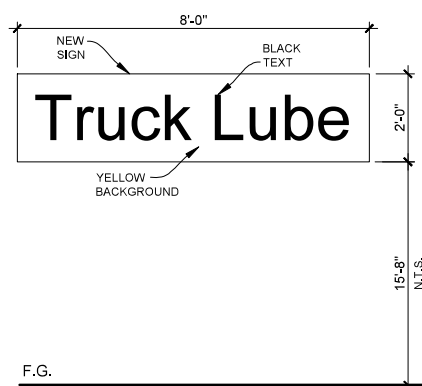
VERTICAL SIGN
SCALE: 1/4" = 1'-0" 128 S.F. **P**



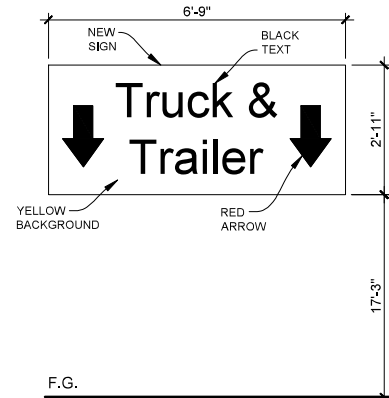
PARKING SIGN
SCALE: 1" = 1'-0" 2 S.F. **O**



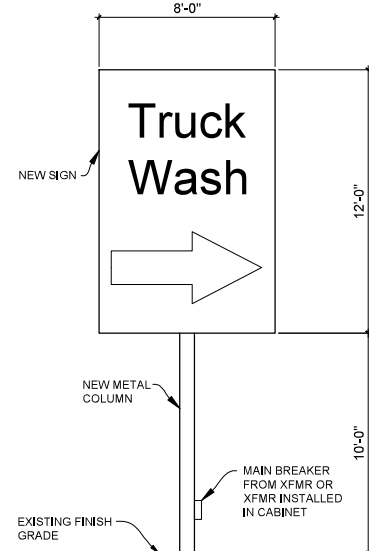
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SCALE: 1" = 1'-0" 3 S.F. **N**



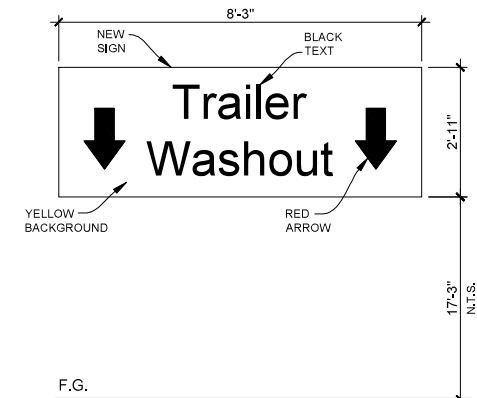
CANOPY SIGN
SCALE: 1/2" = 1'-0" 16 S.F. **T**



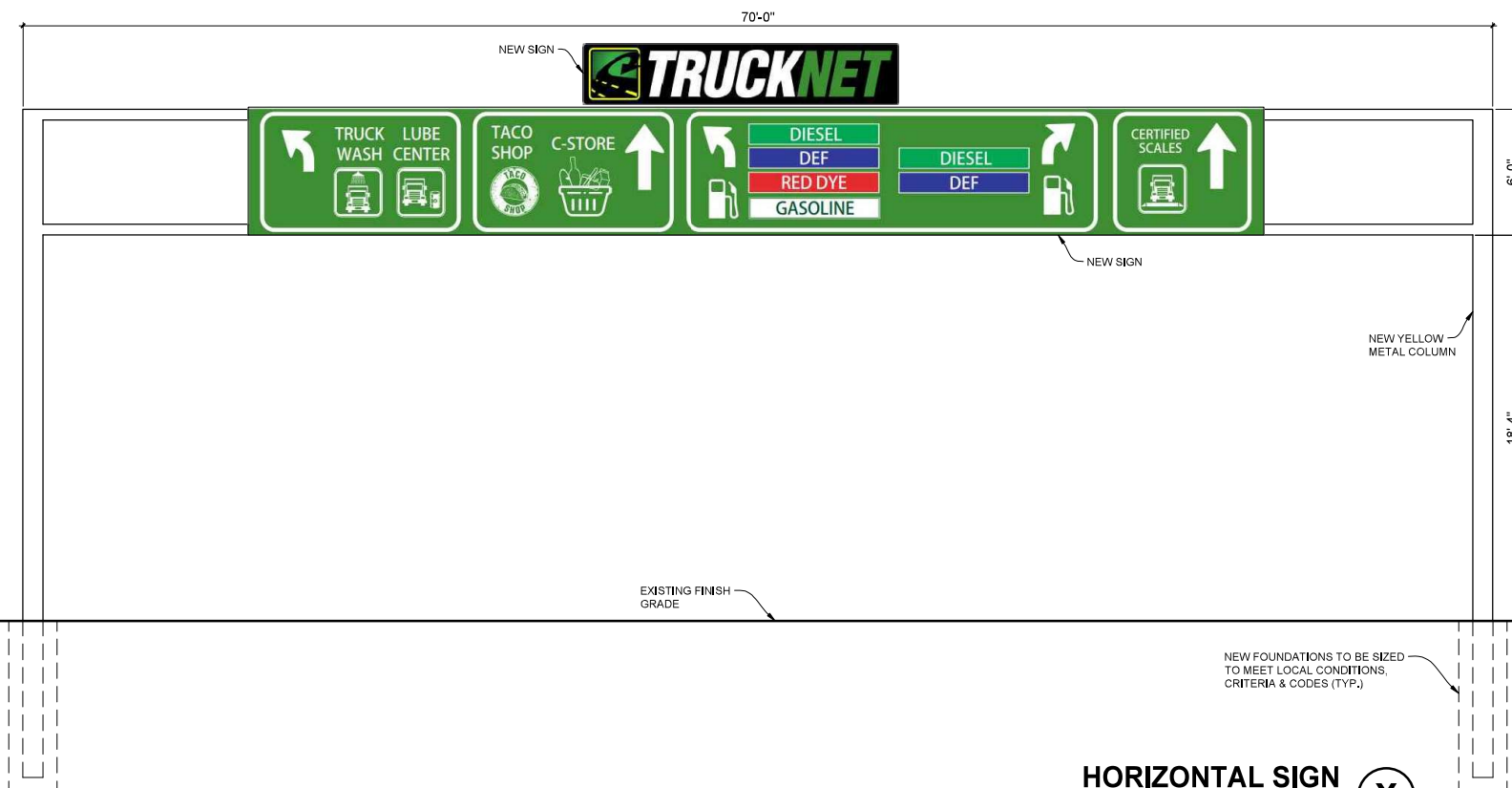
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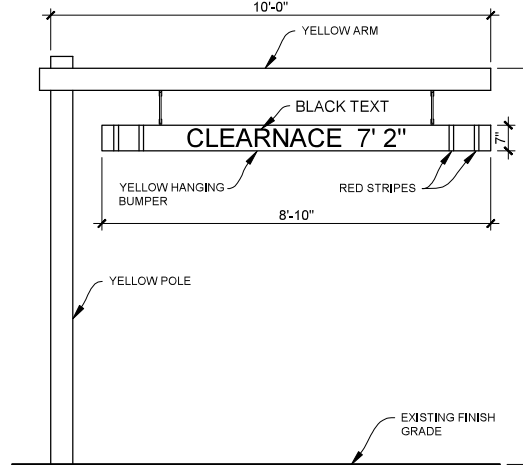
VERTICAL SIGN
SCALE: 1/4" = 1'-0" 96 S.F. **V**



CANOPY SIGN
SCALE: 1/2" = 1'-0" 24 S.F. **U**



HORIZONTAL SIGN
SCALE: 1/4" = 1'-0" 337 S.F. **X**



CLEARANCE SIGN
SCALE: 1/2" = 1'-0" 5 S.F. **W**

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PROJECT:

**TRUCK.NET
CUP**

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SUITE 5
SAN DIEGO, CA 92154

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■ RESUBMITTAL 4	12/3/2018
■ RESUBMITTAL 5	9/10/2019
■ RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS

**PARTIAL SITE
PLAN, LEGEND
& KEYNOTES**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 24 OF: 46



NO SCALE
KEY MAP

SIGN KEYNOTES

- Ⓐ EXISTING PERMITTED HIGH RISE SIGN - SHEET A5.1
- Ⓑ EXISTING PERMITTED ENTRANCE SIGN - SHEET A5.1
- Ⓒ EXISTING PERMITTED MONUMENT SIGN - SHEET A5.1
- Ⓓ PROPOSED DIRECTIONAL SIGN - SHEET A5.1
- Ⓔ PROPOSED DIRECTIONAL SIGN - SHEET A5.1
- Ⓕ EXISTING PERMITTED STREET SIGN - SHEET A5.1
- Ⓖ EXISTING PERMITTED STREET SIGN - SHEET A5.1
- Ⓗ PROPOSED PARKING SIGN - SHEET A5.1
- Ⓘ PROPOSED PARKING SIGN - SHEET A5.1
- Ⓚ PROPOSED PARKING SIGN - SHEET A5.1
- Ⓛ EXISTING PERMITTED & PROPOSED SCALE SIGN - SHEET A5.1
- Ⓜ PROPOSED NUMBERING SIGN - SHEET A5.1
- Ⓝ PROPOSED FREE STANDING SIGN - SHEET A5.1
- Ⓟ PROPOSED LOADING/UNLOADING SIGN - SHEET A5.1
- Ⓠ PROPOSED CARPOOL SIGN - SHEET A5.1
- Ⓡ PROPOSED VEHICLE SIGN - SHEET A5.1
- Ⓢ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓣ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓤ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓡ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓣ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓤ PROPOSED VERTICAL SIGN - SHEET A5.2
- Ⓡ PROPOSED CLEARANCE SIGN - SHEET A5.2
- Ⓣ PROPOSED HORIZONTAL HIGHWAY SIGN - SHEET A5.2

SITE LIGHT KEYNOTES

- ① EXISTING PERMITTED POLE WITH LIGHT FIXTURE(S) TO REMAIN - (TOTAL 9) - 3 THIS SHEET
- ② EXISTING ONSITE LIGHTS TO BE REMOVED/RELOCATED - (TOTAL 21) - 11 THIS SHEET
- ③ RELOCATED POLE WITH LIGHT FIXTURE(S) - (TOTAL 24) - 8 THIS SHEET
- ④ NEW POLE WITH LIGHT FIXTURE(S) - (TOTAL 6) - 6 THIS SHEET
- ⑤ EXISTING ONSITE LIGHTS TO BE RELOCATED OUTSIDE THE RIGHT OF WAY - (TOTAL 10) - 5 THIS SHEET

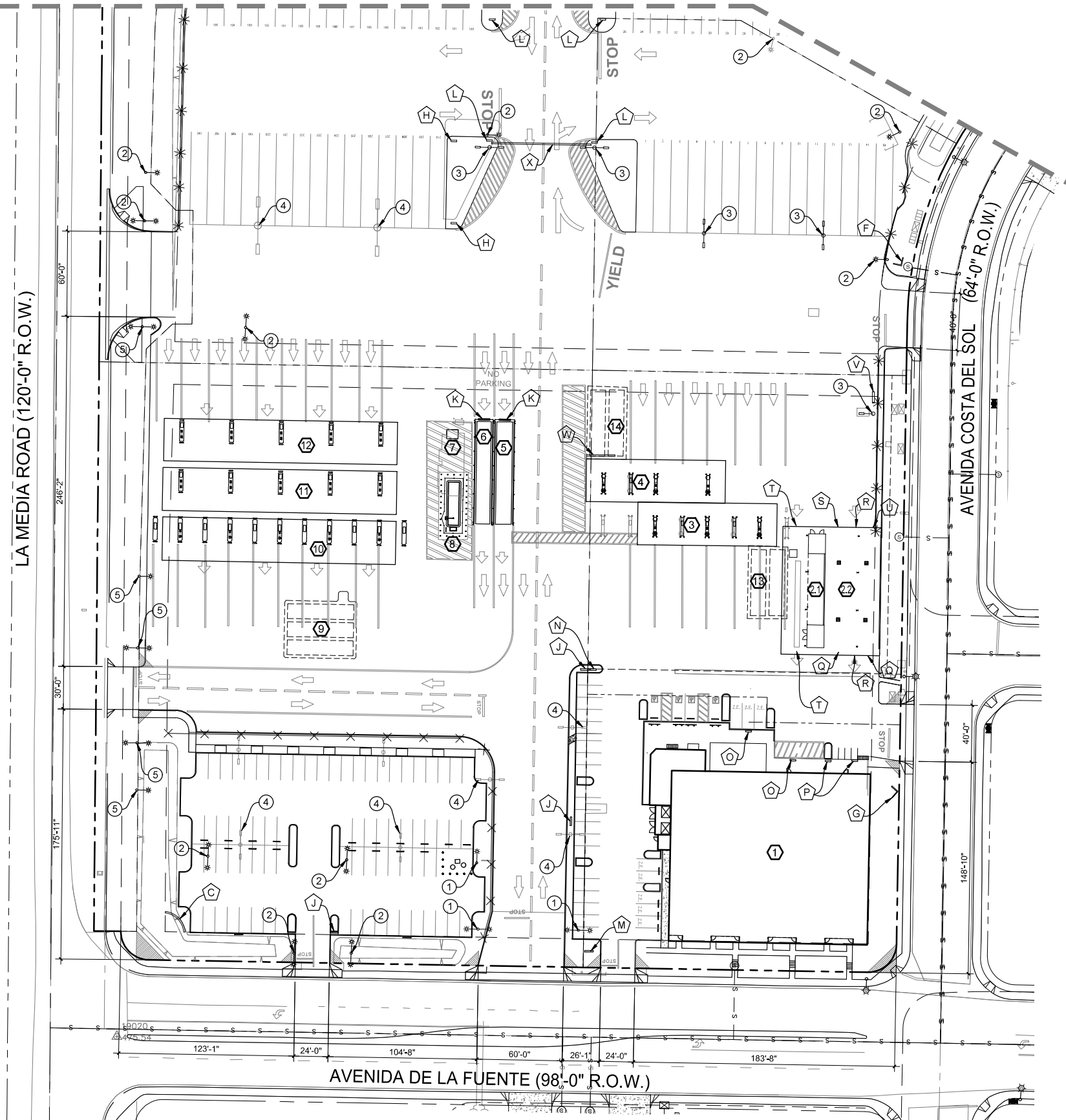
LEGEND

- *— EXISTING SINGLE FIXTURE LIGHT POST TO REMAIN - TOTAL 1
- *—*— EXISTING DUAL FIXTURE LIGHT POST TO REMAIN - TOTAL 8
- *— EXISTING SINGLE FIXTURE LIGHT POST TO BE REMOVED/RELOCATED - TOTAL 14
- *—*— EXISTING DUAL FIXTURE LIGHT POST TO BE RELOCATED - TOTAL 17
- RELOCATED SINGLE FIXTURE LIGHT POST - TOTAL 5
- RELOCATED DUAL FIXTURE LIGHT POST - TOTAL 17
- NEW DUAL FIXTURE LIGHT POST - TOTAL 7

NOTE

- 1. ALL ONSITE LIGHTING SHALL BE OUTSIDE OF ALL PUBLIC RIGHT OF WAY'S

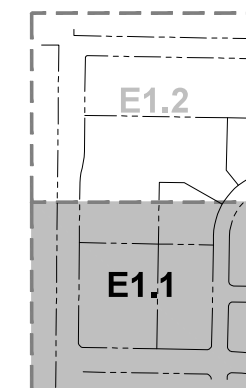
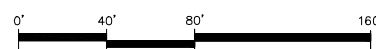
SEE SHEET E1.2



PARTIAL SITE PLAN



SCALE: 1" = 40'



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APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△	-	-
△	-	-
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THIS SET	ISSUE DATE
□ DESIGN DEVEL.	
■ PERMIT SUBMITTAL	6/27/16
■ FULL SUBMITTAL	7/20/16
■ RESUBMITTAL 1	12/9/16
■ RESUBMITTAL 2	4/27/17
■ RESUBMITTAL 3	1/9/2018
■ RESUBMITTAL 4	12/3/2018
■ RESUBMITTAL 5	9/10/2019
■ RESUBMITTAL 6	10/21/2019

SHEET TITLE / CONTENTS
**PARTIAL SITE
PLAN, LEGEND
& KEYNOTES**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 25 OF: 46

ATTACHMENT 13

E1.2

SIGN KEYNOTES

- Ⓐ EXISTING PERMITTED HIGH RISE SIGN - SHEET A5.1
- Ⓑ EXISTING PERMITTED ENTRANCE SIGN - SHEET A5.1
- Ⓒ EXISTING PERMITTED MONUMENT SIGN - SHEET A5.1
- Ⓓ PROPOSED DIRECTIONAL SIGN - SHEET A5.1
- Ⓔ PROPOSED DIRECTIONAL SIGN - SHEET A5.1
- Ⓕ EXISTING PERMITTED STREET SIGN - SHEET A5.1
- Ⓖ EXISTING PERMITTED STREET SIGN - SHEET A5.1
- Ⓗ PROPOSED PARKING SIGN - SHEET A5.1
- Ⓙ PROPOSED PARKING SIGN - SHEET A5.1
- Ⓚ EXISTING PERMITTED & PROPOSED SCALE SIGN - SHEET A5.1
- Ⓛ PROPOSED NUMBERING SIGN - SHEET A5.1
- Ⓜ PROPOSED FREE STANDING SIGN - SHEET A5.1
- Ⓝ PROPOSED LOADING/UNLOADING SIGN - SHEET A5.1
- Ⓟ PROPOSED CARPOOL SIGN - SHEET A5.1
- Ⓠ PROPOSED VEHICLE SIGN - SHEET A5.1
- Ⓡ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓢ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓣ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓤ PROPOSED CANOPY SIGN - SHEET A5.2
- Ⓥ PROPOSED VERTICAL SIGN - SHEET A5.2
- Ⓦ PROPOSED CLEARANCE SIGN - SHEET A5.2

SITE LIGHT KEYNOTES

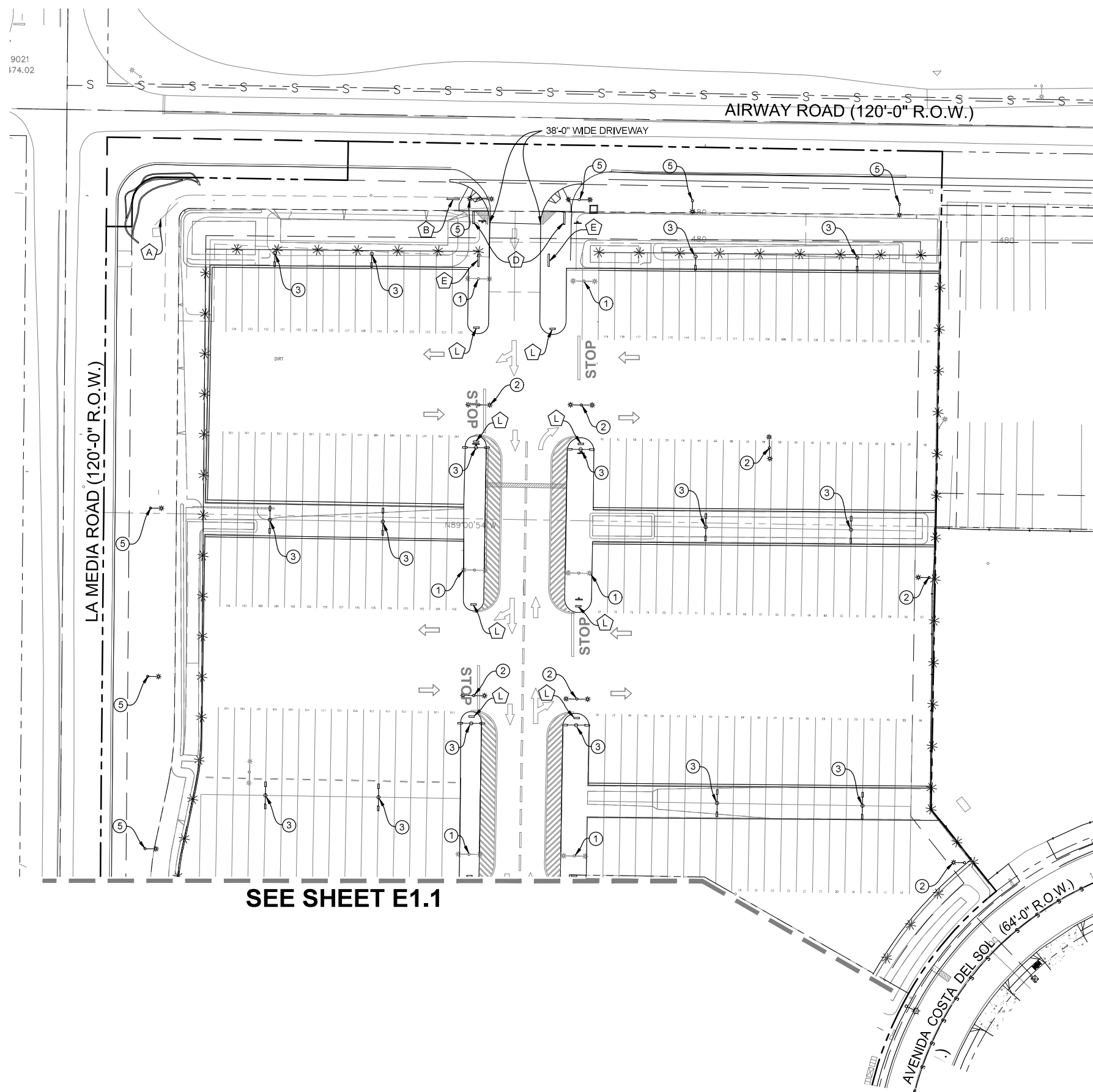
- ① EXISTING PERMITTED POLE WITH LIGHT FIXTURE(S) TO REMAIN - (TOTAL 9) - 6 THIS SHEET
- ② EXISTING ONSITE LIGHTS TO BE REMOVED/RELOCATED - (TOTAL 21) - 10 THIS SHEET
- ③ RELOCATED POLE WITH LIGHT FIXTURE(S) - (TOTAL 24) - 16 THIS SHEET
- ④ NEW POLE WITH LIGHT FIXTURE(S) - (TOTAL 6) - 0 THIS SHEET
- ⑤ EXISTING ONSITE LIGHTS TO BE RELOCATED OUTSIDE THE RIGHT OF WAY - (TOTAL 10) - 5 THIS SHEET

LEGEND

- ⊛ EXISTING SINGLE FIXTURE LIGHT POST TO REMAIN - TOTAL 1
- ⊛ EXISTING DUAL FIXTURE LIGHT POST TO REMAIN - TOTAL 8
- ⊛ EXISTING SINGLE FIXTURE LIGHT POST TO BE REMOVED/RELOCATED - TOTAL 14
- ⊛ EXISTING DUAL FIXTURE LIGHT POST TO BE RELOCATED - TOTAL 17
- ⊛ RELOCATED SINGLE FIXTURE LIGHT POST - TOTAL 5
- ⊛ RELOCATED DUAL FIXTURE LIGHT POST - TOTAL 17
- ⊛ NEW DUAL FIXTURE LIGHT POST - TOTAL 7

NOTE

- 1. ALL ONSITE LIGHTING SHALL BE OUTSIDE OF ALL PUBLIC RIGHT OF WAYS

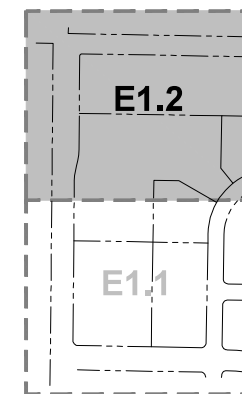
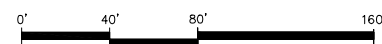


SEE SHEET E1.1

PARTIAL SITE PLAN



SCALE: 1" = 40'



NO SCALE

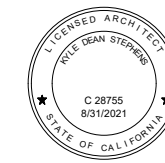
KEY MAP

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9021
174.02

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THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEVEL.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
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<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/15/2019

SHEET TITLE / CONTENTS
LANDSCAPE TITLE SHEET, KEYMAP, CALCULATIONS & NOTES

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 26 OF: 46

L1

ATTACHMENT 13

LANDSCAPE NOTES:

- FRONT AND STREET-SIDE YARD SETBACKS SHALL BE 100 PERCENT LANDSCAPED (SDMC 1517.0402)
- NO OBJECTS HIGHER THAN 36" WILL BE PLACED IN THE VISIBILITY TRIANGLE AREAS.
- ALL TREE PLANTING AREAS SHALL HAVE A MINIMUM OF 5'-0" INSIDE DIMENSION. ALL OTHER PLANTING AREAS SHALL HAVE 3'-0" MIN. INSIDE DIMENSION.
- PARKING AREAS - 3% OF PARKING AREAS SHALL BE LANDSCAPED PER SDMC 1517.0402(c).

IRRIGATION NOTE:

ALL PLANTING AREAS TO BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM IRRIGATION COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED UNDERGROUND OR ABOVE GROUND PIPED IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART AUTOMATIC CONTROLLER WITH MASTER VALVE CAPABILITIES AND LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED TO PROTECT THE SOURCE WATER FROM POSSIBLE BACKFLOW CONTAMINATION. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVC INSTALLED BELOW GRADE. ALL IRRIGATION SHALL BE INSTALLED PER LOCAL AND REGIONAL STANDARDS.

DESIGN STATEMENT:

THE PROJECT CONSIST OF EXISTING LANDSCAPING TO BE PARTIALLY REMOVED (GRASS), AND REPLACED WITH DROUGHT TOLERANT/SUCCULENT SHRUBS & DECORATIVE HARDSCAPE FOR WATER CONSERVATION.

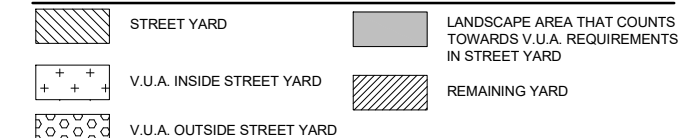
THE PROJECT INCLUDES WATER EFFICIENT DESERT THEME INCORPORATING SUCCULENT SHRUBS & DECORATIVE SAND, RIVER ROCK, PEBBLES, GRAVEL & BOULDERS PROVIDING PEDESTRIAN CIRCULATION AND RECREATIONAL OPEN SPACE.

PROPOSED STREET TREES AND SETBACK TREES TO BE PLACED 25 FT. APART FOR DENSE VEGETATION BUFFER, AND NATURAL SCREENING FROM THE PUBLIC RIGHT OF WAYS.

REVEGETATION PROGRAM:

- REPLACE EXISTING GRASS IN THE TRUCK PARKING ISLANDS WITH SUCCULENT SHRUBS, DECORATIVE PEA GRAVEL, RIVER ROCK & BOULDERS.
- REPLACE EXISTING SPRAY IRRIGATION IN THE TRUCK PARKING ISLANDS WITH AUTOMATIC DRIPLINE AND BUBBLER IRRIGATION SYSTEMS.
- WINTER AND SPRING FOR PLANTING CONTAINER STOCK.
- HYDROSEED DURING WINTER AND SPRING SEASONS.
- 3-6 MONTHS ESTABLISHMENT PERIOD FOR ALL REPLACEMENT PLANTINGS.
- 3 MONTHS MONITORING PERIOD.
- PROPOSED BIO-SWALE BASINS WITH DROUGHT TOLERANT SHRUBS AT SLOPES FOR EROSION CONTROL.
- PROPOSED TEMPORARY DRIP IRRIGATION AT BIO-SWALE BASIN SLOPES.

LANDSCAPE CALCULATIONS LEGEND:



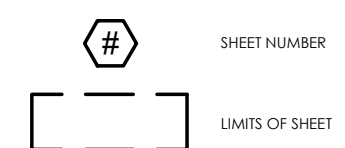
LANDSCAPE SUMMARY CALCULATIONS

STREET YARD		
TOTAL AREA	98,742 SF	
PLANTING AREA REQ'D (25%)	24,686 SF	
PLANTING AREA PROVIDED	73,513 SF	
PLANT POINTS REQUIRED (.05 PTS/SF)	4,937 PTS	
PLANT POINTS PROVIDED	7,680 PTS	
PTS ACHIEVED W/ TREES (50% MIN)	4,210 PTS	
VEHICLE USE AREA (INSIDE THE STREET YARD)		
TOTAL AREA	35,600 SF	
PLANTING AREA REQ'D (5% OF VUA)	1,780 SF	
PLANTING AREA PROVIDED	1,905 SF	
PLANT POINTS REQUIRED (.05 PTS/SF)	1,780 PTS	
PLANT POINTS PROVIDED	1,965 PTS	
40 SQ. FT. PER TREE	PROVIDED	
(1) TREE WITHIN 30' OF EACH PARKING SPACE.	PROVIDED	
VEHICLE USE AREA (OUTSIDE THE STREET YARD)		
TOTAL AREA	12,868 SF	
PLANTING AREA REQ'D (3% OF VUA)	386 SF	
PLANTING AREA PROVIDED	510 SF	
PLANT POINTS REQUIRED (.03 PTS/SF)	386 PTS	
PLANT POINTS PROVIDED	410 PTS	
40 SQ. FT. PER TREE	PROVIDED	
REMAINING YARD		
TOTAL AREA	11,093 SF	
PLANT POINTS REQUIRED (.05 PTS/SF)	555 PTS	
PLANT POINTS PROVIDED	600+ PTS	
LAWN AREA: ALLOWED 100,848 S.F. x 10% = 10,085 S.F. PROPOSED 6,585 S.F. = 6.5% OF TOTAL LANDSCAPE AREA < 10%		

TABLE 142-04F REVEGETATION & IRRIGATION REQUIREMENTS

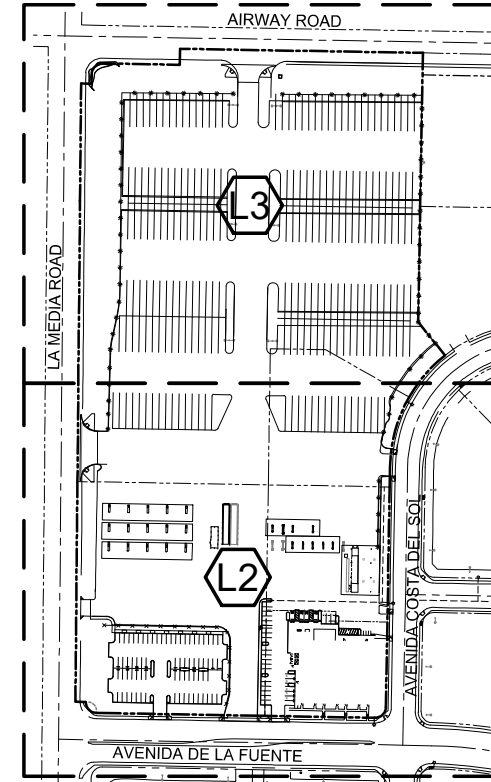
Location of Disturbed Area	Slope of Disturbed Area	Required Irrigation System	Required Revegetation or Erosion Control
Within 100 feet of areas with native or naturalized vegetation	Less than 4:1	Automatic, above grade, temporary irrigation system	Native or naturalized hydroseed mix
	4:1 or greater with slope height 15 feet or less	Automatic, above grade, temporary irrigation system	Native or naturalized ground cover consisting of rooted cuttings or hydroseed mix
	4:1 or greater with slope height > 15 feet	Automatic, above grade, temporary irrigation system	Native or naturalized ground cover of rooted cuttings or hydroseed mix & native or naturalized trees & shrubs min. 1 gal. @ 1 per 100 s.f. of disturbed area)
100 feet or further from areas with native or naturalized vegetation	Less than 4:1	Automatic, below grade, permanent system or automatic, above grade, temporary irrigation system	Hydroseed, mulch or equivalent
	4:1 or greater with slope height 15 feet or less	Automatic, below grade, permanent irrigation system	Drought tolerant groundcover consisting of rooted cuttings or hydroseed mix
	4:1 or greater with slope height > 15 feet	Automatic, below grade, permanent irrigation system	Drought tolerant groundcover consisting of rooted cuttings or hydroseed mix & drought tolerant trees & shrubs min. 1 gal. @ 1 per 100 s.f. of disturbed area)

KEY MAP LEGEND:



STRUCTURES KEYNOTES

- EXISTING C-STORE
- EXISTING TRUCK WASH & LUBE BUILDING
- PROPOSED TRUCK WASH & LUBE CANOPY
- PROPOSED DISPENSER CANOPY
- PROPOSED TRUCK SCALE
- EXISTING TRUCK SCALE
- EXISTING ELECTRICAL SHED
- EXISTING A.G. DEF TANK
- EXISTING U.G. FUEL TANKS
- EXISTING DISPENSER CANOPY
- EXISTING DISPENSER CANOPY
- EXISTING DISPENSER CANOPY
- EXISTING U.G. FUEL TANKS
- EXISTING U.G. FUEL TANKS



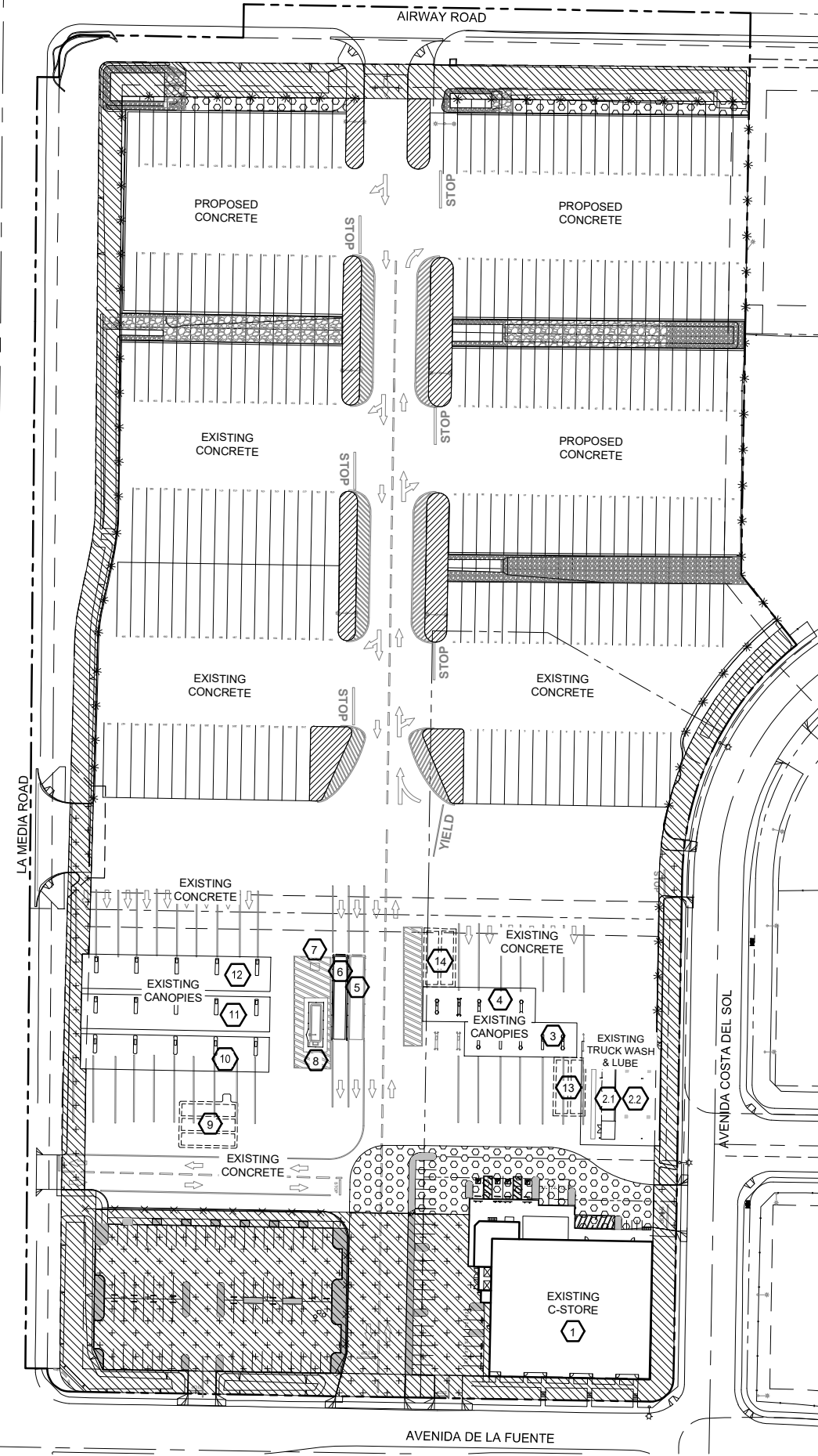
KEYMAP

NO SCALE

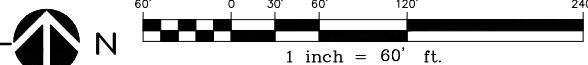


LANDSCAPE NOTES:

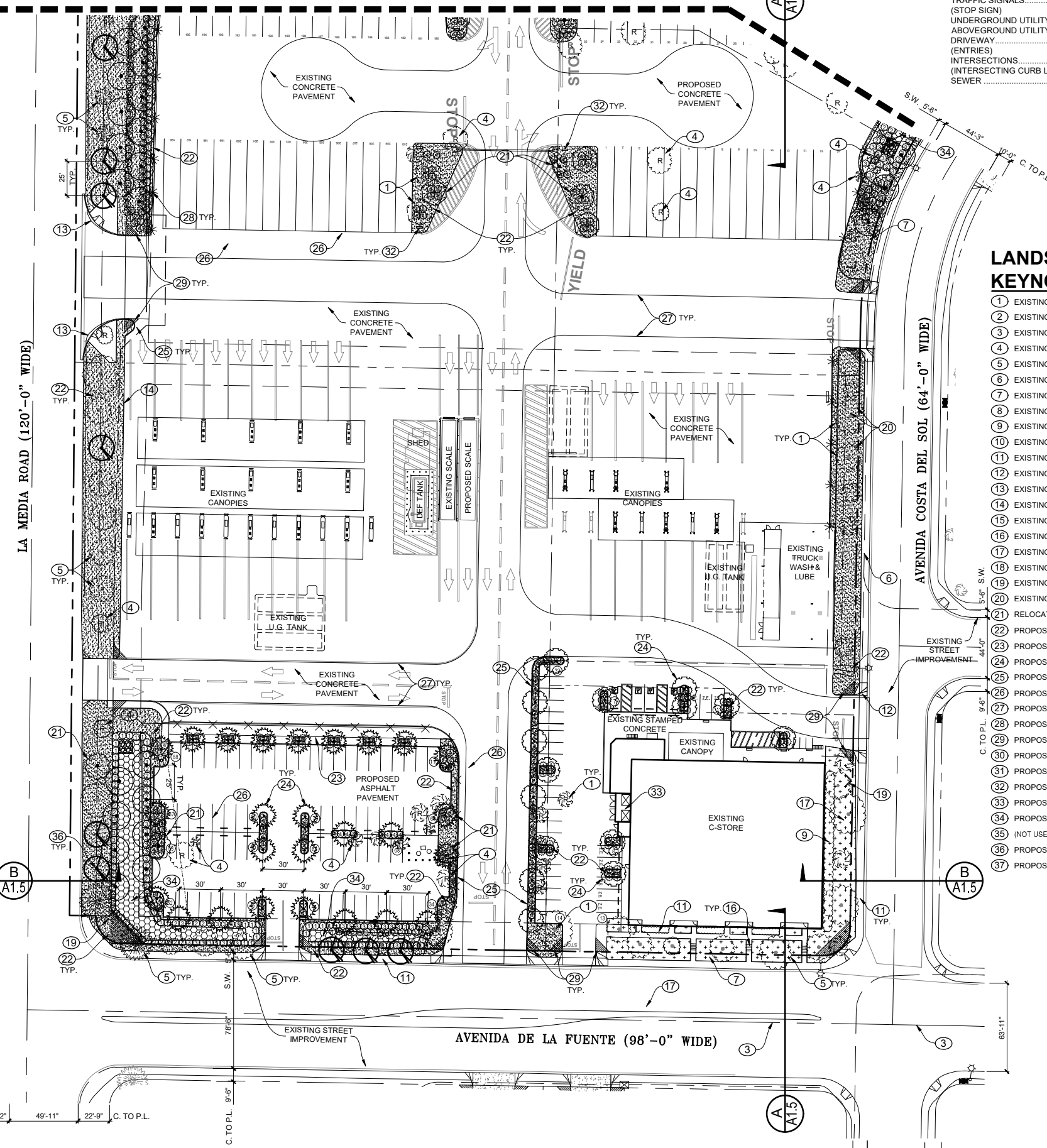
- TREES PLANTED WITHIN 6 FEET OF CURBS, WALKS OR PAVING SHALL BE PLANTED WITH "DEEP ROOT" ROOT BARRIERS OR EQUAL; PALM TREES EXCLUDED.
- IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN CREEPING OR ROOTING GROUND COVER OR OTHER SPECIAL PLANTING SITUATIONS WHERE MULCH IS NOT RECOMMENDED.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE LANDSCAPE, INCLUDING THE PUBLIC RIGHT-OF-WAY, IN A HEALTHY, DISEASE FREE CONDITION & FOR ONGOING MAINTENANCE INCLUDING LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY, RUNOFF, OVER SPRAY PREVENTION, REPAIRS OF BROKEN OR MALFUNCTIONING IRRIGATION EQUIPMENT, REPLACEMENT OF DEAD, DYING, OR DISEASED VEGETATION AND CONTINUAL COMPLIANCE WITH THE PROJECT'S APPROVED WATER CALCULATIONS.
OWNER: OTAY MESA PROPERTY L.P.; OTAY ACQUISITIONS LP/OTAY TRUCK PARKING L.P.; DAVID WICK (858) 623-9000
- ALL IRRIGATION SYSTEMS SHALL BE AUTOMATIC AND CONNECTED TO AN IRRIGATION METER PER THE OTAY WATER DISTRICT.
- GRADED PAD AREAS SHALL BE HYDROSEED TO PREVENT EROSION. IN THE EVENT THAT CONSTRUCTION OF BUILDINGS DOES NOT OCCUR WITHIN 30 DAYS OF GRADING, HYDROSEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
NATIVE EROSION CONTROL HYDROSEED MIX:
IRRIGATED SLOPES
LBS./ACRE 2,000 LBS./AC CONVED 1000 WOOD FIBER
BROMUS CARINATUS - "CUCAMONGA BROME" 20.0 800 LBS./AC BIOSOL FORTE 7-1 FERTILIZER
NASSELLA PULCHR - "PURPLE NEEDLEGRASS" 8.0 200 LBS./AC ECOLOGY CONTROLS M-BINDER
VULPIA MICROSTACHYS - "SMALL FESCUE" 8.0 60 LBS./AC AM-120 MYCORRHIZAL INOCULUM
TOTAL 36 LBS. PER ACRES
NON-IRRIGATED BOTTOM OF BASINS
AGROSTIS PALLENS 6.0
LEYMUS TRITICOIDES RID - "BEARLEE WILDRYE" 8.0
HORDEUM BRACHYANTHERUM 10.0
MELICA IMPERFECTA - "SMALL FLOWER MELICGRASS" 2.0
DESCHAMPSIA DANTHONIDES 2.0
MUHLENBERGIA MICROSPERMA 3.0
- NO IRRIGATION RUN-OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT-OF-WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PBMPs.
- NO CONNECTION SHALL BE MADE TO ANY STORM WATER SYSTEM WITHOUT PROPER PBMPs.
- A MINIMUM ROOT ZONE OF 40 S.F. IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC SECT. 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- ALL MANUFACTURED SLOPE AREAS SHALL BE COVERED WITHIN 10 DAYS OF COMPLETION OF GRADING W/ HYDROSEED/MULCH, PUNCHED STRAW MULCH, JUTE NETTING OR OTHER APPROVED GEOTEXTILE MATERIAL CAPABLE OF CONTROLLING SURFACE SOIL EROSION AND IRRIGATED TO PROMOTE THE GROWTH OF PLANTINGS.
- ALL LANDSCAPE & IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER RELATED CITY AND REGIONAL STANDARDS.
- ALL LANDSCAPE AREAS SHALL BE FINISH GRADED TO REMOVE ROCKS AND TO ENSURE SURFACE DRAINAGE AWAY FROM BUILDINGS.
- ALL EXISTING AUTOMATIC SPRAY IRRIGATION SYSTEM USED FOR THE EXISTING TURF/GRASS TO BE MAINTAINED AT ALL TIMES.
- ALL NEW TREES & SHRUBS SHALL BE PROVIDED WITH NEW AUTOMATIC DRIPLINE & TREE BUBBLER IRRIGATION SYSTEMS. ROTATORS WILL BE PROVIDED ONLY AT SLOPES AND IRRIGATED HYDROSEED AREAS.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE SECT. 142.0403(b)(10).
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.



VEHICULAR USE AREA DIAGRAM



MATCH LINE SHEET L3



LANDSCAPE DEVELOPMENT PLAN

SCALE: 1" = 40'-0"

MIN. TREE SEPARATION DISTANCE:

IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE	20 FT
TRAFFIC SIGNALS (STOP SIGN)	5 FT
UNDERGROUND UTILITY LINES	10 FT
ABOVEGROUND UTILITY STRUCTURES	10 FT
DRIVEWAY (ENTRIES)	25 FT
INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS)	10 FT
SEWER	10 FT

LANDSCAPE KEYNOTES

- EXISTING TREE TO REMAIN
- EXISTING SHRUB TO REMAIN
- EXISTING SEWER LINE TO REMAIN
- EXISTING TREE TO BE RELOCATED
- EXISTING STREET TREE TO REMAIN
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING GRASS TO REMAIN
- EXISTING GRASS TO BE REMOVED
- EXISTING SHRUB TO REMAIN
- EXISTING SHRUB TO BE RELOCATED
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE DRIVEWAY TO REMAIN
- EXISTING CONCRETE TO BE REMOVED
- EXISTING CONCRETE CURB TO REMAIN
- EXISTING CONCRETE CURB TO BE REMOVED
- EXISTING CONCRETE STAIRS TO REMAIN
- EXISTING WATER SERVICE LINE
- EXISTING LIGHT POST & FIXTURE TO REMAIN
- EXISTING SITE SIGNAGE
- EXISTING ELECTRICAL TRANSFORMER
- RELOCATED OR NEW TREE
- PROPOSED DECORATIVE ROCK/GRAVEL/SAND
- PROPOSED STAMPED CONCRETE
- PROPOSED NEW TREE PER LEGEND
- PROPOSED CONCRETE CURB
- PROPOSED LIGHT POST & FIXTURE
- PROPOSED FIRE ACCESS LANE
- PROPOSED 8'-0" HIGH FENCE PER LEGEND
- PROPOSED VISIBILITY TRIANGLE
- PROPOSED RELOCATED PROPANE TANKS
- PROPOSED MECHANICAL ROOM
- PROPOSED SITE SIGNAGE PER SHEET A5.1
- PROPOSED TRASH ENCLOSURE
- PROPOSED IRRIGATED HYDROSEED
- (NOT USED)
- PROPOSED NEW STREET TREE PER LEGEND
- PROPOSED NEW SHRUBS PER LEGEND

PLANTING LEGEND

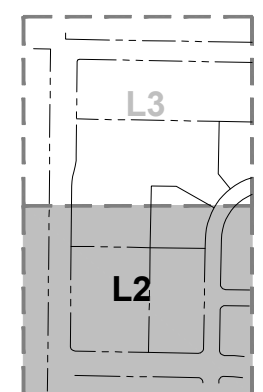
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	SPREAD	FORM	FUNCTION	DESCRIPTION	QTY
EXISTING TREES TO REMAIN:									
(Symbol)	PHOENIX CANARIENSIS	CANARY ISLAND PALM	24" BOX -100%	40' +	30'-40'	BHC	ORNAMENTAL	E, N, DT, P	4
(Symbol)	CUPANIOPSIS ANACARDIODES	CARROT WOOD	48" BOX -100%	25' +	25'-35'	BHC	SHADING	E, N, DT	50
(Symbol)	AFROCARPUS FALCATUS	AFRICAN FERN PINE	24" BOX -100%	50' +	20'-30'	BHC		E, N, DT	28
(Symbol)	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	24" BOX -100%	50' +	20'-30'	BHC		E, N, DT	22
(Symbol)	PINUS RADIATA	MONTEREY PINE	48" BOX -100%	30' +	20'-30'	BHC	SHADING	E, N, DT	10
(Symbol)	CUPANIOPSIS ANACARDIODES	CARROT WOOD	48" BOX -100%	25' +	25'-35'	BHC	SHADING	E, N, DT	13
(Symbol)	AFROCARPUS FALCATUS	AFRICAN FERN PINE	24" BOX -100%	50' +	20'-30'	BHC		E, N, DT	14
(Symbol)	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	24" BOX -100%	50' +	20'-30'	P	ACCENT	E, N, DT	24
(Symbol)	BRISBANE BOX	BRISBANE BOX	24" BOX -100%	40' +	40' +	BHC	SHADING	E, N, DT, D	17
(Symbol)	CASSIA LEPTOPHYLLA	GOLD MEDALLION	24" BOX -100%	20' +	25' +	LC, OVAL ROUND	SHADING	E, N, DT	100
(Symbol)	OLEA EUROPAEA	OLIVE TREE	24" BOX -100%	20' +	25' +	LC, OVAL ROUND	SHADING	E, N, DT	24
(Symbol)	GEUERA PARVIFLORA	AUSTRALIAN WILLOW	15 GAL -100%	50' +	30' +	BHC	SHADING	D, N, DT	24
(Symbol)	CALLISTEMON	LEMONG BOTTLEBRUSH	24" BOX -100%	15' +	10'-20'	HC, ROUND	SHADING ACCENT	D, N, DT	5
(Symbol)	ALNUS RHOMBIFOLIA	WHITE ALDER	15 GAL -100%	25' +	25' +	LC		E, N, DT	8
(Symbol)	PLANTANUS RACEMOSA	CALIFORNIA SYCAMORE	24" BOX -100%	30' +	20'-30'	BHC	SHADING	E, N, DT	20
(Symbol)	CHILOPSIS LINEARIS	DESERT WILLOW	15 GAL -100%	30"	30"	HEDGE	ACCENT	E, N, DT	362
(Symbol)	PISTACIA CHINENSIS	CHINESE PISTACHE	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N	672
(Symbol)	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N, DT	616
(Symbol)	CUPANIOPSIS ANACARDIODES	CARROT WOOD	48" BOX -100%	25' +	25'-35'	BHC	SHADING	E, N, DT	388
(Symbol)	AFROCARPUS FALCATUS	AFRICAN FERN PINE	24" BOX -100%	50' +	20'-30'	BHC		E, N, DT	-
(Symbol)	PINUS RADIATA	MONTEREY PINE	48" BOX -100%	30' +	20'-30'	BHC	SHADING	E, N, DT	-
(Symbol)	RAPHIOLEPHIS INDICA 'PINK CLOUD'	INDIA HAWTHORN	15 GAL -100%	30"	30"	HEDGE	ACCENT	E, N, DT	-
(Symbol)	JUNCUS MEXICANA	MEXICAN RUSH	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N	-
(Symbol)	JUJUCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N, DT	-
(Symbol)	LEYMUS CONDENSATUS	CANYON PRINCE WILD RYE	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N, DT	-
(Symbol)	MUHLENBURGIA RIGENS	DEER GRASS	1 GAL -100%	36"	60"	GRASSY, SPIKEY	ORNAMENTAL	S, N, DT	-
(Symbol)	FESTUCA RUBRA	RED FESCUE	1 GAL -100%	24"	24"	SPIKEY, POINTY ROUND	ORNAMENTAL ACCENT	E, N, DT, S	-
(Symbol)	FESTUCA CALIFORNICA	CALIFORNIA FESCUE	1 GAL -100%	24"	24"	SPIKEY, POINTY ROUND	ORNAMENTAL ACCENT	E, N, DT, S	-
(Symbol)	ALOE ARBORENSCENS	TREE ALOE	1 GAL -100%	1/4" - 1"	6" - 24"	DESERT SCHEME CLUMP	PEDESTRIAN CIRCULATION OPEN SPACE	HARDSCAPE, WATER EFFICIENT	TBD
(Symbol)	AGAVE DESERTI	DESERT CENTURY	1 GAL -100%	1/4" - 1"	6" - 24"	DESERT SCHEME CLUMP	PEDESTRIAN CIRCULATION OPEN SPACE	HARDSCAPE, WATER EFFICIENT	TBD
(Symbol)	WHIPPLEY	FOOTHILL YUCCA	1 GAL -100%	1/4" - 1"	6" - 24"	DESERT SCHEME CLUMP	PEDESTRIAN CIRCULATION OPEN SPACE	HARDSCAPE, WATER EFFICIENT	TBD
(Symbol)	AGAVE AMERICANA	CENTURY PLANT	1 GAL -100%	1/4" - 1"	6" - 24"	DESERT SCHEME CLUMP	PEDESTRIAN CIRCULATION OPEN SPACE	HARDSCAPE, WATER EFFICIENT	TBD
(Symbol)	ANNUAL BLUEGRASS	TURF	FLATS	3"	100%	DENSE	BACKGROUND	EC, E	-
(Symbol)	IRRIGATED HYDROSEED MIX	IRRIGATED HYDROSEED MIX	SPRAY 100%	1/2"	100%	FLAT	BASIN BOTTOM	EC	-

D = DECIDUOUS P = PALM N = NATIVE S = SUCCULENT
 E = EVERGREEN DT = DROUGHT TOLERANT BHC = BROAD-HEADED CANOPY EC = EROSION CONTROL
 LC = LOW CANOPY HC = HIGH CANOPY

LANDSCAPE LEGEND

- EXISTING CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPERTY LINE
- PROPOSED 8'-0" HIGH VINYL COATED CHAINLINK FENCE W/ GREEN SHADE CLOTH PER CITY STANDARDS
- LANDSCAPE KEYNOTE SYMBOL THIS SHEET
- STRUCTURE NUMBER - SEE SHEET A1.1 FOR STRUCTURES DATA
- STANDARD LIGHT POLE & FIXTURE
- SECTION REFERENCE NUMBER SHEET NUMBER
- MATCHLINE

KEY MAP



APPLICANT: **Truck.Net LLC**

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT: **TRUCK.NET CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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- THIS SET ISSUE DATE
- SCHEMATIC
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 - RESUBMITTAL 5 9/10/2019
 - RESUBMITTAL 6 10/15/2019

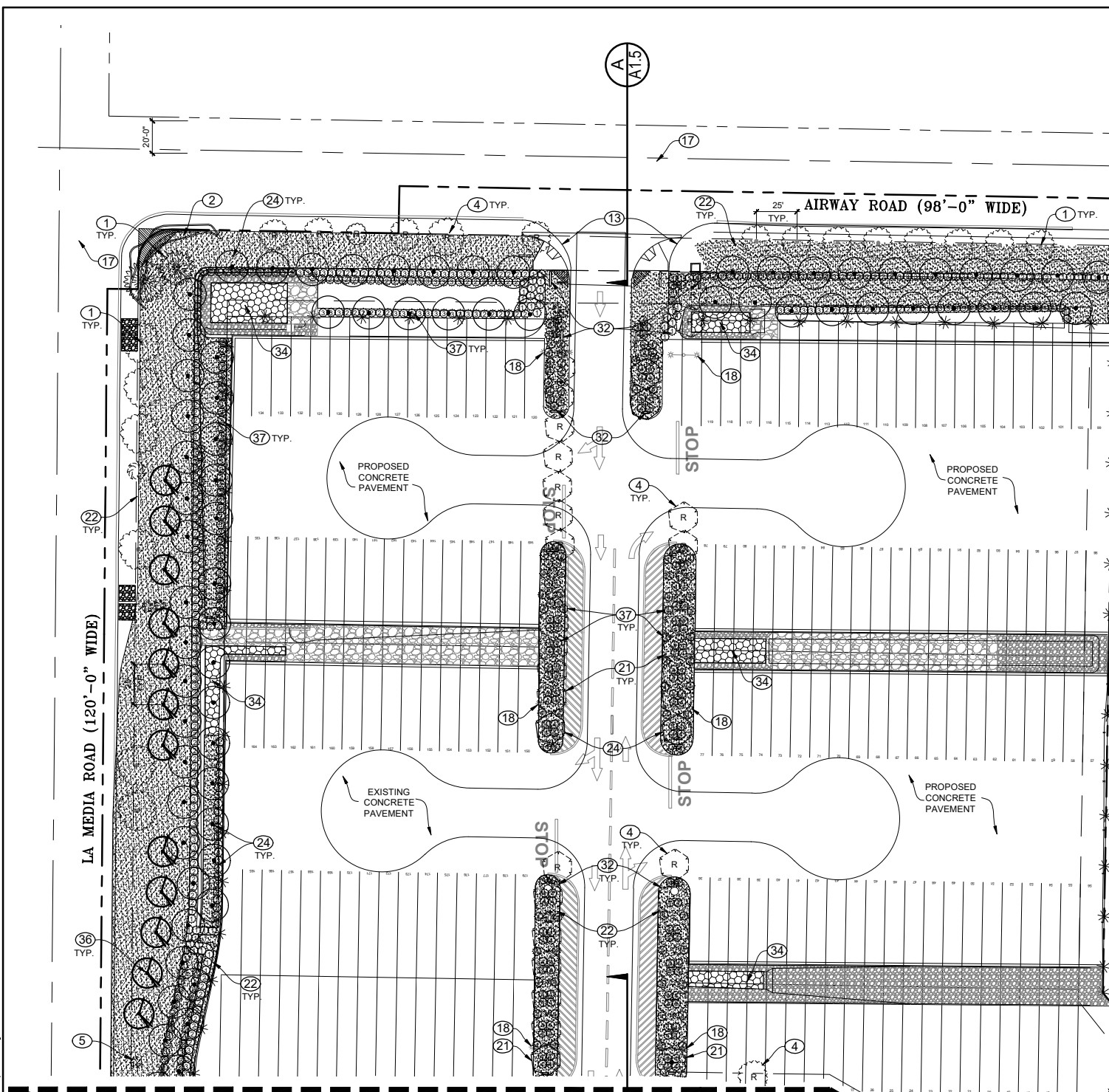
LANDSCAPE PLAN, LEGEND & KEYNOTES

TRH PROJECT#: 248-13-CUP
 SCALE: AS NOTED
 DRAWN BY: TRH
 ORIGINAL DATE: 1/4/2016
 CHECKED BY:

SHEET: 27 OF: 46

L2

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and property of TRH, Inc. and were created, evolved, and developed as instruments of service to, and in connection with, the specified project. Notes of such ideas, designs, arrangements, or plans shall be used by or furnished to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



MIN. TREE SEPARATION DISTANCE:

IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE	
TRAFFIC SIGNALS (STOP SIGN)	20 FT
UNDERGROUND UTILITY LINES	5 FT
ABOVEGROUND UTILITY STRUCTURES	10 FT
DRIVEWAY (ENTRIES)	10 FT
INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS)	25 FT
SEWER	10 FT

- LANDSCAPE KEYNOTES**
- EXISTING TREE TO REMAIN
 - EXISTING SHRUB TO REMAIN
 - EXISTING SEWER LINE TO REMAIN
 - EXISTING TREE TO BE RELOCATED
 - EXISTING STREET TREE TO REMAIN
 - EXISTING UNDERGROUND ELECTRICAL LINE
 - EXISTING GRASS TO REMAIN
 - EXISTING GRASS TO BE REMOVED
 - EXISTING SHRUB TO REMAIN
 - EXISTING SHRUB TO BE RELOCATED
 - EXISTING CONCRETE SIDEWALK TO REMAIN
 - EXISTING CONCRETE DRIVEWAY TO REMAIN
 - EXISTING CONCRETE TO BE REMOVED
 - EXISTING CONCRETE CURB TO REMAIN
 - EXISTING CONCRETE CURB TO BE REMOVED
 - EXISTING CONCRETE STAIRS TO REMAIN
 - EXISTING WATER SERVICE LINE
 - EXISTING LIGHT POST & FIXTURE TO REMAIN
 - EXISTING SITE SIGNAGE
 - EXISTING ELECTRICAL TRANSFORMER
 - RELOCATED OR NEW TREE
 - PROPOSED DECORATIVE ROCK/GRAVEL/SAND
 - PROPOSED STAMPED CONCRETE
 - PROPOSED NEW TREE PER LEGEND
 - PROPOSED CONCRETE CURB
 - PROPOSED LIGHT POST & FIXTURE
 - PROPOSED FIRE ACCESS LANE
 - PROPOSED 8'-0" HIGH FENCE PER LEGEND
 - PROPOSED VISIBILITY TRIANGLE
 - PROPOSED RELOCATED PROPANE TANKS
 - PROPOSED MECHANICAL ROOM
 - PROPOSED SITE SIGNAGE PER SHEET A5.1
 - PROPOSED TRASH ENCLOSURE
 - PROPOSED IRRIGATED HYDROSEED
 - (NOT USED)
 - PROPOSED NEW STREET TREE PER LEGEND
 - PROPOSED NEW SHRUBS PER LEGEND

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	SPREAD	FORM	FUNCTION	DESCRIPTION	QTY
	EXISTING TREES TO REMAIN: PHOENIX CANARIENSIS	CANARY ISLAND PALM	24" BOX -100%	40'	30'-40'	BHC	ORNAMENTAL	E, N, DT, P	4
	EXISTING TREES TO BE RELOCATED: CUPANIOPSIS ANACARDIODES AFROCARPUS FALCATUS	CARROT WOOD AFRICAN FERN PINE	48" BOX -100%	25'	25'-35'	BHC	SHADING	E, N, DT	50
	EXISTING TREES TO BE REMOVED: WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	24" BOX -100%	50'	20'-30'	BHC		E, N, DT	28
	PROPOSED STREET TREES: TRISTANIA CONFERTA CASSIA LEPTOPHYLLA	BRISBANE BOX GOLD MEDALLION	24" BOX -100%	40' +	40' +	BHC	SHADING	E, N, DT, D	24
	PROPOSED TREES: OLEA EUROPAEA GELUERA PARVIFLORA CALLISTEMON	OLIVE TREE AUSTRALIAN WILLOW LEMON BOTTLEBRUSH	24" BOX -100%	20' +	25' +	LC, OVAL ROUND	SHADING	E, N, DT	17
	RELOCATED TREES: CUPANIOPSIS ANACARDIODES AFROCARPUS FALCATUS	CARROT WOOD AFRICAN FERN PINE	48" BOX -100%	25' +	25'-35'	BHC	SHADING	E, N, DT	5
	EXISTING SHRUBS TO REMAIN: RAPHIOLEPHIS INDICA 'PINK CLOUD'	INDIA HAWTHORN	15 GAL -100%	30"	30"	HEDGE	ACCENT	E, N, DT	20
	PROPOSED SHRUBS: JUNCUS MEXICANA JUCUS PATENS	MEXICAN RUSH CALIFORNIA GRAY RUSH	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N	362
	LEYMUS CONDENSATUS MUHLENBURGIA RIGENS	CANYON PRINCE WILD RYE DEER GRASS	1 GAL -100%	30"	30"	GRASSY, SPIKEY	SLOPE, EC	E, N, DT	672
	FESTUCA RUBRA FESTUCA CALIFORNICA	RED FESCUE CALIFORNIA FESCUE	1 GAL -100%	36"	60"	GRASSY, SPIKEY	ORNAMENTAL	S, N, DT	616
	ALOE ARBORENSCENS AGAVE DESERTI WHIPPLEI AGAVE AMERICANA	TREE ALOE DESERT CENTURY FOOTHILL YUCCA CENTURY PLANT	1 GAL -100%	24"	24"	SPIKEY, POINTY ROUND	ORNAMENTAL ACCENT	E, N, DT, S	388
	EXISTING GROUND COVER: ANNUAL BLUEGRASS	TURF	FLATS	3"	100%	DENSE	BACKGROUND	EC, E	-
	PROPOSED GROUND COVER: DECORATIVE SAND, RIVER ROCK, BOULDERS		1/4", 1", 6" - 24"	1" - 24"	DESERT SCHEME CLUMP	FLAT	PEDESTRIAN CIRCULATION OPEN SPACE	HARDSCAPE, WATER EFFICIENT	TBD
	SEE LANDSCAPE NOTE #6, SHEET L1	IRRIGATED HYDROSEED MIX	SPRAY 100%	1/2"	100%	FLAT	BASIN BOTTOM	EC	-

D = DECIDUOUS P = PALM N = NATIVE S = SUCCULENT
 E = EVERGREEN DT = DROUGHT TOLERANT BHC = BROAD-HEADED CANOPY EC = EROSION CONTROL
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APPLICANT:
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5440 MOREHOUSE DR. #4000
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PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
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REVISION	ITEM	DATE
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 - RESUBMITTAL 6 10/15/2019

SHEET TITLE / CONTENTS

**LANDSCAPE
PLAN, LEGEND
& KEYNOTES**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: TRH
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 28 OF: 46

L3

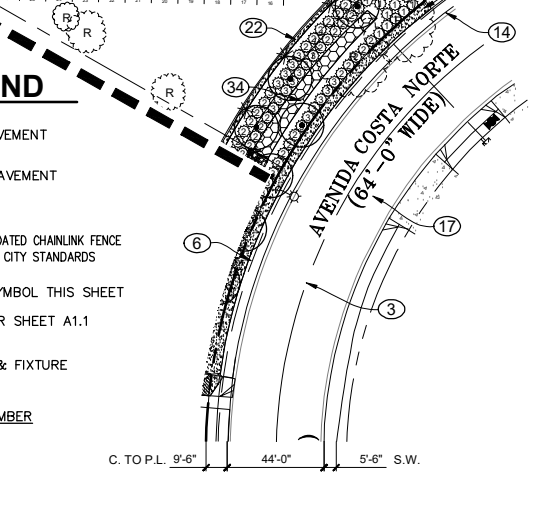
ATTACHMENT 13

MATCH LINE SHEET L2

LANDSCAPE LEGEND

- EXISTING CONCRETE PAVEMENT
- PROPOSED CONCRETE PAVEMENT
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- STANDARD LIGHT POLE & FIXTURE
- SECTION REFERENCE NUMBER SHEET NUMBER
- MATCHLINE

PLANTING PLAN



METERS C & D

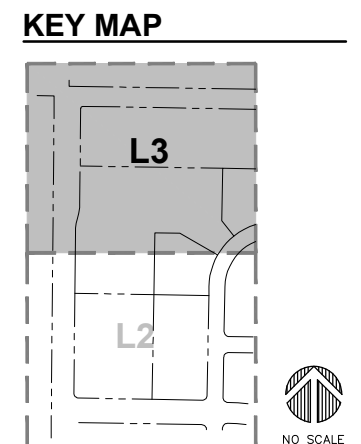
SECTION B1. MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAWA = (ETo)(0.62)((0.45 x LA)+(0.3 x SLA))

MAWA = Maximum Applied Water Allowance (gallons per year)
 ETo = Reference Evapotranspiration Appendix A (inches per year)
 0.45 = ET Adjustment Factor
 LA = Landscaped Area including Special Landscape Area (square feet)
 1.62 = Conversion Factor (to gallons per square foot)
 SLA = Portion of the landscaped area identified as Special Landscape Area (square feet)
 0.3 = Additional ET adjustment Factor of Special Landscape Area (1.0 - 0.7 = 0.3)

ETo = 51.1 in./yr.
 LA = 89,798
 SLA = 0.00 sq. ft.

MAWA = 51.1 x 0.62 x 0.45 x 89,798 = 1,280,241
 Maximum Applied Water Allowance = 1,280,241 Gallons per Year



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SAN DIEGO, CA 92101
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FAX (619) 230-1089

GENERAL NOTES

- 1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- 2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET.SEQ.).
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- 4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- 5. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- 6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE," IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- 7. ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
- 8. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 627-3200.
- 9. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- 10. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- 11. AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
- 12. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- 13. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK. DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

- 1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- 2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- 3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET L-1 FOR MIX AND SPECIFICATIONS.

PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

DECLARATION OF RESPONSIBLE CHARGE

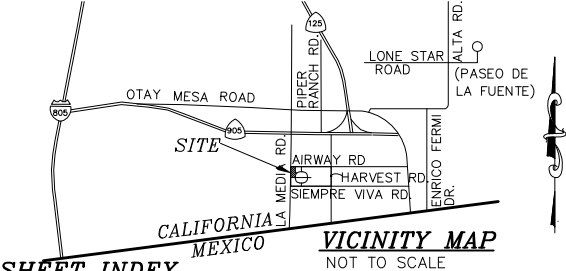
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO AND OTAY WATER DISTRICT IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.



BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 DATE 10/22/19

GRADING PLANS FOR:
CUP TRUCK STOP



SHEET INDEX

Table listing sheet titles and corresponding sheet numbers (1-18).

GROUND WATER DISCHARGE NOTES

- 1. ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. R9-2015-0100, NPDES CAS010266.
- 2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
- 3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. R9-2015-0100, NPDES CAS010266.

GRADING & GEOTECHNICAL SPECIFICATIONS

- 1. ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED: REPORT TITLE, REPORT OF AS GRADED CONDITIONS AND CHANGE OF GEOTECHNICAL ENGINEER OF RECORD BORDER BUSINESS PARK, SAN DIEGO, CA 92154, PREPARED BY GEOCON DATED NOVEMBER 3, 2015; THEIR COMPANY PROJECT NO. G1873-32-01.
- 2. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- 3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING, WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- 4. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- 5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT
- 6. FOR SOIL FILE SEE CITY RECORD S - PTS- 41281

EARTHWORK

CUT = 4.415 C.Y. FILL= 4.484 C.Y.
NET = 69 C.Y. BALANCE AT 4,400 C.Y.
EARTHWORK TO FINISH SURFACE DOES NOT INCLUDE TRENCHING, SPOILS, PAVEMENT UNDERCUT OR EXCAVATION REQUIRED TO INSTALL PERMANENT BMP'S SUCH AS TRENCH DRAINS & BIO-FILTRATION.

OWNER/APPLICANT

NATIONAL ENTERPRISES, INC
5440 MOREHOUSE DRIVE, # 4000, SAN DIEGO CA 92121.
(858) 623-9000

SITE ADDRESS

OTAY MESA COMMUNITY, SAN DIEGO CA 92154

ASSESSORS PARCEL NUMBERS

PORTION OF APN 646-120-41 & APNS 646-120-42 THROUGH 45

LEGAL DESCRIPTION

PARCEL 3 OF PARCEL MAP NO. 19322, RECORDED SEPTEMBER 10, 2003, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, TOGETHER WITH PARCEL 2 OF PARCEL MAP NO. 21707, RECORDED AUGUST 9, 2019, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

REFERENCE DRAWINGS

IMPROVEMENT PLAN: 24004-D, 25130-D, 23744-D, 23712-D, 38647-D, 38936-D

BENCHMARK

S.E.B.P. HARVEST ROAD AT OTAY CENTER DRIVE
ELEV. 534.095 MSL DATUM

TOPOGRAPHY SOURCE

MERCATOR ASSOCIATES, INC. 1896 CHAPARRAL DRIVE VISTA, CALIFORNIA PHONE: 760-599-7390 EMAIL: MERCATOR@MERCATORUSA.COM FLOWN OCTOBER 2013

TOTAL DISTURBED AREA

TOTAL SITE TO BE DISTURBED BY 38647-D = 2.93 AC
TOTAL SITE TO BE DISTURBED BY CUP CONST. PLANS = 0.98 AC
TOTAL DISTURBED AREA FOR PROJECT = 3.91 AC

GRADING QUANTITIES

GRADING TO BE DONE AS PART OF CONST. CUP PLANS

GRADED AREA ___ 0.98 [ACRES] MAX. CUT DEPTH 1 [FT]
CUT QUANTITIES ___ 200 [CYD] MAX CUT SLOPE RATIO 2:1
FILL QUANTITIES ___ 200 [CYD] MAX. FILL DEPTH 1 [FT]
EXPORT ___ 0.00 [CYD] MAX FILL SLOPE RATIO 2:1
SEE KEY MAP ON SHEET NO. 4 FOR AREAS TO BE GRADED BY 39647-D AND CUP CONSTRUCTION PLANS

EXISTING IMPROVEMENTS

Table with columns ITEM, SYM, and descriptions of existing features like contour lines, elevations, retaining walls, etc.

STORM WATER PROTECTION NOTES

- 1. THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. R9-2015-0100; AND RISK LEVEL/TYPE: CHECK ONE BELOW
- 2. CHECK ONE
- 3. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP OR SWPPP AS APPLICABLE

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO

STANDARD SPECIFICATIONS:

Table with columns DOCUMENT NO., DESCRIPTION, and STANDARD SPECIFICATIONS.

STANDARD DRAWINGS:

Table with columns DOCUMENT NO., DESCRIPTION, and STANDARD DRAWINGS.

LEGEND

Legend table listing symbols for various items like right-of-way line, property line, proposed improvements, etc.

Table for DRAINAGE IMPROVEMENTS and BEST MANAGEMENT PRACTICES, listing items like storm drains, culverts, and their specifications.

Table for ABBREVIATIONS, listing symbols and their corresponding full names for terms like top of curb, bottom of wall, etc.

Large table titled 'POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS' with columns for inspection frequency, maintenance frequency, method, quantity, and sheet number.

APPLICANT:
Truck.Net LLC
5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121
PROJECT:
TRUCK.NET
CUP
8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

Table with columns REVISION, ITEM, and DATE for project revisions.

Table with columns THIS SET, ISSUE DATE, and checkboxes for permit submittals and design levels.

GRADING TITLE SHEET
TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 29 OF: 46
GP-1

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1285 E. MAIN ST., Ste. 100, EL CAJON, CA 92021 Phone (619) 746-8818 Fax (619) 746-8813
JOB NO. 184-120, DATED OCTOBER 22, 2019

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and property of TRH, Inc. and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions shown on these drawings. Shop drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.

STRIPING AND SIGNING GENERAL NOTES

SEE SHEETS 19-21 FOR STRIPING AND SIGNAGE PLANS

- Installation of all striping, signs and pavement markers shall be the responsibility of the Contractor.
- All striping and signing shall conform to the most recently adopted edition of the following manuals:

DESCRIPTION	EDITION	DOCUMENT NO.	
STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREENBOOK")	20	PITS070	12-01
CITY OF SAN DIEGO STANDARD DRAWINGS	20	PITS070	12-03
California manual on uniform traffic control devices (CA MUTCD)		012PITS070112-06	
- All signing and striping is subject to the approval of the City Engineer prior to installation and/or removal.
- The contractor shall remove all conflicting striping, pavement markings and legends by sandblasting and/or grinding with the seal. Any debris shall be promptly removed by the contractor.
- Sign posts shall be installed with square perforated steel tubing with a breakaway base per City of San Diego Standard Drawing M-45.
- All raised median noses shall be painted yellow.
- All signs shown on the striping and signing plans shall be new signs provided and installed by the Contractor, except for existing signs specifically indicated to be relocated or to remain.
- Striped crosswalks shall have an inside dimension of 10 feet unless indicated otherwise.
- All limit lines/stop lines, crosswalk lines, pavement legends, and arrows (except within bike lanes) shall be thermoplastic.
- The contractor shall notify the City Traffic Engineer at (858) 495-4741 a minimum of five (5) working days prior to and upon completion of striping and signing.

TRUCK HAUL ROUTE NOTES

PRIOR TO BEGINNING OF GRADING, SUBMIT A TRAFFIC CONTROL PLAN TO ENVIRONMENTAL SERVICE UNIT (ESU) FOR APPROVAL INCLUDING:

- SPECIFIC TRUCK TRAVEL ROUTES.
- ANTICIPATED LENGTH OF GRADING PERIOD INVOLVING THE NEED FOR TRUCK IMPORTS OF SOIL.
- TIME OF OPERATIONS.
- EXISTING CONDITIONS OF THE IMPACTED ROAD AREAS - INCLUDING TRAFFIC AND ROAD CONDITIONS.
- TRAFFIC SAFETY INCLUDING SAFETY TO RESIDENTS ON FOOT, ON BICYCLE AND IN VEHICLES, AND POSSIBLE MITIGATION FOR AVOIDANCE OF SIGNIFICANT PEAK HOUR TRAFFIC AT CERTAIN INTERCHANGES, AND
- INTERCHANGE GEOMETRY TO DETERMINE IF IT WILL ALLOW SAFE USE BY THE TRUCKS.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/4 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/4 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWDMCA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

CURB RAMP NOTE

THE REQUIRED DETECTABLE WARNING (TRUNCATED DOMES) ON CURB RAMPS ARE TO COMPLY WITH THE CITY STANDARDS (SDG-130) AND SPECIFICATIONS. A 12" X 12" (MIN.) SAMPLE OF THE DETECTABLE WARNING, THE PRODUCTS' TEST REPORT AND A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTION MUST BE SUBMITTED TO THE DESIGNATED CITY RESIDENT ENGINEER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THE STANDARDS, SPECIFICATIONS AND SAMPLE SUBMITTAL REVIEW PROCESS WILL RESULT IN THE REMOVAL OR REPLACEMENT OF THE DETECTABLE WARNING AND/OR CURB RAMP(S) AT CONTRACTOR AND/OR OWNER'S EXPENSE.

trh
I N C.

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SAN DIEGO, CA 92101
TEL (619) 230-1088
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APPLICANT:

Truck.Net LLC

5440 MOREHOUSE DR. #400
SAN DIEGO, CA 92124

PROJECT:

**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN LEVEL	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
<input checked="" type="checkbox"/> RESUBMITTAL 2	4/27/17
<input checked="" type="checkbox"/> RESUBMITTAL 3	1/9/2018
<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/23/2019

SHEET TITLE / CONTENTS

NOTES

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 4/4/2016
CHECKED BY:

SHEET: 30 OF: 46

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ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING

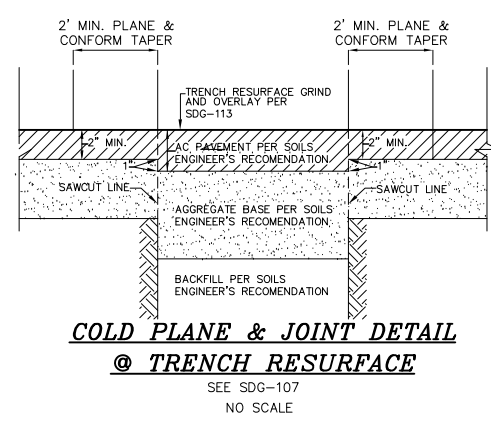
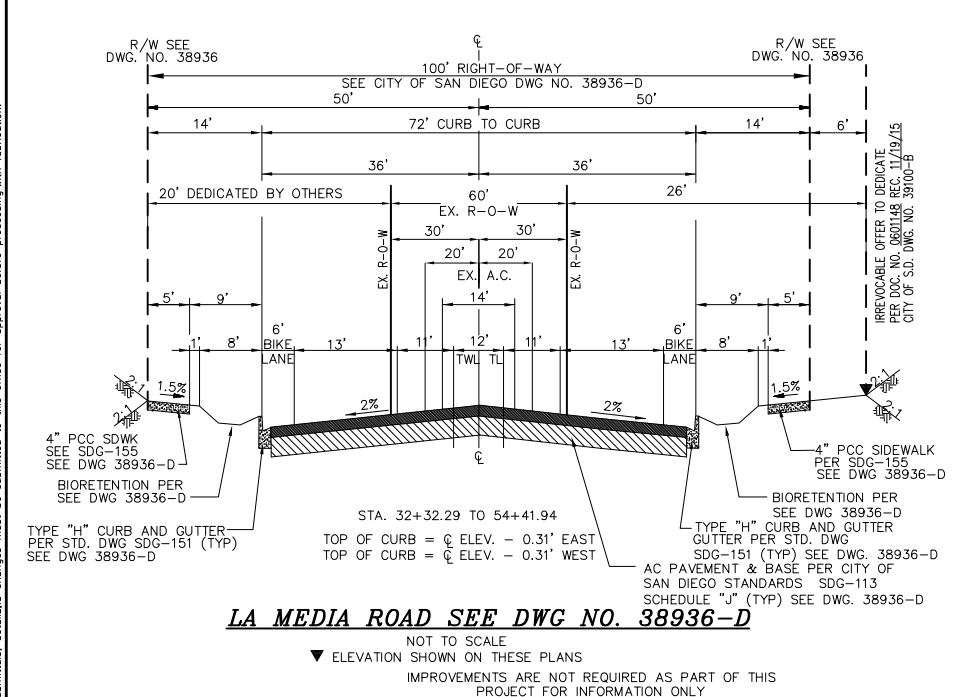
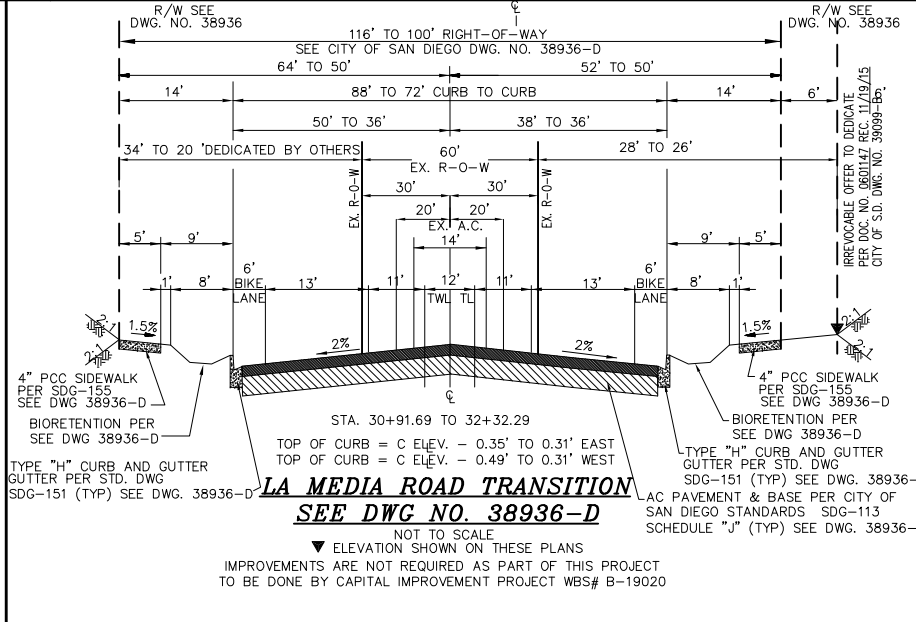
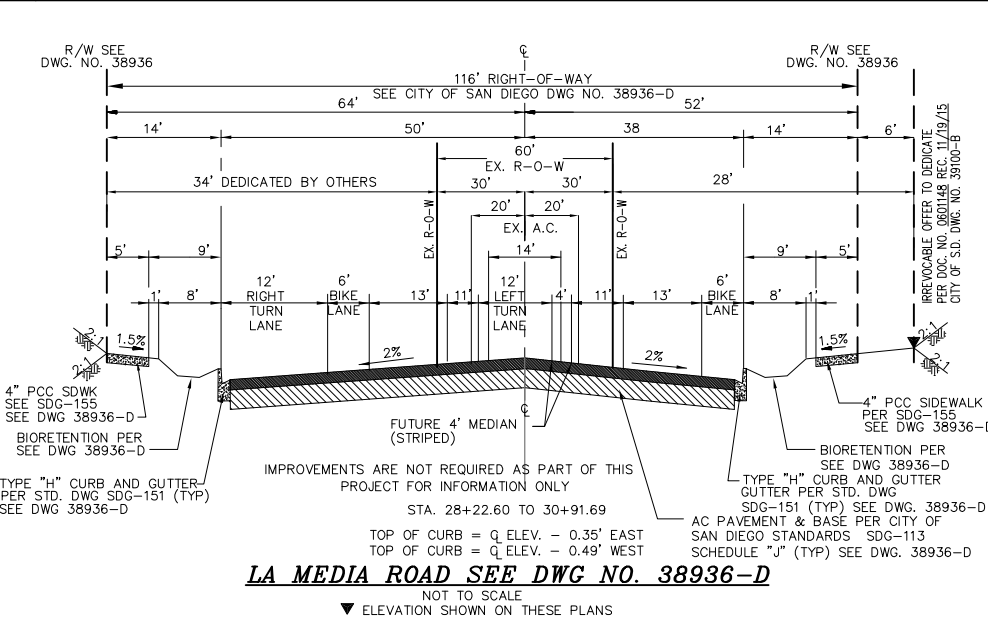
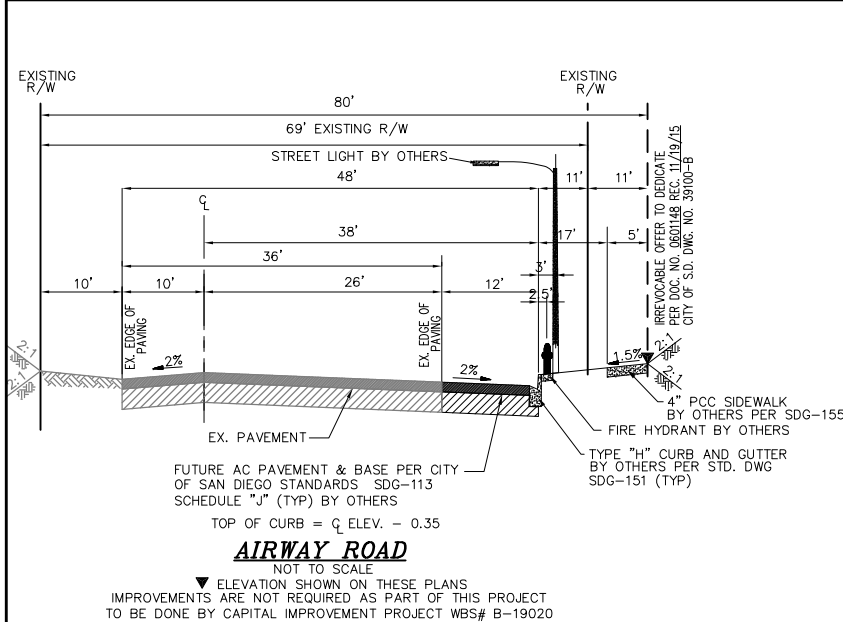
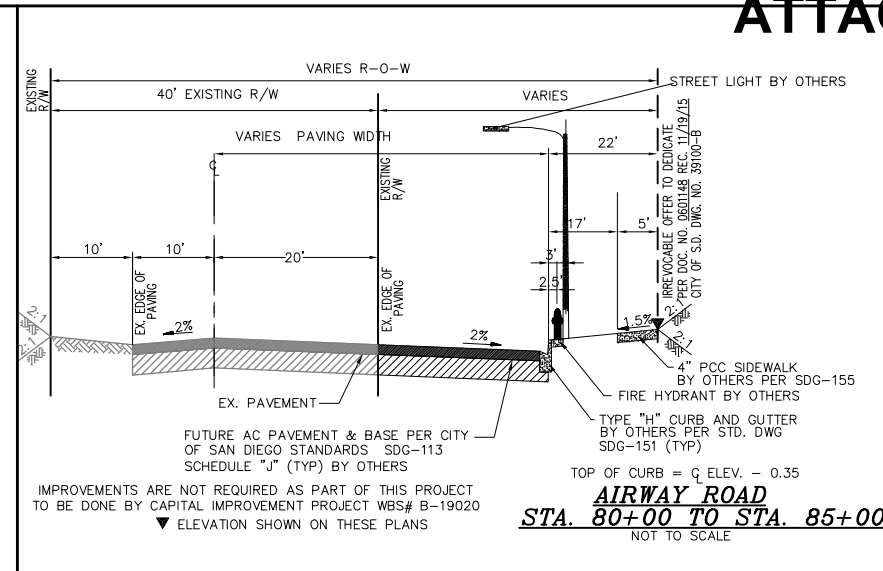
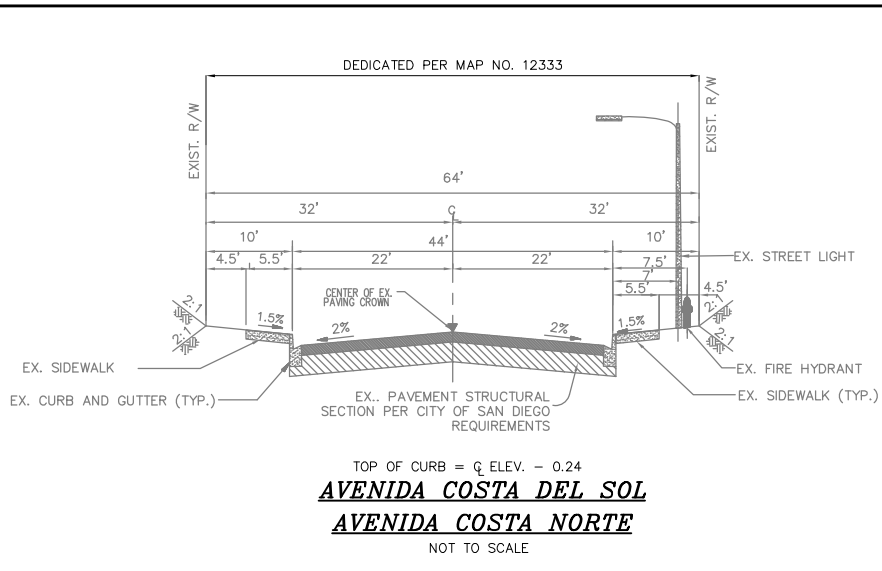
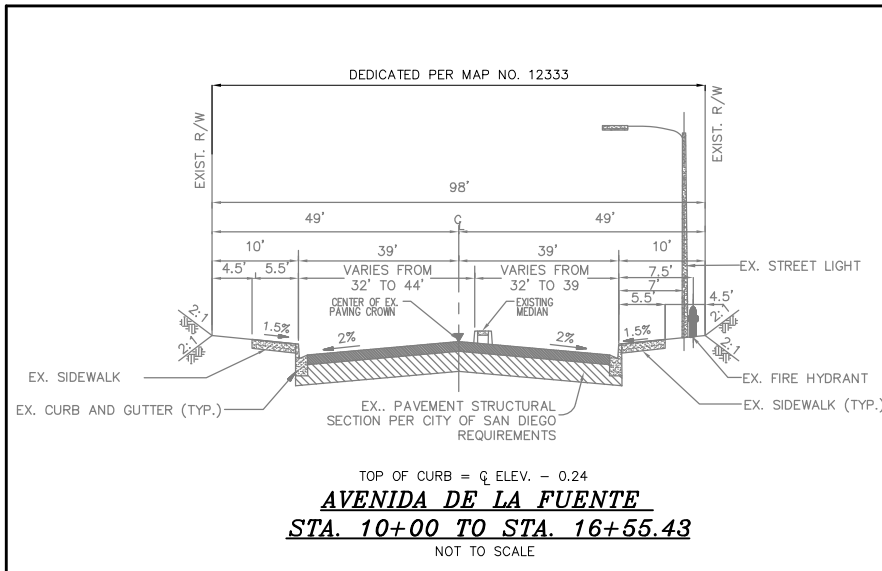
1283 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
JOB NO. 184-120, DATED OCTOBER 22, 2019

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Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 10/22/19 DATE

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STREET EXCAVATION TABLE

SHEET NO.	STREET STATION	STREET CLASSIFICATION (Arterial, Major Collector, Residential)	UTILITY TYPE (Wet or Dry)	LATERAL OR MAIN	STREET SERVICE AGE (yrs)	INFLUENCE AREA WIDTH (FT) PER MC	TRENCH WIDTH (FT)	TRENCH LENGTH (FT)
7	10+47	4 LANE MAJOR STREET	18" RCP STORM DRAIN	LATERAL	27	74 inches	4'	10'

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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△	-	-
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- THIS SET ISSUE DATE
- SCHEMATIC
 - DESIGN LEVEL
 - PERMIT SUBMITTAL 6/27/16
 - FULL SUBMITTAL 7/20/16
 - RESUBMITTAL 1 12/9/16
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 - RESUBMITTAL 3 1/9/2018
 - RESUBMITTAL 4 12/3/2018
 - RESUBMITTAL 5 9/10/2019
 - RESUBMITTAL 6 10/23/2019

SHEET TITLE / CONTENTS

STREET SECTIONS AND DETAILS

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 31 OF: 46

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ATTACHMENT 13

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JOB NO. 184-120, DATED OCTOBER 22, 2019

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Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21



10/22/19
DATE

GRADING PLAN KEY MAP FOR CUP TRUCK STOP

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APPLICANT:
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5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△	-	-
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THIS SET	ISSUE DATE
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<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
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SHEET TITLE / CONTENTS

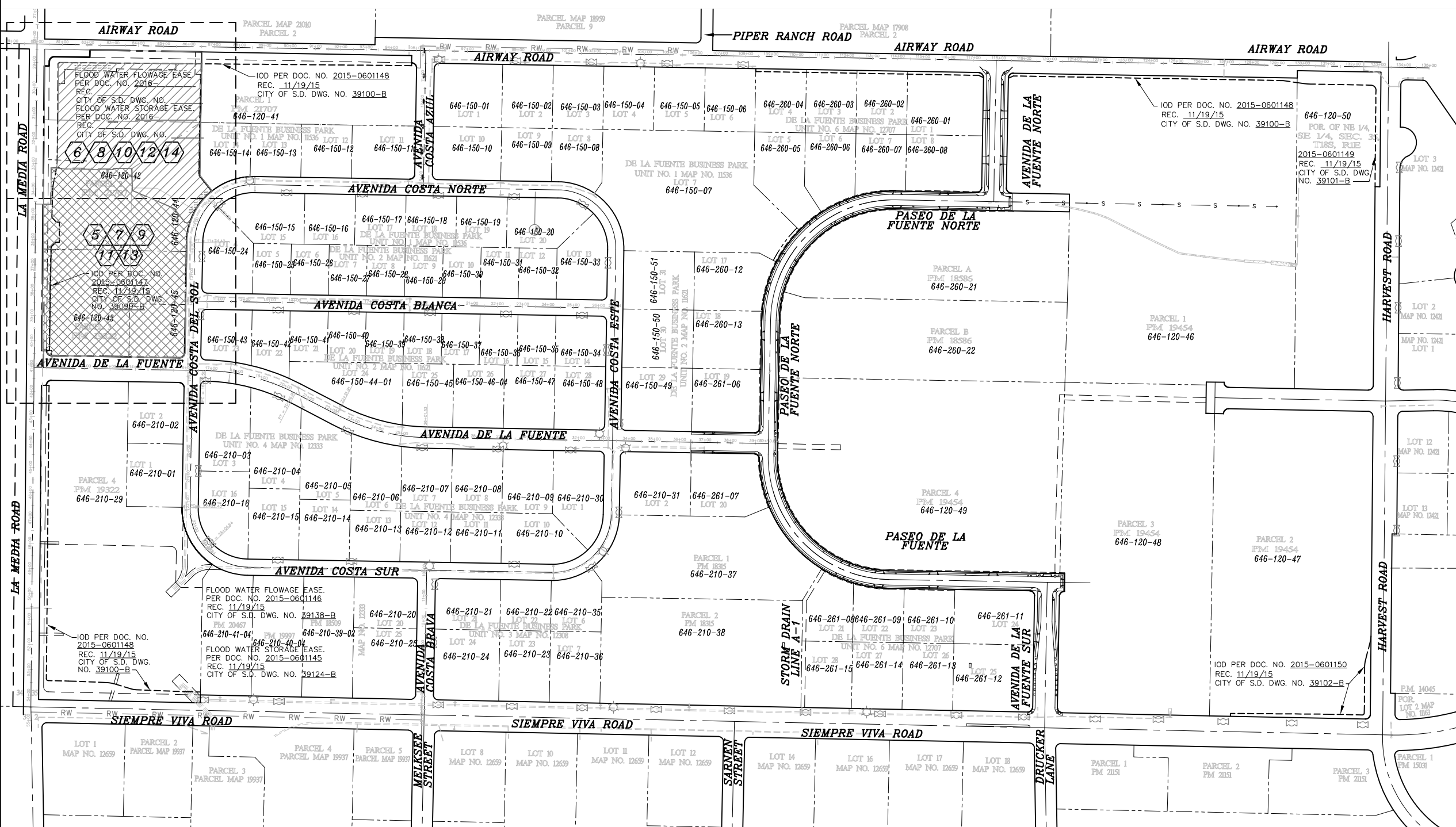
**GRADING PLAN
KEY MAP**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 32 OF: 46

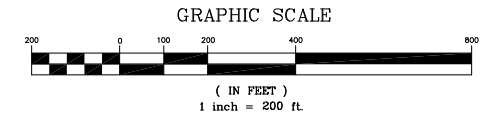
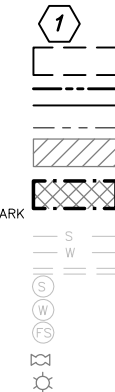
GP-4

ATTACHMENT 13



KEY MAP

- SHEET NUMBER
- IMPROVEMENT PLAN SHEET
- PROJECT BOUNDARY
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- PORTION OF PROJECT PER NEW SWQP THIS PERMIT
- PORTION OF PROJECT CLAIMING CLAIMING PRIOR LAWFUL APPROVAL PER PTS# 412811 BORDER BUSINESS PARK
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING STORM DRAIN
- EXISTING SEWER LATERAL
- EXISTING WATER LATERAL
- EXISTING FIRE SERVICE
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHTS



ALTA CONSULTANTS
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COMPANY PHONE 619-749-8818
COMPANY FAX 619-749-8806
ALTACONSULTANTS@AOL.COM

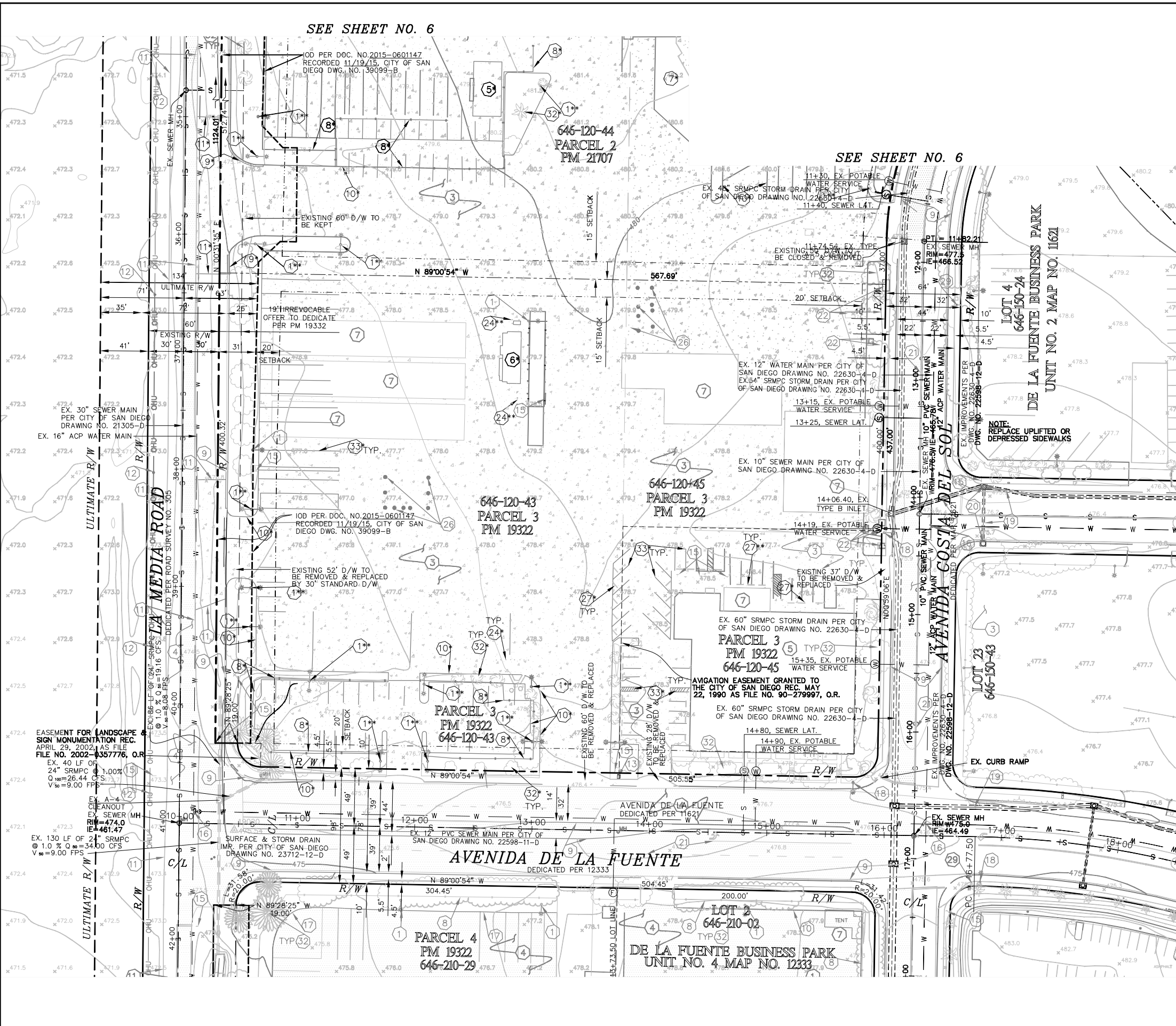


Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 DATE 10/22/19

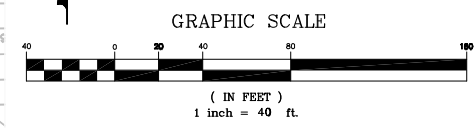
ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
JOB NO. 164-120, DATED OCTOBER 22, 2019

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- LEGEND**
- ① EX. PARKING LOT LIGHT
 - ② EX. CONCRETE PAVING
 - ③ EX. ASPHALT PAVING
 - ④ EX. BUILDING
 - ⑤ EX. OFFICE TRAILER
 - ⑥ EX. CANOPY
 - ⑦ EX. FENCE
 - ⑧ EX. CURB & GUTTER
 - ⑨ EX. CURB
 - ⑩ EX. EDGE OF PAVING
 - ⑪ EX. POWER POLE
 - ⑫ EX. STREET SIGN
 - ⑬ EX. GATE VALVES
 - ⑭ EX. AC BERM
 - ⑮ EX. STREET LIGHT
 - ⑯ EX. STORM DRAIN
 - ⑰ EX. SD INLET
 - ⑱ EX. STRIPING
 - ⑲ EX. UTILITY APPURTENANCES
 - ⑳ EX. BOLLARDS
 - ㉑ EX. VALVES (PVT)
 - ㉒ EX. WHEEL STOPS
 - ㉓ EX. FIRE HYDRANT
 - ㉔ EX. SD BOX
 - ㉕ EX. LANDSCAPE
- *EXIST. IMPROVEMENTS TO BE REMOVED
 **EXIST. IMPROVEMENTS TO BE RELOCATED



trh
 I N C.
 1350 COLUMBIA ST.
 SUITE 702
 SAN DIEGO, CA 92101
 TEL (619) 230-1088
 FAX (619) 230-1089

APPLICANT:
Truck.Net LLC
 5440 MOREHOUSE DR. #4000
 SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP
 8490 AVENIDA DE LA FUENTE
 SUITE 5
 SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/23/2019

SHEET TITLE / CONTENTS

TOPOGRAPHIC PLANS

TRH PROJECT#: 248-13-CUP
 SCALE: AS NOTED
 DRAWN BY: ALTA
 ORIGINAL DATE: 1/4/2016
 CHECKED BY:

SHEET: 33 OF: 46

GP-5

ATTACHMENT 13

ALTA CONSULTANTS
 PLANNING ENGINEERING SURVEYING
 1285 E. MAIN ST., Ste. 100, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
 JOB NO. 164-120, DATED OCTOBER 22, 2019

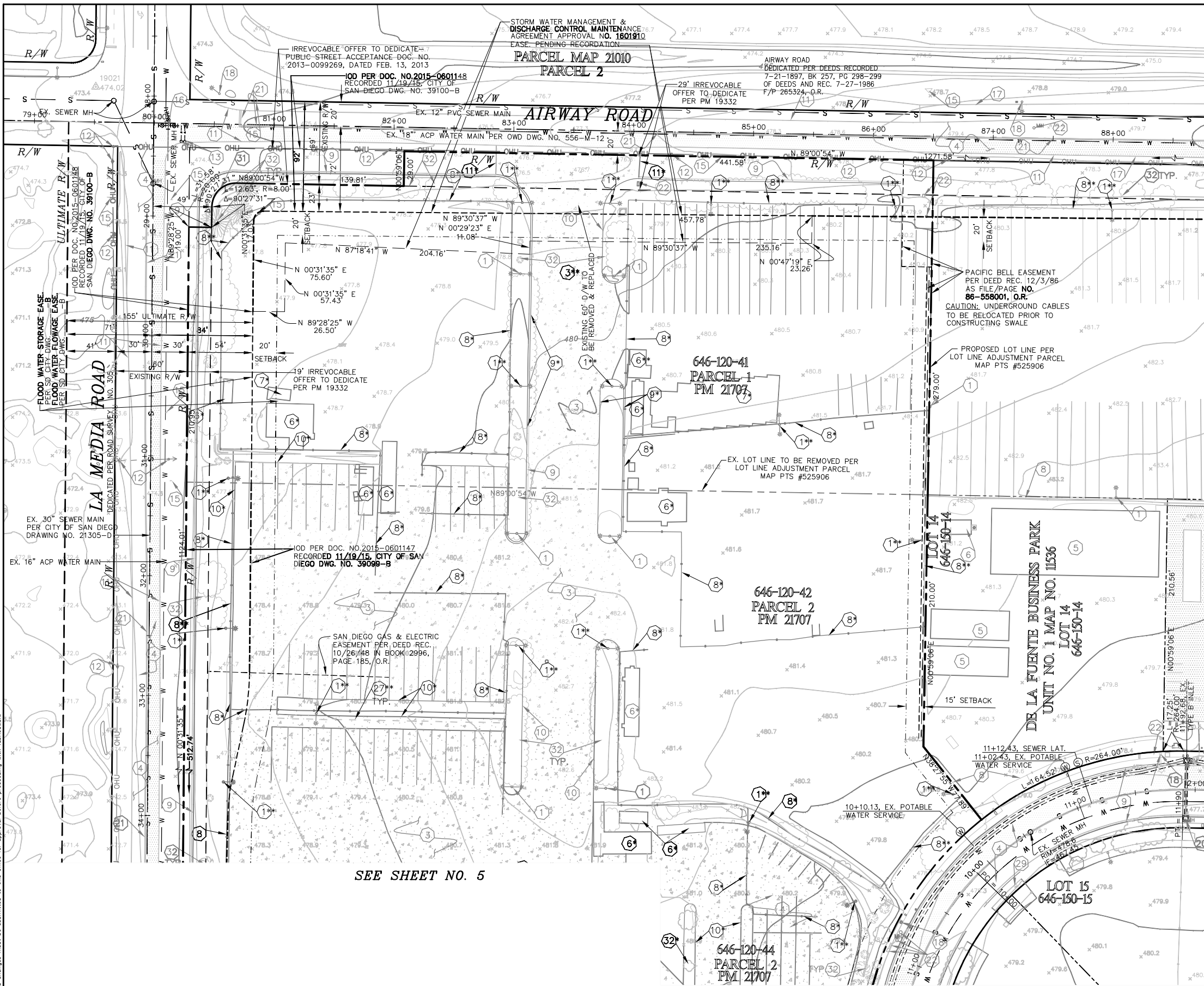
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 1283 E. MAIN STREET, SUITE 109, EL CAJON, CA 92021
 COMPANY PHONE 619-749-8818
 COMPANY FAX 619-749-8806
 ALTACONSULTANTS@AOL.COM
 Bartolome J. Pastor
 BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21



FOR SURFACING SEE SHT. 7
 FOR GRADING SEE SHT. 9

10/22/19
 DATE

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SEE SHEET NO. 5

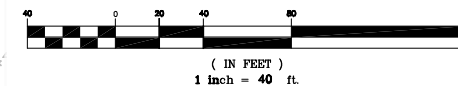
SEE SHEET NO. 5

LEGEND

- 1 EX. PARKING LOT LIGHT
- 2 EX. CONCRETE PAVING
- 3 EX. ASPHALT PAVING
- 4 EX. BUILDING
- 5 EX. OFFICE TRAILER
- 6 EX. CANOPY
- 7 EX. FENCE
- 8 EX. CURB & GUTTER
- 9 EX. CURB
- 10 EX. EDGE OF PAVING
- 11 EX. POWER POLE
- 12 EX. WATER METER
- 13 EX. STREET SIGN
- 14 EX. GATE VALVES
- 15 EX. AC BERM
- 16 EX. STREET LIGHT
- 17 EX. STRIPING
- 18 EX. UTILITY APPURTENANCES
- 19 EX. WHEEL STOPS
- 20 EX. CONC. WALL
- 21 EX. LANDSCAPE
- 22 EX. LANDSCAPE

*EXIST. IMPROVEMENTS TO BE REMOVED
**EXIST. IMPROVEMENTS TO BE RELOCATED

GRAPHIC SCALE



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Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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<input checked="" type="checkbox"/> RESUBMITTAL 6	10/23/2019

SHEET TITLE / CONTENTS

TOPOGRAPHIC
PLANS

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 34 OF: 46

GP-6

ATTACHMENT 13

ALTA CONSULTANTS
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JOB NO. 164-120, DATED OCTOBER 22, 2019



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ALTACONSULTANTS@AOL.COM

Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 10/22/19 DATE

LEGEND

- EX. CONCRETE PAVING
- EX. ASPHALT PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED LANDSCAPING
- EXISTING STRUCTURES
- PROPOSED GRAVEL TRENCH DRAIN
- PROPOSED GRAVEL SURFACE NO TRENCH DRAIN
- PROPOSED DG / GRAVEL
- PROPOSED BIO-TREATMENT

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INC.

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SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089

TOTAL GROSS SITE AREA=16.42 AC
TOTAL EXISTING IMPERVIOUS SURFACES=10.85 AC=66% OF SITE

IMPERVIOUS SURFACE REMOVED=0.97 AC
(CONCRETE, ASPHALT, STRUCTURES & ETC.)

IMPERVIOUS SURFACE REMOVED & REPLACED=1.11 AC
(CONCRETE, ASPHALT, STRUCTURES & ETC.)

NEW IMPERVIOUS SURFACE=0.92 AC
(CONCRETE, ASPHALT)

TOTAL PROPOSED IMPERVIOUS SURFACES=10.80 AC=66% OF SITE
TOTAL INCREASE IN IMPERVIOUS SURFACES=-0.05 AC -0.46%
TOTAL IMPERVIOUS SURFACES IMPACTED BY THIS PROJECT=3.00 AC 28%

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

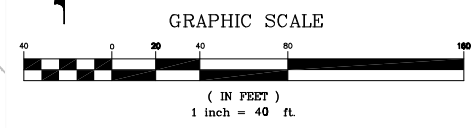
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SHEET TITLE / CONTENTS

SURFACING



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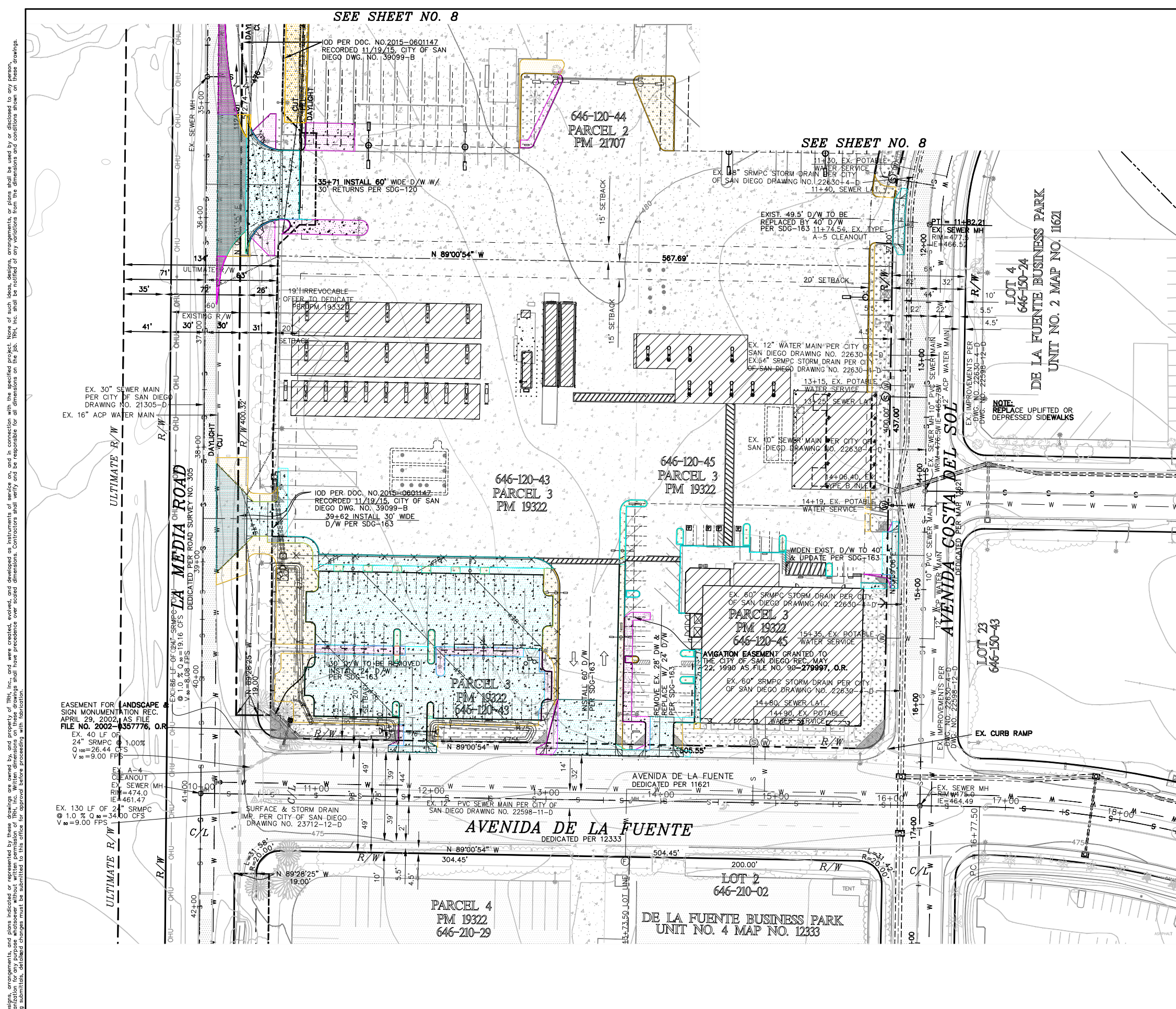
Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 DATE
FOR EXISTING TOPOGRAPHY SEE SHT. 5
FOR GRADING SEE SHT. 9

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 35 OF: 46

GP-7

ATTACHMENT 13



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PLANNING ENGINEERING SURVEYING
1283 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
JOB NO. 184-120, DATED OCTOBER 22, 2019

EASEMENT FOR LANDSCAPE SIGN MONUMENTATION REC. APRIL 29, 2002, AS FILE FILE NO. 2002-0357776, O.R.
EX. 40 LF OF 24" SRMPC @ 1.00% Q₁₀₀=26.44 CFS V₁₀=9.00 FPS

EX. 130 LF OF 24" SRMPC @ 1.00% Q₁₀₀=34.00 CFS V₁₀=9.00 FPS

EX. 40 LF OF 24" SRMPC @ 1.00% Q₁₀₀=26.44 CFS V₁₀=9.00 FPS

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JOB NO. 184-120, DATED OCTOBER 22, 2019

LEGEND

- EX. CONCRETE PAVING
- EX. ASPHALT PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED LANDSCAPING
- EXISTING STRUCTURES
- PROPOSED GRAVEL TRENCH DRAIN
- PROPOSED GRAVEL SURFACE NO TRENCH DRAIN
- PROPOSED DG / GRAVEL
- PROPOSED BIO-TREATMENT

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SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089

TOTAL GROSS SITE AREA=16.42 AC
TOTAL EXISTING IMPERVIOUS SURFACES=10.85 AC=66% OF SITE
IMPERVIOUS SURFACE REMOVED=0.97 AC
(CONCRETE, ASPHALT, STRUCTURES & ETC.)
IMPERVIOUS SURFACE REMOVED & REPLACED=1.11 AC
(CONCRETE, ASPHALT, STRUCTURES & ETC.)
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(CONCRETE, ASPHALT)
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TOTAL INCREASE IN IMPERVIOUS SURFACES=-0.05 AC -0.46%
TOTAL IMPERVIOUS SURFACES IMPACTED BY THIS PROJECT=3.00 AC 28%

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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SHEET TITLE / CONTENTS

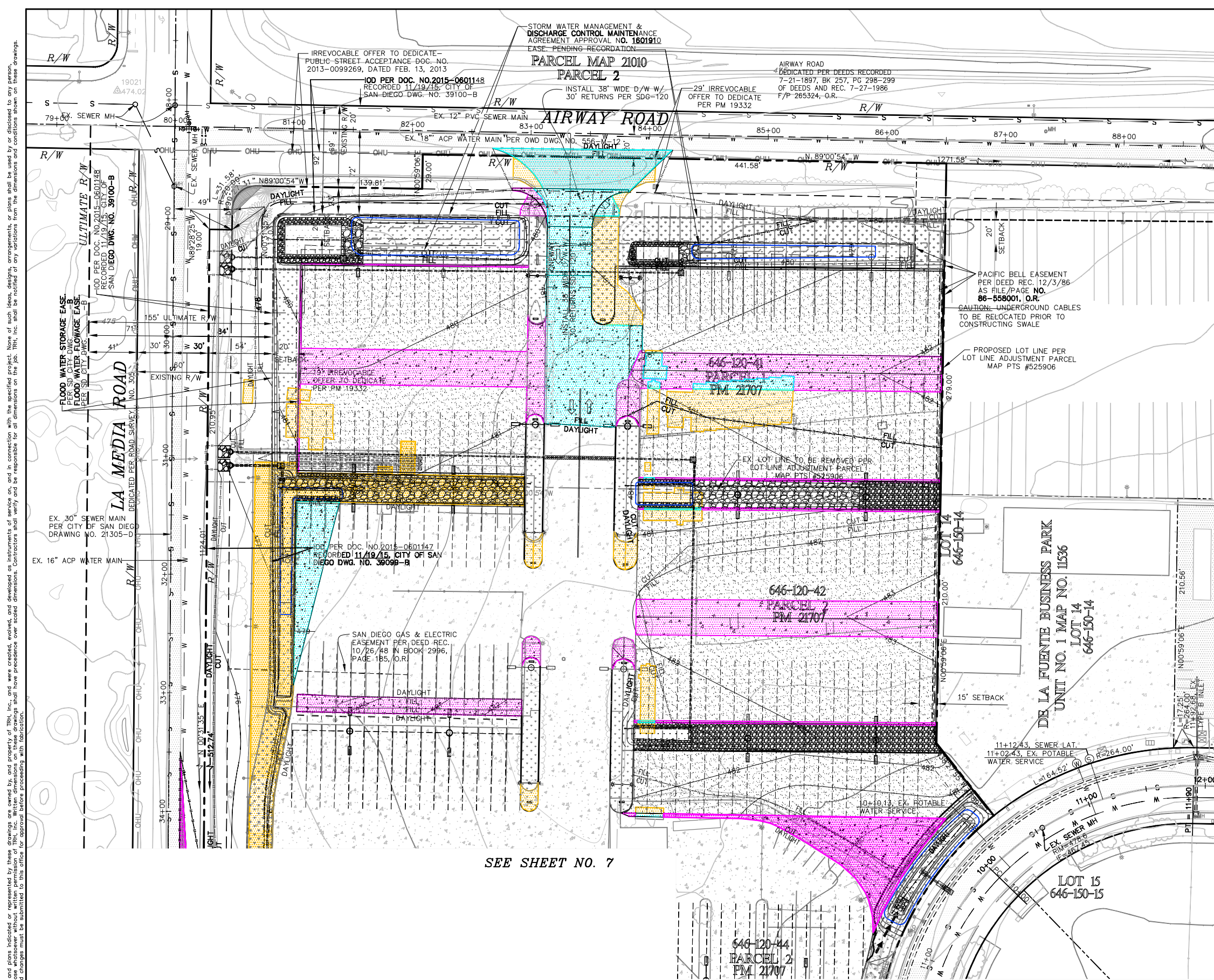
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TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

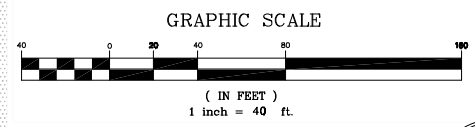
SHEET: 36 OF: 46

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ATTACHMENT 13



SEE SHEET NO. 7



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COMPANY FAX 619-749-8806
ALTACONSULTANTS@AOL.COM
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21
DATE 10/22/19
FOR EXISTING TOPOGRAPHY SEE SHT. 6
FOR GRADING SEE SHT. 10



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PLANNING ENGINEERING SURVEYING
1283 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
JOB NO. 164-120, DATED OCTOBER 22, 2019

SEE SHEET NO. 10

SEE SHEET NO. 10

LEGEND

- ① EX. PARKING LOT LIGHT
- ② EX. POWER POLE
- ③ EX. CONCRETE PAVING
- ④ EX. ASPHALT PAVING
- ⑤ EX. BUILDING
- ⑥ EX. OFFICE TRAILER
- ⑦ EX. CANOPY
- ⑧ EX. FENCE
- ⑨ EX. CURB & GUTTER
- ⑩ EX. CURB
- ⑪ EX. EDGE OF PAVING
- ⑫ EX. EDGE OF PAVING
- ⑬ EX. POWER POLE
- ⑭ EX. STREET SIGN
- ⑮ EX. GATE VALVES
- ⑯ EX. STREET LIGHT
- ⑰ EX. AC BERM
- ⑱ EX. STORM DRAIN
- ⑲ EX. SD INLET
- ⑳ EX. SD INLET
- ㉑ EX. STRIPING
- ㉒ EX. UTILITY APPURTENANCES
- ㉓ EX. BOLLARDS
- ㉔ EX. VALVES (PVT)
- ㉕ EX. WHEEL STOPS
- ㉖ EX. FIRE HYDRANT
- ㉗ EX. SD BOX
- ㉘ EX. LANDSCAPE

*EXIST. IMPROVEMENTS TO BE REMOVED
**EXIST. IMPROVEMENTS TO BE RELOCATED

LEGEND

- EX. CONCRETE PAVING
- EX. ASPHALT PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED LANDSCAPING
- EXISTING STRUCTURES
- PROPOSED GRAVEL TRENCH DRAIN
- PROPOSED DG / GRAVEL
- PROPOSED BIO-TREATMENT

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PROJECT:
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CUP**

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 DESIGN LEVEL

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SHEET TITLE / CONTENTS

GRADING PLANS

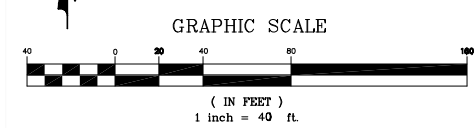
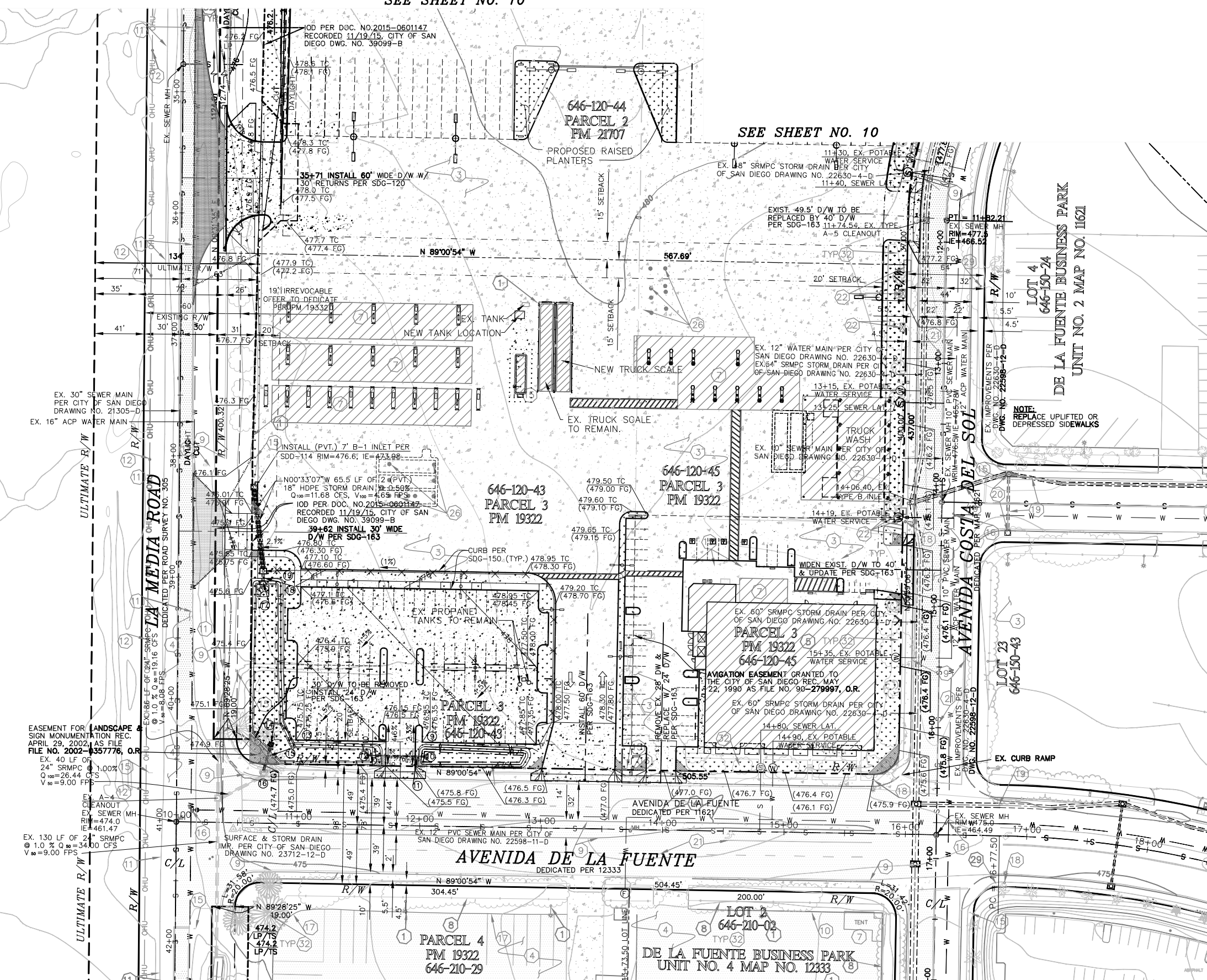
TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 37 OF: 46

GP-9

ATTACHMENT 13

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STORM DRAIN DATA (PVT.)	
ITEM	DESCRIPTION
9	INSTALL (PVT.) DOWNDRAIN PER D-75
10	INSTALL (PVT.) MANUFACTURER'S END PIECE FOR 12" HDPE PIPE IE=474.46
11	(PVT.) 10" HDPE STORM DRAIN @ 1.0% N88°54'34"E 46.83 LF Q ₁₀₀ =1.87 CFS, V ₁₀₀ =4.51 FPS
12	INSTALL (PVT.) MANUFACTURER'S END PIECE FOR 12" HDPE PIPE IE=474.00 Q ₁₀₀ =1.87 CFS, V ₁₀₀ =4.51 FPS, SDD-104 RIP-RAP ENERGY DISSIPATOR 10'x10' OF NO. 2 BACKING OVER FILTER BLANKET, FL=474.31
13	INSTALL (PVT.) DOWNDRAIN PER D-75
14	(PVT.) TYPE F CATCH BASIN PER SDD-119 OPENINGS ON 4-SIDES WS=473.01, RIM=474.71, FL=473.5, IE=470.01
15	(PVT.) 24" RCP STORM DRAIN @ 1.0% N15°59'06"E 21 LF Q ₁₀₀ =21.40 CFS, V ₁₀₀ =8.19 FPS
16	IE IN=469.90, (IE OUT=469.70) CONNECT TO BACK OF EXISTING B INLET
17	INSTALL (PVT.) WINGED WEADWALL PER D-34 IE=474.48 Q ₁₀₀ =15.67 CFS, V ₁₀₀ =5.80 FPS, SDD-104 RIP-RAP ENERGY DISSIPATOR 10'x10' OF NO. 2 BACKING OVER FILTER BLANKET, FL=474.42
18	(PVT.) 24" HDPE STORM DRAIN @ 0.5% N01°11'05"E 6.5 LF Q ₁₀₀ =15.67 CFS, V ₁₀₀ =5.80 FPS
19	INSTALL (PVT.) 6" B INLET PER SDD-114 IE IN=474.65, IE OUT= 474.55

STORM WATER DESIGN:
ALL STORM WATER TREATMENT SHOWN ON THESE PLANS AND THE SWAMP APPROVED WITH THESE PLANS IS SUBJECT TO REVIEW AND CHANGE WITH CONSTRUCTION PLANS AND CONSTRUCTION PERMITTING.

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PLANNING ENGINEERING SURVEYING
1085 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
JOB NO. 184-120, DATED OCTOBER 22, 2019

ALTA CONSULTANTS
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Bartholome J. Pastor
10/22/19
DATE

trh
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1350 COLUMBIA ST.
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APPLICANT:
Truck.Net LLC
5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP
8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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<input type="checkbox"/>	DESIGN LEVEL
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL 6/27/16
<input checked="" type="checkbox"/>	FULL SUBMITTAL 7/20/16
<input checked="" type="checkbox"/>	RESUBMITTAL 1 12/9/16
<input checked="" type="checkbox"/>	RESUBMITTAL 2 4/27/17
<input checked="" type="checkbox"/>	RESUBMITTAL 3 1/9/2018
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SHEET TITLE / CONTENTS

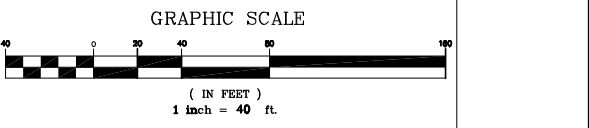
GRADING PLANS

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 38 OF: 46

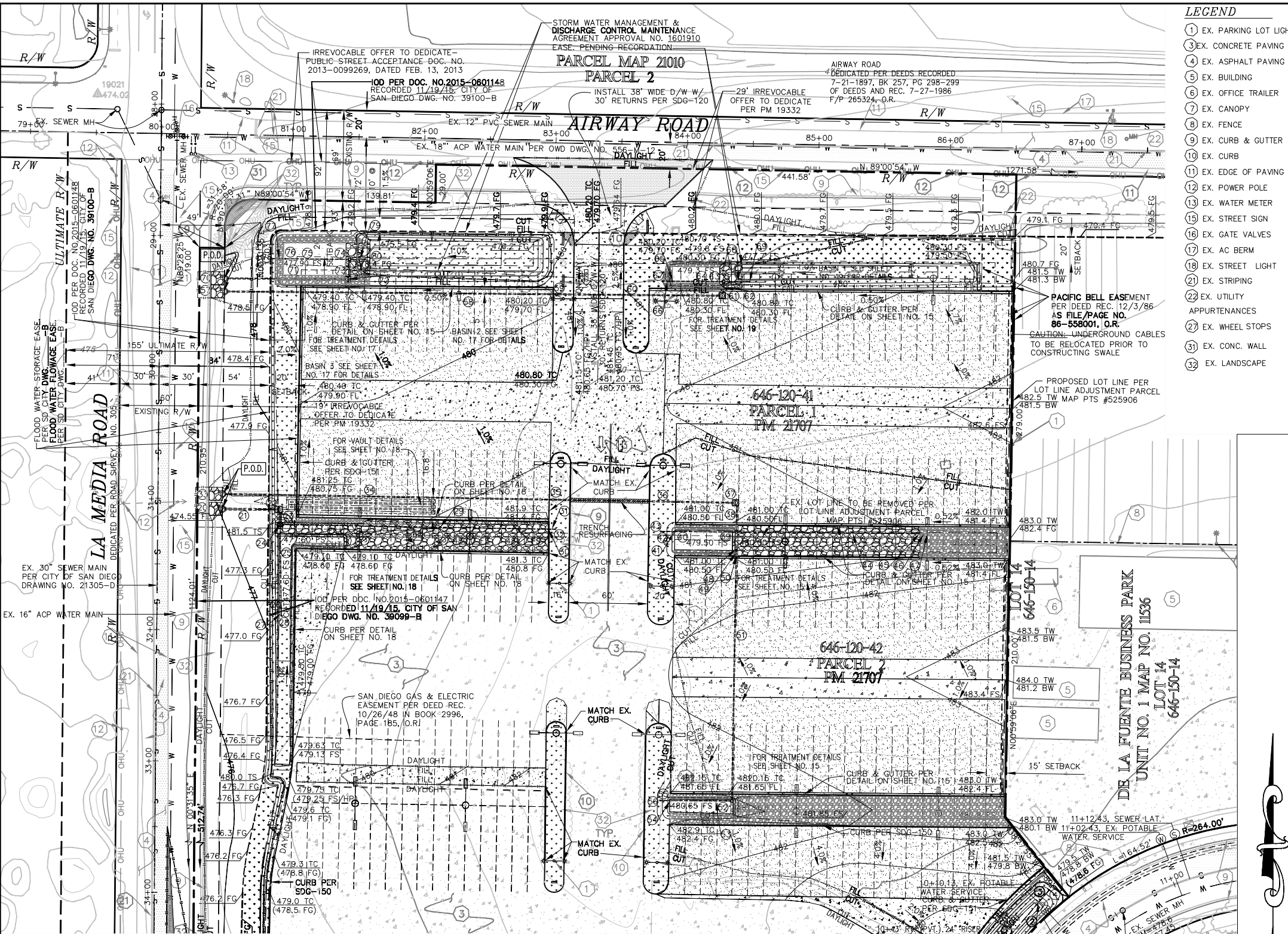
GP-10

STORM DRAIN DATA	
ITEM	DESCRIPTION
AREA F-1	
1	(PVT.) 4" PVC PERFORATED STORM @ 0.50% N40°34'49"E 55.5 LF
2	(PVT.) 22.5" VERTICAL ANGLE IE=472.15
3	(PVT.) 4" PVC STORM DRAIN @ 25% N40°34'39"E 12.5 LF
4	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=478.0, IE=475.28
5	(PVT.) 4" PVC PERFORATED STORM DRAIN @ 0.50% N32°11'44"E 26.0 LF
6	(PVT.) 22.5" VERTICAL ANGLE IE=471.57
7	(PVT.) 4" PVC STORM DRAIN @ 25% N89°30'37"E 16.0 LF
8	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=476.0, IE=475.57
AREA C-5	
20	31+07.5, 50.9' LT. INSTALL (PVT.) MANUFACTURER'S END PIECE FOR 18" HDPE PIPE IE=474.55 SDD-104 RIP-RAP ENERGY DISSIPATOR 10'x10' OF 1.1' OF NO. 2 BACKING OVER FILTER BLANKET.
P.O.D.	POST Q ₁₀₀ =5.13 CFS, V ₁₀₀ =4.53 FPS; PRE Q ₁₀₀ =1.62 CFS, V ₁₀₀ =3.36 FPS
21	(PVT.) 18" HDPE STORM DRAIN @ 0.50% N89°28'25"W 38.5 LF
P.O.D.	POST Q ₁₀₀ =5.13 CFS, V ₁₀₀ =4.53 FPS; PRE Q ₁₀₀ =1.62 CFS, V ₁₀₀ =3.36 FPS
22	31+06.2, 91.9' LT. (PVT.) A-5 C/O PER D-9 & DETAIL ON SHEET NO. 21 RIM=481.5, IE IN=474.84, IE OUT=474.74
23	(PVT.) 18" HDPE STORM DRAIN @ 0.50% N00°31'35"E 8.00 LF
P.O.D.	POST Q ₁₀₀ =5.13 CFS, V ₁₀₀ =4.53 FPS
24	(PVT.) TYPE "T" CATCH BASIN PER SDD-119 & DETAIL ON SHEET NO. 21 RIM=478.1, IE IN=474.99, IE OUT=474.89
25	(PVT.) 4" PVC PERFORATED STORM DRAIN @ LEVEL N00°35'51"E 62 LF
26	(PVT.) 22.5" VERTICAL ANGLE IE=474.99
27	(PVT.) 4" PVC STORM DRAIN @ 25% N89°00'54"W 6 LF
28	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=478.00, IE=476.49
29	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°00'54"W 202.7 LF
30	(PVT.) 22.5" VERTICAL ANGLE IE=474.99
31	(PVT.) 4" PVC STORM DRAIN @ 25% N89°00'54"W 5 LF
32	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=481.50, IE=476.24
AREA C-2 & C-1	
33	30+96.2, 50.9' LT. INSTALL (PVT.) MANUFACTURER'S END PIECE FOR 12" HDPE PIPE IE=474.55 SDD-104 RIP-RAP ENERGY DISSIPATOR 10'x10' OF 1.1' OF NO. 2 BACKING OVER FILTER BLANKET.
P.O.D.	POST Q ₁₀₀ =2.58 CFS, V ₁₀₀ =3.65 FPS
34	(PVT.) 15" HDPE STORM DRAIN @ 0.50% N89°00'54"W 249.6 LF
P.O.D.	POST Q ₁₀₀ =2.58 CFS, V ₁₀₀ =3.65 FPS
35	(PVT.) 15" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=481.60, IE=479.35
36	(PVT.) 15" HDPE STORM DRAIN @ 0.50% N89°00'54"W 137 LF
P.O.D.	POST Q ₁₀₀ =2.96 CFS, V ₁₀₀ =3.96 FPS
37	30+96.2, 433.5' LT. (PVT.) A-4 C/O PER DETAIL ON SHEET NO. 18 RIM=480.6, IE IN=476.59, IE OUT=476.49
38	(PVT.) 15" PVC STORM DRAIN @ 0.50% N24°37'50"W 19.5 LF
P.O.D.	POST Q ₁₀₀ =2.96 CFS, V ₁₀₀ =3.96 FPS
39	(PVT.) 18" BROOKS BOX PER DETAIL ON SHEET NO. 18 RIM=480.00, IE IN=476.79, IE OUT=476.69
40	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'37"E 46.0' LF
41	(PVT.) 22.5" VERTICAL ANGLE IE=476.79
42	(PVT.) 4" PVC STORM DRAIN @ 25% N89°30'37"E 11 LF
43	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=481.50, IE=479.54
44	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'37"E 138.5 LF
45	(PVT.) 22.5" VERTICAL ANGLE IE=476.79
46	(PVT.) 4" PVC STORM DRAIN @ 25% N89°30'37"E 6.0 LF
47	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=480.8, IE=478.29
48	(PVT.) 10" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=480.0, IE=476.96
49	(PVT.) 10" PERFORATED PVC STORM DRAIN @ 0.50% N89°59'06"E 5 LF
P.O.D.	POST Q ₁₀₀ =1.06 CFS, V ₁₀₀ =3.06 FPS
50	10" COUPLING IE=476.99
51	(PVT.) 10" PVC STORM DRAIN @ 0.50% N89°59'06"E 186.5 LF
P.O.D.	POST Q ₁₀₀ =1.06 CFS, V ₁₀₀ =3.06 FPS
52	(PVT.) 18" BROOKS BOX PER DETAIL ON SHEET NO. 18 RIM=481.15, IE IN=478.02, IE OUT=477.92
53	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'27"W 46 LF
54	(PVT.) 22.5" VERTICAL ANGLE IE=478.02
55	(PVT.) 4" PVC STORM DRAIN @ 25% N89°30'37"E 8 LF
56	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=483.00, IE=480.02
AREA C-3	
57	29+42.2, 50.9' LT. INSTALL (PVT.) MANUFACTURER'S END PIECE FOR 18" HDPE PIPE IE=474.55 SDD-104 RIP-RAP ENERGY DISSIPATOR 10'x10' OF 1.1' OF NO. 2 BACKING OVER FILTER BLANKET.
P.O.D.	POST Q ₁₀₀ =1.12 CFS, V ₁₀₀ =3.09 FPS; PRE Q ₁₀₀ =1.01 CFS, V ₁₀₀ =3.03 FPS
58	(PVT.) 10" HDPE STORM DRAIN @ 0.50% N89°30'28"W 251 LF
P.O.D.	POST Q ₁₀₀ =1.12 CFS, V ₁₀₀ =3.09 FPS; PRE Q ₁₀₀ =1.01 CFS, V ₁₀₀ =3.03 FPS
59	(PVT.) 12" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=481.60, IE=475.81
60	(PVT.) 10" HDPE STORM DRAIN @ 0.50% N89°30'28"W 124 LF
P.O.D.	POST Q ₁₀₀ =1.12 CFS, V ₁₀₀ =3.09 FPS; PRE Q ₁₀₀ =1.01 CFS, V ₁₀₀ =3.03 FPS



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Bartholome J. Pastor
R.C.E. NO.38606
10/22/19
DATE



LEGEND

- EX. CONCRETE PAVING
- EX. ASPHALT PAVING
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED LANDSCAPING
- EXISTING STRUCTURES
- PROPOSED GRAVEL TRENCH DRAIN
- PROP. GRAVEL SURFACE NO TRENCH DRAIN
- PROPOSED DG / GRAVEL
- PROPOSED BIO-TREATMENT

ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818
JOB NO. 184-120, DATED OCTOBER 22, 2019

STORM DRAIN DATA	
ITEM	DESCRIPTION
61	29+42.2, 425.9' LT. (PVT.) A-4 C/O PER DETAIL ON SHEET NO. 19 RIM=480.5, IE IN=476.53, IE OUT=476.43
62	(PVT.) 10" HDPE STORM DRAIN @ 0.50% N00°30'32"E 8.0 LF
P.O.D.	POST Q ₁₀₀ =1.12 CFS, V ₁₀₀ =4.04 FPS
63	(PVT.) 18" BROOKS BOX PER DETAIL ON SHEET NO. 18 RIM=479.7, IE IN=476.67, IE OUT=476.57
64	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'28"W 38 LF
65	(PVT.) 22.5" VERTICAL ANGLE IE=476.67
66	(PVT.) 4" PVC STORM DRAIN @ 25% N89°30'28"W 8 LF
67	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=481.0, IE=478.67
68	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'28"W 19 LF
69	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=480.0, IE=476.67
AREA C-4	
70	29+32.2, 50.9' LT. INSTALL (PVT.) MANUFACTURER'S END PIECE FOR 15" HDPE PIPE IE=474.55 SDD-104 RIP-RAP ENERGY DISSIPATOR 10'x10' OF 1.1' OF NO. 2 BACKING OVER FILTER BLANKET.
P.O.D.	POST Q ₁₀₀ =3.46 CFS, V ₁₀₀ =4.09 FPS; PRE Q ₁₀₀ =2.03 CFS, V ₁₀₀ =3.61 FPS

71	(PVT.) 15" HDPE STORM DRAIN @ 0.50% N89°30'28"W 90.0 LF
P.O.D.	POST Q ₁₀₀ =3.46 CFS, V ₁₀₀ =4.09 FPS; PRE Q ₁₀₀ =2.03 CFS, V ₁₀₀ =3.61 FPS
72	29+30.2, 142.9' LT. (PVT.) MOD. TYPE A-4 CLEANOUT PER DETAIL ON SHEET NO. 20 RIM=479.9, IE IN=475.10, IE OUT=475.00
73	(PVT.) 15" HDPE STORM DRAIN @ 0.50% N00°29'32"E 12.5 LF
P.O.D.	POST Q ₁₀₀ =3.46 CFS, V ₁₀₀ =4.09 FPS; PRE Q ₁₀₀ =2.03 CFS, V ₁₀₀ =3.61 FPS
74	(PVT.) 18" BROOKS BOX PER DETAIL ON SHEET NO. 18 RIM=478.4, IE IN=475.26, IE OUT=475.16
75	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'32"E 48 LF
76	(PVT.) 22.5" VERTICAL ANGLE IE=475.26
77	(PVT.) 4" PVC STORM DRAIN LEVEL N89°30'28"W 10 LF
78	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=479.5, IE=477.76
79	(PVT.) 4" PVC PERFORATED STORM DRAIN LEVEL N89°30'28"W 11 LF
80	(PVT.) 4" CLEANOUT PER DETAIL ON SHEET NO. 18 RIM=476.5, IE=475.26

- LEGEND**
- EX. PARKING LOT LIGHT
 - EX. CONCRETE PAVING
 - EX. ASPHALT PAVING
 - EX. BUILDING
 - EX. OFFICE TRAILER
 - EX. CANOPY
 - EX. FENCE
 - EX. CURB & GUTTER
 - EX. CURB
 - EX. EDGE OF PAVING
 - EX. POWER POLE
 - EX. WATER METER
 - EX. STREET SIGN
 - EX. GATE VALVES
 - EX. AC BERM
 - EX. STREET LIGHT
 - EX. STRIPING
 - EX. UTILITY APPURTENANCES
 - EX. WHEEL STOPS
 - EX. CONC. WALL
 - EX. LANDSCAPE

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SEE SHEET NO. 12

SEE SHEET NO. 12

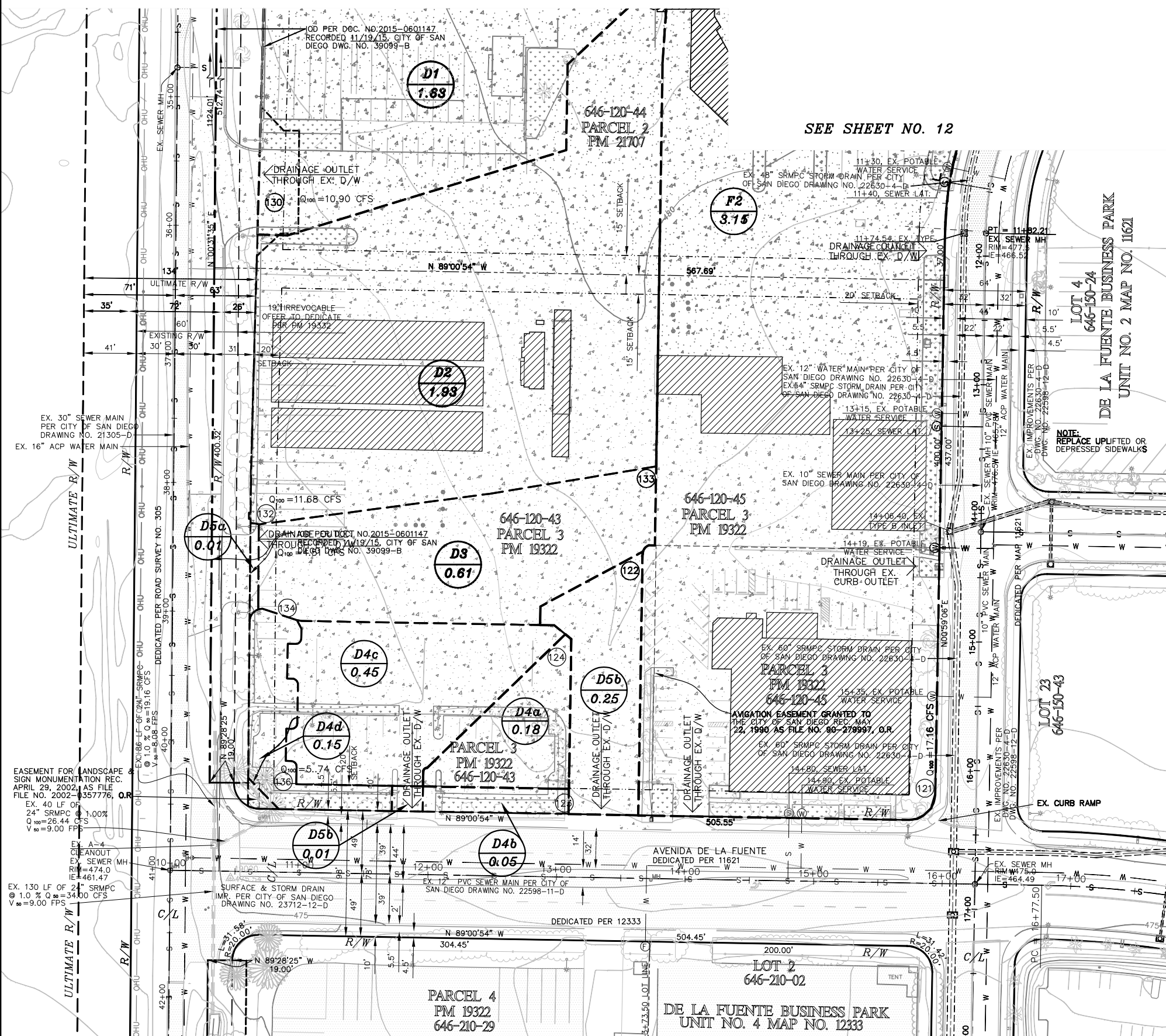
LEGEND

- EX. ASPHALT PAVING
- EX. CONCRETE PAVING
- LANDSCAPING
- EXISTING STRUCTURES
- EXISTING DIRT AND GRAVEL
- WATERSHED BOUNDARY
- DRAINAGE AREA DESIGNATION
- AREA IN ACRES

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C3
1.55



LOW IMPACT DEVELOPMENT DESIGN AREA D1

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS	///	147	ROOFS (IMP)	1.0	147	0%	
EX. CONCRETE	---	65,536	CONCRETE (IMP)	1.0	65,536	93%	
LANDSCAPING	...	5,287	LANDSCAPING (PER)	0.1	529	7%	
TOTAL DMA AREA		70,970	100% OF				

LOW IMPACT DEVELOPMENT DESIGN AREA D2

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS	///	17,346	ROOFS (IMP)	1.0	17,346	21%	
EX. CONCRETE	---	64,735	CONCRETE (IMP)	1.0	64,735	77%	
LANDSCAPING	...	1,623	LANDSCAPING (PER)	0.1	162	2%	
TOTAL DMA AREA		83,704	100% OF				

LOW IMPACT DEVELOPMENT DESIGN AREA D3

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS	///	-	ROOFS (IMP)	1.0	-	-	
EX. CONCRETE	---	26,747	CONCRETE (IMP)	1.0	26,747	92%	
LANDSCAPING	...	-	LANDSCAPING (PER)	0.1	-	8%	
TOTAL DMA AREA		26,747	100% OF				

LOW IMPACT DEVELOPMENT DESIGN AREA D4a, b, c, & d

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS	///	-	ROOFS (IMP)	1.0	-	-	
EX. CONCRETE	---	28,888	CONCRETE (IMP)	1.0	28,888	81%	
LANDSCAPING	...	6,716	LANDSCAPING (PER)	0.1	672	19%	
TOTAL DMA AREA		35,604	100% OF				

LOW IMPACT DEVELOPMENT DESIGN AREA D5a, b & c

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS	///	-	ROOFS (IMP)	1.0	-	-	
EX. CONCRETE	---	12,033	CONCRETE (IMP)	1.0	12,033	98%	
LANDSCAPING	...	367	LANDSCAPING (PER)	0.1	37	2%	
TOTAL DMA AREA		12,300	100% OF				

LOW IMPACT DEVELOPMENT DESIGN AREA F2

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS	///	34,672	ROOFS (IMP)	1.0	34,672	25%	
EX. CONCRETE	---	91,317	CONCRETE (IMP)	1.0	91,317	67%	
LANDSCAPING	...	10,874	LANDSCAPING (PER)	0.1	1,098	8%	
TOTAL DMA AREA		136,863	100% OF				

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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- THIS SET
- SCHEMATIC
 - DESIGN DEVEL.
 - PERMIT SUBMITTAL 6/27/16
 - FULL SUBMITTAL 7/20/16
 - RESUBMITTAL 1 12/9/16
 - RESUBMITTAL 2 4/27/17
 - RESUBMITTAL 3 1/9/2018
 - RESUBMITTAL 4 12/3/2018
 - RESUBMITTAL 5 9/10/2019
 - RESUBMITTAL 6 10/23/2019

SHEET TITLE / CONTENTS

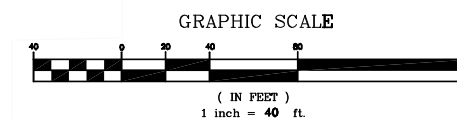
PRE-PROJECT DMA PLANS

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 39 OF: 46

GP-11

FOR TOPOGRAPHY SEE SHT. 5



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Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 DATE 10/22/19

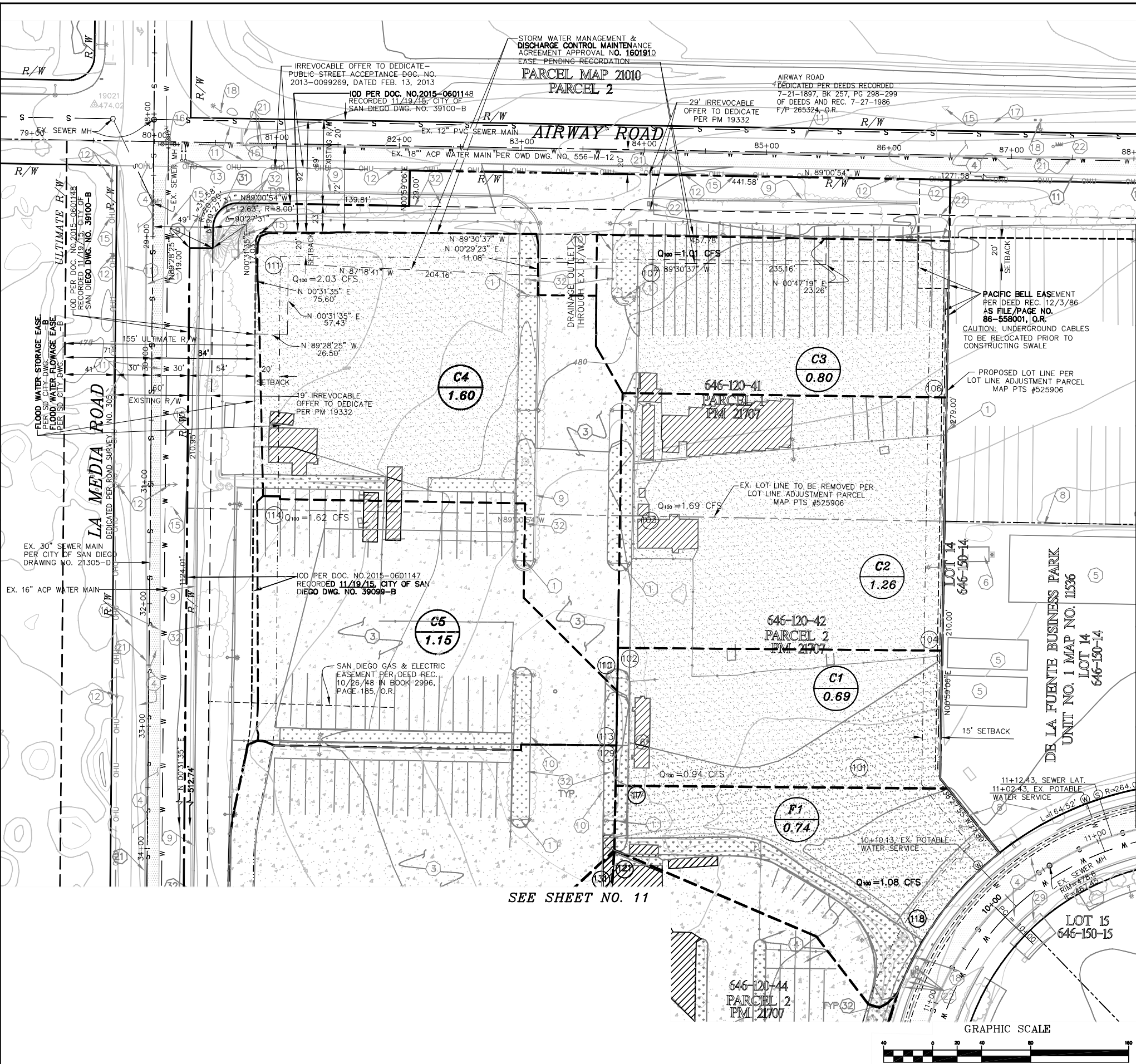


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ATTACHMENT 13

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LEGEND

- EX. ASPHALT PAVING
- EX. CONCRETE PAVING
- LANDSCAPING
- STRUCTURES
- EX. DIRT AND GRAVEL (PERMEABLE SURFACE)
- WATERSHED BOUNDARY
- DRAINAGE AREA DESIGNATION
- AREA IN ACRES

LOW IMPACT DEVELOPMENT DESIGN AREA C1							
DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		713	ROOFS (IMP)	1.0	713	2%	IMP. 3%
EX. CONCRETE		192	CONCRETE (IMP)	1.0	192	1%	C=0.45
LANDSCAPING		932	LANDSCAPING (PER)	0.1	93	3%	
PERMEABLE SURFACE		28,025	COMPACTED SOIL (UNPAVED PARKING)	0.2	5,605	94%	
TOTAL DMA AREA		29,854	100% OF			SIZING FACTOR	MINIMUM AREA
				0.69 AC	6,608	0.04	264

LOW IMPACT DEVELOPMENT DESIGN AREA C2							
DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		5,878	ROOFS (IMP)	1.0	5,878	11%	IMP. 12%
EX. CONCRETE		646	CONCRETE (IMP)	1.0	646	1%	C=0.50
LANDSCAPING		1,450	LANDSCAPING (PER)	0.1	145	3%	
PERMEABLE SURFACE		47,014	COMPACTED SOIL (UNPAVED PARKING)	0.2	9,403	85%	
TOTAL DMA AREA		54,988	100% OF			SIZING FACTOR	MINIMUM AREA
				1.26 AC	16,072	0.04	643

LOW IMPACT DEVELOPMENT DESIGN AREA C3							
DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		252	ROOFS (IMP)	1.0	252	1%	IMP. 4%
EX. CONCRETE		907	CONCRETE (IMP)	1.0	907	3%	C=0.45
LANDSCAPING		1,547	LANDSCAPING (PER)	0.1	155	4%	
PERMEABLE SURFACE		32,184	COMPACTED SOIL (UNPAVED PARKING)	0.2	6,437	92%	
TOTAL DMA AREA		34,890	100% OF			SIZING FACTOR	MINIMUM AREA
				0.80 AC	7,751	0.04	310

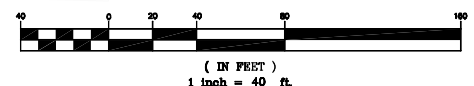
LOW IMPACT DEVELOPMENT DESIGN AREA C4							
DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		1,841	ROOFS (IMP)	1.0	1,841	3%	IMP. 34%
EX. CONCRETE		21,706	CONCRETE (IMP)	1.0	21,706	31%	C=0.60
LANDSCAPING		6,668	LANDSCAPING (PER)	0.1	565	9%	
PERMEABLE SURFACE		40,152	COMPACTED SOIL (UNPAVED PARKING)	0.2	8,030	57%	
TOTAL DMA AREA		70,367	100% OF			SIZING FACTOR	MINIMUM AREA
				1.62 AC	32,212	0.04	1289

LOW IMPACT DEVELOPMENT DESIGN AREA C5							
DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		784	ROOFS (IMP)	1.0	784	1%	IMP. 91%
EX. CONCRETE		45,537	CONCRETE (IMP)	1.0	45,537	90%	C=0.95
LANDSCAPING		4,493	LANDSCAPING (PER)	0.1	449	9%	
PERMEABLE SURFACE		0	COMPACTED SOIL (UNPAVED PARKING)	0.2	0	0%	
TOTAL DMA AREA		50,814	100% OF			SIZING FACTOR	MINIMUM AREA
				1.17 AC	46,770	0.04	1,871

LOW IMPACT DEVELOPMENT DESIGN AREA F1							
DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		566	ROOFS (IMP)	1.0	566	1%	
EX. CONCRETE		6,304	CONCRETE (IMP)	1.0	6,304	20%	
LANDSCAPING		5,470	LANDSCAPING (PER)	0.1	547	17%	
PERMEABLE SURFACE		19,708	COMPACTED SOIL (UNPAVED PARKING)	0.2	3,942	62%	
TOTAL DMA AREA		32,048	100% OF			SIZING FACTOR	MINIMUM AREA
				0.74 AC	11,393	0.04	456

FOR TOPOGRAPHY SEE SHT. 6

SEE SHEET NO. 11



ALTA CONSULTANTS
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COMPANY PHONE 619-749-8818
COMPANY FAX 619-749-8806
ALTACONSULTANTS@AOL.COM



BARTOLOME J. PASTOR R.C.E. NO. 38606 EXP. 03-31-21 DATE 10/22/19

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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△	-	-
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THIS SET	ISSUE DATE
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<input type="checkbox"/> DESIGN DEVEL.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
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<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
<input checked="" type="checkbox"/> RESUBMITTAL 5	9/10/2019
<input checked="" type="checkbox"/> RESUBMITTAL 6	10/23/2019

SHEET TITLE / CONTENTS

PRE-PROJECT
DMA PLAN

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 40 OF: 46

GP-12

trh inc.

1350 COLUMBIA ST. SUITE 702 SAN DIEGO, CA 92101 TEL (619) 230-1088 FAX (619) 230-1089

C3 1.55

LEGEND

- EX. CONCRETE PAVING
- EX. ASPHALT PAVING
- PROPOSED ASPHALT PAVING
- NEW CONCRETE PAVING
- LANDSCAPING
- EXISTING STRUCTURES
- PROPOSED ROCK/GRAVEL TRENCH DRAIN
- PROPOSED DG / GRAVEL
- PROPOSED BIO-TREATMENT
- WATERSHED BOUNDARY
- DRAINAGE AREA DESIGNATION
- AREA IN ACRES

LOW IMPACT DEVELOPMENT DESIGN AREA D1

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		-	ROOFS (MP)	1.0	-	-	-
NEW CONCRETE		3,491	CONCRETE (MP)	1.0	3,491	5%	-
EX. CONCRETE		65,133	CONCRETE (MP)	1.0	65,133	92%	-
LANDSCAPING		2,346	LANDSCAPING (PER)	0.1	235	3%	-
TOTAL DMA AREA		70,970	100% OF				
TOTAL DMA AREA		70,970	1.63 AC			68,859	

LOW IMPACT DEVELOPMENT DESIGN AREA D2

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		16,472	ROOFS (MP)	1.0	16,472	20%	-
NEW CONCRETE		1,527	CONCRETE (MP)	1.0	1,527	2%	-
EX. CONCRETE		63,007	CONCRETE (MP)	1.0	63,007	75%	-
LANDSCAPING		2,698	LANDSCAPING (PER)	0.1	268	3%	-
TOTAL DMA AREA		83,704	100% OF				
TOTAL DMA AREA		83,704	1.92 AC			81,274	

LOW IMPACT DEVELOPMENT DESIGN AREA D3

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		-	ROOFS (MP)	1.0	-	-	-
NEW CONCRETE		2,059	CONCRETE (MP)	1.0	2,059	8%	-
EX. CONCRETE		23,497	CONCRETE (MP)	1.0	23,497	88%	-
LANDSCAPING		1,191	LANDSCAPING (PER)	0.1	119	4%	-
TOTAL DMA AREA		26,747	100% OF				
TOTAL DMA AREA		26,747	0.61 AC			25,675	

LOW IMPACT DEVELOPMENT DESIGN AREA D4a, b, c & d

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		-	ROOFS (MP)	1.0	-	-	-
NEW CONCRETE		25,687	CONCRETE (MP)	1.0	25,687	72%	-
EX. CONCRETE		0	CONCRETE (MP)	1.0	0	-	-
LANDSCAPING		9,917	LANDSCAPING (PER)	0.1	992	18%	-
TOTAL DMA AREA		35,604	100% OF				
TOTAL DMA AREA		35,604	0.82 AC			26,679	

LOW IMPACT DEVELOPMENT DESIGN AREA D5a, b & c

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		-	ROOFS (MP)	1.0	-	-	-
NEW CONCRETE		3,380	CONCRETE (MP)	1.0	3,380	28%	-
EX. CONCRETE		8,015	CONCRETE (MP)	1.0	8,015	65%	-
LANDSCAPING		905	LANDSCAPING (PER)	0.1	91	7%	-
TOTAL DMA AREA		12,300	100% OF				
TOTAL DMA AREA		12,300	0.28 AC			11,486	

LOW IMPACT DEVELOPMENT DESIGN AREA F2

DMA NAME	SYMBOL	DMA AREA SF	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA x RUNOFF FACTOR	% OF SITE	SOIL TYPE "D"
EX. BUILDINGS		30,989	ROOFS (MP)	1.0	30,989	23%	-
NEW CONCRETE		2,462	CONCRETE (MP)	1.0	2,462	2%	-
EX. CONCRETE		89,904	CONCRETE (MP)	1.0	89,904	65%	-
LANDSCAPING		13,508	LANDSCAPING (PER)	0.1	1,351	10%	-
TOTAL DMA AREA		136,863	100% OF				
TOTAL DMA AREA		136,863	3.14 AC			124,706	

APPLICANT: Truck.Net LLC

5440 MOREHOUSE DR. #4000 SAN DIEGO, CA 92121

PROJECT: TRUCK.NET CUP

8490 AVENIDA DE LA FUENTE SUITE 5 SAN DIEGO, CA 92154

REVISION	ITEM	DATE
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 - RESUBMITTAL 5 9/10/2019
 - RESUBMITTAL 6 10/23/2019

SHEET TITLE / CONTENTS

POST-DMA PLANS

TRH PROJECT#: 248-13-CUP SCALE: AS NOTED DRAWN BY: ALTA ORIGINAL DATE: 1/4/2016 CHECKED BY:

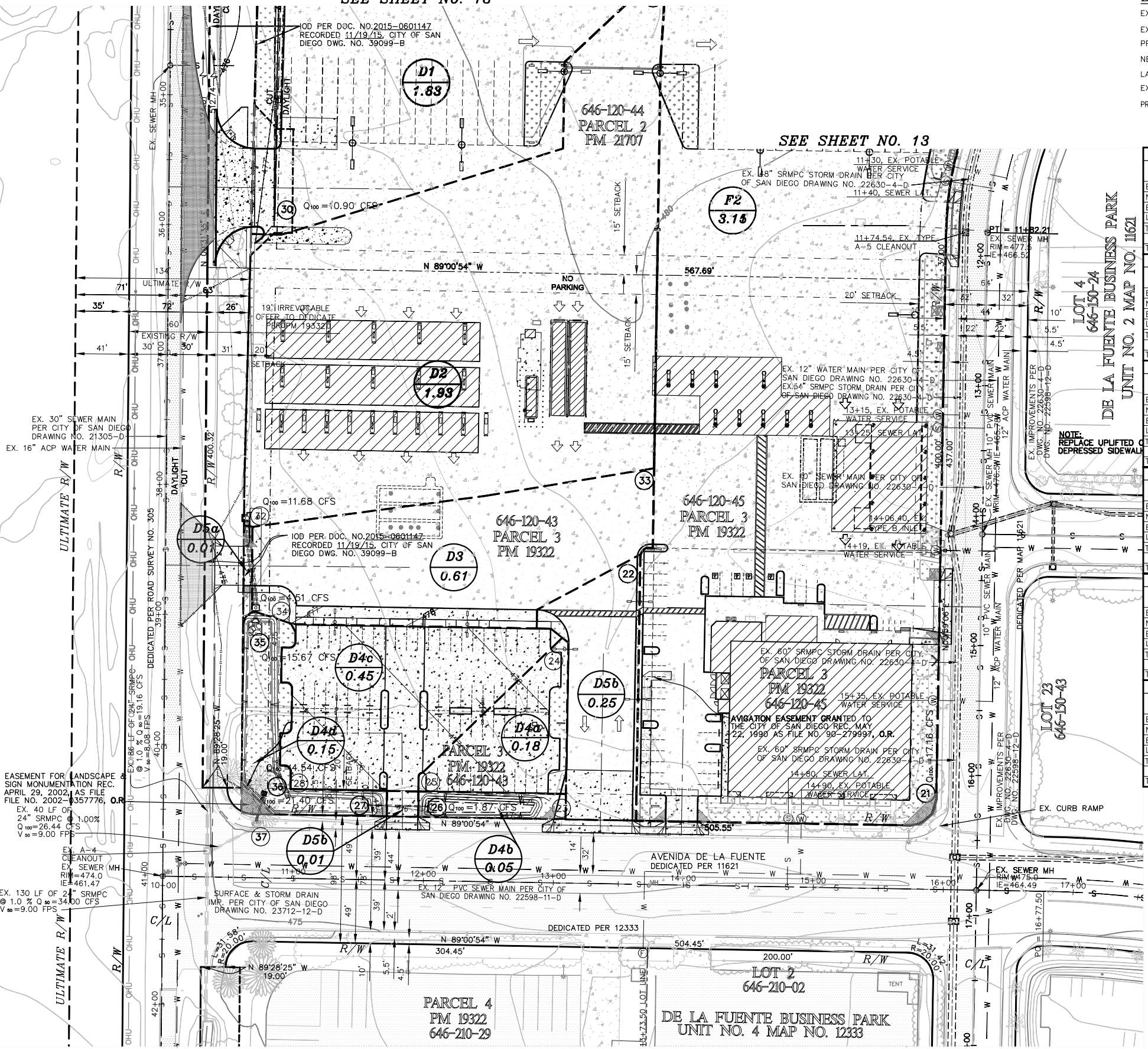
SHEET: 41 OF: 46

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SEE SHEET NO. 13

SEE SHEET NO. 13

DE LA FUENTE BUSINESS PARK UNIT NO. 2 MAP NO. 11621



EASEMENT FOR LANDSCAPE SIGN MONUMENTATION REC. APRIL 29, 2002, AS FILE FILE NO. 2002-1357776, O.R. EX. 40 LF OF 24" SRMPC @ 1.00% Q100=26.44 CFS V80=9.00 FPD

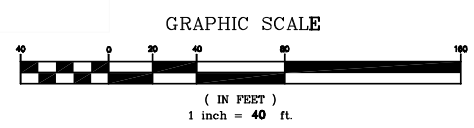
EX. 130 LF OF 24" SRMPC @ 1.0% Q100=26.44 CFS V80=9.00 FPD

EX. 130 LF OF 24" SRMPC @ 1.0% Q100=26.44 CFS V80=9.00 FPD

ALTA CONSULTANTS
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JOB NO. 184-120, DATED OCTOBER 22, 2019

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ALTACONSULTANTS@AOL.COM

Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 DATE 10/22/19



FOR GRADING SEE SHT. 9

ATTACHMENT 13

trh
I N C.

1350 COLUMBIA ST.
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APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

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SHEET TITLE / CONTENTS

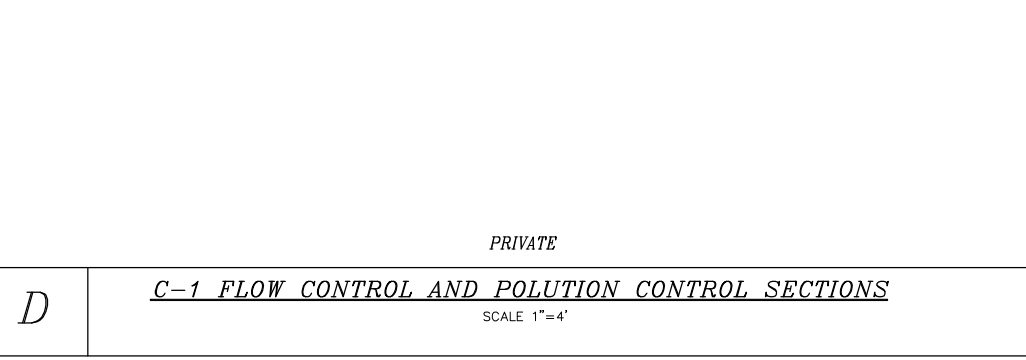
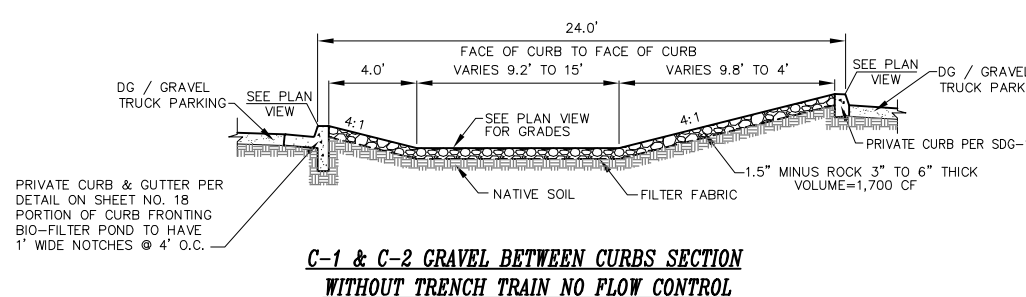
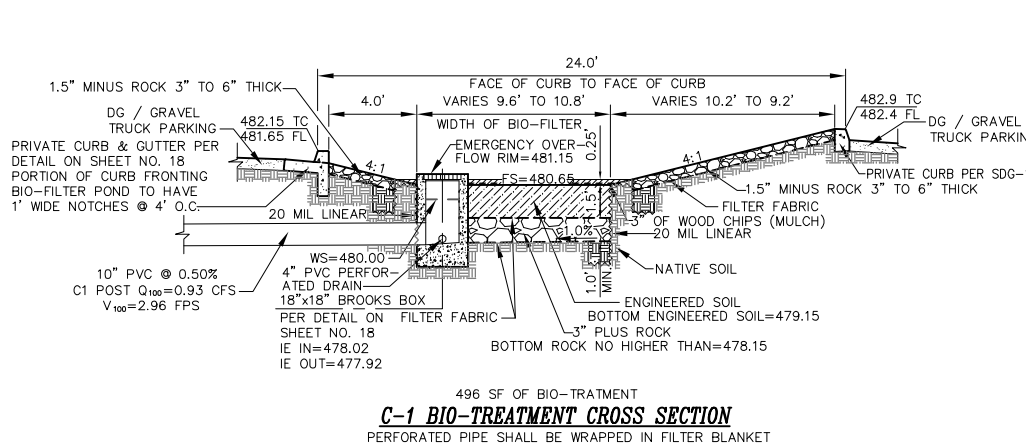
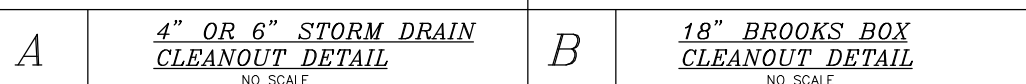
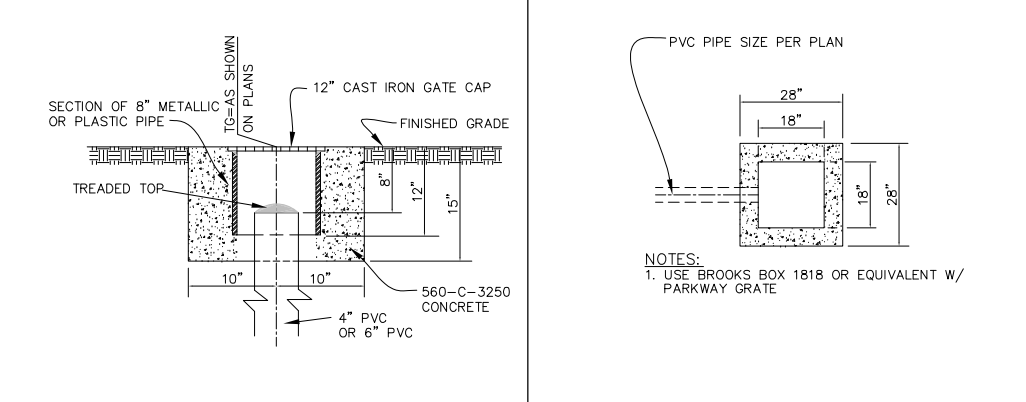
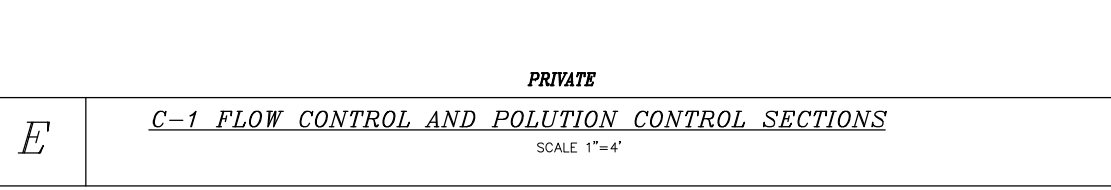
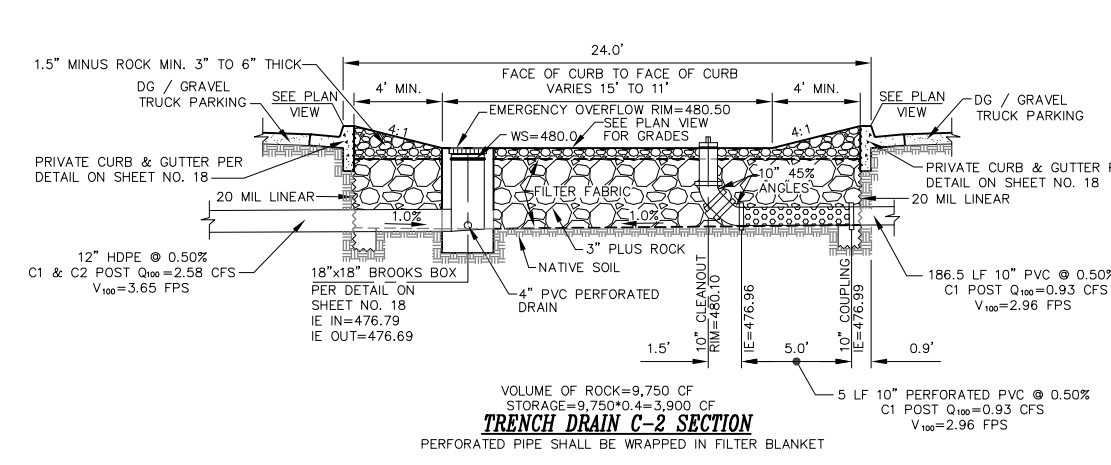
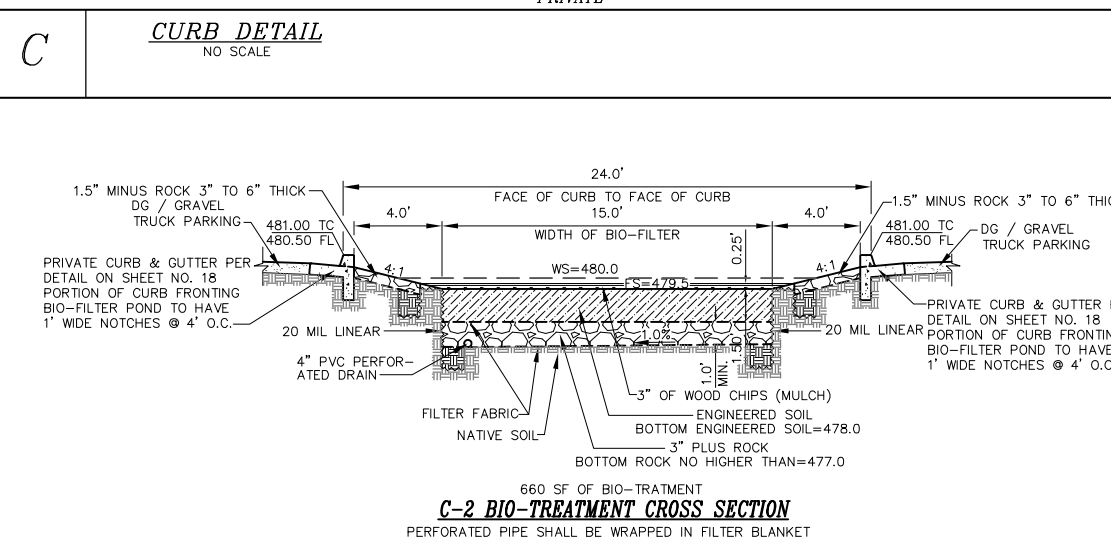
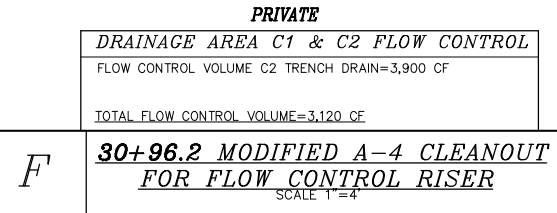
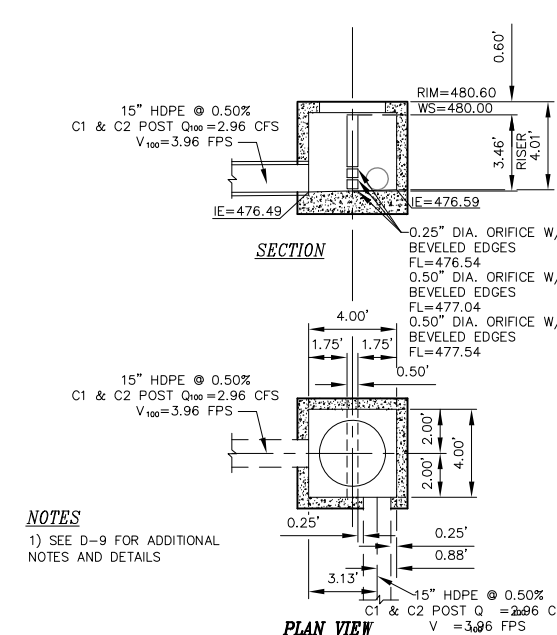
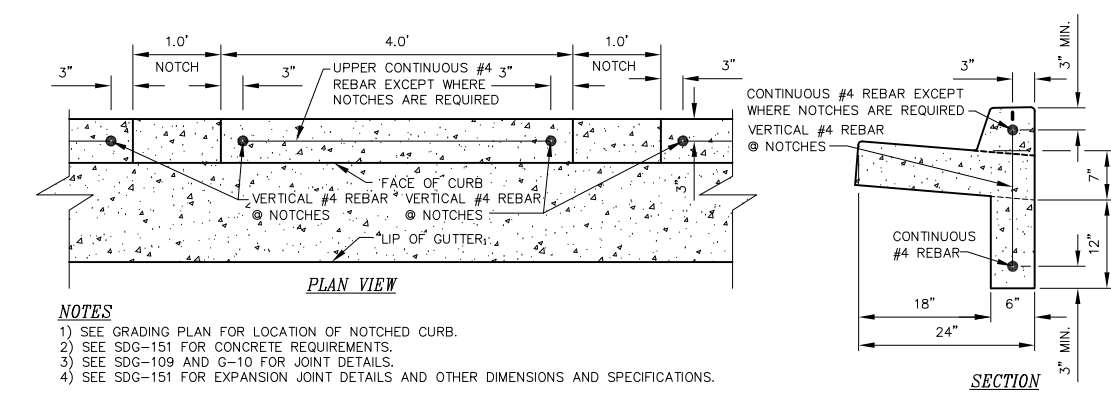
**STORM WATER
NOTES &
DETAILS
DRAINAGE
AREAS C1 & C2**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 43 OF: 46

GP-15

ATTACHMENT 13



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
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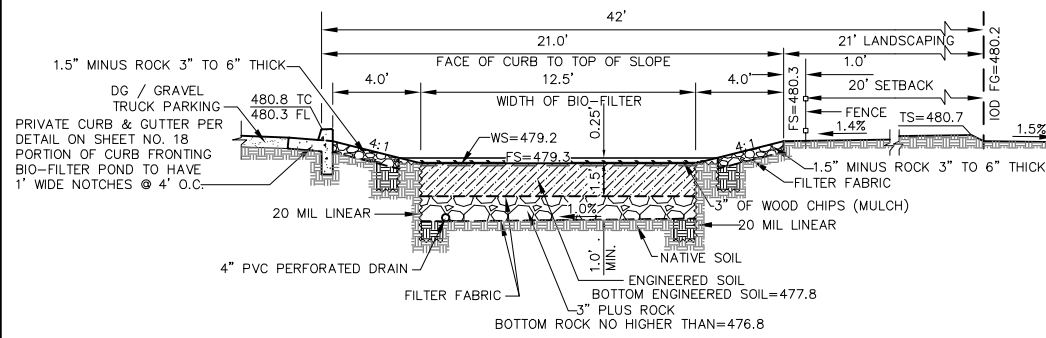
Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 DATE 10/22/19

RECORDED PROFESSIONAL ENGINEER
No. 38606
Exp. 3/31/21
CIVIL
STATE OF CALIFORNIA

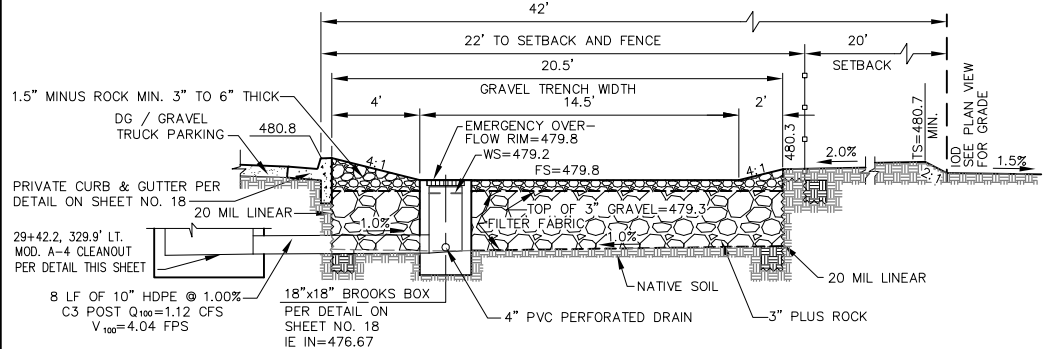
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INC.
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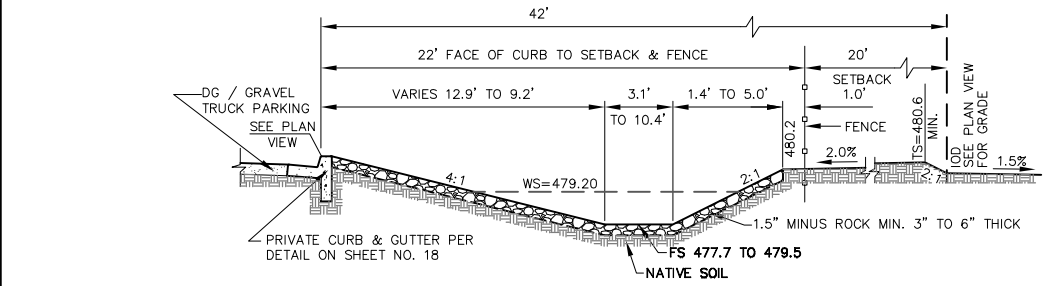
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C-3 BIO-TREATMENT CROSS SECTION
PERFORATED PIPE TO BE WRAPPED IN FILTER BLANKET

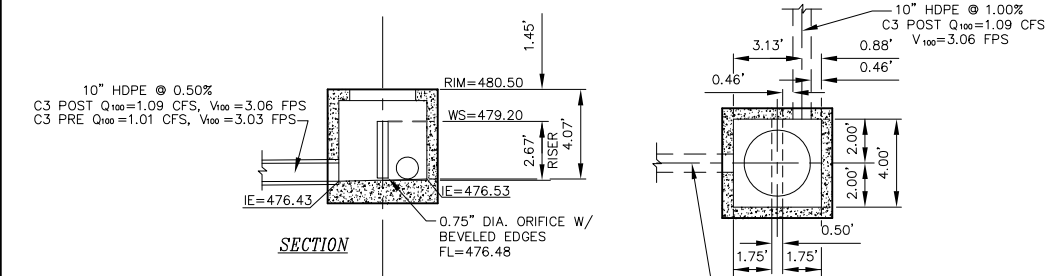


TRENCH DRAIN C-3 SECTION
PERFORATED PIPE TO BE WRAPPED IN FILTER BLANKET



C-3 BASIN 1 SECTION
PRIVATE

G C-3 FLOW CONTROL AND POLLUTION CONTROL SECTIONS
SCALE 1"=4'



SECTION

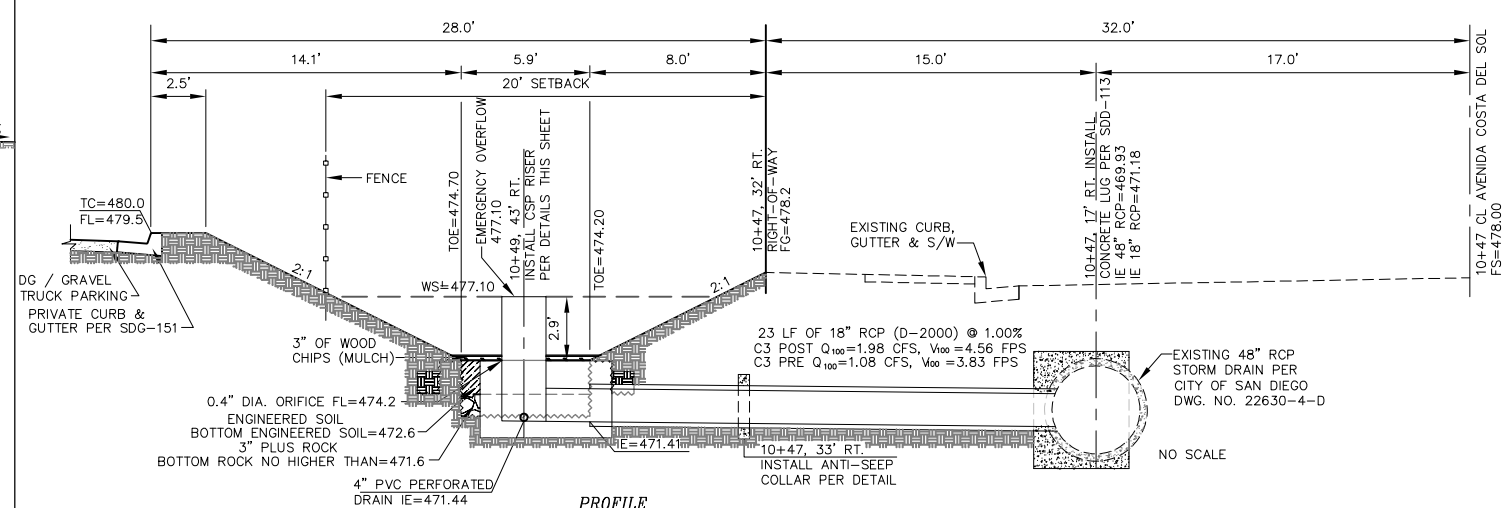
PLAN VIEW

NOTES
1) SEE D-9 FOR ADDITIONAL NOTES AND DETAILS

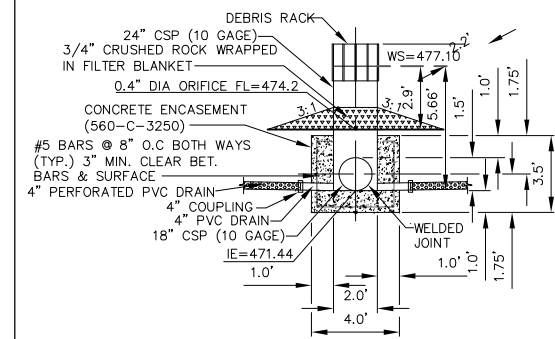
PRIVATE
DRAINAGE AREA C3 FLOW CONTROL
FLOW CONTROL VOLUME C3 BASIN 1=900 CF
TOTAL FLOW CONTROL VOLUME=900 CF

ALTA CONSULTANTS
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JOB NO. 184-120, DATED OCTOBER 22, 2019

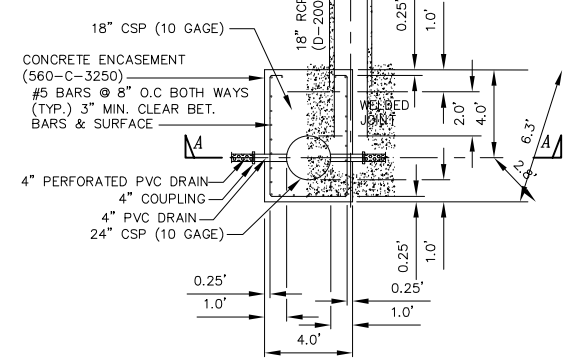
H 29+42.2 MODIFIED A-4 CLEANOUT FOR FLOW CONTROL RISER
SCALE 1"=4'



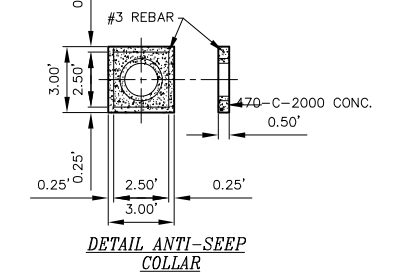
PROFILE
550 SF OF BIO-TREATMENT PERFORATED PIPE TO BE WRAPPED IN FILTER BLANKET



SECTION A-A



PLAN VIEW



DETAIL ANTI-SEEP COLLAR

BASIN #3 24" PVT. CSP RISER DETAILS

PRIVATE
DRAINAGE AREA F1 FLOW CONTROL
FLOW CONTROL VOLUME F1 BASIN 3=3,600 CF
TOTAL FLOW CONTROL VOLUME=3,600 CF

I F-1 FLOW CONTROL AND POLLUTION CONTROL SECTION WITH RISER DETAIL AND STORM DRAIN PROFILE
SCALE 1"=4'

ALTA CONSULTANTS
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Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 10/22/19 DATE

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

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<input checked="" type="checkbox"/> RESUBMITTAL 6	10/23/2019

SHEET TITLE / CONTENTS
STORM WATER NOTES & DETAILS DRAINAGE AREAS C3 & F1

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 44 OF: 46

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ATTACHMENT 13

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INC.

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APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
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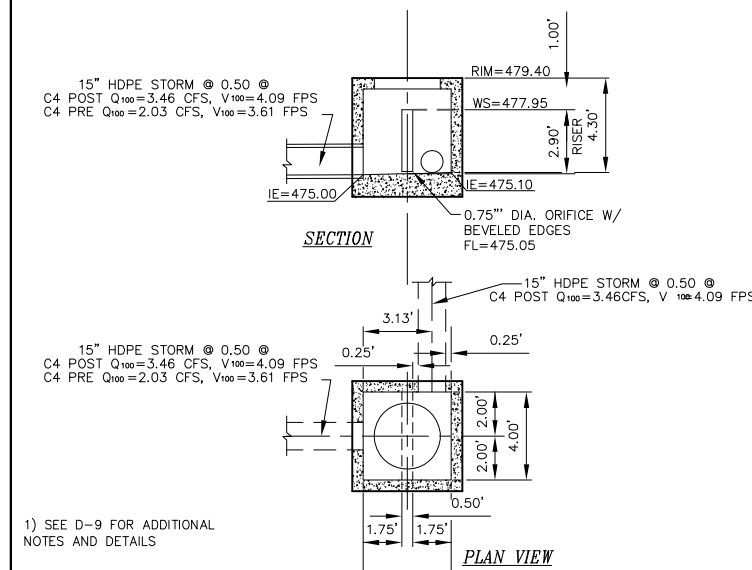
SHEET TITLE / CONTENTS
**STORM WATER
NOTES &
DETAILS
DRAINAGE AREA
C4**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

SHEET: 45 OF: 46

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ATTACHMENT 13



1) SEE D-9 FOR ADDITIONAL NOTES AND DETAILS

DRAINAGE AREA C1 FLOW CONTROL

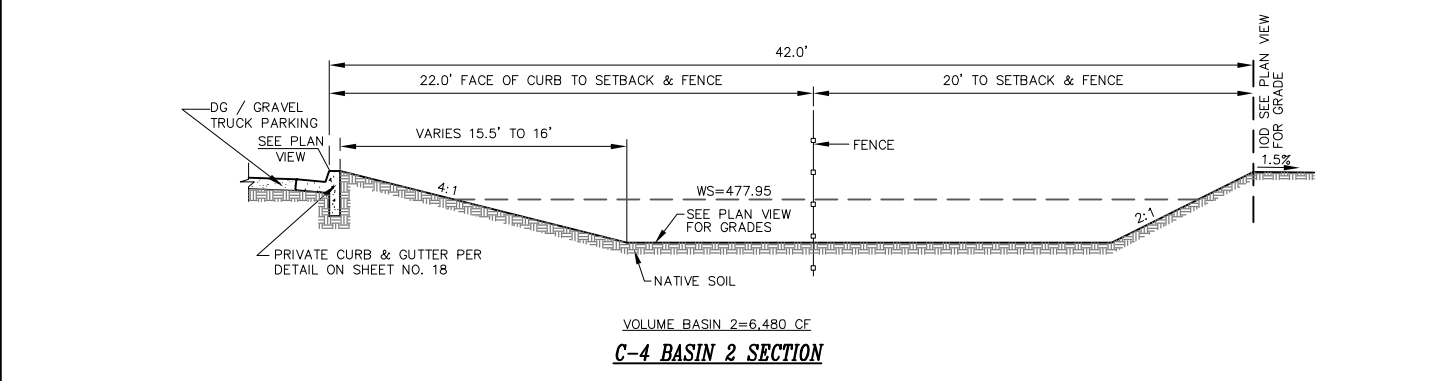
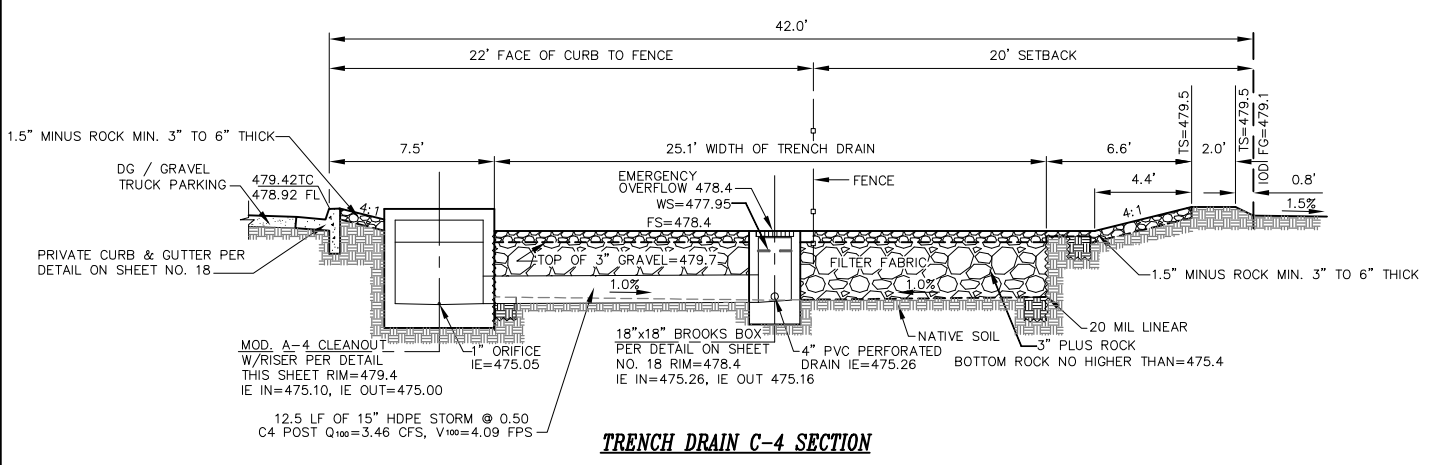
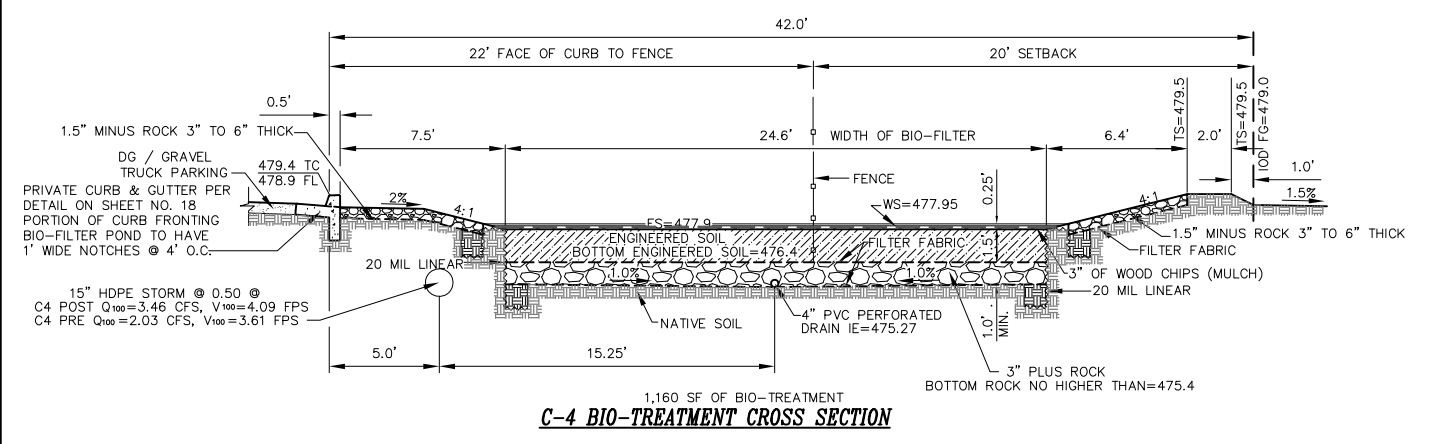
FLOW CONTROL VOLUME C4 BASIN 2=6,480 CF
TOTAL FLOW CONTROL VOLUME=6,480 CF

K C-1 FLOW CONTROL WITH RISER DETAIL
SCALE 1"=4'

ALTA CONSULTANTS
1283 E. MAIN STREET, SUITE 109, EL CAJON, CA 92021
COMPANY PHONE 619-749-8818
COMPANY FAX 619-749-8806
ALTACONSULTANTS@AOL.COM
Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21



10/22/19
DATE



ALTA CONSULTANTS
PLANNING ENGINEERING SURVEYING
1283 E. MAIN ST., Ste. 109, EL CAJON, CA 92021 Phone (619) 749-8818 Fax (619) 749-8813
JOB NO. 184-120, DATED OCTOBER 22, 2019

C-4 FLOW CONTROL AND POLLUTION CONTROL SECTIONS
SCALE 1"=4'

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trh
I N C.

1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089

APPLICANT:
Truck.Net LLC

5440 MOREHOUSE DR. #4000
SAN DIEGO, CA 92121

PROJECT:
**TRUCK.NET
CUP**

8490 AVENIDA DE LA FUENTE
SUITE 5
SAN DIEGO, CA 92154

REVISION	ITEM	DATE
△	-	-
△		
△		
△		
△		
△		

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEVEL.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	6/27/16
<input checked="" type="checkbox"/> FULL SUBMITTAL	7/20/16
<input checked="" type="checkbox"/> RESUBMITTAL 1	12/9/16
<input checked="" type="checkbox"/> RESUBMITTAL 2	4/27/17
<input checked="" type="checkbox"/> RESUBMITTAL 3	1/9/2018
<input checked="" type="checkbox"/> RESUBMITTAL 4	12/3/2018
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<input checked="" type="checkbox"/> RESUBMITTAL 6	10/23/2019

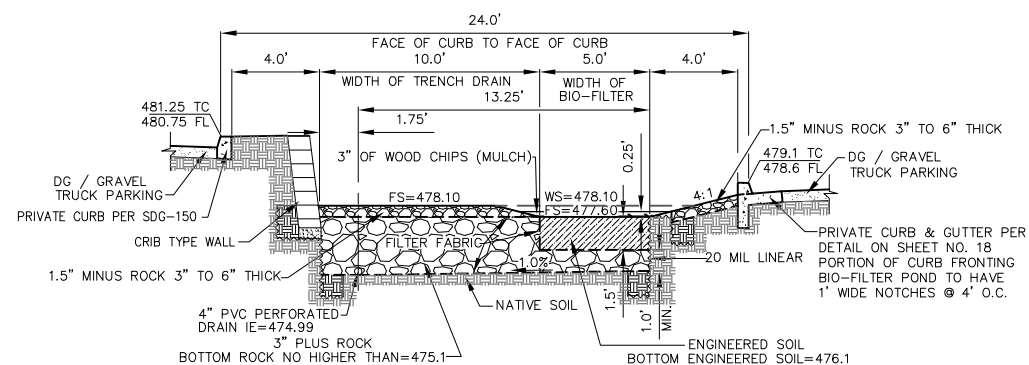
SHEET TITLE / CONTENTS
**STORM WATER
NOTES &
DETAILS
DRAINAGE AREA
C5**

TRH PROJECT#: 248-13-CUP
SCALE: AS NOTED
DRAWN BY: ALTA
ORIGINAL DATE: 1/4/2016
CHECKED BY:

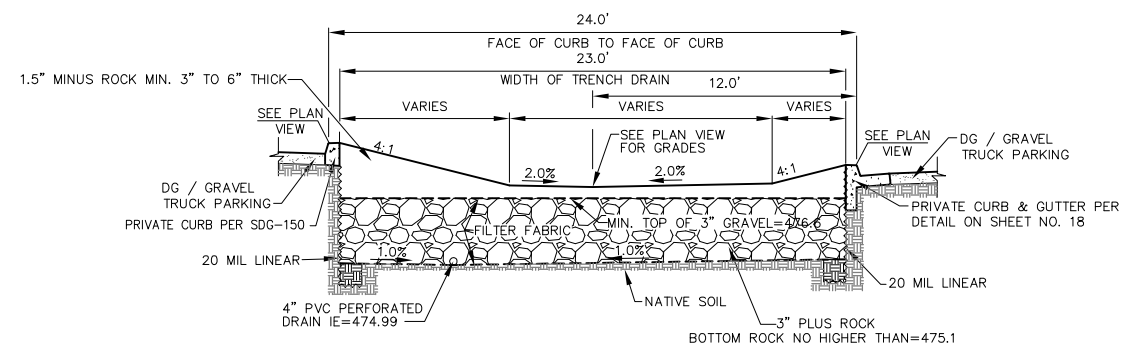
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GP-18

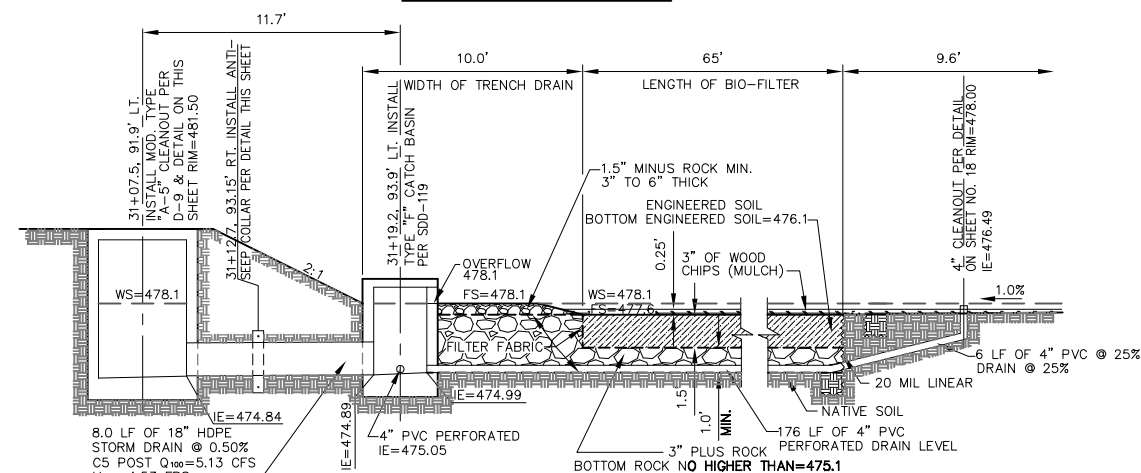
ATTACHMENT 13



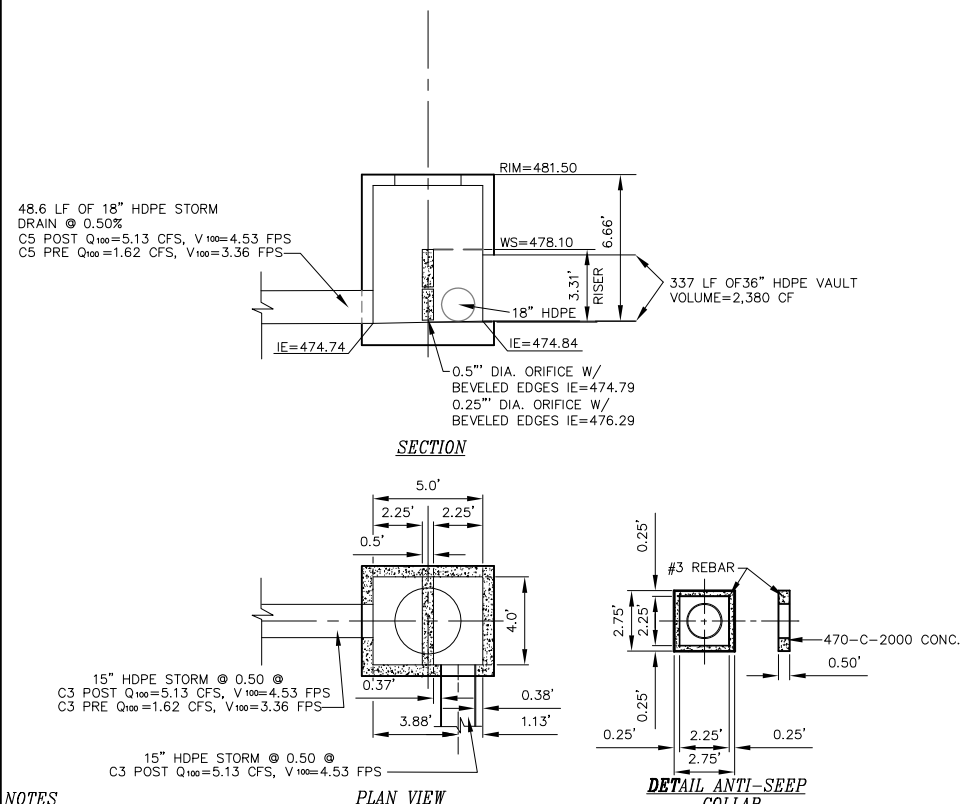
C-5 BIO-TREATMENT CROSS SECTION 1



TRENCH DRAIN C-5 SECTION



C-5 BIO-TREATMENT CROSS SECTION @ OVERFLOW



NOTES

1) SEE D-9 FOR ADDITIONAL NOTES AND DETAILS

DRAINAGE AREA C5 FLOW CONTROL

FLOW CONTROL VOLUME C5 GRAVEL TRENCH=4,880 CF
FLOW CONTROL VOLUME VAULT=2,380 CF

TOTAL FLOW CONTROL VOLUME=7,260 CF

K C-5 FLOW CONTROL SECTION WITH RISER DETAIL

SCALE 1"=4'

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Bartolome J. Pastor
BARTOLOME J. PASTOR R.C.E. NO.38606 EXP. 03-31-21 10/22/19 DATE

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JOB NO. 184-120, DATED OCTOBER 22, 2019

PRIVATE

J

**C-5 FLOW CONTROL AND POLLUTION
CONTROL SECTIONS**
SCALE 1"=4'

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