



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: February 18, 2021 REPORT NO. PC-21-010

HEARING DATE: February 25, 2021

SUBJECT: HOME DEPOT MISSION VALLEY. Process Five Decision

PROJECT NUMBER: [657591](#)

OWNER/APPLICANT: Scottish Rite Center, Owner/Permittee and Home Depot, Permittee

SUMMARY

Issue(s): Should the Planning Commission recommend to the City Council approval of a Planned Development Permit, Site Development Permit, Neighborhood Development Permit, and Public Right-of-Way and Easement Vacations that would allow for the demolition of two existing buildings, and the construction of two new buildings (a new Scottish Rite Center and Home Depot) plus a parking garage on a 13.65-acre site, located at 1545, 1561, and 1895 Camino Del Rio South in the Mission Valley Community Plan area?

Staff Recommendation(s):

1. Recommend the City Council ADOPT [Addendum No. 657591 to Environmental Impact Report No. 518009](#) (SCH No. 2017071066) and ADOPT Mitigation, Monitoring, and Reporting Program (MMRP); and
2. Recommend the City Council APPROVE Planned Development Permit No. 2514016 (PDP), Site Development Permit No. 2392192 (SDP), Neighborhood Development Permit No. 2511520 (NDP), and Public Right-of Way Vacation No. 2392194 and Easement Vacation No. 2392194 to demolish the two existing buildings and construct a new Scottish Rite building (approximately 40,000 square feet), and Home Depot (approximately 106,688 square feet of building and approximately 17,916 square feet of garden center, and a 155,013-square-foot garage structure) with surface, located 1545, 1561, and 1895 Camino Del Rio South.

Community Planning Group Recommendation: On December 2, 2020, the Mission Valley Community Planning Group voted 14-4 to recommend approval of the Project as proposed, provided the Addendum did not identify new significant impacts.

Environmental Review:

Addendum No. 657591 to Environmental Impact Report (PEIR), Project No. 518009 (SCH No. 2017071066) has been prepared for the Project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program (MMRP) has been prepared and will be implemented which will fully mitigate significant Historic (Built), Noise (construction), and Paleontological impacts. There are no new impacts or an increase in severity of impacts that were analyzed in the PEIR, therefore, an Addendum was prepared.

Fiscal Impact Statement: None. All costs related to processing this Project are covered by a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement

The Project site is designated Regional Office and Visitor Commercial by the Mission Valley Community Plan, and residential uses are prohibited in this land use designation. Since residential is not allowed under the land use designation and there is no existent residential on the site, the project has a neutral impact on housing.

BACKGROUND

The Project site is developed with the Scottish Rite Center, an auto sales building, and surface parking. The proposed Project site includes the Bowlero/Scottish Rite Center which is the former bowling alley. The Bowlero/Scottish Rite Center was built during the 1950s-1960s and was advertised as the largest, fully automatic bowling center in the United States. The property was not designated as a historical resource by the Historical Resources Board and is therefore not required to obtain a Site Development Permit in accordance with SDMC Section [143.0220](#). The current center is utilized for the fraternal organization as well as a conference center rented out for a variety of events.

With the approval of the [Mission Valley Community Plan Update \(MVCPU\)](#) in 2019, the site is designated for Regional Office and Visitor Commercial, and zoned CR-2-1. The areas immediately surrounding the site include a variety of uses, including office, religious facilities, auto sales, and retail. The site is located at the base of a slope, with the University Heights neighborhood located at the top of the mesa, south of the site. The site is on the south side of Camino Del Rio South, south of Interstate 8, and west of Texas Street,

DISCUSSION

Project Description:

The Project entails the demolition of the existing 63,822-square-foot Scottish Rite Center building (originally the Bowlero) at the eastern portion of the Project site and a smaller, 7,124-square-foot building on the western portion of the site used for car sales. Once demolished, a new Scottish Rite Center building, approximately 40,000 square feet would be constructed on the western portion of the site. An approximately 106,688-square-foot Home Depot with a 17,916-square-foot garden center, and 155,013-square-foot parking garage would be constructed on the eastern portion of the site. Surface parking would also be provided onsite, but the primary Home Depot parking would be within the parking structure.

The new Scottish Rite building will be a two-story building that is smaller in size than the existing building and would incorporate reconfigured and optimized meeting spaces (lodge rooms) for members and office space on the new second floor. The Scottish Rite operates a Children's Language Center as part of their philanthropic efforts. The new facility would have exam rooms to better serve individual treatment and provide appropriate functions (i.e., separate restrooms, entry, and administration) to increase operational effectiveness. The Scottish Rite Center would not be used as an event rental space with the new building.

As noted above, the Bowlero/Scottish Rite Center was not designated as a historic resource by the Historical Resources Board and is therefore no Site Development Permit in accordance with SDMC Section [143.0220](#) is required. A Historic Architectural Building Survey (HABS) of the Bowlero/Scottish Rite Center was required for the Project, in order to address historic consideration under the California Environmental Quality Act (CEQA). As part of that consideration, the Project has incorporated Google architectural elements from the Bowlero/Scottish Rite Center into the design of the Home Depot building including asymmetrical design, upsweep angular element in the façade, diamond panels, and a pedestrian entry element that picks up concepts from the Bowlero pylon sign in homage to the existing resource. Additionally, a story panel/marker would be incorporated into the Project delineating the history of the resource. These project elements are required in the Mitigation, Monitoring, and Reporting Program for the Project.

The multi-story parking structure for the Home Depot would be located along the street frontage, with access from the street provided through the base floor, and the store itself located behind the parking structure. The Home Depot would include the standard displays of seasonal items in a designated seasonal sales area in the parking lot that would be enclosed with a 6-foot fence. This seasonal area would not be used to store building materials or home improvement items. The seasonal display area in the parking lot would typically take place from March 1 to July 31 and November 15 to December 31. The Home Depot store also permanently displays several items such as barbecues, patio furniture, and material and fencing displays within areas located along the front of the store, which are to be designated with green striping. The Home Depot would also include outdoor display and staging areas and these areas are limited to the designated locations, which would be clearly striped in yellow in the parking lot. The purpose for the staging area is to allow for products to be unloaded and taken off the flat-bed trucks to be brought into the store or garden center within 72 hours. This is to ensure that merchandise is available during heavy sale periods to keep products on-site and avoid additional trucking trips.

The Project site includes portions of the slope at the southern end of the site, giving the Project site

a range of elevations from approximately 45 feet above mean sea level (AMSL) at the northwest area of site to approximately 165 feet AMSL along the southern property edge. The area proposed for redevelopment is outside of those slopes and ranges from about 45 feet AMSL to about 65 feet AMSL. Some work to stabilize the slope area is proposed, including a retaining wall along the bottom of the slope, behind the Home Depot, and brow ditches. This work would avoid any native or sensitive habitat to avoid impacts to biological resources, but the retaining wall requires a Neighborhood Development Permit in order to exceed 12 feet in height for a portion of its length.

Required Actions:

Planned Development Permit (PDP): A PDP is required per SDMC Section [126.0602](#) for development that does not comply with all of the base zone regulations or development regulations. A deviation is requested from the 50-foot setback regulation that applies to this site, identified on recorded Map No. 3546 and Ordinance No. 8743 approved on June 25, 1962. The Map and Ordinance established a 50-foot setback along the frontage road, adjacent to Old Highway 80 between Cabrillo Freeway and Texas Street. The Project is in conformance with all other base zone regulations for the CR-2-1 zone.

Site Development Permit (SDP): A SDP is required in accordance with San Diego Municipal Code (SDMC) Section [126.0502](#) (d)(7) for development of a large retail establishment of more than 100,000 square feet gross floor area in a commercial zone and in accordance with SDMC 126.0502 (a)(1)(b) for development on a lot greater than 15,000 square feet containing sensitive biological resources or steep hillsides. The hills at the rear of the site contain environmental sensitive lands.

Neighborhood Development Permit (NDP): A NDP is required in accordance with SDMC Section [126.0402\(g\)](#) for development proposing a retaining wall that exceeds the height permitted per SDMC [142.0350](#) by 20% or less. There is a retaining wall at the rear of the property that will exceed the allowable height of 12 feet by 3 feet (total of 15 feet) for a portion of its length. This will allow the work proposed for the existing public storm drain to occur within an area of manufacture/disturbed slopes and avoid impacts to any areas at the southern end of the site

Public Right-of-Way Vacation: This vacation is requested pursuant to SDMC [125.0910](#) to vacate portions of Camino Del Rio South to the applicant/underlying fee owner. This vacation will allow the redevelopment of the site consistent with the underlying zone setbacks and the MVCPU recommendations and guidelines for new development. The existing 50-foot setback was established during the construction of Old Highway 80 (now Interstate 8), and the full buildout of the highway and surrounding frontage roads were not known. The setback was established to ensure adequate right-of-way would exist for the final design and buildout. Since I-8 is now fully built-out, and the MVCPU has designated Camino Del Rio South as a two-lane collector with two-way left turn lanes and bicycle lanes, the additional right-of-way is not needed for its original purpose.

Easement Vacation: The applicant has requested that existing public service easement be vacated in accordance with SDMC Section [125.1010](#). New easements will be dedicated as needed to accommodate the public storm drain, which will be routed outside of the footprint of the Home Depot.

General Plan/Community Plan Analysis:

The project site is in within the Mission Valley Community Planning area, which was updated in 2019. The project area is designated as Regional Office and Commercial Visitor in the MVCP. The reuse of the site is consistent with the recently updated plan.

The MVCP Update Mobility Element includes policies that support enhancements to pedestrian travel within the CPU area such as implementing the multi-use urban path system, constructing sidewalk and intersection improvements, and installing missing sidewalks and curb ramps. The MVCP includes modifications to Camino del Rio South as follows: "Restripe Camino del Rio South from a 2-Lane Collector to a 2-Lane Collector with Two-Way Left-Turn Lane to accommodate bicycle lanes. Left-turn pockets may be provided at driveway locations as needed in lieu of a continuous two-way left-turn lane. On-street parking would be removed in some locations to facilitate implementation of the two-way left-turn lane or left-turn pockets, and Class II Bike Lanes." The project is implementing that roadway modification.

Environmental Analysis:

The project site is located in a fully developed area of the City. City staff analysis of the project identified the potential for the project to have a number of potentially significant impacts, with significant impacts requiring project specific mitigation be implemented, as indicated in the Mission Valley CP PEIR. related to historic (built), noise, and paleontological resources.

The proposed project would not result in any additional significant impacts nor would it result in an increase in the severity of impacts from that analyzed and identified in the previously certified EIR.

Conclusion:

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. With the approval of the deviations, the Project meets all applicable regulations and policy documents, and staff supports the determination that the Project is consistent with the recommended land use plan, design guidelines, and development standards in effect for this site per the SDMC, the Mission Valley Community Plan, and the General Plan. Thus, staff recommends the Planning Commission recommend to City Council approve the Project as proposed.

ALTERNATIVES

1. Recommend the City Council ADOPT Addendum to Environmental Impact Report No. 518009 (SCH No. 2017071066) and ADOPT Mitigation, Monitoring, and Reporting Program (MMRP) and APPROVE Planned Development Permit No. 2514016 (PDP), Site Development Permit No. 2392192 (SDP), Neighborhood Development Permit No. 2511520 (NDP), Public Right-of Way Vacation No. 2392194, and Easement Vacation No. 2392194, with modifications.
2. Recommend the City Council NOT ADOPT Addendum to Environmental Impact Report No.

518009 (SCH No. 2017071066) and NOT ADOPT Mitigation, Monitoring, and Reporting Program (MMRP) and DENY Planned Development Permit No. 2514016 (PDP), Site Development Permit No. 2392192 (SDP), Neighborhood Development Permit No. 2511520 (NDP), Public Right-of Way Vacation No. 2392194, and Easement Vacation No. 2392194, if the findings required to approve the Project cannot be affirmed.

Respectfully submitted,



for

Tim Daly
Assistant Deputy Director
Development Services Department

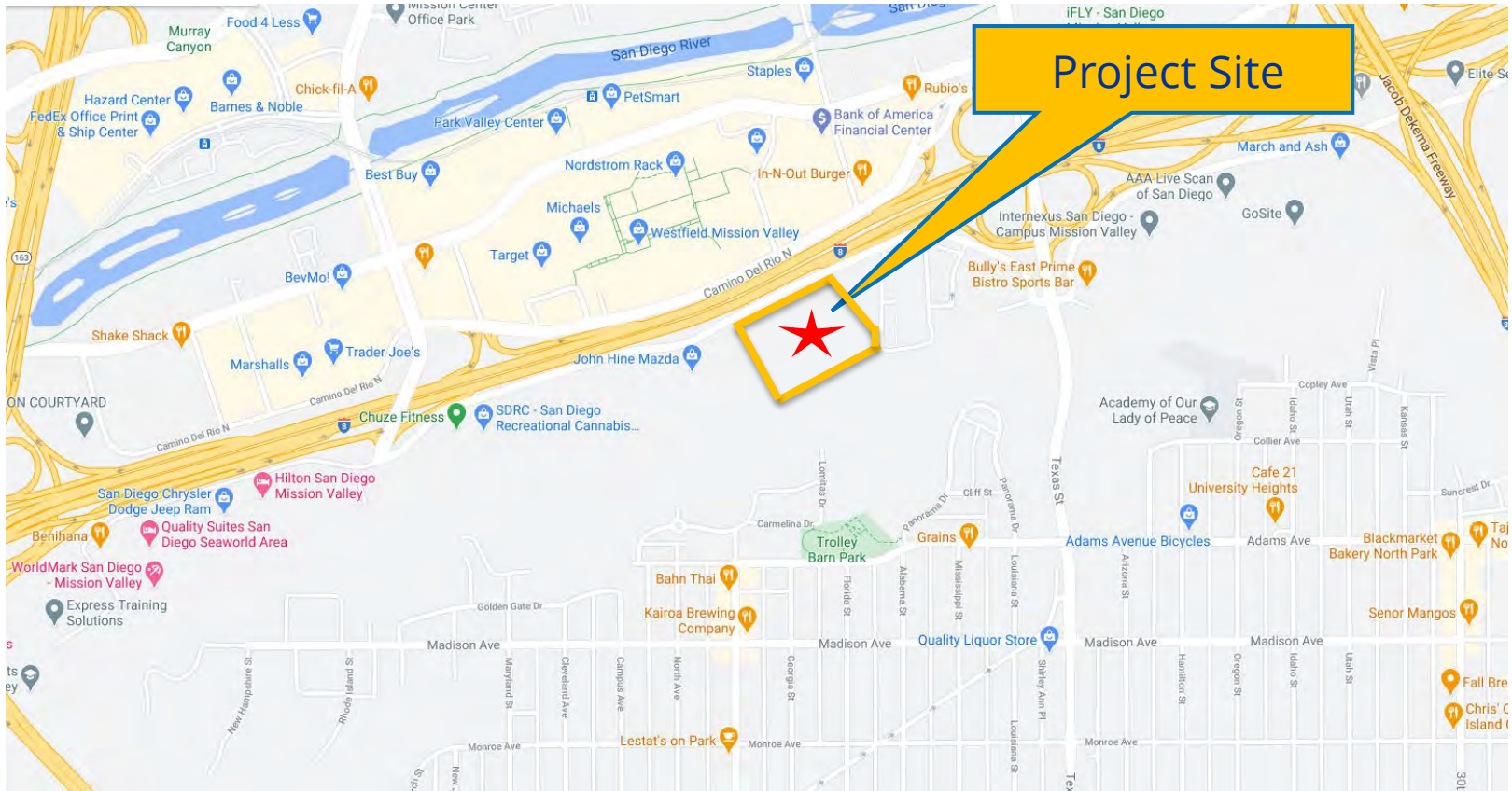


Martha Blake
Development Project Manager
Development Services Department

EL/MB

Attachments:

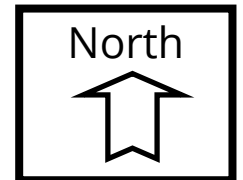
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft PROW and Easement Vacation
7. Draft Environmental Resolution with MMRP
8. Community Planning Group Recommendation
9. Ownership Disclosure
10. Development Plan Set



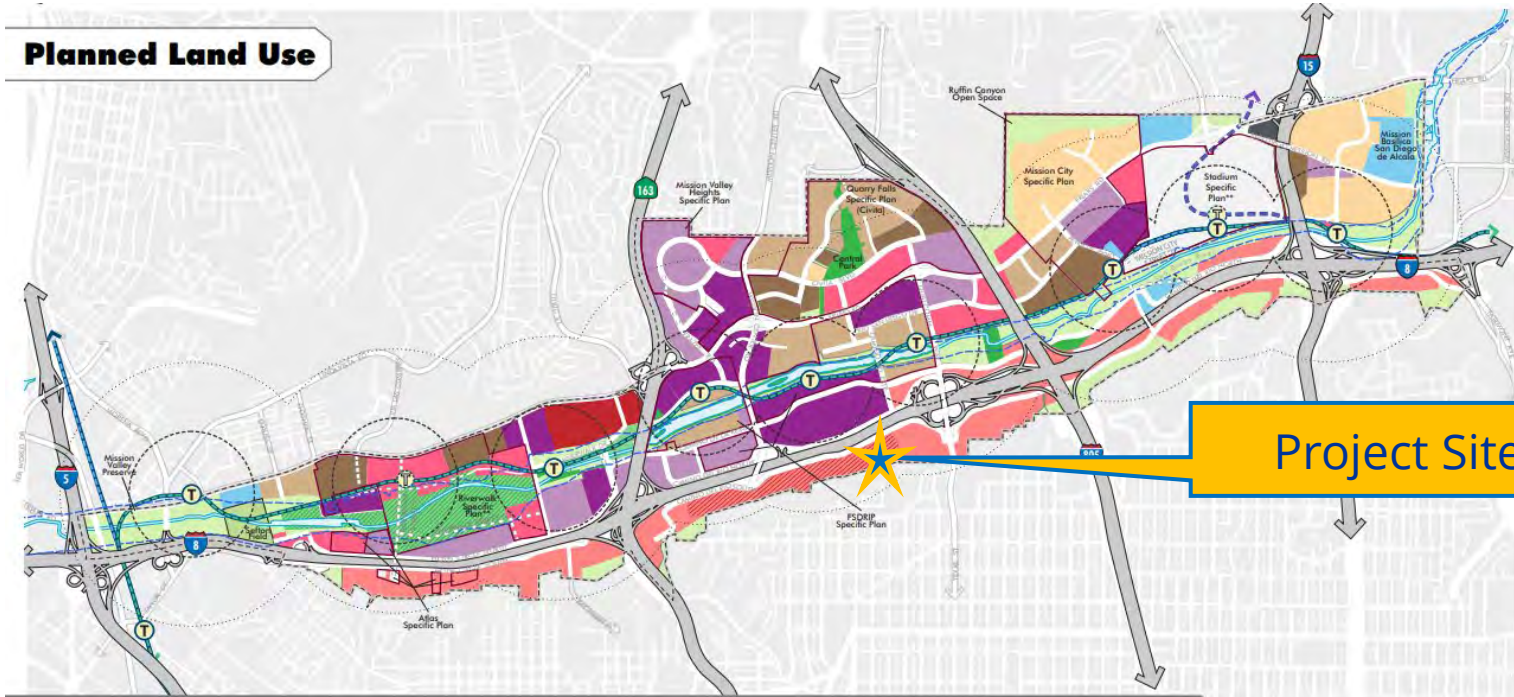
Project Location Map

Home Depot Mission Valley

PROJECT NO. 657591



Planned Land Use



Project Site

General Information

- Mission Valley Community Plan Area
- 100 Year Floodway
- Specific Plan
- Parcels
- Planned Roadway
- San Diego River

Transit

- Existing Trolley (Blue Line)
- Existing Trolley (Green Line)
- Planned Trolley (Purple Line)
- Planned Trolley Stop (Riverwalk)
- Trolley Station Design District (1/4 mile)
- Transit Priority Area (1/2 mile)

Land Use

- Mixed Use (HD)
- Mixed Use (MD)
- Residential (HD)
- Residential (MD)
- Residential (LD)
- Public/Institutional

- Office and Visitor Commercial
 - Office and Visitor Commercial*
 - Regional Commercial*
 - Regional Office and Visitor Commercial*
 - Industrial
- *Residential Prohibited

Park and Open Space

- Existing Park
- Existing Open Space
- Potential Park
- Potential Open Space
- Potential Park/Open Space

**To be completed

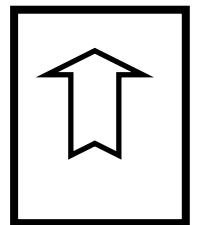


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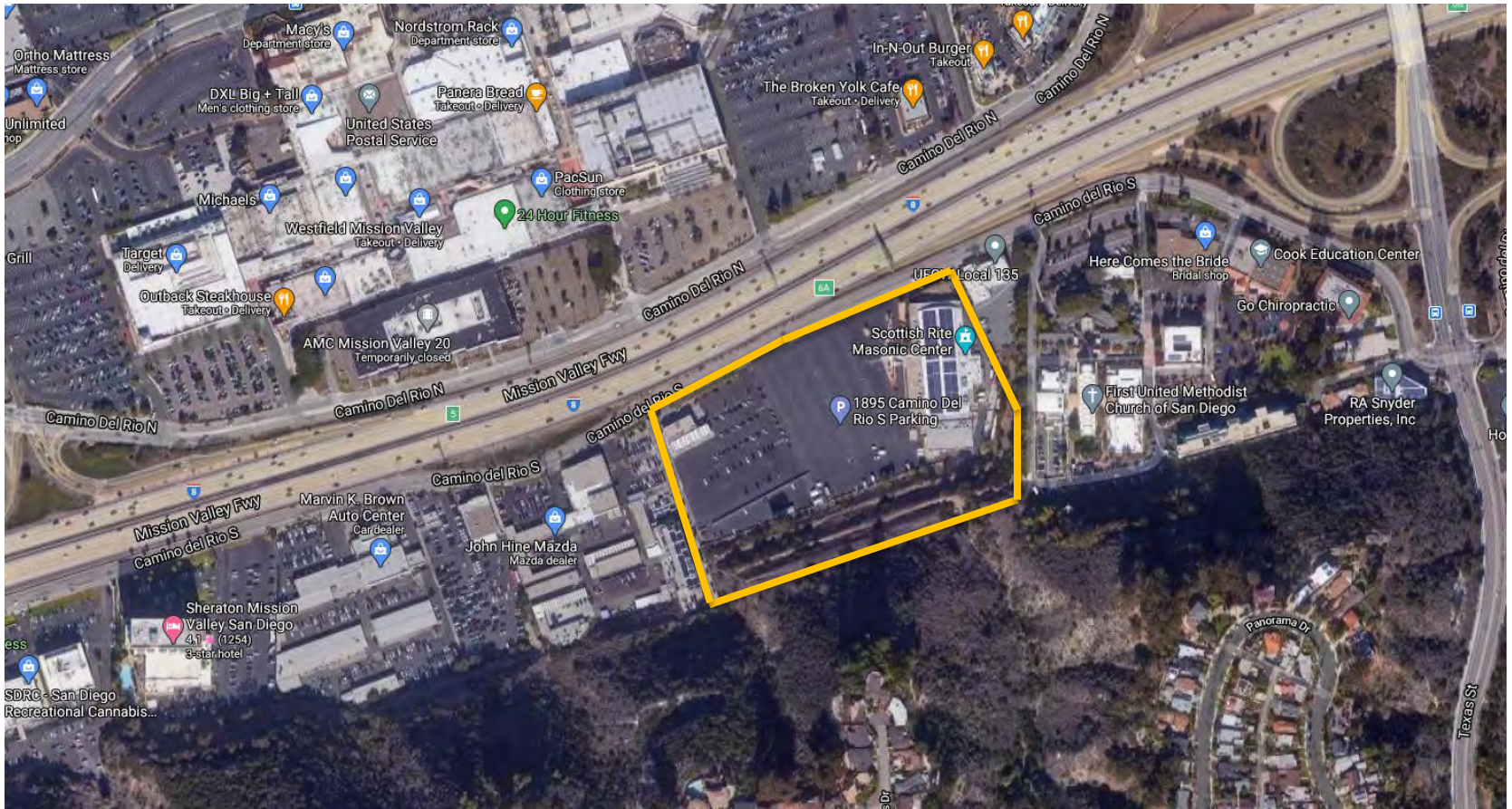


Land Use Map

Home Depot Mission Valley
PROJECT NO. 657591

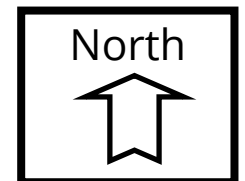


North



Aerial Photo

Home Depot Mission Valley
PROJECT NO. 657591



CITY COUNCIL RESOLUTION NO. [REDACTED]
PLANNED DEVELOPMENT PERMIT NO. 2514016, SITE DEVELOPMENT PERMIT NO. 2392192
and NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2511520
HOME DEPOT MISSION VALLEY - PROJECT NO. 657591
[MMRP]

WHEREAS, Scottish Rite Center of San Diego, Inc., Owner/Permittee and Home Depot, Inc., Permittee filed an application with the City of San Diego for a Planned Development Permit, Site Development Permit, and Neighborhood Development Permit to demolish two existing buildings and construct two new building plus parking garage and surface parking located on the south side of Camino del Rio South at 1561, 1545, and 1895 Camino del Rio South, in the CR-2-1 Zone within the Mission Valley Community Plan area. The project site is legally described as: Parcel A: Lot 1 of Bowlero, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3546 filed in the Office of the County Recorder of San Diego County, November 16, 1958. Excepting therefrom that portion lying within Lot 1 of Temple Subdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6327, filed in the Office of the County Recorder of San Diego County, April 2, 1969. Parcel B: Lot 1 of Temple Subdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6327, filed in the office of the County Recorder of San Diego County, April 2, 1969; and

WHEREAS, on February 25, 2021, the Planning Commission of the City of San Diego considered Planned Development Permit No. 2514016 (PDP), Site Development Permit No. 2392192 (SDP), and Neighborhood Development Permit No. 2511520 (NDP), and pursuant to Resolution No. XXXX-PC voted to recommend approval/disapproval of the Permits; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision

and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the City Council, that it adopts the following findings with respect to Planned Development Permit No. 2514016, Site Development Permit No. 2392192, and Neighborhood Development Permit No. 2511520:

A. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project is located in the Mission Valley Community Plan (MVCP) area. The Mission Valley Community Plan Update (MVCPU), approved in 2019, designated the Project site's land use as Regional Office and Visitor Commercial and rezoned the property to CR-2-1. This land use designation allows for a range of uses, including retail, office, and hotel uses, but prohibits residential uses. The Project proposes to construct a Home Depot (approximately 106,688 square feet of building, approximately 17,916 square feet of garden center, and garage structure) and a new, 40,000-square-foot Scottish Rite Center, with surface parking lot for both buildings, and accessory improvements including lighting, landscaping, and hardscape, consistent with the land use designation for the site.

The MVCPU notes that this area of Mission Valley "...will have a continued emphasis on office, automobile, and hotel uses. Yet, this area will be enhanced through higher quality building materials, greater connectivity, enhanced bicycle and pedestrian friendliness, green spaces and plazas, new trail connections, and restoration of the landscape. Public art will be encouraged as a tool to support a greater sense of place and trails, bike lanes, and potentially an aerial tram would be encouraged to connect to neighborhoods on the mesa" (p. 23, Figure 3). In addition, the MVCPU identifies approximately 70 design guidelines for projects to utilize, addressing general design, site planning, parking, and others. The Project incorporates a number of these policies of the MVCPU such as minimizing the bulk of the building with highly articulated façades. The Project articulates all sides of the building visible from the public right-of-way. The project demonstrates creative and innovative design ideas that incorporate Google elements from the existing Scottish Rite building into the design of the new Home Depot building, as well as solar energy panels on the parking

roof deck to reinforce the Project's commitment to sustainability and climate change. The Project screens the bulk of the surface parking. The Project moves the building out toward the street and incorporates an urban landscape pedestrian parkway and access to the buildings from the street. The Project is freeway oriented, but also provides an open public view corridor between the Home Depot and Scottish Rite buildings. The Project improves Camino del Rio South from a 2-lane collector to a 2-lane Collector with left turn lane as called for in the MVCPU along its frontage and adds buffers to the bike lanes in order to promote active transportation. Thus, the proposed development will not adversely affect the applicable land use.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project will not be detrimental to the public health, safety, and welfare because the permits controlling the development and use of the site require compliance with City codes, policies, regulations and other regional, state and federal regulations. Construction plans will be reviewed by City Staff to ensure compliance with all building code regulations. All Uniform Building, Fire, Plumbing, Electrical and Mechanical Code regulations and permitting requirements governing the construction and continued operation of the development apply to this Project. The Project will be inspected by certified building and engineering inspectors to assure construction is in accordance with approved plans and regulations.

The Project is required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction practices (including recommendations contained with the Geotechnical Investigation) verified at the building permit stage would ensure that the potential for impacts from regional geologic hazards, including fault rupture would be less than significant.

The Project Addendum to the Programmatic Environmental Impact Report (PEIR) identified that the project could result in significant impacts to historic (built) resources, paleontological resources, and noise (construction). These were impacts previously analyzed and addressed in the PEIR. Mitigation measures have been identified that are consistent with the MVCPU and will be implemented with the Project to avoid (historic, paleontological, and noise) impacts.

For the above cited reasons, the development will not be detrimental to the public, health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable

deviations that are otherwise authorized pursuant to the Land Development Code.

The Project, with two requested deviations (see the Neighborhood Development Permit findings for the second deviation) will comply with the applicable regulations of the Land Development Code. The SDMC authorizes the use of a Planned Development Permit for projects requiring a deviation from a development regulation. The Project proposes a deviation to an existing 50-foot setback that was established by Development Permit Map No. 3546 and Ordinance No. 8743, approved in 1962. The deviation would allow the project to be built in conformance with the CR-2-1 zone regulations that require a minimum front setback of 10 feet, and the project would also be in compliance with the supplemental development regulations that apply to Large Retail Establishments (SDMC Section 143.0355), which establishes a minimum eight-foot front and sideyard setback requirement. Additionally, the recently amended MVCPU encourages locating buildings closer to the street in order to develop a more pedestrian friendly destination through design and uses. A 50-foot setback is not consistent with a more activated street frontage, with bike lanes, non-contiguous, and landscaped sidewalks.

As contemplated by the MVCPU, the Project is developing a fourteen-foot urban parkway with a noncontiguous, landscape-buffered eight-foot wide sidewalk and buffered bike lanes. The building angles away from the setback line creating additional landscape setback along the street frontage. The result is an enhanced pedestrian experience between landscaped buffers.

The Project is designed in conformance with the development regulations of the current underlying zone, CR-2-1 which was applied to the site with the approval of the MVCPU. This will allow the Project to be compatible with future redevelopment projects in the area that must comply with the MVCPU, as well as existing adjacent development that is also built closer to the street.

Therefore, as the proposed development will comply with the regulations of the Land Development Code, the proposed deviation pursuant to Section 126.0602(b)(1) will bring the Project into conformance with the underlying zone, supplemental development regulations, and MVCPU is appropriate for this location, and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the underlying map and ordinance.

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

See above for Planned Development Permit Finding A.1.a.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

See above for Planned Development Permit Finding A.1.b.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The Project will comply with all applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code. As described in the findings above for the Planned Development Permit and below for Neighborhood Development Permit, the Project proposed two deviations: one related to the 50-foot-setback, and the second for the height of a small portion of the proposed retaining wall behind the Home Depot to reduce the existing slope in a portion of the existing public storm drain easement from 1.5:1 to 2:1.

The Project complies with all the supplemental regulations for Large Retail Establishments including the setbacks, building articulation, pedestrian paths, and landscaping requirements. The Project is exempt from the Regulations for Environmentally Sensitive Lands since there is no disturbance of natural slopes (non-manufactured terrain) and no significant impact on sensitive biological resources. The Project site is located outside the MHPA. A Biology Study prepared for the Project site demonstrates that the Project will not disturb any significant Sensitive Biological Resources. The Project will not disturb the natural portion of the hillside located on the Project site. A portion of the manufactured slope, which is not subject to the City's environmentally sensitive lands regulations will be further stabilized through the granting of the Neighborhood Development Permit deviation for retaining wall height. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

2. SUPPLEMENTAL FINDINGS

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The Project site contains developed lands in addition to the environmentally sensitive lands. No previously undisturbed areas will be impacted by the Project as proposed. The development is all within existing developed and previously disturbed lands. Therefore, the site is suitable for the Project as proposed and will have minimum disturbance to ESL.

- b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The majority of the development will occur in a fully developed, relatively flat portion of the site. There will be work in previously disturbed slopes, including work related to drainage. A geotechnical report was prepared and accepted by City staff that verifies all slopes are and will remain stable. In order to minimize impacts to natural landform, a retaining wall is proposed at the base of the slope. A portion of the slope related to the public storm drain easement will be set at 1.5:1 slope instead of a standard 2:1 slope, in order to minimize impacts to natural slopes, and as considered in the geotechnical reports.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The site is located adjacent to ESL, however that ESL is located on hills that slope up from the Project site, limiting any off-site drainage impact to the ESL. The orientation of the site will be pulled towards the street frontage, away from the ESL which will also minimize any potential indirect adverse impacts. The proposed landscape will be required to comply with the City's Landscape Guidelines that would preclude invasive species from propagating in the adjacent ESL. Therefore, the Project will prevent adverse impacts to the adjacent ESL.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The Project as proposed is consistent with the MSCP and VPHCP. The site is adjacent to the MSCP, with the area of work approximately 150 feet north and downslope from the MHPA, except for some of the drainage work. In accordance with the MVCPU, the Project is required to comply with the MHPA Land Use Adjacency Guidelines, and the Project as proposed does that. There are no vernal pools on or adjacent to the Project site, therefore the Project is also consistent with the VPHCP.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The Project site is located approximately 1500 feet south of the San Diego River and four miles east of Mission Bay. The Project is required to comply with all applicable storm water and drainage regulations; therefore, the development will not contribute to the erosion of beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

Impacts to ESL total 0.06 acres of Coastal Sage Scrub, a Tier II habitat per the City's Biology Guideline. The Biology Guidelines do not require mitigation for impacts under 0.1 acre, and no mitigation is required for the direct impacts to ESL. Therefore,

there is a reasonable relationship of mitigation to impacts of the proposed development.

B. NEIGHBORHOOD DEVELOPMENT PERMIT SDMC Section 126.0404

1. Findings for all Neighborhood Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

See above for Planned Development Permit Finding A.1.a.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

See above for Planned Development Permit Finding A.1.b.

- c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed development with the requested deviations complies with the regulations of the Land Development Code. The NDP is requested to allow a 20% increase in the height of a small portion (less than 10%) of a retaining wall proposed behind the Home Depot, where [SDMC 142.0330](#) allows for 12-foot-tall retaining walls outside of required yards. The 20% deviation to the maximum allowed 12-foot height for retaining walls is allowed with a NDP, pursuant to SDMC 142.0340(e). The additional wall height will allow for a slope ratio of 1.5:1 instead of 2:1, in an existing manufactured hillside area where a portion of an existing City of San Diego public storm drain easement exists.

The regrading of the manufactured slope will improve the stability safety factor to the City standard of 1.5 and will avoid grading and other impacts in areas of natural slopes containing ESL, as the higher wall can support the steeper slope. Consistent with SDMC Section 142.0350, the height exception is justified because of the variations of the grade on the site. In addition, the wall is completely screened from public view by the proposed Home Depot building. Thus, the proposed Project is consistent with regulations, including allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, Planned Development Permit No. 2514016, Site Development Permit No. 2392192, and Neighborhood Development Permit No. 2511520, is granted to Scottish

Rite Center, Owner/Permittee, and Home Depot, Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24008526

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 2514016, SITE DEVELOPMENT PERMIT NO. 2392192, AND
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2511520

HOME DEPOT MISSION VALLEY - PROJECT NO. 657591 MMRP
CITY COUNCIL

This Planned Development Permit No. 2514016, Site Development Permit No. 2392192, and Neighborhood Development Permit No. 2511520 is granted by the Council of the City of San Diego to Scottish Rite Cathedral of SD, Owner and Permittee, and Home Depot, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0604, 126.0505 and 126.0404. The 13.5-acre site is located on the south side of Camino del Rio South at 1561, 1545, and 1895 Camino del Rio South, in the CR-2-1 Zone within the Mission Valley Community Plan area. The project site is legally described as: Parcel A: Lot 1 of Bowlero, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3546 filed in the Office of the County Recorder of San Diego County, November 16, 1958. Excepting therefrom that portion lying within Lot 1 of Temple Subdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6327, filed in the Office of the County Recorder of San Diego County, April 2, 1969. Parcel B: Lot 1 of Temple Subdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6327, filed in the office of the County Recorder of San Diego County, April 2, 1969.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish two existing commercial buildings and construct three new buildings: a commercial building and a parking/garage structure, and a fraternal organization building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] **dated TBD, 2021**, on file in the Development Services Department.

The project shall include:

- a. Demolition of the approximately 63,822-square-foot Scottish Rite Center and an approximately 7,124-square-foot auto sales buildings;
- b. Construction of a new, approximately 40,000-square-foot, Scottish Rite Center building; an approximately 106,688-square-foot Home Depot, with approximately 17,916-square-foot garden center; and an approximately 155,013-square-foot parking structure;

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site walls, fences, walkways, and exterior lighting; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by TBD, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
13. The mitigation measures specified in the MMRP and outlined in Addendum No. 657591 to Environmental Impact Report, No. 518009, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
14. The Owner/Permittee shall comply with the MMRP as specified in Addendum No. 657591 to Environmental Impact Report, No. 518009, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historic (Built environment); Paleontological; Noise (Construction)

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the reconstruction of existing curb with current City Standard Curb and Gutter adjacent to the site on Camino Del Rio South, as shown on Exhibit 'A', satisfactory to the City Engineer.
17. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the replacement of existing sidewalk with City Standard, non-contiguous sidewalk, along the project frontage on Camino Del Rio South, satisfactory to the City Engineer.
18. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the construction of three (3) current City Standard driveways, adjacent to the site on Camino Del Rio South as shown on Exhibit 'A', satisfactory to the City Engineer.
19. Prior to the issuance of any building permit, the Owner/Permittee shall assure, by permit and bond, the closure of all non-utilized driveways with current City Standard curb, gutter, and sidewalk, adjacent to the site on Camino Del Rio South, satisfactory to City Engineer.
20. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA) for all private storm drain system

connections, sidewalk underdrains/curb outlets, enhanced pavers, street tress, landscape, and irrigation located in the City's right-of-way, satisfactory to the City Engineer.

21. Prior to the issuance of any building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

22. Prior to the issuance of any building permit for the Home Depot/retail development, the drainage system proposed for this development, as shown on the site plan, is subject to review and final approval by the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

25. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

26. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

27. Prior to issuance of a grading or a construction permit, Owner/Permittee shall submit a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

29. Prior to the issuance of any grading permit for precise grading and/or utility layout, the Owner/Permittee shall submit building construction plans which satisfactorily demonstrate compliance with all required planting areas and points consistent with the Landscape Regulations.

30. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

31. Prior to issuance of any construction permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

32. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

34. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

38. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

39. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of the fronting portion of Camino Del Rio South as a 2-lane collector with two-way left-turn lane, with a 44-foot curb-to-curb pavement width (11-foot travel lane in each direction, 10-foot two-way left turn lane, and 6-foot wide Class II bike lane in each direction); a 15-foot parkway (7-foot landscape, 8-foot sidewalk) on the south side; and a 100-foot left turn pocket into the eastern driveway per Exhibit 'A', satisfactory to the City Engineer.

40. All improvements for the phase being built shall be completed and operational prior to occupancy of that phase, satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS:

41. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

42. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

43. Prior to the recordation of the discretionary permit, a "Notice of Geologic and Geotechnical Conditions" agreement between the Owner and the City regarding non-standard steep slope gradient necessary due to extraordinary site conditions shall be recorded against the property with the San Diego County Recorder. The form of the Notice shall be as provided by the City.

44. The Owner shall provide routine maintenance of the slopes within their property. Routine maintenance shall include the clearing of accumulated sediments and debris from the drainage facilities, maintenance of erosion resistant vegetation, inspection of the irrigation system, rodent control, restoring berms, and correcting erosion and negative drainage conditions. During the first year after the completion of slope construction slope areas within the property are to be inspected at least monthly and terrace drains shall be inspected during or immediately following intense rain events by a licensed professional geotechnical consultant hired by the Owner. After landscaping on slopes is established, the frequency of maintenance inspections by a licensed professional geotechnical consultant hired by the Owner shall be conducted quarterly during the rainy season.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

61. Prior to issuance of any building or construction permit, the Owner/Permittee shall have constructed, or assured, by permit and bond, the construction of all proposed public and private water and sewer facilities within the public right-of-way, and/or public easement, in accordance with the criteria established in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines, and all applicable City regulations, standards, and practices.
62. Prior to any Certificate of Occupancy being issued, all domestic, irrigation, and fire water lines serving this development shall pass through a permitted, private, above-ground, backflow prevention device (BFPD) or include the following note on the site plan:
- a. Prior to any building permit being issued, any existing sewer lateral to be reused shall be videoed and inspected by a California licensed plumber to verify (via a signed statement on company letterhead) all of the following: the lateral has an appropriate cleanout; is in good condition; is free of all debris; is properly connected to a public sewer main; and is suitable for reuse. If the lateral does not meet these requirements, it must be cleaned, repaired if necessary, and re-inspected or abandoned, capped, and replaced with a new permitted lateral.
63. Prior to the issuance of any Certificate of Occupancy, any private improvements which lie within a public right-of-way fronting the development, which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities shall be removed by the Owner/Permittee, unless the Owner/Permittee has or obtains a City approved/County recorded Encroachment Maintenance Removal Agreement (EMRA) specific to that encroachment.
64. Prior to issuance of any Certificate of Occupancy Permit, any damages caused to the City of San Diego's public water and/or sewer facilities, which are due to the activities associated with this development, shall be repaired or reconstructed by the Owner/Permittee in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with Municipal Code section 142.0607.

INFORMATION ONLY:

ATTACHMENT 5

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Council of the City of San Diego on TBD ,2021, by Resolution No. ____.

PDP No. 2514016, SDP No. 2392192 & NDP No. 2511520

Date of Approval: **TBD 2021**

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martha Blake
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Scottish Rite Center
Owner/Permittee

By _____
Name/Title

Home Depot
Permittee

By _____
Name/Title

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION VACATING PORTIONS OF A PUBLIC RIGHT-OF-WAY
VACATION NO. 2392193 AND PORTIONS OF A PUBLIC STORM DRAIN
EASEMENT VACATION NO. 2392194 LOCATED AT 1545, 1561, AND
1895 CAMINO DEL RIO SOUTH
PROJECT NO. 657591

WHEREAS, California Streets and Highways Code section 8320 *et seq.* and San Diego
Municipal Code section 125.1001 *et seq.* provide a procedure for the vacation of public service
easements by City Council resolution; and

WHEREAS, SCOTTISH RITE CENTER and HOME DEPOT filed an application to vacate portions
of a Public Right-of-Way (Camino Del Rio South) being described as Public Right-of-Way Vacation No.
2392193 and portions of a Storm Drain Easement being described as Easement Vacation No.
2392194; and

WHEREAS, Public Right-of-Way Vacation No. 2392193 and Easement Vacation No. 2392194 is
located on property owned by Scottish Rite Center located at 1545, 1561, and 1895 Camino Del Rio
South; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor
because this matter requires the City Council to act as a quasi-judicial body, a public hearing was
required by law implicating due process rights of individuals affected by the decision, and the
Council was required by law to consider evidence at the hearing and to make legal findings based on
the evidence presented; and

WHEREAS, the matter was set for public hearing on **TBD**, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Public Right-of-Way Vacation No. 2392193, the Council finds that:

(a) There is no present or prospective public use for the public right-of-way either for the facility for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

In 1956 and 1959, a series of easements for future improvements and access restrictions to Mission Valley Road were granted by the property owner to the City of San Diego. The easement dedications along old Mission Valley Road were made prior to knowing the final road configurations for Old Highway 80, which began construction around 1957 between the current day State Route 163 and Ward Road. Old Highway 80 was renamed to Interstate 8 in 1964. The easements for future right-of-improvements are adjacent to Camino del Rio South, whose current configuration was developed after Interstate 8 was built.

With the build out of Interstate 8, the current road classification established in the recent Mission Valley Community Plan Update, and the public improvements proposed by the Project, the expanded right of way contemplated by the easements for future improvements encumbering the Project site are not presently nor prospectively needed for public use, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The Project will implement improvements to Camino del Rio South Consistent with the buildout condition identified in the Mission Valley Community Plan Update, impacting two easements: Easement 11, which an easement for future street, sewer, water, drainage, and public

utilities that was dedicated to the City of San Diego on the map Filed November 16, 1956 as Map No. 3548 of Tract Maps. Easement 15 is an easement granted to the City of San Diego for Street and Incidental purposes, recorded September 23, 1959 as Book 7897, page 134 of official records. The portions of Easements 11 and 15, south of those Project improvements to Camino del Rio South are no longer needed for any current or prospective public purposes. Except for a portion of the storm drain addressed in a separate easement vacation finding, utilities are located in the portion of the public right-of-way that will not be vacated such that the proposed vacation would have no adverse impact on those existing sewer, water, drainage, and public utilities. City staff has reviewed the request and found that the portion of the right-of-way proposed to be vacation by this action is unnecessary for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated. Thus, there is no present or prospective public use for the public right-of-way, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved use of the land made available by the vacation.

The right-of-way vacation will allow private property to redevelopment consistent with the recently adopted Mission Valley Community Plan update. The Project includes right-of-way improvements consistent with the goals of that plan to improve pedestrian and bicycle facilities with a right-of-way width consistent with the roadway designation. Vacating a portion of the right-of-way easement will enable the use of the land as part of the development of a regional commercial use like the Home Depot, the type of redevelopment activity envisioned by the Mission Valley Community Plan Update and associated rezoning while preserving the existing Scottish Rite use in

this location. Therefore, the public will benefit from the action through improved use of the land made available by the vacation.

(c) The vacation does not adversely affect any applicable land use plan.

For the reasons specified in subsections (a) and (b) above, the right-of-way vacation will facilitate use and development, including use of the remaining right-of-way, consistent with the General Plan and the recently updated Mission Valley Community Plan. Therefore, the vacation does not adversely affect any applicable land use plan.

(d) The public facility or purpose for which the public right-of-way was originally acquired will not be detrimentally affected by the vacation.

The original right-of-way reservation was made based on the undetermined needs for the under-construction Old Highway 80 (now Interstate 8 Freeway). The I-8 Freeway is now built, and the 2019 Mission Valley Community Plan Update classified Camino del Rio South as a 2-lane collector with left turn lane. Consistent with the applicable land use plans, the Project will utilize a portion of the existing right-of-way reservation to expand Camino del Rio South roadway from a 2-lane collector to a 2-lane collector with left turn lane and add a buffer to the existing bike lanes along its frontage. Thus, City staff has reviewed the request and found that the remainder of the public right-of-way is not needed for the public facility for which the public right-of-way was originally acquired. Therefore, the purpose for which the public right-of-way was acquired will not be detrimentally affected by the vacation.

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Easement Vacation No. 2392194, the Council finds that:

(a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

The map filed on November 16, 1956 as Map No. 3548 of Tract Maps includes an easement for storm drain facilities that traverse the Project site. The easement connects the storm drain that comes down the south hillside of Mission Valley to Camino del Rio South, draining from the hills above. A drainage easement is necessary; however, the specific location of the easement can be relocated while still provided the required public use. The proposed vacation allows for relocation of the storm drain easement and facilities on the Project site to a new location on site that avoids the footprint of the proposed Home Depot building, and a new storm drain easement will be granted to the City.

With the relocation and granting of a new storm drain easement per Exhibit A, the portion of the current easement that would be under the Home Depot building is no longer necessary presently or prospectively for the purpose that it was originally acquired due to the relocation in Exhibit A. The proposed Project will provide a new connection of the storm drainage from the south hillside of Mission Valley to Camino del Rio South. Therefore, there is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The current easement location bisects the property and is located within the footprint of the proposed Home Depot. The current easement restricts not only this redevelopment but almost all future large scale regional commercial redevelopment on the property that could be developed

consistent with land use plan and zone. The relocation of the storm drain easement will facilitate the regional commercial land use development intended in the Mission Valley Community Plan while providing the necessary public storm drain function. Therefore, the finding can be made that the public will benefit from the action through improved utilization of the land made available by the vacation.

- (c) The vacation is consistent with any applicable land use plan.

The current easement location bisects the property and adversely impacts any redevelopment of the property. The relocation of the storm drain easement will create greater flexibility to facilitate the regional type of land use development envisioned in the Mission Valley Community Plan Update as the Project proposes. A new easement will be recorded for a relocated public storm drain that will replace the existing easement. Therefore, the finding can be made that the vacation is consistent with any applicable land use plan.

- (d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

With the granting of a new easement and the relocation and construction of the public storm drain, the existing storm drain line and easement will no longer be required or serve a purpose. Therefore, the finding can be made that the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that Public Right-of-Way Vacation No. 2392193 and Easement Vacation No. 2392194 as more particularly described in the legal description marked as Exhibit "A" which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the Office of the County Recorder.

APPROVED: MARA ELLIOT, City Attorney

By

[Attorney]

Deputy City Attorney

[Initials]:[Initials]

[Month]/[Day]/[Year]

Or.Dept:[Dept]

Document No.

RESOLUTION NUMBER R-

ADOPTED ON

WHEREAS, on September 10, 2019, the City Council of the City of San Diego held a public hearing for the purpose of considering adoption of the comprehensive update to the Mission Valley Community Plan, amendments to the General Plan, amendments to the Land Development Code, associated rezoning actions, and associated amendments to the City's Local Coastal Program (Project); and

WHEREAS, on September 10, 2019, the City Council adopted Resolution No. R-312653, Certifying Program Environmental Impact Report No. 518009, a copy of which is on file in the Office of the City Clerk in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on February 3, 2020 Home Depot U.S.A., Inc submitted an application to the Development Services Department for approval of minor technical changes or additions to the Project; and

WHEREAS, State CEQA Guidelines section 15164(a) allows a lead agency to prepare an Addendum to a final Environmental Impact Report if such Addendum meets the requirements of CEQA; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego as follows:

1. That the information contained in the final Program Environmental Impact Report No. 518009 along with the Addendum thereto, including any comments received during the public review process, has been reviewed and considered by this City Council prior to making a decision on the Project.
2. That there are no substantial changes proposed to the Project and no substantial changes with respect to the circumstances under which the Project is to be undertaken that would require major revisions in the Program Environmental Impact Report for the Project.
3. That no new information of substantial importance has become available showing that the Project would have any significant effects not discussed previously in Program Environmental Impact Report or that any significant effects previously examined will be substantially more severe than shown in the Program Environmental Impact Report.

4. That no new information of substantial importance has become available showing that mitigation measures or alternatives previously found not to be feasible are in fact feasible which would substantially reduce any significant effects, but that the Project proponents decline to adopt, or that there are any considerably different mitigation measures or alternatives not previously considered which would substantially reduce any significant effects, but that the Project proponents decline to adopt.

5. That pursuant to State CEQA Guidelines Section 15164, only minor technical changes or additions are necessary, and therefore, the City of San Diego adopts Addendum to Program Environmental Impact Report No. 518900 with respect to the Project, a copy of which is on file in the office of the City Clerk.

6. That pursuant to CEQA Section 21081.6, the City Council adopts the Mitigation, Monitoring, and Reporting Program, or alterations to implement the changes to the project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

7. That City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____

[NAME], [DEPUTY CITY ATTORNEY or DEVELOPMENT PROJECT MANAGER]

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

SITE DEVELOPMENT PERMIT, a NEIGHBORHOOD DEVELOPMENT PERMIT, a PLANNED DEVELOPMENT PERMIT, and an EASEMENT/RIGHT-OF-WAY VACATION, and STORM DRAIN RELOCATION AND VACATION

PROJECT NO. 657591

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Addendum to Environmental Impact Report No. 518009 shall be made conditions SITE DEVELOPMENT PERMIT, a NEIGHBORHOOD DEVELOPMENT PERMIT, a PLANNED DEVELOPMENT PERMIT, and an EASEMENT/RIGHT-OF-WAY VACATION, and STORM DRAIN RELOCATION AND VACATION as may be further described below.

The project shall be required to comply with applicable mitigation measures outlined within the MMRP of the previously certified PEIR (Project No. 518009/SCH No. 2017071066) and the project-specific subsequent technical studies. The following MMRP identifies measures that specifically apply to this project.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/information/standtemp>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to

ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent, and the following consultant:

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**
 2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 657591 and/or Environmental Document Number 657591, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).
- Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**
3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency:

Not Applicable

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work would be performed. When necessary for clarification, a detailed methodology of how the work would be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

| DOCUMENT SUBMITTAL/INSPECTION CHECKLIST | | |
|--|---|--|
| Issue Area | Document Submittal | Associated Inspection/Approvals/Notes |
| General | Consultant Qualification Letters | Prior to Preconstruction Meeting |
| General | Consultant Construction Monitoring Exhibits | Prior to or at Preconstruction Meeting |
| Historical Resources (Built Environment) | Historical Building Survey | Prior to Project Approval |
| Noise | Contractor Specifications | Prior to or at Preconstruction Meeting |
| Cultural Resources (Paleontological) | Paleontology Reports | Paleontology Site Observation |

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

In order to remain consistent with the PEIR analysis and avoid potential impacts to Historical Resources (Built Environment), Cultural Resources (Paleontology), Noise, and Tribal Cultural Resources, the following mitigation measures shall be implemented by the permit holder:

Historical Resources (Built Environment)

1. Prior to project approval a Historic Architectural Building Survey shall be completed and submitted to the City of San Diego. Googie architectural elements from the Bowlero/Scottish Rites Center shall be incorporated into the Home Depot building including asymmetrical design, upsweep angular element in the façade, diamond panels, and a pedestrian entry element that picks up concepts from the Bowlero pylon sign in homage to the existing resource. Additionally, a story panel/marker shall be incorporated into the project delineating the history of the resource. A placard similar to the historical markers at San Diego State, San Diego Presidio, and/or Old Pt. Loma Lighthouse will be placed at the pedestrian entry element of Home Depot which pays homage to the Googie Bowlero sign. Wording for the Placard is below:

The Bowlero Bowl in Mission Valley was built during the golden age of bowling, 1950s-1960s. A March 1958 Life Magazine article featured the Bowlero Bowl in Mission Valley as the largest, fully automatic bowling center in the U.S. In 1964, the building was converted to the Scottish Rite Center

The Bowlero/Scottish Rite Center reflected the auto oriented roadside architecture of the Futuristic/Googie style. The Bowlero/Scottish Rite Center's bold monumental gabled porte cochere with decorative stepped profile, boomerang columns, and horizontal massing achieved the Googie design concept of making the "building as a billboard" to the neighborhood and adjacent freeway. The current pedestrian entry element pays homage to the original Googie style Bowlero sign.

Noise

1. In order to reduce construction noise, the following measures shall be included in the contractor specifications:
 - Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment.
 - Locate stationary noise-generating equipment (e.g., compressors) as far as possible from adjacent residential receivers.
 - Acoustically shield stationary equipment located near residential receivers with temporary noise barriers.
 - Utilize "quiet" air compressors and other stationary noise sources where technology exists.
 - The contractor shall prepare a detailed construction plan identifying the schedule for major noise-generating construction activities. The construction plan shall identify a procedure for coordination with adjacent residential land uses so that construction activities can be scheduled to minimize noise disturbance.

- Designate a "disturbance coordinator" who shall be responsible for responding to any complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., bad muffler, etc.) and will require that reasonable measures be implemented to correct the problem.

Cultural Resources (Paleontological)

I. Prior to Permit Issuance

A. Entitlements Plan Check

- 1) Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

- 1) The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
- 2) MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
- 3) Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program. ^{SEP}

II. Prior to Start of Construction

A. Verification of Records Search

- 1) The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to, a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
- 2) The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

- 1) Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a) If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
- 2) Identify Areas to be Monitored ^[11]_{SEP} Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11 x 17 inches) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation). ^[11]_{SEP}
- 3) When Monitoring Will Occur
 - a) Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b) The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present. ^[11]_{SEP}

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

- 1) The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
- 2) The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
- 3) The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVRS shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC. ^[11]_{SEP}

B. Discovery Notification Process

- 1) In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
- 2) The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.

- 3) The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible. [L]
[SEP]

C. Determination of Significance [L]
[SEP]

- 1) The PI shall evaluate the significance of the resource.
 - a) The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b) If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c) If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d) The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

A. If night and/or weekend work is included in the contract

- 1) When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
- 2) The following procedures shall be followed.
 - a) No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8 a.m. on the next business day.
 - b) Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c) Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d) The PI shall immediately contact MMC, or by 8 a.m. on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made. [L]
[SEP]

B. If night work becomes necessary during the course of construction

- 1) The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.

- 2) The RE, or BI, as appropriate, shall notify MMC immediately. [1] [SEP]
- C. All other procedures described above shall apply, as appropriate. [1] [SEP]
- V. Post Construction
 - A. Preparation and Submittal of Draft Monitoring Report
 - 1) The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a) For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b) Recording Sites with the San Diego Natural History Museum
 The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report. [1] [SEP]
 - 2) MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3) The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4) MMC shall provide written verification to the PI of the approved report.
 - 5) MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals. [1] [SEP]
 - B. Handling of Fossil Remains [1] [SEP]
 - 1) The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued. [1] [SEP]
 - 2) The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
 - C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1) The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2) The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC. [1] [SEP]

D. Final Monitoring Report(s)

- 1) The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
- 2) The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution. ^[1]_{SEP}

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

**MINUTES OF THE REGULAR MEETING OF THE
MISSION VALLEY PLANNING GROUP**

December 2, 2020
Via Zoom/Electronic Meeting

Members Present:

Michele Addington, Cameron Bucher, Kaye Durant, Rachel Erwin, Johnathan Frankel, Alan Grant, Matthew Guillory, Anthony Hackett, Derek Hulse, Elizabeth Leventhal, Kathy McSherry, Andrew Michajlenko, Keith Pittsford, Marco Sessa, Pete Shearer, Michael Sherman, Colton Speas, and Josh Weiselberg.

Members Absent: Steve Abbo, Ken Calloway, and John La Raia.

City/Government Staff: Nancy Graham

Guests:

See Zoom log.

A. CALL TO ORDER

Jonathan Frankel called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:02p.m. via Zoom.

Verify Quorum: 12 members were present, constituting a quorum. Derek Hulse and Peter Shearer joined at Item E and Josh Weiselberg, Colton Speas, Andrew Michajlenko and Anthony Hackett joined at Item H1.

B. PLEDGE OF ALLEGIANCE –

None.

C. INTRODUCTIONS / OPENING REMARKS/REPORT OF THE CHAIR

Jonathan Frankel welcomed everyone to the meeting and reminded all there would be a record of the meeting made.

D. APPROVAL OF MINUTES

Jonathan Frankel moved to continue approval of the minutes of the October 14, 2020 regular meeting to the January meeting to permit additional revision to the minutes; Kaye Durant seconded the motion. Motion was approved 10-0-2 with Michele Addington, Cameron Bucher, Kaye Durant, Rachel Erwin, Johnathan Frankel, Alan Grant, Matthew Guillory, Elizabeth Leventhal, Marco Sessa, and Michael Sherman voting yes, and Kathy McSherry and Keith Pittsford abstaining.

E. Public Input – Non-Agenda Items but within the scope of authority of the planning group.

- Rob Hutsel of the River Park Foundation indicated they were holding a drive for warm socks and face coverings for homeless in the River area.

Jonathan Frankel agreed to accommodate the Group's involvement by making a COSTCO run for products for donation.

- Alan Grant had a question concerning the status of

F. Membership Committee – Michele Addington

1. Open positions on the MVPG Board

1 each in Property Tax Payer; Resident and Property Owner. Currently have 1 applicant for Resident Category that will become eligible our the next MVPG meeting.

G. Treasurer's Report – Elizabeth Leventhal

1. Reported that the balance remains the same; \$1,344.16.

H. Information Items

1. SANDAG Central Mobility Hub Project – Jack Christensen / Gia Ballash

Description: Briefing from SANDAG on the Central Mobility Hub Project which contemplates the redevelopment of the NAVWAR site in Old Town to include, amongst other uses, a direct transit connection to the San Diego International Airport. This is an informational item only.

Brief background and overview of project designed to provide a single location with multiple modes of transportation with centrality around the San Diego Airport. Currently five separate projects in the works designed to handle mobility and congestion issues. For Central Mobility Hub, there is an MOU in place with SANDAG, City of San Diego, the Airport Authority and the Port Authority. Project is proposed on existing SPAWAR site which is subject to proposed redevelopment by the Navy. Navy preparing environmental review documents, which include a proposed transportation center that would accommodate the Central Mobility Hub project. If said proposal is not selected by Navy for redevelopment, SANDAG will seek alternative site(s). Overview of potential modes of transportation from Hub to airport (seeking direct, non-traffic modes). Question about scheduling of other projects as related to the Hub project; answer was that most projects are aligned in schedule with some ahead of others.

2. Update on JFS Safe Parking Program – Chris Olsen / John Lowther

Description: Jewish Family Service ("JFS") will be providing an update on their Safe Parking Program in Mission Valley. This is an informational item only.

Provided brief background on JFS and background on safe parking program. Program is privately funded. Program aims to provide safe parking location and facilities, including regular hot meals to pre-screened clients who have operable vehicles, but not home and are residing in their vehicle. Program includes passenger vehicles as well as some recreational/oversized vehicles. 42% of the program participants improve their circumstances and move on from the program. Other services offered include navigation to housing assistance and other public programs. 2 Lots in Kearny Mesa, 1 on Aero Drive, 1 in Mission Valley and one in Encinitas. Questions were asked about assistance to move disabled vehicles to a lot and assist with repairs for prospective participants – some assistance is available, but may be limited. Program is accepting toy donations for

the holidays. No access is provided to homeless pedestrians, only participants in vehicles.

I. Action Items

1. Home Depot Mission Valley (Project #657591) – John Ziebarth

Project Description: Site Development Permit and Easement Vacation for demolition of existing Scottish Rite building located at 1895 Camino Del Rio South and construction of a new 40,000 SF Scottish Rite building and construction of approximately 120,000 SF Home Depot and Garden Center.

Brief overview of the project and background of the project site and existing uses as well as new project development plan. Detailed review of city/environmental review process for the project, including that project will use existing EIR for MVCPU and addendum thereto to satisfy environmental review requirements. Applicant provided an overview of the site development requirements, including offsite work (curb/gutter/sidewalk). Questions were raised about need for the Home Depot project given existing Lowes facility and potential to increase (rather than decrease) traffic trips and congestion as the project claims to alleviate. Applicant indicated project would spread trips from MV and neighboring residents more equally from their current trips to surrounding Home Depots. Question asked about efficacy of parking structure vs. parking lot given need for ingress and egress by customers with carts and dollies. Home Depot indicated the structures have been employed in other stores and function effectively. Question was raised about traffic analysis and queuing issues for neighboring driveway. Applicant it was not specific to driveway, but analysis did not identify any safety concerns with traffic on this section of roadway. Applicant was asked (and did provide) a brief overview of the EIR/Addendum process for the project. The addendum is not required to be published or subject to public comment. The addendum is currently pending City review. The public commented about concerns about the project and its environmental review and claimed lack of review (i.e. addendum) and lack of review and mitigation of potential traffic and mobility issues. Public asked if traffic studies would be made public; they will be when presented to the City Planning Commission.

Elizabeth Leventhal made a motion to continue the matter. After further discussion and clarification re: the environmental review process and lack of need for recommendation from the MVPG, the motion was withdrawn. Further discussion of the project and environmental review process for the project ensued.

Marco Sessa moved to approve the project, as submitted, provided the addendum does not result in any new, previously unidentified impacts; Michele Addington seconded the motion. Motion was approved 14-4-0 with Michele Addington, Cameron Bucher, Kaye Durant, Rachel Erwin, Johnathan Frankel, Alan Grant, Matthew Guillory, Derek Hulse, Andrew Michajlenko, Keith Pittsford, Marco Sessa, Pete Shearer, Michael Sherman, and Colton Speas voting yes, and Anthony Hackett, Elizabeth Leventhal, Kathy McSherry and Josh Weiselberg voting no, and no one abstaining.

J. Committee/Community Reports:

1. Subcommittee Reports:

a. Standing Committees:

- 1) Design Advisory Board – normally meets the Monday prior to the MVPG meeting at 3:30 p.m. at the Mission Valley Library- Andrew Michajlenko

Haven't met the prior few months and no current meeting scheduled.

b. Ad Hoc Committees

- 1) Public Health, Safety and Welfare – Elizabeth Leventhal

Thanked JFS for their presentation and Rob Hutsel for the SD River Park Foundation drive for socks and face coverings.

- 2) Riverwalk - Michele Addington:

Project approved by City Council and recommendation the committee be disbanded.

- 2) MV Stadium Redevelopment - Kaye Durant

Project is continuing and committee has the desire to maintain in place for time being.

1. Community Reports

- a. San Diego River Coalition – Alan Grant-Normally meets the third Friday of each month at 3:00 p.m. at the Mission Valley Library.

No update.

- b. Community Planning Chairs Meeting –Michele Addington/Jonathan Frankel

Discussion re: short-term rentals and proposed changes to ordinances to address.

2. Miscellaneous Mail/Items-For the Good of the Order –

Kaye Durant announced MVPG presence on Nextdoor for outreach and additional publication of agendas and MVPG announcements.

K. Adjournment: Meeting was adjourned at 2:06 P.M. Next Regular Meeting Date – January 6th at noon with location likely to be electronic (Zoom).

Cameron Bucher, Secretary

| | | | |
|---|---|--|--|
|  | City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000 | <h1 style="margin: 0;">Ownership Disclosure Statement</h1> | FORM DS-318 October 2017 |
|---|---|--|--|

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Home Depot - Scottish Rite **Project No. For City Use Only:** _____

Project Address: 1895 Camino del Rio South

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Scottish Rite Cathedral of San Diego, Inc. ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 1895 Camino del Rio South

City: San Diego State: CA Zip: 92108

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: Home Depot - Suzanne Russo ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 2455 Paces Ferry Road, C-19

City: Atlanta State: GA Zip: 30339

Phone No.: 770-384-2406 Fax No.: _____ Email: suzanne_russo@homedepot.com

Signature: Suzanne Russo Date: Jan. 15, 2020

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

| | | | |
|---|---|---|---|
|  | City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000 | <h1>Ownership Disclosure Statement</h1> | FORM DS-318 October 2017 |
|---|---|---|---|

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Home Depot - Scottish Rite

Project No. For City Use Only: _____

Project Address: 1895 Camino del Rio South

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Scottish Rite Cathedral of San Diego, Inc. ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 1895 Camino del Rio South

City: San Diego

State: CA Zip: 92108

Phone No.: 619-293-4888

Fax No.: _____

Email: prsd@jschneid.com

Signature: *John A. Schneidmiller*

Date: 29 January 2020

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: Home Depot - Suzanne Russo ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency

Street Address: 2455 Paces Ferry Road, C-19

City: Atlanta

State: GA Zip: 30339

Phone No.: 770-384-2406

Fax No.: _____

Email: suzanne_russo@homedepot.com

Signature: _____

Date: _____

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____

State: _____ Zip: _____

Phone No.: _____

Fax No.: _____

Email: _____

Signature: _____

Date: _____

Additional pages Attached: ☐ Yes ☐ No

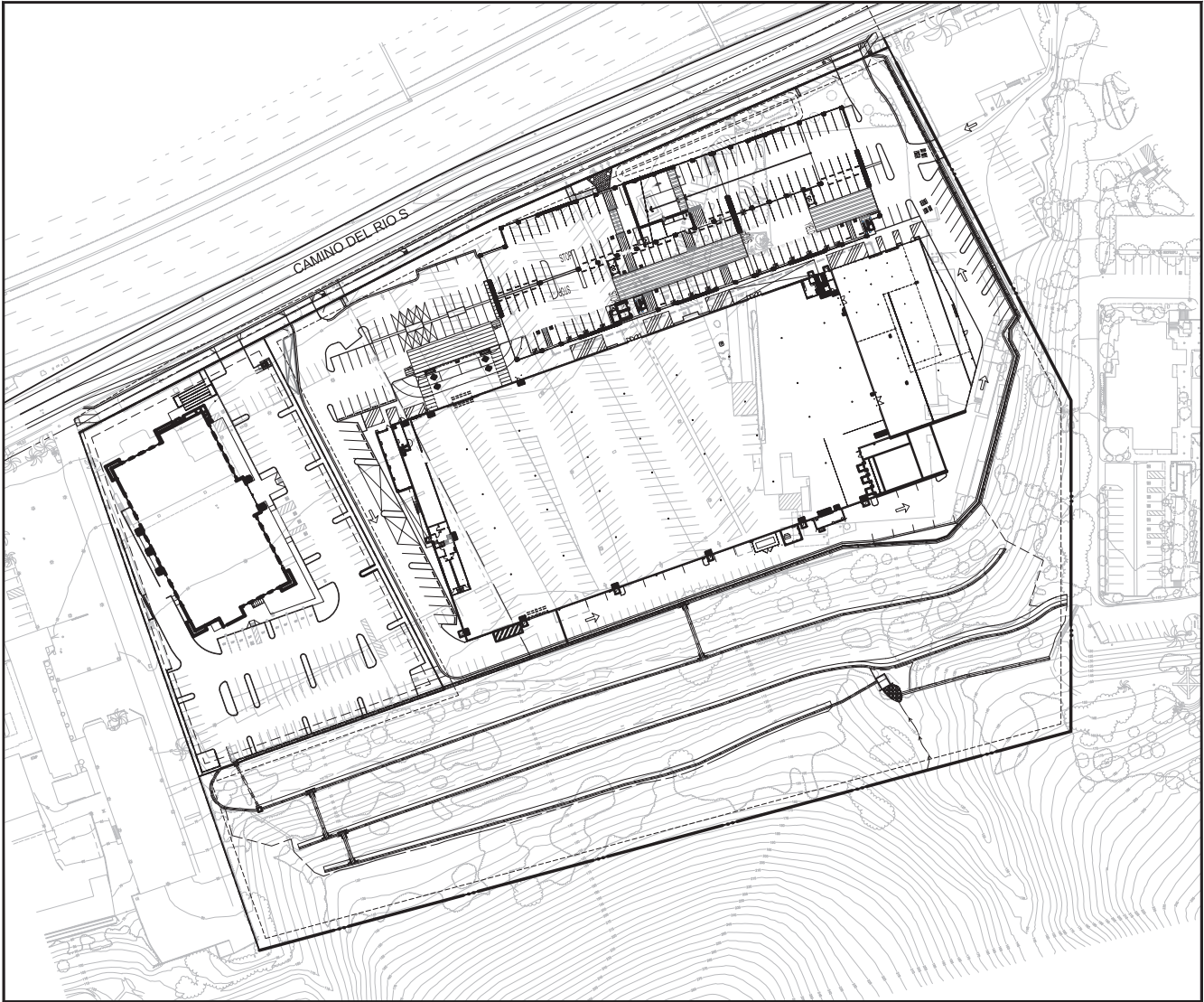


DEVELOPMENT PERMIT FOR

THE HOME DEPOT & SCOTTISH RITE

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA

| SHEET INDEX | |
|-------------|--|
| CS-1 | COVER SHEET |
| SP-1 | OVERALL SITE PLAN |
| C-HD-SR-1 | EXISTING CONDITIONS |
| C-HD-SR-2 | PROPOSED LOT LINE ADJUSTMENT, STREET VACATION, & DEDICATION |
| A-SR-1 | SITE PLAN |
| A-SR-2 | FLOOR 01 PLAN |
| A-SR-3 | FLOOR 02 PLAN |
| A-SR-4 | ELEVATIONS |
| A-SR-5 | ELEVATIONS |
| A-SR-6 | PERSPECTIVE |
| A-SR-7 | SITE/BUILDING SECTION |
| C-SR-1 | SITE AND PAVING PLAN |
| C-SR-2 | GRADING AND DRAINAGE PLAN |
| C-SR-3 | UTILITY PLAN |
| C-SR-4 | SECTIONS AND DETAILS |
| LC-SR-1 | LANDSCAPE CONCEPT PLAN |
| LC-SR-2 | LANDSCAPE CALCULATIONS |
| LC-SR-3 | WATER CONSERVATION PLANS |
| A-HD-1 | LEVEL 1 PLAN |
| A-HD-2 | LEVEL 2 PLAN |
| A-HD-3 | ROOF PLAN |
| A-HD-4 | ELEVATIONS |
| A-HD-5 | AERIAL RENDERING |
| A-HD-6 | SECTIONS |
| C-HD-3 | SITE AND PAVING PLAN |
| C-HD-4 | GRADING AND DRAINAGE PLAN |
| C-HD-5 | UTILITY PLAN |
| C-HD-6 | SLOPE TERRACING AND DRAINAGE PLAN |
| C-HD-7 | SECTIONS AND DETAILS |
| C-HD-8 | FIRE ACCESS PLAN |
| C-HD-SR-3 | EXISTING SLOPE ANALYSIS |
| C-HD-SR-4 | PERMIT PHASING EXHIBIT |
| LC-HD-1 | LANDSCAPE CONCEPT PLAN |
| LC-HD-2 | LANDSCAPE CONCEPT PLAN |
| LC-HD-3 | LANDSCAPE CALCULATIONS |
| LC-HD-4 | WATER CONSERVATION PLANS |



| CONTACT LIST | |
|---|---|
| HOME DEPOT | |
| CONSTRUCTION MANAGER HOME DEPOT 4000 W. METROPOLITAN AVE SUITE 100 ORANGE, CA 92668 EMAIL: BOB_BURNSIDE@HOMEDEPOT.COM ATTN: BOB BURNSIDE | PARKING DECK ARCHITECT ARCHITECTS ORANGE 731 SOUTH HIGHWAY 101, SUITE 14 SOLANO BEACH, CA 92075 PHONE: (714) 639-9860 EMAIL: JASON@AORARCHITECTS.COM ATTN: JASON RUPP |
| SITE DEVELOPMENT COORDINATOR LARS ANDERSEN & ASSOC., INC. 4894 W. JACQUELYN AVE. FRESNO, CA 93722 PHONE: (559) 276-2790 EXT. 112 EMAIL: SHOMMER@LARSANDERSEN.COM ATTN: SCOTT A. MOMMER, PE | PARKING DECK STRUCTURAL ENGINEER SENICA STRUCTURAL ENGINEERING, INC. 23276 SOUTH POINTE DRIVE, SUITE 209 LAGUNA HILLS, CA 92653 PHONE: (949) 595-6182 EMAIL: DIRK@SENICA.STRUCTURAL.COM ATTN: DIRK BONDY, SE |
| CIVIL ENGINEER FUSCOE ENGINEERING, INC GREENWICH DRIVE, SUITE 170 SAN DIEGO, CA 92122 PHONE: (656) 554-1500 EMAIL: BSMITH@FUSCOE.COM ATTN: BRYAN D. SMITH, PE | SOILS ENGINEER MOORE TWINING ASSOCIATES, INC. 2527 FRESNO STREET FRESNO, CA 93721 PHONE: (559) 268-7021 EMAIL: HARRYM@TWINING.COM ATTN: HARRY MOORE, PE |
| PROJECT PLANNER ZAAP 2900 FOURTH AVE #204 SAN DIEGO, CA 92103 PHONE: (619) 233-6450 EMAIL: JOHN@ZAAP.BIZ ATTN: JOHN ZIEBARTH | ENVIRONMENTAL GEOSYNTEC CONSULTANTS 16644 WEST BERNARDO DRIVE, SUITE 301 SAN DIEGO, CA 92127 PHONE: (656) 716-2903 EMAIL: VMTTIG@GEOSYNTEC.COM ATTN: VERYL WITTIG |
| BUILDING ARCHITECT WD PARTNERS 7007 DISCOVERY BLVD. DUBLIN, OH 43017 PHONE: (614) 634-7000 EMAIL: SRAN.SMITH@WDPARTNERS.COM ATTN: SRAN SMITH | LANDSCAPE ARCHITECT JPBLA, INC 4403 MANCHESTER AVE #201 SAN DIEGO, CA 92127 PHONE: (760) 479-0644 EMAIL: JIM@JPBLA.COM ATTN: JAMES P. BENEDETTI |
| SCOTTISH RITE | |
| SITE DEVELOPMENT COORDINATOR CUSHMAN & WAKEFIELD 4747 EXECUTIVE DRIVE, SUITE 900 SAN DIEGO, CA 92121 PHONE: (656) 334-4042 EMAIL: JONATHAN.PAROT@CUSHWAKE.COM ATTN: JONATHAN PAROT | BUILDING ARCHITECT WARE MALCOMB 3911 SORRENTO VALLEY BLVD, SUITE 120 SAN DIEGO, CA 92121 PHONE: (619) 564-5127 EMAIL: GGUOIN@WAREMALCOMB.COM ATTN: GENEVIEVE GUOIN, CID |
| CIVIL ENGINEER FUSCOE ENGINEERING, INC GREENWICH DRIVE, SUITE 170 SAN DIEGO, CA 92122 PHONE: (656) 554-1500 EMAIL: BSMITH@FUSCOE.COM ATTN: BRYAN D. SMITH, PE | SOILS ENGINEER MOORE TWINING ASSOCIATES, INC. 2527 FRESNO STREET FRESNO, CA 93721 PHONE: (559) 268-7021 EMAIL: HARRYM@TWINING.COM ATTN: HARRY MOORE, PE |
| PROJECT PLANNER ZAAP 2900 FOURTH AVE #204 SAN DIEGO, CA 92103 PHONE: (619) 233-6450 EMAIL: JOHN@ZAAP.BIZ ATTN: JOHN ZIEBARTH | LANDSCAPE ARCHITECT JPBLA, INC 4403 MANCHESTER AVE #201 SAN DIEGO, CA 92127 PHONE: (760) 479-0644 EMAIL: JIM@JPBLA.COM ATTN: JAMES P. BENEDETTI |
| UTILITY | |
| WATER SAN DIEGO COUNTY WATER AUTHORITY 4677 OVERLAND AVE. SAN DIEGO, A 92153 PHONE: (658) 822-5600 | PHONE SBC/PACIFIC BELL PHONE: (800) 750-2355 |
| GAS & ELECTRIC SAN DIEGO GAS & ELECTRIC 6915 CENTURY PARK CT, SUITE 213 SAN DIEGO, CA 92123 PHONE: (656) 636-5723 | SEWER CITY OF SAN DIEGO 1222 FIRST AVE SAN DIEGO, CA 92101 PHONE: (619) 446-5406 |

PROJECT DESCRIPTION:

EXISTING SCOTTISH RITES BUILDING (~63,822 sf) BUILT IN 1957 AND THE SAN DIEGO AUTO CONNECTION CAR DEALERSHIP (~7,124 sf) WILL BE DEMOLISHED AND REPLACED WITH A SMALLER SCOTTISH RITES BUILDING (~40,000 SF) ON PARCEL B & NEW HOME DEPOT (106,688 SF BLDG & 17,916 SF GC) W/ PARKING STRUCTURE ON PARCEL A.

APPLICATION FOR:

1. SDP FOR LARGE RETAIL ESTABLISHMENT - PROCESS 4
2. SDP FOR ENVIRONMENTALLY SENSITIVE LAND (STEEP HILLSIDE)--PROCESS 4
3. VACATION OF PORTION OF RESERVATION OF RIGHT OF WAY PER MAP 3546 -PROCESS 5
4. RESCIND SETBACK PER MAP 3546 & BE CONSISTENT WITH CURRENT ZONING CR-2-1 -PROCESS 5
5. BOUNDARY LINE ADJUSTMENT
6. VACATE A PORTION OF EXISTING ABUTTERS RIGHT ALONG CAMINO DEL RIO S TO ALL (N) DRIVEWAY ACCESS TO MODIFIED PARCEL B.

GEOLOGICAL HAZARD CATAGORIES: 31 & 53

NOTE: BUILDING ADDRESSES PROVIDED PER FHPS POLICY P-00-6 (UFC 901.4.4)

| | |
|---|---|
| APN : 4380903300 4380903400 | CITY OF SAN DIEGO PTS # |
| LEGAL DESCRIPTION : LOT 1 OF BOWLERO, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3546, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY AND 1 OF TEMPLE SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6327, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY APRIL 2, 1969. | PERMIT APPLICATION : - SITE DEVELOPMENT PERMIT - RIGHT OF WAY VACATION - SETBACK MODIFICATION - STORM DRAIN EASEMENT RELOCATION |
| COMMUNITY PLAN AREA: MISSION VALLEY COMMUNITY PLAN | REVISION # : 08/17/2020 |
| ZONE: CR-2-1 | REVISION # : DATE : 1 2 3 4 |

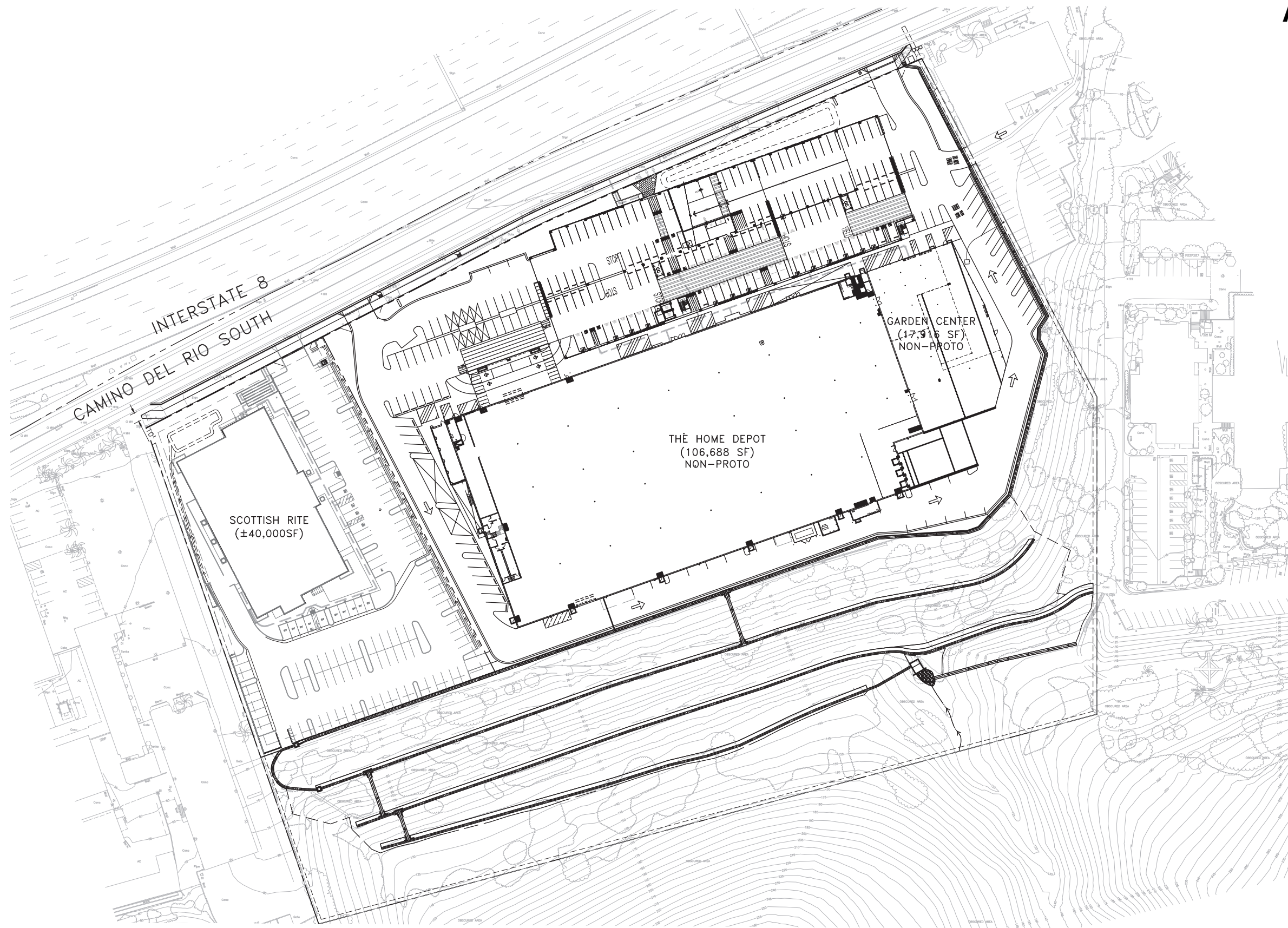


**SCOTTISH RITE /
HOME DEPOT**

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

**COVER
SHEET
CS-1**

08.17.2020 18134.00



SCALE: 1"=50'-0"



WARE MALCOMB
Leading Design for Commercial Real Estate



**SCOTTISH RITE /
HOME DEPOT**

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

**OVERALL
SITE PLAN
SP-1**

08.17.2020

18134.00

PARCEL A:

LOT 1 OF BOWLERO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3546, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 16, 1956. EXCEPT THEREFROM THAT PORTION LYING WITHIN LOT 1 OF TEMPLE SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6327, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1969.

PARCEL B:

LOT 1 OF TEMPLE SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6327, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1969.

EASEMENTS

ITEMS SHOWN AS (#) HAVE BEEN PLOTTED HEREON.

- 9 AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR WATER PIPES AND INCIDENTAL PURPOSES RECORDED OCTOBER 14, 1908, IN BOOK 440, PAGE 362 AND RECORDED JANUARY 17, 1910, IN BOOK 471, PAGE 254, BOTH OF DEEDS. (NOT PLOTTABLE FROM RECORD INFORMATION)
- 11A RESERVED FOR FUTURE STREET, DEDICATED TO THE CITY OF SAN DIEGO ON THE MAP FILED NOVEMBER 16, 1956 AS MAP NO. 3546 OF TRACT MAPS. (PORTION TO BE VACATED)
- 11B EASEMENTS FOR SEWER, WATER, DRAINAGE AND PUBLIC UTILITIES, DEDICATED TO THE CITY OF SAN DIEGO ON THE MAP FILED NOVEMBER 16, 1956 AS MAP NO. 3546 OF TRACT MAPS (PORTION TO BE VACATED)
- 12 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM MISSION VALLEY ROAD HAVE BEEN DEDICATED OR RELINQUISHED ON THE MAP OF MAP NO. 3546 OF TRACT MAPS RECORDED NOVEMBER 16, 1956.
- 13 AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES, RECORDED JANUARY 07, 1957, AS BOOK 6407, PAGE 438 OF OFFICIAL RECORDS.
- 14 AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES, RECORDED JULY 10, 1957 AS BOOK 6656, PAGE 213 OF OFFICIAL RECORDS.
- 15 AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR STREET AND INCIDENTAL PURPOSES, RECORDED JULY 21, 1959 AS BOOK 7891, PAGE 226 OF OFFICIAL RECORDS. (TO BE VACATED)
- 16 AN EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR A PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 23, 1959 AS BOOK 7897, PAGE 134 OF OFFICIAL RECORDS.
- 18 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF CONSENT" RECORDED JULY 15, 1964 AS INSTRUMENT NO. 128156 OF OFFICIAL RECORDS.
- 19 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "ELECTRIC EASEMENT AGREEMENT" RECORDED MARCH 19, 1965 AS INSTRUMENT NO. 49390 OF OFFICIAL RECORDS. (PLOTTED APPROXIMATELY HEREON)
- 22 TERMS AND PROVISION OF AN UNRECORDED LEASE AS DISCLOSED BY A MEMORANDUM OF AGREEMENT RECORDED JUNE 1, 2000, AS INSTRUMENT NO. 2000-0288408 OF OFFICIAL RECORDS. (BLANKET IN NATURE OVER PARCEL A)
- 23 AN EASEMENT GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY, A CORPORATION FOR PUBLIC UTILITIES, RECORDED SEPTEMBER 16, 2005 AS INSTRUMENT NO. 2005-0802862 OF OFFICIAL RECORDS. (PLOTTED APPROXIMATELY HEREON)

LEGEND

INDICATES BUILDING FOOTPRINT

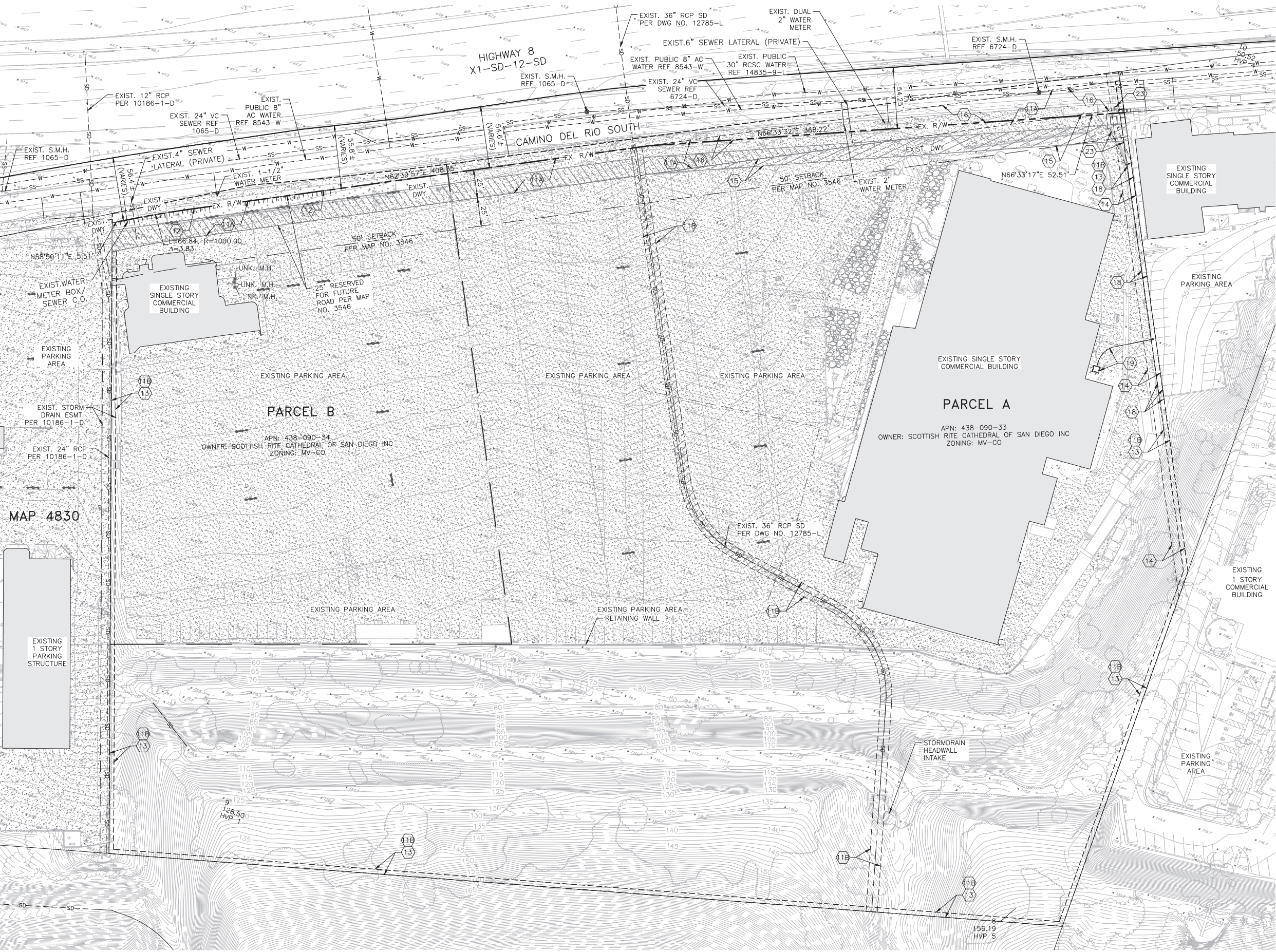
INDICATES ASPHALT AREA

INDICATES INDICATES CONCRETE AREA

SCALE: 1"=40'-0"



NORTH



MAP 4830

EXISTING 1 STORY PARKING STRUCTURE

PARCEL B

APN: 438-090-34
OWNER: SCOTTISH RITE CATHEDRAL OF SAN DIEGO INC
ZONING: MV-CO

PARCEL A

APN: 438-090-33
OWNER: SCOTTISH RITE CATHEDRAL OF SAN DIEGO INC
ZONING: MV-CO

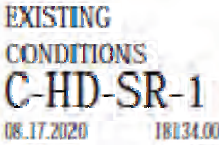


WARE MALCOMB
Leading Design for Commercial Real Estate

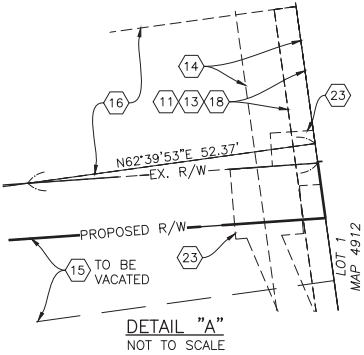
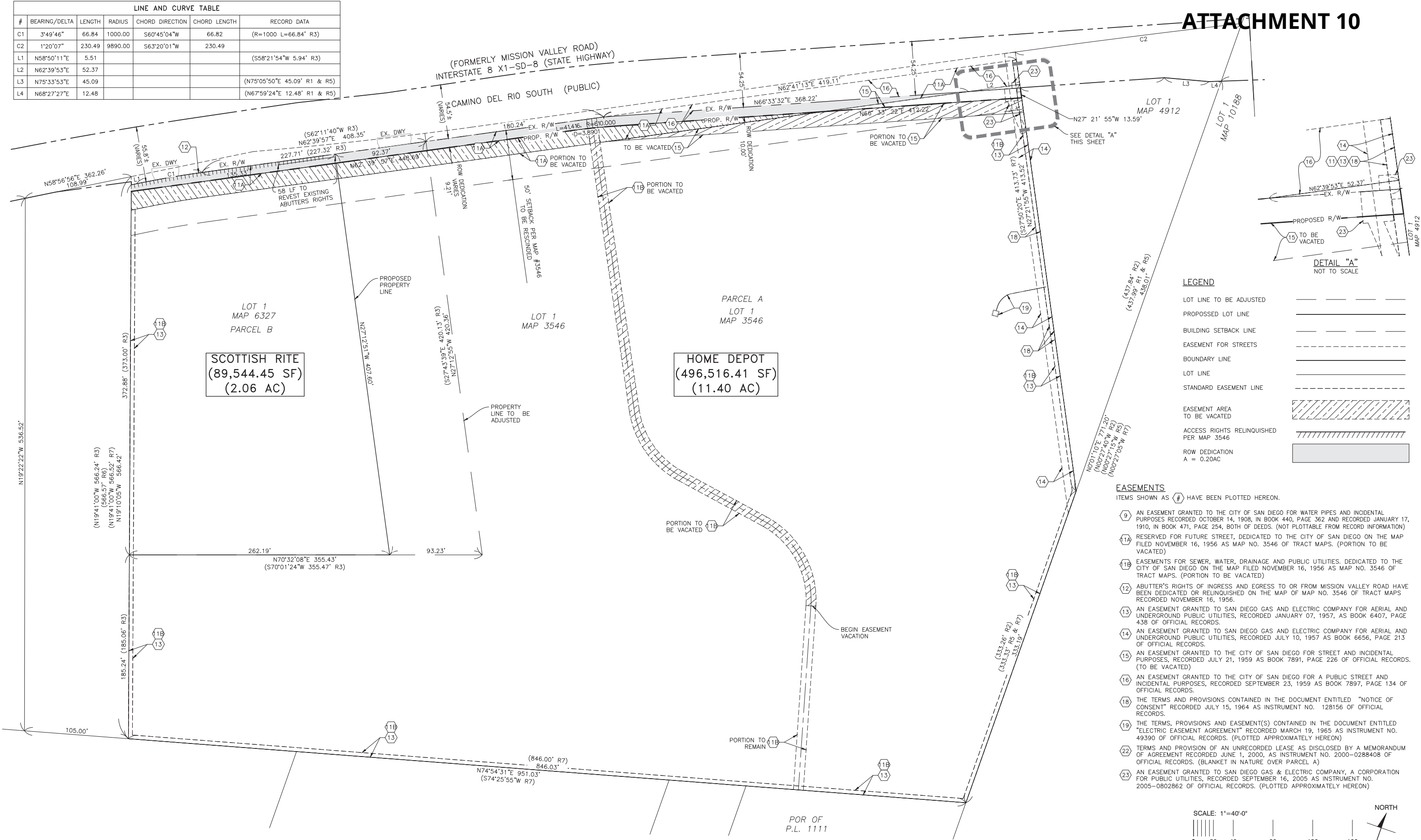


SCOTTISH RITE /
HOME DEPOT

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108



| LINE AND CURVE TABLE | | | | | |
|----------------------|---------------|--------|---------|-----------------|------------------------------|
| # | BEARING/DELTA | LENGTH | RADIUS | CHORD DIRECTION | CHORD LENGTH |
| C1 | 3°49'46" | 66.84 | 1000.00 | S60°45'04"W | 66.82 |
| C2 | 1°20'07" | 230.49 | 9890.00 | S63°20'01"W | 230.49 |
| L1 | N58°50'11"E | 5.51 | | | (S58°21'54"W 5.94' R3) |
| L2 | N62°39'53"E | 52.37 | | | |
| L3 | N75°33'53"E | 45.09 | | | (N75°05'50"E 45.09' R1 & R5) |
| L4 | N68°27'27"E | 12.48 | | | (N67°59'24"E 12.48' R1 & R5) |



LEGEND

- LOT LINE TO BE ADJUSTED
- PROPOSED LOT LINE
- BUILDING SETBACK LINE
- EASEMENT FOR STREETS
- BOUNDARY LINE
- LOT LINE
- STANDARD EASEMENT LINE
- EASEMENT AREA TO BE VACATED
- ACCESS RIGHTS RELINQUISHED PER MAP 3546
- ROW DEDICATION A = 0.20AC

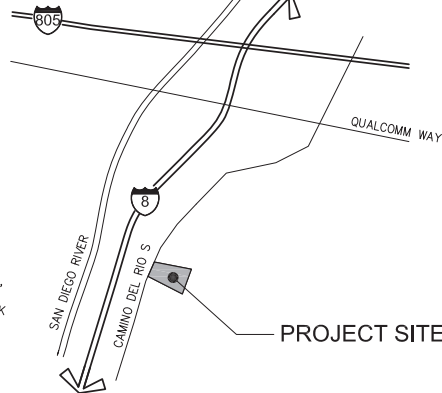
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 - THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF CONSENT" RECORDED JULY 15, 1964 AS INSTRUMENT NO. 128156 OF OFFICIAL RECORDS.
 - THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "ELECTRIC EASEMENT AGREEMENT" RECORDED MARCH 19, 1965 AS INSTRUMENT NO. 49390 OF OFFICIAL RECORDS. (PLOTTED APPROXIMATELY HEREON)
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SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

PROPOSED LOT LINE
ADJUSTMENT, STREET VACATION
& DEDICATION
C-HD-SR-2
08.17.2020 18134.00



SITE DATA

| | |
|--|--|
| ZONING: | CR-2-1 (MISSION VALLEY COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE) |
| APN: | 438-090-34 |
| SITE AREA: | (2.06 AC) 89,544.45 SF |
| BUILDING AREA: | +/-40,000 SF |
| BUILDING HEIGHT: | 40'-0" |
| SPRINKLERED: | YES |
| CONSTRUCTION TYPE: | III-B |
| ADA ACCESSIBLE P.O.T. | ----- |
| 40,000 SF/89,544 SF = 0.45 FAR (1.0 MAX ALLOWED) | |

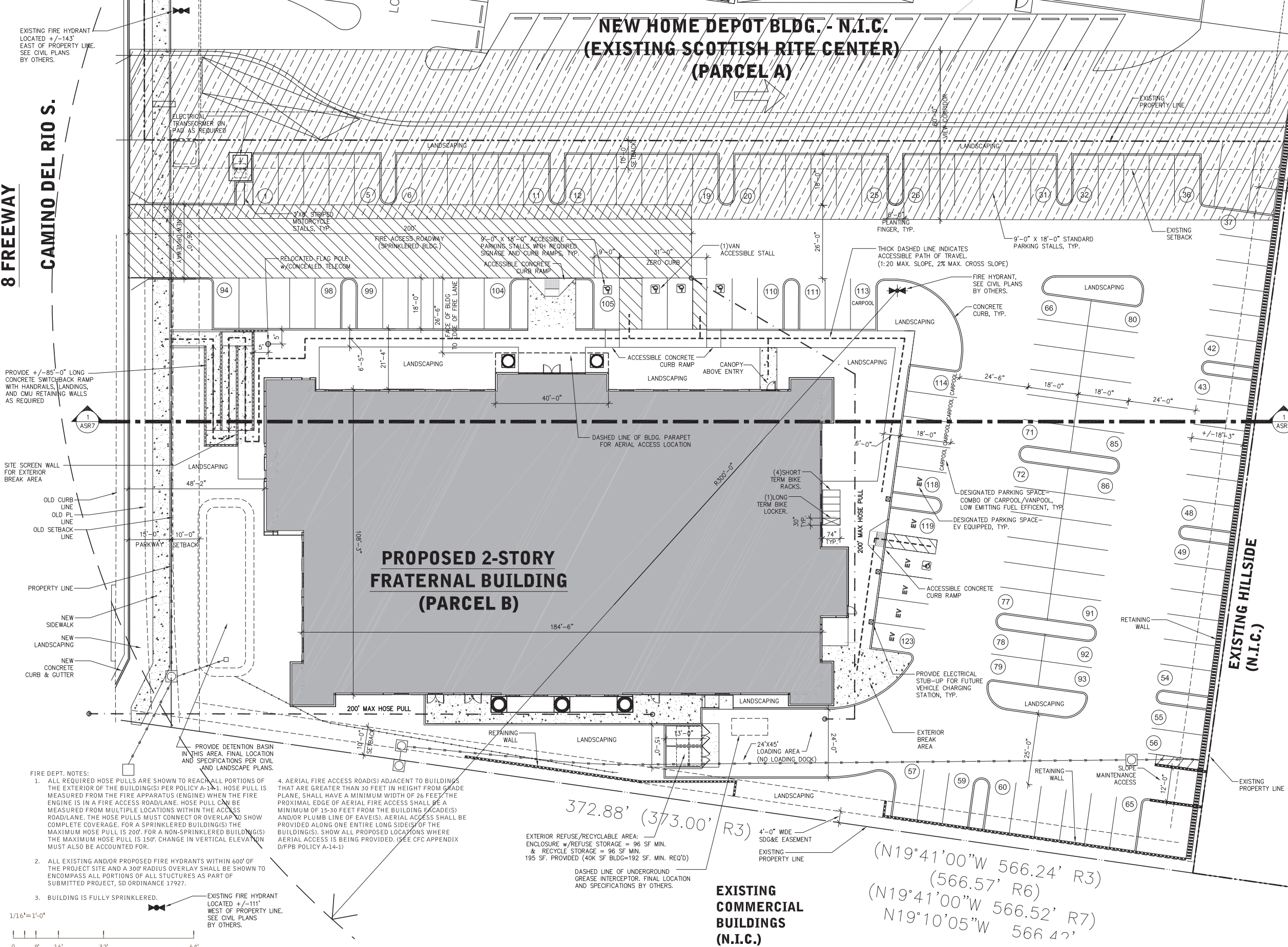
| | | | |
|--|-------------------|--|---------------------|
| | FIRE LANE | | PARKING STALL COUNT |
| | CONCRETE SIDEWALK | | |

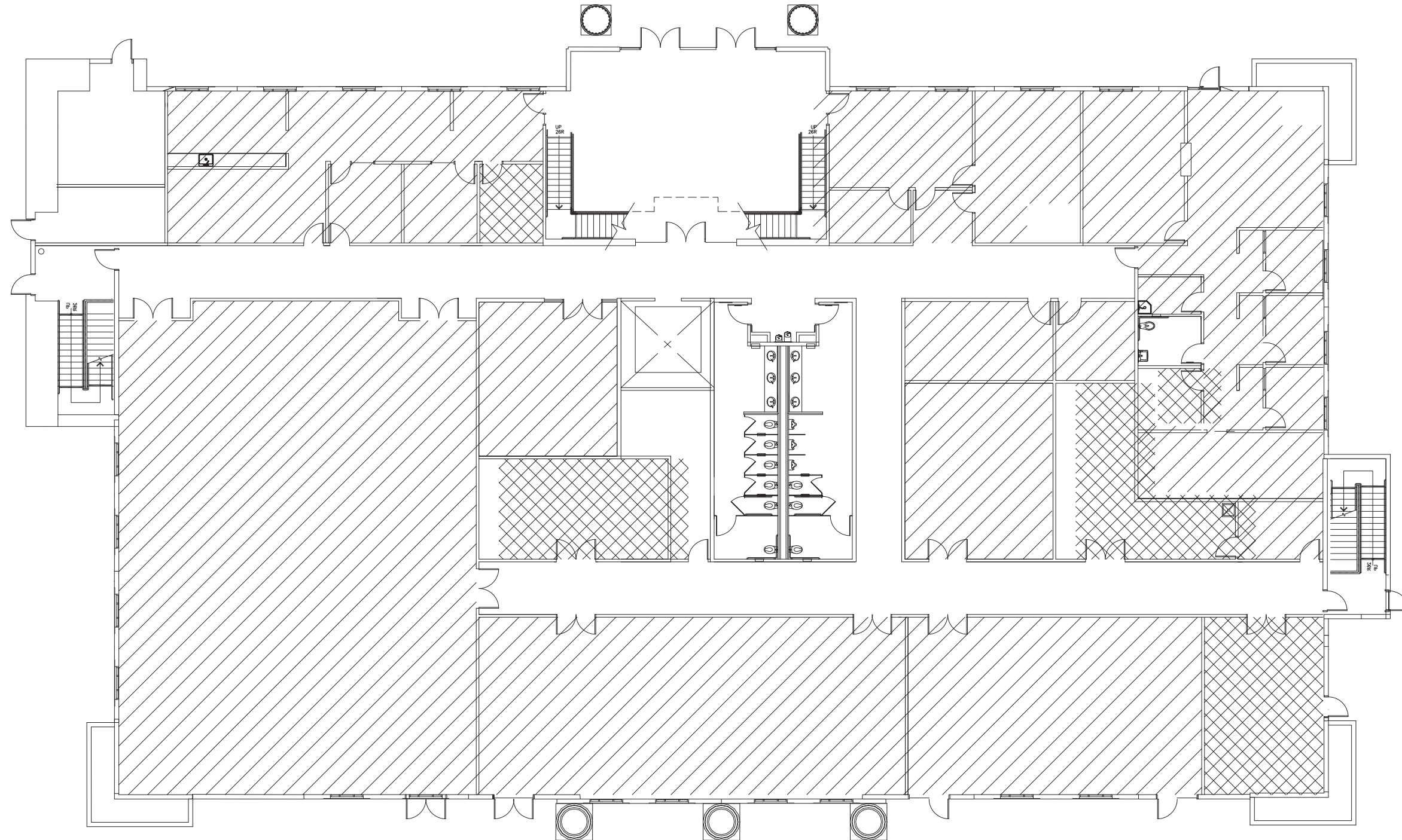
| | |
|---|------------|
| PARKING SUMMARY: | |
| PARKING REQUIRED (2.1/1000): (FRATERNAL USE) | 85 STALLS |
| STANDARD PARKING PROVIDED: | 118 STALLS |
| ACCESSIBLE PARKING PROVIDED: | 5 STALLS |
| BUILDING PARKING TOTAL: | 123 STALLS |

| | |
|---|--|
| DESIGNATED PARKING SPACES REQUIRED 9 | |
| (5) EV EQUIPPED, (4) FUEL EFFICIENT TYPE PROVIDED 11 | |
| (6) EV EQUIPPED, (5) FUEL EFFICIENT TYPE NOTE: (1) STALL TO BE ADA COMPLIANT | |

| | |
|---------------------|---|
| MOTORCYCLE PARKING: | |
| REQUIRED (0.02): | 2 |
| PROVIDED: | 2 |

| | |
|--|---|
| BICYCLE PARKING (REQ'D & PROVIDED): | |
| SHORT TERM: | 4 |
| LONG TERM: | 1 |
| (EXTERIOR BIKE LOCKER 74" W x 48" H x 30" DEEP) | |





 BUSINESS USE $\pm 12,413$ SF
 STORAGE $\pm 1,472$ SF

This conceptual design is based upon a preliminary review of
 entitlement requirements and on unverified and possibly
 incomplete site and/or building information, and is intended
 merely to assist in exploring how the project might be developed.

1/8"=1'-0"

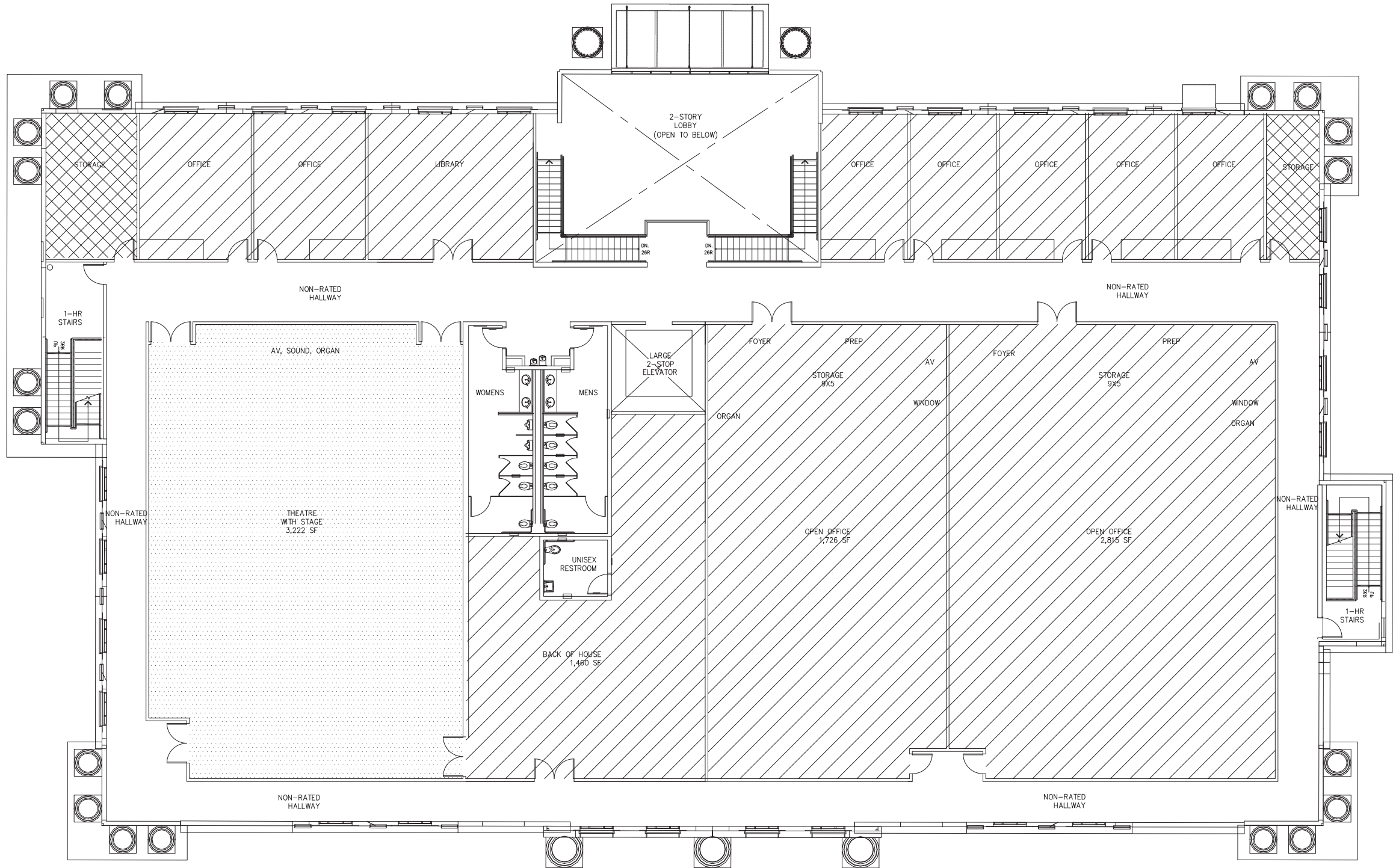




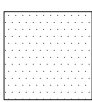
WARE MALCOMB
 Leading Design for Commercial Real Estate



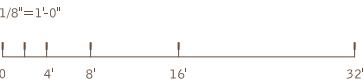
**SCOTTISH RITE /
HOME DEPOT**
 1895 & 1561 CAMINO DEL RIO S
 SAN DIEGO, CA 92108

FLOOR-01
A-SR-2
 (2020-08-07) 18134.00



-  BUSINESS USE +/–8,457 SF
-  STORAGE +/–496 SF
-  ASSEMBLY USE +/–3,161 SF

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

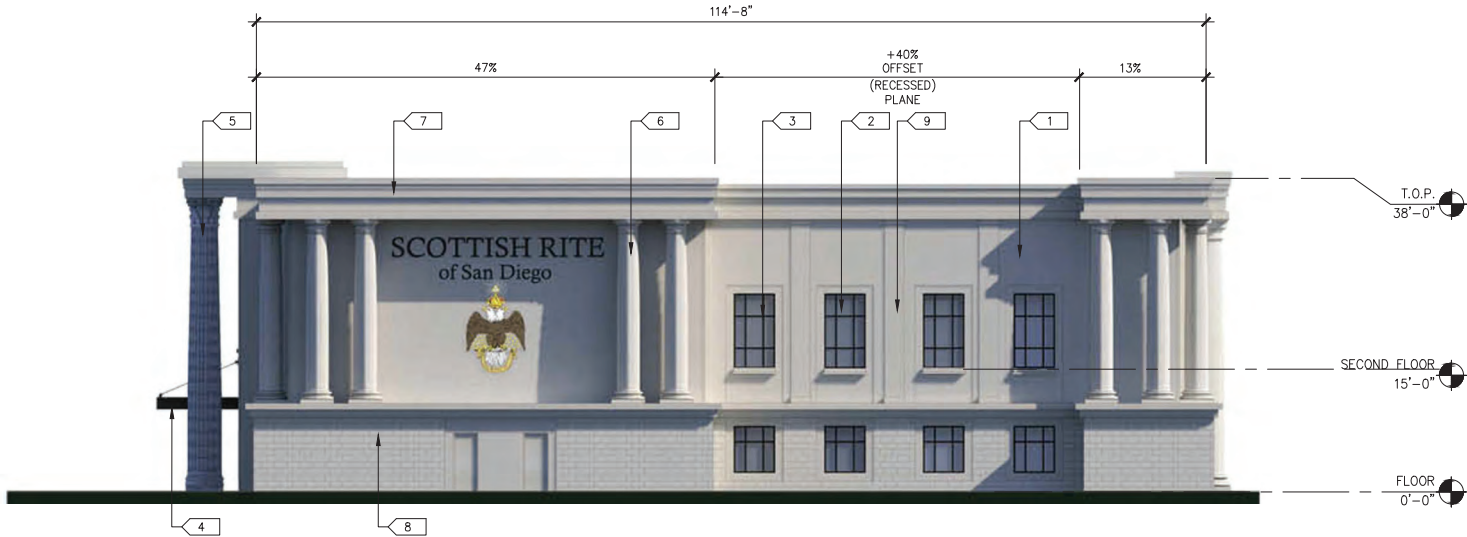


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**SCOTTISH RITE /
HOME DEPOT**
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

FLOOR-02
A-SR-3
(2020-08-07) 18134.00



NORTH ELEVATION

SCALE: 3/32"=1'-0"

1

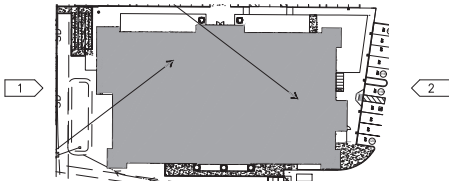


SOUTH ELEVATION

SCALE: 3/32"=1'-0"

2

KEY PLAN



FINISHES

- 1 PAINT - OFF WHITE
- 2 HIGH PERFORMANCE GLAZING - TINTED GRAY
- 3 MEDIUM BRONZE MULLIONS
- 4 STEEL TUBE CANOPY CLAD IN ACM PANEL-DARK BRONZE ANODIZED
- 5 CORINTHIAN COLUMN
- 6 DORIC COLUMN
- 7 ARCHITECTURAL CORNICE
- 8 FORMLINER
- 9 SQUARE PILASTER



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SCOTTISH RITE /
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SAN DIEGO, CA 92108

ELEVATIONS

A-SR-4

(2020-08-07) 18134.00



EAST ELEVATION

SCALE: 3/32"=1'-0"

3

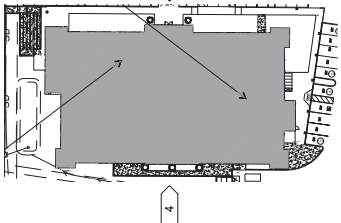


WEST ELEVATION

SCALE: 3/32"=1'-0"

4

KEY PLAN



FINISHES

- 1 PAINT - OFF WHITE
- 2 HIGH PERFORMANCE GLAZING - TINTED GRAY
- 3 MEDIUM BRONZE MULLIONS
- 4 STEEL TUBE CANOPY CLAD IN ACM PANEL-DARK BRONZE ANODIZED
- 5 CORINTHIAN COLUMN
- 6 DORIC COLUMN
- 7 ARCHITECTURAL CORNICE
- 8 FORMLINER
- 9 SQUARE PILASTER



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SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

ELEVATIONS
A-SR-5
(2020-08-07) 18134.00

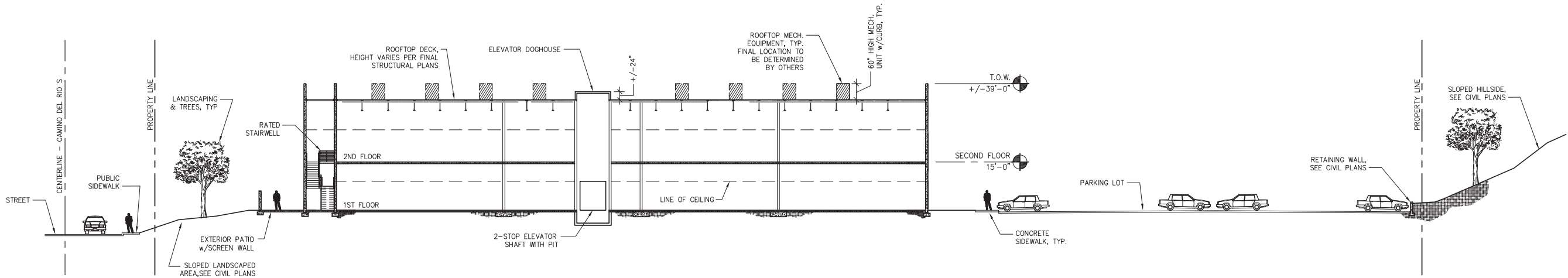


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**SCOTTISH RITE /
HOME DEPOT**
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

PERSPECTIVE
A-SR-6
(2020-08-07) 18134.00



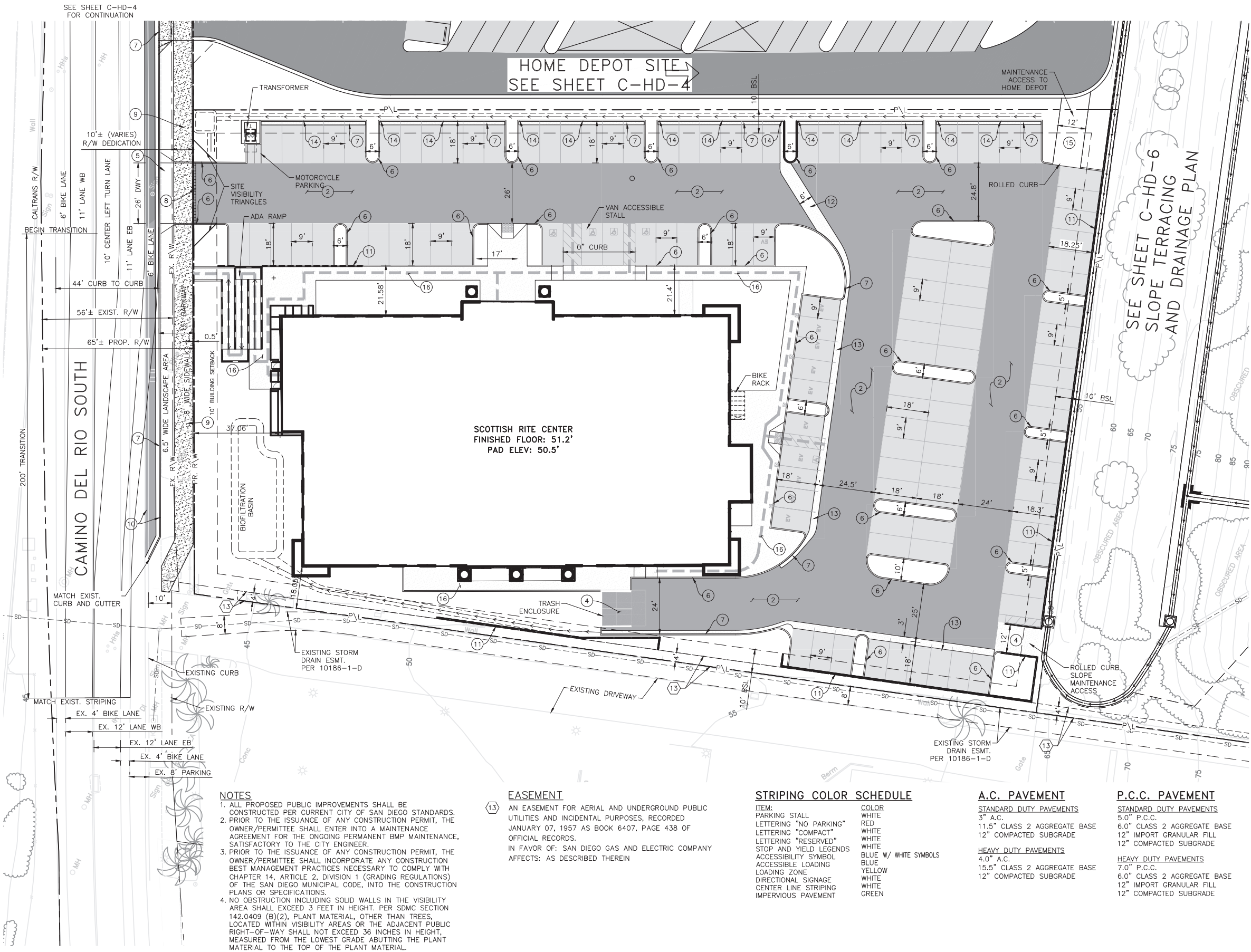
SITE / BUILDING SECTION - LOOKING EAST

SCALE: 1/16"=1'-0"



SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

SITE
A-SR-7
(2020-08-07) 18134.00



CONSTRUCTION NOTES

- 1 A.C. STANDARD DUTY PAVEMENT
- 2 A.C. HEAVY DUTY PAVEMENT
- 3 P.C.C. STANDARD DUTY PAVEMENT
- 4 P.C.C. HEAVY DUTY PAVEMENT
- 5 26' WIDE DRIVEWAY PER CSDSD SDG-163
- 6 6" CURB
- 7 6" CURB & GUTTER
- 8 TRENCH GRATE
- 9 8' WIDE CONCRETE SIDEWALK PER SDG-155
- 10 REMOVE EXISTING DRIVEWAY AND CONSTRUCT CURB & GUTTER
- 11 RETAINING WALL PER GRADING & DRAINAGE PLAN SEE SHEET C-SR-2
- 12 6' WIDE AND 6" THICK CONCRETE CROSS GUTTER
- 13 3' WIDE AND 6" THICK RIBBON GUTTER
- 14 1' WIDE CURB CUTS
- 15 12' WIDE MAINTENANCE ACCESS TO HOME DEPOT WITH A.C. PAVEMENT
- 16 CONCRETE WALKWAY

LEGEND

- PROPERTY LINE
- CURB & GUTTER
- CURB
- RETAINING WALL
- BROW DITCH
- SWALE
- ELECTRIC VEHICLE CHARGING
- ADA PARKING
- TRUNCATED DOME

ABBREVIATIONS

- R/W RIGHT OF WAY
- P/L PROPERTY LINE
- A.C. ASPHALT CONCRETE
- P.C.C. PORTLAND CEMENT CONCRETE

EASEMENT

- 13 AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 07, 1957 AS BOOK 6407, PAGE 438 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY AFFECTS: AS DESCRIBED THEREIN

STRIPING COLOR SCHEDULE

- ITEM: PARKING STALL LETTERING "NO PARKING" LETTERING "COMPACT" LETTERING "RESERVED" STOP AND YIELD LEGENDS ACCESSIBILITY SYMBOL ACCESSIBLE LOADING LOADING ZONE DIRECTIONAL SIGNAGE CENTER LINE STRIPING IMPERVIOUS PAVEMENT
- COLOR WHITE WHITE RED WHITE WHITE WHITE BLUE W/ WHITE SYMBOLS BLUE YELLOW WHITE WHITE GREEN

A.C. PAVEMENT

- STANDARD DUTY PAVEMENTS 3" A.C. 11.5" CLASS 2 AGGREGATE BASE 12" COMPACTED SUBGRADE
- HEAVY DUTY PAVEMENTS 4.0" A.C. 15.5" CLASS 2 AGGREGATE BASE 12" COMPACTED SUBGRADE

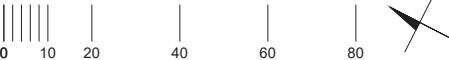
P.C.C. PAVEMENT

- STANDARD DUTY PAVEMENTS 5.0" P.C.C. 6.0" CLASS 2 AGGREGATE BASE 12" IMPORT GRANULAR FILL 12" COMPACTED SUBGRADE
- HEAVY DUTY PAVEMENTS 7.0" P.C.C. 6.0" CLASS 2 AGGREGATE BASE 12" IMPORT GRANULAR FILL 12" COMPACTED SUBGRADE

NOTES

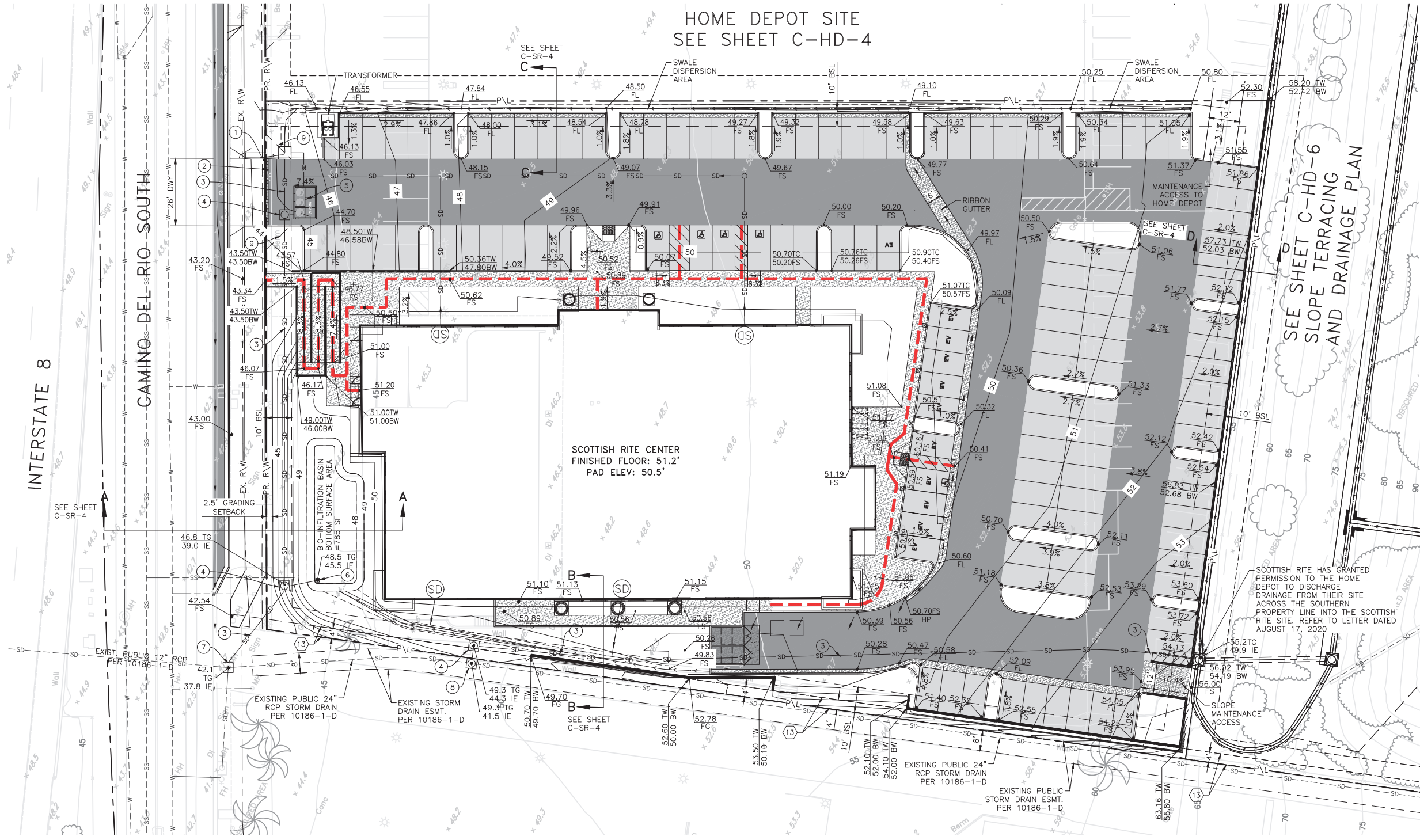
- 1. ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED PER CURRENT CITY OF SAN DIEGO STANDARDS.
- 2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 4. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

SCALE: 1"=20'-0"



SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

SITE AND PAVING PLAN
C-SR-1
08.17.2020 18134.00



HOME DEPOT SITE
SEE SHEET C-HD-4

ATTACHMENT 10

BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH (1991.35) AND IS DETERMINED BY G.P.S. MEASUREMENTS TAKEN ON 2/07/2019 AT POINTS 'A' & 'B' AS SHOWN HEREON. POINTS 'A' & 'B' WERE ESTABLISHED FROM G.P.S. STATION 970 AND G.P.S. STATION 965 PER ROS 14492. THE BEARING FROM POINT 'A' TO POINT 'B' IS SOUTH 88°20'07" WEST.

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

THE COMBINED SCALE FACTOR (CSF) AT POINT '970' = 1.0000055. GRID DISTANCE = GROUND DISTANCE X COMBINED SCALE FACTOR. ELEVATION AT POINT 'A' IS 40.96 (NGVD29). THE CONVERGENCE ANGLE AT POINT '970' = -0°29'29.024"

BASIS OF COORDINATES

THE BASIS OF COORDINATES FOR THIS DRAWING IS THE CITY OF SAN DIEGO G.P.S. CONTROL STATION '970' (FOLCAD & BRASS TAG IN CONC WALK), AS SHOWN ON RECORD OF SURVEY NO. 14492 (CCS83, ZONE 6, 1991.35 EPOCH, U.S. SURVEY FEET).

STATION #970
N. 1,861,366.50
E. 6,286,787.22
EL. = 40.96 (NGVD29)

BASIS OF ELEVATION

THE BASIS OF ELEVATIONS FOR THIS DRAWING IS THE NORTHWEST BRASS PLUG IN THE TOP OF INLET (NWPB TOP INLET) AT THE INTERSECTION OF CAMINO DEL RIO SOUTH AND MISSION CENTER ROAD AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK. ELEV. = 52.712 (MSL)

CONSTRUCTION NOTES

- 1 MODIFIED TYPE B CURB INLET PER SDD-116 WITH F-OPENING ON BACK
- 2 8" TRENCH DRAIN
- 3 18" HDPE STORM DRAIN
- 4 STORM DRAIN CLEANOUT (TYPE A) PER D-09
- 5 8"x12" MODULAR WETLAND SYSTEM (MWS)
- 6 36"x36" BROOKS BOX. TOP OF GRATE SET 6" ABOVE BASIN BOTTOM
- 7 CONNECT 18" HDPE STORM DRAIN TO EXIST CLEANOUT
- 8 CONNECT TO EXISTING STORM DRAIN WITH (TYPE A) CLEANOUT PER D-09
- 9 VISIBILITY TRIANGLES PER MUNICIPAL CODE

LEGEND

| | |
|------------------------|-------|
| PROPERTY LINE | --- |
| CURB & GUTTER | ===== |
| CURB | ===== |
| RETAINING WALL | ----- |
| BROW DITCH | ===== |
| SWALE | ===== |
| STORM DRAIN PIPE | SD |
| STORM DRAIN STRUCTURES | ■ □ |
| ADA PATH | ---- |

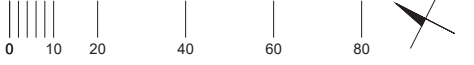
EARTHWORK QUANTITIES

CUT: 3,000 C.Y.
FILL: 4,800 C.Y.
IMPORT: 1,800 C.Y.
MAX CUT: 4.0 FT
MAX FILL: 5.5 FT
MAX SLOPE RATIO: 2:1 (H:V)
NOTE: GRADING QUANTITIES ARE PROVIDED FOR PERMIT PURPOSES ONLY, NOT TO BE USED FOR BIDDING.

EASEMENT

- 13 AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 07, 1957 AS BOOK 6407, PAGE 438 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY AFFECTS: AS DESCRIBED THEREIN

SCALE: 1"=20'-0"



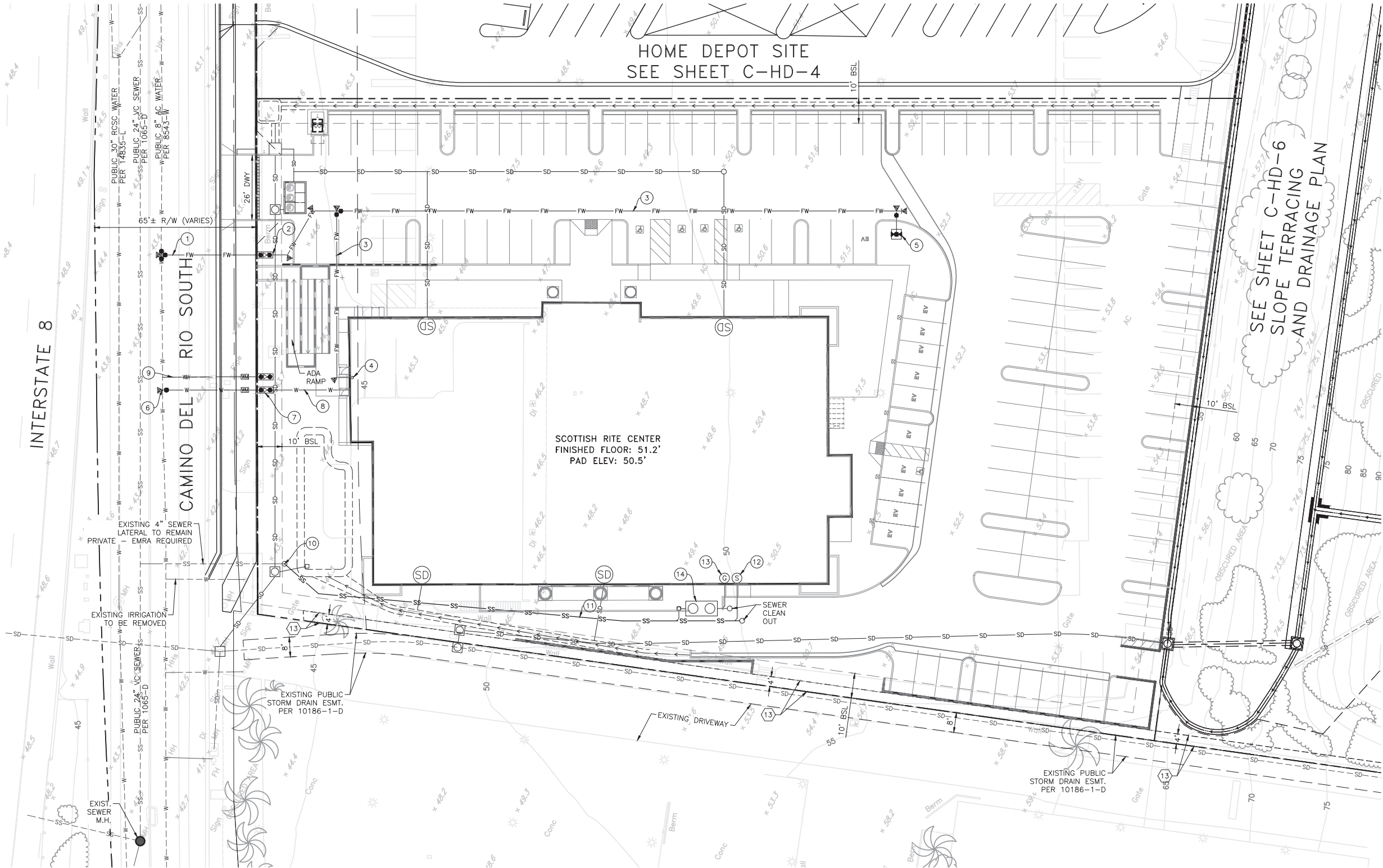
SPECIAL NOTES

1. TW AND BW GRADES REPRESENT THE GROUND ELEVATION AT THE BACK AND FRONT OF THE WALL. THE ACTUAL TOP-OF-WALL AND TOP-OF-FOOTING AND WALL DIMENSIONS TO BE DETERMINED BY THE WALL DESIGNER.
2. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
3. ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED PER CURRENT CITY OF SAN DIEGO STANDARDS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. ALL STORM DRAINS ARE PRIVATE UNLESS OTHERWISE NOTED.



SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

GRADING AND DRAINAGE PLAN C-SR-2
08.17.2020 18134.00



CONSTRUCTION NOTES

- 1 8" PVC (C-900) FIRE SERVICE. CONNECTION TO MAIN
- 2 10" BACKFLOW PREVENTOR W/ FDC (PRIVATE)
- 3 8" PVC (C-900) FIRE SERVICE (PRIVATE)
- 4 8" 1BR-SS (PRIVATE)
- 5 FIRE HYDRANT PER SDW-104 (PRIVATE)
- 6 2" PVC (C-900) WATER SERVICE W/ 2" METER. CONNECTION TO MAIN
- 7 2" BACKFLOW PREVENTOR (PRIVATE)
- 8 2 1/2" PVC (C-900) WATER SERVICE (PRIVATE)
- 9 EXISTING 2" WATER SERVICE W/ 1 1/2" METER AND BACKFLOW PREVENTOR TO BE CONVERTED TO IRRIGATION (PRIVATE)
- 10 4" PVC (SDR-35) SEWER LATERAL AND SEWER CLEANOUT. CONNECTION TO EXISTING 4" LATERAL
- 11 4" PVC (SDR-35) SEWER LATERAL (PRIVATE)
- 12 4" PVC (SDR-35) SANITARY SEWER LATERAL (PRIVATE)
- 13 4" PVC (SDR-35) GREASE LATERAL (PRIVATE)
- 14 2500 GALLON GREASE INTERCEPTOR W/ SAMPLE BOX (PRIVATE)

LEGEND

| | |
|-----------------------|-----|
| 4" SEWER LATERAL | SS |
| SEWER CLEANOUT | ● |
| 3" WATER SERVICE | W-W |
| 8" FIRE WATER SERVICE | FW |
| BACKFLOW PREVENTORS | ⊠ |
| FIRE HYDRANT | ⊠ |
| GATE VALVES | ● |
| THRUST BLOCKS | ▶ |

NOTES:

- 1. ALL PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER CARD.
- 2. PRIVATE WATER LINES FOR IRRIGATIONS PURPOSES WITHIN A PUBLIC RIGHT-OF-WAY, AND PRIVATE SEWER LINES CONNECTING TO A PUBLIC SEWER MAIN WITHIN A PUBLIC SEWER EASEMENT, D NOT REQUIRE AN EMRA; HOWEVER, PRIVATE SEWER MAINS CONNECTING TO A PUBLIC SEWER MAIN WITHIN A PUBLIC RIGHT-OF-WAY DO REQUIRE AN EMRA.
- 3. ALL UTILITIES SHOWN ARE PRIVATE U.O.N.

EASEMENT

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SCOTTISH RITE /
HOME DEPOT

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

UTILITY PLAN

C-SR-3

08.17.2020

18134.00

ATTACHMENT 10

SINGLE PARKING STALL

DOUBLE PARKING STALL

ACCESSIBLE PARKING

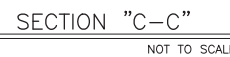
| REVISION | BY | APPROVED | DATE |
|----------|----|---------------|---------|
| ORIGINAL | FC | A. OSOUB | 1/20/02 |
| UPDATED | KA | A. NAGELVOORT | 01/12 |

CITY OF SAN DIEGO - STANDARD DRAWING

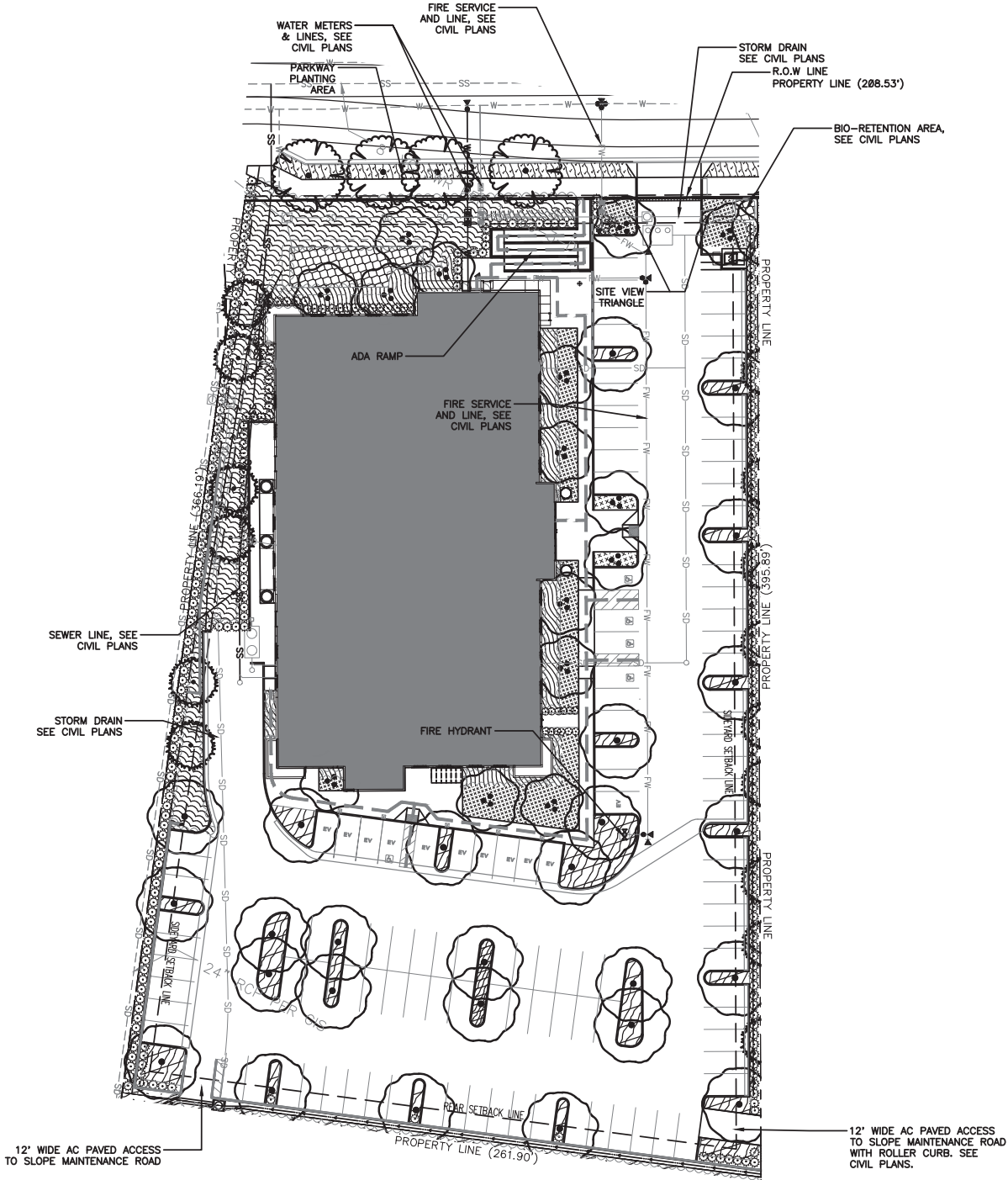
RECOMMENDED BY THE CITY OF SAN DIEGO
STREETS COMMITTEE

DESIGNER: *A. NAGELVOORT* 1/21/2012
CHECKER: R.C. BOWEN DATE

DRAWING NUMBER: **SDM-117**



| | |
|------------|----------|
| 08.17.2020 | 18134.00 |
|------------|----------|



CONCEPT PLANT SCHEDULE

- PROJECT - ENTRY - FLOWERING ACCENT TREES**
DECIDUOUS (20'-25')
100%/ 48" BOX/
MEDIUM WATER
LAGERSTROEMIA X 'NATCHEZ' / CRAPE MYRTLE
PISTACIA CHINENSIS / CHINESE PISTACHE MULTI-TRUNK
TABEBUIA HETEROPHYLLA / PINK TABEBUIA
- STREET FRONTAGE - DECIDUOUS CANOPY**
EVERGREEN(40'-60')
100%/ 24"BOX/
MEDIUM WATER
FRAXINUS VELLUTINA / VELVET ASH
- INTERIOR PARKING - ACCENT/ EVERGREEN CANOPY**
EVERGREEN (40'-60')100% IN STREETYARD VUA 48" BOX
100% OUTSIDE STREETYARD IN VUA / 36" BOX 50/MEDIUM WATER
LOPHOSTEMON CONFERTUS / BRISBANE BOX
MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER' TM / SOUTHERN MAGNOLIA
PODOCARPUS GRACILIOR / FERN PINE
- BACKGROUND-PREIMETER EVERGREEN TREES**
EVERGREEN (40'-60')
100%/ 24" BOX
/MEDIUM WATER
BRACHYCHITON POPULNEUS / BOTTLE TREE
LOPHOSTEMON CONFERTUS / BRISBANE BOX
PINUS CANARIENSIS / CANARY ISLAND PINE
- SCREENING SHRUBS**
EVERGREEN (2'-5')
30%/ 1 GAL.40%/ 5 GAL /30% 15 GAL
4' ON CENTER AVG. SPACING
ARBUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE
OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE
PHORMIUM TENAX / NEW ZEALAND FLAX
RHAPHIOLEPIS INDICA / INDIAN HAWTHORN
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY
WESTRINGIA FRUTICOSA 'BLUE GEM' / COAST ROSEMARY
- ACCENT SHRUBS**
70%/ 1 GAL
30%/ 5 GAL
3' ON CENTER AVG. SPACING
AGAVE OVATIFOLIA / AGAVE
ALOE VARIEGATA / ALOE
CALLISTEMON CITRINUS 'LITTLE JOHN' / LITTLE JOHN DWARF BOTTLEBRUSH
PHORMIUM TENAX / NEW ZEALAND FLAX
- SLOPE SHRUBS**
70%/ 1 GAL
30%/ 5 GAL
3' ON CENTER AVG. SPACING
ARBUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE
CEANOTHUS 'CONCHA' / WHITE CEANOTHUS
HETEROMELES ARBUTIFOLIA / TOYON
RHUS INTEGRIFOLIA / LEMONADE BERRY
RHUS OVATA / SUGAR BUSH
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY
SALVIA CLEVELANDII / CLEVELAND SAGE
WESTRINGIA FRUTICOSA / COAST ROSEMARY
- FOUNDATION SHRUBS/ GC AT BUILDING FACADE - MED. W**
100%/ 5 GAL
.
4' ON CENTER AVG. SPACING
ESCALLONIA X 'COMPACTA' / COMPACT ESCALLONIA
LIGUSTRUM TEXANUM / TEXAS PRIVET
MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS
PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' / TAWHIWHI
PITTOSPORUM TOBIRA 'WHEELER'S DWARF' / DWARF PITTOSPORUM
STRELITZIA REGINAE / BIRD OF PARADISE
- PARKING MEDIANS & ISLANDS - LOW/MEDIUM WATER**
50% 1 GAL. 50%/ 5 GAL
6' ON CENTER AVG. SPACING
DIETES BICOLOR / FORTNIGHT LILY
JUNCUS RIGIDUS / RUSH
MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS
MUHLBERGIA CAPILLARIS / PINK MUHLY
PENNISETUM SETACEUM 'RUBRUM' / PURPLE FOUNTAIN GRASS
PHORMIUM TENAX / NEW ZEALAND FLAX
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY
WESTRINGIA FRUTICOSA / COAST ROSEMARY
- INTERIOR BIO SWALES - LOW WATER**
70%/ PLUGS. 30%/ 1 GAL
6' ON CENTER AVG. SPACING
CAREX DIVULSA / BERKELEY SEDGE
CHONDRPETALUM TECTORUM / CAPE RUSH
DIANELLA TASMANICA 'BECCA' / FLAX LILY
LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH

- SLOPE SHRUBS (DEEP ROOTING)**
30%/ FLATS. 50%/ 1 GAL
20%/ 5 GAL
3' ON CENTER AVG. SPACING
ARCTOSTAPHYLOS UVA-URSI 'EMERALD CARPET' / EMERALD CARPET MANZANITA
BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH
CEANOTHUS GLORIOSUS 'POINT REYES' / POINT REYES CEANOTHUS
CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT' / YANKEE POINT CALIFORNIA LILAC
CISTUS X PULVERULENTUS 'SUNSET' / ROCKROSE
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY
SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
- EXISTING VEGETATION TO REMAIN IN PLACE**
.
- LOW TO MEDIUM SHRUB AREA - LOW WATER**
70% / FLATS, 30%/ 1 GAL.
3' ON CENTER AVG. SPACING
BULBINE FRUTESCENS / STALKED BULBINE
CAREX DIVULSA / BERKELEY SEDGE
CEANOTHUS X 'YANKEE POINT' / WILD LILAC
CHONDRPETALUM TECTORUM / CAPE RUSH
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY
SALVIA GREGGII 'LIPSTICK' / AUTUMN SAGE
SALVIA X 'ALLEN CHICKERING' / ALLEN CHICKERING SAGE
SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
- GROUNDCOVER/ SHRUBS AT STREET FRONTAGE - LOW WATER**
70% / FLATS, 30%/ 1 GAL.
3' ON CENTER AVG. SPACING
BOUGAINVILLEA SPP / BOUGAINVILLEA
CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH
CISTUS PULVERULENTUS 'SUNSET' / ROCKROSE
LANTANA X 'NEW GOLD' / NEW GOLD LANTANA
ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY
SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO
STRELITZIA JUNCSEA / NARROW-LEAFED BIRD OF PARADISE
- STREET PARKWAY - LOW WATER**
100% SOD
LIPIA NODIFLORA 'KURAPIA S1' TM / KURAPIA

LANDSCAPE NOTES:

THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE AND WITHIN THE ADJACENT RIGHTS-OF-WAY. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY, VIGOROUSLY GROWING CONDITION, AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING AND TRIMMING. IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.

ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE. ALL IRRIGATED AREAS SHALL RECEIVE UNIFORM COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED UNDERGROUND PIPED IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART AUTOMATIC CONTROLLER WITH MASTER VALVE AND RAIN SHUTOFF CAPABILITIES. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED IN ACCORDANCE WITH LOCAL AND REGIONAL STANDARDS. REMOTE CONTROL VALVES SHALL BE UTILIZED WITH LOW PRECIPITATION HEADS FOR REDUCED WATER CONSUMPTION. PRESSURE COMPENSATING DRIP AND LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED WHERE APPLICABLE. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVC INSTALLED BELOW GRADE PER LOCAL AND REGIONAL STANDARDS. AN AUTOMATIC, WATER EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
- TREES PLANTED WITHIN 5 FEET OF WALKS, CURBS OR PAVING SHALL BE PLANTED WITH A ROOT BARRIER (BIO-BARRIER).
- ALL PLANTING AREAS SHALL BE FINISHED WITH A 3 INCH LAYER OF SHREDDED BARK MULCH (FOREST MULCH) AVAILABLE THROUGH AGRISERVICE, INC. (760) 295-6255.
- IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS ARE DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS BY THE OWNER/PERMITTEE.
- ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS. ANY REQUIRED PLANT MATERIAL THAT DIES POST-CONSTRUCTION SHALL BE REPLACED AT SIZES AND QUANTITIES SET FORTH UNDER 142.0403(B)(8).
- IN THE EVENT THE ROADS ARE WIDENED, THE EXISTING STREET TREES SHALL BE RELOCATED, OR REPLACED, TO THE SATISFACTION OF SAN DIEGO'S DEVELOPMENT SERVICES.
- NO BRUSH MANAGEMENT SHALL BE REQUIRED FOR THIS PROJECT.
- PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, IT SHALL BE THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO INSTALL ALL REQUIRED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTIONS.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTES IN THIS PERMIT.
- THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR CERTIFICATE OF OCCUPANCY.

MINIMUM TREE SEPARATION DISTANCE

| IMPROVEMENT | MINIMUM DISTANCE TO STREET TREE |
|--|---------------------------------|
| TRAFFIC SIGNALS (STOP SIGN) | 20 FEET |
| UNDERGROUND UTILITY LINES | 5 FEET |
| ABOVE GROUND UTILITY STRUCTURES | 10 FEET |
| DRIVEWAY (ENTRIES) | 10 FEET |
| INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS) | 25 FEET |
| SEWER LINES | 10 FEET |

NOTE: 12" PLANTING DEPTH IN RIGHT OF WAY LANDSCAPE AREAS PER THE CITY OF SAN DIEGO TRANSPORTATION & STORM WATER



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- TREE SEPARATION NOTES:
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC WATER AND SEWER FACILITIES.
 - TREES INSTALLED WITHIN 10 FEET OF PRIVATE WATER LINES SHALL HAVE A ROOT BARRIER (BIO-BARRIER, 19.5" DEPTH) INSTALLED ADJACENT TO LINE FOR PROTECTION FROM TREE ROOTS.

All ideas, designs, and arrangements indicated on these drawings are the property of JPBLA, INC and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the landscape architect. There shall be no changes or deletions from these drawings or the accompanying specifications without the written consent of the landscape architect.



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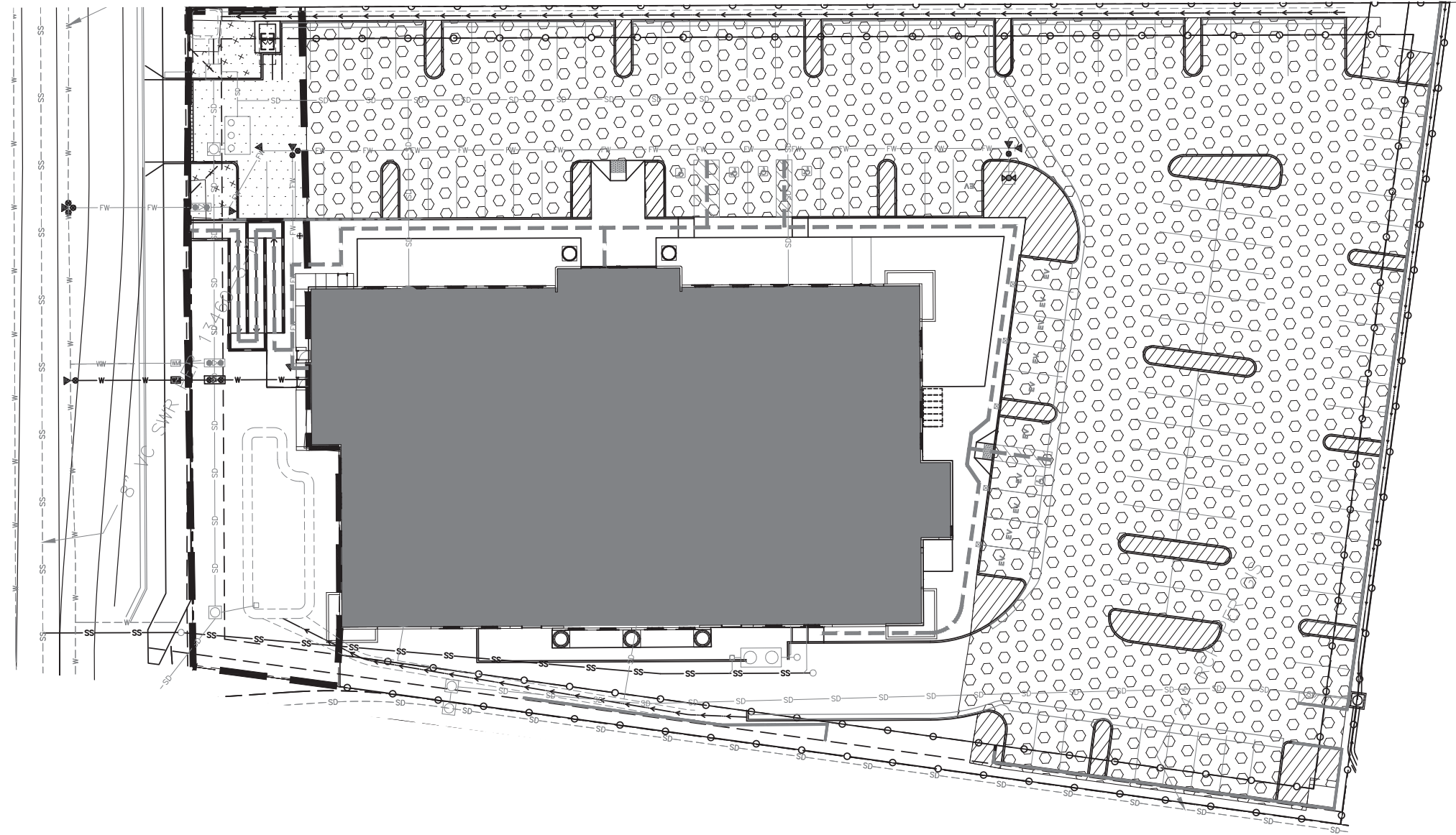
SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

LANDSCAPE
CONCEPT PLAN

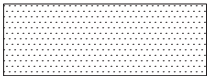
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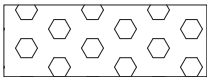
STREET YARD
8,541 SQ. FT.



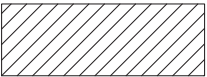
VUA INSIDE THE
STREET YARD
2,297 SQ. FT.



VUA PLANTING INSIDE THE
STREET YARD
503 SQ. FT.



VUA OUTSIDE THE
STREET YARD
43,580 SQ. FT.



VUA PLANTING OUTSIDE
THE STREET YARD
3,595 SQ. FT.



REMAINING YARD
9,141
REMAINING YARD PLANTING
4,463



JAMES P. BENEDETTI
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SCOTTISH RITE /
HOME DEPOT

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

LANDSCAPE
CALCULATIONS
LC-SR-2

05.27.2020 18134.00



City of San Diego
Development Services
1222 First Ave., MS-501
San Diego, CA 92101-4115
(619) 446-5000

ATTACHMENT 10

City of San Diego
Development Services
1222 First Ave., MS-501
San Diego, CA 92101-4115
(619) 446-5000

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):

| Planting Area Required [142.0404] | | | | Planting Area Provided | | Excess Area Provided | | |
|-----------------------------------|-------|-----------------|-------|------------------------|-------|----------------------|-------|---------|
| Total Area | 8,541 | sq. ft. x 25% = | 2,135 | sq. ft. | 5,542 | sq. ft. | 3,407 | sq. ft. |

| Planting Points Required [142.0404] | | | | Plant Points Provided - To be achieved with trees only | | Excess Points Provided | | |
|-------------------------------------|------|-----------------|-----|--|-----|------------------------|-----|--------|
| Total Area | 8541 | sq. ft. x 0.05= | 427 | points | 600 | points | 173 | points |

Auto Service Stations Only

| Planting Area Required [142.0405(c)(2)] | | | | Planting Area Provided | | Excess Area Provided | |
|---|-------|-----------------|-------|------------------------|-------|----------------------|-------|
| Total Area | _____ | sq. ft. x 15% = | _____ | sq. ft. | _____ | sq. ft. | _____ |

| Plant Points Required [142.0405(c)(2)] | | Plant Points Provided | Excess Points Provided |
|--|------------------------|-----------------------|------------------------|
| Total Area | sq. ft. x 0.03= points | points | points |

Note: All required Street Yard planting areas located outside the Vehicular Use Area (VUA) except for auto service stations may consist of hardscape or unattached unit pavers, excluding the minimum area required for trees. [142.0405(C)(1)]

REMAINING YARD

| | Planting Area Required [142.0404] | | Planting Area Provided | Excess Area Provided |
|------------|-----------------------------------|------------------------------|------------------------|----------------------|
| Total Area | 9,141 | sq. ft. x 30% = 2,742sq. ft. | 4,463 sq. ft. | 1,721 sq. ft. |

| Plant Points Required [142.0404] | | | | Plant Points Provided | | Excess Points Provided | | |
|----------------------------------|-------|------------------|-----|-----------------------|-----|------------------------|-----|--------|
| Total Area | 9,141 | sq. ft. x 0.05 = | 457 | points | 700 | points | 243 | points |

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DS-4 (03-06)



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Development Services
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San Diego, CA 92101-4154
(619) 446-5000

Landscaping Calculations Worksheet Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

| Plant Points Required | | Plant Points Provided | Excess Points Provided |
|-----------------------|-------------------------------------|-----------------------|------------------------|
| Total VUA: | _____ sq. ft. x 0.05 = _____ points | _____ points | _____ points |

Points achieved through trees (at least half):

VEHICULAR USE AREA (≥6,000 sf) [142.0406 - 142.0407]

| Required Planting Area | | | | Planting Area Provided | | Excess Area Provided | | |
|--------------------------|--------|------------------|------|------------------------|-------|----------------------|-------|---------|
| VUA inside Street Yard: | 2,297 | sq. ft. x 0.05 = | 115 | sq. ft. | 503 | sq. ft. | 388 | sq. ft. |
| VUA outside Street Yard: | 43,580 | sq. ft. x 0.03 = | 1307 | sq. ft. | 3,595 | sq. ft. | 2,288 | sq. ft. |

| Required Plant Points | | | | Plant Points Provided | Points Provided with Trees (at least half) | | | |
|--------------------------|--------|------------------|------|-----------------------|--|--------|-----|--------|
| VUA inside Street Yard: | 2,297 | sq. ft. x 0.05 = | 115 | points | 200 | points | 85 | points |
| VUA outside Street Yard: | 43,580 | sq. ft. x 0.03 = | 1307 | points | 1400 | points | 350 | points |

TEMPORARY VEHICULAR USE AREA [142.0408]

| Required Planting Area | | Planting Area Provided | |
|--|---------------|------------------------|---------|
| Length of Public Right-of-Way adjacent to VUA: | ft. x 3 ft. = | sq. ft. | sq. ft. |

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

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DS-5 (03-06)



MAWA = (ETO)(0.62)/[(ETAF)(XSLA) + ((1-ETAF)(XSLA))]
= (47)(0.62)/[(0.45)(19,312)]
= 253,238 GAL/ YR

| Irrigation Method and Efficiency | | | | | |
|----------------------------------|------|--------------|------|---------------|------|
| Bubblers | 0.85 | Fixed Spray | 0.55 | Rotator Spray | 0.70 |
| Drip | 0.90 | Micro Sprays | 0.70 | Rotors | 0.70 |
| Drip Irrigation | 0.80 | MP Rotators | 0.75 | Spray Heads | 0.60 |

| Plant Water Use | Plant Factor | Also includes |
|------------------------|-----------------|-----------------|
| Low | <0.1 - 0.2 | Artificial Turf |
| Moderate | 0.3 - 0.7 | |
| High | 0.8 and greater | Water features |
| Special Landscape Area | 1.0 | |

Use the following table to tack information about each controller in the system.

| Controller No. | Hydrozone No. | Valve Circuit | Plant Factor (PF) | Hydrozone Area in s.f. (HA) | Irrigation Method | Irrigation Efficiency (IE) | % Total Landscape Area |
|----------------|---------------|---------------|-------------------|-----------------------------|-------------------|----------------------------|------------------------|
| 1 | 1 | | 0.2 | 17,219 | DRIP | 0.90 | 88% |
| 1 | 2 | | 0.2 | 843 | MP ROTATOR | 0.75 | 6% |
| 1 | 3 | | 0.5 | 1,250 | BUBBLER | 0.85 | 6% |
| Total | | | | | | | 100% |

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget.

| Controller No. | [(ETo)(0.62)]/[(PF x HA + IE) + SLA] | Result in Gallons per Year |
|-----------------------------|--------------------------------------|----------------------------|
| 1 | [(47)(0.62)]/[(0.2 x 17,219)/0.90] | 111,503 |
| 1 | [(47)(0.62)]/[(0.2 x 843)/0.75] | 6,551 |
| 1 | [(47)(0.62)]/[(0.5 x 1,250)/0.85] | 21,426 |
| Total ETWU gallons per year | | 156,016 |

HYDROZONE PLAN

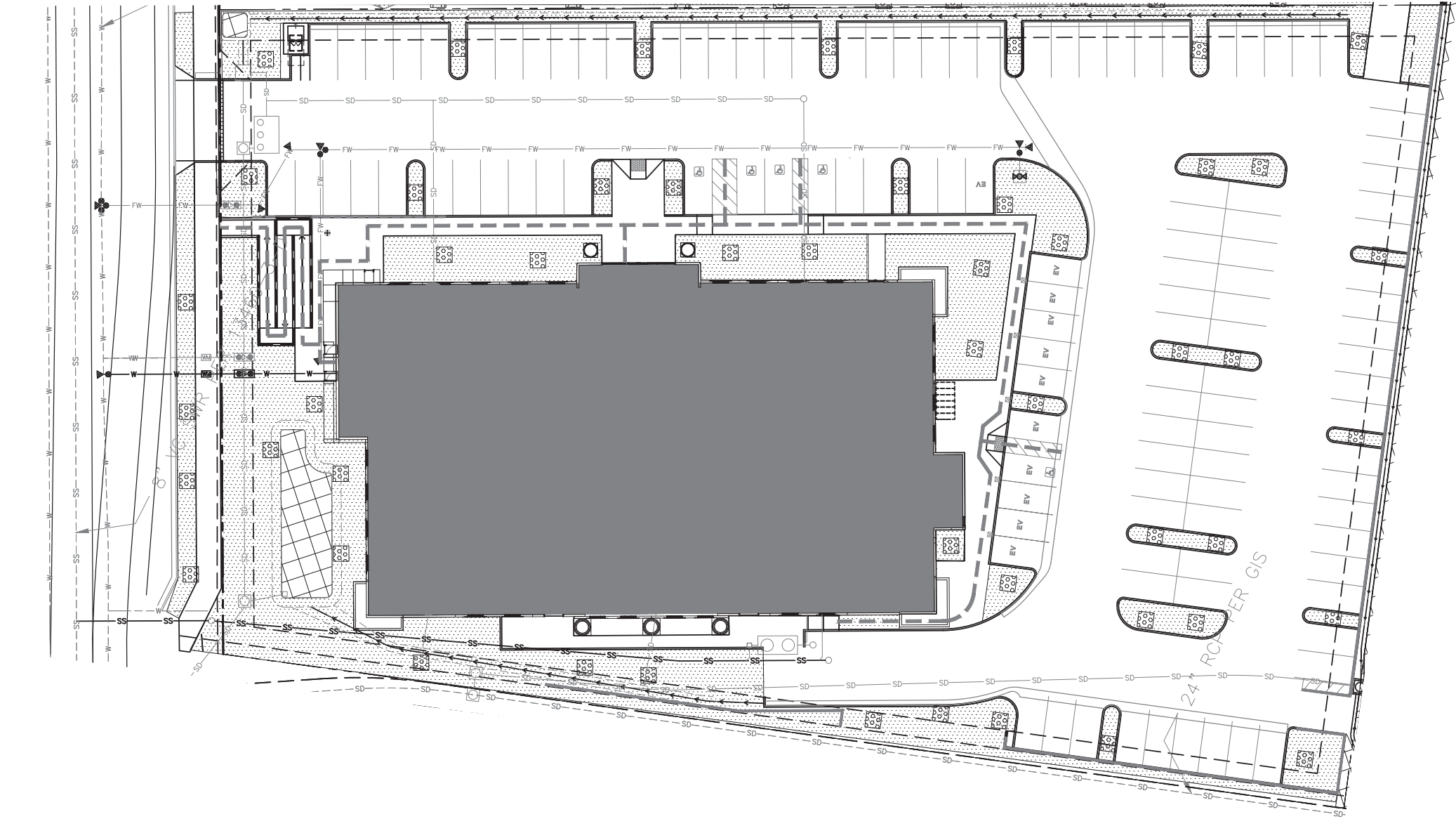
LEGEND

- 1

HYDROZONE ONE: DRIP (LOW WATER USE)
(17,219 SF, 88% OF TOTAL LANDSCAPE AREA)
- 2

HYDROZONE TWO: SPRAY MP ROTATOR (LOW WATER-USE)
(843 SF, 6% OF TOTAL LANDSCAPE AREA)
- 3

HYDROZONE THREE: BUBBLERS (MEDIUM-WATER USE)
(1,250 SF, 6% OF TOTAL LANDSCAPE AREA)
- TOTAL AREA 19,312 SF



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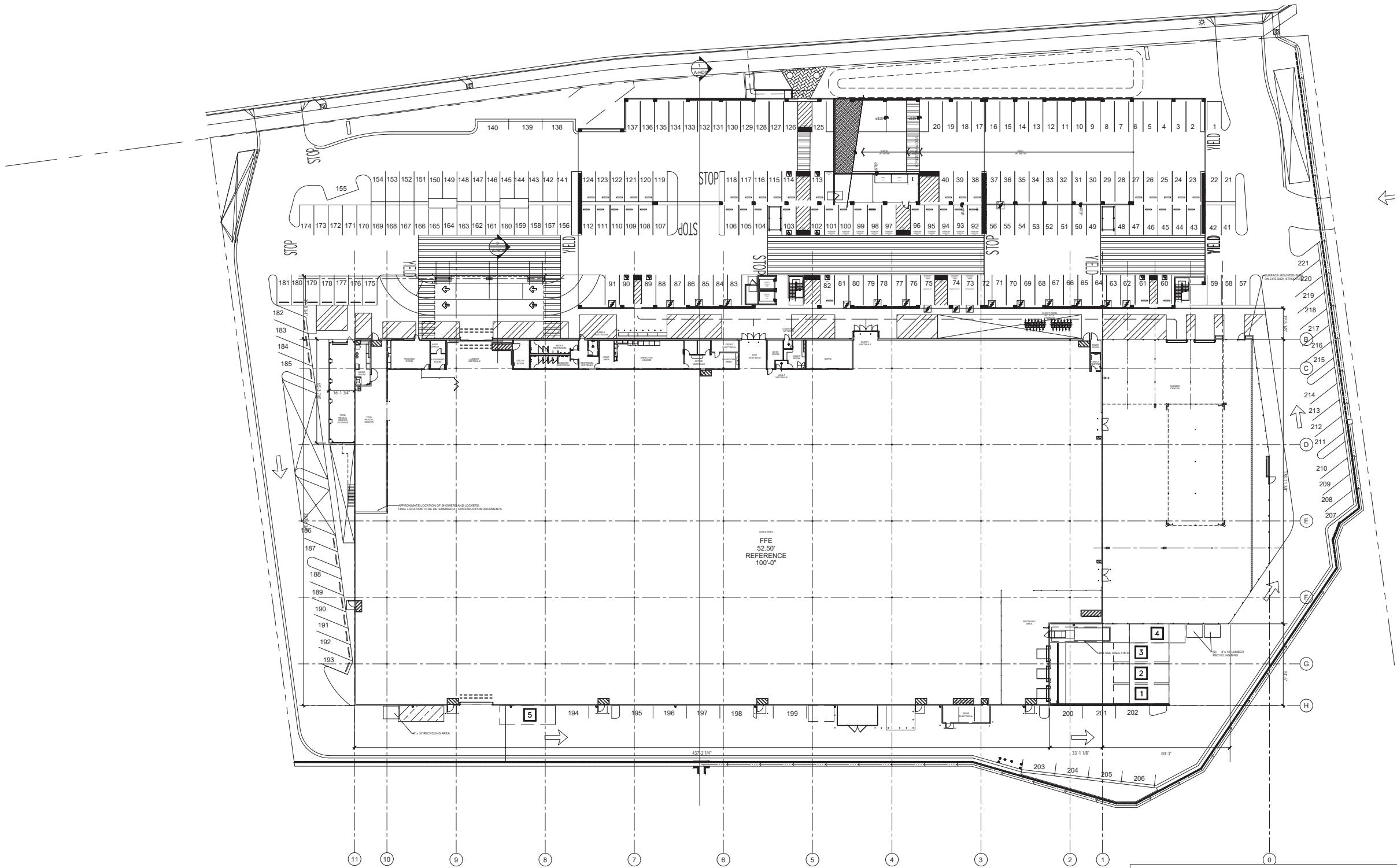


SCOTTISH RITE /
HOME DEPOT

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

WATER
CONSERVATION
PLAN
LC-SR-3

05.27.2020 18134.00



01 FLOOR PLAN
SCALE: 1/32" = 1'-0"

- STRIPED ACCESSIBLE AISLE W/TACTILE WARNING, 4" STRIPES
 - STRIPED CROSSWALK, 12" STRIPES
 - STRIPED STORAGE AREA, 4" STRIPES
- NOTE: STRIPES ARE PAINTED YELLOW ON CONCRETE SURFACES AND WHITE ON ASPHALT SURFACES
- X INDICATES 12' X 35' LOADING SPACE

ZONING INFORMATION
APN: 438-090-33-00
438-090-34-00
ZONING: CR-2
GENERAL PLAN: MVPD-MV-CO-CV (MISSION VALLEY PLANNED DISTRICT- COMMERCIAL OFFICE - COMMERCIAL VISITOR)
OVERLAY DISTRICT: N/A
SPECIFIC PLAN DISTRICT: N/A

SETBACKS
FRONT: 10'
REAR: 10'
PROPERTY SIDE: 10'
STREET YARD: 10'
STRUCTURAL COVERAGE: 50% ALLOWED, 25% PROPOSED
FAR: NO FAR LIMITS, .25 PROPOSED
HEIGHT: 60'

PROJECT SITE DATA
HOME DEPOT USABLE PARCEL AREA 6.77 AC
SLOPE AREA + 4.63 AC
TOTAL HOME DEPOT PARCEL AREA 11.40 AC

ADJACENT PARCEL 2.06 AC

HOME DEPOT BUILDING AREAS
HOME DEPOT AREA (W/3,277 SF MEZZANINE PER CBC) 106,688 SF
GARDEN CENTER AREA + 17,916 SF
TOTAL HD AREA 124,604 SF

REFUSE/RECYCLING
REFUSE AREA REQUIRED: 240 SF PROPOSED 240 SF
RECYCLING AREA REQUIRED: 240 SF PROPOSED 416 SF

PARKING DECK AREA
1ST FLOOR 51,883 SF
2ND FLOOR 51,565 SF
3RD FLOOR 51,565 SF

PARKING REQUIRED PER CITY CODE
HOME DEPOT (@ 4.3/1000 SF GFA) 459 STALLS
NOTE: REQUIRED PARKING IS 5/1000 SF; HOWEVER PROJECT IS IN THE TOD ZONE WHICH PROVIDES FOR PARKING AT 4.3/1000 SF (WITHOUT GARDEN CENTER)

HOME DEPOT PARKING PROVIDED
FRONT FIELD (NON-DECK) PARKING 52 STALLS
FRONT FIELD (DECK) PARKING 129 STALLS
SIDE FIELD PARKING 27 STALLS
REAR FIELD PARKING 13 STALLS
2ND FLOOR PARKING 97 STALLS
3RD FLOOR PARKING + 155 STALLS
TOTAL HD PARKING PROVIDED 473 STALLS

INCLUDED WITHIN PARKING PROVIDED
CLEAN AIR/VANPOOL/EV (37 REQ @ 8% OF 459) 37 STALLS
EV CHARGING (28 REQ @ 6% OF 459) 28 STALLS
SHORT-TERM BICYCLES (23 REQ @ 5% OF 459) 26 BIKES
LONG-TERM BICYCLES (23 REQ @ 5% OF 459) 24 BIKES
MOTORCYCLES (9 REQ @ 2% OF 459) 10 STALLS
ACCESSIBLE PARKING (9 REQ @ 401-500) 9 STALLS
ACCESSIBLE CHARGING (9 REQ @ 401-500) 3 STALLS
PRO PARKING 8 STALLS

NOT INCLUDED WITHIN PARKING PROVIDED
LOAD-N-GO 2 STALLS
THD EQUIPMENT RENTAL 950 SF
THD TRUCK RENTAL 6 STALLS
TRAILER DISPLAY 1,160 SF
SHED DISPLAY 1,217 SF
CART CORRAL 7 STALLS

1. (2) SHOWER ROOMS WILL BE PROVIDED FOR BICYCLE-COMMUTING EMPLOYEES.

| BULK REGULATIONS | REQUIRED | PROVIDED |
|-----------------------|----------|--------------|
| FRONT SETBACK (BLDG): | 10' | 20' |
| SIDE SETBACK (BLDG): | 10' | 42.75' |
| REAR SETBACK (BLDG): | 10' | 280' |
| LANDSCAPE BUFFER: | 20' | 20' |
| STRUCTURAL COVERAGE: | 50% MAX | 25% PROPOSED |
| FAR: | N/A | 0.25 |
| HEIGHT: | 65' | 25' |



PROJECT NORTH

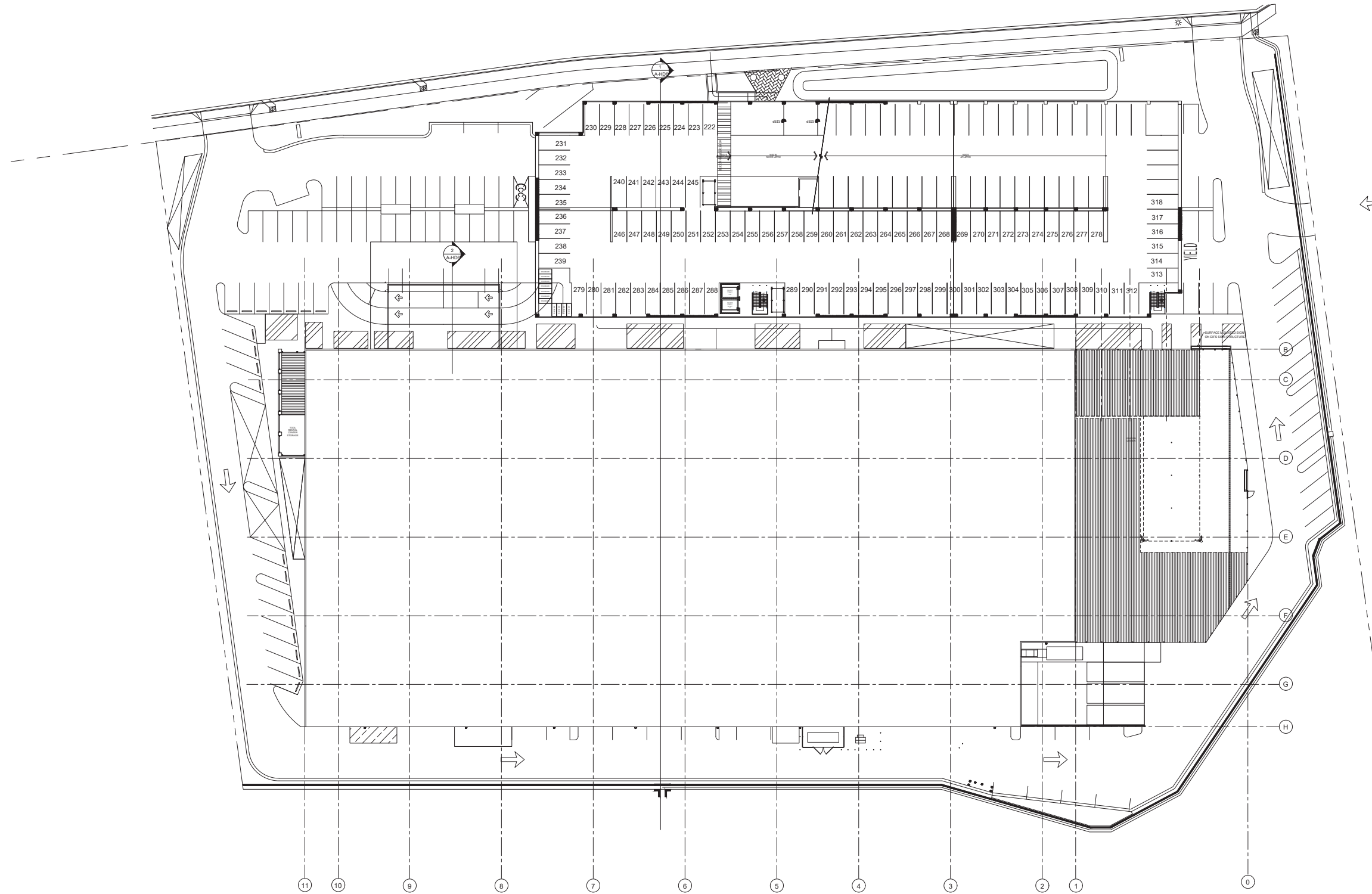


SCOTTISH RITE /
HOME DEPOT

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

BUILDING FLOOR
PLAN
A-HD-1

AUGUST 12, 2020 18134.00



01 **PARKING STRUCTURE LEVEL 2 PLAN**
SCALE: 1/32" = 1'-0"



PROJECT
NORTH

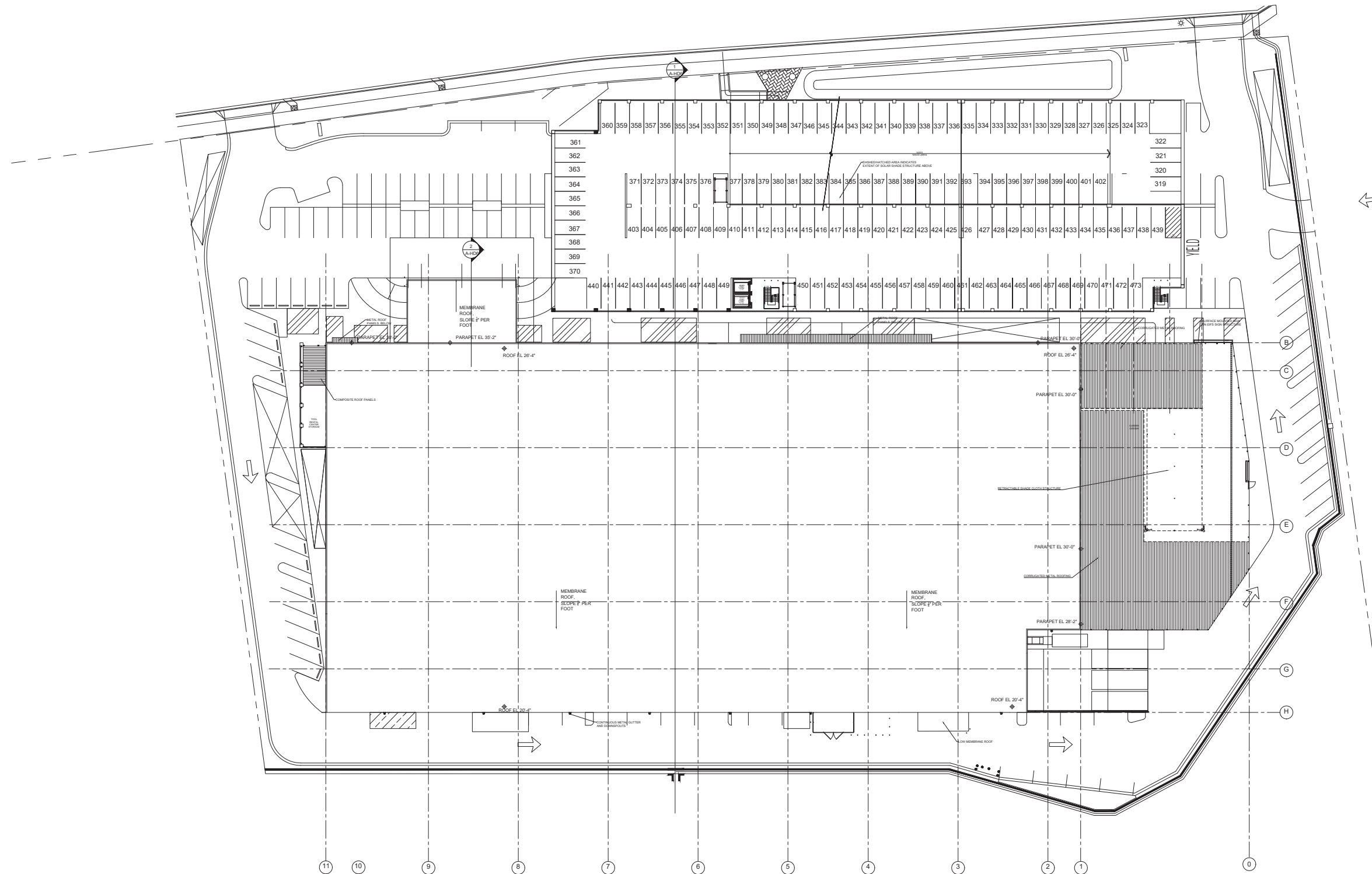


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SAN DIEGO, CA 92108

**BUILDING FLOOR
PLAN
A-HD-2**
AUGUST 12, 2020 18134.00



01 ROOF PLAN
SCALE: 1/32" = 1'-0"



PROJECT
NORTH



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**SCOTTISH RITE /
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SAN DIEGO, CA 92108

**BUILDING ROOF
PLAN
A-HD-3**
AUGUST 12, 2020 18134.00

ATTACHMENT 10

Architectural elevation drawing of a building facade. The drawing includes the following labels and dimensions:

- PAINTED CMU WALL
- PAINTED ORANGE LOGO STRIPE
- METAL PANEL ROOF BEYOND, EARTHTONE
- COMPOSITE LUMBER TRELLIS STRUCTURE, NATURAL FINISH
- 1'-4"
- 1'-4"
- BATTERED SYNTHETIC STONE COLUMNS
- 13'-7 1/4"
- PERFORATED METAL SLAT ROLL-UP DOOR
- VINYL-COATED WIRE MESH, BLACK
- SYNTHETIC STONE BASE

Architectural elevation drawing of a wall section. The drawing shows a grid of panels with various finishes and dimensions. The overall height is 13'-7 1/4". The overall width is 24'-0". The wall is composed of several vertical sections: a 2'-0" section on the left, a 7'-9" section, a 2'-0" section, a 7'-9" section, a 2'-0" section, a 7'-9" section, and a 2'-0" section on the right. The wall is finished with a composite lumber trellis structure, natural finish, and a painted steel trellis frame with synthetic ivy vines, 75% cover. The wall is supported by a concrete foundation.

Dimensions:

- Overall Height: 13'-7 1/4"
- Overall Width: 24'-0"
- Panel Widths (from left to right): 2'-0", 7'-9", 2'-0", 7'-9", 2'-0", 7'-9", 2'-0"
- Panel Heights (from top to bottom): 1'-4", 1'-4"

Materials and Finishes:

- COMPOSITE LUMBER TRELLIS STRUCTURE, NATURAL FINISH
- BATTERED SYNTHETIC STONE COLUMNS
- PAINTED STEEL TRELLIS FRAME WITH SYNTHETIC IVY VINES, 75% COVER

METAL STRUCTURE, POLISHED NATURAL FINISH

METAL VEE ACCENT, PAINTED

BLACK VINYL-COATED MICROMESH FABRIC

LINE OF CONCRETE PARKING STRUCTURE BEYOND MESH

LINE OF PEDESTRIAN WALKWAY INTO PARKING STRUCTURE

[illegible]

This architectural elevation drawing illustrates the proposed building facade from the street level. The drawing includes various structural elements and materials, such as chain link fencing, painted CMU, aluminum/glass storefronts, and metal canopies. Key features include a surface-mounted sign, a parking structure line, a home depot roof line, a painted logo stripe, an eiffel buldout, and a window into the training room beyond. The drawing also shows the location of the T.O. Parapet (21'8" above grade) and the T.O. Slab (90'2" above grade). Other labels include "CHAIN LINK FENCING", "PAINTED CMU", "LINE OF PARKING STRUCTURE IN FRONT OF ELEVATION SHOWN DASHED", "LINE OF HOME DEPOT ROOF BEYOND SHOWN DOTTED", "ALUMINUM/GLASS STOREFRONT", "PAINTED LOGO STRIPE", "METAL CANOPY", "EIFFEL BULDOUT", "ALUMINUM/GLASS STOREFRONT", "WINDOW INTO TRAINING ROOM BEYOND", "SYNTHETIC STONE CLAD COLUMN/TRELLIS STRUCTURE", "T.O. PARAPET (21'8" ABOVE GRADE)", "T.O. PARAPET (13'0" ABOVE GRADE)", "T.O. PARAPET (13'0" ABOVE GRADE)", "T.O. SLAB (90'2" ABOVE GRADE)".

Architectural elevation drawing of the West Entrance of the West Valley Center. The drawing shows a long, low building with a flat roof and a series of windows. The entrance is marked by a set of stairs leading up to a small structure. The drawing includes various callouts for materials and construction details, such as 'T.O. PARAPET', 'T.O. WALL', 'T.O. SLAB', 'EIFS ON METAL FRAMING', 'SYNTHETIC STONE CLAD COLUMNS', 'TREX TRELLIS STRUCTURE', 'PAINTED CMU', and 'EIFS CORNICE'. The drawing is labeled 'WEST ENTRANCE' at the bottom left.

Architectural elevation drawing of the building facade. The drawing shows a long, low-profile building with various materials and heights. Key labels include:

- T.O. PARAPET (30'-0" MIN ABOVE GRADE)
- T.O. PARAPET (31'-0" ABOVE GRADE)
- T.O. PARAPET (24'-0" ABOVE GRADE)
- T.O. SLAB (100'-0")
- PAINTED CMU
- EIFS CORNICE
- EIFS ON METAL FRAMING
- EIFS CORNICE
- T.O. SLAB (100'-0")



**BUILDING
ELEVATIONS
A-HD-4**
AUGUST 12, 2020 18134.00

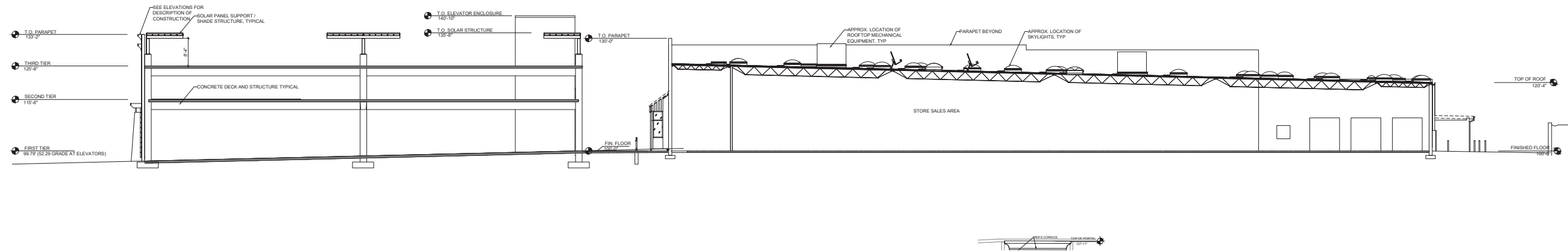


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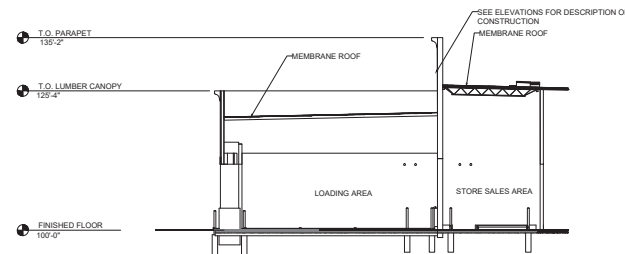


**SCOTTISH RITE /
HOME DEPOT**
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

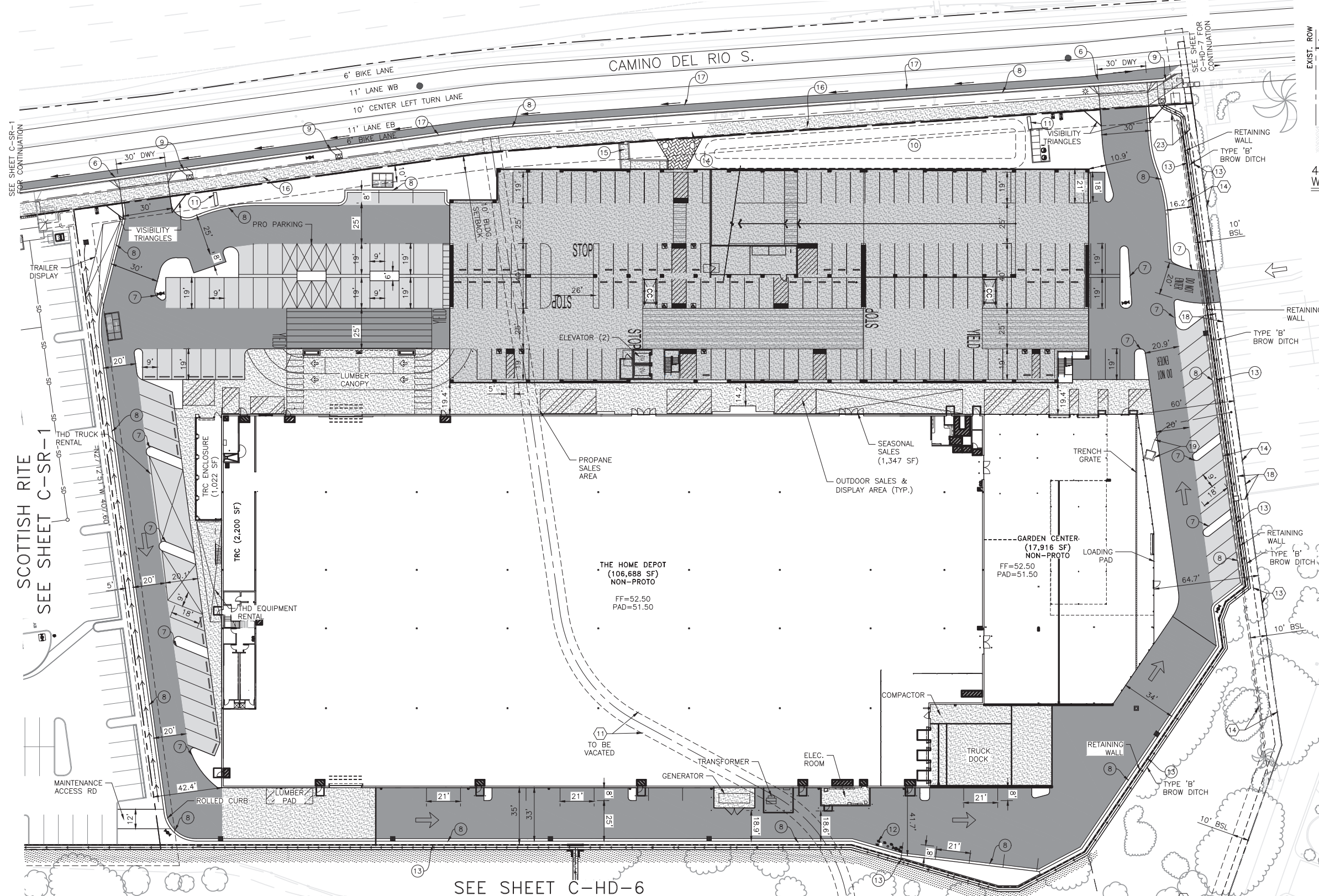
AERIAL RENDERING
A-HD-5
AUGUST 12, 2020 18134.00



01 BUILDING SECTION
SCALE: 1/16" = 1'-0"

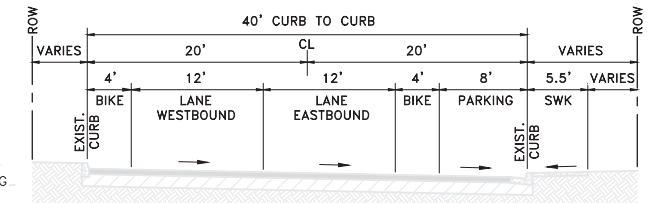


02 SECTION THROUGH LUMBER CANOPY
SCALE: 1/16" = 1'-0"



44' CURB TO CURB PROPOSED TWO LANE COLLECTOR WITH ONE WAY CENTER LEFT TURN LANE

NOT TO SCALE



EXISTING TWO LANE COLLECTOR

NOT TO SCALE

CONSTRUCTION NOTES

1. A.C. STANDARD DUTY PAVEMENT
2. A.C. HEAVY DUTY PAVEMENT
3. P.C.C. STANDARD DUTY PAVEMENT
4. P.C.C. HEAVY DUTY PAVEMENT
5. PARKING SLAB PER STRUCTURAL DRAWINGS
6. 30' WIDE DRIVEWAY PER SDG-163
7. 6" CURB PER DETAIL
8. 6" CURB & GUTTER PER SDG-151
9. CURB OUTLET PER D-25
10. BIOFILTRATION BASIN
11. MONUMENT SIGN, PYLON SIGN
12. STEEL PIPE BOLLARDS PER WM-04
13. RETAINING WALL PER GRADING & DRAINAGE PLAN SEE SHEET C-HD-4
14. ENTRANCE
15. ADA ACCESS RAMP
16. 8' WIDE CONCRETE SIDEWALK PER SDG-155
17. REMOVE EXISTING DRIVEWAY AND CONSTRUCT CURB & GUTTER

EASEMENT NOTES

- # EASEMENT DEFINITIONS PER SHEET C-HD-SR-2

LEGEND

| | |
|---------------------------|-------|
| PROPERTY LINE | --- |
| CURB & GUTTER | ===== |
| CURB | ===== |
| RETAINING WALL | ===== |
| BROW DITCH | ===== |
| SWALE | ===== |
| DISPLAY AREAS | ===== |
| STORAGE AREAS | ===== |
| ELECTRIC VEHICLE CHARGING | ===== |
| ADA PARKING | ===== |

ABBREVIATIONS

| | |
|--------|--------------------------|
| R/W | RIGHT OF WAY |
| P/L | PROPERTY LINE |
| A.C. | ASPHALT CONCRETE |
| P.C.C. | PORTLAND CEMENT CONCRETE |

NOTES

1. ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED PER CURRENT CITY OF SAN DIEGO STANDARDS.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (B)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

STRIPING COLOR SCHEDULE

| ITEM: | COLOR |
|------------------------|-----------------------|
| PARKING STALL | WHITE |
| LETTERING "NO PARKING" | RED |
| LETTERING "COMPACT" | WHITE |
| LETTERING "RESERVED" | WHITE |
| STOP AND YIELD LEGENDS | WHITE |
| ACCESSIBILITY SYMBOL | BLUE W/ WHITE SYMBOLS |
| ACCESSIBLE LOADING | BLUE |
| LOADING ZONE | YELLOW |
| DIRECTIONAL SIGNAGE | WHITE |
| CENTER LINE STRIPING | WHITE |
| IMPERVIOUS PAVEMENT | GREEN |

A.C. PAVEMENT

STANDARD DUTY PAVEMENTS
3.5" A.C.
12" AGGREGATE BASE
12" COMPACTED SUBGRADE

HEAVY DUTY PAVEMENTS

4.0" A.C.
15" AGGREGATE BASE
12" COMPACTED SUBGRADE

P.C.C. PAVEMENT

STANDARD DUTY PAVEMENTS
6.0" P.C.C.
6.0" CLASS 2 AGGREGATE BASE
12" IMPORT GRANULAR FILL
12" COMPACTED SUBGRADE

HEAVY DUTY PAVEMENTS

6.5" P.C.C.
6.0" CLASS 2 AGGREGATE BASE
12" IMPORT GRANULAR FILL
12" COMPACTED SUBGRADE

SCALE: 1"=30'-0"



NORTH



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SAN DIEGO, CA 92108

SITE AND
PAVING PLAN
C-HD-3

08.17.2020

18134.00

ATTACHMENT 10

BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA CORNER SYSTEM. THE SURVEY IS BASED ON THE 1911 AND IS CORNERED TO THE CORNER OF THE LOT ON 11/11/2019 AT POINTS 'A' & 'B' AS SHOWN HEREON. POINTS 'A' & 'B' WERE ESTABLISHED FROM G.P.S. STATION 970 AND G.P.S. STATION 965 PER LOS 14492. THE BEARING FROM POINT 'A' TO POINT 'B' IS SOUTH 88°20'07" WEST.

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

THE COMBINED SCALE FACTOR (CSF) AT POINT '970' = 1.0000055.
GRID DISTANCE = GROUND DISTANCE X COMBINED SCALE FACTOR.
ELEVATION AT POINT 'A' IS 40.96 (NGVD29).
THE CONVERGENCE ANGLE AT POINT '970' = -0°29'29.024"

BASIS OF COORDINATES
THE BASIS OF COORDINATES FOR THIS DRAWING IS THE CITY OF SAN DIEGO G.P.S. CONTROL STATION '970' (FDLEAD & BRASS TAG IN CONC WALK), AS SHOWN ON RECORD OF SURVEY NO. 14492 (CCS83, ZONE 6, 1991.35 EPOCH, U.S. SURVEY FEET). STATION #970
N. 1,861,366.50
E. 6,286,787.22
EL. = 40.96 (NGVD29)

BASIS OF ELEVATION
THE BASIS OF ELEVATIONS FOR THIS DRAWING IS THE NORTHWEST BRASS PLUG IN THE TOP OF INLET (NWBP TOP INLET) AT THE INTERSECTION OF CAMINO DEL RIO SOUTH AND MISSION CENTER ROAD AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.
ELEV. = 52.712 (MSL)

CONSTRUCTION NOTES

- 1 CONCRETE MASONRY RETAINING WALL, TYPE 5 PER C-5
- 2 CONCRETE CANTILEVER WALL
- 3 BROW DITCH PER SDD-106
- 4 SWALE DISPERSION AREA
- 5 STORM DRAIN CURB INLET, TYPE A & B PER SDD-115 & 116
- 6 STORM DRAIN CATCH BASIN, TYPE F PER SDD-119
- 7 STORM DRAIN CLEANOUT, TYPE A PER D-09
- 8 UNDERGROUND MWS STORM WATER TREATMENT VAULT. SIZE PER PLAN.
- 9 STORM DRAIN PIPE
- 10 TRENCH GRATE
- 11 BIOFILTRATION BASIN
- 12 CATCH BASIN RISER WITH GRATED INLET
- 13 CURB OUTLET PER D-25
- 14 POINT OF CONNECTION TO REMOVED EXISTING 36" RCP PIPE AT PCR AND CONNECT NEW 36" RCP PIPE.
- 15 POINT OF CONNECTION TO INSTALL STORM DRAIN CLEAN OUT AND REMOVED SOUTHERLY PORTION OF EXISTING 36" RCP.
- 16 TRENCH DRAIN WITH EJECTOR PUMP TO BACKBONE STORM DRAIN LINE
- 17 VISIBILITY TRIANGLES PER MUNICIPAL CODE

LEGEND

| | |
|------------------------|-----|
| PROPERTY LINE | --- |
| CURB & GUTTER | --- |
| CURB | --- |
| RETAINING WALL | --- |
| BROW DITCH | --- |
| SWALE | --- |
| STORM DRAIN PIPE | SD |
| STORM DRAIN STRUCTURES | ■ □ |
| ADA PATH | --- |

EARTHWORK QUANTITIES

| | | |
|------------------|--------------|---|
| CUT: | 41,000 C.Y. | NOTE: GRADING QUANTITIES ARE PROVIDED FOR PERMIT PURPOSES ONLY, NOT TO BE USED FOR BIDDING. |
| FILL: | 35,500 C.Y. | |
| EXPORT: | 5,500 C.Y. | |
| MAX CUT: | 14.5 FT | |
| MAX FILL: | 4.1 FT | |
| MAX SLOPE RATIO: | 1.75:1 (H:V) | |

SPECIAL NOTES

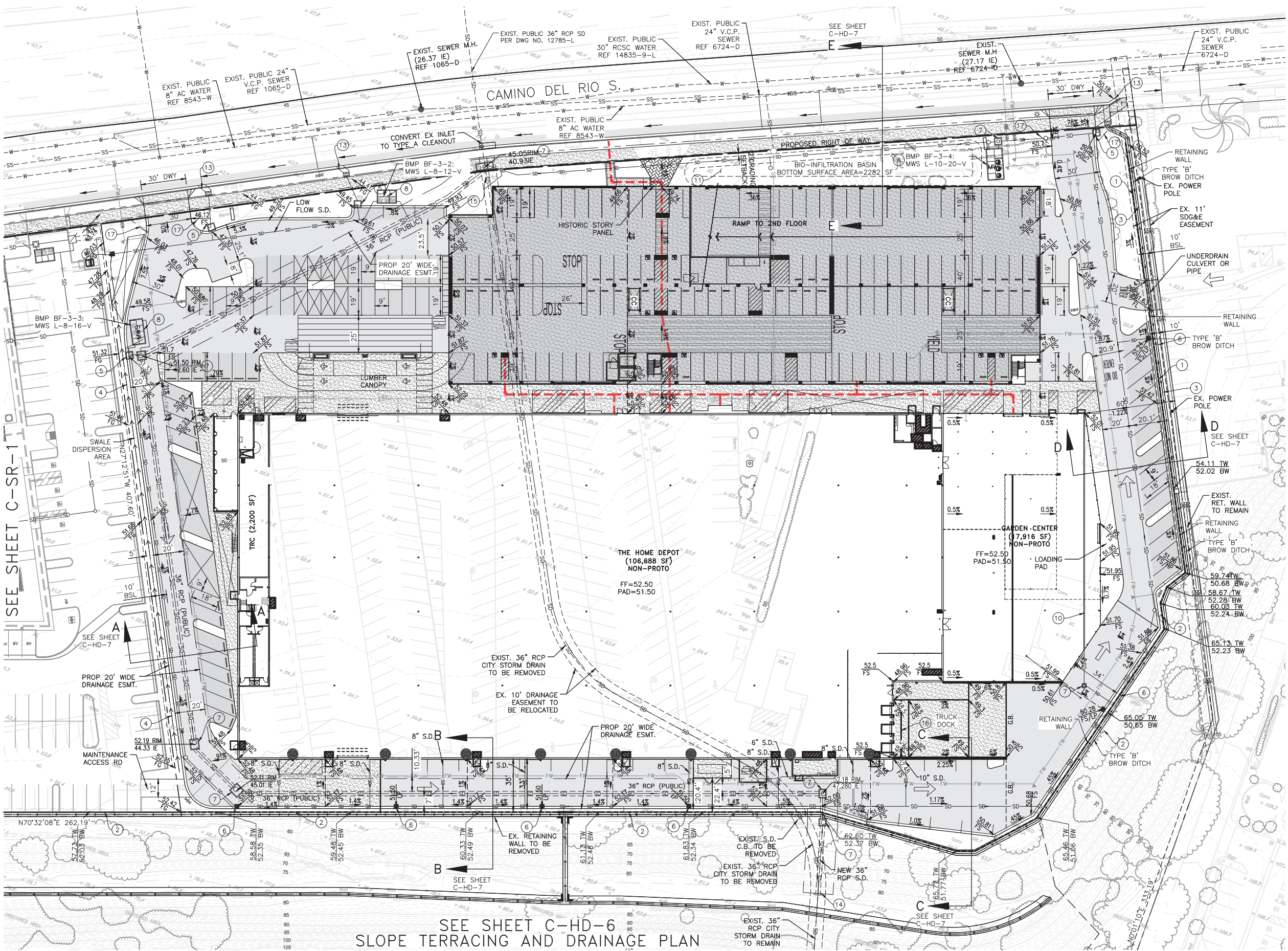
1. TW AND BW GRADES REPRESENT THE GROUND ELEVATION AT THE BACK AND FRONT OF THE WALL. THE ACTUAL TOP-OF-WALL AND TOP-OF-FOOTING AND WALL DIMENSIONS TO BE DETERMINED BY THE WALL DESIGNER.
2. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
3. ALL PUBLIC IMPROVEMENTS SHALL BE CONSTRUCTED PER CURRENT CITY OF SAN DIEGO STANDARDS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
6. ALL STORM DRAINS ARE PRIVATE U.O.N.

SCALE: 1"=30'-0"



SCOTTISH RITE

SEE SHEET C-SR-1



SEE SHEET C-HD-6
SLOPE TERRACING AND DRAINAGE PLAN



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**GRADING AND
DRAINAGE PLAN
C-HD-4**

08.17.2020 18134.00

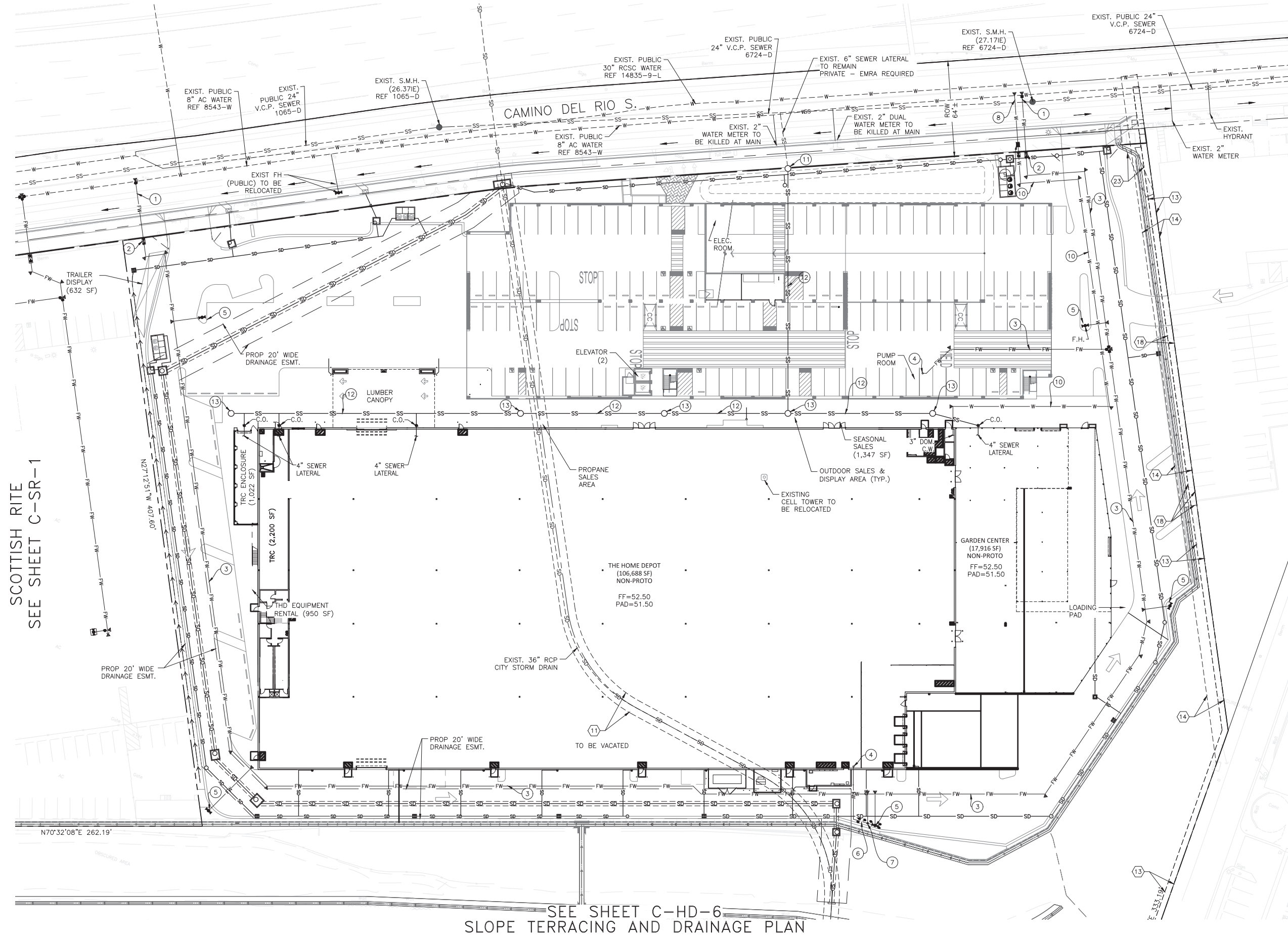
LEGEND

CONSTRUCTION NOTES

- EASEMENT NOTES

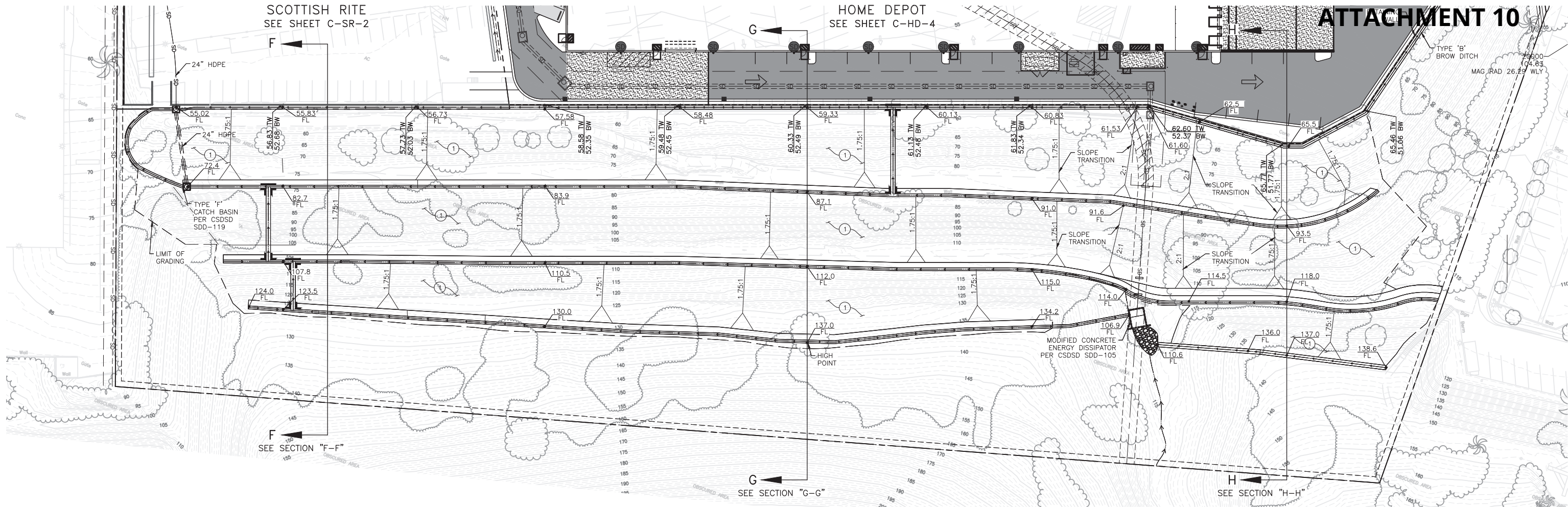
- NOTES:

- SCALE: 1"=30'-0"



SEE SHEET C-HD-6
SLOPE TERRACING AND DRAINAGE PLAN



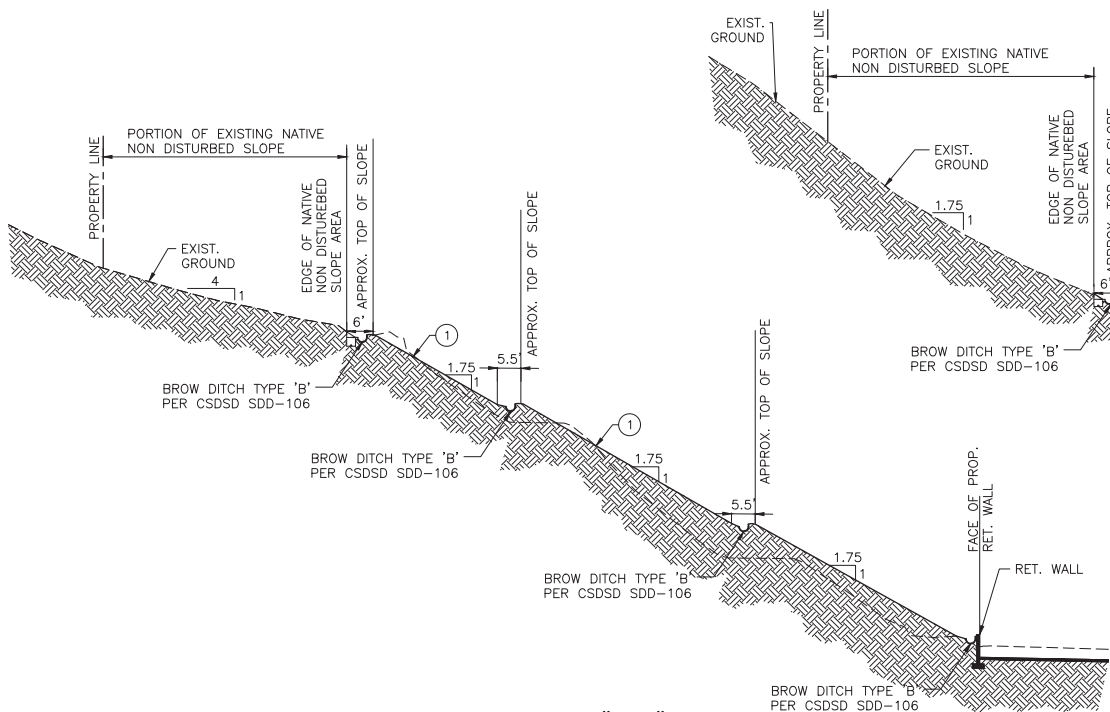
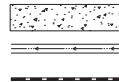


CONSTRUCTION NOTES

- ① REGRADE SLOPE AT 1.75:1 PER GEOTECHNICAL ENGINEER REQUIREMENTS

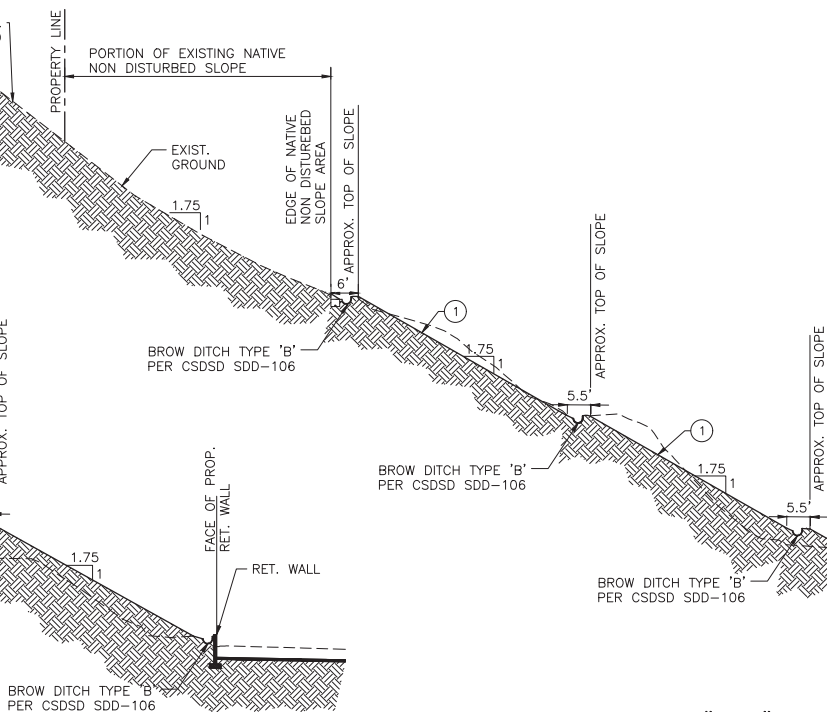
LEGEND

CONCRETE
TERRACE DITCH PER SDD-106
RETAINING WALL TYPE 5 PER C-5



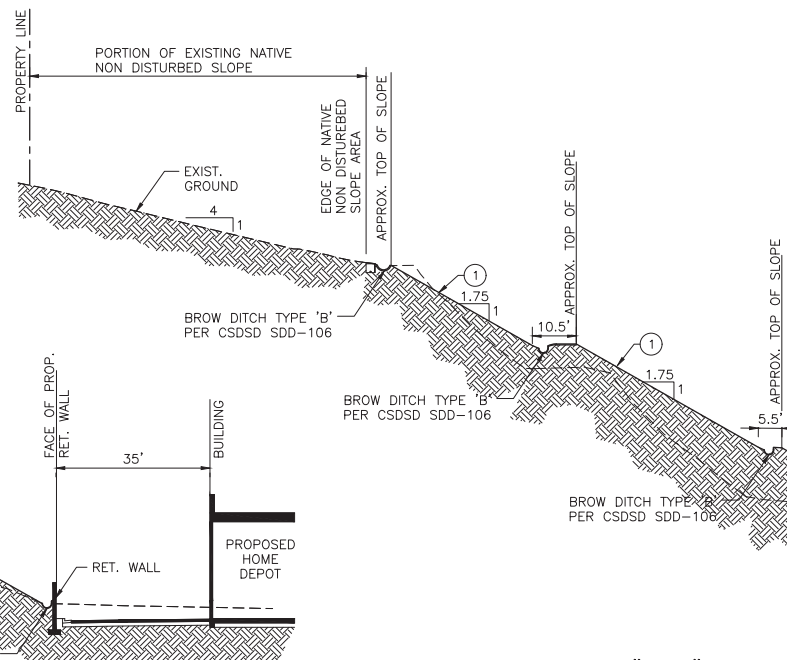
SECTION "F-F"

SCALE: 1"=20'



SECTION "G-G"

SCALE: 1"=20'



SECTION "H-H"

SCALE: 1"=20'

SCALE: 1"=30'-0"



NORTH

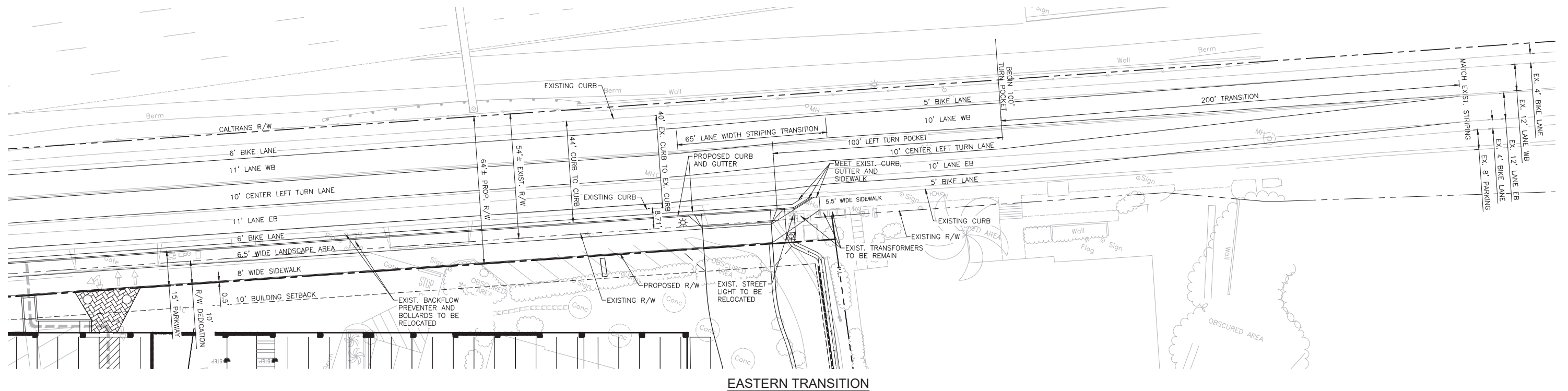
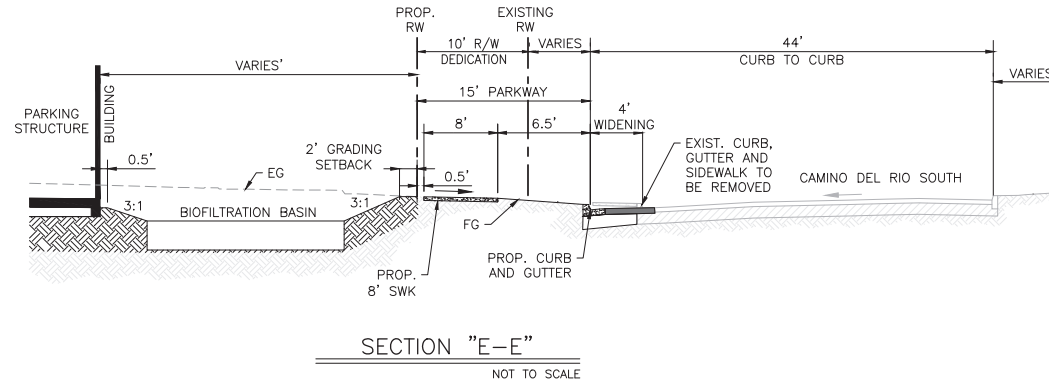
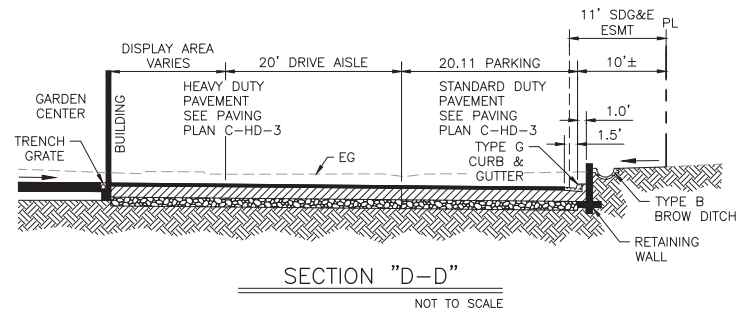
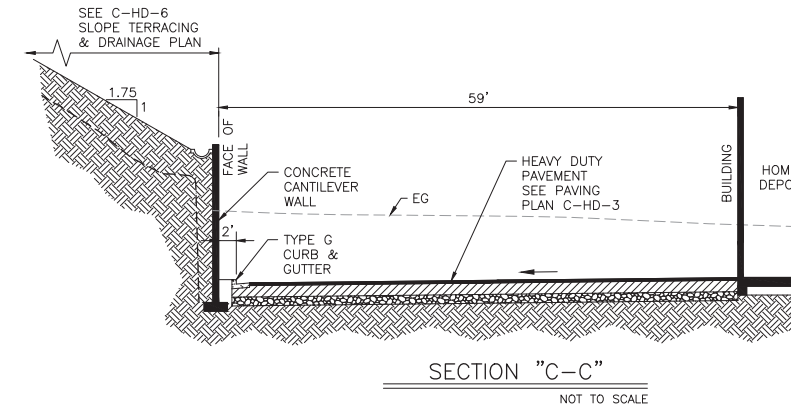
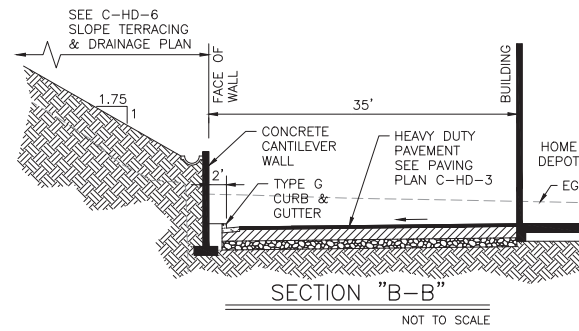
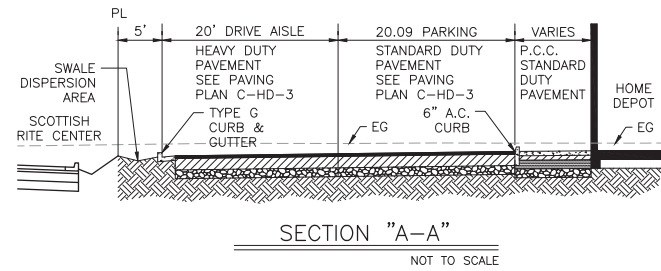


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SAN DIEGO, CA 92108

SLOPE TERRACING
AND DRAINAGE PLAN
C-HD-6
08.17.2020 18134.00



SCALE: 1"=20'-0"

0 10 20 40 60 80

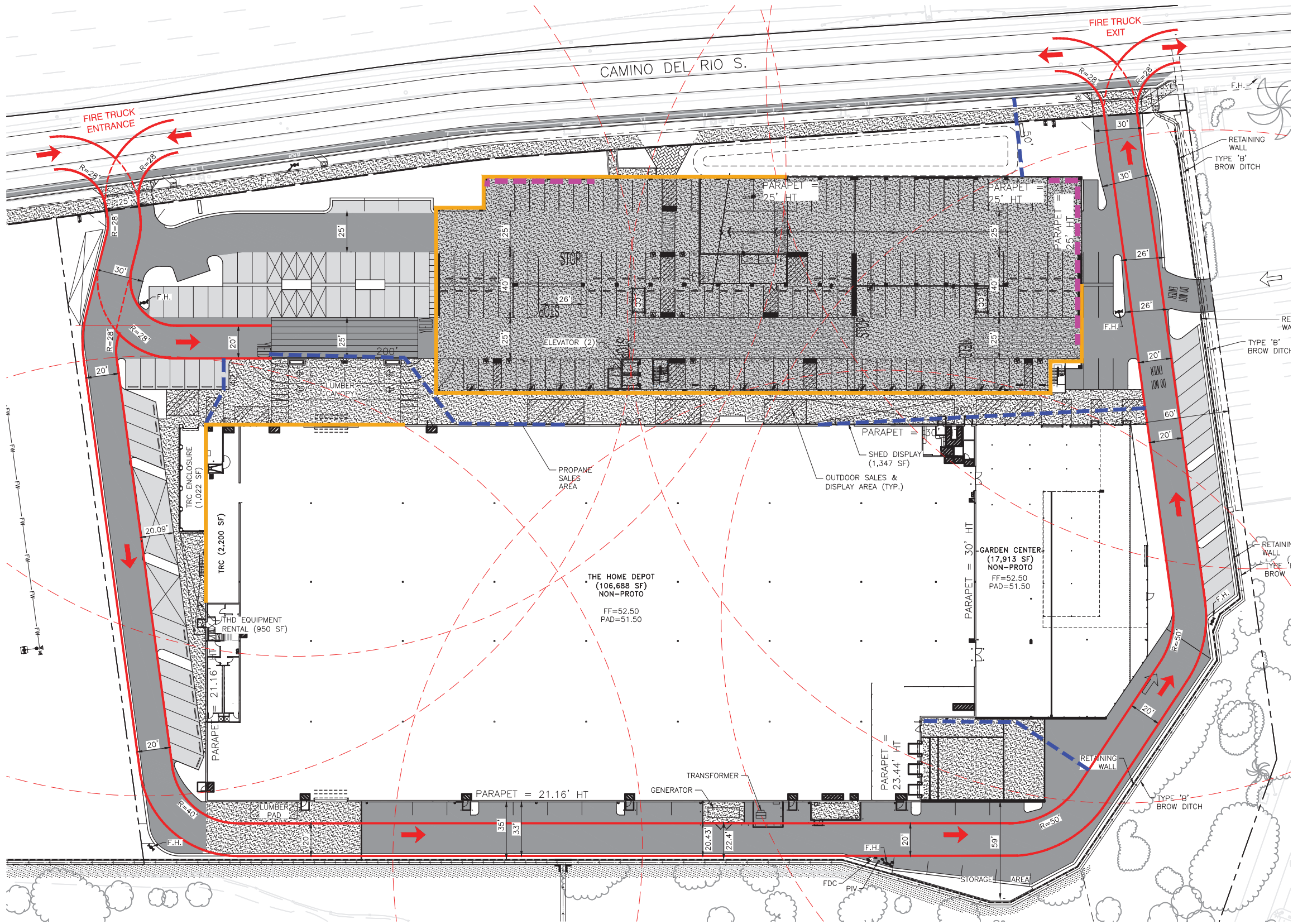


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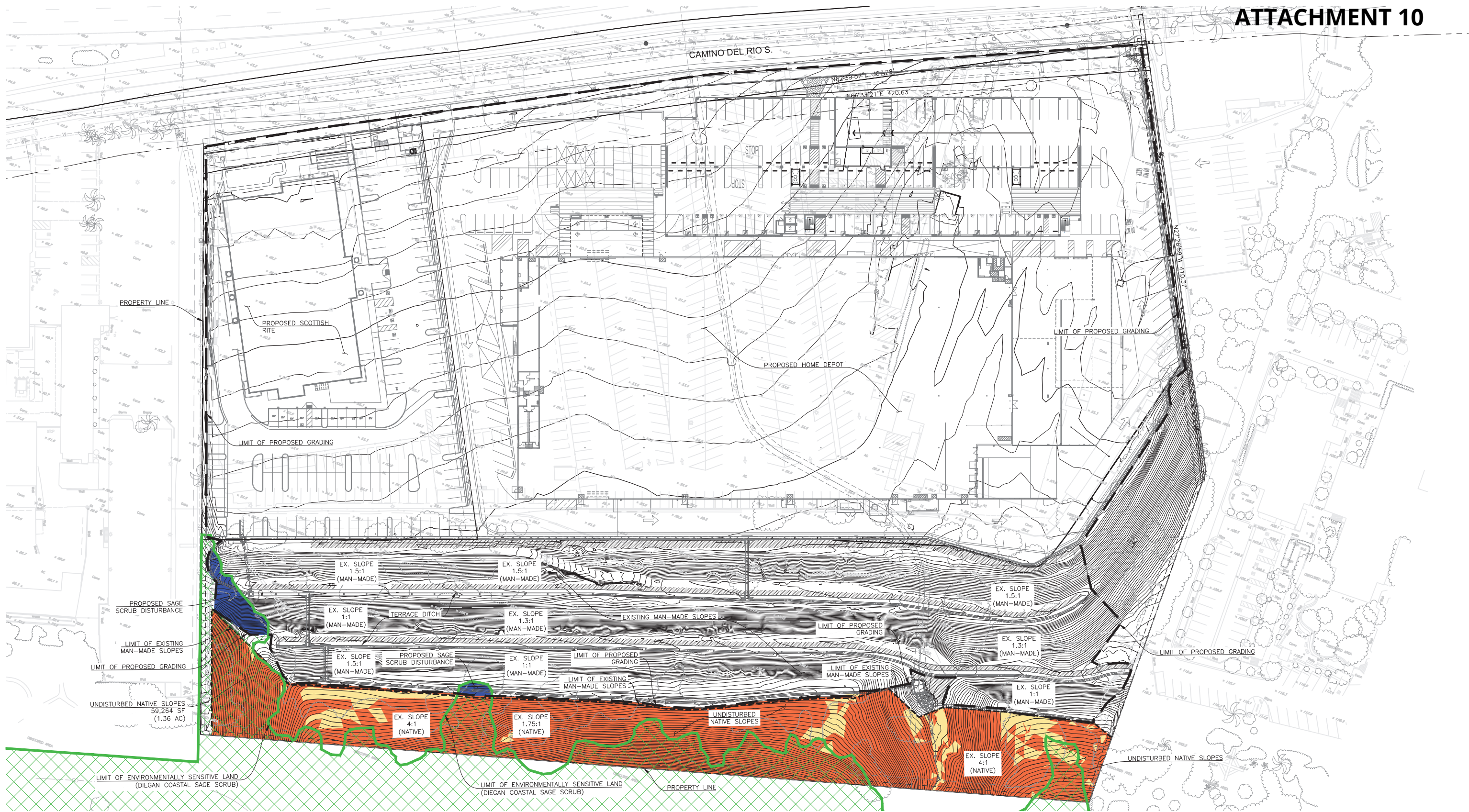
SECTIONS AND DETAILS C-HD-7
08.17.2020 18134.00



| LEGEND | |
|------------------------------|-----|
| PROPERTY LINE | --- |
| CURB & GUTTER | == |
| CURB | --- |
| RETAINING WALL | --- |
| FIRE TRUCK ACCESS | --- |
| HOSE PULL (200FT MAX) | --- |
| BUILDING EXCEEDING 30FT HIGH | --- |
| AERIAL ACCESS PROVIDED | --- |
| FH RADIUS (300FT) | --- |

- NOTES
1. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S) THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S) THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
 2. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
 3. BUILDINGS ARE FULLY SPRINKLERED
 4. AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S). SHOW ALL PROPOSED LOCATIONS WHERE AERIAL ACCESS IS BEING PROVIDED. (SEE CFC APPENDIX D/FPB POLICY A-14-1)





| NATIVE SLOPE ANALYSIS TABLE* | | | | | |
|------------------------------|---------------|---------------|-------------|-----------|--------------------------------------|
| Number | Minimum Slope | Maximum Slope | Color | Area (AC) | PERCENTAGE OF NATIVE SLOPE AREA (AC) |
| 1 | 0.00% | 25.0% | <div></div> | 0.15 AC | 11% |
| 2 | 25.0% | 200.0% | <div></div> | 1.21 AC | 89% |

*EXCLUDES EXISTING MAN-MADE SLOPES
NOTE: THIS PROJECT DOES NOT PROPOSE DISTURBANCE OF NATIVE SLOPES

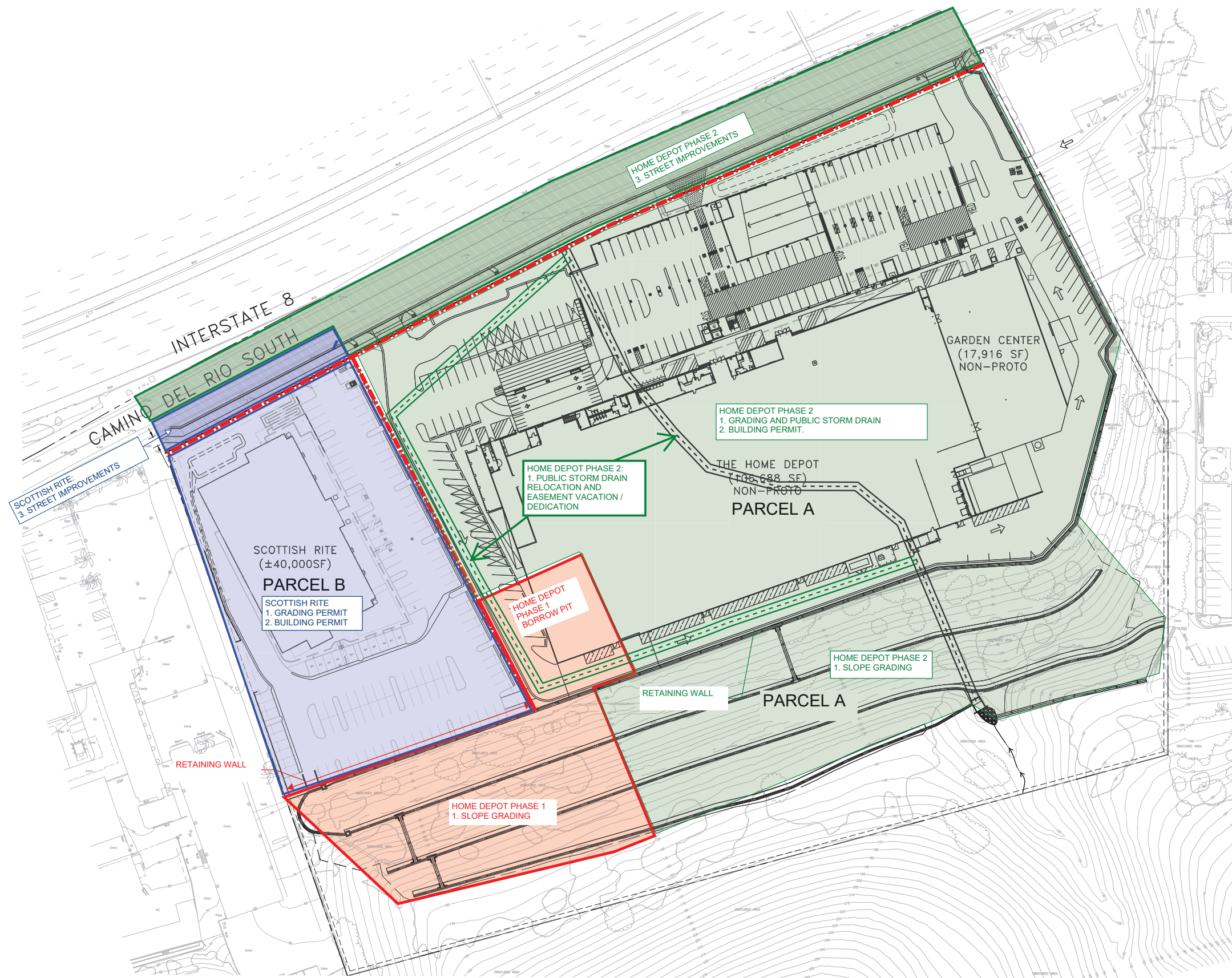
LEGEND

- PROPERTY LINE
- LIMIT OF EXISTING MAN-MADE SLOPES
- LIMIT OF PROPOSED GRADING
- DIEGAN COASTAL SAGE SCRUB
- PROPOSED SAGE SCRUB DISTURBANCE (TOTAL = 0.06 AC)



**SCOTTISH RITE /
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SAN DIEGO, CA 92108

**EXISTING SLOPE
ANALYSIS
C-HD-SR-3**
08.17.2020 18134.00



- = HOME DEPOT PHASE 1
HOME DEPOT APPLICANT. SCOPE OF WORK INCLUDES:

PERMIT 1: GRADING PERMIT FOR SLOPE SOUTH OF PARCEL B AND BORROW PIT ON PARCEL A FOR SLOPE REPAIR FILL. A BUILDING PERMIT FOR RETAINING WALL WILL BE PROCESSED CONCURRENTLY.

 LOT LINE ADJUSTMENT PARCEL MAP FOR LOT LINE ADJUSTMENT, RIGHT OF WAY DEDICATION AND RIGHT OF WAY VACATIONS.

- = SCOTTISH RITE WORK
TO PROCESSED CONCURRENTLY WITH PHASE 1. SCOPE OF WORK INCLUDES:

PERMIT 1: PRIVATE GRADING PERMIT FOR ONSITE GRADING PER IB 559

PERMIT 2: ONSITE BUILDING PERMIT.

PERMIT 3: PUBLIC IMPROVEMENTS FOR PARCEL B PROJECT FRONTAGE ONLY INCLUDING STREET WIDENING AND UTILITY CONNECTIONS. TEMPORARY TRANSITION TO MATCH EXISTING CURB AT EAST LOT LINE. STRIPING FOR CENTER TURN LANE TO BE DEFERRED TO HOME DEPOT PHASE 2.

- = HOME DEPOT PHASE 2
SCOPE OF WORK INCLUDES:

PERMIT 1: PRECISE GRADING AND PUBLIC STORM DRAIN PLAN FOR ONSITE GRADING, SLOPE REPAIR AND PUBLIC STORM DRAIN RELOCATION. A **STORM DRAIN EASEMENT AND EASEMENT VACATION** WILL BE CONCURRENTLY PROCESSED.

PERMIT 2: ONSITE BUILDING PERMIT (INCLUDING SITE RETAINING WALLS)

 PERMIT 3: STREET IMPROVEMENTS FOR PARCEL A PROJECT FRONTAGE AND STREET STRIPING FOR PARCEL A AND B FRONTAGE TO CREATE CENTER TURN LANE.

SCALE: 1"=50'-0"

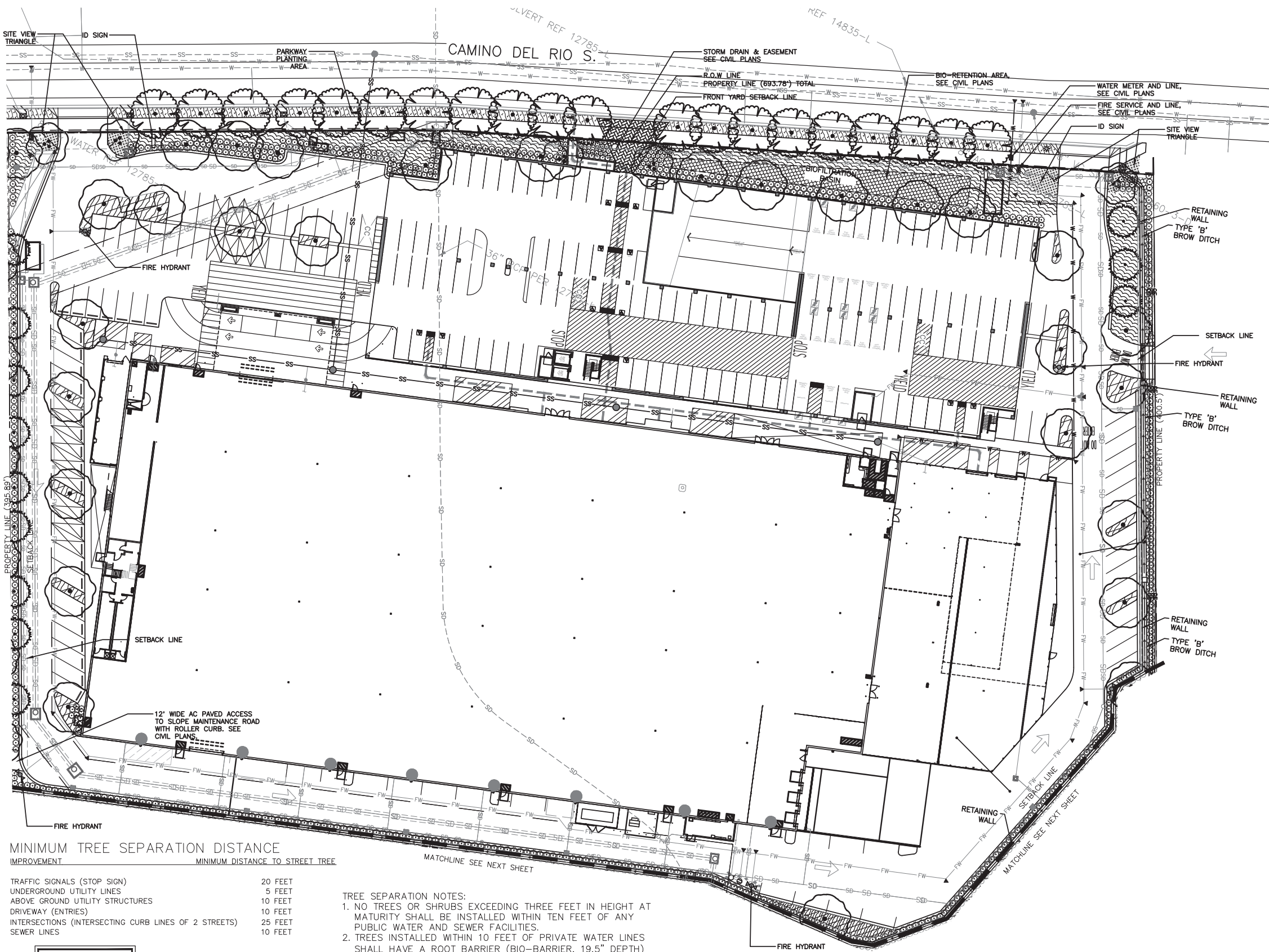


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PERMIT PHASING EXHIBIT
C-HD-SR-4
08.17.2020 18134.00



MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT MINIMUM DISTANCE TO STREET TREE

| | |
|--|---------|
| TRAFFIC SIGNALS (STOP SIGN) | 20 FEET |
| UNDERGROUND UTILITY LINES | 5 FEET |
| ABOVE GROUND UTILITY STRUCTURES | 10 FEET |
| DRIVEWAY (ENTRIES) | 10 FEET |
| INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS) | 25 FEET |
| SEWER LINES | 10 FEET |

TREE SEPARATION NOTES:
1. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC WATER AND SEWER FACILITIES.
2. TREES INSTALLED WITHIN 10 FEET OF PRIVATE WATER LINES SHALL HAVE A ROOT BARRIER (BIO-BARRIER, 19.5" DEPTH) INSTALLED ADJACENT TO LINE FOR PROTECTION FROM TREE ROOTS

NOTE: 12" PLANTING DEPTH IN RIGHT OF WAY LANDSCAPE AREAS PER THE CITY OF SAN DIEGO TRANSPORTATION & STORM WATER

SEE SHEET LC-2 FOR PLANT MATERIAL LEGEND

- ## LANDSCAPE NOTES: ATTACHMENT 10
- THE PROPERTY OWNERS ARE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPED AREAS ON SITE AND WITHIN THE ADJACENT RIGHTS-OF-WAY. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. PLANTINGS SHALL BE MAINTAINED IN A HEALTHY, VIGOROUSLY GROWING CONDITION, AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, MOWING AND TRIMMING. IRRIGATION SYSTEMS SHALL BE REGULARLY INSPECTED AND KEPT IN FULLY OPERATIONAL CONDITION ACCORDING TO MANUFACTURERS' DESIGN STANDARDS AT ALL TIMES.
- ALL PLANTING AREAS SHALL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE. ALL IRRIGATED AREAS SHALL RECEIVE UNIFORM COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED UNDERGROUND PIPED IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART AUTOMATIC CONTROLLER WITH MASTER VALVE AND RAIN SHUTOFF CAPABILITIES. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED IN ACCORDANCE WITH LOCAL AND REGIONAL STANDARDS. REMOTE CONTROL VALVES SHALL BE UTILIZED WITH LOW PRECIPITATION HEADS FOR REDUCED WATER CONSUMPTION. PRESSURE COMPENSATING DRIP AND LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED WHERE APPLICABLE. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVC INSTALLED BELOW GRADE PER LOCAL AND REGIONAL STANDARDS. AN AUTOMATIC, WATER EFFICIENT IRRIGATION SYSTEM SHALL BE PROVIDED TO ESTABLISH AND MAINTAIN LANDSCAPING.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
 - TREES PLANTED WITHIN 5 FEET OF WALKS, CURBS OR PAVING SHALL BE PLANTED WITH A ROOT BARRIER (BIO-BARRIER).
 - ALL PLANTING AREAS SHALL BE FINISHED WITH A 3 INCH LAYER OF SHREDDED BARK MULCH (FOREST MULCH) AVAILABLE THROUGH AGRISERVICE, INC. (760) 295-6255.
 - IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS ARE DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS BY THE OWNER/PERMITTEE.
 - ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS. ANY REQUIRED PLANT MATERIAL THAT DIES POST-CONSTRUCTION SHALL BE REPLACED AT SIZES AND QUANTITIES SET FORTH UNDER 142.0403(b)(8).
 - IN THE EVENT THE ROADS ARE WIDENED, THE EXISTING STREET TREES SHALL BE RELOCATED, OR REPLACED, TO THE SATISFACTION OF SAN DIEGO'S DEVELOPMENT SERVICES.
 - NO BRUSH MANAGEMENT SHALL BE REQUIRED FOR THIS PROJECT.
- PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, IT SHALL BE THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO INSTALL ALL REQUIRED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTIONS.
 - ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTES IN THIS PERMIT.
 - THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY.
 - IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR CERTIFICATE OF OCCUPANCY.

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REQUIREMENTS:
SLOPES 6:1 OR STEEPER REQUIRING EROSION CONTROL MEASURES AS SPECIFIED HEREIN SHALL BE TREATED WITH ONE OR MORE OF THE FOLLOWING PLANTING STANDARDS:

STANDARD #1 – COVER CROP/REINFORCING STRAW MATTING:
COVER CROP SHALL BE A SEED MIX TYPICALLY MADE UP OF QUICK GERMINATING AND FAST COVERING GRASSES, COVER, AND/OR WILD FLOWERS. SUBMIT THE SPECIFIC SEED MIX FOR CITY APPROVAL PRIOR TO APPLICATION. THE COVER CROP SHALL BE APPLIED AT A RATE AND MANNER SUFFICIENT TO PROVIDE 90% COVERAGE WITHIN THIRTY (30) DAYS.

REINFORCING STRAW MATTING SHALL BE AS APPROVED BY THE CITY AND STAKED TO SLOPE AS RECOMMENDED BY THE MANUFACTURER.

REINFORCING STRAW MATTING SHALL BE REQUIRED WHEN PLANTING OCCURS BETWEEN AUGUST 15 AND APRIL 15. THE COVER CROP AND/OR REINFORCING STRAW MATTING SHALL BE USED THE REMAINDER OF THE YEAR.

- A. **STANDARD #2 – GROUND COVER**
ONE HUNDRED (100%) PERCENT OF THE AREA SHALL BE PLANTED WITH A GROUND COVER KNOWN TO HAVE EXCELLENT SOIL BINDING CHARACTERISTICS (PLANTED FROM MINIMUM SIZE OF FLATTED MATERIAL AND SPACED TO PROVIDE FULL COVERAGE WITHIN ONE YEAR).
- B. **STANDARD #3 – LOW SHRUBS**
LOW SPREADING WOODY SHRUBS (PLANTED FROM A MINIMUM OF 2–3/4 INCH LINERS) SHALL COVER A MINIMUM OF SEVENTY (70%) PERCENT OF THE SLOPE FACE (AT MATURE SIZE).
- C. **STANDARD #4 – TREES AND/OR LARGE SHRUBS**
TREES AND/OR LARGE SHRUBS SHALL BE (PLANTED FROM A MINIMUM OF 1 GALLON CONTAINER) AT A MINIMUM RATE OF ONE(1) PLANT PER TWO HUNDRED (100) SQUARE FEET.

SLOPES – 6:1 OR STEEPER AND:

- A. 3' OR LESS IN VERTICAL HEIGHT AND ARE ADJACENT TO PUBLIC WALKS OR STREETS REQUIRE AT MINIMUM STANDARD #1.
- B. 3' TO 8' IN VERTICAL HEIGHT REQUIRE STANDARDS #1 (EROSION CONTROL MATTING SHALL BE INSTALLED IN LIEU OF A COVER CROP), 2, AND 3.
- C. IN EXCESS OF 8' IN VERTICAL HEIGHT REQUIRE STANDARDS #1 (EROSION CONTROL MATTING SHALL BE INSTALLED IN LIEU OF A COVER CROP), #2, #3 and #4.

AREAS GRADED FLATTER THAN 6:1 REQUIRE STANDARD #1 (COVER CROP) WITH TEMPORARY IRRIGATION WHEN THEY HAVE ONE OR MORE OF THE FOLLOWING CONDITIONS:

- A. SHEET GRADED PADS NOT SCHEDULED FOR IMPROVEMENTS WITHIN 6 MONTHS OF COMPLETION OF ROUGH GRADING.
- B. A POTENTIAL EROSION PROBLEM AS DETERMINED BY THE CITY.
- C. IDENTIFIED BY THE CITY AS HIGHLY VISIBLE AREAS TO THE PUBLIC OR HAVE SPECIAL CONDITIONS THAT WARRANT IMMEDIATE TREATMENT.

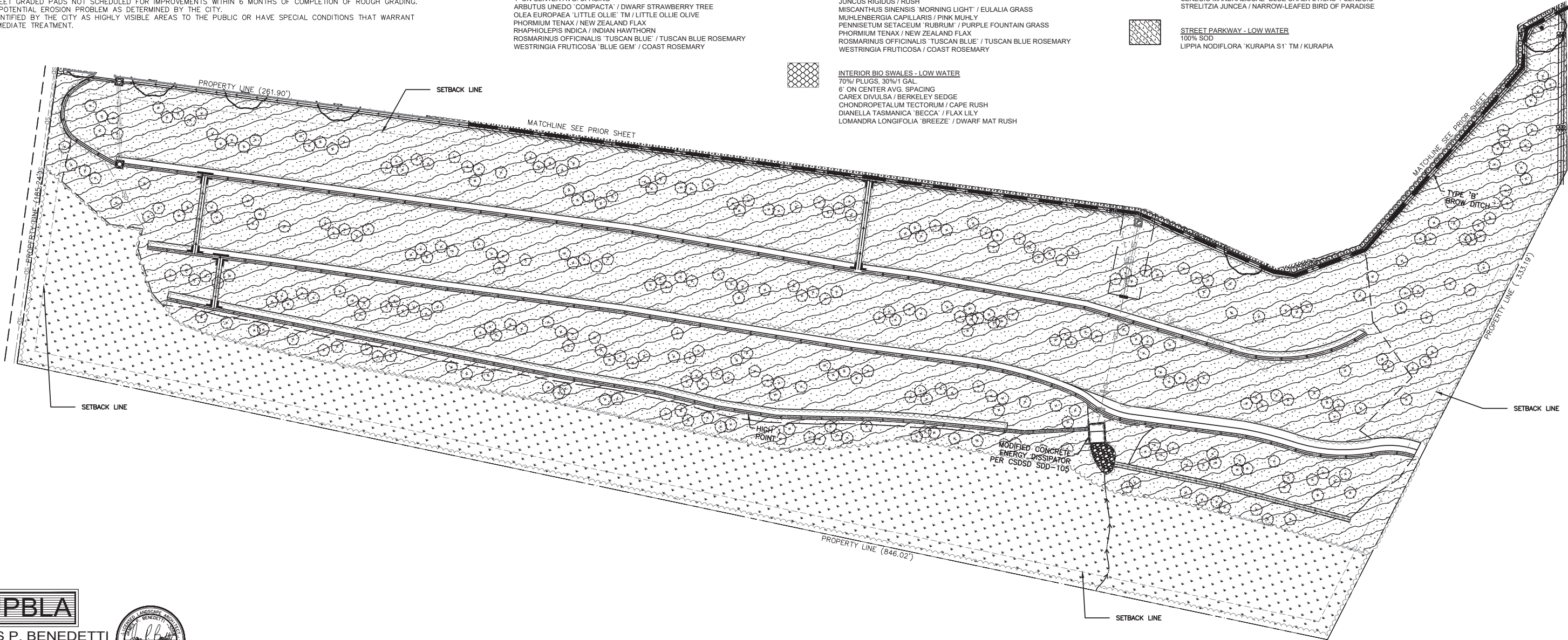
CONCEPT PLANT SCHEDULE

- PROJECT - ENTRY - FLOWERING ACCENT TREES**
DECIDUOUS (20'-25')
100%/48" BOX/
MEDIUM WATER
LAGERSTROEMIA X 'NATCHEZ' / CRAPE MYRTLE
PISTACIA CHINENSIS / CHINESE PISTACHE MULTI-TRUNK
TABEBUIA HETEROPHYLLA / PINK TABEBUIA
- STREET FRONTAGE - DECIDUOUS CANOPY**
EVERGREEN (40'-60')
100%/24" BOX/
MEDIUM WATER
FRAXINUS VELUTINA / VELVET ASH
- INTERIOR PARKING - ACCENT/EVERGREEN CANOPY**
EVERGREEN (40'-50')100% IN STREETYARD VUA 48" BOX
100% OUTSIDE STREEYARD IN VUA / 36" BOX 50/MEDIUM WATER
LOPHOSTEMON CONFERTUS / BRISBANE BOX
MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER' TM / SOUTHERN MAGNOLIA
PODOCARPUS GRACILIOR / FERN PINE
- BACKGROUND-PRIMEIMER EVERGREEN TREES**
EVERGREEN (40'-50')
100%/24" BOX
/MEDIUM WATER
BRACHYCHITON POPULNEUS / BOTTLE TREE
LOPHOSTEMON CONFERTUS / BRISBANE BOX
PINUS CANARIENSIS / CANARY ISLAND PINE
- SCREENING SHRUBS**
EVERGREEN (2'-5')
30%/1 GAL 40%/5 GAL 30%/15 GAL
4' ON CENTER AVG. SPACING
ARBUSUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE
OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE
PHORMIUM TENAX / NEW ZEALAND FLAX
RHAPHIOLEPIS INDICA / INDIAN HAWTHORN
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY
WESTRINGIA FRUTICOSA 'BLUE GEM' / COAST ROSEMARY

- ACCENT SHRUBS**
70%/1 GAL
30%/5 GAL
3' ON CENTER AVG. SPACING
AGAVE OVATIFOLIA / AGAVE
ALOE VARIEGATA / ALOE
CALLISTEMON CITRINUS 'LITTLE JOHN' / LITTLE JOHN DWARF BOTTLEBRUSH
PHORMIUM TENAX / NEW ZEALAND FLAX
- SLOPE SHRUBS**
70%/1 GAL
30%/5 GAL
3' ON CENTER AVG. SPACING
ARBUSUS UNEDO 'COMPACTA' / DWARF STRAWBERRY TREE
CEANOTHUS 'CONCHA' / WHITE CEANOTHUS
HETEROMELES ARBUTIFOLIA / TOYON
RHUS INTEGRIFOLIA / LEMONADE BERRY
RHUS OVATA / SUGAR BUSH
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY
SALVIA CLEVELANDII / CLEVELAND SAGE
WESTRINGIA FRUTICOSA / COAST ROSEMARY
- FOUNDATION SHRUBS/ GC AT BUILDING FACADE - MED. W**
100%/5 GAL.
- 4' ON CENTER AVG. SPACING
ESCALLONIA X 'COMPACTA' / COMPACT ESCALLONIA
LIGUSTRUM TEXANUM / TEXAS PRIVET
MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS
PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN' / TAWHIWI
PITTOSPORUM TOBIRA 'WHEELER'S DWARF' / DWARF PITTOSPORUM
STRELITZIA REGINAE / BIRD OF PARADISE
- PARKING MEDIANS & ISLANDS - LOW/MEDIUM WATER**
50%/1 GAL. 50%/5 GAL.
6' ON CENTER AVG. SPACING
DIETES BICOLOR / FORTNIGHT LILY
JUNCUS RIGIDUS / RUSH
MISCANTHUS SINENSIS 'MORNING LIGHT' / EULALIA GRASS
MUHLBERGIA CAPILLARIS / PINK MUHLY
PENNISETUM SETACEUM 'RUBRUM' / PURPLE FOUNTAIN GRASS
PHORMIUM TENAX / NEW ZEALAND FLAX
ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY
WESTRINGIA FRUTICOSA / COAST ROSEMARY
- INTERIOR BIO SWALES - LOW WATER**
70% PLUGS, 30%/1 GAL
6' ON CENTER AVG. SPACING
CAREX DIVULSA / BERKELEY SEDGE
CHONDROPETALUM TECTORUM / CAPE RUSH
DIANELLA TASMANICA 'BECCA' / FLAX LILY
LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH

- SLOPE SHRUBS (DEEP ROOTING)**
30% /FLATS, 50%/1 GAL
20%/5 GAL
3' ON CENTER AVG. SPACING
ARCTOSTAPHYLOS UVA-URSI 'EMERALD CARPET' / EMERALD CARPET MANZANITA
BACCHARIS PILULARIS 'PIGEON POINT' / COYOTE BRUSH
CEANOTHUS GLORIOSUS 'POINT REYES' / POINT REYES CEANOTHUS
CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT' / YANKEE POINT CALIFORNIA LILAC
CISTUS X PULVERULENTUS 'SUNSET' / ROCKROSE
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY
SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
- EXISTING VEGETATION TO REMAIN IN PLACE**
-
- LOW TO MEDIUM SHRUB AREA - LOW WATER**
70% / FLATS, 30%/1 GAL.
- 3' ON CENTER AVG. SPACING
BULBINE FRUTESCENS / STALKED BULBINE
CAREX DIVULSA / BERKELEY SEDGE
CEANOTHUS X 'YANKEE POINT' / WILD LILAC
CHONDROPETALUM TECTORUM / CAPE RUSH
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY
SALVIA GREGGII 'LIPSTICK' / AUTUMN SAGE
SALVIA X 'ALLEN CHICKERING' / ALLEN CHICKERING SAGE
SALVIA X 'BEE'S BLISS' / BEE'S BLISS SAGE
- GROUNDCOVER/ SHRUBS AT STREET FRONTAGE - LOW WATER**
70% / FLATS, 30%/1 GAL.
- 3' ON CENTER AVG. SPACING
BOUGAINVILLEA SPP. / BOUGAINVILLEA
CALLISTEMON CITRINUS 'LITTLE JOHN' / DWARF BOTTLE BRUSH
CISTUS PULVERULENTUS 'SUNSET' / ROCKROSE
LANTANA X 'NEW GOLD' / NEW GOLD LANTANA
ROSMARINUS OFFICINALIS 'PROSTRATUS' / DWARF ROSEMARY
SENECIO MANDRALISCAE 'BLUE CHALK STICKS' / SENECIO
STRELITZIA JUNCEA / NARROW-LEAFED BIRD OF PARADISE
- STREET PARKWAY - LOW WATER**
100% SOD
LIPIPPA NODIFLORA 'KURAPIA S1' TM / KURAPIA

ATTACHMENT 10



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STREET YARD

| | Planting Area Required [142.0404] | Planting Area Provided | Excess Area Provided |
|------------|--------------------------------------|------------------------|----------------------|
| Total Area | 39,596 sq. ft. x 25% = 9,899 sq. ft. | 16,051 sq. ft. | 6,152 sq. ft. |

| | | | |
|-------------------------------------|-------------------------------------|--|------------------------|
| Planting Points Required [142,0404] | | Plant Points Provided - To be achieved with trees only | Excess Points Provided |
| Total Area | 39,596 sq. ft. x 0.05= 1,980 points | 2,200 points | 220 points |

| Planting Area Required [142 D405(c)(2)] | Planting Area Provided | Excess Area Provided |
|--|------------------------|----------------------|
| Total Area _____ sq. ft. x 15% = _____ sq. ft. | _____ sq. ft. | _____ sq. ft. |

| | | |
|--|-----------------------|------------------------|
| Plant Points Required [142.0405(c)(2)] | Plant Points Provided | Excess Points Provided |
| Total Area _____ sq. ft. x 0.03 = _____ points | _____ points | _____ points |

REMAINING YARD

| | | | |
|-----------------------------------|-------------------------------------|------------------------|----------------------|
| Planting Area Required [142,0404] | | Planting Area Provided | Excess Area Provided |
| Total Area | 22,703 sq. ft. x 30% ⁽¹⁾ | 6,810 sq. ft. | 20,176 sq. ft. |
| | | | 13,366 sq. ft. |

| Plant Points Required [1÷2,040] | | Plant Points Provided | Excess Points Provided |
|---------------------------------|------------------------|-----------------------|------------------------|
| Total Area | 22,703 sq. ft. x 0.05= | 1,135 points | 1,380 points |
| | | | 1,284 points |

DS-4 (03-06)

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

| Plant Points Required | Plant Points Provided | Excess Points Provided |
|--|-----------------------|------------------------|
| Total VUA: _____ sq. ft. x 0.05 = _____ points | _____ points | _____ points |

VEHICULAR USE AREA (≥6,000 sf) [142.0406 - 142.0407]

| Required Planting Area | | | | Planting Area Provided | Excess Area Provided |
|--------------------------|--------|------------------|-------|------------------------|----------------------|
| VJA inside Street Yard: | 22,597 | sq. ft. x 0.05 = | 1,130 | sq. ft. | 946 |
| VJA outside Street Yard: | 46,161 | sq. ft. x 0.03 = | 1,385 | sq. ft. | 4,727 |

| Required Plant Points | | | Plant Points Provided | Points Provided with Trees (at least half) |
|----------------------------|-------------------------|---------------------|-----------------------|---|
| VJA inside Street Yard | 22,597 sq. ft. x 0.05 = | <u>1,130</u> points | <u>1,200</u> points | <u>1,200</u> points |
| VJA outside Street Yard | 46,161 sq. ft. x 0.03 = | <u>1,385</u> points | <u>1,400</u> points | <u>700</u> points |

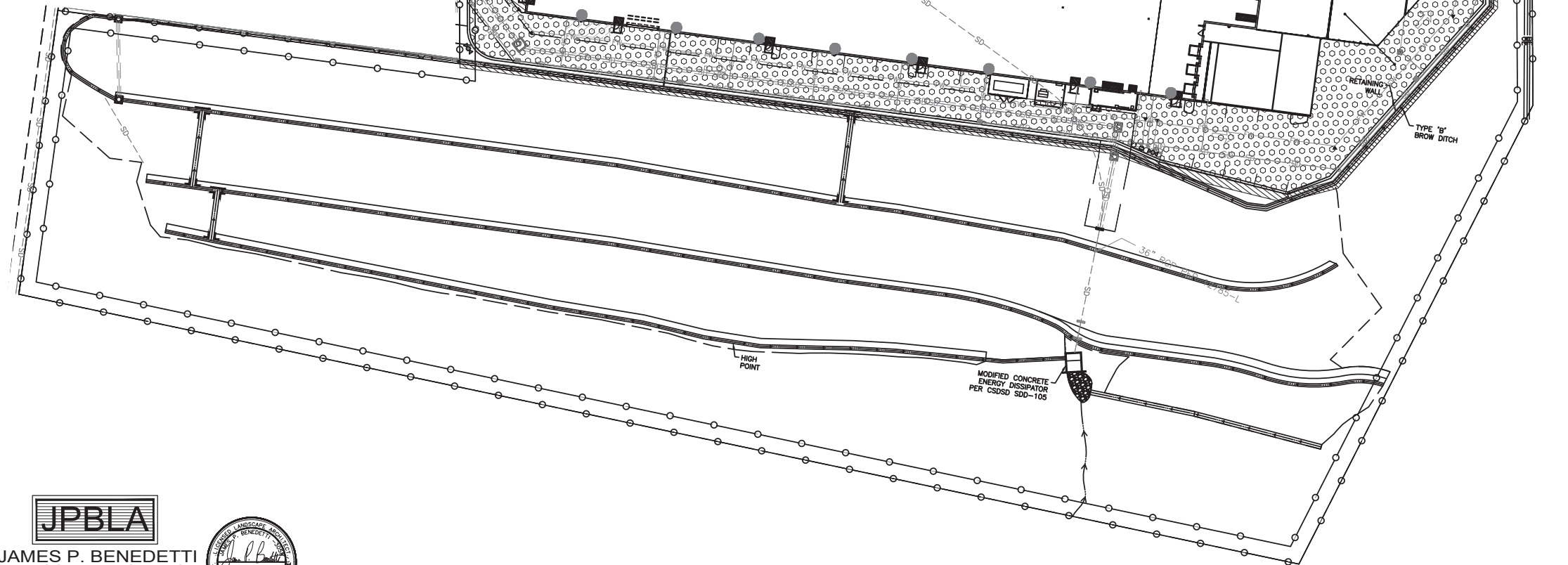
TEMPORARY VEHICULAR USE AREA [142.0408]

| Required Planting Area | Planting Area Provided |
|--|------------------------|
| Length of Public Right-of-Way adjacent to VUA: | |
| ft. x 3 ft. = sq. ft. | sq. ft. |

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

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Upon request, this information is available in alternative formats for persons with disabilities.

DS-5 (03-06)



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MAWA = $\frac{(ETO)(0.62)}{((ETAF \times LA) + ((1 - ETAF) \times XSLA))}$
= $\frac{(47)(0.62)}{((0.45)(161,757))}$
= 2,121,120 GAL/ YR

| Irrigation Method and Efficiency | | | | | |
|----------------------------------|------|--------------|------|---------------|------|
| Bubblers | 0.85 | Fixed Spray | 0.55 | Rotator Spray | 0.70 |
| Drip | 0.90 | Micro Sprays | 0.70 | Rotors | 0.70 |
| Drip Irrigation | 0.80 | MP Rotators | 0.75 | Spray Heads | 0.60 |

| Plant Water Use | Plant Factor | Also includes |
|------------------------|-----------------|-----------------|
| Low | <0.1 - 0.2 | Artificial Turf |
| Moderate | 0.3 - 0.7 | |
| High | 0.8 and greater | Water features |
| Special Landscape Area | 1.0 | |

Use the following table to tack information about each controller in the system.




| Controller No. | Hydrozone No. | Valve Circuit | Plant Factor (PF) | Hydrozone Area in s.f. (HA) | Irrigation Method | Irrigation Efficiency (IE) | % Total Landscape Area |
|----------------|---------------|---------------|-------------------|-----------------------------|-------------------|----------------------------|------------------------|
| 1 | 1 | | 0.2 | 25,222 | DRIP | 0.90 | 19% |
| 1 | 2 | | 0.2 | 134,860 | MP ROTATOR | 0.75 | 80% |
| 1 | 3 | | 0.5 | 1,675 | BUBBLER | 0.85 | 1% |
| Total | | | | | | | 100% |

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget.

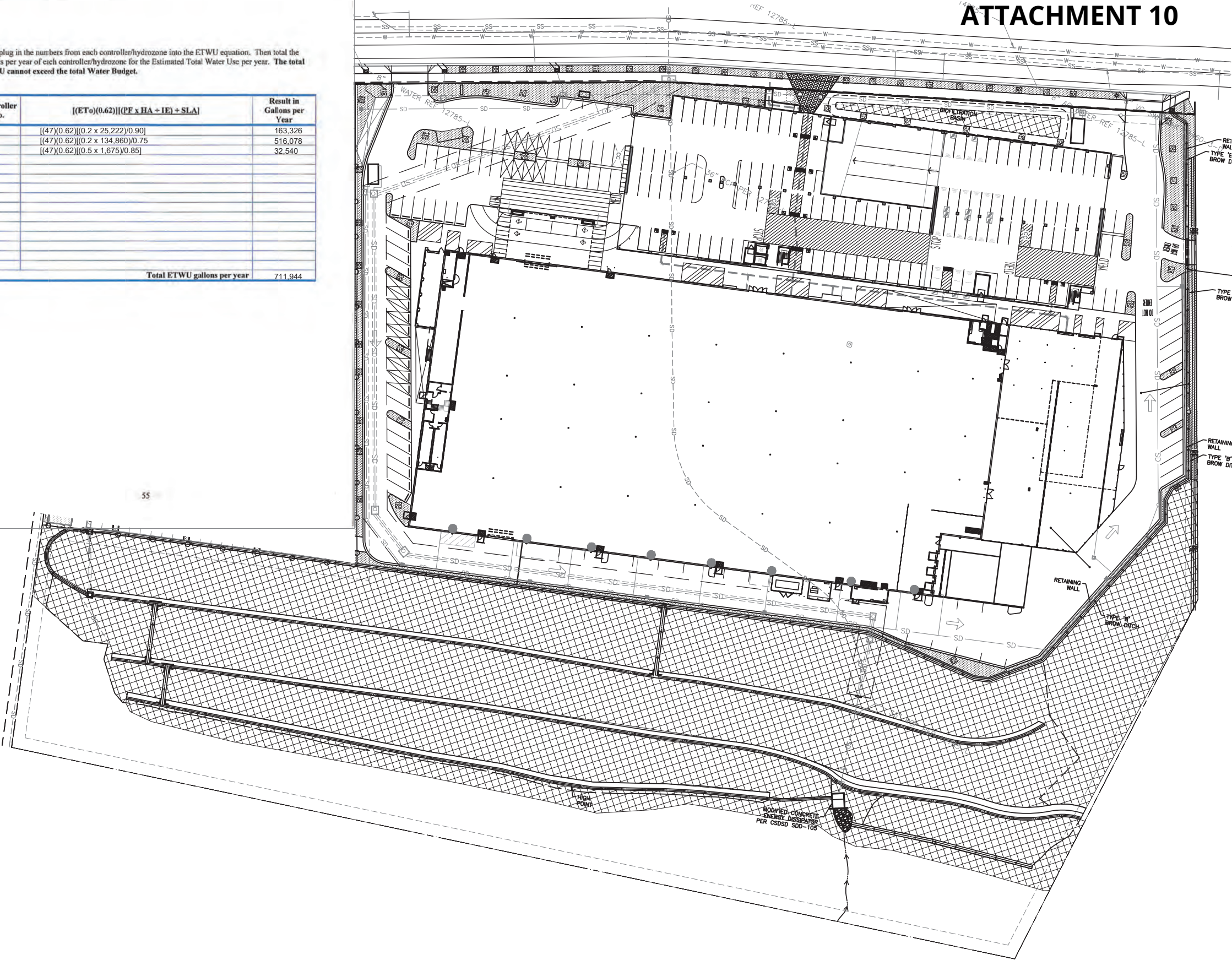
| Controller No. | $[(ETO)(0.62)] \div [(PF \times HA \div IE) + SLA]$ | Result in Gallons per Year |
|-----------------------------|--|----------------------------|
| 1 | $[(47)(0.62)] \div [(0.2 \times 25,222) \div 0.90]$ | 163,326 |
| 1 | $[(47)(0.62)] \div [(0.2 \times 134,860) \div 0.75]$ | 516,078 |
| 1 | $[(47)(0.62)] \div [(0.5 \times 1,675) \div 0.85]$ | 32,540 |
| Total ETWU gallons per year | | 711,944 |

HYDROZONE PLAN

LEGEND

- 1  HYDROZONE ONE: DRIP (LOW WATER USE)
(25,222 SF, 19% OF TOTAL LANDSCAPE AREA)
- 2  HYDROZONE TWO: SPRAY MP ROTATOR (LOW WATER-USE)
(134,860 SF, 80% OF TOTAL LANDSCAPE AREA)
TO BE PERMANENTLY IRRIGATED
- 3  HYDROZONE THREE: BUBBLERS (MEDIUM-WATER USE)
(1,675 SF, 1% OF TOTAL LANDSCAPE AREA)

TOTAL AREA 161,757 SF



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WATER
CONSERVATION
PLAN

LC-HD-4

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