



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: August 13, 2020 REPORT NO. PC-20-047

HEARING DATE: August 20, 2020

SUBJECT: 1398 LIETA STREET. Process Four Decision

PROJECT NUMBER: [512890](#)

REFERENCE: [Historical Resources Board Report No. HRB 20-024; ITEM #6 - 1398 Lieta Street Project Site Development Permit, May 28, 2020](#)
[Historical Resources Board Report No. HRB 18-033; ITEM #7 - Aizo and Komume Sogo Farm, July 26, 2018](#)

OWNER/APPLICANT: Almeria Investments, LP, a California Domestic Limited Partnership

SUMMARY

Issues: Should the Planning Commission approve the demolition of an existing single dwelling unit and the construction of 13 dwelling units within two three-story buildings on a designated resource site located at 1398 Lieta Street (HRB Site #1305, the Aizo and Komume Sogo Farm) within the Clairemont Mesa Community Plan area?

Staff Recommendations:

1. ADOPT Mitigated Negative Declaration No. 512890 and ADOPT the Mitigation, Monitoring, and Reporting Program;
2. APPROVE Site Development Permit No. 1823446;
3. APPROVE Neighborhood Development Permit No. 2011943; and
4. APPROVE Tentative Map No. 2011944.

Community Planning Group Recommendation: On June 16, 2020, the Clairemont Community Planning Group voted 10-1-0 to recommend denial of the project, stating the following reasons: Not in keeping with the level of development on its single-family residential street. No viable guest parking (don't agree tandem and lifts will be utilized). Privacy issues for adjacent residential. Landscaping on south side inadequate. West slope needs to be landscaped; applicant stated willing to landscape if allowed by staff (Attachment 13).

Other Recommendations: On May 28, 2020, the Historical Resources Board (HRB) voted 10-0-0 to recommend to the Planning Commission adoption of the permit findings and mitigation measures associated with the Site Development Permit per staff's recommendation with the following additions: the decorative fence be managed in perpetuity; both mitigations (decorative fence and storyboard) will be publicly accessible; a representative from the Japanese Historical Society will be able to have an input at the Design Assistance Subcommittee; a qualified historian will participate in the development of the storyboard; and the location of the storyboard will be at the front facing east toward oncoming traffic (see the Historical Designation section below for discussion).

Environmental Review: A [Mitigated Negative Declaration, Project No. 512890](#), has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce impacts to below a level of significance for Historical Resources.

Fiscal Impact Statement: No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The Clairemont Mesa Community Plan designates the project site as Medium Density Residential (15-30 du/ac). The total site acreage is 0.615-acres and the site would allow between 9 and 19 dwelling units. The project proposes 13 multifamily dwelling units (21 du/ac) consistent with the density range of the land use designation. The proposed 13 multifamily dwelling units include 12 market-rate units, and one very low-income affordable housing unit. The affordable housing unit will be income-restricted to households with a combined annual gross income at or below 50 percent of the Area Median Income (AMI), subject to an affordable housing agreement with the San Diego Housing Commission (SDHC). As of 2018, there are 32,949 total housing units in Clairemont. Based on SDHC 2020 data, there are currently 852 affordable housing units within Clairemont Mesa (active deed-restricted affordable units).

BACKGROUND

The subject property is a 0.615-acre parcel located at 1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue), adjacent to the intersection of Lieta Street and Tonopah Avenue to the East and Morena Boulevard to the West. The site is located in the CC-4-5 and RS-1-7 zones within the Clairemont Mesa Community Plan area. The project site is also located in the Airport Influence Area (AIA) Review Area 2 for San Diego International Airport (SDIA), the Federal Aviation Administration (FAA) Part 77 Notification Area (SDIA - 155-foot MSL), the Clairemont Mesa Height Limit Overlay Zone, the Parking Standards Transit Priority Area, and the Transit Priority Area. The lot area zoned RS-1-7 is approximately 14,800 square feet and allows for one (1) dwelling unit. The lot area zoned CC-4-5 is approximately 12,000 square feet and allows for eight (8) dwelling units.

The subject property contains a single-family residence constructed in 1937 and garage constructed in 1956. The Minimal Traditional style house was originally located at the northwestern property boundary but was relocated in 1956 to the southwestern portion of the property. By 1938 the subject

property was owned and occupied by the family of Aizo and Komume Sogo who farmed the land and sold their crops at the hakujin market. In 1942, at the beginning World War II, the family was sent to the Colorado River Relocation Center (Poston War Relocation Center). They remained at this internment camp until 1945, after which time, they returned to the Lieta Street property.

In July 1953, Aizo and Komume Sogo were among the first of five Japanese-born individuals to become naturalized citizens of the United States in San Diego. Previously, natives of Japan, except for World War II veterans, were one of the nationalities barred from citizenship until the passage of the Immigration and Nationality Act of 1952 (aka the McCarran Walter Act). In February 1954, as citizens, the Sogos obtained ownership of the Lieta Street property. In 1962, the Sogos sold three acres of the land which had been zoned residential and commercial. Aizo died in 1974 and Komume, who remained at the property after his death, died in 1983.

The site was reviewed by the Historical Resources Board (HRB) and the site was designated as HRB Site #1305 on July 26, 2018 under HRB Criterion A as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. This designation did not include the structures located on the parcel.

The project site is surrounded by a three- and four-story, nine building multi-family complex to the north, one- and two-story single-family dwelling units to the east, and a slope adjacent to the south property line which the lower adjacent property contains commercial development. The sloped property along the western property line is within the City's public right-of-way for Morena Boulevard.

DISCUSSION

Project Description:

The project proposes the development of 13 townhome-type detached dwelling units on a 0.615-acre (26,800-square-foot) parcel. The project site is located within the Clairemont Mesa Community Plan and is dual zoned RS-1-7 and CC-4-5. The lot area zoned RS-1-7 is approximately 14,800 square feet and allows for one dwelling unit. The lot area zoned CC-4-5 is approximately 12,000 square feet and allows for eight dwelling units. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town home, and one would be retained for a very low-income affordable housing unit. Eleven dwelling units shall each have an attached two car garage, and Units No. 2 and 3 would include mechanical car lifts to allow for two parking spaces stacked vertically for a total of three spaces. In addition, each of the 13 detached dwelling units would include roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption. The project conforms to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program criteria by providing ten percent onsite affordable units and providing a roof-mounted photovoltaic system consistent with the requirements.

The proposed 13 detached dwelling units would consist of ten three-bedroom and three two-bedroom units as shown in Table 1, the project would construct a total of 34,265 square feet.

Table 1 Total Project Square Footage			
Unit No.	Bedroom Count	Square Footage of Product Type	Square Footage of Garage
1 and 2	3	2,642 (each)	389 (each)
3	3	2,543	389
4	3	2,623	352
5	2	1,695	500
6	2	1,751	428
7	2	1,480	500
8-13	3	2,284	373 (each)
TOTAL		29,080	5,185

The proposed development will extend Tonopah Avenue from its existing dead end at the intersection of Lieta Street and Tonopah Avenue into the subject property. Each dwelling unit contains enclosed parking of two parking spaces per unit. The construction of a “T-Intersection” at the center of the subject property along with the installation of a new fire hydrant will allow for both pedestrian vehicles and emergency vehicles to safely access each unit from within the subject property. This center intersection would allow for access for emergency vehicles and trash/utility services as well as to allow for pedestrian vehicles to safely turnaround and exit the property.

The organization of separated, low-lying buildings as opposed to a single multi-family structure keeps the project consistent with the surrounding low-lying single-family nature of the adjacent neighborhood to the east. The structures would be under the 30-foot height restriction of the Clairemont Mesa Height Limit requirement, and sited on the northern portion of the parcel to ensuring that neighbors will have view access from and along Tonopah Avenue to the San Diego Bay to the west and downtown San Diego to the south.

Discretionary Actions:

The project development requires the following discretionary actions:

- Site Development Permit (SDP) - for development on a designated historical site.
- Neighborhood Development Permit (NDP) - for deviations to the development regulations for an Affordable Housing and Sustainable Buildings project, and for tandem parking for the residential development.
- Tentative Map (TM) - for a residential condominium development.

Community Plan Analysis:

The proposed project is consistent with the General Plan and Community Plan. The Clairemont Mesa Community Plan designates the 0.615-acre site as Medium Residential, allowing 15-30 du/ac. The proposed project's 13 townhome-type dwelling units, which includes one very low-income affordable dwelling unit, would implement the land use designation and meet Citywide goals for providing affordable housing opportunities on site.

The proposed project site is within the Clairemont Mesa Height Limit Overlay Zone 30 feet height limit. The height limit is intended to maintain the low-scale character of development in the community and to preserve public views of Mission Bay and the Pacific Ocean from western Clairemont. The proposed project's height of 30 feet would not exceed the limit established by the Overlay Zone and would not adversely affect public views.

The General Plan Urban Design Element Policy UD-A.5 states that building design should contribute to a positive neighborhood character and relate to neighborhood and community context. Building design is encouraged to be sensitive to the scale, form, rhythm, proportions, and materials in proximity to commercial areas and residential neighborhoods. The proposed project's 3-story townhome design is consistent in scale with the adjacent 3-story multifamily apartment complex to the north and the recently approved 3-story Morena Apartment Homes project ([Project No. 526167, Item 334, approved by City Council on January 8, 2019](#)) to the southwest of the project site, which is currently under construction. General Plan Urban Design Element Policy UD-A.5 also directs buildings to have architectural interest and offsetting planes to provide visual interest (page UD-10). The proposed project incorporates balconies, and variation in materials and colors to articulate the buildings and add visual interest along the project frontage.

The General Plan Mobility Element Policy ME-A.2 promotes safety and accessibility by directing the design and implementation of safe pedestrian routes (page ME-8). The proposed site design incorporates pedestrian paths along Tonopah Avenue that would connect pedestrians to the building entrances of each residence.

The proposed project site is adjacent to Morena Boulevard and is located just east of I-5. As a result, the proposed project would be exposed to noise levels potentially exceeding the exterior noise compatibility thresholds for residential uses. The General Plan Noise Element identifies construction techniques including sound-rated windows, door and wall construction materials and insulation as techniques to insulate the noise receiver and abate noise high noise levels (page NE -20). The Community Plan's Noise Sources section of the Transportation Element identifies architectural design features that can reduce high noise levels, including insulation of windows, acoustical walls, and dense building materials. The proposed project would incorporate noise attenuation measures including dense materials for walls and doors, and insulation of windows to ensure interior noise levels in residences do not exceed General Plan standards.

Historical Designation:

As stated above, the project site was reviewed by the HRB and the site was designated as HRB Site #1305 on July 26, 2018 under HRB Criterion A as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. This designation did not include the structures located on the parcel.

The City's [San Diego Municipal Code \(SDMC\) Section 126.0504\(b\)\(2\)](#) requires a recommendation from the HRB prior to the Planning Commission decision on an SDP when a historical district or designated historical resource is present. The HRB has adopted the following procedure for making recommendations to decision-makers ([Historical Resources Board Procedures, Section II.D](#)):

When the Historical Resources Board is taking action on a recommendation to a decision-maker, the Board shall make a recommendation on only those aspects of the matter that relate to the historical aspects of the project. The Board's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the Site Development Permit findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the Board desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

The project proposes a substantial alteration of the Aizo and Komume Sogo Farm (HRB Site #1305), by the demolition of all structures on the site and construction of 13 new three-story dwelling units. Although the structures on site were not included in the designation, the redevelopment of the site and the use of the site for anything other than its historic use will adversely impact the context of the site through alteration of the setting, feeling and association. Therefore, the proposed demolition and redevelopment of the designated site is by definition a substantial alteration requiring an SDP, consistent with [SDMC Section 143.0251](#). Impacts related to the proposed demolition would be reduced through implementation of the required mitigation measures found in the Mitigated Negative Declaration No. 512890. Findings for the substantial alteration of a designated historical resource are required for approval of the permit, consistent with [SDMC Section 126.0504\(i\)](#) and have been included within the SDP/NDP Resolution (Attachment 6).

The applicant evaluated three different alternatives, including the proposed project, in an Economic Alternative Analysis conducted by London Moeder Advisors (Attachment 11) which found only the base project economically viable. Alternative 1 analyzed restoration of the property to its historic use by rehabilitating the existing residence and returning the remaining land to a dormant state because an agricultural use would not be allowed by the current zoning regulations. This alternative was not found to be economically feasible because the cost of the land is more than the anticipated sale price of the single-family home. Alternative 2 analyzed the demolition of the existing residence and the construction of three new single-family homes. This scenario provided a less dense development alternative that would reduce the impact to the historic resource. This alternative was also found to

be economically infeasible because the purchase price of the land as well as the cost to construct the three new residences was more than the combined anticipated sale prices of the units. A peer review conducted by the City of San Diego's Economic Development Department confirmed the results of the London Moeder study (Attachment 12).

While the use of this site for any other purpose other than its historic use will result in a loss of historic context; the proposed project will mitigate this impact to the historic setting, feeling and association of the site. Historical Resource mitigation measures have been developed and included within the project's Final Mitigated Negative Declaration No. 512890 – conditioning issuance of building permits upon prior submittal of a plan showing the design and location of both an interpretive story board and an etched glass panel fence and conditioning any Certificate of Occupancy upon prior installation of the approved story board to preserve the history of the site in the public realm. The story board will be placed at the entrance of the property at the western terminus of Tonopah Street and will use the story of the Sogo family and their farm to provide information about the Issei/Japanese-American agricultural practices specific to the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities during this time period. The etched panel fence will be located on the edge of the property above the highly trafficked Morena Boulevard and will use illustrations of row crops, historically grown in the Mission Bay area by the Japanese farmers, to depict the history of the resource.

On May 28, 2020, the HRB voted 10-0-0 to recommend to the Planning Commission adopt the permit findings and mitigation measures associated with the SDP per staff's recommendation with the following additions: the decorative fence be managed in perpetuity; both mitigations (decorative fence and storyboard) will be publicly accessible; a representative from the Japanese Historical Society will be able to have an input at the Design Assistance Subcommittee; a qualified historian will participate in the development of the storyboard; and the location of the storyboard will be at the front facing east toward oncoming traffic.

The applicant agreed to all of the additional revisions as discussed and made part of the motion prior to the HRB vote. However, the applicant later realized that agreeing to both the decorative fence and storyboard to be publicly accessible would require a public access easement to be recorded on and through the property following the ADA path of travel identified on the plans. A public access easement is the own way to assure the public would have access to the decorative fence and storyboard from the property and not be classified or cited as trespassing on private property.

The original intent of the decorative fence along the western property line is to represent the historical agricultural use of the property as seen from the public right-of-way along Morena Boulevard and the I-5, not for the public to have access from the property. In addition, the original intent of the storyboard was to provide the historical aspects of the property as you enter the property. Based on the original intent and to meet the objectives of the HRB recommendation for approval, the applicant revised the plans as follow:

1. The three-20-foot x 48-inch high decorative fences were reconfigured along the western property line to make them a prominent feature as viewed from the public right-of-way along Morena Boulevard (see Attachment 13, Exhibit A- Sheet A1.01). In addition, the landscape and

planters were reconfigured to not block the decorative fencing or create shadows onto or behind the panels. This change does not include a public access easement on the property for the decorative fencing.

2. The location size of the storyboard has been revised to four feet high x 15 feet wide mounted on posts in front of existing fence along the entrance to the property from the extend Tonopah Avenue (see Attachment 13, Exhibit A- Sheet A1.01). This change does include a four-foot six-inch x 61-foot long public access easement to be recorded on-site, located at the terminus of Tonopah Avenue and along the front of the storyboard to allow the public access to the storyboard.

City staff has reviewed and determined that the above revisions to the plans meets the original intent of the mitigation measures and have been included in the SDP/NDP Permit Conditions (Attachment 7).

Project-Related Issues:

Incentives and Deviations to the SDMC - The project is requesting two incentives for side setback and floor area ratio (FAR), and three deviations for side setback in the CC-4-5 zone, angled building envelope plane requirements, and to remove the commercial component required for the CC-4-5 zone. The details of the incentives and deviations are as follows:

Incentive No. 1- A development incentive to [SDMC Table 131-04D](#) to reduce the side setback requirements of the RS-1-7 zone from eight feet to five feet. This ensures that each unit is provided with a minimum of two parking spaces within individual garages (two will have car lifts that will have three parking spaces).

Incentive No. 2- A development incentive to [SDMC Section 131.0446\(a\)](#), [Table 131-04j](#) and to [SDMC Table 131-05E](#) to increase the allowed FAR of the combined zones of the property from 31,400 square feet to 34,265 square feet, an increase of approximately nine percent.

Deviation No. 1- A deviation request to [SDMC Section 131.0543\(b\)](#) to allow for a five-foot side setback along the northern property line in the CC-4-5 portion of the property, where a minimum 10-foot side setback or the option for no side setbacks are required. This deviation provides relief for adjacent residential units along the property line as well as keeps the proposed dwelling units in the CC-4-5 portion of the property consistent with the location of the dwelling units in the RS-1-7 portion of the zone with the requested reduced side setback development incentive being requested (see Incentive No. 1 above).

Deviation No. 2- A deviation request to [SDMC Section 131.0444\(c\)](#) to remove the angled building envelope plane requirement along the reduced side setback line in the RS-1-7 zone as outlined in Incentive No. 1 above. This deviation is necessary to incorporate an Affordable Housing Density Bonus of four dwelling units, which is consistent with the land use designation and density with additional density allowed under the Affordable Housing Density Bonus provision in SDMC Chapter 14, Article 3, Division 7.

Deviation No. 3- A deviation request to [SDMC Section 131.0540\(b\)](#) to remove the commercial component requirement in the CC-4-5 zone. A commercial component doesn't fit with the residential nature of the surrounding neighborhood and would require consumers of the commercial component to enter via a residential neighborhood to the east or navigate up a 20-foot steep slope from Morena Boulevard. The subject property sits approximately 20 feet above Morena Boulevard, separated by a steep hillside in the public right of way.

Each of the requested incentives and deviations has been reviewed as they relate to the proposed design and use of the proposed project, the site layout, and the impact on the surrounding neighborhood. The requested incentives and deviations are appropriate and will result in a better project that efficiently utilizes the subject property while meeting the purpose and intent of the Clairemont Mesa Community Plan and will respect the surrounding single-family and multi-family neighborhood. Other than the requested deviations, and the incentives allowed per the requirements of the San Diego Affordable Housing Density Bonus Program, the proposed project meets all applicable regulations and policy documents and is consistent with the recommended land use and development standards in effect for the subject property per the SDMC.

Conclusion:

While the use of this site for purposes other than its historic farm use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site through the incorporation of a historic interpretive storyboard on site that will detail the history and significance of the Aizo and Komume Sogo Farm for the benefit of the public and decorative fencing that will be placed above the slope on Morena Boulevard that will depict the property's historic use as a farm as it relates to the designation. With the approval of the requested incentives and deviations, the proposed Project meets all applicable regulations and policy documents, and staff finds the Project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Clairemont Mesa Community Plan, SDMC, and the General Plan. In addition, the Project would further the City's affordable housing goals by developing one affordable housing units on-site. Therefore, staff recommends that the Planning Commission approve the project.

ALTERNATIVES

1. ADOPT Mitigated Negative Declaration No. 512890 and ADOPT the Mitigation, Monitoring, and Reporting Program; and APPROVE Site Development Permit No. 1823446, Neighborhood Development Permit No. 2011943, and Tentative Map No. 2011944, with modifications.
2. DO NOT ADOPT Mitigated Negative Declaration No. 512890 and DO NOT ADOPT the Mitigation, Monitoring, and Reporting Program; and DENY Site Development Permit No. 1823446, Neighborhood Development Permit No. 2011943, and Tentative Map No. 2011944, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



for

PJ FitzGerald
Assistant Deputy Director
Development Services Department

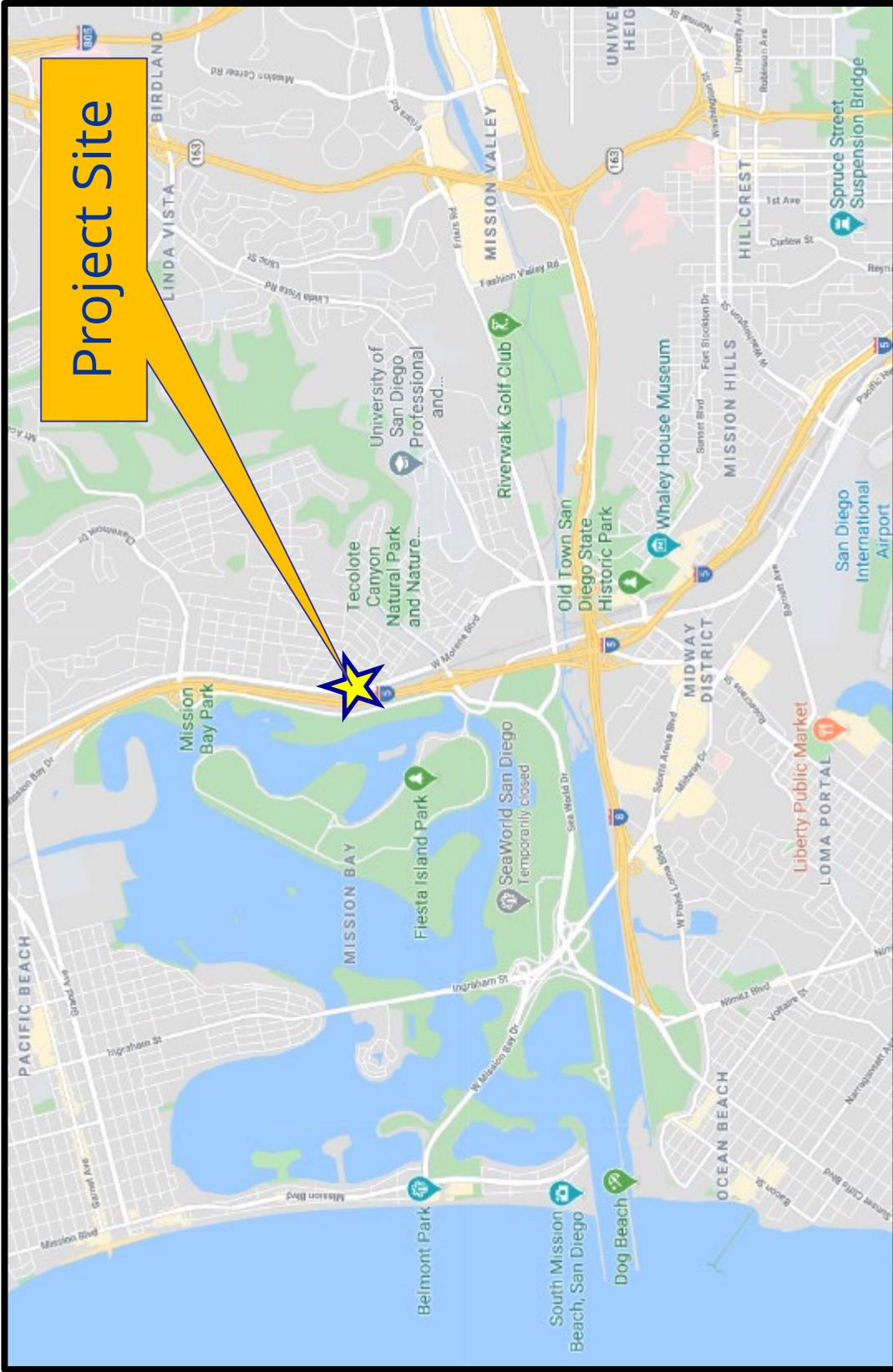


Jeffrey A. Peterson
Development Project Manager
Development Services Department

FITZGERALD/JAP

Attachments:

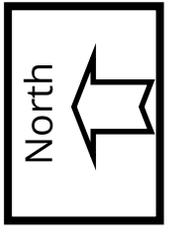
1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Site Photographs
6. Draft SDP/NDP Resolution
7. Draft SDP/NDP with Conditions
8. Draft TM Resolution
9. Draft TM Conditions
10. Draft Environmental Resolution with MMRP
11. Economic Alternative Analysis conducted by London Moeder Advisors
12. City of San Diego's Economic Development Department Memo
13. Community Planning Group Recommendation
14. Ownership Disclosure Statement
15. Project Plans

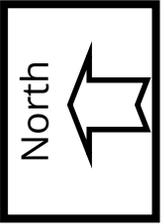


Location Map

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





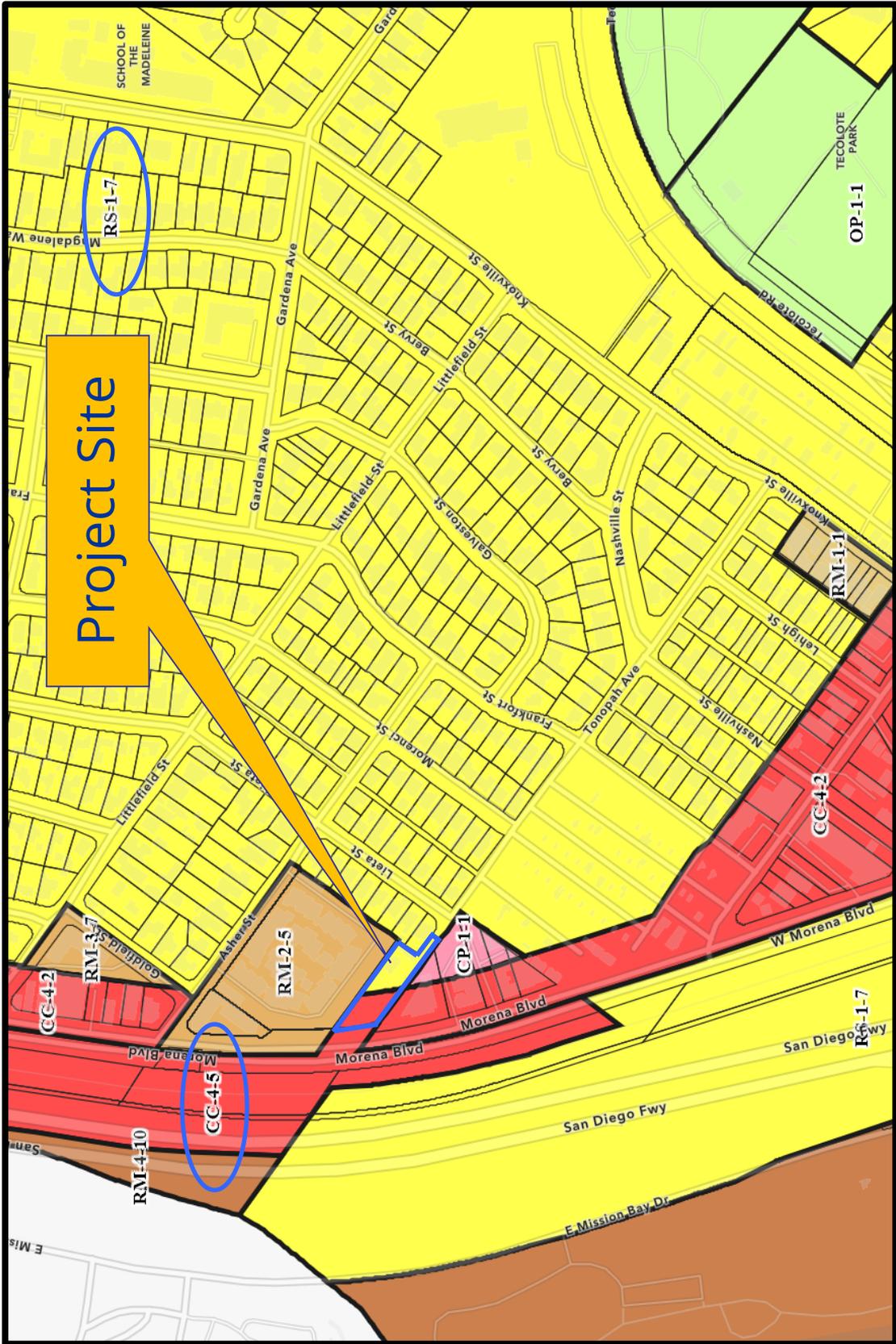
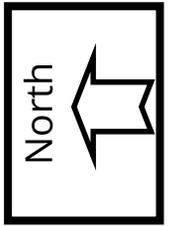
Project Site

Aerial Photograph

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





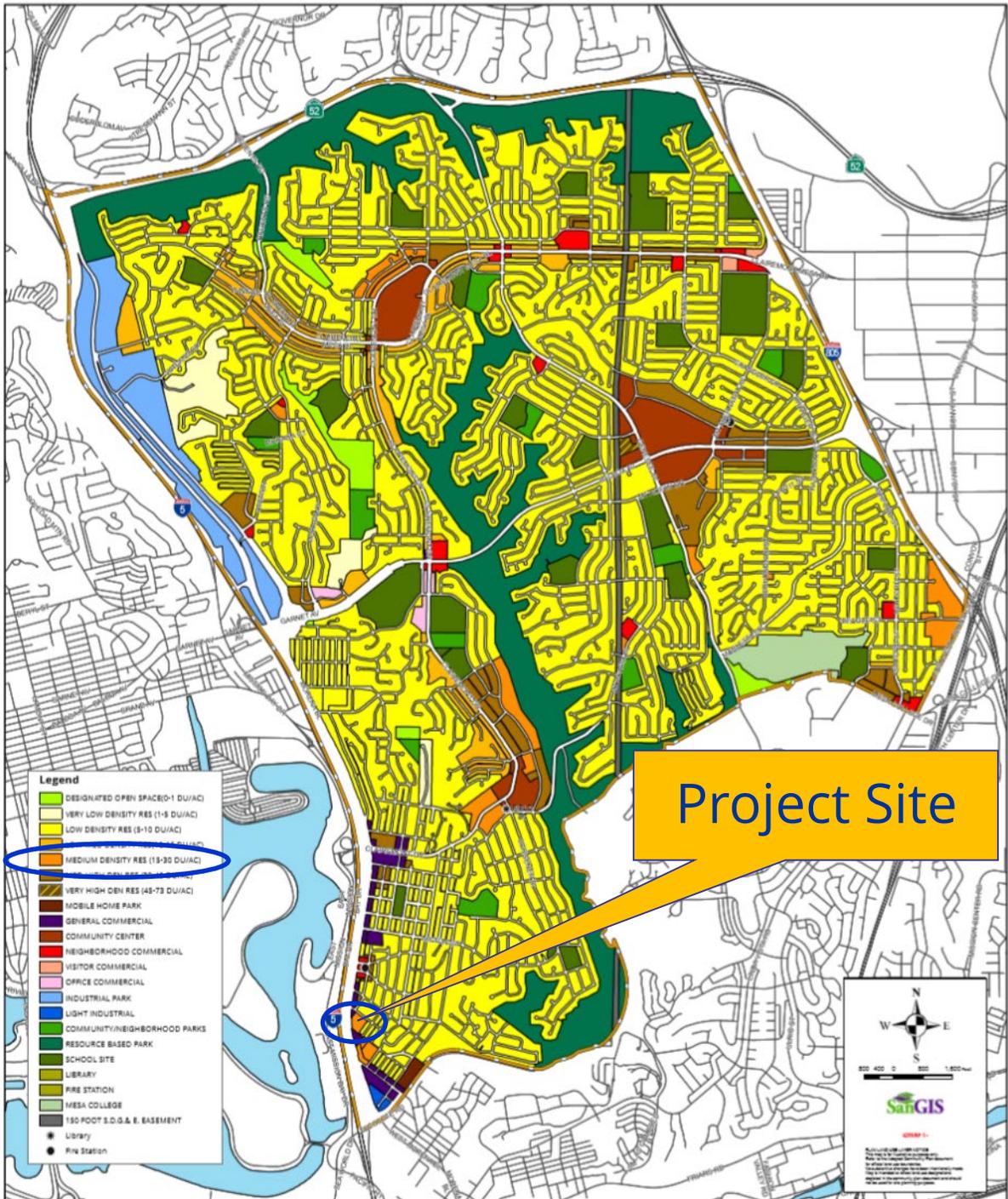
Zoning Map (RS-1-7 and CC-4-5 Zones)

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)



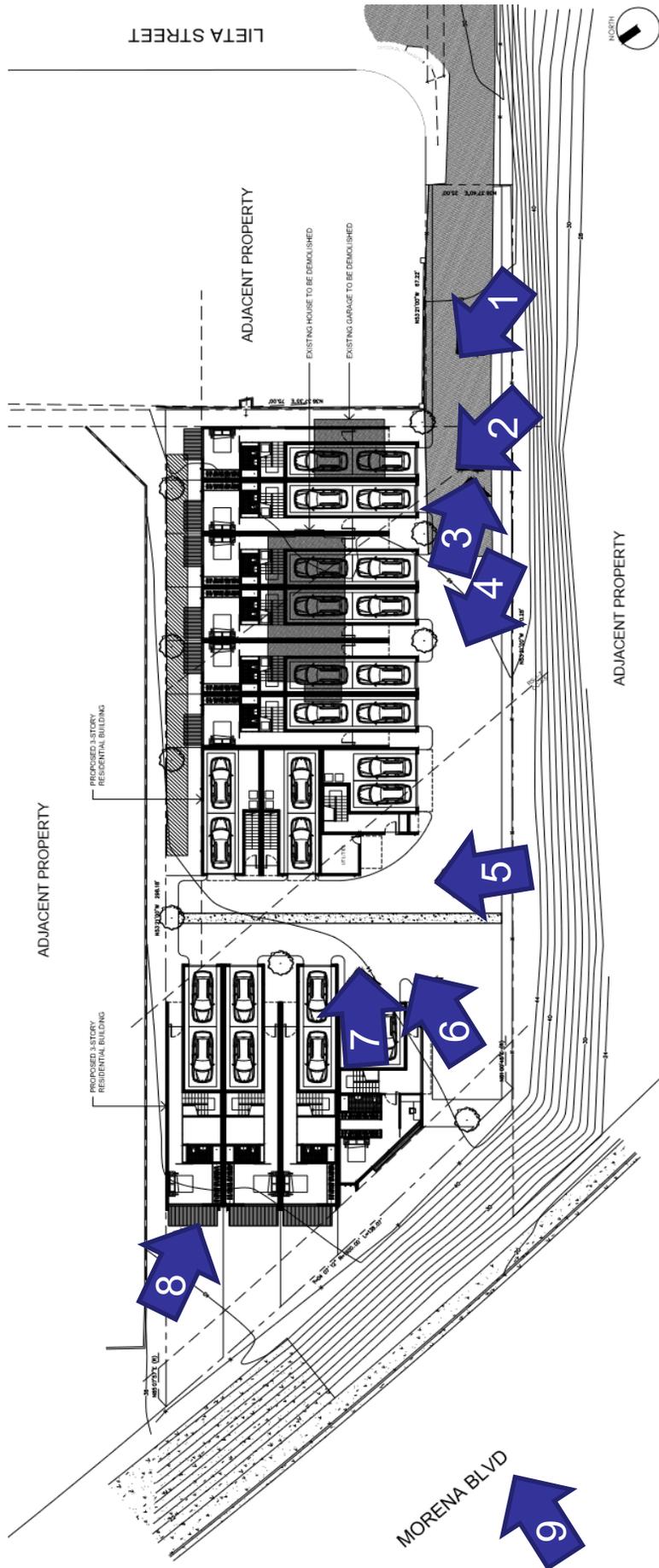
Clairemont Mesa Community Plan Land Use



Community Plan Land Use Map

1398 Lieta Street-Project 512890
1398 Lieta Street





Site Photographic Survey-Location Map

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 1

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 2

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 3

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 4

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 5

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 6

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 7

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)





Site Photographic Survey-Photo # 8

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)



Project Site



Site Photographic Survey-Photo # 9

1398 Lieta Street-Project 512890

1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue)



PLANNING COMMISSION RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT NO. 1823446
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2011943
1398 LIETA STREET -PROJECT NO. 512890 [MMRP]

WHEREAS, ALMERIA INVESTMENTS, LP, a California Domestic Limited Partnership, Owner and Permittee, filed an application with the City of San Diego for a permit for the demolition of an existing single dwelling unit and the construction of 13 townhome-type detached dwelling units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1823446 and 2011943), on portions of a 0.615-acre site;

WHEREAS, the project site is located at 1398 Lieta Street (new address: 4200 Tonopah Avenue) in the CC-4-5 and RS-1-7 Zones within the Clairemont Mesa Community Plan area. The project site is also located in the Airport Influence Area (AIA) Review Area 2 for San Diego International Airport (SDIA), the Federal Aviation Administration (FAA) Part 77 Notification Area (SDIA - 155-feet MSL), and the Clairemont Mesa Height Limit Overlay Zone;

WHEREAS, the project site is legally described as: the southwesterly 100 feet of all that portion of Lot 5 of pueblo lot 225 according to referee's partition map files in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., Case No. 3475 filed in the Superior Court of the County of San Diego, lying southwest the centerline of Asher Street, as said street existed on January 21, 1944. Excepting therefrom the following parcels: A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway. B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 6029, Page 122 of official records. C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 17 of first addition to Asher's cloverleaf terrace, according to Map thereof No. 1666, filed in the Office of the County Recorder of San Diego County, and the

northeasterly prolongation of said southeasterly line, and lying northeasterly of the northwesterly prolongation of the southwest line of Lot 17 in Block 17 of said First Addition to Asher's cloverleaf terrace. D. That portion lying within Lahoud Terrace, according to Map thereof No. 3134, filed in the Office of the County Recorder of San Diego County, October 4, 1954;

WHEREAS, on August 20, 2020, the Planning Commission of the City of San Diego considered Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943:

A. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404]

1. Findings for all Neighborhood Development Permits [SDMC Section 126.0404(a)]:

a. The proposed development will not adversely affect the applicable land use plan.

The subject property is a 0.615-acre parcel located at 1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue), adjacent to the intersection of Lieta Street and Tonopah Avenue to the East and Morena Boulevard to the West. The site is located in the CC-4-5 and RS-1-7 zones within the Clairemont Mesa Community Plan area. The lot area zoned RS-1-7 is approximately 14,800 square feet and allows for one (1) dwelling unit. The lot area zoned CC-4-5 is approximately 12,000 square feet and allows for eight (8) dwelling units.

The subject property contains a single-family residence constructed in 1937 and garage constructed in 1956. The Minimal Traditional style house was originally located at the northwestern property boundary but was relocated in 1956 to the southwestern portion of the property. By 1938 the subject property was owned and occupied by the family of Aizo and Komume Sogo who farmed the land and sold their crops at the hakujin market. In 1942, at the beginning World War II, the family was sent to the Colorado River Relocation Center (Poston War Relocation Center). They remained at this internment camp until 1945, after which time, they returned to the Lieta Street property.

In July 1953, Aizo and Komume Sogo were among the first of five Japanese-born individuals to become naturalized citizens of the United States in San Diego. Previously, natives of Japan, except for World War II veterans, were one of the nationalities barred from citizenship until the passage of the Immigration and Nationality Act of 1952 (aka the McCarran Walter Act). In February 1954, as citizens, the Sogos obtained ownership of the Lieta Street property. In 1962, the Sogos sold three acres of the land which had been zoned residential and commercial. Aizo died in 1974 and Komume, who remained at the property after his death, died in 1983.

The site was reviewed by the Historical Resources Board (HRB) and the site was designated as HRB Site #1305 on July 26, 2018 under HRB Criterion A as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. This designation did not include the structures located on the parcel.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit.

The Clairemont Mesa Community Plan designates the project site Medium Density Residential, 15-30 dwelling units per acre (du/ac). The total site acreage is 0.615-acres and would allow between 9 and 19 dwelling units. The project proposes 13 detached dwelling units consistent with the density range of the land use designation. The General Plan Urban Design Element states that building design should contribute to a positive neighborhood character and relate to neighborhood and community context. Building design is encouraged to be sensitive to the scale, form, rhythm, proportions, and materials in proximity to commercial areas and residential neighborhoods. The proposed project's three-story townhome-type design is consistent in scale with the adjacent three- and four-story multifamily apartment complex to the north and the recently approved three-story Morena Apartment Homes project to the southwest of the project site, which is currently under construction. The proposed project incorporates variation in material and color to articulate the buildings and add visual interest along the project frontage.

The proposed project site is adjacent to Morena Boulevard and is located just east of I-5. The proposed project would incorporate noise attenuation measures including dense materials for walls and doors, and insulation of windows to ensure interior noise levels in residences do not exceed General Plan standards.

While the use of this site for purposes other than its historic farm use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site through the incorporation of a historic

interpretive storyboard on site that will detail the history and significance of the Aizo and Komume Sogo Farm for the benefit of the public and decorative fencing that will be placed above the slope on Morena Boulevard that will depict the property's historic use as a farm as it relates to the designation. Therefore, for these reasons, the development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit. Eleven dwelling units shall each have an attached two car garage, and Units No. 2 and 3 would include mechanical car lifts to allow for two parking spaces stacked vertically for a total of three spaces. In addition, each of the 13 detached dwelling units would include roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption. The project conforms to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program criteria by providing ten percent onsite affordable units and providing a roof-mounted photovoltaic system consistent with the requirements.

A Mitigated Negative Declaration, Project No. 512890, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce impacts to below a level of significance for Historical Resources.

The permit for the Project includes various conditions and referenced exhibits of approval relevant to achieving compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this Project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The Project will comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943, and other regulations and guidelines pertaining to the subject property per the SDMC for the site. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit. Eleven dwelling units shall each have an attached two car garage, and Units No. 2 and 3 would include mechanical car lifts to allow for two parking spaces stacked vertically for a total of three spaces. The parking regulations require 28 total parking spaces, and the proposed development provides 28 total parking spaces.

The proposed development will extend Tonopah Avenue from its existing dead end at the intersection of Lieta Street and Tonopah Avenue into the subject property. Each dwelling unit contains enclosed parking of two parking spaces per unit. The construction of a "T-Intersection" at the center of the subject property along with the installation of a new fire hydrant will allow for both pedestrian vehicles and emergency vehicles to safely access each unit from within the subject property. This center intersection would allow for access for emergency vehicles and trash/utility services as well as to allow for pedestrian vehicles to safely turnaround and exit the property.

The organization of separated, low-lying buildings as opposed to a single multi-family structure keeps the project consistent with the surrounding low-lying single-family nature of the adjacent neighborhood to the east. The structures would be under the 30-foot height restriction of the Clairemont Mesa Height Limit requirement, and sited on the northern portion of the parcel to ensuring that neighbors will have view access from and along Tonopah Avenue to the San Diego Bay to the west and downtown San Diego to the south.

The project is requesting two incentives for side setback in the RS-1-7 zone and floor area ratio (FAR), and three deviations for side setback in the CC-4-5 zone, angled building envelope plane requirements, and to remove the commercial component required for the CC-4-5 zone. The details of the incentives and deviations are as follows:

Incentive No. 1- A development incentive to SDMC Table 131-04D to reduce the side setback requirements of the RS-1-7 zone from eight feet to five feet. This ensures that each unit is provided with a minimum of two parking spaces within individual garages (two will have car lifts that will have three parking spaces).

Incentive No. 2- A development incentive to SDMC Section 131.0446(a), Table 131-04J and to SDMC Table 131-05E to increase the allowed FAR of the combined zones of the property from 31,400 square feet to 34,265 square feet, an increase of approximately nine percent.

Deviation No. 1- A deviation request to SDMC Section 131.0543(b) to allow for a five-foot side setback along the northern property line in the CC-4-5 portion of the property, where a minimum 10-foot side setback or the option for no side setbacks are required. This deviation provides relief for adjacent residential units along the property line as well as keeps the proposed dwelling units in the CC-4-5 portion of the property consistent with the location of the dwelling units in the RS-1-7 portion of the zone with the requested reduced side setback development incentive being requested (see Incentive No. 1 above).

Deviation No. 2- A deviation request to SDMC Section 131.0444(c) to remove the angled building envelope plane requirement along the reduced side setback line in the RS-1-7 zone as outlined in Incentive No. 1 above. This deviation is necessary to incorporate an Affordable Housing Density Bonus of four dwelling units, which is consistent with the land use designation and density with additional density allowed under the Affordable Housing Density Bonus provision in SDMC Chapter 14, Article 3, Division 7.

Deviation No. 3- A deviation request to SDMC Section 131.0540(b) to remove the commercial component requirement in the CC-4-5 zone. A commercial component doesn't fit with the residential nature of the surrounding neighborhood and would require consumers of the commercial component to enter via a residential neighborhood to the east or navigate up a 20-foot steep slope from Morena Boulevard. The subject property sits approximately 20 feet above Morena Boulevard, separated by a steep hillside in the public right of way.

Each of the requested incentives and deviations has been reviewed as they relate to the proposed design and use of the proposed project, the site layout, and the impact on the surrounding neighborhood. The requested incentives and deviations are appropriate at this location and will result in a better project that efficiently utilizes the subject property while meeting the purpose and intent of the SDMC and the Clairemont Mesa Community Plan and would respect the surrounding single-family and multi-family neighborhood. Therefore, the proposed development would comply with the applicable regulations, including any allowable deviations.

2. Supplemental Findings - Affordable Housing, In-Fill Projects, or Sustainable Buildings Deviation [SDMC Section 126.0404(f)]:

a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable

housing unit. Eleven dwelling units shall have an attached two car garage, and Units No. 2 and 3 would include mechanical car lifts to allow for two parking spaces stacked vertically for a total of three spaces. In addition, each of the 13 detached dwelling units would include roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption. Therefore, the development would materially assist in accomplishing the goal of providing an affordable housing unit on-site and by providing roof-mounted photovoltaic systems on each unit would materially assist sustainable buildings opportunities.

b. Any proposed deviations are appropriate for the proposed location.

As outlined in Neighborhood Development Permit Finding (A)(1)(c) listed above, the project is requesting two incentives for side setback in the RS-1-7 zone and floor area ratio (FAR), and three deviations for side setback in the CC-4-5 zone, angled building envelope plane requirements, and to remove the commercial component required for the CC-4-5 zone. Each of the requested incentives and deviations has been reviewed as they relate to the proposed design and use of the proposed project, the site layout, and the impact on the surrounding neighborhood. The requested incentives and deviations are appropriate at this location and will result in a better project that efficiently utilizes the subject property while meeting the purpose and intent of the SDMC and the Clairemont Mesa Community Plan and would respect the surrounding single-family and multi-family neighborhood.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits [SDMC Section 126.0505(a)]:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Neighborhood Development Permit Finding A.1.a. listed above, the proposed development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Neighborhood Development Permit Finding A.1.b. listed above, the proposed development would not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As outlined in Neighborhood Development Permit Finding A.1.c. listed above, the proposed development would comply to the applicable regulations and the requested incentives and deviations are appropriate at this location and will result in

a better project that efficiently utilizes the subject property while meeting the purpose and intent of the LDC and the Clairemont Mesa Community Plan and would respect the surrounding single-family and multi-family neighborhood.

2. Supplemental Findings – Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource or Within a Historical District [SDMC Section 126.0505(i)]:

- a. There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource.**

The Aizo and Komume Sego Farm was designated, under Criterion A, as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s, and the restrictive property rights/ ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. The designation excluded all of the structures on the property as they had limited association with the Farm itself. The vacant land at the site today retains the setting, feeling and association of the site as a farm, but the proposed development of this site, the Base Project, will eliminate those historic aspects of the property. However, the continued use of this site as a farm is not a feasible alternative, as no portion of the subject property is zoned AR, or as an Agricultural Residential Zone.

The eastern portion of the subject property, 14,800 square feet, is zoned RS 1-7, a Residential Single Unit Zone, pursuant to SDMC Section 131.0403. The purpose of RS zones is to provide appropriate regulations for the development of single dwelling units that accommodate a variety of lot sizes and residential dwelling types and which promote neighborhood quality, character, and livability. In addition, the western portion of the subject property, 12,000 square feet, is zoned CC-4-5. The purpose the CC or Community-Commercial zones is to accommodate community-serving commercial services, retail uses and limited industrial uses of moderate intensity and small to medium scale. The CC zones are intended to provide a range of development patterns from the pedestrian friendly commercial to shopping-centers and auto-oriented strip commercial streets. (SDMC Section 131.0507(a)) The CC-4-5 zone is intended to accommodate development with a high intensity, pedestrian orientation and permits maximum density of 1 dwelling unit for each 1500 square feet of lot area. (SDMC Section 131.0507(b)(4)). Therefore, the site can no longer be used as a farm as it was historically.

While the use of this site for purposes other than its historic farm use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site through the incorporation of a historic interpretive storyboard on site that will detail the history and significance of the Aizo and Komume Sogo Farm for the benefit of the public and etched glass panels that will be placed on the fencing above the slope on Morena Boulevard that will depict the property's historic use as a farm as it relates to the designation.

The proposed development, the Base Project, would remove the existing structures and improvements on the site and construct thirteen (13) new R-3 Class, three-story detached dwelling units in the form of townhomes, one of which will be affordable, and landscape improvements. The project will include a Historical Resources Storyboard at the southeast corner of the building facing east toward the incoming vehicular traffic. The Storyboard will contain a concise but thorough description of the history of the site. In addition, etched glass panels will be placed on the fencing above the slope on Morena Boulevard. The etching will depict the property's historic use as a farm as it relates to the designation. A preliminary design for the etching will be included on the project plans.

An economic feasibility analysis of the proposed Base Project has been prepared by London Moeder Advisors, a local firm with extensive experience in such analyses for the City of San Diego. The London Moeder Advisors analyzed the Base Project as demolishing the existing 962-square-foot home and constructing 13 new R-3 Class, three-story townhomes, one of which will be affordable, with an average net unit size of 1,912 square feet. The London Moeder Advisors analyzed Alternative 1 as rehabilitating the existing 962-square-foot home and returning the remaining land to a farm use.

The London Moeder Advisors analyzed Alternative 2 as demolishing the existing 962-square-foot home and constructing three standard single-family homes on the rest of the property with an average home size of 2,250 square feet. The London Moeder Advisors found that only the Base Project is economically feasible since this project is forecasted to generate a total profit of \$2.54 million. When compared to the total revenue of the project, the margin on revenue achieved is 19.2-percent and when compared to the total development costs of the project, the Margin on Cost achieved is 25.4-percent.

Alternative 1 would rehabilitate the existing non-historic house and garage on the property and return the land to a farming use. As discussed above, a farming use is not now permitted at this location by the zoning regulations of the Municipal Code, but the former farm area would be retained as a dormant area of land. Since the existing house and garage were found by the Historical Resources Staff and Board to not merit local historical designation in 2018, those structures could be rehabilitated as appropriate for a standard residential use resulting in a project site that would be partially developed and partially dormant, with only the dormant part having any historical significance.

An economic feasibility analysis of this Alternative and Alternative 2, as compared with the proposed Base Project, has been prepared by London Moeder Advisors for the purpose of this Site Development Permit. The London Moeder Advisors found that Alternative 1 is not economic feasible due to limited lot usage allowed and no new construction. The sale of one rehabilitated home for \$625,000 would not be sufficient to cover the land costs of \$860,000, let alone the rehabilitation costs. This

results in project costs exceeding revenues and a financial loss of \$716,433. This is a 128-percent reduction in profit when compared with the Base Project.

The London Moeder Advisors found that Alternative 2, which would demolish the existing structure and develop three single-family homes, is also not economic feasible due to the limited scale of development and lot usage allowed. The sale of three single-family homes for a total of \$3,300,000 is not sufficient to cover project costs of \$3,531,288. This would result in a financial loss for the developer of \$396,288 or a 116-percent reduction in profit when compared to the Base Project. There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource, can be made.

- b. The deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource have been provided by the applicant.**

As outlined in Site Development Permit Finding B.2.a. listed above, the continued use of this site as a farm is not a feasible alternative as the site is not legally capable of supporting a farm or any other agricultural use. The subject property and its surroundings are now in residential and commercial use consistent with a modern urban environment. While the use of this site for any purpose other than its historic use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site. Historical Resource mitigation measures have been developed and incorporated within the Project's Final Mitigated Negative Declaration - conditioning issuance of building permits upon prior submittal of a plan showing the design and location of an Aizo and Komume Soga Farm interpretive Story Board to be placed at the location specified in the Final Mitigated Declaration to preserve the history of the site in the public realm along with etched glass panels depicting the property's historic use as a farm. Therefore, this deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource have been provided by the applicant.

- c. The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, economic hardship means there is no reasonable beneficial use of a property and it is not feasible to derive a reasonable economic return from the property.**

Denial of this proposed development would result in economic hardship to the owner. The continued use of this site, even partially as a farm, is not a feasible alternative, and no other passive use would generate an economic return. There is no reasonable beneficial use of this property that does not require its complete redevelopment consistent with the current zoning in order to generate an economic return from the property. The proposed project would remove the existing improvements on the site and construct 13 new R-3 Class, three-story Town Homes, one of which will be affordable. As outlined in Site Development Permit Finding B.2.a.

ATTACHMENT 6

listed above, the denial of the proposed development would result in economic hardship to the owner can be made.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1823446 and 2011943, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted On: August 20, 2020

IO#: 24006995

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006995

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1823446
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2011943
1398 LIETA STREET -PROJECT NO. 512890 [MMRP]
PLANNING COMMISSION

This Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943 is granted by the Planning Commission of the City of San Diego to ALMERIA INVESTMENTS, LP, a California Domestic Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0505 and 126.0404. The 0.615-acre site is located at 1398 Lieta Street (new address: 4200 Tonopah Avenue) in the CC-4-5 and RS-1-7 Zones within the Clairemont Mesa Community Plan area. The project site is also located in the Airport Influence Area (AIA) Review Area 2 for San Diego International Airport (SDIA), the Federal Aviation Administration (FAA) Part 77 Notification Area (SDIA - 155-foot MSL), and the Clairemont Mesa Height Limit Overlay Zone. The project site is legally described as: The southwesterly 100 feet of all that portion of Lot 5 of pueblo lot 225 according to referee's partition map files in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., Case No. 3475 filed in the Superior Court of the County of San Diego, lying southwest the centerline of Asher Street, as said street existed on January 21, 1944. Excepting therefrom the following parcels: A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway. B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 6029, Page 122 of official records. C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 17 of first addition to Asher's cloverleaf terrace, according to Map thereof No. 1666, filed in the Office of the County Recorder of San Diego County, and the northeasterly prolongation of said southeasterly line, and lying northeasterly of the northwesterly prolongation of the southwest line of Lot 17 in Block 17 of said First Addition to Asher's cloverleaf terrace. D. That portion lying within Lahoud Terrace, according to Map thereof No. 3134, filed in the Office of the County Recorder of San Diego County, October 4, 1954.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of an existing single dwelling unit and the construction of 13 townhome-type detached dwelling units; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 20, 2020, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single dwelling unit, and the construction of 13 townhome-type detached dwelling units, totaling 34,265 square-feet, which contains a 38.75-percent density bonus (four units in addition to what is permitted by the underlying zoning regulations). The units would range from 1,678 to 2,679 square feet, and the development includes one affordable unit on-site;
- b. Incentives to the SDMC:
 1. A development incentive to SDMC Table 131-04D to reduce the side setback requirements of the RS-1-7 zone from eight feet to five feet;
 2. A development incentive to SDMC Section 131.0446(a) and Table 131-04J and to SDMC Table 131-05E to increase the allowed floor area ratio (FAR) of the combined zones of the property from 31,400 square feet to 34,265 square feet, an increase of approximately nine percent;
- c. Deviations to the SDMC:
 1. A deviation request to SDMC Section 131.0543(b) to allow for a five-foot side setback along the northern property line in the CC-4-5 portion of the property, where a minimum 10-foot side setback or the option for no side setbacks would be required;
 2. A deviation request to SDMC Section 131.0444(c) to remove the angled building envelope plane requirement along the reduced side setback line in the RS-1-7 zone as outlined in Incentive No. 1 above;
 3. A deviation request to SDMC Section 131.0540(b) to remove the commercial component requirement in the CC-4-5 zone;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking;
- f. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 3, 2023.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 512890 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in [Choose one:] MITIGATED NEGATIVE DECLARATION NO. 512890, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources-Designated Site

CLIMATE ACTION PLAN REQUIREMENTS:

14. The Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

15. Prior to issuance of any building permit, the Owner/Permittee shall demonstrate compliance with the provisions of Chapter 14, Article 3, Division 7 of the San Diego Municipal Code [SDMC] Affordable Housing Density Bonus Regulations.

16. The Owner/Permittee shall enter into a written agreement with the San Diego Housing Commission [Agreement], drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust, that incorporates applicable affordability conditions consistent with the SDMC. Specifically including that, in exchange for the City's approval of the Project, which contains a 38.75-percent density bonus (four units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval. The Owner/Permittee shall provide one (1) unit with a rent of no more than 30-percent of 50-percent of AMI, so as to be considered affordable to very-low income households, for no fewer than 55 years.

17. The Agreement referenced in the preceding paragraph will satisfy the requirements of SDMC Section 143.1303(g) and therefore, exempt the Project from Chapter 14, Article 2, Division 13 of the SDMC Inclusionary Affordable Housing Regulations.

AIRPORT REQUIREMENTS:

18. Prior to issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

GEOLOGY REQUIREMENTS:

19. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

20. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

ENGINEERING REQUIREMENTS:

21. This Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943 shall comply with all Conditions of the Final Map for Tentative Map No. 2011944.
22. The project proposes to import material to the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
23. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
24. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet systems in the Morena Boulevard Right-of-Way.
25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a construct a current City Standard curb and gutter from the project site to the existing curb and gutter on Lieta Street, satisfactory to the City Engineer.
26. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove the existing streetlight and install a current City Standard Street Light at the northwest corner of Tonopah Avenue and Lieta Street, satisfactory to the City Engineer.
27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct at the northwest corner of Tonopah Avenue and Lieta Street, a current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.
28. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMPs] maintenance, satisfactory to the City Engineer.
29. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
30. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
31. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

32. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

33. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

34. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).

35. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

36. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the public right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

37. If any required landscape (including palms/trees on private property serving as street trees along Morena Boulevard, existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

HISTORICAL REQUIREMENTS:

38. Prior to the issuance of the first building permit, the Owner/Permittee shall submit a plan showing the design and location of the interpretive story board to be placed proximate to the

terminus of Tonopah Avenue at the project's driveway to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board with subsequent Historical Resource staff approval.

39. Prior to the issuance of the first building permit, the Owner/Permittee shall submit a plan showing the design and location of the decorative fence element with etched pattern to mimic row planting to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board with subsequent Historical Resource staff approval.

40. Prior to submitting plans to the Design Assistance Subcommittee of the Historical Resources Board showing the design of the interpretive story board and fences, the Owner/Permittee shall work with a Historian that is versed in the Japanese American History for the design of the historical elements for the interpretive story board and fences.

41. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Public Access Easement which ensures public access to the interpretive story board to be placed proximate to the terminus of Tonopah Avenue at the project's driveway as shown on Exhibit "A."

42. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall install the interpretive story board and decorative fencing element in the locations identified on the previously approved plans for the Designated Historic Site. The Owner/Permittee shall be responsible for funding and implementing the long-term management of the story board and decorative fencing in perpetuity.

PLANNING/DESIGN REQUIREMENTS:

43. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

44. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

45. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

46. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

47. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

48. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

49. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond the improvement of the project frontage along Tonopah Avenue/Lieta Street, with curb, gutter, sidewalk, and curb ramp consistent with City Standards, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

50. Permittee must construct and maintain an accessible path from the building entrances to the public street.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

51. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond the design and construction of an 8-inch public sewer mains within Lieta Street and portion of Tonopah Avenue as shown on the approved Exhibit "A," in a manner satisfactory to the Public Utilities Director and the City Engineer.

52. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

53. The Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

54. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

55. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 20, 2020, and pursuant to Resolution No. _____.

ATTACHMENT 7

Permit Type/PTS Approval No.: Site Development Permit No. 1823446
and Neighborhood Development Permit No. 2011943
Date of Approval: August 20, 2020

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager
Development Services Department

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ALMERIA INVESTMENTS, LP
a California Domestic Limited Partnership
Owner/Permittee

By _____

Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NUMBER R-_____

TENTATIVE MAP NO. 2011944, 1398 LIETA STREET -PROJECT NO.
512890 [MMRP]

WHEREAS, ALMERIA INVESTMENTS, LP, a California Domestic Limited Partnership, Subdivider, and CIVIL LANDWORKS, Engineer, submitted an application to the City of San Diego for a tentative map (Tentative Map No. 2011944). The project site is located at 1398 Lieta Street (new address: 4200 Tonopah Avenue) in the CC-4-5 and RS-1-7 Zones within the Clairemont Mesa Community Plan area. The project site is also located in the Airport Influence Area (AIA) Review Area 2 for San Diego International Airport (SDIA), the Federal Aviation Administration (FAA) Part 77 Notification Area (SDIA - 155-feet MSL), and the Clairemont Mesa Height Limit Overlay Zone. The property is legally described as; the southwesterly 100 feet of all that portion of Lot 5 of pueblo lot 225 according to referee's partition map files in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., Case No. 3475 filed in the Superior Court of the County of San Diego, lying southwest the centerline of Asher Street, as said street existed on January 21, 1944. Excepting therefrom the following parcels: A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway. B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 6029, Page 122 of official records. C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 17 of first addition to Asher's cloverleaf terrace, according to Map thereof No. 1666, filed in the Office of the County Recorder of San Diego County, and the northeasterly prolongation of said southeasterly line, and lying northeasterly of the northwesterly prolongation of the southwest line of Lot 17 in Block 17 of said First Addition to Asher's cloverleaf terrace. D. That

portion lying within Lahoud Terrace, according to Map thereof No. 3134, filed in the Office of the County Recorder of San Diego County, October 4, 1954; and

WHEREAS, the Map proposes the Subdivision of a of a 0.615-acre site into one (1) lot for 13 residential condominium dwelling units; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act, California Government Code Sections 66490 and 66491(b)-(f) and San Diego Municipal Code Section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code Section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 13; and

WHEREAS, on August 20, 2020, the Planning Commission of the City of San Diego considered Tentative Map No. 2011944, pursuant to San Diego Municipal Code Section 125.0440, and Subdivision Map Act, California Government Code Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2011944:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The subject property is a 0.615-acre parcel located at 1398 Lieta Street (to be re-addressed to 4200 Tonopah Avenue), adjacent to the intersection of Lieta Street and Tonopah Avenue to the East and Morena Boulevard to the West. The site is located in the CC-4-5 and RS-1-7 zones within the Clairemont Mesa Community Plan area. The lot area zoned RS-1-7 is approximately 14,800

square feet and allows for one (1) dwelling unit. The lot area zoned CC-4-5 is approximately 12,000 square feet and allows for eight (8) dwelling units.

The subject property contains a single-family residence constructed in 1937 and garage constructed in 1956. The Minimal Traditional style house was originally located at the northwestern property boundary but was relocated in 1956 to the southwestern portion of the property. By 1938 the subject property was owned and occupied by the family of Aizo and Komume Sogo who farmed the land and sold their crops at the hakuji market. In 1942, at the beginning World War II, the family was sent to the Colorado River Relocation Center (Poston War Relocation Center). They remained at this internment camp until 1945, after which time, they returned to the Lieta Street property.

In July 1953, Aizo and Komume Sogo were among the first of five Japanese-born individuals to become naturalized citizens of the United States in San Diego. Previously, natives of Japan, except for World War II veterans, were one of the nationalities barred from citizenship until the passage of the Immigration and Nationality Act of 1952 (aka the McCarran Walter Act). In February 1954, as citizens, the Sogos obtained ownership of the Lieta Street property. In 1962, the Sogos sold three acres of the land which had been zoned residential and commercial. Aizo died in 1974 and Komume, who remained at the property after his death, died in 1983.

The site was reviewed by the Historical Resources Board (HRB) and the site was designated as HRB Site #1305 on July 26, 2018 under HRB Criterion A as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. This designation did not include the structures located on the parcel.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit.

The Clairemont Mesa Community Plan designates the project site Medium Density Residential, 15-30 dwelling units per acre (du/ac). The total site acreage is 0.615-acres and would allow between 9 and 19 dwelling units. The project proposes 13 detached dwelling units consistent with the density range of the land use designation. The General Plan Urban Design Element states that building design should contribute to a positive neighborhood character and relate to neighborhood and community context. Building design is encouraged to be sensitive to the scale, form, rhythm, proportions, and materials in proximity to commercial areas and residential neighborhoods. The proposed project's three-story townhome-type design is consistent in scale with the adjacent three- and four-story multifamily apartment complex to the north and the recently approved three-story Morena Apartment Homes project to the southwest of the project site, which is currently under construction. The proposed project incorporates variation in material and color to articulate the buildings and add visual interest along the project frontage.

The proposed project site is adjacent to Morena Boulevard and is located just east of I-5. The proposed project would incorporate noise attenuation measures including dense materials for walls and doors, and insulation of windows to ensure interior noise levels in residences do not exceed General Plan standards.

While the use of this site for purposes other than its historic farm use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site through the incorporation of a historic interpretive storyboard on site that will detail the history and significance of the Aizo and Komume Sogo Farm for the benefit of the public and decorative fencing that will be placed above the slope on Morena Boulevard that will depict the property's historic use as a farm as it relates to the designation. Therefore, for these reasons, the proposed subdivision and its design or improvement would be consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit. Eleven dwelling units shall have an attached two car garage, and Units No. 2 and 3 would include mechanical car lifts to allow for two parking spaces stacked vertically for a total of three spaces. The parking regulations require 28 total parking spaces, and the proposed development provides 28 total parking spaces.

The proposed development will extend Tonopah Avenue from its existing dead end at the intersection of Lieta Street and Tonopah Avenue into the subject property. Each dwelling unit contains an enclosed parking of two parking spaces per unit. The construction of a "T-Intersection" at the center of the subject property along with the installation of a new fire hydrant will allow for both pedestrian vehicles and emergency vehicles to safely access each unit from within the subject property. This center intersection would allow for access for emergency vehicles and trash/utility services as well as to allow for pedestrian vehicles to safely turnaround and exit the property.

The organization of separated, low-lying buildings as opposed to a single multi-family structure keeps the project consistent with the surrounding low-lying single-family nature of the adjacent neighborhood to the east. The structures would be under the 30-foot height restriction of the Clairemont Mesa Height Limit requirement, and sited on the northern portion of the parcel to ensuring that neighbors will have view access from and along Tonopah Avenue to the San Diego Bay to the west and downtown San Diego to the south.

The project is requesting two incentives for side setback in the RS-1-7 zone and floor area ratio (FAR), and three deviations for side setback in the CC-4-5 zone, angled building envelope plane requirements, and to remove the commercial component required for the CC-4-5 zone. The details of the incentives and deviations are as follows:

Incentive No. 1- A development incentive to SDMC Table 131-04D to reduce the side setback requirements of the RS-1-7 zone from eight feet to five feet. This ensures that each unit is provided with a minimum of two parking spaces within individual garages (two will have car lifts that will have three parking spaces).

Incentive No. 2- A development incentive to SDMC Section 131.0446(a) and Table 131-04J and to SDMC Table 131-05E to increase the allowed FAR of the combined zones of the property from 31,400 square feet to 34,265 square feet, an increase of approximately nine percent.

Deviation No. 1- A deviation request to SDMC Section 131.0543(b) to allow for a five-foot side setback along the northern property line in the CC-4-5 portion of the property, where a minimum 10-foot side setback or the option for no side setbacks would be required. This deviation provides relief for adjacent residential units along the property line as well as keeps the proposed dwelling units in the CC-4-5 portion of the property consistent with the location of the dwelling units in the RS-1-7 portion of the zone with the requested reduced side setback development incentive being requested (see Incentive No. 1 above).

Deviation No. 2- A deviation request to SDMC Section 131.0444(c) to remove the angled building envelope plane requirement along the reduced side setback line in the RS-1-7 zone as outlined in Incentive No. 1 above. This deviation is necessary to incorporate an Affordable Housing Density Bonus of four dwelling units which is consistent with the land use designation and density with additional density allowed under the Affordable Housing Density Bonus provision in SDMC Chapter 14, Article 3, Division 7.

Deviation No. 3- A deviation request to SDMC Section 131.0540(b) to remove the commercial component requirement in the CC-4-5 zone. A commercial component doesn't fit with the residential nature of the surrounding neighborhood and would require consumers of the commercial component to enter via a residential neighborhood to the east or navigate up a 20-foot steep slope from Morena Boulevard. The subject property sits approximately 20 feet above Morena Boulevard, separated by a steep hillside in the public right of way.

Each of the requested incentives and deviations has been reviewed as they relate to the proposed design and use of the proposed project, the site layout, and the impact on the surrounding neighborhood. The requested incentives and deviations are appropriate at this location and will result in a better project that efficiently utilizes the subject property while meeting the purpose and intent of the LDC and the Clairemont Mesa Community Plan and would respect the surrounding single-family and multi-family neighborhood. Therefore, the proposed development would comply with the applicable regulations, including any allowable deviations

3. The site is physically suitable for the type and density of development.

The subject property contains a single-family residence constructed in 1937 and garage constructed in 1956. The Minimal Traditional style house was originally located at the northwestern property boundary but was relocated in 1956 to the southwestern portion of the property. By 1938 the subject property was owned and occupied by the family of Aizo and Komume Sogo who farmed the land and sold their crops at the hakuji market. This site as a farm is not a feasible alternative as

the site is not legally capable of supporting a farm or any other agricultural use. The subject property and its surroundings are now in residential and commercial use consistent with a modern urban environment. The site is a large, mostly vacant, and mostly flat site except for along the western and southern property lines where it slopes down to either an adjacent property or towards the right-of-way of Morena Boulevard. The subject property and drainage does not provide suitable habitat to support special-status plant or wildlife species and has minimal function or value as a sensitive habitat.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit.

The Clairemont Mesa Community Plan designates the project site Medium Density Residential, 15-30 du/ac. The total site acreage is 0.615-acres and would allow between 9 and 19 dwelling units. The project proposes 13 detached dwelling units consistent with the density range of the land use designation. The proposed detached dwelling units would be constructed on mostly flat land away from any natural drainage features. Therefore, the subject site is physically suitable for the type and density of the proposed development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The site is a large, mostly vacant, and mostly flat site except for along the western and southern property lines where it slopes down to either an adjacent property or towards the right-of-way of Morena Boulevard. The subject property and drainage does not provide suitable habitat to support special-status plant or wildlife species and has minimal function or value as a sensitive habitat. The project site does not contain sensitive biological resources on site or adjacent to the site. Onsite landscaping is non-native, and the project site does not contain any sensitive biological resources on-site nor does it contain any candidate, sensitive or special status species.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit.

The proposed development will extend Tonopah Avenue from its existing dead end at the intersection of Lieta Street and Tonopah Avenue into the subject property. Each dwelling unit contains an enclosed parking of two parking spaces per unit. The construction of a "T-Intersection" at the center of the subject property along with the installation of a new fire hydrant will allow for both pedestrian vehicles and emergency vehicles to safely access each unit from within the subject

property. This center intersection would allow for access for emergency vehicles and trash/utility services as well as to allow for pedestrian vehicles to safely turnaround and exit the property.

A Mitigated Negative Declaration, Project No. 512890, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce impacts to below a level of significance for Historical Resources.

Therefore, for the reasons above, the design of the proposed subdivision and the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The project includes one very low-income unit which allows for a 38.75-percent density bonus of four additional units for a total of 13 dwelling units to be constructed and allows for two development incentives. Of the 13 detached dwelling units, 12 units will be market-rate for-sale town homes, and one will be retained for a very low-income affordable housing unit. Eleven dwelling units shall have an attached two car garage, and Units No. 2 and 3 would include mechanical car lifts to allow for two parking spaces stacked vertically for a total of three spaces. The parking regulations require 28 total parking spaces, and the proposed development provides 28 total parking spaces.

The proposed development will extend Tonopah Avenue from its existing dead end at the intersection of Lieta Street and Tonopah Avenue into the subject property. Each dwelling unit contains an enclosed parking of two parking spaces per unit. The construction of a "T-Intersection" at the center of the subject property along with the installation of a new fire hydrant will allow for both pedestrian vehicles and emergency vehicles to safely access each unit from within the subject property. This center intersection would allow for access for emergency vehicles and trash/utility services as well as to allow for pedestrian vehicles to safely turnaround and exit the property.

A Mitigated Negative Declaration, Project No. 512890, has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce impacts to below a level of significance for Historical Resources.

The permit for the Project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this Project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The Project will comply with the development conditions in effect for the subject property as described in Tentative Map (TM) No. 2011944, and other regulations and guidelines pertaining to the subject property per the SDMC for the Project site. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/ permittee will be

required to obtain a grading and public improvement permit. Therefore, the design of the subdivision and the type of improvement would not be detrimental to the public health, safety and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel. The property does not contain any existing easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of a 0.615-acre parcel for residential development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and preserving environmentally sensitive lands. The project proposes the demolition of the existing structures and development of 13 townhome-type detached dwelling units on the parcel; however, they do not impede or inhibit any future passive or natural heating and cooling opportunities. Each of the 13 units would include roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption. With the independent design of the proposed subdivision each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The Clairemont Mesa Community Plan designates the project site Medium Density Residential, 15-30 du/ac. The total site acreage is 0.615-acres and would allow between 9 and 19 dwelling units. The project proposes 13 townhome-type detached dwelling units consistent with the density range of the land use designation. The proposed 13 detached dwelling units include 12 market-rate units and one very low-income affordable housing unit. The affordable housing unit will be income-restricted to households with a combined annual gross income at or below 50 percent of the Area Median Income (AMI), subject to an affordable housing agreement with the San Diego Housing Commission (SDHC). There are currently 852 existing affordable housing units within this community planning area (active deed-restricted affordable units through the SDHC).The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 13

ATTACHMENT 8

dwelling units for private development is consistent with the housing needs anticipated for the Clairemont Mesa Community Planning area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 2011944, hereby granted to ALMERIA INVESTMENTS, LP, a California Domestic Limited Partnership, Subdivider, and CIVIL LANDWORKS, Engineer, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED:

By _____
Jeffrey A. Peterson
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006995

PLANNING COMMISSION
CONDITIONS FOR TENTATIVE MAP NO. 2011944
FOR 1398 LIETA STREET -PROJECT NO. 512890 [MMRP]

ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map No. 2011944 will expire on _____.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Tentative Map shall conform to the provisions of Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
7. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
8. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and

covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

HISTORICAL

9. Prior to the issuance of any construction permit, the Subdivider shall execute and record a Public Access Easement which ensures public access to the interpretive story board to be placed proximate to the terminus of Tonopah Avenue at the project's driveway as shown on Exhibit "A."

MAPPING

10. Prior to the expiration of the Tentative Map, a Final Map to subdivide Parcels/Lots shall be recorded in the office of the County Recorder.
11. Prior to the recordation of the Final Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.

If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office along with the associated \$34.00 compliance fee to avoid delaying the recordation of the Final Map.

12. The Final Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the Final Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Final Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.

13. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
14. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These

tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

15. All private drives shall be shown on a non-title sheet and names approved by BDR-Street Name Coordinator. The streets shall be dimensioned along centerline with a width clearly shown.

PUBLIC UTILITIES DEPARTMENT

16. Prior to the issuance of any construction permit, the Subdivider shall assure, by permit and bond the design and construction of an 8-inch public sewer mains within Lieta Street and portion of Tonopah Avenue as shown on the approved Exhibit "A," in a manner satisfactory to the Public Utilities Director and the City Engineer.
17. Prior to the issuance of any building permits, the Subdivider shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
18. Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
19. Subdivider shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
20. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

GEOLOGY

21. Prior to the issuance of any construction permits (either grading or building), the Subdivider shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
22. The Subdivider shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the

Development Services Department prior to exoneration of the bond and grading permit close-out.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- All existing easements granted or dedicated to the City that are being shown and proposed on the Tentative Map Exhibit as to be vacated pursuant to Subdivision Map Act (SMA) requires Process 5 City Council approval.
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24006995

RESOLUTION NUMBER R-_____

ADOPTED ON _____

A RESOLUTION ADOPTING MITIGATED NEGATIVE DECLARATION NO. 512890
AND ADOPTING THE MITIGATION, MONITORING, AND REPORTING
PROGRAM FOR THE 1398 LIETA STREET -PROJECT NO. 512890 [MMRP]

WHEREAS, on April 4, 2017, ALMERIA INVESTMENTS, LP, a California Domestic Limited Partnership submitted an application to the Development Services Department for a Site Development Permit, Neighborhood Development Permit, and Tentative Map for the 1398 Lieta Street (Project); and

WHEREAS, the matter was Planning Commission of the City of San Diego; and
WHEREAS, the issue was heard by the Planning Commission on August 20, 2020; and

WHEREAS, the considered the issues discussed in Mitigated Negative Declaration No. 512890 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

ATTACHMENT 10

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Jeffrey A. Peterson
Development Project Manager
Development Services Department

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

SITE DEVELOPMENT PERMIT, NEIGHBORHOOD DEVELOPMENT PERMIT,
AND TENTATIVE MAP

PROJECT NO. 512890

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 512890 shall be made conditions of Site Development Permit, Neighborhood Development Permit, and Tentative Map as may be further described below.

A. GENERAL REQUIREMENTS – PART I: Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director’s Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, “**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**”
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II: Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: Not Applicable.

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – (858) 627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at (858) 627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 512890 and/or Environmental Document No. 512890 shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate

construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Cultural Resources – Designated Site

1. Prior to the issuance of the first building permit, the Owner/Permittee shall submit a plan showing the design and location of the interpretive story board to be placed proximate to the terminus of Tonopah Avenue at the project’s driveway to the satisfaction of the Design Assistance Sub-Committee of the Historical Resources Board with subsequent staff approval.
2. Prior to the issuance of the first building permit, the Owner/Permittee shall submit a plan showing the design and location of the decorative fence element with etched pattern to mimic row planting to the satisfaction of the Design Assistance Sub-Committee of the Historical Resources Board with subsequent staff approval. The landscape and planters shall not block the decorative fencing or create shadows onto or behind the decorative fence.

ATTACHMENT 10

3. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall install the interpretive story board and decorative fencing element in the locations identified on the previously approved plans for the Designated Historic Site. The Owner/Permittee shall be responsible for funding and implementing the long-term management of the story board and decorative fencing in perpetuity.

4. Prior to submitting plans to the Design Assistance Subcommittee of the Historical Resources Board showing the design of the interpretive story board and fences, the Owner/Permittee shall work with a Historian that is versed in the Japanese American History for the design of the historical elements for the interpretive story board and fences.



london moeder
advisors

1398 Lieta Street
Economic Alternative Analysis

August 16, 2019

825 10th Avenue
San Diego, CA 92101
619. 269.4010

2792 Gateway Road #104
Carlsbad, CA 92024
619.269.4012

londonmoeder.com



August 16, 2019

Mr. Mike Fulton
Almeria Investments
817 Clark Avenue
Encinitas, CA. 92024

Via email: michael@almeriainv.com

1398 Lieta Street – Economic Alternative Analysis

London Moeder Advisors has completed an economic analysis of the three development options pertaining to the 26,800 square-foot property located at 1398 Lieta Street in the Bay Park neighborhood of San Diego. The property is located on the western end of Tonopah Avenue and bounded on the west by Morena Boulevard. The site currently contains a 962 square-foot non-historic single-family home and 25,838 square feet of undeveloped vacant land.

The purpose of this analysis is to analyze the proposed Base Project and the financial impacts and economic feasibility of the development alternatives.

We have analyzed three development options for the property, which include:

- ➔ **Base Project:** demolish the existing 962 square-foot home and construct 13 new R-3 Class 3-story townhomes, one of which will be affordable, with an average net unit size of 1,912 square feet.
- ➔ **Alternative 1:** rehabilitate the existing 962 square-foot home and return the remaining land to a farming use.
- ➔ **Alternative 2:** demolish the existing 962 square-foot home, retain the former farm area as a dormant site, and construct three standard single-family homes on the rest of the property, with an average home size of 2,250 square feet.

Conclusions of Economic Alternatives

We analyzed the project performance of the Base Project that is proposed for the property. The Base Project includes construction of 13 R-3 Class 3-story townhomes, one of which will be affordable. The average size of the townhomes is 1,912 square feet.

We have assumed a 12-month construction period with the 13 townhomes being sold when construction is completed. The following table summarizes the impacts to the Base Project under each of the two alternatives:

1398 Lieta Street - San Diego, CA Summary of Scenarios								
Base Project 13 Townhomes			Alternative 1 Rehab Existing House			Alternative 2 3 Single-Family Residential		
# of Units	13		# of Units	2		# of Units	3	
For Sale Residential	24,855		For Sale Residential	962		For Sale Residential	6,750	
Total Net Saleable	24,855		Total Net Useable	962		Total Net Useable	6,750	
Miscellaneous	4,429		Garage S.F.	0		Garage S.F.	0	
Garage S.F.	5,169		Total S.F.	962		Total S.F.	6,750	
Total S.F.	34,453		Difference (Net S.F.)	(23,893)		Difference (S.F.)	(18,105)	
			Difference (%)	-96%		Difference (%)	-73%	
Profit	\$2,538,876		Profit	(\$716,433)		Profit	(\$396,288)	
			Difference (\$)	(\$3,255,309)		Difference (\$)	(\$2,935,165)	
			Difference (%)	-128%		Difference (%)	-116%	
Performance								
Total Gross Sales Revenue	\$13,213,000		Total Gross Sales Revenue	\$625,300		Total Gross Sales Revenue	\$3,300,000	
Margin On Revenue	19.2%		Margin On Revenue	-114.6%		Margin On Revenue	-12.0%	
Total Project Costs	\$10,013,474		Total Project Costs	\$1,310,468		Total Project Costs	\$3,531,288	
Margin On Cost	25.4%		Margin On Cost	-54.7%		Margin On Cost	-11.2%	

Source: London Moeder Advisors

We have determined that only the Base Project is economically feasible. This project is forecasted to generate a total profit of \$2.54 million. When compared to the total revenue of the project the Margin on Revenue achieved is 19.2%. When compared to the total development costs of the project the Margin on Cost achieved is 25.4%.

Based on performing feasibility analyses and consulting services for real estate projects, it is our experience that a redevelopment project requires the Margin on Revenue to exceed 15% and Margin on Cost to exceed 18% for a project to be economically feasible and to qualify for project financing.

The Return on Investment (ROI) of the Base Project is forecasted to be 80%, which also demonstrates that the Base Project is economically feasible. In order for a project to be economically feasible, attract investors, and achieve financing, a project must reach at a minimum ROI of 50%.

Alternative 1 is not economically feasible. Due to limited lot usage allowed and no new construction, the sale of one rehabilitated home for \$625,000 would not be sufficient to cover land costs of \$860,000 let alone rehabilitation costs. This results in project costs exceeding revenues and a financial loss for the developer of \$716,433. This is a 128% reduction in profit when compared to the Base Project.

Alternative 2, which demolishes the existing structure and develops three single-family homes, is not economically feasible. Due to limited scale of development and lot usage allowed, the sale of



three single-family homes for a total of \$3,300,000 is not sufficient to cover project costs of \$3,531,288. This would result in a financial loss for the developer of \$396,288, or a 116% reduction in profit when compared to the Base Project.

Approach to Analysis

To determine the impact to the project, we prepared financial proformas for the two alternatives and compared the performances to the Base Project. In each proforma, we assumed the following:

- Construction period of 12 months
- For-sale residential is sold immediately after construction is completed
- Construction costs are provided by the developer and London Moeder Advisors based on similar projects and construction types.
- Sales prices and revenue were established by our survey of market data for comparable sales in the area.

The following summarizes the financial proformas we have prepared for analyzing the project, which are included in the Appendix.

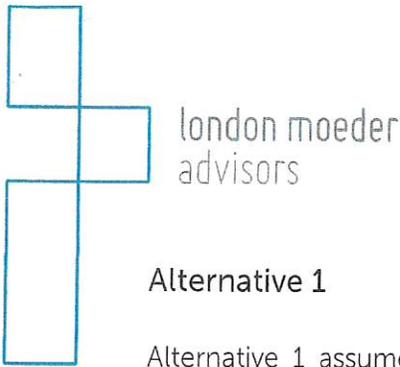
Base Project

The Base Project includes demolition of the existing structures and construction of 13 new R-3 Class 3-story Town Homes, one of which will be affordable. The 13 townhomes are assumed to be sold after construction is completed.

The 12 market rate units will average 1,908 square feet in size and the affordable unit is planned to be 1,954 square feet.

When the 12 market rate townhomes are sold after construction is completed, the average sale price is estimated to be \$1,044,833. The one affordable townhome is assumed to be sold after construction for \$350,000. The total gross profit generated from this investment is estimated to be \$2,538,876.

The gross profit of \$2.54 million represents a Margin on Revenue of 19.2% when divided by the Gross Sales Revenue of the project (\$13.2 million) and a Margin on Cost of 25.4% when divided by the Development Costs of the project (\$10.0 million). This suggests that the Base Project is economically feasible. It is our experience that a for-sale project requires a Margin on Cost of 18% and a Margin on Revenue of 15% for a project to be economically feasible and to qualify for project financing.



Alternative 1

Alternative 1 assumes rehabilitation of the existing single-family home (962 square feet) and returning the remaining land to a farming use. The single-family home is assumed to be sold immediately after construction is completed.

The anticipated sale price for the single-family home is estimated to be \$625,300 (\$650 per square foot). Total project costs are estimated to be \$1,310,468 while total gross sales revenue is forecasted at only \$625,300. This results in a financial loss for the project of \$716,433 and is therefore not economically feasible.

Compared to the Base Project, Alternative 1 represents a reduction of 23,893 net saleable square feet, or 96% less space. This has a direct impact to the overall achievable value of the project.

With a total forecasted value at disposition of \$625,300, Alternative 1 would generate approximately \$12,587,700 less revenue than the Base Project (95% reduction). But more importantly the project is not economically feasible because it results in a financial loss of \$716,433.

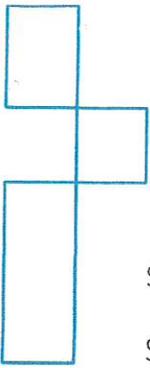
Alternative 2

Alternative 2 assumes demolition of the existing single-family home, retain the former farm area as a dormant site, and construction of three new for-sale single-family detached homes. The existing single-family home is 962 square feet and the newly constructed single-family homes would total 6,750 square feet (2,250 square feet each).

When the single-family homes are sold after construction is completed, the anticipated average sale price is estimated to be \$1,100,000 (\$489 per square foot). Total project costs are forecasted at \$3,531,288 while the total gross sales revenue is forecasted at only \$3,300,000. This results in a financial loss for the project of \$396,288 and is therefore not economically feasible.

Compared to the Base Project, Alternative 2 represents a reduction of 18,105 net saleable square feet, or 73% less space. This has a direct impact to the overall achievable value of the project.

With a total forecasted value at disposition of \$3,300,000, Alternative 2 would generate approximately \$9,913,000 less revenue than the Base Project (75% reduction). But more importantly the project is not economically feasible because it results in a financial loss of \$396,288.



london moeder
advisors

Should you have any questions regarding this analysis, please feel free to contact our firm.

Sincerely,

Gary H. London

Nathan Moeder



Appendix

1398 Leita Street

Base Project: For-Sale Townhomes

FINANCING	
Loan Amount	\$6,845,002
Loan to Cost	68.36%
Interest Rate	8.00%

LAND	
Land Value	\$860,000
Land S.F.	26,800 S.F.
Land \$/S.F.	\$32 per S.F.
Land Value Per Unit	\$66,154 per Unit
Land Value Per Residential S.F.	\$34.60 per FAR Foot

INVESTMENT PERFORMANCE	
Gross Revenue: Affordable Unit	\$350,000
Gross Revenue: Market Rate Units	\$12,863,000
Total Gross Revenue	\$13,213,000
Cost of Sale	(\$660,650)
Total Net Revenue	\$12,552,350
Development Costs	(\$10,013,474)
Gross Profit	\$2,538,876
Margin on Total Cost	25.4%
Margin on Gross Revenue	19.2%
Equity Investment	\$3,168,472
Return On Investment (ROI)	80%
NPV @ 10% for 3 Years	\$1,907,495

DEVELOPMENT SUMMARY				
Unit Type	# of Units	Avg. SF	Avg. Sale Price	\$/S.F.
2 Bed TH	3	1,308	\$787,667	\$602
3 Bed TH	9	2,109	\$1,166,667	\$553
3 Bed TH (affordable)	1	1,954	\$350,000	\$179
Total/Average	13	1,912	\$1,016,385	\$532
Total Residential S.F.	24,855 S.F.			

CONSTRUCTION BUDGET			
	Total Cost	Gross S.F.	Cost Per
Land Cost	\$860,000	\$34.60	\$66,154
Due Diligence	\$18,800	\$0.76	\$1,446
On Site Costs	\$586,563	\$23.60	\$45,120
Res. Construction	\$6,170,806	\$248.27	\$474,677
Soft Costs	\$1,313,585	\$52.85	\$101,045
Marketing	\$5,000	\$0.20	\$385
Const. Loan Fee	\$136,900	\$5.51	\$10,531
Const. Loan Interest	\$547,600	\$22.03	\$42,123
Contingency	\$374,220	\$15.06	\$28,786
Total Project Costs	\$10,013,474	\$402.88	\$770,267
Less: Loan Amount	\$6,845,002		
Initial Investment:	\$3,168,472		

1398 Leita Street

Alternative 1: For-Sale Rehab Single-Family Residential

FINANCING	
Loan Amount	\$1,077,030
Loan to Cost	90.00%
Interest Rate	7.50%

LAND	
Land Value	\$860,000
Land S.F.	26,800 S.F.
Land \$/S.F.	\$32 per S.F.
Land Value Per Unit	\$860,000 per Unit
Land Value Per Residential S.F.	\$893.97 per FAR Foot

INVESTMENT PERFORMANCE	
Total Gross Revenue	\$625,300
Cost of Sale	(\$31,265)
Total Net Revenue	\$594,035
Development Costs	(\$1,310,468)
Gross Profit	(\$716,433)
Margin on Total Cost	-54.7%
Margin on Gross Revenue	-114.6%
Equity Investment	\$233,438
Return On Investment (ROI)	-307%
NPV @ 10% for 3 Years	(\$538,266)

DEVELOPMENT SUMMARY				
Unit Type	# of Units	Avg. S.F.	Sale Price	\$/S.F.
Rehab	1	962	\$625,300	\$650
Total/Average	1	962	\$625,300	\$650
Total Residential S.F.		962 S.F.		

CONSTRUCTION BUDGET			
	Total Cost	S.F.	Cost/Unit
Land Cost	\$860,000	\$893.97	\$860,000
Due Diligence	\$0	\$0.00	\$0
Res. Construction	\$336,700	\$350.00	\$336,700
Soft Costs	incl.	\$0.00	\$0
Marketing	\$0	\$0.00	\$0
Const. Loan Fee	\$16,155	\$16.79	\$16,155
Const. Loan Interest	\$80,777	\$83.97	\$80,777
Contingency	\$16,835	\$17.50	\$16,835
Total Project Costs	\$1,310,468	\$1,362.23	\$1,310,468
Less: Loan Amount	\$1,077,030		
Initial Investment:	\$233,438		

1398 Leita Street

Alternative 2: For-Sale Three Single-Family Residential

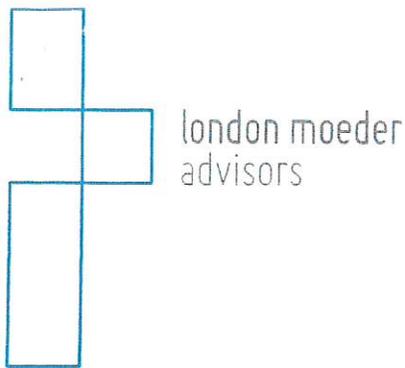
FINANCING	
Loan Amount	\$2,414,033
Loan to Cost	68.36%
Interest Rate	8.00%

LAND	
Land Value	\$860,000
Land S.F.	26,800 S.F.
Land \$/S.F.	\$32 per S.F.
Land Value Per Unit	\$286,667 per Unit
Land Value Per Residential S.F.	\$127.41 per FAR Foot

INVESTMENT PERFORMANCE	
Total Gross Revenue	\$489 psf
Cost of Sale	5.0%
Total Net Revenue	\$3,300,000
Development Costs	(\$165,000)
Gross Profit	\$3,135,000
Margin on Total Cost	(\$3,531,288)
Margin on Gross Revenue	(\$396,288)
Equity Investment	-11.2%
Return On Investment (ROI)	-12.0%
NPV @ 10% for 3 Years	\$1,117,255
	-35%
	(\$297,737)

DEVELOPMENT SUMMARY				
Unit Type	# of Units	Avg. S.F.	Avg. Sale Price	\$/S.F.
Single Family	3	2,250	\$1,100,000	\$489
Total/Average	3	2,250	\$1,100,000	\$489
Total Residential S.F.	6,750 S.F.			

CONSTRUCTION BUDGET			
	Total Cost	S.F.	Cost/Unit
Land Cost	\$860,000	\$127.41	\$286,667
Due Diligence	\$0	\$0.00	\$0
On Site Costs	\$303,635	\$44.98	\$101,212
Res. Construction	\$2,025,000	\$300.00	\$675,000
Soft Costs	incl.	\$0.00	\$0
Marketing	\$0	\$0.00	\$0
Const. Loan Fee	\$48,281	\$7.15	\$16,094
Const. Loan Interest	\$193,123	\$28.61	\$64,374
Contingency	\$101,250	\$15.00	\$33,750
Total Project Costs	\$3,531,288	\$523.15	\$1,177,096
Less: Loan Amount	\$2,414,033		
Initial Investment:	\$1,117,255		



Corporate Profile

London Moeder Advisors

REPRESENTATIVE SERVICES

Market and Feasibility Studies	Development Services	Litigation Consulting
Financial Structuring	Fiscal Impact	Workout Projects
Asset Disposition	Strategic Planning	MAI Valuation
Government Processing	Capital Access	Economic Analysis

London Moeder Advisors (formerly The London Group) was formed in 1991 to provide real estate advisory services to a broad range of clientele. The firm principals, Gary London and Nathan Moeder, combine for over 60 years of experience. We have analyzed, packaged and achieved capital for a wide variety of real estate projects. Clients who are actively pursuing, developing and investing in projects have regularly sought our advice and financial analysis capabilities. Our experience ranges from large scale, master planned communities to urban redevelopment projects, spanning all land uses and development issues of all sizes and types. These engagements have been undertaken principally throughout North America and Mexico.

A snapshot of a few of the services we render for both the residential and commercial sectors:

- **Market Analysis** for mixed use, urban and suburban properties. Studies concentrate on market depth for specific products, detailed recommendations for product type, absorption and future competition. It also includes economic overviews and forecasts of the relevant communities.
- **Financial Feasibility Studies** for new projects of multiple types, including condominium, apartment, office, and master-planned communities. Studies incorporate debt and equity needs, sensitivity analyses, rates of return and land valuations.
- **Litigation support/expert witness services** for real estate and financial related issues, including economic damages/losses, valuations, historic market conditions and due diligence. We have extensive deposition, trial, mediation and arbitration experience.
- **Investment studies for firms acquiring or disposing of real estate.** Studies include valuation, repositioning projects and portfolios, economic/real estate forecasts and valuation of partnerships. Often, the commercial studies include the valuation of businesses.
- **Estate Planning services** including valuation of portfolios, development of strategies for disposition or repositioning portfolios, succession planning and advisory services for high net worth individuals. We have also been involved in numerous marriage dissolution assignments where real estate is involved.
- **Fiscal Impact, Job Generation and Economic Multiplier Effect Reports**, traditionally prepared for larger commercial projects and in support of Environmental Impact Reports. We have been retained by both developers and municipalities for these reports. The studies typically relate to the tax revenues and employment impacts of new projects.

The London Group also draws upon the experience of professional relationships in the development, legal services, financial placement fields as well as its own staff. Clients who are actively investigating and investing in apartment projects, retail centers, commercial projects, mixed use developments and large master plans have regularly sought our advice and financial analysis capabilities.

San Diego: 825 10th Ave | San Diego, CA 92101 | (619) 269-4010
Carlsbad: 2792 Gateway Road #104 | Carlsbad, CA 92009 | (619) 269-4012



THE CITY OF SAN DIEGO

M E M O R A N D U M

DATE: Nov. 25, 2019

TO: Suzanne Segur, Senior Planner/ HRB Liaison, Development Services Department

FROM: Marcia Smith, Economic Development Specialist, Economic Development Department

SUBJECT: 1398 Lieta St., Peer Review of Economic Alternatives Analysis

INTRODUCTION

Per your request, the City of San Diego Economic Development Department (EDD) has undertaken a peer review of the Economic Alternative Analysis prepared by London Moeder Advisors pertaining to the three development scenarios at 1398 Lieta St., San Diego, CA 92110. Located in the Bay Park neighborhood of the Clairemont Mesa Community Planning Area, the 0.62-acre property (APN 430-680-09-00) currently contains a 962-square-foot single-story home and 25,838 square feet of undeveloped, dormant land. The elevated site is at the western end of Tonopah Avenue and southern end of Lieta Street, perched above Morena Boulevard on its west. It is bordered by single-family detached homes on its southeast side and a 70-unit apartment complex of the Sarn-Smith subdivision on its northeast side.

For context, the City of San Diego continues to face a critical need for housing, particularly affordable housing. Also, the City is in the process of comprehensively updating Clairemont's 30-year-old community plan with considerations for the City's housing shortage, transit-oriented development and mobility and sustainability goals. Each scenario of the proposed project is compatible with the Urban Design Element goals stated in the August 2019 working draft of the Clairemont Plan to enhance "the Clairemont's major attributes such as its canyons, distinct single-family neighborhoods, its connection to Mission Bay, and its commercial centers."¹ According to the Clairemont Engaged website encouraging community outreach for and participation in the plan update, Clairemont's existing residents and growing population seeks greater variety in housing types and price ranges.² The proposed project presents a scenario that aligns with those needs.

EDD has received the development proposal for the Base Project: the demolition of the existing 962-square-foot home and the construction of 12 R-3 Class, three-story, market-rate townhomes (two-

¹ Working Draft Urban Design Element. (Aug. 2019). Clairemont Community Plan. Retrieved from https://9ff67c5d-1cd1-49a0-b96c-ff60f299d49e.filesusr.com/ugd/a513cc_224d5eb202b04783b2134043e2644bca.pdf

² Clairemont Engaged. (2017). "About Clairemont Engaged." Retrieved from <https://www.clairemontplan.org/about>

and three-bedroom units) and one R-3 Class three-story, three-bedroom, affordable-rate townhome. The average net-unit size of the townhomes would be 1,912 square feet. Two alternatives were also provided: (Alternative 1) the rehabilitation of the 962-square-foot-home and the restoration of the undeveloped land to agricultural use; (Alternative 2) the demolition of the 962-square-foot home, the construction of three standard single-family homes with an average home size of 2,250 square feet, and the retaining of the remaining former farm land as a dormant site. London Moeder Advisors has prepared an Economic Alternative Analysis, which includes feasibility analyses, a statement of probable costs from unnamed developer and London Moeder Advisors, and projected sales prices based on market study of surrounding area comparable sales.

The City of San Diego Development Services Department (DSD) has asked that EDD conduct a peer review of London Moeder Advisors' Economic Alternative Analysis to determine 1) whether the assumptions and conclusions used in the analysis are acceptable; and 2) if any of the alternatives are economically feasible, that is, able to be financed and generate a reasonable rate of return.

KEY FINDINGS

Threshold Feasibility Questions (2)

- 1) EDD reviewed the assumptions and analyzed viability of the Base Project and two alternatives and finds the assumptions, estimates, valuation and conclusion to be reasonable and acceptable.
 - The 962-square-foot single-family home, according to the analysis, is a “non-historic” structure.³ But the 0.62-acre parcel upon which the structure stands, the Alzo and Komume Sogo Farm, is in the Register of Designated Historical Resources as Site No. 1305 under Criterion A:

The resource reflects a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s.⁴

The designation, which excludes structures located on the parcel, is for the period of significance 1937-1983. Neither EDD nor London Moeder Advisors includes permit fees related to the historical review in the economic feasibility analyses. EDD therefore assumes that all three development scenarios are permissible at this location.
 - The Base Project calls for one of 13 townhomes to be designated at affordable housing, which will be offered for sale at \$350,000. This more than satisfies the City of San Diego's Inclusionary Affordable Housing Ordinance⁵, which applies to new development of 2 or more units and requires at least 5% of the condominium conversions to be set aside for households earning no more than 100% of the area median income, subject to the San Diego Housing Commission. The Base Project sets aside 7.6% of dwelling units (1 of 13

³ London Moeder Advisors. (August 19, 2019). 1398 Lieta Street Economic Alternative Analysis. San Diego.

⁴ California Historical Resources Inventory Database. (n.d.). City of San Diego, 1398 Lieta St. Retrieved from http://sandiego.cfwebtools.com/search.cfm?local=true&res_id=17981&local_id=1&display=resource&key_id=3340

⁵ City of San Diego Development Services Department. (July 2018). Information Bulletin 532: Requirements for Inclusionary Affordable Housing.

units). The \$350,000 sale price would entail a \$60,000 (17%) down payment, a 30-year fixed loan term (4.125%) and estimated \$1,996 monthly payments. The \$1,996 payments would be affordable, i.e., less than 30% of the owner's monthly income for a household earning the \$86,300 AMI in 2019, as designated by the San Diego Housing Commission⁶ ($\$86,300/12 * .30 = \$2,158$). The proposal from Alternative 2, which calls for the construction of three standard single-family homes, does not appear to have a line item associated with an Inclusionary Affordable Housing Fee, which would make that alternative even more economically infeasible.

- The assumption of a 12-month construction period is reasonable considering other similar residential construction projects in the San Diego region.
- The Base Project's three-story design meets the 30-foot height limitation of the current and proposed Clairemont Mesa Community Plan. This limitation preserves public view of Mission Bay and allows homeowners to take advantage of the vista as well.
- The residential construction costs provided by the developer and London Moeder Advisors for the Base Project (\$248.27 per square foot), Alternative 1 (\$350 psf) and Alternative 2 (\$300 psf) are each above the most recent 2018 San Diego Area Chapter International Code Council Valuation Schedule⁷ for R-3 residential dwellings (\$201.82 psf). EDD, however, does not consider the projected costs to be excessive because these dwellings, either townhomes or single-family homes, are larger units averaging 1,908 square feet for the townhomes and 2,250 square feet for the single-family homes. Also, according to the Economic Alternative Analysis, the homes, with the exception of the affordable-rate townhome, are expected to supplement Clairemont's housing stock selection as high-quality, 2-plus-bedroom offerings that warrant premium pricing (>\$850,000). Average buildable ranges for a custom residential dwelling or specialty build in San Diego run \$225-\$350 per square foot, according to several developers.
- Also, the expectation that the properties will be sold at the list price upon completion of construction is acceptable, barring a sudden economic downturn, a looming recession or drop in consumer confidence. Redfin scores the Bay Park market as "78 Very Competitive" within the past three months, with homes sold within 1% of their list price and go pending in between 9 and 16 days.⁸ New builds, especially 3-bedroom ones with expansive, unobstructed views of Mission Bay, within a 3-mile radius of the location are rare. Moreover, the Base Project's 3-bedroom townhomes can be expected to be in high demand because older neighboring multifamily units do not feature more than two bedrooms and single-family detached homes rarely hit this seller's market.
- The calculated sales prices for the townhomes are slightly high, and the calculated prices for single-family homes are modestly low—but all reasonable, competitive and corroborated by a survey of comparable sales in the surrounding market on Zillow.com, Redfin.com and CoStar. Redfin, for example, reports November's median list price for homes at \$850,000.

⁶ San Diego Housing Commission. San Diego Housing Commission Income and Rent Calculations. (2019). Retrieved from <https://www.sdhc.org/wp-content/uploads/2018/06/AMI-Rent-Chart.pdf>

⁷ San Diego Area Chapter International Code Council. (Feb. 2018). 2018 Valuation Schedule. Retrieved from <https://iccsandiego.org/wp-content/uploads/2019/04/Valuation-Schedule-2018-ICCSD.pdf>

⁸ Redfin website. (2019). 1398 Lieta St. Retrieved from <https://www.redfin.com/CA/San-Diego/1398-Lieta-St-92110/home/5218681>

London Moeder Advisors uses an average sales price for the 12 market-rate townhomes of \$1,044,833, or \$556 per square foot. That is 9% higher than Redfin's Bay Park market statistic of \$508 median per square foot, which is likely weighted down the area's older properties. Alternative 2's single-family homes are estimated to list at \$1,100,000 (\$489 per square foot), which appears to be significantly below what the market will bear. A market study using Zillow.com's Zestimates® shows four of 17 single-family detached homes in the 1400 block of Lieta Street at \$1.36 million, \$1.28 million, \$1.12 million and \$1.04 million. The 17 properties average \$608 per square foot, which is 24% higher than Alternative 2's asking price. Still, the pricing for both dwelling types can be considered acceptable.

- Given the preceding discussion on the reasonable and acceptable assumptions for the input data in all three scenarios, it follows that the projections for Margins on Revenue and Margins on Cost are accurate and reasonable. The Base Project, with its 19.2% Margin on Revenue and 25.4% Margin on Cost, is the only economic feasible project. It should be noted at that Base Project's 19.2% Margin on Revenue, which drops significantly to account for the sale of the affordable-rate townhome, is just above the 15% threshold that London Moeder Advisors considers economically feasible and worthy of financing. Industry construction data recommend a 21-25% gross margin on new construction. Both Alternative 1 and 2 create significant negative returns, even when raising the sales prices, rendering these options infeasible.

- 2) EDD considers the Base Project the only economically feasible option of the projects presented. Use of the 0.62-acre lot for single-family home construction exposes the developer potentially to significant reductions of project value and rising construction costs without bringing new types of housing to Bay Park.

For any questions about this review, please do not hesitate to contact me by phone at 619-236-6461 or by email at marcias@san Diego.gov.

Thank you,



Marcia C. Smith
Economic Research Specialist
Economic Development Department

MCS

cc: Christina Bibler, Director, Economic Development Department
Lydia Moreno, Deputy Director, Economic Development Department



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning
Committee
Distribution Form Part 2

Project Name: 1398 Lieta St SDP	Project Number: 512890	Distribution Date: 4/5/2017
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Project Scope/Location:
CLAIREMONT MESA IO# 24006995 ****SUSTAINABLE & AFFORDABLE EXPEDITE PROGRAM**** (Process 4) SDP & NDP to construct 13 dwelling units totaling 34,966 square-feet on a single lot. Project provides one affordable dwelling unit, a density bonus of 37.5-percent, requesting three deviations and exceeding the Clairemont Mesa Height Limit. The 0.61-acre site is located at 1398 Lieta St in the RS-1-7 and CC-4-5 zone(s) of the Clairemont Mesa Community Plan area within Council District 2.

Applicant Name: Craig Howard	Applicant Phone Number: (619) 270-6190
--	--

Project Manager: Jeff Peterson	Phone Number: (619) 446-5237	Fax Number: (619) 321-3200	E-mail Address: JAPeterson@sandiego.gov
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Committee Recommendations (To be completed for Initial Review):

<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below			
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below			
<input checked="" type="checkbox"/> Vote to Deny	Members Yes 10	Members No 1	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued

CONDITIONS: Not in keeping with the level of development on it's single family residential street. No viable guest parking (don't agree tandem and lifts will be utilized). Privacy issues for adjacent residential. Landscaping on South side inadequate. West slope needs to be landscaped (applicant stated willing to landscape if allowed by staff)

NAME: Kevin J. Carpenter, AIA	TITLE: Chair, PRS
--------------------------------------	--------------------------

SIGNATURE:	DATE: 6/30/2020
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<i>Attach Additional Pages if Necessary.</i>	Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101
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Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 1398 Lieta Street 512890

Project Address:
 1398 Lieta Street, San Diego, 92110

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Signature : _____

Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Signature : _____

Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Signature : _____

Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Signature : _____

Date: _____

	State of California Secretary of State	LP-1	File # <u>201118900001</u>
Certificate of Limited Partnership		ENDORSED - FILED in the office of the Secretary of State of the State of California JUL 07 2011	
A \$70.00 filing fee must accompany this form. Important -- Read instructions before completing this form.		This Space For Filing Use Only	
Entity Name (Enter the name with the words "Limited Partnership" or the abbreviation "LP" or "L.P.")			
1. NAME OF LIMITED PARTNERSHIP Almeria Investments, LP			
Initial Designated Office Address (Do not abbreviate the name of the city.)			
2. ADDRESS OF INITIAL DESIGNATED OFFICE IN CALIFORNIA		CITY	STATE ZIP CODE
2719 Loker Ave., W. Suite B		Carlsbad	CA 92010
Initial Agent For Service of Process (If the initial agent is an individual, the agent must reside in California and both items 3 and 4 must be completed. If the initial agent is a corporation, the agent must have on file with the California Secretary of State a certificate pursuant to Corporations Code section 18007 and item 3 must be completed (leave item 4 blank).)			
3. NAME OF INITIAL AGENT FOR SERVICE OF PROCESS			
The Amln Law Group, Ltd.			
4. IF AN INDIVIDUAL, ADDRESS OF INITIAL AGENT FOR SERVICE OF PROCESS IN CA		CITY	STATE ZIP CODE
			CA
General Partners (Enter the names and addresses of all the general partners. Attach additional pages, if necessary.)			
5a. NAME	ADDRESS	CITY	STATE ZIP CODE
MJF Capital, Inc.	2719 Loker Ave., W. Suite B	Carlsbad	CA 92010
5b. NAME	ADDRESS	CITY	STATE ZIP CODE
Additional Information			
6. ADDITIONAL INFORMATION SET FORTH ON THE ATTACHED PAGES, IF ANY, IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART OF THIS CERTIFICATE.			
Execution (This certificate must be signed by all of the general partners. If additional signature space is necessary, the signatures may be made on an attachment to this certificate.)			
7. I DECLARE I AM THE PERSON WHO EXECUTED THIS INSTRUMENT, WHICH EXECUTION IS MY ACT AND DEED.			
July 6, 2011 DATE			
 SIGNATURE OF GENERAL PARTNER		Michael Fulton, President of MJF Capital, Inc, GP TYPE OR PRINT NAME OF GENERAL PARTNER	
SIGNATURE OF GENERAL PARTNER		TYPE OR PRINT NAME OF GENERAL PARTNER	
LP-1 (REV 01/2010)		APPROVED BY SECRETARY OF STATE	



I hereby certify that the foregoing transcript of 1 page(s) is a full, true and correct copy of the original record in the custody of the California Secretary of State's office.

JUL 08 2011

Date: _____ *Sgm*

Debra Bowen

DEBRA BOWEN, Secretary of State

104

LP-2

Amendment to Certificate of Limited Partnership (LP)

To change information of record for your LP, fill out this form, and submit for filing along with:

- A \$30 filing fee,
- A separate, non-refundable \$15 service fee, if you drop off the completed form.

Items 3-7: **Only** fill out the information that is changing. Attach extra pages if you need more space or need to include any other matters.

FILED
In the Office of the Secretary of State
of the State of California

JUN 07 2012

This Space For Office Use Only

For questions about this form, go to www.sos.ca.gov/business/be/filing-tips.htm

① LP's File No. (issued by CA Secretary of State):

201118900001

② LP's Exact Name (on file with CA Secretary of State):

ALMERIA INVESTMENTS, LP.

③ New LP Name:

The new LP name: must end with "Limited Partnership," "LP," or "L.P." and may not contain "bank," "insurance," "trust," "trustee," "incorporated," "inc.," "corporation," or "corp."

④ New LP Office Address in California:

817 CLARK AVE ENCINITAS CA 92024
street address city (no abbreviations) state zip

⑤ New Agent/Address for Service of Process: (The agent must be a CA resident or qualified 1505 corporation in CA.)

a. Agent's name: MICHAEL FULTON
b. Agent's address: 817 CLARK AVE ENCINITAS CA 92024
street address (if agent is not a corporation) city (no abbreviations) state zip

⑥ General Partner Changes:

a. New general partner: *name address city (no abbreviations) state zip*
b. Address change: *name new address city (no abbreviations) state zip*
c. Name change: Old name: _____ New name: _____
d. Name of dissociated general partner: _____

⑦ Dissolved LP: (Either check box a or check box b and complete the information. Note: To terminate the LP, also file a Certificate of Cancellation (Form LP-477), available at www.sos.ca.gov/business/be/forms.htm.)

a. The LP is dissolved and wrapping up its affairs.
b. The LP is dissolved and has no general partners. The following person has been appointed to wrap up the affairs of the LP: *name address city (no abbreviations) state zip*

⑧ Read and sign below: This form must be signed by (1) at least one general partner; (2) by each person listed in item 6a; and (3) by each person listed in item 6d if that person has not filed a Certificate of Dissociation (Form LP-101). If item 7b is checked, the person listed must sign. If a trust, association, attorney-in-fact, or any other person not listed above is signing, go to www.sos.ca.gov/business/be/filing-tips.htm for more information. If you need more space, attach extra pages that are 1-sided and on standard letter-sized paper (8 1/2" x 11"). All attachments are part of this amendment.

I declare that I am the person who signed this form and that signing this form is my act.

Sign here *[Signature]* Michael Fulton, president of MJF Capital, Inc. 4/9/12
Print your name here Date

Sign here _____ *Print your name here Date*

Make check/money order payable to: Secretary of State
We can give you up to 2 free certified copies of your filed form if you submit up to 2 completed copies of this form (with all attachments).

By Mail
Secretary of State
Business Entities, P.O. Box 942225
Sacramento, CA 94244-2250

Drop-Off
Secretary of State
1500 11th St., 3rd Floor,
Sacramento, CA 95814

State of California
Secretary of State

CERTIFICATE OF STATUS

ENTITY NAME: ALMERIA INVESTMENTS, LP

FILE NUMBER: 201118900001
FORMATION DATE: 07/07/2001
TYPE: DOMESTIC LIMITED PARTNERSHIP
JURISDICTION: CALIFORNIA
STATUS: ACTIVE (GOOD STANDING)

I, DEBRA BOWEN, Secretary of State of the State of California, hereby certify:

The records of this office indicate the entity is authorized to exercise all of its powers, rights and privileges in the State of California.

No information is available from this office regarding the financial condition, business activities or practices of the entity.



IN WITNESS WHEREOF, I execute this certificate
and affix the Great Seal of the State of California this
day of July 30, 2012.

A handwritten signature in cursive script that reads "Debra Bowen".

DEBRA BOWEN
Secretary of State



ATTACHMENT 14

Secretary of State

Business Programs Division

Business Entities - Records, P.O. Box 944260, Sacramento, CA 94244-2600

July 30, 2012

MICHAEL FULTON

RE: ALMERIA INVESTMENTS, LP 201118900001

This letter is in response to your request for information.

The 'not to exceed' or blank check submitted with your request has been completed in the amount of \$6.50.

Certification and Records
Business Entities Section

PROPOSED INDIVIDUAL R-3 TOWN HOMES

4200 TONOPAH AVENUE,
SAN DIEGO, CA 92110

LEGAL DESCRIPTION (APN: 430-680-90-00):

The southwesterly 100.00 feet (as measured at right angles from the southwesterly line of lot 5) of all that portion of lot 5 of pueblo lot 255, in the City of San Diego, County of San Diego, State of California; according to referee's partition map filed in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., case no. 3475, filed in the superior court of the County of San Diego, lying southwest of the center line of Asher street, as said street existed on January 21, 1944.

Excepting therefrom the following parcels:

- A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway.
- B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 9029, page 122 of official records.
- C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 17 of first addition to Asher's cloverleaf terrace, according to map thereof no. 1666, filed in the office of the county recorder, and the northeasterly prolongation of said southeasterly line, and lying northeasterly of the northwesterly prolongation of the southwest line of lot 17 in block 17 of said first addition to Asher's cloverleaf terrace.
- D. That portion lying within Lahoud terrace, according to map thereof no. 3134, filed in the office of the county recorder of San Diego County, October 4, 1954.

- DEMOLITION OF EXISTING SINGLE FAMILY RESIDENCE AND DETACHED GARAGE (YEAR BUILT: 1937)
- CONSTRUCTION OF THIRTEEN (13) NEW R-3 CLASS 3 STORY TOWN HOMES (OF WHICH 1 WILL BE AFFORDABLE - VERY LOW INCOME)
- LANDSCAPE IMPROVEMENTS
- (REMOVED)
- SUBMITTAL OF NEW TENTATIVE MAP

ALL ASPECTS OF THIS PROJECT REGARDLESS OF INCLUSIVE OR NOT WITHIN BUILDING PERMIT SUBMITTAL DRAWINGS SHALL BE TO COMPLY WITH CBC 2013 & ALL OTHER GOVERNING BUILDING & ADA CODES.

OVERLAPPING AND CONFLICTING REQUIREMENTS:
Where compliance with 2 or more industry standards or sets of requirements is specified, and overlapping of those different standards or requirements establishes different or conflicting minimums or levels of quality, most stringent requirement (which is generally recognized to be also most costly) is intended and will be enforced, unless specifically detailed language written into contract documents (not by way of reference to an industry standard) clearly indicates that a less stringent requirement is to be fulfilled. Refer apparently-equal-but-different requirements, and uncertainties as to which level of quality is more stringent, to architect/contractor for a decision before proceeding.

MINIMUM QUALITY/QUANTITY:
In every instance, quality level or quantity shown or specified is intended as minimum for the work to be performed or provided, except as otherwise specifically indicated, actual work may either comply exactly with that minimum (within specified tolerances), or may exceed that minimum within reasonable limits. In complying with requirements, numeric values are either minimums or maximums as noted or as appropriate for context of requirements. Refer instances of uncertainty to architect for decision before proceeding.

NOTE TO CONTRACTOR:
Where contract documents (drawings and specifications) are incomplete, ambiguous or contain conflicting instructions, do not proceed until receiving clarification from the architect and designer in writing. Contractor to verify all dimensions in field.

FAA SELF-CERTIFICATION:
"I, _____ do hereby certify that the structure(s) or modification to existing structures shown on these plans do not require Federal Aviation Administration notification because per Section 77.15(A) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required."

SHEET LIST	DESIGN - DE BARTOLO RIMANIC DESIGN STUDIO
A0.00	Title Sheet
A0.10	Development Calculations FAR Diagrams
A0.20	Site Context Photos
A1.00	Existing Site Plan Demolition Plan
CIVIL - CIVIL LANDWORKS	
Topographic Survey	
Tentative Map	
DESIGN - DE BARTOLO RIMANIC DESIGN STUDIO	
A1.01	Proposed Site Plan
A1.02	Fire Access Plan
A1.03	Enlarged Site Plan
A1.04	Pedestrian/Vehicular Access Plan
A2.10	Floor Plan Level 1
A2.11	Floor Plan Level 2
A2.12	Floor Plan Level 3
A2.13	Roof Plan
A3.00	Elevations Building 1
A3.01	Elevations Building 2
A3.02	Site Elevations
A4.00	Sections
A5.00	Materials Board
LANDSCAPE - STONE & GROVE LANDSCAPE ARCHITECTS	
L-1	Planting Plan
L-2	Planting Plan
L-3	Square Footage Plan

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ALMERIA INVESTMENTS, LP
PO BOX 232628
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PHONE: (760) 207-3740
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REVISION:	DATE:	DRAWN BY:
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01.08.2018	SDP & NDP - CYCLE ISSUES 3	CH
11.14.2018	SDP & NDP - CYCLE ISSUES 4	CH
05.28.2019	SDP & NDP - CYCLE ISSUES 5	CH
09.12.2019	SDP & NDP - CYCLE ISSUES 6	CH
06.12.2020	HISTORIC REVISIONS	CH

DRAWING TITLE:
TITLE SHEET

PROJECT:
PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES
4200 TONOPAH AVE,
SAN DIEGO, CA 92110

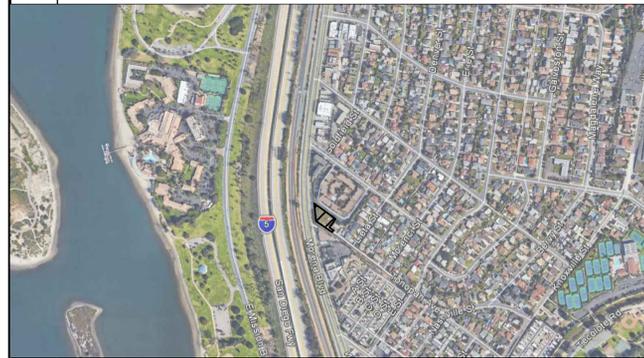
DBRDS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	N/A
SHEET NO:	A0.00

SITE DEVELOPMENT AND NEIGHBORHOOD DEVELOPMENT PERMIT
THIRTEEN (13) R-3 CLASS INDIVIDUAL TOWN HOMES

SCOPE OF WORK	GENERAL NOTES
<p>XX/AXXX — DETAIL NUMBER SHEET LOCATION</p> <p>XX/AXXX — WALL SECTION NUMBER SHEET LOCATION</p> <p>X — KEYNOTE</p> <p>X"X" — CEILING HEIGHT A.F.F.</p> <p>X/XX — NEW DOOR/WINDOW NUMBER</p> <p>REVISION CLOUD</p> <p>X — GRID MARKER</p> <p>XX/FF XX — ROOM TAG FINISHED FLOOR ELEVATION</p> <p>4 — WALL TAG</p> <p>4 — MATERIAL TAG</p>	<p>APPLICABLE CODES: CALIFORNIA RESIDENTIAL CODE, 2016 EDITION CALIFORNIA BUILDING CODE (CBC), 2016 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2016 EDITION CALIFORNIA PLUMBING CODE (CPC), 2016 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2016 EDITION CALIFORNIA GREEN BUILDING CODE, 2016 EDITION REGULATIONS AND ORDINANCES OF THE CITY OF SAN DIEGO</p> <p>WATER: BY CONNECTION TO EXISTING LOCATED IN MORENA BLVD SEWER: BY GRAVITY TO EXISTING IN LIETA ST DRAINAGE: BY GRAVITY THROUGH PROPOSED GRADING TO MORENA BLVD (SEE CIVIL SHEET) GAS + ELECTRICAL: SDG&E</p>

ARCHITECTURAL LEGEND

LOCALITY MAP



SITE AREA:	26,800 SQ.FT.
ZONING:	RS-1-7 / CC-4-5
OVERLAYS:	AIRPORT INFLUENCE AREA CLAIREMONT MESA HEIGHT LIMIT FAA PART 77 NOTIFICATION AREA GEOLOGICAL HAZARD CATEGORY: 53
EXISTING USE: (YEAR BUILT):	EXISTING SINGLE FAMILY HOUSE (TO BE DEMOLISHED) 1937
PROPOSED USE:	R-3
TYPE OF CONSTRUCTION:	TYPE V-B
	RS-1-7 CC-4-5
LOT AREA:	14,800sf (SEE A1.00) 12,000sf (SEE A1.00)
HEIGHT:	24'/30" ALLOWED 30' ALLOWED 30'-0" PROPOSED (PARAPET) 30'-0" PROPOSED (PARAPET)
FRONT SETBACK:	6'-0" REQUIRED N/A
SIDE SETBACK:	0.08 x LOT WIDTH (100'-0") 8'-0" MIN. REQUIRED 10'-0" or 0' 10'-2" & 5'-0" PROPOSED 26'-0" and 5'-0" PROPOSED
REAR SETBACK:	N/A 10'-0" 10'-0" PROPOSED
FAR:	0.5 (7,400sf) ALLOWED 2.0 (24,000sf) ALLOWED
	7,451sf - LEVEL 1 4,442sf - LEVEL 1 7,187sf - LEVEL 2 4,032sf - LEVEL 2 7,141sf - LEVEL 3 4,012sf - LEVEL 3
	1.47 FAR (21,779sf) 1.04 FAR (12,486sf)
TOTAL FAR ALLOWED:	31,400sqft (COMBINED ZONES)
TOTAL PROPOSED FAR:	34,265sqft (COMBINED ZONES)
MIN. LOT COVERAGE:	35% (52.16% PROPOSED) NO REQUIREMENTS (41.49% PROPOSED)
LANDSCAPE AREA:	679sqft (REFER TO LANDSCAPE SHEETS)
PARKING:	10 3-BED x 2.25 SPACES = 22.5 SPACES REQUIRED 2 2-BED x 2.0 SPACES = 4 SPACES REQUIRED 1 2-BED (AFFORDABLE) x 1.3 SPACES 27.8 SPACES TOTAL REQUIRED 28 SPACES PROPOSED
AFFORDABLE HOUSING: (RESIDENTIAL DENSITY)	CC-4-5 ZONE: 1 UNIT / 1,500sqft 12,000sqft/1500sqft = 8 UNITS ALLOWED (MAX PRE-BONUS DENSITY = 9 UNITS) 11.1% VERY LOW INCOME ALLOWS FOR A 35% DENSITY BONUS 9 x 12% = 1.0 = 4 VERY LOW INCOME UNIT 9 DWELLING UNITS x 1.35 = 12.15, ROUNDED UP TO 13 13 TOTAL DWELLING UNITS ALLOWED
INCENTIVES: (2 ALLOWED)	1. PROPOSED 5'-0" SIDE SETBACK IN RS-1-7 ZONE (8'-0" REQUIRED) 2. PROPOSED FAR OF 34,265sqft IN COMBINED ZONES (31,400sqft MAX. REQUIRED)
DEVIATIONS:	1. DEVIATION FROM THE 30-DEGREE ANGLED BUILDING ENVELOPE PLANE ALONG SIDE SETBACK LINES FOR STRUCTURES WITHIN THE RS ZONE. 131.0444(c) 2. DEVIATION FROM THE COMMERCIAL COMPONENT REQUIRED FOR THE CC-4-5 ZONE TO ALLOW FOR RESIDENTIAL DEVELOPMENT. 131.0540(b) 3. DEVIATION FROM THE CC-4-5 SIDE SETBACK 0' OPTION TO ALLOW FOR A 5'-0" OPTION.

DEVELOPMENT SUMMARY



RENDERING (VIEW FROM THE SOUTHWEST)

AREA CALCULATIONS:

GROUP 1 UNIT	USE	AREA
UNIT 01-02	3-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA (EACH UNIT)	2,210sqft 389sqft 432sqft 3,031sqft
UNIT 03	3-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA (EACH UNIT)	2,210sqft 389sqft 333sqft 2,932sqft
UNIT 04	3-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA	2,316sqft 352sqft 307sqft 2,975sqft
TOTAL GFA	BUILDING 1	11,969sqft
GROUP 2 UNIT	USE	AREA
UNIT 05	2-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA	1,442sqft 500sqft 253sqft 2,195sqft
UNIT 06	2-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA	1,316sqft 428sqft 435sqft 2,179sqft
UNIT 07	2-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA	1,178sqft 500sqft 302sqft 1,980sqft
UNIT 08-13	3-BED TOWN HOME GARAGE MISCELLANEOUS* TOTAL GFA (EACH UNIT)	1,954sqft 373sqft 330sqft 2,657sqft
TOTAL GFA	GROUP 2	22,296sqft
TOTAL GFA	GROUP 1 + GROUP 2	34,265sqft

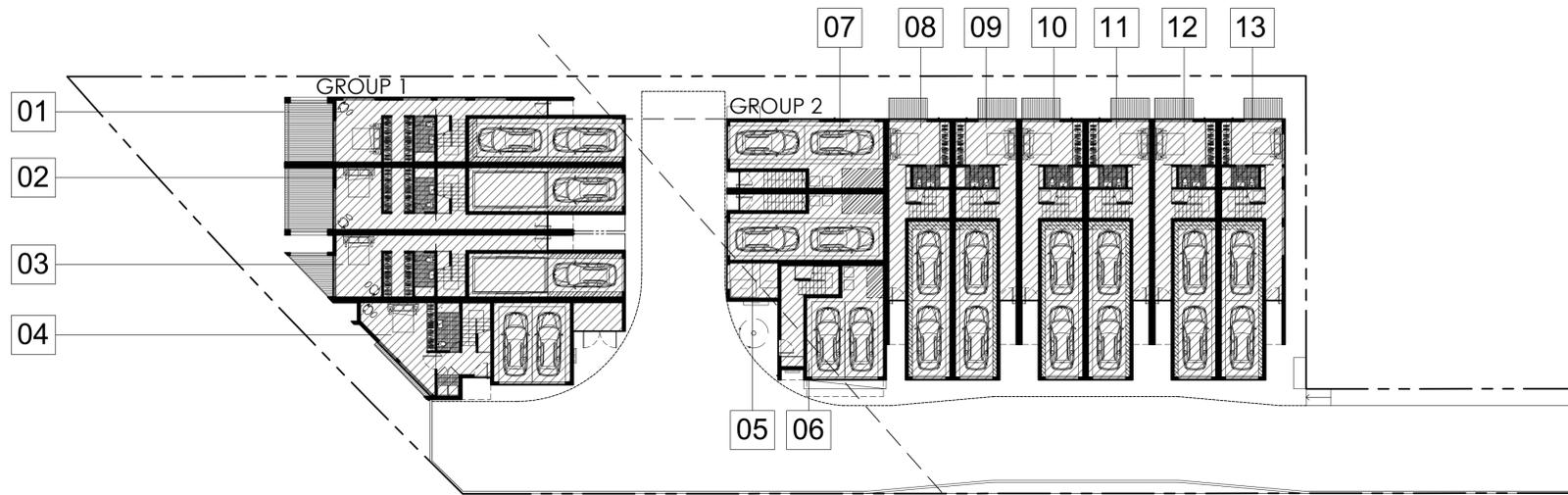
*GFA includes all miscellaneous circulation, fire stairs, wall thicknesses, lift shafts, ducts, and all non-specified areas.

PRIVATE BALCONY CALCULATIONS:

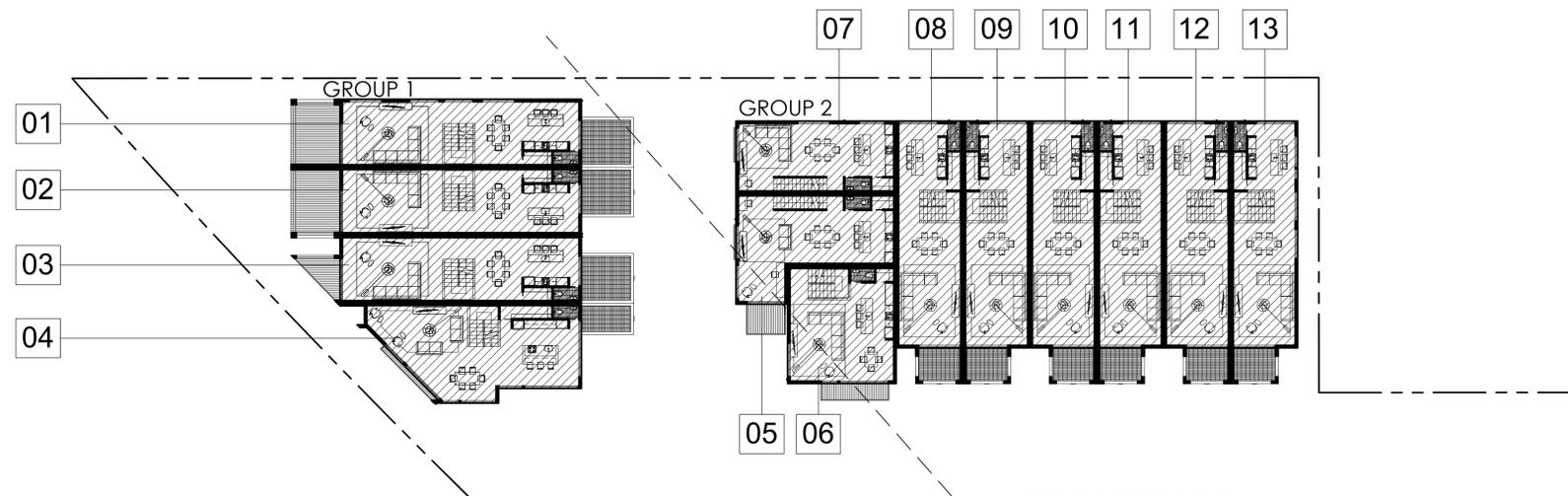
GROUP 1 TOWN HOME	USE	AREA
TOWN HOME 01-02	BALCONIES	617sqft
TOWN HOME 03	BALCONIES	300sqft
TOWN HOME 04	BALCONIES	137sqft
GROUP 2 TOWN HOME	USE	AREA
TOWN HOME 05	BALCONIES	140sqft
TOWN HOME 06	BALCONIES	130sqft
TOWN HOME 07	BALCONIES	4sqft
TOWN HOME 08-13	BALCONIES	207sqft
TOTAL	BALCONIES	3,187sqft

TOWN HOME BREAKDOWN:

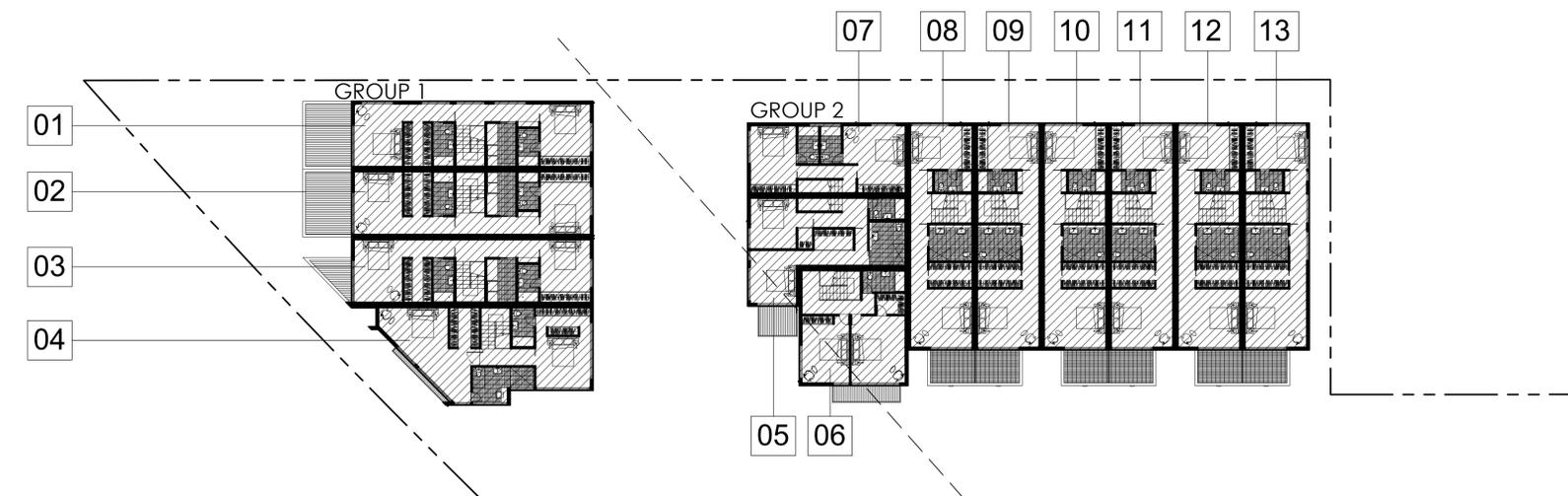
No.	UNIT TYPE	INT. AREA	EXT. AREA
TH 01-02	3 BEDROOM + GARAGE	2,618sqft (EACH)	617sqft (EACH)
TH 03	3 BEDROOM + GARAGE	2,618sqft	300sqft
TH 04	3 BEDROOM + GARAGE	2,679sqft	137sqft
TH 05	2 BEDROOM + GARAGE	1,956sqft	140sqft
TH 06	2 BEDROOM + GARAGE	1,744sqft	130sqft
TH 07	2 BEDROOM + GARAGE	1,678sqft	4sqft
TH 08-13	3 BEDROOM + GARAGE	2,327sqft (EACH)	207sqft (EACH)
TOTAL No. TOWN HOMES = 13 (10 x 3 BEDROOM + 3 x 2 BEDROOM)			
AVERAGE TOWN HOME SIZE		INT. AREA	EXT. AREA
2 BEDROOM		1,793sqft	91sqft
3 BEDROOM		2,450sqft	291sqft
TOTAL AVERAGE TOWN HOME SIZE		2,298sqft	245sqft
70% OF AVERAGE TOWN HOME SIZE		1,607sqft	



LEVEL 1 FAR: 11,893sqft



LEVEL 2 FAR: 11,219sqft



LEVEL 3 FAR: 11,153sqft

FAR DIAGRAMS TOTAL FAR: 34,265sqft (31,400sqft REQUIRED, INCENTIVE 2)

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DBRDS
DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:

ALMERIA INVESTMENTS, LP
PO BOX 232628
ENCINITAS, CA 92023
PHONE: (760) 207-3740
CONTACT: MICHAEL FULTON
EMAIL: michael@almeriainvestments.com

DESIGN:

DE BARTOLO + RIMANIC DESIGN STUDIO
363 5TH AVE, SUITE 203
SAN DIEGO, CA 92101
PHONE: (858) 220 5262
CONTACT: PAULY DE BARTOLO
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING

CIVIL LANDWORKS
110 COPPERWOOD WAY, SUITE P
OCEANSIDE, CA 92058
PHONE: (760) 908-8745
CONTACT: DAVE CARRON, PE
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LANDSCAPE ARCHITECT

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200 N CEDROS AVE
SOLANA BEACH, CA 92705
PHONE: (858) 345-1499
CONTACT: BRIAN GROVE
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER

CHRISTIAN WHEELER ENGINEERING
3980 HOME AVE
SAN DIEGO, CA 92105
PHONE: (619) 550-1700
CONTACT: DAVID R. RUSSELL
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT

PROTECTION DESIGN AND CONSULTING
2851 CAMINO DEL RIO S. #210
SAN DIEGO, CA 92108
PHONE: (619) 255-8964
CONTACT: STEVE LEYTON
EMAIL: steve@protectiondesign.com

REVISION:

10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	
06.12.2020	DRAWN BY: CH
HISTORIC REVISIONS	

DRAWING TITLE:
DEVELOPMENT CALCS.
& FAR DIAGRAMS

PROJECT:
PROPOSED INDIVIDUAL
R-3 CLASS TOWN HOMES
4200 TONOPAH AVE,
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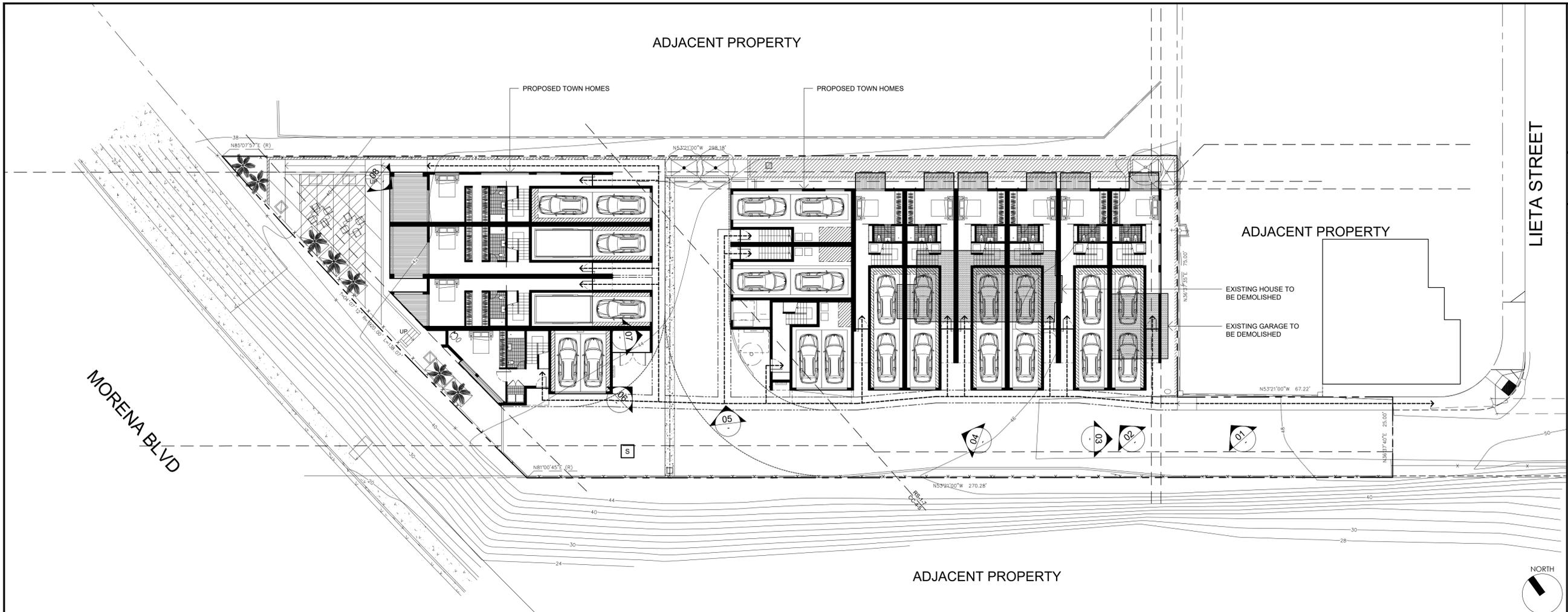
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 1" = 20'-0"

SHEET NO: A0.10



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09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
SITE CONTEXT PHOTOS

PROJECT:
PROPOSED INDIVIDUAL
R-3 CLASS TOWN HOMES
4200 TONOPAH AVE,
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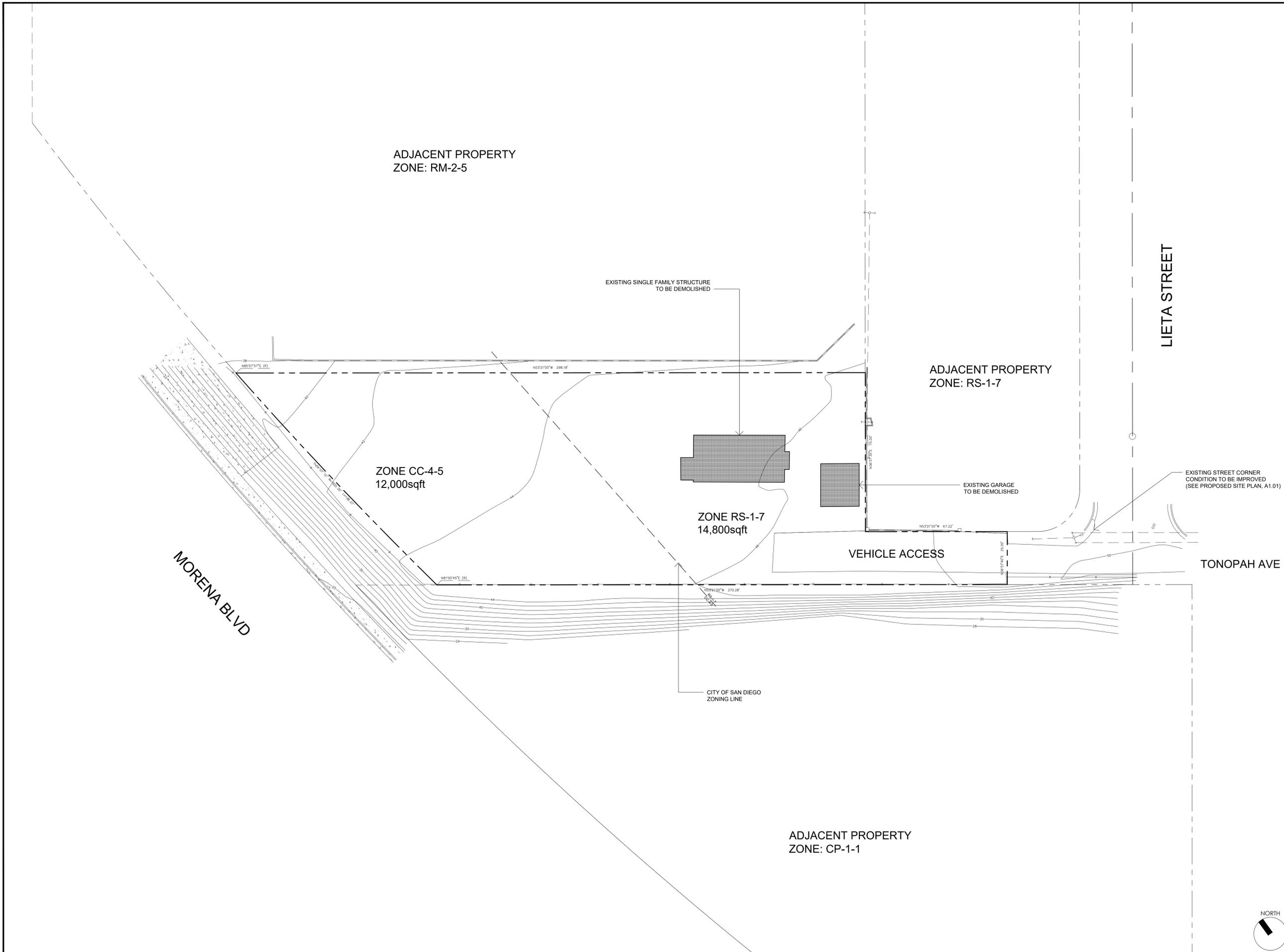
DBRDS PROJECT NO: 15066
DATE: SEPTEMBER 2016
DRAWN BY: CH
SCALE: 1/16" = 1'-0"
SHEET NO: A0.20

KEY MAP



SITE CONTEXT PHOTOS

SITE DEVELOPMENT & NEIGHBORHOOD DEVELOPMENT PERMIT - (HISTORIC REVISIONS) - 06.12.2020



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2851 CAMINO DEL RIO S. #210
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PHONE: (619) 255-8864
CONTACT: STEVE LEYTON
EMAIL: steve@protectiondesign.com

REVISION:	
10.18.2017	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 2
01.08.2018	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 3
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09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
EXISTING SITE PLAN

PROJECT:
PROPOSED INDIVIDUAL
R-3 CLASS TOWN HOMES
4200 TONOPAH AVE,
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066
DATE: SEPTEMBER 2016
DRAWN BY: CH
SCALE: 1" = 20'-0"
SHEET NO: A1.00

EXISTING SITE PLAN



TOPOGRAPHIC SURVEY

OWNER

ALMERIA INVESTMENTS LP
1388 LIETA STREET
SAN DIEGO, CA 92110

ASSESSOR'S PARCEL NOS.

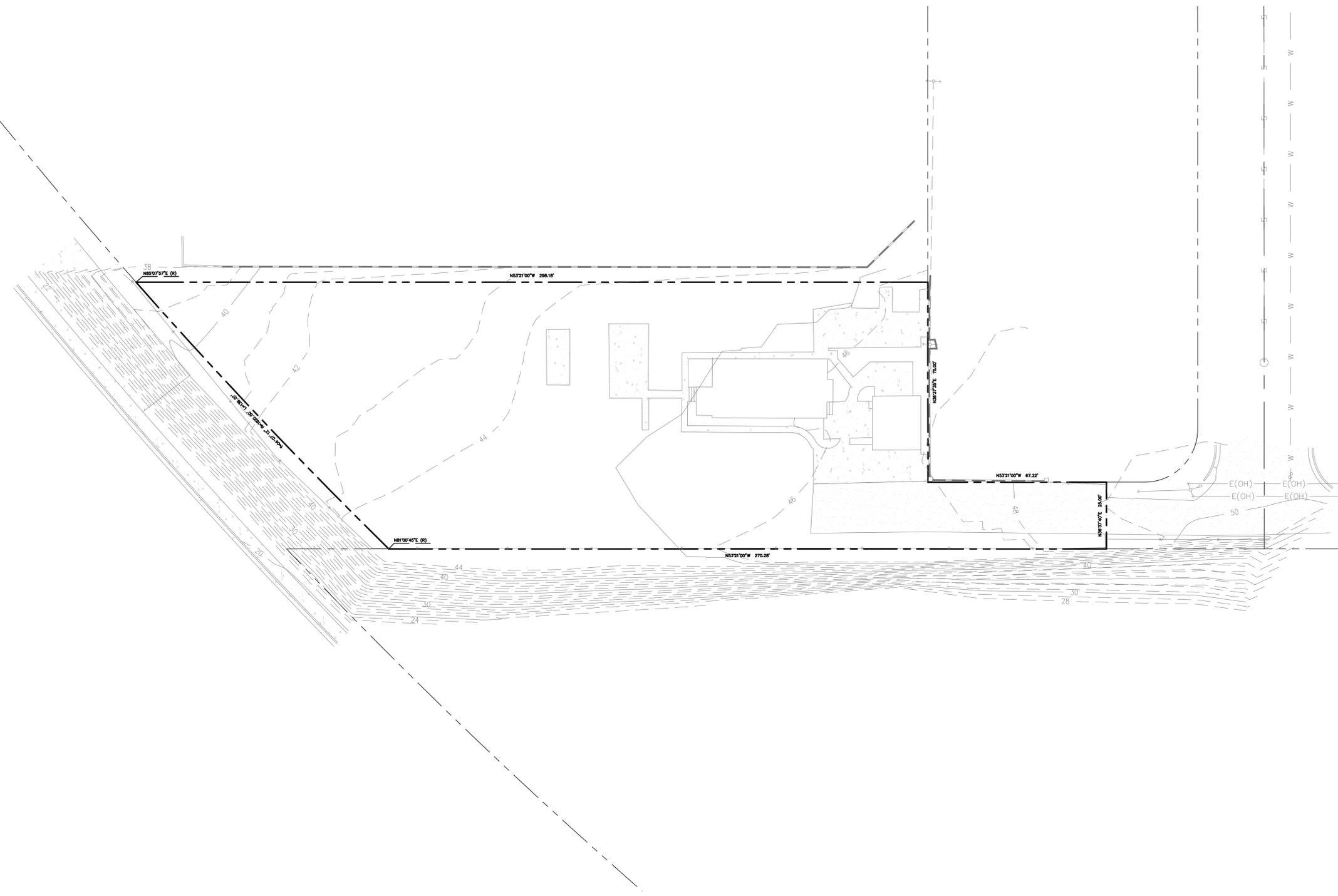
430-680-09

TOPOGRAPHY

TOPOGRAPHIC SURVEY IS BASED UPON A FIELD SURVEY AND REPRESENTS THE TOPOGRAPHIC FEATURE OF THIS SITE. CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
BENCHMARK: A BRASS PLUG LOCATED IN THE TOP OF CURB, OVER A CONCRETE STORM DRAIN INLET AT THE SOUTHEAST CORNER OF MORENA BOULEVARD AND ASHER STREET.
ELEVATION = 21.883' MSL (NGVD '29)

BASIS OF BEARINGS

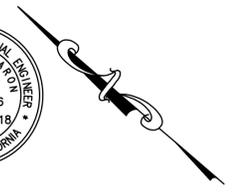
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 1991.35 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON OCTOBER 16, 2015 AT GPS STATIONS 928 AND 929 PER ROS 14492; I.E. N60°54'21"W.



ENGINEER

CIVIL LANDWORKS CORP.
110 COPPERWOOD WAY, SUITE P
OCEANSIDE, CA 92058
760-908-8745

DAVID V. CARON 8-22-16



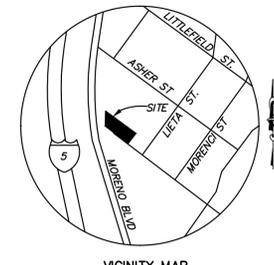
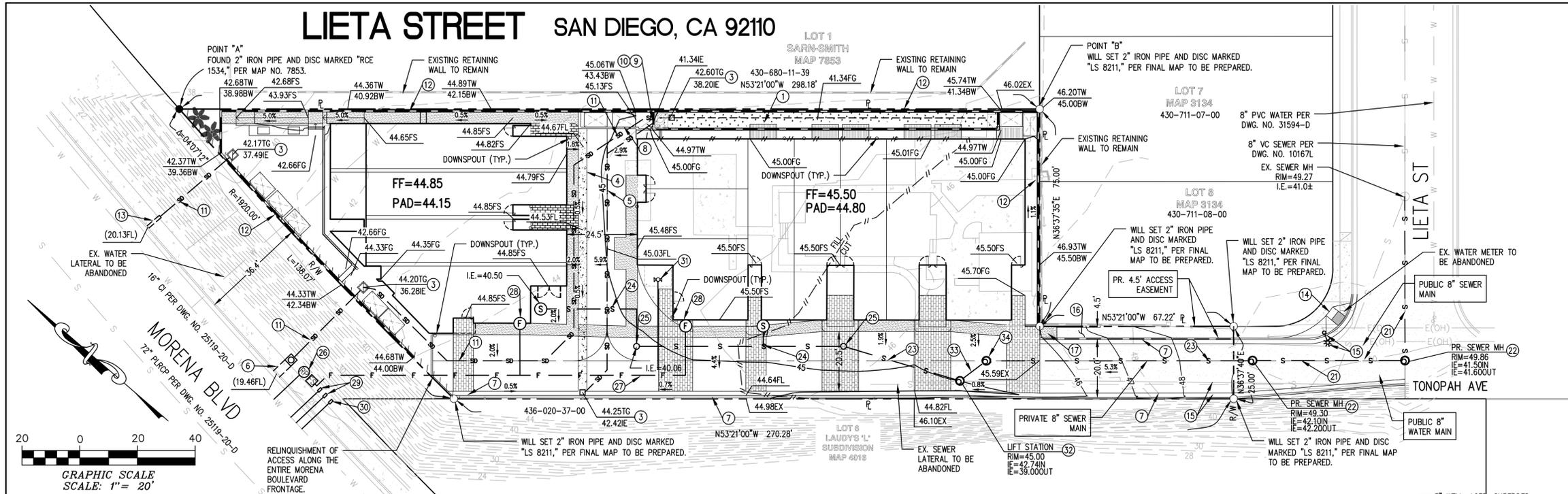
Civil Landworks

110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058
PH: 760-908-8745 • info@civillandworks.com



GRAPHIC SCALE
SCALE: 1" = 20'

LIETA STREET SAN DIEGO, CA 92110



- LEGEND:**
- PROPERTY LINE/TM BOUNDARY
 - RIGHT OF WAY
 - CENTERLINE
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - PROPOSED CONTOUR (MAJOR)
 - PROPOSED CONTOUR (MINOR)
 - CUT / FILL SLOPE
 - DAYLIGHT LINE
 - DIRECTION OF DRAINAGE
 - CURB AND GUTTER
 - PR. STORM DRAIN LINE
 - PR. STORM INLET
 - MASONRY RETAINING WALL
 - PR. SEWER LINE
 - PR. WATER LINE
 - PR. SEWER MANHOLE
 - PR. CURB OUTLET
 - PR. SEWER CLEANOUT
 - SURVEY MONUMENT, AS NOTED
 - STREET LIGHT

CONDOMINIUM NOTE

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL UNITS IS 13.

MAPPING NOTE:

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL PARCEL MAP.

ASSESSOR'S PARCEL NO.

430-680-09

SITE AREA & NO. OF UNITS

NUMBER OF LOTS PROPOSED = 1 (ONE)
 AREA WITHIN TM BOUNDARY = 26,856.7 SF (0.617 ACRES)
 NUMBER OF PROPOSED UNITS = 13

ZONING

RS-1-7 / CC-4-5
 OVERLAYS
 AIRPORT INFLUENCE AREA
 CLAIREMONT MESA HEIGHT LIMIT
 FAA PART 77 NOTIFICATION AREA
 GEOLOGICAL HAZARD CATEGORY: 53

EASEMENTS

EXISTING EASEMENT FOR PUBLIC UTILITIES SDG&E REC. 1-04-55 AS BOOK 5484, PAGE 164 - NOT PLOTTABLE
 NO EASEMENTS WILL BE PROPOSED.

TITLE REPORT

PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. DIV-5624800, DATED NOVEMBER 2018

UTILITIES

SEWER: CITY OF SAN DIEGO (UNDERGROUND)
 WATER: CITY OF SAN DIEGO (UNDERGROUND)
 GAS: SAN DIEGO GAS AND ELECTRIC (UNDERGROUND)
 ELECTRIC: SAN DIEGO GAS AND ELECTRIC (OVERHEAD)
 TELEPHONE: AT&T (UNDERGROUND)
 CABLE: COX CABLE (UNDERGROUND)

LEGAL DESCRIPTION

THE SOUTHWESTERLY 100.00 FEET (AS MEASURED AT RIGHT ANGLES FROM THE SOUTHWESTERLY LINE OF LOT 5) OF ALL THAT PORTION OF LOT 5 OF PUEBLO LOT 255, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA; ACCORDING TO REFEREE'S PARTITION MAP FILED IN THE ACTION OF MORENA COMPANY, A CORPORATION, VS. FRANKLIN STEEL, JR., CASE NO. 3475, FILED IN THE SUPERIOR COURT OF THE COUNTY OF SAN DIEGO, LYING SOUTHWEST OF THE CENTER LINE OF ASHER STREET, AS SAID STREET EXISTED ON JANUARY 21, 1944.

EXCEPTING THEREFROM THE FOLLOWING PARCELS:
 A. THAT PORTION OF SAID LOT, IF ANY, LYING WITHIN THE RIGHT-OF-WAY OF THE ATCHISON, TOPEKA AND SANTEE RAILWAY.
 B. THAT PORTION DESCRIBED IN THE DEED TO THE CITY OF SAN DIEGO RECORDED MARCH 23, 1956, IN BOOK 6029, PAGE 122 OF OFFICIAL RECORDS.
 C. THAT PORTION LYING SOUTHEASTERLY OF A LINE WHICH IS PARALLEL WITH AND DISTANT 101.5 FEET NORTHWESTERLY FROM THE SOUTHEASTERLY LINE OF BLOCK 17 OF FIRST ADDITION TO ASHER'S CLOVERLEAF TERRACE, ACCORDING TO MAP THEREOF NO. 1666, FILED IN THE OFFICE OF THE COUNTY RECORDER, AND THE NORTHEASTERLY PROLONGATION OF SAID SOUTHEASTERLY LINE, AND LYING NORTHEASTERLY OF THE NORTHWESTERLY PROLONGATION OF THE SOUTHWEST LINE OF LOT 17 IN BLOCK 17 OF SAID FIRST ADDITION TO ASHER'S CLOVERLEAF TERRACE.
 D. THAT PORTION LYING WITHIN LAHODD TERRACE, ACCORDING TO MAP THEREOF NO. 3134, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 4, 1954.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 1991.35 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON OCTOBER 16, AT POINTS [A] & [B] AS SHOWN HEREON. POINTS "A" & "B" WERE ESTABLISHED FROM GPS STATIONS 928 AND 929 PER ROS 14492.

THE BEARING FROM POINT [A] TO POINT [B] IS SOUTH 53°21'00" EAST.
 THE COMBINED GRID FACTOR AT POINT [A] IS 1.0000045. GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR. ELEVATION AT POINT [A] IS 38.97 FEET, M.S.L.

[A] = N 1864142.25, E 6267383.80
 [B] = N 1863964.26, E 6267623.02

TOPOGRAPHY

TOPOGRAPHIC SURVEY IS BASED UPON A FIELD SURVEY AND REPRESENTS THE TOPOGRAPHIC FEATURE OF THIS SITE. CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 BENCHMARK: A BRASS PLUG LOCATED IN THE TOP OF CURB, OVER A CONCRETE STORM DRAIN INLET AT THE SOUTHEAST CORNER OF MORENA BOULEVARD AND ASHER STREET.
 ELEVATION = 21.883' MSL (NGVD '29)

OWNER

ALMERIA INVESTMENTS LP
 817 CLARK AVENUE
 ENCINITAS, CA. 92024
 (760) 207-3740

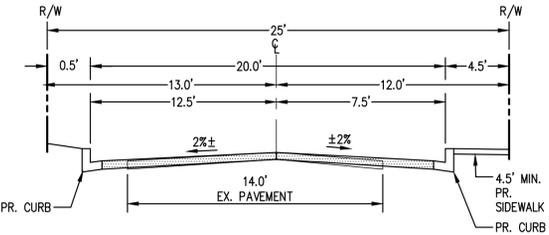
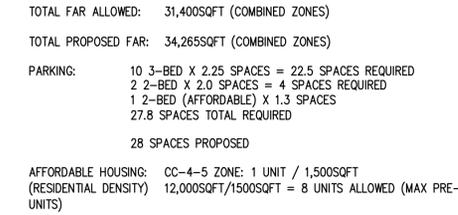
ENGINEER

NAME: DAVID V. CARON DATE: 6-29-20
 CIVIL LANDWORKS CORP.
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 760-908-8745



BUILDINGS + PARKING RATE

ZONE:	RS-1-7	CC-4-5
LOT AREA:	14,800SF (SEE A1.00)	12,000SF (SEE A1.00)
HEIGHT:	24'/30" ALLOWED 28'-6" PROPOSED (PARAPET)	30' ALLOWED 30'-0" PROPOSED (PARAPET)
FRONT SETBACK:	6'-0" REQUIRED	N/A
SIDE SETBACK:	0.08 X LOT WIDTH (100'-0") 8'-0" MIN. REQUIRED 10'-2" & 5'-0" PROPOSED	10'-0" OR 0' 26'-0" AND 0' PROPOSED
REAR SETBACK:	N/A	10'-0" 10'-0" PROPOSED
FAR:	0.5 (7,400SF) ALLOWED	2.0 (24,000SF) ALLOWED
	7,451SF - LEVEL 1 7,187SF - LEVEL 2 7,141SF - LEVEL 3	4,442SF - LEVEL 1 4,032SF - LEVEL 2 4,012SF - LEVEL 3
	1.47 FAR (21,779SF)	1.04 FAR (12,486SF)
TOTAL FAR ALLOWED:	31,400SQT (COMBINED ZONES)	
TOTAL PROPOSED FAR:	34,265SQT (COMBINED ZONES)	
PARKING:	10 3-BED X 2.25 SPACES = 22.5 SPACES REQUIRED 2 2-BED X 2.0 SPACES = 4 SPACES REQUIRED 1 2-BED (AFFORDABLE) X 1.3 SPACES 27.8 SPACES TOTAL REQUIRED 28 SPACES PROPOSED	
AFFORDABLE HOUSING:	CC-4-5 ZONE: 1 UNIT / 1,500SQT (RESIDENTIAL DENSITY) 12,000SQT/15,000SQT = 8 UNITS ALLOWED (MAX PRE-BONUS DENSITY = 9 UNITS)	
	11.1% VERY LOW INCOME ALLOWS FOR A 35% DENSITY BONUS 9 X 12% = 1.0 = 1 VERY LOW INCOME UNIT	
	9 DWELLING UNITS X 1.35 = 12.15, ROUNDED UP TO 13 13 TOTAL DWELLING UNITS ALLOWED	
INCENTIVES:	1. PROPOSED 5'-0" SIDE SETBACK IN RS-1-7 ZONE (8'-0" REQUIRED) (2 ALLOWED) 2. PROPOSED FAR OF 34,265SQT IN COMBINED ZONES (31,400SQT MAX. REQUIRED)	
DEVIATIONS:	1. DEVIATION FROM THE 30-DEGREE ANGLED BUILDING ENVELOPE PLANE ALONG SIDE SETBACK LINES FOR STRUCTURES WITHIN THE RS ZONE. 131.0444(C) 2. DEVIATION FROM THE COMMERCIAL COMPONENT REQUIRED FOR THE CC-4-5 ZONE TO ALLOW FOR RESIDENTIAL DEVELOPMENT. 131.0540(B)	



TONOPAH AVE. TYPICAL CROSS-SECTION

STORM WATER NOTE

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

NOTE

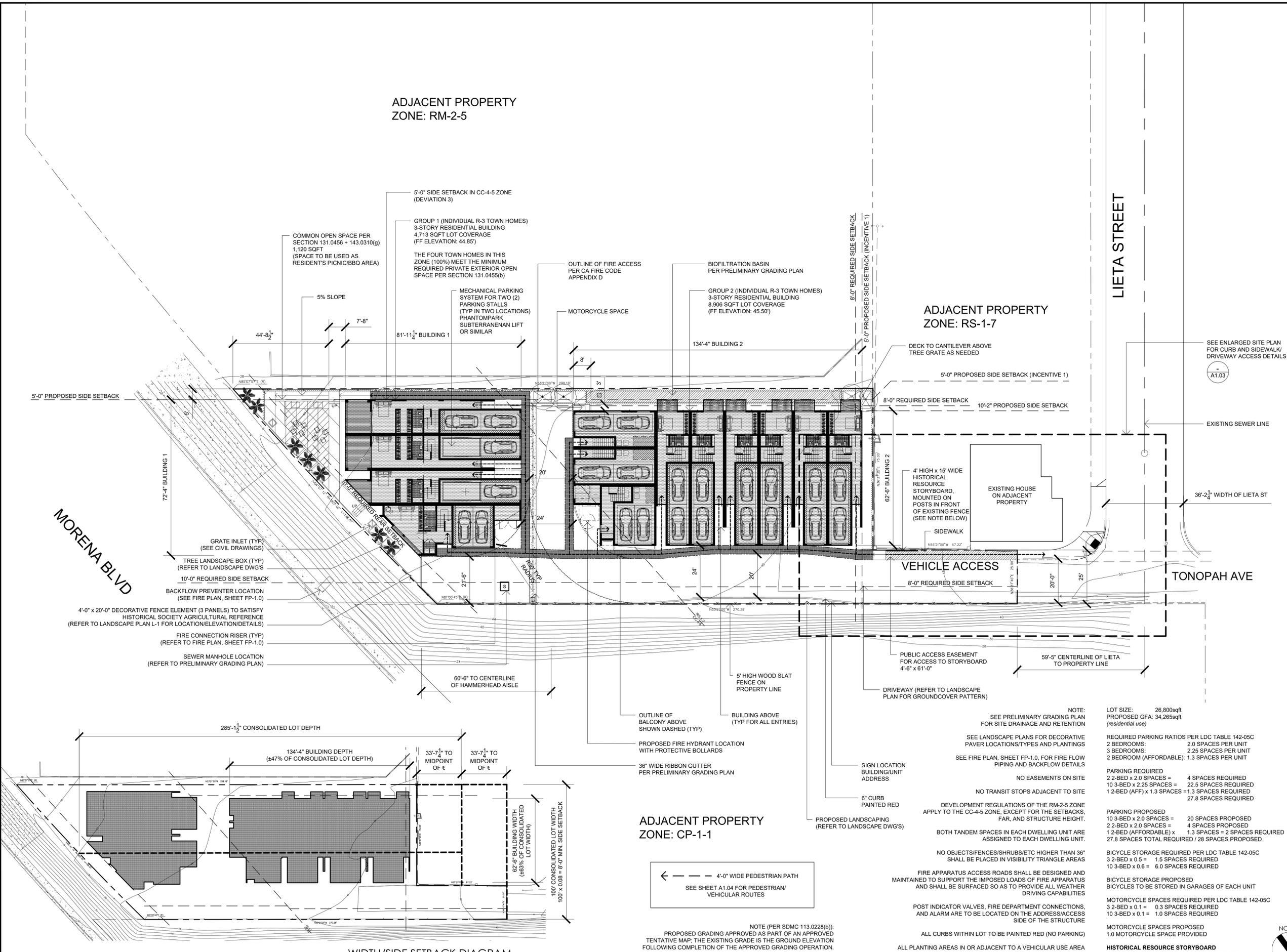
- THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PORTION OF THE PROPOSED PRIVATE STORM DRAIN SYSTEM LOCATED WHERE THE OWNER/PERMITEE IS NOT THE OWNER OF THE PROPERTY FRONTING THE ENCROACHMENT.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING RIGHT-OF-WAY SLOPE AREAS.
- IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
- ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING RIGHT-OF-WAY SLOPE AREAS.

CONSTRUCTION NOTES:

- CONSTRUCT BIOFILTRATION BASIN PER DETAIL HEREON 5 FOOT CUTOFF WALL PER GEOTECHNICAL RECOMMENDATIONS VERTICAL IMPERMEABLE LINER
- CONSTRUCT STORM CONTROL VAULT
- CONSTRUCT 24" X 24" GRATE INLET
- CONSTRUCT 3' WIDE CONCRETE RIBBON GUTTER
- CONSTRUCT 10" HDPE STORM DRAIN
- CONSTRUCT CURB OUTLET PER SDRSD D-25
- CONSTRUCT CURB AND GUTTER PER SDG-151
- CONSTRUCT CURB ONLY PER SDG-150
- CONSTRUCT RIPRAP PER SDD-104, NO. 2 BACKING T=1'1"
- CONSTRUCT HEADWALL PER SDRSD D-30
- CONSTRUCT 12" HDPE STORM DRAIN
- CONSTRUCT RETAINING WALL
- CONSTRUCT SIDEWALK UNDERDRAIN PER SDRSD D-27
- CONSTRUCT CURB RAMPS PER SDG-133, TYPE A
- CONSTRUCT PAVEMENT PER SDG-113
- CONSTRUCT SIDEWALK PER SDG-155
- CONSTRUCT ADA RAMP

UTILITY NOTES:

- CONSTRUCT PUBLIC 8" SEWER MAIN (PUBLIC)
- CONSTRUCT SEWER MANHOLE PER SDRSD SM-01 (PUBLIC)
- CONSTRUCT 6" GRAVITY SEWER MAIN (PRIVATE)
- CONSTRUCT 6" SEWER LATERAL PER SDS-105 (PRIVATE)
- CONSTRUCT SEWER CLEANOUT PER SDRSD SC-01
- CONSTRUCT FIRE BACKFLOW PREVENTER PER SDW-105 (IN PUBLIC R/W)
- CONSTRUCT PRIVATE 6" PVC C900 FIRE LINE
- FIRE SERVICE POC
- CONSTRUCT DOMESTIC WATER SERVICE (IN PUBLIC R/W)
- CONSTRUCT IRRIGATION SERVICE (IN PUBLIC R/W)
- CONSTRUCT FIRE HYDRANT
- CONSTRUCT SEWER LIFT STATION (PRIVATE)
- CONSTRUCT PRIVATE 2" SEWER FORCE MAIN (PRIVATE)
- CONSTRUCT SEWER MANHOLE PER SDRSD SM-01 (PRIVATE)



PROPOSED SITE PLAN

WIDTH/SIDE SETBACK DIAGRAM

NOTE (PER SDMC 113.0228(b)): PROPOSED GRADING APPROVED AS PART OF AN APPROVED TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.

NOTE: SEE PRELIMINARY GRADING PLAN FOR SITE DRAINAGE AND RETENTION
 SEE LANDSCAPE PLANS FOR DECORATIVE PAVER LOCATIONS/TYPES AND PLANTINGS
 SEE FIRE PLAN, SHEET FP-1.0, FOR FIRE FLOW PIPING AND BACKFLOW DETAILS
 NO EASEMENTS ON SITE
 NO TRANSIT STOPS ADJACENT TO SITE
 DEVELOPMENT REGULATIONS OF THE RM-2-5 ZONE APPLY TO THE CC-4-5 ZONE, EXCEPT FOR THE SETBACKS, FAR, AND STRUCTURE HEIGHT.
 BOTH TANDEM SPACES IN EACH DWELLING UNIT ARE ASSIGNED TO EACH DWELLING UNIT.
 NO OBJECTS/FENCES/SHRUBS/ETC HIGHER THAN 36" SHALL BE PLACED IN VISIBILITY TRIANGLE AREAS
 FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES
 POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE
 ALL CURBS WITHIN LOT TO BE PAINTED RED (NO PARKING)
 ALL PLANTING AREAS IN OR ADJACENT TO A VEHICULAR USE AREA SHALL BE PROTECTED WITH A RAISED CURB AT 6" IN HEIGHT

Notes:
 All ideas, arrangements, drawings and plans set forth on this sheet are the original work product of, owned by and are the property of dbrds and use of this said work product is limited to a specified project of the purchaser, and for the construction of one building, any use, reuse or disclosure of said plans, reproductions, ideas, designs and/or arrangements, other than by dbrds, is strictly prohibited by law without the written permission of dbrds. Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown these drawings.

DBRDS
 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023
 PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO, CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussel@christianwheeler.com

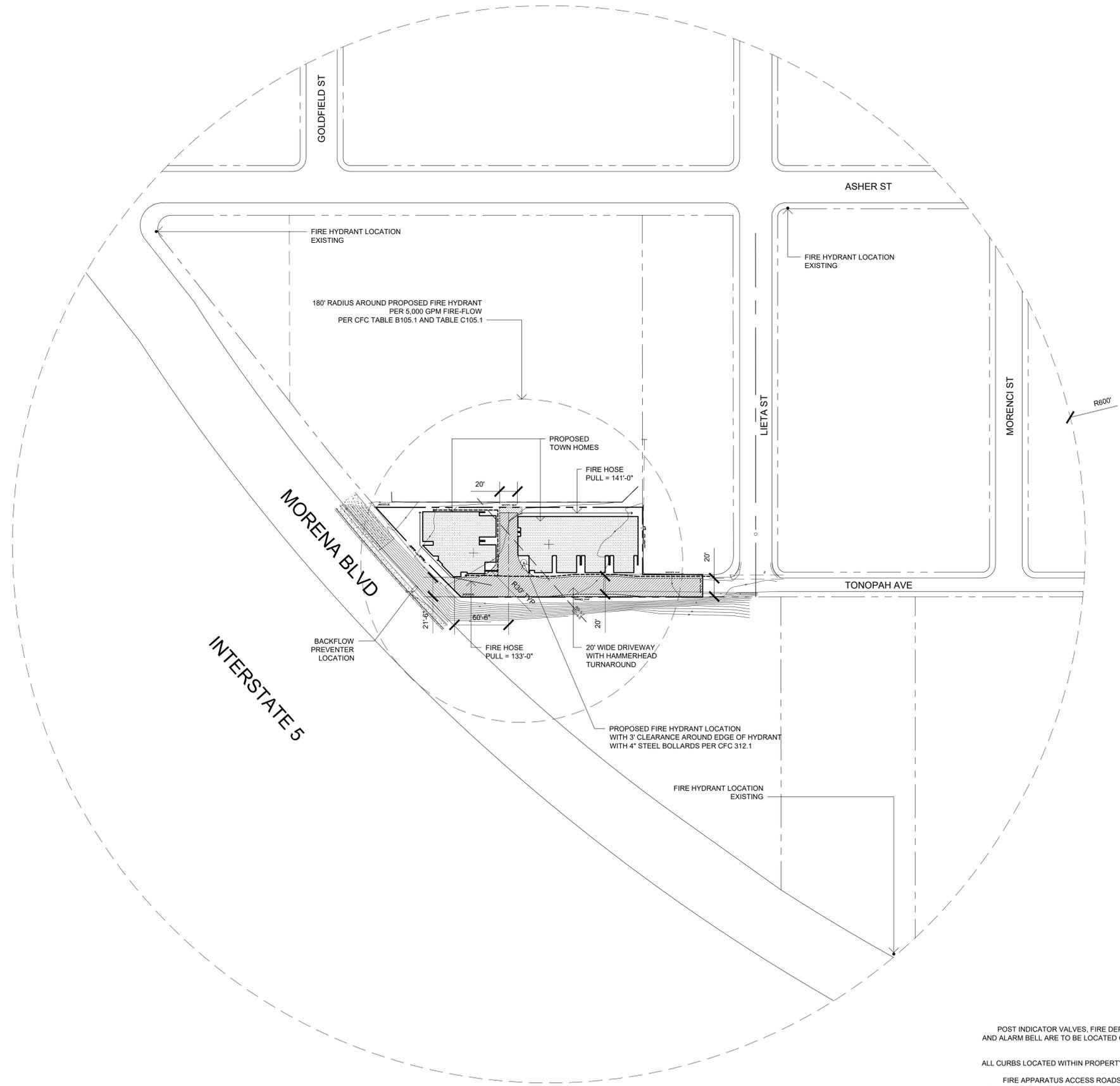
FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

REVISION:	DATE:	DRAWN BY:
10.18.2017		CH
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SDP & NDP - CYCLE ISSUES 5		
09.12.2019		CH
SDP & NDP - CYCLE ISSUES 6		
06.12.2020		CH
HISTORIC REVISIONS		

DRAWING TITLE:
PROPOSED SITE PLAN

PROJECT:
PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066
 DATE: SEPTEMBER 2016
 DRAWN BY: CH
 SCALE: 1" = 20'-0"
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PROJECT TEAM

OWNER:

ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023

PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:

DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101

PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING

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 110 COPPERWOOD WAY, SUITE P
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 3980 HOME AVE
 SAN DIEGO, CA 92105

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SDP & NDP - CYCLE ISSUES 6	
06.12.2020	DRAWN BY: CH
HISTORIC REVISIONS	

DRAWING TITLE:

FIRE ACCESS PLAN

PROJECT:

PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES

4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

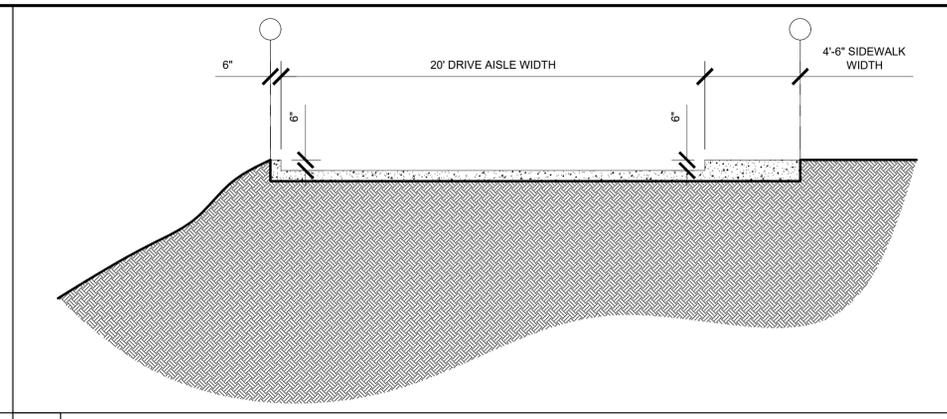
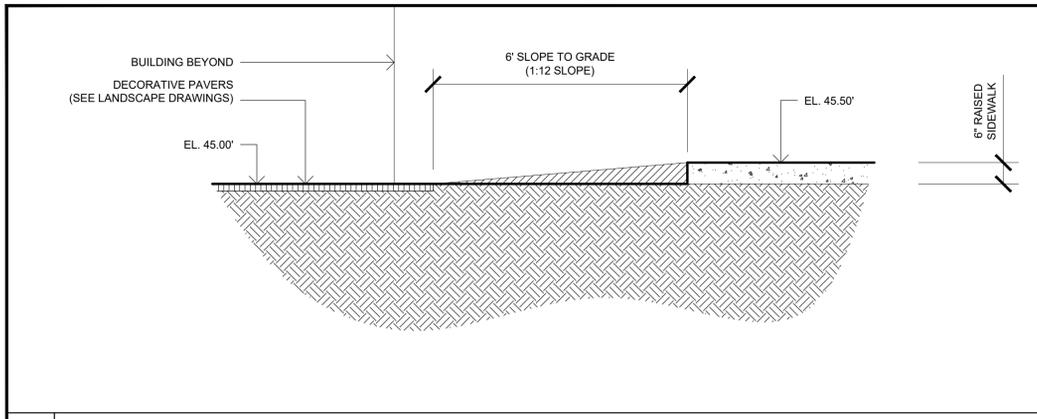
DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 1" = 60'-0"

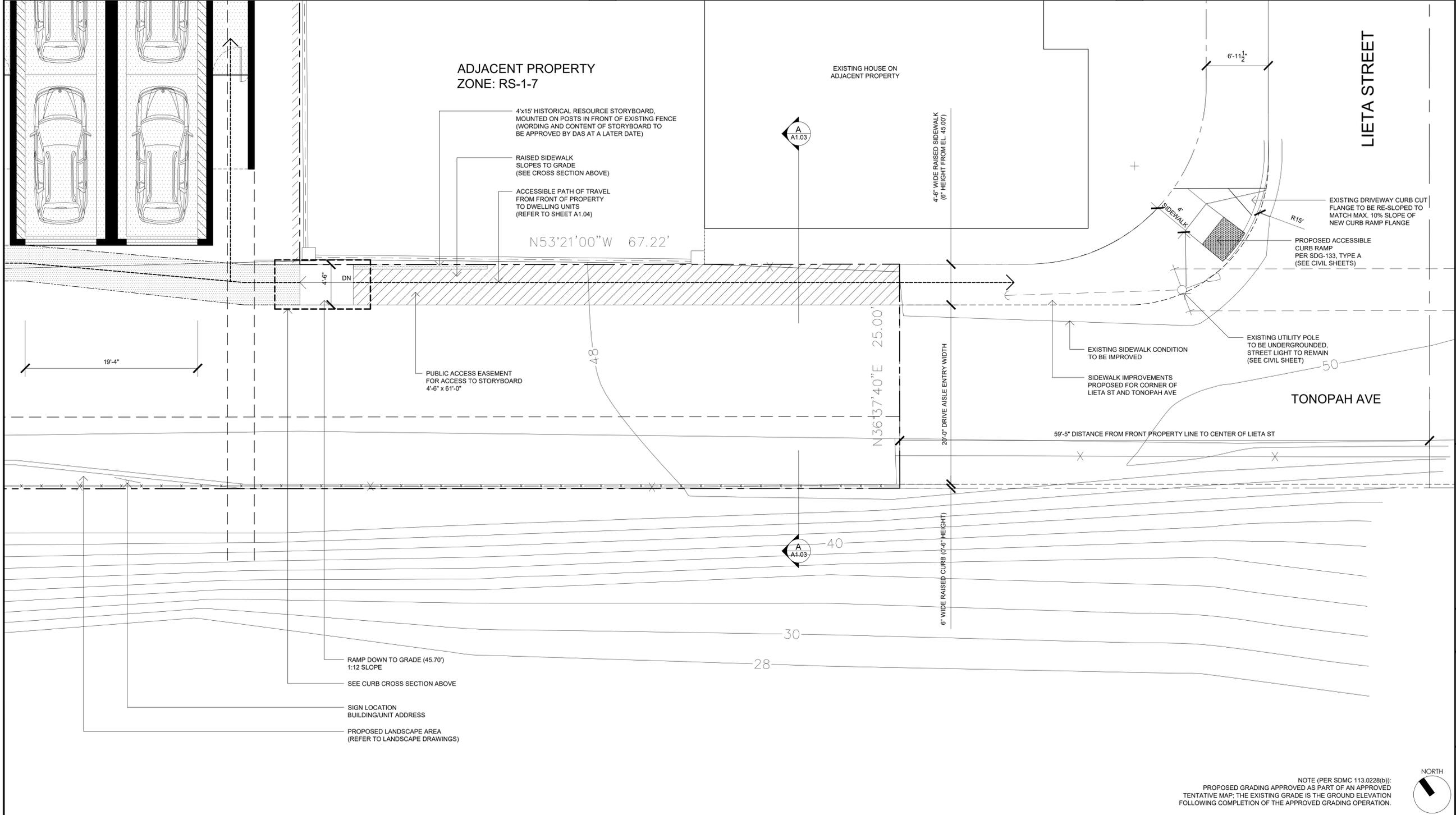
SHEET NO: A1.02

NOTE:
 POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
 ALL CURBS LOCATED WITHIN PROPERTY ARE TO BE PAINTED RED
 FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES
 PROPOSED FIRE HYDRANT LOCATION SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE.



CURB CROSS SECTION (1/2" = 1'-0")

SECTION A-A (1/4" = 1'-0")



ENLARGED SITE PLAN

Notes:
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DBRDS
DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP

PO BOX 232628
ENCINITAS, CA 92023
PHONE: (760) 207-3740
CONTACT: MICHAEL FULTON
EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
363 5TH AVE, SUITE 203
SAN DIEGO, CA 92101
PHONE: (858) 220 5262
CONTACT: PAULY DE BARTOLO
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
110 COPPERWOOD WAY, SUITE P
OCEANSIDE, CA 92058
PHONE: (760) 908-8745
CONTACT: DAVE CARRON, PE
EMAIL: dave@civillandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
200 N CEDROS AVE
SOLANA BEACH, CA 92705
PHONE: (858) 345-1499
CONTACT: BRIAN GROVE
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
3980 HOME AVE
SAN DIEGO, CA 92105
PHONE: (619) 550-1700
CONTACT: DAVID R. RUSSELL
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
2851 CAMINO DEL RIO S. #210
SAN DIEGO, CA 92108
PHONE: (619) 255-8964
CONTACT: STEVE LEYTON
EMAIL: steve@protectiondesign.com

REVISION:

10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	
06.12.2020	DRAWN BY: CH
HISTORIC REVISIONS	

DRAWING TITLE:
ENLARGED SITE PLAN

PROJECT:
PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES

**4200 TONOPAH AVE,
SAN DIEGO, CA 92110**

DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 3/16" = 1'-0"

SHEET NO: A1.03

NOTE (PER SDMC 113.0228(b)):
PROPOSED GRADING APPROVED AS PART OF AN APPROVED TENTATIVE MAP. THE EXISTING GRADE IS THE GROUND ELEVATION FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.



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 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP

PO BOX 232628
 ENCINITAS, CA 92023

PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO

363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101

PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS

110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058

PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS

200 N CEDROS AVE
 SOLANA BEACH, CA 92705

PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING

3980 HOME AVE
 SAN DIEGO, CA 92105

PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING

2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108

PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

REVISION:

10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	
06.12.2020	DRAWN BY: CH
HISTORIC REVISIONS	

DRAWING TITLE:
PEDESTRIAN/VEHICULAR ACCESS PLAN

PROJECT:
 PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES

4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

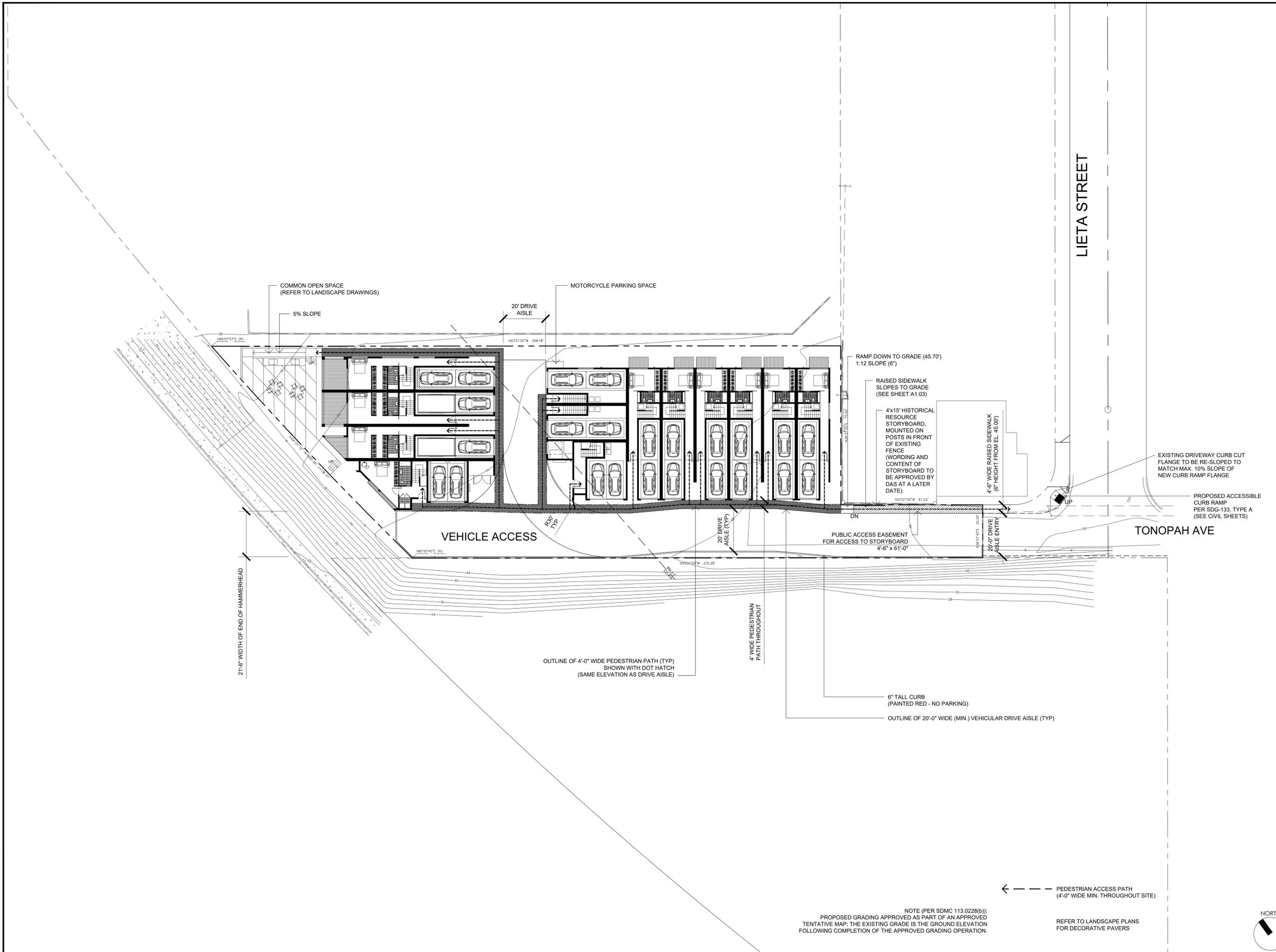
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 1" = 20'-0"

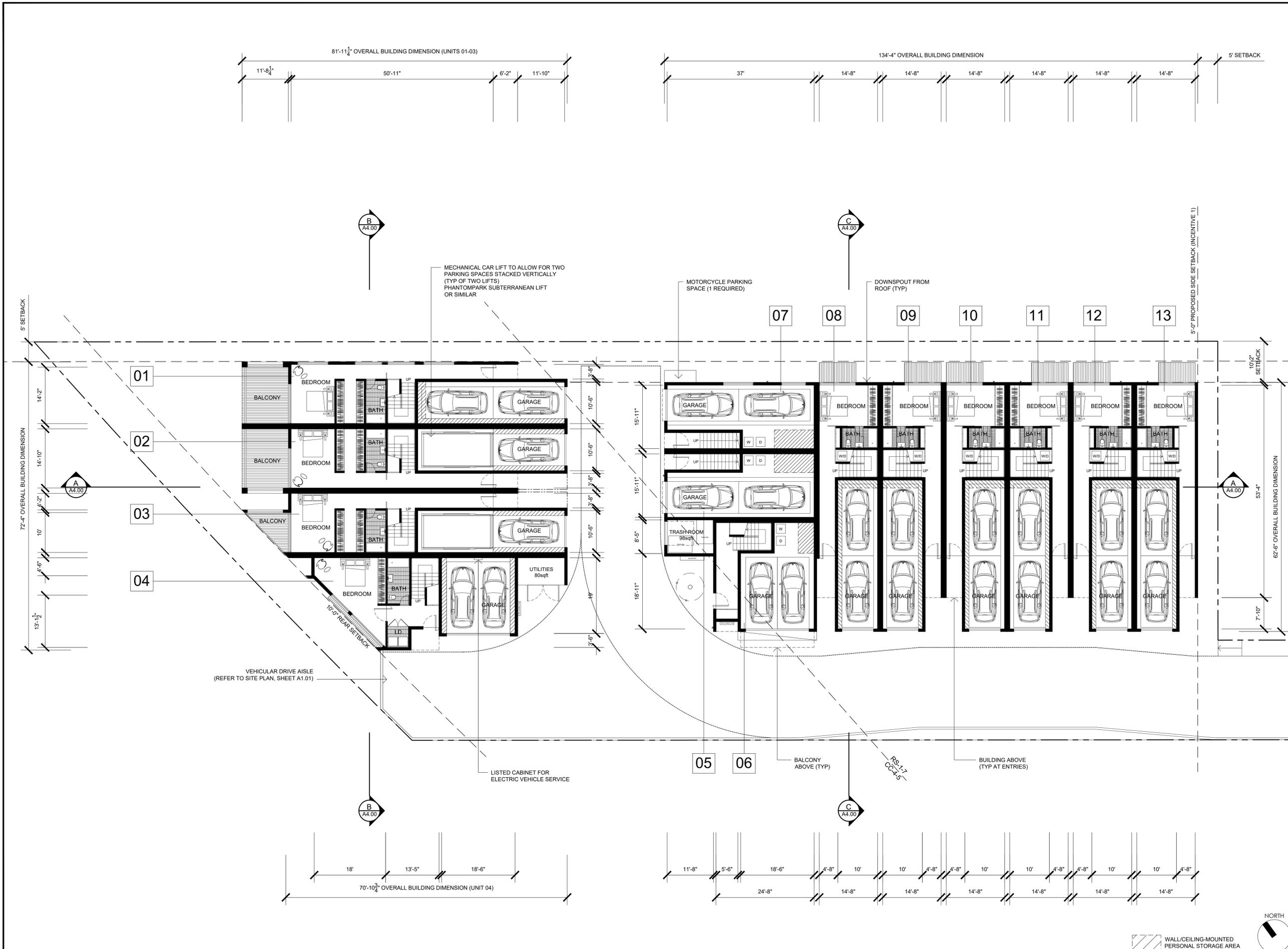
SHEET NO: A1.04



NOTE (PER SDMC 113.0228(b)):
 PROPOSED GRADING APPROVED AS PART OF AN APPROVED TENTATIVE MAP. THE EXISTING GRADE IS THE GROUND ELEVATION FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.

REFER TO LANDSCAPE PLANS FOR DECORATIVE PAVERS





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 PO BOX 232628
 ENCINITAS, CA 92023
 PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

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09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
**FLOOR PLAN
 LEVEL 1**

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 3/32" = 1'-0"

SHEET NO: A2.10

FLOOR PLAN

WALL/CEILING-MOUNTED
 PERSONAL STORAGE AREA



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DBRDS
 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023
 PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

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11.14.2018	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 4
05.28.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 5
09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
**FLOOR PLAN
 LEVEL 2**

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

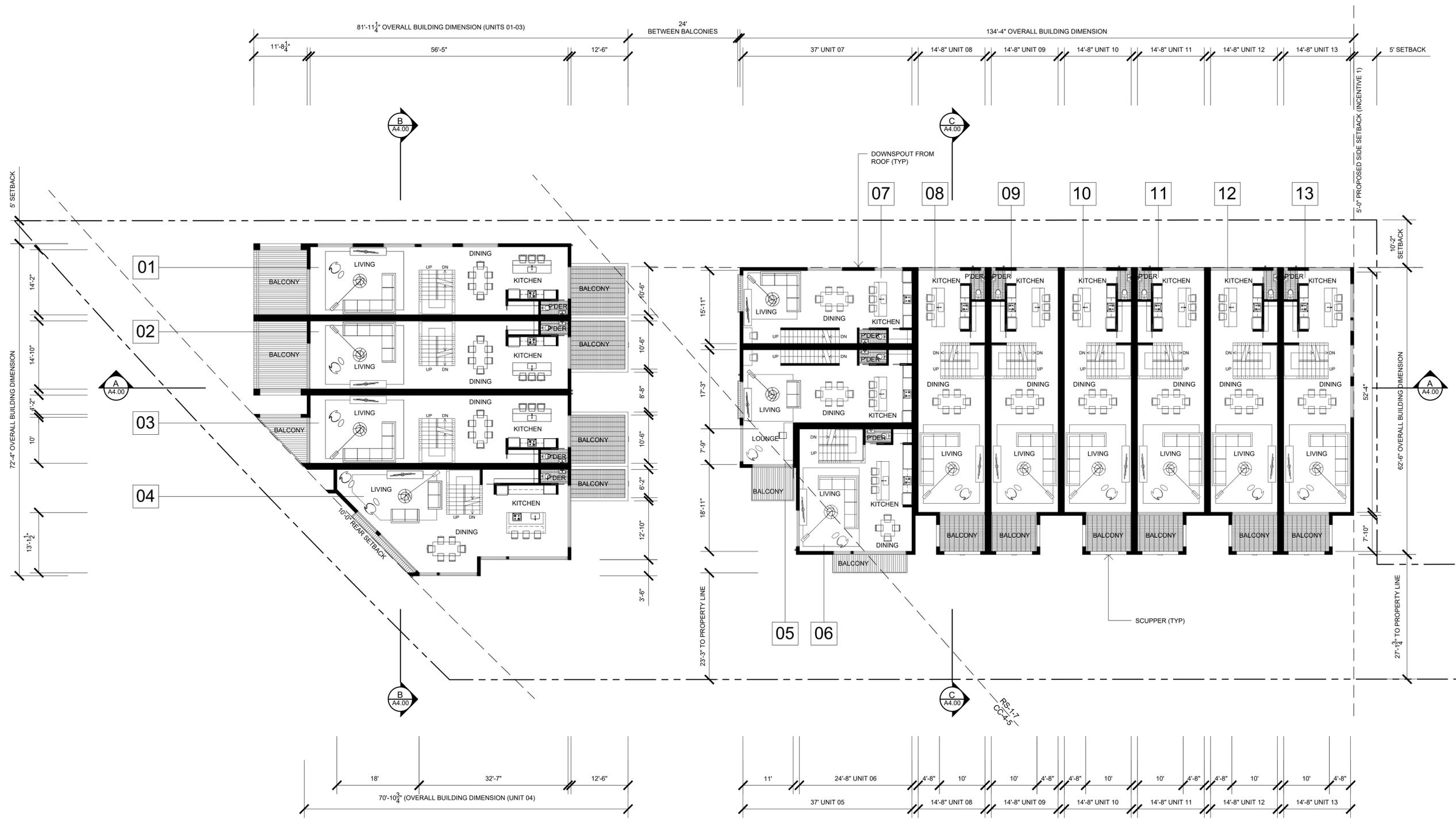
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 3/32" = 1'-0"

SHEET NO: A2.11



FLOOR PLAN

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DBRDS
 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
 ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023
 PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
 DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
 CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
 STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
 CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
 PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

REVISION:	
10.18.2017	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 2
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11.14.2018	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 4
05.28.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 5
09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
 FLOOR PLAN
 LEVEL 3

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

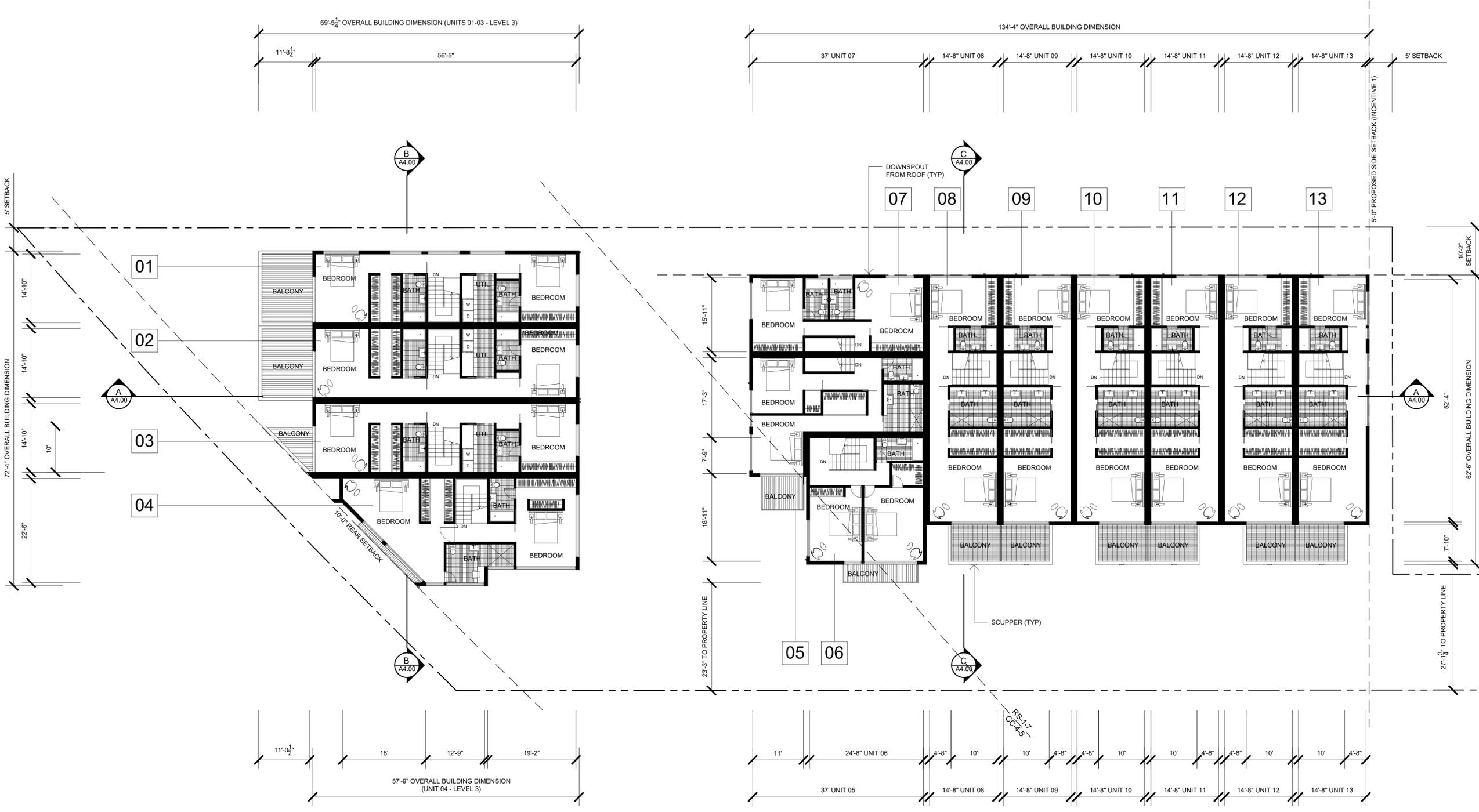
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

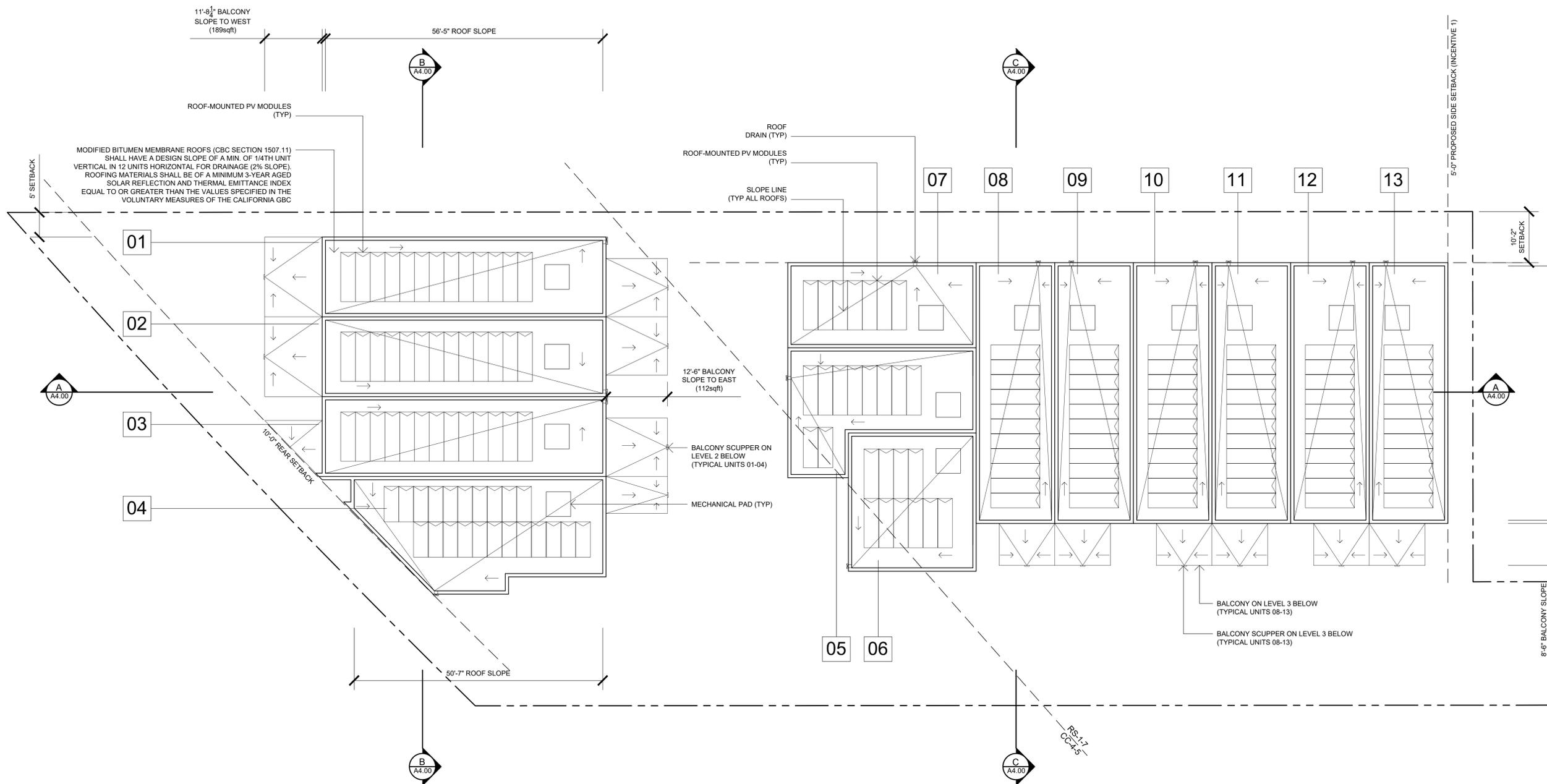
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SCALE: 3/32" = 1'-0"

SHEET NO: A2.12



FLOOR PLAN



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 DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023
 PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO • RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO, CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE • GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

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10.18.2017	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 2
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09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
 ROOF PLAN

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

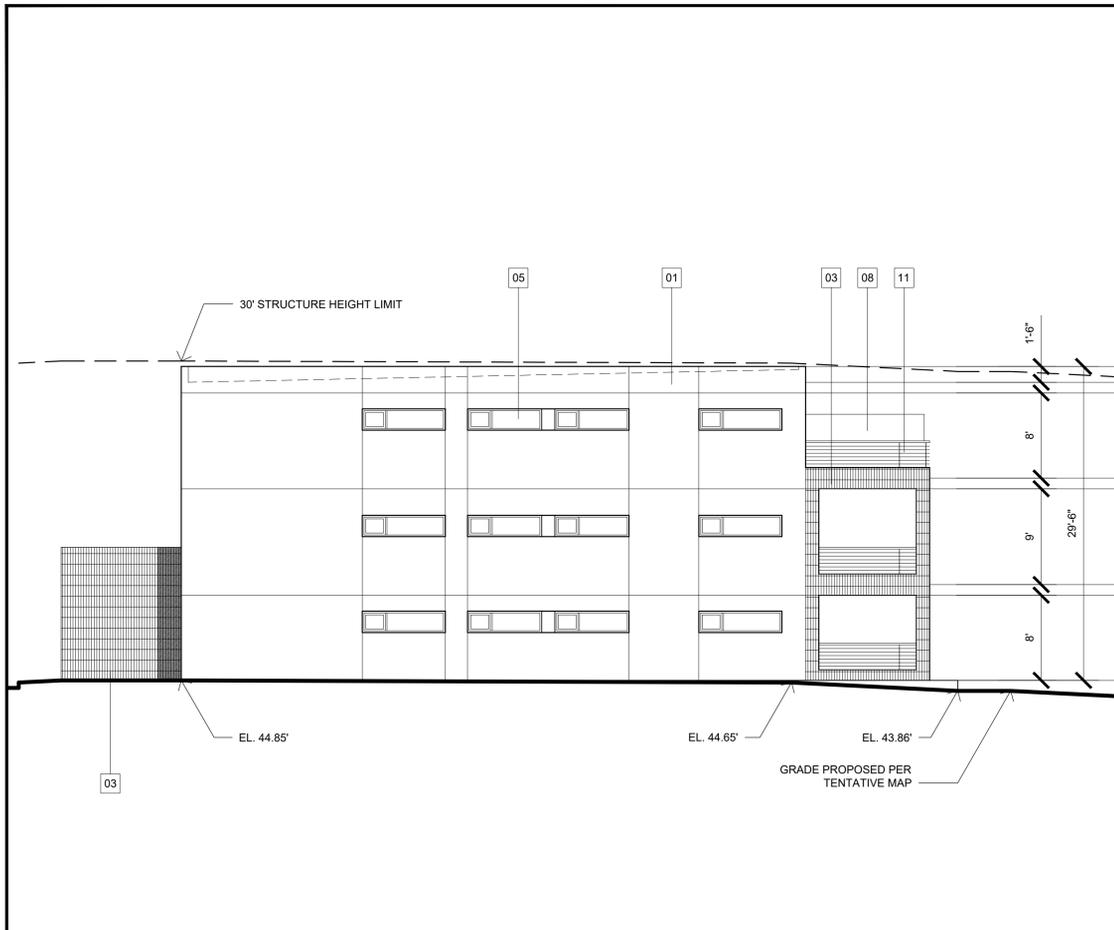
SCALE: 3/32" = 1'-0"

SHEET NO: A2.13

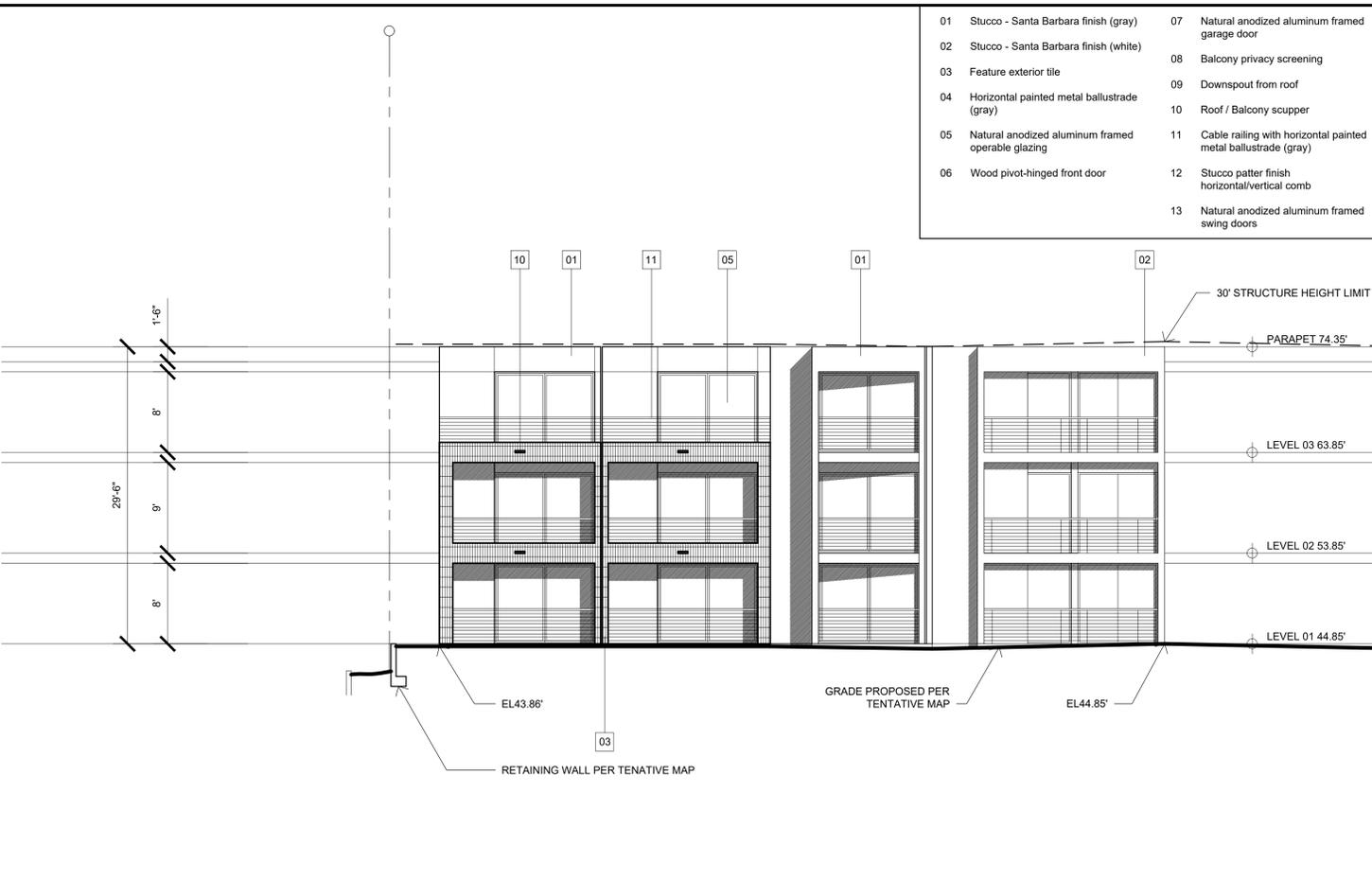


- | | |
|--|---|
| 01 Stucco - Santa Barbara finish (gray) | 07 Natural anodized aluminum framed garage door |
| 02 Stucco - Santa Barbara finish (white) | 08 Balcony privacy screening |
| 03 Feature exterior tile | 09 Downspout from roof |
| 04 Horizontal painted metal ballustrade (gray) | 10 Roof / Balcony scupper |
| 05 Natural anodized aluminum framed operable glazing | 11 Cable railing with horizontal painted metal ballustrade (gray) |
| 06 Wood pivot-hinged front door | 12 Stucco patter finish horizontal/vertical comb |
| | 13 Natural anodized aluminum framed swing doors |

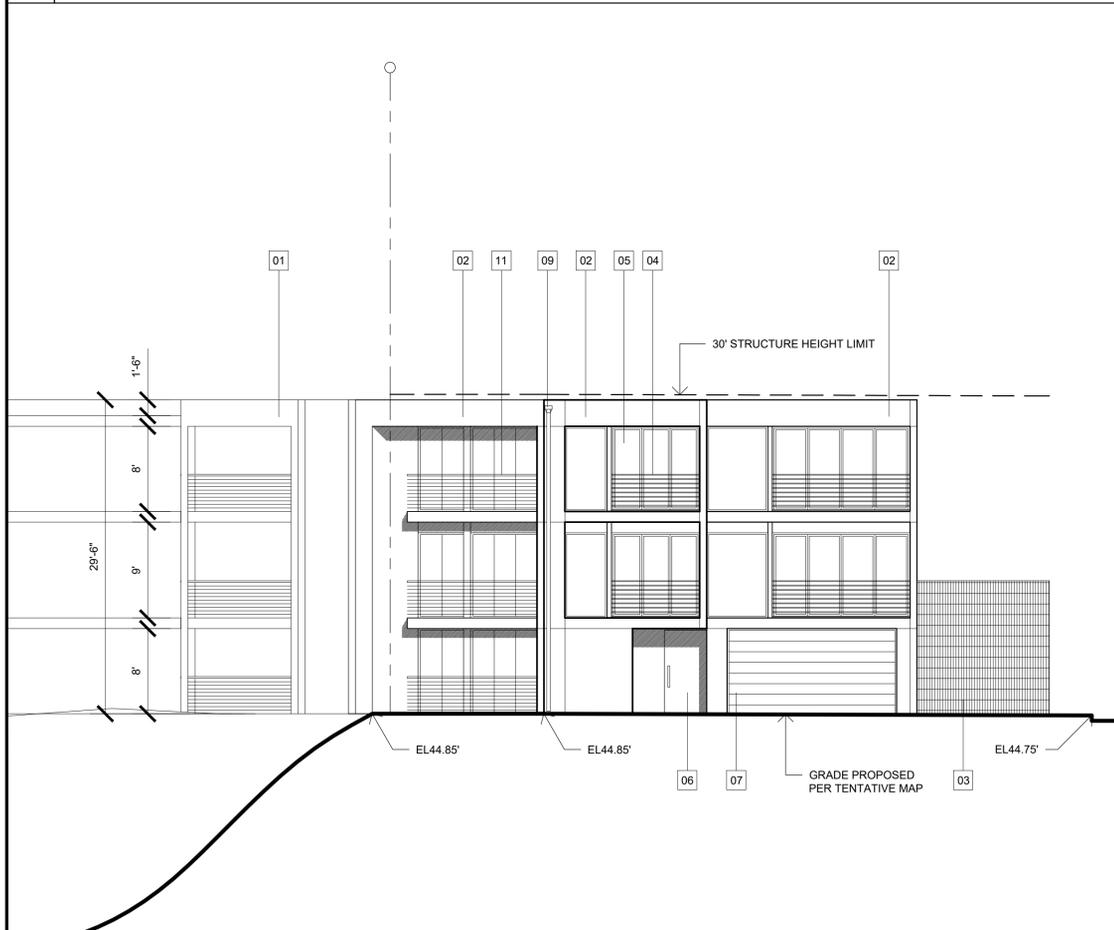
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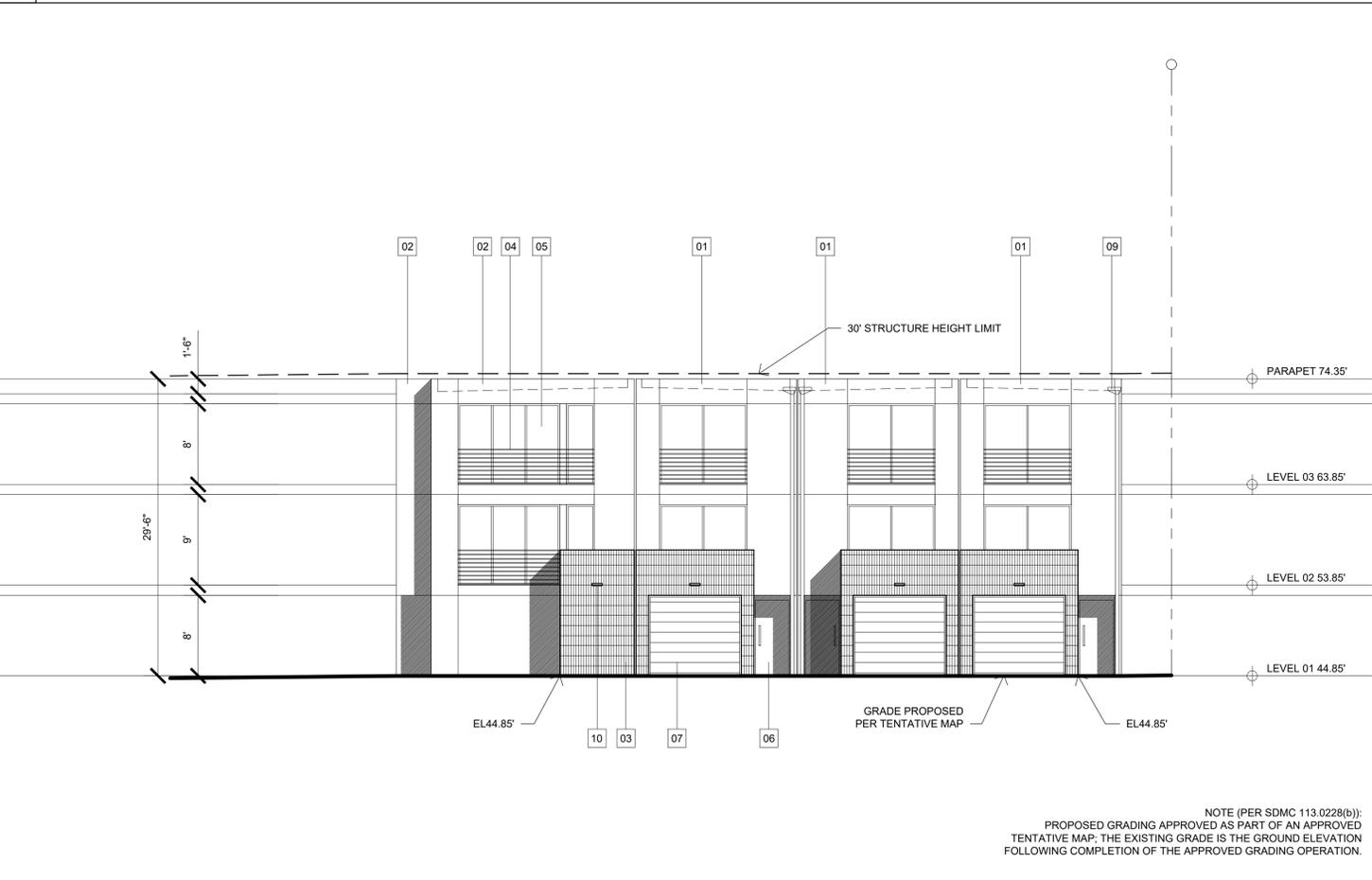
BUILDING 1 - NORTH ELEVATION



BUILDING 1 - WEST ELEVATION



BUILDING 1 - SOUTH ELEVATION



BUILDING 1 - EAST ELEVATION

NOTE (PER SDMC 113.0228(b)):
 PROPOSED GRADING APPROVED AS PART OF AN APPROVED TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.

DBRDS
 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP

PO BOX 232628
 ENCINITAS, CA 92023

PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO

363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101

PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
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110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058

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LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS

200 N CEDROS AVE
 SOLANA BEACH, CA 92705

PHONE: (858) 345-1499
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 EMAIL: brian@stone-grove.co

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CHRISTIAN WHEELER ENGINEERING

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PHONE: (619) 550-1700
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FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING

2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108

PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
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06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
 ELEVATIONS
 BUILDING 1

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 1/8" = 1'-0"

SHEET NO: A3.00

- | | |
|--|---|
| 01 Stucco - Santa Barbara finish (gray) | 07 Natural anodized aluminum framed garage door |
| 02 Stucco - Santa Barbara finish (white) | 08 Balcony privacy screening |
| 03 Feature exterior tile | 09 Downspout from roof |
| 04 Horizontal painted metal ballustrade (gray) | 10 Roof / Balcony scupper |
| 05 Natural anodized aluminum framed operable glazing | 11 Cable railing with horizontal painted metal ballustrade (gray) |
| 06 Wood pivot-hinged front door | 12 Stucco patten finish horizontal/vertical comb |
| | 13 Natural anodized aluminum framed roll up door |

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 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023
 PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO, CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

REVISION:	
10.18.2017	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 2
01.08.2018	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 3
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05.28.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 5
09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
**ELEVATIONS
 BUILDING 2**

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

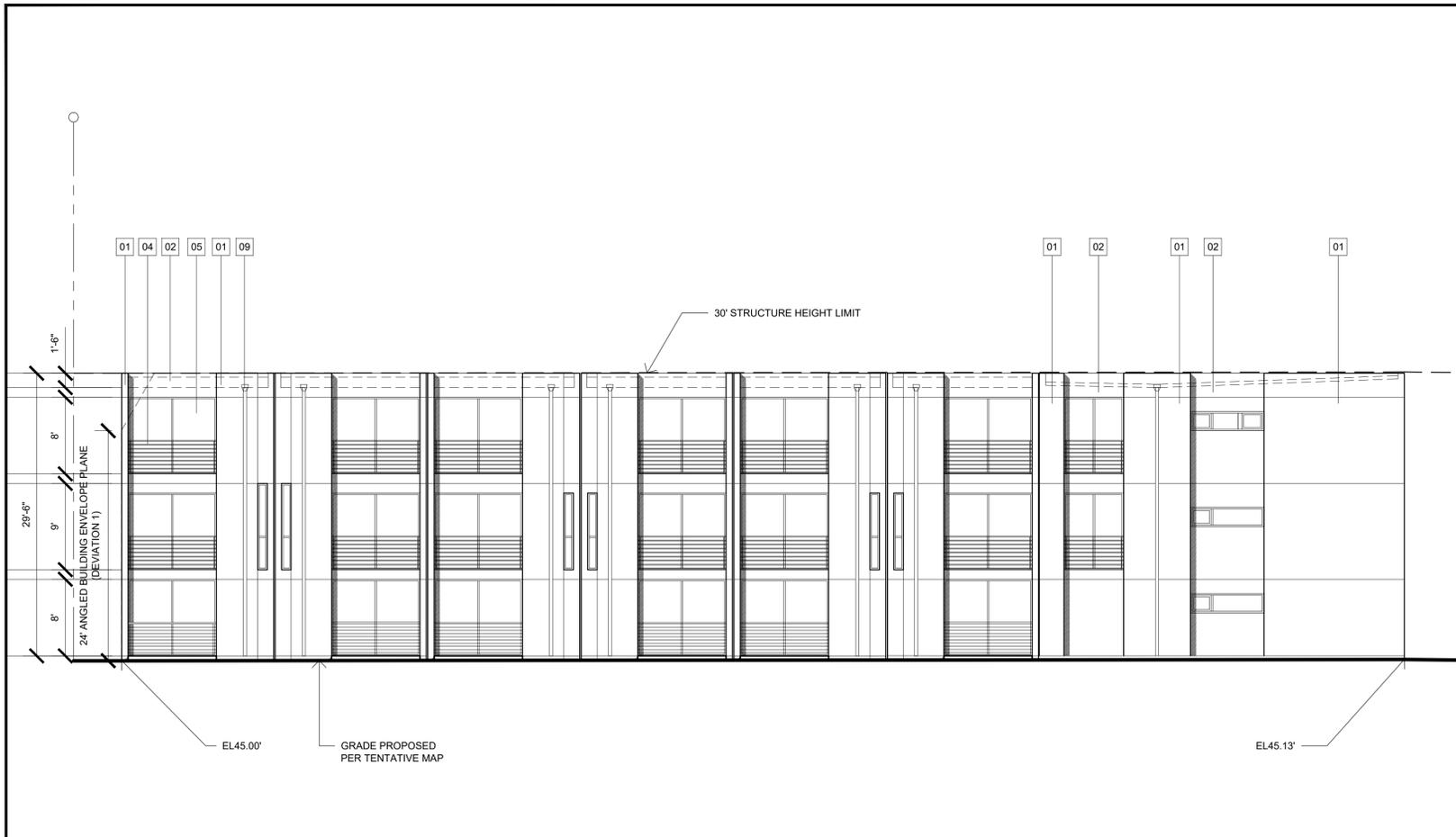
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

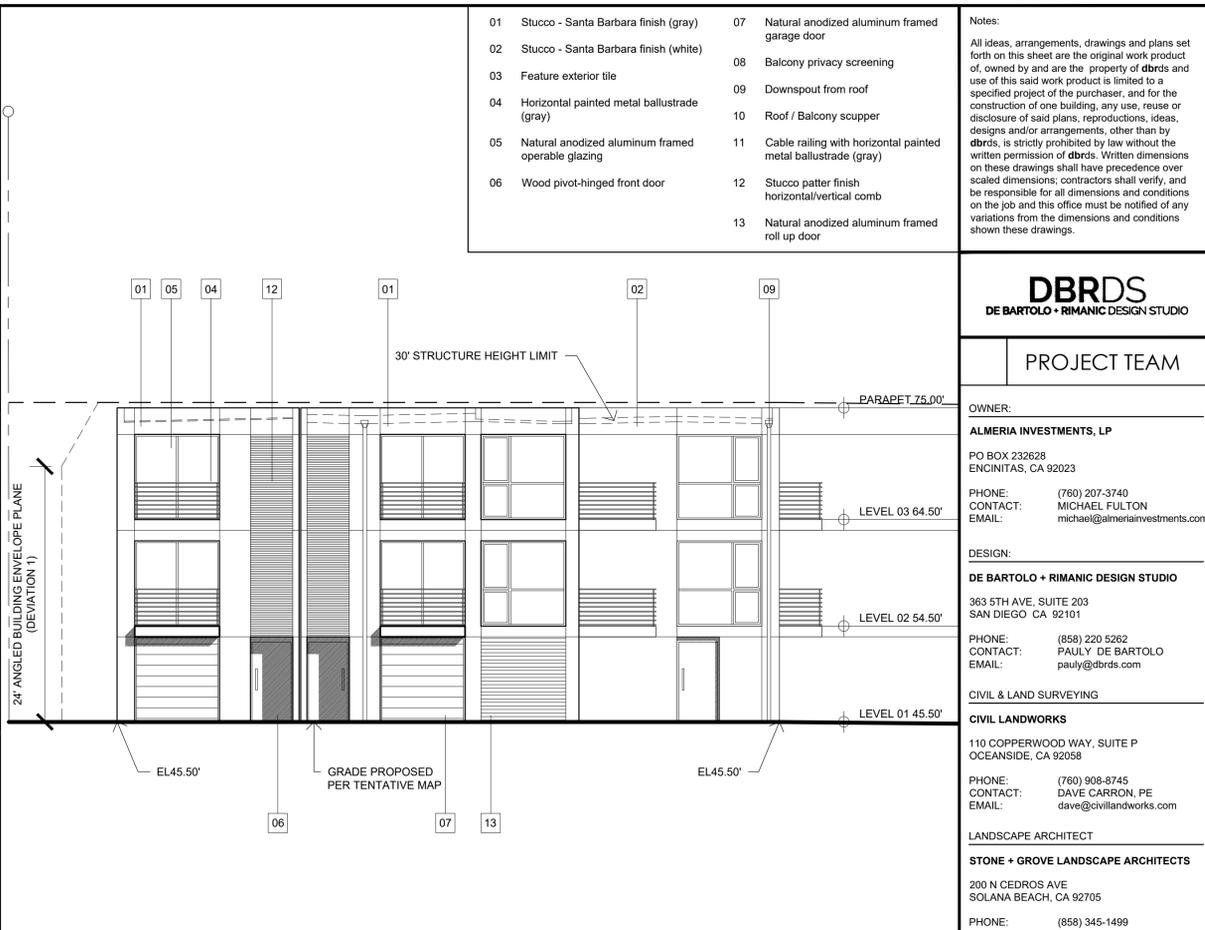
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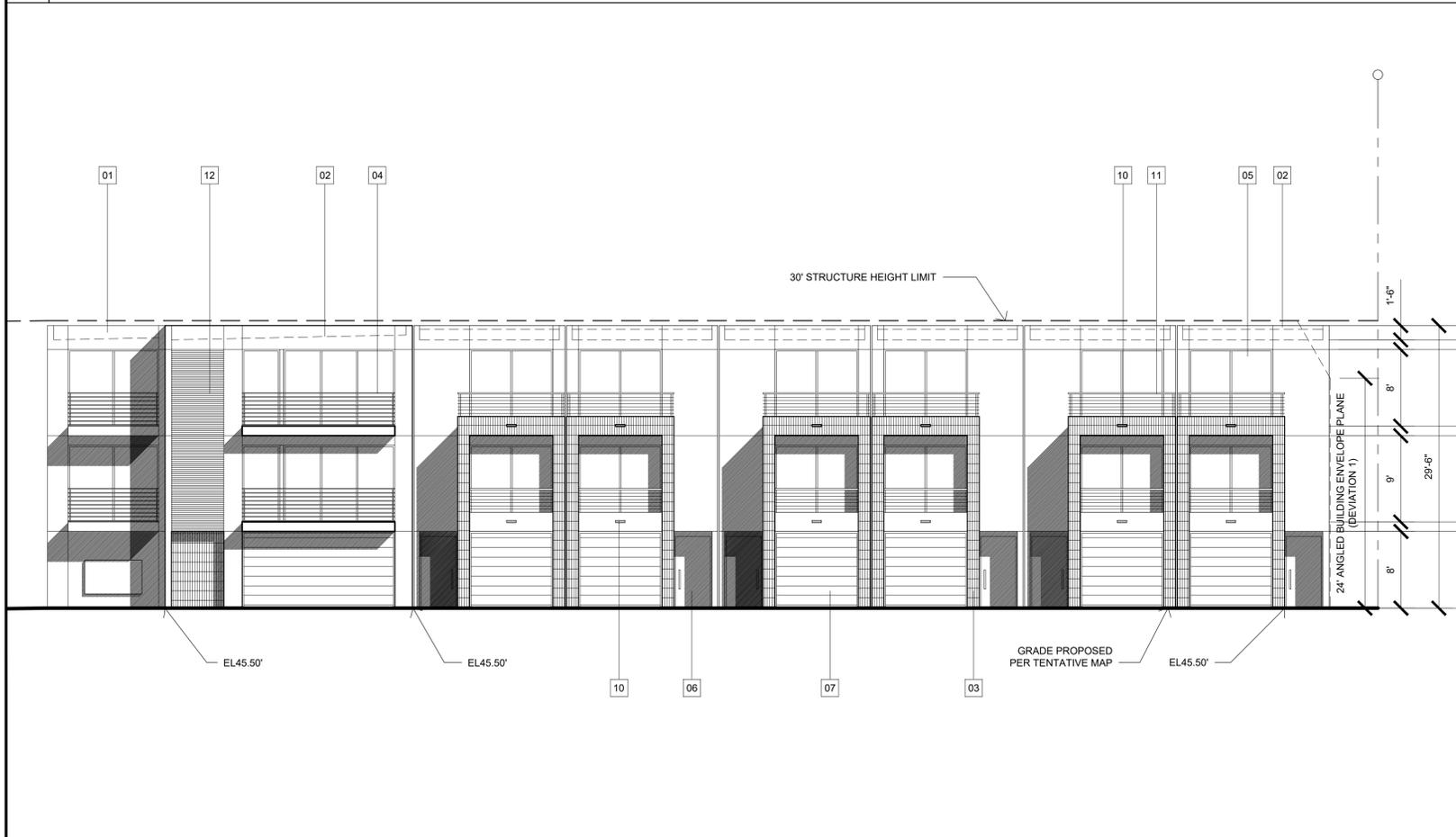
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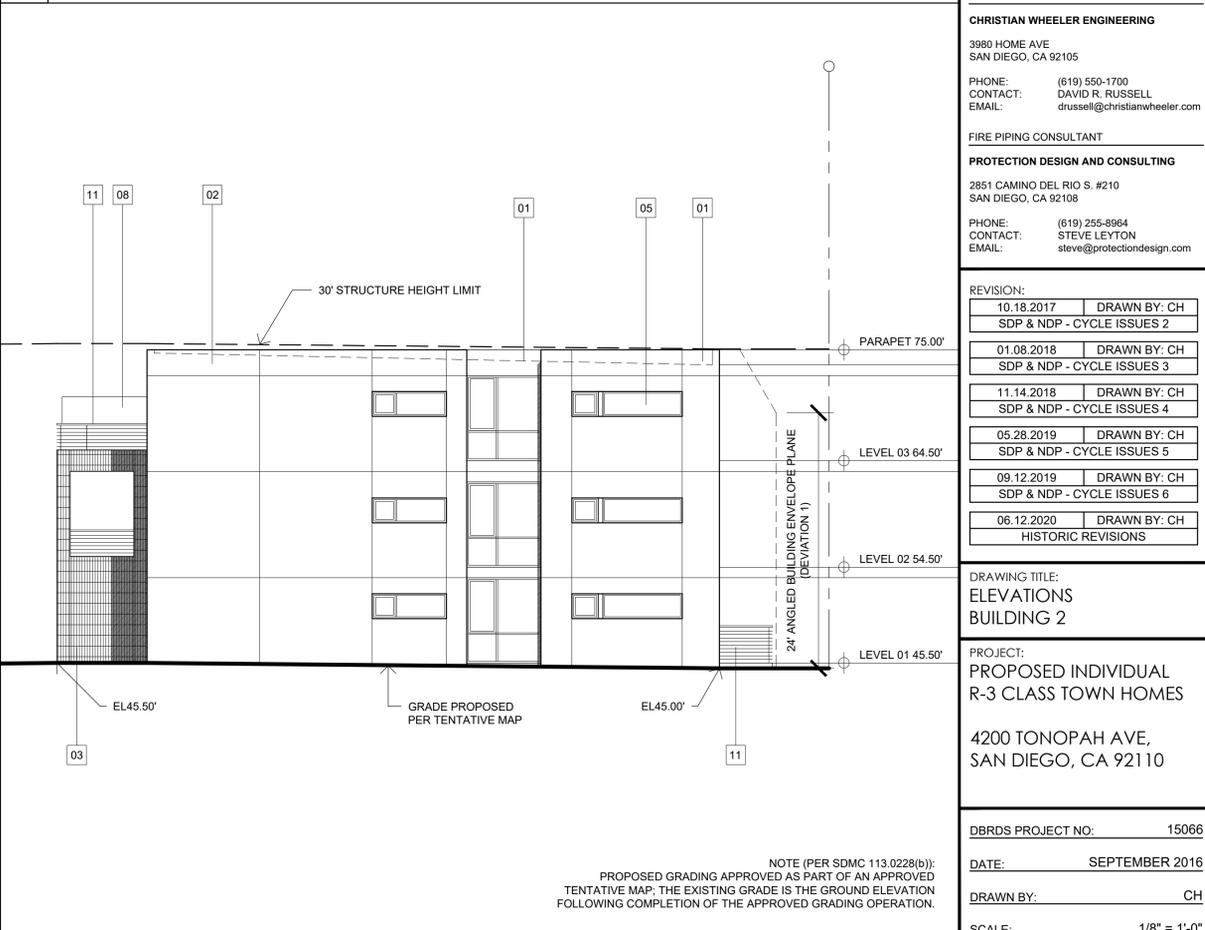
BUILDING 2 - NORTH ELEVATION



BUILDING 2 - WEST ELEVATION



BUILDING 2 - SOUTH ELEVATION



BUILDING 2 - EAST ELEVATION

NOTE (PER SDMC 113.0228(b)):
 PROPOSED GRADING APPROVED AS PART OF AN APPROVED
 TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION
 FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.

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 DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
ALMERIA INVESTMENTS, LP
 PO BOX 232628
 ENCINITAS, CA 92023

PHONE: (760) 207-3740
 CONTACT: MICHAEL FULTON
 EMAIL: michael@almeriainvestments.com

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT
PROTECTION DESIGN AND CONSULTING
 2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108
 PHONE: (619) 255-8964
 CONTACT: STEVE LEYTON
 EMAIL: steve@protectiondesign.com

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05.28.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 5
09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6
06.12.2020	DRAWN BY: CH HISTORIC REVISIONS

DRAWING TITLE:
SITE ELEVATIONS

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

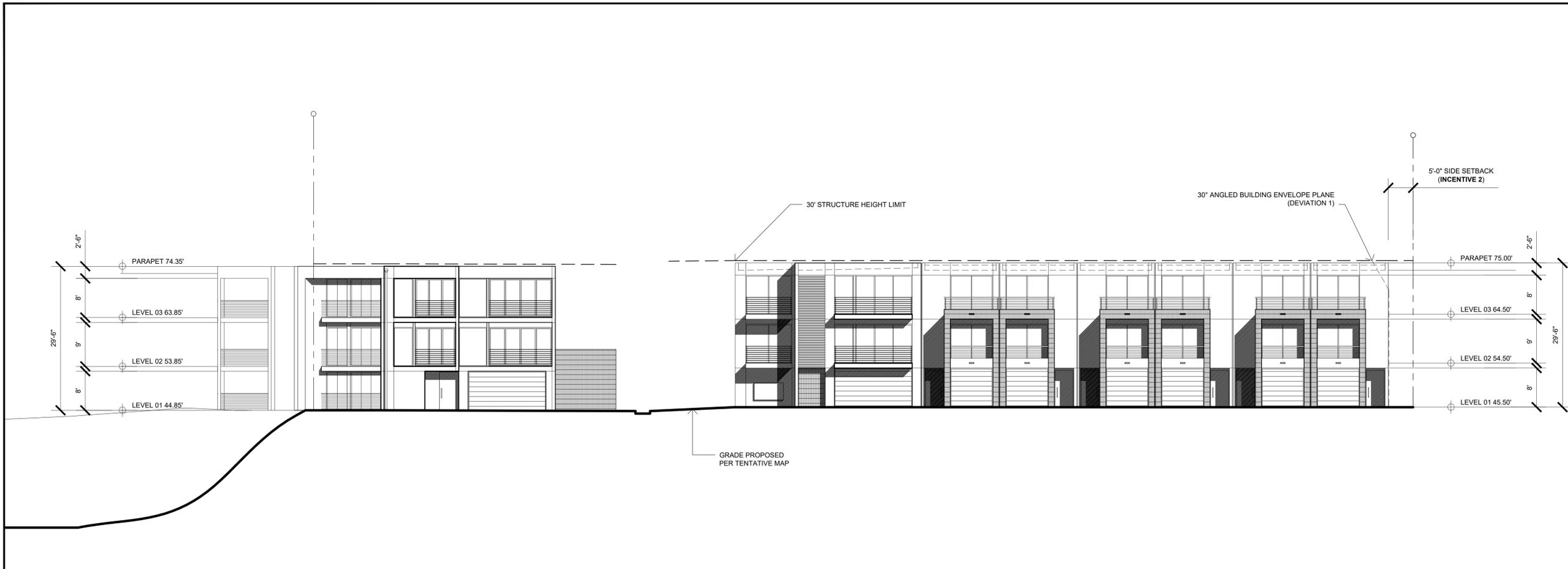
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

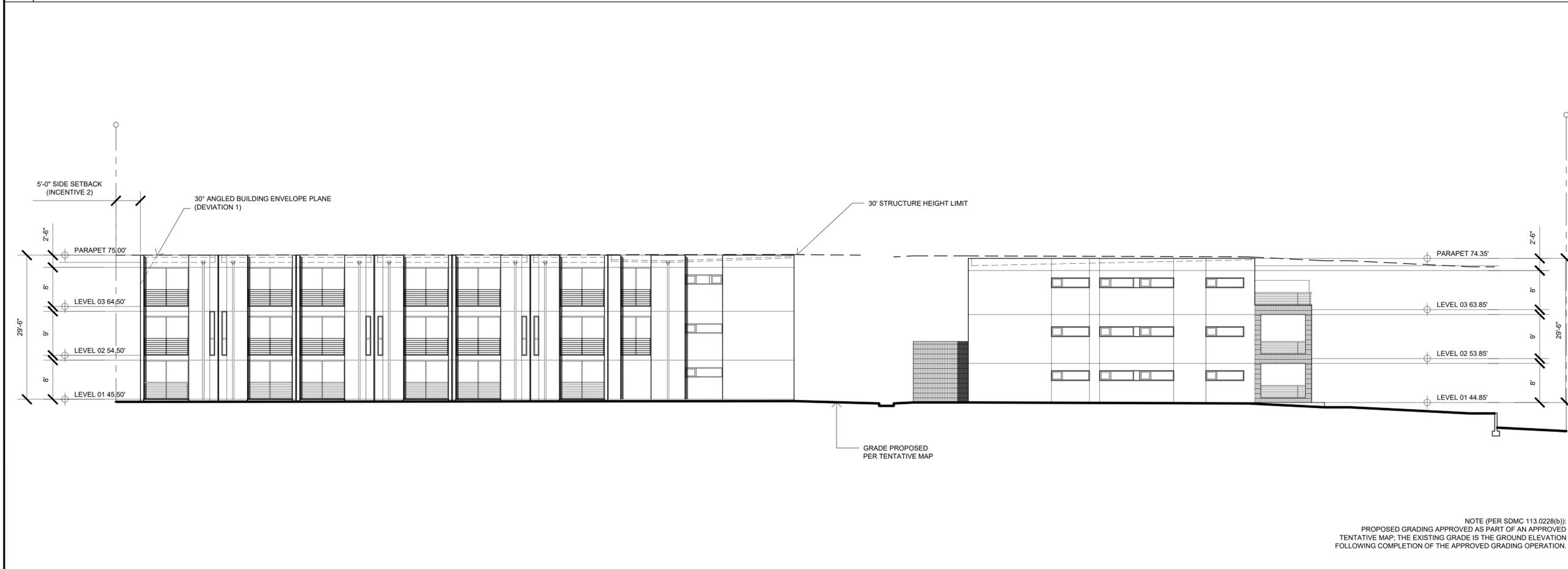
DRAWN BY: CH

SCALE: 3/32" = 1'-0"

SHEET NO: A3.02



SOUTH ELEVATION



NORTH ELEVATION

NOTE (PER SDMC 113.0228(b)):
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PO BOX 232628
 ENCINITAS, CA 92023

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DE BARTOLO + RIMANIC DESIGN STUDIO

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 SAN DIEGO CA 92101

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2851 CAMINO DEL RIO S. #210
 SAN DIEGO, CA 92108

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 EMAIL: steve@protectiondesign.com

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09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	
06.12.2020	DRAWN BY: CH
HISTORIC REVISIONS	

DRAWING TITLE:
 SECTIONS

PROJECT:
 PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
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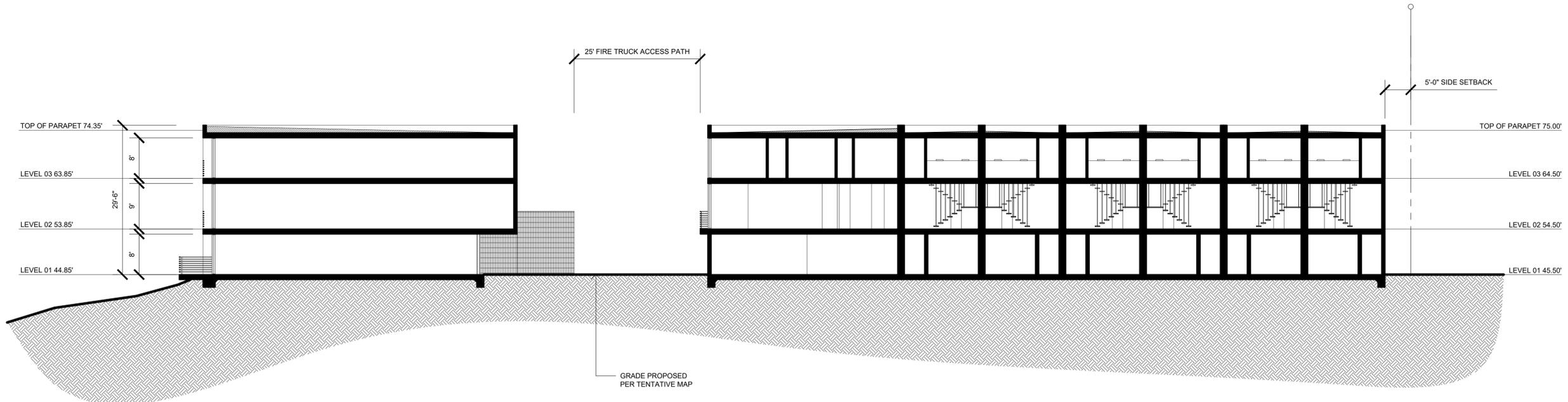
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DATE: SEPTEMBER 2016

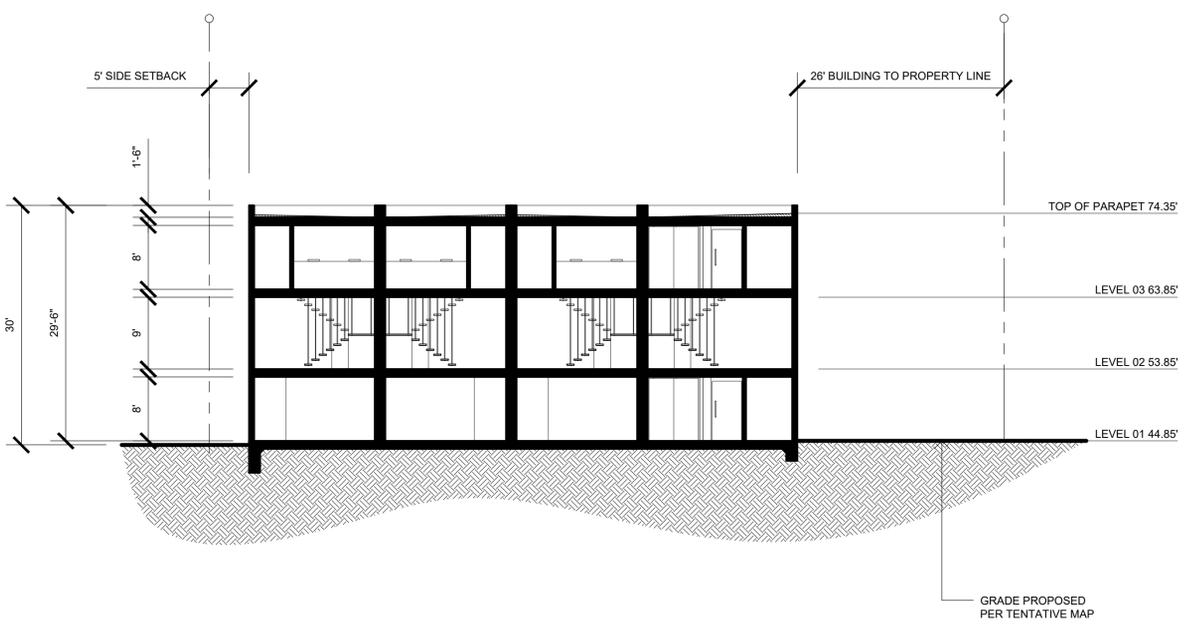
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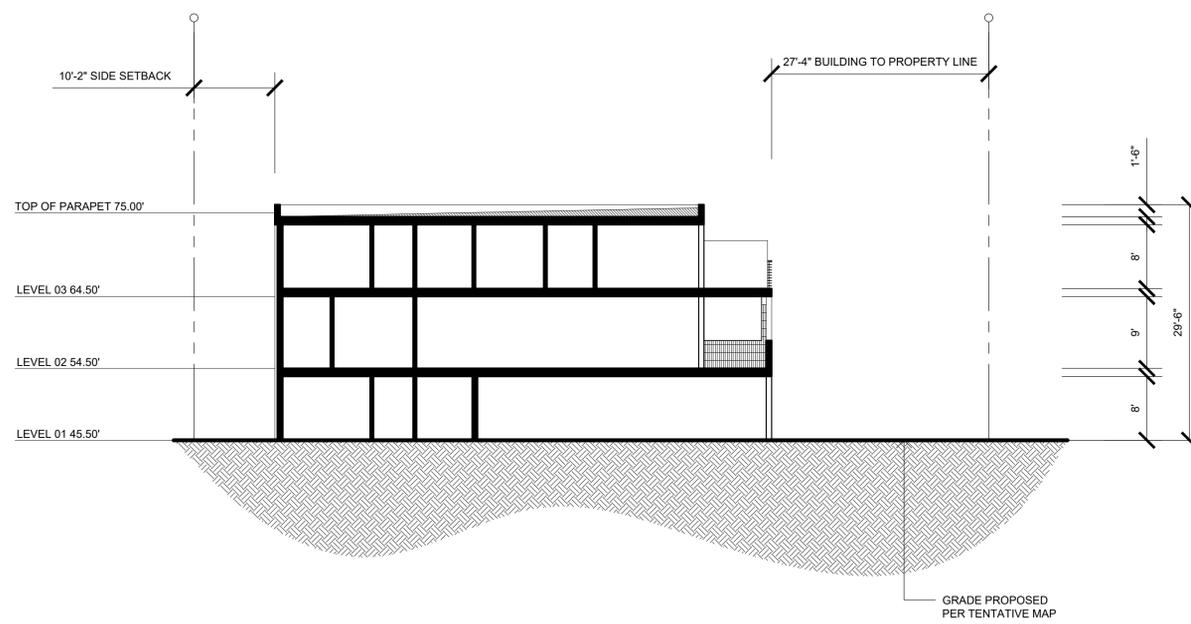
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SECTION A-A



SECTION B-B



SECTION C-C

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09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	
06.12.2020	DRAWN BY: CH
HISTORIC REVISIONS	

DRAWING TITLE:

MATERIALS BOARD

PROJECT:

PROPOSED INDIVIDUAL
 R-3 CLASS TOWN HOMES
 4200 TONOPAH AVE,
 SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: N/A

SHEET NO: A5.00



1. STUCCO - SANTA BARBARA FINISH GRAY



4. HORIZONTAL PAINTED METAL BALUSTRADE GRAY



7. NATURAL ANODIZED ALUMINUM FRAMED GARAGE DOOR



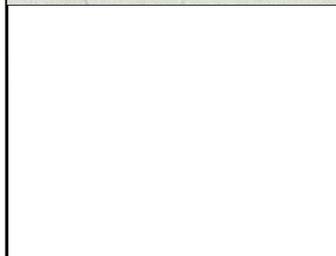
2. STUCCO - SANTA BARBARA FINISH WHITE



5. NATURAL ANODIZED ALUMINUM FRAMED OPERABLE GLAZING



8. PIVOT -HINGED FRONT DOOR



3. NOT USED



6. FEATURE EXTERIOR BRICK BROWN/EARTH TONES



9. STUCCO PATTERN FINISH HORIZONTAL / VERTICAL COMB

MATERIALS BOARD (SOUTH ELEVATION)

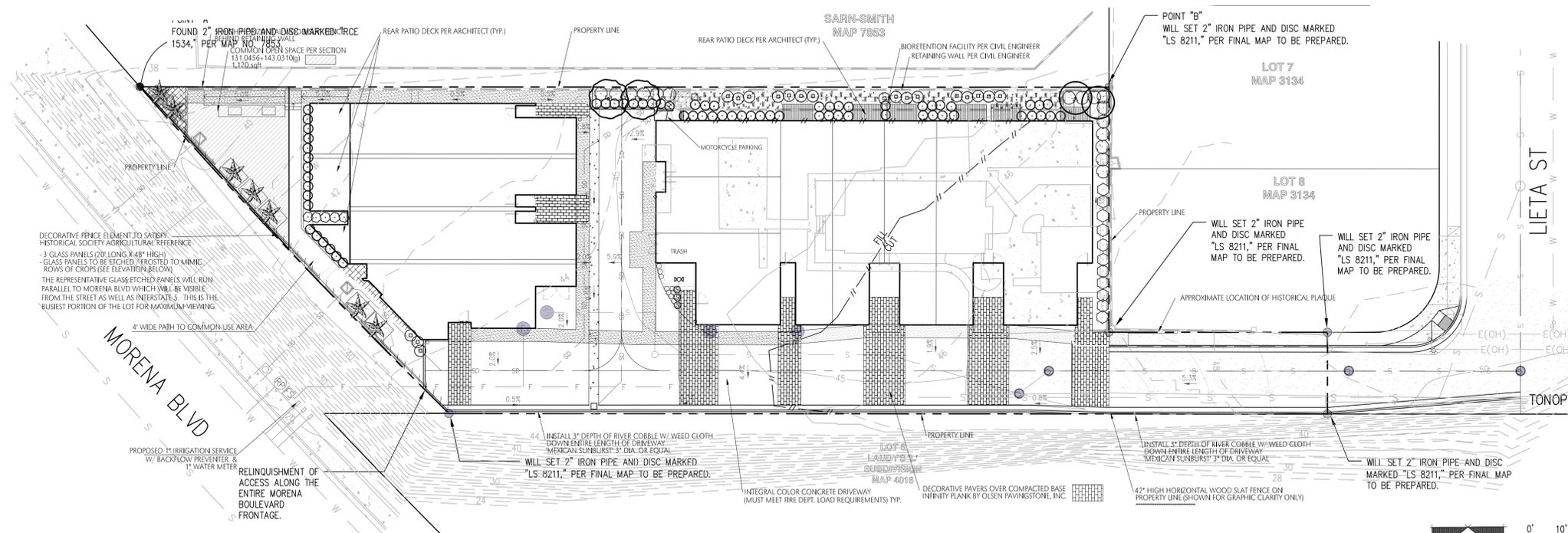
SITE DEVELOPMENT & NEIGHBORHOOD DEVELOPMENT PERMIT - (HISTORIC REVISIONS) - 06.12.2020

Landscape Development Plan

- GENERAL NOTES:**
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 2. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 3. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEADS AND DRIP LINES.
 4. ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(a)].
 5. ARCHITECTURAL ELEVATIONS AND FEATURES SHALL BE CONSIDERED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
 6. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
 7. THE PLANT PALETTE LISTED PROVIDES A LIST OF PLANT MATERIAL TO SELECT FROM WHEN DESIGNING THE LANDSCAPE. HOWEVER, SUBSTITUTIONS MAY BE REQUIRED DUE TO AVAILABILITY, SOILS TEST RESULTS, OR OTHER INFLUENCES.
 8. ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
 9. COLOR FROM PLANT FOLIAGE, BARK, OR FLOWERS WILL BE UTILIZED TO CREATE A FRIENDLY, WARM, AND VISUALLY EXCITING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.
 10. A SOIL TEST BY A QUALIFIED AGRONOMIST SHALL FURTHER INFLUENCE PLANT MATERIALS AND INSTALLATION TECHNIQUES.
 11. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
 12. ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
 13. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
 14. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
 15. NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED ADJACENT HARDSCAPE FOR ALL STREET TREES. ROOT BARRIERS MAY BE ELIMINATED WHERE THE COMBINATION OF TREE SPECIES, SOIL TYPE, SOIL AREA, AND DRAINAGE CONDITIONS CAN BE SHOWN TO AFFORD EQUIVALENT PROTECTION AGAINST TREE ROOT DAMAGE TO PUBLIC IMPROVEMENTS.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	SYMBOL	MUHLBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	5 GAL	3	
	ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM	15' BTH	7		PODOCARPUS X 'ICEE BLUE' / ICEE BLUE PODOCARPUS	15 GAL	11	
	CERCIDIUM X 'DESERT MUSEUM' / THORNLESS PALO VERDE	48"BOX	2		RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN	5 GAL	5	
	PYRUS CALLERYANA 'CAPITAL' / CAPITAL CALLERY PEAR	36"BOX	2		GROUND COVERS			
BOTANICAL / COMMON NAME			SIZE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	CAREX DIVULSA / BERKELEY SEDGE	1 GAL	9		ACACIA REDOLENS 'DESERT CARPET' TM / BANK CATCLAW	1 GAL	48" o.c.	80 SF
	CHONDROPETALUM TECTORUM 'EL CAMPO' / CAPE RUSH	5 GAL	66		CAREX DIVULSA / EUROPEAN GREY SEDGE	4" POT	1" o.c.	233 SF
	DODONAEA VISCOSA 'PURPUREA' / GREEN HOPSEED BUSH	15 GAL	16					
	LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE	5 GAL	19					



MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (except sewer)	5 FEET
SEWER	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS)	25 FEET

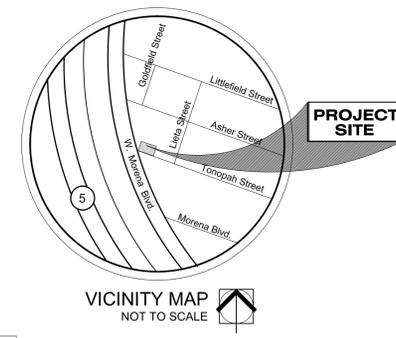
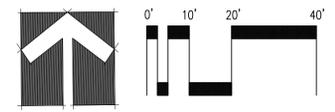
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ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE OWNER IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND STANDARDS.

IF ANY LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGE OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

A MINIMUM ROOT ZONE FO 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403 (b)(10).



STONE GROVE
LANDSCAPE ARCHITECTS

858.345.1499 | www.STONE-GROVE.co
200 N. CEDROS AVENUE, SOLANA BEACH, CA, 92075

PLANTING PLAN

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DBRDS
DE BARTOLO + RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:
CLIENT NAME
CLIENT ADDRESS
CLIENT ADDRESS

PHONE: (XXX) XXX-XXXX
CONTACT: CLIENT NAME
EMAIL: XXX@XXX.XXX

DESIGN:
DE BARTOLO + RIMANIC DESIGN STUDIO
363 5TH AVE, SUITE 203
SAN DIEGO CA 92101

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STAMP:

REVISION:

09.13.2016	DRAWN BY: CH
	SITE DEVELOPMENT PERMIT
XX.XX.XX	DRAWN BY: XX
	REVISION LABEL
XX.XX.XX	DRAWN BY: XX
	REVISION LABEL
XX.XX.XX	DRAWN BY: XX
	REVISION LABEL

DRAWING TITLE:
PLANTING PLAN

PROJECT:
PROPOSED MULTI-FAMILY RESIDENTIAL APARTMENTS
1398 LIETA STREET,
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: OCTOBER 6 2016

DRAWN BY: CH

SCALE: 1"=20'-0"

SHEET NO: L-1

SITE DEVELOPMENT PERMIT - 06-30-2020

Landscape Development Plan

Notes:
 All ideas, arrangements, drawings and plans set forth on this sheet are the original work product of, owned by and are the property of dbrds and use of this said work product is limited to a specified project of the purchaser, and for the construction of one building, any use, reuse or disclosure of said plans, reproductions, ideas, designs and/or arrangements, other than by dbrds, is strictly prohibited by law without the written permission of dbrds. Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown these drawings.

DBRDS
 DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

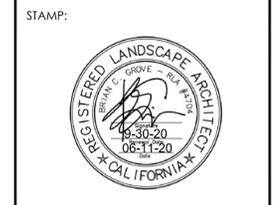
OWNER:
CLIENT NAME
 CLIENT ADDRESS
 CLIENT ADDRESS
 PHONE: (XXX) XXX-XXXX
 CONTACT: CLIENT NAME
 EMAIL: XXX@XXXX.XXX

DESIGN:
DE BARTOLO • RIMANIC DESIGN STUDIO
 363 5TH AVE, SUITE 203
 SAN DIEGO CA 92101
 PHONE: (858) 220 5262
 CONTACT: PAULY DE BARTOLO
 EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING
CIVIL LANDWORKS
 110 COPPERWOOD WAY, SUITE P
 OCEANSIDE, CA 92058
 PHONE: (760) 908-8745
 CONTACT: DAVE CARRON, PE
 EMAIL: dave@chilandworks.com

LANDSCAPE ARCHITECT
STONE + GROVE LANDSCAPE ARCHITECTS
 200 N CEDROS AVE
 SOLANA BEACH, CA 92705
 PHONE: (858) 345-1499
 CONTACT: BRIAN GROVE
 EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER
CHRISTIAN WHEELER ENGINEERING
 3980 HOME AVE
 SAN DIEGO, CA 92105
 PHONE: (619) 550-1700
 CONTACT: DAVID R. RUSSELL
 EMAIL: drussell@christianwheeler.com



REVISION:

09.13.2016	DRAWN BY: CH
SITE DEVELOPMENT PERMIT	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	

DRAWING TITLE:
PLANTING PLAN

PROJECT:
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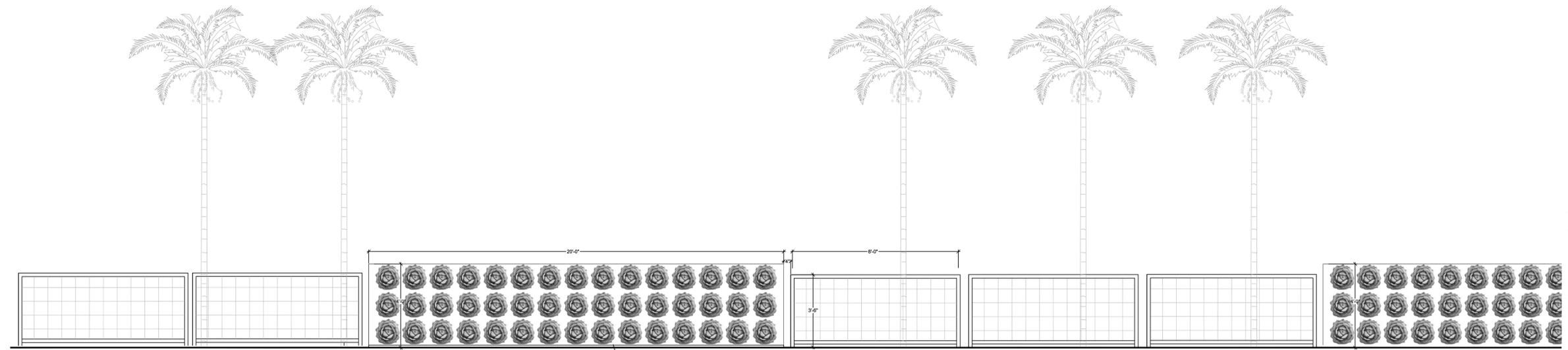
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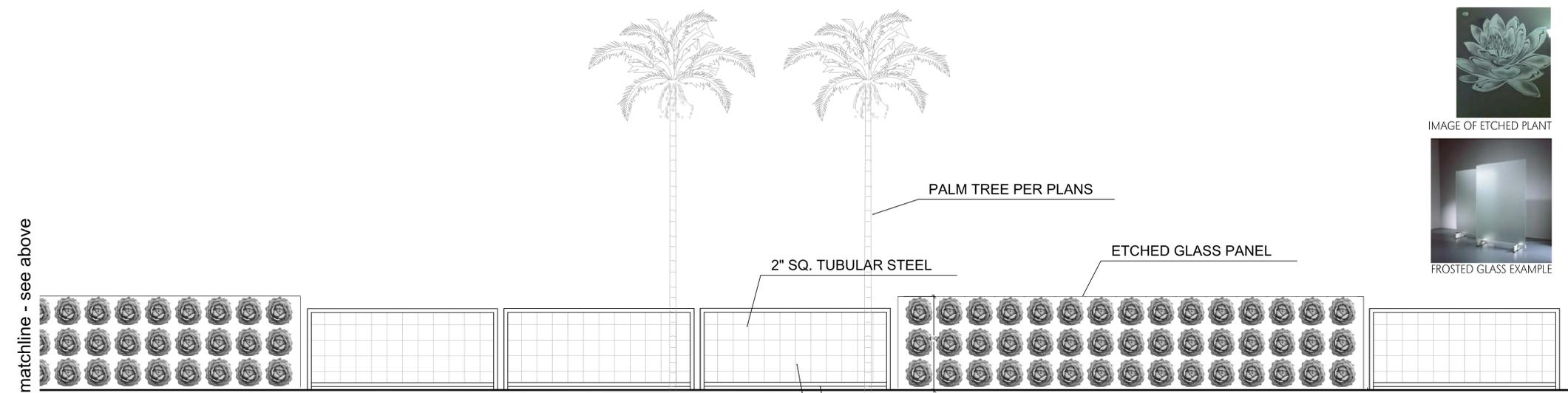
SCALE: 1"=20'-0"

SHEET NO: L-2



3/8" GLASS PANEL (ETCHED / FROSTED)
 ETCHING PATTERN TO MIMIC ROW PLANTING

matchline - see below



PALM TREE PER PLANS

2" SQ. TUBULAR STEEL

ETCHED GLASS PANEL

2" SQ. TUBULAR STEEL

1/4" ALUMINUM WIRE MESH
 (ON 4" GRID AS SHOWN)

matchline - see above

FENCE & GLASS PANEL (elevation along west property line) NTS

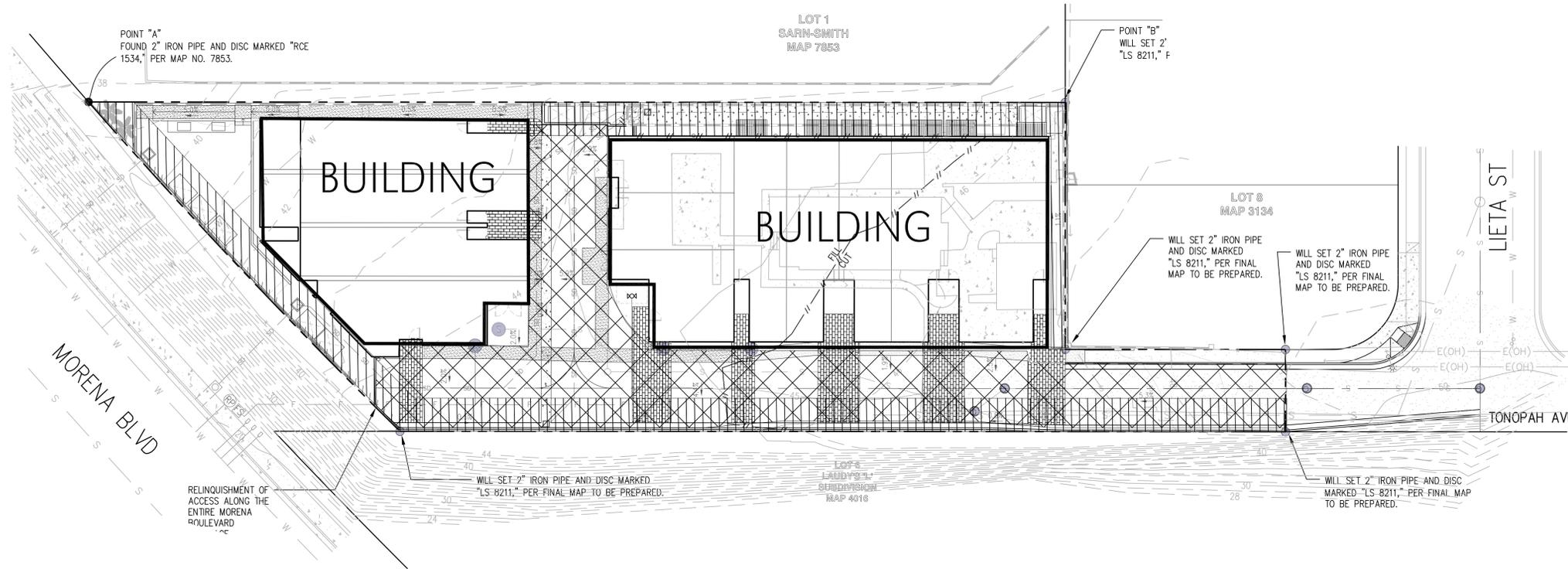
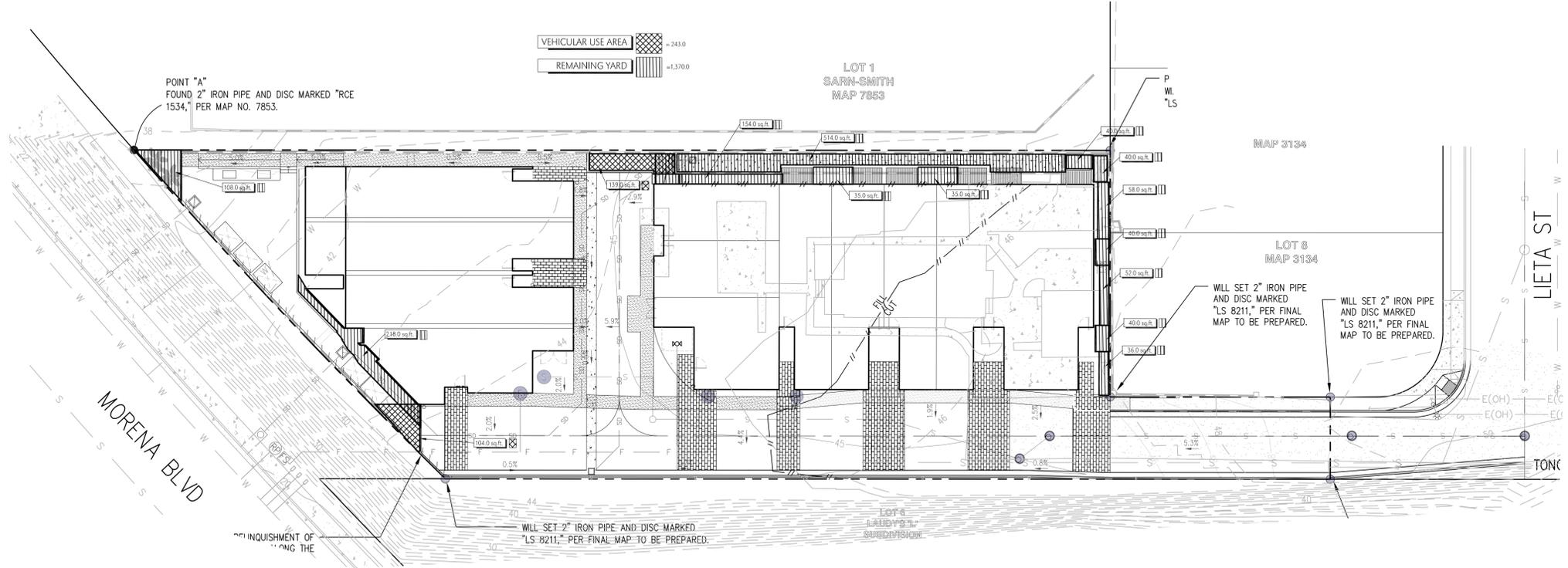
(ACTUAL DESIGN WILL BE BROUGHT TO THE DESIGN ASSISTANCE SUB-COMMITTEE FOR FURTHER REVIEW AND FINALIZATION OF DESIGN)

FENCE ELEVATION



858.345.1499 | www.STONE-GROVE.co
 200 N. CEDROS AVENUE, SOLANA BEACH, CA. 92075

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SUMMARY OF LANDSCAPE CALCULATIONS (RESIDENTIAL)

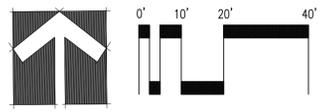
STREET YARD
 PROJECT DOES NOT HAVE A STREET FRONTAGE ALONG LIETA STREET. THE PAD OF THE DEVELOPMENT IS SET ABOVE THE MORENA BOULEVARD FRONTAGE, LEAVING NO VISUAL STREET YARD ON THE PARCEL. THEREFORE, STREET YARD CALCULATIONS ARE NOT REQUIRED.

VEHICULAR USE AREA
 TOTAL AREA: 7,803 S.F.
 PLANTING AREA REQUIRED: 7,803 x .03 = 234.0 S.F. PROVIDED: 243.0 S.F.
 EXCESS AREA PROVIDED: 9.0 S.F.
 PLANTING POINTS REQUIRED: 7,803 x .03 = 234.0 PROVIDED: 750.0
 2 - 48" box tree @ 100 pts. each = 200 pts.
 0 - 24" box tree @ 20 pts. each = 0 pts.
 55 - 15 gal. shrubs @ 10 pts. each = 550 pts.
 0 - 5 gal. shrubs @ 2 pts. each = 0 pts.
 0 - 1 gal. shrubs @ 1 pts. each = 0 pts.
 EXCESS POINTS PROVIDED: 516
 POINTS ACHIEVED THROUGH TREES: 200

REMAINING YARD - MULTIFAMILY UNIT DEVELOPMENT
 PLANTING POINTS REQUIRED: 60 POINTS/UNIT=780 PROVIDED: 789
 2 - 36" box tree @ 50 pts. each = 100 pts.
 7 - 15' BTH Palms @ 3pts/15' each = 315 pts.
 27 - 15 gal. shrubs @ 10 pts. each = 270 pts.
 52-5 gal. shrubs @ 2 pts. each = 104 pts.
 0 - 1 gal. shrubs @ 1 pts. each = 0 pts.
 EXCESS POINTS PROVIDED: 9
 POINTS ACHIEVED THROUGH TREES: 415

- STREET YARD AREA RESIDENTIAL = 0
- VEHICLE USE AREA RESIDENTIAL = 7,803
- REMAINING YARD AREA RESIDENTIAL = 5,863

SQUARE FOOTAGE PLAN



STONE GROVE
 LANDSCAPE ARCHITECTS

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