



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: February 25, 2021 REPORT NO. PC-21-009

HEARING DATE: March 4, 2021

SUBJECT: 32nd & BROADWAY, Process Five Decision

PROJECT NUMBER: [637438](#)

OWNER/APPLICANT: 32nd & Broadway, LLC and Benny C. Anderson / 32nd & Broadway, LLC

SUMMARY

Issues: Should the Planning Commission recommend to the City Council approval of a proposed subdivision to create one condominium lot for the construction of 38 residential condominiums, including four moderate income units, located on the northeast corner of Broadway and 32nd Street, and vacation of an unimproved 0.47-acre portion of Broadway, within the Greater Golden Hill Community Planning area?

Staff Recommendations:

1. Recommend the City Council ADOPT Mitigated Negative Declaration No. 637438 and ADOPT Mitigation Monitoring and Reporting Program; and
2. Recommend the City Council APPROVE Public Right-of-Way Vacation No. 2324692, Tentative Map No. 2324694, Neighborhood Development Permit No. 2324693, and Site Development Permit No. 2471596.

Community Planning Group Recommendation: On September 11, 2019, the Greater Golden Hill Community Planning Group voted 11-1-1 to recommend approval of the project, with no conditions (Attachment 11).

Environmental Review: [Mitigated Negative Declaration No. 637438/SCH No. 2020120280](#) has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared and will be implemented to reduce all potential significant impacts related to Biological Resources to below a level of significance (Attachment 10).

Fiscal Impact Statement: None with this action. All costs associated with the processing of this application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The project would provide for development of 38 residential condominiums, including 34 market-rate and four dwelling units affordable to moderate income households, on an undeveloped site. The Golden Hill Community Plan ([GHCP](#)) designates the site Residential-Low Medium density, which provides for both single-family and multifamily housing at a density range between 10 to 15 dwelling units. The GHCP allows additional density up to 29 dwelling units per acre (du/ac), or a total of 36 dwelling units on the site. The project proposes 11 percent of the 36 base units affordable to moderate income households at 100% Area Median Income (AMI), which allows for a housing density bonus of six percent, or three additional dwelling units, for a total of 39 dwelling units on the site. The project is requesting a density bonus in accordance with [State Density Bonus Law](#) and the [Affordable Housing Regulations](#) to allow the development of 38 dwelling units on the subject site resulting in an overall net increase of 38 residential units in the community.

BACKGROUND

The project site is an unimproved property located at the northeast corner of Broadway and 32nd Street, north of State Route 94 (SR-94), in the RM-1-1 (Residential-Multiple Unit) Zone within the Greater Golden Hill Community Planning area (Attachment 1). The site is also located within the San Diego International Airport (SDIA) Noise Contours Overlay Zone (65-70 CNEL), the Airport Influence Area (SDIA - Review Area 1), and the Federal Aviation Administration (FAA) Part 77 Noticing Area (SDIA). With the street vacation and increased project site area from 0.972 acre to 1.21 acres, a maximum of 18 dwelling units is allowed based on the RM-1-1 Zone, which allows 1 dwelling unit per 3,000 square-feet, and a maximum of 18 dwelling units based on the GHCP, which designates the site Residential-Low Medium at a density range between 10 to 15 du/ac. The GHCP allows for this area to increase the density up to 29 du/ac, or 36 dwelling units, through the permitting process (Attachment 4). This is being achieved with the approval of a Neighborhood Development Permit. The project is requesting a density bonus above the maximum community plan density of 29 du/ac to allow the construction of 38 dwelling units by providing four moderate income affordable units within the project, in accordance with the Affordable Housing Regulations.

As shown in Figure 1, the project site slopes to the south and east with site elevations ranging from approximately 175 feet above mean sea level (AMSL) at the northwest corner of the site to 135 feet AMSL at the southeast corner of the site. Surrounding development includes single-family and multi-family residential development to the west, multi-family development to the east, and vacant land and SR-94 to the south (Attachments 2 and 3). The unimproved area to the north of the project site is currently entitled for the development of 19 residential condominiums (Project No. 595288).



Figure 1 – Southeast View of Project Site

The project site is located in an urbanized area and developed area with water, sewer, fire, police, public schools, parks, and other services already provided.

DISCUSSION

Project Description:

The project qualifies as an affordable housing density bonus residential development, and in accordance with [San Diego Municipal Code \(SDMC\) Chapter 14, Article 3, Division 7](#) is entitled to certain benefits, including density bonus and development incentives. The project proposes to vacate a portion of Broadway and subdivide the property into one lot for the construction of 38 residential condominiums, including 34 market rate and four moderate income for-sale affordable units, with one development incentive, four deviations from the development regulations, and associated onsite and off-site improvements. The project requires the following approvals, which are consolidated under this application requiring a Planning Commission recommendation, and approval by the City Council:

- Process Five, Public Right of Way (PROW) pursuant to [SDMC Section 125.0190](#) in accordance with the California Streets and Highways Code for the proposed vacation of a portion of Broadway PROW located within and outside of the tentative map area;
- Process Four, Tentative Map (TM) pursuant to [SDMC Section 125.0420](#) for the proposed subdivision and consolidation of 12 lots into one and construction of 38 residential condominiums;
- Process Four, Site Development Permit (SDP) pursuant to [SDMC Sections 129.0710\(b\)](#) and [126.0502\(d\)\(6\)](#) for the proposed retaining wall exceeding three feet within the 32nd Street ROW when the applicant is not the record owner of the property; and
- Process Two, Neighborhood Development Permit (NDP) pursuant to [SDMC Section 143.0110 \(Table 143-01A\)](#) for the proposed development on a site containing Environmentally Sensitive Lands (ESL), and for increased density expressly provided by the land use plan and to allow requested deviations from the development regulations of the SDMC pertaining to side setback, floor area ratio, angled building envelope, and retaining wall height pursuant to [SDMC Section 126.0402\(q\)](#) and [SDMC Section 143.0920](#) for a project that qualifies as an Affordable Housing, Infill, Sustainable Development project per [SDMC Section 143.0915](#).

As shown in Figure 2, the 38 residential condominiums will be contained within six, three-story buildings totaling approximately 68,538 square feet in Gross Floor Area (GFA), and include 14 one-bedroom units, 8 two-bedroom units, and 16 three-bedroom units ranging in size from 866 square-feet to 1,635 square-feet of habitable area. The project provides the required 62 off-street parking spaces and four motorcycle spaces, and exceeds the required 19 bicycle spaces.

The off-street parking and bicycle spaces will be provided within each unit's one-car or two-car garage, with the motorcycle spaces provided east of Buildings "B" and "F". The project has been designed to conform with all applicable development regulations of the RM-1-1 Zone, except for the requested development incentive for height, and deviations to side setback, floor area ratio (FAR), angled building envelope, and retaining wall height as detailed below. Each

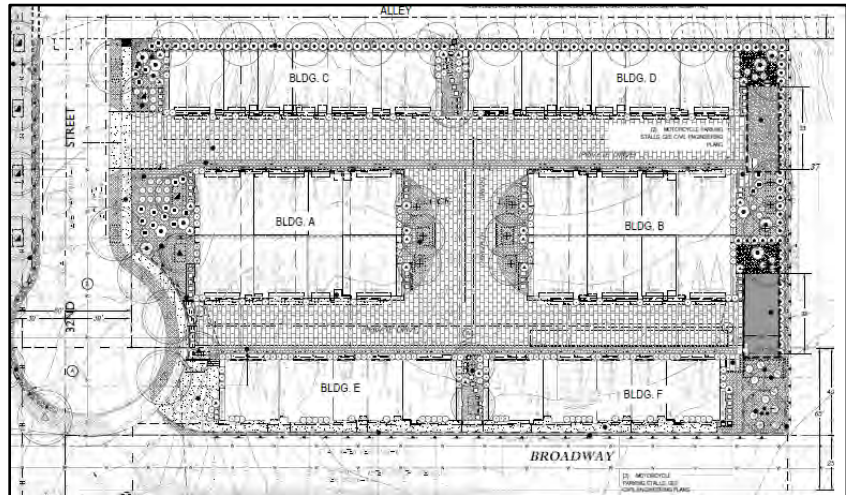


Figure 2 – Project Landscape Plan

unit is designed to provide the required private storage space and private open space. Approximately 1,188 square feet of common open space is provided along the project's eastern boundary, including a 594 square-foot dog park, exceeding the minimum required 950 square feet of common open space area. Access to the proposed development will be provided via a driveway on 32nd Street.

As the site is vacant, there is no existing water or sewer lateral servicing the property. The proposed sewer system will connect to an existing 12-inch VC sewer via a new manhole southeast of the site. The private sewer system will be designed per City of San Diego Sewer Guidelines. The proposed water system will connect to an existing 6-inch public water main and 30-inch CMLS water main.

Grading – Project implementation would include grading consisting of balanced earthwork, with cuts of approximately 9.2 feet in the northwest portion of the site, and fills up to 11 feet at the central and southern portion of the site to adapt the sloping site to the development. The finished floor elevations would range from a high of approximately 164 AMSL at the northwest corner of the property, to a low of approximately 140 feet AMSL at the southeast corner of the property. Drainage would be provided consistent with the City's Storm Water Regulations and be directed into appropriate storm drain systems designated to carry surface runoff. According to a geotechnical investigation report prepared for the project by NOVA Services, Inc., the site is suitable for the proposed development provided the geotechnical recommendations are incorporated into project design.

Public Improvements - The project proposes improvements to 32nd Street with curb, gutter, a five-foot wide non-contiguous sidewalk on the eastern side of the street, and construction of a cul-de-sac at its southern terminus. As noted above, an SDP is requested for the construction of a five to eight-foot retaining wall on the west side of 32nd Street within the City ROW. The retaining wall is necessary for the construction of 32nd Street and the cul-de-sac. Adjacent properties to the west will not be impacted due to abutting properties located at a higher elevation with an elevation differential of 14 to 27 feet between the properties and 32nd Street, and properties' access via Edgemont Street. The project also includes construction of a driveway from the cul-de-sac providing access for water and sewer maintenance and existing utilities, and access to the property to the south.

Public ROW Vacation - The Broadway PROW was dedicated as an 80-foot wide ROW, identified as "D Street", per Map No. 167 recorded November 20, 1886 for circulation, access, and public services purposes. As shown in Figure 3, the project proposes to vacate an unimproved 0.47-acre (20,348 square-foot), 65-foot wide, portion of Broadway from 32nd Street to the project's eastern boundary. The southern 15-foot wide portion of Broadway PROW, and portion of 32nd Street between Broadway and State Route 94 (SR-94), were vacated per [Resolution No. 223097](#) adopted by the City Council on March 20, 1979. Topography and subsequent construction of SR-94 has impacted the full improvement of the PROW between 32nd and 33rd Streets to current City standards. The portion of Broadway PROW to the southeast of the project would remain in place for the easterly owners' access and future redevelopment of their properties. As detailed in the "Community Plan Analysis" section below, this segment of Broadway is not part of the GHCP's classified streets network and is not identified on the Mobility Element's Planned Street Classification map.

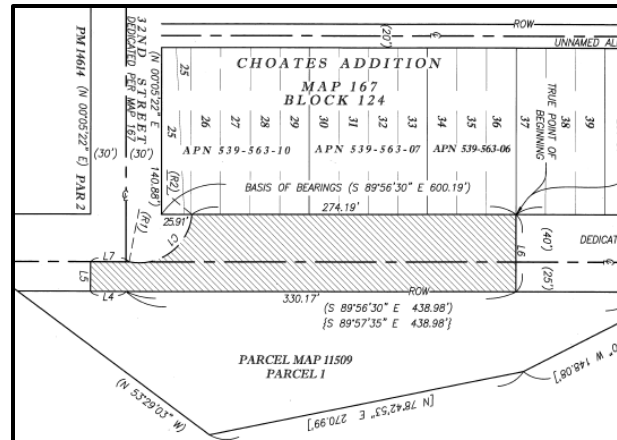


Figure 3 - Portion of Broadway Proposed to be Vacated

Of the 65-foot width of Broadway between 32nd Street and project's eastern boundary proposed to be vacated, 40 feet measured from the centerline to the north would revert to the underlying fee owners 32nd & Broadway LLC. and Benny C. Anderson (Assessor Parcel Numbers (APNs) 539-563-06, 539-563-07, 539-563-10).

The vacation would result in the addition of approximately 10,395 square feet to the 42,322 square-foot project site, for a total area of 52,717 square feet, which will be developed with dwelling units, and a driveway for access to existing water and sewer facilities.

The remaining 25-foot wide portion from the Broadway centerline to the south would revert to Gregg A. and Kimberly A. Rudenberg, the underlying fee owners of APN 533-564-02, which may be developed in accordance with the underlying zoning and GHCP land use designation.

The vacated area will include an approximately 0.24-acre easement for water and sewer purposes, and an approximately 0.037-acre (approximately 1,600 square-foot) utility easement reservation for San Diego Gas and Electric (SDG&E) and Cox Communications as shown on Drawing Nos. 41836-B-2 and 41836-B-3.

Project-Related Issues:

Development Incentive – By including 11 percent or four moderate income dwelling units, the project is allowed one development incentive under the provisions of the Affordable Housing Regulations. Pursuant to [SDMC Section 143.0740](#), an incentive can mean a deviation to a development regulation. The SDMC further states that: "Upon an applicant's request, development

that meets the applicable requirements of [Section 143.0720](#) shall be entitled to incentives pursuant to Section 143.0740 unless the City makes a written finding of denial based on substantial evidence”.

The applicant is requesting one incentive to allow structure height between 30 to 45 feet where the maximum height limit is 30 feet pursuant to [SDMC Section 131.0431 \(Table 131-04G\)](#). As shown on the conceptual elevation drawings and summarized in the table below, each building's plumb height measured from finished grade elevation to the highest point of the structure is approximately 33 feet, with overall structure heights measured from the lowest grade elevation within five feet of a structure to the top of the structure approximately 42 feet to 44 feet, 11.75 inches. A height incentive to allow structure heights up to 45 feet is requested to accommodate site topography, maximize density with an affordable housing component, maintain the architectural character of the project, and to allow flexibility and avoid any height issues due to site complications and final building measurements.

Height Incentive		
Building	Plumb Height	Overall Structure Height
Building A	33' 3.25"	42'
Building B	33' 3.25"	42'
Building C	33' 3.25"	39' 3.25"
Building D	33' 3.25"	44' 11.75"
Building E	33' 3.25"	43' 6.5"
Building F	33' 3.25"	43' 6.5"

The project is a density bonus project as outlined in SDMC Section 143.0720, and the proposed incentive is required to provide for affordable housing costs, would not have a specific adverse impact upon public health and safety, the physical environment including environmentally sensitive lands, or listed in the California Register of Historical Resources, and the incentive would not be contrary to state or federal law. Therefore, the findings to deny the incentive outlined in SDMC Section 143.0740(c)(1) cannot be made. Based on site topography and project design in relation to surrounding development, and to enable the project maximize density and provide affordable housing on an otherwise underutilized site, City staff has determined the requested incentive to exceed the height limit is consistent with the intent of the State's Density Bonus Law.

Requested Deviations - The project meets the criteria for [Affordable Housing, In-Fill Projects, and Sustainable Buildings Development Regulations](#) set forth in SDMC Section 143.0915, and in accordance with SDMC Section 143.0920, may request deviations from certain development standards with a NDP in addition to the development incentive described above. The purpose of these regulations is to provide flexibility in the application of development regulations for projects providing affordable shelter and to provide an additional incentive to facilitate the development of affordable housing, in-fill projects, and sustainable buildings while assuring that the development achieves the purpose and intent of the applicable land use plan. The project requests four deviations: to allow reduced side yard setback, no angled building envelope plane, exceed floor area ratio, and exceed retaining wall height within required front, side, and rear yards as detailed below:

Deviations		
SDMC Section	Required	Proposed
Side Setback (South Property Line) 131.0443(d)(2) Table 131.04G	Minimum – 5 feet Standard – 50% of building length at 14.12 feet (10% of lot width)	5 feet
Angled Building Envelope Plane 131.0444(e)(1)	45 Degree Angle	None
Floor Area Ratio 131.0431(e) Table 131.04G	0.75 (39, 538 square feet)	1.30 (68,538 square feet)
Retaining Wall Height - Front / Street Yards (142.0340(c)(1)) - Side / Rear Yards 142.0340(d)(1)	2 walls, 3 feet each with horizontal offset 2 walls, 6 feet each with horizontal offset	9.5 feet 7 feet

Deviation for Side Setback - Up to 50 percent of the length of the building envelope on one side of the premises may observe the minimum 5-foot side setback, provided the remaining percentage of the building envelope length observes at least the standard side setback of 8 feet or 10 percent of the lot width, whichever is greater. One hundred percent of the length of the building envelope on the opposite side may observe the minimum side setback of 5 feet. The project observes the minimum side setback of 5 feet along the north property line. On the south side, the project proposes a 5-foot setback where 50% of the lengths of Building E and Building F are required to observe a side setback of 14.2 feet. The deviation is necessary to maximize density on the site and provide affordable housing.

Deviation for Angled Building Envelope Plane – In the RM-1-1 Zone, the height of the building envelope above 19 feet at the minimum front setback and 24 feet at the standard front setback is established by a 45-degree angled building envelope plane sloping inward to the maximum permitted 30-foot structure height limit. At the side setback line, the height of the building envelope above 24 feet in height is established by a 45-degree building envelope plane sloping inward to the maximum permitted 30-foot structure height. The project does not comply with the angled building envelope plane and is requesting a deviation to maintain the architectural character of the project.

Deviation for Floor Area Ratio (FAR) - The project is requesting a FAR of 1.30 (68,538 square feet) where a maximum 0.75 FAR (39,538) is allowed in the RM-1-1 Zone. The deviation is requested to maximize density with an onsite affordable housing component.

Deviation for Retaining Wall Height – Within the front yard, two walls with a maximum height of three feet each, separated by a horizontal distance equal to the height of the upper wall is allowed per SDMC 142.0340 (c) (1). Within the side and rear yards, two walls with a maximum height of six feet each, separated by a horizontal distance equal to the height of the upper wall is allowed per SDMC

Section 142.0340 (d) (1). The project proposes retaining walls ranging 7 to 9.5 feet. This deviation is requested to achieve the desired site grading to maximize density with an affordable housing component, and to satisfy Americans with Disabilities Act (ADA) requirements, including a pedestrian path from 32nd Street, on a constrained and otherwise underutilized site. The retaining walls will include landscaping and screened from public view.

The above incentive and deviations are necessary to allow the 38 proposed units in accordance with State density bonus law and the City's Affordable Housing Regulations given the site size and constraints. The proposed development has otherwise been designed and conditioned to ensure conformance to the requirements of the Land Development Code and San Diego Municipal Code.

FAA and ALUC Consistency Determination -The project is located within the Airport Influence Area for SDIA (Review Area 1), and FAA Part 77 Notification Area for SDIA. The project has been reviewed for consistency with the Airport Land Use Compatibility Plan (ALUCP) for SDIA by the San Diego County Regional Airport Authority acting as the Airport Land Use Commission (ALUC). On October 30, 2019, ALUC staff determined the proposed project is conditionally consistent with the SDIA ALUCP subject to the following conditions:

1. Residences must be sound attenuated to 45 dB CNEL interior noise level; and
2. An aviation easement for aircraft noise and height is recorded with the County Recorder.

The project has been conditioned to require sound attenuation of residential units to 45 dB CNEL interior noise level, and an aviation easement for noise and height be recorded with the County Recorder (Attachment 7, Conditions 18 and 20). The aviation easement would also satisfy the overflight notification requirement.

Community Plan Analysis:

The project site is subject to the recommendations of the citywide General Plan and the GHCP, which was updated in 2016. The General Plan contains a long-range vision and broad range of citywide policies that provide a framework to guide physical development, provide public services, and maintain San Diego's defining qualities. As projects and future implementation actions are reviewed, they are to be deemed consistent with the General Plan provided they further its goals and policies (or not obstruct their attainment). General Plan policies are also implemented through community plan recommendations. The GHCP contains the community-specific detail, including more detailed land use designations, for review of development projects in this community.

The GHCP designates the site for residential development at a density range between 10 and 15 du/ac. The Residential-Low Medium land use designation is intended for both single-family and multi-family housing. The GHCP also provides an increased density development option within the neighborhood east of 32nd Street that would allow up to 29 du/ac. The proposed project would subdivide the 1.21-acre site and utilize the Affordable Housing Regulations for development of 38 attached dwelling units consistent with GHCP land use and zoning regulations.

The proposed project is consistent with the goals and policies of the General Plan and the GHCP. Overall, the project would advance the General Plan City of Villages Strategy by providing housing utilizing the maximum density range specified by the GHCP and paying its proportional fair-share of public facilities costs through payment of a Development Impact Fee for new residential development.

The General Plan's Housing Element also promotes the use of affordable housing/density bonus programs to achieve projected residential housing needs over a broader range of income levels than typical of market rate housing projects. The project would utilize the density bonus program within the Affordable Housing Regulations to provide additional housing units, including four housing units affordable to moderate income households. Maximizing housing within this vacant infill development site furthers General Plan and GHCP goals and policies related to the provision of housing.

The GHCP contains policies that identify the need for a park to serve the adjacent neighborhood as well as alternative uses for "paper streets" which can be addressed. The GHCP's Recreation Element identifies the project site, portions of the unimproved street ROW, and the adjacent vacant parcels as part of a 3.81-acre neighborhood park. The proposed development would remove a 1.21-acre area, including the PROW vacation, from consideration for future acquisition of a park site. A development previously approved within a vacant one-acre site to the north also reduces the available park acreage.

The option to use the site for a neighborhood park would require acquisition of the site by the City. Currently, there is no identified funding source available for acquisition and development of this future park. The Golden Hill Impact Fee Study lists public facilities needed to implement the GHCP and identifies funding sources, including a Development Impact Fee (DIF). Currently, the majority of DIF funds are allocated to construct pedestrian and bicycle facilities along a segment of golf course drive which is also identified as a high priority by the Greater Golden Hill Planning Committee, and it is unknown when sufficient DIF funds will become available. The project would construct housing according to community plan land use. The project would also pay required DIF fees which include a Parks and Recreation component.

This project also proposes a PROW vacation for an unimproved portion of Broadway. The segment of Broadway proposed to be vacated is not part of the GHCP's classified streets network and is not identified on the Mobility Element's Planned Street Classification map (Figure 3-5). The proposed street vacation would also not affect the following types of facilities identified as part of the GHCP's mobility network: Pedestrian Routes, Existing or Planned Bicycle Network, and Planned Transit Facilities, because routes for these facilities are not mapped within this portion of Broadway.

Unimproved local streets may be considered for PROW vacation if needs for public access infrastructure are addressed, including feasibility of construction (see discussion above). The GHCP's Recreation Element also contains a policy that considers alternative uses for "paper streets". Policy RE-1.6 states: *Increase recreational opportunities by acquiring and developing land for park and recreation uses through street/alley right-of-way vacations, including vacation of paper streets, where appropriate and legally defensible.* Park alternatives to public access require relinquishment of underlying property rights by abutting owners. This project site, including the ROW vacation, was considered for acquisition as part of a neighborhood park as described above. The project does not

propose to relinquish underlying property rights but instead proposes to incorporate the vacated ROW into the total site area for the construction of housing.

The proposed project would also make mobility improvements that implement goals and policies of the GHCP. The project would construct the unimproved 32nd Street PROW to provide public vehicle and pedestrian access to the project site and construct a cul-de-sac turn-around with driveway for utility maintenance access and access to the abutting parcel to the south. The new sidewalks will be designed to replicate a traditional historic scoring pattern specified by the GHCP.

The GHCP's Urban Design Element policies pertaining to development within canyons, hillsides and open space apply to this site. As stated above, the grade elevation of the site descends approximately 40 feet between the northwest corner and the southeast corner of the site. Proposed grading would create flat development pads for the four building plans and balance cut and fill within the site. Internal driveways would generally flow with the sloping topography and buildings would be stepped in specific areas to incorporate the natural drop of the slope. Building volumes would also incorporate variations in rooflines and wall planes that transition with the flow of the slope. Buildings facades will incorporate neutral, muted and primarily earth-tone colors reflecting the nearby 32nd Street Canyon area.

The Urban Design Element also recommends street facing yards and building facades incorporate landscape and architectural features to provide design detail, variety and visual interest along the street facing edge. The residences would orient to 32nd Street by providing a combination of street-facing balconies and windows. Landscaping within the street yard along 32nd Street would include a variety of trees, shrubs and accent plants to provide visual interest at the pedestrian level.

The project would also provide a total of 1,188 square feet of common open space configured in two separate landscaped areas, including an amenity area for pets which meets a community plan requirement for projects with more than 20 units.

Environmental Analysis:

MND No. 637438 has been prepared for the project in accordance with CEQA guidelines. An MMRP will be implemented with this project for impacts related to Biological Resources. Per Cadre Environmental's Biological Resources Report (11/3/2020), the majority of the site contains disturbed ruderal/urban/ornamental vegetation communities. There are two patches of disturbed Diegan coastal sage scrub vegetation within the Broadway PROW (off-site impact area) and ruderal invasive species. A total of 0.23 acre of disturbed coastal sage scrub will be directly impacted as a result of the project implementation, which will be mitigated through applicant's contribution to the City of San Diego's Habitat Acquisition Fund.

Conclusion:

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. With the approval of the requested incentive and deviations, the proposed project meets all applicable regulations and policy documents, and staff finds the project consistent

with the recommend land use, development regulations, and development standards in effect for the site per the SDMC, General Plan, the Golden Hill Community Plan, and the Subdivision Map Act. Staff has provided draft findings and conditions of approval to support the proposed project. Staff recommends that the Planning Commission recommend City Council approve the project as proposed.

ALTERNATIVES

1. Recommend the City Council adopt Mitigated Negative Declaration No. 637438, and the associated Mitigation Monitoring and Reporting Program, and Approve Public Right-of-Way Vacation No. 2324692, Tentative Map No. 2324694, Neighborhood Development Permit No. 2324693, and Site Development Permit No. 2471596, with modifications.
2. Recommend the City Council not adopt Mitigated Negative Declaration No. 637438, and the associated Mitigation Monitoring and Reporting Program, and Deny Public Right-of-Way Vacation No. 2324692, Tentative Map No. 2324694, Neighborhood Development Permit No. 2324693, and Site Development Permit No. 2471596, if the findings required to approve the project cannot be affirmed and if the Housing Crisis Act of 2019 or Senate Bill (S.B.) 330 written finding to deny can be made..

Respectfully submitted,



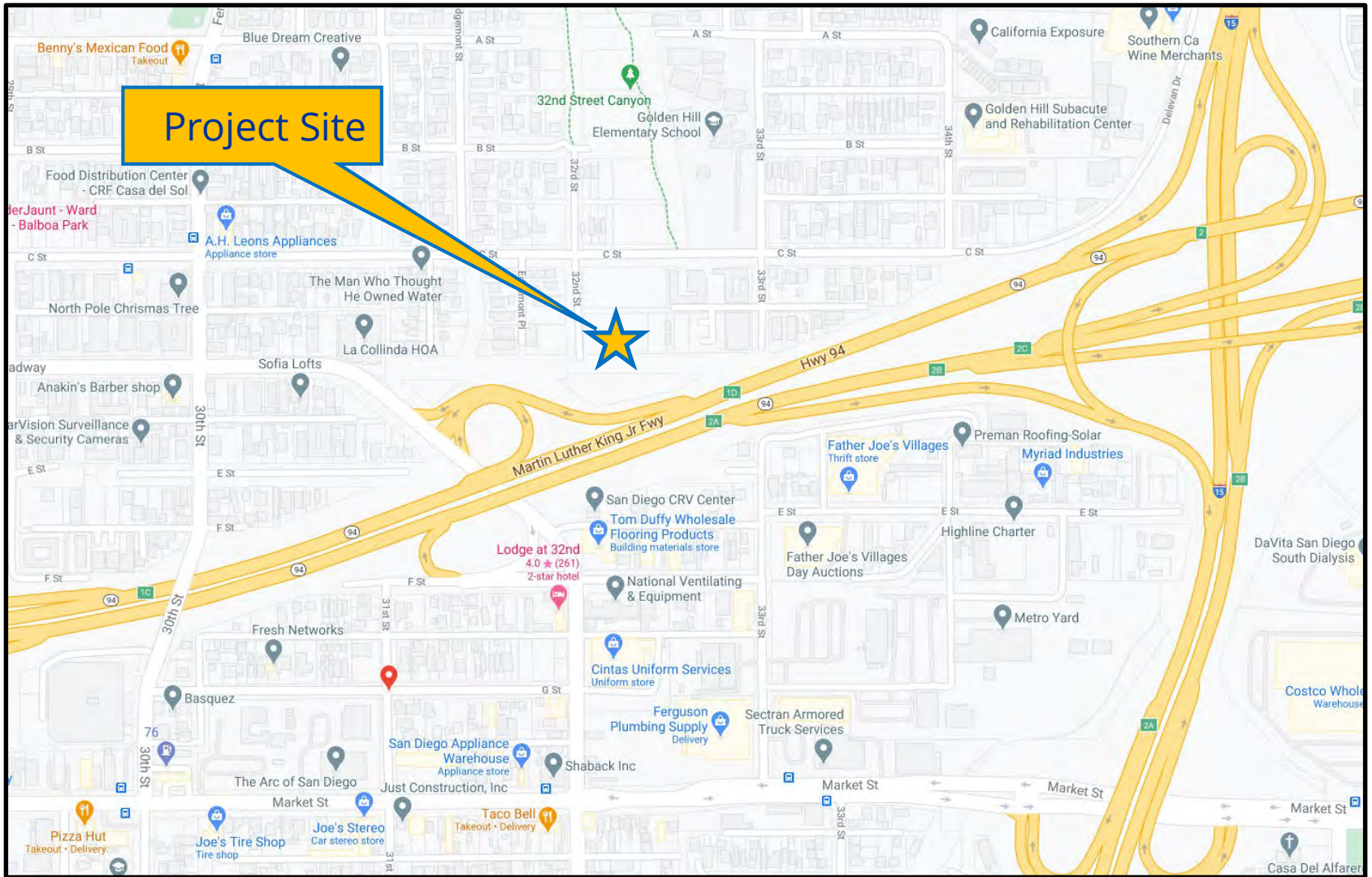
Tim Daly
Assistant Deputy Director
Development Services Department



Firouzeh Tirandazi
Development Project Manager
Development Services Department

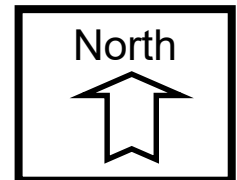
Attachments:

1. Project Location Map
2. Aerial Photograph
3. Site Photographs
4. Community Plan Land Use Map
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution with Findings
8. Draft Map Conditions
9. Draft Public Right-of-Way Vacation Resolution with Findings
10. Draft Environmental Resolution with MMRP
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Right-of-Way Vacation Legal Description
14. Right-of-Way Vacation B-Sheet Drawings
15. Tentative Map Exhibit and Project Plans



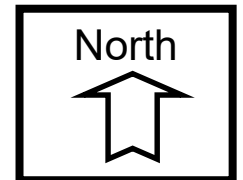
Project Location Map

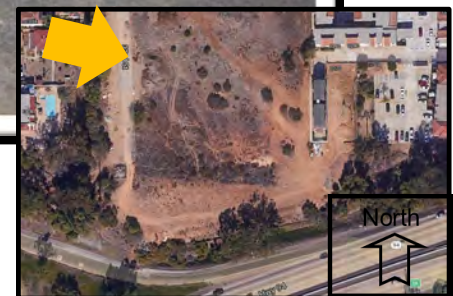
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



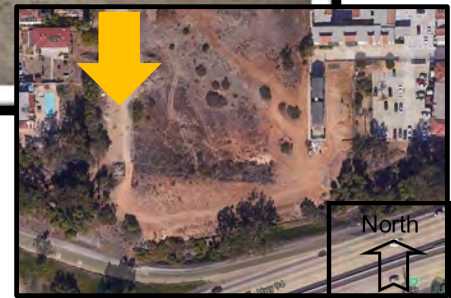


Aerial Photograph
32nd & Broadway / Broadway and 32nd Street
 PROJECT NO. 637438

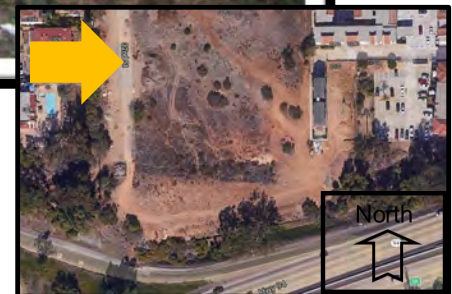




Site Photograph No. 1
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438

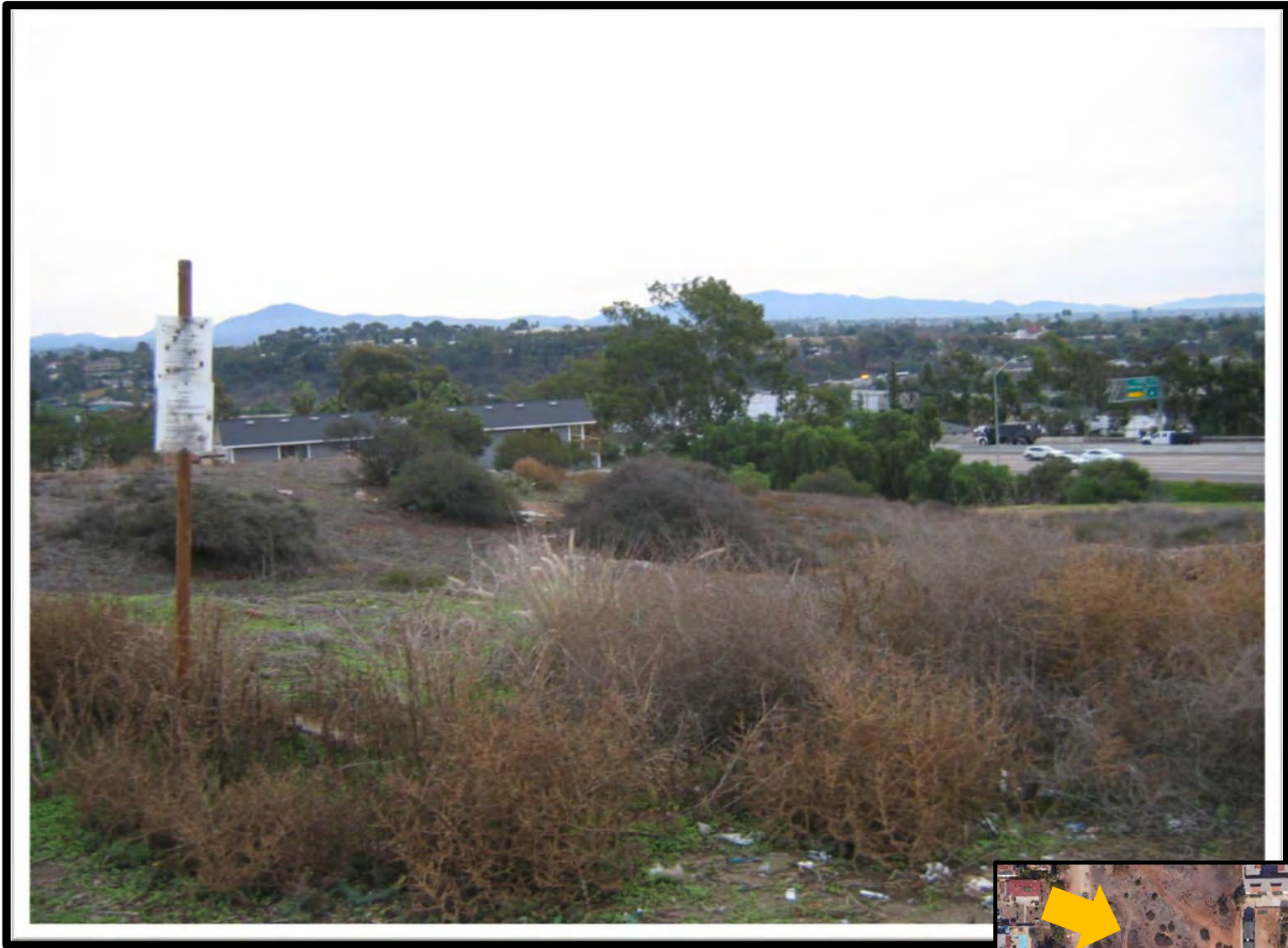


Site Photograph No. 2
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438

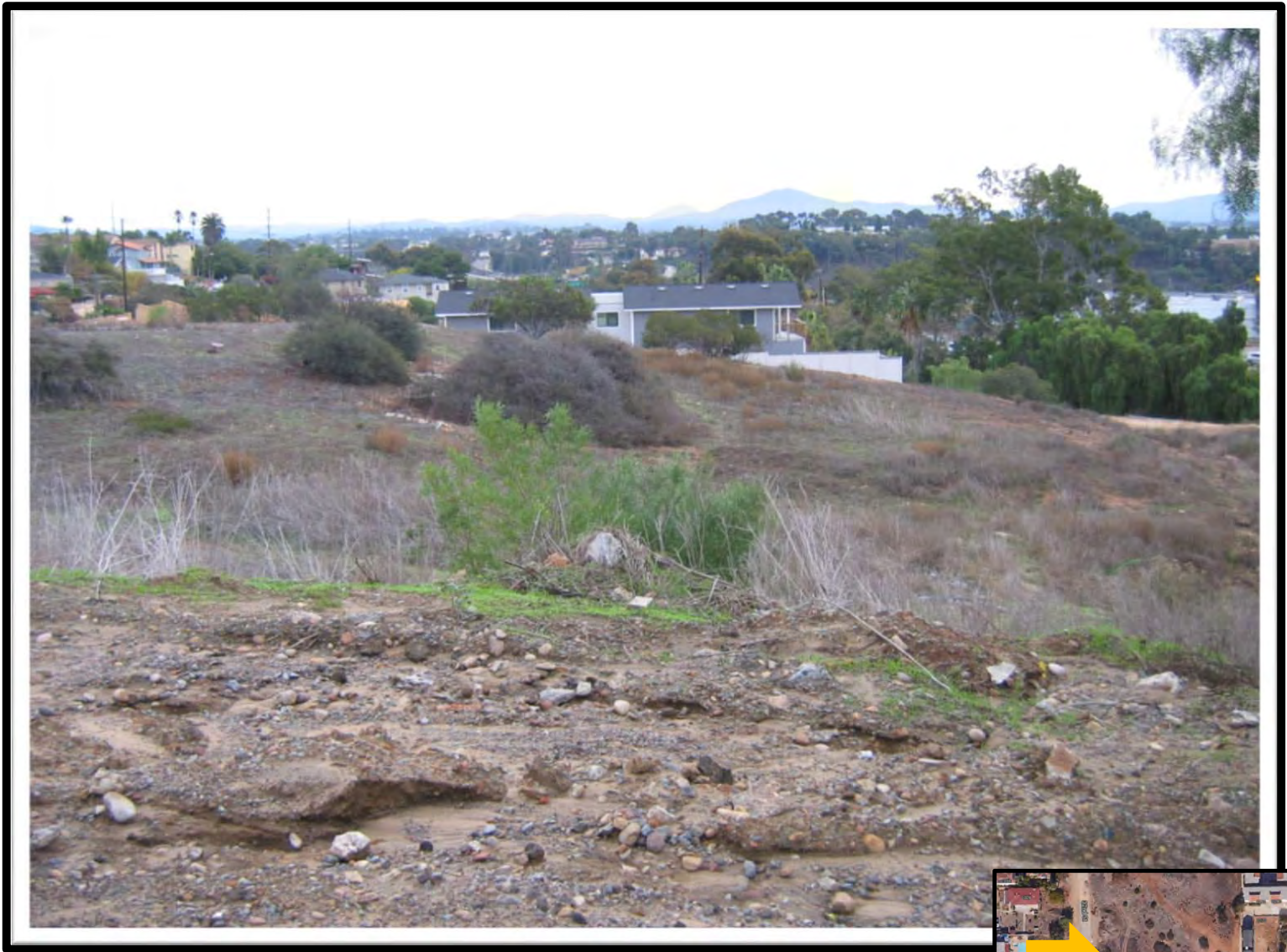


Site Photograph No. 3

32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



Site Photograph No. 4
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



Site Photograph No. 5
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438





Site Photograph No. 6
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



Site Photograph No. 7
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



Site Photograph No. 8
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438





Site Photograph No. 9
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438





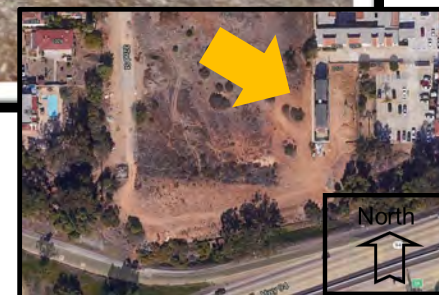
Site Photograph No. 10
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



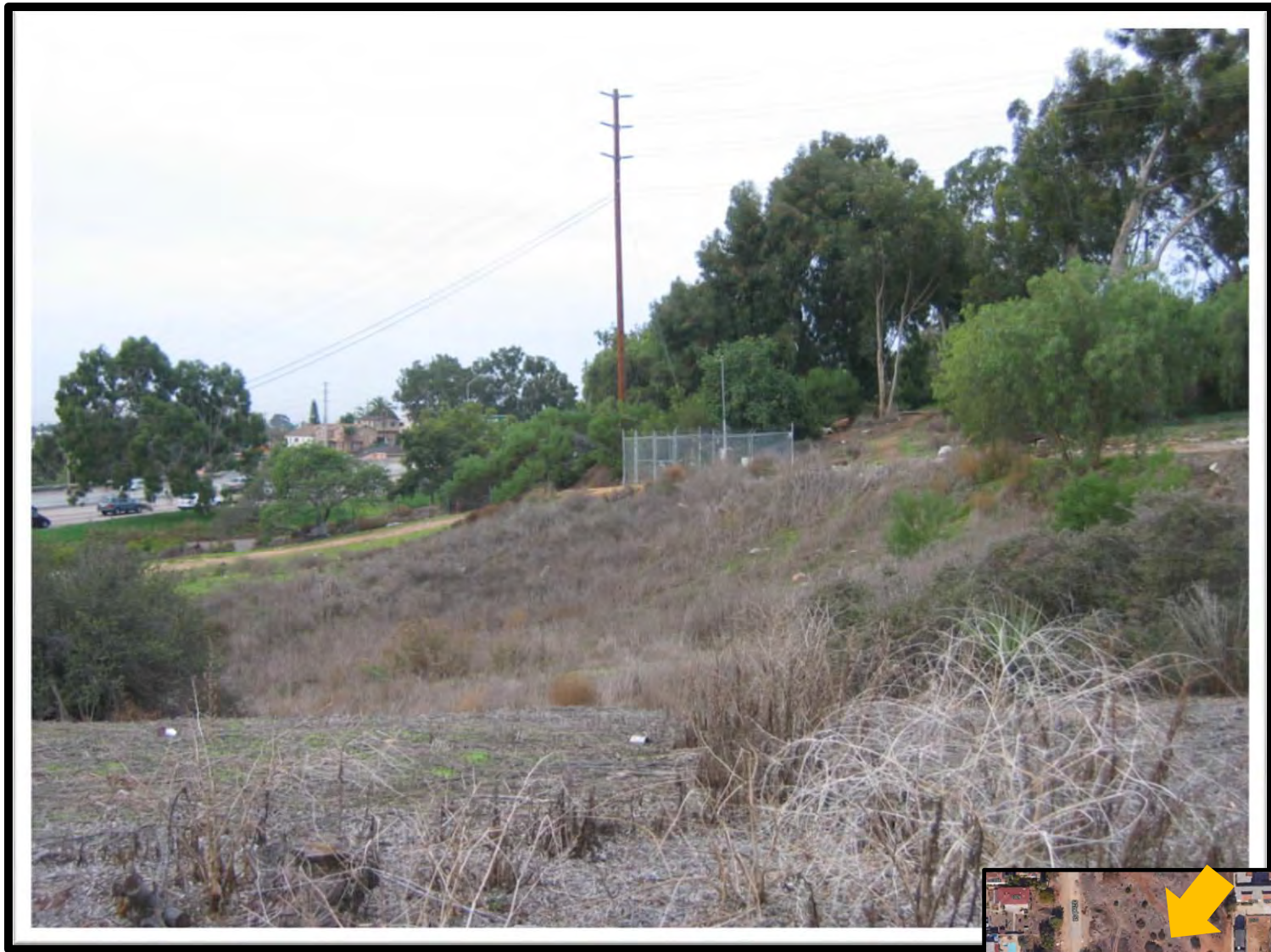


Site Photograph No. 11
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



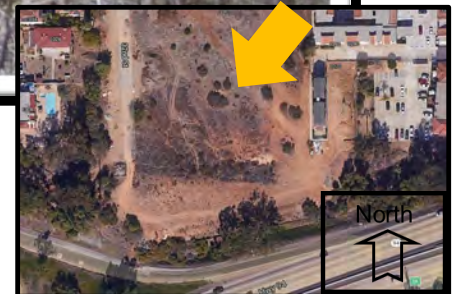


Site Photograph No. 12
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



Site Photograph No. 13

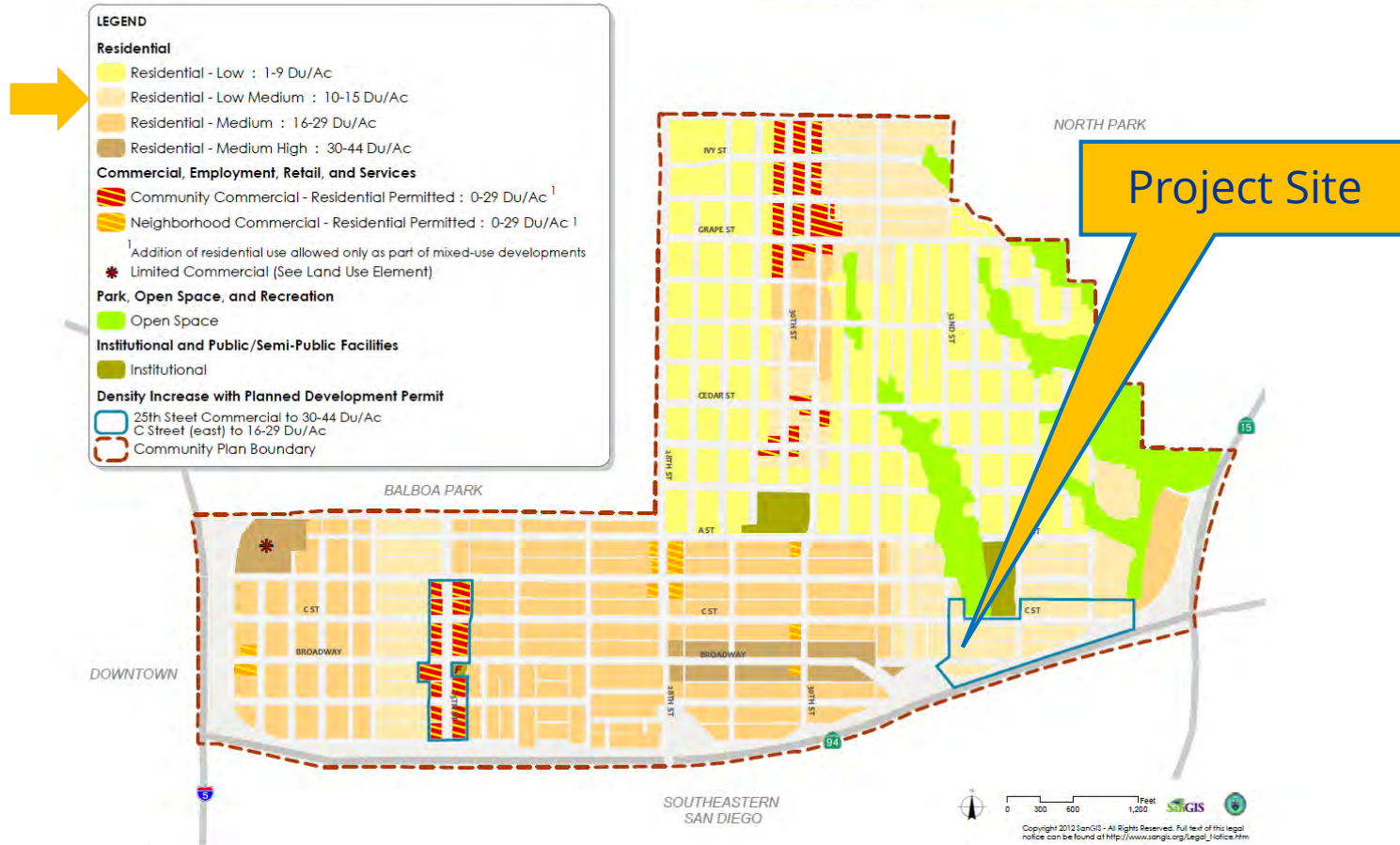
32nd & Broadway / Broadway and 32nd Street
PROJECT NO. 637438



Golden Hill

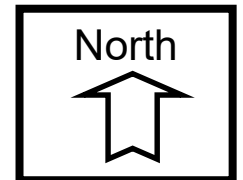
Community Plan

FIGURE 2-1: GOLDEN HILL LAND USE MAP



Land Use Map

32nd & Broadway/ Broadway and 32nd Street
PROJECT NO. 637438



CITY COUNCIL RESOLUTION NO. XXXXXXX
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2324693
SITE DEVELOPMENT PERMIT NO. 2471596
32nd & BROADWAY - PROJECT NO. 637438 [MMRP]

WHEREAS, 32nd & BROADWAY, LLC, a California limited liability company, and BENNY C. ANDERSON, Owners and 32nd & BROADWAY, LLC, a California limited liability company, Permittee, filed an application with the City of San Diego for a Neighborhood Development Permit and Site Development Permit to construct a 38-unit residential condominium project, including four moderate-income dwelling units, and associated site improvements known as the 32nd & Broadway project, located at the northeast corner of Broadway and 32nd Street, north of State Route 94 (APNs 539-563-0600, 539-563-0700, and 539-563-1000), and legally described as Lots 25 through 36, Block 124 of Choate's Addition, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 167, filed in the Office of the County Recorder of San Diego County, November 20, 1886, and Fractional Lot 25, Block 124, E.W. Morse's Subdivision, According to Map Thereof No. 547, Filed in the Office of the County Recorded of San Diego County on December 30, 1871, in the RM-1-1 zone, and the San Diego International Airport (SDIA) Noise Contours Overlay Zone (65-70 CNEL), the Airport Influence Area (SDIA - Review Area 1), the Federal Aviation Administration (FAA) Part 77 Noticing Area (SDIA), within the Greater Golden Hill Community Plan area; and

WHEREAS, on _____, the Planning Commission of the City of San Diego considered Neighborhood Development Permit No. 2324693 and Site Development Permit No. 2471596 (Permit), and pursuant to Resolution No. _____-PC voted to recommend City Council _____ of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public

hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Neighborhood Development Permit No. 2324693 and Site Development Permit No. 2471596:

A. NEIGHBORHOOD DEVELOPMENT PERMIT – San Diego Municipal Code (SDMC) SECTION 126.0404

- 1. Findings for all Neighborhood Development Permits-SDMC Section 126.0404(a):**
 - a. The proposed development will not adversely affect the applicable land use plan.**

The 32nd & Broadway project proposes to vacate an unimproved portion of Broadway public right-of-way (PROW) and subdivide a 1.21-acre property into one lot for the construction of 38 residential condominiums, including 34 market rate and four moderate income affordable units, landscaping, and associated onsite and off-site improvements. The 38 residential condominiums will be contained within six, three-story buildings totaling approximately 68,538 square feet in Gross Floor Area (GFA), and include 14 one-bedroom units, 8 two-bedroom units, and 16 three-bedroom units ranging in size from 866 square-feet to 1,635 square-feet of habitable area, each with a one- or two-car garage. The project requests one development incentive in accordance with the provisions of the Affordable Housing Regulations for deviation to structure height. The project requests deviations from the required side setback, floor area ratio (FAR), angled building envelope plane, retaining wall heights within front, rear, and side yards pursuant to SDMC Section 143.0920.

The Golden Hill Community Plan (GHCP) designates the site for residential development at a density range between 10 and 15 dwelling units/acre (du/ac). The Residential-Low Medium land use designation is intended for both single-family and multifamily housing. The GHCP also provides an increased density development option within the neighborhood east of 32nd Street that allows up to 29 du/ac. The project proposes to subdivide the 1.21-acre site and utilize the Affordable Housing Regulations for

development of 38 attached dwelling units consistent with GHCP land use and zoning regulations.

The proposed project is consistent with the goals and policies of the General Plan and the GHCP. Overall, the project will advance the General Plan City of Villages Strategy by providing housing utilizing the maximum density range specified by the GHCP and paying its proportional fair-share of public facilities costs through payment of a Development Impact Fee for new residential development in accordance with SDMC Section 142.0640.

The General Plan's Housing Element promotes the use of affordable housing/density bonus programs to achieve projected residential housing needs over a broader range of income levels than typical of market rate housing projects. The project proposes to utilize the density bonus program within the Affordable Housing Regulations to provide additional housing units, including four housing units affordable to moderate income households. Maximizing housing within this vacant infill development site furthers General Plan and GHCP goals and policies related to the provision of housing.

The GHCP contains policies that identify the need for a park to serve the adjacent neighborhood which can be addressed. The GHCP's Recreation Element identifies the project site, portions of the unimproved street PROW, and the adjacent vacant parcels as part of a 3.81-acre neighborhood park. The proposed development removes a 1.21-acre area, including the PROW vacation, from consideration for future acquisition of a park site. A development previously approved within a vacant one-acre site to the north also reduces the available park acreage. The option to use the site for a neighborhood park requires acquisition of the site by the City. Currently, there is no identified funding source available for acquisition and development of this park. The Golden Hill Impact Fee Study lists public facilities needed to implement the GHCP and identifies funding sources, including a Development Impact Fee (DIF). Currently, the majority of DIF funds are allocated to other projects and it is unknown when sufficient DIF funds will become available. The project proposes to construct housing according to community plan land use. The project will pay required DIF fees which include a Parks and Recreation component.

The segment of Broadway proposed to be vacated is not part of the GHCP's classified streets network and is not identified on the Mobility Element's Planned Street Classification map (Figure 3-5). The proposed street vacation will not affect the following types of facilities identified as part of the GHCP's mobility network: Pedestrian Routes, Existing or Planned Bicycle Network, and Planned Transit Facilities, because routes for these facilities are not mapped within this portion of Broadway. Unimproved local streets may be considered for a ROW vacation if needs for public access infrastructure are addressed, including feasibility of construction (refer to separate ROW vacation findings). The project proposes to incorporate the vacated ROW into the total site area for the construction of housing.

The proposed project would make mobility improvements that implement goals and policies of the GHCP. The project will construct the unimproved 32nd Street ROW to provide public vehicle and pedestrian access to the project site and construct a cul-de-sac turn-around with driveway for utility maintenance access and access to the abutting parcel to the

south. The new sidewalks will be designed to replicate a traditional historic scoring pattern specified by the GHCP.

The GHCP's Urban Design Element policies pertaining to development within canyons, hillsides and open space apply to this site. The grade elevation of the site descends approximately 40 feet between the northwest corner and the southeast corner of the site. Proposed grading will create flat development pads for the four building plans and balance cut and fill within the site. Internal driveways generally flow with the sloping topography and buildings will be stepped in specific areas to incorporate the natural drop of the slope. Building volumes incorporate variations in rooflines and wall planes that transition with the flow of the slope. Buildings facades will incorporate neutral, muted and primarily earth-tone colors reflecting the nearby 32nd Street Canyon area.

The Urban Design Element recommends street facing yards and building facades incorporate landscape and architectural features to provide design detail, variety and visual interest along the street facing edge. The residences would orient to 32nd Street by providing a combination of street-facing balconies and windows. Landscaping within the street yard along 32nd Street will include a variety of trees, shrubs and accent plants to provide visual interest at the pedestrian level. The project will provide a total of 1,188 square feet of common open space configured in two separate landscaped areas, including an amenity area for pets which meets a community plan requirement for projects with more than 20 units. Based on the above, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development is consistent with the relevant SDMC, policies, and regulations whose primary focus is the protection of the public's health, safety, and welfare. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of SDMC in effect for this project. Such conditions within the permit have been determined necessary to avoid adverse impact upon the public health, safety, and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC.

Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing and fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Compliance with these regulations during and after construction will be enforced through building inspections completed by the City's building inspectors.

The project is located within the Airport Influence Area for SDIA (Review Area 1), and FAA Part 77 Notification Area for SDIA. The project has been reviewed for consistency with the Airport Land Use Compatibility Plan for SDIA by the San Diego County Regional Airport Authority acting as the Airport Land Use Commission (ALUC). On October 30, 2019, ALUC

staff determined the proposed project is conditionally consistent with the SDIA ALUCP provided residences are sound attenuated to 45 dB CNEL interior noise level, and that an avigation easement for height and noise is recorded with the County Recorder. The project has been conditioned accordingly.

Furthermore, the project has been reviewed pursuant to the California Environmental Quality Act, and the environmental analysis did not find any significant impacts to the public health and safety. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed 32nd & Broadway project proposes to vacate an unimproved portion of Broadway PROW and subdivide a 1.21-acre property into one lot for the construction of 38 residential condominiums, including 34 market rate and four moderate income affordable units, landscaping, and associated onsite and off-site improvements. The 38 residential condominiums will be contained within six, three-story buildings totaling approximately 68,538 square feet in Gross Floor Area (GFA), and include 14 one-bedroom units, 8 two-bedroom units, and 16 three-bedroom units ranging in size from 866 square-feet to 1,635 square-feet of habitable area, each with a one- or two-car garage.

The Project complies with the regulations of the Land Development Code (LDC), including requirements for parking, landscaping, and all other requirements of the development criteria for its zoning, except where deviations are allowed as development incentives in accordance with the Affordable Housing Regulations, and through the Neighborhood Development Permit process pursuant to SDMC Section 143.0920. The project includes one development incentive and four deviations. The project is requesting an incentive to allow structure heights between 30 to 45 feet, where the maximum height limit in the RM-1-1 Zone is 30 feet. The height incentive is supported because the project is consistent with the community plan policies, is designed to address the physical environment and topographic constraints, and would not adversely impact the public's health and safety. Furthermore, the development incentives request is consistent with the intent of the State's Density Bonus Law and there is no substantial evidence pursuant to the SDMC or State law to deny the applicant's request for the incentive.

The project also requests four deviations: 1) to allow a 1.30 Floor Area Ratio (FAR) (68,538 square feet), where a maximum 0.75 FAR is permitted; 2) to allow a five-foot side setback from the south property line, where 50 percent of the length of the building requires a setback of 14.2 feet (10 percent of the lot width); 3) to allow buildings without the required angled building envelope plane; and 4) to allow retaining wall height up to 9.5 feet within the front yard and up to 7 feet within side and rear yards, where two, three-foot walls and two, six-foot walls are allowed, respectively. The requested deviations are supported due to site topographical constraints, and to allow the project maximize density with an affordable housing component, maintain the architectural character of the project, and comply with American with Disabilities Act requirement.

The project would benefit the community by providing additional market rate and affordable housing opportunities in the Greater Golden Hill Community. The requested incentive and deviations are necessary to allow the 38 proposed units in accordance with State density bonus law, the City's Affordable Housing Regulations, and the Affordable Housing, In-fill Projects, and Sustainable Buildings Development Regulations, given the site size and constraints. The proposed development has otherwise been designed and conditioned to ensure conformance to the requirements of the Land Development Code and San Diego Municipal Code. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the LDC.

2. Supplemental Findings-Environmentally Sensitive Lands – SDMC Section 126.0404 (b)

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The proposed 32nd & Broadway project proposes to vacate an unimproved portion of Broadway PROW and subdivide a 1.21-acre property into one lot for the construction of 38 residential condominiums, including 34 market rate and four moderate income affordable units, landscaping, and associated onsite and off-site improvements. The project site is located at the northeast corner of Broadway and 32nd Street, north of State Route 94, in the RM-1-1 zone, and the San Diego International Airport (SDIA) Noise Contours Overlay Zone (65-70 CNEL), the Airport Influence Area (SDIA - Review Area 1), the Federal Aviation Administration (FAA) Part 77 Noticing Area (SDIA), within the Greater Golden Hill Community Plan area.

The project site slopes to the south and east with site elevations ranging from approximately 175 feet above mean sea level (AMSL) at the northwest corner of the site to 135 feet AMSL at the southeast corner of the site. Surrounding development includes single-family and multi-family residential development to the west, multi-family development to the east, and vacant land and SR-94 to the south. The unimproved area to the north of the project site is currently entitled for the development of 19 residential condominiums.

Project implementation would include grading consisting of balanced earthwork, with cuts of approximately 9.2 feet in the northwest portion of the site, and fills up to 11 feet at the central and southern portion of the site to adapt the sloping site to the development. According to a geotechnical investigation report prepared for the project by NOVA Services, Inc., the site is suitable for the proposed development provided the geotechnical recommendations are incorporated into project design.

The project site is not within or adjacent to the Multiple Habitat Planning Area. The site contains Environmentally Sensitive Lands in the form of Biological Resources. Per Cadre Environmental's Biological Resources Report (11/3/2020), the majority of the site contains disturbed ruderal/urban/ornamental vegetation communities. There are two patches of

disturbed Diegan coastal sage scrub vegetation within the Broadway ROW (off-site impact area) and ruderal invasive species. A total of 0.23 acre of disturbed coastal sage scrub will be directly impacted as a result of the project implementation, which will be mitigated through applicant's contribution to the City of San Diego's Habitat Acquisition Fund.

Based on the above, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The grade elevation of the project site descends approximately 40 feet between the northwest corner and the southeast corner of the site. Project grading would create flat development pads for the construction of six buildings and balance cut and fill within the site. Internal driveways would generally flow with the sloping topography and buildings would be stepped in specific areas to incorporate the natural drop of the slope.

The project is located in Geologic Hazard Category 52, Other level areas, gently sloping to steep terrain, favorable geologic structure, low risk. No known active faults are mapped on the site area. According to a geotechnical investigation report prepared for the project by NOVA Services, Inc., the site is suitable for the proposed development provided the geotechnical recommendations are incorporated into project design. The project has been conditioned to require the preparation of a geotechnical investigation report in accordance with the City's Guidelines for Geotechnical Reports that specifically addresses the proposed grading plans prior to the issuance of any grading permits. Additionally, the project would be required to comply with the California Building Code, City of San Diego Grading Ordinance, as well as the Storm Water Standards, and utilize proper engineering design and construction practices. Therefore, the proposed development will minimize the alternation of natural land forms, and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

As specified in NDP Finding A.2.a. above, the site contains environmentally sensitive lands in the form of Biological Resources. The majority of the site contains disturbed ruderal/urban/ornamental vegetation communities. There are two patches of disturbed Diegan coastal sage scrub vegetation within the Broadway ROW (off-site impact area) and ruderal invasive species. A total of 0.23 acre of disturbed coastal sage scrub will be directly impacted as a result of the project implementation, which will be mitigated through applicant's contribution to the City of San Diego's Habitat Acquisition Fund.

The project will comply with all applicable water quality regulations, including obtaining and complying with those conditions established in State Waste Discharge equirements (WDRs) and National Pollutant Discharge Elimination System (NPDES) permits.

Both of these permits include the treatment of all surface runoff from paved and developed areas, the implementation of applicable Best Management Practices (BMPs) during construction activities and the installation and proper maintenance of structural BMPs to ensure adequate long-term treatment of water before entering into any stream course or offsite conservation areas. The project will include the development of an onsite bioretention basin for the capture, treatment and release of project related runoff.

Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's MSCP Subarea Plan and VPHCP.

The 1.21-acre project site is located within the City of San Diego's MSCP Subarea Plan. The site is not located within or adjacent to a Multi-Habitat Planning Area (MHPA), open space or conserved land. Therefore, no conservation or land use adjacency guidelines are applicable. A total of 0.23-acre of Diegan coastal sage scrub located outside of the MHPA will be directly impacted as a result of project implementation. A mitigation ratio of 1:1 for impacts to Tier II (uncommon uplands, coastal sage scrub, coastal sage scrub/chaparral) will be required. Prior to issuance of a grading permit, the project applicant will provide monetary compensation to the Cities Habitat Acquisition Fund (HAF) as established by the City Council. Therefore, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan and VPHCP.

e. The nature and extent of mitigation required as a condition of the permit is reasonably calculated to alleviate negative impacts created by the proposed development.

As specified in NDP Finding A.2.a. above, the site contains environmentally sensitive lands in the form of Biological Resources. The majority of the site contains disturbed ruderal/urban/ornamental vegetation communities. There are two patches of disturbed Diegan coastal sage scrub vegetation within the Broadway ROW (off-site impact area) and ruderal invasive species. A total of 0.23 acre of disturbed coastal sage scrub will be directly impacted as a result of the project implementation, which will be mitigated through applicant's contribution to the City of San Diego's Habitat Acquisition Fund. The nature and extent of mitigation required as a condition of the permit is reasonably calculated to alleviate negative impacts created by the proposed development.

3. Supplemental Findings-Affordable Housing, In-Fill Projects, Sustainable Buildings Deviation- SDMC Section 126.0404 (f)

a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.

The GHCP designates the site for residential development at a density range between 10 and 15 du/ac. The Residential-Low Medium land use designation is intended for both single-family and multifamily housing. The GHCP also provides an increased density development option within the neighborhood east of 32nd Street that would allow up to 29 du/ac. The 32nd & Broadway project proposes to subdivide the 1.21-acre site and utilize the Affordable Housing Regulations for development of 38 residential condominiums consistent with GHCP land use and zoning regulations. The project would utilize the density bonus program within the Affordable Housing Regulations to provide four housing units affordable to moderate income households at 100% Area Median Income (AMI). Maximizing housing within this vacant infill development site furthers General Plan and GHCP goals and policies related to the provision of housing.

Furthermore, the project provides sustainable features consistent with the requirements in the City of San Diego Climate Action Plan (CAP) checklist including ensuring 50% of the required electric vehicle charging spaces are equipped to provide active electric vehicle charging stations, include low-flow fixtures and appliances in the residential units, and include roofing materials with a minimum of 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (CGBSC). Based on the above, the development will materially assist in accomplishing the goal of providing affordable housing, in-fill development, and sustainable buildings.

b. Any proposed deviations are appropriate for the proposed location.

The project site is an infill development proposed on an undeveloped site located at the northeast corner of Broadway and 32nd Street within the Greater Golden Hill Community Plan area. Surrounding development includes single-family and multi-family residential development to the west, multi-family development to the east, and vacant land and SR-94 to the south. The grade elevation of the site descends approximately 40 feet between the northwest corner and the southeast corner of the site. Project grading would create flat development pads for the construction of six buildings, and balance cut and fill within the site. Internal driveways would generally flow with the sloping topography and buildings would be stepped in specific areas to incorporate the natural drop of the slope. Building volumes would also incorporate variations in rooflines and wall planes that transition with the flow of the slope.

The project requests four deviations: 1) to allow a 1.30 Floor Area Ratio (FAR) (68,538 square feet), where a maximum 0.75 FAR is permitted; 2) to allow a five-foot side setback from the south property line, where 50 percent of the length of the building requires a setback of 14.2 feet (10 percent of the lot width); 3) to allow buildings without the required angled building envelope plane; and 4) to allow retaining wall height up to 9.5 feet within the front yard and up to 7 feet within side and rear yards, where two, three-foot and two, six-foot walls are allowed, respectively.

The purpose of the Affordable Housing, In-Fill Projects, and Sustainable Buildings Development Regulations is to provide flexibility in the application of development regulations for projects providing affordable shelter and to provide an additional incentive

to facilitate the development of affordable housing, in-fill projects, and sustainable buildings while assuring that the development achieves the purpose and intent of the applicable land use plan. Maximizing housing within this vacant infill development site furthers General Plan and GHCP goals and policies related to the provision of housing. The proposed deviations are necessary due to site constraints, and to allow the project maximize density with an affordable housing component, maintain the architectural character of the project, and comply with American with Disabilities Act requirement, on an otherwise underutilized site. The proposed deviations provide a design that is suitable for the proposed development and are appropriate for this location.

B. SITE DEVELOPMENT PERMIT FINDINGS – SDMC SECTION 126.0505

1. Findings for all Site Development Permit- SDMC Section 126.0505(a) [per SDMC Section 143.0920(a)]

a. The proposed development will not adversely affect the applicable land use plan.

The 32nd Street and Broadway project proposes improvements to 32nd Street with curb, gutter, a five-foot wide non-contiguous sidewalk on the eastern side of the street, and construction of a cul-de-sac at its southern terminus. A Site Development Permit is requested for the construction of a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW. The retaining wall is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac. Adjacent properties to the west will not be impacted due to abutting properties located at a higher elevation with an elevation differential of 14 to 27 feet between the properties and 32nd Street, and properties' access via Edgemont Street. As outlined in NDP Finding (A)(1)(a) listed above, the project is consistent with the goals, objectives, and proposals of the GHCP and the General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

A component of the 32nd Street and Broadway project is the proposed improvements to 32nd Street, including the construction of a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW. The retaining wall is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac. Although the proposed retaining wall would be located within the PROW, no sidewalk or other pedestrian walkway is proposed for this location, and as such, the construction of the retaining wall would not be detrimental to the public health and safety. Furthermore, as outlined in NDP Findings (A)(1)(b) listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

As outlined in NDP Findings (A)(1)(c) listed above, the requested incentives and deviations are consistent with the intent of the State's Density Bonus Law, the City's Affordable Housing Regulations and the Affordable Housing, In-fill Projects, and Sustainable Buildings Development Regulations. The project would benefit the community by providing additional market rate and affordable housing opportunities in the Greater Golden Hill Community Plan area. Furthermore, the proposed retaining wall exceeding three feet in height within the PROW on the west side of 32nd street is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac and allowed with the approval of a SDP. Therefore, the proposed development will comply with the applicable regulations of the land Development Code, including any allowable deviations pursuant to the LDC.

2. Supplemental Findings-Public Right-of-Way Encroachments - SDMC Section 126.0505(m)

a. The proposed encroachment is reasonably related to public travel, or benefits a public purpose, or all record owners have given the applicant written permission to maintain the encroachment on their property.

The 32nd Street & Broadway project proposes improvements to 32nd Street with curb, gutter, a five-foot wide non-contiguous sidewalk on the eastern side of the street, and construction of a cul-de-sac at its southern terminus. A Site Development Permit is requested for the construction of a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW. The retaining wall is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac, providing vehicular access and benefiting the public. Adjacent properties to the west will not be impacted due to abutting properties located at a higher elevation with an elevation differential of 14 to 27 feet between the properties and 32nd Street, and properties' access via Edgemont Street. Therefore, the proposed encroachment is reasonably related to public travel and benefits a public purpose.

b. The proposed encroachment does not interfere with the free and unobstructed use of the public right-of-way for public travel.

As outlined in SDP Findings (b)(2)(a) listed above, the proposed encroachment is a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW. The retaining wall is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac for public travel. The proposed encroachment does not interfere with the free and unobstructed use of the PROW for public travel.

c. The proposed encroachment will not adversely affect the aesthetic character of the community.

The 32nd Street & Broadway project proposes improvements to 32nd Street with curb, gutter, a five-foot wide non-contiguous sidewalk on the eastern side of the street, and construction of a cul-de-sac at its southern terminus. A Site Development Permit is requested for the construction of a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW. The retaining wall ranges five to eight feet and is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac, providing vehicular access and benefiting the public. Adjacent properties to the west will not be impacted due to abutting properties located at a higher elevation with an elevation differential of 14 to 27 feet between the properties and 32nd Street, and properties' access via Edgemont Street. Furthermore, project includes landscaping including street trees and shrubs. Therefore, the proposed encroachment will not adversely affect the aesthetic character of the community.

d. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law.

A component of the 32nd Street and Broadway project is the proposed improvements to 32nd Street, including the construction of a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW. The retaining wall is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac. The proposed encroachment may be permitted with the approval of a SDP in accordance with the SDMC. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law.

e. For coastal development in the coastal overlay zone, the encroachment is consistent with Section 132.0403 (Supplemental Use Regulations of the Coastal Overlay Zone).

This project is not a coastal development and is not located in the coastal overlay zone.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Neighborhood Development Permit No. 2324693 and Site Development Permit No. 2471596 is granted to 32nd & Broadway, LLC, a California limited liability company, and Benny C. Anderson, Owners, and 32nd & Broadway, LLC, a California limited liability company, Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24008268

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2324693

SITE DEVELOPMENT PERMIT NO. 2471596

32nd & BROADWAY - PROJECT NO. 637438 [MMRP]

CITY COUNCIL

This Neighborhood Development Permit No. 2324693 and Site Development Permit No. 2471596 is granted by the City Council of the City of San Diego to 32nd & Broadway, LLC, a California limited liability company and Benny C. Anderson, Owners and 32nd & Broadway, LLC, a California limited liability company, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0404 and 126.0505. The 1.21-acre unimproved site is located at the northeast corner of Broadway and 32nd Street, north of State Route 94 (APNs 539-563-0600, 539-563-0700, and 539-563-1000), in the RM-1-1 zone, and the San Diego International Airport (SDIA) Noise Contours Overlay Zone (65-70 CNEL), the Airport Influence Area (SDIA - Review Area 1), the Federal Aviation Administration (FAA) Part 77 Noticing Area (SDIA), within the Greater Golden Hill Community Plan area. The project site is legally described as Lots 25 through 36, Block 124 of Choate's Addition, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 167, filed in the Office of the County Recorder of San Diego County, November 20, 1886, and Fractional Lot 25, Block 124, E.W. Morse's Subdivision, According to Map Thereof No. 547, Filed in the Office of the County Recorder of San Diego County on December 30, 1871.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a 38-unit residential condominium project, including four moderate-income dwelling units, and associated site improvements as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. Construction of 38 residential condominium units totaling approximately 68,538 square-feet, including 34 market-rate and 4 moderate income affordable units, in six, three-story buildings, and consist of 14 one-bedroom units, 8 two-bedroom units, and 16 three-bedroom units ranging in size from approximately 866 square-feet to 1,635 square-feet of habitable area, each with a one or two-car garage;

- b. Approval of one development incentive to allow building heights between 30 to 45 feet, where a maximum height of 30 feet is allowed per SDMC Section 131.0431 (Table 131-04G).
- c. Approval of the following four deviations:
 - 1. Allow a 1.30 Floor Area Ratio (FAR) (68,538 square feet), where a maximum 0.75 FAR is permitted pursuant to SDMC Section 131.0431(e), Table 131.04G;
 - 2. Allow a five-foot side setback from the south property line, where 50 percent of the length of the building requires a setback of 14.2 feet (10 percent of the lot width) pursuant to SDMC Section 131.0443(d)(2), Table 131.04G;
 - 3. Allow buildings without the angled building envelope plane as required pursuant to SDMC Section 131.0444(e)(1); and
 - 4. Allow a retaining wall height up to 9.5 feet within the front yard and up to 7 feet within side and rear yards, where two, three-foot and two, six-foot walls are allowed pursuant to SDMC Sections 142.0340(c)(1) and 142.0340(d)(1), respectively.
- d. Construction of a retaining wall exceeding three feet in height within the west side of the 32nd Street public right-of-way;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking;
- g. Approximately 1,188 square feet of common open space area to include a dog/pet amenity area; and
- h. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE typically 3 years, including the appeal time].
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 637438 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in MITIGATED NEGATIVE DECLARATION NO. 637438 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue area:

- **Biological Resources**

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

16. Prior to issuance of any construction permits, the Owner/Permittee shall demonstrate compliance with the provisions of the Affordable Housing Density Bonus Regulations of Chapter 14, Article 3, Division 7 of the San Diego Municipal Code. The Owner/Permittee shall enter into a written Agreement with the San Diego Housing Commission which shall be drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust which incorporates applicable affordability conditions consistent with the San Diego Municipal Code. The Agreement will specify that in exchange for the City's approval of the Project, which contains a six percent density bonus (3 units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval, the Owner/Permittee shall provide four affordable density bonus units with sales prices set at 100 percent of Area Median Income (AMI).

17. The Agreement referenced in the preceding paragraph will satisfy the requirements of San Diego Municipal Code section 143.1303(g) and therefore, exempt the Project from the Inclusionary Affordable Housing Regulations in Chapter 14, Article 2, Division 13 of the San Diego Municipal Code.

AIRPORT REQUIREMENTS:

18. Prior to the issuance of any construction permits, the Owner/Permittee shall grant an aviation easement to the San Diego County Regional Airport Authority as the operator of the San Diego International Airport for the purposes of aircraft operations, noise and other effects caused by the operation of aircraft, and for structure height if the same would interfere with the intended use of the easement. The Owner/Permittee shall use the aviation easement form provided by the San Diego County Regional Airport Authority.

19. Prior to submitting construction plans for a building to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an aviation easement has

been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the aviation easement.

20. Prior to the issuance of any construction permits for a building, the Owner/Permittee shall demonstrate the dwelling units are sound attenuated to 45 dB CNEL interior noise level.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

22. This Neighborhood Development Permit and Site Development Permit shall comply with all Conditions of the Final Map for the Tentative Map No. 2324694.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall vacate Broadway Public Right-of-Way, as shown on approved Exhibit 'A', satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

25. Prior to issuance of any construction permit for public improvement, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

27. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all

landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

GEOLOGY REQUIREMENTS:

30. Prior to the issuance of any construction permit for grading, the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed grading plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any grading permit.

PLANNING/DESIGN REQUIREMENTS:

31. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

32. Prior to issuance of occupancy, each unit in the development will be equipped with its own standard air conditioning unit and individual ventilation system that includes residential High Efficiency Particulate Arresting (HEPA) filters with a Minimum Efficiency Reporting Value (MERV) rating of 17 or better.

33. Prior to issuance of any construction permits for residential building, the Owner/Permittee shall submit an acoustical analysis report that identifies sound transmission reduction measures demonstrating that building structures will attenuate exterior noise to a 45 dBA CNEL in habitable residential space per the preliminary recommendations of the project-specific Acoustical Analysis Report by Eilar Associates, Inc. Acoustical & Environmental Consulting dated March 22, 2019.

34. Prior to issuance of any construction permits for residential building, the Owner/Permittee shall submit an acoustical analysis report that identifies sound transmission reduction measures

that will attenuate exterior noise to not exceed 65 CNEL in private outdoor use areas per the preliminary recommendations of the project-specific Acoustical Analysis Report by Eilar Associates, Inc. Acoustical & Environmental Consulting dated March 22, 2019.

35. Prior to issuance of Final Inspection, the Owner/Permittee shall submit two copies of the final Acoustical Analysis Report with the construction documents to the Building Inspector.

36. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

37. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

40. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

41. Prior to the issuance of any construction permits, the Owner/Permittee shall finalize Water and sewer capacity charges. Capacity charges, as well as service and meter size, are determined by Water Meter data card which is completed during the building plan review process.

42. The Owner/Permittee shall grant sewer and water easements, as shown on the approved Exhibit "A", satisfactory to the Public Utilities Director and the City Engineer.

43. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the construction permit building plan check.

44. Prior to issuance of any construction permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for proposed private sewer main within the public right-of-way.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on [INSERT Approval Date] and [Approved Resolution Number].

ATTACHMENT 6

Permit Type/PTS Approval No.: NDP No. 2324693 and SDP No. 2471596

Date of Approval: _____

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

32ND & BROADWAY, LLC
A California limited liability company
Owner/Permittee

By _____
Benny C. Anderson
Manager

BENNY C. ANDERSON
Owner

By _____
Benny C. Anderson

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CITY COUNCIL RESOLUTION NUMBER R-_____

TENTATIVE MAP NO. 2324694, 32nd & BROADWAY – PROJECT NO.
637438 [MMRP]

WHEREAS, 32nd & BROADWAY, LLC, a Limited liability company, Subdivider, and COFFEY ENGINEERING INC., Engineer, submitted an application to the City of San Diego for a Tentative Map No. 2324694 for a residential project known as 32nd & Broadway to construct 38 residential condominiums, including 34 market-rate and four units affordable to moderate income (100% Area Median Income) households and associated site improvements. The project site is located at the northeast corner of Broadway and 32nd Street, north of State Route 94 (APNs 539-563-0600, 539-563-0700, and 539-563-1000), in the RM-1-1 Zone, within the Greater Golden Hill Community Plan area. The project site is legally described as: as Lots 25 through 36, Block 124 of Choate's Addition, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 167, filed in the Office of the County Recorder of San Diego County, November 20, 1886, and Fractional Lot 25, Block 124, E.W. Morse's Subdivision, According to Map Thereof No. 547, Filed in the Office of the County Recorded of San Diego County on December 30, 1871; and

WHEREAS, the Map proposes the Subdivision of a 1.21-acre site into one (1) lot for 38 residential condominium units; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 38; and

WHEREAS, on _____, the Planning Commission of the City of San Diego considered Tentative Map No. 2324694, and pursuant to Resolution No. _____, the Planning Commission voted to recommend City Council _____ of the map; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on _____, the City Council of the City of San Diego considered Tentative Map No. 2324694 and pursuant to San Diego Municipal Code (SDMC) section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2324694 and SDMC 125.0440:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The proposed 32nd & Broadway project proposes to vacate an unimproved portion of Broadway public right-of-way (PROW) and subdivide a 1.21-acre property into one lot for the construction of 38 residential condominiums, including 34 market rate and four moderate income affordable units, landscaping, and associated onsite and off-site improvements. The 38 residential condominiums will be contained within six, three-story buildings totaling approximately 68,538 square feet in Gross Floor Area (GFA), and include 14 one-bedroom units, 8 two-bedroom units, and 16 three-bedroom units ranging in size from 866 square-feet to 1,635 square-feet of habitable area, each with a one- or two-car garage. The project requests one development incentive in accordance with the provisions of the Affordable Housing Regulations for deviation to structure height. The project also requests deviations from the required side setback, floor area ratio (FAR), angled

building envelope plane, retaining wall heights within front, rear, and side yards in pursuant to SDMC Section 143.0920.

The Golden Hill Community Plan (GHCP) designates the site for residential development at a density range between 10 and 15 dwelling units/acre (du/ac). The Residential-Low Medium land use designation is intended for both single-family and multifamily housing. The GHCP also provides an increased density development option within the neighborhood east of 32nd Street that allows up to 29 du/ac. The project proposes to subdivide the 1.21-acre site and utilize the Affordable Housing Regulations for development of 38 attached dwelling units consistent with GHCP land use and zoning regulations.

The proposed project is consistent with the goals and policies of the General Plan and the GHCP. Overall, the project will advance the General Plan City of Villages Strategy by providing housing utilizing the maximum density range specified by the GHCP and paying its proportional fair-share of public facilities costs through payment of a Development Impact Fee for new residential development.

The General Plan's Housing Element promotes the use of affordable housing/density bonus programs to achieve projected residential housing needs over a broader range of income levels than typical of market rate housing projects. The project proposes to utilize the density bonus program within the Affordable Housing Regulations to provide additional housing units, including four housing units affordable to moderate income households. Maximizing housing within this vacant infill development site furthers General Plan and GHCP goals and policies related to the provision of housing.

The GHCP contains policies that identify the need for a park to serve the adjacent neighborhood which can be addressed. The GHCP's Recreation Element identifies the project site, portions of the unimproved PROW, and the adjacent vacant parcels as part of a 3.81-acre neighborhood park. The proposed development removes a 1.21-acre area, including the PROW vacation, from consideration for future acquisition of a park site. A development previously approved within a vacant one-acre site to the north also reduces the available park acreage. The option to use the site for a neighborhood park requires acquisition of the site by the City. Currently, there is no identified funding source available for acquisition and development of this park. The Golden Hill Impact Fee Study lists public facilities needed to implement the GHCP and identifies funding sources, including a Development Impact Fee (DIF). Currently, the majority of DIF funds are allocated to other projects and it is unknown when sufficient DIF funds will become available. The project proposes to construct housing according to community plan land use. The project will pay required DIF fees which include a Parks and Recreation component.

The segment of Broadway proposed to be vacated is not part of the GHCP's classified streets network and is not identified on the Mobility Element's Planned Street Classification map (Figure 3-5). The proposed street vacation will not affect the following types of facilities identified as part of the GHCP's mobility network: Pedestrian Routes, Existing or Planned Bicycle Network, and Planned Transit Facilities, because routes for these facilities are not mapped within this portion of Broadway. Unimproved local streets may be considered for a PROW vacation if needs for public access infrastructure are addressed, including feasibility of construction (refer to separate PROW

vacation findings). The project proposes to incorporate the vacated PROW into the total site area for the construction of housing.

The proposed project would make mobility improvements that implement goals and policies of the GHCP. The project will construct the unimproved 32nd Street PROW to provide public vehicle and pedestrian access to the project site and construct a cul-de-sac turn-around with driveway for utility maintenance access and access to the abutting parcel to the south. The new sidewalks will be designed to replicate a traditional historic scoring pattern specified by the GHCP.

The GHCP's Urban Design Element policies pertaining to development within canyons, hillsides and open space apply to this site. The grade elevation of the site descends approximately 40 feet between the northwest corner and the southeast corner of the site. Proposed grading will create flat development pads for the four building plans and balance cut and fill within the site. Internal driveways generally flow with the sloping topography and buildings will be stepped in specific areas to incorporate the natural drop of the slope. Building volumes incorporate variations in rooflines and wall planes that transition with the flow of the slope. Buildings facades will incorporate neutral, muted and primarily earth-tone colors reflecting the nearby 32nd Street Canyon area.

The Urban Design Element recommends street facing yards and building facades incorporate landscape and architectural features to provide design detail, variety and visual interest along the street facing edge. The residences would orient to 32nd Street by providing a combination of street-facing balconies and windows. Landscaping within the street yard along 32nd Street will include a variety of trees, shrubs and accent plants to provide visual interest at the pedestrian level. The project will provide a total of 1,188 square feet of common open space configured in two separate landscaped areas, including an amenity area for pets which meets a community plan requirement for projects with more than 20 units. Based on the above, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed 32nd & Broadway project proposes to vacate an unimproved portion of Broadway PROW and subdivide a 1.21-acre property into one lot for the construction of 38 residential condominiums, including 34 market rate and four moderate income affordable units, landscaping, and associated onsite and off-site improvements. The 38 residential condominiums will be contained within six, three-story buildings totaling approximately 68,538 square feet in Gross Floor Area (GFA), and include 14 one-bedroom units, 8 two-bedroom units, and 16 three-bedroom units ranging in size from 866 square-feet to 1,635 square-feet of habitable area, each with a one- or two-car garage.

The Project complies with the regulations of the Land Development Code (LDC), including requirements for parking, landscaping, and all other requirements of the development criteria for its zoning, except where deviations are allowed as development incentives in accordance with the Affordable Housing Regulations, and through the Neighborhood Development Permit process

pursuant to SDMC Section 143.0920. The project includes one development incentive and four deviations. The project is requesting an incentive to allow structure heights between 30 to 45 feet, where the maximum height limit in the RM-1-1 Zone is 30 feet. The height incentive is supported because the project is consistent with the community plan policies, is designed to address the physical environment and topographic constraints, and would not adversely impact the public's health and safety. Furthermore, the development incentives request is consistent with the intent of the State's Density Bonus Law and there is no substantial evidence pursuant to the SDMC or State law to deny the applicant's request for the incentive.

The project also requests four deviations: 1) to allow a 1.30 Floor Area Ratio (FAR) (68,538 square feet), where a maximum 0.75 FAR is permitted; 2) to allow a five-foot side setback from the south property line, where 50 percent of the length of the building requires a setback of 14.2 feet (10 percent of the lot width); 3) to allow buildings without the required angled building envelope plane; and 4) to allow retaining wall height up to 9.5 feet within the front yard and up to 7 feet within side and rear yards, where two, three-foot and two, six-foot walls are allowed, respectively. The requested deviations are supported due to site topographical constraints, and to allow the project maximize density with an affordable housing component, maintain the architectural character of the project, and comply with American with Disabilities Act requirement.

The project would benefit the community by providing additional market rate and affordable housing opportunities in the Greater Golden Hill Community. The requested incentive and deviations are necessary to allow the 38 proposed units in accordance with State density bonus law, the City's Affordable Housing Regulations, and the Affordable Housing, In-fill Projects, and Sustainable Buildings Development Regulations, given the site size and constraints. The proposed development has otherwise been designed and conditioned to ensure conformance to the requirements of the Land Development Code and San Diego Municipal Code.

The project also proposes improvements to 32nd Street with curb, gutter, a five-foot wide non-contiguous sidewalk on the eastern side of the street, and construction of a cul-de-sac at its southern terminus. Construction of a retaining wall exceeding three feet in height on the west side of 32nd Street within the City PROW is necessary to hold back the existing sloping terrain for the construction of 32nd Street improvements and the cul-de-sac and allowed with the approval of a SDP. Based on the above, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

3. The site is physically suitable for the type and density of development.

The 1.21-acre project site is an unimproved property located at the northeast corner of Broadway and 32nd Street, north of State Route 94 (SR-94), in the RM-1-1 (Residential-Multiple Unit) Zone within the Greater Golden Hill Community Planning area. The GHCP designates the site for residential development at a density range between 10 and 15 du/ac. The Residential-Low Medium land use designation is intended for both single-family and multifamily housing. The GHCP also provides an increased density development option within the neighborhood east of 32nd Street that would allow up to 29 du/ac or a total of 36 dwelling units on the site. The project proposes 11 percent of the 36 base units affordable to moderate income households at 100% Area Median Income (AMI), which allows for a housing density bonus of six percent, or three additional dwelling

units, for a total of 39 dwelling units on the site. The project is requesting a density bonus in accordance with State Density Bonus Law and the Affordable Housing Regulations to allow the development of 38 dwelling units consistent with GHCP land use and zoning regulations. The project site is located in an urbanized area and developed area with water, sewer, fire, police, public schools, parks, and other services already provided.

Project implementation would include grading consisting of balanced earthwork, with cuts of approximately 9.2 feet in the northwest portion of the site, and fills up to 11 feet at the central and southern portion of the site to adapt the sloping site to the development. Internal driveways would generally flow with the sloping topography and buildings would be stepped in specific areas to incorporate the natural drop of the slope. Building volumes would also incorporate variations in rooflines and wall planes that transition with the flow of the slope. According to a geotechnical investigation report prepared for the project by NOVA Services, Inc., the site is suitable for the proposed development provided the geotechnical recommendations are incorporated into project design. Therefore, the site is physically suitable for the type and density of development

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is not located within or adjacent to a Multi-Habitat Planning Area (MHPA), open space or conserved land. Per Cadre Environmental's Biological Resources Report (11/3/2020), the majority of the site contains disturbed ruderal/urban/ornamental vegetation communities. There are two patches of disturbed Diegan coastal sage scrub vegetation within the Broadway PROW (off-site impact area) and ruderal invasive species. A total of 0.23 acre of disturbed coastal sage scrub will be directly impacted as a result of the project implementation, which will be mitigated through applicant's contribution to the City of San Diego's Habitat Acquisition Fund. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish and wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project proposes improvements to 32nd Street with curb, gutter, a five-foot wide non-contiguous sidewalk on the eastern side of the street, and construction of a cul-de-sac at its southern terminus. As a result of these improvements, both pedestrian and vehicular circulation will be improved, and public safety will be enhanced for the community.

Furthermore, the proposed development is consistent with the relevant City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety, and welfare. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions within the permit have been determined necessary to avoid adverse impact upon the public health, safety, and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the

subject property and other regulations and guidelines pertaining to the subject property per the SDMC.

Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all building, electrical, mechanical, plumbing and fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Compliance with these regulations during and after construction will be enforced through building inspections completed by the City's building inspectors.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The project proposes to vacate an unimproved 0.47-acre (20,348 square-foot), 65-foot wide, portion of Broadway from 32nd Street to the project's eastern boundary. The Broadway PROW was dedicated as an 80-foot wide PROW, identified as "D Street", per Map No. 167 recorded November 20, 1886 for circulation, access, and public services purposes. The segment of Broadway proposed to be vacated is not part of the GHCP's classified streets network and is not identified on the Mobility Element's Planned Street Classification map.

The southern 15-foot wide portion of Broadway PROW, and portion of 32nd Street between Broadway and State Route 94 (SR-94), were vacated per Resolution No. 223097 adopted by the City Council on March 20, 1979. Topography and subsequent construction of SR-94 has impacted the full improvement of the PROW between 32nd and 33rd Streets to current City standards. The portion of Broadway PROW to the southeast of the project would remain in place for the easterly owners' access and future redevelopment of their properties. Of the 65-foot width of Broadway between 32nd Street and project's eastern boundary proposed to be vacated, 40 feet measured from the centerline to the north would revert to the underlying fee owners 32nd & Broadway LLC. and Benny C. Anderson (Assessor Parcel Numbers (APNs) 539-563-06, 539-563-07, 539-563-10). A 25-foot wide portion from the Broadway centerline to the south would revert to Gregg A. and Kimberly A. Rudenberg, the underlying fee owners of APN 533-564-02.

The vacation would result in the addition of approximately 10,395 square feet to the 42,322 square-foot project site, for a total area of 52,717 square feet, which will be developed with dwelling units, and a driveway for access to existing water, sewer, and storm drain facilities. Existing and future public and private water, sewer, storm drain, dry utilities and access will be preserved by an approximately 0.24-acre easement for water and sewer purposes, and a 0.037-acre (approximately 1,600 square-foot) utility easement reservation for San Diego Gas and Electric (SDG&E) and Cox Communications as shown on Drawing Nos. 41836-B-2 and 41836-B-3.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The design of the proposed subdivision provides each residential unit with the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide, to the extent feasible, for future passive or natural heating and cooling

opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The proposed project would subdivide a 1.21-acre parcel into a single lot to provide a residential condominium development. Balanced needs for public facilities were taken into consideration with the development of the Greater Golden Hill Community Plan and the projected build-out with the applied zone designations. The project is requesting a density bonus in accordance with State Density Bonus Law and the Affordable Housing Regulations to allow the development of 38 residential condominiums, including four units affordable to moderate income households at 100% AMI, consistent with the GHCP land use and zoning regulations. The project site is not located within or adjacent to a Multi-Habitat Planning Area (MHPA), open space or conserved land. The majority of the site contains disturbed ruderal/urban/ornamental vegetation communities. There are two patches of disturbed Diegan coastal sage scrub vegetation within the Broadway PROW (off-site impact area) and ruderal invasive species. A total of 0.23 acre of disturbed coastal sage scrub will be directly impacted as a result of the project implementation, which will be mitigated through applicant's contribution to the City of San Diego's Habitat Acquisition Fund. The project site is located in an urbanized and developed area with water, sewer, fire, police, public schools, parks, and other services already provided. The project includes public improvements including the construction of 32nd Street with curb, gutter, and sidewalk, and a cul-de-sac.

The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 38 residential condominiums, including four moderate income units, is consistent with the housing needs anticipated for the Greater Golder Hill Community Planning area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Tentative Map No. 2324694, hereby granted to 32nd & Broadway, LLC, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: _____, City Attorney

ATTACHMENT 7

(R-[Reso Code])

By _____
[Attorney]
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
R-R-[Reso Code]

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24008268

DRAFT

CITY COUNCIL
CONDITIONS FOR TENTATIVE MAP NO. 2324694,
32nd & BROADWAY – PROJECT NO. 637438 [MMRP].
ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map will expire _____.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the expiration of the Tentative Map, a Final Map to consolidate the existing lots into one lot and subdivide the properties into thirty-eight (38) residential condominium units shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Final Map.
5. Prior to recordation of the Final Map, a certified copy of the approved City Council resolution to vacate a portion of Broadway shall be recorded at the San Diego County Recorder's Office.
6. The Tentative Map shall conform to the provisions of Neighborhood Development Permit No. 2324693 and Site Development Permit No. 2471596.
7. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

AFFORDABLE HOUSING

8. Prior to the recordation of the Final Map, the Subdivider shall enter into an affordable housing agreement with the San Diego Housing Commission to provide affordable housing

units in compliance with the City's Inclusionary Affordable Housing Regulations (San Diego Municipal Code §§ 143.0301 et seq.).

ENGINEERING

9. The following will be conditions of the Tentative Map Resolution that the Subdivider will need to satisfy/assure before the Final Map is recorded.
10. The Subdivider shall assure, by permit and bond, dedicate and improve 32nd Street adjacent to the Site, as shown on approved Exhibit "A", per current City Standards, satisfactory to the City Engineer.
11. The Subdivider shall assure, by permit and bond, to construct a 26-foot wide driveway per current City Standards, adjacent to the site on 32nd Street, satisfactory to the City Engineer.
12. The Subdivider shall assure, by permit and bond, to construct curb and gutter per current City Standards, adjacent to the site on 32nd Street, satisfactory to the City Engineer.
13. The Subdivider shall assure, by permit and bond, to construct sidewalk with current City Standard sidewalk, adjacent to the site on 32nd Street, satisfactory to the City Engineer.
14. The Subdivider shall assure, by permit and bond, to construct curb ramp at the alley entrance, per exhibit "A", with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.
15. The Subdivider shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for all private storm drain systems and connections and proposed private improvements of any kind, including retaining walls, street trees and landscaping to be installed within the Public Right-of-Way.
16. The Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
17. The Subdivider shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
18. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City and Caltrans Engineer.
19. The Subdivider shall grant to the City of San Diego a 15-foot Drainage Easement, per City of San Diego Drainage Design Manual, satisfactory to the City Engineer.
20. The Subdivider shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

21. The Subdivider shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
22. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
23. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.
24. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
25. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
26. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

27. Prior to the recordation of the Final Map, all private streets and drives shall be shown with bearings and distances along the centerline and width of the streets shown on a non-title sheet on the Final Map. The street names shall be submitted to BDR-Street Name Coordinator for approval and published on the Final Map.
28. The Final Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the Final Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied

on the Final Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.

29. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
30. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.
31. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
32. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

WATER & WASTEWATER

33. Prior to recording the Final Map, the Subdivider shall grant adequate sewer and water easements, including vehicular access to each appurtenance for all public sewer and water facilities that are not located within a fully improved public rights-of-way, satisfactory to the Public Utilities Director. Easements shall be located within single lots, when possible, and not split longitudinally.
34. Vehicular access roadbeds shall be a minimum of 20 feet wide and surfaced with suitable approved material satisfactory to the Public Utilities Director and the City Engineer.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).

- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24008268

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO
SUMMARILY VACATING AN UNIMPROVED PORTION OF BROADWAY,
PUBLIC RIGHT-OF-WAY VACATION NO. 2324692, WITH RESERVATION
OF EASEMENTS – PROJECT NO. 637438

WHEREAS, California Streets and Highways Code section 8330 *et seq.* and San Diego Municipal Code section 125.0901 *et seq.* provide a procedure for the summary vacation of public rights-of-way by City Council resolution; and

WHEREAS, 32nd & Broadway LLC. filed an application to vacate a 0.47-acre portion of Broadway north of State Route-94 and east of 32nd Street, being described as Public Right-of-Way Vacation No. 2324692; and

WHEREAS, Right-of-Way Vacation No. 2324692 is located on property owned by 32nd & Broadway LLC., Benny C. Anderson, and Gregg A. and Kimberly A. Rudenberg; and

WHEREAS, in connection with Public Right-of-Way Vacation No. 2324692, the City desires to reserve and except public easements; and

WHEREAS, (1) The public right-of-way, or portion of the public right-of-way, is excess public right-of-way and is not required for street or highway purposes; (2) The public right-of-way has been impassable for vehicular travel for a period of five years and public funds have not been expended for maintenance of the public right-of-way during that period; and (3) the public right-of-way vacation does not terminate a public service easement, unless the easement vacation satisfies the requirements of the California Streets and Highways Code section 8333; and

WHEREAS, there are no existing public utility facilities that are in use that would be affected by the vacation; and

WHEREAS, the public right-of-way to be vacated contains public utility facilities that would not be affected by the vacation; and

WHEREAS, on February 25, 2021, the San Diego Planning Commission considered Public Right-of-Way Vacation No. 2324692 and pursuant to Resolution No. _____PC voted to recommend _____; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Right-of-Way Vacation No. 2324692, the Council finds under San Diego Municipal Code section 125.0901:

(a) There is no present or prospective public use for the public right-of-way, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The project proposes to vacate an unimproved 0.47-acre (20,348 square-foot), 65-foot wide, portion of Broadway from 32nd Street to the 32nd & Broadway project's eastern boundary, located

north of SR-94 and east of 32nd Street, within the RM-1-1 Zone of the Greater Golden Hill Community Planning area. The land intended to be vacated is no longer needed as a public right-of-way (PROW) and is not needed to provide public circulation or services. The Broadway PROW was dedicated as an 80-foot wide PROW, identified as "D Street", per Map No. 167 recorded November 20, 1886 for circulation, access, and public services purposes. The southern 15-foot wide portion of Broadway PROW, and portion of 32nd Street between Broadway and State Route 94 (SR-94), were vacated per Resolution No. 223097 adopted by the City Council on March 20, 1979. Topography and subsequent construction of SR-94 has impacted the full improvement of the PROW between 32nd and 33rd Streets to current City standards. The portion of Broadway PROW to the southeast of the 32nd & Broadway project would remain in place for the easterly owners' access and future redevelopment of their properties.

The segment of Broadway proposed to be vacated is not part of the Golden Hill Community Plan's classified streets network and is not identified on the Mobility Element's Planned Street Classification map (Figure 3-5). The proposed street vacation would also not affect the following types of facilities identified as part of the GHCP's mobility network: Pedestrian Routes, Existing or Planned Bicycle Network, and Planned Transit Facilities, because routes for these facilities are not mapped within this portion of Broadway. Unimproved local streets may be considered for a PROW vacation if there is no potential need for public access infrastructure, construction of public infrastructure is infeasible, or infrastructure can be accommodated by easements. As a condition of the proposed PROW vacation, an easement will be reserved over the applicable area proposed to be vacated for the City water and sewer infrastructure, and for COX Communications and San Diego Gas & Electric. Additionally, the project scope includes construction of a driveway for access to existing water and sewer facilities, and property to the south. Therefore, there is no present or

prospective use for the PROW, either for the facility for which originally acquired, or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved use of the land made available by the vacation.

The 0.47-acre (20,348 square-foot), 65-foot wide, portion of Broadway is limited to circulation and public utility. The City controls and is liable for an unimproved area that cannot be used for public purposes. The adjacent properties will benefit from the street vacation because they will control, maintain and be responsible for this area. The City of San Diego will benefit from the increase in property value by increasing the area of privately-owned land subject to property taxation. With an increase of tax revenue, the general public will benefit by the vacation of the exiting PROW by increase of available public funds. The public will also benefit by the reduction of liability to the City of San Diego from land it controls yet gains no benefit or use from.

Of the 65-foot width of Broadway between 32nd Street and the 32nd & Broadway project's eastern boundary proposed to be vacated, 40 feet measured from the centerline to the north would revert to the underlying fee owners 32nd & Broadway LLC. and Benny C. Anderson (Assessor Parcel Numbers (APN) 539-563-06, 539-563-07, 539-563-10). A 25-foot wide portion from the Broadway centerline to the south would revert to Gregg A. and Kimberly A. Rudenberg, the underlying fee owners of APN 533-564-02.

The GHCP designates the area for single-family or multi-family residential development at a density range between 10 and 15 du/ac with an option to increase density up to 29 du/ac within the project site and surrounding neighborhood east of 32nd Street. The 0.47-acre total area proposed to be vacated can accommodate up to 14 dwelling units at the maximum GHCP density. The 0.97-acre project site north of Broadway can accommodate 29 dwelling units. With the street vacation

and increased lot area, at approximately 1.21 acres, seven additional dwelling units could be built. The vacation would result in the addition of approximately 10,395 square feet, which will accommodate an additional 7 dwelling units by the proposed project.

Because the land has never been used as PROW, it is in the public interest to vacate the PROW and transfer responsibility of the land to the adjacent property owners. Therefore, the public will benefit from the action through improved use of the land made available by the vacation.

(c) The vacation does not adversely affect any applicable land use plan.

The segment of Broadway proposed to be vacated is not part of the GHCP's classified streets network and is not identified on the Mobility Element's Planned Street Classification map (Figure 3-5). The proposed street vacation would also not affect the following types of facilities identified as part of the GHCP's mobility network: Pedestrian Routes, Existing or Planned Bicycle Network, and Planned Transit Facilities, because routes for these facilities are not mapped within this portion of Broadway.

The GHCP contains policies that consider alternative uses for "paper streets", which are being addressed by the project. The GHCP's Recreation Element Policy RE-1.6 states: "increase recreational opportunities by acquiring and developing land for park and recreation uses through street/alley right-of-way vacations, including vacation of paper streets, where appropriate and legally defensible." Alternatives to public access require relinquishment of underlying property rights by abutting owners. The project does not propose to relinquish underlying property rights but instead proposes to incorporate the Broadway PROW into the total site area to allow for the construction of housing.

The GHCP's Recreation Element also identifies the project site and the adjacent vacant parcels, including a portion of the Broadway PROW as part of a 3.81-acre neighborhood park.

However, a development previously approved within a vacant one-acre site to the north reduces the available park acreage. Furthermore, the option to use the project site including the Broadway PROW for a neighborhood park would require acquisition of the site by the City. Currently, there is no identified funding source available for acquisition and development of this future park. The Golden Hill Impact Fee Study lists public facilities needed to implement the GHCP and identifies funding sources, including a Development Impact Fee (DIF). Currently, the majority of DIF funds are allocated to other projects and it is unknown when sufficient DIF funds will become available. Therefore, the GHCP policies that pertain to alternative use of the Broadway PROW cannot be feasibly implemented at this time and the PROW vacation does not adversely affect the applicable land use plan.

(d) The public facility for which the public right-of-way was originally acquired will not be detrimentally affected by the vacation.

The Broadway PROW was dedicated as an 80-foot wide PROW, identified as “D Street”, per Map No. 167 recorded November 20, 1886 for circulation, access, and public services purposes. The southern 15-foot wide portion of Broadway PROW, and portion of 32nd Street between Broadway and State Route 94 (SR-94), were vacated per Resolution No. 223097 adopted by the City Council on March 20, 1979. Topography and subsequent construction of SR-94 has impacted the full improvement of the PROW between 32nd and 33rd Streets to current City standards. The portion of Broadway PROW to the southeast of the 32nd & Broadway project would remain in place for the easterly owners’ access and future redevelopment of their properties. The improvement of this segment of Broadway does not represent a logical extension of the road network.

As a condition of the proposed PROW Vacation, an easement will be reserved over the applicable area proposed to be vacated for the City water and sewer infrastructure, and for COX

Communications and San Diego Gas & Electric. Therefore, the public facility for which the PROW was originally acquired will not be detrimentally affected by the vacation.

BE IT FURTHER RESOLVED, that Right-of-Way Vacation No.2324692, in connection with Neighborhood Development Permit No. 2324693 and Site Development Permit No. 2471596 as more particularly described in the legal description marked as Exhibit "A" and shown on Drawing No. 41836-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated subject to the following condition(s) which are made a part of this resolution:

BE IT FURTHER RESOLVED, that the City of San Diego reserves and excerpts from the Right-of-Way Vacation No. 2324692 the permanent easement for public utility purposes, as more particularly described hereinafter in the legal description marked as Exhibit "A" and shown on Drawing No. 41836-B marked as Exhibit "B."

BE IT FURTHER RESOLVED, an easement is reserved for COX COMMUNICATIONS CALIFORNIA, LLC., A DELAWARE LIMITED LIABILITY COMPANY its successors and assigns, as it may require from time to time, to construct, place, operate, repair, maintain, replace, and remove aerial and/or underground Telecommunications equipment consisting of one or more lines of cables, wires, conduits, pedestals, guys, anchors, and all necessary fixtures and appurtenances. as more particularly described hereinafter in the legal description marked as Exhibit "A" and shown on Drawing No. 41836-B marked as Exhibit "B."

BE IT FURTHER RESOLVED, an easement is reserved for SDG&E to erect, construct, change the size of, improve, reconstruct, relocate, repair, remove, maintain and use facilities consisting of overhead and underground electric facilities, communication facilities and all appurtenances including necessary anchorage for the transmission and distribution of electricity and for pipelines

and appurtenances, together with the right of ingress thereto and egress therefrom over said easement and over other practical routes, as more particularly described hereinafter in the legal description marked as Exhibit "A" and shown on Drawing No. 41836-B marked as Exhibit "B." No building or other structure shall be permitted within the easement. SDG&E's prior written consent shall be required before planting any trees or increasing/decreasing the ground elevation within the easement.

BE IT FURTHER RESOLVED, that the easements reserved herein are in, under, over, upon, along, and across that portion of Broadway, vacated by this Document and as more particularly described in the legal description marked as Exhibit "A" and shown Drawing No. 41836-B marked as Exhibit "B."

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the Office of the County Recorder.

APPROVED: MARA W. ELLIOTT, City Attorney

By _____

[Attorney]

Deputy City Attorney

[Initials]:[Initials]

[Month]/[Day]/[Year]

ATTACHMENT 9

(R-[Reso Code])

Or.Dept:[Dept]

JO: **[INSERT]** JO No.}

Drawing No. **[INSERT]** Drawing No.]

RR-[Reso Code]

DRAFT

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on June 4, 2019, 32nd & Broadway, LLC, a California limited liability company, and Benny C. Anderson, Owners and 32nd & Broadway, LLC, a California limited liability company, Permittee, submitted an application to the Development Services Department for a Right of Way Vacation, Tentative Map, Site Development Permit, and Neighborhood Development Permit for the 32nd and Broadway project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on [DATE]; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the City Council considered the issues discussed in Mitigated Negative Declaration No. 637438 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review

process, has been reviewed and considered by the City Council in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the City Council finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the City Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego.

By: _____
Mara Elliott, Deputy City Attorney

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM


32nd & Broadway Right of Way Vacation, Tentative Map, Site Development Permit, and
Neighborhood Development Permit

PROJECT NO. 673438

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No637438 shall be made conditions of the Right of Way Vacation, Tentative Map, Site Development Permit, and Neighborhood Development Permit as may be further described below.

BIO-MM1 Mitigation Fee: A total of 0.23-acre of Diegan coastal sage scrub located outside of the MHPA will be directly impacted as a result of project implementation. A mitigation ratio of 1:1 for impacts to Tier II (uncommon uplands, coastal sage scrub, coastal sage scrub/chaparral) will be required. Prior to construction, the project applicant will provide monetary compensation to the City of San Diego Habitat Acquisition Fund (HAF) as established by the City Council. Therefore, the total resulting mitigation required for direct project impacts is a total of a 0.23-acre equivalent contribution to the HAF plus a ten percent (10%) administrative fee.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

Page 4		City of San Diego · Information Bulletin 620		August 2018	
		City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form Part 2	
Project Name: 32nd & Broadway R Vac/SDP/PDP/TM		Project Number: 637438		Distribution Date: 9/26/2019	
Project Scope/Location: Greater Golden Hill (Process 5) Right of Way Vacation, Neighborhood Development Permit, and Tentative Map to construct a development that includes 38 multi-family dwelling units (34 market rate and 4 affordable units) in six three-story buildings and vacate public right-of-way of the northern 40 feet of Broadway adjacent to the site, located on a vacant lot south of C St and east of 32nd St. The 1.23-acre site is located in the RM-1-1 zone, the FAA Part 77 Noticing Areas Overlay Zone, and in Council District 3.					
Applicant Name: Ben Anderson		Applicant Phone Number: benanderson32ndst@gmail.com			
Project Manager: Firouzeh Tirandazi		Phone Number: 619.446.5325		Email Address: ftirandazi@sanidiego.gov	
Committee Recommendations (to be completed for Initial Review):					
Motion - To approve the project as presented by Ben Aderson on September 11, 2019. (See Attached Presentation)					
<input checked="" type="checkbox"/> Vote to Approve		Members Yes 11	Members No 1	Members Abstain 1	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS:					
NAME: Kathy Vandenheuvel		TITLE: Chair			
SIGNATURE: Kathy Vandenheuvel		DATE: 9/26/2019			
Digitally signed by Kathy Vandenheuvel Date: 2019.09.26 09:09:10 -07'00'					
Attach Additional Pages if Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☒ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☒ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: 32nd & Broadway

Project No. For City Use Only: 637438

Project Address: 1000 Block, 32nd Street, San Diego

92102

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? CA Corporate Identification No. FEIN 20-4651300

☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: 32nd & Broadway, LLC

☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 3184 Airway Avenue, Suite B

City: Costa Mesa

State: CA

Zip: 92626

Phone No.: (949) 233-6700

Fax No.: (714) 327-1940

Email: benanderso@aol.com

Signature: _____

Date: 05/01/2019

Additional pages Attached:

☐ Yes

☐ No

Applicant

Name of Individual: 32nd & Broadway, LLC

☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 3184 Airway Avenue, Suite B

City: Costa Mesa

State: CA

Zip: 92626

Phone No.: (949) 233-6700

Fax No.: (714) 327-1940

Email: benanderso@aol.com

Signature: _____

Date: 05/01/2019

Additional pages Attached:

☐ Yes

☐ No

Other Financially Interested Persons

Name of Individual: None

☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____

State: _____

Zip: _____

Phone No.: _____

Fax No.: _____

Email: _____

Signature: _____

Date: _____

Additional pages Attached:

☐ Yes

☐ No

32nd & Broadway, LLC Ownership

Ben C. Anderson - 100%

Title: Manager

EXHIBIT 'A'LEGAL DESCRIPTION
STREET VACATION

ALL THAT PORTION OF BROADWAY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN AND DEDICATED AS 'D' STREET PER CHOATES ADDITION MAP NO. 167, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 20, 1886. SAID PORTION BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF PARCEL 1 PER PARCEL MAP NO. 14885, RECORDED JULY 16, 1987 AS FILE NO. 87-398925 IN SAID COUNTY RECORDER'S OFFICE, THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL 1 PER PARCEL MAP 14885 AND LOTS 39, 38, AND 37 INCLUSIVE IN BLOCK 124 OF CHOATE'S ADDITION, ACCORDING TO MAP THEREOF NO. 167, FILED IN THE OFFICE OF THE COUNTY RECORDER NOVEMBER 20, 1886, SAID SOUTHERLY LINE ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID BROADWAY, NORTH 89°56'30" WEST A DISTANCE OF 300.10 FEET TO THE SOUTHWEST CORNER OF SAID LOT 37, SAID SOUTHWEST CORNER ALSO BEING THE **TRUE POINT OF BEGINNING**, THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE SOUTH 00°03'30" WEST A DISTANCE OF 65.00 FEET TO A POINT ON THE NORTHERLY LINE OF PARCEL 1 OF PARCEL MAP NO. 11509 RECORDED JULY 17, 1981 AS FILE NO. 81-225894, THENCE ALONG THE NORTHERLY LINE OF PARCEL 1 OF PARCEL MAP NO. 11509, NORTH 89°56'30" WEST A DISTANCE OF 330.17 FEET, THENCE NORTH 89°48'19" WEST A DISTANCE OF 30.00 FEET TO AN EXTENSION OF THE WESTERLY RIGHT-OF-WAY LINE OF 32ND STREET, THENCE ALONG SAID EXTENSION NORTH 00°05'22" EAST A DISTANCE OF 24.93 FEET TO THE CENTERLINE OF BROADWAY, THENCE EASTERLY ALONG SAID CENTERLINE SOUTH 89°56'30" EAST A DISTANCE OF 32.61 FEET TO THE BEGINNING OF A NON-TANGENT 45.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY, A RADIAL LINE TO SAID CURVE BEARS SOUTH 11°00'43" WEST, THENCE ALONG SAID CURVE SOUTHEASTERLY, EASTERLY, AND NORTHEASTERLY A DISTANCE OF 75.10 FEET THROUGH A CENTRAL ANGLE OF 95°37'25", TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF BROADWAY, THENCE ALONG THE NORTHERLY LINE OF BROADWAY SOUTH 89°56'30" EAST A DISTANCE OF 274.19 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINING AN AREA OF 20,628 SQUARE FEET OR 0.47 ACRES MORE OR LESS.

RESERVING THEREFROM AN EASEMENT FOR WATER AND SEWER PURPOSES OVER THAT PORTION OF THE VACATED AREA LYING SOUTHERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT SAID **POINT OF COMMENCEMENT** OF VACATED AREA, ALSO BEING THE SOUTHEAST CORNER OF SAID PARCEL 1 OF PARCEL MAP 14885, THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL 1 PER PARCEL MAP 14885 AND LOTS 37, 38, AND 39 INCLUSIVE IN BLOCK 124 OF CHOATE'S ADDITION,

ACCORDING TO MAP THEREOF NO. 167, FILED IN THE OFFICE OF THE COUNTY RECORDER NOVEMBER 20, 1886, SAID SOUTHERLY LINE ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID BROADWAY, NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 300.10 FEET, THENCE LEAVING SAID RIGHT-OF-WAY LINE SOUTH $00^{\circ}03'30''$ EAST A DISTANCE OF 35.00 FEET TO THE **TRUE POINT OF BEGINNING** OF SAID LINE, THENCE NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 296.86 FEET TO THE BEGINNING OF A NON-TANGENT 45-FOOT RADIUS CURVE CONCAVE NORTHERLY, A RADIAL LINE TO SAID CURVE BEARS SOUTH $29^{\circ}24'18''$ EAST, THENCE ALONG SAID CURVE WESTERLY A DISTANCE OF 31.74 FEET THROUGH A CENTRAL ANGLE OF $40^{\circ}25'02''$ TO A POINT ON THE CENTERLINE OF BROADWAY, THENCE WESTERLY ALONG SAID CENTERLINE NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 32.61 FEET TO A POINT ALONG THE EXTENSION OF THE WESTERLY LINE OF SAID 32ND STREET DEDICATED PER SAID MAP NO. 167.

ALSO RESERVING THEREFROM AN EASEMENT AND RIGHT OF WAY FOR SDG&E TO ERECT, CONSTRUCT, CHANGE THE SIZE OF, IMPROVE, RECONSTRUCT, RELOCATE, REPAIR, REMOVE, MAINTAIN AND USE FACILITIES CONSISTING OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES, COMMUNICATION FACILITIES AND ALL APPURTENANCES INCLUDING NECESSARY ANCHORAGE FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND FOR PIPELINES AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS THEREFROM OVER SAID EASEMENT AND OVER OTHER PRACTICAL ROUTES. NO BUILDING OR OTHER STRUCTURE SHALL BE PERMITTED WITHIN THE EASEMENT OVER THAT PORTION OF THE VACATED AREA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL 1 OF PARCEL MAP 11509, THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 1 NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 408.94 FEET TO THE **TRUE POINT OF BEGINNING**, THENCE CONTINUING ALONG SAID NORTHERLY LINE NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 30.04 FEET, THENCE NORTH $89^{\circ}48'19''$ WEST A DISTANCE OF 30.00 FEET TO AN EXTENSION OF THE WESTERLY RIGHT-OF-WAY LINE OF 32ND STREET, THENCE ALONG SAID EXTENSION NORTH $00^{\circ}05'22''$ EAST A DISTANCE OF 24.93 FEET TO THE CENTERLINE OF BROADWAY, THENCE EASTERLY ALONG SAID CENTERLINE SOUTH $89^{\circ}56'30''$ EAST A DISTANCE OF 32.61 FEET TO THE BEGINNING OF A NON-TANGENT 45.00 FOOT RADIUS CURVE CONCAVE NORTHERLY, A RADIAL LINE TO SAID CURVE BEARS SOUTH $11^{\circ}00'43''$ WEST, THENCE ALONG SAID CURVE SOUTHEASTERLY, A DISTANCE OF 28.08 FEET THROUGH A CENTRAL ANGLE OF $35^{\circ}45'17''$ TO AN EXTENSION OF THE EASTERLY RIGHT-OF-WAY LINE OF 32ND STREET, THENCE ALONG SAID EXTENSION SOUTH $00^{\circ}05'22''$ WEST A DISTANCE OF 28.33 FEET TO THE **TRUE POINT OF BEGINNING**.

ALSO RESERVING THEREFROM A PERPETUAL EASEMENT UNTO COX COMMUNICATIONS CALIFORNIA, LLC., A DELAWARE LIMITED LIABILITY COMPANY ITS SUCCESSORS AND ASSIGNS, AS IT MAY REQUIRE FROM TIME TO TIME, TO CONSTRUCT, PLACE, OPERATE, REPAIR, MAINTAIN, REPLACE, AND

REMOVE AERIAL AND/OR UNDERGROUND TELECOMMUNICATIONS EQUIPMENT CONSISTING OF ONE OR MORE LINES OF CABLES, WIRES, CONDUITS, PEDESTALS, GUYS, ANCHORS, AND ALL NECESSARY FIXTURES AND APPURTENANCES OVER THAT PORTION OF THE VACATED AREA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID PARCEL 1 OF PARCEL MAP 11509, THENCE ALONG THE NORTHERLY LINE OF SAID PARCEL 1 NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 408.94 FEET TO THE **TRUE POINT OF BEGINNING**, THENCE CONTINUING ALONG SAID NORTHERLY LINE NORTH $89^{\circ}56'30''$ WEST A DISTANCE OF 30.04 FEET, THENCE NORTH $89^{\circ}48'19''$ WEST A DISTANCE OF 30.00 FEET TO AN EXTENSION OF THE WESTERLY RIGHT-OF-WAY LINE OF 32ND STREET, THENCE ALONG SAID EXTENSION NORTH $00^{\circ}05'22''$ EAST A DISTANCE OF 24.93 FEET TO THE CENTERLINE OF BROADWAY, THENCE EASTERLY ALONG SAID CENTERLINE SOUTH $89^{\circ}56'30''$ EAST A DISTANCE OF 32.61 FEET TO THE BEGINNING OF A NON-TANGENT 45.00 FOOT RADIUS CURVE CONCAVE NORTHERLY, A RADIAL LINE TO SAID CURVE BEARS SOUTH $11^{\circ}00'43''$ WEST, THENCE ALONG SAID CURVE SOUTHEASTERLY, A DISTANCE OF 28.08 FEET THROUGH A CENTRAL ANGLE OF $35^{\circ}45'17''$ TO AN EXTENSION OF THE EASTERLY RIGHT-OF-WAY LINE OF 32ND STREET, THENCE ALONG SAID EXTENSION SOUTH $00^{\circ}05'22''$ WEST A DISTANCE OF 28.33 FEET TO THE **TRUE POINT OF BEGINNING**.

ATTACHED HERETO IS A DRAWING NO. 41836-B LABELED AS EXHIBIT 'B' AND BY THIS REFERENCE MADE A PART HEREOF.

JOHN S. COFFEY
LS 8733 EXPIRES 12/31/20

11-11-20
DATE



PTS NO. 637438
IO NO. 24008268
DWG NO. 41836-B

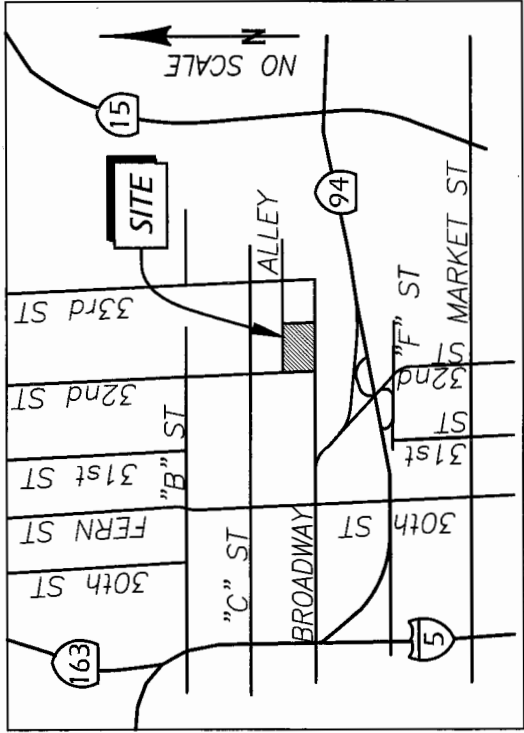
BASIS OF BEARINGS:

THE NORTHERLY RIGHT-OF-WAY LINE OF BROADWAY PER PARCEL MAP NO. 14855, I.E. N 89°56'30" W.

LEGEND

- INDICATES PORTION OF BROADWAY VACATED HEREON, 20,348 SQ. FT. (0.47 AC) MORE OR LESS
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- LOT LINE
- () RECORD OR CALCULATED DATA PER PM 14885
- [] RECORD DATA PER CAL TRANS ROW MAP LO 37509
- { } RECORD DATA PER PM 11509

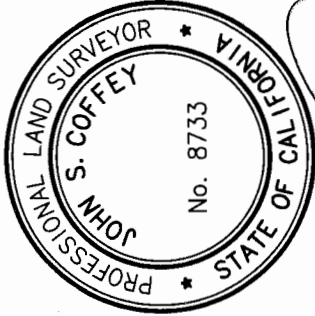
LINE/CURVE DATA TABLE	
ID	BEARING/DISTANCE/RADIUS/DELTA
L1	S 00°07'39" W, L=36.15'
L2	S 63°14'40" W, L=33.20'
L3	N 00°02'25" E, L=15.00'
L4	N 89°48'19" W, L=30.00'
L5	N 00°05'22" E, L=24.93'
C1	Δ=95°37'25", L=75.10, R=45.00'
L6	S 00°03'30" W, L=65.00'
L7	S 89°56'30" E, L=32.61'
(R1)	RADIAL= S 11°00'43" W
(R2)	RADIAL= S 84°36'42" E



VICINITY MAP



SCALE: 1"=60'



REFERENCE DRAWINGS:
PARCEL MAP 14885
MAP 167
ROW MAP LO 37509

JOHN S. COFFEY LS 8733
COFFEY ENGINEERING, INC.

RESOLUTION NO. _____
ADOPTED _____
DOCUMENT NO. _____
RECORDED _____

STREET VACATION OF A PORTION OF BROADWAY STREET
BETWEEN 32ND STREET AND 33RD STREET

DESCRIPTION	BY	APPROVED	DATE	FILED	CITY OF SAN DIEGO, CALIFORNIA	P.T.S.#
ORIGINAL	CE				SHEET 1 OF 3 SHEETS	637438
		CE	11/19/20		DATE	1860-6269
					FOR CITY LAND SURVEYOR	CCS 83
					ENGINEER	220-1709
					LAMBERT COORDINATES	41836-1-B
STATUS						

EXHIBIT 'B'

33RD STREET
DEDICATED PER MAP 167

LEGEND

INDICATES PORTION OF BROADWAY
RESERVED HEREON FOR WATER
AND SEWER UTILITY PURPOSES
10,494 SQ. FT. (0.24 AC) MORE
OR LESS



--- PROPERTY LINE

--- RIGHT-OF-WAY LINE

--- CENTERLINE

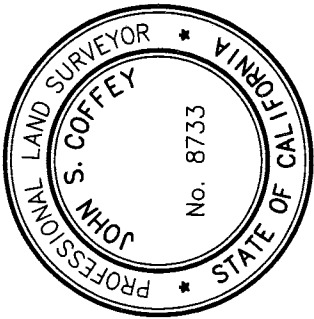
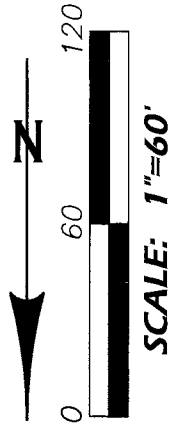
--- LOT LINE

() RECORD OR CALCULATED DATA
PER PM 14885

[] RECORD DATA PER CAL TRANS
ROW MAP LO 37509

{ } RECORD DATA PER PM 11509

LINE/CURVE DATA TABLE	
ID	BEARING/DISTANCE/RADIUS/DELTA
L1	S 00°07'39" W, L=21.15'
L2	S 63°14'40" W, L=33.44'
L3	N 00°02'25" E, L=15.00'
L4	N 89°48'19" W, L=30.00'
L5	N 00°05'22" E, L=24.93'
L6	S 89°56'30" E, L=32.61'
L7	S 00°03'30" W, L=35.00'
L8	S 00°03'30" W, L=30.00'
C1	Δ=40°25'02", L=31.74, R=45.00'
(R1)	RADIAL= S 29°24'18" E
(R2)	RADIAL= S 11°00'43" W



John S. Coffey 11-11-20
JOHN S. COFFEY LS 8733
CE COFFEY ENGINEERING, INC.

RESOLUTION NO. _____
ADOPTED _____
DOCUMENT NO. _____
RECORDED _____

WATER AND SEWER EASEMENT RESERVATION
BETWEEN 32ND STREET AND 33RD STREET

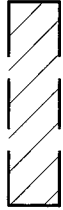
DESCRIPTION	BY	APPROVED	DATE	FILED	CITY OF SAN DIEGO, CALIFORNIA	
ORIGINAL	CE				SHEET 2 OF 3 SHEETS	
		CE	11/11/20			P.T.S.# 637438
						1860-6269
						CCS 83
						220-1709
						LAMBERT COORDINATES
STATUS						41836-2-B

EXHIBIT 'B'

33RD STREET
DEDICATED PER MAP 167

LEGEND

INDICATES PORTION OF BROADWAY
RESERVED HEREON FOR GENERAL
UTILITY PURPOSES
1,600 SQ. FT. (0.037 AC) MORE
OR LESS



--- PROPERTY LINE

--- RIGHT-OF-WAY LINE

--- CENTERLINE

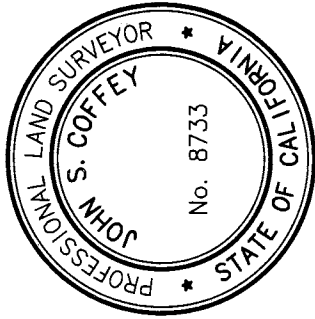
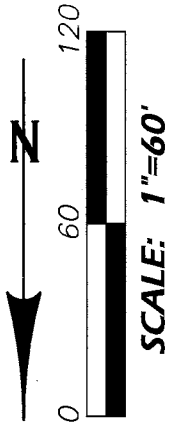
--- LOT LINE

() RECORD OR CALCULATED DATA
PER PM 14885

[] RECORD DATA PER CAL TRANS
ROW MAP LO 37509

{ } RECORD DATA PER PM 11509

LINE/CURVE DATA TABLE	
ID	BEARING/DISTANCE/RADIUS/DELTA
L1	S 89°56'30" E, L=30.04'
L2	N 89°48'19" W, L=30.00'
L3	N 00°05'22" E, L=24.93'
L4	S 89°56'30" E, L=32.61'
L5	S 00°05'22" W, L=28.33'
C1	Δ=35°45'17", L=28.08, R=45.00'
(R1)	RADIAL= S 11°00'43" W
(R2)	RADIAL= S 24°44'34" E



[Signature] 11-11-20
JOHN S. COFFEY LS 8733
CE COFFEY ENGINEERING, INC.

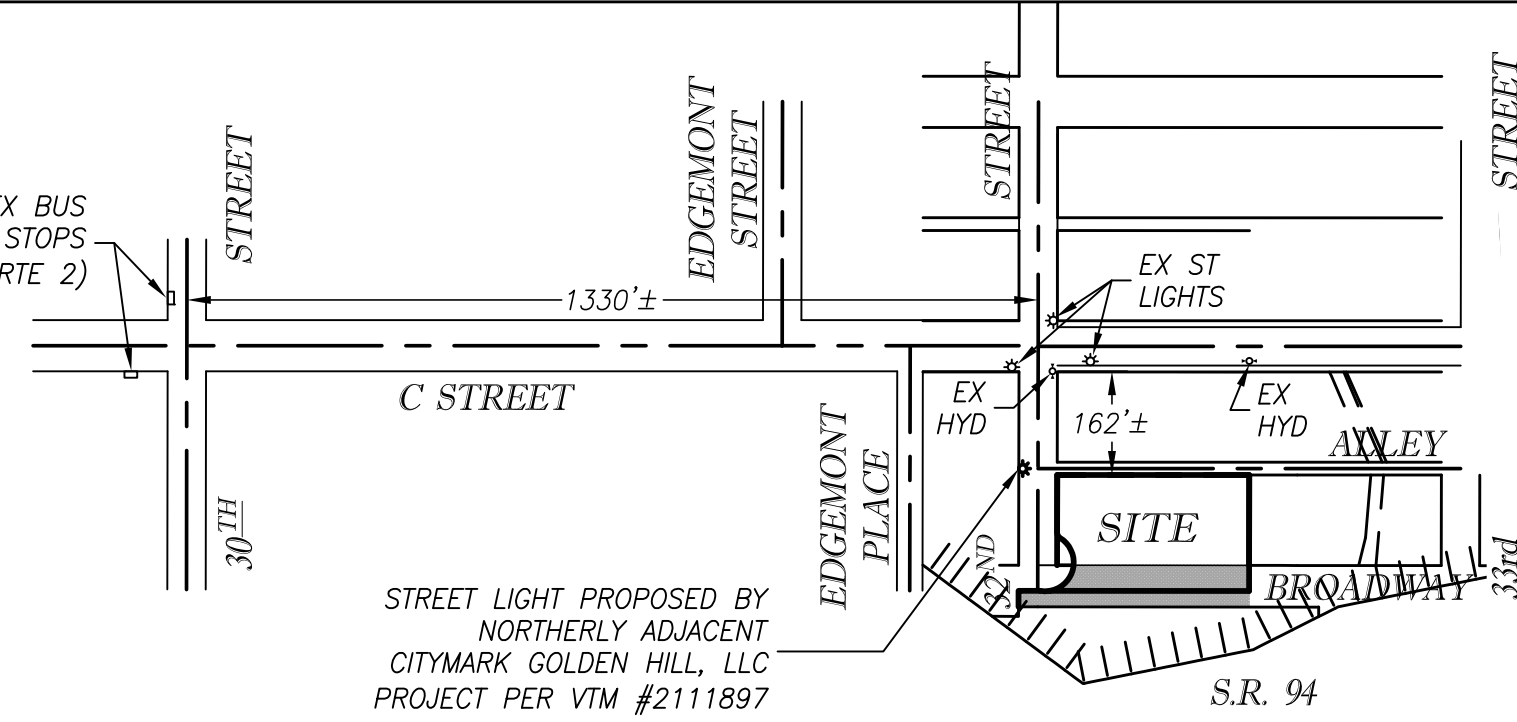
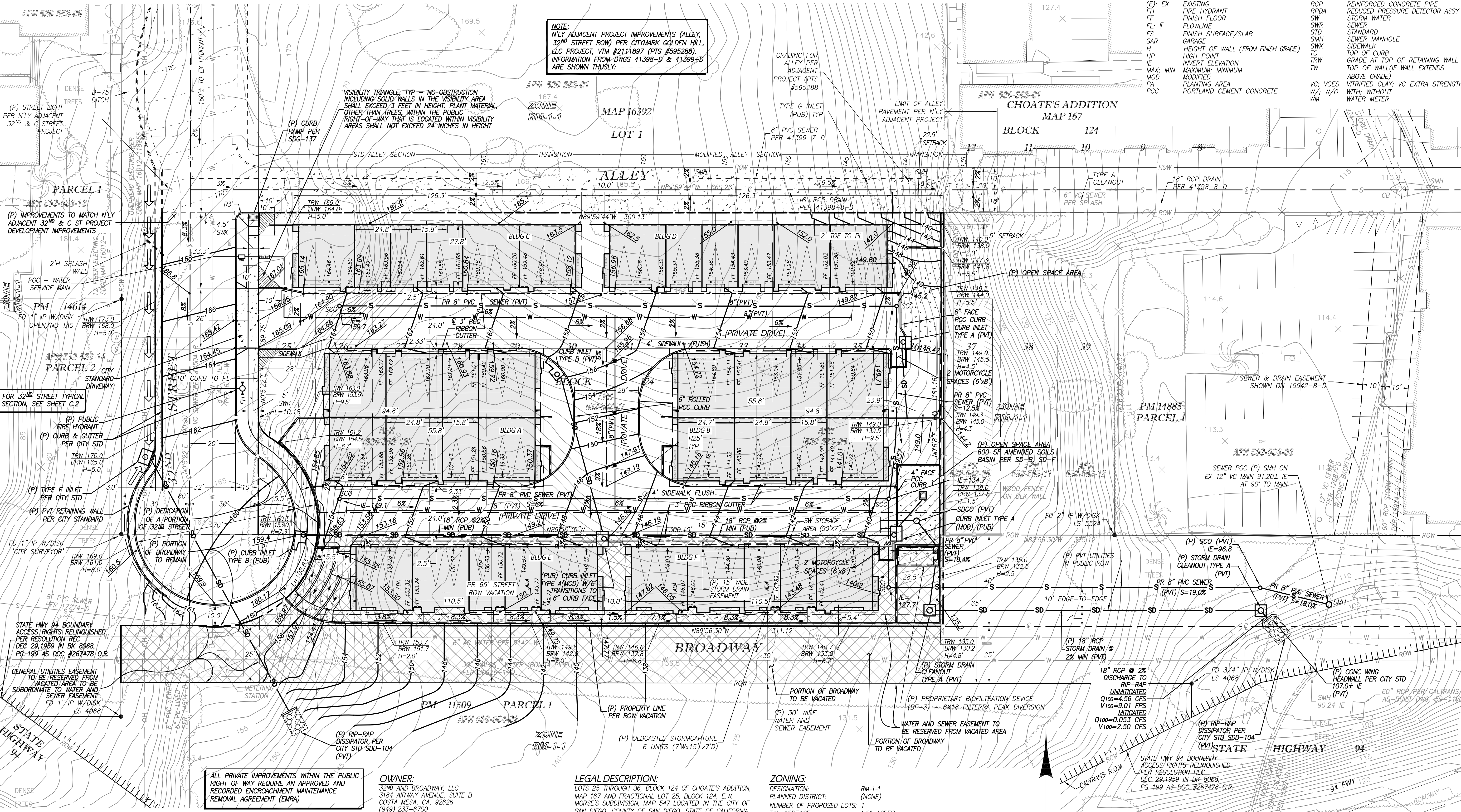
RESOLUTION NO. _____
ADOPTED _____
DOCUMENT NO. _____
RECORDED _____

UTILITY EASEMENT RESERVATION
BETWEEN 32ND STREET AND 33RD STREET

DESCRIPTION	BY	APPROVED	DATE	FILED	CITY OF SAN DIEGO, CALIFORNIA		P.T.S.#	637438
ORIGINAL	CE				SHEET 3 OF 3 SHEETS			
		CED	11/19/2020		FOR CITY LAND SURVEYOR		1860-6269	
					DATE		CCS 83	
							220-1709	
							LAMBERT COORDINATES	
STATUS							41836-3-B	

TENTATIVE MAP

PROJECT (PTS) NO. 637438
32nd Street & Broadway
San Diego, CA. 92102
TENTATIVE MAP NO. 2324694



EXISTING BUS STOP, STREET LIGHT, & FIRE HYDRANT LOCATION MAP

UTILITY	PRE-DEVELOPMENT STATUS	POST DEVELOPMENT STATUS
ELECTRIC SERVICE	NONE	UNDERGROUND
CATV / DATA	NONE	UNDERGROUND
TELEPHONE	NONE	UNDERGROUND
ELECTRIC HIGH VOLTAGE TRANSMISSION	OVERHEAD (W. SIDE OF 32ND)	OVERHEAD
GAS	UNKNOWN	UNKNOWN
WATER	NONE	UNDERGROUND
SEWER	NONE	UNDERGROUND

OWNER:
32ND STREET BROADWAY, LLC
3184 AIRWAY AVENUE, SUITE B
COSTA MESA, CA. 92626
(949) 233-6700

BEN C. ANDERSON, MANAGER DATE

PROJECT DATA:
SITE ADDRESS: 32ND STREET
SAN DIEGO, CA. 92102
APN: 539-563-06-00, -07-00, & -10-00
EXISTING BUILDING: NONE
CONSTRUCTION DATE: N/A
NAD83 COORDINATES: 200-1731
1840-6291

SITE DATA:
EX LOT SIZE = 42,322 SF (0.972 AC)
PRO LOT SIZE = 52,717 SF (1.21 AC)
[AFTER VACATION AND DEDICATION]

PROPOSED USE:
RM-1-1

CONDOMINIUM STATEMENT:
THIS IS A RESIDENTIAL CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS IS 36.

PARKING:
62 PARKING SPACES ARE PROVIDED IN THE GARAGES AND 4 MOTORCYCLE SPACES ARE PROPOSED.

LEGAL DESCRIPTION:
LOTS 25 THROUGH 36, BLOCK 124 OF CHATEAU'S ADDITION, MAP 167 AND FRACTIONAL LOT 25, BLOCK 124, E.W. MORSE'S SUBDIVISION, MAP 547 LOCATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER.

BENCHMARK:
SEBP AT CORNER OF 32ND STREET AND C STREET.
ELEV = 176.099 MSL, NVD 29.
CITY OF SAN DIEGO VERTICAL BENCHMARK BOOK.

MAPPING AND MONUMENTATION:
A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE SURVEY SHALL BE SHOWN ON THE FINAL MAP. ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS TENTATIVE MAP IS THE NORTHERLY RIGHT-OF-WAY LINE OF BROADWAY PER PARCEL MAP NO. 14855, I.E. N 89°56'30" W.

EASEMENTS:
THIS MAP WAS PREPARED UTILIZING THE PRELIMINARY TITLE REPORT FROM FIRST AMERICAN TITLE COMPANY, ORDER NO. IHFSC-5848188 (06), DATED JANUARY 2, 2019, WHICH INDICATES NO EASEMENTS AFFECTING THE SUBJECT PROPERTY.

SOURCE OF TOPOGRAPHY:
ON THE GROUND FIELD SURVEY PERFORMED BY COFFEY ENGINEERING, INC., JOHN S. COFFEY, LS 8733, INDICATES NO EASEMENTS AFFECTING THE SUBJECT PROPERTY. (EXPIRATION: 12/20), ON SEPTEMBER 17, 2018.

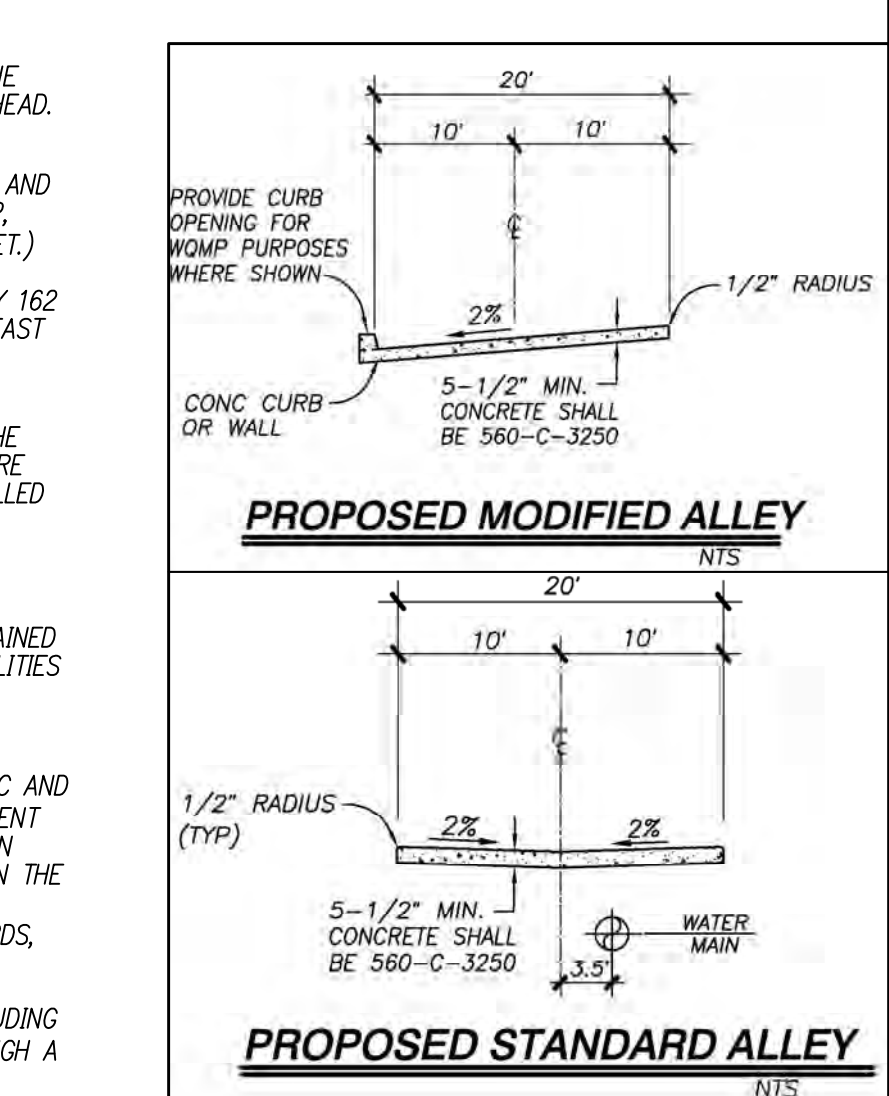
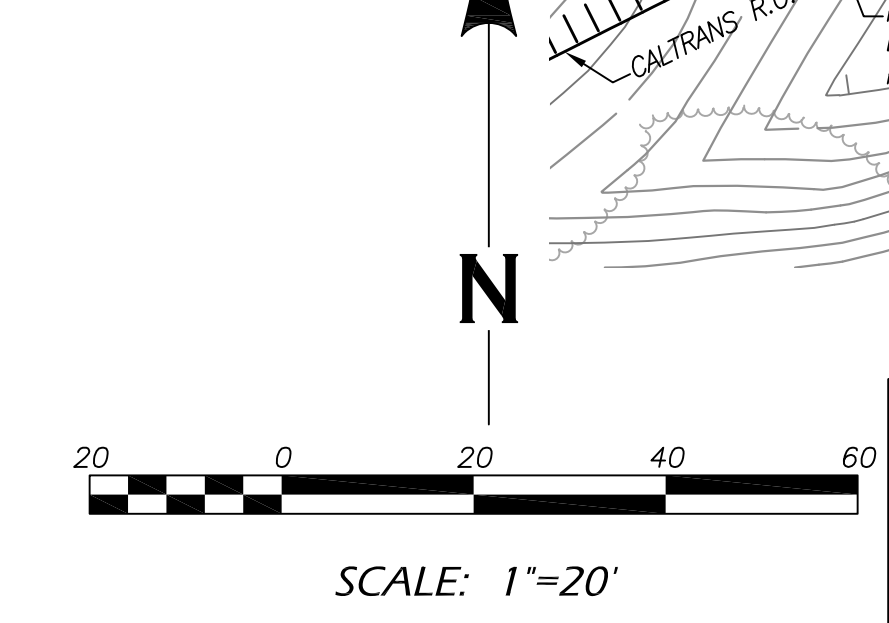
ZONING:
DESIGNATION: RM-1-1
PLANNED DISTRICT: (NONE)
NUMBER OF PROPOSED LOTS: 1
T.M. ACREAGE: 1.21 ACRES

OVERLAY ZONES:
• AIRPORT INFLUENCE AREA
• FIRE BRUSH ZONES 300' BUFFER
• FIRE HAZARD SEVERITY ZONE
ENVIRONMENTALLY SENSITIVE LANDS: ...
STEPPED HILLSIDES: ... NO
HISTORIC DISTRICT: ... NO
DESIGNATED HISTORIC: ... NO
GEO. HAZARD CATEGORIES: ... 52
EARTHQUAKE FAULT BUFFER: ... NO
FAA PART 77 NOTIFICATION AREA: ... YES

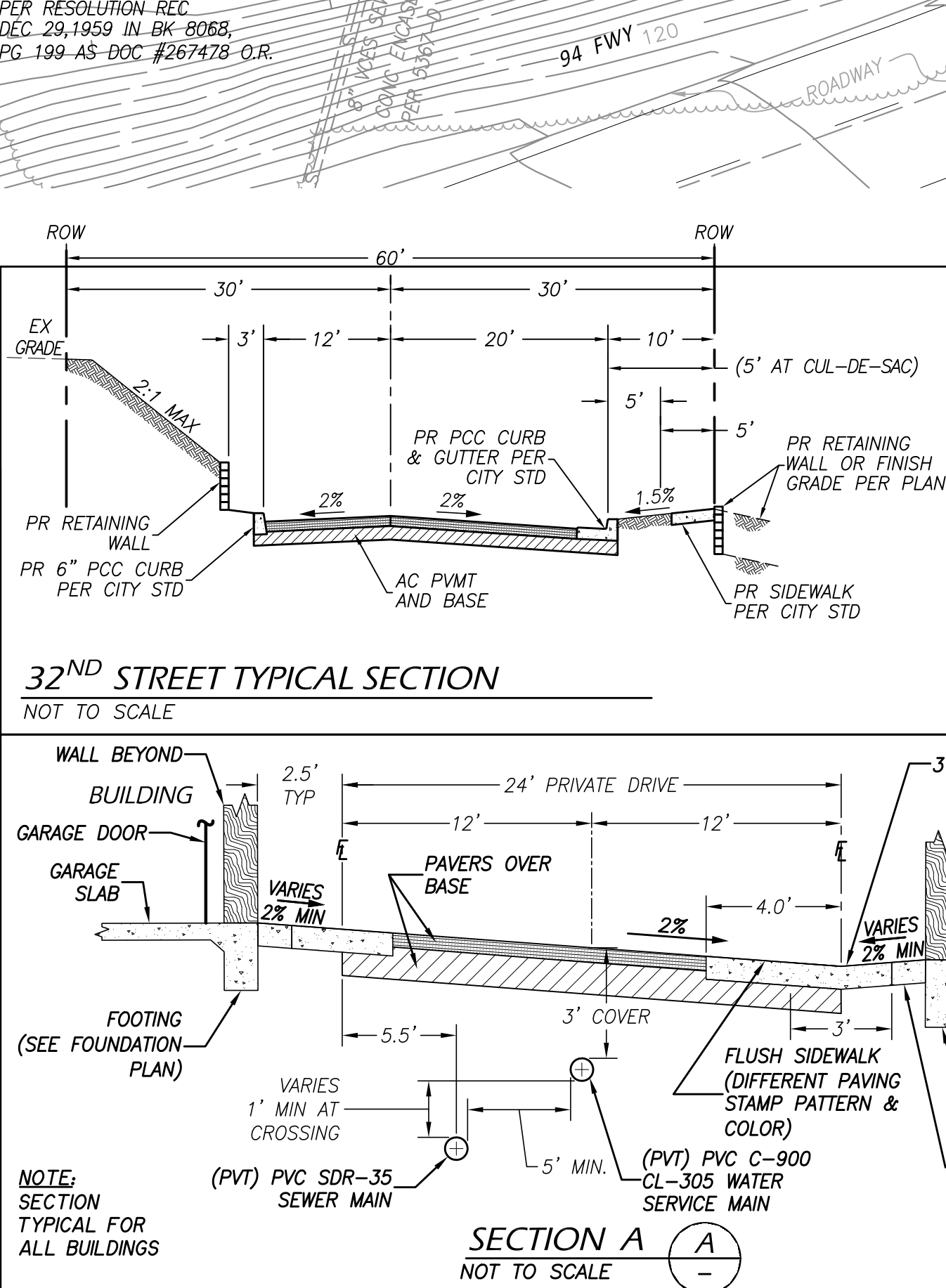
UTILITY NOTES:
1. EXISTING SDG&E, CATV, AND PHONE LINES IN THE 32ND STREET AND ALLEY RIGHT-OF-WAYS ARE OVERHEAD.
2. THERE ARE NO EXISTING STREET LIGHTS ALONG THE PORTION OF 32ND STREET SOUTHERLY OF C STREET AND NORTHERLY OF BROADWAY. (SEE EXISTING BUS STOP, STREET LIGHT, & FIRE HYDRANT PLAN ON THIS SHEET.)
3. THERE IS AN EXISTING FIRE HYDRANT APPROXIMATELY 162 FEET NORTHERLY OF THE PROPERTY, ON THE SOUTHEAST CORNER OF 32ND STREET AND C STREET.
4. PER CITY RECORDS, THERE ARE NO POTABLE WATER SERVICES OR SANITARY SEWER LATERALS SERVING THE SUBJECT SITE. IF THERE ARE ANY PRESENT WHICH ARE NOT RECORDED, THE WATER SERVICES ARE TO BE KILLED AT THE MAIN AND THE SEWER LATERALS ARE TO BE ABANDONED (PLUGGED) AT THE PROPERTY LINE.

ALL PROPOSED WATER AND SEWER FACILITIES (PUBLIC AND PRIVATE) WITHIN THE PUBLIC ROW OR PUBLIC EASEMENT MUST BE DESIGNED, CONSTRUCTED, OR RETAINED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER AND SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, AND PRACTICES PERTAINING THERETO.

ALL WATER LINES SERVING THIS DEVELOPMENT (INCLUDING DOMESTIC, IRRIGATION, AND FIRE) MUST PASS THROUGH A PERMITTED, PRIVATE, ABOVE GROUND, BACKFLOW PREVENTION DEVICE (BFPD).



32ND STREET TYPICAL SECTION



CIVIL ENGINEER / LAND SURVEYOR:

JOHN S. COFFEY, PE, PLS
COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
(858) 831-0111
FAX: (858) 831-0179
DATE: 1/2/20

JOHN S. COFFEY
RCE 062716 EXP: 6/30/22

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

CIVIL ENGINEER / LAND SURVEYOR:

JOHN S. COFFEY, PE, PLS

COFFEY ENGINEERING, INC.

9666 BUSINESSPARK AVENUE, SUITE 210

SAN DIEGO, CA 92131

(858) 831-0111

FAX: (858) 831-0179

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

DATE: 1/2/20

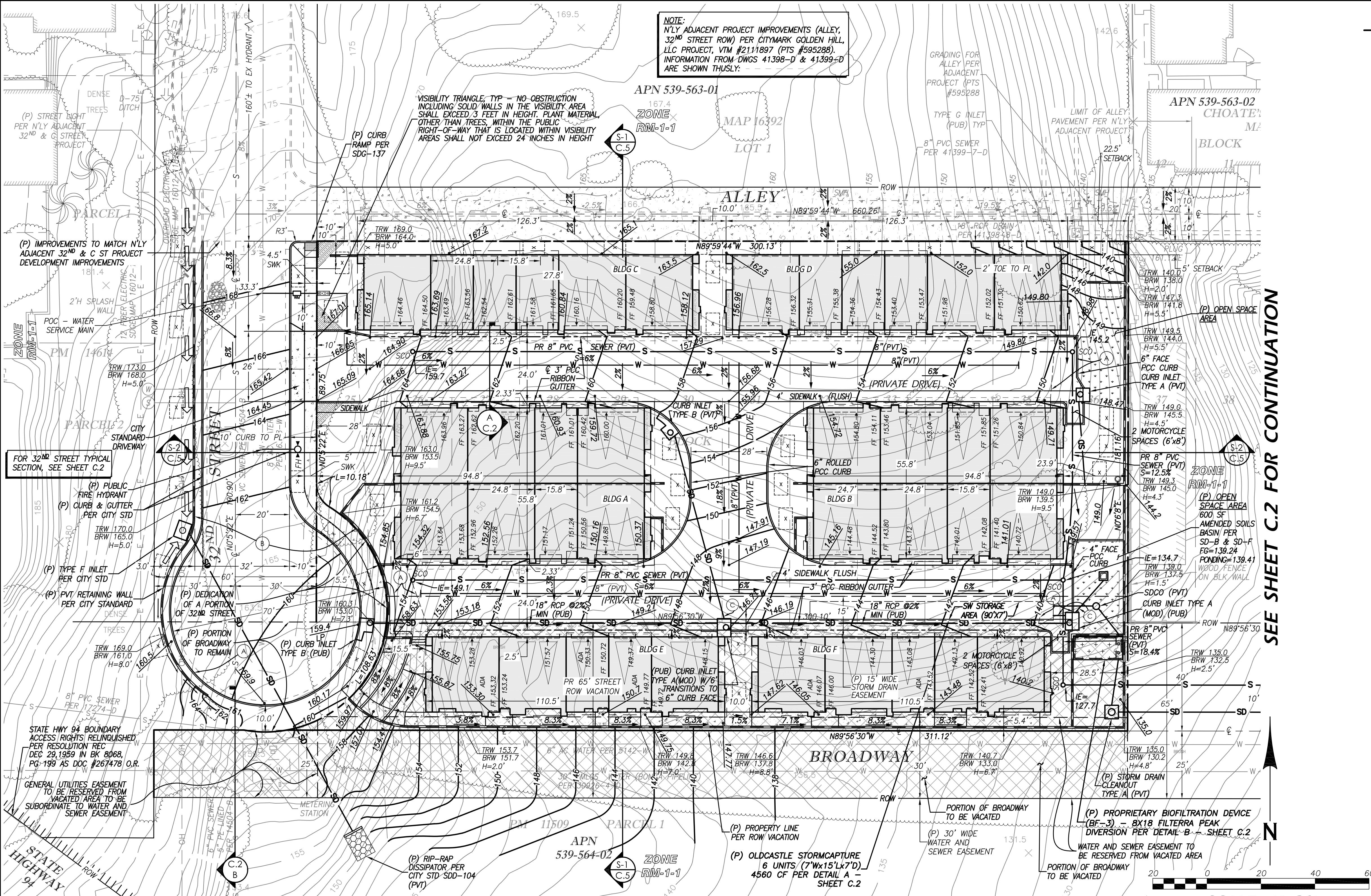
DATE: 1/2/20

DATE: 1/2/20

COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858) 831-0111 FAX (858) 831-0179

TM.1

SHEET 1 OF 1



NOTE:
NLY ADJACENT PROJECT IMPROVEMENTS (ALLEY,
32ND STREET ROW) PER CITYMARK GOLDEN HILL,
LLC PROJECT, VTM #2111897 (PTS #595288).
INFORMATION FROM DWGS 41398-D & 41399-D
ARE SHOWN THUSLY.

APN 539-563-01

ZONE
RM-1-1

MAP 16392
LOT 1

GRADING FOR
ALLEY PER
ADJACENT
PROJECT (PTS
#595288)

TYPE G INLET
(PUB) TYP

8" PVC SEWER
PER 41399-7-D

22.5'
SETBACK

APN 539-563-02

CHOATE'S

BLOCK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

22.5'
SETBACK

SEE SHEET C.2 FOR CONTINUATION

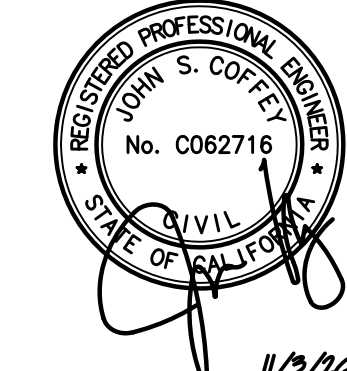
SCALE: 1"=20'

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE / TM BOUNDARY		N45°45'45"W
STREET CENTERLINE		90
(E) CONTOUR		100.00
(E) SPOT ELEVATION		W
(E) WATER LINE		S
(E) SEWER LINE		E / OH
(E) ELECTRIC CONDUIT		W
(E) WATER SERVICE		S
(E) SEWER SERVICE		W
(E) FIRE HYDRANT		S
(E) PALM		W
(E) BUILDING FOOTPRINT		W
(P) CONTOUR		90
(P) SPOT ELEVATION		100.00
(P) DRAINAGE SWALE OR DIRECTION OF FLOW		W
(P) PCC DRAINAGE DITCH - TYPE D	SDD-106	W
(P) PVC DRAIN LINE	SDR-35 SCH 40	W
(P) FIRE HYDRANT	(NDS OR EQ)	W
(P) LANDSCAPE DRAIN		W
(P) TREE ROOT ZONE (5'X8')		W
(P) CURB INLET	SDD-115/SDD-116	W
(P) CATCH BASIN, TYPE 'F'		W
(P) RIP RAP	SDD-104	W
(P) WATER SERVICE MAIN - 8" (PVT)		W
(P) WATER METER		W
(P) BACKFLOW PREVENTER / RPDA (PVT)		W
(P) SEWER MAIN - 8" (PVT)		W
(P) SEWER MANHOLE / CLEANOUT	SDS-106 OR -107 / SC-01	W
(P) CMU STEMWALL		W
(P) FREESTANDING WALL		W
(P) PVT GATE W/KNOX SWITCH		W
(P) BUILDING FOOTPRINT		W
(P) BUILDING OVERHEAD		W
(P) CONCRETE SIDEWALK	SDG-155	W
(P) PCC DRIVEWAY	SDG-159	W
(P) PCC CURB & GUTTER	SDG-150	W
(P) PCC CURB - 6" FACE		W
(P) PCC RIBBON GUTTER		W
(P) VACATION AREA		W
(P) OPEN SPACE AREA		W

ABBREVIATIONS (SEE SHEET C.2)

SITE PLAN / PRELIMINARY GRADING PLAN	C.1, C.2
FIRE ACCESS PLAN	C.3
ACCESSIBLE ROUTE PLAN / STEEP SLOPE ANALYSIS/ BIO RESOURCES	C.4
SITE SECTIONS	C.5
ARCHITECTURAL SITE PLAN	A1
BLDG. C-D - PLAN 1 - 897 SQ. FT.	A2
BLDG. A-B - PLAN 1 - 851 SQ. FT.	A3
BLDG. E-F - PLAN 1 - ACCESSIBLE - 980 SQ. FT.	A4
BLDG. C-D - PLAN 2 - 1,428 SQ. FT.	A5
BLDG. A-B - PLAN 2 - 1,419 SQ. FT.	A6
BLDG. E-F - PLAN 2 - REVERSED GARAGE - 1507 SQ. FT.	A7
BLDG. C-D - PLAN 3 - 1,541 SQ. FT.	A8
BLDG. A-B - PLAN 3 - 1,534 SQ. FT.	A9
BLDG. E-F - PLAN 3 - ACCESSIBLE - 1,626 SQ. FT.	A10
BLDG. E-F - FIRST FLOOR PLAN	A11
BLDG. E-F - SECOND FLOOR PLAN	A12
BLDG. E-F - THIRD FLOOR PLAN	A13
BLDG. E-F - EXTERIOR ELEVATION	A14
BLDG. E-F - EXTERIOR ELEVATION	A15
BLDG. C-D - FIRST FLOOR PLAN	A16
BLDG. C-D - SECOND FLOOR PLAN	A17
BLDG. C-D - THIRD FLOOR PLAN	A18
BLDG. C-D - EXTERIOR ELEVATION	A19
BLDG. C-D - EXTERIOR ELEVATION	A20
BLDG. A-B - FIRST FLOOR PLAN	A21
BLDG. A-B - SECOND FLOOR PLAN	A22
BLDG. A-B - THIRD FLOOR PLAN	A23
BLDG. A-B - EXTERIOR ELEVATION	A24
BLDG. A-B - EXTERIOR ELEVATION	A25
BLDG. A-B - EXTERIOR ELEVATION	A26
BLDG. A-B - EXTERIOR ELEVATION	A27
CONCEPTUAL PLANTING PLAN	L-1
PLANTING LEGEND, NOTES, & WATER CALCULATIONS	L-2
LANDSCAPE CALCULATIONS	L-3
PLANT IMAGES	L-4
TENTATIVE MAP	TM.1



COFFEY ENGINEERING, INC.
9666 BUSINESS PARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (619) 831-0111 FAX (619) 831-0179

LEGAL DESCRIPTION:

LOTS 25 - 36 OF CHOATE'S ADDITION BLOCK 124
PER MAP 167, IN THE CITY OF SAN DIEGO, COUNTY
OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE
OFFICE OF THE COUNTY RECORDER OF SAN DIEGO
COUNTY, NOVEMBER 11, 1886.
APN: 539-563-06-00, -07-00, & -10-00

BENCHMARK:

SEBP AT CORNER OF 32ND STREET AND C STREET.
ELEV = 176.099 MSL, NVD 29. CITY OF SAN DIEGO
VERTICAL BENCHMARK BOOK.

SOURCE OF TOPOGRAPHY

COFFEY ENGINEERING, INC.
9666 BUSINESS PARK AVENUE, SUITE 210
SAN DIEGO, CA 92131 PHONE: (619) 831-0111
SURVEY DATE: 9/17/18 (JOB #2018-071)
JOHN S. COFFEY, PLS 9733, EXP 12/31/20

NOTES:

- (A) TURNAROUND AREA TO BE MARKED FOR "NO PARKING" (AREA IS GREATER THAN 162 FT² IN ACCORDANCE WITH 142.0560 (d)(3))
- (B) SIDEWALK SCORING PATTERN TO MATCH THE EXISTING CONCRETE SCORING PATTERN USED WEST OF 32ND STREET OR USE A STANDARD SCORING PATTERN OF 20 INCHES WIDE BY 24 INCHES LONG. RETAINING WALLS TO BE SPLIT FACE BLOCK WITH GREY COLOR TO MATCH FUTURE PROJECT NORTH OF SITE.
- (C) EMRA IS REQUIRED FOR ALL PRIVATE STORM DRAIN CONNECTIONS TO PUBLIC STORM DRAIN SYSTEMS.

ZONING:

DESIGNATION: RM-1-1
PLANNED DISTRICT: (NONE)
NUMBER OF PROPOSED LOTS: 1
T.MACREAGE: 1.21 ACRES

OVERLAY ZONES:

- AIRPORT INFLUENCE AREA
- FIRE BRUSH ZONES 300' BUFFER
- FIRE HAZARD SEVERITY ZONE
- ENVIRONMENTALLY SENSITIVE LANDS: ...YES
- STEEP HILLSIDES:.....NO
- HISTORIC DISTRICT:.....NO
- DESIGNATED HISTORIC:.....NO
- GEO. HAZARD CATEGORIES:.....52
- EARTHQUAKE FAULT BUFFER:.....NO
- FAA PART 77 NOTIFICATION AREA:.....YES

PROJECT DATA:

SITE ADDRESS: 32ND STREET
SAN DIEGO, CA 92102
APN: 539-563-06, -07, -10
NONE
CONSTRUCTION DATE: N/A
CALIFORNIA/ LAMBERT COORDINATES: 200-1731
NAD83 COORDINATES: 1840-6291

SITE DATA:

EX LOT SIZE = 42,322 SF (0.972 AC)
(P) LOT SIZE = 52,717 SF (1.21 AC)
[AFTER VACATION AND DEDICATION]
FLOOR AREA= 68,538 SF
F.A.R. (FLOOR AREA/LOT AREA) = 1.300

EXISTING USE:

VACANT LAND
PROPOSED USE:
RM-1-1

CONDOMINIUM STATEMENT:

THIS IS A RESIDENTIAL CONDOMINIUM PROJECT AS
DEFINED IN SECTION 4125 OF THE CIVIL CODE OF
THE STATE OF CALIFORNIA AND IS FILED
PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL
NUMBER OF RESIDENTIAL UNITS IS 38.

PROJECT DESCRIPTION:

- A TENTATIVE MAP (TM) FOR THE CREATION OF 38 RESIDENTIAL CONDOMINIUM UNIT OWNERSHIPS AND A NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) TO INCREASE THE ALLOWABLE RESIDENTIAL DENSITY FROM 10-15 DWELLING UNITS PER ACRE TO 16-29 DWELLING UNITS PER ACRE AND TO ALLOW CONSTRUCTION OF A WALL EXCEEDING 3-FEET IN HEIGHT WITHIN THE PUBLIC RIGHT-OF-WAY, FOR THE DEVELOPMENT OF 38 RESIDENTIAL CONDOMINIUM UNITS IN SIX 3-STORY BUILDINGS TOTALING 69,950 SQUARE FEET ON A 1.25 ACRE VACANT SITE LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF 32ND STREET AND BROADWAY AVENUE IN THE RM-1-1 (RESIDENTIAL-MULTIPLE UNIT) ZONE.
- THE PROJECT PROPOSES THE FOLLOWING 6 DEVIATIONS: (A) SETBACKS, (B) FLOOR AREA RATIO, (C) BUILDING HEIGHT, (D) CUL-DE-SAC RADIUS, (E) RETAINING WALL HEIGHT. SEE SHEET A0 FOR DETAILED DESCRIPTION OF DEVIATIONS.
- THE DEVELOPMENT INCLUDES THE PUBLIC RIGHT-OF-WAY VACATION OF BROADWAY AVENUE ADJACENT TO THE DEVELOPMENT UNDER SAN DIEGO MUNICIPAL CODE SECTION 125.0910.

UTILITY NOTES:

(SEE SHEET C.2)

PROJECT TEAM:

OWNER: 32ND AND BROADWAY, LLC
3184 AIRWAY AVENUE, SUITE B
COSTA MESA, CA 92626
(949) 233-6700
CIVIL ENGINEER: COFFEY ENGINEERING, INC.
9666 BUSINESS PARK AVENUE, SUITE 210
SAN DIEGO, CA 92131
(619) 831-0111
ARCHITECT: WOODLEY ARCHITECTURE GROUP, INC.
2943 PULLMAN STREET, SUITE A
SANTA ANA, CA 92705
(949) 553-8919
LANDSCAPE ARCHITECT: ENVRONS
2924 EMERSON STREET, SUITE 309
SAN DIEGO, CA 92106
(619) 232-7007
GEOTECHNICAL ENGINEER: NOVA SERVICES
4373 VIEWBRIDGE AVE., SUITE B
SAN DIEGO, CA 92123
(619) 292-7575
AIR QUALITY CONSULTANT: ASCENT ENVIRONMENTAL, INC.
1230 COLUMBIA STREET, SUITE 400
SAN DIEGO, CA 92101
(619) 219-8000

BIOLOGY:

BRIAN F. SMITH & ASSOCIATES, INC.
41010 POWAY ROAD, SUITE A
POWAY, CA 92064
(619) 484-0915

TRAFFIC:

DARNALL & ASSOCIATES, INC.
4411 MERCURY STREET, SUITE 207A
SAN DIEGO, CA 92111
(619) 233-9373

ACOUSTIC:

ELAR ASSOCIATES, INC.
210 SOUTH JUNIPER STREET, SUITE 100
ESCONDIDO, CA 92025
(760) 738-5570

ARCHAEOLOGY:

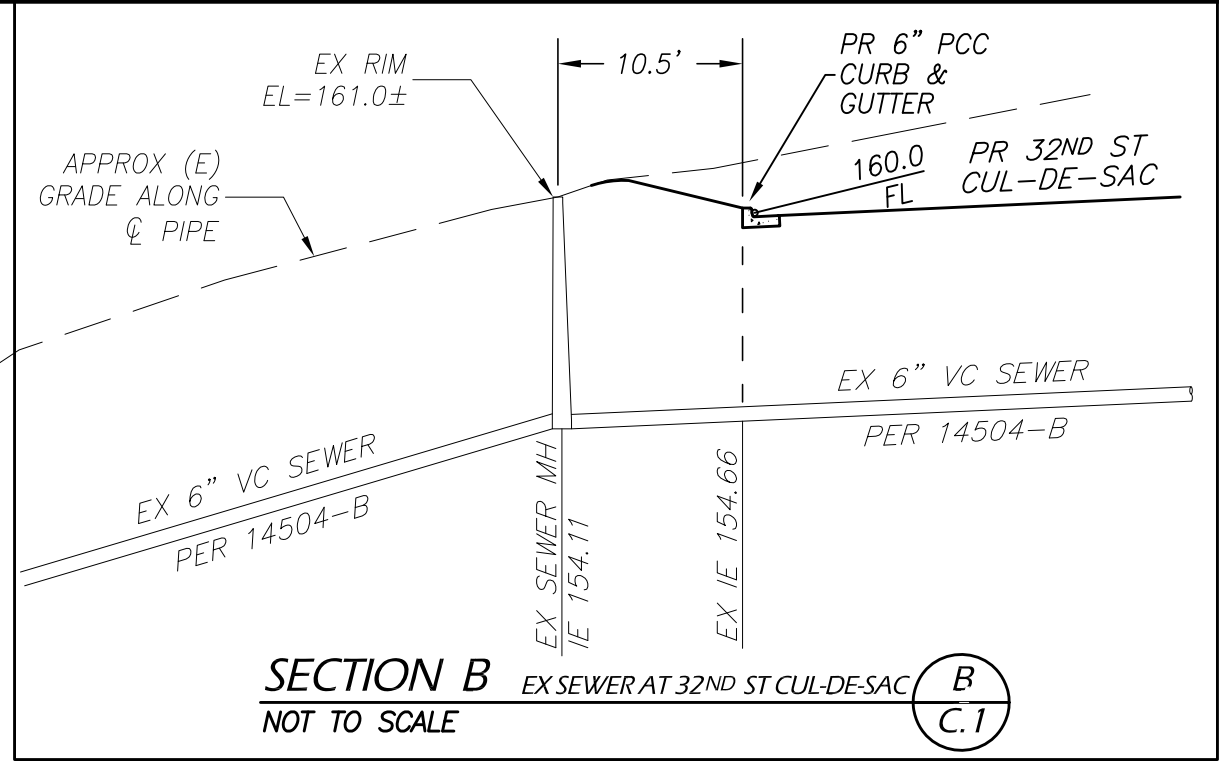
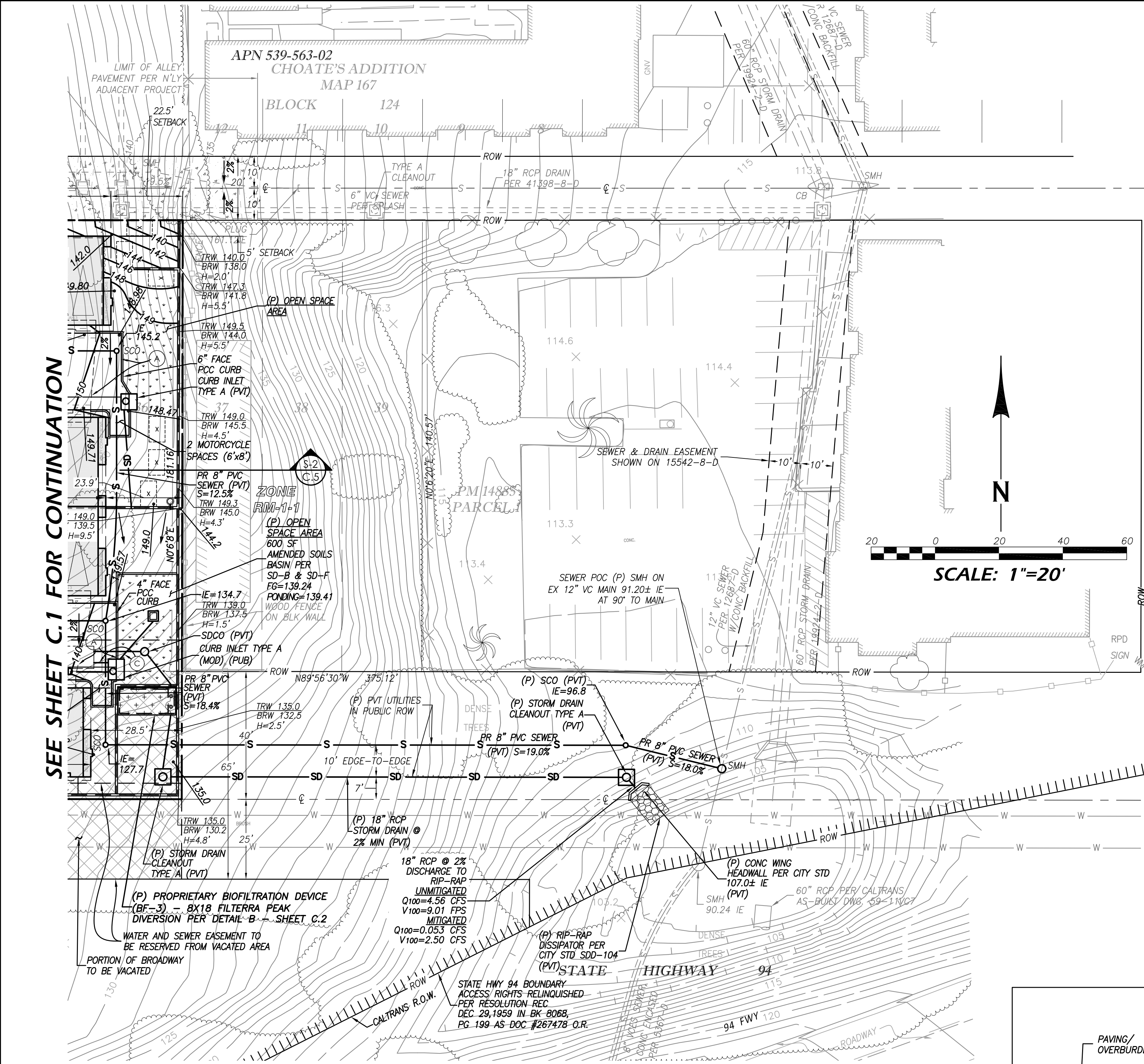
BRIAN F. SMITH & ASSOCIATES, INC.
41010 POWAY ROAD, SUITE A
POWAY, CA 92064
(619) 484-0915

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:	52,717 S.F.
AMOUNT OF CUT:	5,800 CUBIC YARDS
AMOUNT OF FILL:	5,800 CUBIC YARDS
MAXIMUM HEIGHT OF FILL SLOPE(S):	7.0 FEET
MAXIMUM HEIGHT OF CUT SLOPE(S):	N/A FEET
AMOUNT OF IMPORT/ EXPORT SOIL:	0 - CUBIC YARDS
RETAINING/ CRIB WALLS:	858 FEET

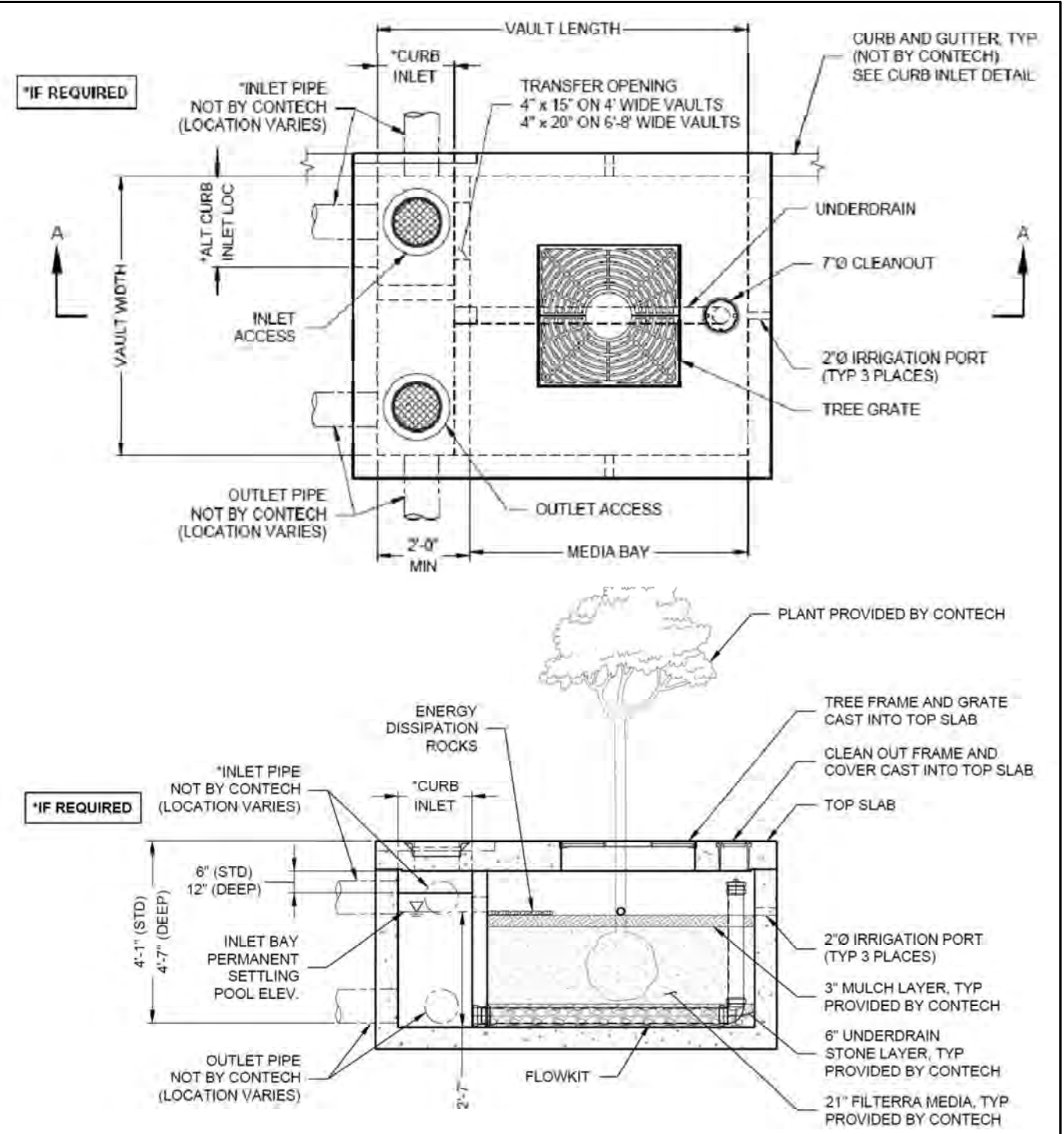
% OF TOTAL SITE:	100%
MAXIMUM DEPTH OF CUT:	9.2 FEET
MAXIMUM DEPTH OF FILL:	10.0 FEET
SLOPE RATIO:	2:1 MAX
SLOPE RATIO:	2:1 MAX
MAXIMUM HEIGHT:	9.5 FEET

CITY OF SAN DIEGO, CALIFORNIA	
NDP, TENTATIVE MAP	
32nd and BROADWAY	
32nd Street SAN DIEGO, CA 92102	
SITE PLAN / PRELIMINARY GRADING PLAN	
DRAWN BY: DTK	CHECKED BY: JSC
SHEET 1 OF 37	

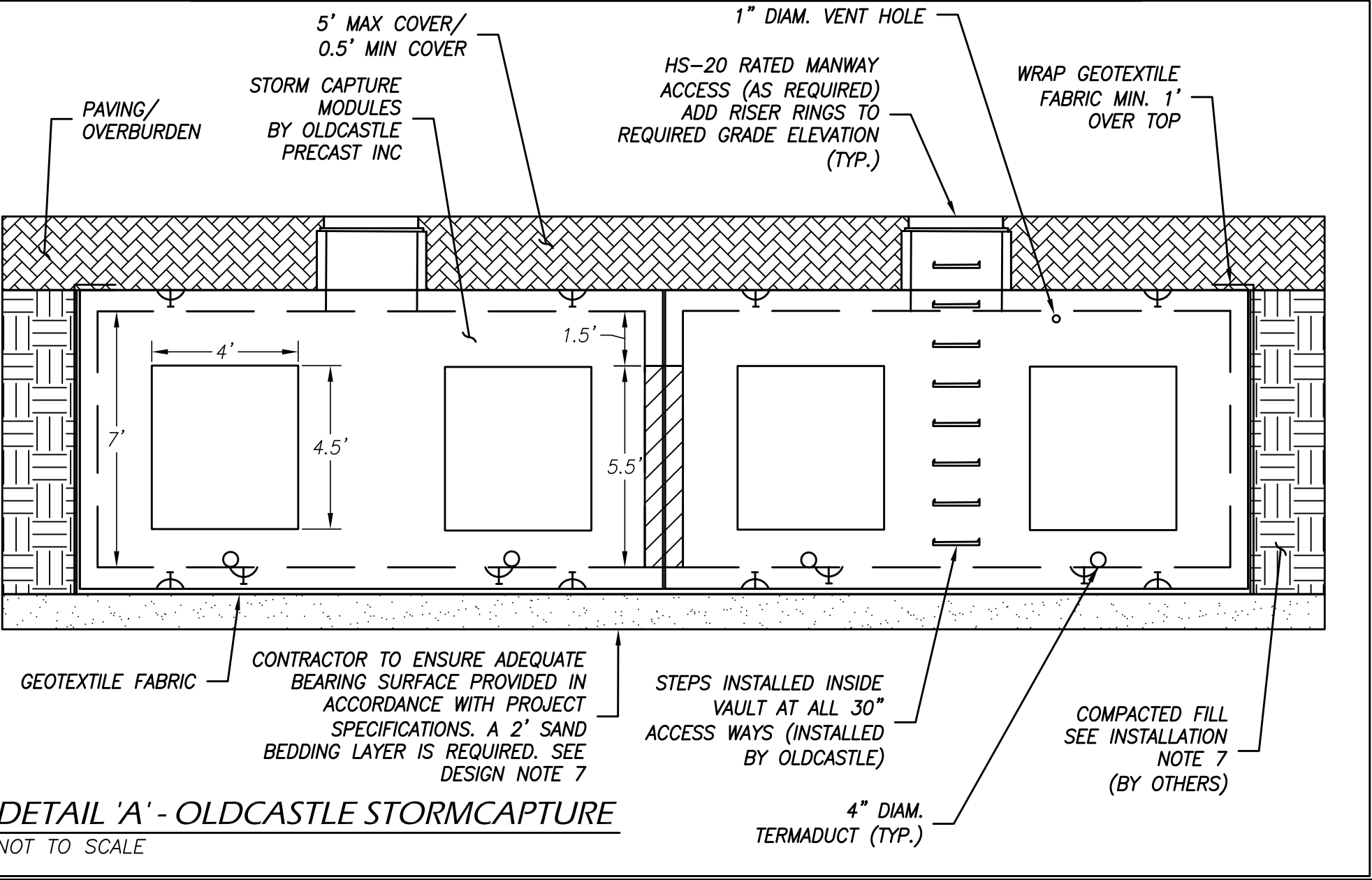
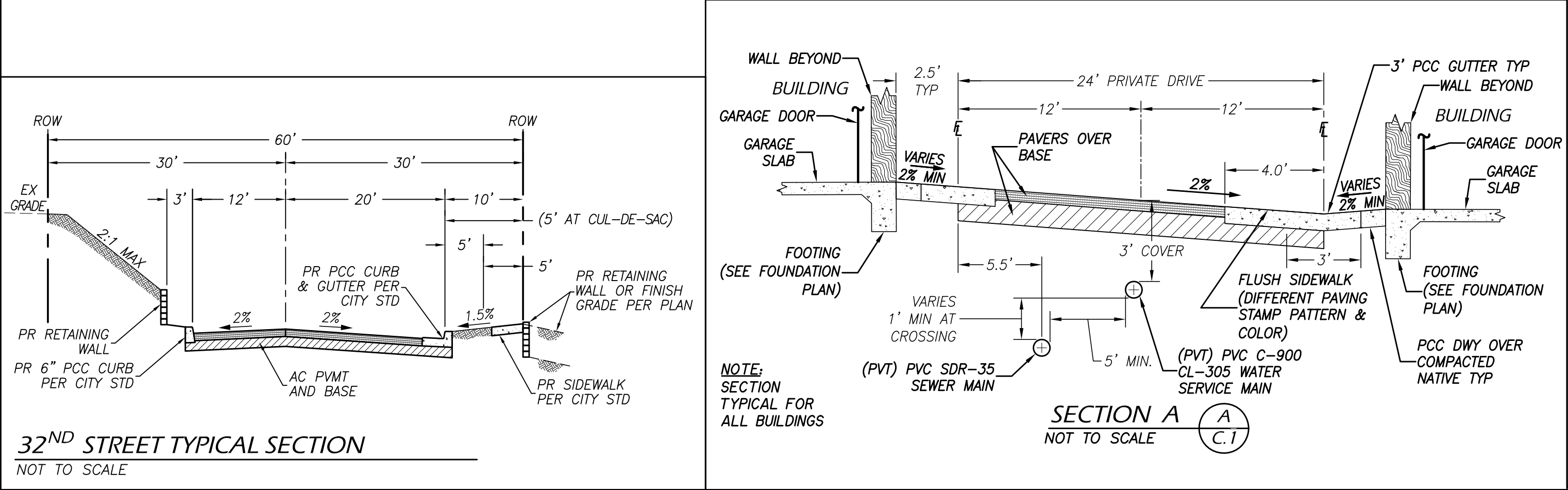


UTILITY NOTES:

- 1. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.
- 2. ALL PROPOSED WATER AND SEWER FACILITIES, BOTH PUBLIC AND PRIVATE, WHICH ARE TO BE LOCATED WITHIN THE PUBLIC ROW MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER AND SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, AND PRACTICES PERTAINING THERETO.



DETAIL 'B' - FILTERRA PEAK DIVERSION (FTPD0606) - 8x18 DEEP CONFIGURATION



DETAIL 'A' - OLDCASTLE STORMCAPTURE NOT TO SCALE

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE / TM BOUNDARY		N45°45'45"W
STREET CENTERLINE		90
(E) CONTOUR		100.00
(E) SPOT ELEVATION		W
(E) WATER LINE		S
(E) SEWER LINE		E / OH
(E) ELECTRIC CONDUIT		W
(E) WATER SERVICE		S
(E) SEWER SERVICE		W
(E) FIRE HYDRANT		90
(E) PALM		100.00
(E) BUILDING FOOTPRINT		90
(P) CONTOUR		100.00
(P) SPOT ELEVATION		90
(P) DRAINAGE SWALE OR DIRECTION OF FLOW		SD
(P) PCC DRAINAGE DITCH - TYPE D		SD
(P) PVT RCP STORM DRAIN LINE		SD
(P) FIRE HYDRANT		90
(P) LANDSCAPE DRAIN		90
(P) TREE ROOT ZONE (5'x8')		90
(P) CURB INLET		90
(P) CATCH BASIN, TYPE 'F'		90
(P) RIP RAP		90
(P) WATER SERVICE MAIN - 8" (PVT)		90
(P) WATER METER		90
(P) BACKFLOW PREVENTER / RPDA (PVT)		90
(P) SEWER MAIN - 8" (PVT)		90
(P) SEWER MANHOLE / CLEANOUT		90
(P) CMU STEMM WALL		90
(P) FREESTANDING WALL		90
(P) PVT GATE W/KNOX SWITCH		90
(P) BUILDING FOOTPRINT		90
(P) BUILDING OVERHEAD		90
(P) CONCRETE SIDEWALK		90
(P) PCC DRIVEWAY		90
(P) PCC CURB & GUTTER		90
(P) PCC CURB - 6" FACE		90
(P) PCC RIBBON GUTTER		90
(P) VACATION AREA		90
(P) OPEN SPACE AREA		90

ABBREVIATIONS

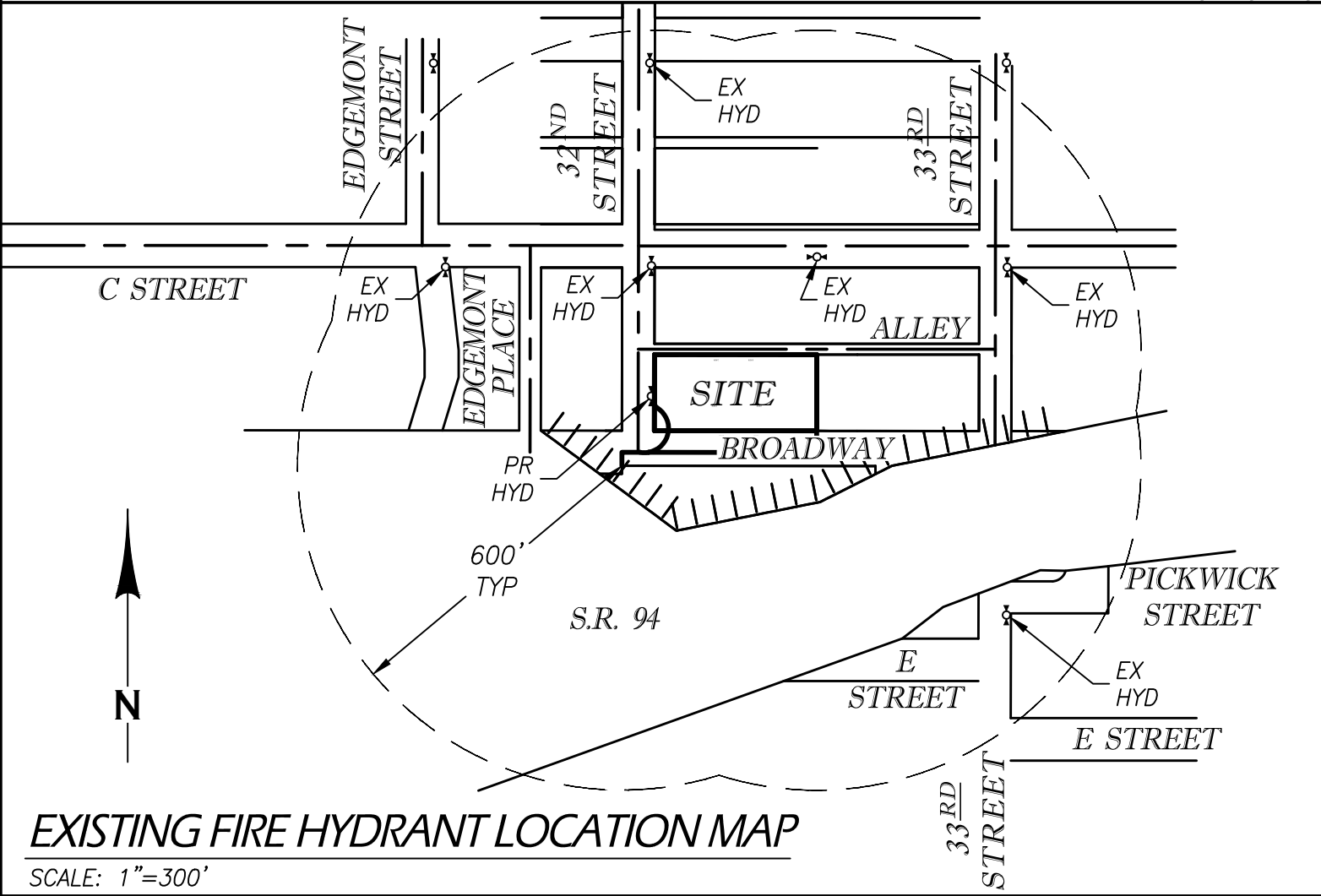
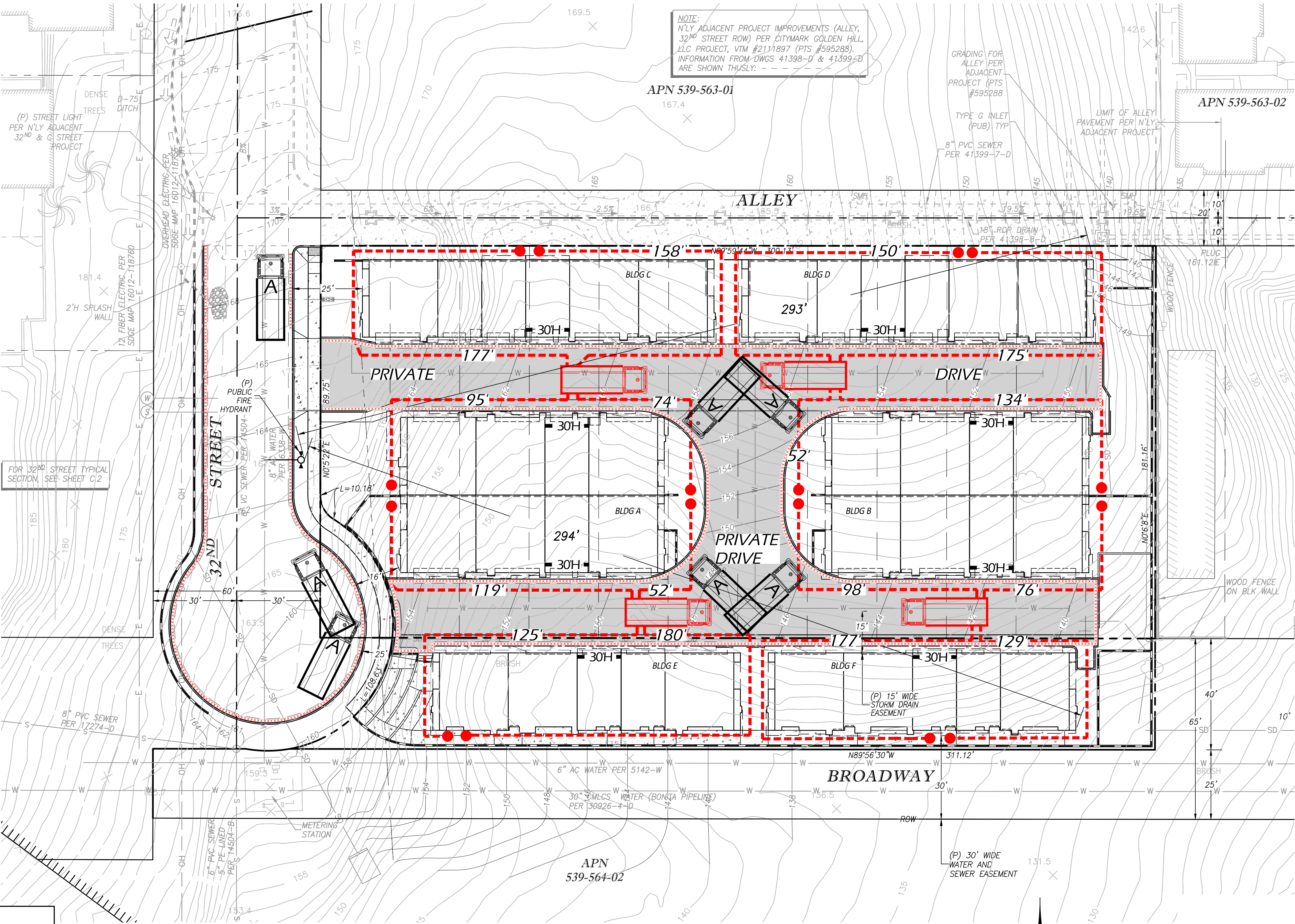
AC BRW CB CO CONC EL (E); EX FH FF FL FS GAR GNV H HP IE MAX MOD PA PCC	ASPHALTIC CONCRETE GRADE AT BOTTOM OF RETAINING WALL CATCH BASIN CLEANOUT CONCRETE ELEVATION EXISTING FIRE HYDRANT FINISH FLOOR FLOWLINE FINISH SURFACE/SLAB GARAGE GROUND NOT VISIBLE HEIGHT OF WALL (FROM FINISH GRADE) HIGH POINT INVERT ELEVATION MAXIMUM; MINIMUM MODIFIED PLANTING AREA PORTLAND CEMENT CONCRETE	POC (P); PR PUB PVC PVT RCP RPDA SW SWR STD SMH SWK TC TRW TW	POINT OF CONNECTION PROPOSED POLYVINYLCHLORIDE PAVEMENT PRIVATE REINFORCED CONCRETE PIPE REDUCED PRESSURE DETECTOR ASSY STORM WATER SEWER STANDARD SEWER MANHOLE SIDEWALK TOP OF CURB GRADE AT TOP OF RETAINING WALL TOP OF WALL (IF WALL EXTENDS ABOVE GRADE) VITRIFIED CLAY; VC EXTRA STRENGTH WITH; WITHOUT WATER METER
--	---	---	--



CITY OF SAN DIEGO, CALIFORNIA	
NDP, TENTATIVE MAP	
32nd and BROADWAY	
32nd Street SAN DIEGO, CA 92102	
SITE PLAN / PRELIMINARY GRADING PLAN	
DRAWN BY: DTK	CHECKED BY: JSC
SHEET 2 OF 37	

FIRE NOTES

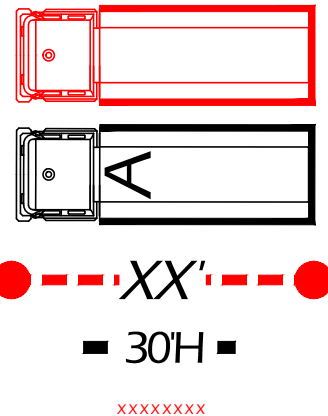
- 1. BUILDING ADDRESS NUMBERS WILL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209 AND UFC 901.4.4.
- 2. AN ILLUMINATED DIRECTORY, IN ACCORDANCE WITH FHPS POLICY I-00-6 SHALL BE PROVIDED.
- 3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. (CFC 503.2.3)
- 4. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. (CFC 501.4)
- 5. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (CFC 503.2.5 SEE APPENDIX D, CFC FIGURE D103.1: RADIUS 30' INSIDE 50' OUTSIDE.)
- 6. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. (912.2.1)
- 7. SAN DIEGO MUNICIPAL CODE SECTION 855.0507 ITEM (C) HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT.
- 8. CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED. (CFC 507.5.5)
- 9. PHYSICAL PROTECTION - IF ADDITIONAL HYDRANTS ARE REQUIRED AND WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 312. (CFC 507.5.6)
- 10. STREETS AND ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. (CFC 505.2)
- 11. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.
- 12. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
- 13. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. (CFC 105.4.4)
- 14. FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.



FIRE ACCESS PLAN

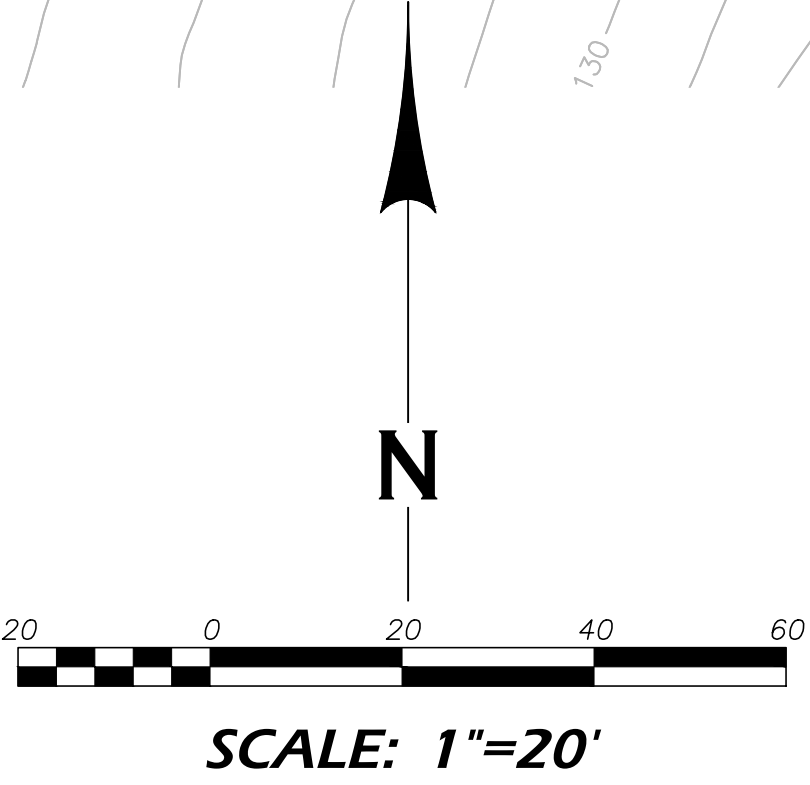
LEGEND:

- PRESUMED FIRE TRUCK LOCATION
- PRESUMED AERIAL ACCESS FIRE TRUCK LOCATION
- HOSE PULL W/LENGTH
- 30 FOOT HIGH UNIT
- RED PAINTED CURB OR STRIPE

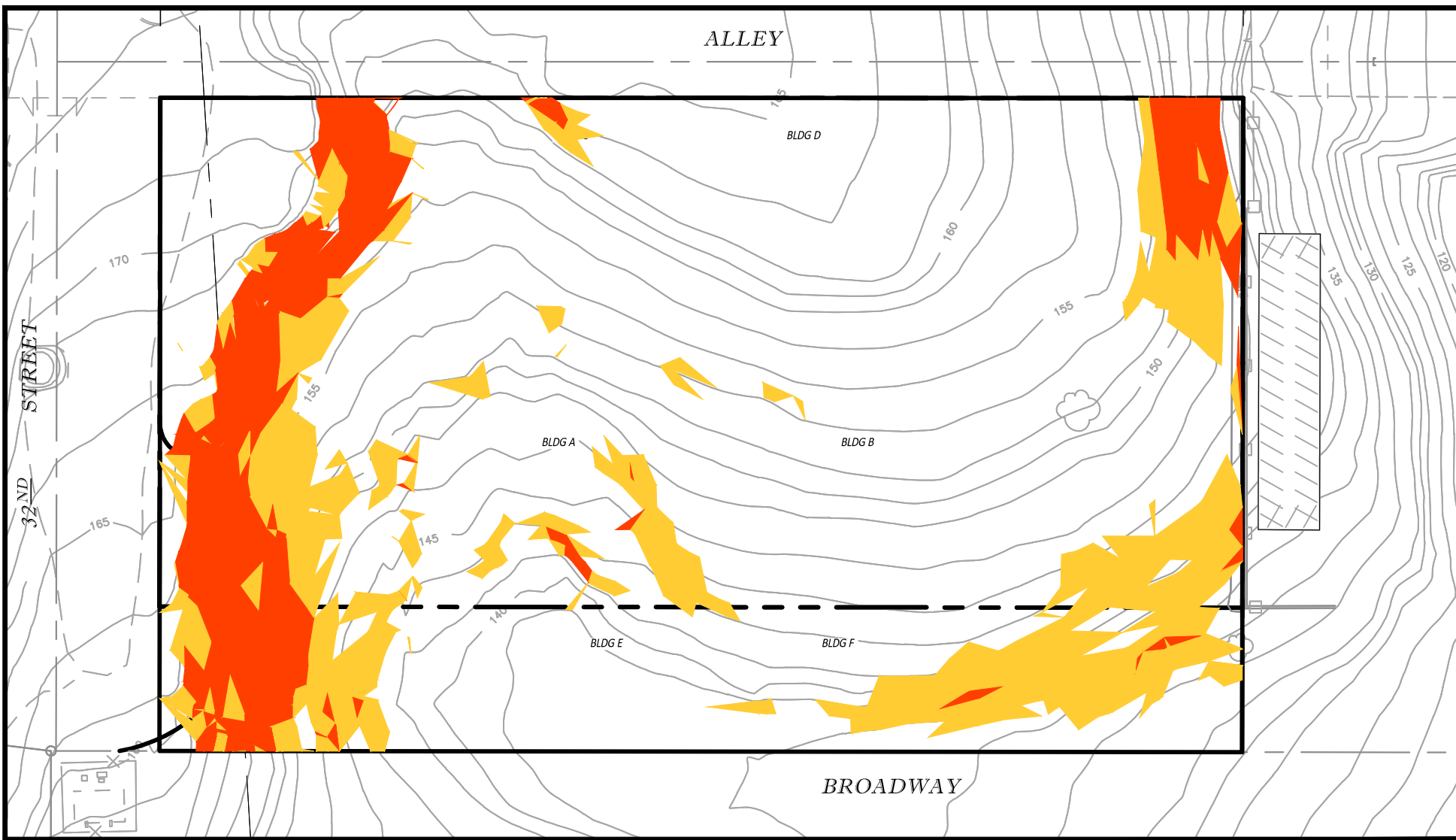
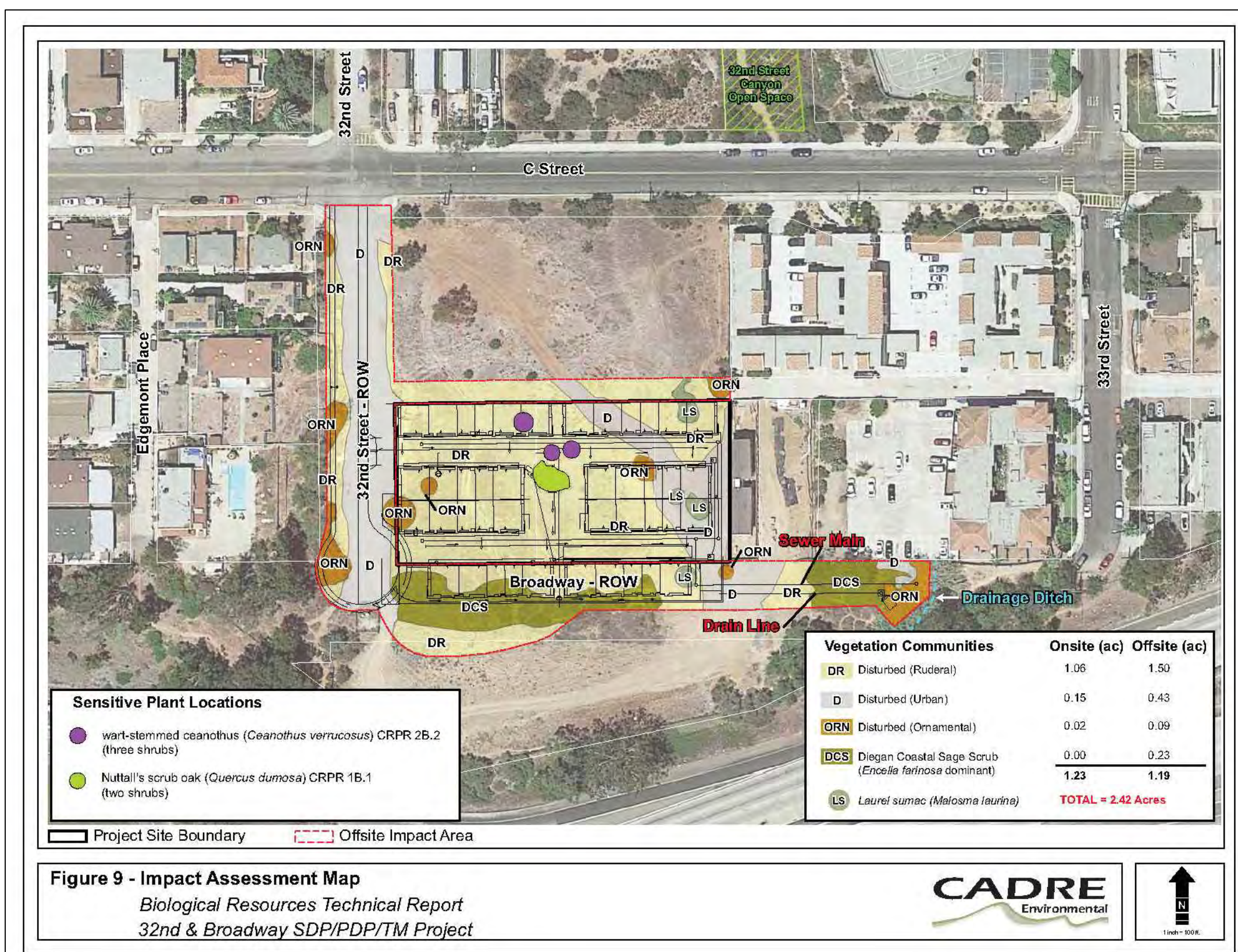


NOTE:

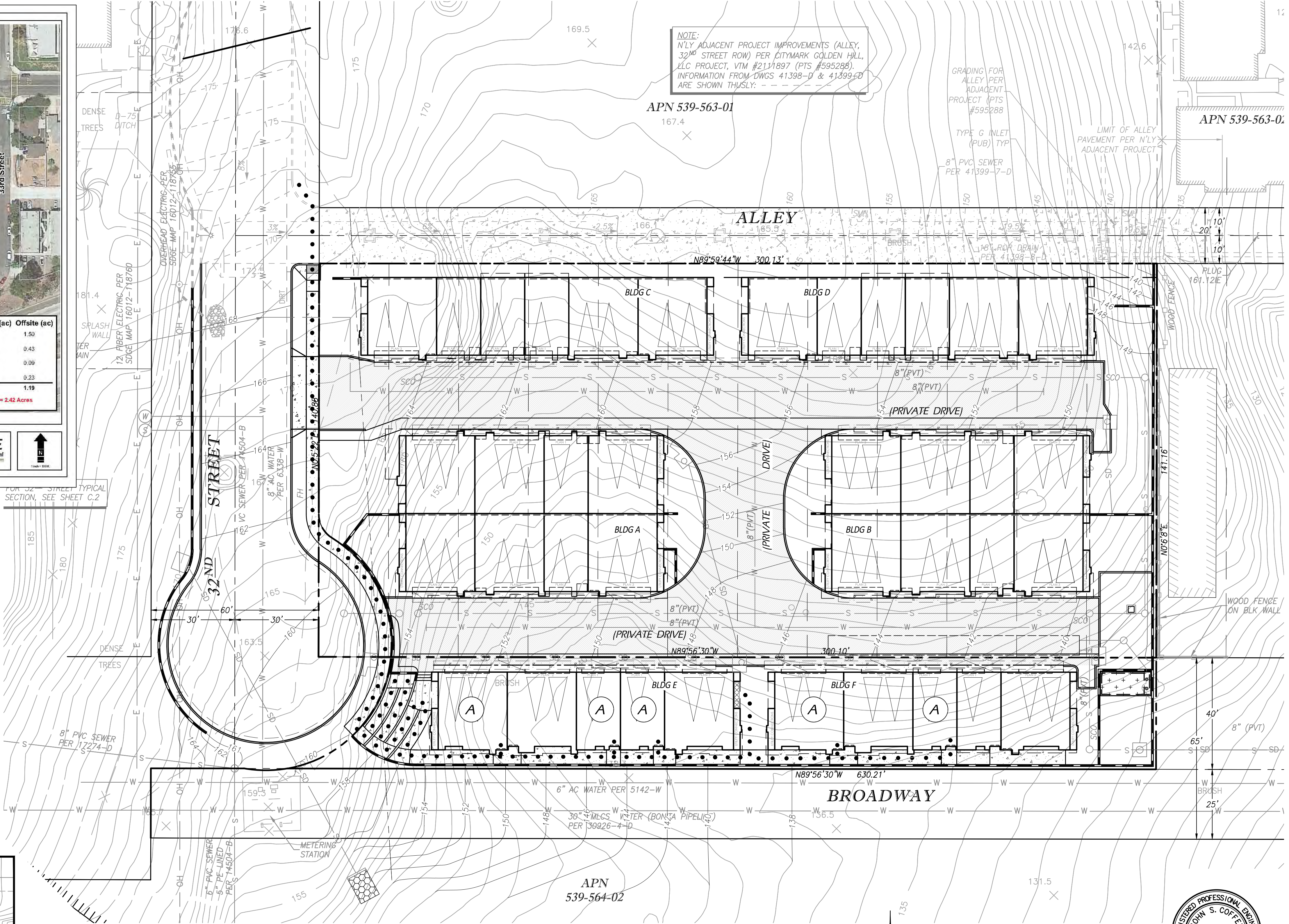
THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.



CITY OF SAN DIEGO, CALIFORNIA		
NDP, TENTATIVE MAP		
<i>32nd and BROADWAY</i> <i>32nd Street</i> <i>SAN DIEGO, CA 92102</i>	REVISIONS	ORIGINAL
		10/5/20
<i>FIRE ACCESS PLAN</i>		C.3
DRAWN BY: DTK		SHEET 3 OF 37
CHECKED BY: JSC		



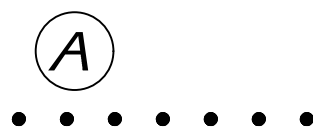
SITE BOUNDARY WITH STEEP SLOPE ANALYSIS
SCALE: 1"=40'



ADA ACCESSIBLE ROUTE

LEGEND:

ADAPTABLE/ ACCESSIBLE UNIT
ACCESSIBLE ROUTE



SLOPE ANALYSIS LEGEND

	SLOPE	ACRES
	0-25%	0.94
	25-35%	0.18
	35% (+)	0.11



COFFEY ENGINEERING, INC.
9466 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (619) 831-0111 FAX (619) 831-0179

CITY OF SAN DIEGO, CALIFORNIA	
NDP, TENTATIVE MAP	
32nd and BROADWAY	
32nd Street SAN DIEGO, CA 92102	
ACCESSIBLE ROUTE PLAN	ORIGINAL 10/5/20
	REVISIONS
C.4	
DRAWN BY: DTK CHECKED BY: JSC	SHEET 4 OF 37

AIRPORT LAND USE COMPATIBILITY PLAN

NOISE:
THIS PROJECT IS LOCATED IN THE 65 TO 70 DECIBEL (dB) COMMUNITY NOISE EQUIVALENT LEVEL (CNEL) AS DEPICTED IN THE ALUCP. THE ALUCP REQUIRES NEW RESIDENTIAL USES ABOVE THE 60 dB CNEL PROVIDE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL FOR ALL HABITABLE ROOMS. ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL FOR ALL HABITABLE ROOMS.

AIRSPACE:
THE MAXIMUM HEIGHT OF THE PROPOSED STRUCTURES IS 199.4 FT. ABOVE MEAN SEA LEVEL (AMSL). THE FAA PART 77 NOTIFICATION SURFACE IS BELOW THE SITE AT 155 FE. AMSL.

I, _____ do hereby certify that the structure(s) or modification to the existing structure(s) shown on these plans do not require federal aviation administration notification because per Section 77.15(a) of the Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

LAND USE/AFFORDABLE HOUSING NOTES:

THIS PROJECT WAS ANALYZED UNDER THE GREATER GOLDEN HILL COMMUNITY PLAN RM-1-1 ZONE WITH A PLANNED DEVELOPMENT PERMIT (PDP) OPTION FOR DENSITY INCREASE. THE PDP OPTION WITHIN THE GREATER GOLDEN HILL COMMUNITY PLAN RESIDENTIAL MULTI-UNIT ZONE THAT ALLOWS A DENSITY OF ONE UNIT PER 1,500 SQUARE FEET OF LOT AREA OR MAXIMUM OF 36 UNITS.

AFFORDABLE / IN-FILL / SUSTAINABLE PROJECT WITH DEVIATIONS MAY BE PERMITTED WITH A NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) UNDER SDMC 143.0915

1.21 ACRES @ 43,560 SF/ACRE = 52,717 SF
52,717 SF / 1,500 SF (PDP DENSITY OPTION) = 35.14 UNITS
ROUNDED = 36 UNITS
MARKET RATE UNITS = 34 UNITS
AFFORDABLE UNITS = 4 UNITS

THE PROJECT PROPOSES CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT CONSISTING OF 38 DWELLING UNITS INCLUDING 34 MARKET-RATE AND 4 LOW-MODERATE INCOME UNITS, INCLUDING 62 PARKING SPACES, 4 MOTORCYCLE SPACES, 2 ELECTRIC VEHICLE CHARGING STATIONS AND COMMON AREA.

THE PROJECT IS UTILIZING THE CITY'S AFFORDABLE HOUSING DENSITY BONUS PURSUANT TO SDMC 143.0301 TO ACHIEVE 38 UNITS. UNDER SDMC 143.0301 THE PROJECT IS ALLOWED 38 UNITS.

INCENTIVE & DEVIATION SUMMARY

INCENTIVE	HEIGHT	TYPE	REQUIRED	PROPOSED	CODE SECTION	DIAGRAM
NO. 1		SETBACK SIDE (SOUTHERN)	30 FEET	45 FEET	131.0431(R)	131-04G
DEVIATION		TYPE	REQUIRED	PROPOSED	CODE SECTION	TABLE
NO. 1		SETBACK SIDE (SOUTHERN)	GREATER THAN 8'	LESS THAN 8'	131.0443	131-04G
NO. 2		ANGLED BUILDING ENVELOPE PLANE	45 DEGREE ANGLE	NONE	131.0444(R)(1)	131-04H
NO. 3		FLOOR AREA RATIO (FAR) 1-1 (0.75)	39,538 SF	68,538 SF	131.0431 (R)	131-04G
NO. 4		RETAINING WALL HEIGHT			142.0342(C)(1)	
		FRONT / STREET SIDE	3'	9.5'	142.0342(C)(1)	
		SIDE / REAR	6'	7'	142.0342(C)(1)	

CAP STRATEGIES

- PROJECT WILL INCLUDE ROOFING MATERIALS WITH A MINIMUM 3-YEAR AGED SOLAR REFLECTION AND THERMAL EMITTANCE OR SOLAR REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN THE VOLUNTARY MEASURES UNDER CALIFORNIA GREEN BUILDING STANDARDS CODE (STRATEGY 1: ENERGY & WATER EFFICIENT BUILDINGS - COOL/GREEN ROOFS)
- PLUMBING FIXTURES AND FITTING WILL NOT EXCEED MAXIMUM FLOW RATE SPECIFIED IN TABLE A5.303.2.3.1 (VOLUNTARY MEASURES) OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE. (STRATEGY 1: ENERGY & WATER EFFICIENT BUILDINGS - PLUMBING FIXTURES AND FITTINGS)
- 50% (MIN.) OF THE DWELLING UNITS WILL HAVE REQUIRED LISTED CABINETS, BOXES OR ENCLOSURES NECESSARY FOR ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLED TO PROVIDE ACTIVE ELECTRIC VEHICLE CHARGING STATIONS READY TO USE BY RESIDENTS. (STRATEGY 3: BICYCLE, WALKING, TRANSIT & LAND USE - ELECTRIC VEHICLE CHARGING)
- BUILDINGS WILL BE SOLAR READY PER CURRENT BUILDING CODE STANDARDS

PARKING SUMMARY

UNIT BREAKDOWN	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
LOW/MODERATE INCOME UNITS(100% AMI)	4						4
MARKET RATE UNITS	34						34
TOTAL UNITS	38						38
PARKING-PROVIDED	UNITS	BEDS/UNIT	BEDROOMS	SPACES/UNIT	PARKING	SPACES	
PLAN 1-MARKET RATE	12	1	12	1.00	12		
PLAN 1-AFFORDABLE	2	1	2	1.00	2		
PLAN 2-MARKET RATE	7	2	14	2.00	14		
PLAN 2-AFFORDABLE	1	2	2	2.00	2		
PLAN 3-MARKET RATE	15	3	45	2.00	30		
PLAN 3-AFFORDABLE	1	3	3	2.00	2		
TOTAL	38	0	78		62		

ELECTRIC VEHICLES (MIN. 3% OF TOTAL UNITS) 1.86 ROUNDED TO 2 UNITS

SECTION 4.106.4.2 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE.

PARKING-REQUIRED	UNITS	BEDS/UNIT	BEDROOMS	SPACES/UNIT	PARKING	SPACES	
PLAN 1-MARKET RATE	12	1	12	1.00	12		
PLAN 1-AFFORDABLE	2	1	2	1.00	2		
PLAN 2-MARKET RATE	7	2	14	2.00	14		
PLAN 2-AFFORDABLE	1	2	2	2.00	2		
PLAN 3-MARKET RATE	15	3	45	2.00	30		
PLAN 3-AFFORDABLE	1	3	3	2.00	2		
TOTAL	38		78		62		

ELECTRIC VEHICLES (MIN. 3% OF TOTAL UNITS) 1.86 ROUNDED TO 2 UNITS

SECTION 4.106.4.2 OF THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE.

NOTE - SECTION 143.0720 & 143.0744 FOR VEHICLE SPACES

MOTORCYCLE-PROVIDED	SPACES/UNIT	SPACES	ROUNDED	SPACES
TOTAL UNITS	38	0.1	3.8	4

NOTE-TABLE 142-05C

MOTORCYCLE-REQUIRED	SPACES/UNIT	SPACES	ROUNDED	SPACES
TOTAL UNITS	38	0.1	3.8	4

NOTE-TABLE 142-05C

BICYCLE-PROVIDED	UNITS	SPACES/UNIT	SPACES	ROUNDED	SPACES
PLAN 1	14	2.00	28.00		28
PLAN 2	8	2.00	16.00		16
PLAN 3	16	2.00	32.00		32
TOTAL	38		76.00		76

BICYCLE-REQUIRED	UNITS	SPACES/UNIT	SPACES	ROUNDED	SPACES
PLAN 1	14	0.40	5.60		6
PLAN 2	8	0.50	4.00		4
PLAN 3	16	0.60	9.60		10
TOTAL	38		19.20		19

NOTE: PER FOOTNOTE 5 OF TABLE 142-05C, BICYCLE RACKS ARE NOT REQUIRED FOR A DWELLING UNIT WITH A GARAGE ONLY ACCESSIBLE ONLY

SETBACK TABLE SUMMARY

	PROPOSED	REQUIRED
STREET SIDE (32ND ST.)	5.5'-28"	5'-20"
STANDARD SIDE (EAST)	22.5'	15'
INTERIOR SIDES		
NORTHERN - ALLEY	5'	5'
SOUTHERN - BROADWAY VACATION	LESS THAN 8'	GREATER THAN 8'

BUILDING HEIGHT TABLE SUMMARY

PROPOSED	MAXIMUM
45'	30'

COMMON AREA SUMMARY

	PROPOSED	REQUIRED
COMMON AREA 1	594 SF	
COMMON AREA 1	594 SF	
TOTAL AREA	1,188 SF	950 SF

STORAGE TABLE SUMMARY (SDMC 131.0454)

PLAN	PROVIDED	REQUIRED
1	240 CF	240 CF
2	240 CF	240 CF
3	240 CF	240 CF

NOTE: STORAGE IS INSIDE GARAGE AREA w/ MINIMUM 7-FOOT HORIZONTAL DIMENSION ALONG ONE PLANE.

REFUSE & RECYCLE SUMMARY

REFUSE (SDMC 142.0813)	PROVIDED	REQUIRED
1	12 SF	12 SF
2	12 SF	12 SF
3	12 SF	12 SF

NOTE: REFUSE AREA IS INSIDE GARAGE AREA

RECYCLE (SDMC 142.0810)	PROVIDED	REQUIRED
1	12 SF	12 SF
2	12 SF	12 SF
3	12 SF	12 SF

NOTE-RECYCLE AREA IS INSIDE GARAGE AREA

F.A.R. / SQ. FT. SUMMARY UNITS

BUILDING	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "A"	8						8
BUILDING "B"	8						8
BUILDING "C"	6						6
BUILDING "D"	5						5
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

BUILDING "A"	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "A"	8						8
BUILDING "B"	8						8
BUILDING "C"	6						6
BUILDING "D"	5						5
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

BUILDING "B"	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "B"	8						8
BUILDING "C"	6						6
BUILDING "D"	5						5
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

BUILDING "C"	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "C"	6						6
BUILDING "D"	5						5
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

BUILDING "D"	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "D"	5						5
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

BUILDING "E"	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

BUILDING "F"	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "F"	5						5
TOTAL	38						38

SUMMARY	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
SUBTOTAL BLDG. "A"	8						8
SUBTOTAL BLDG. "B"	8						8
SUBTOTAL BLDG. "C"	6						6
SUBTOTAL BLDG. "D"	5						5
SUBTOTAL BLDG. "E"	5						5
SUBTOTAL BLDG. "F"	5						5
TOTAL	38						38

NOTE - SF WITHOUT END UNIT BALCONIES	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
NOTE - SF WITHOUT END UNIT BALCONIES	38						38

F.A.R. / SQ. FT. SUMMARY - BUILDINGS

BUILDING	UNITS	FLOOR	2ND	3RD	GARAGE	BALCONY	TOTAL
BUILDING "A"	8						8
BUILDING "B"	8						8
BUILDING "C"	6						6
BUILDING "D"	5						5
BUILDING "E"	5						5
BUILDING "F"	5						5
TOTAL	38						38

SITE AREA	1.21 ACRES @ 43,560 SF/ACRES (SF)	52,717
FAR		
BASE RM-1-1 FAR	75% OF AREA	39,538

UNIT MIX SUMMARY

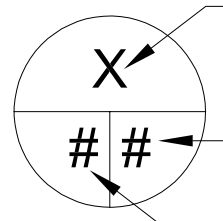
	PLAN 1	PLAN 2	PLAN 3	TOTAL
SQUARE FOOTAGE	866-915-993	1413-1428	1534-1552-1635	
BUILDING "A"	2	2	4	8
BUILDING "B"	2	2	4	8
BUILDING "C"	3	1	2	6
BUILDING "D"	3	1	2	6
BUILDING "E"	2	1	2	5
BUILDING "F"	2	1	2	5
TOTAL	14	8	16	38

PRIVATE OPEN SPACE SUMMARY (SDMC 131.0455)

BUILDING	UNITS	REQUIRED	PROVIDED
BUILDING "A"	8	480	654
BUILDING "B"	8	480	654
BUILDING "C"	6	360	450
BUILDING "D"	6	360	450
BUILDING "E"	5	300	355
BUILDING "F"	5	300	357
TOTAL	38	2,280	2,920

NOTE-ALL BALCONIES INCLUDED

LEGEND:



BUILDING NO./LETTER
(I.E. 'A' IS BUILDING 'A')

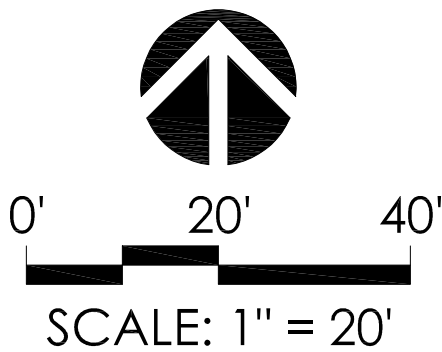
PLAN TYPE
(I.E. '1' IS PLAN ONE)

UNIT NO.
(I.E. '1' IS UNIT 1)

AU = ACCESSIBLE UNIT LOCATION

F = FIRE LADDER ACCESS UNIT FROM STREET. REFER TO ELEVATIONS.

NOTE: REFER TO CIVIL SHEETS C-1, C-2 & TM.1 AND LANDSCAPE SHEETS L-1 THROUGH L-4 FOR ADDITIONAL INFORMATION AND NOTES NOT IDENTIFIED HERE.



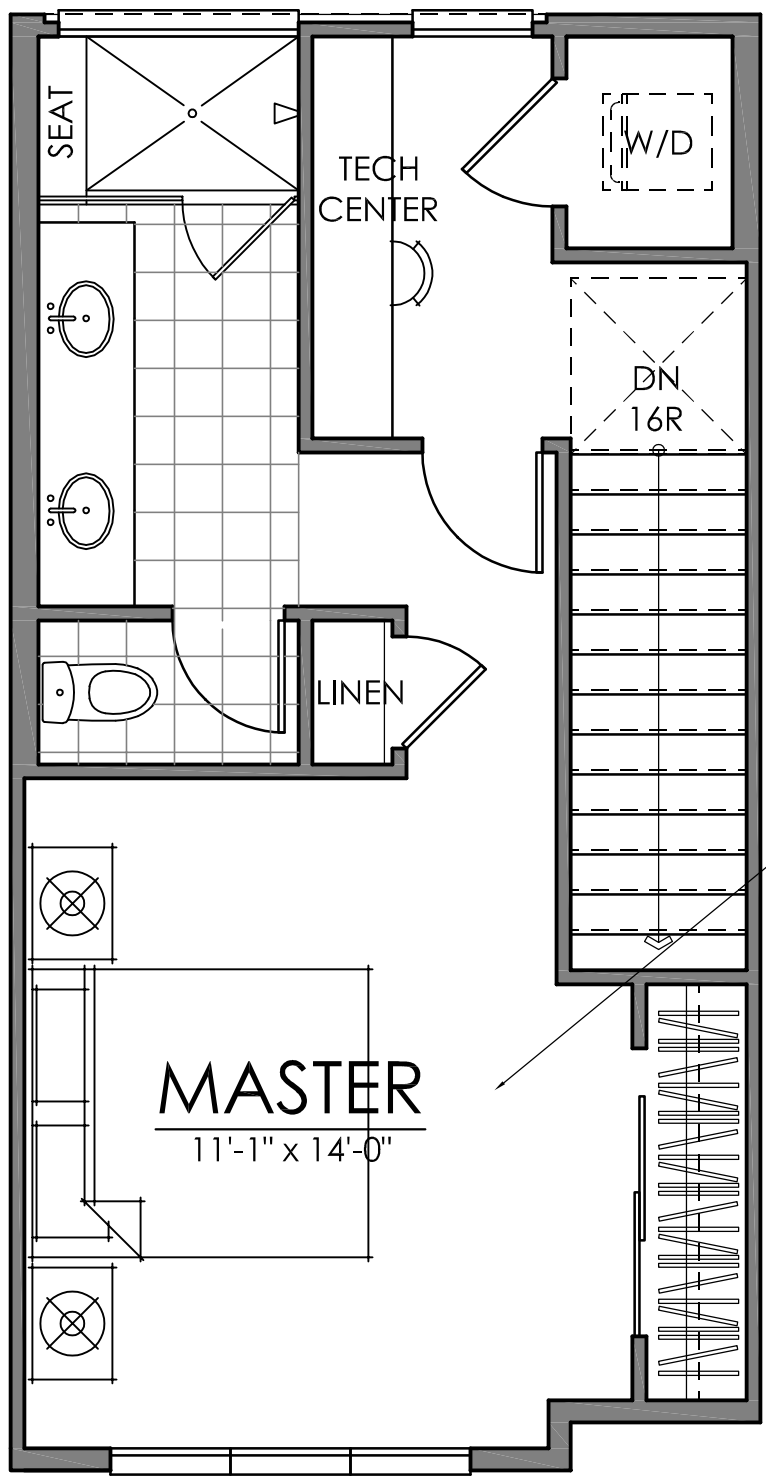
ARCHITECTURAL SITE PLAN
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

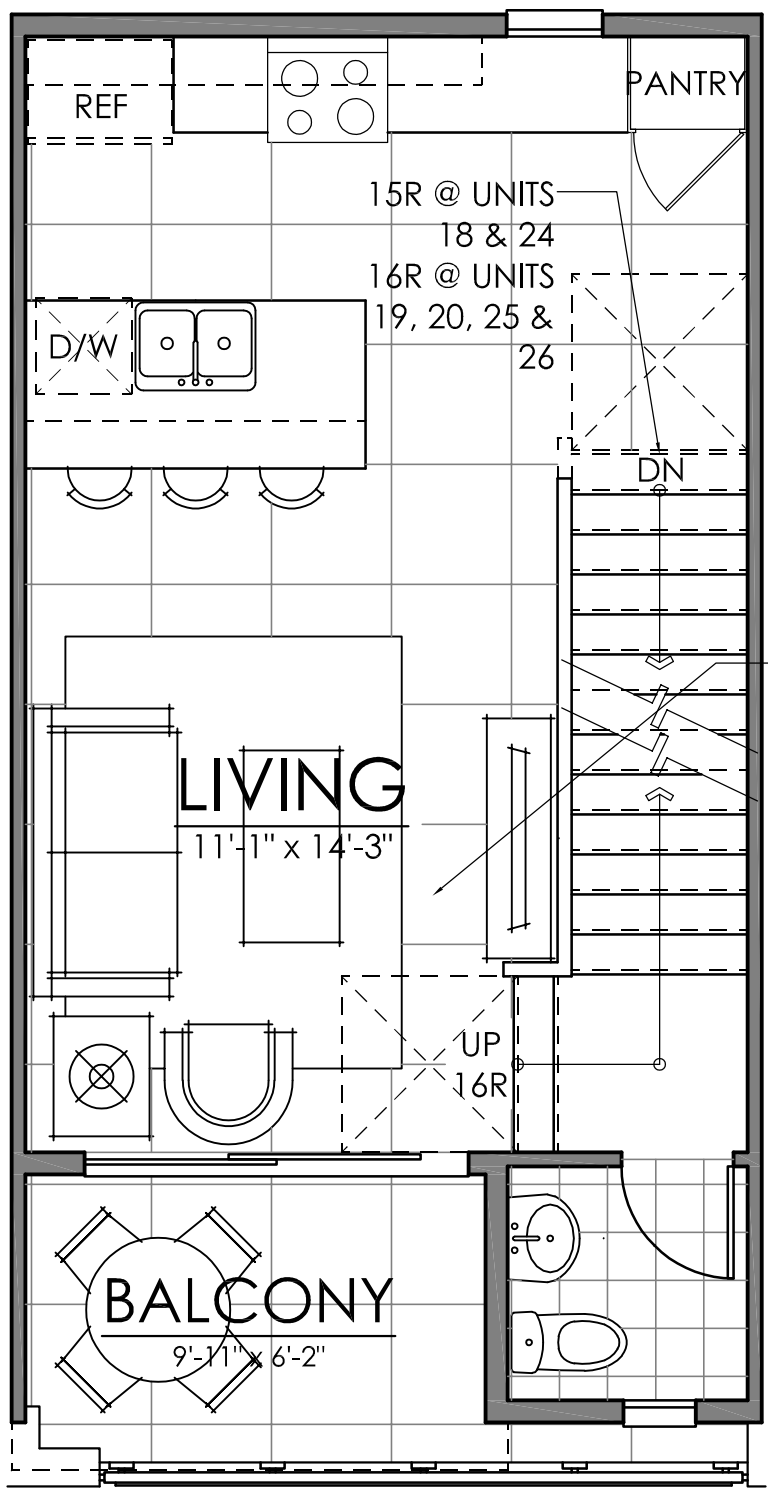
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

10.02.20

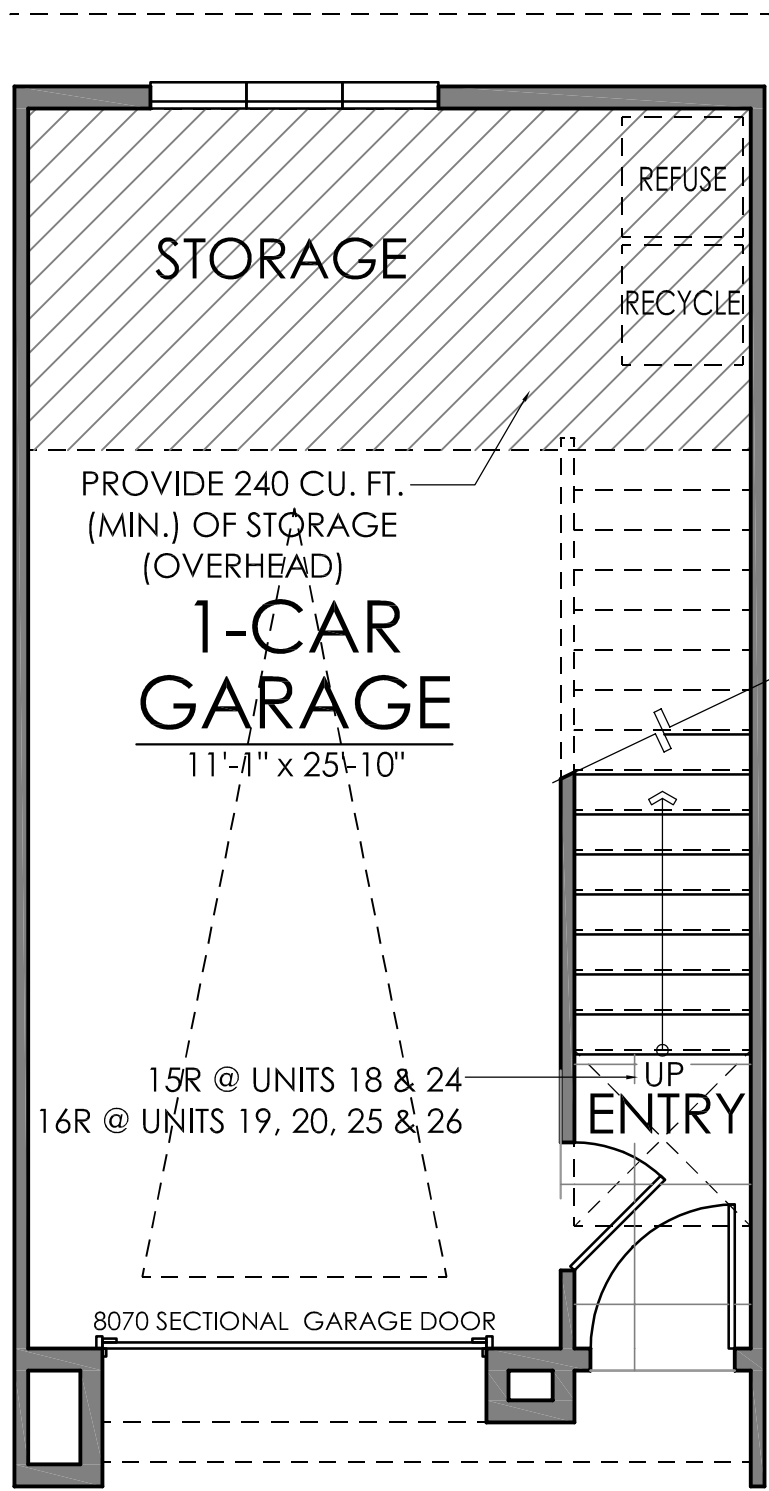




MASTER: 197 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	15.74 SQ. FT.
LIGHT PROVIDED:	33.75 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	
VENTILATION REQUIRED:	7.88 SQ. FT.
VENTILATION PROVIDED:	22.5 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF ARE OF THE FLOOR AREA SERVED PER CBC SECTION 1202.5.1	



KITCHEN / LIVING AREA: 292 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	23.36 SQ. FT.
LIGHT PROVIDED:	72.35 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	
VENTILATION REQUIRED:	11.68 SQ. FT.
VENTILATION PROVIDED:	36 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF ARE OF THE FLOOR AREA SERVED PER CBC SECTION 1202.5.1	



PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 8'-1" PLATE HT., 7'-6" WDW HT.

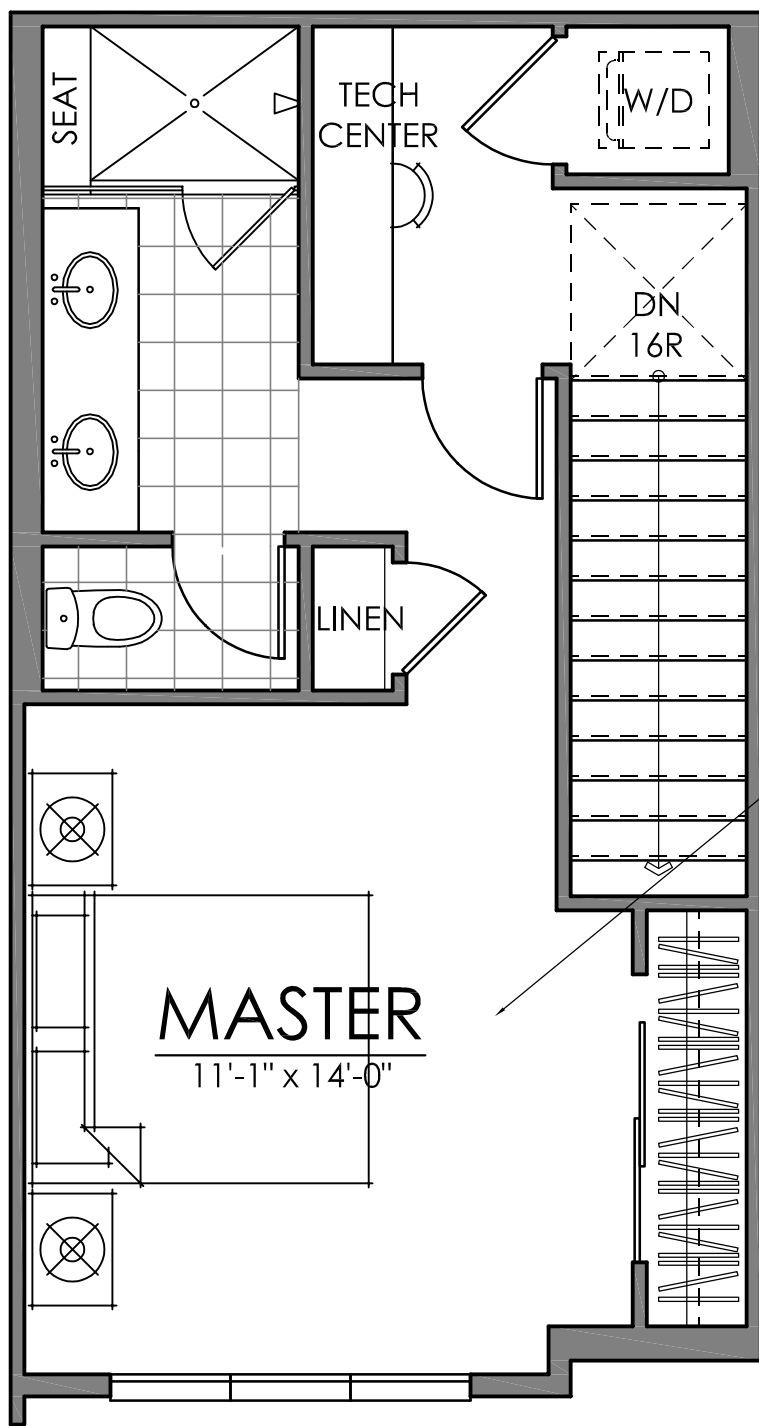
PLAN ONE	
FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.
PRIVATE EXT. OUTDOOR	
SPACE (BALCONY)	61 SQ. FT.
GARAGE (W/ STORAGE)	331 SQ. FT.

BLDG. C-D | PLAN ONE | 915 SQ. FT.

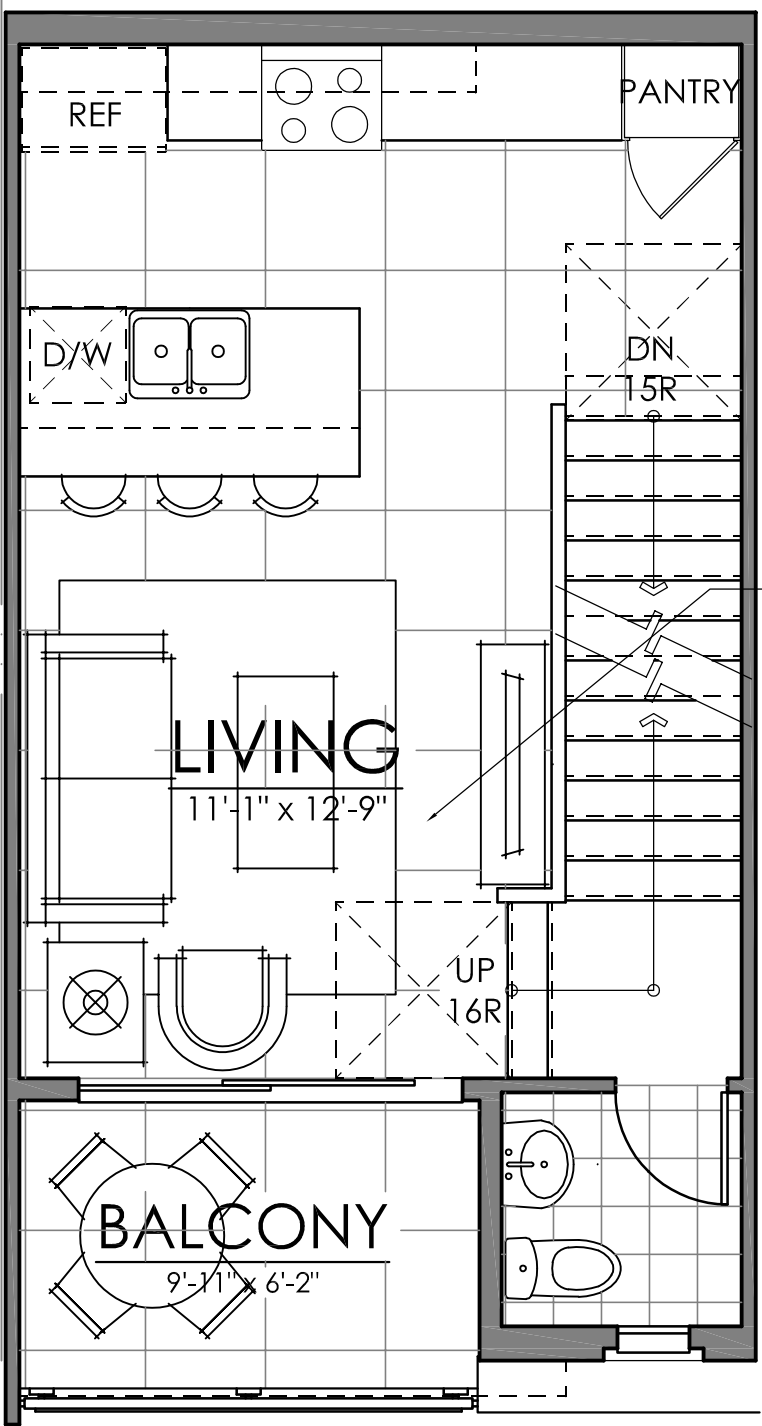
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

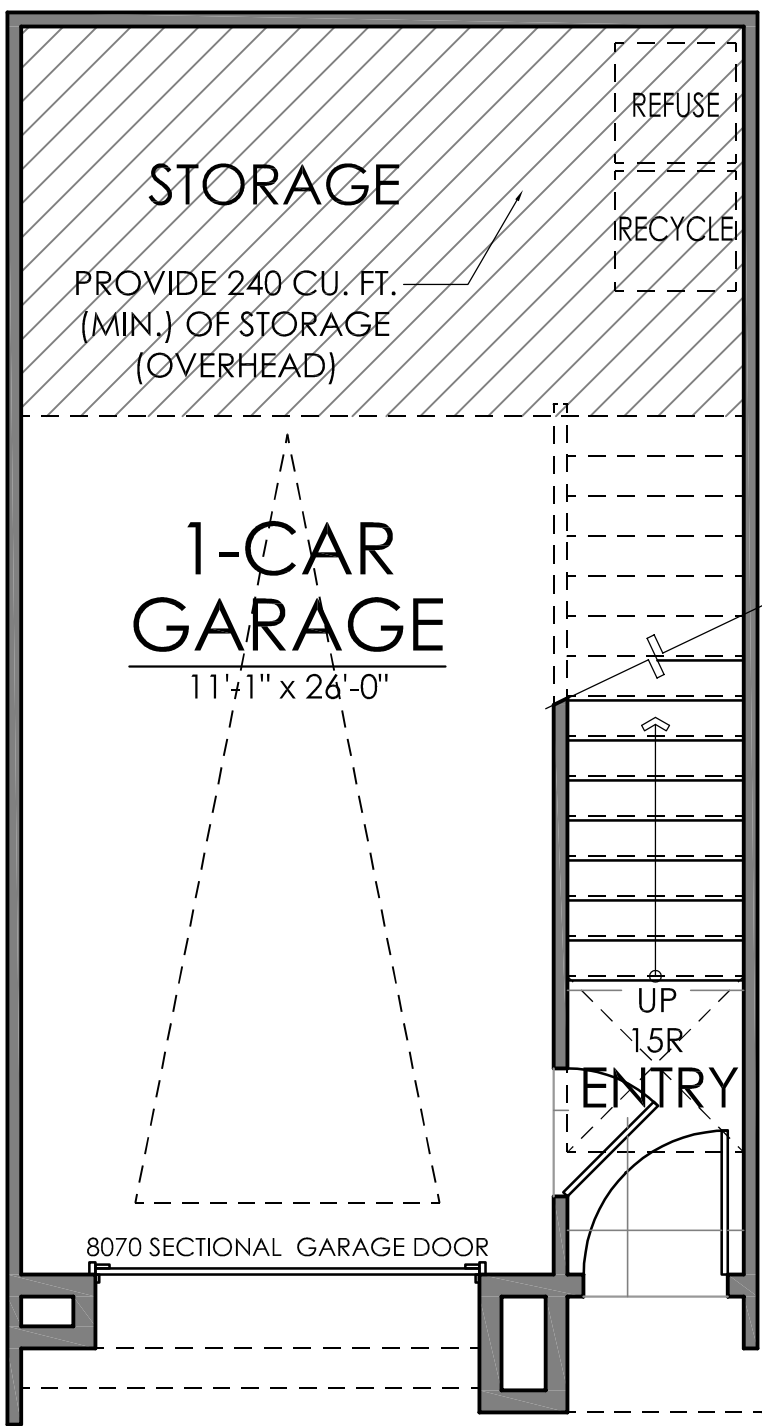
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



MASTER: 197 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	15.74 SQ. FT.
LIGHT PROVIDED:	33.75 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	7.88 SQ. FT.
VENTILATION REQUIRED:	22.5 SQ. FT.
VENTILATION PROVIDED:	22.5 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF ARE OF THE FLOOR AREA SERVED PER CBC SECTION 1202.5.1	



KITCHEN / LIVING AREA: 292 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	23.36 SQ. FT.
LIGHT PROVIDED:	44.34 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	11.68 SQ. FT.
VENTILATION REQUIRED:	32 SQ. FT.
VENTILATION PROVIDED:	32 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF ARE OF THE FLOOR AREA SERVED PER CBC SECTION 1202.5.1	



THIRD FLOOR

SECOND FLOOR

FIRST FLOOR

PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 8'-1" PLATE HT., 7'-6" WDW HT.

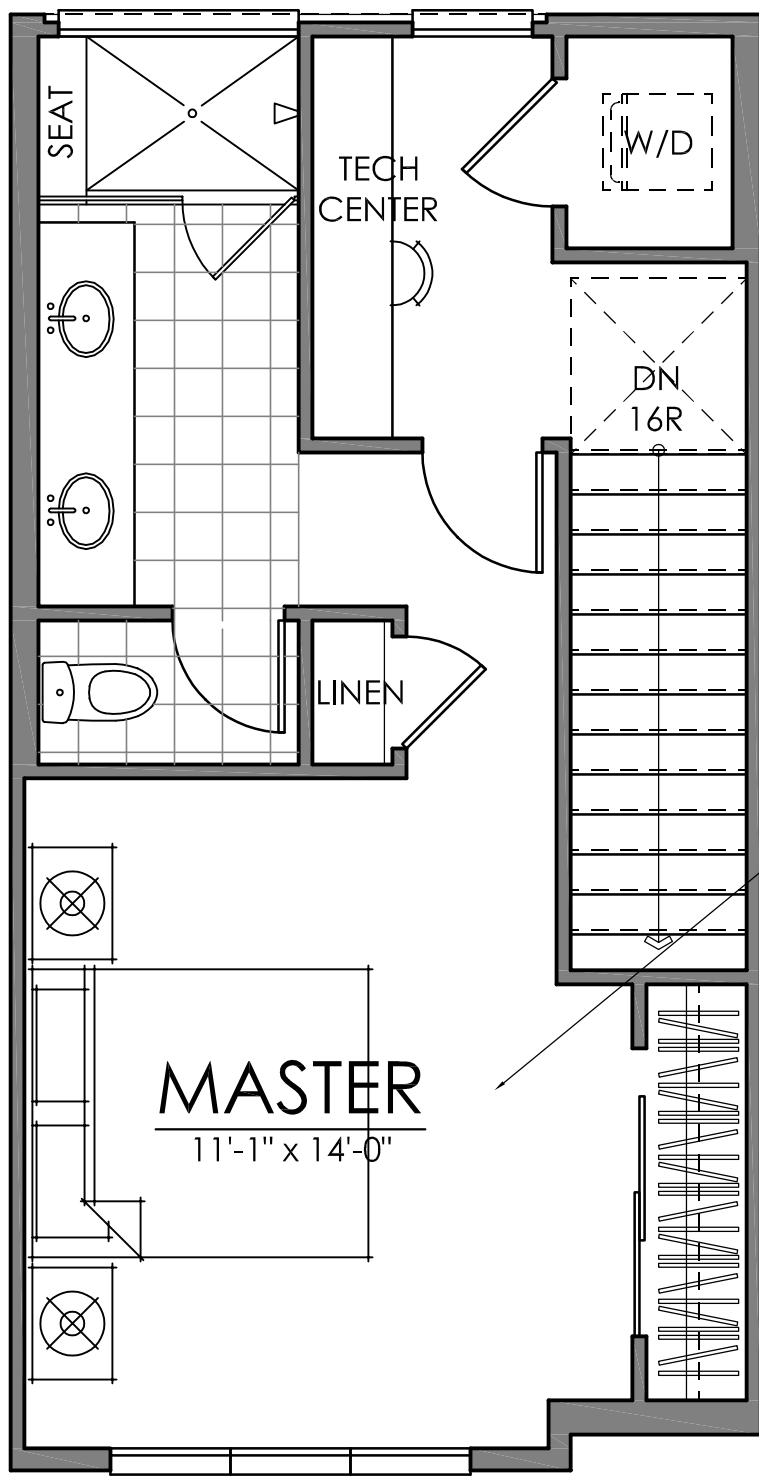
PLAN ONE	
FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	866 SQ. FT.
PRIVATE EXT. OUTDOOR	
SPACE (BALCONY)	60 SQ. FT.
GARAGE (W/ STORAGE)	335 SQ. FT.

BLDG. A-B | PLAN ONE | 866 SQ. FT.

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

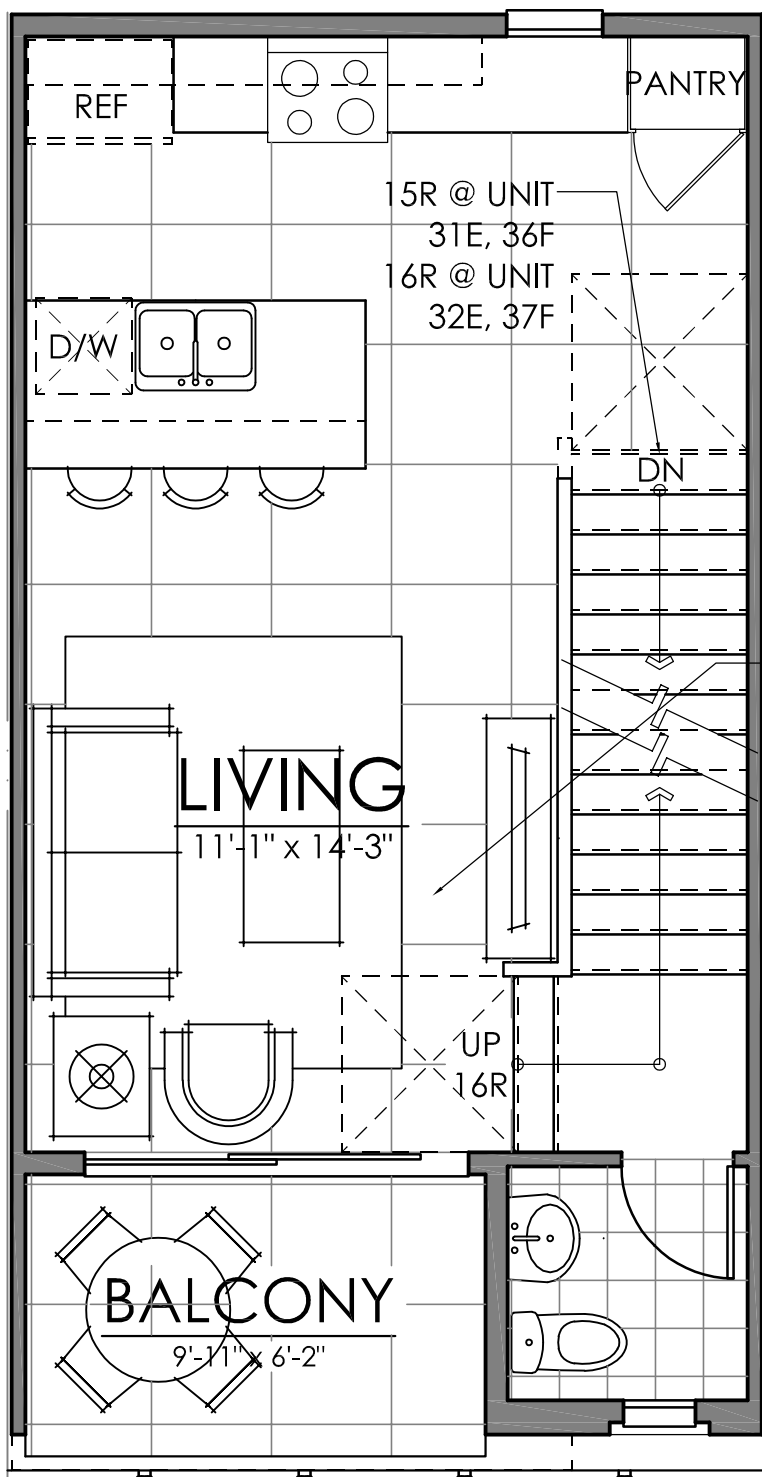
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



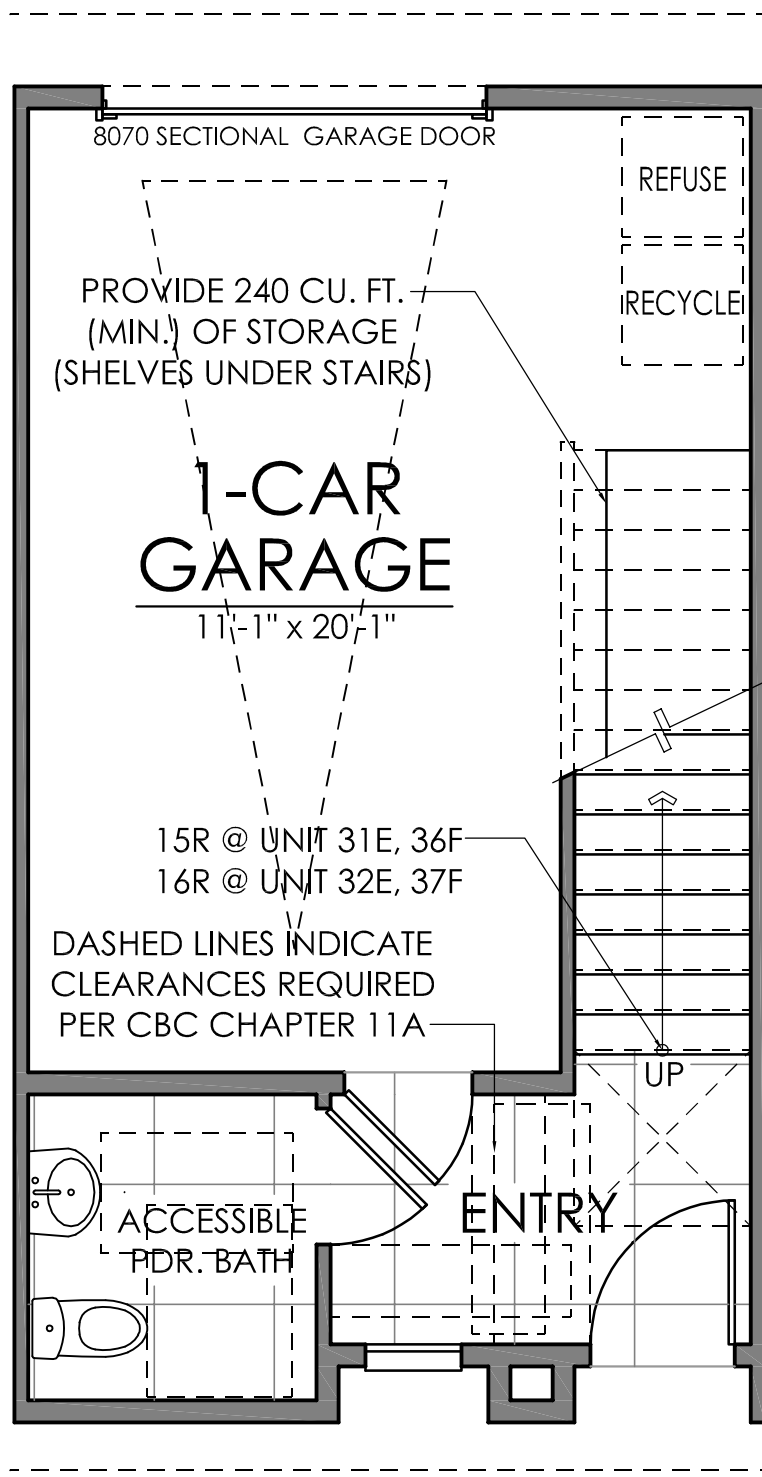
MASTER: 197 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	15.74 SQ. FT.
LIGHT PROVIDED:	33.75 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	7.88 SQ. FT.
VENTILATION REQUIRED:	22.5 SQ. FT.
VENTILATION PROVIDED:	22.5 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF AIR OF THE FLOOR AREA BEING VENTILATED PER CBC SECTION 1202.5.1	

THIRD FLOOR
(STANDARD)



KITCHEN / LIVING AREA: 292 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	23.36 SQ. FT.
LIGHT PROVIDED:	72.34 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	11.68 SQ. FT.
VENTILATION REQUIRED:	36 SQ. FT.
VENTILATION PROVIDED:	36 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF AIR OF THE FLOOR AREA BEING VENTILATED PER CBC SECTION 1202.5.1	

SECOND FLOOR
(STANDARD)



FIRST FLOOR
(ACCESSIBLE)

(PER CBC SECTION 1134A.2 OPTION #2, ITEMS 1 THROUGH 12 SHALL COMPLY)

PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 8'-1" PLATE HT., 7'-6" WDW HT.

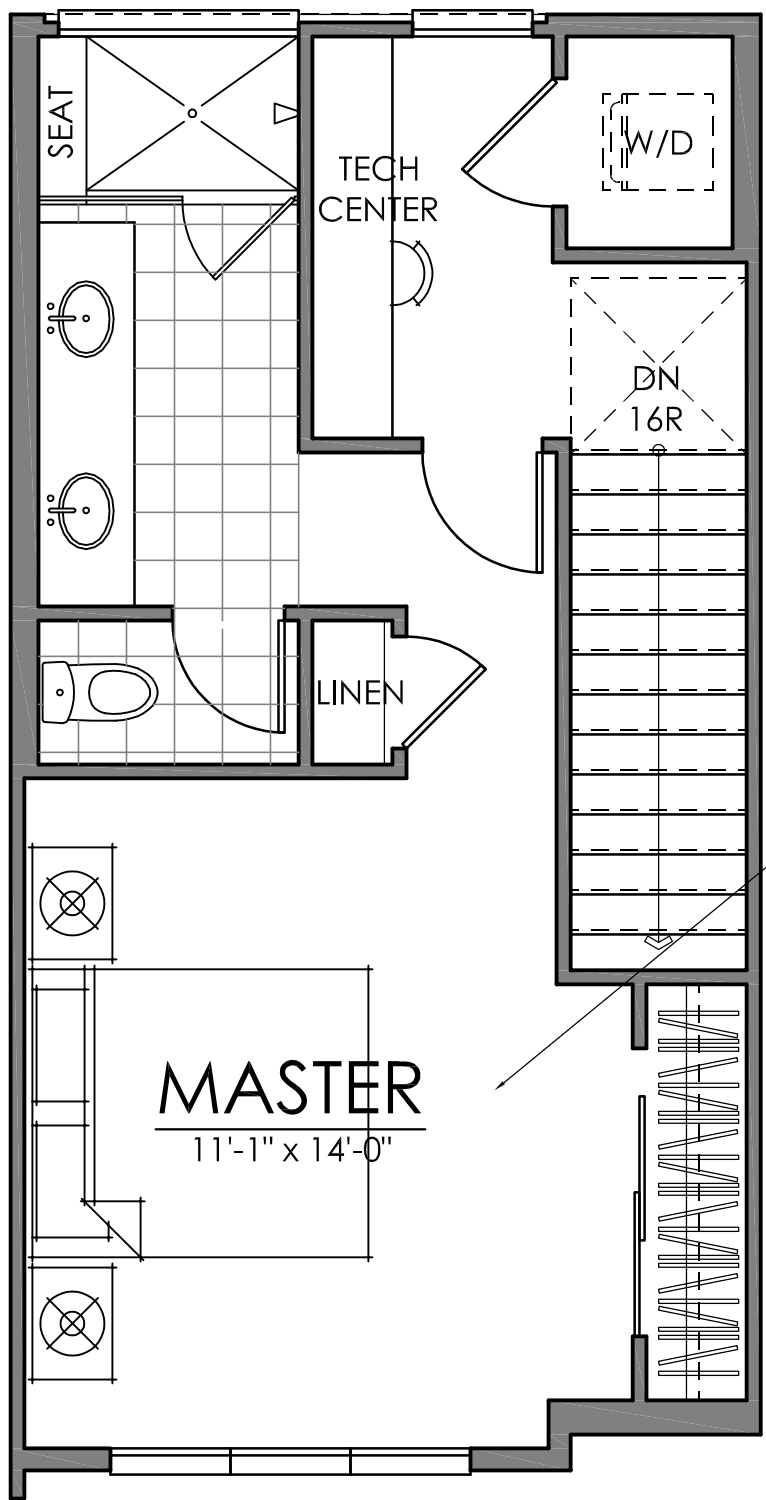
PLAN ONE	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.
PRIVATE EXT. OUTDOOR SPACE (BALCONY)	
	61 SQ. FT.
GARAGE (W/ STORAGE)	
	259 SQ. FT.

BLDG. E | PLAN ONE | ACCESSIBLE | 993 SQ. FT.

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

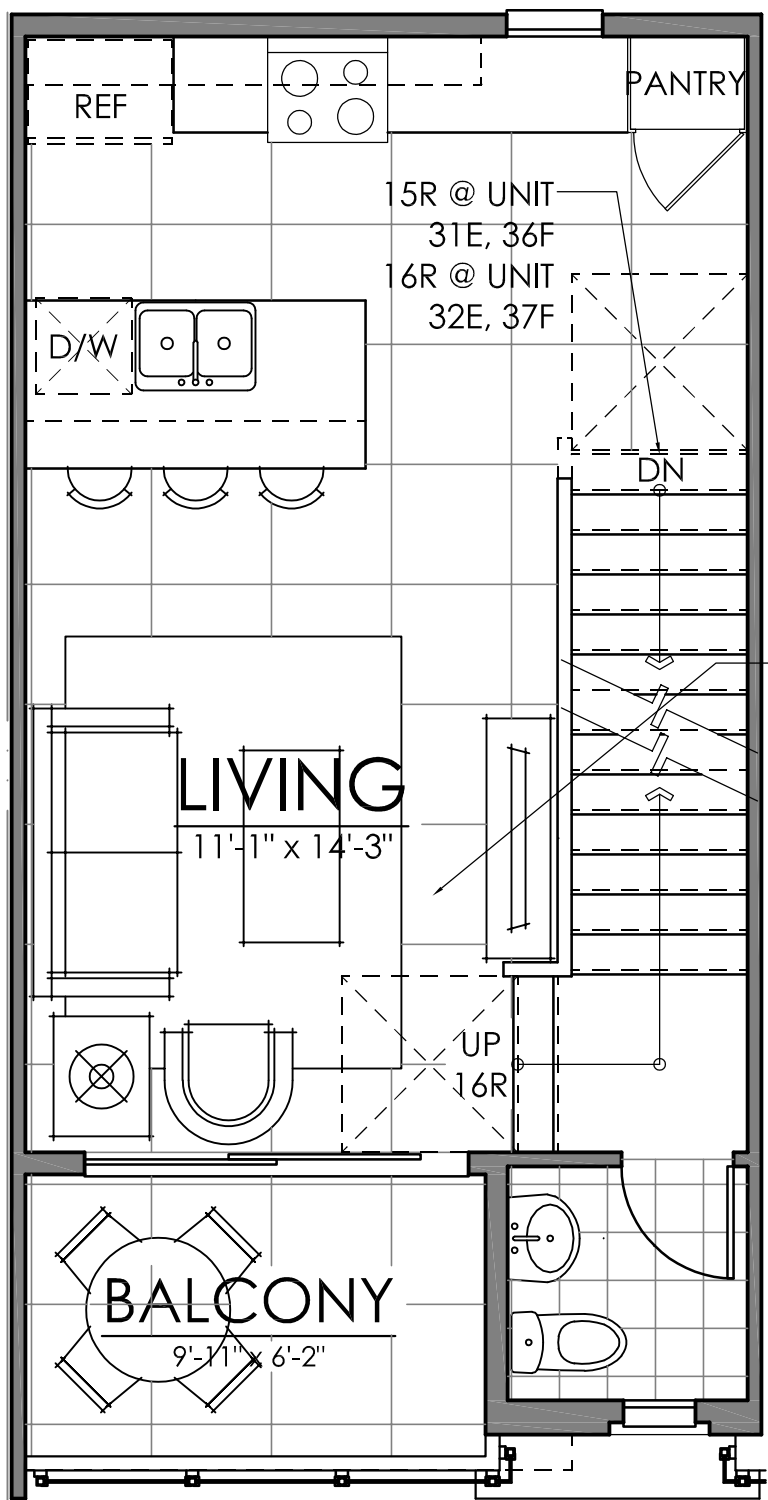
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



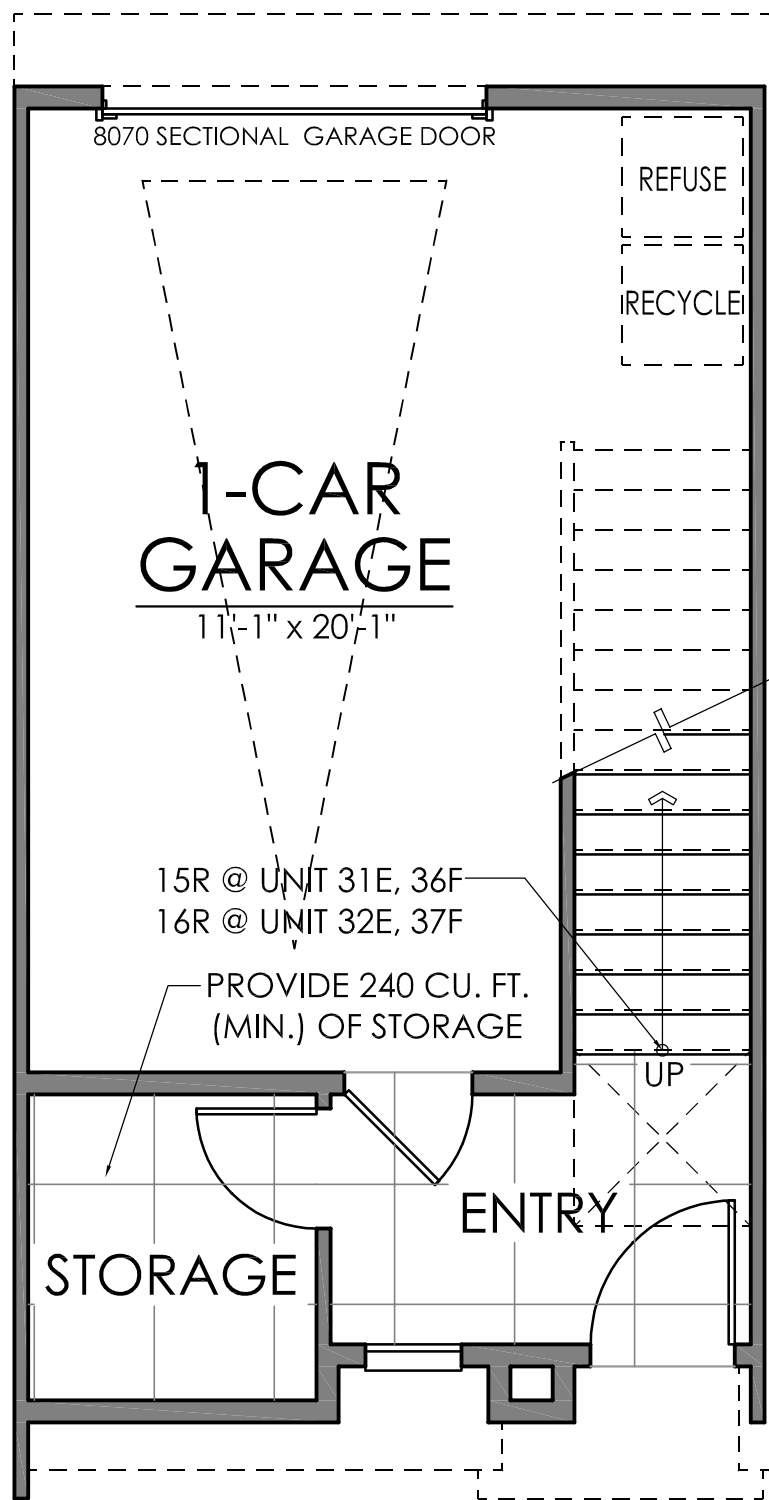
MASTER: 197 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC:	
LIGHT REQUIRED:	15.74 SQ. FT.
LIGHT PROVIDED:	33.75 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2:	
VENTILATION REQUIRED:	7.88 SQ. FT.
VENTILATION PROVIDED:	22.5 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF ARE OF THE FLOOR AREA SERVED PER CBC SECTION 1202.5.1:	

THIRD FLOOR
(STANDARD)



KITCHEN / LIVING AREA: 292 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC:	
LIGHT REQUIRED:	23.36 SQ. FT.
LIGHT PROVIDED:	72.35 SQ. FT.
MIN. NET GLAZED AREA OF BIL OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2:	
VENTILATION REQUIRED:	11.68 SQ. FT.
VENTILATION PROVIDED:	36.50 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF ARE OF THE FLOOR AREA SERVED PER CBC SECTION 1202.5.1:	

SECOND FLOOR
(STANDARD)



FIRST FLOOR
(STANDARD)

PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 8'-1" PLATE HT., 7'-6" WDW HT.

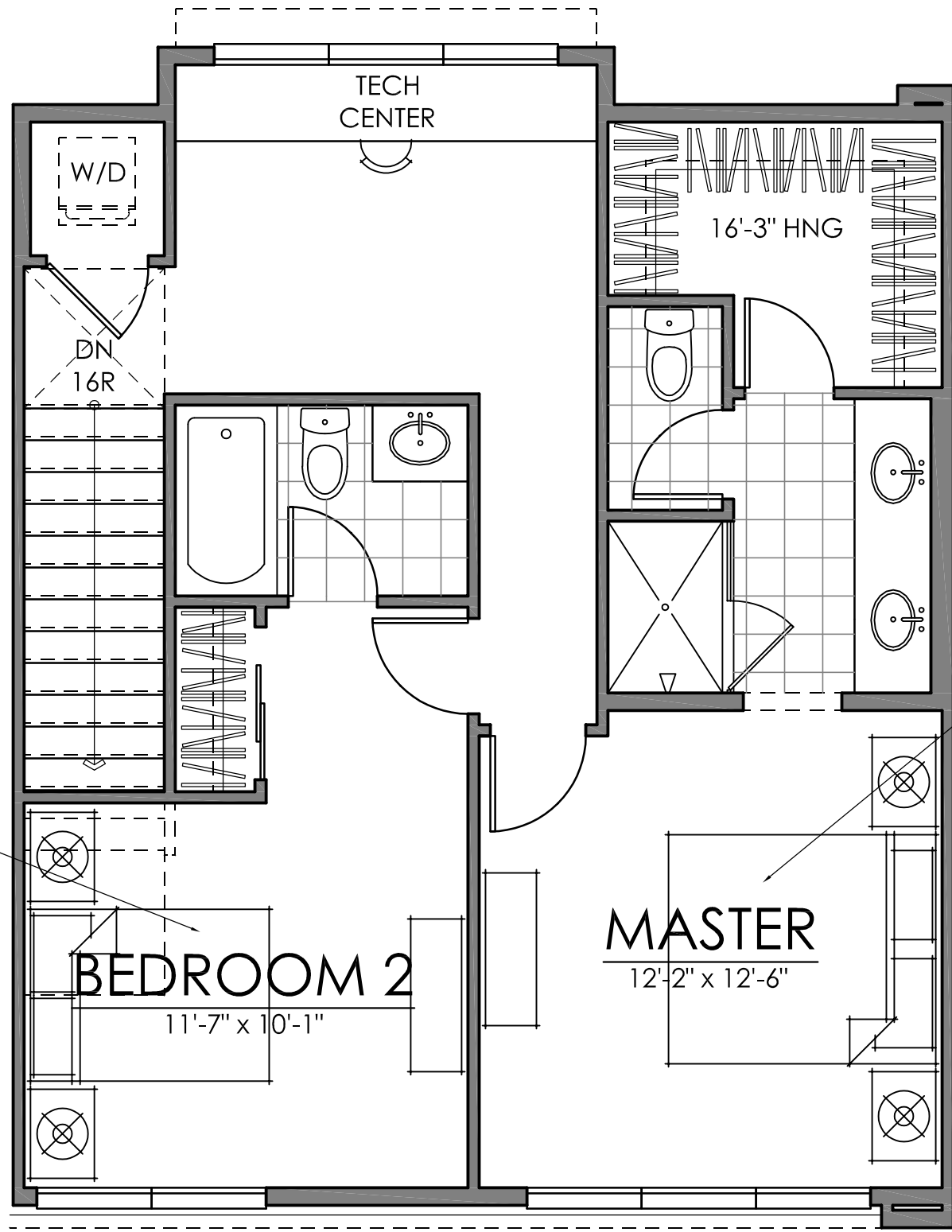
PLAN ONE	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.
PRIVATE EXT. OUTDOOR	
SPACE (BALCONY)	62 SQ. FT.
GARAGE (W/ STORAGE)	259 SQ. FT.

BLDG. F | PLAN ONE | NON-ACCESSIBLE | 993 SQ. FT.

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

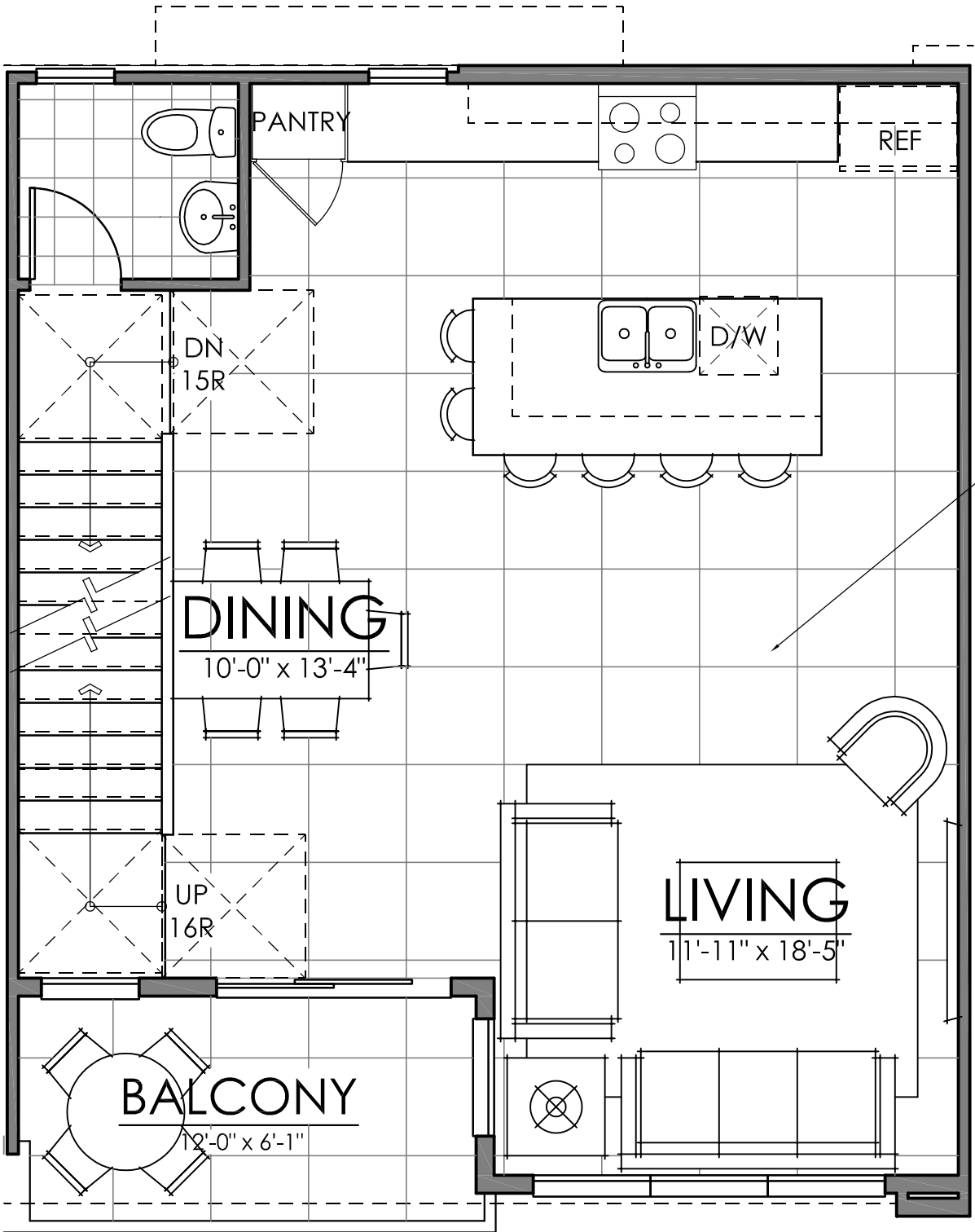
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

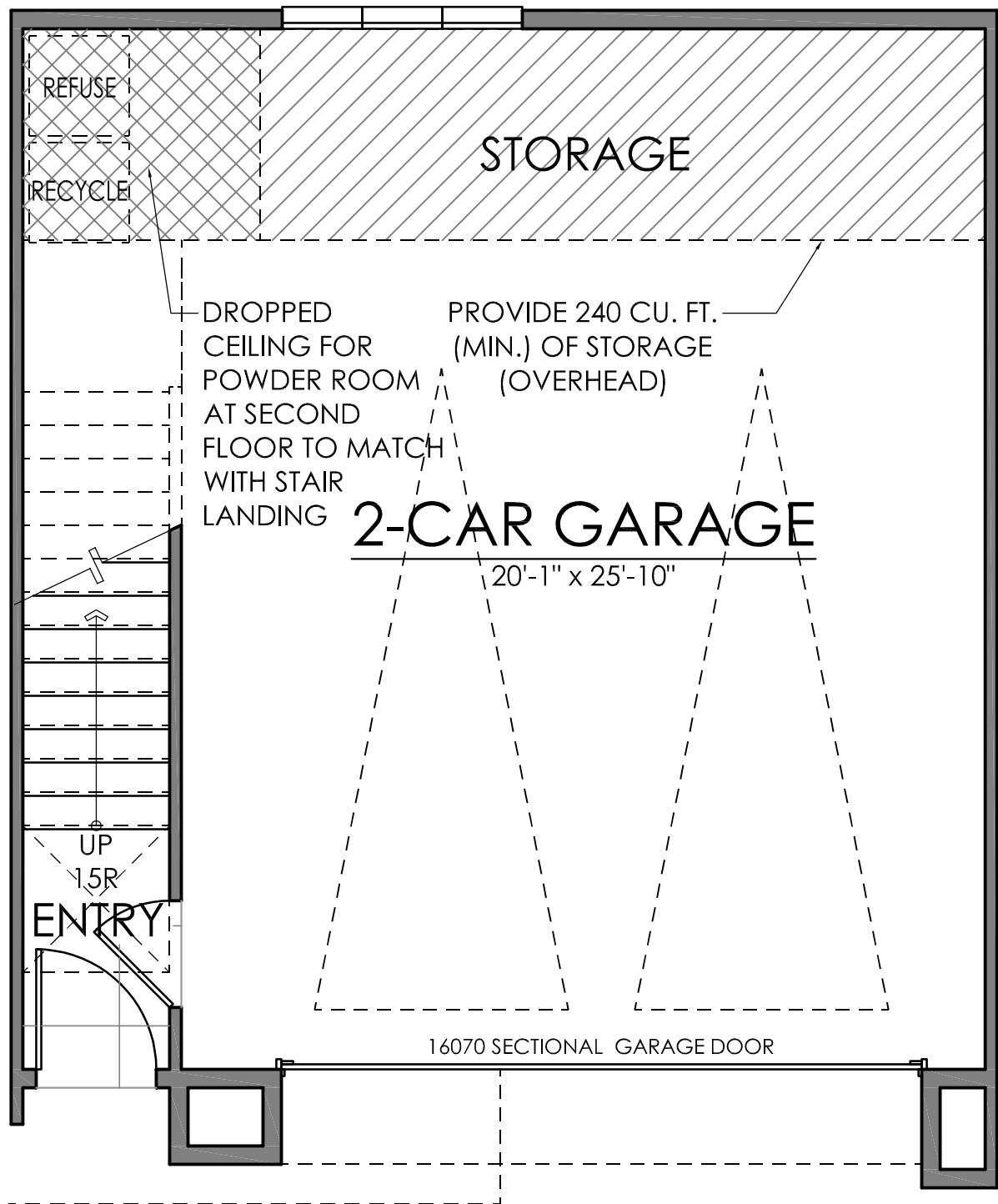


BED 2: 145 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	11.6 SQ. FT.
LIGHT PROVIDED:	30 SQ. FT.
MIN. NET GLAZED AREA OF 8% OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	
VENTILATION REQUIRED:	5.8 SQ. FT.
VENTILATION PROVIDED:	15 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED PER CBC SECTION 1202.5.1	

MASTER: 150 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	12 SQ. FT.
LIGHT PROVIDED:	45 SQ. FT.
MIN. NET GLAZED AREA OF 8% OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	
VENTILATION REQUIRED:	6 SQ. FT.
VENTILATION PROVIDED:	22.5 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED PER CBC SECTION 1202.5.1	



KITCHEN / DINING / LIVING AREA: 510 SQ. FT.	
NATURAL LIGHT & VENTILATION CALCULATIONS PER 2019 CBC	
LIGHT REQUIRED:	40.8 SQ. FT.
LIGHT PROVIDED:	104 SQ. FT.
MIN. NET GLAZED AREA OF 8% OF THE FLOOR AREA OF ROOM SERVED PER CBC SECTION 1204.2	
VENTILATION REQUIRED:	20.4 SQ. FT.
VENTILATION PROVIDED:	52 SQ. FT.
MIN. OPEN AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED PER CBC SECTION 1202.5.1	



PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.

PLAN TWO	
FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.
PRIVATE EXT. OUTDOOR	
SPACE (BALCONY)	67 SQ. FT.
GARAGE (W/ STORAGE)	562 SQ. FT.

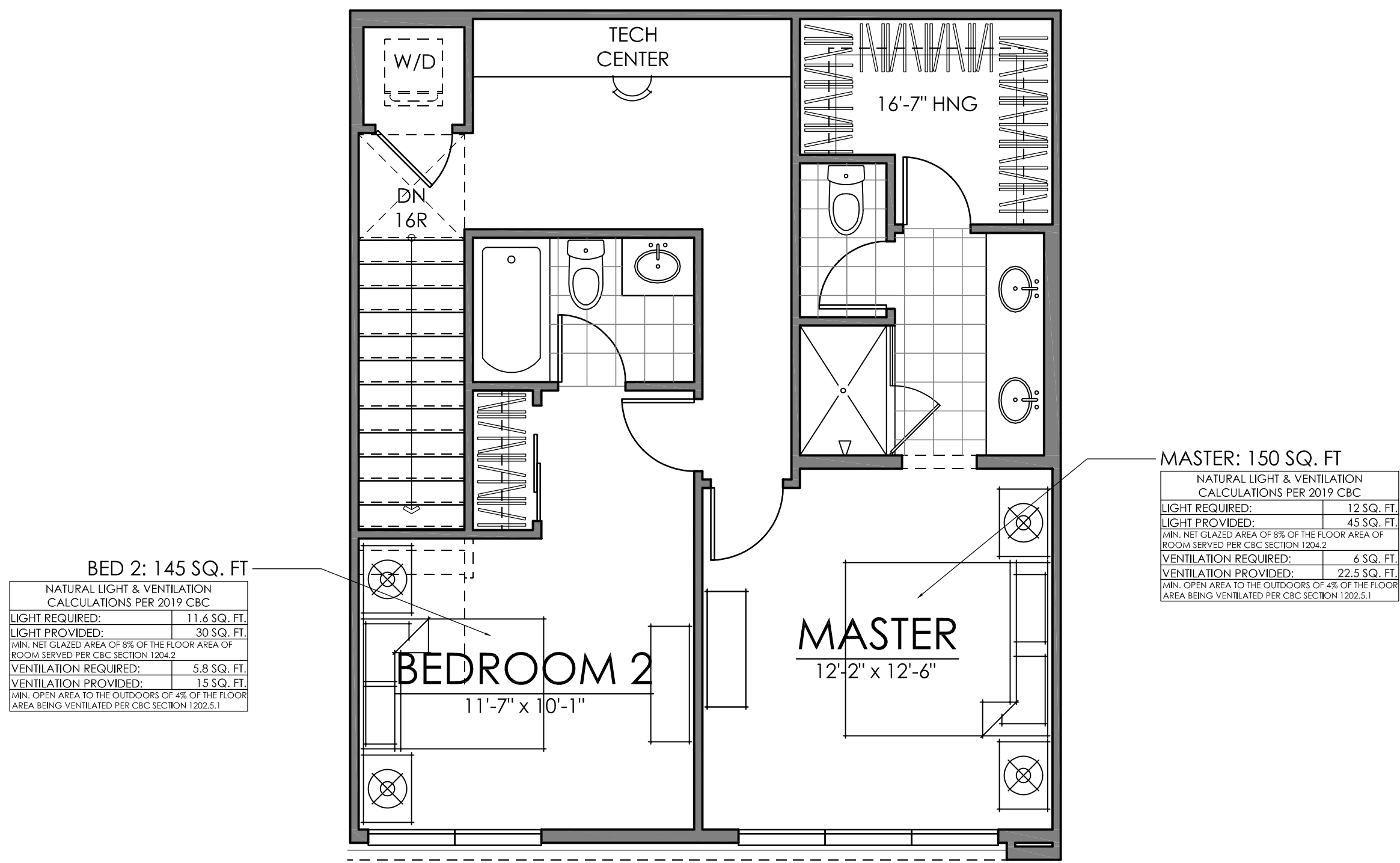
BLDG. C-D | PLAN TWO | 1,428 SQ. FT.

32ND & BROADWAY

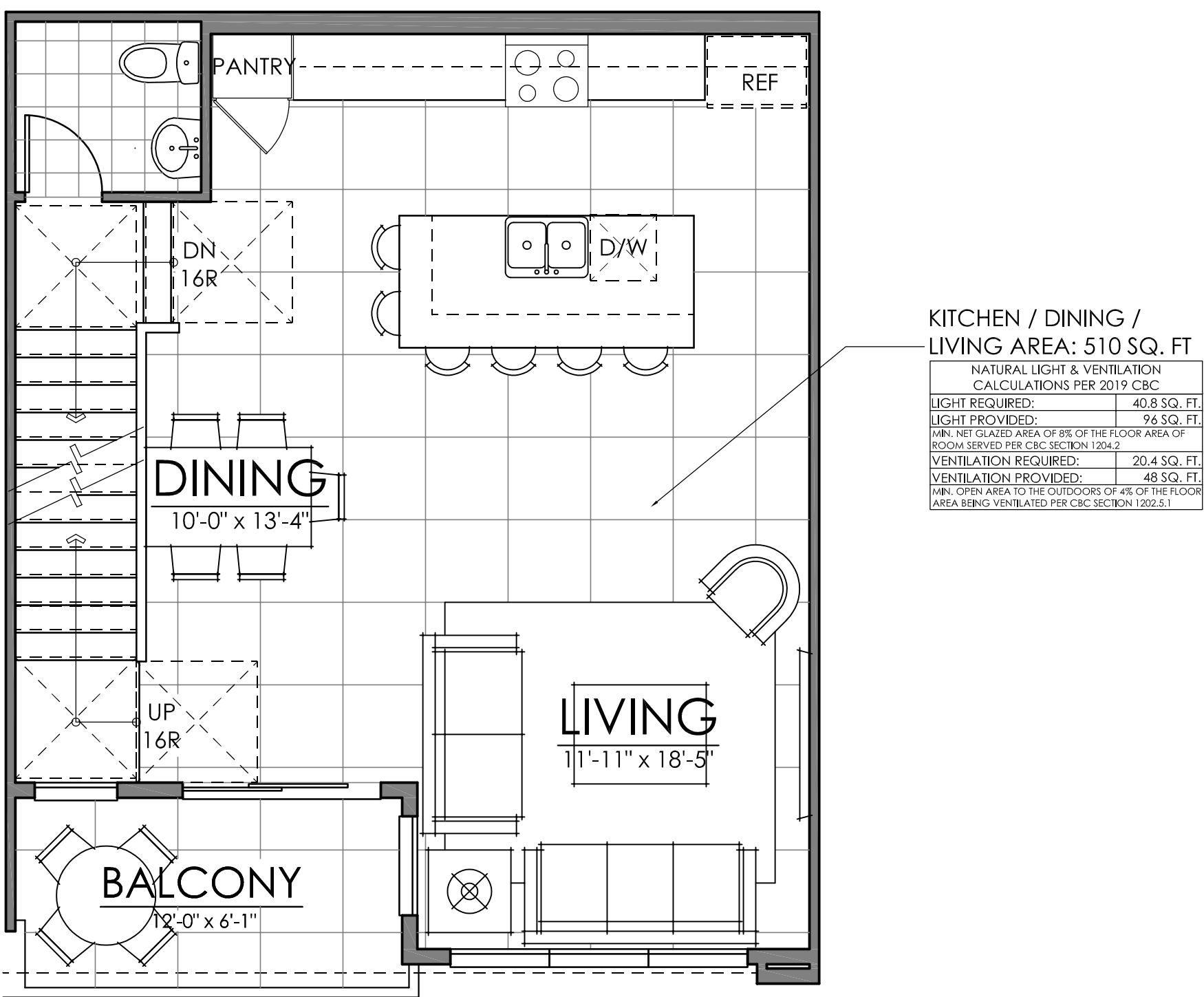
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

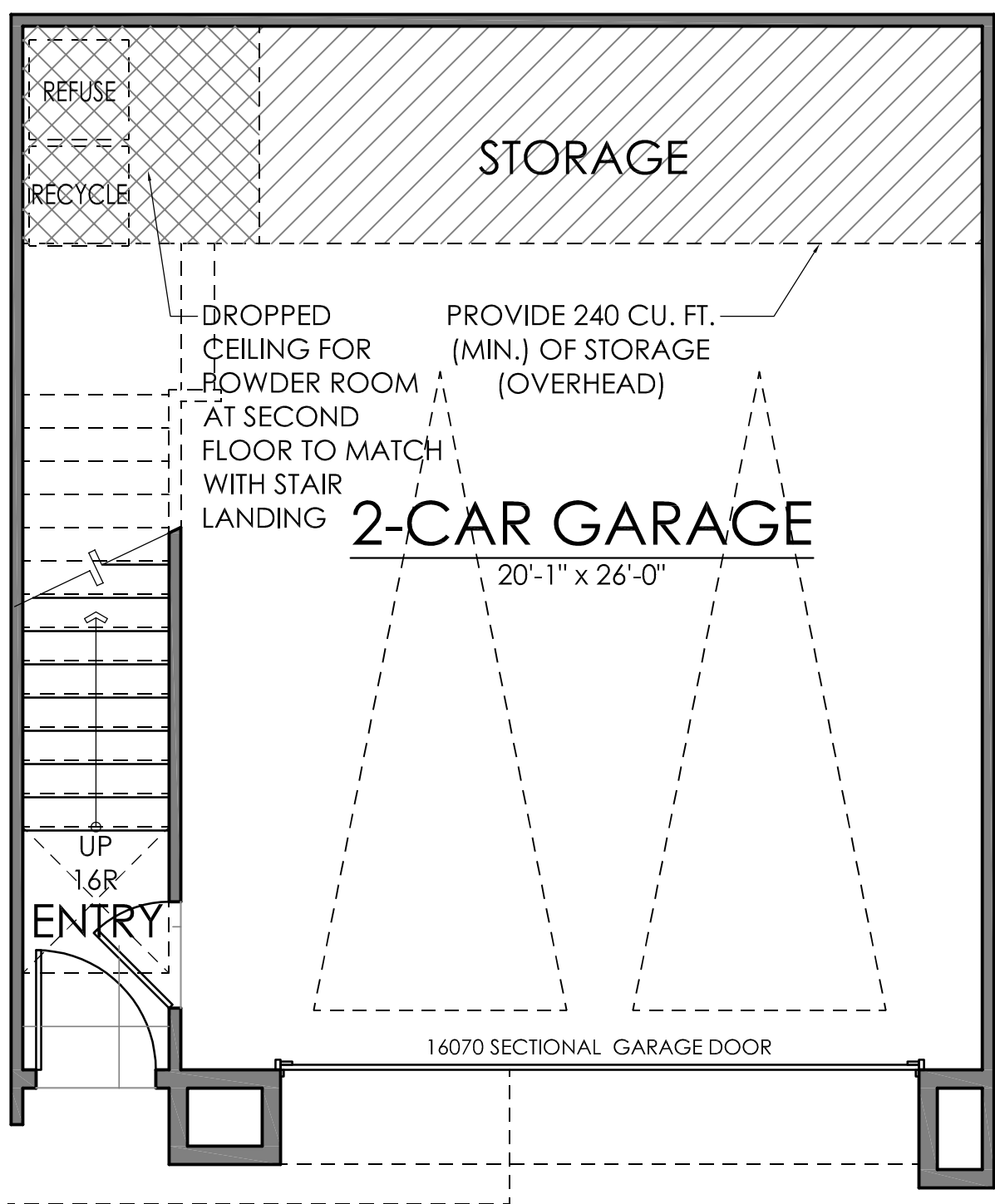
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.

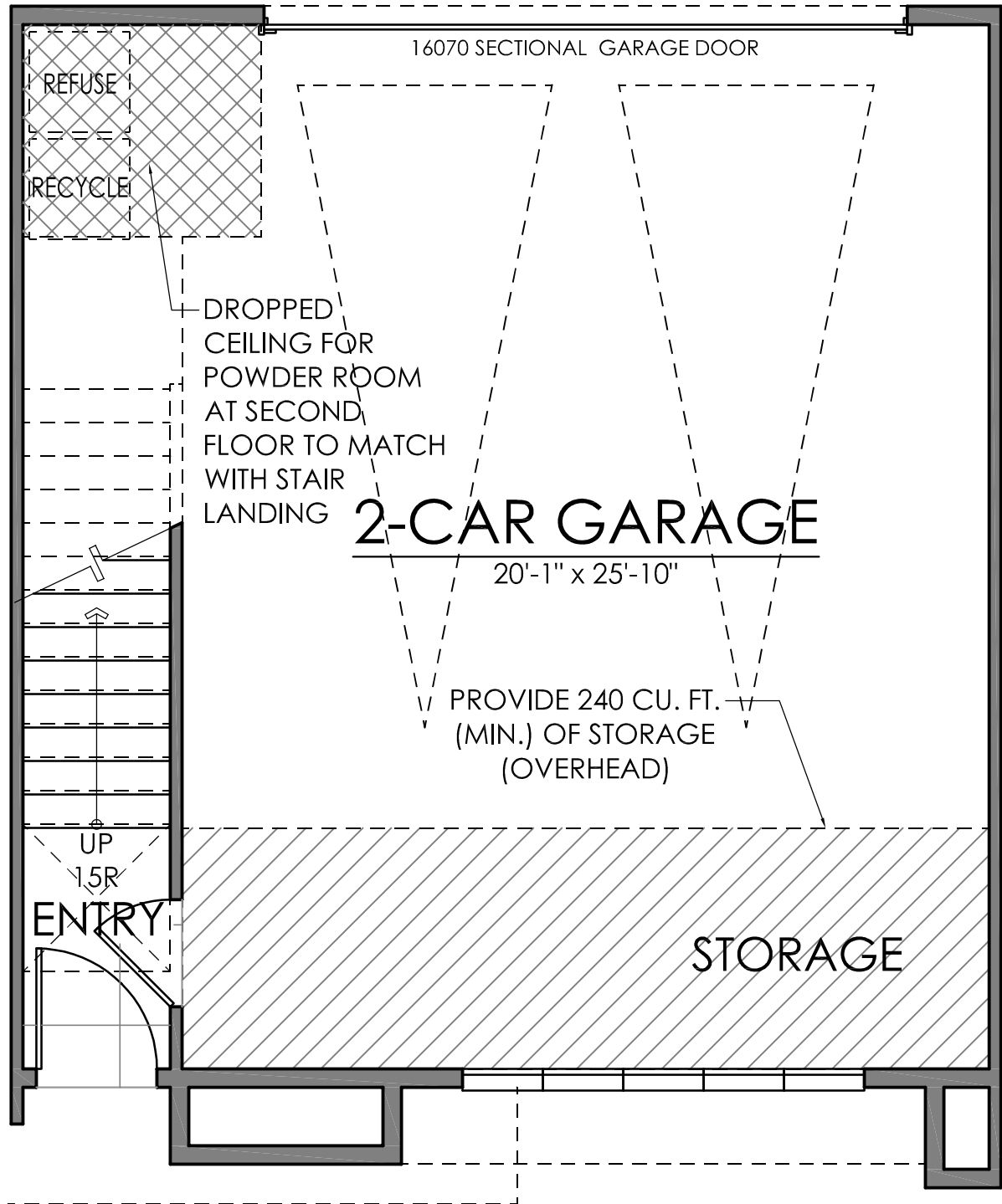
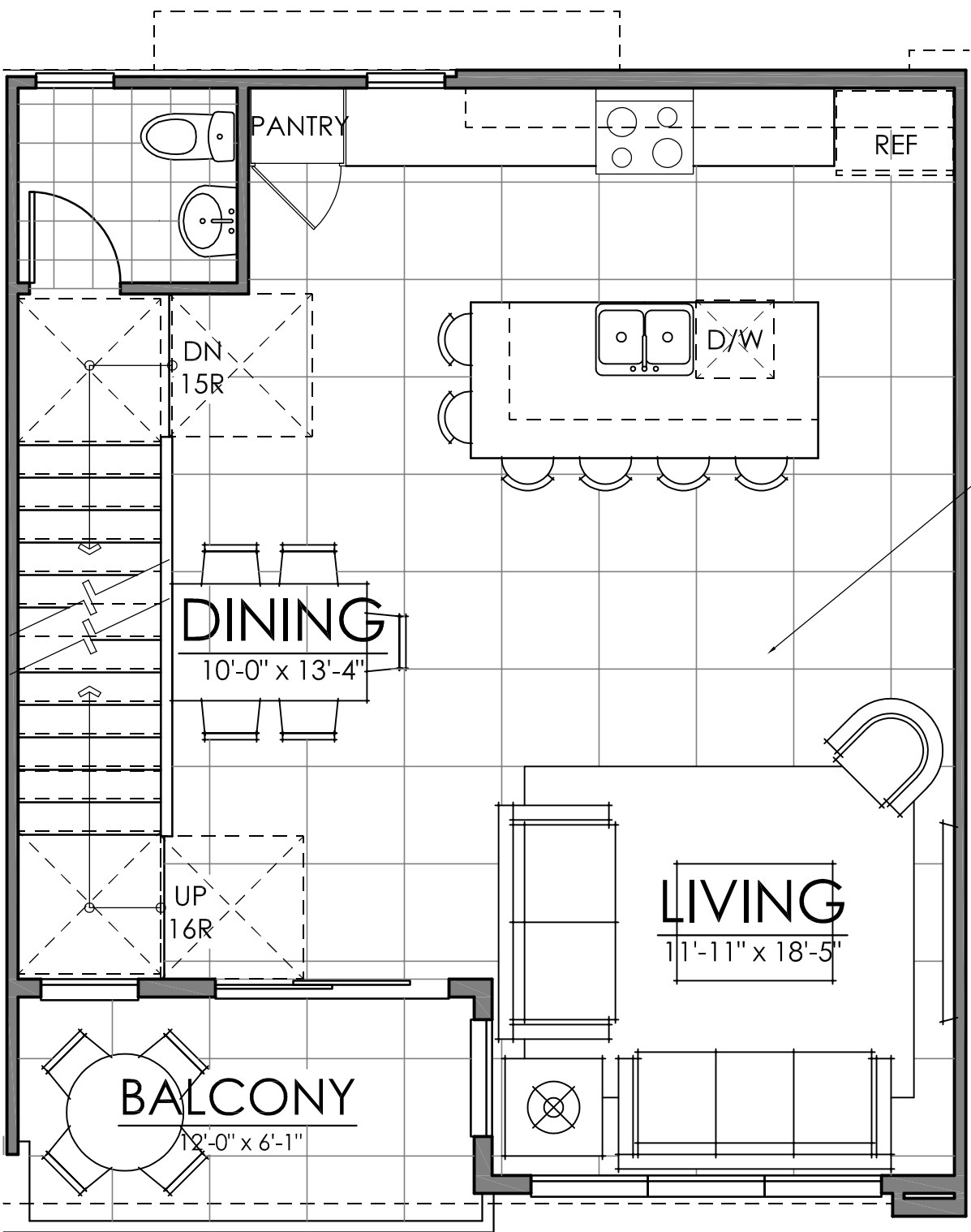
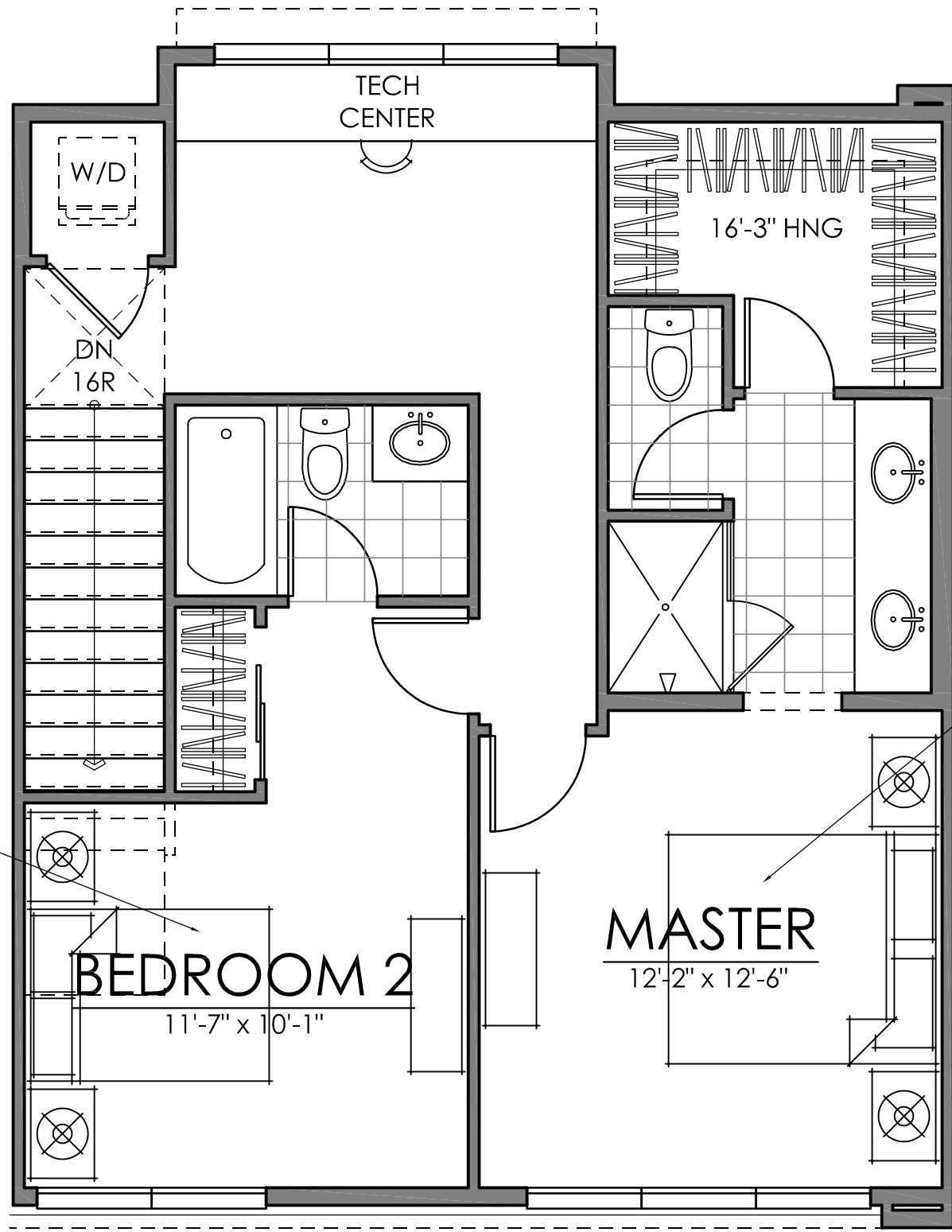
PLAN TWO	
FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.
<i>PRIVATE EXT. OUTDOOR</i>	
SPACE (BALCONY)	67 SQ. FT.
GARAGE (W/ STORAGE)	560 SQ. FT.

BLDG. A-B | PLAN TWO | 1,413 SQ. FT.

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.

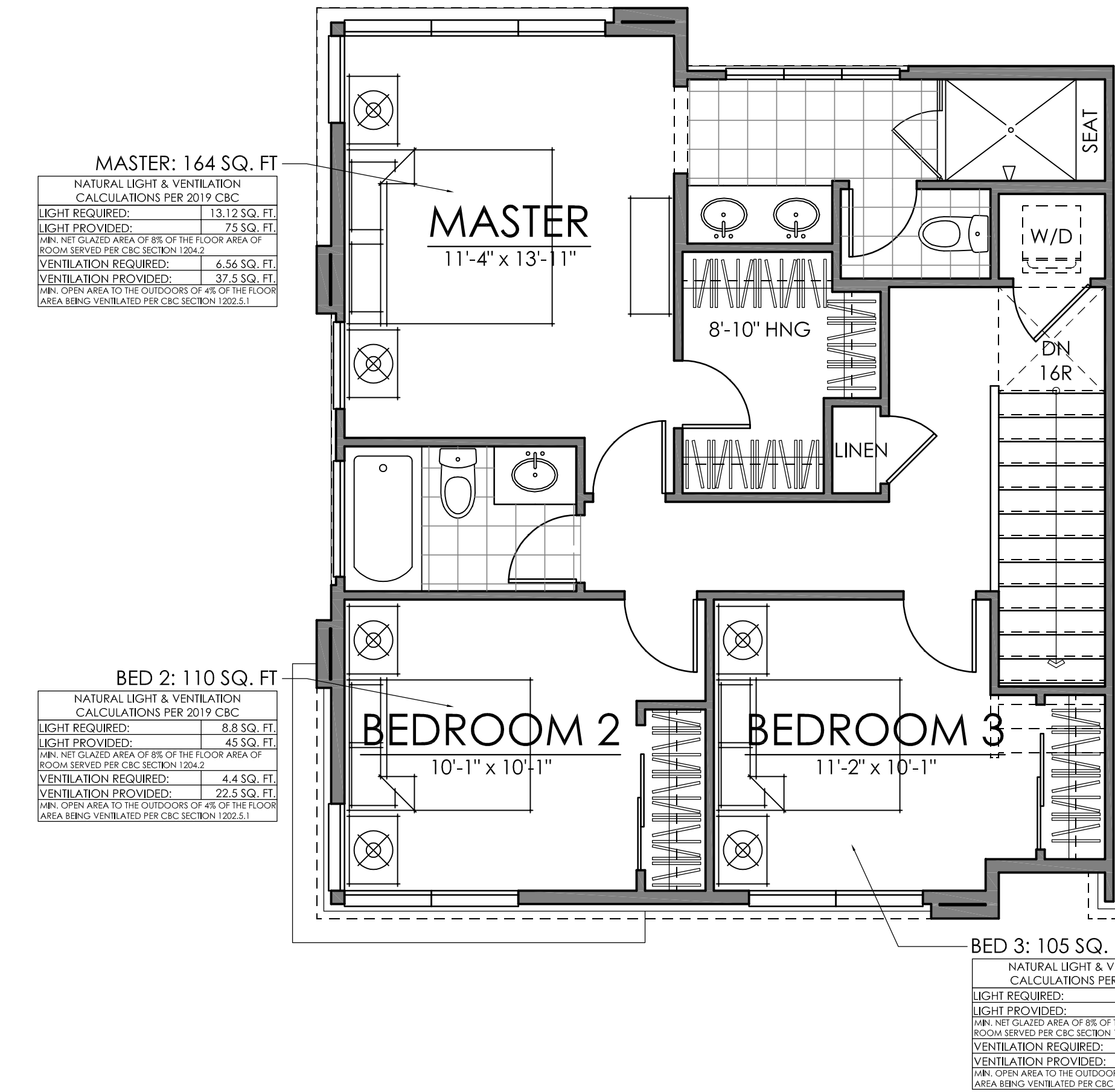
PLAN TWO	
FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.
PRIVATE EXT. OUTDOOR	
SPACE (BALCONY)	67 SQ. FT.
GARAGE (W/ STORAGE)	562 SQ. FT.

BLDG. E-F | PLAN TWO | REVERSED GARAGE | 1,428 SQ. FT.

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

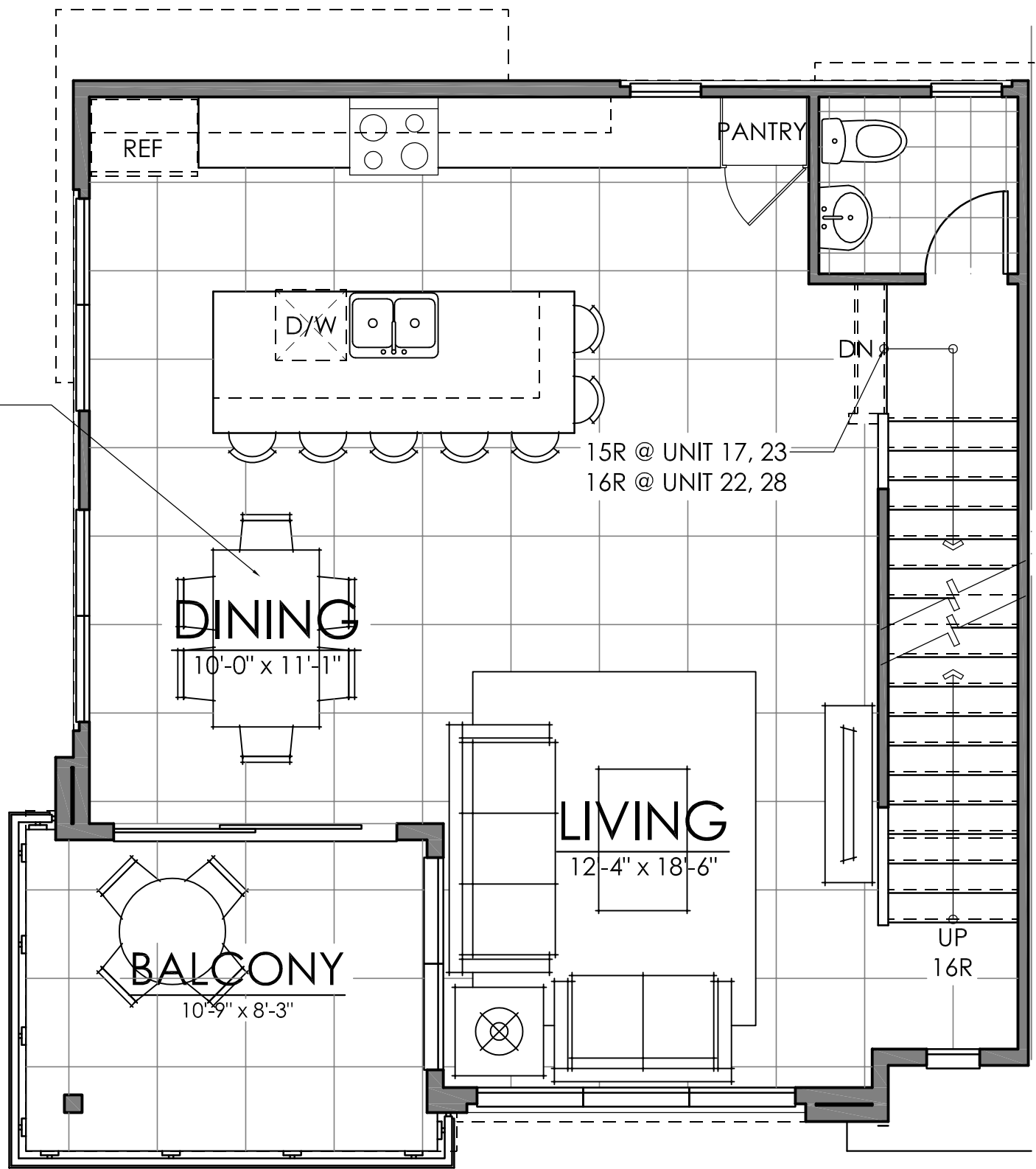
NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



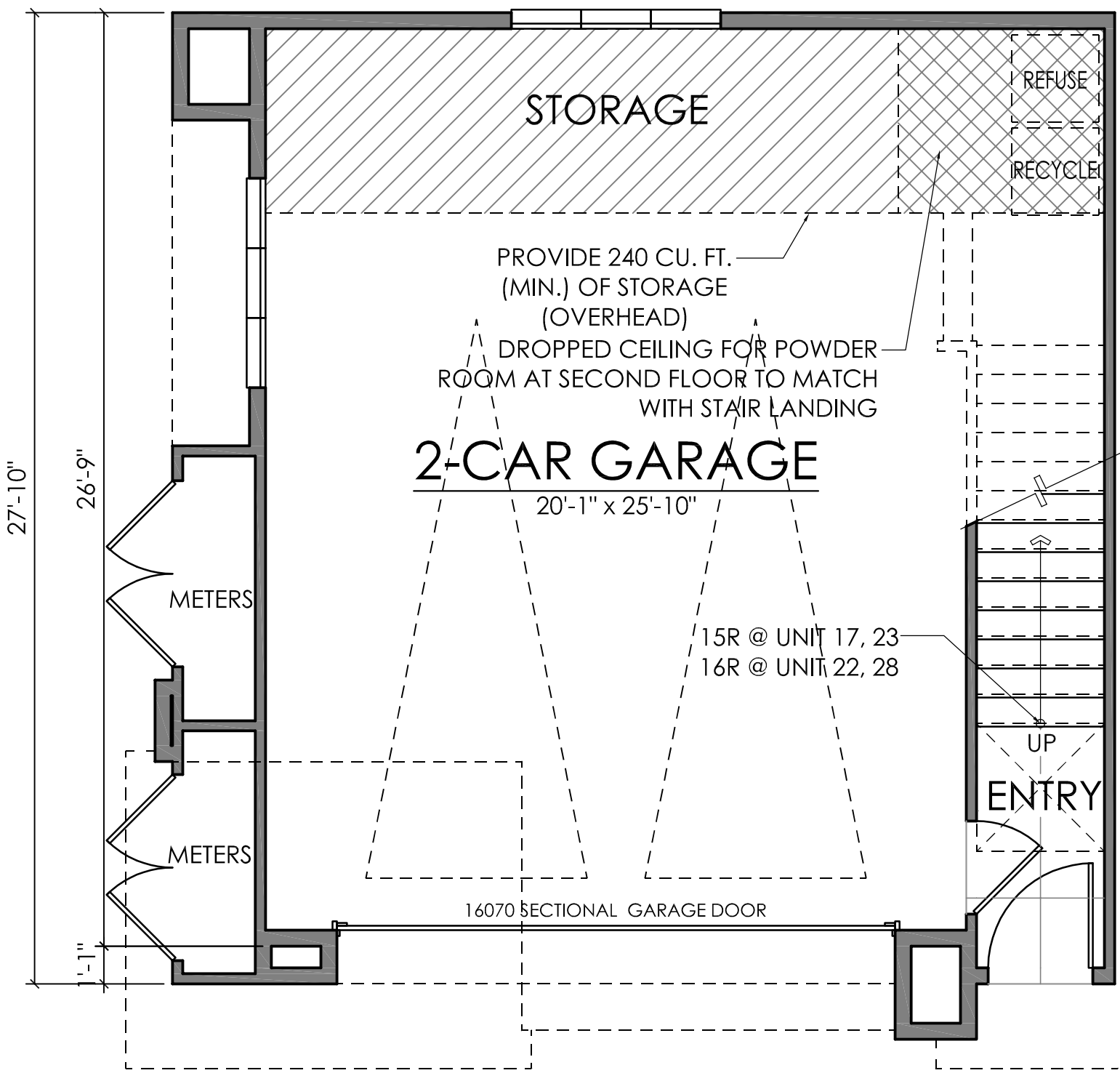
THIRD FLOOR

PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.



SECOND FLOOR

PLAN THREE	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.
PRIVATE EXT. OUTDOOR	
SPACE (BALCONY)	100 SQ. FT.
GARAGE (W/ STORAGE)	557 SQ. FT.
UTILITY METER CLOSETS	37 SQ. FT.



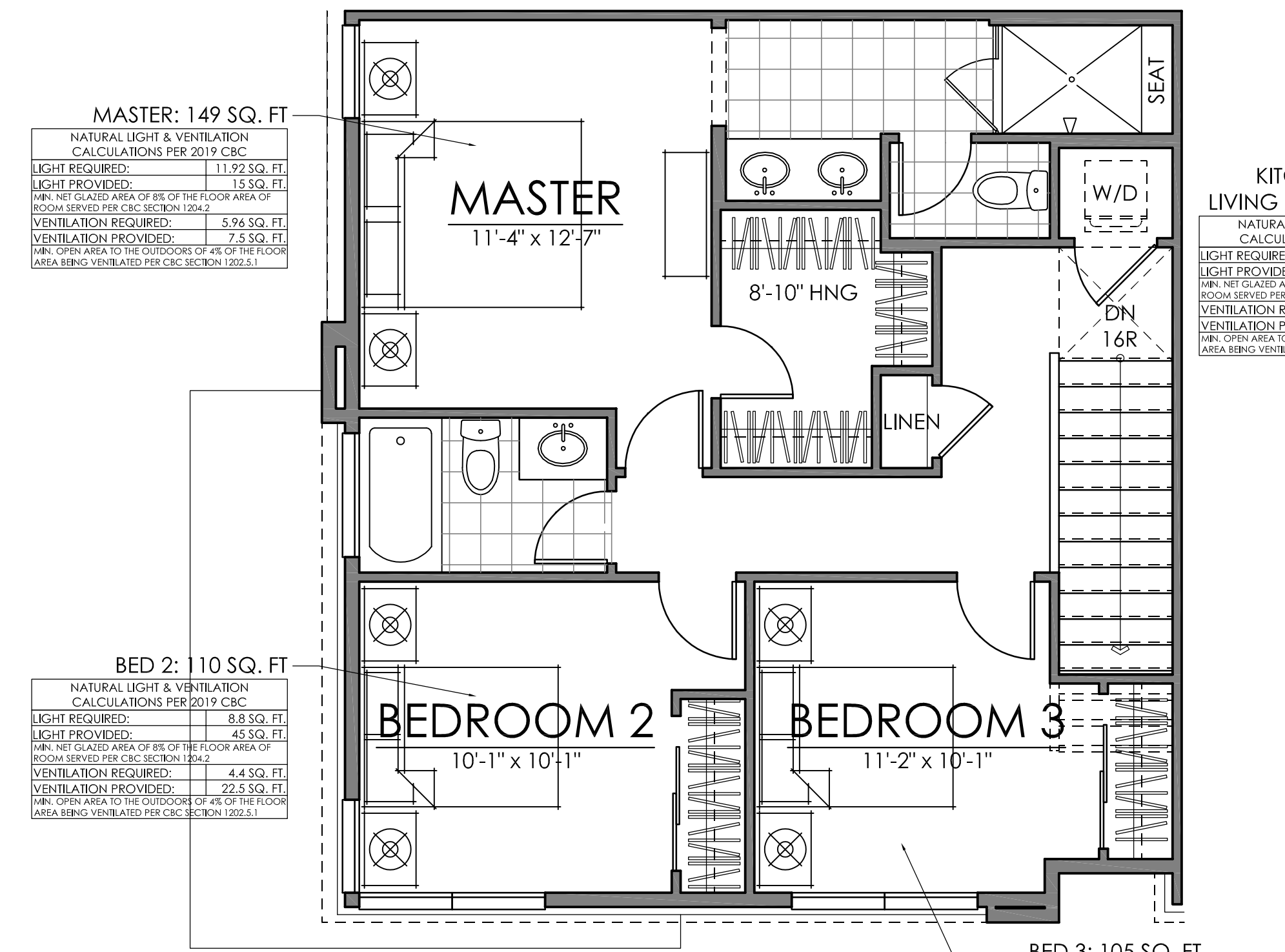
FIRST FLOOR

BLDG. C-D | PLAN THREE | 1,552 SQ. FT.

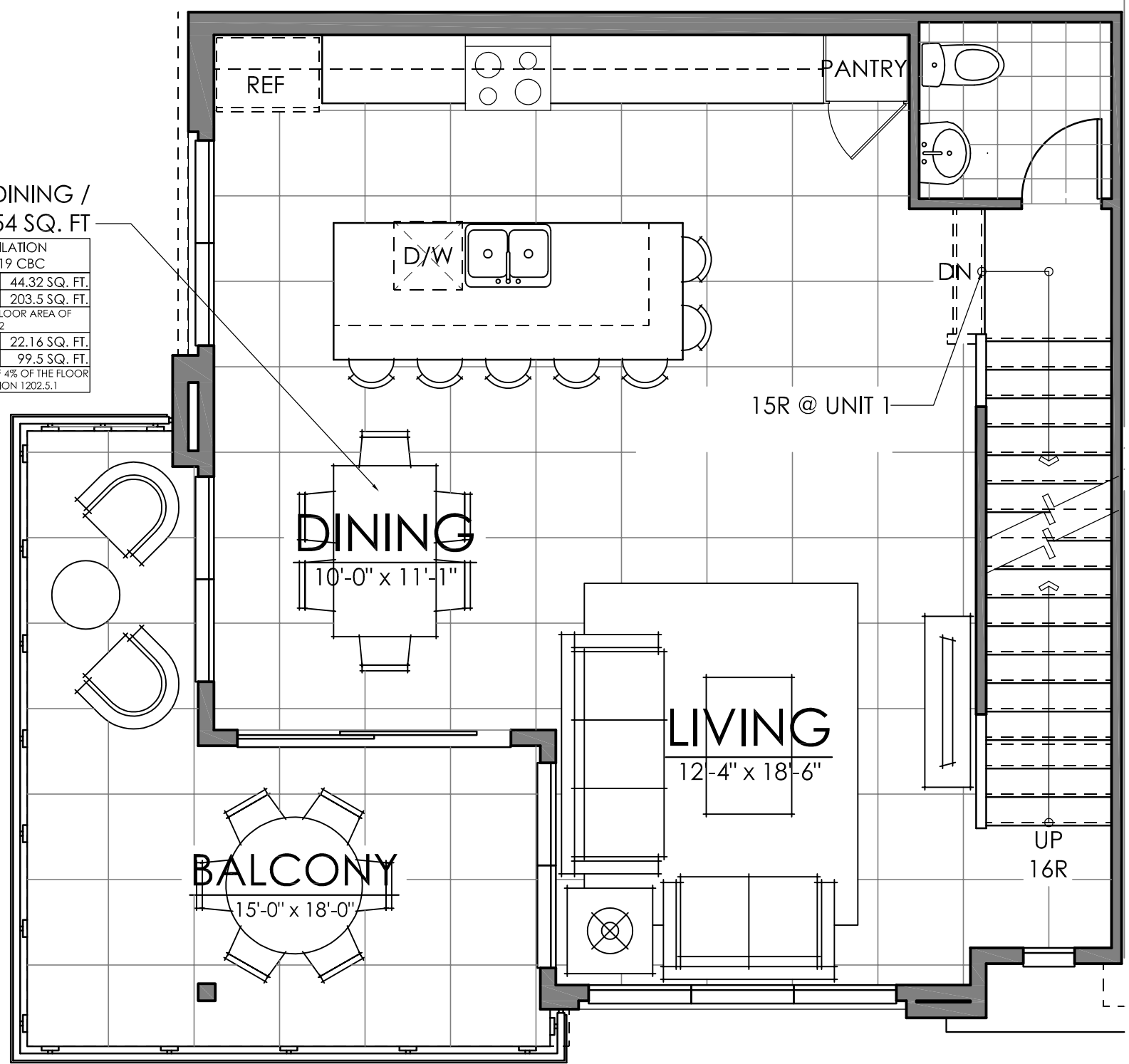
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

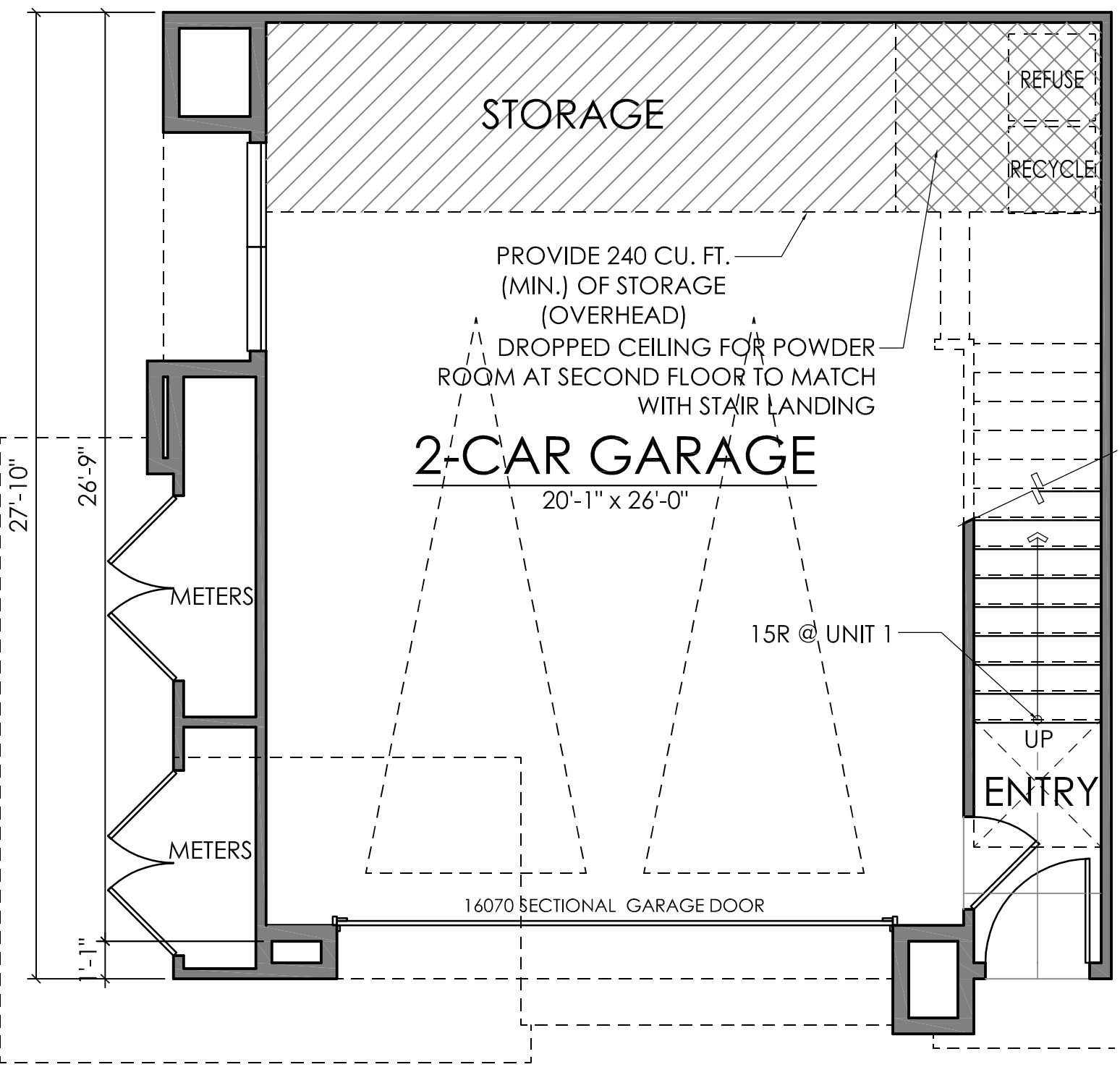
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



THIRD FLOOR - UNIT 1

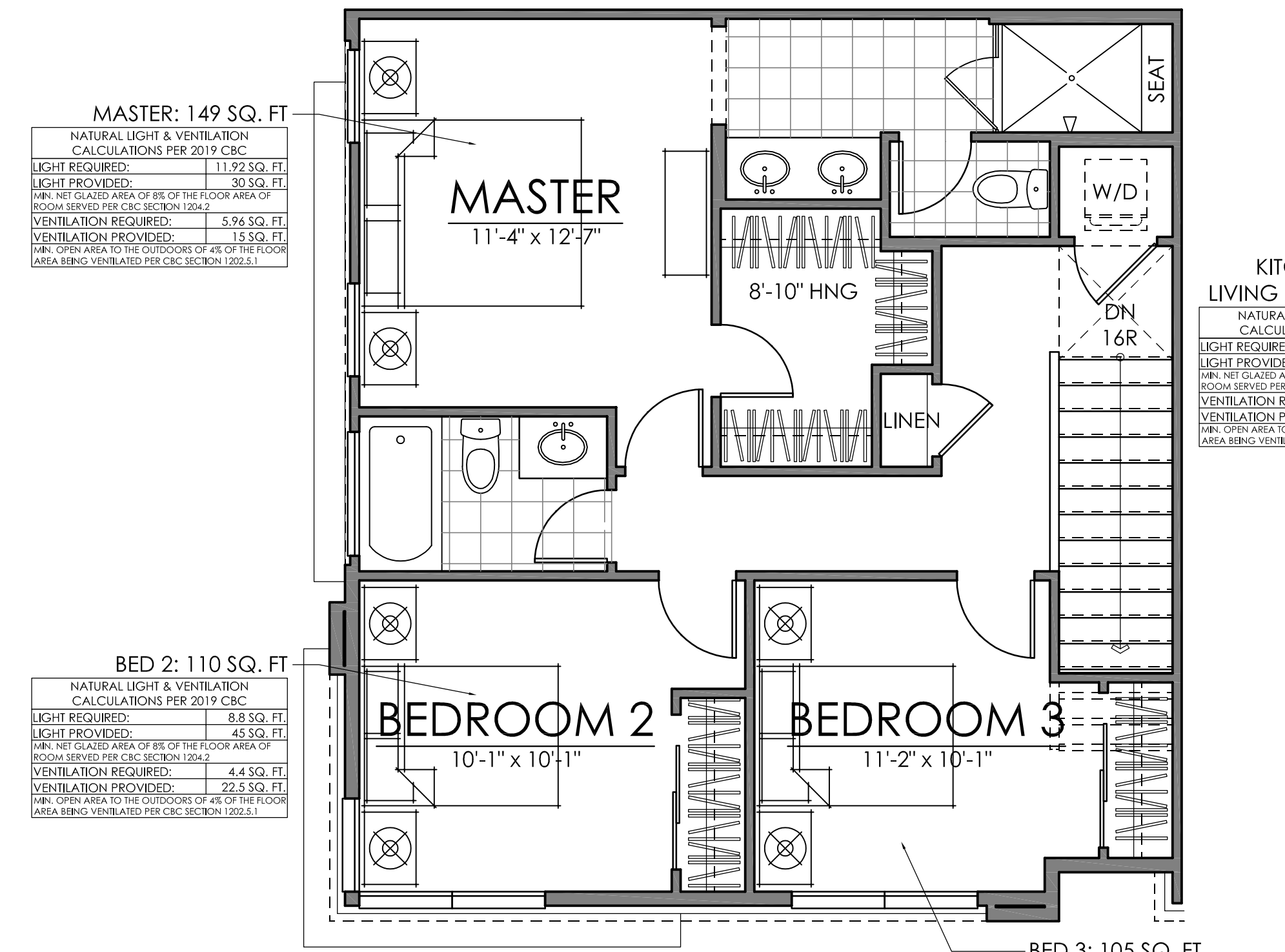


SECOND FLOOR - UNIT 1

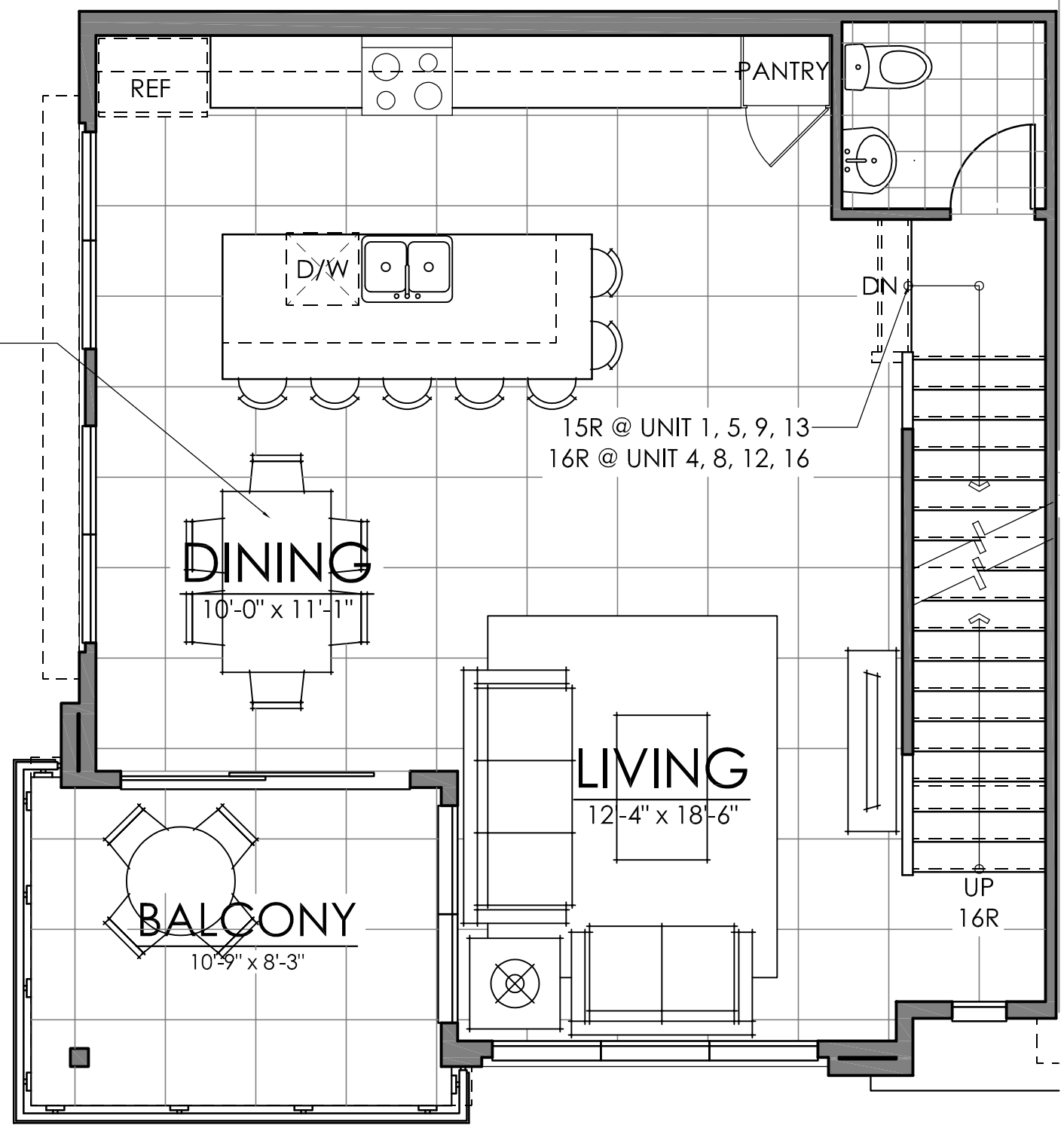


FIRST FLOOR - UNIT 1

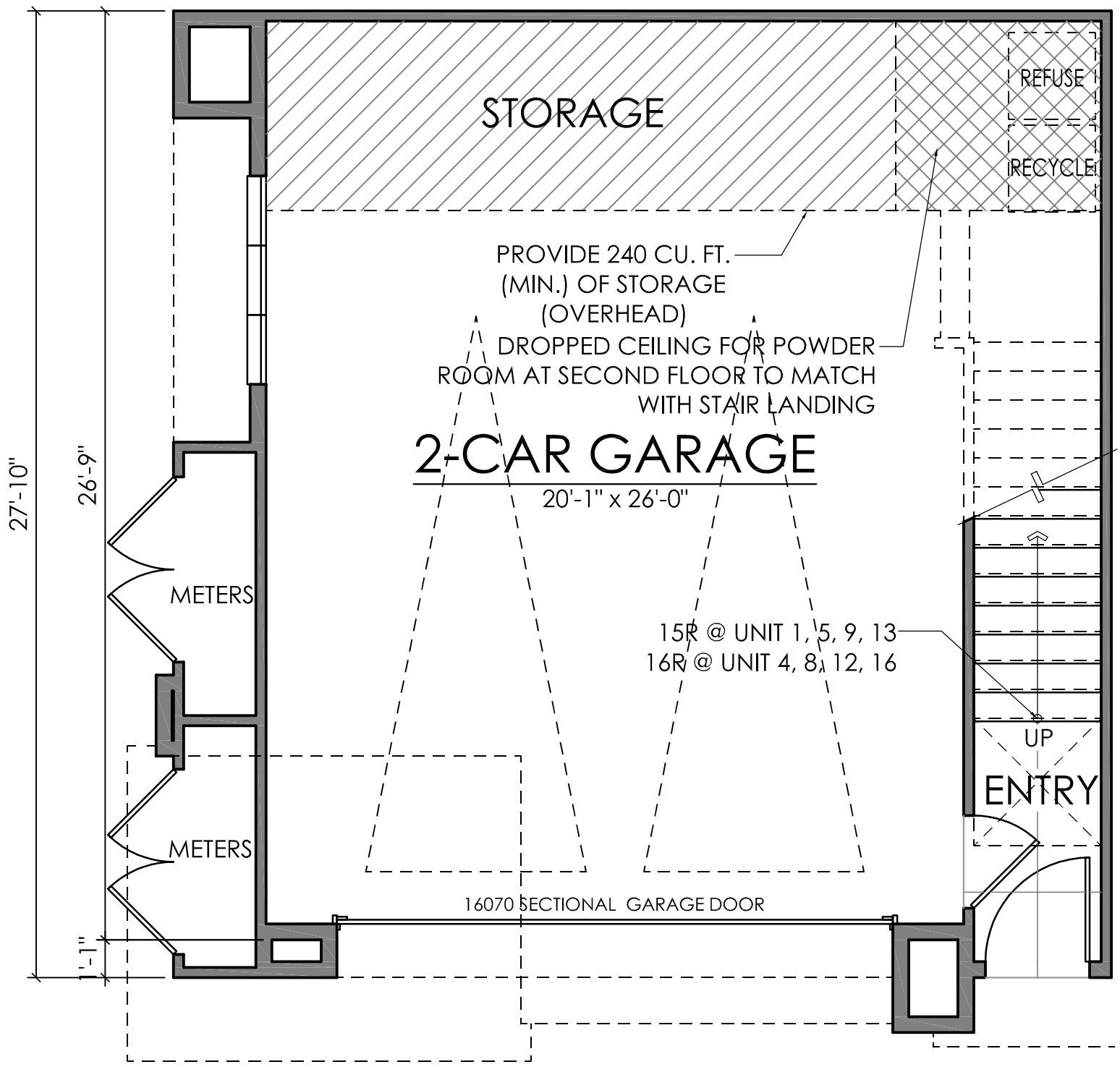
PLAN THREE - UNIT 1	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.
PRIVATE EXT. OUTDOOR SPACE (BALCONY)	178 SQ. FT.
GARAGE (W/ STORAGE)	557 SQ. FT.
UTILITY METER CLOSETS	41 SQ. FT.



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN THREE	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.
PRIVATE EXT. OUTDOOR SPACE (BALCONY)	100 SQ. FT.
GARAGE (W/ STORAGE)	557 SQ. FT.
UTILITY METER CLOSETS	37 SQ. FT.

PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.

10.02.20

BLDG. A-B | PLAN THREE | 1,534 SQ. FT.

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

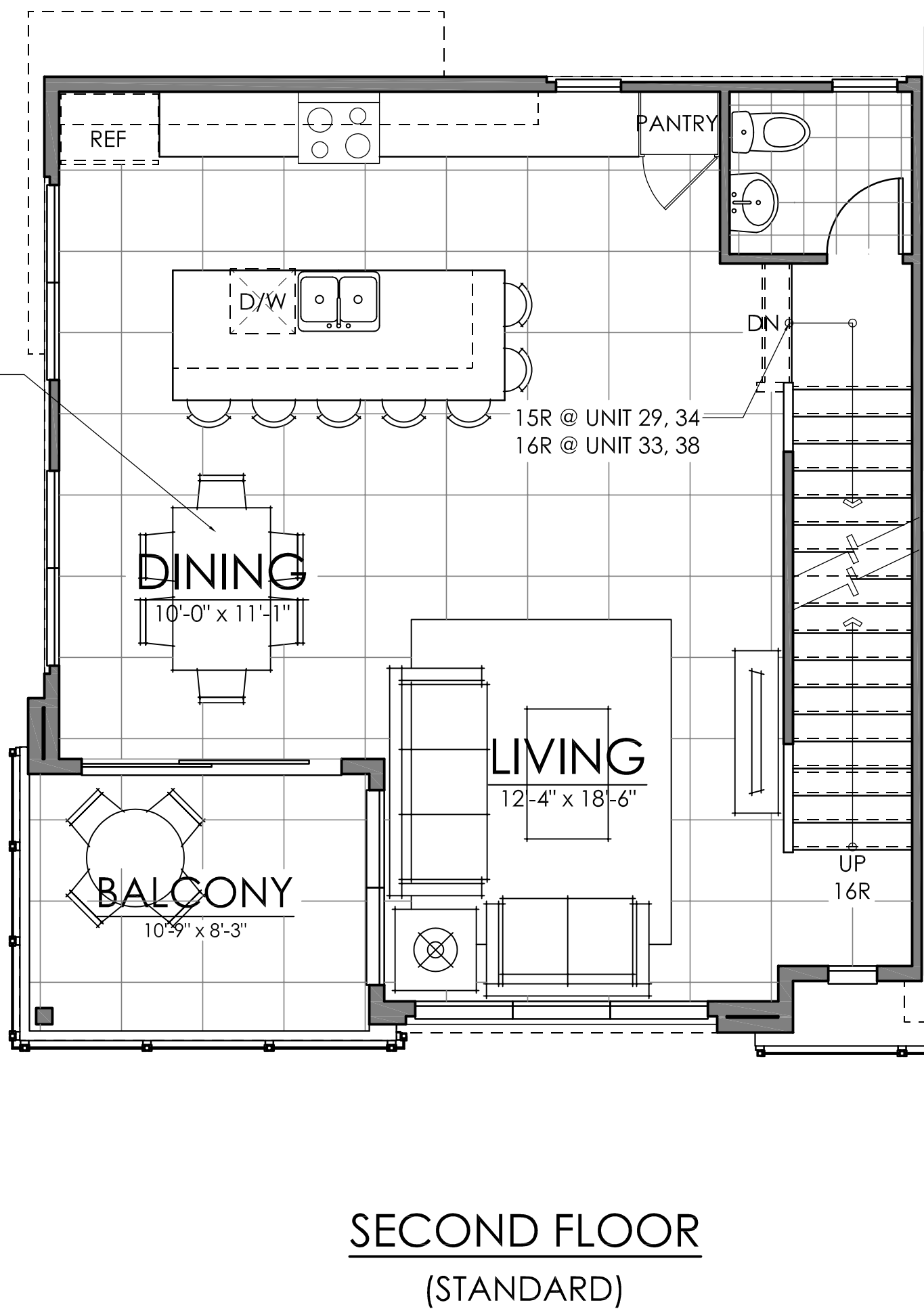
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



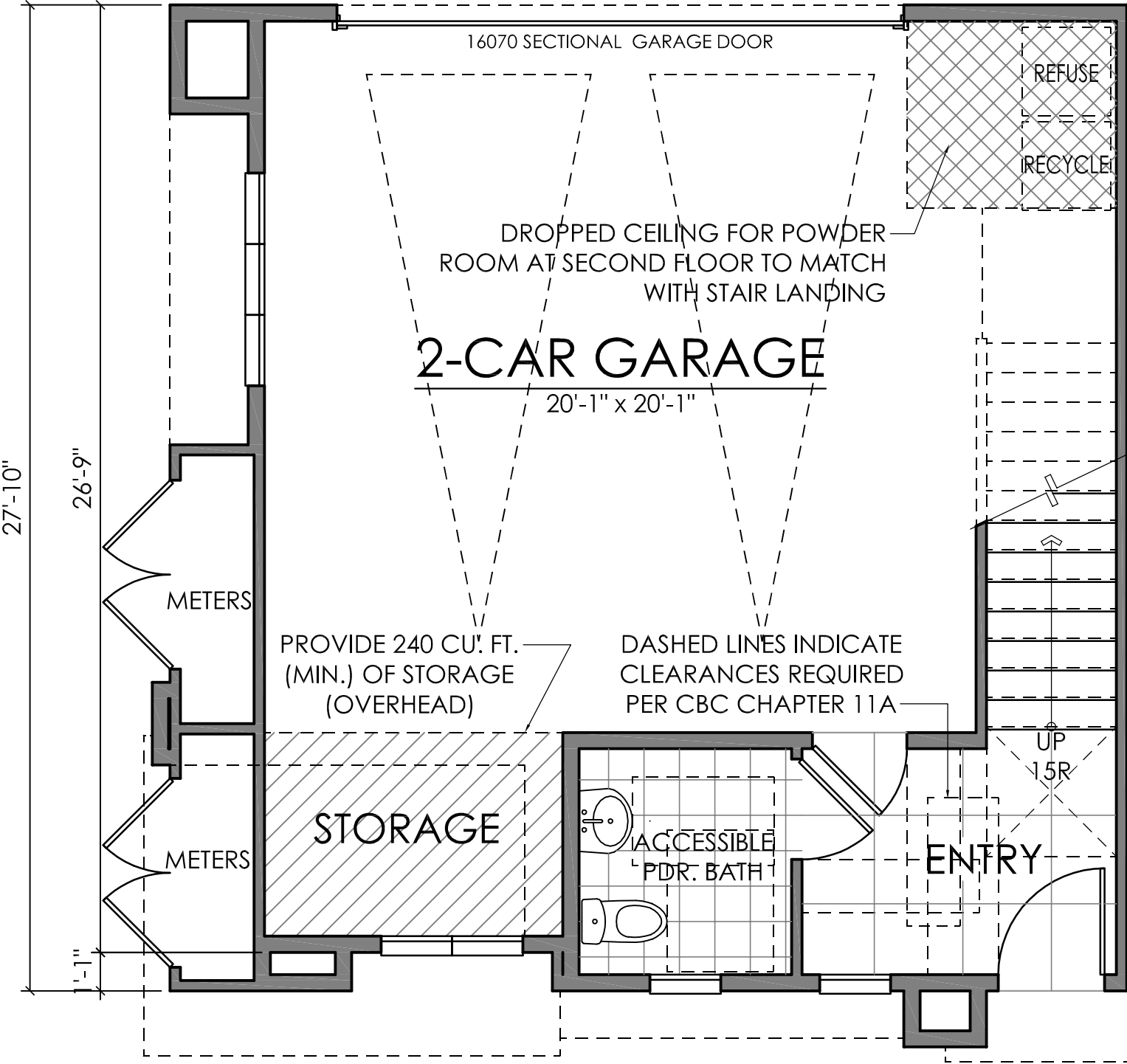
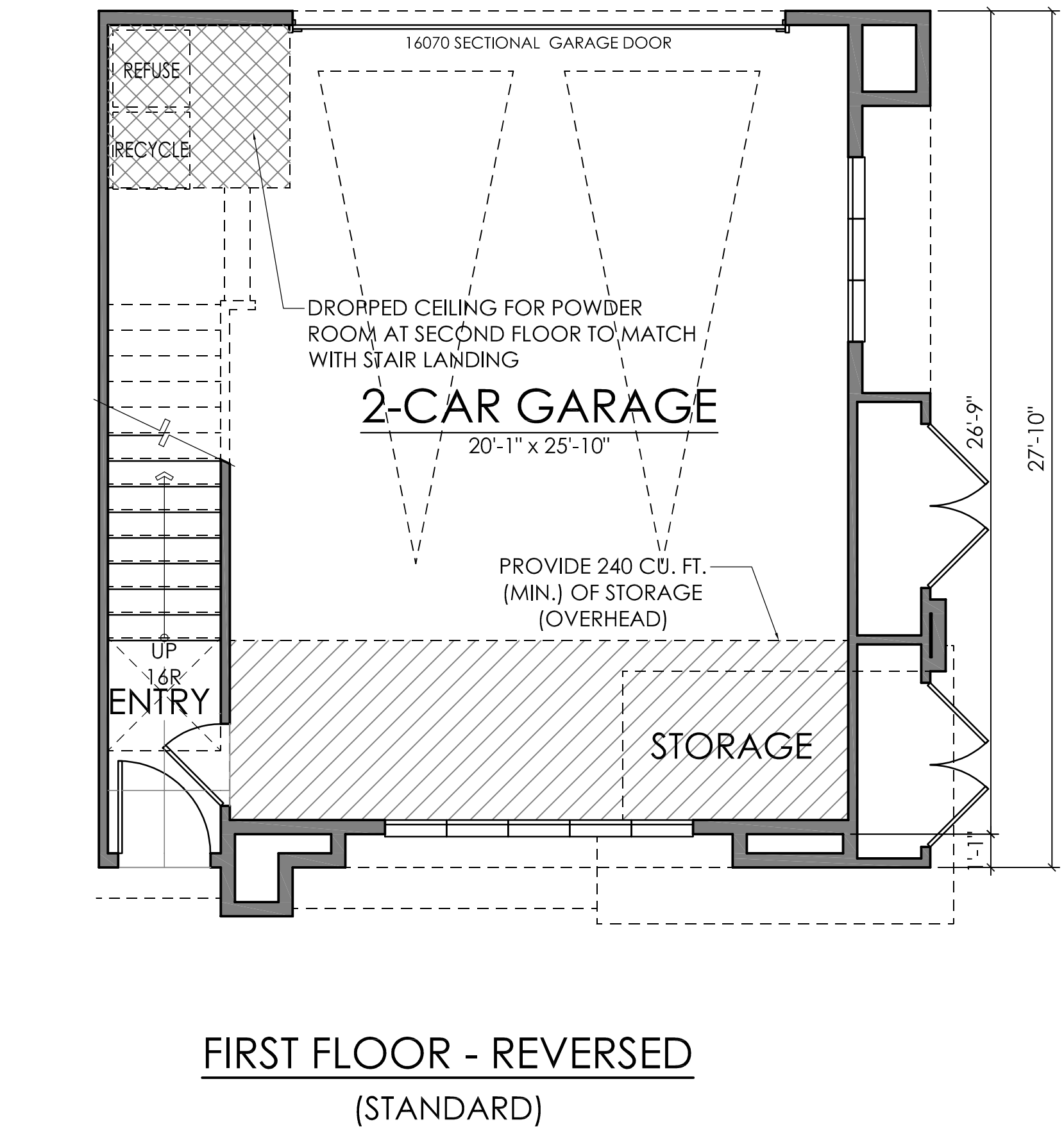
PLAN NOTES (TYPICAL):
1ST FLOOR: 8'-1" PLATE HT., 7'-0" WDW HT.
2ND FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.
3RD FLOOR: 9'-1" PLATE HT., 8'-0" WDW HT.

PLAN THREE - STANDARD	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.
PRIVATE EXT. OUTDOOR SPACE (BALCONY)	83 SQ. FT.
GARAGE (W/ STORAGE)	552 SQ. FT.
UTILITY METER CLOSETS	37 SQ. FT.

BLDG. E-F | PLAN THREE | ACCESSIBLE | 1,635 SQ. FT. | STANDARD | 1,552 SQ. FT.



PLAN THREE - ACCESSIBLE	
FIRST FLOOR	179 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,635 SQ. FT.
PRIVATE EXT. OUTDOOR SPACE (BALCONY)	83 SQ. FT.
GARAGE (W/ STORAGE)	484 SQ. FT.
UTILITY METER CLOSETS	37 SQ. FT.

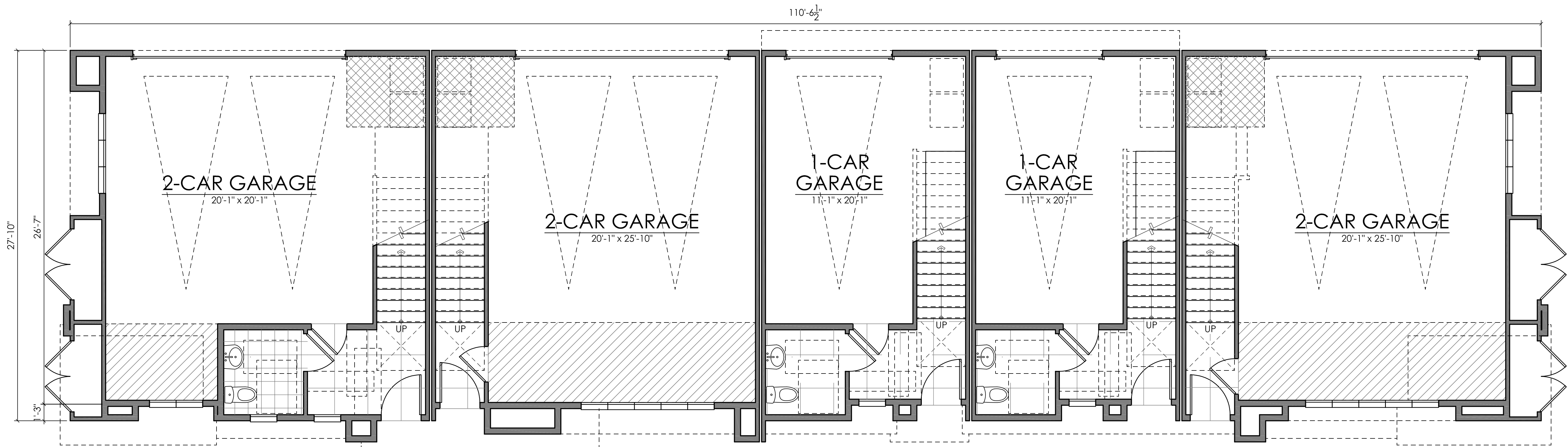


FIRST FLOOR (ACCESSIBLE)
(PER CBC SECTION 1134A.2 OPTION #2, ITEMS 1 THROUGH 12 SHALL COMPLY)

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



**PLAN THREE -
ACCESSIBLE**

FIRST FLOOR	179 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,635 SQ. FT.

PLAN TWO

FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

**PLAN ONE -
ACCESSIBLE**

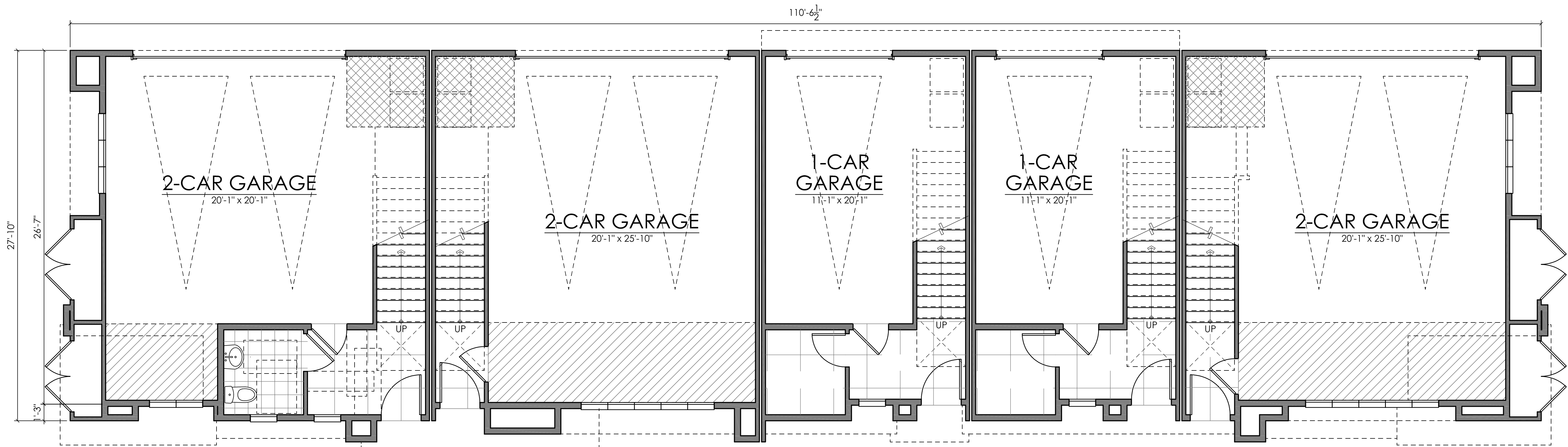
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

**PLAN ONE -
ACCESSIBLE**

FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

**PLAN THREE -
REVERSE**

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

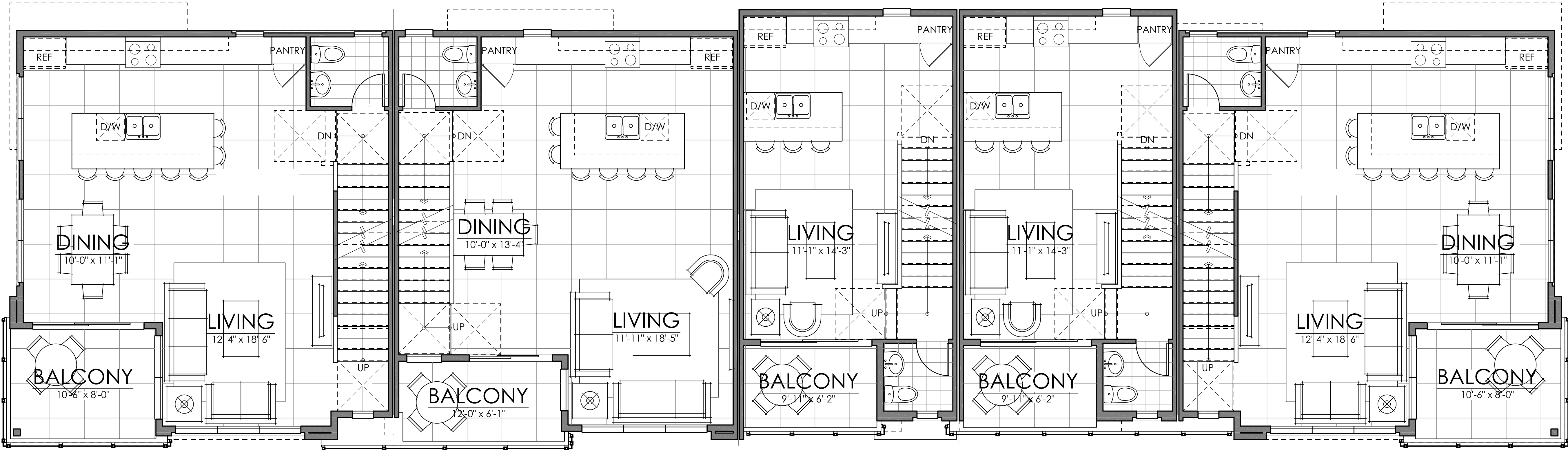
PLAN THREE - ACCESSIBLE	
FIRST FLOOR	179 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,635 SQ. FT.

PLAN TWO	
FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

PLAN ONE -	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

PLAN ONE -	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

PLAN THREE - REVERSE	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

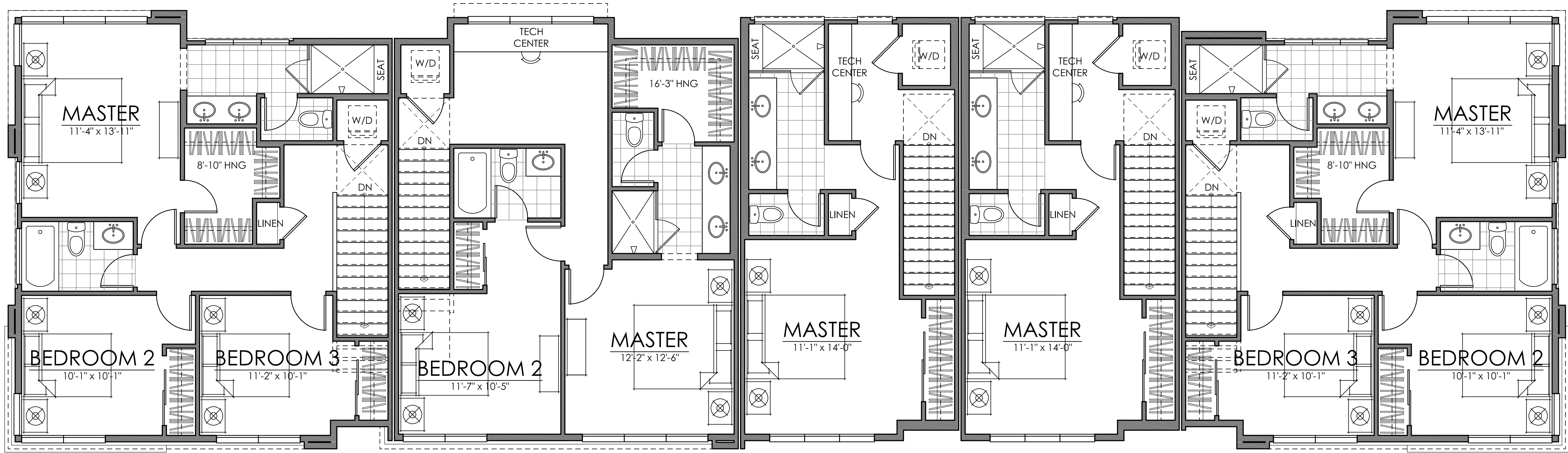
PLAN THREE	
FIRST FLOOR	179 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,635 SQ. FT.

PLAN TWO	
FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

PLAN ONE -	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

PLAN ONE -	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

PLAN THREE -	
REVERSE	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

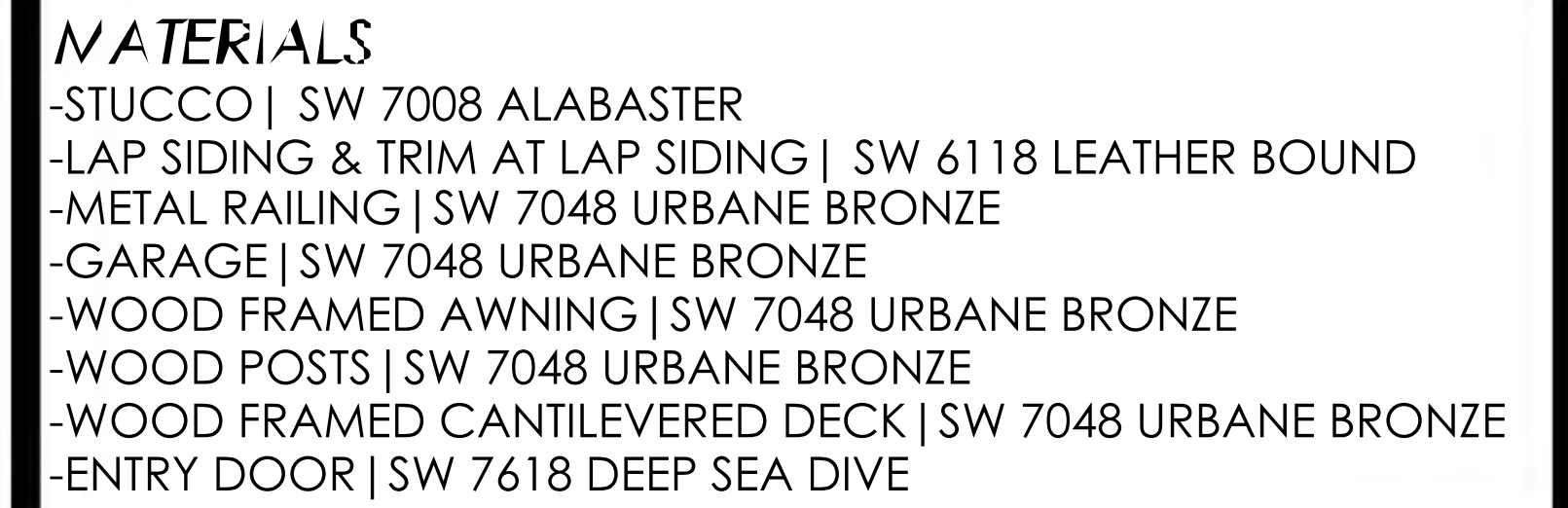
PLAN THREE	
FIRST FLOOR	179 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,635 SQ. FT.

PLAN TWO	
FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

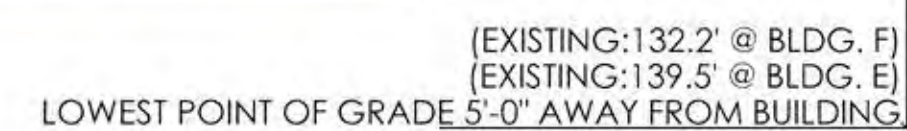
PLAN ONE -	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

PLAN ONE -	
FIRST FLOOR	159 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	993 SQ. FT.

PLAN THREE -	
REVERSE	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.



SCALE: 1/8" = 1'-0"



SCALE: 1/4" = 1'-0"

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHOD

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODEY ARCHITECTURAL GROUP, INC.



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

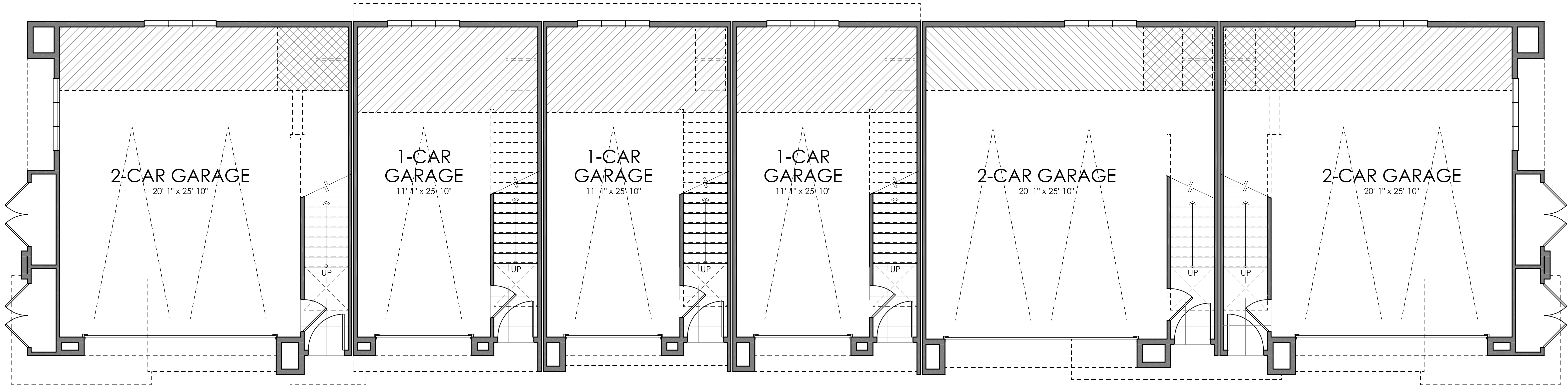
SCALE: 1/4" = 1'-0"

BUILDING E-F | EXTERIOR ELEVATIONS

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

10.02.20

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. © COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

**PLAN TWO -
REVERSE**

FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

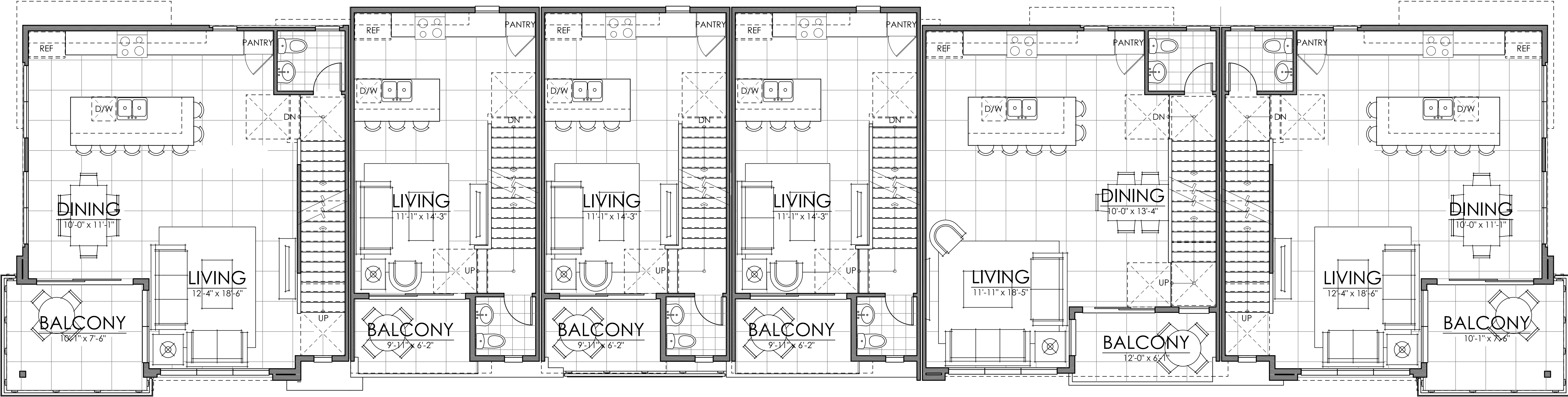
**PLAN THREE -
REVERSE**

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.

10.02.20

BUILDING C-D | FIRST FLOOR
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS.
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN ONE

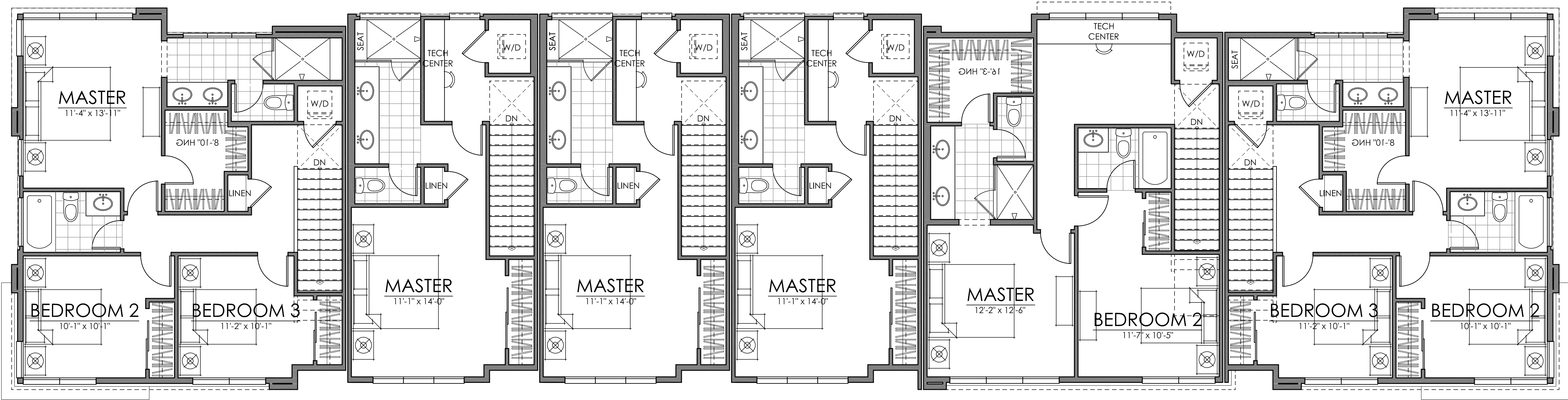
FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

**PLAN TWO -
REVERSE**

FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

**PLAN THREE -
REVERSE**

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN ONE

FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN ONE

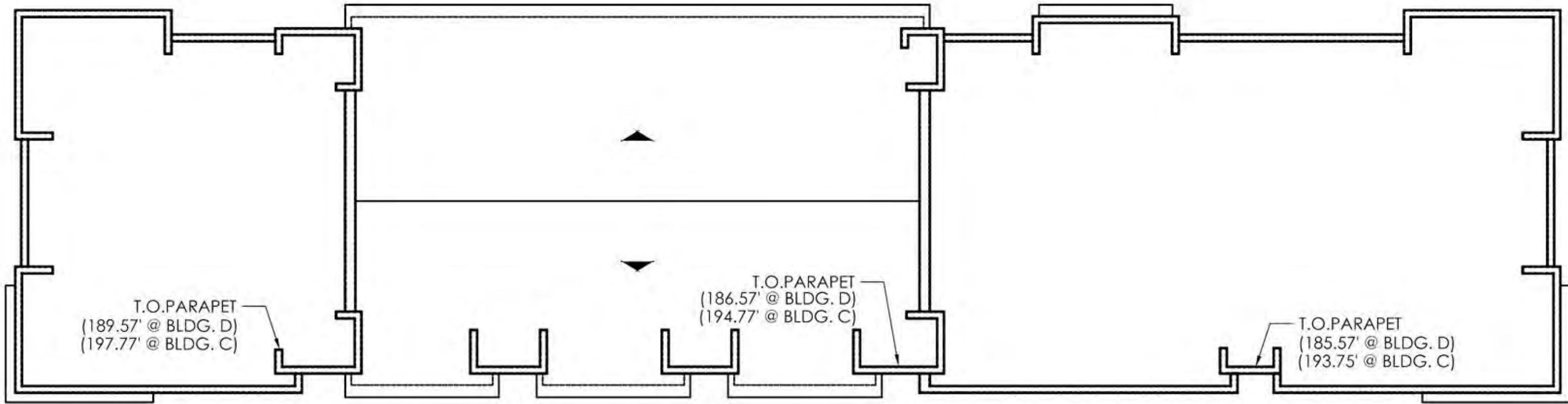
FIRST FLOOR	81 SQ. FT.
SECOND FLOOR	407 SQ. FT.
THIRD FLOOR	427 SQ. FT.
TOTAL LIVING	915 SQ. FT.

PLAN TWO -

REVERSE	
FIRST FLOOR	90 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	688 SQ. FT.
TOTAL LIVING	1,428 SQ. FT.

PLAN THREE -

REVERSE	
FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	754 SQ. FT.
TOTAL LIVING	1,552 SQ. FT.



- MATERIALS**
- STUCCO | SW 7008 ALABASTER
 - LAP SIDING & TRIM AT LAP SIDING | SW 6118 LEATHER BOUND
 - METAL RAILING | SW 7048 URBANE BRONZE
 - GARAGE | SW 7048 URBANE BRONZE
 - WOOD FRAMED AWNING | SW 7048 URBANE BRONZE
 - WOOD POSTS | SW 7048 URBANE BRONZE
 - WOOD FRAMED CANTILEVERED DECK | SW 7048 URBANE BRONZE
 - ENTRY DOOR | SW 7618 DEEP SEA DIVE

ROOF PLAN

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

METAL RAILING

WOOD FRAMED CANTILEVERED DECK

SCALE: 1/4" = 1'-0"

10.02.20

BUILDING C-D | EXTERIOR ELEVATIONS

32ND & BROADWAY

SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

A18

woodley architectural group, inc

colorado // 731 southpark dr. suite B
littleton, co 80120 / 303.683.7231

california // 2943 pullman st. suite A
santa ana, ca 92705 / 949.553.8919



NORTH ELEVATION - BUILDING C

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING C-D | EXTERIOR ELEVATIONS

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

07.08.20

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

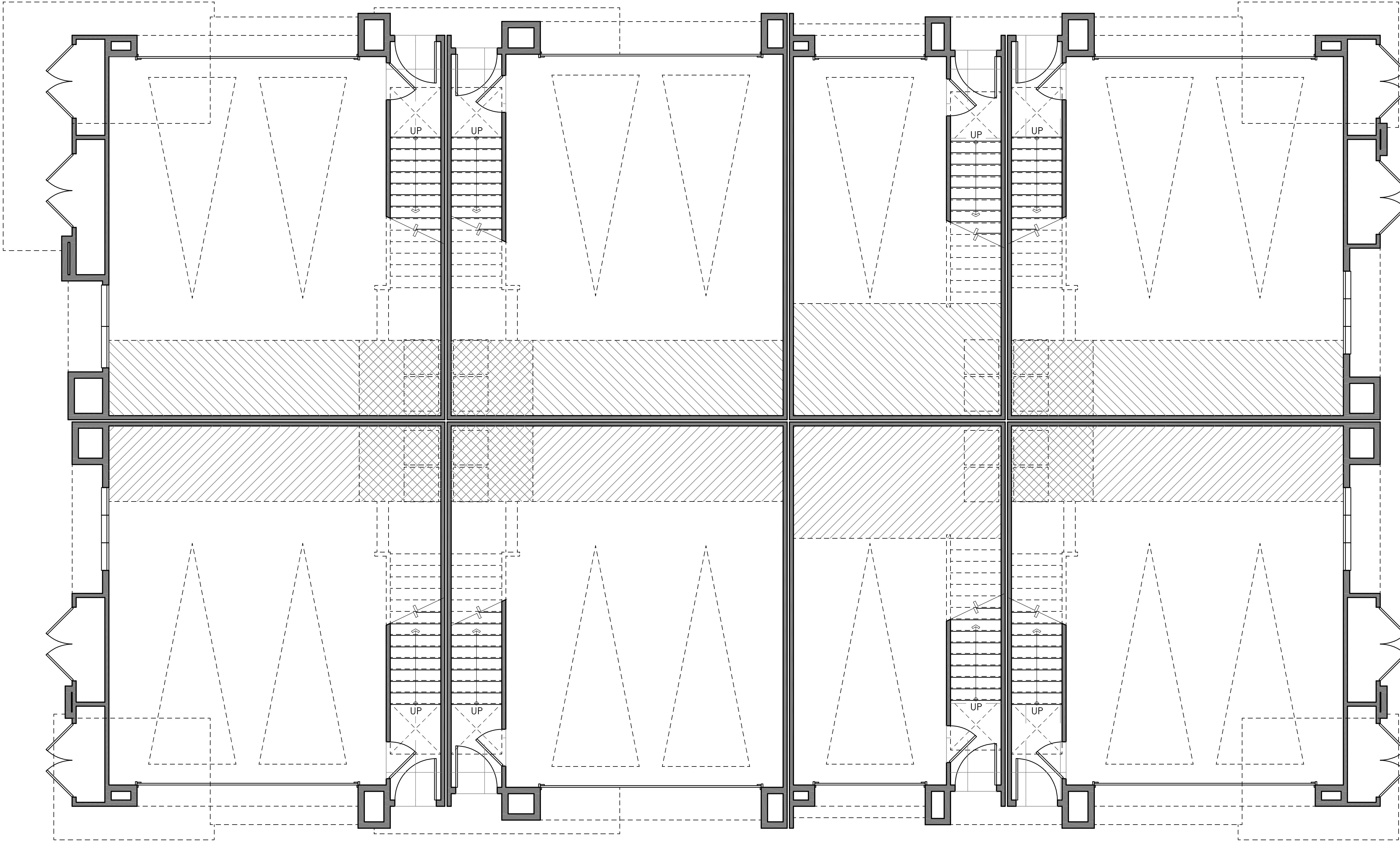
FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

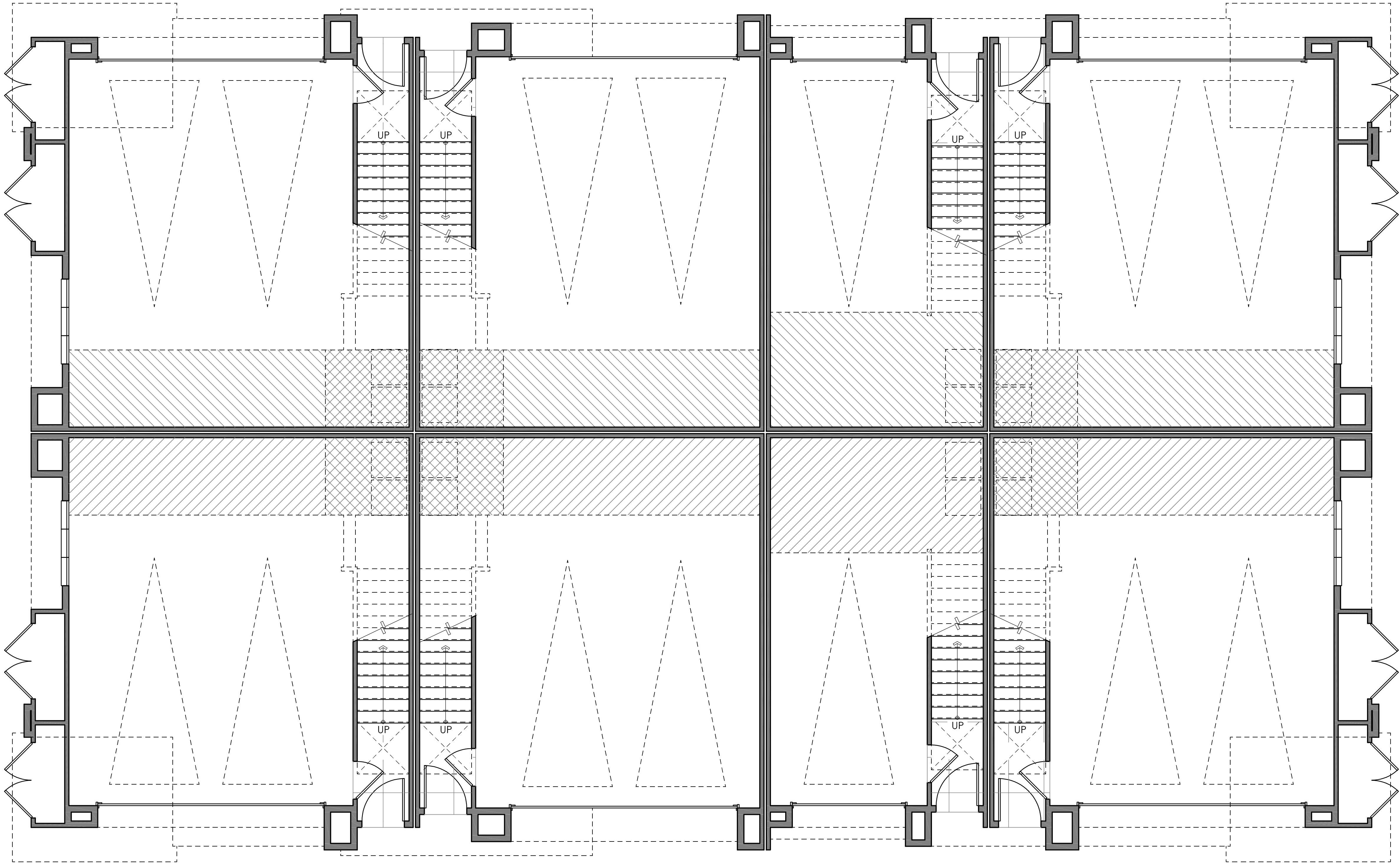
FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

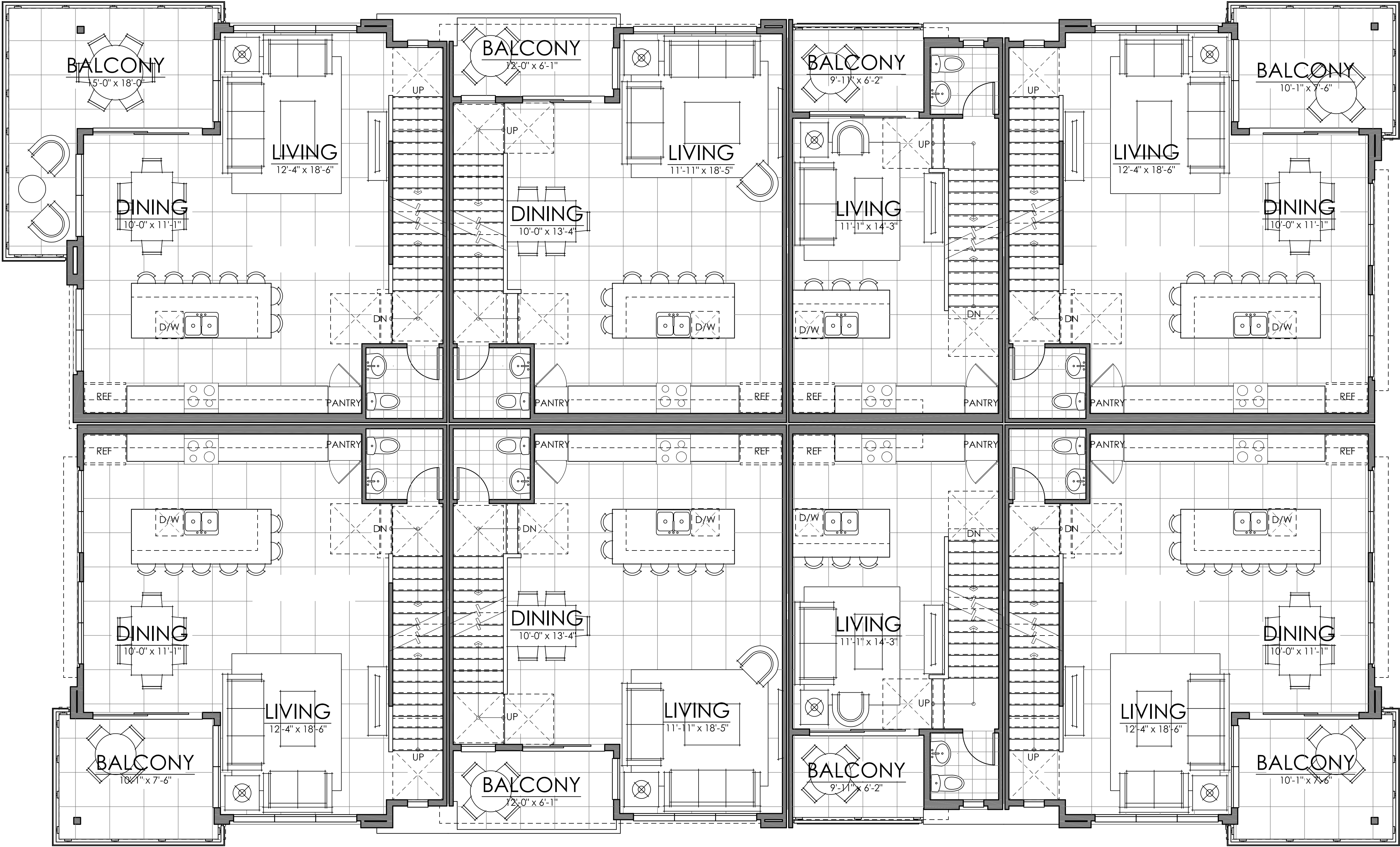
FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

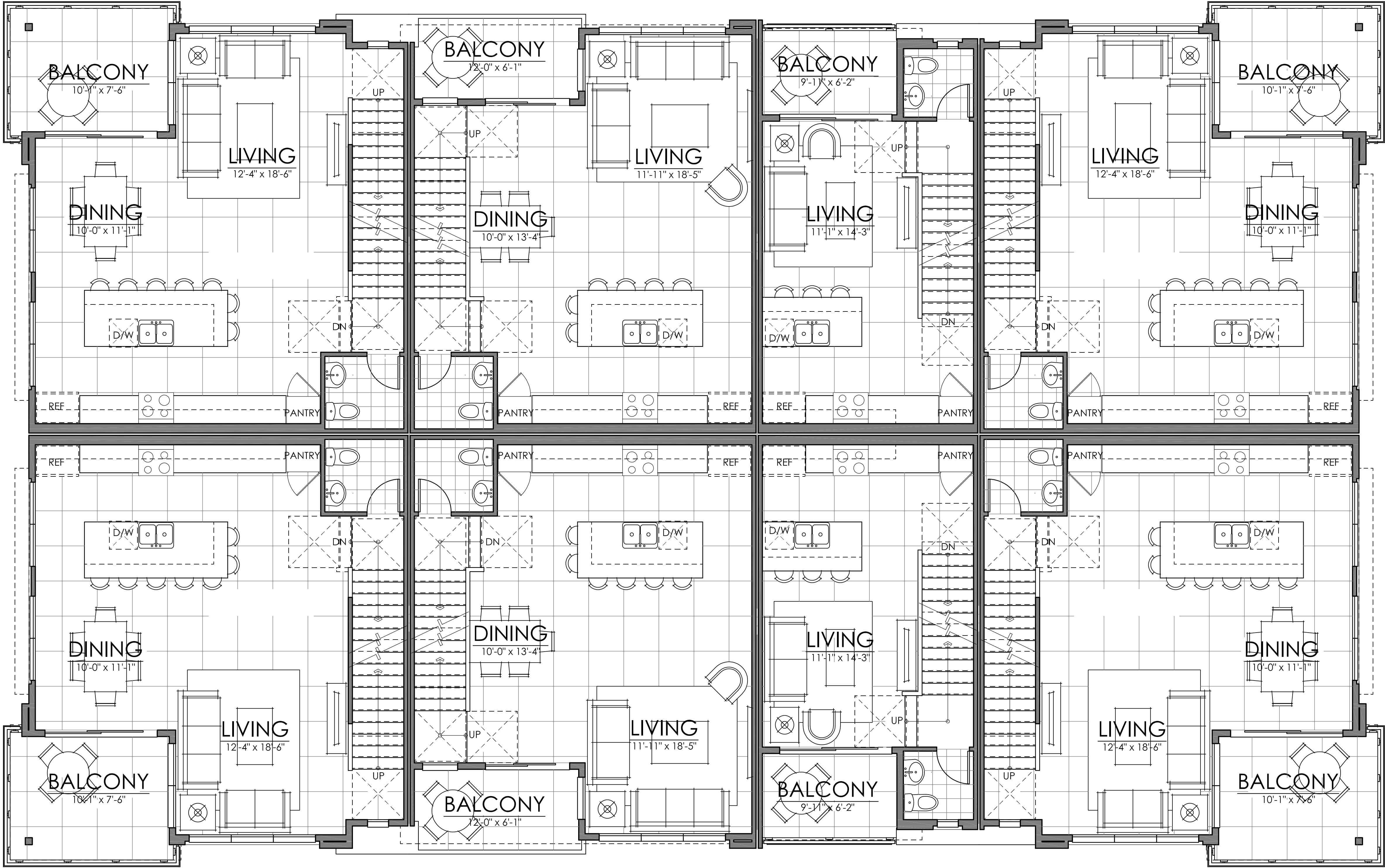
FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

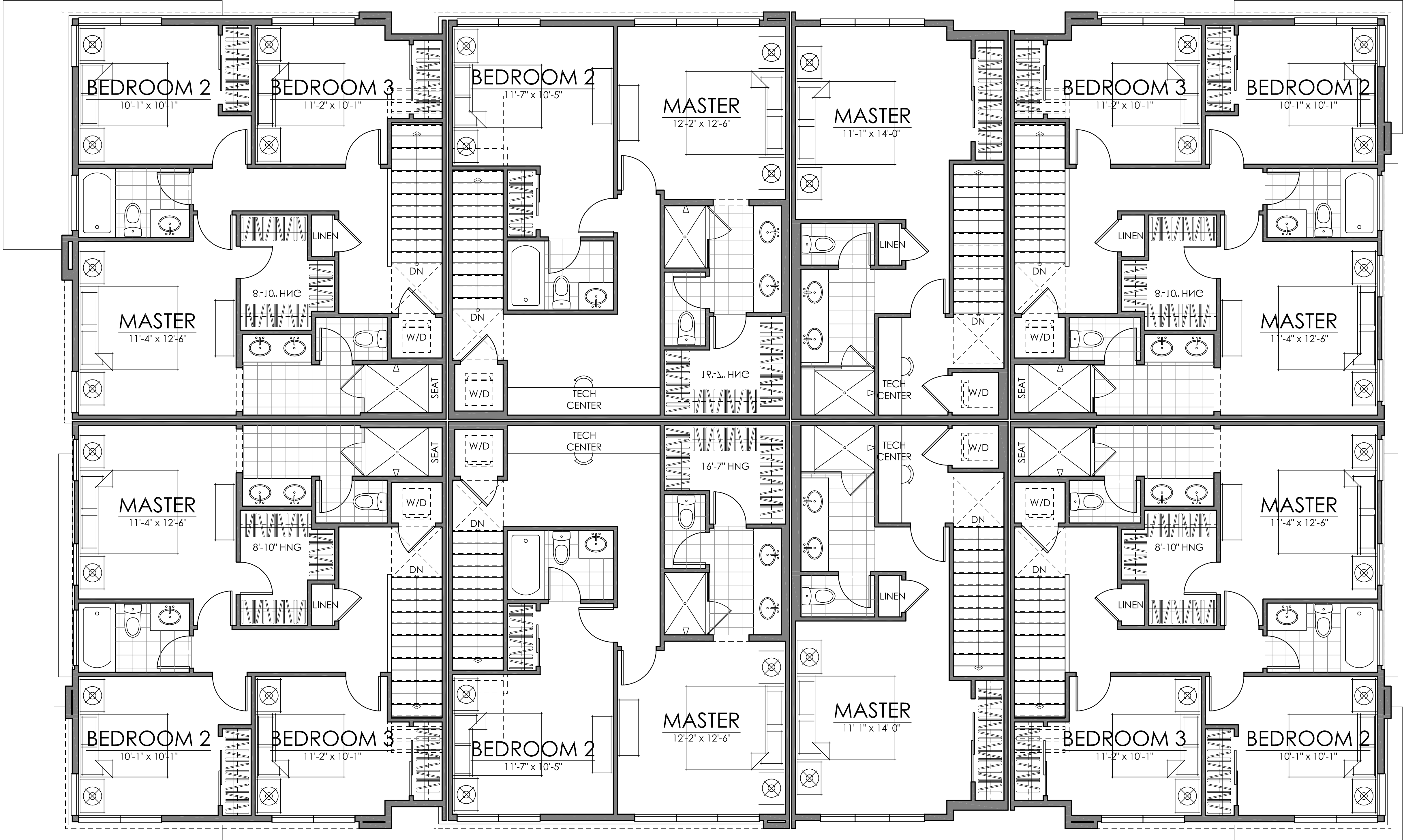
PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN THREE		PLAN TWO		PLAN ONE		PLAN THREE-REVERSE	
FIRST FLOOR	96 SQ. FT.	FIRST FLOOR	93 SQ. FT.	FIRST FLOOR	78 SQ. FT.	FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.	SECOND FLOOR	650 SQ. FT.	SECOND FLOOR	384 SQ. FT.	SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.	THIRD FLOOR	670 SQ. FT.	THIRD FLOOR	404 SQ. FT.	THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.	TOTAL LIVING	1,413 SQ. FT.	TOTAL LIVING	886 SQ. FT.	TOTAL LIVING	1,534 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE		PLAN TWO		PLAN ONE		PLAN THREE-REVERSE	
FIRST FLOOR	96 SQ. FT.	FIRST FLOOR	93 SQ. FT.	FIRST FLOOR	78 SQ. FT.	FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.	SECOND FLOOR	650 SQ. FT.	SECOND FLOOR	384 SQ. FT.	SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.	THIRD FLOOR	670 SQ. FT.	THIRD FLOOR	404 SQ. FT.	THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.	TOTAL LIVING	1,413 SQ. FT.	TOTAL LIVING	886 SQ. FT.	TOTAL LIVING	1,534 SQ. FT.

10.02.20

BUILDING A | THIRD FLOOR
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS.
THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

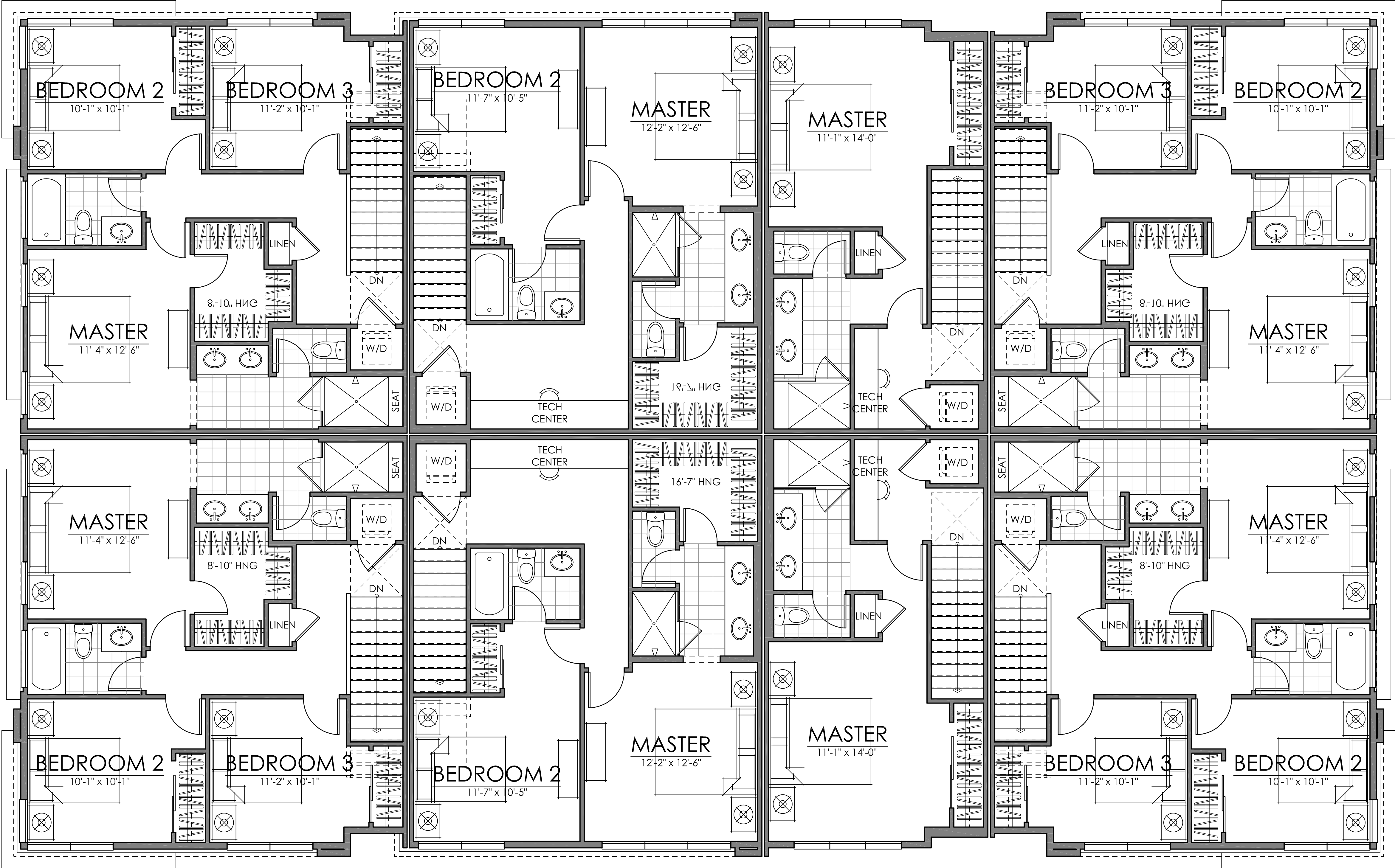
FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.



NOTE:
REFER TO UNIT PLAN SHEETS A1 THROUGH A9 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

PLAN THREE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

PLAN TWO

FIRST FLOOR	93 SQ. FT.
SECOND FLOOR	650 SQ. FT.
THIRD FLOOR	670 SQ. FT.
TOTAL LIVING	1,413 SQ. FT.

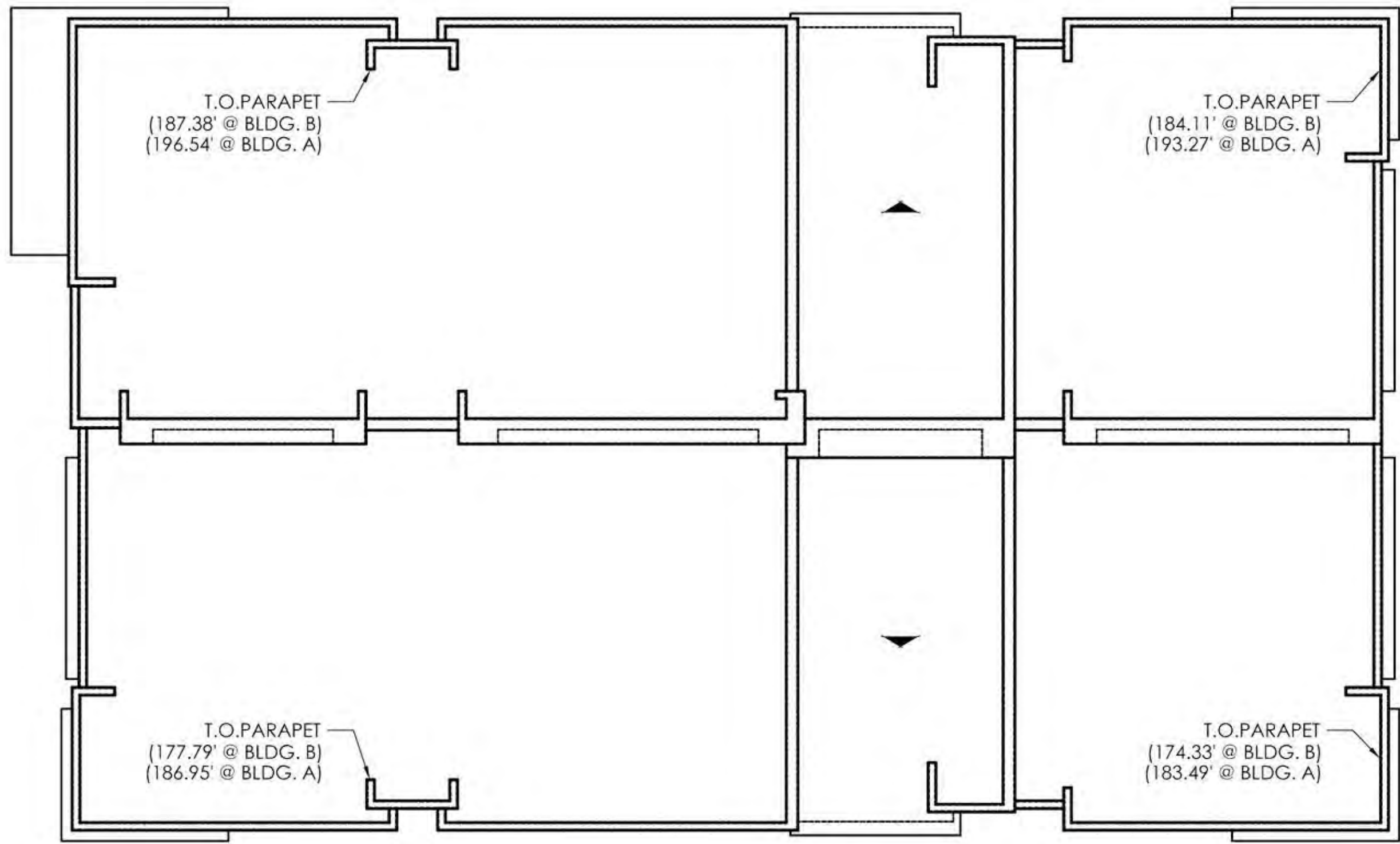
PLAN ONE

FIRST FLOOR	78 SQ. FT.
SECOND FLOOR	384 SQ. FT.
THIRD FLOOR	404 SQ. FT.
TOTAL LIVING	886 SQ. FT.

PLAN THREE-REVERSE

FIRST FLOOR	96 SQ. FT.
SECOND FLOOR	702 SQ. FT.
THIRD FLOOR	736 SQ. FT.
TOTAL LIVING	1,534 SQ. FT.

- MATERIALS**
- STUCCO | SW 7008 ALABASTER
 - LAP SIDING & TRIM AT LAP SIDING | SW 6118 LEATHER BOUND
 - METAL RAILING | SW 7048 URBANE BRONZE
 - GARAGE | SW 7048 URBANE BRONZE
 - WOOD FRAMED AWNING | SW 7048 URBANE BRONZE
 - WOOD POSTS | SW 7048 URBANE BRONZE
 - WOOD FRAMED CANTILEVERED DECK | SW 7048 URBANE BRONZE
 - ENTRY DOOR | SW 7618 DEEP SEA DIVE



ROOF PLAN

SAND FINISH STUCCO

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

10.02.20

BUILDING A | EXTERIOR ELEVATIONS

32ND & BROADWAY

SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.

A24

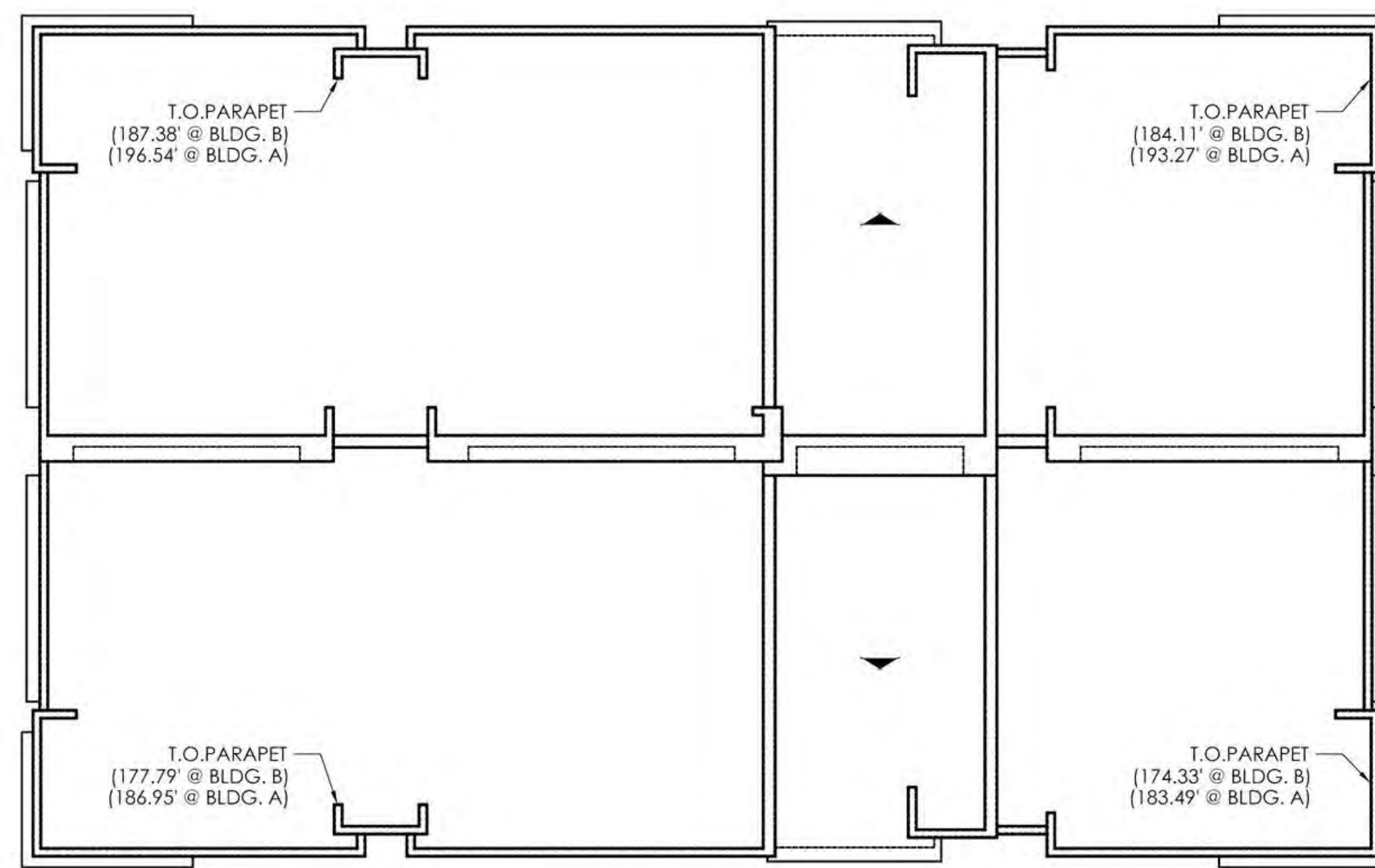
woodley
architectural
group, inc

colorado // 731 southpark dr. suite B
littleton, co 80120 / 303 683.7231

california // 2943 pullman st. suite A
santa ana, ca 92705 / 949 553.8919

MATERIALS

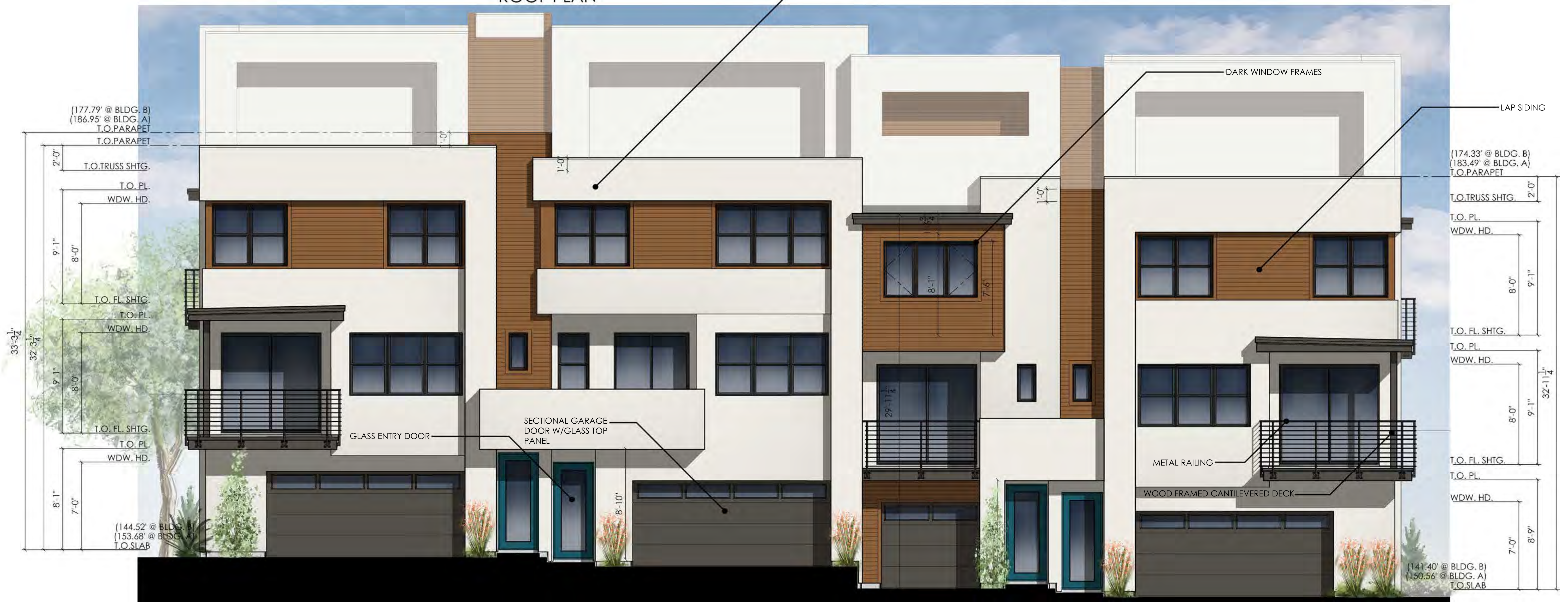
- STUCCO | SW 7008 ALABASTER
- LAP SIDING & TRIM AT LAP SIDING | SW 6118 LEATHER BOUND
- METAL RAILING | SW 7048 URBANE BRONZE
- GARAGE | SW 7048 URBANE BRONZE
- WOOD FRAMED AWNING | SW 7048 URBANE BRONZE
- WOOD POSTS | SW 7048 URBANE BRONZE
- WOOD FRAMED CANTILEVERED DECK | SW 7048 URBANE BRONZE
- ENTRY DOOR | SW 7618 DEEP SEA DIVE



ROOF PLAN

— SAND FINISH STUCCO

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING B | EXTERIOR ELEVATIONS

32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



BUILDING A & B | EXTERIOR ELEVATIONS

32ND & BROADWAY

SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

10.02.20

BUILDING A | EXTERIOR ELEVATIONS
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

10.02.20

BUILDING B | EXTERIOR ELEVATIONS
32ND & BROADWAY
SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



WEST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

10.02.20

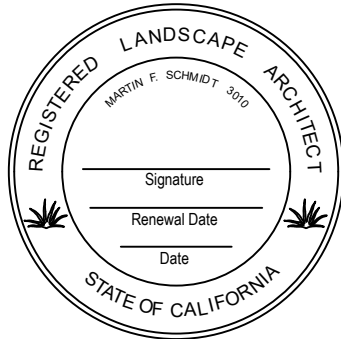
BUILDING B | EXTERIOR ELEVATIONS

32ND & BROADWAY

SAN DIEGO, CALIFORNIA

NOTE: SQUARE FOOTAGE MAY VARY BASED ON CALCULATION METHODS

THESE DRAWINGS ARE INTENDED FOR DESIGN DEVELOPMENT AND PRELIMINARY STUDIES ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, SUCH AS FINAL PLOTTING OR FINAL ENGINEERING. COPYRIGHT WOODLEY ARCHITECTURAL GROUP, INC. THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE EXPRESS WRITTEN PERMISSION OF WOODLEY ARCHITECTURAL GROUP, INC.



DATE	04.26.2019
SCALE	1/16"
DRAWN	MS
JOB NO.	17.023

CONCEPT PLANTING PLAN

PROJECT
32ND AND BROADWAY
1000 BLOCK 32ND STREET
SAN DIEGO, CA 92102

REVISIONS	TYPE	BY	DATE
	09.10.19	2ND CITY SUBMITTAL	
	11.18.19	3RD CITY SUBMITTAL	
	12.19.19	4TH CITY SUBMITTAL	
	04.10.20	5TH CITY SUBMITTAL	
	06.29.20	6TH CITY SUBMITTAL	
	07.06.20	7TH CITY SUBMITTAL	
	10.01.20	8TH CITY SUBMITTAL	
	10.06.20	8TH CITY SUBMITTAL	

G PERIMETER HEDGE & BIO-FEATURE LANDSCAPE

F COMMON OPEN SPACE 2

ARTIFICIAL TURF AREAS - (594 S.F. TOTAL)

E COMMON OPEN SPACE I - DOG PARK

PET AMENITY (594 S.F. TOTAL) TO INCLUDE: D.G. SURFACE, TRASH CANS, DOG BAGS, HOSE BID CONNECTED TO THE IRRIGATION SYSTEM, FILTRATION AREA TO CAPTURE RUNOFF AND/OR A DRAIN TO KEEP RUNOFF FROM PUBLIC ROW. (ADA ACCESS TO BE ADDRESSED IN CONSTRUCTION DOCUMENT SUBMITTAL)

ARTIFICIAL TURF AREAS
(594 S.F. TOTAL)

B PERIMETER LANDSCAPE

A STREETSCAPE

D PLANTING AT BUILDING FACADE

C INTERIOR LANDSCAPE

H RETAINING WALL AND SCREEN FENCE

SEE CIVIL ENGINEERING PLANS

SIGHT TRIANGLE
PERVIOUS PAVER DRIVE
PERVIOUS PAVER WALKWAY
SIGHT TRIANGLE
CONCRETE WALK

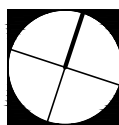
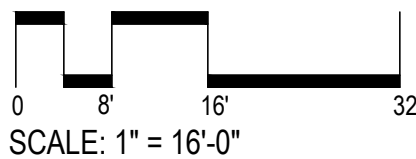
2x2' STONE STEPPERS SET IN 3"
CRUSHED GRANITE FOR ACCESS TO METERS & UTILITY
CABINETS (TYPICAL SYMBOL)

DECOMPOSED GRANITE SURFACE
PERVIOUS PAVER WALKWAY

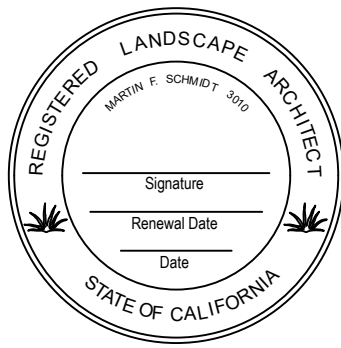
ADA ACCESS RAMP,
INTEGRAL COLOR
CONCRETE WITH BROOM
FINISH.

CONCEPT NOTES:

- ALL NEW LANDSCAPE AND IRRIGATION SHALL BE IN CONFORMANCE WITH THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE AND REQUIREMENTS.
- ALL LANDSCAPE AREAS ARE TO BE IRRIGATED BY A COMPLETELY AUTOMATED IRRIGATION SYSTEM - UTILIZING AN AUTOMATIC CONTROLLER, REMOTE CONTROL VALVES, LOW PRECIPITATION HEADS AND UNDERGROUND PIPING. THE DOMESTIC SYSTEM WILL BE PROTECTED BY A REDUCED PRESSURE BACKFLOW PREVENTER.
- THE SYSTEM WILL BE PROGRAMMED AND OPERATED TO MAXIMIZE THE EFFICIENCY OF THE SYSTEM AND LIMIT WATER CONSUMPTION. THE SYSTEM WILL BE DESIGNED TO ACHIEVE 100% COVERAGE.
- PLANTING AREAS TO RECEIVE A 3" MULCH LAYER OF 'FOREST FINES' AGRI-SERVICE PRODUCTS OR EQUAL.
- THE HOA WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT LANDSCAPE AND IRRIGATION SYSTEM(S) + DOG PARK.
- EVERGREEN PLANTS SHALL BE USED TO SCREEN UNSIGHTLY ELEMENTS AND SHALL BE SPACED TO PROVIDE 100% SCREENING WITHIN TWO (2) YEARS OF INSTALLATION.
- TREES SHALL NOT BE PLANTED WITHIN A PUBLIC UTILITY EASEMENT UNLESS OTHERWISE APPROVED BY THE CITY. AVOID PLANTING TREES AND LARGE SHRUBS ABOVE OR NEAR SEWER LATERALS, WATER MAINS, METER BOXES AND OTHER UTILITIES.
- THE TOTAL COMMON OPEN SPACE IS 1,188 SF. THIS MEETS THE REQUIREMENT OF 25 SF OF OPEN SPACE PER DWELLING UNIT. THE PROJECT CONSIST OF 38 DWELLING UNITS (38 X 25 SF = 950 SF)



All plans, designs, layouts, ideas and concepts shown, indicated, represented and/ or referenced on this drawing sheet and set are the property of Enviroins and are intended and licensed for use on this project only. Any plans, designs, layouts, ideas and concepts of this drawing sheet and set shall not be used, disclosed, and/ or reproduced, by any person(s), firm(s), or corporations(s) for any purpose whatsoever without the expressed written permission of Enviroins.



DATE
04.26.2019
SCALE
NA
DRAWN
MS
JOB NO.

PLANTING LEGEND, NOTES
& WATER CALCULATIONS

SHEET

PROJECT
32ND AND BROADWAY
1000 BLOCK 32ND STREET
SAN DIEGO, CA 92102

TYPE	BY	DATE
09.10.19	2ND CITY SUBMITTAL	
11.18.19	3RD CITY SUBMITTAL	
12.19.19	4TH CITY SUBMITTAL	
04.10.20	5TH CITY SUBMITTAL	
06.29.20	6TH CITY SUBMITTAL	
07.06.20	7TH CITY SUBMITTAL	
10.01.20	8TH CITY SUBMITTAL	
10.06.20	8TH CITY SUBMITTAL	

REVISIONS

NO.

SHEET

SHEETS

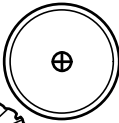

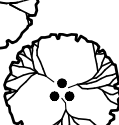

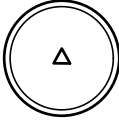
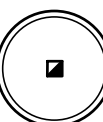
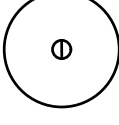
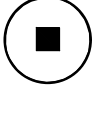



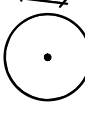

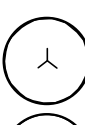



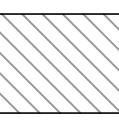
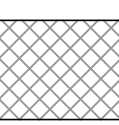


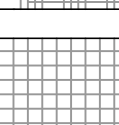
4

2

L-2

OF

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	WUCOLS	
	EUCALYPTUS POLYANTHEMOS / SILVER DOLLAR GUM	15 GAL	17	LOW	
	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE	15 GAL	1	MED	
	PLATANUS RACEMOSA / CALIFORNIA SYCAMORE MULTI-TRUNK	15 GAL	1	MED	
	TRISTANIA CONFERTA / BRISBANE BOX	24"BOX	3	MED	
STREET TREES	BOTANICAL / COMMON NAME	CONT	QTY		
	32ND STREET TREES / SUCH AS ARBUTUS MARINA / MARINA MADRONE PISTACIA CHINENSIS / CHINESE PISTACHE (ALTERNATIVE) QUERCUS ILEX / HOLLY OAK (ALTERNATIVE)	24"BOX	6	LOW - MED	
	32ND STREET TREES UNDER POWERLINE / SUCH AS CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY REDBUD CASSIA LEPTOPHYLLA / GOLD MEDALLION TREE	24"BOX	9	LOW - MED	
	ALLEY STREET TREES / SUCH AS: ACACIA STENOPHYLLA - SHOESTRING ACACIA ACACIA PENDULA - WEEPING ACACIA	24"BOX	10	LOW	
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY		
	ACCENT PLANTS / SUCCULENTS / SUCH AS: ALOE MARLOTHII - MOUNTAIN ALOE AGAVE 'BLUE FLAME' - BLUE FLAME AGAVE AGAVE ATTENUATA - FOX TAIL AGAVE	5 GAL	21	LOW	
	ALOE ARBORESCENS / TREE ALOE	5 GAL	11	LOW	
	CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH	5 GAL	8	LOW	
	CHONDROPETALUM TECTORUM / CAPE RUSH	5 GAL	10	LOW	
	DIETES X 'NOLA ALBA' / KATRINA AFRICAN IRIS	5 GAL	140	LOW	
	FICUS PUMILA / CREEPING FIG	5 GAL	73	LOW	
	HESPERALOE PARVIFLORA 'DESERT FLAMENCO' TM / DESERT FLAMENCO RED YUCCA	5 GAL	52	LOW	
	LIGUSTRUM JAPONICUM 'TEXANUM' / WAX LEAF PRIVET	5 GAL	113	MED	
	PARTHENOCISSUS TRICUSPIDATA / JAPANESE CREEPER	5 GAL	16	MED	
	PODOCARPUS X 'ICEE BLUE' / ICEE BLUE PODOCARPUS	5 GAL	21	MED	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	
	ACACIA REDOLENS 'DESERT CARPET' / DESERT CARPET ACACIA	1 GAL	96" o.c.	22 SF	LOW
	BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH	1 GAL	36" o.c.	20 SF	LOW
	CAREX DIVULSA / BERKELEY SEDGE	1 GAL	24" o.c.	25 SF	LOW
	MALEPHORA LUTEA / ROCKY POINT ICE PLANT	FLAT	24" o.c.	6 SF	LOW
	ROSMARINUS OFFICINALIS 'HUNTINGTON BLUE' / ROSEMARY	1 GAL	60" o.c.	2 SF	LOW



PERVIOUS PAVING EXAMPLE

INERT MATERIAL LEGEND

	DECOMPOSED GRANITE, 2" LAYER, GRAPHITE GREY COLOR
	ARTIFICIAL TURF. TYPE AND MANUFACTURER TBD
	3/4" CRUSHED GRANITE AGGREGATE, 3" LAYER
	PERVIOUS PAVING DRIVEWAY, FINAL TYPE AND COLOR TBD.
	PERVIOUS PAVING WALKWAY, FINAL TYPE AND COLOR TBD.
	2X2' ELK MOUNTAIN CUT STONE STEPPER

CITY OF SAN DIEGO NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(b)(10).
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH IF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
 - THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
 - ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION AND ALL CUTS SEALED WITH WOOD PAINT AS MANUFACTURED BY FLINKOTE OR APPROVED EQUAL.
 - A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 6 INCHES OR GREATER IN DIAMETER.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

STREET TREE COUNTS

32ND STREET TREES:
PER 142.0409: REQUIRED STREET TREE COUNT: 12 PROVIDED STREET TREE COUNT: 13
1 TREE REQUIRED PER 30 L.F.
360 TOTAL L.F. OF STREET FRONTAGE = 12 TREES

ALLEY STREET TREES:
PER 142.0409: REQUIRED STREET TREE COUNT: 10 PROVIDED STREET TREE COUNT: 10
1 TREE REQUIRED PER 30 L.F.
300 TOTAL L.F. OF STREET FRONTAGE = 10 TREES

WATER CALCULATIONS

MAWA CALCULATION

(46.3)(0.62)(0.55 x 16,372) + (1-.55)x0))
(28.7)(9,004.6)
MAWA = 258,432

Water Efficient Landscape Worksheet Reference Evapotranspiration (Eto) 46.3

Hydrozone # / Planting Description	Plant Factor	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF X AREA	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
32nd Street Slopes	0.4	Overhead spray/Bubbler	0.75	0.53	2875	1533.3	44,006.7
32nd Street Building Frontage	0.3	Drip/ Bubbler	0.85	0.35	2,422	854.8	24,533.4
Northern Perimeter Understory Landscape	0.3	Drip/ Bubbler	0.85	0.35	914	322.6	9,258.3
North and East Side Screen Hedge / Vines	0.4	Drip	0.85	0.47	1519	714.8	20,515.4
Interior Landscape	0.4	Drip/ Bubbler	0.85	0.47	2,299	1081.9	31,050.0
East Building Plants	0.3	Drip/ Bubbler	0.85	0.35	2,103	742.2	21,302.2
Broadway Graded Slopes (Offsite)	0.3	Drip	0.85	0.35	3,108	1096.9	31,482.2
32nd Street and Broadway Street Vines	0.5	Drip	0.85	0.59	141	82.9	2,380.4
Basin	0.3	Drip	0.9	0.33	621	207.0	5,940.9
				Totals	16,002	6,637	190,469.5
Special Landscape Areas							
NONE				1	0		
				Totals	(A)	(B)	0.0
ETWU Total							190,469.5
Maximum Allowed Water Allowance (MAWA)							258,432.0

ETAF Calculations

Regular Landscape Areas	
Total ETAF X Area	6636.6
Total Area	16002
Average ETAF	0.4

PLANTING NOTES:

- REFER TO CIVIL ENGINEERING PLANS FOR ALL SITE DEVELOPMENT FEATURES SUCH AS FENCES, WALLS, HARDSCAPE, STREETS, CURBS, LAYOUTS, PLANTER DIMENSIONS.
- SEE CIVIL ENGINEERING PLANS FOR ALL DRAINAGE REQUIREMENTS.
- ALL LANDSCAPE AND IRRIGATION SHALL BE IN CONFORMANCE WITH THE CITY OF SAN MARCOS REQUIREMENTS AND CITY STANDARDS.
- ALL PLANT MATERIAL TO BE SPOTTED IN THE FIELD BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO ANY PLANTS BEING INSTALLED.
- MULTIPLE SOILS SAMPLES WILL NEED TO BE TAKEN BY THE LANDSCAPE CONTRACTOR. PROJECT LANDSCAPE ARCHITECT TO DETERMINE WHERE AND HOW MANY SAMPLES NEED TO BE TAKEN.
- LANDSCAPE CONTRACTOR TO SEND SOIL SAMPLES TO SOIL AND PLANT LABORATORY, TEL: 714.282.8777. SPECIMEN TREES TO BE SPOTTED ON-SITE AT THE SPECIFIC LOCATION BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANTING PITS. ALL TREES SHALL BE LOCATED MINIMUM 5' FROM HARDSCAPE SURFACES WHEREVER POSSIBLE. ALL TREES LOCATED LESS THAN 5' TO THESE IMPROVEMENTS SHALL RECEIVE AN APPROVED ROOT BARRIER CONTROL DEVICE INSTALLED ADJACENT ALL PARALLEL TO THE IMPROVEMENT AND A MINIMUM OF 5' BEYOND THE TRUNK OF THE TREE IN ALL DIRECTIONS.
- "DEEP ROOT" ROOT BARRIER SHALL BE INSTALLED PER MANUFACTURERS DETAILS AND SPECIFICATIONS FOR ALL TREES WITHIN 5 FEET OF ANY HARDSCAPE / PAVEMENT / CURBS. ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOT BALL. AVAILABLE FROM DEEP ROOT URBAN LANDSCAPE PRODUCTS, TEL: 800.458.7668.
- INCORPORATE 'HUMIC COMPOST' CONDITIONER TO ALL PLANTING BACKFILL, AND FOR SOIL AMENDING. FOR PLANTING BACKFILL USE 50% 'HUMIC COMPOST' / 50% ON-SITE SOIL. SOIL AMENDING QUANTITIES AS PER RECOMMENDATIONS FROM SOIL AND PLANT LABORATORY. 'HUMIC COMPOST' AVAILABLE FROM AGRISERVICE, TEL: 760.439.9920.
- ALL PLANTING PITS ARE TO BE FILLED WITH WATER AND ALLOWED TO DRAIN BEFORE INSTALLING PLANT MATERIAL.
- IMMEDIATELY AFTER INSTALLING ALL TREES AND SHRUBS, BUILD WATERING BASINS PER PLANTING DETAILS AND WATER NEWLY INSTALLED PLANT MATERIAL WITH 'SUPER THRIVE' FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS. FOR ALL GROUND COVERS USE MANUFACTURER'S SPRAY-ON APPLICATION METHOD.
- INSTALL A 3" LAYER OF AGRI. SERVICE 'HUMIC MULCH' OR EQUAL. UTILIZE AGRI. SERVICE 'HUMIC COMPOST' FOR SOIL PREPARATION IN ADDITION TO ANY REQUIRED AMENDMENTS BASED ON SOIL TESTNG / RESULTS + RECOMMENDATIONS FROM SOIL & PLANT LABORATORY, ANAHEIM, CA (714) 282-8777.
- ALL TREE STAKING AND GUYING MATERIAL TO BE ARBOR TIE FROM DEEP ROOT PRODUCTS. INSTALL PER MANUFACTURER'S DETAILS AND RECOMMENDATIONS. AVAILABLE FROM DEEP ROOT URBAN LANDSCAPE PRODUCTS, TEL: 800.458.7668.
- AFTER SUBSTANTIAL COMPLETION OF THE PROJECT, AS DETERMINED BY THE LANDSCAPE ARCHITECT, THE CITY SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT LANDSCAPE AND IRRIGATION SYSTEM. THE INITIAL MAINTENANCE PERIOD WILL BE SUFFICIENT IN DURATION TO INSURE THAT ALL NOTES AND SPECIFICATIONS ARE MET. THIS INCLUDES REMOVAL OF NOXIOUS WEEDS, PLANT REPLACEMENT WHERE NECESSARY, INSECT AND DISEASE CONTROL, AND CONTINUED FERTILIZATION.

MINIMUM TREE SEPARATION DISTANCE

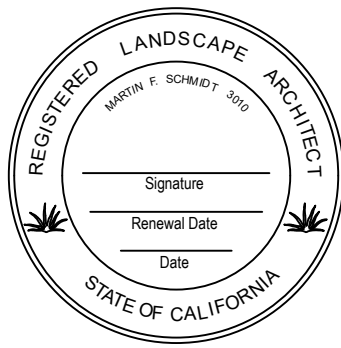
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAYS (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
SEWER LINES- 10 FEET

LANDSCAPE DESIGN STATEMENT:

THE LANDSCAPE DESIGN FOR THE 32ND STREET + BROADWAY PROJECT WAS DEVELOPED AS A COMPLEMENT TO THE PROJECT SITE LOCATION, THE BUILDING ARCHITECTURE, AND TO BE COMPLIANT WITH THE DESIGN GUIDELINES AS OUTLINED IN THE GOLDEN HILL COMMUNITY PLAN (GHCP). THE LANDSCAPE DESIGN IS A FORMAL LOCATION AND SPACING OF TREES AS THE PRIMARY FOUNDATION OF THE LANDSCAPE - TREE TYPES AND SIZES CONSISTENT WITH THE COMMUNITY STREET TREE RECOMMENDATIONS, ALONG WITH ACCENT MATERIALS TO FRAME DESIGN FEATURES OF THE ARCHITECTURE, ALONG WITH UNDERSTORY PLANTINGS THAT COMPLETE THE LANDSCAPE PALETTE. ALL AVAILABLE LANDSCAPE AREAS ON SITE HAVE BEEN LANDSCAPED TO COMPLY WITH THE GHCP ON-SITE OPEN SPACE + LANDSCAPING.

ALL TREES AND OTHER PLANT MATERIALS ARE EITHER MEDITERRANEAN AND / OR LOW WATER USE PLANT MATERIALS THAT ARE ADAPTED FOR USE IN THE SAN DIEGO AREA AND SUCCESSFULLY IMPLEMENTED IN THE REGION. IF THE CITY IS WILLING TO CONSIDER UTILIZING THE REMAINDER OF THE BROADWAY STREET EASEMENT FOR A LANDSCAPE, THEN THE OPPORTUNITY TO IMPLEMENT A PERIMETER PLANTING CONSISTENT WITH THE GHCP 'GREEN BUFFER'. THE OPEN SPACE AREAS ADJACENT TO THE PROJECT ARE PARCELS CONTROLLED BY OTHER OWNERS AND THEREFORE CANNOT BE UTILIZED TO IMPLEMENT AND OTHER FEATURES AS HILLSIDES + OPEN SPACE.

THE GHCP GREEN BUILDING PRACTICES + SUSTAINABILITY ITEMS - THE PROJECT LANDSCAPE DESIGN PROPOSES A LANDSCAPE THAT IS WATER CONSERVING AND VERY LOW MAINTENANCE, WHILE CREATING A DESIGN THAT WILL BE A COMMUNITY ASSET.



DATE	04.26.2019
SCALE	1/16"
DRAWN	MS
JOB NO.	17.023

LANDSCAPE CALCULATIONS

32ND AND BROADWAY
1000 BLOCK 32ND STREET
SAN DIEGO, CA 92102

TYPE	BY	DATE
09.10.19 2ND CITY SUBMITTAL		
11.18.19 3RD CITY SUBMITTAL		
12.19.19 4TH CITY SUBMITTAL		
04.10.20 5TH CITY SUBMITTAL		
06.29.20 6TH CITY SUBMITTAL		
07.06.20 7TH CITY SUBMITTAL		
10.01.20 8TH CITY SUBMITTAL		
10.06.20 8TH CITY SUBMITTAL		

NO.	SHEETS
L-3	4
3	OF

City of San Diego
Development Services
1222 First Ave., MS-501
San Diego, CA 92101-4154
(619) 446-5000

Landscape Calculations Worksheet

Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sq ft) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: _____ sq. ft. x 0.05 = _____ points	_____ points	_____ points

Points achieved through trees (at least half): _____ points

VEHICULAR USE AREA (≥6,000 sq ft) [142.0406 - 142.0407]

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: 975 sq. ft. x 0.05 = 49 sq. ft.	384 sq. ft.	335 sq. ft.
VUA outside Street Yard: 13,670 sq. ft. x 0.03 = 410 sq. ft.	998 sq. ft.	588 sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: 975 sq. ft. x 0.05 = 49 points	100 points	20 points
VUA outside Street Yard: 13,670 sq. ft. x 0.03 = 410 points	275 points	80 points

TEMPORARY VEHICULAR USE AREA [142.0408]

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: _____ ft. x 3 ft. = _____ sq. ft.	_____ sq. ft.

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
Upon request, this information is available in alternative formats for persons with disabilities.
DS-5 (03-06)

City of San Diego
Development Services
1222 First Ave., MS-501
San Diego, CA 92101-4154
(619) 446-5000

Landscape Calculations Worksheet

Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

- A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
- At least one-half of the required planting points shall be achieved with trees.

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 3986 sq. ft. x 50%= 1984 sq. ft.	2,156 sq. ft.	1,715 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 3986 sq. ft. x 0.05= 199 points	430 points	117 points

Points achieved with trees: 100 points

Planting Area allowable as hardscape or unattached unit pavers [142.0405(b)(1)(B)]	Provided
Total Area 3986 sq. ft. x 10%= 399 sq. ft.	634 sq. ft.

REMAINING YARD CALCULATIONS

BUILDING 'A'
TOTAL AREA: 3,411 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 1,335 S.F.
PERCENT OF TOTAL: 39%
POINTS REQUIRED: 60
POINTS PROVIDED: 220
TREES: 85
SHRUBS: 135

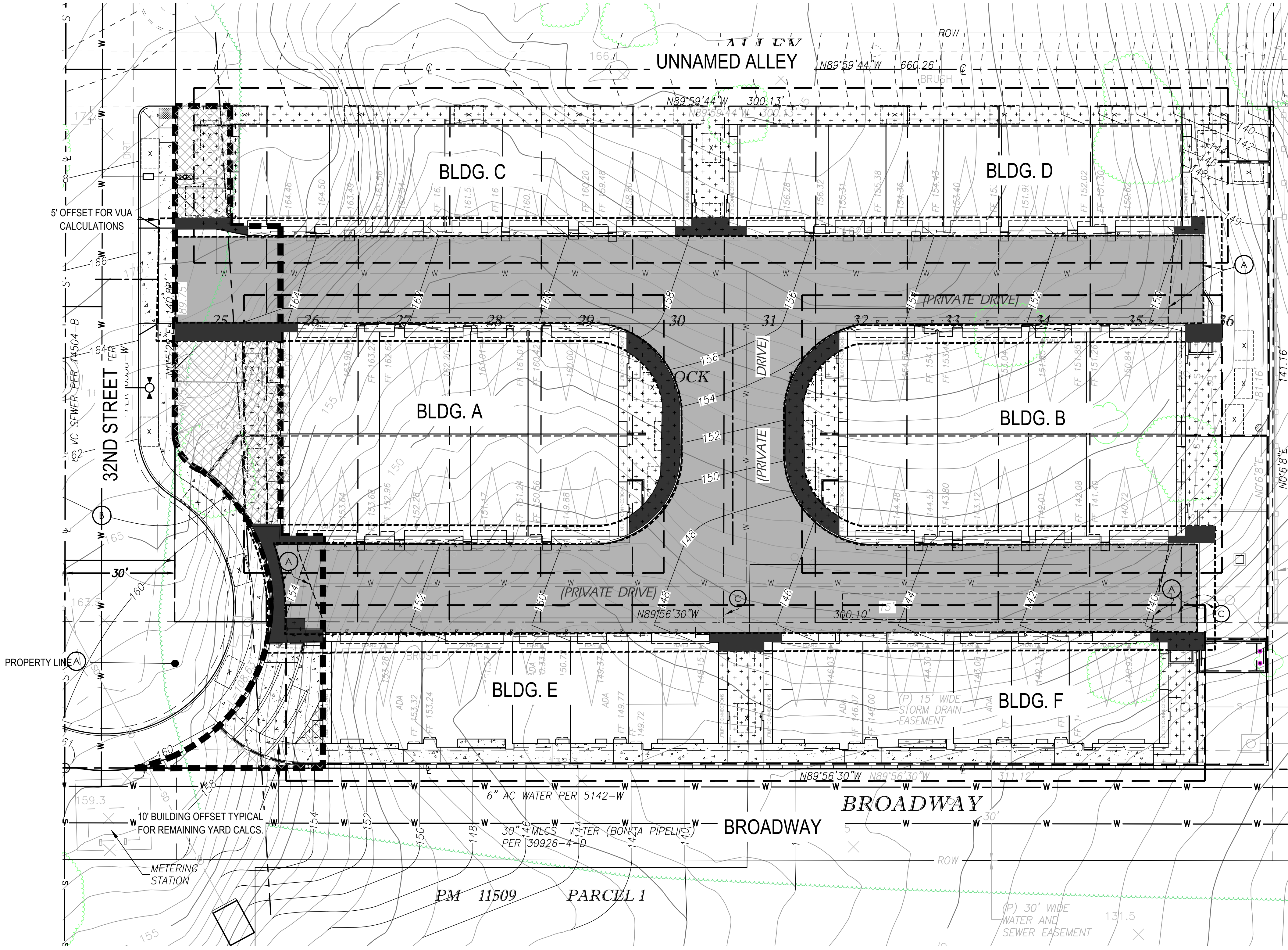
BUILDING 'B'
TOTAL AREA: 3,411 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 1,309 S.F.
PERCENT OF TOTAL: 38%
POINTS REQUIRED: 60
POINTS PROVIDED: 225
TREES: 90
SHRUBS: 135

BUILDING 'C'
TOTAL AREA: 3,480 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 1,339 S.F.
PERCENT OF TOTAL: 38%
POINTS REQUIRED: 60
POINTS PROVIDED: 200
TREES: 180
SHRUBS: 320

BUILDING 'D'
TOTAL AREA: 3,480 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 1,272 S.F.
PERCENT OF TOTAL: 37%
POINTS REQUIRED: 60
POINTS PROVIDED: 420
TREES: 155
SHRUBS: 265

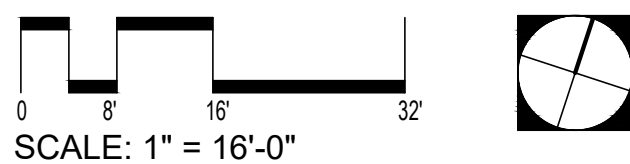
BUILDING 'E'
TOTAL AREA: 3,174 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 668 S.F.
PERCENT OF TOTAL: 21%
POINTS REQUIRED: 60
POINTS PROVIDED: 265
TREES: 50
SHRUBS: 215

BUILDING 'F'
TOTAL AREA: 3,174 S.F.
TOTAL LANDSCAPE AREA PROVIDED: 975 S.F.
PERCENT OF TOTAL: 31%
POINTS REQUIRED: 60
POINTS PROVIDED: 255
TREES: 30
SHRUBS: 225



LANDSCAPE CALCULATIONS

	STREET YARD AREA - 32ND STREET		STREET YARD LANDSCAPE AREA - 32ND STREET
	REMAINING YARD AREA (10' OFFSET FROM EACH BUILDING)		REMAINING YARD LANDSCAPE AREA
	VEHICULAR USE AREA (5' OFFSET FROM INTERIOR DRIVE)		VEHICULAR USE AREA LANDSCAPE AREA



All plans, designs, layouts, ideas and concepts shown, indicated, represented and / or referenced on this drawing sheet and set are the property of Environs and are intended and licensed for use on this project only. Any plans, designs, layouts, ideas and concepts of this drawing sheet and set shall not be used, disclosed, and / or reproduced, by any person(s), firm(s), or corporation(s) for any purpose whatsoever without the expressed written permission of Environs.

32ND STREET TREES



ARBUTUS X 'MARINA' METRISODEROS EXECLISA CERCIS CANADENSIS 'FOREST PANSY'

ALLEY STREET TREES



ACACIA STENOPHYLLA ACACIA PENDULA TRISTANIA CONFERTA

ENTRY CANOPY TREES



CASSIA LEPTOPHYLLA PISTACIA CHINENSIS OLEA EUROPAEA 'SWAN HILL FRUITLESS'

INTERIOR TREES



EUCALYPTUS POLYANTHEMOS

ACCENT PLANT / SUCCULENTS



ALOE ARBORESCENS ALOE MARLOTHII AGAVE 'BLUE FLAME' CHONDROPETALUM TECTORUM

SHRUBS



CHONDROPETALUM TECTORUM DIANELLA REVOLUTA 'CLARITY BLUE' DIETES X 'NOLA ALBA'



HESPERALOE PARVIFLORA 'DESERT FLAMENCO'



JUNCUS EFFUSUS 'CARMEN'S JAPAN'



LIGUSTRUM JAPONICUM 'TEXANUM'



MUHLENBERGIA CAPILLARIS 'REGAL MIST'



CALLISTEMON CITRINUS 'LITTLE JOHN'



PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'



PODOCARPUS X 'ICEE BLUE'

FERNS



CYRTIUM FALCATUM MACROTHELYPTERIS TORRESIANA

GROUNDCOVERS

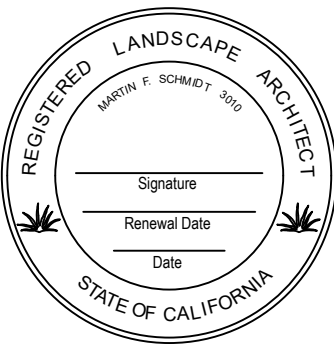


ACACIA REDOLENS 'DESERT CARPET' BACCHARIS PILULARIS 'PIGEON POINT' CAREX DIVULSA / BERKELEY SEDGE MALEPHORA LUTEA SENECIO MANDRALISCAE 'BLUE CHALK STICKS'

ATTACHMENT 15

LANDSCAPE ARCHITECTURE

RLA 3010
1909 State St. Suite 200
San Diego, CA 92101
voice 619.732.7007
fax 619.232.7008



DATE

04.26.2019

SCALE

NA

DRAWN

MS

JOB NO.

17.023

PLANT IMAGES

32ND AND BROADWAY
1000 BLOCK 32ND STREET
SAN DIEGO, CA 92102

REVISIONS	TYPE	BY	DATE
	09.10.19	2ND CITY SUBMITTAL	
	11.18.19	3RD CITY SUBMITTAL	
	12.19.19	4TH CITY SUBMITTAL	
	04.10.20	5TH CITY SUBMITTAL	
	06.29.20	6TH CITY SUBMITTAL	
	07.06.20	7TH CITY SUBMITTAL	
	10.01.20	8TH CITY SUBMITTAL	
	10.06.20	8TH CITY SUBMITTAL	

SHEET NO.

L-4

4 OF 4 SHEETS