



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: September 22, 2022 REPORT NO. PC-22-051

HEARING DATE: September 29, 2022

SUBJECT: CALIFORNIA TERRACES PA61 (LOT 1), Process Five Decision

PROJECT NUMBER: [690358](#)

REFERENCE: Initiation of an amendment to the Otay Mesa Community Plan to re-designate a 4.46-acre site from Community Commercial-Residential prohibited to Residential Medium, [Planning Commission Report No. PC-21-021](#).

OWNER/APPLICANT: TRI POINTE HOMES, INC./CIVIL SENSE, INC.

### SUMMARY

Issues: Should the Planning Commission recommend to the City Council approval of an application for the construction of 79 residential condominium units located south of Otay Mesa Road, east of Caliente Avenue and north of State Route 905 within the Otay Mesa Community Plan area?

### Staff Recommendations:

1. Recommend the City Council Adopt Addendum No. 690358 and the Mitigation Monitoring and Reporting Program (MMRP) to Program Environmental Impact Report (PEIR) No. 30330/304032 /SCH No. 2004651076;
2. Recommend the City Council Approve General Plan/Community Plan Amendment No. 2568959;
3. Recommend the City Council Approve General Plan Amendment No. 2568959;
4. Recommend the City Council Approve Rezone No. 2568954;
5. Recommend the City Council Approve Master Planned Development No. 2568951;
6. Recommend the City Council Approve Site Development Permit No. 2568952;

7. Recommend the City Council Approve Neighborhood Development Permit No. 2568953; and
8. Recommend the City Council Approve Vesting Tentative Map No. 2568950;

Community Planning Group Recommendation: On November 17, 2021, the Otay Mesa Community Planning Group voted 10-0-1 to recommend approval of the project with no conditions (Attachment 18).

Environmental Review: Addendum No. 690358 to PEIR No. 30330/304032/SCH No. 2004651076 has been prepared in accordance with the California Environmental Quality Act Statutes and Guidelines. Based upon a review of the proposed project, it has been determined that there are no new significant environmental impacts not considered in the previous PEIR, no substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project. A MMRP for Transportation/ Circulation, Biological Resources, and Noise, would be implemented with this project, which will reduce the potential impacts to below a level of significance.

Fiscal Impact Statement: No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The Otay Mesa Community Plan designates the 4.46-acre site for Community Commercial-Residential Prohibited. The proposed project includes a General/Community Plan amendment that redesignates the site to Residential-Medium 15-29 dwelling units per acre, allowing 67 to 129 multifamily dwelling units where none are currently allowed. The project proposes a total of 79 multifamily residential units, including 8 affordable housing units at 100 percent of Area Median Income (AMI) for a period of 55 years. The proposed dwelling units will add to the City's housing stock and help address the City-wide housing crisis.

## BACKGROUND

The 4.46-acre site is located on the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, north of State Route 905 within the CC-1-3 and AR-1-1 zone of the Northwest District of the Otay Mesa Community Planning area. The site is designated Community Commercial-Residential Prohibited within the Otay Mesa Community Plan. Additionally, the project lies within the Airport Influence Area (Brown Field/Review Area 2), the Community Plan Implementation Overlay Zone Type A (CPIOZ-A), the FAA Part 77 Notification Area (Brown Field / 576' AMSL) and the Transit Priority Area. The project site is directly bounded by State Route 905 (SR-905) to the south, Caliente Avenue and vacant property to the west and a park and ride lot, Otay Mesa Road and residential development to the north and residential development to the east (Attachment 2).

There have been three development projects related to the site described in detail below.

### **1. California Terraces Precise Plan and Vesting Tentative Map (VTM)**

The Planning Area 61 (PA61) project site was part of the Tri Pointe Homes California Terraces project that was approved through a Community Plan Amendment (CPA), a Master Rezone, the California Terraces Precise Plan (Precise Plan), Vesting Tentative Maps (VTMs) for California Terraces (VTM No. 86-1032) and South Palm Vista (VTM No. 90-0574), a Hillside Review Permit, Resources Protection Ordinance Permit, a Planned Development Permit, a Small Lot Overlay Zone, and a Community Plan Implementation Overlay Zone (CPIOZ) A (which has since been superseded by the Otay Mesa CPIOZ described below). The Precise Plan included development of approximately 664.8 acres in the western portion of Otay Mesa with 5,375 residential dwelling units, 22.4 acres of commercial uses, 153.4 acres of open space, four school sites comprised of 53.6 acres, 26.2 acres for parks, and other associated public utilities. The current project site was identified as a portion of PA61 and designated and zoned the site as Commercial. The Precise Plan identifies the site for commercial use that would provide for goods and services to the community's residential areas to the north and employment areas to the east and further envisions development of either a retail commercial center or commercial offices to include financial services.

An Environmental Impact Report (EIR) (No. 86-1032/SCH No. 85022015) was prepared to evaluate the overall impacts of the Precise Plan and the associated discretionary actions. The EIR was certified by the San Diego City Council on April 12, 1994, via Resolution No. R-283692. VTM No. 86-1032 showed grading of the entire PA61 project area and a grading permit was issued for the site pursuant to the approved VTM. Nearly all of California Terraces (now called Ocean View Hills) has been developed (or graded) and SR-905 was completed south of the project site.

### **2. Otay Mesa Community Plan Update**

Subsequent to the approval of the Precise Plan, the Otay Mesa Community Plan underwent an update as set forth in the 2013 Otay Mesa Community Plan (2013 OMCP). The overall impacts of the 2013 OMCP were evaluated in a PEIR (No. 30330/304032; SCH No. 2004651076) that was certified by the San Diego City Council on March 11, 2014, via Resolution No. R-308810 (2013 PEIR). Approval of the 2013 OMCP included a CPA, a General Plan Amendment (GPA), rescission of the Otay Mesa Development District, adoption of a Rezone Ordinance to replace the Otay Mesa Development District with citywide zoning, and creation of two new CPIOZs, amendments to the City's Land Development Code (LDC), and an update of the Otay Mesa Community Plan Public Facilities Financing Plan (PFFP).

The 2013 OMCP provides a 20 to 30-year comprehensive policy framework for growth and development throughout the Otay Mesa community. The 2013 OMCP identifies a land use strategy to create villages, activity centers, and industrial/employment centers along major transportation corridors while strengthening cultural and business linkages to Tijuana, Mexico via the Otay Mesa Port of Entry. The 2013 OMCP identifies five planning districts interconnected through activities and infrastructure. The project site is located within the Northwest District.

The 2013 OMCP Land Use Element establishes a number of planning goals intended to ensure the development of a variety of uses, facilities, and services needed to serve the community of Otay Mesa; provide distinct villages that include places to live, work, and recreate; provide diversified commercial uses that serve the local, community, and regional needs; and provide sufficient industrial land capacity to maintain Otay Mesa as a subregional employment center, among others.

Additionally, to strengthen residential development potential, the 2013 OMCP built on previously approved community and precise plans in terms of land uses, incorporating the existing land uses and densities for developed or approved neighborhoods including those within the Precise Plan.

The 2013 OMCP includes the same nine elements contained in the City of San Diego's (City) General Plan, with goals and policies for each element. The nine elements are: Land Use; Mobility; Urban Design; Economic Prosperity; Public Facilities, Services, and Safety; Recreation; Conservation; Noise; and Historic Preservation. Village planning goals contained within the 2013 OMCP include creating housing near job/employment centers and transit with compact, pedestrian-friendly orientation to implement the General Plan City of Villages strategies.

The 2013 PEIR concluded that implementation of the community plan update would result in significant and unmitigated environmental impacts to air quality, greenhouse gas (GHG) emissions, noise, traffic/circulation, and utilities. The following issue areas were determined to be significant but mitigated to below a level of significance with mitigation: land use, biological resources, historical resources, hydrology/water quality, geology, and paleontological resources. All other impacts analyzed in the 2013 PEIR were determined to be less than significant.

### **3. California Terraces PA61**

In 2019, the action to subdivide California Terraces PA61 into two lots was approved by the City as Project No. 605191, Final Map No. 16413 (recorded on August 27, 2020; hereinafter referred to as 2019 PA61 project). The 2019 PA61 project included the construction of up to 267 multi-family dwelling units within the eastern portion of the site (Lot 2) and 45,000 square feet of commercial use within the 4.46-acre western portion (Lot 1; project site). As part of the City Council action, the community plan land use designation was amended from Community Commercial (Residential Prohibited) to Residential Medium (15-29 Dwelling Units per Acre) and rezoned from CC-2-1 to RM-2-5. Lot 2 was not included in the community plan amendment. However, Lot 1 was rezoned from CC-2-1 to CC-1-3. Consistent with California Environmental Quality Act (CEQA) Sections 15162 and 15164, it was determined that no changes in circumstances had occurred, and no new information of substantial importance had manifested which would result in new significant or substantially increased adverse impacts, compared to the 2013 PEIR. Therefore, an Addendum to the 2013 PEIR (2019 Addendum) was approved.

The 2019 PA61 project was conditioned on compliance with a MMRP that included mitigation measures applicable to the project as outlined in the 2013 PEIR mitigation framework. The MMRP also includes additional measures required by project-specific technical studies. Specific mitigation measures included in the MMRP related to the following: Biological Resources (Burrowing Owl); Historical Resources (Archeological/Native American grading monitors); Paleontological Resources

(Grading Monitor); and Traffic (three Existing Plus Project and Opening Day Plus Project Direct significant impacts, and five Horizon Year cumulative impacts). Consistent with the 2013 PEIR, the 2019 Addendum found that although traffic mitigation was proposed, significant cumulative impacts would remain. The traffic impacts identified by the project-specific Transportation Impact Analysis (TIA) were consistent with those identified in the 2013 PEIR.

It is noted that the entire PA61 site has been mass-graded consistent with the approved 2019 PA61 project, and relevant pre-construction and grading-related mitigation has been completed.

## DISCUSSION

### Project Description:

The project site is comprised of a 4.46-acre lot (Lot 1 of the 2019 PA61 project). The project proposes the development of 79 multi-family dwelling units in 12 buildings, along with private drives, vehicular and motorcycle parking, pedestrian improvements, landscaping, and recreational amenities. The project would be subject to the Design Guidelines previously approved with the 2019 PA61 project to create a cohesive village. In addition to providing a comprehensive vision for the development of the project, the Design Guidelines also provide site amenities and architectural details relating to buildings, roadways and sidewalks, lighting, landscaping, and walls and fencing (see Chapter 3.0, Design Guidelines of the Master Planned Development Permit (Attachment 15)

The project site is located at the southeast corner of Caliente Avenue and Otay Mesa Road (Assessor's Parcel Number 645-080-160). There is an existing approved site plan for the development of 45,000 square feet of commercial use within the project site associated with the 2019 PA61 project. However, the project is proposing the construction of 79 multi-family residential condominium units with supporting improvements.

The project would implement Master Plan Development Permit Design Guidelines (Attachment 15), which would guide the development and processing of the proposed project (see Figure 1 below).

The project would provide needed housing and focus growth into a pedestrian-friendly residential village including an open turf area and tot lot, within proximity to transit. The City of Villages strategy encourages future development to increase housing supply and diversity with compact, mixed-use activity centers that are integrated into the larger community. As a residential development, the project would increase the housing supply within the Otay Mesa Community Plan area, within a Transit Priority Area (TPA), and in proximity to existing and planned commercial uses.

The project's development summary is shown in Table 1.

Table 1 Development Summary				
Land Use	Zoning	Acres	Square Feet	Maximum/ Proposed Units
Multi-Family Residential	RM-2-5	4.43	193,084	130/ 79
Recreational Space	NA	0.031	1,368	NA



Figure 1: Illustrative Site Plan

Access to the project would be via a driveway from Calle Albatross, which is an existing right-of-way dedicated per Map No. 16413 that intersects with Otay Mesa Road. Internal private drives would connect to Calle Albatross, creating connectivity throughout the project site. Additionally, internal sidewalks would allow the project to connect to the 2019 PA61 project, which contains an on-site park and other residential amenities. The 2019 PA61 project was conditioned to construct a six-foot noncontiguous sidewalk along the project frontage on Otay Mesa Road and replace the sidewalk along Caliente Avenue with a six-foot non-contiguous sidewalk along the project frontage to provide an exterior pedestrian connection to adjacent commercial sites and transit stops. These improvements have been constructed.

The project is required to provide a minimum of 153 automobile parking spaces (including four accessible spaces), and eight motorcycle spaces, consistent with SDMC Section 142-05C. The project would provide a total of 158 garage spaces, four accessible spaces, 20 driveway parking, 23 open spaces, and seven electric vehicle-capable spaces, for a total of 212 vehicular parking spaces.

#### Required Approvals:

Due to process consolidation, all actions are processed concurrently as a Process Five. Development of the proposed project requires:

- Process 5 Land Use Plan Amendment to amend the Otay Mesa Community Plan to redesignate 4.46-acres of the site from Community Commercial-Residential Prohibited to Residential Medium, which would permit multi-family residential development at a density range of 15 to 29 dwelling units per acre;
- Process 5 rezone to rezone 4.46-acres of the project site from CC-1-3 and AR1-1 to RM-2-5 to allow residential development;
- Process 4 Master Planned Development Permit in accordance with SDMC Section 143.0480 to amend the existing design guidelines and development regulations;
- Process 4 Vesting Tentative Map to allow for the subdivision of 79 residential unit condominiums;
- Process 3 Site Development Permit for development on environmentally sensitive lands in the form of Sensitive Biological Resources; and
- Process 2 Neighborhood Development Permit to allow for deviations to the applicable development regulations, per Section 143.0920(a) of the City's Municipal Code.

#### Community Plan Analysis:

##### *Land Use*

The proposed 4.46-acre project site is designated in the General Plan for Commercial, Employment, Retail & Services. The Otay Mesa Community Plan designates the project site for Community Commercial-Residential Prohibited. The project proposes a General/Community Plan Amendment will redesignate the site from Commercial, Employment, Retail & Services to Residential in the General Plan and redesignate the site from Community Commercial-Residential Prohibited to Residential-Medium 15-29 dwelling units per acre in the Otay Mesa Community Plan to allow multifamily residential development on site.

##### *Residential*

Policy HE-A.2 of the Housing Element recommends encouraging location and resource-efficient development whereby housing is located near employment, shopping, schools, recreation, transit,

and walking/bicycling infrastructure. The project will implement this policy by locating close to facilities in the area including: three schools near the site. Ocean View Hills Elementary School and Vista Del Mar Middle School are within approximately 1.5 miles of the site, and San Ysidro High School is less than one mile from the subject site. The site is located approximately 1.5 miles from Cesar Solis Community Park, and approximately 2 miles from Ocean View Hills Neighborhood Park. The Palm Promenade, a regional shopping center with approximately 489,000 square feet-in the Northwest District, is within 3 miles of the site.

General Plan Policy LU-C.3 recommends maintaining or increasing the City's supply of land designated for various residential densities as community plans are prepared, updated, or amended. The proposed project will implement this policy by amending the land use designation of the General Plan from Commercial Employment, Retail & Services to Residential and amending the Otay Community Plan designation for the site from Community Commercial-Residential Prohibited to Residential-Medium 15-29 dwelling units per acre, which will allow 67 to 129 multi-family dwelling units on site where none currently exist.

To meet the balanced communities goal of ensuring diverse and balanced neighborhoods and communities with housing available for households of all income levels, the proposed project will include 8 affordable housing units on-site, with units of varying size. The provision of affordable housing will also implement General Plan Land Use Element Policy LU-H3 which calls for the provision of a variety of housing types that are affordable in nature in residential and village developments. The site is directly adjacent to the MTS Routes 905 A & B and planned high frequency transit service, connecting the site to employment areas within Otay Mesa, including the Ocean View Hills Corporate Center and Otay Corporate Center South. The property is also located near regional and community commercial uses at the Palm Promenade and the planned Southwest Village.

Policy 2.2-1(d) of the Land Use Element of the Otay Mesa Community Plan recommends developing the remaining undeveloped neighborhoods with a variety of housing types and targeting the upper limits of the density ranges. The proposal will implement this policy through development of remaining undeveloped commercially designated land at a medium density range of 15-29 du/ac, the second highest range in the Community Plan. Policy 2.1-2 (j) of the Land Use Element recommends providing development at densities that support transit as an integral component of village areas and corridors. As proposed, the medium density residential development will be served by Metropolitan Transit Service (MTS) bus Routes 905 A & B as well as planned bus rapid transit service. Multiple bus stops are located along Otay Mesa Road, implementing this policy. There is also a park and ride lot approximately 0.5 mile west of the project site. This lot, the Caliente Avenue Park and Ride Lot #80, is a state-owned facility maintained by Caltrans and has 226 parking spaces implementing this policy.

### *Mobility*

The General Plan Mobility Element has a goal for creating a safe and comfortable pedestrian environment. The proposed project will implement this goal and its implementing policies ME-A.1 and ME-A.7 emphasizing pedestrian safety and comfort, through a design that features a circulation pattern with extensively landscaped sidewalks, drought tolerant landscaping within the park and children's play areas, and canopy trees that provide shade along the sidewalks, to maximize



pedestrian comfort and safety.

Policy 3.4-1 (a) in the Mobility Element recommends the refinement and implementation of the Bicycle Master Plan in the Otay Mesa Community Plan area by developing bicycle facilities that implement internal connectivity to activity areas within the community and links to the regional bicycle network. An existing class III shared bicycle facility is on Otay Mesa Road and can be accessed from the subject site. The Community Plan proposes a Class II bicycle lane for Otay Mesa Road, implementing this policy. In addition, the owner will construct a non-buffered 7-foot bike lane on Otay Mesa Road and a non-buffered 5-foot bike lane on Caliente Avenue.

#### *Urban Design*

The proposed project is located within the Northwest District of the Otay Mesa community planning area. The Northwest District is envisioned as a compact, active area that creates sustainable and efficient land use patterns, is pedestrian-friendly, transit-oriented and includes a variety of residential, commercial and civic spaces.

Policy 4.3-3 in the Community Plan recommends developing buildings and street frontages with architectural interest adjacent to public areas and the public right-of-way and to use design techniques such as façade step-backs, articulation, off-setting planes, unique roof forms, and varied building elevations. The proposed project includes housing designs that feature three-story structures with extensive vertical and horizontal offsets, balconies, varied fenestration with arched paseos and patios engaging the public right-of-way and implementing this policy. Both staggered, flat roof and pitched roof designs further implement the policy and typify the housing for the area.

The Urban Design Element also recommends providing a street tree plan that utilizes species within the Otay Mesa Street Tree Plan. To foster a cohesive sense of place, the project will utilize the dominant street trees within the project area to be consistent with the street trees used along adjacent rights-of-way and throughout the Northwest District of the Otay Mesa Community Plan and the California Terraces Precise Plan. Plant selection will reflect the importance of water conservation, fire resistance, and erosion control with emphasis on Caliente Road, Calle Albatross and Otay Mesa Road. The project will plant 24-inch box canopy tree species, which will include: Silk, White Alder, Peppermint, Willow, Silk Oak, Southern Magnolia and Tipu.

#### *Recreation*

The Recreation Element of the General Plan has a specific policy, RE-D.3, to provide recreation programs and services specifically designed to meet the needs of children, the increasing elderly population, persons with disabilities and the underserved teenage population. This policy will be implemented through the inclusion of a private park area within the proposal. Active and passive recreational areas and a butterfly garden area are proposed to be located in the south portion of the site. The butterfly garden will feature seating to enjoy and observe attracted wildlife, such as butterflies and hummingbirds. The active and passive recreational areas will incorporate features ranging from natural play areas to turf space. Adjacent to this area is a proposed pocket park, planned as a focal point at the terminus of Street "A". The 8,600 square foot park will accommodate active and passive activities through pedestrian- scaled lighting, sitting areas, bicycle racks and trash receptacles

that will be featured. An open grassy area and tot lot will provide play space for children, and large trees will provide shade along a winding walkway.

*Conservation and Environmental Quality*

An overall goal in the General Plan Conservation Element is to reduce the City's overall carbon footprint by improving energy efficiency, increasing use of alternative modes of transportation, employing sustainable planning and design techniques. To meet this goal, Conservation Element Policy CE-A.2 calls for achieving this goal by reducing the Urban Heat Island Effect through sustainable design and building practices. The proposed project will feature strategies consistent with sustainable development including cool/green roofs, use of low-flow fixtures/appliances and electric vehicle charging stations. The project will also include drought-tolerant plant material.

Project-Related Issues:

Deviations- The proposed development includes ten percent affordable housing and qualifies as an Affordable Housing development project pursuant to SDMC Section [143.0915](#). An applicant may request deviations from the applicable development regulations in accordance with a Neighborhood Development Permit decided in accordance with Process Two, provided that the findings in SDMC Section [126.0404\(a\) and \(f\)](#) are made. The following Table 2 lists the proposed deviations, which is followed by the justifications for the deviations:

<b>DEVIATIONS SUMMARY</b>			
<b>Table 2</b>			
<b>Deviation</b>	<b>Deviation from SDMC</b>	<b>Required</b>	<b>Proposed</b>
<b>1. Street Side Yard Setback</b>	<a href="#">SDMC Section 131.0443,</a> <a href="#">Table 131-04G</a>	10 feet or 10 percent of the premise's width, whichever is greater. Required setback is 40 feet	10 feet street side yard setback
<b>2. Side Yard Setback</b>	<a href="#">SDMC Section 131.0443,</a> <a href="#">Table 131-04G</a>	Five feet or 10 percent of the premise's width, whichever is greater. Required setback is 40 feet	10 feet side yard setback
<b>3. Front Yard Setback</b>	<a href="#">SDMC Section 131.0443,</a> <a href="#">Table 131-04G</a>	15 feet minimum 20 feet standard	10 feet front yard setback along Otay Mesa Road
<b>4. Rear Yard Setback</b>	<a href="#">SDMC Section 131.0443,</a> <a href="#">Table 131-04G</a>	15 feet	10 feet rear yard setback

1. The street side yard setback deviation is being requested for residential dwelling units located along Calle Albatross and Caliente Ave. At just over 400 feet in width, the required minimum street

side yard setback would equate to 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing pedestrian-level activity and providing strong transitions between residential and commercial areas. Requiring 40 feet side setback would eliminate much of the development footprint and the project will not be able to maximize the number of the residential units.

2. The side yard setback deviation is being requested for the residential dwellings located along the western and eastern property lines (Figure 2). The project site has a width of over 400 feet, requiring a minimum side setback of 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing, affordable housing, and pedestrian-level activity.

3. The front yard setback is being requested due to an existing cul-de-sac street off Otay Mesa Road (Calle Albatross) that will provide driveway access to the proposed development. With the deviation, the project will be able to maximize its developable area and allow for an adequate parkway inclusive of noncontiguous sidewalks, rear yard landscaping for dwelling units adjacent to Otay Mesa Road and pedestrian access and building articulation.

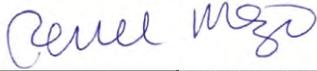
4. The project is proposing a rear yard setback of 10 feet. Due to existing site constraints, there is only one existing cul-de-sac street off of Otay Mesa Road (Calle Albatross) that will provide driveway access to the proposed development. The property is bounded by SR-905 to the south, Caliente Avenue to the west, and Otay Mesa Road to the north. The deviation is minimal and allows for adequate landscaping, pedestrian access and building articulation that are appropriate for this location.

The above four deviations have been analyzed by staff and determined to be consistent with the goals and recommendations of the General Plan, the Otay Mesa Community Plan, and the purpose and intent of the RM-2-5 zone. The proposed development will assist in providing affordable housing units and market-rate housing opportunities in a transit priority area.



Monitoring, and Reporting Program, and deny Community Plan Amendment Permit No. 2568959, Rezone Permit No. 2568954, Master Planned Development Permit No. 2568951, Site Development Permit No. 2568952, Neighborhood Development Permit No. 2568953, and Vesting Tentative Map No. 2568950, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Renee Mezo  
Assistant Deputy Director  
Development Services Department



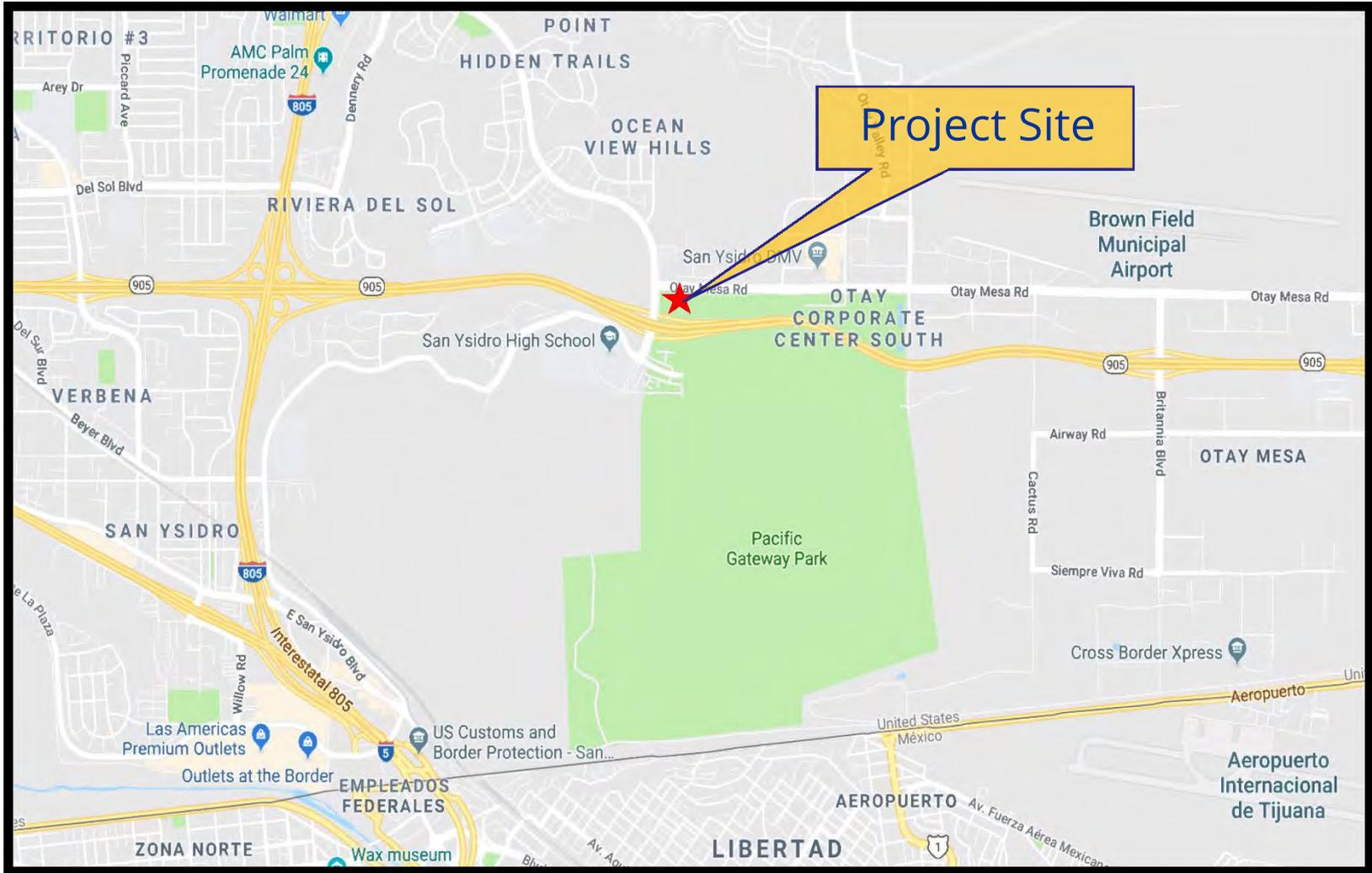
Benjamin Hafertepe  
Development Project Manager  
Development Services Department



Tait Galloway  
Deputy Director  
Planning Department

Attachments:

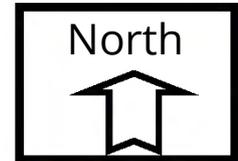
1. Location Map
2. Aerial Photograph
3. Existing Land Use Designation
4. Proposed Land Use Designation
5. Draft Environmental Resolution with MMRP (Addendum to PEIR)
6. Draft Permit Conditions and Findings
7. Draft Vesting Tentative Map Resolution with Conditions and Findings
8. Draft Community Plan Amendment Resolution
9. Draft General Plan Amendment document
10. Draft Community Plan Amendment Documents: Include Strikeout/Underline Text, and Revised Graphics
11. Draft Rezone Ordinance
12. Rezone - B Sheet
13. Copy of Recorded (existing) Permit - [link only](#)
14. Draft Master Plan Development Permit Design Guidelines
15. Project Plans
16. Market Analysis
17. Community Planning Group Recommendation
18. Ownership Disclosure Statement

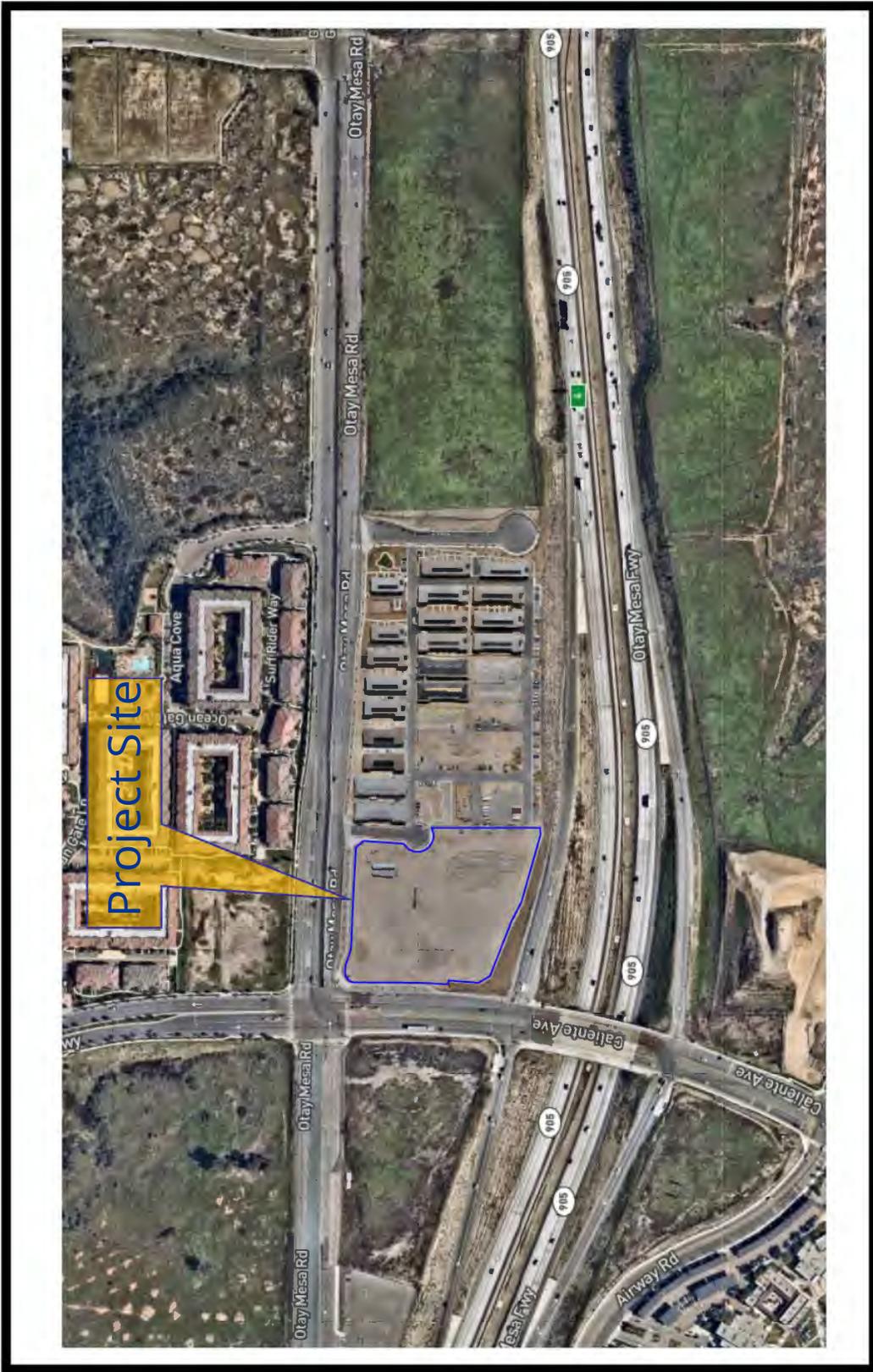


# Location Map

**Cal Terrace PA61 - Lot 1 Project 690358**

**Southeast corner of the intersection of Caliente Avenue and Otay Mesa Road,  
north of State Route 905**

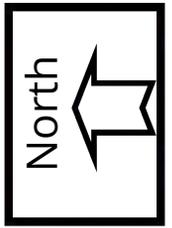


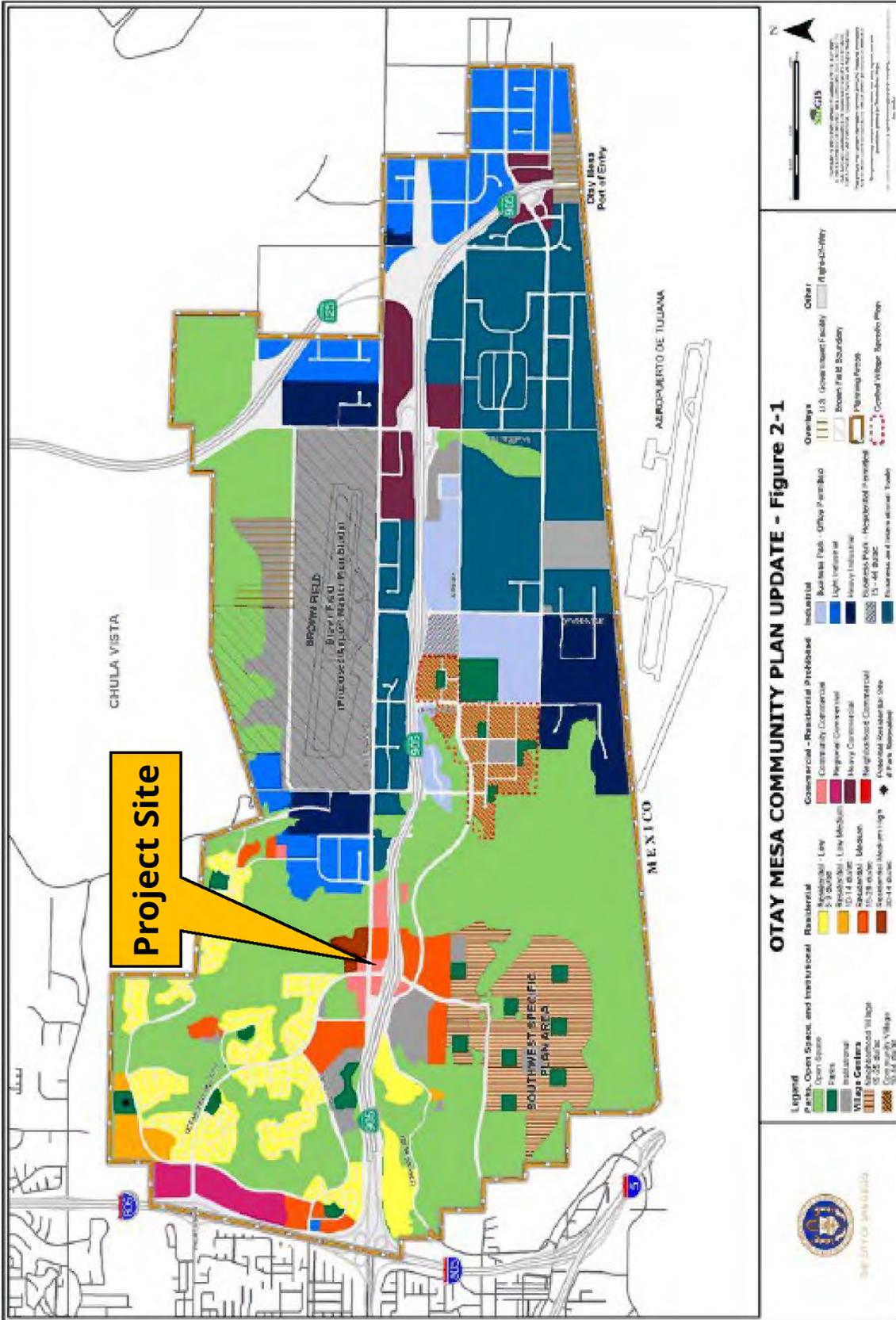


# Aerial Photograph

Cal Terrace PA61 -Project 605191

Southeast corner of the intersection of Caliente Avenue and Otay Mesa Road,  
north of State Route 905

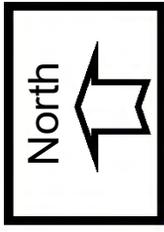




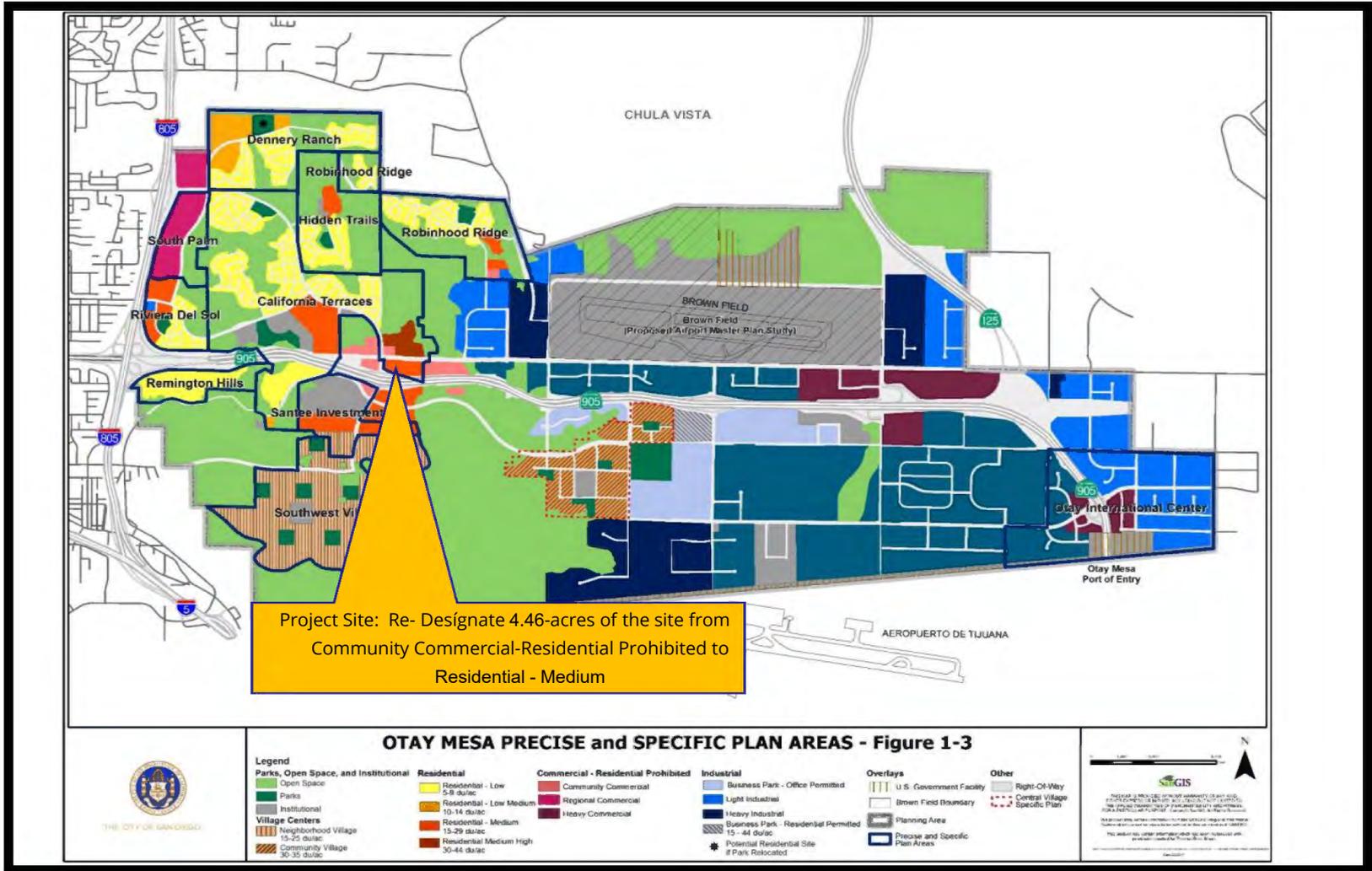
# Land Use Map

Cal Terrace PA61 - Lot 1 Project 690358

Southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, north of State Route 905







Project Site: Re-Designate 4.46-acres of the site from Community Commercial-Residential Prohibited to Residential - Medium



# Community Plan Land Use Map Proposed

**Cal Terrace PA61 - Lot 1 Project 690358**

**Southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, north of State Route 905**



RESOLUTION NUMBER R-

ADOPTED ON

**A RESOLUTION OF THE COUNCIL OF THE CITY  
OF SAN DIEGO ADOPTING ADDENDUM NO. 690358 TO PROGRAM  
ENVIRONMENTAL IMPACT REPORT NO. 30330/304032 / SCH NO.  
2004651076 AND THE MITIGATION, MONITORING, AND  
REPORTING PROGRAM**

WHEREAS, the City of San Diego Planning Department conducted a comprehensive plan update to the Otay Mesa Community Plan that included a General Plan Amendment, rescission of the Otay Mesa Development District, adoption of a Rezone Ordinance to replace the Otay Mesa Development District with citywide zoning and the creation of two new Community Plan implementation Overlay Zones, amendments to the City's Land Development Code, and an update of the Otay Mesa Community Plan Public Facilities Financing Plan; and

WHEREAS, on March 11, 2014, the San Diego City Council adopted Resolution No. R-308810, certifying the Program Environmental Impact Report No. 30330/304032, a copy of which is on file in the Office of the City Clerk in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on April 21, 2021, Tri Pointe Homes, Inc. submitted an application to the Development Services Department for approval of Community Plan Amendment, Rezone, Vesting Tentative Map, Master Planned Development Permit, Site Development Permit, and Neighborhood Development Permit for the California Terraces PA-61 Lot 1 project as well as minor technical changes or additions to the Project; and

WHEREAS, State CEQA Guidelines section 15164(a) allows a lead agency to prepare an Addendum to a final Program Environmental Impact Report if such Addendum meets the requirements of CEQA; and

BE IT RESOLVED, by the City Council of the City of San Diego as follows:

1. That the information contained in the final Program Environmental Impact Report (PEIR) No. 30330/304032 / SCH No. 2004651076 along with the Addendum thereto, including any comments received during the public review process, has been reviewed and considered by this Council of the City of San Diego prior to making a decision on the Project.
2. That there are no substantial changes proposed to the Project and no substantial changes with respect to the circumstances under which the Project is to be undertaken that would require major revisions in the PEIR No. 30330/304032 / SCH No. 2004651076 for the Project.
3. That no new information of substantial importance has become available showing that the Project would have any significant effects not discussed previously in the Program PEIR No.

## ATTACHMENT 5

30330/304032- / SCH No. 2004651076 or that any significant effects previously examined will be substantially more severe than shown in the PEIR No. 30330/304032- / SCH No. 2004651076.

4. That no new information of substantial importance has become available showing that mitigation measures or alternatives previously found not to be feasible are in fact feasible which would substantially reduce any significant effects, but that the Project proponents decline to adopt, or that there are any considerably different mitigation measures or alternatives not previously considered which would substantially reduce any significant effects, but that the Project proponents decline to adopt.

5. That pursuant to State CEQA Guidelines Section 15164, only minor technical changes or additions are necessary, and therefore, the San Diego City Council adopts Addendum to PEIR No. 30330/304032 / SCH No. 2004651076 with respect to the Project, a copy of which is on file in the office of the City Clerk.

BE IT FURTHER RESOLVED that pursuant to CEQA Section 21081.6, the Council of the City of San Diego adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this Council of the City of San Diego in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: MARA W. ELLIOTT

By: \_\_\_\_\_  
[NAME], [DEPUTY CITY ATTORNEY]

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**

**MITIGATION MONITORING AND REPORTING PROGRAM**

**COMMUNITY PLAN AMENDMENT, REZONE, VESTING TENTATIVE MAP, MASTER PLANNED DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT, NEIGHBORHOOD DEVELOPMENT PERMIT**

**PROJECT NO. 690358**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Addendum No. 690358 to Program Environmental Impact Report No. 30330/304032 shall be made conditions of Community Plan Amendment, Rezone, Vesting Tentative Map, Master Planned Development Permit, Site Development Permit, and Neighborhood Development Permit as may be further described below.

**MITIGATION, MONITORING, AND REPORTING PROGRAM (MMRP) INCORPORATED INTO THE PROJECT**

The project shall be required to comply with the applicable mitigation measures outlined within the MMRP of the previously certified Program EIR (No. 30330/304032/SCH No. 2004651076) and those identified with the project-specific subsequent technical studies. The following MMRP identifies measures that specifically apply to this project.

**A. GENERAL REQUIREMENTS: PART I - Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS: PART II – Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRECONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder’s Representative(s), Job Site Superintendent and the following consultants: *Qualified Acoustical Monitor*

**Note: Failure of all responsible Permit Holder’s representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**

b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 6690358 and/or Environmental Document No. 690358, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD’s Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

**Note: Permit Holder’s Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: ***Not Applicable***
  
4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

**Document Submittal/Inspection Checklist**

<b>Issue Area</b>	<b>Document Submittal</b>	<b>Associated Inspection/Approvals/Notes</b>
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Consultant Qualification Letters	Prior to Preconstruction Meeting
Biology	Biology Reports	Biology/Habitat Restoration Inspection
Noise	Acoustical Reports	Noise Mitigation Features Inspection
Traffic	Traffic Reports	Traffic Features Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS:**

**Biological Resources (Burrowing Owl)**

**PRECONSTRUCTION SURVEY ELEMENT - Prior to Permit or Notice to Proceed Issuance:**

1. As this project has been determined to be BUOW occupied or to have BUOW occupation potential, the Applicant Department or Permit Holder shall submit evidence to the ADD of Entitlements verifying that a Biologist possessing qualifications pursuant "Staff Report on Burrowing Owl Mitigation, State of California Natural Resources Agency Department of Fish and Game, March 7, 2012 (hereafter referred as CDFG 2012, Staff Report), has been retained to implement a burrowing owl construction impact avoidance program.
2. The qualified BUOW biologist (or their designated biological representative) shall attend the pre-construction meeting to inform construction personnel about the City's BUOW requirements and subsequent survey schedule.

**Prior to Start of Construction:**

1. The Applicant Department or Permit Holder and Qualified Biologist must ensure that initial pre-construction/take avoidance surveys of the project "site" are completed between 14 and 30 days before initial construction activities, including brushing, clearing, grubbing, or grading of the project site; regardless of the time of the year. "Site" means the project site and the area within a radius of 450 feet of the project site. The report shall be submitted and approved by the Wildlife Agencies and/or City MSCP staff prior to construction or BUOW eviction(s) and shall include maps of the project site and BUOW locations on aerial photos.
2. The pre-construction survey shall follow the methods described in CDFG 2012, Staff Report - Appendix D (*please note, in 2013, CDFG became California Department of Fish and Wildlife or CDFW*).
3. 24 hours prior to commencement of ground disturbing activities, the Qualified Biologist shall verify results of preconstruction/take avoidance surveys. Verification shall be provided to the City's Mitigation Monitoring and Coordination (MMC) Section. If results of the preconstruction surveys have changed and BUOW are present in areas not previously identified, immediate notification to the City and WA's shall be provided prior to ground disturbing activities.

**During Construction:**

1. **Best Management Practices shall be employed as** BUOWs are known to use open pipes, culverts, excavated holes, and other burrow-like structures at construction sites. Legally permitted active construction projects which are BUOW occupied and have followed all protocol in this mitigation section, or sites within 450 feet of occupied BUOW areas, should undertake measures to discourage BUOWs from recolonizing previously occupied areas or colonizing new portions of the site. Such measures include, but are not limited to, ensuring that the ends of all pipes and culverts are covered when they are not being worked on, and covering rubble piles, dirt piles, ditches, and berms.
2. **Ongoing BUOW Detection** - If BUOWs or active burrows are not detected during the pre-construction surveys, Section "A" below shall be followed. If BUOWs or burrows are detected during the pre-construction surveys, Section "B" shall be followed. NEITHER THE MSCP

SUBAREA PLAN NOR THIS MITIGATION SECTION ALLOWS FOR ANY BUOWs TO BE INJURED OR KILLED OUTSIDE OR WITHIN THE MHPA; in addition, IMPACTS TO BUOWs WITHIN THE MHPA MUST BE AVOIDED.

**A. Post Survey Follow Up if Burrowing Owls and/or Signs of Active Natural or Artificial Burrows Are Not Detected During the Initial Pre-Construction Survey** - Monitoring

the site for new burrows is required using CDFW Staff Report 2012 Appendix D methods for the period following the initial pre-construction survey, until construction is scheduled to be complete and is complete (*NOTE - Using a projected completion date (that is amended if needed) will allow development of a monitoring schedule*).

- 1) If no active burrows are found but BUOWs are observed to occasionally (1-3 sightings) use the site for roosting or foraging, they should be allowed to do so with no changes in the construction or construction schedule.
- 2) If no active burrows are found but BUOWs are observed during follow up monitoring to repeatedly (4 or more sightings) use the site for roosting or foraging, the City's Mitigation Monitoring and Coordination (MMC) Section shall be notified and any portion of the site where owls have been sites and that has not been graded or otherwise disturbed shall be avoided until further notice.
- 3) If a BUOW begins using a burrow on the site at any time after the initial pre-construction survey, procedures described in Section B must be followed.
- 4) Any actions other than these require the approval of the City and the Wildlife Agencies.

**B. Post Survey Follow Up if Burrowing Owls and/or Active Natural or Artificial Burrows are detected during the Initial Pre-Construction Survey** - Monitoring the

site for new burrows is required using Appendix D CDFG 2012, Staff Report for the period following the **initial** pre-construction survey, until construction is scheduled to be complete and is complete (*NOTE - Using a projected completion date (that is amended if needed) will allow development of a monitoring schedule which adheres to the required number of surveys in the detection protocol*).

- 1) This section (B) applies only to sites (including biologically defined territory) wholly outside of the MHPA – **all direct and indirect impacts to BUOWs within the MHPA SHALL be avoided.**
- 2) If one or more BUOWs are using any burrows (including pipes, culverts, debris piles etc.) on or within 300 feet of the proposed construction area, the City's MMC Section shall be contacted. The City's MMC Section shall contact the Wildlife Agencies regarding eviction/collapsing burrows and enlist appropriate City biologist for on-going coordination with the Wildlife Agencies and the qualified consulting BUOW biologist. No construction shall occur within 300 feet of an active burrow without written concurrence from the Wildlife Agencies. This distance may increase or decrease, depending on the burrow's location in relation to the site's topography, and other physical and biological characteristics.
  - a) **Outside the Breeding Season** - If the BUOW is using a burrow on site outside the breeding season (i.e. September 1 – January 31), the BUOW may be evicted after the qualified BUOW biologist has determined via fiber optic camera or



other appropriate device, that no eggs, young, or adults are in the burrow and written concurrence from the Wildlife Agencies for eviction is obtained prior to implementation.

- b) **During Breeding Season** - If a BUOW is using a burrow on-site during the breeding season (Feb 1-Aug 31), construction shall not occur within 300 feet of the burrow until the young have fledged and are no longer dependent on the burrow, at which time the BUOWs can be evicted. Eviction requires written concurrence from the Wildlife Agencies prior to implementation.
- 3) **Survey Reporting During Construction** - Details of construction surveys and evictions (if applicable) carried out shall be immediately (within 5 working days or sooner) reported to the City's MMC Section and the Wildlife Agencies and must be provided in writing (as by e-mail) and acknowledged to have been received by the required Agencies and DSD Staff member(s).

### **Post Construction:**

1. Details of all the surveys and actions undertaken on-site with respect to BUOWs (i.e., occupation, eviction, locations etc.) shall be reported to the City's MMC Section and the Wildlife Agencies within 21 days post-construction and prior to the release of any grading bonds. This report must include summaries of all previous reports for the site; and maps of the project site and BUOW locations on aerial photos.

### **Noise (Interior Noise Analysis)**

Mitigation measure NOI-2 of the 2013 Program EIR mitigation framework would be included herein, as follows:

Prior to the issuance of building permits, site specific interior noise analyses demonstrating compliance with the interior noise compatibility standards of the City's General Plan and other applicable regulations shall be prepared for noise sensitive land uses located in areas where the exterior noise levels exceed the noise compatibility standards of the City's General Plan. Noise control measures, including but not limited to increasing roof, wall, window, and door sound attenuation ratings, placing HVAC in noise reducing enclosures, or designing buildings so that no windows face freeways or major roadways may be used to achieve the noise compatibility standards.

### **Transportation/Circulation (Level of Service)**

Mitigation measures TRF-2 through TRF-6 of the 2019 PA-61 addendum have been implemented and mitigation measure TRF-7 would be satisfied with implementation of mitigation measure TRF-1. To mitigate the project's direct and cumulative impacts at Caliente Ave/SR-905 westbound on-ramp (Impacts TRF-1, TRF-4, and TRF-8) associated with the 2019 PA-61 project, revised mitigation measure TRF-1 discussed herein would be implemented, as follows:

- TRF-1** Prior to issuance of the first building permit, Owner/Permittee shall widen and restripe the southbound approach of the intersection of SR-905 westbound on-ramp/Caliente Avenue to

include a separate right turn lane satisfactory to the City Engineer and Caltrans. This improvement shall be complete and operational prior to first occupancy.

**Transportation/Circulation** (Vehicle Miles Traveled)

The project shall implement the following VMT Reduction Measures which would achieve 5.5 reduction points required by the Mobility Choices Ordinance. Implementation of these measures would minimize VMT impacts to the extent feasible.

1. Install pedestrian resting area/recreation node on-site, adjacent to public pedestrian walkway. An area of 250 square feet will be designated near the intersection of Otay Mesa Road and Calle Albatross (2.5 points for 250 square feet of resting area).
2. Provide one on-site bicycle repair station (1.5 points).
3. Provide six short-term bicycle parking spaces that are available to the public, and at least 10 percent bicycle parking beyond minimum requirements (1.5 points).

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**  
**MAIL STATION 2A**

INTERNAL ORDER NUMBER: 24008945

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MASTER PLANNED DEVELOPMENT PERMIT NO. 2568951  
SITE DEVELOPMENT PERMIT NO. 2568952  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2568953  
**CALIFORNIA TERRACES PA61 (LOT 1) - PROJECT NO. 690358 [MMRP]**  
AMENDMENT TO MASTER PLANNED DEVELOPMENT PERMIT NO. 2265103  
SITE DEVELOPMENT PERMIT NO. 2152399  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2192974  
CITY COUNCIL

This Master Planned Development Permit No. 2568951, Site Development Permit No. 2568952, and Neighborhood Development Permit No. 2568953 is granted by the City Council of the City of San Diego to Tri Pointe Homes, Inc., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 143.0920, 143.0480, 126.0402, 126.0502, and 143.0110. The 4.46-acre site is located south of Otay Mesa Road, east of Caliente Avenue, and north of SR-905 in the CC-1-3 zone and AR-1-1 zone within the Otay Mesa Community Plan area. The project site is legally described as: Lot 1 of California Terraces PA61 Final Map No. 16413 recorded on August 27, 2020, as File No. 2020-7000258.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the construction of 79 residential condominium units and subject to the City's land use regulations as described and identified by size, dimension, quantity, type, and location on the approved exhibits and the California Terraces PA-61 (Lot 1) Master Planned Development Permit [Exhibit "A"] dated [INSERT Approval Date] , on file in the Development Services Department.

The project shall include:

- a. The construction of 79 residential condominium units consisting of two, three, and four bedrooms and two-car garages with ten percent dedicated to affordable units. The for-sale and/or for-rent residential units will be set aside for households earning 100 percent of the Area Median Income (AMI) for a period of 55 years;
- b. Deviations:

- I. A deviation from SDMC Section 131.0443, Table 131-04G allowing a reduction in the minimum front yard setback/standard front yard setback to 10 feet where 15 feet and 20 feet are required;
  - II. A deviation from SDMC Section 131.0443, Table 131-04G allowing a reduction in the minimum street yard setback to 10 feet where the greater of 10 feet or 10 percent of the premise's width of 40 feet is required;
  - III. A deviation from SDMC Section 131.0443, Table 131-04G allowing a reduction in the minimum side yard setback to 10 feet where the greater of 5 feet or 10 percent of the premise's width of 40 feet is required;
  - IV. A deviation from SDMC Section 131.0443, Table 131-04G allowing a reduction in the minimum rear yard setback to 10 feet where 15 feet is required.
- c. Landscaping (planting, irrigation and landscape related improvements);
  - d. Off-street parking; and
  - e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE typically 3 years, including the appeal time].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
  5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
  6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
  7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
  8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
  9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in

defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Addendum No. 690358 to Program Environmental Impact Report No. 30330/304032; SCH No. 2004651076, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in Addendum No. 690358 to Program Environmental Impact Report No. 30330/304032; SCH No. 2004651076, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Historical Resources
- Transportation/Circulation
- Biological Resources
- Paleontological Resources

**ENVIRONMENTAL SERVICES REQUIREMENTS:**

15. The Owner/Permittee shall comply with the Waste Management Plan dated February 9, 2022, which shall be enforced to the satisfaction of the Environmental Services Department.

**CLIMATE ACTION PLAN REQUIREMENTS:**

16. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan

Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**AFFORDABLE HOUSING REQUIREMENTS:**

17. Prior to the issuance of any building permits, the Owner/Permittee shall enter into an affordable housing agreement with the San Diego Housing Commission to provide eight affordable housing units in compliance with the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

18. Prior to issuance of any building permit associated with this Project, the Owner/Permittee shall demonstrate compliance with the provisions of the Inclusionary Affordable Housing Regulations of San Diego Municipal Code Chapter 14, Article 2, Division 13 and the Inclusionary Housing Procedures Manual. The Owner/Permittee shall enter into a written Agreement Amendment with the San Diego Housing Commission which shall be drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust which incorporates applicable affordability conditions consistent with the San Diego Municipal Code. The Agreement Amendment will specify that in exchange for the City's approval of the Project, the Owner/Permittee shall provide 8 affordable units.

**AIRPORT REQUIREMENTS:**

19. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

**ENGINEERING REQUIREMENTS:**

20. The Owner/Permittee shall comply with all Conditions for the Final Map per Vesting Tentative Map No. 2568950.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the improvement of Caliente Road, Otay Mesa Road and Calle Albatross adjacent to the Site, as approved per Dwg No. 41595-D and 41669-D, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new City Standard 25-foot driveway, adjacent to site on Calle Albatross, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for all private connections to public storm drain systems.

24. Prior to the issuance of any construction permits, the applicant shall incorporate any construction Best Management Practices (BMP) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
25. Prior to the issuance of any construction permits, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
26. Prior to the issuance of any construction permits, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

27. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
28. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
29. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.
30. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
31. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in



a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

33. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

37. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate 12 feet for public right of way purposes along the project's Caliente Avenue frontage and assure by permit and bond the construction of a 22-foot parkway with non-contiguous 6-foot wide sidewalks, in a manner satisfactory to the City Engineer.

38. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a full width raised median on Caliente Avenue along the full project frontage from Otay Mesa Road to SR-905 west bound off-ramp, in a manner satisfactory to the City Engineer.

39. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate between two to 12 feet of project frontage for public right-of-way purposes in accordance with Exhibit "A" along Otay Mesa Road and assure by permit and bond the construction of between 12 to 22 feet of parkway with non-contiguous sidewalks of five to six feet wide, with curb and gutter in accordance with Exhibit "A," in a manner satisfactory to the City Engineer.

40. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the construction of curb ramps at the southwest and southeast corners of Otay Mesa Road and Calle Albatross, in a manner satisfactory to the City Engineer.
41. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate and shall assure by permit and bond the construction of a cul-de-sac at Emerald Crest Court (Street "B") with 60 feet curb to curb in an 80-foot right-of-way including a 10-foot parkway with a non-contiguous five-foot wide sidewalk, curb and gutter, satisfactory to the City Engineer. These improvements shall be completed and accepted by the City Engineer prior to the first certificate of occupancy.
42. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a right turn lane deceleration lane on Otay Mesa Road at Emerald Crest Court (Street "B"), satisfactory to the City Engineer. These improvements shall be completed and accepted by the City Engineer prior to the first certificate of occupancy.
43. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate and shall assure by permit and bond the construction of Calle Albatross (Street "A") in accordance with Exhibit "A," with 30 feet curb to curb in a 50-foot right-of-way including a 10-foot parkway with non-contiguous five-foot wide sidewalks, curb and gutter, in a manner satisfactory to the City Engineer.
44. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of one driveway on the Calle Albatross (Street "A") cul-de-sac bulb. The driveway that will access Lot 1 shall be 25 feet wide, in a manner satisfactory to the City Engineer.
45. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a right turn lane deceleration lane on Otay Mesa Road at Calle Albatross (Street "A,") with right in/right-out only access, in a manner satisfactory to the City Engineer.
46. Prior to occupancy of the 227<sup>th</sup> dwelling unit for Lots 1 & 2, the Owner/Permittee shall widen and restripe the south approach of the intersection of SR-905 westbound on-ramp/Caliente Avenue to include a separate right turn lane, satisfactory to the City Engineer and Caltrans. These improvements shall be completed and operational prior to occupancy of the 227<sup>th</sup> dwelling unit, starting from Lot 2.
47. The Owner/Permittee will provide the following Vehicle Miles Traveled (VMT) reduction measures:
- a. Install pedestrian resting area/recreation node on-site, adjacent to public pedestrian walkway. An area of 250 square feet will be designated near the intersection of Otay Mesa Rd/Calle Albatross in the location shown in Exhibit A.
  - b. Provide one on-site bicycle repair station in the location shown in Exhibit A.
  - c. Provide short-term bicycle parking spaces that are available to the public, at least 10% beyond minimum requirements. The project is required to have 49 bicycle spaces

based on Municipal Code Table 142-05C (0.5 spaces for 2 bedroom units [20 du x 0.5 = 10 bike spaces], 0.6 for 3-4 bedroom units [49 du x 0.6 = 29 bike spaces], and 1 space for 5 bedroom units [10 du x 1 = 10 bike spaces]). Bicycle parking spaces are not required since each dwelling unit will have an enclosed garage. Additional short-term bicycle parking spaces are being provided in excess of the minimum requirement. Therefore, 10% beyond the minimum would be five spaces. Six short-term spaces are being proposed and their locations are shown in Exhibit A.

These improvements 48a, b, and c shall be completed and operational prior to first occupancy.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

48. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the connections to the public water and sewer utilities on Caliente Road, Otay Mesa Road, as approved per Drawing No. 41595-D and 41669-D, satisfactory to the City Engineer.

49. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

50. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

51. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

52. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

53. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, for all private sewer laterals within public right of way.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

## ATTACHMENT 6

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on [INSERT Approval Date] and [Approved Resolution Number].

DRAFT

**ATTACHMENT 6**

Master Planned Development Permit No. 2568951  
Site Development Permit No. 2568952  
Neighborhood Development Permit No. 2568953  
Date of Approval: XX

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Benjamin Hafertepe  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**TRI POINTE HOMES, INC.**  
Owner/Permittee

By \_\_\_\_\_  
NAME:  
TITLE:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

CITY COUNCIL RESOLUTION NO. \_\_\_\_\_  
MASTER PLANNED DEVELOPMENT PERMIT NO. 2568951  
SITE DEVELOPMENT PERMIT NO. 2568962  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2568963  
**CALIFORNIA TERRACES PA61 (LOT 1) - PROJECT NO. 690358 [MMRP]**  
AMENDMENT TO MASTER PLANNED DEVELOPMENT PERMIT NO. 2265103,  
SITE DEVELOPMENT PERMIT NO. 2152399 AND  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2192974

WHEREAS, Tri Pointe Homes, Inc., Owner/Permittee, filed an application with the City of San Diego for a Master Planned Development Permit No. 2568951, Site Development Permit No. 2568962 and Neighborhood Development Permit No. 2568963, amendment to Master Planned Development Permit No. 2265103, Site Development Permit No. 2152399, and Neighborhood Development Permit No. 2192974, to construct 79 residential condominiums known as the California Terraces PA61 (Lot 1) project, located south of Otay Mesa Road, east of Caliente Avenue, and north of SR-905, and legally described as Lot 1 of California Terraces PA61 Final Map No. 16413 recorded on August 27, 2020, as File No. 2020-7000258, in the Otay Mesa Community Plan area, in the CC-1-3 zone and AR-1-1 which is proposed to be rezoned to the RM-2-5 zone; and

WHEREAS, on September 29, 2022, the Planning Commission of the City of San Diego considered Master Planned Development Permit No. 2568951, Site Development Permit No. 2568962, and Neighborhood Development Permit No. 2568963, amendment to Master Planned Development Permit No. 2265103, Site Development Permit No. 2152399, and Neighborhood Development Permit No. 2192974, and pursuant to Resolution No.

**[INSERT Planning Commission Resolution Number]** -PC voted to recommend approval**[INSERT: City Council approval/disapproval]** of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public

hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Master Planned Development Permit No. 2568951, Site Development Permit No. 2568962, and Neighborhood Development Permit No. 2568963:

**A. MASTER PLANNED DEVELOPMENT PERMIT [SDMC SECTION 126.0505]**

**1. Findings for all Master Planned Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The project includes a request for a Community Plan Amendment (CPA) to redesignate a 4.46-acre portion of the project site from Community Commercial – Residential Prohibited to Residential Medium density which would permit multi-family residential development at a density range of 15 to 29 dwelling units per acre. The project proposes the construction of 79 residential condominiums including ten percent of the units as affordable.

The 4.46-acre site is located on the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, just north of State Route 905 within the Northwest District of the Otay Mesa community planning area and is currently designated Community Commercial-Residential Prohibited within the Otay Mesa Community Plan. The project would be consistent with specific Otay Mesa Community Plan policies pertaining to housing and commercial development. The Community Plan's Land Use Element provides a distribution of land uses of sufficient capacity for a variety of uses, facilities, and services needed to serve the community. The proposed CPA would reduce the amount of land planned for commercial use by 4.46-acres and increase overall housing capacity by 79 dwelling units. A retail analysis evaluating the land use change concluded that the proposed reduction of commercial land would have no adverse impact on the local retail environment. Additionally, the project lies within the Airport Influence Area (Brown Field / Review Area 2), the Community Plan Implementation Overlay Zone Type A (CPIOZ-A), the FAA

Part 77 Notification Area (Brown Field / 576' AMSL) and the Transit Priority Area. The addition of housing to the site would implement the housing goals and policies of the Community Plan and the General Plan including policies to integrate a variety of housing types within village and residentially designated areas (including the provision of larger units) with multi-modal transportation access to the employment centers within the eastern portion of the community. The project housing includes 2-4- bedroom units with three to three and a half baths each with two-car garages.

The project site is within a Transit Priority Area and located directly adjacent to the Metropolitan Transit System bus Routes 905 A and B, and within a half mile of a future bus rapid transit stop and a quarter mile to the existing Caliente Avenue Park and Ride Facility. Transit service connects the site to the community's main employment areas, including the nearby Ocean View Hills Corporate Center and Otay Corporate Center South as well as those within the eastern portion of the community. Additionally, the site provides links to the Otay Mesa Bicycle network with a Class II adjacent to the site on Caliente Avenue and a Class III adjacent to the site along Otay Mesa Road.

The project would implement various Community Plan and General Plan Policies related to providing affordable housing within this community and the City as a whole, including Community Plan Policy 2.2-6, to "promote affordable housing development through the provision of a variety of housing types, townhomes smaller-lot single-family homes, and other types of housing that are affordable in nature."

Based upon a review of the City's strategic housing and community planning goals, as well as the General Plan Land Use Element (specifically Policy LU-D.13), the site would best serve the Northwest District and support the land use plan as residential only. The City of Villages strategy encourages development that increases housing supply and diversity within compact, mixed-use activity centers that are integrated into the larger community. The project would add residential use within a portion of a site previously planned exclusively for commercial use focusing growth within a mixed-use activity center that would be pedestrian-friendly and in proximity to public transit. As a residential development, the project would increase the housing supply within the community as a whole and would thus promote the General Plan's City of Villages strategy.

The General Plan provides noise compatibility standards for interior and exterior noise that apply to the residential and commercial development components. The residential component would be affected by offsite vehicle traffic noise within the General Plan's thresholds for both interior and exterior noise. The project would be designed to incorporate sound transmission reduction measures demonstrating that building structures will attenuate both interior and exterior noise to be within the General Plan noise compatibility standards in accordance with Addendum No. 690358 and the Mitigation Monitoring, and Reporting Program to Program Environmental Impact Report No. 30330/304032 /SCH No. 2004651076.



Community Plan Policy 4.1-8 states to “minimize exposure of residential uses from noise, traffic and air quality impacts associated with SR-905 and truck routes through the orientation of buildings and site planning, the design of buildings, landscape treatments, and distance separation.” The project includes design measures such as HVAC units with air filters capable of filtering particles ranging from 1.0 to 10.0 ppm in size by more than 90 percent as identified in the project’s Air Quality Analysis (Recon Environmental, Inc, September 17, 2018) ensuring any potential impacts associated with potential exposure to air quality emissions would not result in significant impacts to the residents of the project site.

The project would comply with Community Plan Update (CPU) Policy 8.1-3, which calls for the planning of development to minimize grading as it relates to natural features of the CPU area. The project would minimize grading to the extent needed to build the proposed structures and grading would not affect any surrounding natural features. In regards to General Plan policies, the project would comply with policies UD-A.6 and UD-8.1 by creating a street frontage along Otay Mesa Road that includes a sidewalk and landscaped area to provide visual appeal and an enhanced pedestrian experience, while constructing a multi-use townhome complex. Therefore, the proposed development will not adversely affect the applicable land use plan and is the best use of the site.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project, including a review of grading, drainage, architecture, landscape, environmental analysis and provisions of new streets and driveways, has been designed to conform with the City of San Diego’s codes, policies, and regulations with the primary focus of protecting the public’s health, safety and welfare. The conditions of approval of the project require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would work within the site and within the community. Conditions of approval address driveway, public improvements, new streetlights, new center medians, landscaping, and grading. Stormwater impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features, such as source control and treatment control Best Management Practices.

Addendum No. 690358 to Program Environmental Impact Report (PEIR) No. 30330/304032/SCH No. 2004651076 prepared for the Otay Mesa Community Plan update, has been prepared in accordance with California Environmental Quality Act guidelines. Based upon a review of the current project, it has been determined that there are no new significant environmental impacts not considered in the previous PEIR, no substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project. A Mitigation, Monitoring, and Reporting Program for Noise, Transportation/Circulation, Biological Resources, and Paleontological

Resources would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety, and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Master Planned Development Permit (MPDP) No. 2568951, Site Development Permit (SDP) No. 2568952, and Neighborhood Development Permit (NDP) No. 2568953, and other regulations and guidelines pertaining to the subject property per the SDMC for the project site. Prior to the issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing, and Fire Code requirements, and the Owner/Permittee will be required to obtain construction permits. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The project proposes the construction of 79 residential condominiums with ten percent of the units dedicated to affordable housing. Four deviations are being requested as part of the project design and the following outlines the deviations and justifications:

Street side yard setback: A deviation to SDMC Section 131.0443, Table 131.04G, street side yard setback, to allow a 10-foot street side yard setback where a minimum street side yard setback of 10 feet or 10 percent of the premise's width, whichever is greater. The deviation is being requested for residential dwelling units located along Calle Albatross and Caliente Avenue. At just over 400 feet in width, the required minimum street side yard setback would equate to 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing pedestrian-level activity and providing strong transitions between residential and commercial areas. Requiring 40 feet side setback would eliminate much of the development footprint and the project will not be able to maximize the number of the residential units.

Side yard setback: A deviation to SDMC Section 131.0443, Table 131.04G, side yard setback, to allow a 10-foot street side yard setback where a minimum side yard setback of five feet or 10 percent of the premise's width, whichever is greater. The

deviation is being requested for the residential dwellings located along the western and eastern property lines. The project site has a width of over 400 feet, requiring a minimum side setback of 40 feet. The project allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing, affordable housing, and pedestrian-level activity. The proposed deviation would allow for more housing and pedestrian amenities including benches, covered seating areas, plazas, and turfed areas that provide increased walkability within the development. The proposed deviation is consistent with the adjacent project of which this property was a part and will provide continuity between the already constructed homes and those planned for Lot 1.

Front yard setback: A deviation to SDMC Section 131.0443, Table 131.04G, front yard setback, to allow a 10-foot setback along Otay Mesa Road, where a minimum of 15 feet and 20 feet is required. The project is proposing a front yard setback of 10 feet along Otay Mesa Road. There is one existing cul-de-sac street off Otay Mesa Road (Calle Albatross) that will provide driveway access to the proposed development. With the deviation, the project will be able to have more developable area to provide an adequate parkway inclusive of noncontiguous sidewalks, rear yard landscaping for dwelling units adjacent to Otay Mesa Road, and pedestrian access and building articulation. The proposed site plan is consistent with the adjacent project of which this property was a part and will provide continuity between the already constructed homes and those planned for Lot 1. Therefore, creating a more cohesive, contiguous, and aesthetically pleasing neighborhood in totality. Additionally, the setbacks would allow for an additional 25 critically needed homes and the associated affordable units.

Rear yard setback: A deviation to SDMC Section 131.0443, Table 131.04G, rear yard setback, to allow a 10-foot setback, where a minimum 15 feet is required. The project is proposing a rear yard setback of 10 feet. Due to existing site constraints, there is only one existing cul-de-sac street off of Otay Mesa Road (Calle Albatross) that will provide driveway access to the proposed development. The property is bounded by SR 905 to the south, Caliente Avenue to the west, and Otay Mesa Road to the north. The deviation is minimal and still allows for adequate landscaping, pedestrian access and building articulation at this location. The deviation is consistent with the portion of the project already constructed, providing continuity across the neighborhood.

The above four deviations have been analyzed by staff and determined to be consistent with the goals and recommendations of the General Plan, the Otay Mesa Community Plan, and the purpose and intent of the CC-1-3, AR-1-1, and RM-2-5 zones. Should the Project be designed without the requested deviations, it will result in the loss of 21 units (16 units along Calle Albatross and 5 along Caliente Avenue). The deviations allow for more developable area to maximize housing opportunities within a Transit Priority Area, including landscaping, non-contiguous sidewalks, and increased pedestrian connectivity within the development. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. As previously noted, the deviations will allow Lot 1 to be developed consistent with the portion of the neighborhood already approved and

constructed, creating a cohesive development as well as an additional 25 units and associated affordable housing to be realized. Apart from the above deviations, the proposed project provides a residential development in accordance with development standards of the RM-2-5 zone, the CC-1-3 zone, AR-1-1 zone and the Otay Mesa Community Plan. The proposed development will assist in providing affordable housing units and market-rate housing opportunities in a transit-friendly area near commercial centers.

**B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0504]**

**1. Findings for all Site Development Permits:**

- a. The proposed development will not adversely affect the applicable land use plan.**

As outlined in Master Planned Development Permit Finding No. A1(a) listed above, the proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

As outlined in Master Planned Development Permit Finding No. A1(b) listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

As outlined in Master Planned Development Permit Finding No. A1(c) listed above, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

**2. Supplemental Findings - Environmentally Sensitive Lands**

- a. The site is physically suited for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The 4.46-acre project site was part of the 2019 action to subdivide California Terraces PA61 into two lots which was approved by the City Council of San Diego as Project No. 605191, Final Map No. 16413 (recorded on August 27, 2020; hereinafter referred to as 2019 PA61 project). The project site identified as Lot 1 in the 2019 PA61 project was proposed for commercial uses. The proposed project includes a Community Plan Amendment to re-designate the project site from the approved Community Commercial-Residential Prohibited to Residential Medium density and a rezone from CC-1-3 and AR1-1 to RM-2-5.

The project site is located outside of and not adjacent to land designated as Multi-Habitat Plan Area (MHPA) by the City's Multiple Species Conservation Program (MSCP) Subarea Plan. However, the project site was determined to support burrowing owl habitat which is considered environmentally sensitive land (ESL) consistent with San Diego Municipal Code (SDMC) Section 143.0101, et seq. Consistent with the Otay Mesa Community Plan Program Environmental Impact report (PEIR), from which the 2019 PA61 project's environmental analysis tiered, a Western Burrowing Owl Non-Breeding Survey (Burrowing Owl Survey) was completed for the 2019 PA61 project. The survey concluded that while the project site did contain habitat that would be suitable for burrowing owl burrows, no burrow complexes were observed within the project site and no western burrowing owls were detected within the entire PA61 project site during the non-breeding season surveys. Thereafter, the entire PA61 project site was graded consistent with the approved 2019 PA61 project Final Grading Plan dated March 2020.

Like the 2019 PA61 project, the proposed project includes mitigation measure BIO-1 requiring Burrowing Owl pre-construction surveys prior to project grading, as part of the project's Mitigation, Monitoring, and Reporting Plan. This measure ensures that project grading would not inadvertently impact burrowing owls and, therefore, would not conflict with ESL regulations as it pertains to sensitive biological resources (ie: burrowing owls). Therefore, the inclusion of mitigation measure BIO-1 requiring a preconstruction Burrowing Owl survey prior to any additional grading, would ensure that the project would avoid impacts to ESL.

**b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The proposed project has been designed to meet the stormwater permit. The Project will utilize biofiltration basins on-site to meet both the treatment and hydromodification requirements. The project site is located within geologic hazards zone 53 as shown on the City's Seismic Safety Study. Zone 53 is characterized by level or sloping to steep terrain with unfavorable geologic structure, low to moderate risk and determined to be suitable for the proposed development.

The project has been designed to minimize alterations to natural landforms. Development footprints have been located to minimize erosion, flood, and fire hazards. Although the project's footprint is not expanding, road circulation has been changed within this area to accommodate an additional 79 multi-family dwelling units. The project would be required to utilize proper engineering design and utilization of standard construction practices, to be verified at the grading permit stage. There is no brush management required for this project as the property is surrounded by development and is more than 100 feet away from native or naturalized vegetation. Additionally, each housing unit will contain fire sprinklers. The project is located out of the floodway and, therefore, will not be subject to flooding. As such, the proposed development will minimize the alteration of natural

landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

**c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

The project proposes the construction of 79 residential condominiums with ten percent of the units dedicated as affordable. The project site is designated ESL due to the site's potential to support burrowing owls. Although the project site has been graded, consistent with the approved 2019 PA61 project Final Grading Plan dated March 2020, the project includes mitigation measure BIO-1, requiring pre-construction burrowing owl surveys prior to any additional grading (see Finding 2(a)).

The 500-foot buffer surrounding the project site is comprised of disturbed land and urban/developed land. Disturbed land is dominated by Russian thistle, red brome, and Australian saltbush occurs adjacent to the project site to the east. Otay Mesa Road occurs to the north and a developed area with multi-family residences occurs beyond Otay Mesa Road. An empty lot comprised of bare ground and disturbed land occurs to the northwest of the project site. Caliente Avenue occurs to the west and SR-905 occurs to the south of the project site.

Therefore, the proposed development is sited and designed to prevent adverse impacts to on-site ESL including through implementation of mitigation measure BIO-1 that will ensure impacts to Burrowing Owl are avoided.

**d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).**

The project is located outside of and not adjacent to the MHPA and conservation areas associated with the Vernal Pool Habitat Conservation Plan (VPHCP). However, the project site was determined to support burrowing owl habitat which is considered an ESL consistent with SDMC Section 143.0101.

The Otay Mesa Community Plan Update PEIR determined that the Community Plan Update (CPU) would be consistent with the vision for the MSCP and the MHPA as the open space network would remain intact including preservation of large blocks of MHPA that would contribute to a functioning preserve. The OMCP CPU incorporated policies to ensure development would comply with MSCP Management Directives, and no significant impacts relating to MSCP consistency would occur. The project includes a Community Plan Amendment to re-designate the project site from the approved Community Commercial-Residential Prohibited to Residential Medium density and a rezone from CC-1-3 and AR1-1 to RM-2-5. This change in land use designation and rezone will not change the conclusions as delineated in the PEIR as the project site was not identified for conservation in the OMCP CPU. The project includes mitigation measure BIO-1 requiring pre-construction Burrowing Owl surveys prior to any additional grading, which would ensure nesting burrowing owls, if

present, would be detected and avoided. The project has incorporated adequate measures to ensure avoidance of burrowing owls, consistent with goals and policies of the MSCP. The project does not contain any vernal pools and would not conflict with the City's VPHCP. Therefore, the project would not conflict with the MSCP Subarea Plan or VPHCP.

**e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The proposed development is located approximately six miles inland from public beaches and local shoreline; therefore, will not contribute to erosion of public beaches or adversely impact shoreline and sand supply. Detention basins are provided on-site to reduce surface water runoff and reduce water runoff velocities to the extent water runoff might increase downstream siltation and contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

Addendum No. 690358 to PEIR No. 30330/304032/SCH No. 2004651076 prepared for the Otay Mesa Community Plan update, has been prepared in accordance with California Environmental Quality Act guidelines. Based upon a review of the current project, it has been determined that there are no new significant environmental impacts not considered in the previous PEIR, no substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project. A Mitigation, Monitoring and Reporting Program for Noise, Transportation/Circulation, Biological Resources, and Paleontological Resources would be implemented with this project, which will reduce the potential impacts to below a level of significance. Thus, all mitigation reasonably related to and calculated to alleviate impacts created by the proposed development has been or will be incorporated into the conditions of the development permit. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

**C. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC SECTION 126.0404]**

**1. Findings for all Neighborhood Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

As outlined in Master Planned Development Permit Finding No. A1(a) listed above, the proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

As outlined in Master Planned Development Permit Finding No. A1(b) listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

As outlined in Master Planned Development Permit Finding No. A1(c) listed above, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

**2. Supplemental Findings - Affordable Housing, In-Fill Projects, or Sustainable Buildings Deviation**

- a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.**

The project includes a request for a Community Plan Amendment to redesignate a 4.46-acre portion of the project site from Community Commercial Residential Prohibited to Residential Medium density which would permit multi-family residential development at a density range of 15 to 29 dwelling units per acre. The project proposes the construction of 79 residential condominiums having ten percent dedicated to affordable units. The residential units will be set aside for households earning 100 percent of the Area Medium Income (AMI) for a period of 55 years.

The 4.46-acre site is located on the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, just north of State Route 905 within the Northwest District of the Otay Mesa community planning area and is currently designated Community Commercial-Residential Prohibited within the Otay Mesa Community Plan. The project would be consistent with specific Otay Mesa Community Plan policies pertaining to housing and commercial development. The Community Plan's Land Use Element provides a distribution of land uses of sufficient capacity for a variety of uses, facilities, and services needed to serve the community. The proposed CPA would reduce the amount of land planned for commercial use by 4.46-acres and increase overall housing capacity by 79 dwelling units.

The proposed project will provide an opportunity for home ownership which is consistent with the General Plan, Housing Element Goal No. 3 Objective I: "to promote a diversity of housing available to all income groups across all communities." The new development is a use that will be compatible with the newly proposed land use designation with the Otay Mesa Community Plan. Therefore, the proposed development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable building opportunities.

- b. Any proposed deviations are appropriate for the proposed location.**



The project proposes the construction of 79 residential condominiums with ten percent of the units dedicated to affordable housing. Four deviations are being requested as part of the project design and the following outlines the deviations and justifications:

**Street side yard setback:** A deviation to SDMC Section 131.0443, Table 131.04G, street side yard setback, to allow a 10-foot street side yard setback where a minimum street side yard setback of 10 feet or 10 percent of the premise's width, whichever is greater. The deviation is being requested for residential dwelling units located along Calle Albatross and Caliente Ave. At just over 400 feet in width, the required minimum street side yard setback would equate to 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing pedestrian-level activity and providing strong transitions between residential and commercial areas. Requiring 40 feet side setback will eliminate much of the development footprint and the project will not be able to maximize the number of the residential units.

**Side yard setback:** A deviation to SDMC Section 131.0443, Table 131.04G, side yard setback, to allow a 10-foot street side yard setback where a minimum side yard setback of five feet or 10 percent of the premise's width, whichever is greater. The deviation is being requested for the residential dwellings located along the western and eastern property lines. The project site has a width of over 400 feet, requiring a minimum side setback of 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing, affordable housing, pedestrian-level activity and providing transitions between residential and commercial areas.

**Front yard setback:** A deviation to SDMC Section 131.0443, Table 131.04G, front yard setback, to allow a 10-foot setback along Otay Mesa Road, where a minimum 15 feet and 20 feet is required. The project is proposing a front yard setback of 10 feet along Otay Mesa Road. There is one existing cul-de-sac street off Otay Mesa Road (Calle Albatross) that will provide driveway access to the proposed development. With the deviation, the project will be able to maximize its developable area and allow for an adequate parkway inclusive of noncontiguous sidewalks, rear yard landscaping for dwelling units adjacent to Otay Mesa Road, and pedestrian access and building articulation.

**Rear yard setback:** A deviation to SDMC Section 131.0443, Table 131.04G, rear yard setback, to allow a 10-foot setback, where a minimum 15 feet is required. The project is proposing a rear yard setback of 10 feet. Due to existing site constraints, there is only one existing cul-de-sac street off of Otay Mesa Road (Calle Albatross) that will provide driveway access to the proposed development. The property is bounded by SR 905 to the south, Caliente Avenue to the west, and Otay Mesa Road to the north. The deviation is minimal and allows for adequate landscaping, pedestrian access and building articulation that are appropriate for this location.

The above four deviations have been analyzed by staff and determined to be consistent with the goals and recommendations of the General Plan, the Otay Mesa Community Plan, and the purpose and intent of the CC-1-3, AR-1-1 and RM-2-5 zones. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. Apart from the above deviations, the proposed project provides a residential development in accordance with development standards of the RM-2-5 zone, the CC-1-3 zone, AR-1-1 zone, and the Otay Mesa Community Plan. The proposed development will assist in providing affordable housing units and market-rate housing opportunities in a transit-friendly area near commercial centers.

Multi-family residential development is the primary existing land use of the immediate neighborhood and the proposed multi-family development maintains that development pattern. Staff has reviewed the request for the deviations and due to the site constraints, agree that the deviations are necessary to allow the applicants reasonable use of the site and to allow for the construction of new multi-family residences. Therefore, the deviations are appropriate for the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Master Planned Development Permit No. 2568951, Site Development Permit No. 2568962, and Neighborhood Development Permit No. 2568963, amendments to Master Planned Development Permit No. 2265103, Site Development Permit No. 2152399, and Neighborhood Development Permit No. 2192974 is granted to Tri Pointe Homes, Inc., Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution, and contingent upon final passage of O-\_\_\_\_\_, rezoning the site the CC-1-3 zone and AR-1-1 to the RM-2-5 zone, and R-\_\_\_\_\_, approving amendments to the General Plan and Otay Mesa Community Plan.

CITY COUNCIL  
CONDITIONS FOR VESTING TENTATIVE MAP NO. 2568950  
CALIFORNIA TERRACES PA-61 (LOT 1) – PROJECT NO. 690358 [MMRP]

ADOPTED BY RESOLUTION NO. R-\_\_\_\_\_ ON \_\_\_\_\_

**GENERAL**

1. This Vesting Tentative Map will expire **[IF PROCESS 5 INSERT: Blank line for City Clerk to insert date]**.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Vesting Tentative Map shall conform to the provisions of Master Planned Development Permit No. 2568951, Site Development Permit No. 2568952, and Neighborhood Development Permit No. 2568953.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

**AFFORDABLE HOUSING**

6. Prior to the recordation of the Final Map, the Subdivider shall enter into an affordable housing agreement with the San Diego Housing Commission to provide eight affordable housing units in compliance with the City's Inclusionary Affordable Housing Regulations (San Diego Municipal Code §§ 143.0301 et seq.).

**ENGINEERING**

7. The Vesting Tentative Map shall comply with all conditions of Master Planned Development Permit No. 2568951, Site Development Permit No. 2568952, and Neighborhood Development Permit No. 2568953.
8. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
9. The Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
10. The drainage system for this project, per approved Exhibit 'A', will be subject to approval by the City Engineer.
11. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
12. Per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Subdivider will be required to install new street lights, per approved Exhibit "A", adjacent to the site on Caliente Road, Otay Mesa Road and Calle Albatross satisfactory to the City Engineer.
13. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
14. The Subdivider shall submit a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.
15. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

**MAPPING**

16. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
17. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
18. The Vesting Tentative Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

**WASTEWATER**

19. The Vesting Tentative Map shall comply with all conditions of Master Planned Development Permit No. 2568951, Site Development Permit No. 2568952, and Neighborhood Development Permit No. 2568953.

**GEOLOGY**

20. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

**TM FINDINGS:**

- Whereas the map proposes the subdivision of a 4.46-acre site into one (1) lot for the creation of 79 multi-family condo units.

**INFORMATION:**

- The approval of this Vesting Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).

## ATTACHMENT 7

- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24008945

CITY COUNCIL RESOLUTION NUMBER R-\_\_\_\_\_

VESTING TENTATIVE MAP NO. 2568950, CALIFORNIA TERRACES PA61  
(LOT 1) - PROJECT NO. 690358 [MMRP].

WHEREAS, Tri Pointe Homes, Inc., Subdivider, and HENRY H. PENG, ENGINEER, submitted an application to the City of San Diego for a Vesting Tentative Map No. 2568590 for the subdivision and creation of 79 multi-family residential condominium units; and

WHEREAS, the project site is located south of Otay Mesa Road, east of Caliente Avenue and north of State Route 905 within the Otay Mesa Community Plan area. The property is legally described as Lot 1 of California Terraces – PA 61 Final Map No. 16413 recorded on August 27, 2020 as File No. 2020-7000258; and

WHEREAS, the Map proposes the Subdivision of a 4.46-site; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 79; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on \_\_\_\_\_, the City Council of the City of San Diego considered Vesting Tentative Map No. 2568590, and pursuant to San Diego Municipal Code section(s) 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 2568590:

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The project includes a request for a Community Plan Amendment (CPA) to redesignate 4.46-acre of the project site from Community Commercial – Residential Prohibited to Residential Medium density, which would permit multi-family residential development at a density range of 15 to 29 dwelling units per acre. Additionally, the project proposes the subdivision and the construction of 79 residential condominiums with ten percent affordable.

The 4.46-acre site located on the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, just north of State Route 905 within the Northwest District of the Otay Mesa community planning area is currently designated Community Commercial-Residential Prohibited within the Otay Mesa Community Plan. The project would be consistent with specific Otay Mesa Community Plan policies pertaining to housing development. The Community Plan's Land Use Element provides a distribution of land uses of sufficient capacity for a variety of uses, facilities, and services needed to serve the community.

The Project meets the General Plan and Otay Mesa Community Plan guiding principles which reflects the core values that guide its development. The Project meets the following General Plan Guiding Principles:

- An integrated regional transportation network of walkways, bikeways, transit, roadways and freeways that efficiently link communities and villages to each other and employment centers (General Plan Principle 5)
- Balanced communities that offer opportunities for all San Diegans and share citywide responsibilities (General Plan Principle 8)
- A clean and sustainable environment (General Plan Principle 9)
- A high aesthetic standard (General Plan Principle 10)



The Project meets the following Otay Mesa Community Plan Goals and Policies:

- A distribution of land uses that provides sufficient capacity for a variety of uses, facilities and services needed to serve Otay Mesa
- Distinct villages that include places to live, work and recreate
- A variety of housing types including workforce housing in close proximity to jobs
- Respect existing density ranges in previously approved Precise Plan areas of the Northwest District
- Include in all residential developments housing units that are sized to meet the household family sizes anticipated in Otay Mesa.
- Incorporate a diversity of housing types that includes market rate and affordable housing. Encourage inclusionary housing on-site.

The Project is located directly adjacent to existing and proposed mass transit provided for by the Metropolitan Transit System. The 905 A & B buses connect to the Iris Avenue Transit Center where community members are transported to employment centers and commercial centers along Otay Mesa Road and State Route 905. Additionally, the Otay Mesa Community Plan has identified an east-west high frequency bus corridor on Airway Road that will link between the South Bay BRT and San Diego Trolley (Otay Mesa Community Plan, ME-4). One of the potential BRT/Rapid Transit stops will be located on Caliente Avenue, approximately a quarter mile away from the Project (Otay Mesa Community Plan, Otay Mesa Transit Route Map – Figure 3-1). The property is also centrally located to educational facilities, planned villages and additional recreational opportunities.

The Project will also contribute to the diversity of the region by providing different aesthetically pleasing housing options at varying price points. The range in housing will provide community members with an opportunity to live close to where they work. The property is located in close proximity to the Ocean View Hills Corporate Center and Otay Corporate Center South. The Project meets the goals and follows the principles outlined in the City of San Diego's planning and community planning documents. As such, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed project includes a rezone of 4.46 acres to Residential Multiple Unit (RM-2-5). The Project also seeks deviations for minimum front setback, minimum side setback, minimum street side setback and minimum rear yard setback. A deviation from the required development regulations noted above would allow for a more desirable project while staying within a density range of 15 to 29 du/ac. The deviations would allow for more developable area that would allow for more housing within a Transit Priority Area and pedestrian amenities including benches, covered seating areas, plazas, turfed areas that provide increased walkability within the development.

A deviation from San Diego Municipal Code (SDMC) Section 131.0443, Table 131-04G for front and rear setback where the required minimum front and rear setback is 15 feet and the

j,proposed front and rear setback is 10 feet. Due to existing site constraints, it is only possible to access a public right of way from Otay Mesa Road. The property is bound by SR 905 to the south and Caliente Avenue to the west. There is one existing cul-de-sac street off of Otay Mesa Road that will provide driveway access to the proposed development. The deviation is minimal and allows for adequate landscaping, pedestrian access and building articulation that are appropriate for this location.

The Project requests a deviation from Section 131.0443, Table 131-04G for side setback where the required minimum side setback is 5 feet or 10 percent of the premises width and the proposed side setback is 10 feet. At just over 400 feet in width, the required minimum side setback is 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing pedestrian-level activity and providing strong transitions between residential and commercial areas. Requiring 40 feet side setback will eliminate much of the development footprint and the project will not be able to maximize the number of the residential units.

The Project also includes a deviation from Section 131.0443, Table 131-04G for street side setback where the required minimum street side setback is 10 feet or 10% of the premises width and the proposed street side setback is 10 feet. At just over 400 feet in width, the required minimum street side setback is 40 feet. The reduced setback allows the proposed development to meet the Otay Mesa Community Plan design guideline objectives of providing pedestrian-level activity and providing strong transitions between residential and commercial areas. Requiring 40 feet street side setback will eliminate much of the development footprint and the project will not be able to maximize the number of the residential units.

The above deviations have been analyzed by staff and determined to be consistent with the goals and recommendations of the General Plan, the Otay Mesa Community Plan, and the purpose and intent of the RM-2-5 zone. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. The proposed development will assist in providing affordable housing units and market-rate housing opportunities in a transit-friendly area near commercial centers. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

### **3. The site is physically suitable for the type and density of development.**

The Project proposes the subdivision and the construction of 79 residential condominiums with ten percent affordable. The 4.46-acre site is located on the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, just north of State Route (SR)-905 within CC-1-3 and AR-1-1 zone of the Northwest District of the Otay Mesa Community Planning area.

The site has been previously mass graded and developed in accordance with Vesting Tentative Map No. 2152396. The site is bounded by SR-905 to the north, Caliente Avenue to the west, multi-family residential to the east, and Otay Mesa Road to the north. Access to the site will be from Calle Albatross into the development. The proposed Community Plan Amendment, to

redesignate Community Commercial - Residential Prohibited to Residential Medium will allow a residential density of 15 to 29 du/ac and the rezone from CC-1-3 and AR-1-1 to RM-2-5 will allow a residential density to 79 dwellings. Therefore, the site is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

Addendum No. 690358 to Program Environmental Impact Report (PEIR) No. 30330/304032 /SCH No. 2004651076 prepared for the Otay Mesa Community Plan update, has been prepared in accordance with California Environmental Quality Act guidelines. Based upon a review of the current project, it has been determined that there are no new significant environmental impacts not considered in the previous PEIR, no substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project. A Mitigation, Monitoring and Reporting Program for Noise, Transportation/Circulation, Biological Resources, and Paleontological Resources would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The 2019 PA61 Project No. 605191 was conditioned on compliance with a Mitigation Monitoring and Reporting Program (MMRP) that included mitigation measures applicable to the project as outlined in the 2013 Program EIR mitigation framework. The MMRP also includes additional measures required by project specific technical studies. Specific mitigation measures included in the MMRP related to the following: Biological Resources (Burrowing Owl); Historical Resources (Archeological/Native American grading monitors); Paleontological Resources (Grading Monitor); and Traffic (three Existing Plus Project and Opening Day Plus Project Direct significant impacts, and five Horizon Year cumulative impacts). Consistent with the 2013 Program EIR, the 2019 Addendum found that although traffic mitigation was proposed, significant cumulative impacts would remain. The traffic impacts identified by the project-specific Transportation Impact Analysis (TIA) were consistent with those identified in the 2013 Program EIR.

The entire PA61 site has been mass graded consistent with the approved 2019 PA61 project, and relevant pre-construction and grading-related mitigation having been completed. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The Project, including review of grading, drainage, architecture, landscape, environmental analysis and provisions of new streets and driveways, has been designed to conform with the City of San Diego's codes, policies, and regulations with the primary focus of protecting the public's health,

safety and welfare. The conditions of approval of the project require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would work within the site and within the community. Conditions of approval address driveway, landscaping and grading. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features, such as source control and treatment control Best Management Practices.

Addendum No. 690358 to PEIR No. 30330/304032/SCH No. 2004651076 prepared for the Otay Mesa Community Plan update, has been prepared in accordance with California Environmental Quality Act guidelines. Based upon a review of the current project, it has been determined that there are no new significant environmental impacts not considered in the previous PEIR, no substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project. A Mitigation, Monitoring and Reporting Program for Noise, Transportation/Circulation, Biological Resources, and Paleontological Resources would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the Project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Master Planned Development Permit No. 2568951, Site Development Permit (SDP) No. 2568952, Neighborhood Development Permit (NDP) No. 2568953, and Vesting Tentative Map No. 2568950 relating to public improvements, grading, and construction in accordance with the SDMC for the project site. Prior to the issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all public improvement and grading requirements, and the Subdivider will be required to obtain construction permits. Therefore, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The Project proposes the subdivision and the construction of 79 residential condominiums with ten percent dedicated as affordable. No public access easements exist on the Project site. All existing utility easements are accommodated by the project design. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The design of the Project has taken into account the best use of the land to minimize grading and provide for greater housing opportunities in the Otay Mesa area. Design guidelines through a Master Plan Development Permit have been developed for the future construction of the residential dwelling units and includes features that do not impede or inhibit any future passive or natural heating and cooling opportunities. The side and rear setbacks will allow for the passage of wind and penetration of sunlight between buildings. Proposed landscaping including canopy trees, palms and ornamental trees throughout the project will minimize heat gain and provide an attractive landscape environment. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The Project proposes the subdivision and the construction of 79 residential condominiums with ten percent affordable. The 4.46-acre site located on the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, just north of State Route 905 within CC-1-3 zone of the Northwest District of the Otay Mesa community planning area and is currently designated Community Commercial-Residential Restricted within the Otay Mesa Community Plan. The proposed project includes a Community Plan Amendment to re-designate the site from Community Commercial- Residential Prohibited to Residential Medium and rezone from CC-1-3 and AR-1-1 to RM-2-5.

The decision maker has reviewed the administrative record including the project plans and environmental documentation to determine the effects of the proposed subdivision on the housing needs of the region. With the proposed development of 79 residential condominium units, there would be a gain of 79 for-sale units. The project proposes the construction of 79 residential condominiums having ten percent (8 units) dedicated to affordable units. The residential units will be set aside for households earning 100 percent of the Area Medium Income (AMI) for a period of 55 years. The applicant has chosen the option of providing eight market rate residential dwelling units as affordable dwelling units on site. The decision maker has determined that the available fiscal and environmental resources are balanced by the proximity of existing and future shopping, essential services, and in the nearby developed urban area. The project is within a mile from retail services and sales. Therefore, the housing needs of the region are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

**ATTACHMENT 7**

(R-[Reso Code])

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Vesting Tentative Map No. 2568590 hereby granted to Tri Pointe Homes, Inc. subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: MARA W. ELLIOTT, City Attorney

By \_\_\_\_\_  
Corrine Neuffer  
Chief Deputy City Attorney

[Initials]:[Initials]  
[Month]/[Day]/[Year]  
Or.Dept:[Dept]  
R-R-[Reso Code]

DRAFT

**GENERAL PLAN AND COMMUNITY PLAN  
AMENDMENT RESOLUTION**

RESOLUTION NUMBER R-\_\_\_\_\_

DATE OF FINAL PASSAGE \_\_\_\_\_

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO ADOPTING AN AMENDMENT TO THE GENERAL PLAN TO REDESIGNATE A 4.46-ACRE SITE FROM COMMERCIAL EMPLOYMENT, RETAIL & SERVICES TO RESIDENTIAL AND AN AMENDMENT TO THE OTAY MESA COMMUNITY PLAN TO REDESIGNATE THE 4.46-ACRE SITE FROM COMMUNITY COMMERCIAL-RESIDENTIAL PROHIBITED TO RESIDENTIAL-MEDIUM 15-29 DWELLING UNITS PER ACRE IN THE OTAY MESA COMMUNITY.

WHEREAS, Tri Pointe Homes, requested an amendment to the Otay Mesa Community Plan to redesignate a 4.46-acre site at the southeast corner of Caliente Avenue and Otay Mesa Road from Community Commercial-Residential Prohibited to Residential-Medium 15-29 dwelling units per acre; and

WHEREAS, the action includes an amendment to the General Plan to redesignate the 4.46-acre site from Commercial Employment, Retail and Services to Residential due to the Otay Mesa Community Plan being part of the Land Use Element of the General Plan; and

WHEREAS, the site is legally described as: Lot 1 of California Terraces PA61 Final Map No. 16413 recorded on August 27, 2020, as File No. 2020-7000258; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals

**ATTACHMENT 8**

affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the General Plan and the Otay Mesa Community Plan; and

WHEREAS, on \_\_\_\_\_ the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the General Plan and the Otay Mesa Community Plan; and

WHEREAS, the City Council has considered the Planning Commission record and recommendation, as well as the maps, exhibits, and written documents contained in the file for this amendment on record in the City of San Diego, and has considered the oral presentation given at public hearing; and

WHEREAS, the amendment retains internal consistency with the Otay Mesa Community Plan and the General Plan and helps achieve long-term community and citywide goals; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego that the amendment to the Otay Mesa Community Plan and General Plan is approved, a copy of which is on file in the office of the City Clerk as Document

No. RR-\_\_\_\_\_.



**ATTACHMENT 8**

BE IT FURTHER RESOLVED, by the City Council of the City of San Diego that the amendment to the General Plan is approved, a copy of which is on file in the office of the City Clerk as Document

No. RR-\_\_\_\_\_.

APPROVED: MARA ELLIOTT, City Attorney

By \_\_\_\_\_  
Corrine Neuffer  
Chief Deputy City Attorney

IBL: mm  
xxxxxx XX, 2022  
Or. Dept: Planning  
Doc. No.:

BE IT RESOLVED, by the City Council of the City of San Diego that the amendment to the Otay Mesa Community Plan and General Plan is approved, a copy of which is on file in the office of the City Clerk as Document

No. RR-\_\_\_\_\_.

BE IT FURTHER RESOLVED, by the City Council of the City of San Diego that the amendment to the General Plan is approved, a copy of which is on file in the office of the City Clerk as Document

No. RR-\_\_\_\_\_.

**ATTACHMENT 8**

I hereby certify that the foregoing Resolution was passed by the Council of the City of San Diego, at this meeting of .

ELIZABETH S. MALAND  
City Clerk

By \_\_\_\_\_  
Deputy City Clerk

Approved: \_\_\_\_\_  
(date)

\_\_\_\_\_  
TODD GLORIA, Mayor

Vetoed: \_\_\_\_\_  
(date)

\_\_\_\_\_  
TODD GLORIA, Mayor

DRAFT

**THE CITY OF SAN DIEGO**  
**General Plan**  
*Land Use and Community Planning Element*

The General Plan Land Use Map depicts generalized land use within the City of San Diego. The information is a composite of the land use maps adopted for each of the community, specific, precise, subarea and plan areas. It is intended as a representation of the distribution of land uses throughout the city; although consistent with, it is not a replacement or substitution for community or other adopted land use plans. Please refer to the relevant community or other adopted land use plan documents for more detail regarding planned land uses and land use planning proposals.

Revised Sept, 2022

**Figure LU-2**  
**General Plan**  
**Land Use**  
**and Street System**

**Street System**

- Freeways
- Prime Arterials
- Major Arterials
- Collectors (local and rural)

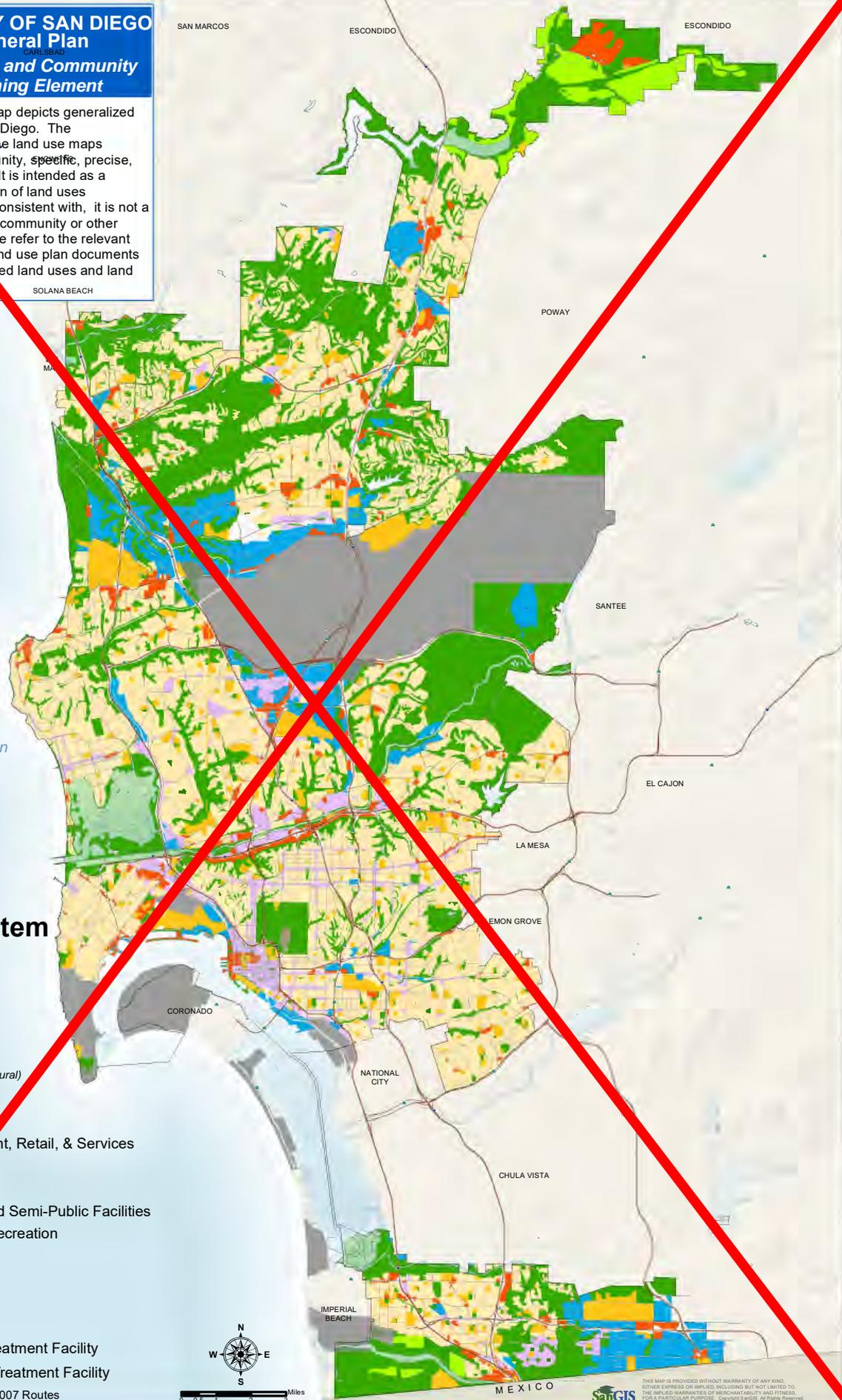
**General Plan Land Use**

- Residential
- Commercial Employment, Retail, & Services
- Multiple Use
- Industrial Employment
- Institutional & Public and Semi-Public Facilities
- Park, Open Space, & Recreation
- Agriculture

**Other Features**

- Military Use
- Active Landfill
- Existing Wastewater Treatment Facility
- Proposed Wastewater Treatment Facility

Source: SANDAG 2007 RTP; MTS 2007 Routes



0 0.5 1 2 3 Miles

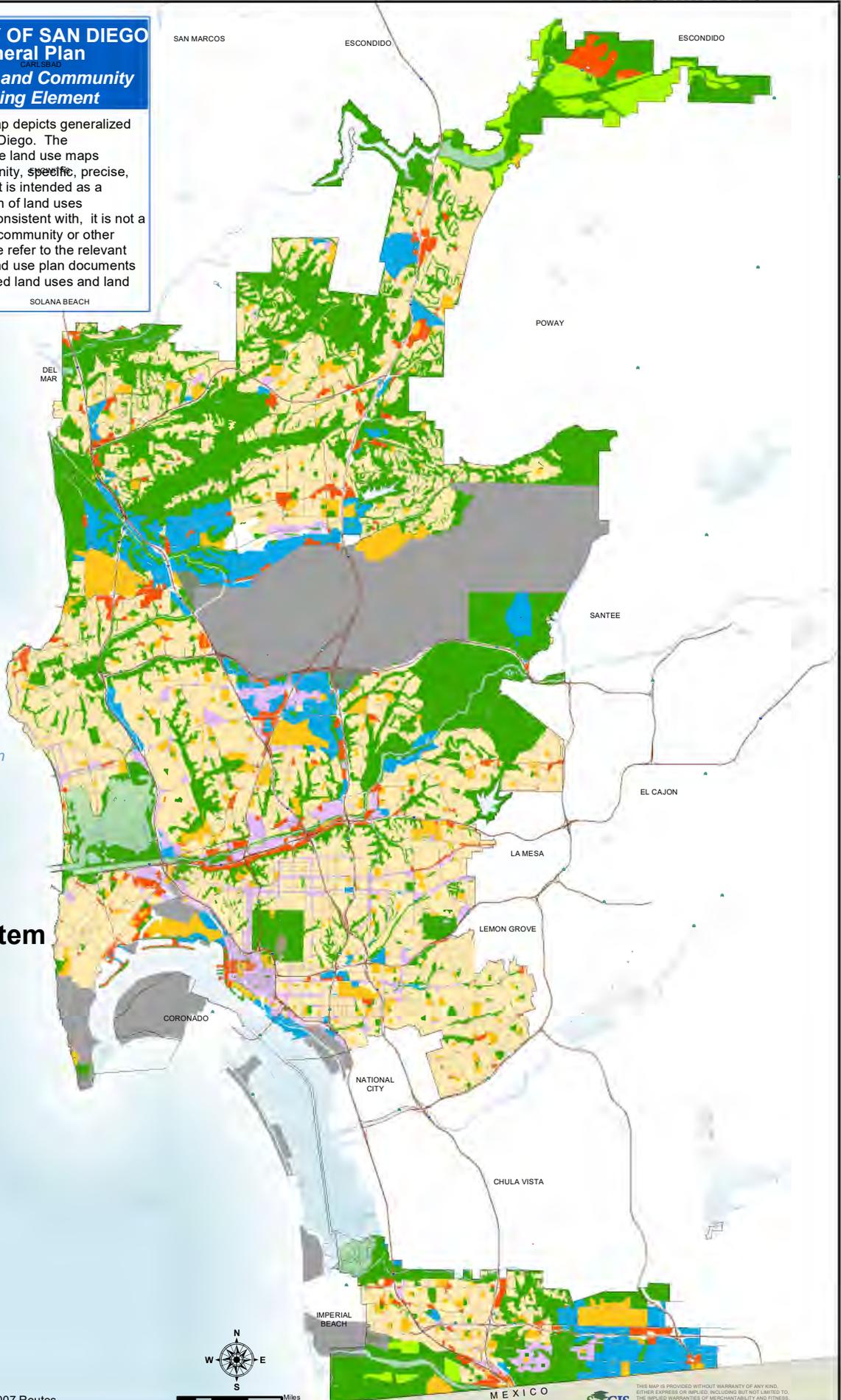


**THE CITY OF SAN DIEGO**  
**General Plan**  
*Land Use and Community Planning Element*

The General Plan Land Use Map depicts generalized land use within the City of San Diego. The information is a composite of the land use maps adopted for each of the community, specific, precise, subarea and park plan areas. It is intended as a representation of the distribution of land uses throughout the city; although consistent with, it is not a replacement or substitution for community or other adopted land use plans. Please refer to the relevant community or other adopted land use plan documents for more detail regarding planned land uses and land use planning proposals.

SOLANA BEACH

Revised Sept, 2022



**Figure LU-2**  
**General Plan**  
**Land Use**  
**and Street System**

Source: SANDAG 2007 RTP; MTS 2007 Routes

THIS MAP IS PROVIDED WITHOUT WARRANTY OF ANY KIND. OTHER EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO, THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS, FOR A PARTICULAR PURPOSE. Copyright © 2007. All Rights Reserved.

**PTS #690358 PA61 Lot 1 CPA/Rezone  
Community Plan Amendment Response to  
Planning Commission Resolution No. 5151-PC Issues**

The following information is provided for consideration in reviewing the consistency of the proposed PA61 Community Plan Amendment (CPA) submission with Planning Commission Staff Report No. PC 21-021 and Planning Commission Resolution No. 5151-PC dated April 15, 2021.

**1. Appropriate land use designation, residential density, and zoning for the site.**

The applicant proposes to amend the community plan to revise the land use designation from Community Commercial- Residential Prohibited to Residential – Medium 15-29 dwelling units per acre, which will allow 67 to 129 dwelling units. This land use designation will be appropriate to accommodate the proposed 79 multifamily residential units with the project. To implement the proposed community plan amendment, the property will be rezoned from CC-1-3 and AR-1-1 to RM-2-5.

The Community Plan states that in order to achieve a balanced community in Otay Mesa, larger housing units along with a greater proportion of multi-family residential developments are needed to accommodate the increase of residents within the community. The proposed residential density range will be consistent with the Community Plan goal of providing affordable housing development through the provision of a variety of housing types that are affordable in nature.

**2. Analysis of the retail market to determine if the reduction of retail would impact the community.**

A retail analysis was prepared in October 12, 2018 with the purpose of assessing to what impact, if any, reducing the amount of retail space planned at the project site will have on the retail environment in the project's Competitive Market Area (CMA). The analysis concluded that there is sufficient supply of retail to meet existing demand. The analysis cited that with the increase in e-commerce, there is less of a demand for "brick and mortar" retail space.

**3. Urban and site design considerations, consistent with General Plan/Community Plan policies, for the proposed land use designation.**

A goal of the Urban Design Element of the community plan is to provide active, safe, and pleasant streets, parks and public spaces. The proposed project will meet this goal through a site design that will feature well-landscaped streets in a grid pattern with an extensive sidewalk system; and Areas within the project site will be planted

with drought-tolerant plants that are safe for children, including trees that will provide seasonal color and shade. The project proposes a plant selection that will reflect the importance of water conservation, fire resistance, and erosion control with emphasis on Caliente Road, Calle Albatross and Otay Mesa Road. The project proposes to plant 24-inch box canopy tree species that include: Silk, White Alder, Peppermint, Willow, Silk Oak, Southern Magnolia and Tipu.

Existing development in the vicinity of the project includes three-story buildings to the south and to the north of the subject site across Otay Mesa Road. The proposed project will include three-story structures that will be compatible with existing surrounding development. The proposed project will include design guidelines that envision a contemporary Mediterranean design aesthetic that will ensure a cohesive neighborhood identity and a well-articulated environment appropriate for the surrounding community.

#### **4. Provision of amenities, public spaces, and pedestrian-scale elements associated with the proposed development.**

The proposed project will include private active and passive recreational areas and a butterfly garden area. The active and passive recreational areas will incorporate features ranging from natural play areas to turf space. Adjacent to this area is a proposed pocket park, planned as a focal point at the terminus of Street "A". The 8,600 square foot park will accommodate active and passive activities through pedestrian-scaled lighting, sitting areas, bicycle racks and trash receptacles. An open grassy area and tot lot will provide play space for children, and large trees will provide shade along a winding walkway.

#### **5. Provision of onsite affordable housing.**

The proposed project will include eight affordable dwelling units, or 10 percent of total constructed on-site as affordable and targeted for households at 100 percent Area Median Income for a period of 55 years.

#### **6. Connectivity of pedestrian and bicycle facilities to better integrate the site with surrounding development.**

The proposed project will construct bike lanes on Caliente Avenue and Otay Mesa Road. The project will provide parkways with non-contiguous sidewalk to provide a larger buffer for pedestrian safety. The proposed project will construct a non-buffered 7-foot bike lane on Otay Mesa Road and a non-buffered 5-foot bike lane on Caliente Avenue.

**7. Review of pedestrian and vehicular circulation patterns for safety and connection among different uses located on the site as well as review pedestrian/vehicular access into the property.**

The proposed project will provide deceleration lanes, which will allow vehicles to safely reduce speed while exiting a roadway without affecting the main flow of traffic along Otay Mesa Road onto Calle Albatross. The proposed project will provide internal pedestrian circulation sidewalks. The existing five-foot curbed sidewalk adjacent to Caliente will be removed and replaced with a six-foot non-contiguous sidewalk.

**8. Sustainable development features.**

The proposed project will include sustainable development features including cool/green roofs, use of low-flow fixtures/appliances and electric vehicle charging stations. The proposed project will include plant drought-tolerant plant material.

**9. Evaluation of road and freeway noise and potential attenuation measures for residential uses sited near SR-905 and Otay Mesa Road.**

A noise study prepared for the project indicated that balcony noise levels are projected to exceed 70 dB CNEL at five of the balconies facing SR-905. To attenuate noise in these affected areas, the proposed project will provide solid 3.5-foot balcony walls, to reduce exterior noise levels to 70 dB CNEL or less at all balconies. The proposed project will also include construction techniques, including window, door, and wall components, to reduce interior noise levels to 45 dB or less.

## OTAY MESA COMMUNITY PLAN

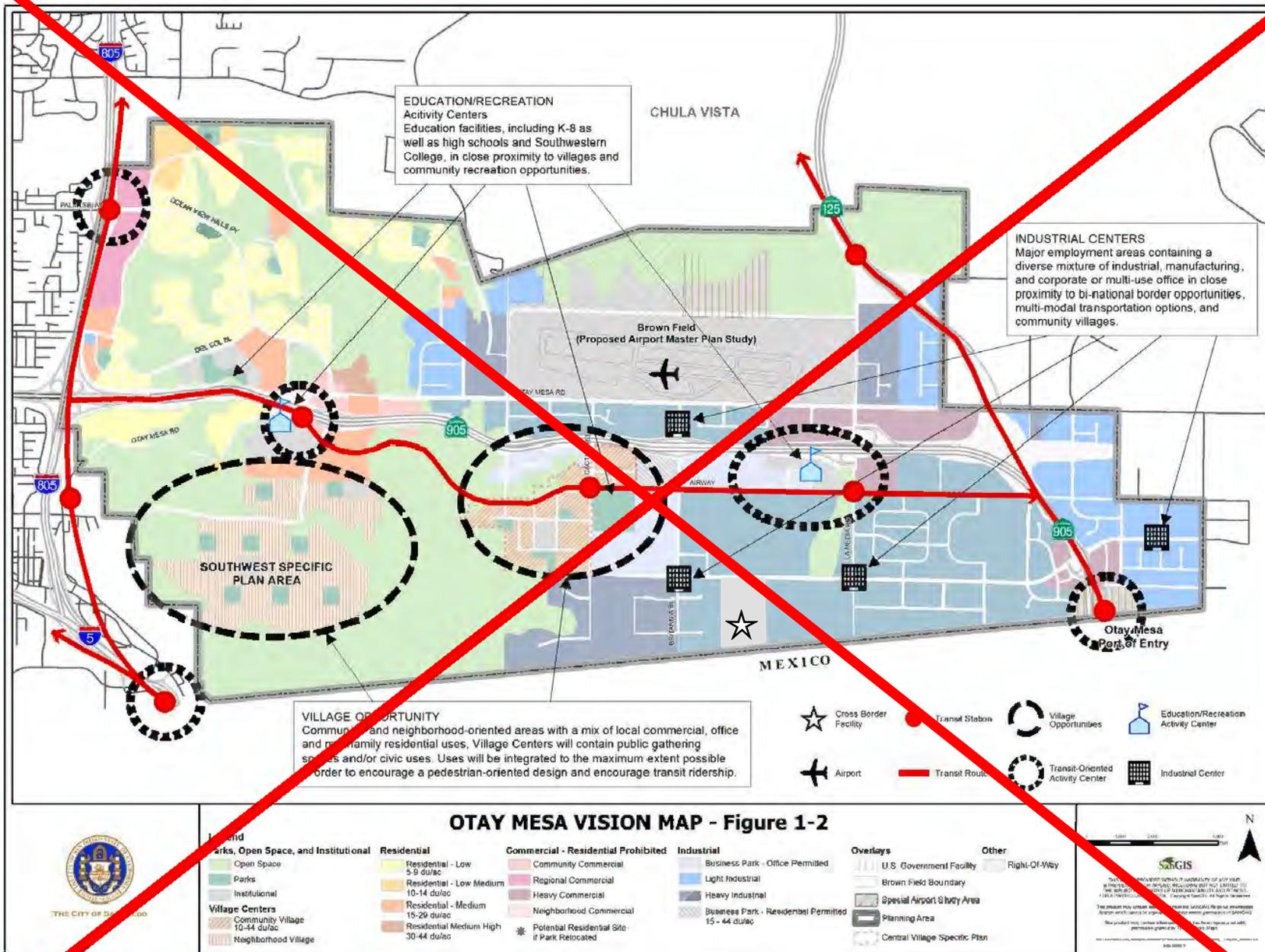
Amendment	Date Approved by Planning Commission	Resolution Number	Date Adopted by City Council	Resolution Number
Otay Mesa Community Plan Adopted.	February 13, 2014		March 11, 2014	R-308810
Corrections to address inconsistencies between the Land Use and Zoning Map. Minor map and text corrections to show land use and the removal of paper streets from map figures.	April 30, 2015	R-4685	June 2, 2015	R-309773
Otay Mesa Central Village Specific Plan Adopted.	February 23, 2017		April 13, 2017	R-311020
Adoption of the Vernal Pool Habitat Conservation Plan.			January 31, 2018	R-311505
Redesignation of 9.2 acres located at the southeast corner of the intersection of Caliente Avenue and Otay Mesa Road, just north of SR-905 from Community Commercial-Residential Prohibited to Residential-Medium (15-29 dwelling units per acre).			June 4, 2019	R-312500

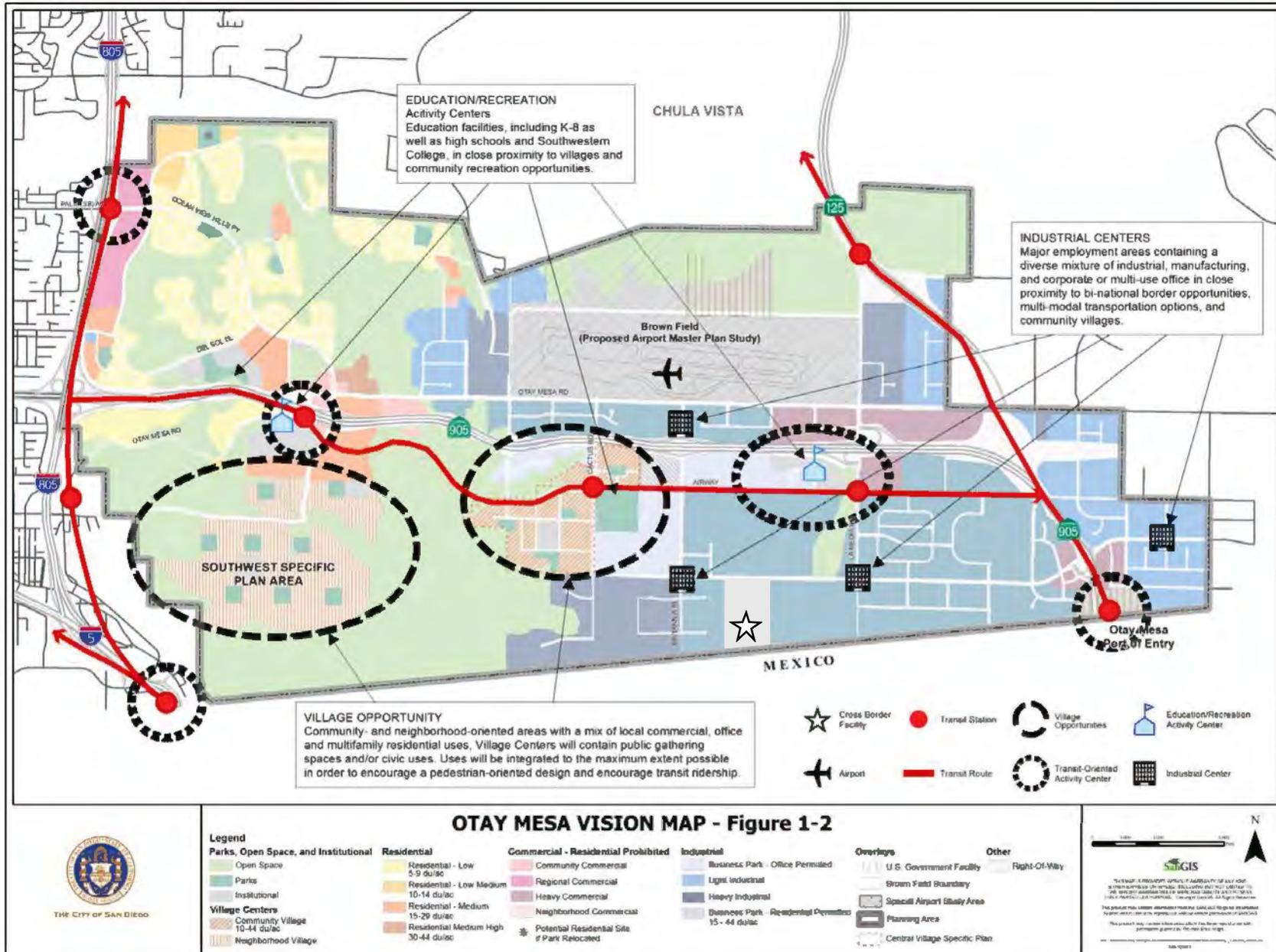


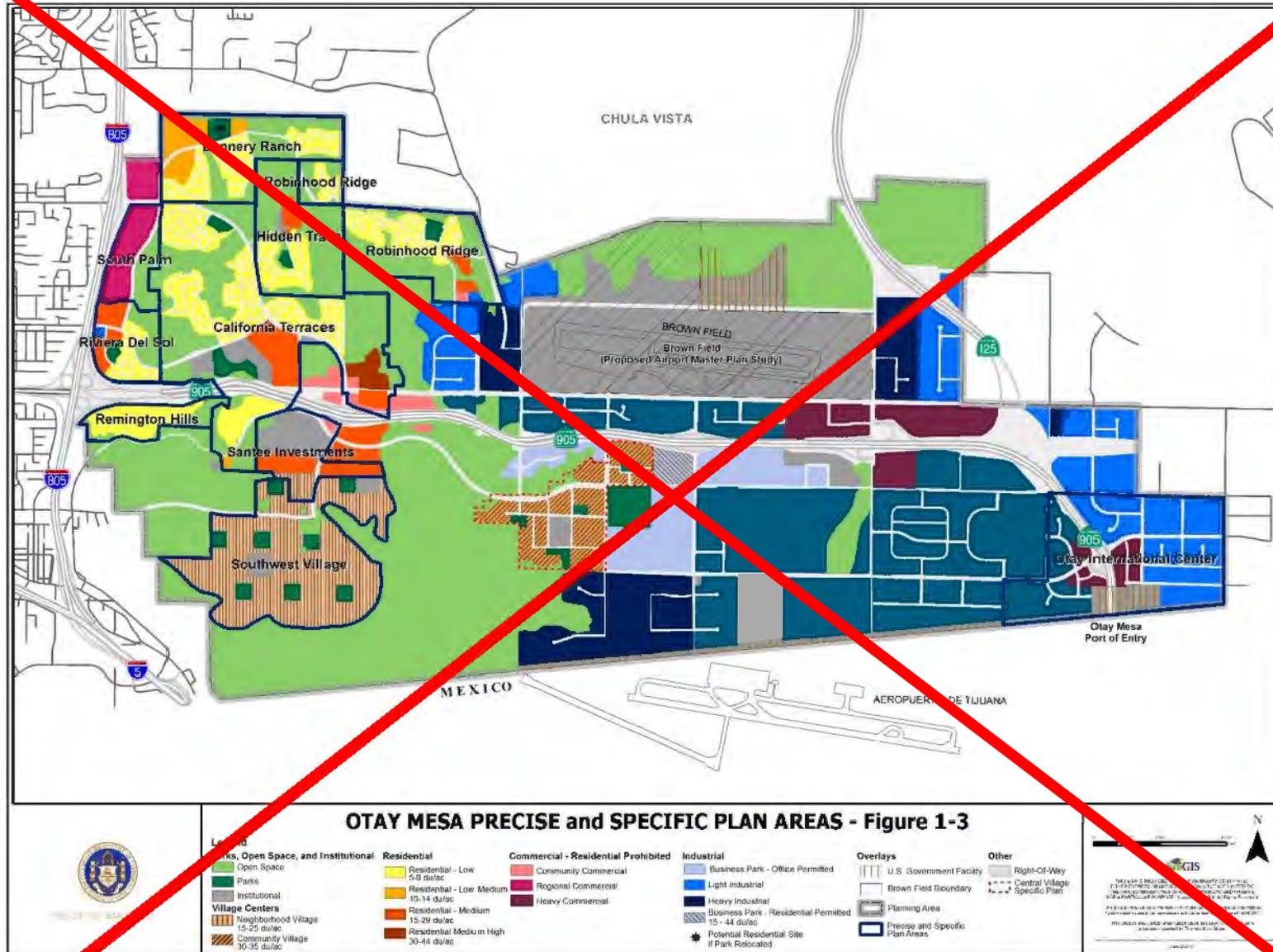
## OTAY MESA COMMUNITY PLAN

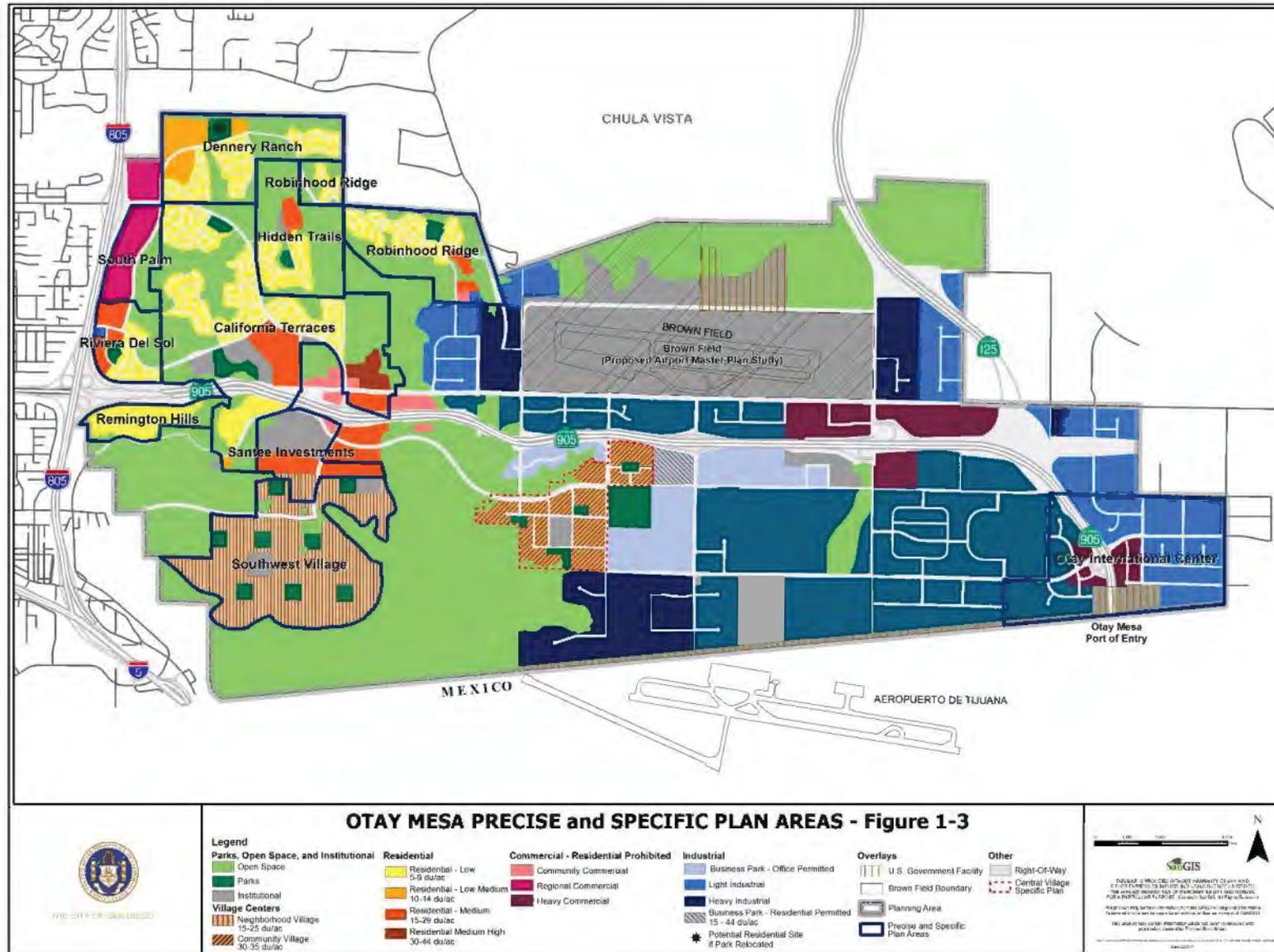
Amendment	Date Approved by Planning Commission	Resolution Number	Date Adopted by City Council	Resolution Number
Removal of a portion of Avenida Costa Azul, immediately south of Otay Mesa Road related to the Sunroad Otay 50 Project.			May 20,2019	R-312469
Removal of Otay Pacific Drive, Otay Pacific Place and Las Californias Drive from the Mobility Element's classified Roadways network serve private drives serving the Otay Mesa Cross Boarder Facility.			October 5, 2021	R-313736
<u>Redesignating 4.46 acres at the southeast corner of Caliente Avenue and Otay Mesa Road from Community Commercial-Residential Prohibited to Residential Medium (15-29 dwelling units per acre).</u>				

**Editor's note:** After the adoption of the Otay Mesa Community Plan, it was noticed that Figure 3-2 depicted the street classifications for Otay Pacific Drive, Otay Pacific Place, and Las Californias incorrectly; these streets were classified pursuant to City Council Resolution R-307235 on January 10, 2012, which the reclassification was not captured in all places in the Otay Mesa Community Update documents, including Figure 3-2; and therefore, Figure 3-2 in Document Number R-308810 is replaced with Figure 3-2.









Year 2010 and planned land uses within Otay Mesa are outlined in Tables 2-1 and 2-2. Otay Mesa’s extensive canyon systems in the western portion of the planning area accounts for 29 percent of the total community acreage and results in Open Space comprising the largest single land use. The Open Space areas are home to sensitive resources, and the opportunity to combine protection of the resources with educational opportunities will help facilitate community awareness and stewardship. In support of the General Plan’s identification of Otay Mesa as a Subregional Employment Area, industrial land uses in the eastern portion encompass the next largest land use accounting for approximately 26 percent of the total acreage. Residential land uses comprise approximately 8 percent, with the majority of the acreage in the western half of the planning area. The Village Area uses, which include residential and commercial opportunities, encompass approximately 8 percent. Park uses, in support of the residential and employment land uses, include approximately 2 percent of the total acreage of Otay Mesa. The Institutional uses comprise approximately 13 percent, with almost 900 of the acres belonging to Brown Field, the City’s general aviation airport. Figure 2-1 illustrates the Community Plan Land Use Map and Table 2-3 outlines the land use categories within the community, as well as the types of uses allowed in each category.

Table 2-1  
2010 Existing Land Use Distribution

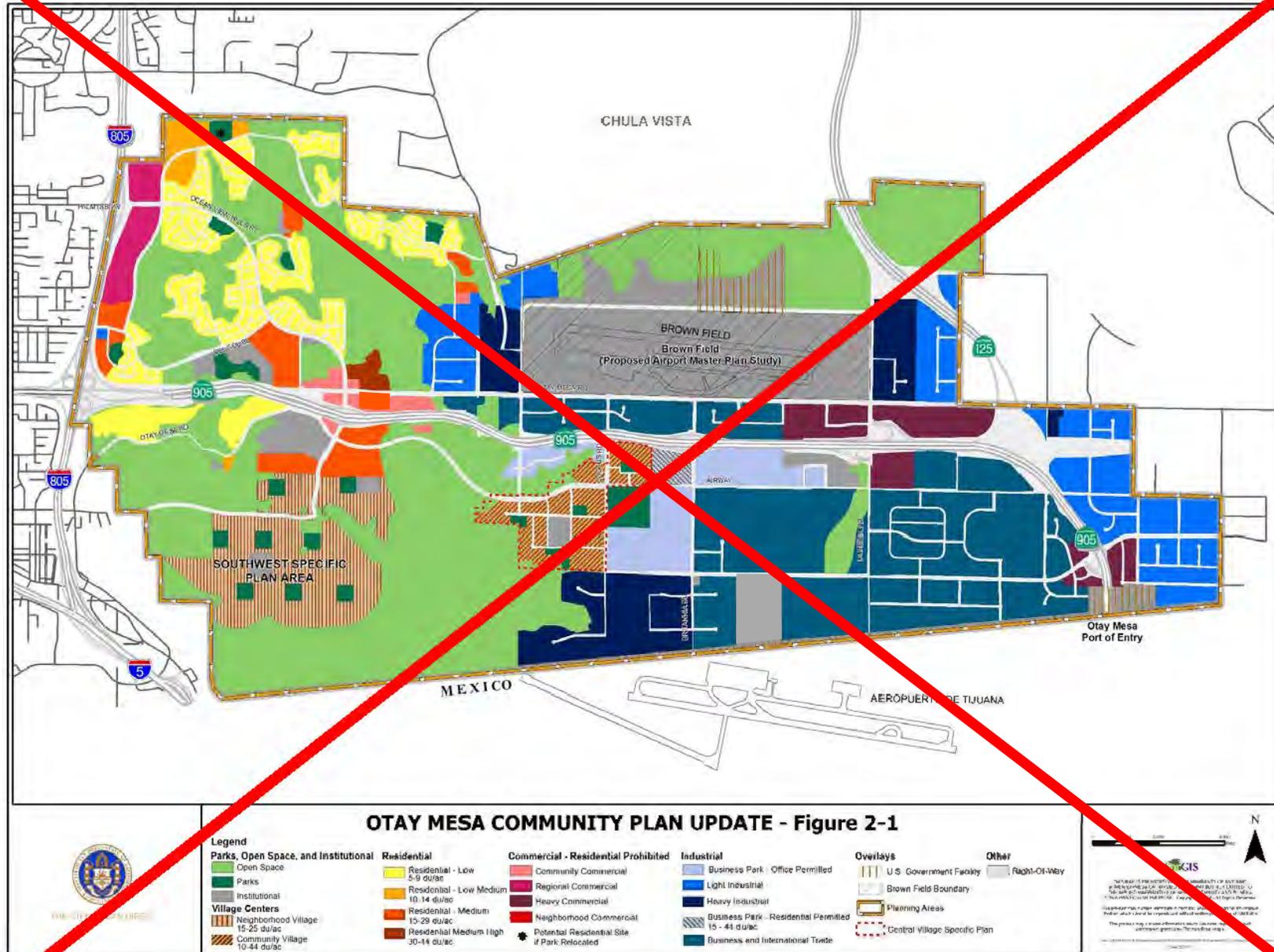
Land Use	Acres	% of Total Acres	Dwelling Units
Open Space	2,565	27%	
Residential	1,270	14%	12,400
Commercial	453	5%	
Village Area			
Industrial	2,839	30%	
Institutional	1,023	11%	
Parks	53	1%	
Right-of-Way	1,099	12%	
<b>Total</b>	<b>9,302</b>	<b>100%</b>	<b>12,400</b>

Table 2-2  
Planned Land Use Distribution

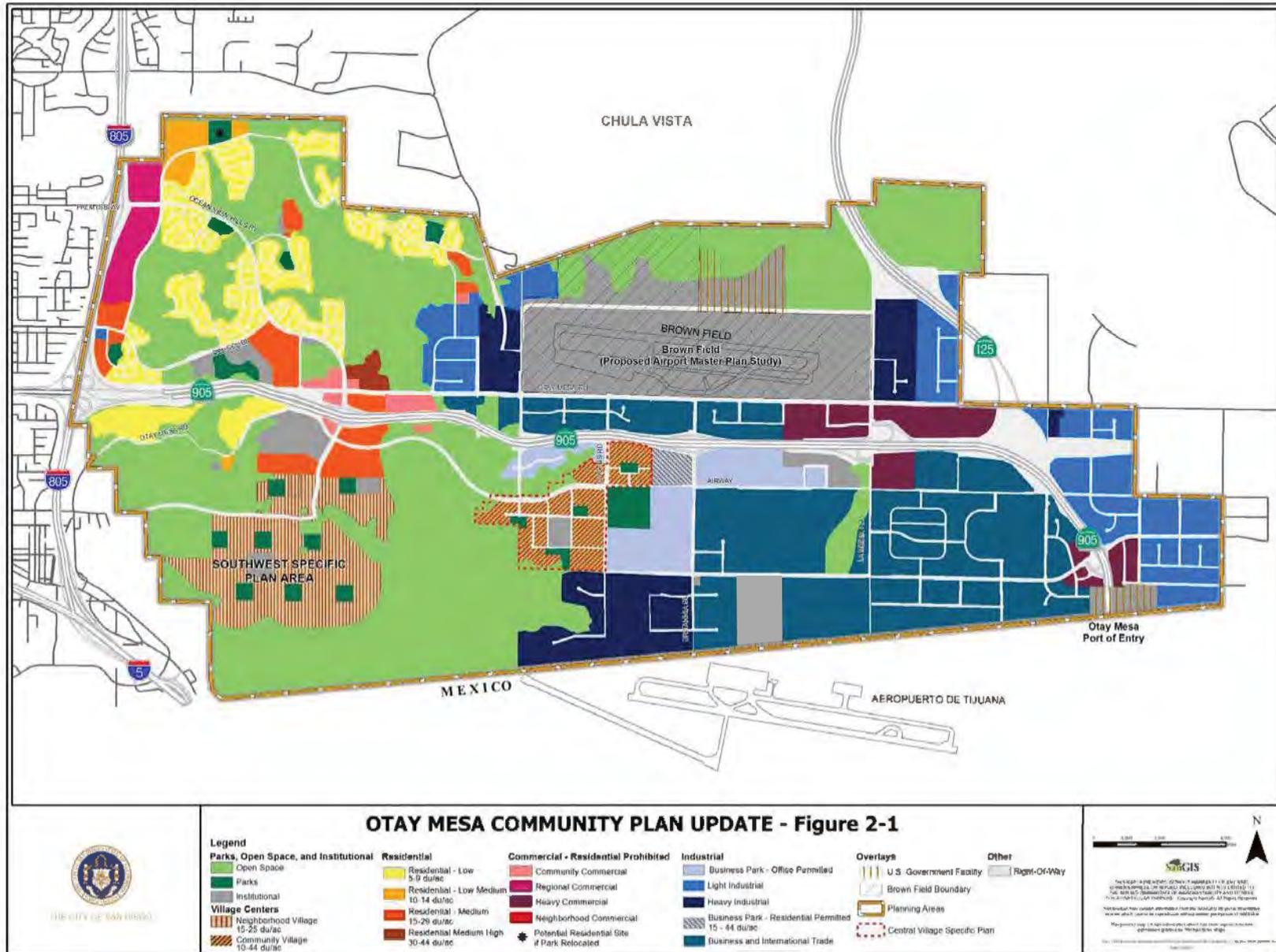
Land Use	Acres	% of Total Acres	Dwelling Units
Open Space	2,833	30%	
Residential	<del>802</del> 807	9%	<del>7,648</del> 7,727
Commercial	<del>302</del> 297	3%	
Village Area	560	6%	11,126
Industrial	2,510	27%	
Institutional	1,120	12%	
Parks	151	2%	
Right-of-Way	1,023	11%	
<b>Total</b>	<b>9,302</b>	<b>100%</b>	<b><del>18,774</del> 18,853</b>



Land Use Element



Land Use Element

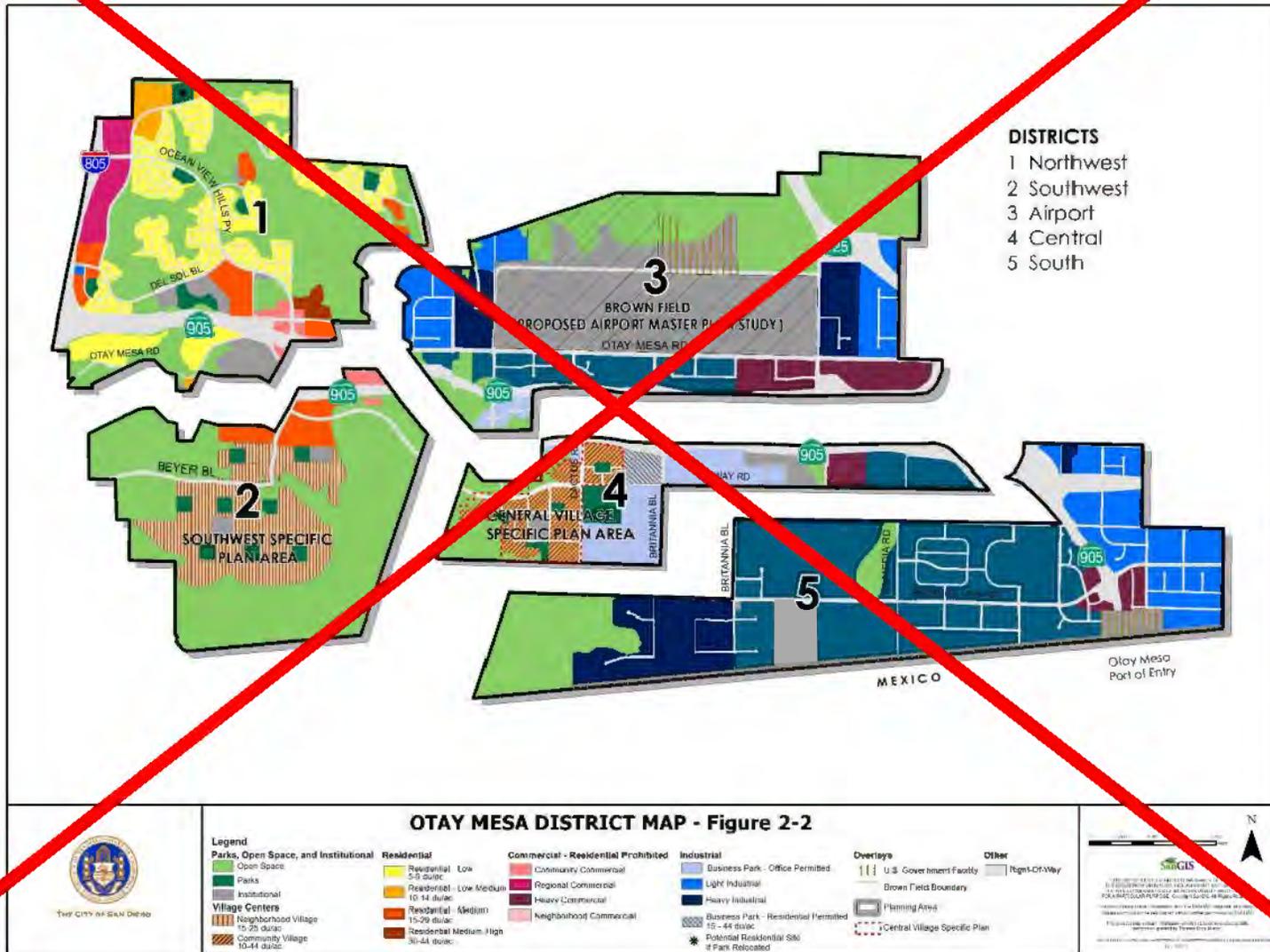




Districts

Within the planning area and as shown in Figure 2-2 below, a series of districts help to organize and form the community of Otay Mesa. Predominant land uses,

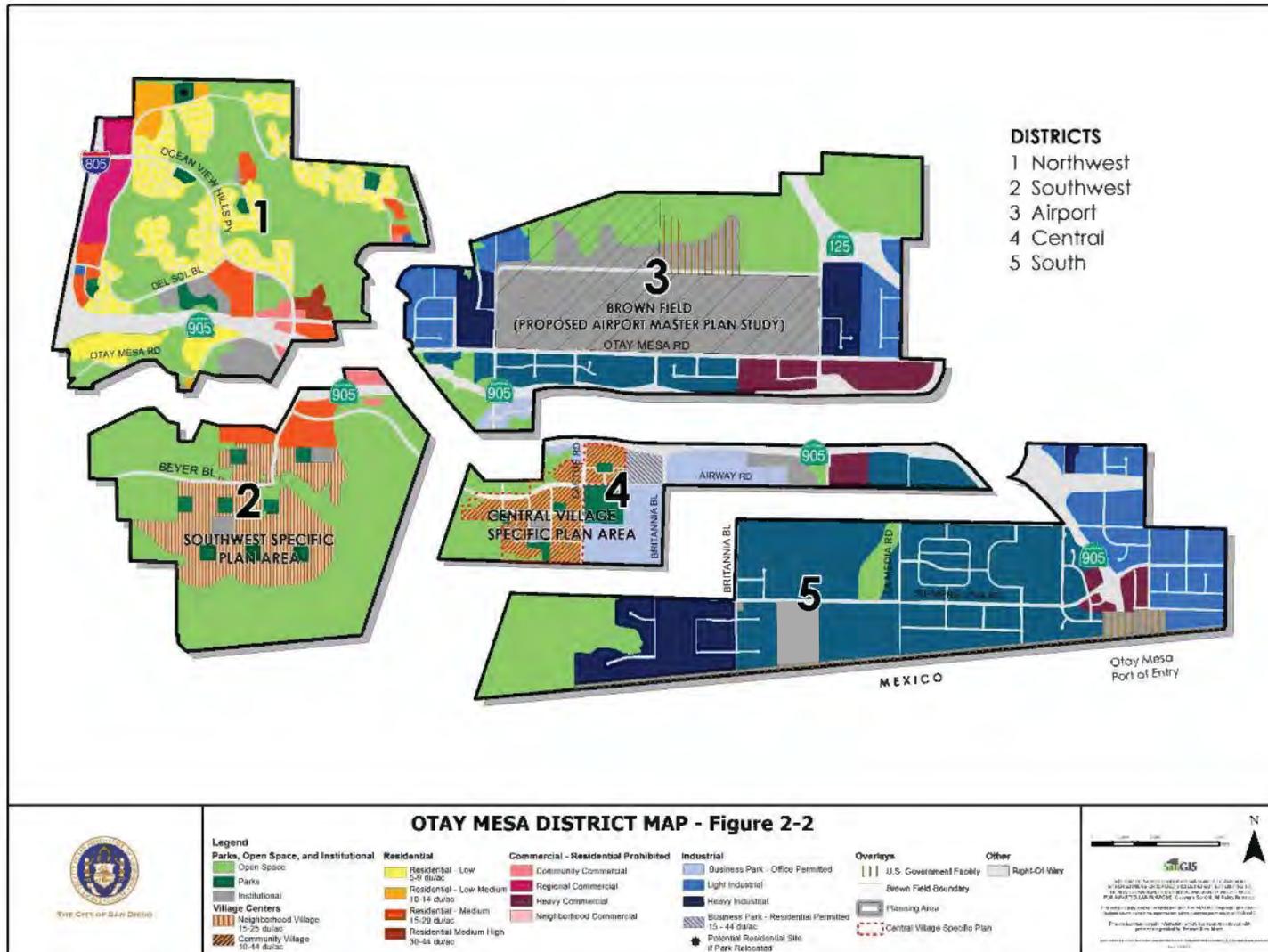
facilities, natural features, and infrastructure help form the five districts.



**Districts**

Within the planning area and as shown in Figure 2-2 below, a series of districts help to organize and form the community of Otay Mesa. Predominant land uses,

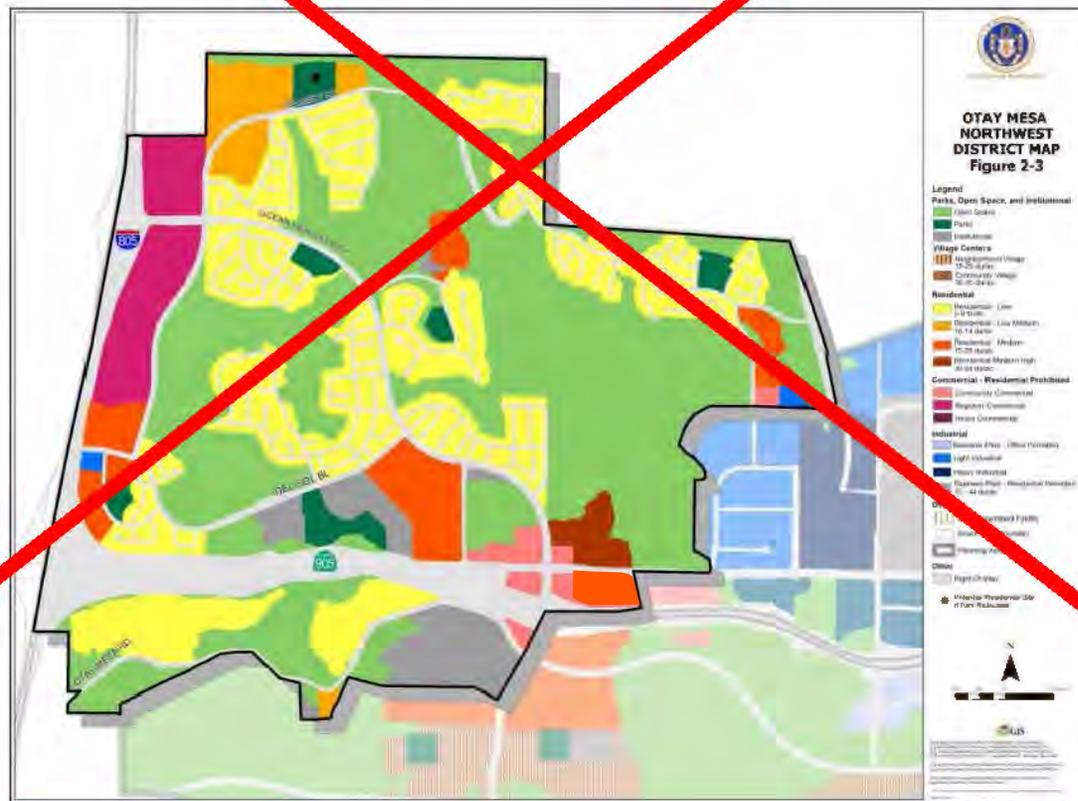
facilities, natural features, and infrastructure help form the five districts.



1. Northwest District

The Northwest District of Otay Mesa is generally bounded by I-805 on the west, Moody Canyon to the south, Denney Canyon to the west, and the boundary with Chula Vista to the north. The district is characterized by hilltop low density single-family residential development, a canyon system with protected sensitive biological resources and habitat areas, and associated community and regional commercial services. Several locations are designated for medium to high density multifamily

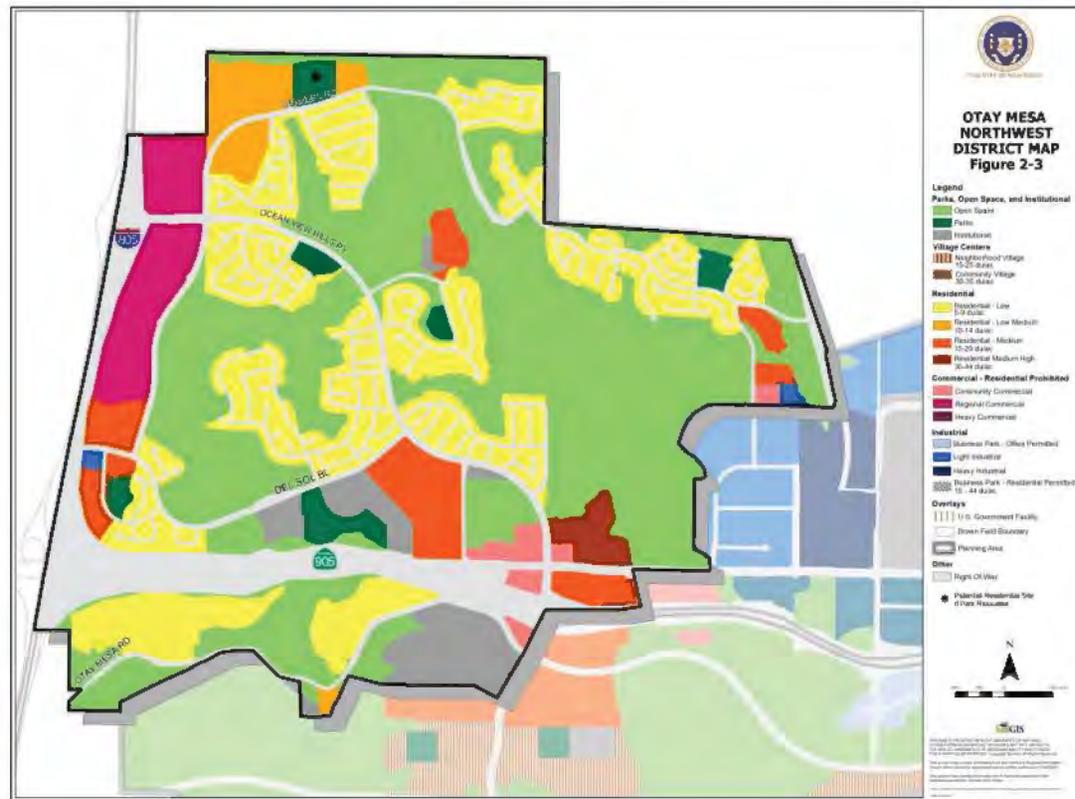
development, and are located near SR-905 and commercial services. The District includes the San Ysidro High School, and seven Precise Planning Area neighborhoods: California Terraces, Denney Ranch, Hidden Trails, Remington Hills, Riviera del Sol, Robinhood Ridge, and Santee Investments (Figure 1-3). Because the precise planning areas are almost completely developed, these residential neighborhoods are not projected to change significantly for the life of the plan.



1. Northwest District

The Northwest District of Otay Mesa is generally bounded by I-805 on the west, Moody Canyon to the south, Denney Canyon to the west, and the boundary with Chula Vista to the north. The district is characterized by hilltop low density single-family residential development, a canyon system with protected sensitive biological resources and habitat areas, and associated community and regional commercial services. Several locations are designated for medium to high density multifamily

development, and are located near SR-905 and commercial services. The District includes the San Ysidro High School, and seven Precise Planning Area neighborhoods: California Terraces, Denney Ranch, Hidden Trails, Remington Hills, Riviera del Sol, Robinhood Ridge, and Santee Investments (Figure 1-3). Because the precise planning areas are almost completely developed, these residential neighborhoods are not projected to change significantly for the life of the plan.



2. Southwest District

The Southwest District of Otay Mesa is generally bounded by the Moody and Spring Canyon systems to the west, south, and east, and San Ysidro High School and the SR-905 to the north. The district is characterized as a mesa top bounded by Open Space and extensive canyon systems that are home to sensitive biological resources and habitat areas. The Southwest District includes opportunities for both village development and resource preservation.

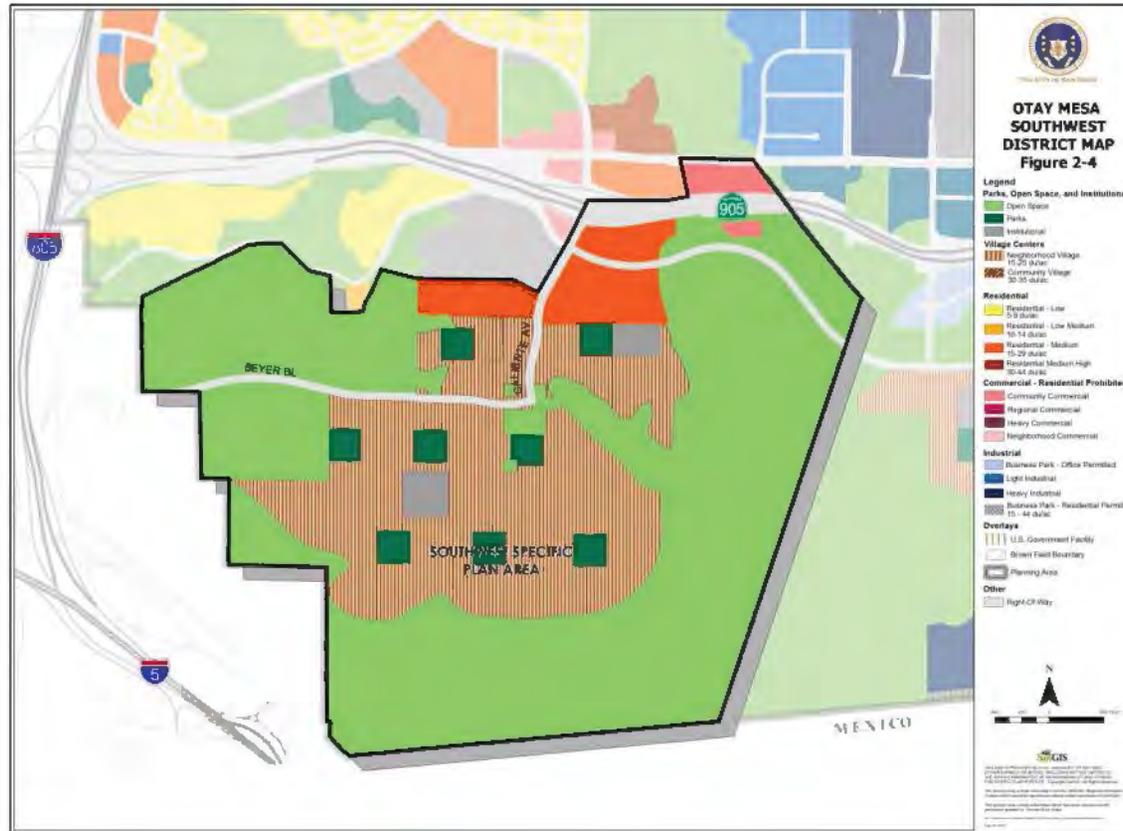
The village will be primarily residential in nature, with a core mixed-use center including civic, and neighborhood-serving commercial uses and services. Resource protection combined with educational opportunities will help facilitate community awareness and stewardship of the sensitive resources. There is also a large community-serving commercial center planned in the northeast corner of the District that straddles SR-905.



**2. Southwest District**

The Southwest District of Otay Mesa is generally bounded by the Moody and Spring Canyon systems to the west, south, and east, and San Ysidro High School and the SR-905 to the north. The district is characterized as a mesa top bounded by Open Space and extensive canyon systems that are home to sensitive biological resources and habitat areas. The Southwest District includes opportunities for both village development and resource preservation.

The village will be primarily residential in nature, with a core mixed-use center including civic, and neighborhood-serving commercial uses and services. Resource protection combined with educational opportunities will help facilitate community awareness and stewardship of the sensitive resources. There is also a large community-serving commercial center planned in the northeast corner of the District that straddles SR-905.



split between single-family and multi-family homes. Otay Mesa’s households are generally larger than the City as a whole, and the median household income is significantly lower as well.

In order to achieve a balanced community in Otay Mesa, larger units along with a greater proportion of multi-family residential developments are needed to accommodate the larger households. Furthermore, affordable housing opportunities are needed to ensure a diverse mixture of incomes and households in Otay Mesa.

Based on the density ranges of the Land Use Map and household sizes within the aforementioned survey, Table 2-5 shows estimated totals for population, as well as village dwelling unit totals for single family and units for the three residential areas within Otay Mesa. The village totals represent the total unit count used to determine infrastructure and public facility needs for the village, and should be considered the maximum number when Specific Plans are processed. The Northwest District area is mostly developed, and considered as an area with little opportunity for change. The Southwest and Central Villages represent areas of opportunity for village development.

The City of Villages strategy encourages future development to increase the housing supply and diversity with compact, mixed-use activity centers that are integrated into the larger community. Table 2-6 provides the residential density ranges for Otay Mesa,

and further defines the estimated units from Table 2-5 into more specific density ranges. The Very Low, Low, Low Medium, Medium, and Medium High designations are representative of the development pattern and intensities of the Northwest Area.

Table 2-5

Estimated Otay Mesa Residential Summary Table at Build-Out				
	SF Units	MF Units	Total Units	Total Population
Northwest Area	2,873	<del>4,775</del> 4,854	<del>7,648</del> 7,727	27,908
Southwest Village	1,400	4,480	5,880	21,028
Central Village		4,768	4,768	16,451
Business Park, Res. Permitted		478	478	1,648
<b>Total</b>	<b>4,273</b>	<del>14,501</del> 14,580	<del>18,774</del> 18,853	<b>67,035</b>

The Neighborhood Village designation will allow for the provision of both single-family and multi-family housing types and is applied in the Southwest Specific Plan Area as well as the western half of the Central Village to achieve a balanced mix of single-family, multi-family and mixed-use developments. The Community Village designation, applied in the eastern half of the Central Village Specific Plan Area provides opportunities for smaller lots, townhomes, and multi-family housing development. While the village density ranges were used to estimate dwelling units and population, further



refinement of the land use designations and dwelling unit counts may occur when Specific Plans are submitted for the village areas

Residential development is planned for the Central Village, with a goal of providing housing in close proximity to employment. A variety of industrial lands are located to the north, east, and south of the Central Village, providing a diversity of employment opportunities for village residents. In order to prevent potential conflicts between village and industrial uses, the Otay Mesa Community Plan utilizes multiple land use designations to help create distance between sensitive receptors in the Central Village and the industrial lands to the east and the south.

The Open Space lands serve as a natural distance separator between industrial activity and sensitive receptors, reducing the potential for conflicts. The Business Park land use designation, which allows for light manufacturing and office uses that do not create nuisance or hazardous characteristics, provides uses that can locate near sensitive receptors as well as more traditional industrial uses. Business Park lands located along Britannia Boulevard and Siempre Viva Road separate the Grand Park and residential village from other industrial land uses. Heavy Industrial lands located south of Siempre Viva Road are separated from the Central Village by Wruck Canyon, depicted in Figure 8-1. Although this distance separation reduces the potential

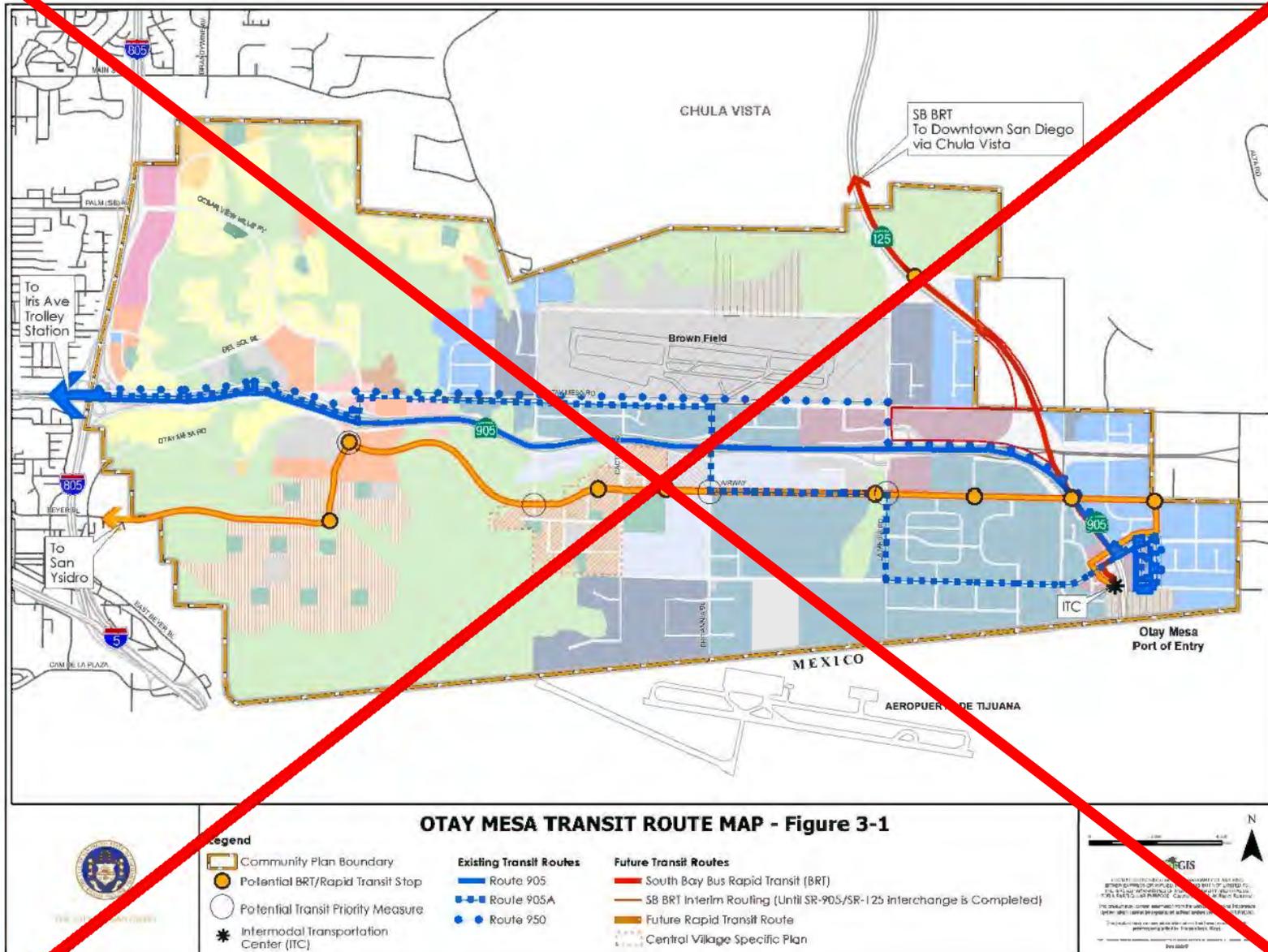
for conflicts between users, all future development will need to ensure appropriate separation distances between industrial and residential uses, as stated in the General Plan’s Economic Prosperity Element and Appendix C.

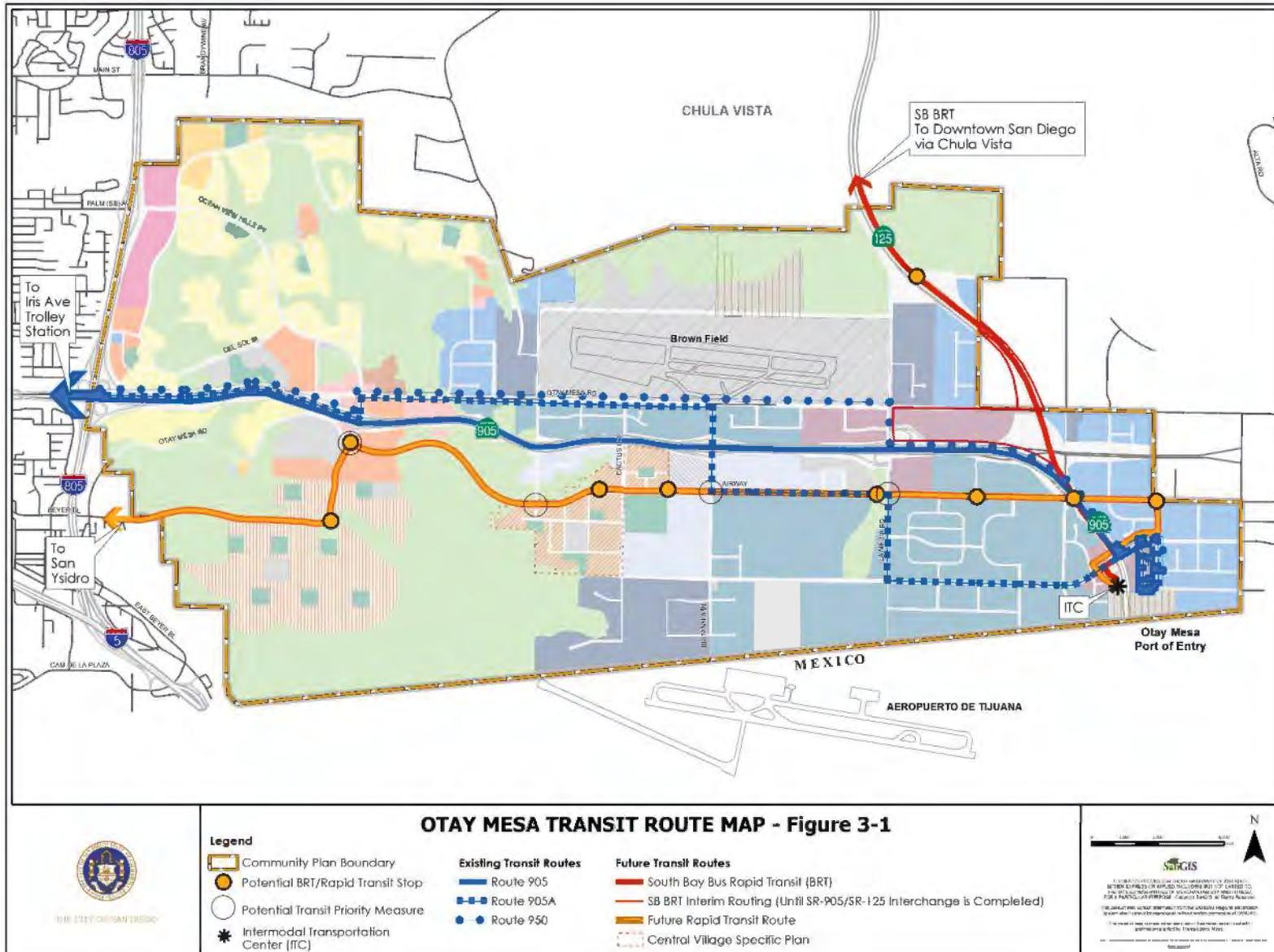
Table 2-6

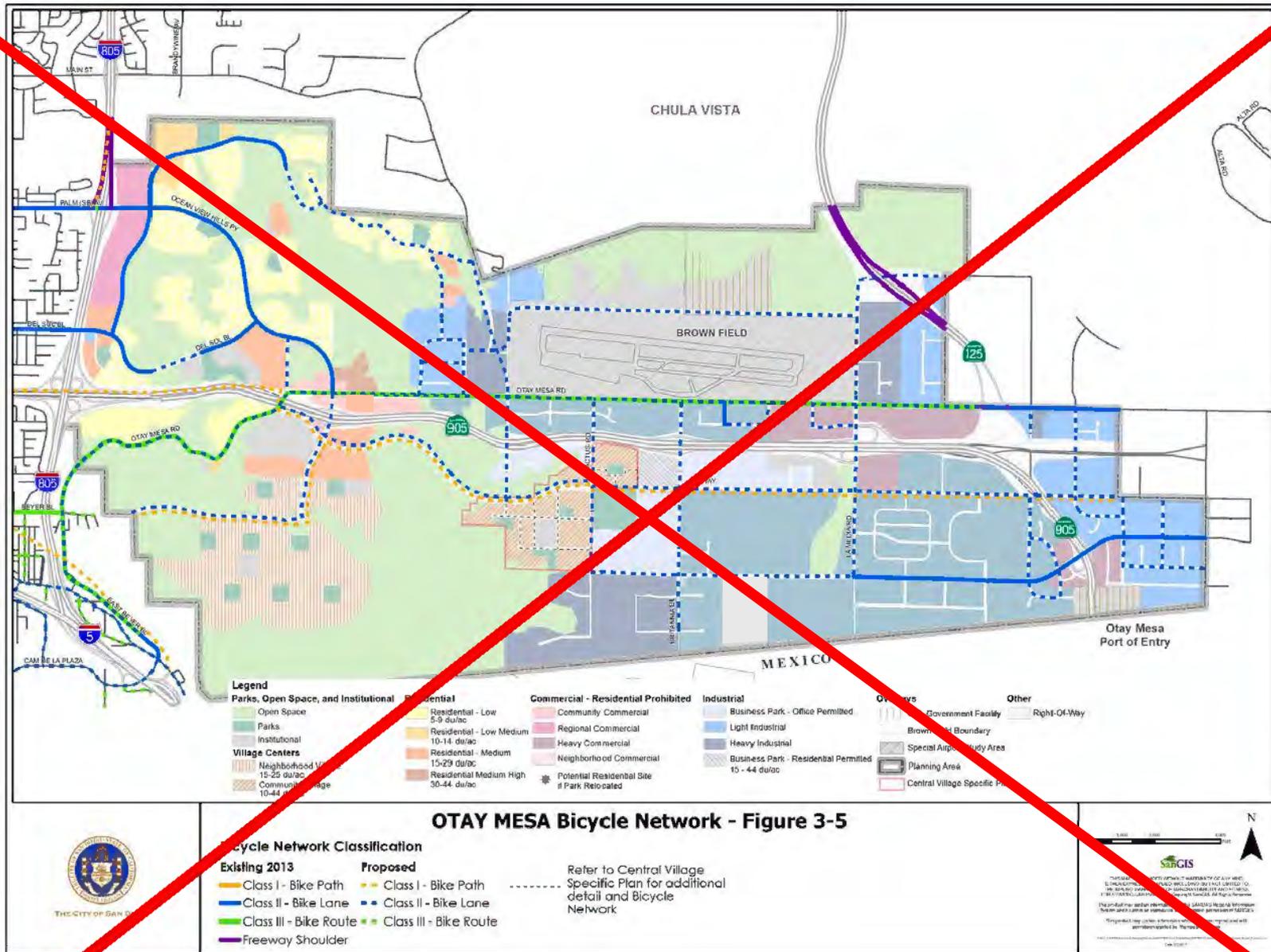
Otay Mesa Residential Density Ranges Single Family (SF) and Multi-family (MF) Dwelling Units (du's)			
Designation	Density Range	SF Units	MF Units
Residential - Very Low	0-4 du's /acre	59	0
Residential - Low	5-9 du's /acre	2,814	0
Residential - Low Medium	10-14 du's /acre	0	860
Residential - Medium	15-29 du's /acre	0	1,321
Residential - Medium High	30-44 du's /acre	0	<del>2,594</del> 2,673
Neighborhood Village	15-25 du's /acre	1,400	4,480
Community Village	10-44 du's /acre	0	4,768
Business Park, Res. Permitted	15-44 du's/acre		478
<b>Total Units</b>		<b>4,273</b>	<del>14,501</del> <b>14,580</b>

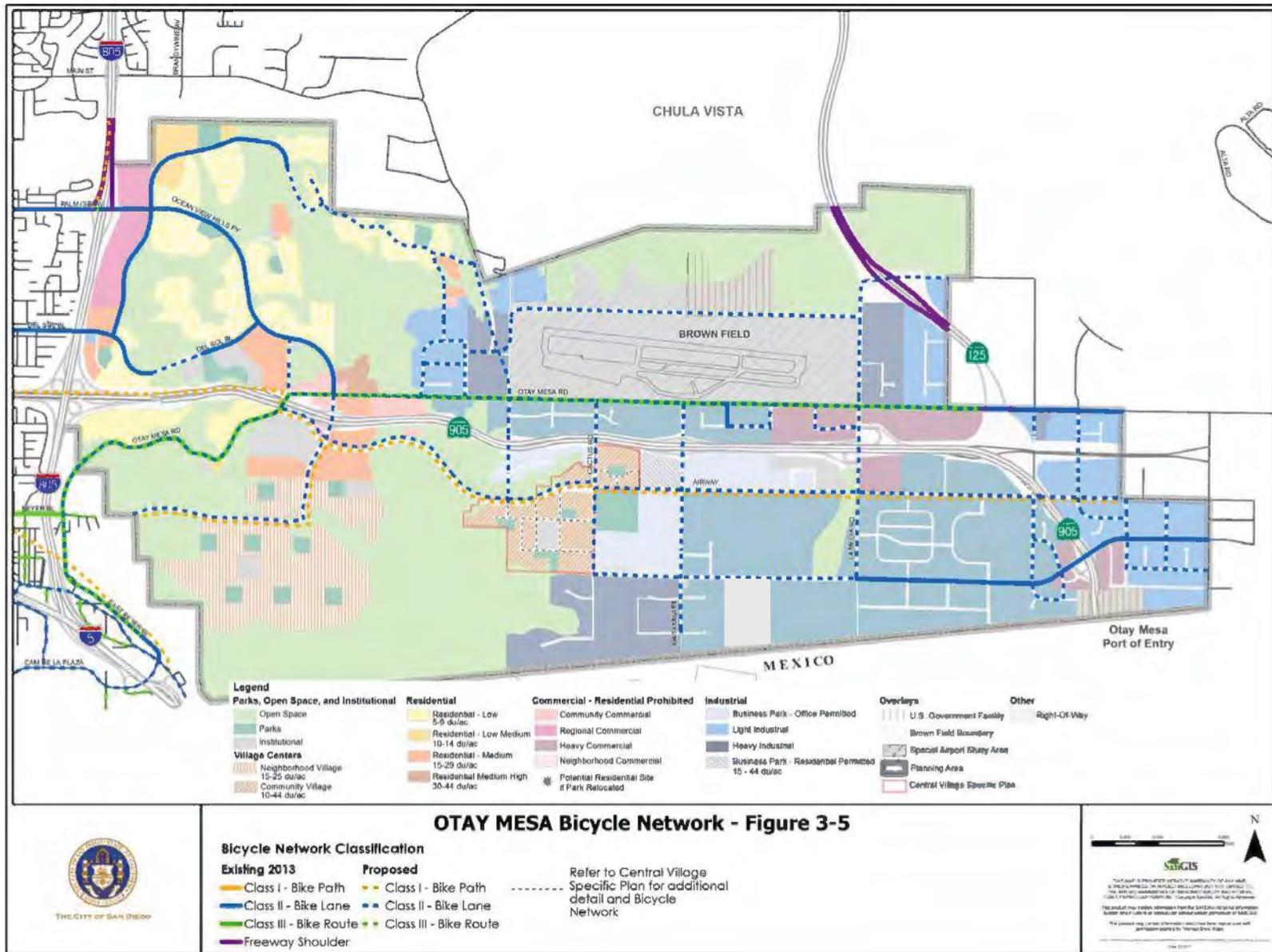


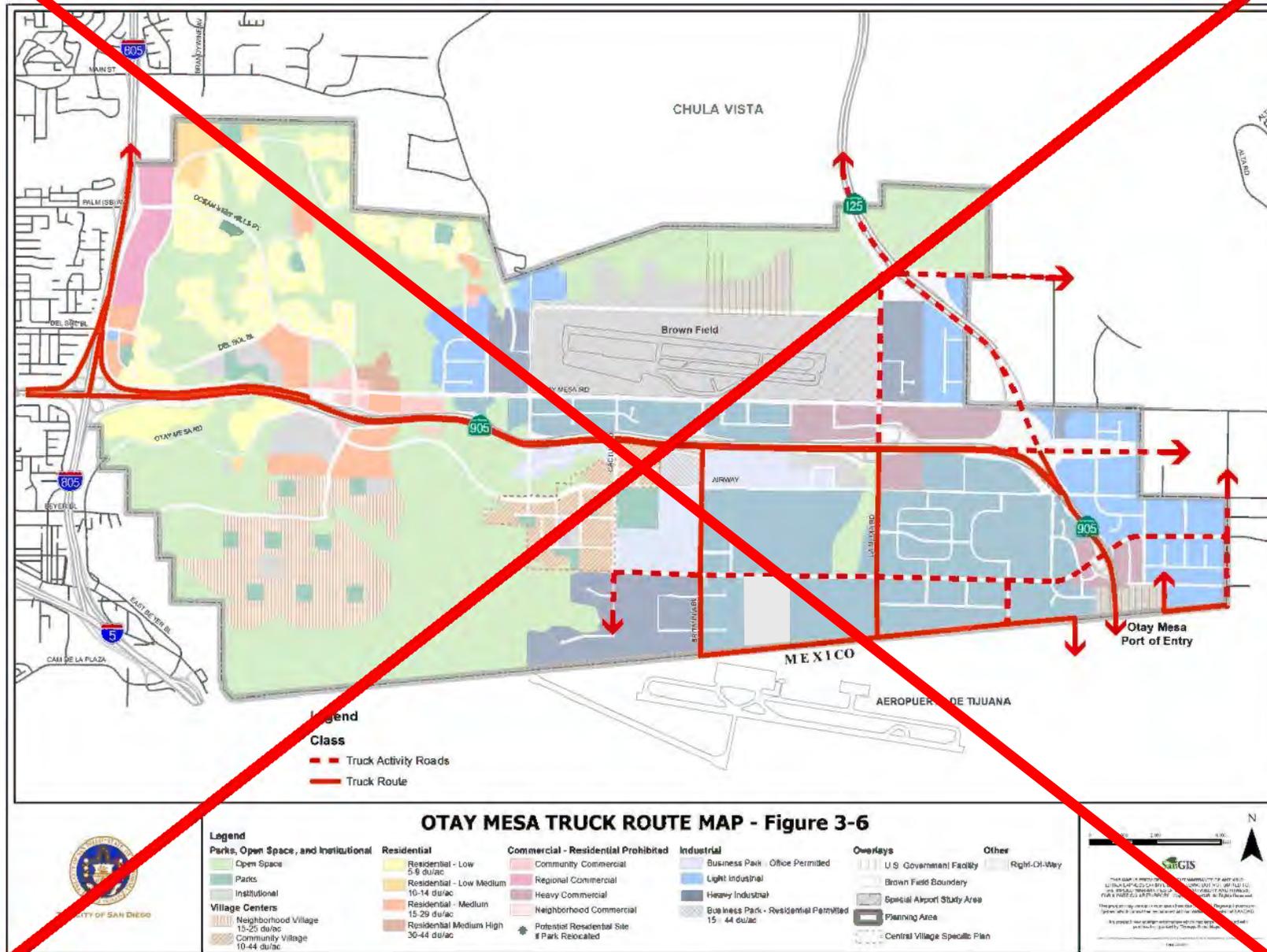


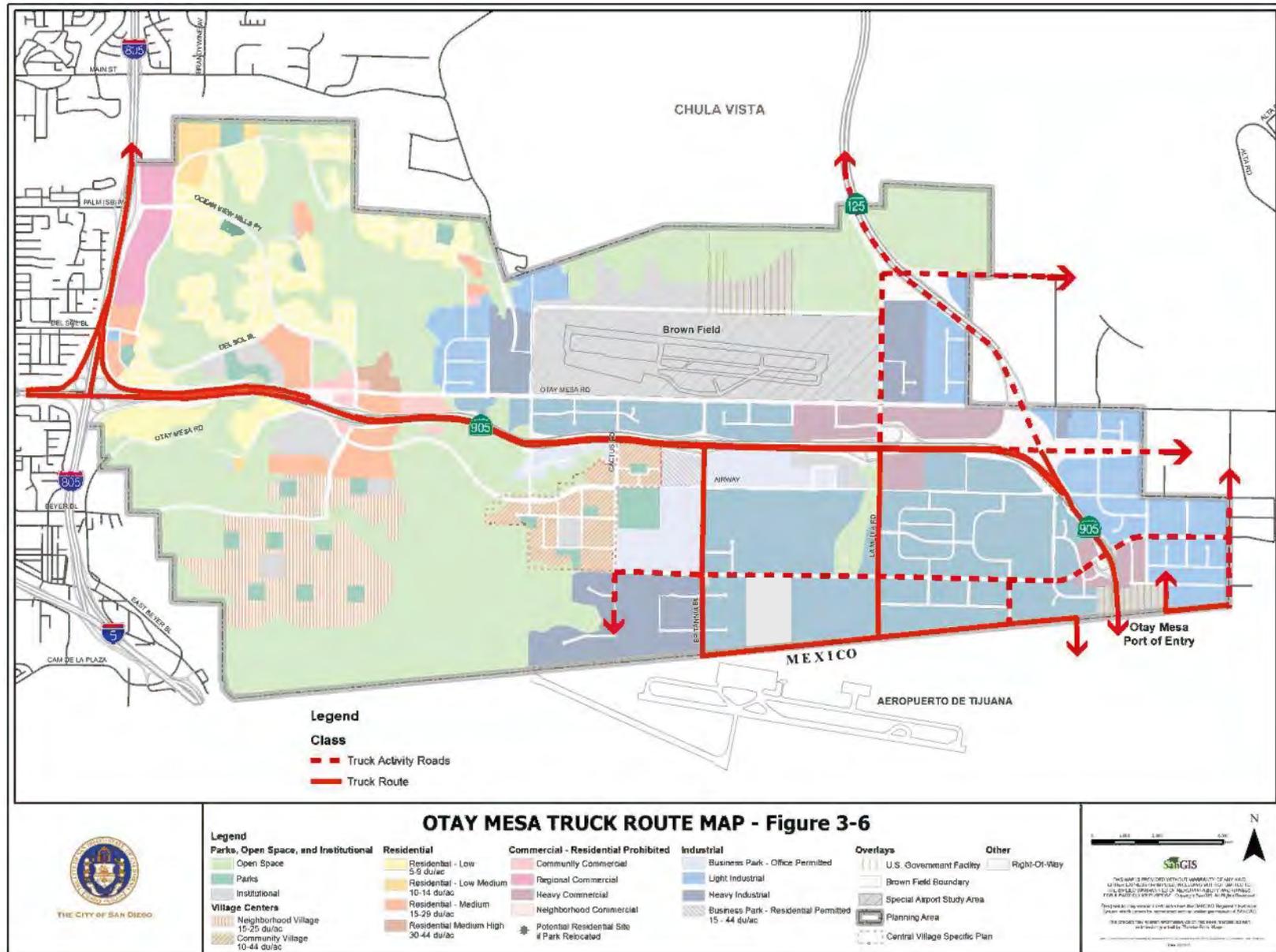


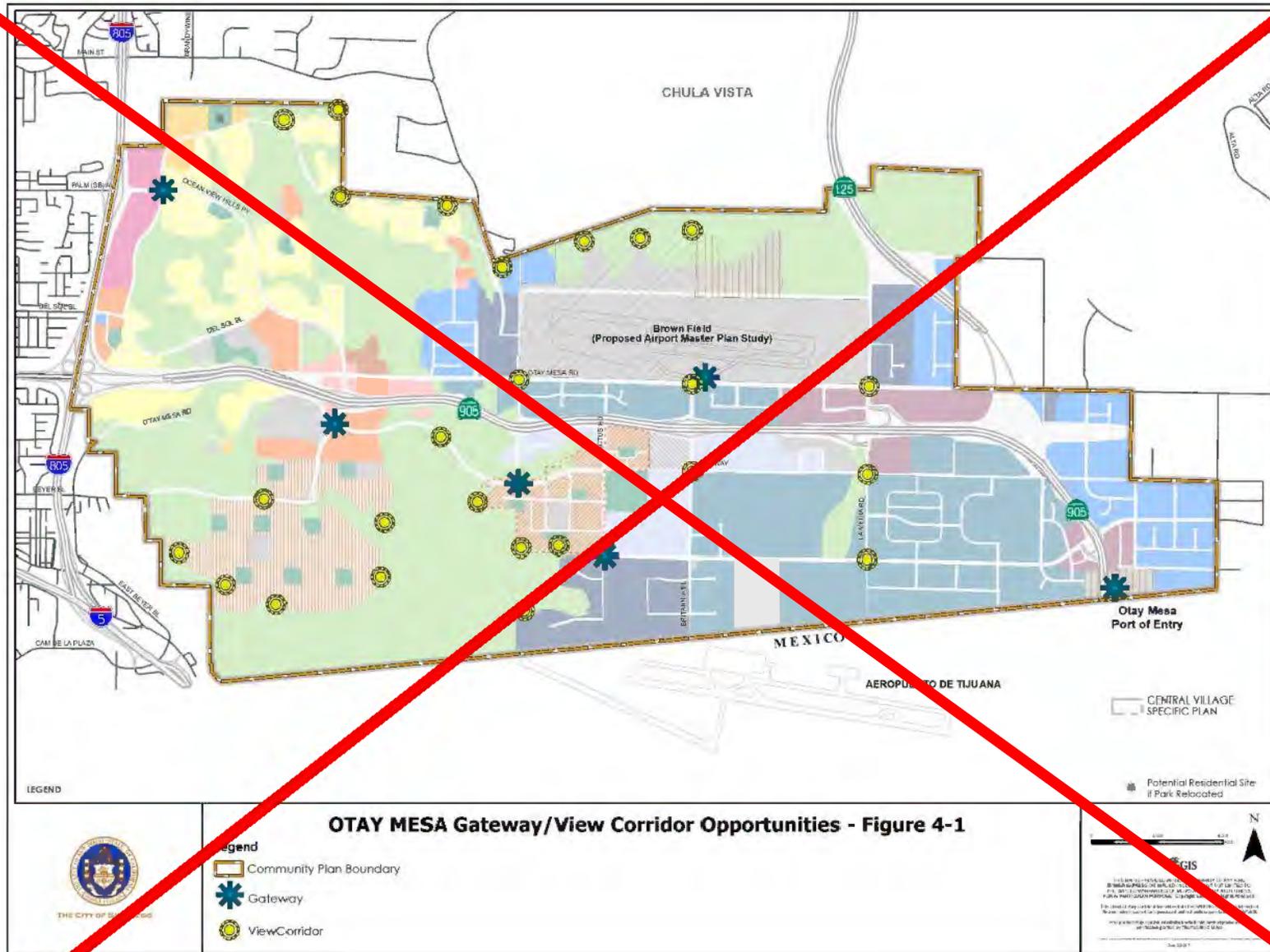


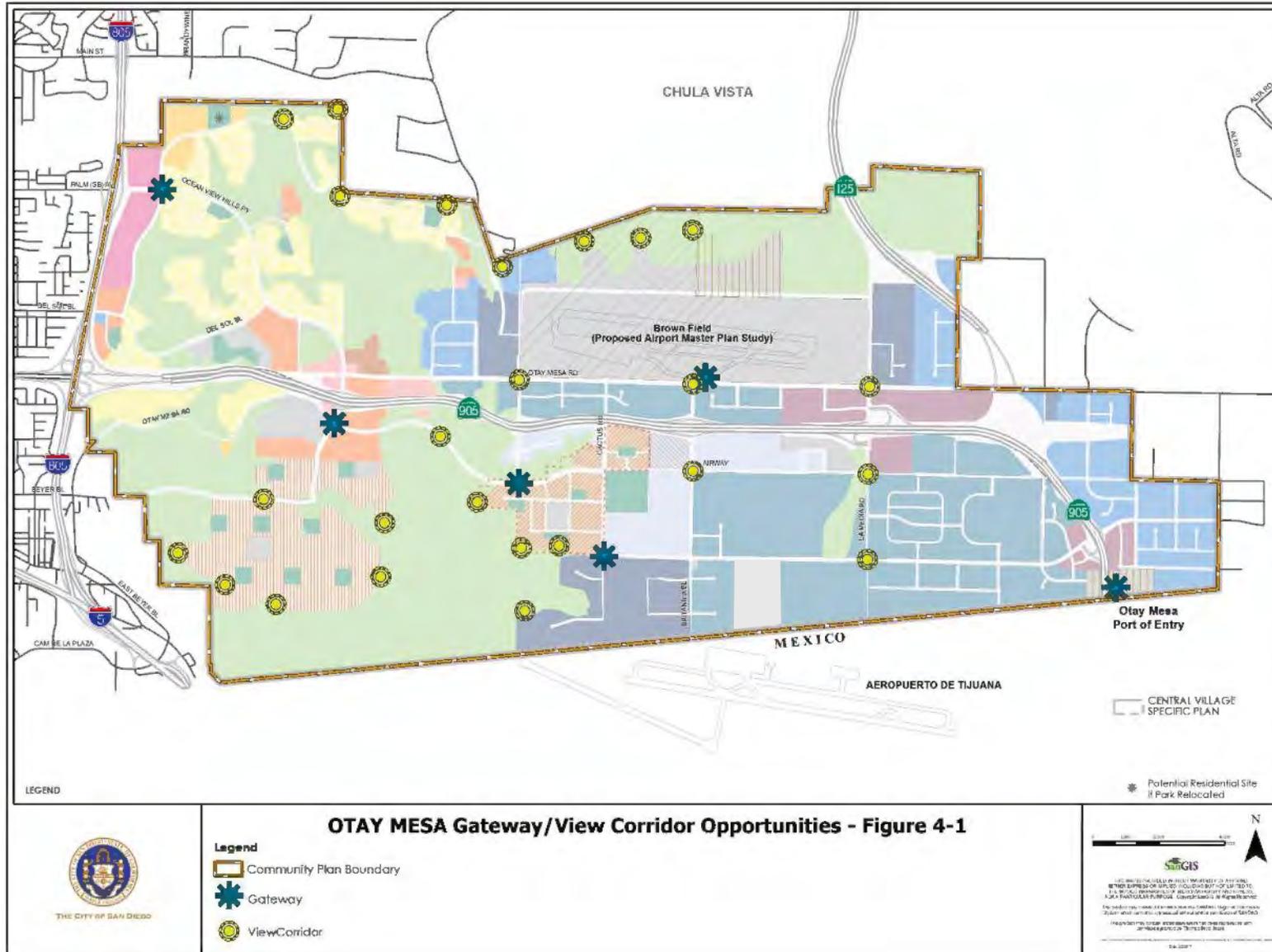




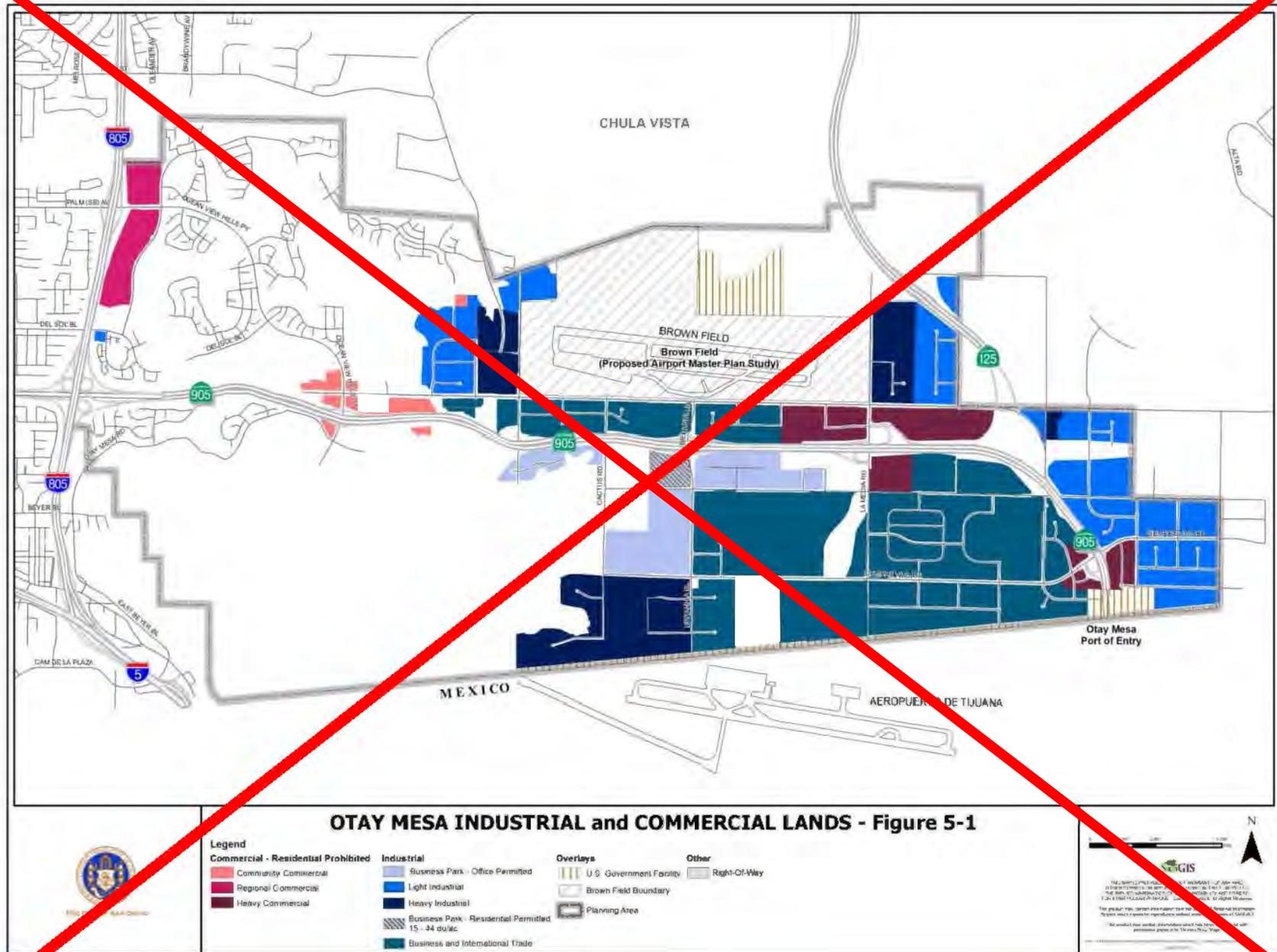


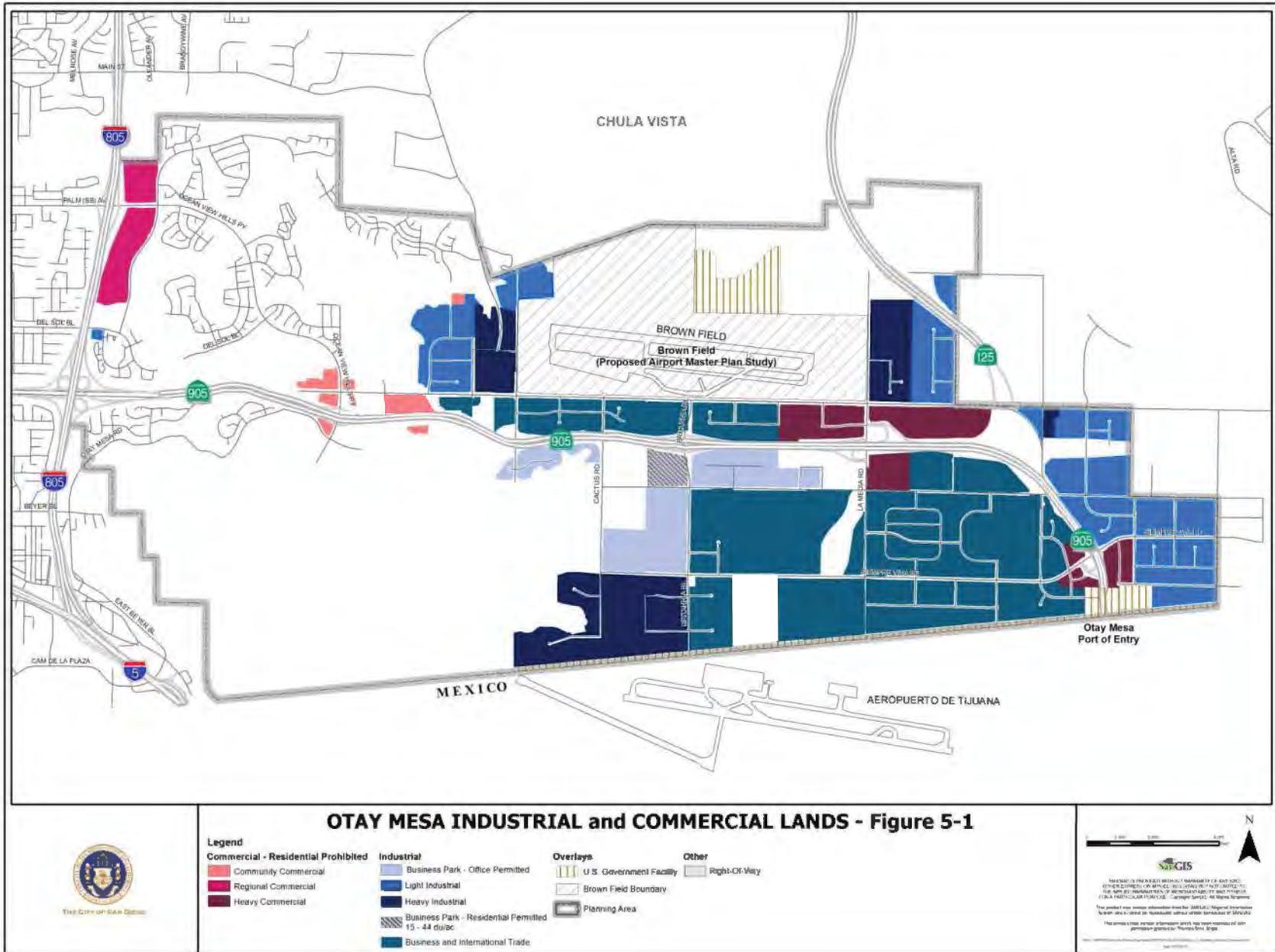


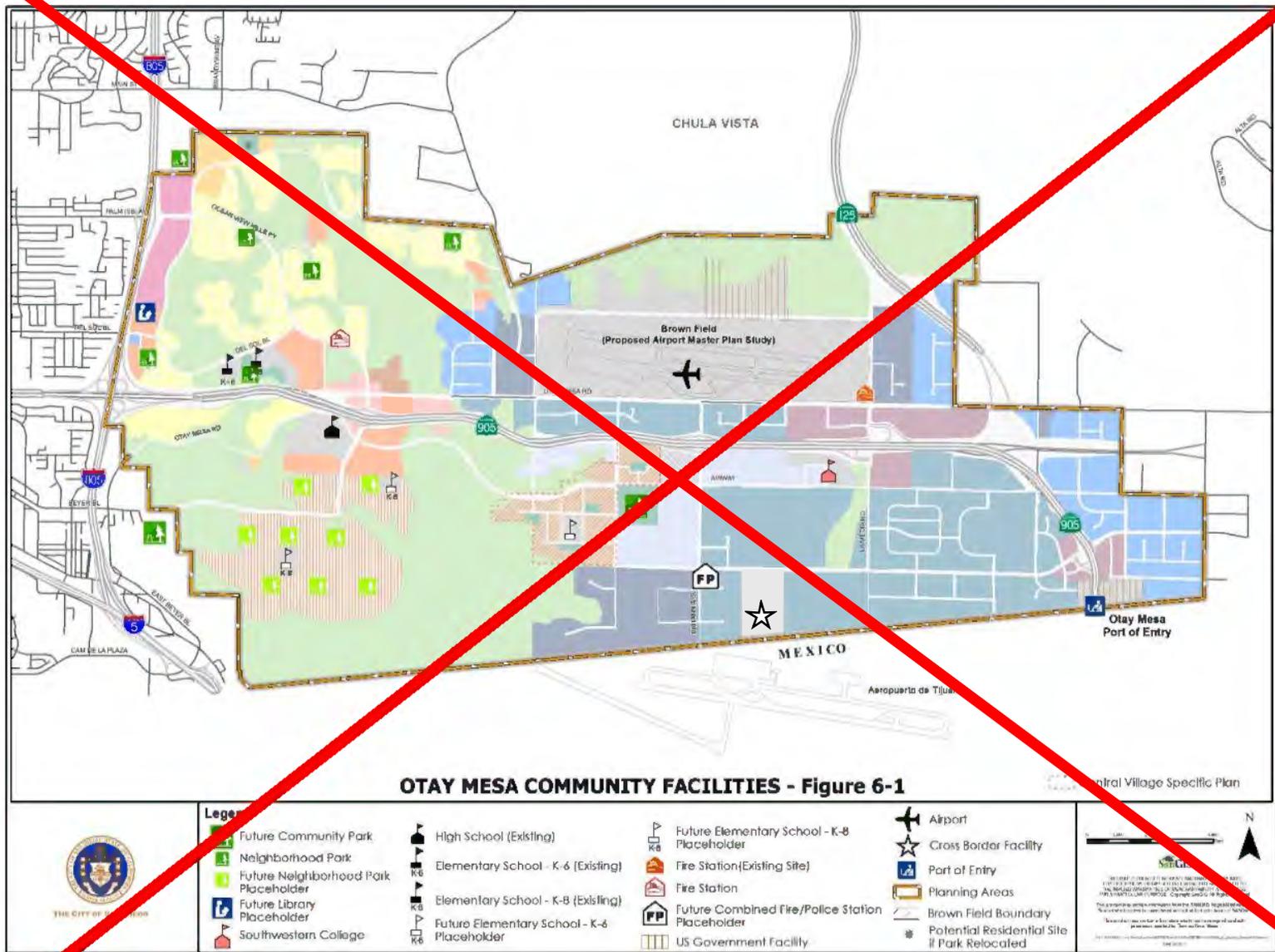


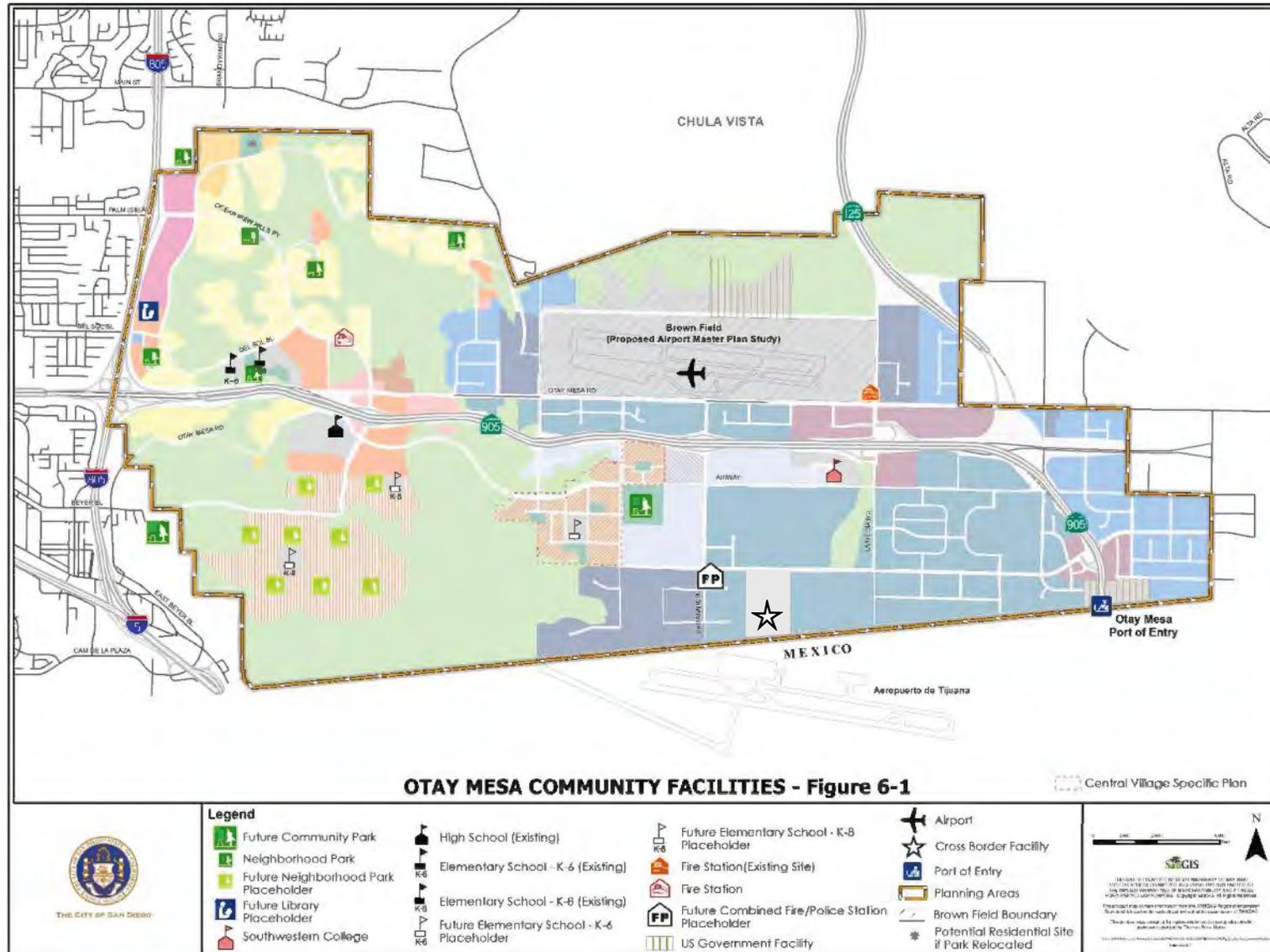


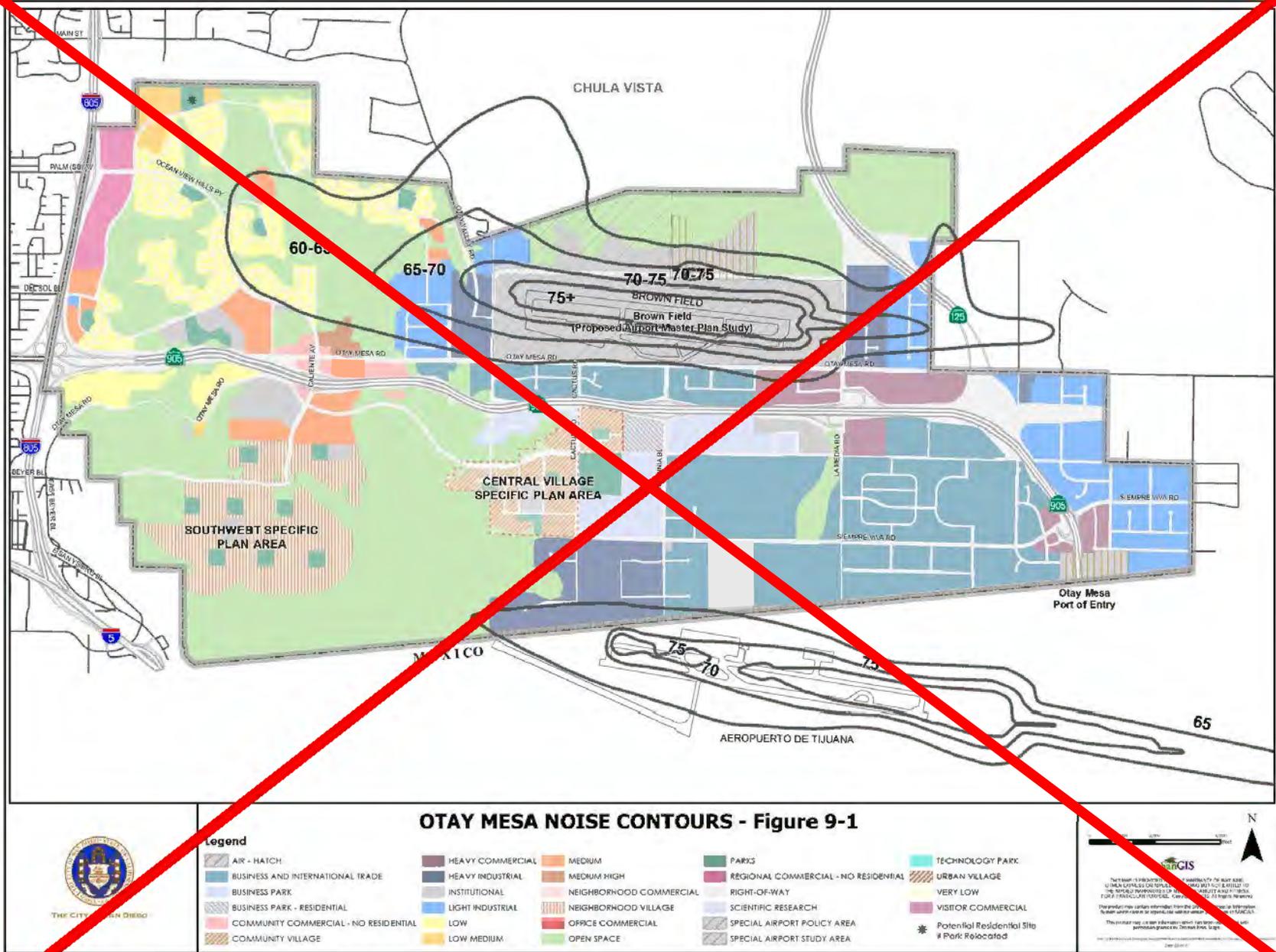


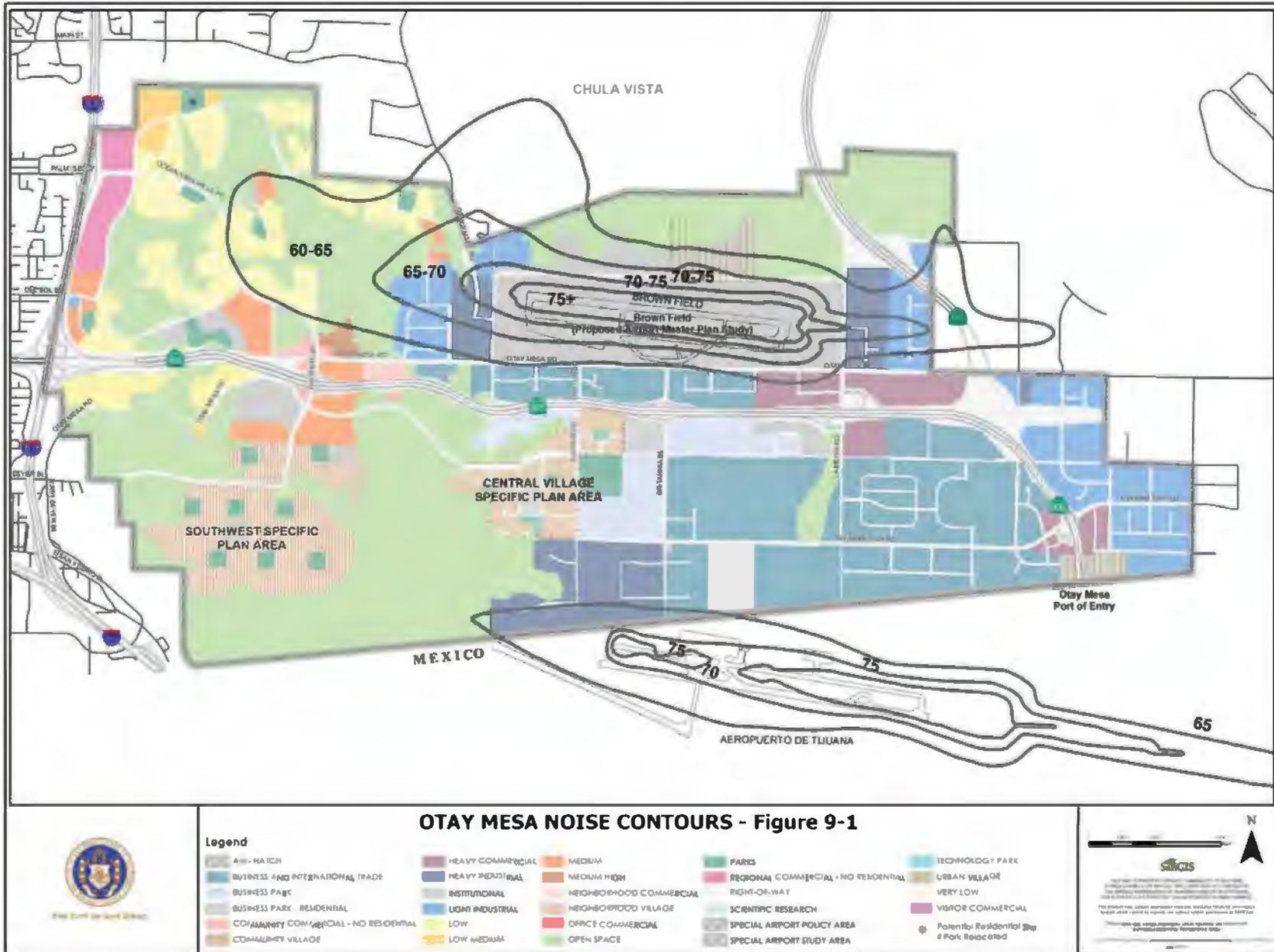












**REZONE ORDINANCE**

(O-INSERT~)

ORDINANCE NUMBER O-\_\_\_\_\_ (NEW SERIES)

ADOPTED ON\_\_\_\_\_

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 4.46-ACRES LOCATED WITHIN THE OTAY MESA COMMUNITY PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE CC-1-3 (COMMERCIAL-COMMUNITY) AND AR-1-1 (AGRICULTURAL-RESIDENTIAL) ZONES INTO THE RM-2-5 (RESIDENTIAL-MULTIPLE UNIT) ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTION 131.0507, 131.0303, AND 131.0406; AND REPEALING ORDINANCE NO. O-21081 (NEW SERIES), ADOPTED JUNE 18, 2019, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INSOFAR AS THE SAME CONFLICTS HEREWITH.

WHEREAS, Tri Pointe Homes, applied to rezone the 4.46 acres site from CC-1-3 (Commercial-Community) and AR1-1 (Agricultural-Residential) to RM-2-5 (Residential-Multiple Unit) (collectively the Rezones), in the Otay Mesa Community Plan area; and

WHEREAS, Resolution No. R-\_\_\_\_\_ (General Plan and Otay Mesa Community Plan Amendments), which was considered along with this Ordinance, proposes an amendment to the Otay Mesa Community Plan to redesignate a 4.46-acre site at the southeast corner of Caliente Avenue and Otay Mesa Road from Community Commercial-Residential Prohibited to Residential-Medium 15-29 dwelling units per acre and an amendment to the General Plan to redesignate the site from redesignate the site from

Commercial, Employment, Retail & Services to Residential; and

WHEREAS, on \_\_\_\_\_, the Planning Commission of the City of San Diego considered the Rezones, and pursuant to Resolution No. \_\_\_\_\_-PC voted to recommend the City Council of the City of San Diego approval of the Rezones; and

WHEREAS, the matter was set for a public hearing to be conducted by the Council of the City of San Diego (Council); and

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That 4.46 acres located on the southeast corner of Caliente Avenue and Otay Mesa Road, and legally described as Lot 1 of California Terraces – PA61 Map No. 16413 Recorded on August 27, 2020 as File No. 2020-7000258 Official Records, in the Otay Mesa Community Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4362 filed in the office of the



City Clerk as Document No. OO- \_\_\_\_\_, are rezoned from the CC-1-3 (Commercial-Community) zone and AR-1-1 (Agricultural-Residential) zone into the RM-2-5 (Residential-Multiple Unit) zone, as the CC-1-3, AR-1-1, and RM-2-5 zones are described and defined by San Diego Municipal Code Chapter 13 Article 1 Division 3, Chapter 13 Article 1 Division 4, and Chapter 13 Article 1 Division 5. This action amends the Official Zoning Map adopted by Resolution R-301263 on March 14, 2006.

Section 2. That Ordinance No. O-21081 (New Series), adopted June 18, 2019, of the ordinances of the City of San Diego is repealed insofar as the same conflicts with the rezoned uses of the land.

Section 3. That a full reading of this Ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

APPROVED: MARA ELLIOTT, City Attorney

By \_\_\_\_\_  
Corrine Neuffer  
Deputy City Attorney

Initials~TK/tk  
Date~XX/XX/2022  
Or.Dept: Planning  
Case No.690358

O-INSERT~

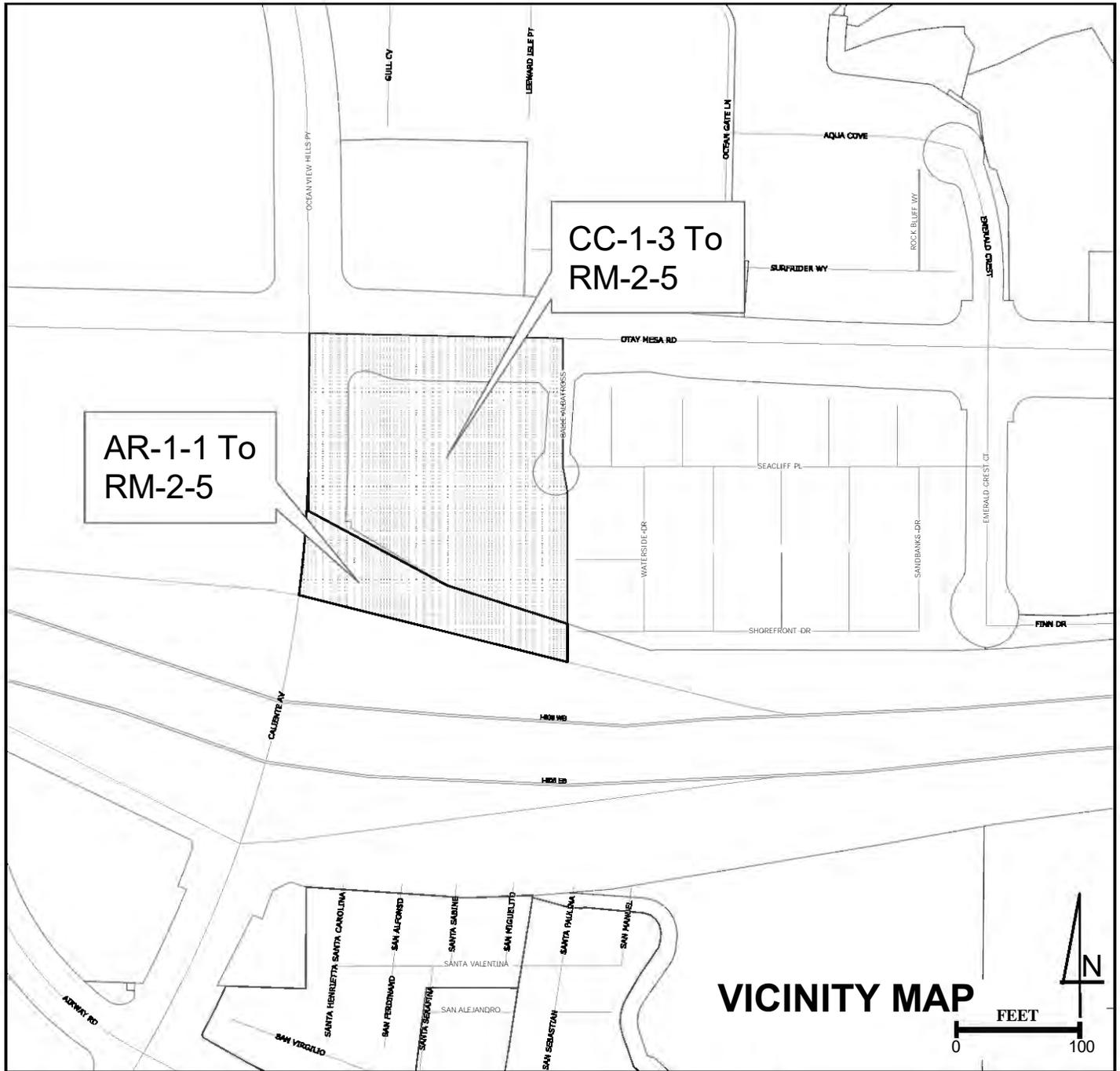
ATTACHMENTS: Map B-4362

Date: 8/9/2022

DRAFT



# PROPOSED REZONING



VICINITY MAP



**LEGAL DESCRIPTION** Lot 1 of California Terraces – PA 61 Map No. 16413

**CASE NO. PTS 690358**

ORDINANCE NO. \_\_\_\_\_  
 EFF. DATE ORD. \_\_\_\_\_  
 ZONING SUBJ. TO \_\_\_\_\_  
 BEFORE DATE \_\_\_\_\_  
 EFF. DATE ZONING \_\_\_\_\_  
 MAP NAME AND NO. \_\_\_\_\_

**REQUEST RM-2-5**  
**PLANNING COMM. RECOMMENDATION**  
**CITY COUNCIL ACTION**

DEVELOPMENT SERVICES MANAGER

**B-4362**

APN: 645-410-01  
 (218-1707)



# CALIFORNIA TERRACES - PA61

MASTER PLANNED DEVELOPMENT PERMIT

#2192984



# California Terraces - PA61 Master Planned Development Permit

Draft ~~December 2018~~ December 2021

**Prepared For:**

City of San Diego  
202 C Street  
San Diego, CA 92101

**Sponsor:**

~~Pardee-Tripointe~~ Homes  
13400 Sabre Springs Parkway, Suite 200  
San Diego, CA 92128  
Contact: Jimmy Ayala

**Prepared By:**

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Justin Rasas, PE

RECON Environmental, Inc.  
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Lori Spar



## Table of Contents

### Chapter 1 - Introduction

1.1 Project Vision	1
1.2 Purpose of Document	1
1.3 Location and Context	2
1.4 Existing Conditions	5
1.5 Planning Considerations	6

### Chapter 2 - The Plan

2.1 Overview of LandUse Plan	11
2.2 Park	14
2.3 Vehicular Circulation	14
2.4 Pedestrian Circulation	18

### Chapter 3 - Design Guidelines

3.1 Community Structure	21
3.2 Community Character	28
<del>3.3 Commercial Guidelines</del>	<del>28</del>
3.34 Residential Guidelines	30
3.45 Landscape Guidelines	34
3.56 Walls and Fences	35
3.67 Parking and Service Areas	35

### Chapter 4 - Administration

4.1 Development Summary	37
4.2 Administration of Guidelines	<del>41</del> <sup>37</sup>
4.3 Master Planned Development Permit	<del>41</del> <sup>38</sup>
4.4 Development Regulations	<del>42</del> <sup>38</sup>
<del>4.5 Park Point Requirements</del>	<del>42</del>
4.65 Airport Land Use Compatibility Zone (Airspace Protection Only)	<del>42</del> <sup>39</sup>
4.76 Maintenance	<del>43</del> <sup>39</sup>
4.87 Infrastructure Improvements	<del>43</del> <sup>39</sup>

### List of Figures

Figure 1-1 Local Vicinity Map	2
Figure 1-2 Site Vicinity Map	3
Figure 1-3 Aerial Map	4
Figure 1-4 Land Use and Zoning Map	6
Figure 1-5 OtayMesaTransitRouteMap-OMCPU2014	8
Figure 1-6 Otay Mesa Bicycle Network - OM CPU 2014	9
Figure2-1 LandUsePlan	12
Figure 2-2 Illustrative Site Plan	12
<a href="#">Figure 2-3 Butterfly Garden</a>	
<a href="#">Figure 2-4 Butterfly Garden</a>	
Figure2- <del>53</del> PocketPark	13
Figure 2- <del>66</del> Vechicular Circulation Plan	15
Figure 2- <del>75</del> <sup>79</sup> Street Sections	16
Figure 2- <del>68</del> Safe Routes to School	18
Figure 2- <del>97</del> Pedestrian Circulation Plan	19
Figure 3-1 Otay Mesa Residential Landscape Vignette	22
Figure 3-2 Community Entry	24
Figure 3-3 Monument Locations	24
Figure 3-4 Freestanding Tenant Signage	27

### List of Tables

Table 2-1 Land Use Summary	10
Table 4-1 Maintenance Responsibility	<del>43</del> <sup>39</sup>







# Chapter 1 - Introduction

## 1.1 Project Vision

Located within a growing area of the Otay Mesa Community, California Terraces - PA61 is a ~~mixed-use~~residential development proposed for a 14.6-acre urban infill site. The project features a ~~neighborhood-commercial center~~, multi-family homes, passive and active recreational uses, and a park within a pedestrian friendly environment.

California Terraces - PA61 brings much needed ~~shopping and~~ workforce housing to a site within walking distance of three schools, jobs, and existing infrastructure including an off-ramp from State Route 905. A convenient neighborhood park is situated within a short walking distance from both homes and shops, and features an open play area, seating, tot lot, lighting, and shade.

A contemporary Mediterranean design character is envisioned, with an emphasis on sustainability. The proposal features timeless, contextually appropriate elements that harmonize with surroundings, and once implemented, the community will be appreciated as much in the future as on opening day.

## 1.2 Purpose of Document

The primary function of this Master Planned Development Permit (MPDP) document is to establish guidelines that bring forth a cohesive community identity that creates a unique sense of place. This document provides an encapsulation of guidelines for California Terraces - PA61 to ensure project elements are implemented in a coordinated manner. The aesthetics called for have been formulated to bring forth a well-articulated environment that is contextually appropriate for the surrounding community.

Both broad guidelines as well as detailed direction for physical design are included within this document, which is differentiated by the terms “Shall” and “Should”. “Shall” represents an absolute commitment to the guidance represented in the policy. Guidelines containing the word “Should” are to be applied in most cases. The City will evaluate the applicability of these types of guidelines during the review process.

Photographs and illustrations are included to aid in understanding of the practical application of the requirements, showing the intent of various provisions. These images should not be interpreted as requiring a specific type of building style, but as a prototypical depiction of conformance.



Figure 1-2 Site Vicinity Map - 2018



Figure 1-3 Aerial Map



# 1.4 Existing Conditions

## 1.4.1 Existing Land Uses

### On Site Land Uses

The Project Area currently (2018) consists of vacant, biologically disturbed land and includes a portion of the freeway easement that was vacated by CalTrans. At the intersection of Caliente Avenue and Otay Mesa Road, an existing community entry monument is currently located within the public right-of-way. This monument shall be replaced and located outside the public right-of-way when the project is developed. No other vertical construction is currently present on-site.

### Surrounding Land Uses

Directly to the south, the west-bound exit ramp of State Route 905 defines the site boundary. State Route 905 is a limited-access freeway that runs between the Otay Mesa Border Crossing and Interstate 5.

The eastern edge is bounded by Emerald Crest Court, currently (2018) a proposed street adjacent to a vacant site that has been planned as a commercial development (a Vesting Tentative Tract Map was previously approved). West of the site (across Caliente Ave), and northwest lie currently vacant land designated as Community Commercial (Residential Prohibited) in the 2014 Otay Mesa Community Plan.

Caliente Avenue Park & Ride is a state-owned parking facility, located within a short walk west of the site, which connects to MTS bus service. The 644-unit Greenfield Village Apartment community, completed in 2012, faces the project across Otay Mesa Road.



Views of the site at the corner of Caliente Avenue and Otay Mesa Road (2018)



Caliente Avenue Park & Ride (2018)



View of Caliente Avenue site boundary (2018)



View of site looking east from Otay Mesa Rd. (2018)



Greenfield Village neighborhood identification monument (2018)

## 1.5 Planning Considerations

The Project Area is located within the City of San Diego, the Northwest District of the Otay Mesa Community Plan, and the California Terraces - PA61 Precise Plan.

### 1.5.1 Land Use Designation

The 2014 Otay Mesa Community Plan designates the land use for the site as Community Commercial- Residential Prohibited (CC).

~~Both commercial and residential components are proposed within this MPDP. A Community Plan Amendment (CPA) has been submitted for Planning Area 1, the western portion of the site, to change the land use designation from Community Commercial – Residential Prohibited to Residential-Medium (15-29 du/ac) is to retain the CC designation. This designation matches the land use designation of Planning Area 2, the eastern portion of the site, which redesignated the site to Residential-Medium through a CPA. A Community Plan Amendment (CPA) has been submitted and approved for Planning Area 2 (the eastern, residential portion of the site) which proposes to change the land use designation to Residential-Medium~~

(15-29 du/ac). This CPA application is being processed concurrently with this MPDP and is subject to approval. Please refer to Figure 2, *Land se Plan* for proposed Planning Area boundaries.

### 1.5.2 Zoning

The current (2018) implementing zone for the Project Area is CC-1-3. The site is also within the 2014 Otay Mesa Community Plan Implementation Overlay Zone. An application to rezone the existing AR-1-1 and CC-1-3- designated in Planning Area 1 (previous commercial portion of the site) to the RM-2-5 designation is submitted concurrently with this

document. Planning Area 1 will retain the CC 1-3 designation. The An  
application to change the implementing zone of Planning Area 2 (the  
current residential portion of the site) to RM-2-5 ~~has been submitted~~  
and approved by the Planning Commission in April 2021. ~~submitted~~  
~~concurrently with this document.~~ The entire site will remain in the Otay Mesa Community Plan Implementation Overlay Zone

### 1.5.3 Airport Influence / Notification Areas

The Project Area also falls within the Airport Influence Area - Brown Field / Review Area 2), and the FAA Part 77 Notification Area (Brown Field / 576' AMSL).





Source: City of San Diego Climate Action Plan (December, 2015)

**Long Term through 2035**

- Legend
- Trolley Stations
  - Casuar Station
  - Majors Transit Stops
  - High Frequency Routes
  - Trolley Lines
  - Casuar Line
  - Transit Priority Area
  - Planning Areas
  - Municipal Boundaries



San Ysidro High School is located a short walk or bike ride from the Project Area (2018)

**1.5.4 Transit**

A key strategy of the City of San Diego Climate Action Plan (December 2015) calls for the reduction of greenhouse gas emissions through an increase in transit use. One of the implementation tools to reach this goal is the establishment of Transit Priority Areas. The site falls within a 2035 Transit Priority Area, (refer to Figure 1-4, *Transit Priority Areas per SB743*). The map shows that by 2035, high frequency transit lines along Otay Mesa Road and Caliente Avenue will connect to an existing trolley station in San Ysidro, facilitating transit travel to downtown San Diego.

Located within one half mile of the future bus rapid transit stop (BRT) near San Ysidro High School, the site is also within a quarter mile of the existing Caliente Avenue Park & Ride facility. This stop connects to MTS bus routes 905a and 905b, and a local bus stop is planned for eastbound Otay Mesa Road along the project frontage. These facilities are within a convenient walk or bike ride from the site. (Please refer to Figure 1-5, *Otay Mesa Transit Route Map- 2014*).



Existing Class II Bike Lane, Caliente Ave. (2018)



Existing Class III Bike Route Otay Mesa Rd (2018)

### 1.5.5 Existing Bicycle Network

As a community that places a high emphasis on sustainability, California Terraces - PA61 provides links to the Otay Mesa bicycle network that makes it easy to bike to school, shopping, or work (refer to Figure 1-6 *Otay Mesa Bicycle Network*).

The Otay Mesa Community Plan Update (2014)(OMCPU) identifies Otay Mesa Road as a planned Class II bicycle facility, and adequate frontage exists to allow for this improvement. Additionally, a Class I facility that would parallel SR-905 from Beyer / Airway Road and continue along Airway Road to the eastern City boundary is identified in the OM CPU. This route could be accessed from the site via the existing Class II lane along Caliente Avenue. An existing Class II bicycle facility is also shown connecting directly north of the site, along Ocean View Hills Parkway.

Interior pathways and paseos facilitate connections to this system from each home, and the commercial center. Please refer to Section 2.4, *Pedestrian and Bicycle Circulation*, for a description of the proposed improvements to the existing pedestrian and bicycle network.

Figure 1-5 Otay Mesa Transit Route Map - OM CPU 2014

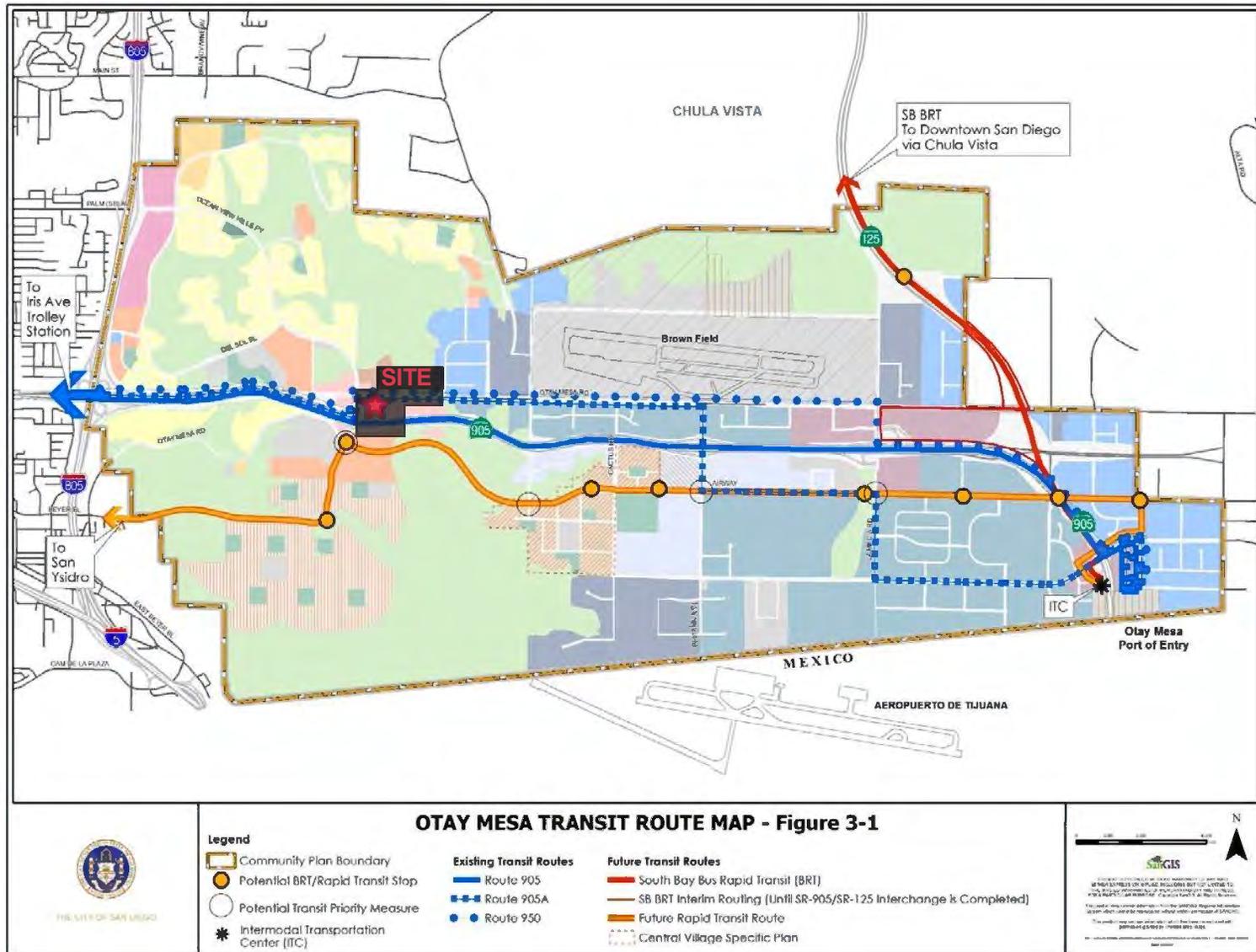
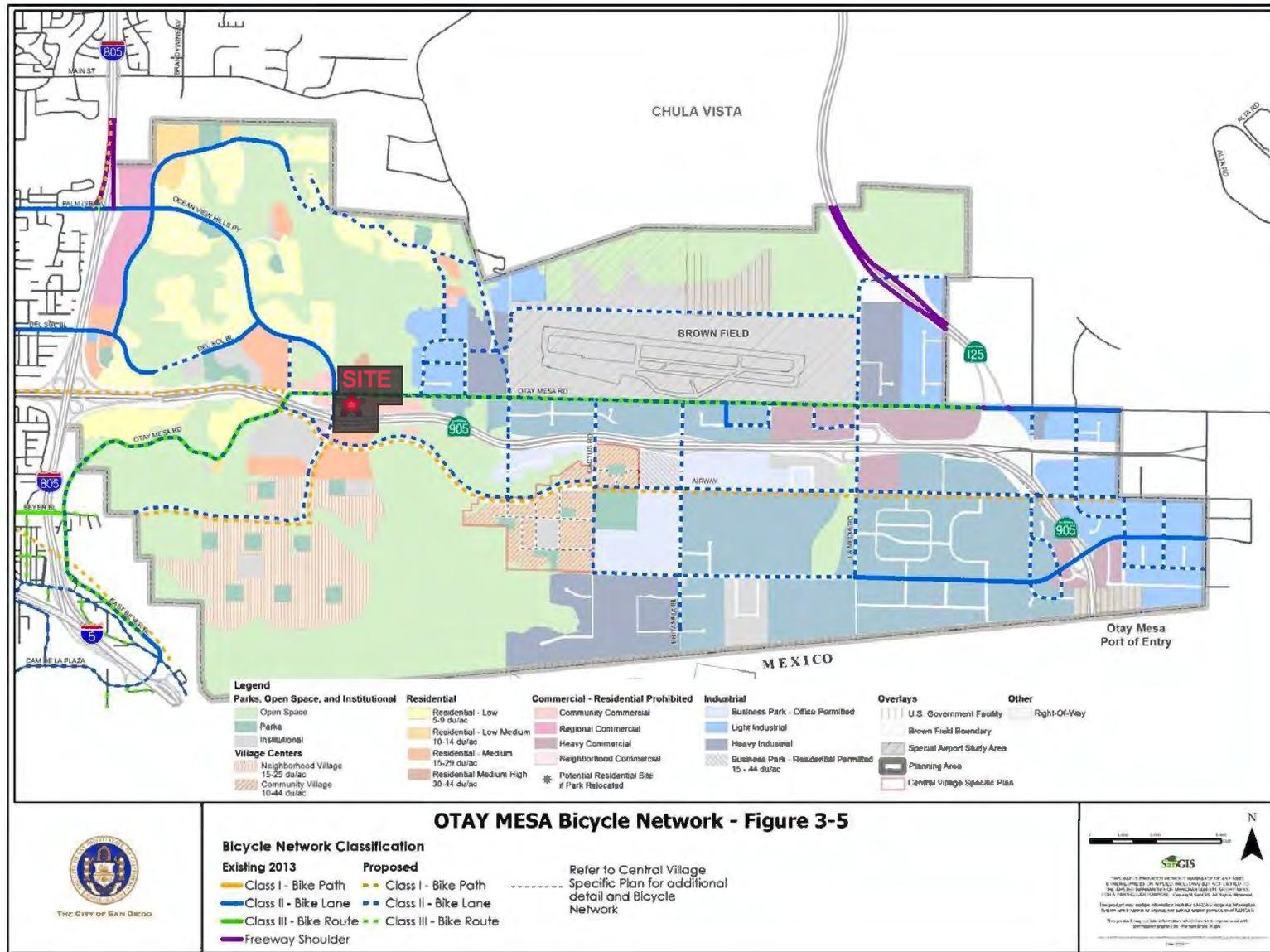


Figure 1-6 Otay Mesa Bicycle Network - OM CPU 2014



Source for Figures 1-5 and 1-6: Otay Mesa Community Plan (March 11, 2014)

# Chapter 2 - The Plan

## 2.1 Overview of Land Use Plan

As a mixed-use neighborhood, the proposed Land Use Plan for California Terraces - PA61 offers ~~both commercial and~~ residential land uses, while bringing pedestrian friendly design to the forefront.

~~Planning Area 1, the western portion of the site, will be rezoned to a Residential-Medium shall retain the Community Commercial land use designation that matches the zoning designation of Planning Area 2 in the eastern portion of the site. A maximum of 45,000 square feet of retail space is proposed, potentially including a neighborhood grocery store, drug store, and coffee shop, bringing shopping and service retail within~~

~~a convenient walking distance of existing and planned homes in the vicinity.~~ Situated at the off-ramp of State Route 905, the site enjoys a high degree of visibility, enhancing its ability to serve the needs of surrounding neighborhoods.

~~A change of land use designation is proposed for the eastern, residential portion of the Project Area.~~ The Community Plan Amendment proposal, submitted concurrently with this MPDP is to change the designation of Planning Area 1 to Residential-Medium (15-29 du/ac) and the zone to RM-2-5. Upon approval, the number of units allowed under this designation and zoning would be 138 - ~~346~~267 dwellings. A minimum of 10% of the total units shall be designated as affordable to meet the City of San Diego's Inclusionary Affordable Housing Regulations (§142.1201). Please refer to Exhibit 2-1, *Land Use Plan*, which depicts the extent of both Planning Areas.

Exhibit 2-2, *Illustrative Site Plan* shows an artist's concept of the site plan proposal. Planning Area 1 proposes approximately 79 townhomes with each building ranging from approximately 1,321 to 1,875 square feet in size and three stories in height. Each unit features 2-4 bedrooms, 2.5 - 4 bathrooms, and a two-car bay garage.

Planning Area 2 proposes a 1~~This 4724~~ unit plan is within the mid-range of the allowed range of 138 to 267 units. This plan features a building type suitable for families; each unit has 3 - 4 bedrooms and 3 - 3.5 baths, each with a two- car attached garage. The buildings are three-stories high, and feature outdoor open space in the form of a balcony or ground level patio. A variety of unit sizes are planned, offering a range of prices and living experiences.

The site location near existing employment, schools and public transit, as well as an internal pedestrian circulation system, encourages non-motorized transportation. A private neighborhood park (see Section ~~d~~2-2, Park) within the residential site is adjacent to both use areas. This park will be privately maintained, and offers a shady sitting area, tot lot, and an open grassy play area. Vehicular circulation within the plan consists of two short cul-de-sac streets connected with internal driveways. These plan features make healthy choices easy, encouraging an environmentally-friendly, active lifestyle.

Figure 2-1 Land Use Plan

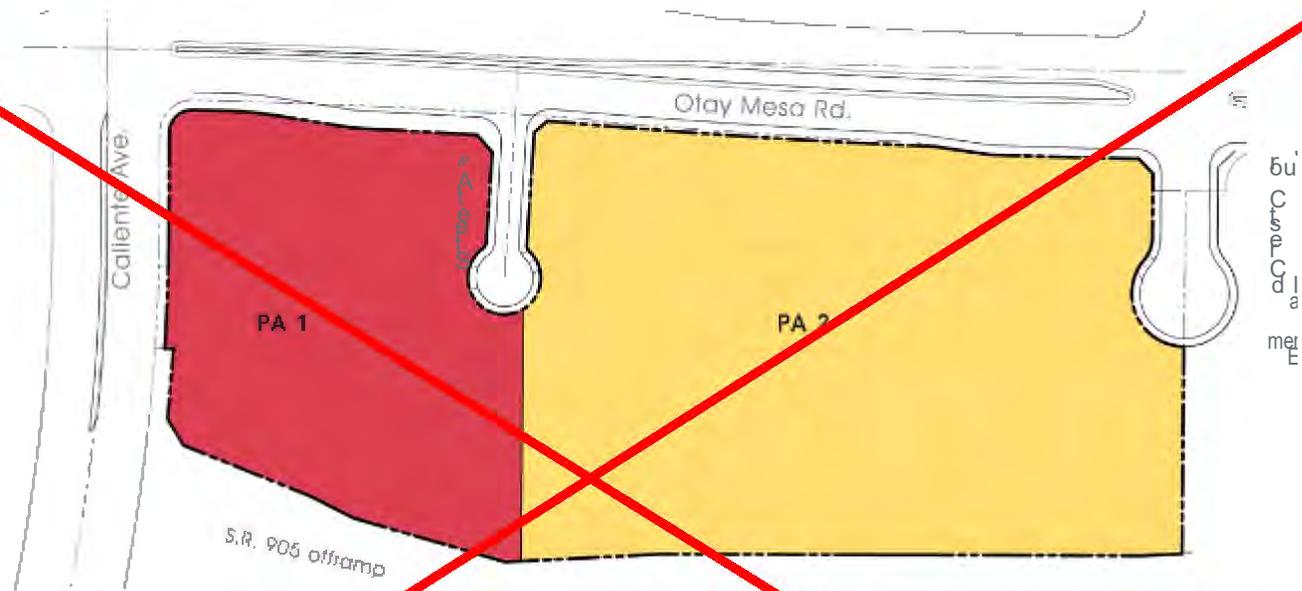


Table 2-1 Land Use Summary

Not to Scale

Table 2-1 Land Use Summary

Planning Area	Land use	Zoning	Acres	Minimum Allowed	Maximum Allowed*	Proposed
Planning Area 1	Residential-Medium	RM-2.5	9.20	138 du	267 du*	171 du
N/A	Public Street Right-Of-Way	N/A	0.91	N/A	N/A	N/A
<b>TOTAL</b>			<b>14.60</b>			

Not to Scale

\* The maximum allowed reflects the application of the development regulations of the underlying base zone. The permit process that would permit the maximum development allowed is described in Chapter 4.

\* The maximum allowed reflects the application of the development regulations of the underlying base zone. The permit process that would permit the maximum development allowed is described in Chapter 4.

Figure 2-1 Land Use Plan

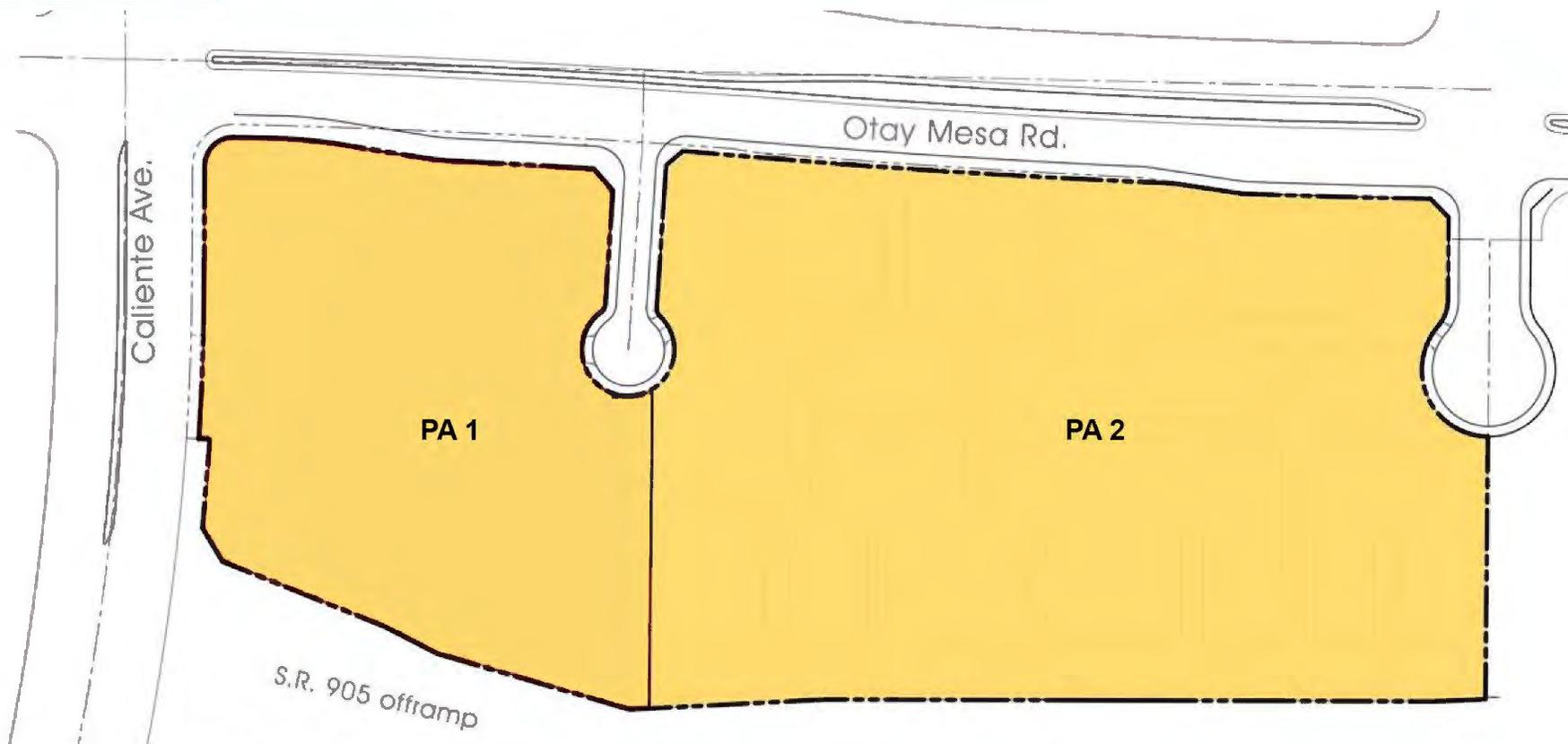
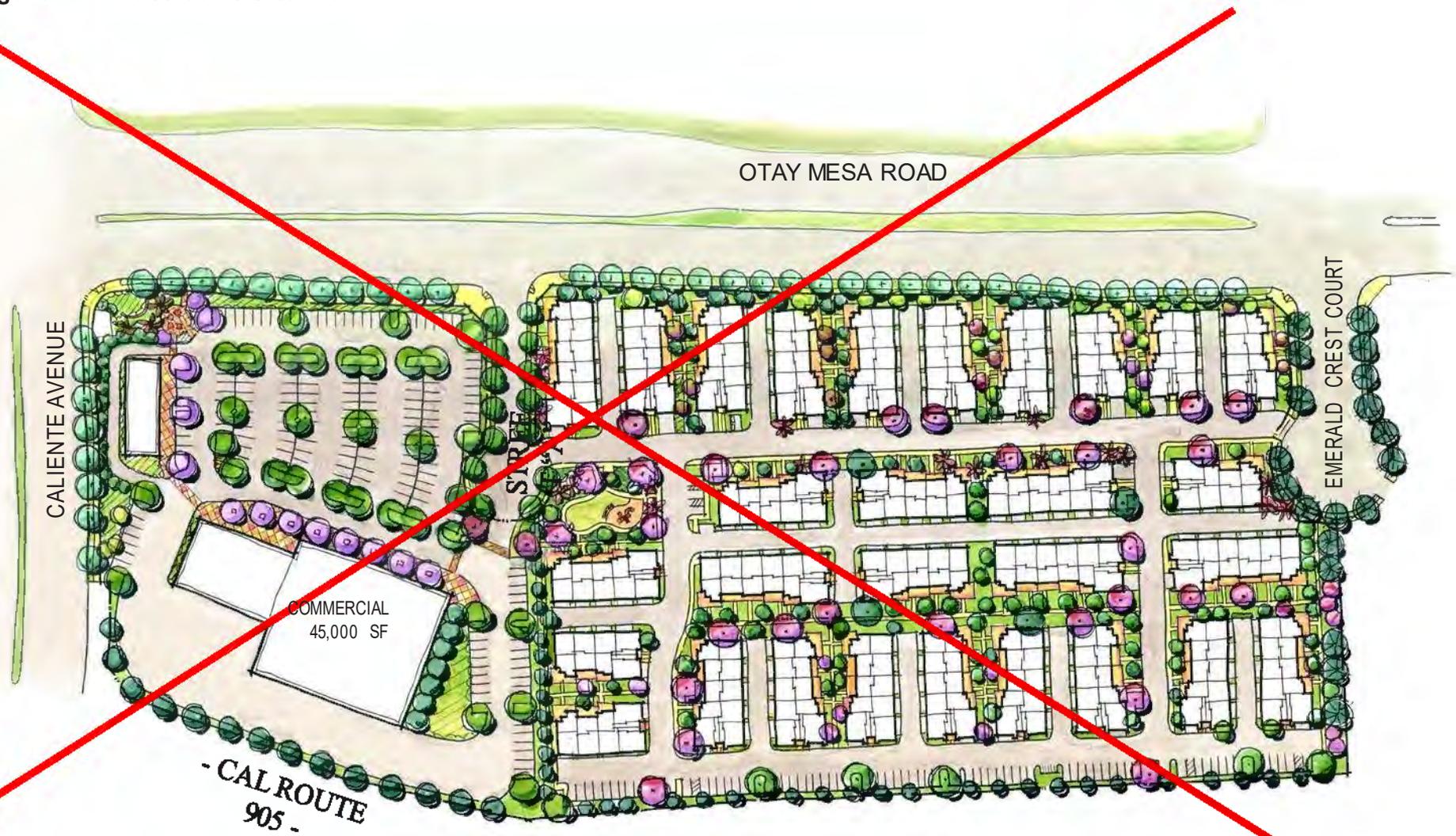


Table 2-1 Land Use Summary

Planning Area	Land use Residential-Medium	Zoning RM-2-5	Acres	Minimum Allowed 138 du	Maximum Allowed*	Proposed 791 du
Planning Area 1	<del>Community Commercial (Residential Prohibited)</del>	<del>CC-1-3</del>	<del>4.49</del>	<del>N/A</del>	<del>58,073 sq. ft.</del>	<del>45,000 sq. ft.</del>
Planning Area 2	Residential-Medium	RM-2-5	9.20	138 du	267 du*	171 du
N/A	Public Street Right-Of-Way	N/A	0.91	N/A	N/A	N/A
<b>TOTAL</b>			<b>14.60</b>			

\* The maximum allowed reflects the application of the development regulations of the underlying base zone. The permit process that would permit the maximum development allowed is described in Chapter 4.

Figure 2-2 Illustrative Site Plan



Not to Scale (1)



Figure 2-2 Illustrative Site Plan



## 2.2 Park

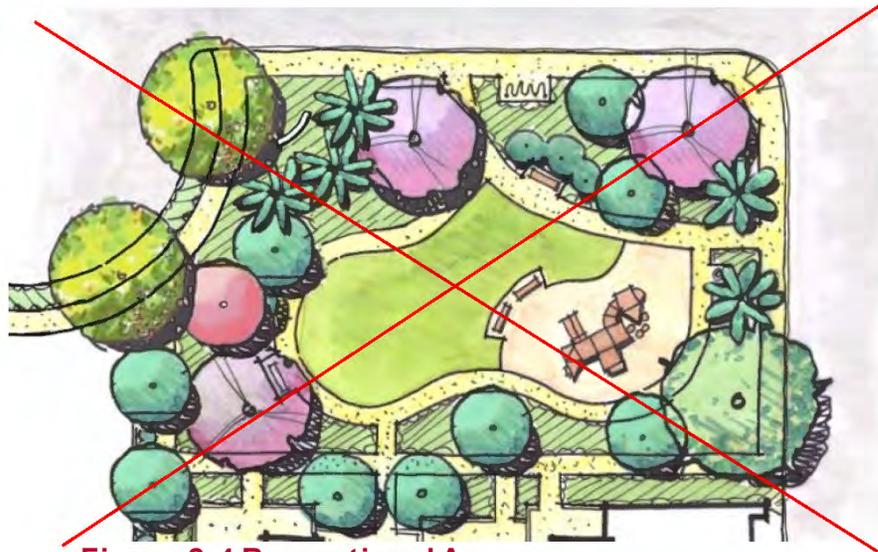
Within Planning Area 1, active and passive recreational areas and a butterfly garden area are proposed. The butterfly garden will feature seating to enjoy and observe attracted wildlife, such as butterflies and hummingbirds. The active and passive recreational areas will incorporate features ranging from natural play areas to turf space. Within ~~the proposed 171 unit residential plan~~ Planning Area 2, a private pocket park is planned as a focal point at the terminus of Street "A". The 8,600 square foot park shall accommodate active and passive activities. Pedestrian- scaled lighting, sitting areas, bicycle racks and trash receptacles shall -be featured. An open grassy area and tot lot shall provide play space for children, and large trees provide shade along a winding walkway (see Figure 2-~~3-5~~, *Pocket Park*).

Palms and ornamental trees throughout the park should reinforce the theme of the existing Ocean View Hills plant palette. Drought-tolerant shrubs and ground cover should provide softening within the planting areas at the edges of the open space. The park within Planning Area 2 is situated to provide a shady, attractive, and convenient respite for patrons of the commercial center as well as residents and visitors of the townhomes to the east.

All usable open space and common open space shall meet the requirements of SDMC §131.0456 and SDMC §143.0420. A minimum of 15, 010 s.f. of usable open space (rate of 190 s.f. of open space per unit) is required, which includes both private exterior open space and common open space that is functional to residents.

**Figure 2-3 Butterfly Garden**





**Figure 2-4 Recreational Areas**



**Figure 2-35 Pocket Park**

## 2.3 Vehicular Circulation

Vehicular access shall be designed to promote a balanced, multi-modal, “complete streets” approach to accommodate mobility needs of all users. The primary vehicular entry is via Street “A”, a public cul-de-sac accessed from Otay Mesa Road. This street has a 60-foot right-of-way with a curb-to- curb distance of 40 feet, a five foot curb separated sidewalk, and a five foot landscaped parkway. The secondary community access is provided from the proposed signalized access at Emerald Crest Court along the eastern boundary. This public street consists of an 80-foot right-of-way, with a curb- to-curb distance of 60 feet, a five foot non-contiguous sidewalk, and a five foot landscaped strip on both sides.

Caliente Avenue, located along the western boundary, shall be downgraded from a six-lane primary arterial to a five-lane primary arterial. The existing five foot curb adjacent sidewalk shall be removed and replaced with a six foot non-contiguous sidewalk. Otay Mesa Road, along the northern boundary shall vary in right-of-way width from 148 feet to 164 feet to include eastbound deceleration lanes at Street “A” and Emerald Crest Court. A proposed raised median shall vary in width from six feet at the west to eighteen feet. Along the project frontage on Otay Mesa Rd, a six-foot non- contiguous sidewalk shall be adjacent to the commercial area, while a five- foot non-contiguous sidewalk shall be located along the residential area. A curb adjacent landscape parkway shall vary in width from seven to sixteen feet.

Landscaping within the public right-of-way shall feature shade trees planted at 30-foot intervals, as well as shrubs and ground cover. The tree species shall be consistent with the City of San Diego, and Otay Mesa Community Plan Street Tree Lists. No portion of the project will be gated, and interior circulation within the site shall consist of 26-foot (curb to curb) private front driveways and 20-foot wide private rear driveways (please

refer to Figure 2-4, *Vehicular Circulation Plan*, and Figure 2-5, *Street Sections*).

Figure 2-4 Vehicular Circulation Plan

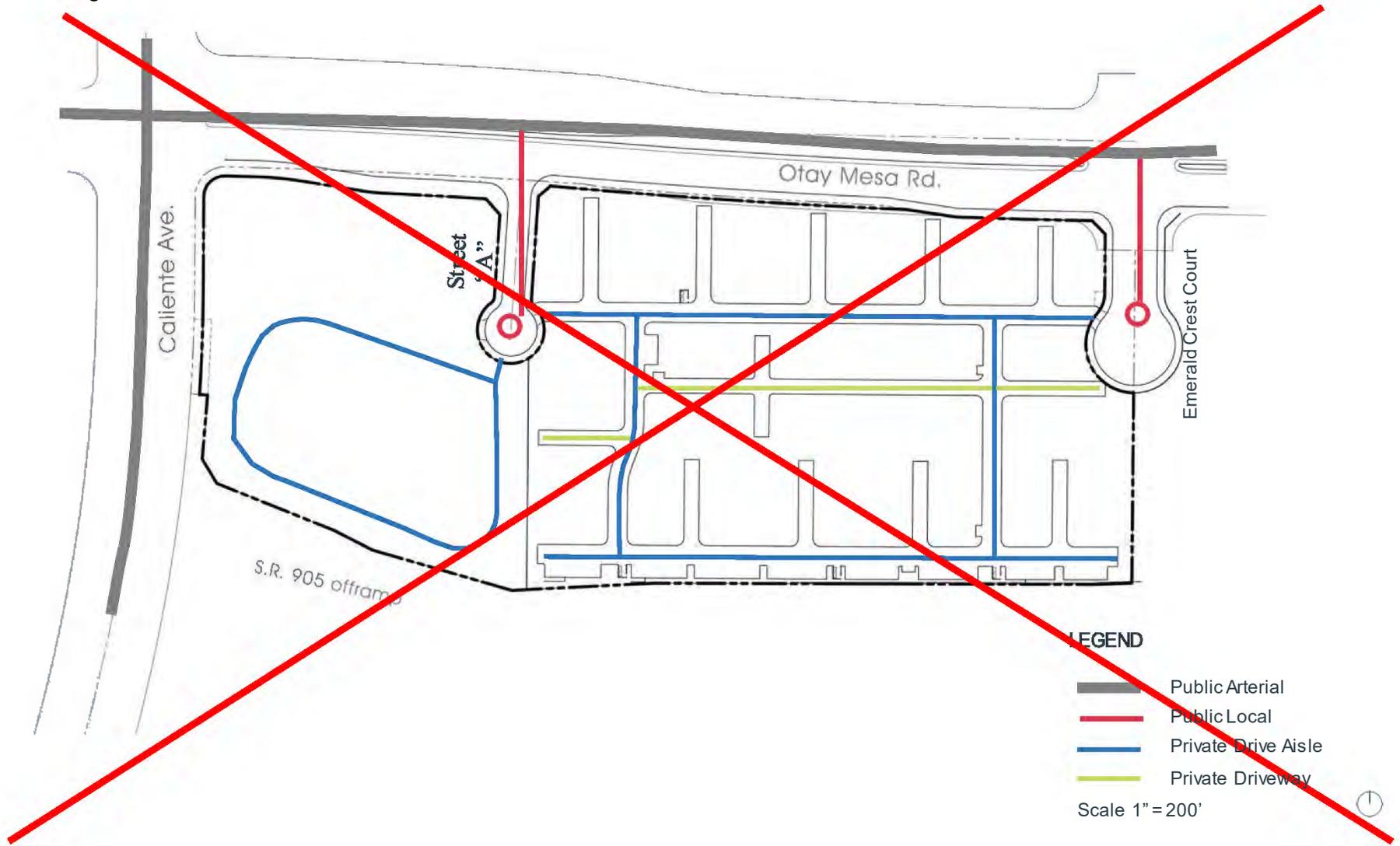


Figure 2-46 Vehicular Circulation Plan

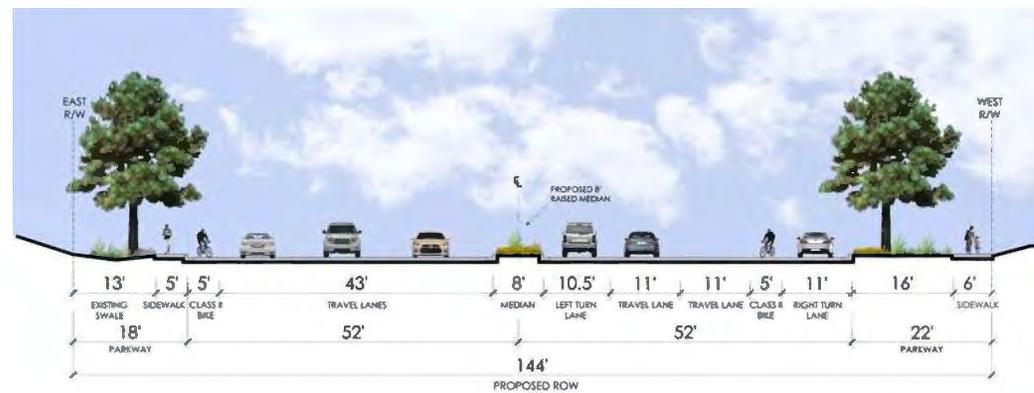


Figure 2-575 Street Sections

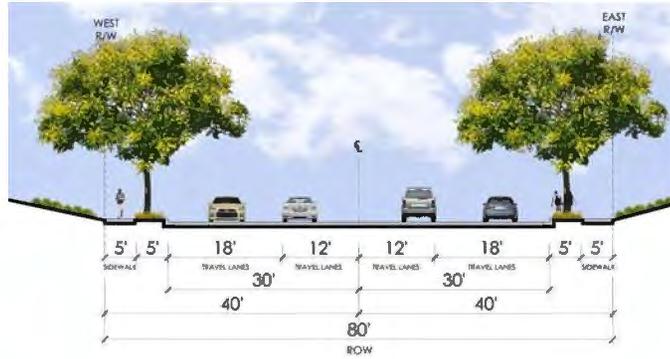
**OTAY MESA ROAD**



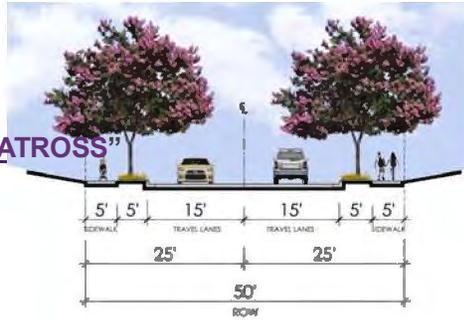
**CALIENTE AVENUE**



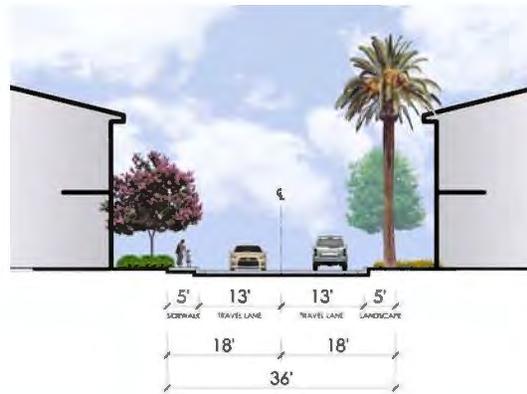
**EMERALD CREST COURT**



**PUBLIC STREET "ACALLE ALBATROSS"**



**DRIVE AISLE  
"C", "D", "E", "F"**



**DRIVEWAY**

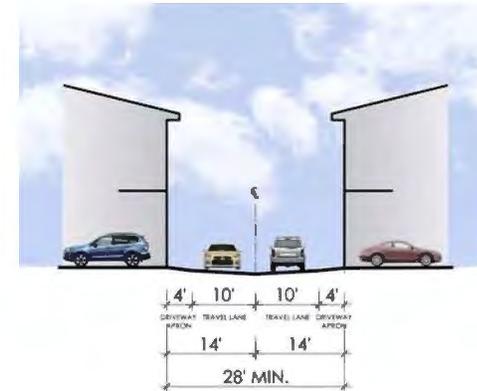
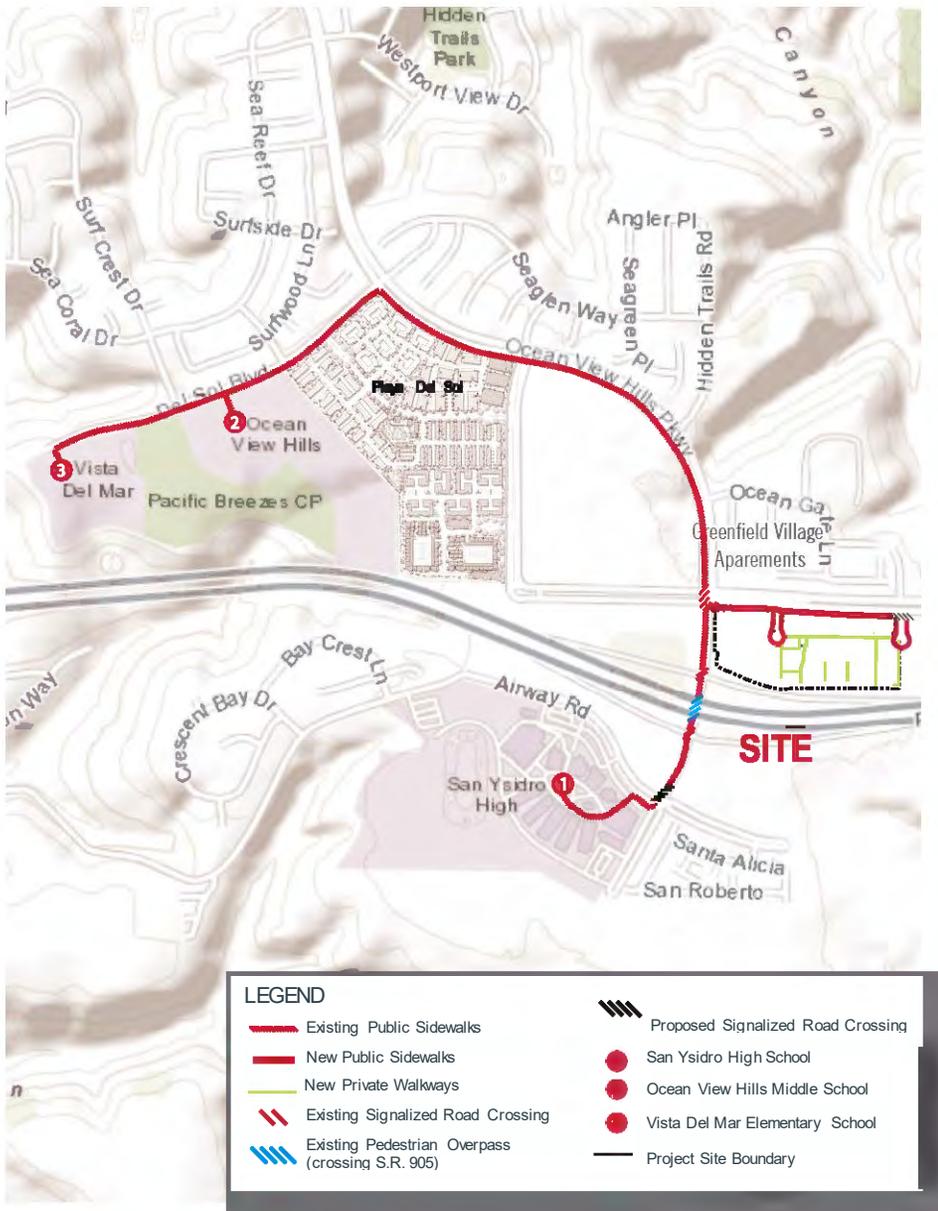




Figure 2-68 Suggested Routes to School



~~The commercial portion of the project shall manage auto trips within the site with clearly delineated drive aisles and parking, while deliveries shall be accommodated in the rear of the commercial buildings with access via a rear drive aisle, similar to the artist's interpretation shown in Figure 2-2, Illustrative Site Plan.~~

## 2.4 Pedestrian and Bicycle Circulation

Walkability is a design priority within California Terraces - PA61. Within PA-2, the residential area, each front door shall connect directly to the pedestrian network, encouraging residents to walk or bike and minimizing automobile trips. The walkways should be adjacent to larger trees and accented by ornamental flowering trees, ensuring that residents and patrons of the retail center enjoy a shaded, amenitized walk to retail uses such as a neighborhood grocery store and coffee shop. Clearly marked crossings within the site shall minimize conflicts with motorized vehicles and enhance pedestrian safety (please refer to Figure 2-79, *Pedestrian Circulation Plan*).

To encourage bike ownership and use, bike parking for residents shall be provided in garages and within the private park. Bike parking is not required for dwelling units with enclosed garages. Additional bike parking for retail patrons shall be available in the commercial center. Frontage improvements along Otay Mesa Road to accommodate the proposed Class II bike lane shall be provided in the form of the required roadway widths.

The proposed pedestrian network shall tie into existing Otay Mesa community connections via new non-curb adjacent public sidewalks within the Otay Mesa Road and Caliente Avenue rights-of-way. The existing pedestrian network connects the project to nearby employment centers and schools via existing sidewalks and street crossings. These connections encourage residents and shoppers to enjoy a healthy lifestyle by providing safe and convenient routes to walk and bike to neighborhood destinations. (Please refer to Figure 2-68, *Suggested Routes to School*).

Figure 2-7 Pedestrian Circulation Plan

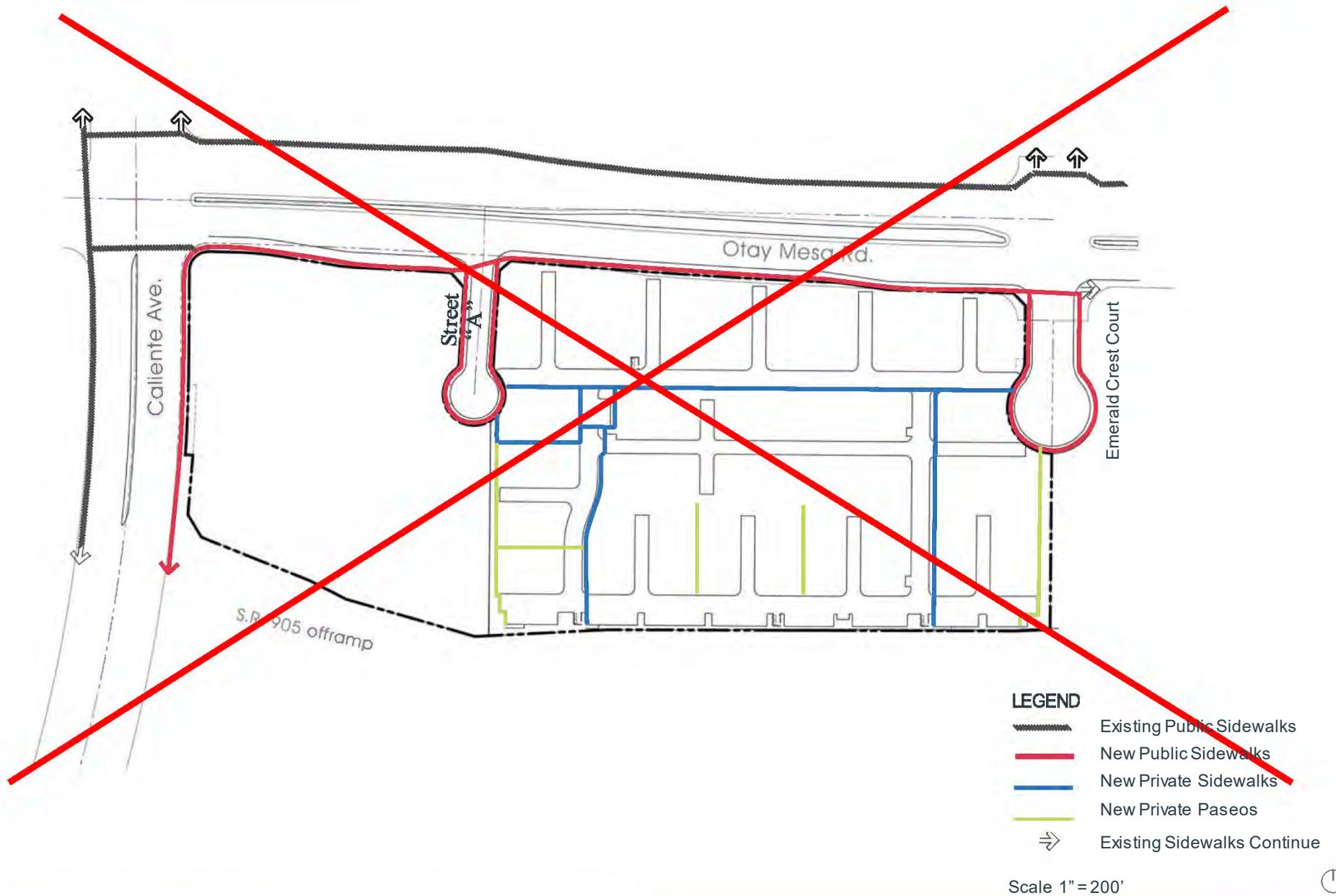
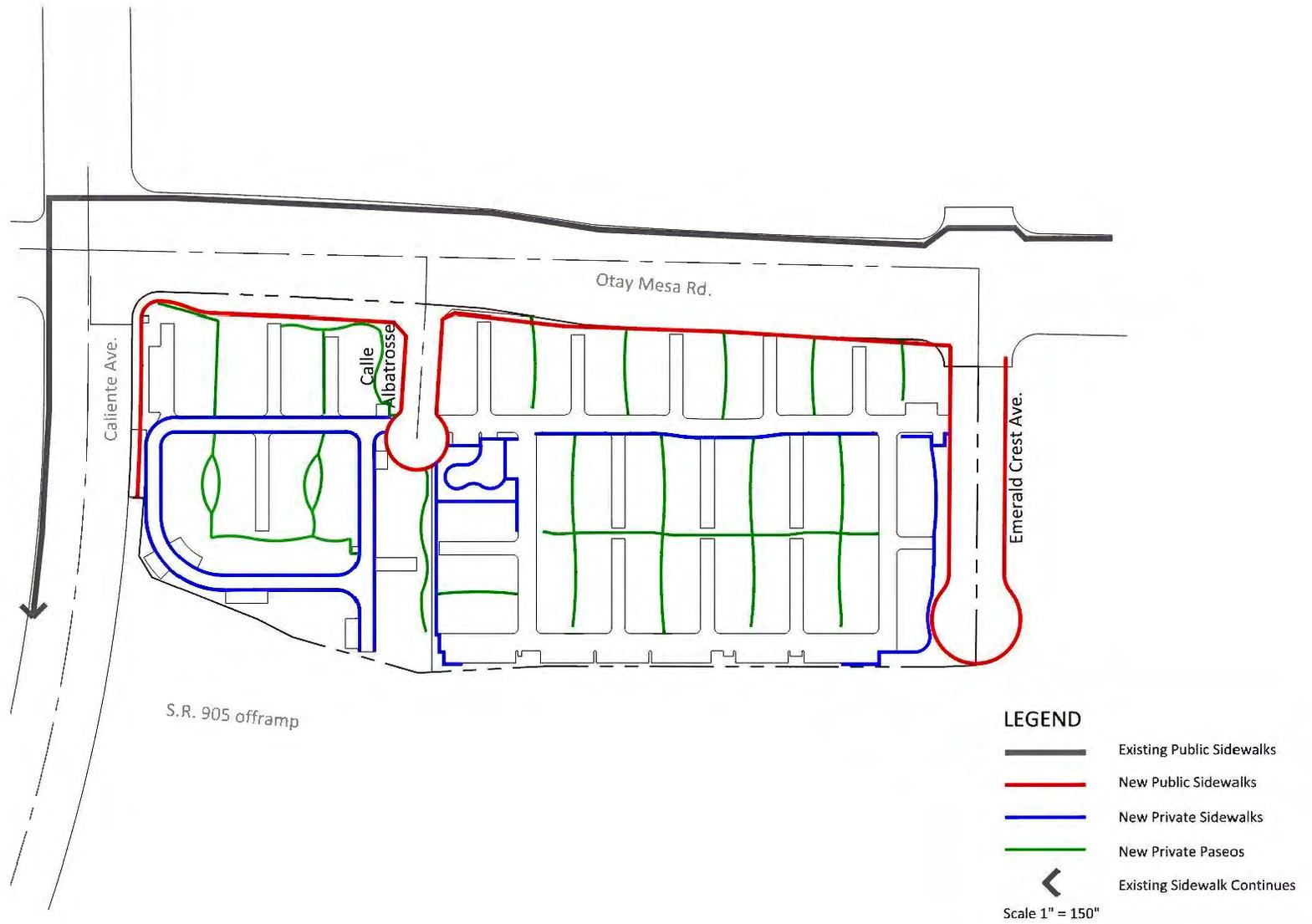


Figure 2-79 Pedestrian Circulation Plan



# Chapter 3 - Design Guidelines

## 3.1 Community Structure

Community structure conveys the identity of the project and is defined by features such as roads, driveways, sidewalks and paths, monuments, walls, fences, and lighting. The following community-wide guidelines establish design goals for California Terraces - PA61 that are consistent with the Otay Mesa Community Plan as well as the California Terraces Precise Plan, including:

- **Design Consistency.** The character, form, and spatial layout should visually identify the residential ~~and commercial~~ portions of the project as part of the Otay Mesa community through complimentary landscaping, material, color, and building form.
- **Clearly Define Public and Private Realm.** Provide visual cues through planting, site planning, signage, fencing, pavement, and scale that clearly distinguish the public areas of the site from the private and semi-private areas.
- **Quality of Construction.** Buildings, landscaping, and parks in California Terraces - PA61 should be constructed of high-quality, durable materials that are environmentally friendly and contribute to the long-term sustainability of the project.
- **Safety.** Development in California Terraces -PA61 should be designed in a manner that promotes the safety of residents

and visitors. Lighting, road and driveway design, and building orientation should balance access, visibility, and privacy.

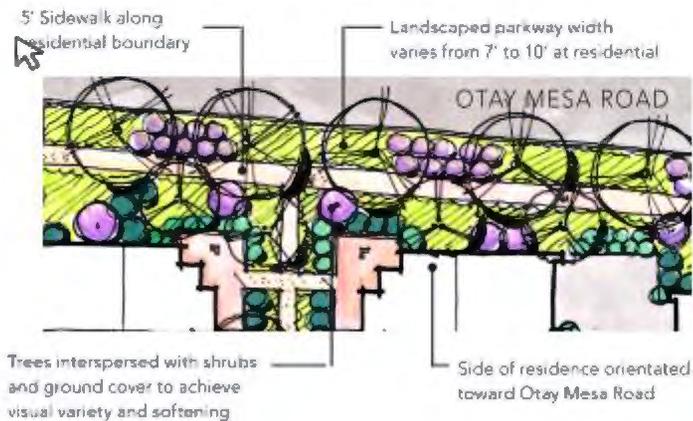
- **Identity.** Create a unique identity and sense of place within the project area through a series of design features incorporating grading, landscaping, and/or architectural treatments.
- **Walls.** Discourage walls and fences for ~~both residential and commercial~~ uses. Use landscape solutions to provide buffers between incompatible land uses, and consider low walls and fencing to delineate private areas from the public right-of-way (per Otay Mesa Community Plan Policy 4.3-6). The plan proposes one retaining wall along the southern boundary that varies in height from two feet to seven feet. A six foot concrete masonry units (CMU) sound wall screened with trees and shrubs is proposed along the southern edge of PA-1. ~~No noise attenuation walls are required, according to the draft noise study which accompanies this submittal.~~
- **Pedestrian-Serving.** Design for the pedestrian by including pedestrian-oriented elements such as: safe walkways which minimize crossings ~~(especially on the commercial site)~~, lighting, street furniture, and trash receptacles at appropriate locations to activate the public and semi-private areas of the plan and promote walkability (per Otay Mesa Community Plan Policy 4.2-1).
- **Transition Between Uses.** Landscaping should be used to screen undesirable views from residential areas.

### 3.1.1 Streetscapes

Streetscapes will visually unite the project site with the larger community by using elements such as landscaping, signage, street furniture, lighting, and sidewalks that harmonize with the greater Otay Mesa community. Streetscapes represent some of the most visible and heavily used public spaces within the project and exert a strong influence on the experience and perception of the project.

The proposed residential frontage along Otay Mesa Road is an edge condition that requires special treatment, and ample areas shall be set aside for landscaping and softening this interface. The exposure of residential uses to noise, traffic, and air quality impacts shall be mitigated through the orientation of buildings, design of buildings, landscape treatments, and distance separation. Visual variety shall be achieved through the use of tree clusters interspersed with shrub masses and ground covers, as depicted below in Figure 3-1, *Otay Mesa Residential Landscape Vignette*.

**Figure 3-1 Otay Mesa Residential Landscape Vignette**



The design of streetscapes ~~should~~ shall reinforce urban design concepts by incorporating landscape features and gateway elements, defining focal points, framing views and edges, and highlighting architectural design features while serving to minimize storm water runoff. The following design elements ~~shall~~ should be incorporated within all streetscapes.

- **Consistent with the Community.** A sense of community continuity should be fostered by maintaining treatment of streetscape elements consistent with that of the Otay Mesa community. Such elements include, but are not limited to: lighting, furniture, signage, and landscaping (*per California Terraces Precise Plan p.85*).
- **Visibility Triangles.** The visibility areas at the end of private drives and the access point to Otay Mesa Road shall extend 10' inward along the driveway and lot line. No obstruction, including landscaping and solid walls in the visibility triangle shall exceed 24" in height. Adequate sight distance will be provided per City Street Design Manual Standards.
- **Cost and Maintenance.** Streetscape designs should be cost-effective to install and practical to maintain. (*Per California Terraces Precise Plan p.55*).
- **Lighting.** Lighting should be coordinated to provide a hierarchy of light quality and intensity. Emphasis should be placed on areas of high vehicular and pedestrian activity through increased light intensity at those areas. A gradual reduction of light intensity between major points of activity will provide the desired modulation of light without sacrificing safety and utility. This should be typical throughout the site (*per California Terraces Precise Plan p.57*).
- ~~Drive Through Restaurants. Dining establishments shall conform to SDMC §142.0607. Additionally, the window and queue drive aisle~~

~~areas shall be screened with landscaping from adjacent public streets and sidewalks.~~

- **Crime Prevention Through Environmental Design (CPTED).** A key method for reducing the incidence of crime and fear of undue risk is through implementation of Crime Prevention Through Environmental Design (CPTED) measures. Surveillance, access control, territorial reinforcement, and maintenance are four major design and usage concepts.
- **Planting Design.** The following guidelines ~~should~~ shall inform planting design in the streetscape:
  - » To foster a cohesive sense of place, the dominant street trees within the project area ~~should~~ shall be consistent with ~~the street trees used along adjacent rights-of-way and throughout the~~ Northwest District of the Otay Mesa Community Plan and the California Terraces Precise Plan *(per Otay Mesa Community Plan Policy 4.8-2)*.
  - » The rhythm of planting along the public right-of-way should relate to the design speeds of the adjacent roads as well as existing planting within the Otay Mesa community *(per California Terraces Precise Plan p.55)*.
  - » Varied forms, textures, structure, flowering characteristics should be provided, and other aesthetic benefits to enhance the types of street environments *(per Otay Mesa Community Plan Policy 4.8-2)*.
  - » Specify an appropriate mix of plant types to create a diverse ecosystem that respects the semi-arid climate and limits water usage *(per Otay Mesa Community Plan Policy 4.8-2)*.
  - » Landscaping at project entries points should harmonize with the



Bike racks are to be provided in the private park and commercial areas



Date Palm and Crape Myrtle trees are a part of the proposed plant palette

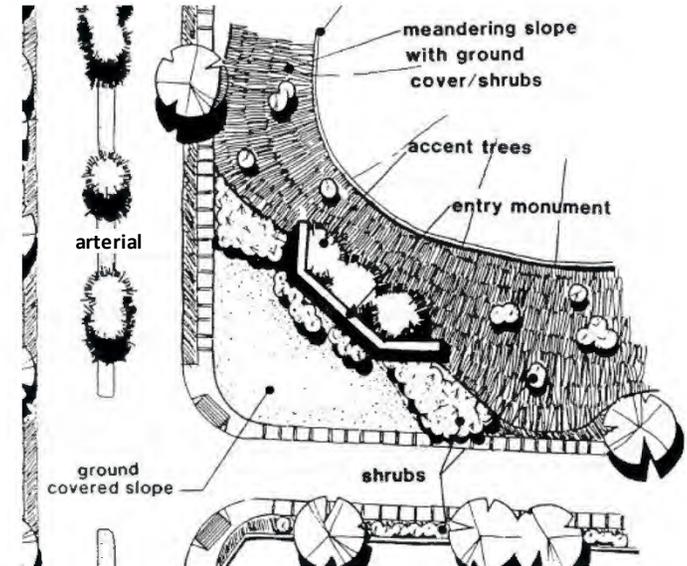
existing community, but the use of flowering trees, shrubs, and seasonal flowers are encouraged to add color and interest.

- » Entice greater pedestrian movement by making pedestrian paths as attractive as possible (*per California Terraces Precise Plan p.55*).
- » Plant selection shall recognize the importance of water conservation, fire resistance, and erosion control with emphases on drought tolerant and native plant species (*per California Terraces Precise Plan p.59*).

- **Pedestrian and Bicycle Access.** The design of all streets and sidewalks shall meet City of San Diego Standards and adhere to the following design guidelines:

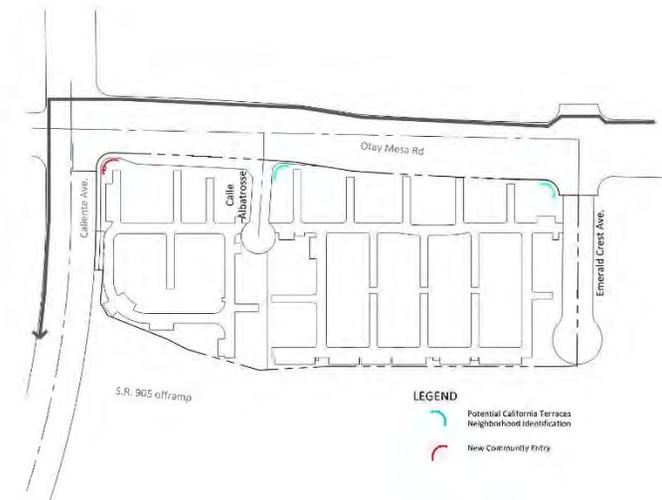
- » Prioritize the sidewalk and trail system to provide multiple, parallel, connections between residential, retail, and park areas within the site (*per Otay Mesa Community Plan Policy 4.2-3*).
- » Create sidewalks and trails that link to existing routes, providing safe pedestrian access for residents to travel to desirable destinations outside of the site, as well as encouraging visitors to walk and bike to the retail destinations on site (*per Otay Mesa Community Plan Policy 3.1-1a*).
- » Multi-family development shall provide separate pedestrian pathways to public sidewalks. Sidewalks shall provide direct connections to nearby commercial, park and school sites (*per California Terraces Precise Plan p.78*).
- » Crosswalks should shall be clearly marked with striping to make intersections safe for pedestrians and to avoid conflicts.

Figure 3-2 Community Entry



Source: Figure 28 Community Entry, California Terraces Precise Plan (January 1997)

Figure 3-3 Monument Locations







Example of community entry near the project area



Example of a neighborhood identification monument

- **Vehicular Access.** The design of all streets and sidewalks ~~should~~ shall meet City of San Diego Standards and adhere to the following design guidelines:
  - » Streets, drive aisles, and driveways are encouraged to be used as transition areas between different land uses.
  - » Attractive, yet functional, circulation and parking should be provided (*per California Terraces Precise Plan p.78*).

### 3.1.2 Monuments

Monuments play a key role in the establishment of placemaking and the creation of identity. Monumentation within California Terraces - PA61 ~~should~~ shall unite the project with the surrounding community as well as distinguish it as a unique neighborhood.

#### Community Entry

Consistent with the design features planned within the California Terraces Precise Plan, a new community entry monument will be located within ~~PA-24 1 the CC-1-3 zone (PA-4)~~ at the corners of Lot 2 of Calliente Avenue, Ionte Avenue and Otay Mesa Road. This monument shall replace the existing monument and are subject to the regulations for Ground Signs in Residential Commercial Zones per Section 142.1240, 141.1102. Required sight line distances shall be considered in the design and placement of this monument. The new monument ~~should~~ shall help to integrate the site with the surrounding community. As such, the following guidelines will apply:

- **Consistent with Landscape Theme.** Community-level monuments ~~should~~ shall consist of low garden or screen walls designed to fit into the landscape theme of rolling hills and tree groves (*per California Terraces Precise Plan p.71*).
- **Welcoming.** Entry slopes should be pulled back from the corners

with ground cover in front of the monument area to create a generous open entry feeling. Please refer to Figure 3-2, *Community Entry* (per *California Terraces Precise Plan* p.71).

- **Landscaping Continuity.** The landscape treatment of the community entry should harmonize with the streetscape (per *California Terraces Precise Plan* p.71).

### Neighborhood Identification

Neighborhood identification signs are located within Planning Area 2 (RM-2-5 zone) ~~to distinguish the residential area~~ (Please refer to Figure 3-3, *Monument Locations*). Up to two neighborhood identification monuments may be installed to provide an entry and exit experience that creates an aesthetic and functional transition between the residential portion of the site and adjacent areas. These monuments would be consistent with residential architectural styles and are subject to the regulations for Neighborhood Identification Signs per Section 141.1102. The approval of a Neighborhood Use Permit (NUP) Process Two will be required prior to obtaining sign permits to allow for neighborhood identification signs within Planning Area 2 (RM-2-5 zone) ~~throughout the site~~. The following guidelines pertain to neighborhood entry monuments:

- **Location.** Monuments should be located within setbacks, landscaped entries, or open spaces at principal entries or on the edges of the community (per *California Terraces Precise Plan* p.71). The design and placement of monuments shall maintain required sight line distances.
- **Materials.** Entry monuments should be constructed of stone, brick, stucco, or similar high-quality materials. When

possible, neighborhood identification signs should be integrated into walls, with materials and color drawn from architectural themes of the primary structure or existing requirements for neighborhood monuments and signs (per *California Terraces Precise Plan* p.56).

### 3.1.3 Signage

Signage is used to identify and direct, but it also plays an important role in establishing the character of an area. Wayfinding and directional signage within the California Terraces - PA61 ~~should~~ shall clearly communicate intent via safe and recognizable signage that is consistent with signage used throughout the community. Signage ~~that identifies commercial development and amenities, on the other hand, should~~ shall harmonize with the existing community ~~and, but~~ clearly define California Terraces - PA61 as a unique destination.

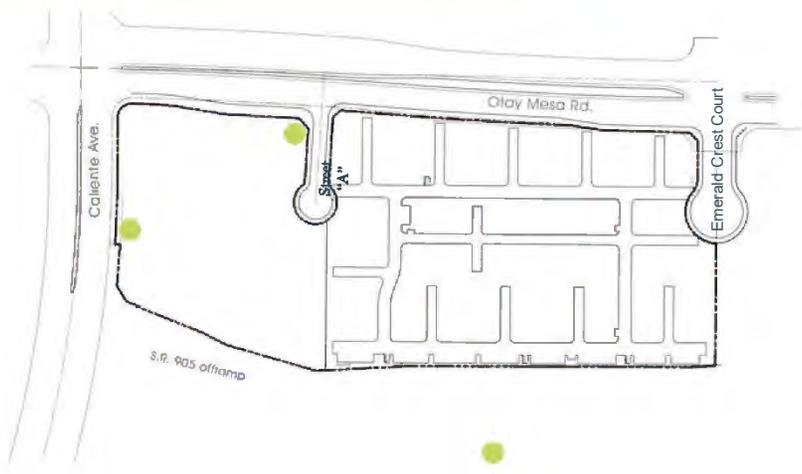
Because of the project's high visibility along Otay Mesa Road and its strategic location as a gateway to the Otay Mesa Community, it is important that signs enhance the image of the community and serve to properly identify and market the commercial uses. The size and location of signage must consider sight distance requirements in order to maintain pedestrian safety.

All signage is to comply with the City of San Diego Municipal Code Chapter 14, Article 2, Division 12: Sign Regulations. General Sign Regulations are found within §142.1210, Types of Signs permitted is regulated by §142.1215.

**Tenant Identification Signs**

Tenant identification signage is meant to provide exposure in a variety of forms. Larger signs may be visible to motorists exiting S.R. 905, and driving along the northern site boundary, as well as for pedestrians. This signage may be located on a wall or free standing, and is subject to the following guidelines:

**Figure 3-4 Free Standing Tenant Signage**



distinctive, cohesive appearance for the development (per Olay

- **Deviations in Size.** If a primary or major tenant has a nationally

- **Cohesive Signage.** Each business within the development must use similar materials colors and design details to provide a

*Mesa Community Plan Policy 4.11-6c):*

- **Identify Business.** Provide signs on retail buildings that are the minimum necessary to indicate the presence and function of the business (per Olay Mesa Community Plan Policy 4.11-6a).
- **Contextually Appropriate Signs.** Size and scale signs should be compatible with the mass and scale of the building, its associated architectural features and surrounding uses (per Olay Mesa Community Plan Policy 4.11-6b).
- **Maximum Sign Area.** As a means of identifying the tenant of a commercial building signage shall be permitted to be mounted on the building wall above the storefront. The maximum sign area shall conform to the SDMC. Signs adjacent to public street right of way shall conform to Table 142-12C

recognized logo and/or established signage layout that cannot be modified to meet the criteria standards, the City of San Diego may approve, at its discretion, a larger sign area and letter height if the sign is well designed and is in keeping with the character of the center.

- **Projecting Signs.** Projecting signs in the commercial area shall meet SDMC regulations, and conform to Tables 142-12D and 142-12E.

**Tenant Ground Signage**

Two multi-tenant signage locations have been designated along Calleinte

~~Avenue and /or Otay Mesa Road. One multi tenant sign may be located along each street frontage. Please refer to Figure 3-4, Free Standing Tenant Signage, for potential locations of signs. The final location and size of signage shall be approved by the City of San Diego.~~

~~Refer to SDMC §142.1240, and Table 142-12H for general regulations and maximum allowances for Ground Signs.~~

~~The following guidelines pertain to multi tenant ground signs:~~



- ~~**Cohesive Design.** Signs should be compatible with the architectural character of the center and site design in terms of color, material, and placement. The design and style of a sign should complement the architectural style of the building to which it is attached or adjacent. All free standing signs shall include the site address and name of center.~~
- ~~**Color Schemes.** Colors for signage should be related to other signs and graphics within the community to achieve a coordinated sense of identity.~~
- ~~**Prohibited Signage.** Roof signs, temporary lettering on windows, and blinking/flashing signs are prohibited. The use of temporary signs is discouraged. Off-site advertising (e.g., billboards) is prohibited.~~

#### **Sign Illumination**

- ~~**Illumination.** All sign elements shall be internally and/or externally illuminated. Hot spots and light leaks are not permitted and must be repaired. All signs shall conceal all identification labels and UL labels to conform to UL codes. All conductors, transformers, cabinets, housings, and other equipment shall be concealed and/or incorporated into storefront and/or sign components.~~
- ~~**Back-lit or Down-Lit.** Signs should be back-lit or down-lit to prevent glare and spillover onto adjacent properties.~~
- ~~**Canned and Raceway Signs are Prohibited.** Interior illuminated channel letters should be used instead.~~
- ~~**Subject to City Approval.** To protect the visual environment, all~~

~~leaseholders' light fixtures, with regard to brightness and glare, shall be subject to approval by the City of San Diego.~~

- ~~**Prohibited Lighting Elements.** Any illuminated sign or lighting device shall emit a constant intensity of light, and no sign shall be illuminated by or contain flashing, intermittent, rotating, or moving lighting.~~
- ~~**Separate Circuitry.** Lighting shall be circuited and switched separately from other building fixtures on the leaseholders' panel and controlled by a time clock. Leaseholder shall provide a disconnect switch at sign transformer or near electrical junction box.~~
- ~~**Fasteners.** All fasteners shall be concealed, except where approved otherwise by the landlord and City of San Diego. Wall signs shall be affixed without visible means of attachment, unless the attachments make an intentional statement.~~

## 3.2 Community Character

Buildings and public spaces ~~should~~ shall establish an overall sense of continuity and identity throughout the project by creating a well-designed public realm. Buildings ~~should~~ shall contribute to the character of the project and the larger community. The following guidelines will ensure quality development throughout all areas of the project.

- **Convey Community Identity.** Use visual details such as architectural style, color and material schemes, and façade treatment to convey neighborhood identity, harmonizing with the existing community.
- **Materiality.** Materials should provide a sense of visual interest, durability, and permanence.
- **Safety.** The principles of crime preventative design and defensible space should be utilized. Site planning and lighting should consider safety and ease of surveillance from the streets (per *California Terraces Precise Plan p.80*).



Typical outdoor eating areas within commercial centers

similar for the entire area (per California Terraces Precise Plan p.78).

## Commercial Guidelines

Consistent with the California Terraces Precise Plan and Otay Mesa Community Plan, the retail center within the project area at the intersection of Caliente Road and the S.R. 905 shall be a neighborhood serving retail center. The following design guidelines are intended to ensure a high level of architectural quality and an attention to building form, design detail, and materiality for the non-residential portion of the site:

- **Project Identity.** The commercial area should establish an identity through common design elements or treatments, delineation of boundaries, and distinct entrances, outdoor areas, or other focal points. The scale, colors, materials, design details, and architectural style of buildings and furnishings should be
- **Semi-Public Space.** Semi-public outdoor space (parks or plazas) for employees and shoppers should be activated by pedestrian-scale lighting, street furniture, trash receptacles and landscaping (per Otay Mesa Community Plan Policy 4.4-3).
- **Pedestrian and Bicycle Access.** Non-motorized transportation should be accommodated by providing bicycle storage, seating areas, and access to the nearby park & ride. Vehicular traffic should be adequately separated from bicycle and pedestrian circulation (per California Terraces Precise Plan p.80).
- **Buffers.** Commercial sites when adjacent to residential uses should include a landscape buffer to screen loading areas from public view (per California Terraces Precise Plan p.80).

- **Distinguishable Architectural Style.** Building design throughout the commercial portion should be consistent with a defined architectural style and should incorporate design details commonly associated with that style.
- **Contextually Sensitive.** The architectural design of the residential portion of the project should consider the character of the surrounding neighborhoods, and apply styles that are harmonious with the existing surroundings. The project should adopt a complimentary architectural approach (per California Terraces Precise Plan p.80).

### 3.3.1 Site Design

- **Internal Pedestrian Access.** Internal pedestrian access routes shall be provided throughout that link parking areas, buildings, green or public spaces, and streets (per Otay Mesa Community Plan Policy 4.4-3a and California Terraces Precise Plan p.80).

### 3.3.2 Building Form and Massing

- **Rear Facade.** Rear facades of commercial building (facing State Route 905) should feature articulation & landscaping (per California Terraces Precise Plan p.80).
- **Loading Areas.** Loading areas should be located to the rear or side of the project area, and should be screened from Otay Mesa Road and Caliente Avenue, as well as from the 905 off-ramp (per Otay Mesa Community Plan Policy 4.2-2h).
- **Rear Deliveries.** Rear access shall be provided to commercial buildings, allowing rear deliveries, improving aesthetics, and enhancing parking access.

### 3.43.3 Residential Guidelines

The residential portion of the community will provide needed housing within the City of San Diego. These standards and guidelines will inform design decisions for residential uses, ensuring high-quality, contextually-sensitive homes consistent with City of San Diego standards and typical housing typologies for the area as well as the visions for the California Terraces Precise Plan and the greater Otay Mesa community.

#### 3.4.13.3.1 Architectural Design Concept

- **Project Identity.** The housing area should be given an identity through common design elements or treatments, delineation of project boundaries, distinctive entrances, and shared recreational areas or other focal points. The scale, colors, materials, design details, and architectural style of buildings and furnishings should be similar for the entire area (*per California Terraces Precise Plan p.78*).
- **Distinguishable Architectural Style.** Building design should be consistent with a defined architectural style and should incorporate design details commonly associated with that style.
- **Contextually Sensitive.** The architectural design of neighboring projects, and the existing character of the community should be considered. The project may adopt a consistent or contrasting architectural approach.



Three dimensional model of a typical three-story residential building



### 3.4.23.3.2 Building Form and Massing

- **Individual Unit Identity.** Dwelling unit layout, orientation and appearance should be designed to encourage individual dwelling unit identity *(per California Terraces Precise Plan p.78)*.
- **Defined Hierarchy of Public and Private Spaces.** Public and private spaces should be well defined, utilizing physical design features such as buildings, enclosures, landscaping, screens, vegetation, paving, grade separation, lighting, fencing, gates and doors to distinguish a progression from the public to the private realm *(per California Terraces Precise Plan p.78)*.
- **Private Open Space.** Open space such as courtyards, patios, greens, balconies etc., should be designed as clearly defined spaces located adjacent to living spaces and internal pedestrian linkages *(per California Terraces Precise Plan p.77)*. All private open space shall meet the requirements of SDMC §131.0455.
- **Semi-Private Areas.** Semi-private common areas, such as the park and paseos are strongly encouraged. Buildings should be sited to create open space areas, where feasible *(per California Terraces Precise Plan p.78-77)*.
- **Building Form.** Develop buildings and street frontages with architectural interest adjacent to public areas, paseos, and the public right-of-way. Use design techniques such as facade step-backs, articulation, off-setting planes, unique roof forms, and varied building elevations.
- **Angled Building Envelope Plane.** Ensure the maximum structure height shall not exceed the height of the angled building envelope plane as described in SDMC §131.0444.
- **Building Coverage.** Ensure the maximum building coverage shall not exceed 60% of the site area per SDMC §143.0420(d).

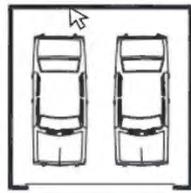
- **Architectural Details.** Architectural elements such as windows, and recessed planes that are consistent with the defined style should be incorporated into the facade. Large areas of flat, blank walls are strongly discouraged.



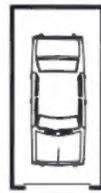
- **Side and Rear Elevations.** The side and rear faces of each building should include elements drawn from the primary frontage that serve to break up facades and add visual interest.
- **Roof Form.** Varied roof forms should be incorporated to break up larger buildings and provide visual interest.
- **Doors and Windows.** Doors and windows, where possible, should be operable and oriented towards usable open space areas *(per California Terraces Precise Plan p.78)*.
- **Pedestrian-Scaled Entries.** Pedestrian-scale entries that clearly identify individual units should be prominent features along the garages shall have a minimum dimension of 10 feet x 20 feet, as shown below.
- **Balconies.** All Second-story balcony walls shall be solid and 3.5' high minimum to meet sound attenuation requirements.
- **Driveways.** Residential rear driveways should allow for access to garages, additional off-street parking, trash pick-up, and pedestrian areas *(per Otay Mesa Community Plan Policy 4.2-2h)*.
- **Curb Cuts.** Multi-family garage units shall not have direct access via

curb cuts to major and collector streets (per *California Terraces Precise Plan* p.77).

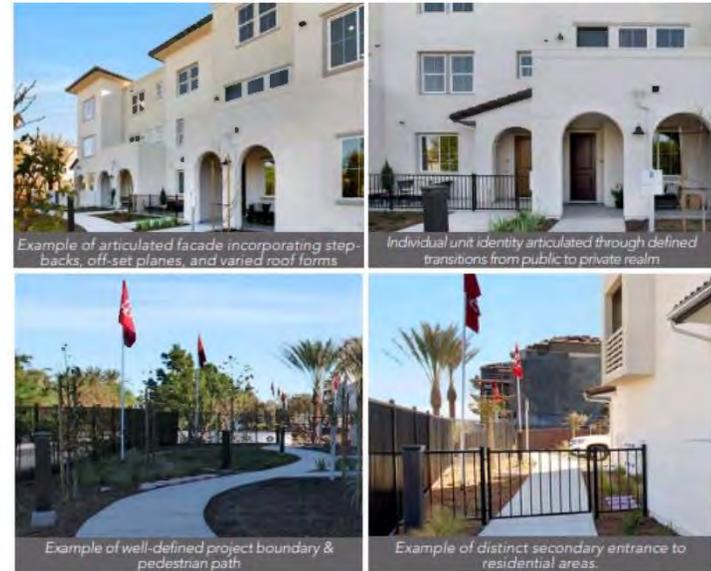
- **Heavily Used Common Spaces.** Heavily used common spaces should be open, visually unobstructed and well lit (per *California Terraces Precise Plan* p.78).
- **Ventilation.** To improve indoor air quality, building design shall provide an adequate quantity and quality of ventilation and intake of outside air to ensure acceptable indoor air quality.
- **Garage Size.** Per City of San Diego Standards, all two-car garages shall have a minimum dimension of 20 feet x 20 feet, while one-car garages shall have a minimum dimension of 10 feet x 20 feet, as shown below.



2-CAR GARAGE  
MIN. 20'X20'



1-CAR GARAGE  
MIN. 10'X20'



- **Garage Separation.** The distance between facing garage doors shall be a minimum of 28 feet. Additionally, all garages shall include a minimum back up distance of 21 feet, including the driveway apron and private rear driveway.



- **Personal Storage Areas.** Each dwelling unit shall provide a personal storage area, located outside of the habitable unit (typically within the garage) that is at least 240 cubic feet with a minimum horizontal distance of seven feet. Personal storage areas shall meet the requirements of SDMC §131.0454.



Create unity and rhythm by repeating wall elements, windows, trim and architectural features



Example of buildings oriented to create common open space



Clearly marked address



Private balcony adjacent to living area



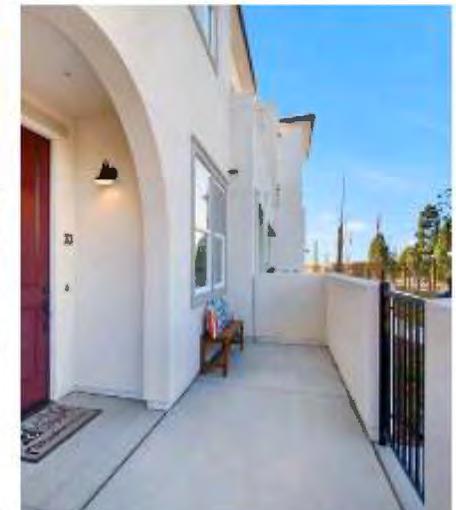
Define prominent building corners with a strong building presence



Example of articulated street-facing facade



Rear driveways provide access to garages



Private front patio adjacent to living area

### 3.4.33.3.3 Materials, Colors and Finishes (exterior)

- **High Quality.** High quality and durable materials, such as stone and stucco are encouraged.
- **Color Palette.** A cohesive color palette should be developed and carried throughout. Contrasting colors that emphasize architectural elements, such as doors or window treatments are encouraged.
- **Low-Emitting Materials.** To improve air quality, low-emitting materials ~~should~~shall be used whenever possible.
- **Addressing.** Addressing should be clearly marked and visible for visitors and emergency response (per California Terraces Precise Plan p.78).

### 3.53.4 Landscape Guidelines

The following guidelines pertain to cohesive landscape design. A unified theme ~~should~~shall be created, providing enhanced aesthetics.

- **Plant Selection Criteria.** Plant materials shall be: drought tolerant, adaptable to the climatic and soil conditions of the site, aesthetically compatible with each other, relatively maintenance free, visually pleasing in form, color, and texture. Plant materials ~~should~~shall be of good quality and meet marketable merchandise standards. (Per California Terraces Precise Plan p.59).
- **Plant Diversity.** Provide an appropriate mix of tree types (evergreen and deciduous), in order to provide a diverse ecosystem more able to adapt to changing environmental pressures. (Per Otay Mesa Community Plan Policy 4.8-2)
- **Minimize Heat Gain.** Provide on-site landscaping improvements that minimize heat gain and provide attractive landscape environments. (Per Otay Mesa Community Plan Policy 4.9-4).
- **Visual Linkages.** Create visual and physical linkages within neighborhoods, and project site areas through a unified landscape theme (per Otay Mesa Community Plan Policy 4.3-7).
- **Theme.** Complement the streetscape design and enhance overall connectivity with a landscape theme. (Per Otay Mesa Community Plan Policy 4.3-7a).
- **Sustainable Landscaping.** Utilize sustainable landscape practices, including water conservation and storm water management. (Per Otay Mesa Community Plan Policy 4.3-7b)
- **Planting to Improve Air Quality.** Ensure the overall tree cover and other vegetation through Otay Mesa is no less than 20 percent in urban residential areas ~~and 10 percent in the business areas~~ so that the natural landscape is sufficient in mass to provide significant benefits to the city in terms of air and water management. (Per Otay Mesa Community Plan Policy 8.5-1).
- **Buffering.** Housing should be buffered from noise and traffic by landscape barriers. (Per California Terraces Precise Plan p.78).
- **Contextually Sensitive.** Landscape treatment of project perimeters should consider the interface with community and neighborhood elements. (Per California Terraces Precise Plan p.78).
- **Bicycle Racks.** Bicycle racks should be placed at common recreational areas and other shared facilities. (Per California Terraces Precise Plan p.79).
- **Refuse and Recyclables.** Provide refuse and recyclable material storage areas in conformance with Sections §142.0810 and §142.0820.

### 3.5.13.4.1 Park and Paseos

The following guidelines pertain to landscape design of the pocket park.

- **Shade in Park.** Canopy trees should be used to provide shade. Informal groupings are encouraged to create visual interest.
- **Outdoor Furniture in Park.** Outdoor furniture such as benches and waste receptacles shall be provided where appropriate. The furniture should match architectural styles, materials, and colors used elsewhere throughout Otay Mesa.
- **Accessibility.** Pedestrian and bike access to park and recreation areas should be safe, direct, and accommodate the elderly and disabled.
- **Paseos.** Landscaping within paseos should consist of informal groupings of shade trees, shrubs, and plantings.

### 3.63.5 Walls and Fences

Walls and fences throughout the project area are intended to provide privacy and security to the residence. Materials and color for walls and fencing must be compatible with architectural style. All on-site walls and fences shall meet the requirements of the Fence Regulations [\(Chapter 14, Article 2, Division 3\)](#) of the SDMC. In addition, the following guidelines apply to the walls and fences on site:

- **Only Where Necessary.** Walls and fences should be used sparingly to define boundaries and provide screening. When necessary, low walls and fencing that does not obstruct the visual field is allowed.

- **Pedestrian Access.** Gates and breaks in walls and fences should be incorporated at appropriate locations to ensure that pedestrian access to and from the project area is safe, efficient and convenient.
- **Perimeter Fence.** A six-foot tubular steel fence will be located along the westerly, southerly, and easterly property lines to provide screening from adjacent land uses.
- **Retaining Wall.** A retaining wall is planned at the south-east corner of the site, which will vary in height from 2 feet to 7 feet. The inside portion of the wall shall be landscaped to soften the visual appearance of the height from the residences.
- **Patio Wall.** The maximum height of patio or front yard wall shall be 36 inches.

# Chapter 4 - Administration

## 4.1 Development Summary

Flexibility has been built into the density of the Land Use Plan to allow the proposed plan to respond to changing market conditions.

### 4.1.1 Commercial Development

~~Planning Area 1, the commercial area, is permitted to have a maximum FAR of 0.30 under the development regulations of the CC-1-3 zone. No residential development is allowed in Planning Area 1. Within the 4.49 acre commercial portion of the site, a maximum of 58,675 square feet shall be allowed. However, because of reduced market demand for commercial property, only 45,000 square feet of commercial area is currently proposed as part of this Master Planned Development Permit; any increase in the total amount of commercial development would require an amendment to this Master Planned Development Permit (as described in Section 4.3) and may require subsequent approvals, additional technical studies, and/or environmental review.~~

### 4.1.2 Residential Development

Planning Areas 1 and 2, the residential portion of PA-61, is permitted to have a density between 15 and 29 dwelling units per acre under the development regulations of the RM-2-5 zone. Within Planning Area 1, a minimum of 79 units are allowed. Within Planning Area 2, the 9.20 acre site, a minimum of 138 units and a maximum of 267 units are allowed. The site-specific development plan included in this Master Planned Development Permit document for Planning Area 2 proposes 171 dwelling units.

## 4.2 Administration of Guidelines

This chapter establishes the methods and procedures for implementation and administration of the Design Guidelines. As a high-quality, pedestrian-oriented, ~~residential mixed-use~~ neighborhood it is important that California Terraces have guidelines that regulate this unique development to ensure a consistent level of design. The intent of the Design Guidelines is to bring a framework of vision, ideals, guiding principles, and innovation to the development process.

## 4.3 Master Planned Development Permit

The City of San Diego Development Services Department shall be responsible for administering the provisions of these Design Guidelines according to the requirements for a Master Planned Development Permit (SDMC §143.0480). The PA-61 Design Guidelines provide conceptual development criteria for future development in Planning Area 1 and Planning Area 2.

Future development can proceed according to the Design Guidelines as follows:

- All subsequent development proposals shall be reviewed in accordance with Substantial Conformance Review (SCR) Process One (SDMC §126.0112 and City Information Bulletin 500) prior to processing to ministerial construction review. Proposals determined to substantially conform to the objectives, standards, guidelines, and conditions of the Master Planned Development Permit (MPDP) may proceed to ministerial construction review. Proposals determined not to substantially conform to the MPDP will require an Amendment to this MPDP, processed in accordance to SDMC Section 126.0113.

Unless otherwise specified, where the provisions of these Design Guidelines differ from the Municipal Code, the Design Guidelines shall take precedence.

## 4.4 Development Regulations

The overall intent of these regulations is to guide development in California Terraces PA-61 to ensure that all future construction meets the overall goals and objectives established through these Design Guidelines. Development regulations include specifications for site planning and building design, such as permitted land uses, building height, and setbacks.

As established in Figure 2.1, Land Use Plan, and Table 2.1, Land Use Summary, both Planning Areas 1 and 2 have been assigned a land use designation from the Otay Mesa Community Plan and an implementing base zone from the SDMC. ~~Planning Area 1 has a land use of Community Commercial (Residential Prohibited) and the base zone is CC-1-3.~~

Planning Areas 1 and 2 have a land use of Residential – Medium (15 – 29 du/ac) and a base zone of RM-2-5.

Development shall follow the requirements of the applicable base zone as specified in Table 2.1 except as follows:

- Within the RM-2-5 Zone, minimum front setback shall be 10 feet.
- Within the RM-2-5 Zone, minimum street side setback shall be 10 feet.
- Within the RM-2-5 Zone, minimum side yards setback shall be 10 feet.

## 4.5 Park Point Requirements

The Draft Park Master Plan requires new developments to identify equivalencies or non-standard public parks when park acreage requirements can not be met. Using the San Diego MSA average of 2.9 residents per unit with a total of 79 units, it is estimated there will be approximately 229 residents. Therefore, it will take 23 points to meet the Draft Parks Master Plans requirement of 1 point per 10 residents. California Terraces PA-61 will meet the park point requirements found in the Draft Park Master Plan with the following features:

- 7 points – The development is within a quarter mile of the existing Caliente Avenue Park and Ride Facility.
- 21 Points – The development includes 2,200 SF of play area labeled “Passive Recreational Turf Space”.

There will be a total of 28 points provided exceeding the 23 point requirement.

### 4.54.6 Airport Land Use Compatibility Zone (Airspace Protection Only)

PA-61 is within Review Area 2 of the Airport Land Use Compatibility Overlay Zone for Brown Field Municipal Airport and shall comply with the airspace protection compatibility requirements in accordance with SDMC §132.1520

## 4.75 Maintenance

The creation and operation of a Master Maintenance Association will be an important factor in maintaining the aesthetic quality of the California Terraces. The public and private entities are described below and in Table 4.1, Maintenance Responsibility.

The public right-of-way is under the responsibility of the existing City of San Diego Maintenance Assessment District (MAD). All work within the MAD shall be in accordance with the City of San Diego’s Guide to Park Design and Construction.

All landscape on private property to be maintained by the MAD shall have a landscape easement.

## 4.64.8 Infrastructure Improvements

Within California Terraces, the Master Developer will be responsible for constructing the required infrastructure improvements, such as streets, water lines, sewers, and storm drains, which are to be constructed in conjunction with the street and driveway improvements.

Table 4-1 Maintenance Responsibility

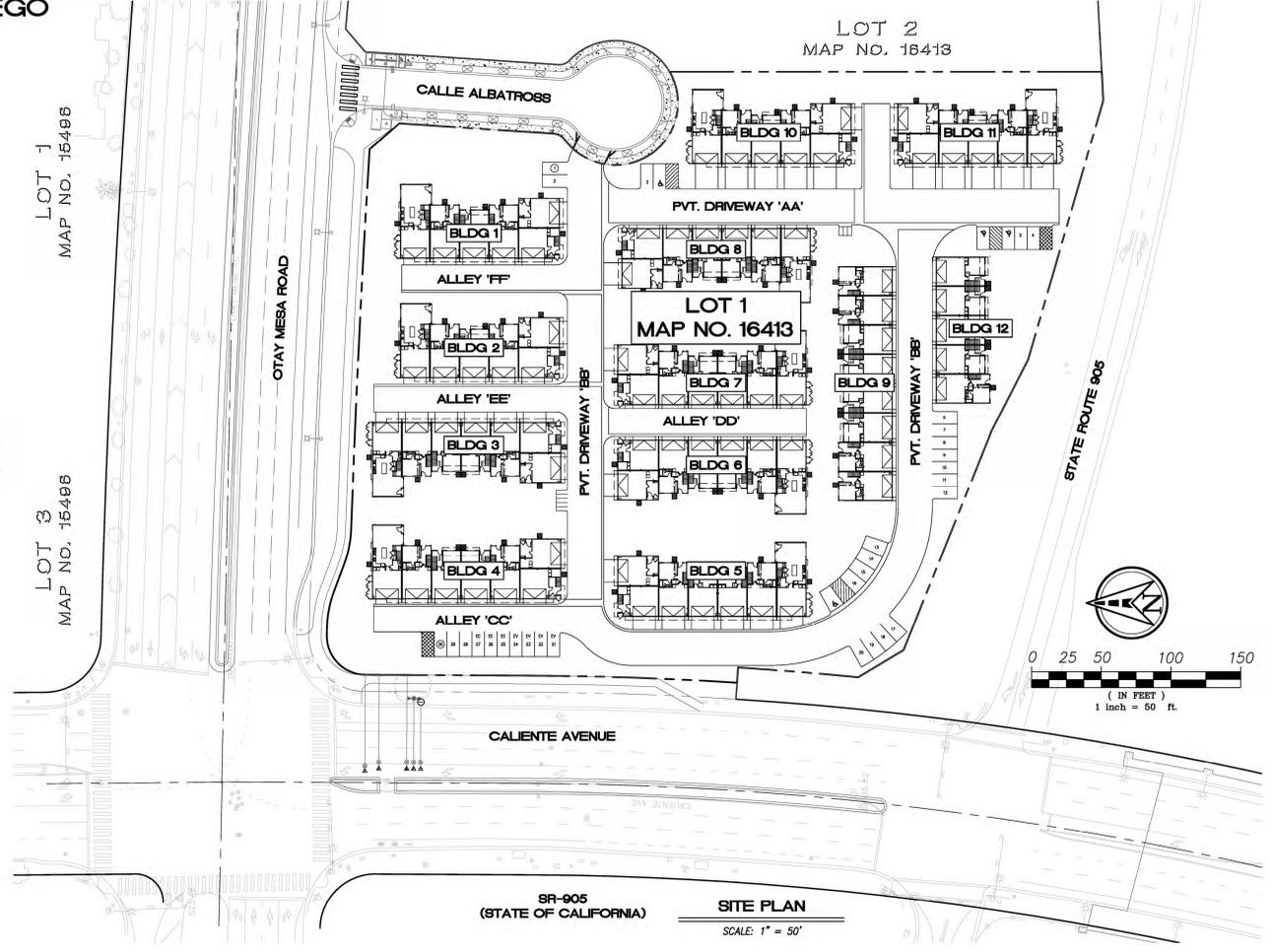
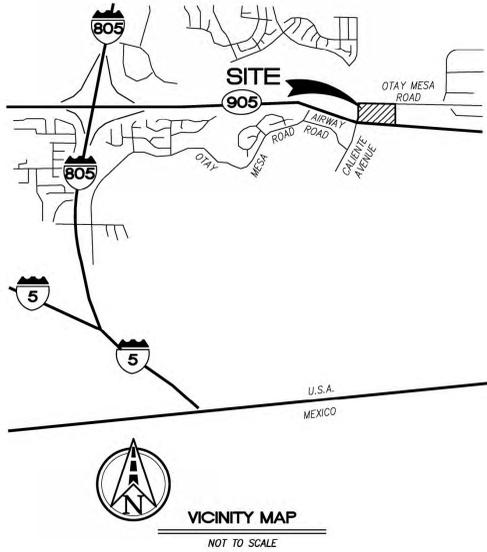
Facility	Responsibility
Private Common Open Space	Master Maintenance Association
Public Streets (including standard public road improvements)	City of San Diego MAD
Standard Public Road Improvements (including landscaped parkways, lighting elements, and other standard public road improvements)	City of San Diego MAD
Private Streets	Master Maintenance Association
Privately-Owned Parks and Trails	Master Maintenance Association
Pedestrian Paseos (outside the Public ROW)	Master Maintenance Association
Potable Water Facilities	City of San Diego
Wastewater Treatment and Conveyance Facilities	City of San Diego
Storm Drain Facilities (within the Public ROW)	City of San Diego
Storm Drain Facilities (within private streets)	Master Maintenance Association
Detention/Water Quality Basins	Master Maintenance Association
Lighting (in common areas outside the Public ROW)	Master Maintenance Association





# CALIFORNIA TERRACES - PA61 LOT 1

VESTING TENTATIVE MAP (NO. 2568950),  
 SITE DEVELOPMENT PERMIT (NO. 2568952),  
 MASTER PLANNED DEVELOPMENT PERMIT (NO. 2568951),  
 NEIGHBORHOOD DEVELOPMENT PERMIT (NO. 2568953) AMENDMENT,  
 COMMUNITY PLAN AMENDMENT (NO. 2568959)  
 REZONE (NO. 2568954)  
 CITY OF SAN DIEGO



**OWNER / DEVELOPER**

TRI POINTE HOMES IE-SD, INC.  
 13400 SABRE SPRINGS PARKWAY, SUITE 200  
 SAN DIEGO, CA 92128  
 PHONE: (858) 794-2500 FAX: (858) 794-2599

**CIVIL ENGINEER**

CIVIL SENSE, INC.  
 13475 DANIELSON STREET, SUITE 150  
 POWAY, CA 92064  
 PHONE: (858) 843-4253

**LANDSCAPE ARCHITECT**

PROJECT DESIGN CONSULTANTS  
 701 B STREET, SUITE 800  
 SAN DIEGO, CA 92101  
 PHONE: (619) 235-6471

**PUBLIC AFFAIRS**

SOUTHWEST STRATEGIES, LLC  
 401 B STREET, SUITE 150  
 SAN DIEGO, CA 92101  
 PHONE: (858) 541-7800  
 FAX: (858) 541-7863

**LEGAL DESCRIPTION**

LOT 1 OF CALIFORNIA TERRACES - PA 61 MAP NO. 16413 RECORDED ON AUGUST 27, 2020 AS FILE NO. 2020-7000258 OPTICAL RECORDS.

**PARKING CALCULATIONS**

**REQUIRED AUTOMOBILE SPACES (PER SDMC 142-05C)**

PLAN 1	2BR	10
PLAN 2	2BR	10
PLAN 3.1	3BR	14
PLAN 3.2	3BR	10
PLAN 4.1	4BR	19
PLAN 4.2	4BR	6
PLAN 5	5BR	10
<b>TOTAL:</b>		<b>79</b>

20 DU x 1.75	=	35	REQUIRED PARKING SPACES
59 DU x 2.00	=	118	REQUIRED PARKING SPACES
		153	TOTAL REQUIRED

**ACCESSIBLE PARKING SUMMARY (PER SDM-117)**

153	x 0.02	=	3	ACCESSIBLE PARKING REQUIRED
3	/ 6	=	1	VAN ACCESSIBLE SPACES REQUIRED

**TOTAL ACCESSIBLE PARKING SPACES REQUIRED**

3	ACCESSIBLE SPACES
1	VAN ACCESSIBLE SPACES
4	TOTAL ACCESSIBLE SPACES

**PROVIDED PARKING SUMMARY**

158	GARAGE SPACES
20	DRIVEWAY PARKING (10 UNITS)
4	ACCESSIBLE SPACES
7	EV AND EV CAPABLE SPACES
23	OPEN SPACES

212 TOTAL SPACES PROVIDED

**MOTORCYCLE PARKING SUMMARY (PER SDMC 142-05C)**

153	DU x .1	=	7.9	REQUIRED PARKING SPACES
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**TOTAL MOTORCYCLE PARKING SPACES REQUIRED**

8	PARKING SPACES
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**BICYCLE PARKING SUMMARY**

NOT REQUIRED FOR DWELLING UNITS WITH ENCLOSED GARAGES

**GENERAL NOTES**

**LOT SUMMARY**

- RESIDENTIAL LOT: LOT 1 AREA: 4.46 ACRES
- TOTAL AREA WITHIN SUBDIVISION IS 4.46 ACRES GROSS
- GAS AND ELECTRIC: SAN DIEGO GAS AND ELECTRIC
- TELEPHONE: AT&T
- CABLE TELEVISION: COX
- SEWER AND WATER: PRIVATE
- DRAINAGE SYSTEM: PRIVATE
- FIRE: PRIVATE
- SCHOOL DISTRICT: SAN YSIDRO SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND
- EXISTING TOPOGRAPHY CONTOUR INTERVALS: 1 FEET
- PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 01/17/2018
- FIELD SUPPLEMENTED/UPDATED TOPO USING DRONE DATA GATHERED ON 10/6/2021

DESCRIPTION: CENTERLINE CONTROL MONUMENT  
 LOCATION: INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD  
 REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1469 17701  
 ELEVATION: 504.568 FT. MSL  
 DATUM: NVD-29

- ALL PROPOSED SLOPES ARE 2:1 UNLESS NOTED OTHERWISE
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION ON FINAL DESIGN.
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION ON FINAL DESIGN.
- ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE REMOVED.
- ALL RESIDENTIAL LOCAL AND PRIVATE STREETS WITH A GRADE BREAK OF 1% OR GREATER, SHALL HAVE VERTICAL CURVES IN ACCORDANCE WITH THE CITY STREET DESIGN MANUAL.
- ALL PRIVATE ENCROACHMENTS IN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT WILL REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
- ALL PRIVATE ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT WILL REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
- ALL PUBLIC WATER FACILITIES AND ASSOCIATED EASEMENTS WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO.

**ASSESSOR'S PARCEL NUMBER**

845-410-01-00

**LAMBERT COORDINATES**

146-1763

**CCS83 COORDINATES**

1786-6323

**BENCHMARK**

DESCRIPTION: CENTERLINE CONTROL MONUMENT  
 LOCATION: INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD  
 REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1469 17701  
 ELEVATION: 504.568 FT. MSL  
 DATUM: NVD-29

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, 1983, ZONE 6, EPOCH 1991.35, GRID BEARING BETWEEN GPS STATION 210 AND GPS STATION 1465 PER RECORD OF SURVEY MAP NO. 14492.

I.E.: SOUTH 57°37'24" EAST

DISTANCES SHOWN HEREON ARE GRID DISTANCES TO OBTAIN GROUND LEVEL DISTANCES, MULTIPLY DISTANCE BY 1/1.0000252. OUTHED BEARINGS FROM REFERENCE MAPS/DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

**SOLAR ACCESS NOTE**

THIS IS TO AFFIRM THAT THE DESIGN OF THIS DEVELOPMENT PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISION OF SECTION 66473.1 OF THE STATE SUBDIVISION MAP ACT.

**DEVELOPMENT SUMMARY**

**1. SUMMARY OF REQUEST:**

A VESTING TENTATIVE MAP (NO. 2568950), SITE DEVELOPMENT PERMIT (NO. 2568952), MASTER PLANNED DEVELOPMENT PERMIT (NO. 2568951) AND NEIGHBORHOOD DEVELOPMENT PERMIT (NO. 2568953) AMENDMENT, COMMUNITY PLAN AMENDMENT LAND USE (NO. 2568959), AND REZONE (NO. 2568954) FOR A 79 MULTI-FAMILY RESIDENTIAL CONDOMINIUM PROJECT.

2. STREET ADDRESS: 1649 CALLE ALBATROSS, SAN DIEGO, CA 92154

3. SITE AREA

TOTAL SITE AREA (GROSS): 4.46 ACRES (194,452 SF)  
 NET SITE AREA: 4.46 ACRES (194,452 SF)

4. ZONING

EXISTING: AR-1-1 AND CC-1-3 (COMMUNITY COMMERCIAL)  
 PROPOSED: RM-2-5 (RESIDENTIAL-MULTIPLE UNIT)

5. COMMUNITY PLANNING AREA: OTAY MESA

6. COVERAGE DATA

TOTAL LANDSCAPE / OPEN SPACE AREA: 57,388 SF  
 TOTAL HARDSCAPE / PAVED AREA: 80,810 SF  
 FLOOR AREA RATIO PER ZONE (FAR): 1.35  
 GROSS FLOOR AREA (GFA): 165,593 SF

7. DENSITY

MAXIMUM DWELLING UNITS ALLOWED PER ZONE: 1 DU/1,500 S.F. OF LOT AREA  
 NUMBER OF EXISTING UNITS TO REMAIN ONSITE: 0  
 NUMBER OF PROPOSED DWELLING UNITS ONSITE: 79 DU (130 DU MAX)  
 PROPOSED DENSITY: 17.7 DU/AC

8. YARD / SETBACK

REQUIRED:

MIN. FRONT SETBACK: 15 FEET  
 STANDARD FRONT SETBACK: 20 FEET  
 MIN. SIDE SETBACK: 5 FEET OR 10% OF PREMISES WIDTH  
 MIN. STREET SIDE SETBACK: 10 FEET OR 10% OF PREMISES WIDTH  
 MIN. REAR SETBACK: 15 FEET

PROPOSED:

FRONT SETBACK: 10 FEET  
 SIDE SETBACK: 10 FEET  
 STREET SIDE SETBACK: 10 FEET  
 REAR SETBACK: 10 FEET

9. MAXIMUM STRUCTURE HEIGHT:

REQUIRED: 40 FEET  
 PROPOSED: 40 FEET

**REQUESTED DEVIATIONS**

MUNICIPAL CODE REGULATION	SDMC LANGUAGE	REQUIRED	PROPOSED DEVIATION	REQUESTED PERMIT
SECTION 131.0443, TABLE 131-04G	MIN. FRONT SETBACK STD. FRONT SETBACK	15 FEET 20 FEET	MIN. 10 FEET	NDP
SECTION 131.0443, TABLE 131-04G	MIN. SIDEYARD SETBACK	5 FEET OR 10% OF PREMISES WIDTH	MIN. 10 FEET	NDP
SECTION 131.0443, TABLE 131-04G	MIN. STREET SIDE SETBACK	10 FEET OR 10% OF PREMISES WIDTH	MIN. 10 FEET	NDP
SECTION 131.0443, TABLE 131-04G	MIN. REAR SETBACK	15 FEET	MIN. 10 FEET	NDP

**GRADING NOTES**

- TOTAL AMOUNT OF SITE TO BE GRADED: 4.464 ACRES
- PERCENTAGE OF TOTAL SITE GRADED: 100 %
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 0.19 ACRES
- PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 100 %
- PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 4.3 %
- AMOUNT OF CUT: 5,600 CUBIC YARDS
- AMOUNT OF FILL: 5,600 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 6 FEET  
 MAX. 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 4 FEET  
 MAX. 2:1 SLOPE RATIO
- AMOUNT OF IMPORT SOIL: 0 CUBIC YARDS
- RETAINING WALLS  
 QUANTITY: 0  
 MAX. LENGTH: 0 FEET  
 MAX. HEIGHT: 0 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.

**SHEET INDEX**

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING TOPO AND EASEMENTS
3	SLOPE ANALYSIS
4	NOTES, STREET CROSS SECTIONS AND DETAILS
5	GRADING AND UTILITIES
6	SITE PLAN
7	SITE CROSS SECTIONS
8	EARTHWORK EXHIBIT
9	FIRE PLAN
10	CONCEPT LANDSCAPE PLANS
11-12	LANDSCAPE CALCULATIONS

NAME: CIVIL SENSE, INC.  
 ADDRESS: 13475 DANIELSON STREET, SUITE 150  
 POWAY, CA 92128  
 PHONE: 858-843-4253

PROJECT ADDRESS:  
 SE CORNER OF OTAY MESA  
 ROAD AND CALIENTE AVENUE

PROJECT NAME:  
 CALIFORNIA TERRACES - PA61 LOT 1  
 VTM, SDP, MDP AND NDP AMENDMENT,  
 CPA, AND REZONE

SHEET TITLE:  
 COVER SHEET

REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	3/8/2022
REVISION 3:	2/16/2022
REVISION 2:	12/10/2021
REVISION 1:	10/12/2021

ORIGINAL DATE: 05/21/2021

SHEET 1 OF 12

DEP #

OWNER / DEVELOPER:  
**tri pointe**  
 HOMES  
 13400 SABRE SPRINGS PARKWAY, SUITE 200  
 SAN DIEGO, CA 92128  
 TEL: (858) 794-2500  
 FAX: (858) 794-2599

PREPARED BY:  
**CIVIL SENSE, INC.**  
 19475 DANIELSON STREET, SUITE 150 POWAY, CA 92064  
 OFFICE: 858-843-4253



JIMMY AYALA  
 DIVISION PRESIDENT

DATE

HENRY H. PENG  
 R.C.E. 63688

DATE

**LEGAL DESCRIPTION**

LOT 1 OF CALIFORNIA TERRACES - PA 81, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 16413 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON AUGUST 27, 2020 AS INSTRUMENT NO. 2020-700258 OFFICIAL RECORDS.

**TOPOGRAPHY SOURCE**

PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 01/17/2018  
FIELD SUPPLEMENTED/UPDATED TOPO USING DRONE DATA GATHERED ON 10/6/2021

**DESCRIPTION:** CENTERLINE CONTROL MONUMENT  
**LOCATION:** INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD  
**REFERENCE:** CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1469 17701  
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**DATUM:** NGVD-29

**BENCHMARK**

**DESCRIPTION:** CENTERLINE CONTROL MONUMENT  
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**ELEVATION:** 504.568 FT. MSL  
**DATUM:** NGVD-29

**CONDOMINIUM NOTE**

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS IS 79.

**MAPPING NOTES**

1. A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED. A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

2. PRIOR TO THE RECORDATION OF THE FINAL MAP, TAXES MUST BE PAID ON THIS PROPERTY PURSUANT TO SUBDIVISION MAP ACT SECTION 66492. TO SATISFY THIS CONDITION, A TAX CERTIFICATE STATING THAT THERE ARE NO UNPAID LIEN CONDITIONS AGAINST THE SUBDIVISION MUST BE RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER.

IF A TAX BOND IS REQUIRED AS INDICATED IN THE TAX CERTIFICATE, ENSURE THAT IT IS PAID OR POSTED AT THE COUNTY CLERK OF THE BOARD OF SUPERVISORS OFFICE ALONG WITH THE ASSOCIATED \$34.00 COMPLIANCE FEE TO AVOID DELAYING THE RECORDATION OF THE FINAL MAP.

3. ALL SUBDIVISION MAPS IN THE CITY OF SAN DIEGO ARE REQUIRED TO BE TIED TO THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 6 PURSUANT TO SECTION 8801 THROUGH 8819 OF THE CALIFORNIA PUBLIC RESOURCES CODE.

4. THE FINAL MAP SHALL:  
a. USE THE CALIFORNIA COORDINATE SYSTEM FOR ITS "BASIS OF BEARINGS" AND EXPRESS ALL MEASURED AND CALCULATED BEARING VALUES IN TERMS OF SAID SYSTEM. THE ANGLE OF GRID DIVERGENCE FROM A TRUE MERIDIAN (THETA OR MAPPING ANGLE) AND THE NORTH POINT OF SAID MAP SHALL APPEAR ON EACH SHEET THEREOF. ESTABLISHMENT OF SAID BASIS OF BEARINGS MAY BE BY USE OF EXISTING HORIZONTAL CONTROL STATIONS OR ASTRONOMIC OBSERVATIONS.

b. SHOW TWO MEASURED TIES FROM THE BOUNDARY OF THE MAP TO EXISTING HORIZONTAL CONTROL STATIONS HAVING CALIFORNIA COORDINATE VALUES OF FIRST ORDER ACCURACY. THESE TIE LINES TO THE EXISTING CONTROL SHALL BE SHOWN IN RELATION TO THE CALIFORNIA COORDINATE SYSTEM (I.E., GRID BEARINGS AND GRID DISTANCES). ALL OTHER DISTANCES SHOWN ON THE MAP ARE TO BE SHOWN AS GROUND DISTANCES. A COMBINED FACTOR FOR CONVERSION OF GRID-TO-GROUND SHALL BE SHOWN ON THE MAP.

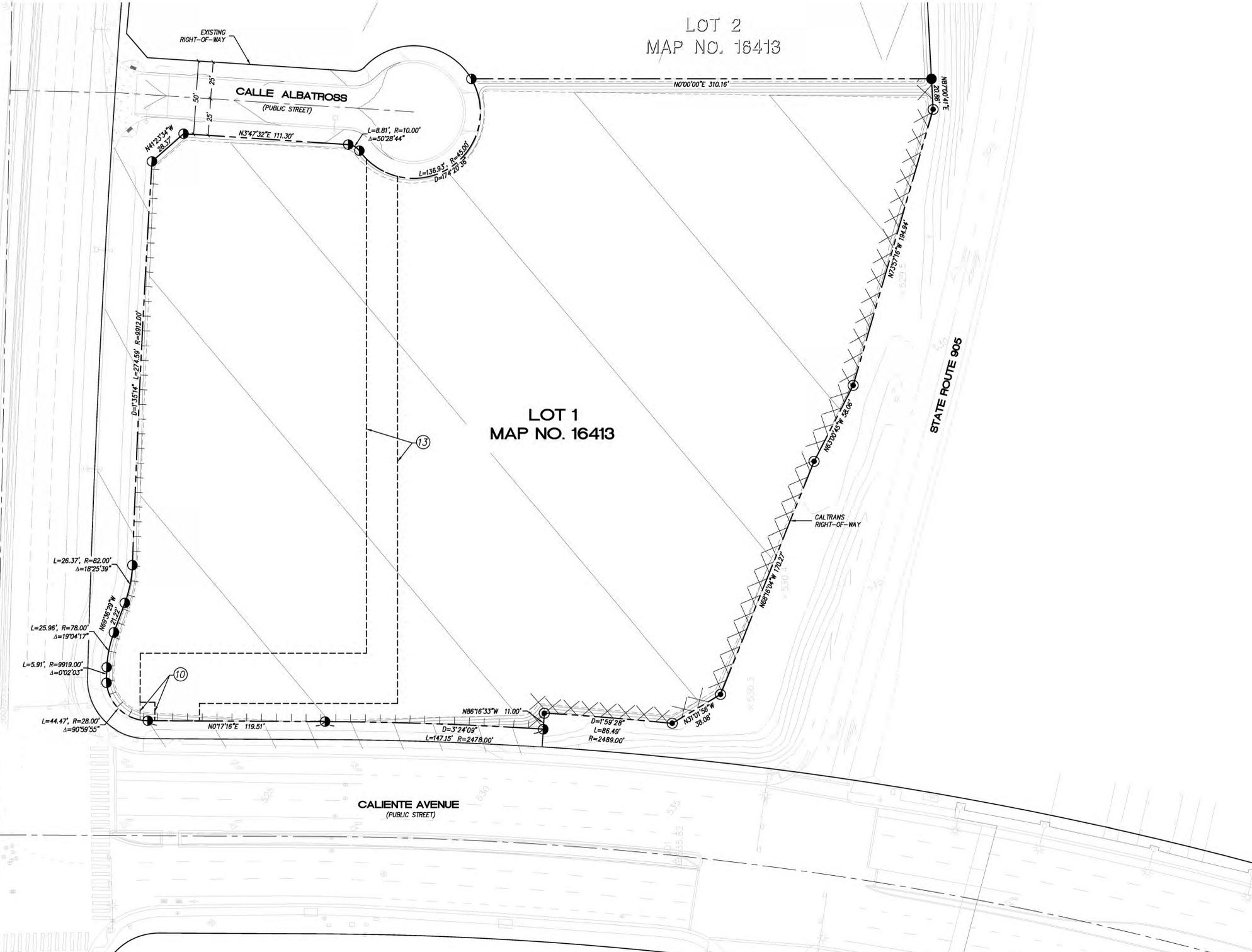
5. THE FINAL MAP SHALL BE BASED ON FIELD SURVEY AND ALL LOT CORNERS MUST BE MARKED WITH DURABLE SURVEY MONUMENTS PURSUANT TO SECTION 144.0311(D) OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES AND SUBDIVISION MAP ACT SECTION 66495.

ALL SURVEY MONUMENTS SHALL BE SET PRIOR TO THE RECORDATION OF THE FINAL MAP, UNLESS THE SETTING OF MONUMENTS IS DEEMED IMPRACTICAL DUE TO THE PROPOSED IMPROVEMENTS AND/OR GRADING ASSOCIATED WITH THE PROJECT, IN WHICH CASE, DELAYED MONUMENTATION MAY BE APPLIED ON THE FINAL MAP IN ACCORDANCE WITH SECTION 144.0130 OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES.

CALIFORNIA TERRACES 13 & 14  
LOT 3 MAP NO. 15496

OTAY MESA ROAD  
(PUBLIC STREET)

LOT 2  
MAP NO. 16413



**EASEMENT INFORMATION:**

TITLE REPORT BY: FIDELITY NATIONAL TITLE  
ORDER NO.: 00151013-996-501-RT4

⑩ EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON

MAP/PLAT: MAP NO. 16413  
PURPOSE: 10' WATER EASEMENT  
AFFECTS: LOT 1

⑫ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

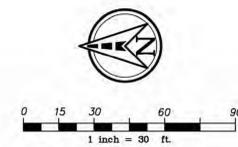
GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION  
PURPOSE: 1) UNDERGROUND FACILITIES AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, 2) PIPELINES AND APPURTENANCES FOR ANY AND ALL PURPOSES, 3) COMMUNICATION FACILITIES, OVERHEAD AND/OR UNDERGROUND AND APPURTENANCES, USED SOLELY AND EXCLUSIVELY FOR GRANTEE'S INTERNAL COMMUNICATIONS  
RECORDING DATE: APRIL 06, 2021  
RECORDING NO.: AS INSTRUMENT NO. 2021-0265415 OF OFFICIAL RECORDS  
AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND. (EASEMENT LOCATIONS ARE NON-PLOTTABLE)

⑬ MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: DECLARATION ESTABLISHING UTILITY EASEMENTS  
RECORDING DATE: MAY 04, 2021  
RECORDING NO.: INSTRUMENT NO. 2021-0343494 OF OFFICIAL RECORDS.

**LEGEND**

- VTM BOUNDARY
- - - EASEMENT LINE
- ② EASEMENT NOTE NUMBER
- ||||| INDICATES ABUTTER'S RIGHT OF ACCESS RELINQUISHED PER MAP NO. 16413
- XXXX INDICATES ABUTTER'S RIGHT OF ACCESS RELINQUISHED PER DOCUMENT RECORDED AUGUST 15, 2007 AS DOC. NO. 2007-0544805, O.R.
- INDICATES FOUND 2" X 24" IRON PIPE WITH BRASS DISC STAMPED "LS 7019" PER MAP NO. 16413
- INDICATES FOUND LEAD & BRASS DISC STAMPED "L.S. 7019" SET IN THE TOP OF CURB OR WALK AT AN OFFSET OF 9.75 FEET PER MAP NO. 16413
- INDICATES FOUND 1" X 18" IRON PIPE WITH BRASS DISC STAMPED "LS 7019" PER MAP NO. 16413



PREPARED BY:  
**CIVIL SENSE, INC.**  
19475 DANIELSON STREET, SUITE 150 POWAY, CA 92128  
Office: 858-842-4553

HENRY H. PENG  
R.C.E. 63686

DATE \_\_\_\_\_



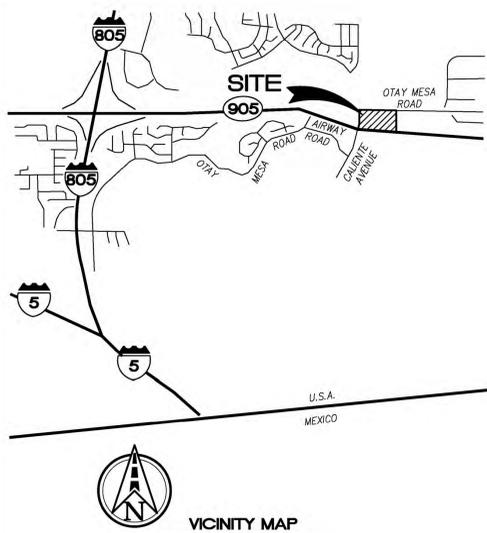
NAME: CIVIL SENSE, INC.  
ADDRESS: 13475 DANIELSON STREET, SUITE 150  
POWAY, CA 92128  
PHONE: 858-843-4253

PROJECT ADDRESS:  
SE CORNER OF OTAY MESA  
ROAD AND CALIENTE AVENUE

PROJECT NAME:  
CALIFORNIA TERRACES - PA81 LOT 1  
VTM, SDP, MFCP AND NDP AMENDMENT,  
CPA, AND REZONE

SHEET TITLE:  
EXISTING TOPOGRAPHY  
AND EASEMENTS

REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	3/8/2022
REVISION 3:	2/16/2022
REVISION 2:	12/10/2021
REVISION 1:	10/12/2021
ORIGINAL DATE:	05/21/2021
SHEET 2 OF 12	
DEP #	



VICINITY MAP  
NOT TO SCALE

**GRADING NOTES**

1. TOTAL AMOUNT OF SITE TO BE GRADED:	4.464 ACRES
2. PERCENTAGE OF TOTAL SITE GRADED:	100 %
3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER:	0.19 ACRES
4. PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED:	100 %
5. PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER:	4.3 %
6. AMOUNT OF CUT:	5,600 CUBIC YARDS
7. AMOUNT OF FILL:	5,600 CUBIC YARDS
8. MAXIMUM HEIGHT OF FILL SLOPE(S): MAX. 2:1 SLOPE RATIO	6 FEET
9. MAXIMUM HEIGHT OF CUT SLOPE(S): MAX. 2:1 SLOPE RATIO	4 FEET
10. AMOUNT OF IMPORT SOIL:	0 CUBIC YARDS
11. RETAINING WALLS	
QUANTITY:	0
MAX. LENGTH:	0 FEET
MAX. HEIGHT:	0 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.

**LEGEND**

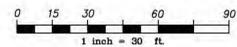
EXISTING SLOPES 0 % TO 25 %	
EXISTING SLOPES 25 % AND GREATER	

**AREA SUMMARY**

	ACREAGE	PERCENTAGE
0 % TO 25 % SLOPES	4.27 ACRES	95.7 %
25 % AND GREATER SLOPES	0.19 ACRES	4.3 %
TOTAL	4.46 ACRES	100 %

**SLOPE ANALYSIS**

25 % AND GREATER EXISTING SLOPES	0.19 ACRES	4.3 %
----------------------------------	------------	-------



PREPARED BY:



HENRY H. PENG  
R.C.E. 63686

DATE



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PHONE: 658-843-4253

PROJECT ADDRESS:  
SE CORNER OF OTAY MESA  
ROAD AND CALIENTE AVENUE

PROJECT NAME:  
CALIFORNIA TERRACES - P&I LOT 1  
VTM, SDP, MFPD AND NDP AMENDMENT,  
CPA, AND REZONE

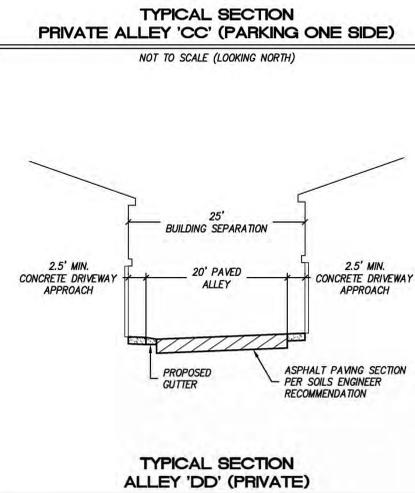
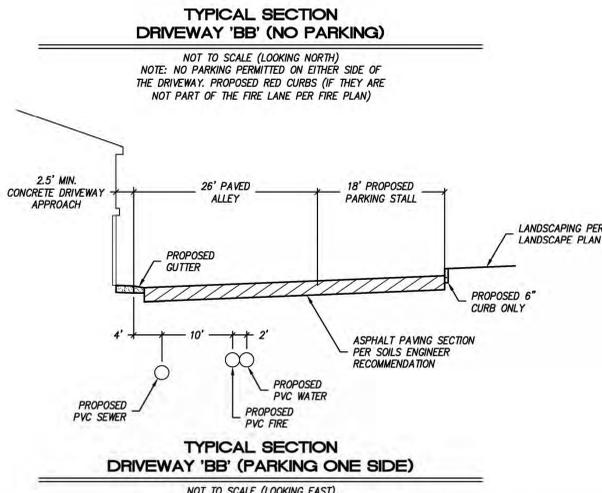
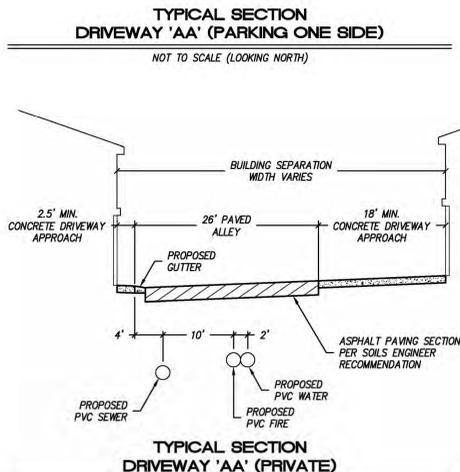
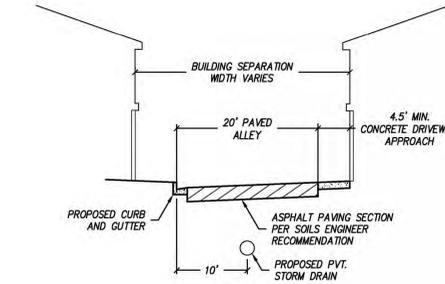
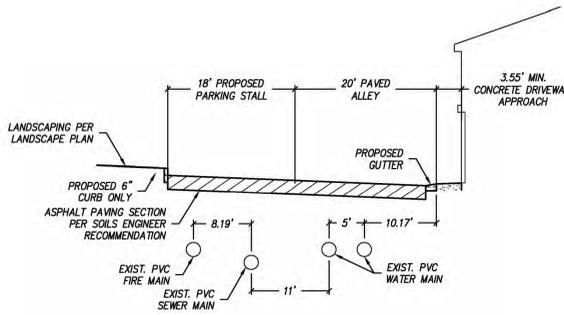
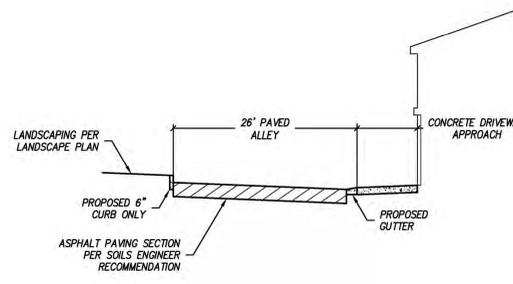
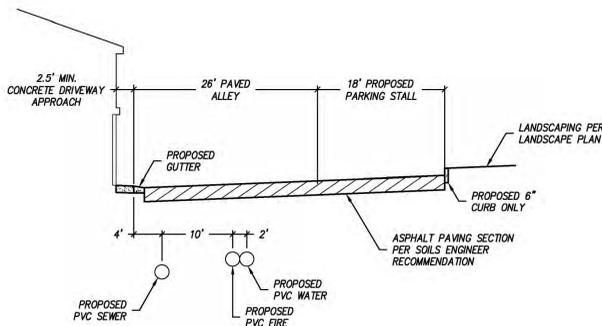
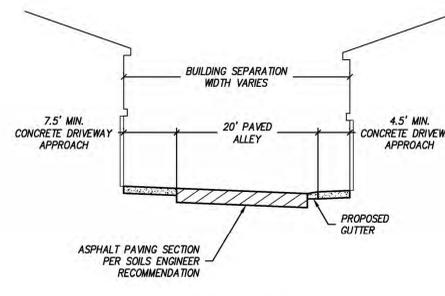
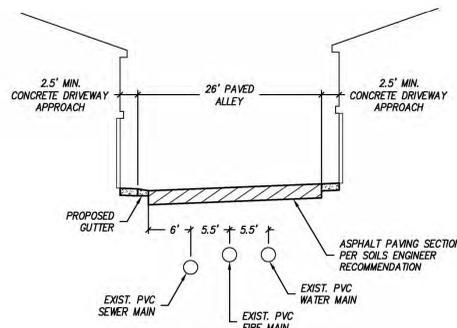
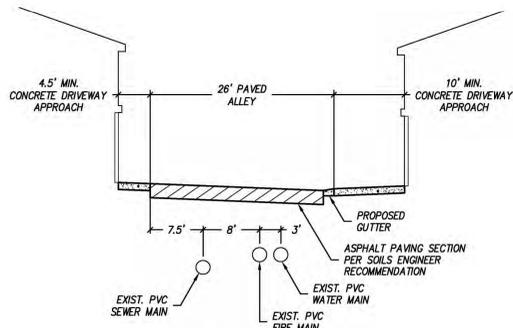
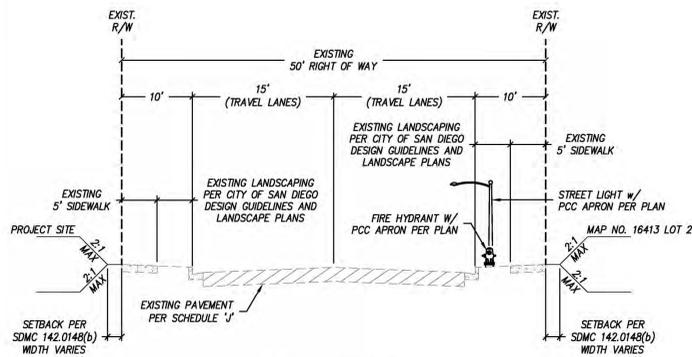
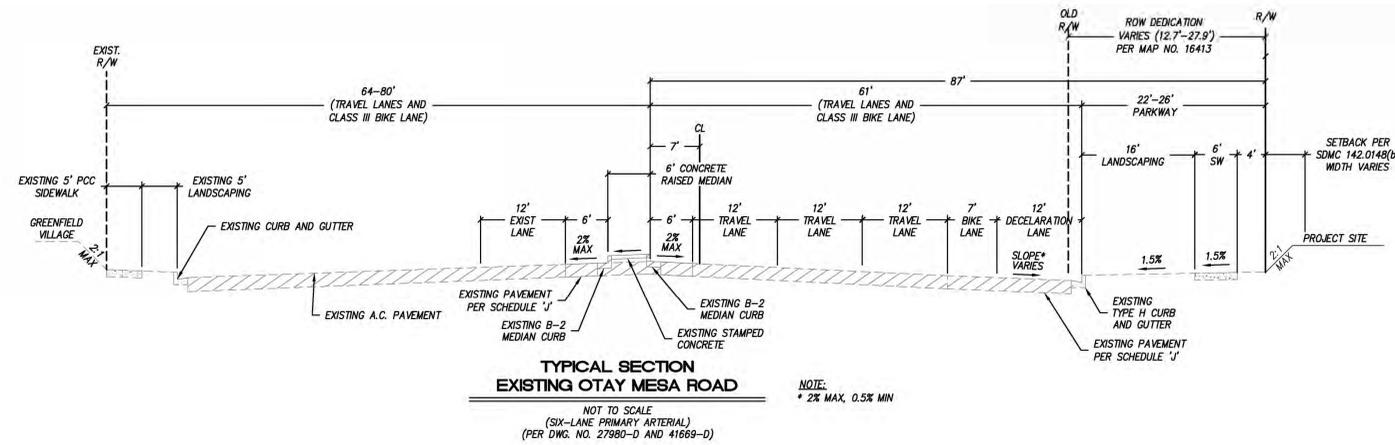
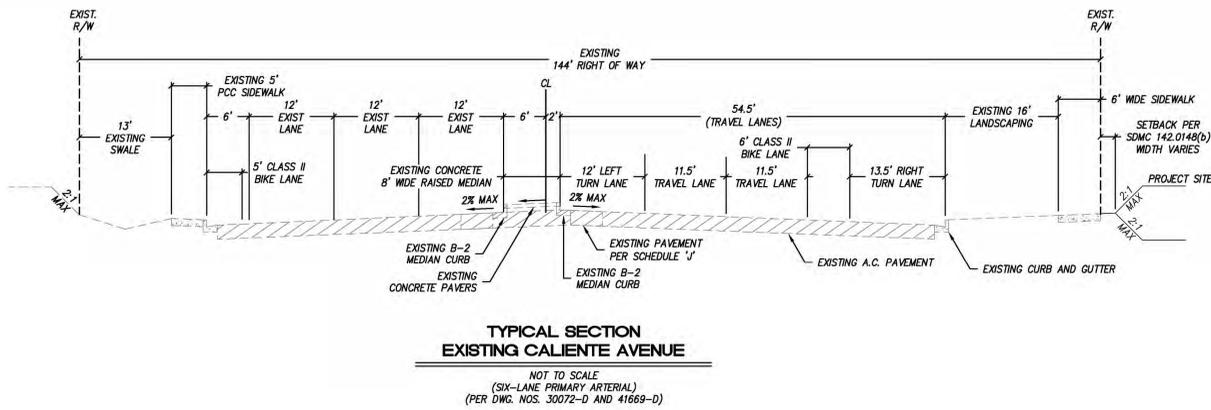
SHEET TITLE:  
SLOPE ANALYSIS

REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	3/8/2022
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REVISION 2:	12/10/2021
REVISION 1:	10/12/2021

ORIGINAL DATE: 05/21/2021

SHEET 3 OF 12

DEP #



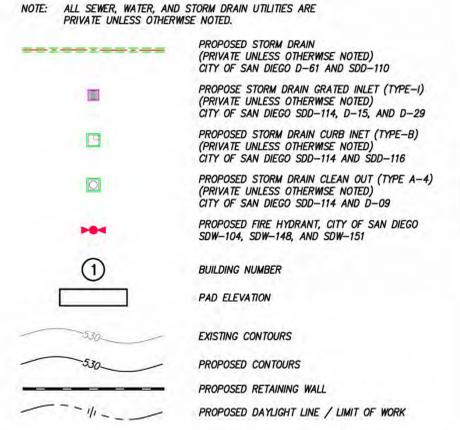
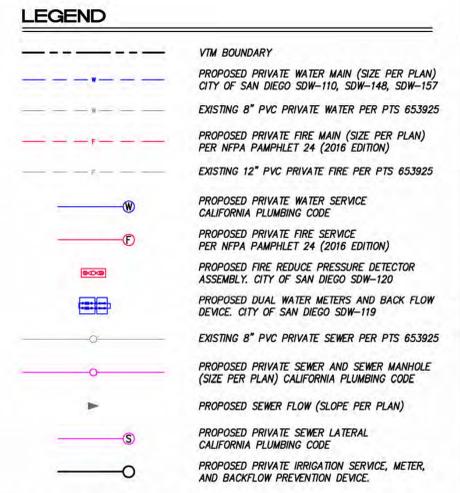
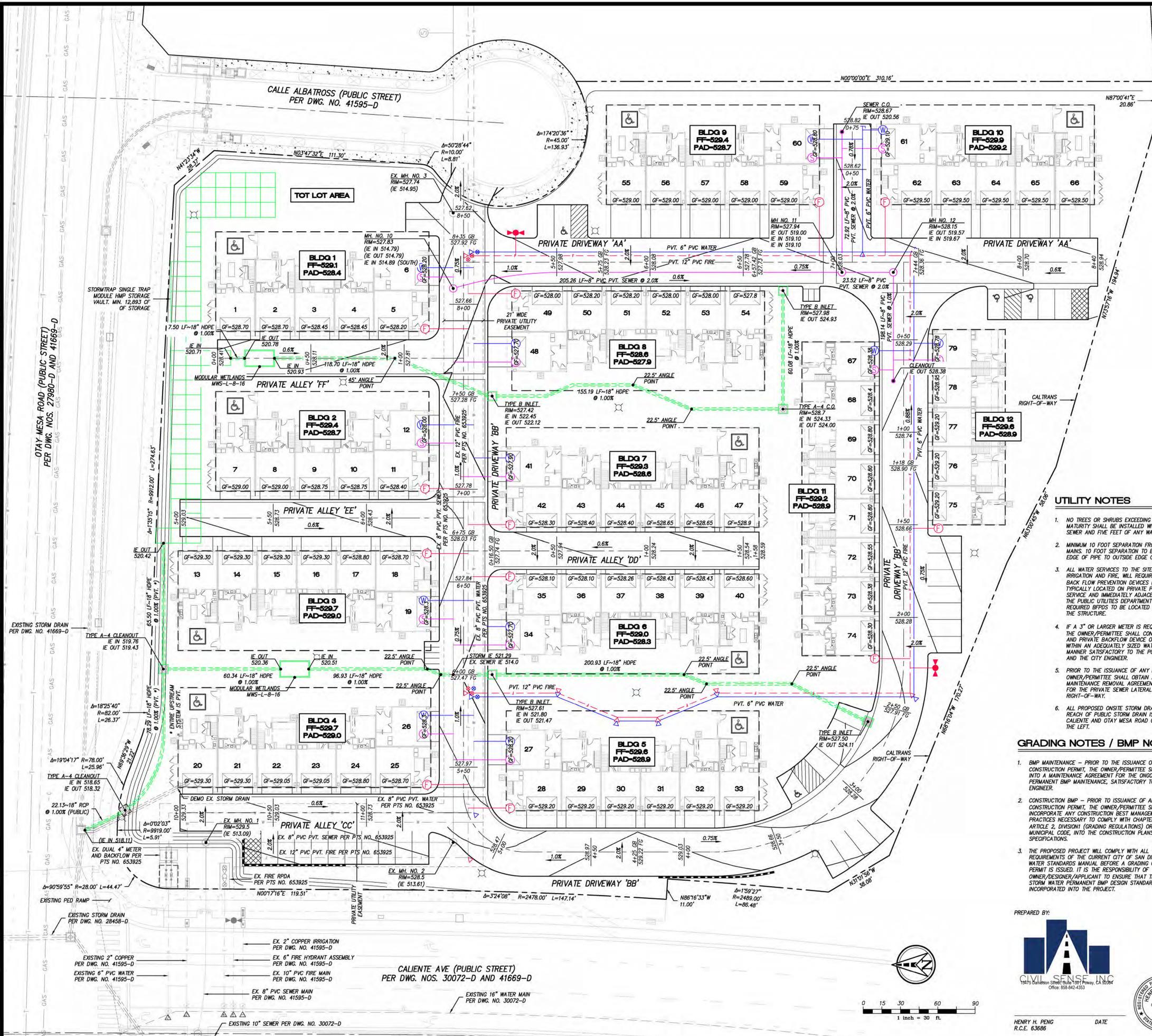
PREPARED BY:

CIVIL SENSE, INC.  
19475 California Street, Suite 189, Poway, CA 92064  
Office: 619-842-4353

HENRY H. PENG  
R.C.E. 63686

DATE \_\_\_\_\_

NAME:	CIVIL SENSE, INC.	REVISION 12:	_____
ADDRESS:	13475 DANIELSON STREET, SUITE 150 POWAY, CA 92128	REVISION 11:	_____
PHONE:	858-843-4253	REVISION 10:	_____
PROJECT ADDRESS:	SE CORNER OF OTAY MESA ROAD AND CALIENTE AVENUE	REVISION 9:	_____
PROJECT NAME:	CALIFORNIA TERRACES - P&I LOT 1 VTM, SDP, MFCP AND NDP AMENDMENT, CPA, AND REZONE	REVISION 8:	_____
SHEET TITLE:	NOTES, STREET SECTIONS AND DETAILS	REVISION 7:	_____
DEP #	_____	REVISION 6:	_____
		REVISION 5:	_____
		REVISION 4:	3/8/2022
		REVISION 3:	2/16/2022
		REVISION 2:	12/10/2021
		REVISION 1:	10/12/2021
ORIGINAL DATE:	05/21/2021		
SHEET	4	OF	12



- ### UTILITY NOTES
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
  - MINIMUM 10 FOOT SEPARATION FROM SEWER MAINS TO WATER MAINS. 10 FOOT SEPARATION TO BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
  - ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES (BFPDS). BFPDS ARE TYPICALLY LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
  - IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE, ON-SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
  - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PRIVATE SEWER LATERAL IN THE STREET A RIGHT-OF-WAY.
  - ALL PROPOSED ON-SITE STORM DRAIN TO BE PRIVATE. A SMALL REACH OF PUBLIC STORM DRAIN IS BEING PROPOSED AT THE CALIENTE AND OTAY MESA ROAD OUTFALL. SEE PLAN NOTE TO THE LEFT.

### MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET *
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

\* 5 FEET ON RESIDENTIAL LOCAL STREETS WITH A DESIGN SPEED OF 25MPH OR SLOWER

### UTILITY TABLE

UTILITY	OVERHEAD/UNDERGROUND
GAS	UNDERGROUND
ELECTRIC	UNDERGROUND
TELEPHONE (AT&T)	UNDERGROUND
CABLE TELEVISION (COX)	UNDERGROUND
SEWER	UNDERGROUND
STORM DRAIN	UNDERGROUND
FIRE	UNDERGROUND
WATER	UNDERGROUND

NOTE: THE SUBDIVIDER SHALL ENSURE THAT ALL ON-SITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUNDED WITH ALL OF THE APPROPRIATE PERMITS.

- ### GRADING NOTES / BMP NOTES
- BMP MAINTENANCE - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  - CONSTRUCTION BMP - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OR SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP STANDARDS ARE INCORPORATED INTO THE PROJECT.

NAME: CIVIL SENSE, INC. REVISION 12: \_\_\_\_\_

ADDRESS: 13475 DANIELSON STREET, SUITE 150 REVISION 11: \_\_\_\_\_

POWAY, CA 92128 REVISION 10: \_\_\_\_\_

PHONE: 858-843-4253 REVISION 9: \_\_\_\_\_

REVISION 8: \_\_\_\_\_

REVISION 7: \_\_\_\_\_

REVISION 6: \_\_\_\_\_

REVISION 5: \_\_\_\_\_

REVISION 4: 3/8/2022

REVISION 3: 2/16/2022

REVISION 2: 12/10/2021

REVISION 1: 10/12/2021

PROJECT ADDRESS: SE CORNER OF OTAY MESA ROAD AND CALIENTE AVENUE

PROJECT NAME: CALIFORNIA TERRACES - PAF6 LOT 1

CFA, AND REZONE

ORIGINAL DATE: 05/21/2021

SHEET TITLE: GRADING AND UTILITY PLAN

SHEET 5 OF 12

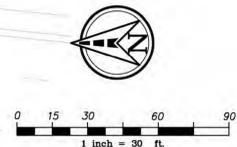
DEP # \_\_\_\_\_

PREPARED BY:

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POWAY, CA 92128  
OFFICE: 858-843-4253

HENRY H. PENG  
R.C.E. 63686

DATE: \_\_\_\_\_



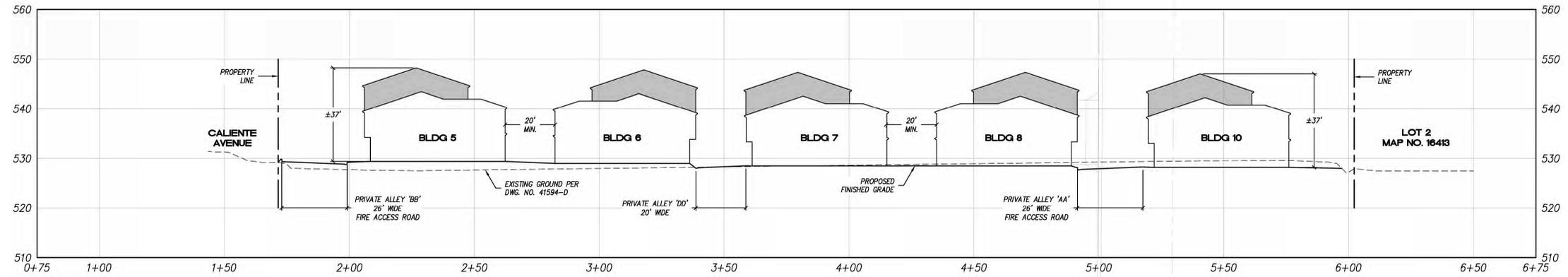
OTAY MESA ROAD (PUBLIC STREET)  
PER DWG. NOS. 27980-D AND 41669-D

CALLE ALBATROSS (PUBLIC STREET)  
PER DWG. NO. 41595-D

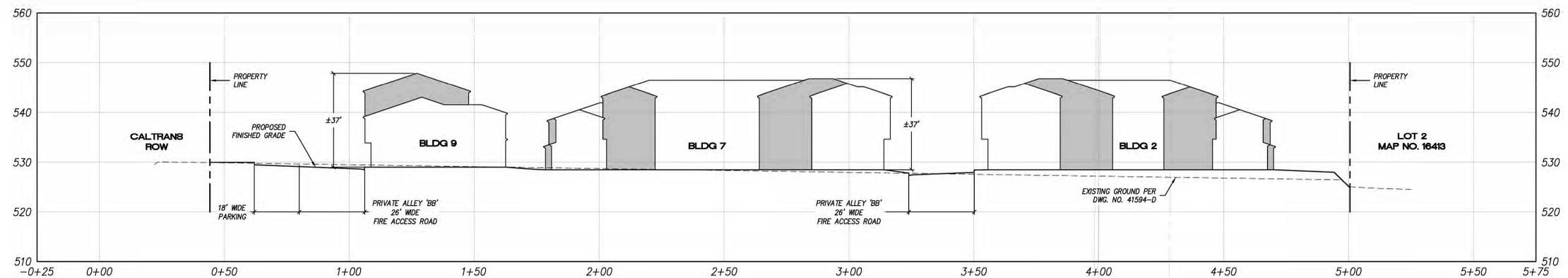
CALIENTE AVE (PUBLIC STREET)  
PER DWG. NOS. 30072-D AND 41669-D

- EX. 2" COPPER IRRIGATION PER DWG. NO. 41595-D
- EX. 6" FIRE HYDRANT ASSEMBLY PER DWG. NO. 41595-D
- EX. 10" PVC FIRE MAIN PER DWG. NO. 41595-D
- EX. 8" PVC SEWER MAIN PER DWG. NO. 41595-D
- EXISTING 10" SEWER PER DWG. NO. 30072-D
- EXISTING 16" WATER MAIN PER DWG. NO. 30072-D

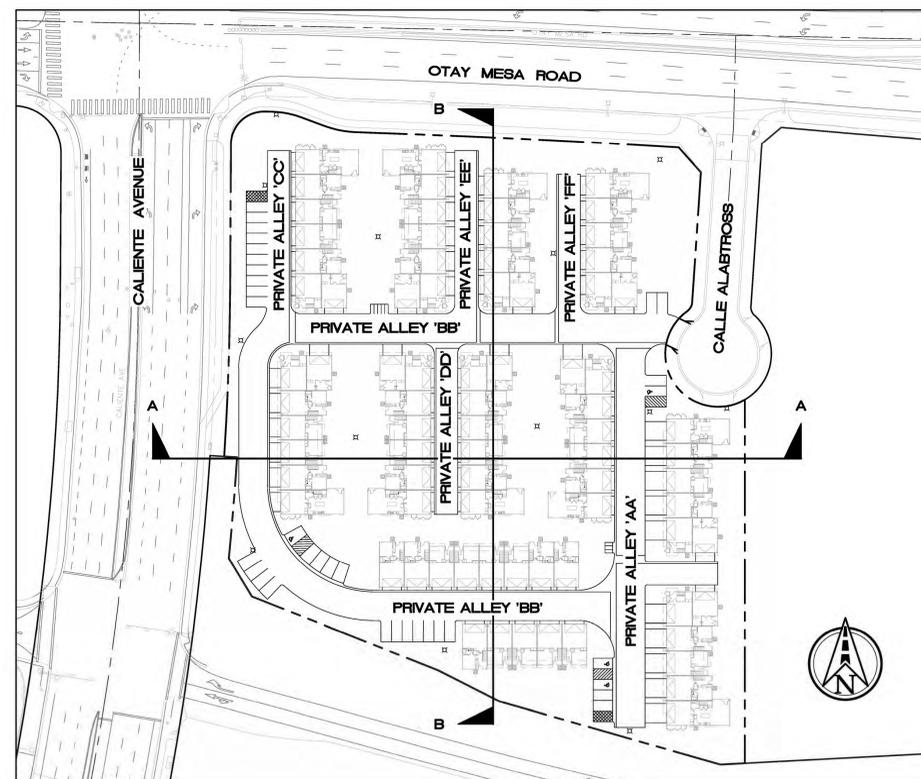




SECTION A-A  
SCALE HORIZ. 1"=20' VERT. 1"=2'



SECTION B-B  
SCALE HORIZ. 1"=20' VERT. 1"=2'



KEY MAP  
SCALE: 1" = 60'



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HENRY H. PENG  
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PHONE: 658-843-4253

PROJECT ADDRESS:  
SE CORNER OF OTAY MESA  
ROAD AND CALIENTE AVENUE

PROJECT NAME:  
CALIFORNIA TERRACES - PA61 LOT 1  
VTM, SDP, MPDP AND NDP AMENDMENT,  
CPA, AND REZONE

SHEET TITLE:  
SITE SECTIONS

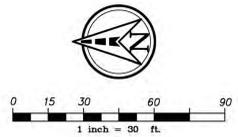
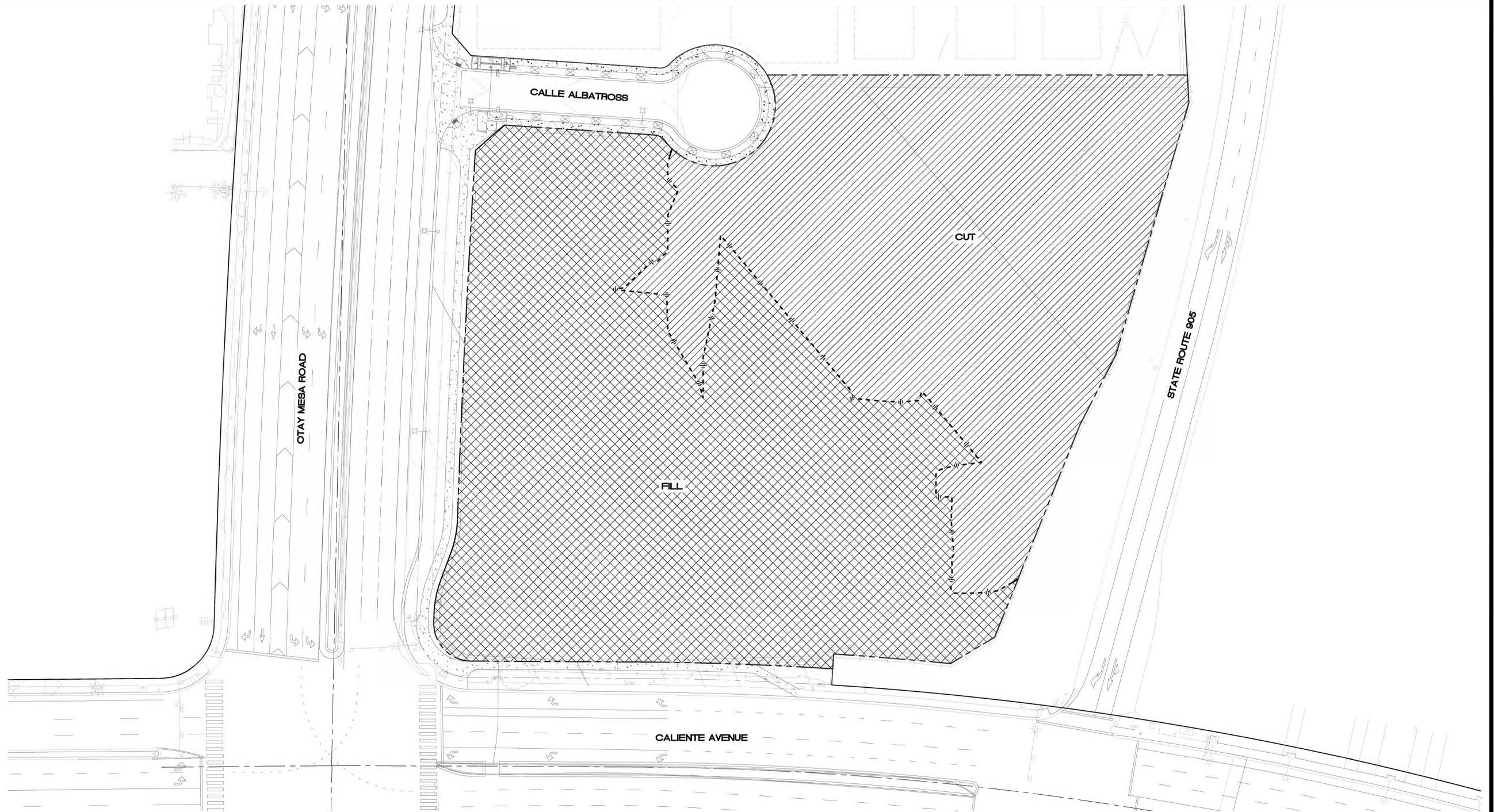
REVISION 12:	
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REVISION 4:	3/8/2022
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REVISION 2:	12/10/2021
REVISION 1:	10/12/2021

ORIGINAL DATE: 05/21/2021

SHEET 7 OF 12

DEP #





**LEGEND**

CUT AREA	
FILL AREA	

**EARTHWORK SUMMARY**

TOTAL DISTURBED AREA	= 194,400 SF - 4.46 AC.
RAW CUT	= 5,600 CY
RAW FILL	= 5,600
CY IMPORT	= 0 CY



HENRY H. PENG  
R.C.E. 63686



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POWAY, CA 92128  
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PROJECT ADDRESS:  
SE CORNER OF OTAY MESA  
ROAD AND CALIENTE AVENUE

PROJECT NAME:  
CALIFORNIA TERRACES - P&G LOT 1  
VTM, SDP, MFCP AND NDP AMENDMENT,  
CPA, AND REZONE

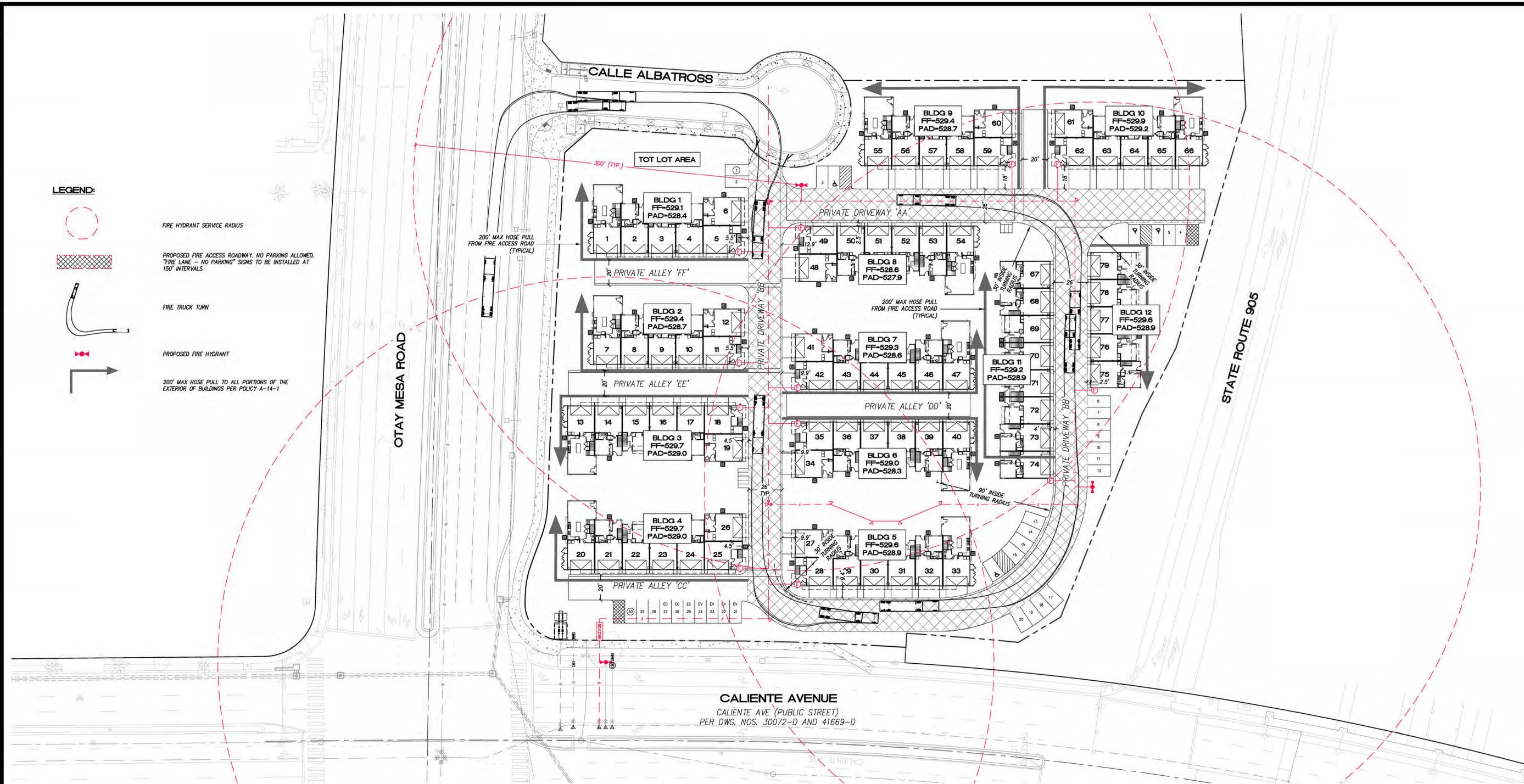
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EARTHWORK EXHIBIT

REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	3/8/2022
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REVISION 1:	10/12/2021

ORIGINAL DATE: 05/21/2021

SHEET 8 OF 12

DEP # \_\_\_\_\_

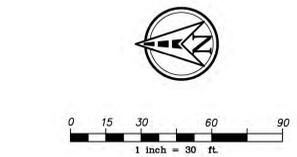


- LEGEND:**
- FIRE HYDRANT SERVICE RADIUS
  - PROPOSED FIRE ACCESS ROADWAY. NO PARKING ALLOWED. FIRE LANE - NO PARKING SIGNS TO BE INSTALLED AT 150' INTERVALS.
  - FIRE TRUCK TURN
  - PROPOSED FIRE HYDRANT
  - 200' MAX HOSE PULL TO ALL PORTIONS OF THE EXTERIOR OF BUILDINGS PER POLICY A-14-1

**FIRE NOTES:**

1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION CFC 501.4.
2. CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
3. SAN DIEGO MUNICIPAL CODE SECTION 55.0507 ITEM (C) HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT.
4. CFC 507.5.6 - PHYSICAL PROTECTION - IF ADDITIONAL HYDRANTS ARE REQUIRED AND WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CC 312.
5. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OR ALARM BELLS, HORNS OR STROBES.
6. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
7. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
8. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3.
9. NO ON STREET PARKING ALLOWED ON ALL PRIVATE DRIVEWAYS AND PRIVATE ALLEYS.
10. THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.
11. AN ILLUMINATED DIRECTORY, IN ACCORDANCE WITH FHPS POLICY I-00-6, SHALL BE PROVIDED.
12. SITE PLAN, AS SHOWN, MEETS FIRE ACCESS AND SETBACK REQUIREMENTS FOR BUILDINGS LESS THAN 30' IN HEIGHT. SETBACK AND ACCESS REQUIREMENTS TO BE REVIEWED AGAIN DURING BUILDING PERMIT PROCESS TO ENSURE THAT REQUIREMENTS CONTINUE TO BE MET FOR BOTH RESIDENTIAL AND COMMERCIAL SITES.
13. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. CFC 503.2.5. SEE APPENDIX D CFC FIGURE D103.1 RADIUS 30' INSIDE 50' OUTSIDE.
14. AERIAL FIRE ACCESS ROAD(S) ADJACENT TO BUILDINGS THAT ARE GREATER THAN 30 FEET IN HEIGHT FROM GRADE PLANE, SHALL HAVE A MINIMUM WIDTH OF 26 FEET. THE PROXIMAL EDGE OF AERIAL FIRE ACCESS SHALL BE A MINIMUM OF 15-30 FEET FROM THE BUILDING FACADE(S) AND/OR PLUMB LINE OF EAVE(S). AERIAL ACCESS SHALL BE PROVIDED ALONG ONE ENTIRE LONG SIDE(S) OF THE BUILDING(S). SHOW ALL PROPOSED LOCATIONS WHERE AERIAL ACCESS IS BEING PROVIDED. (SEE CFC APPENDIX D/FPB POLICY A-14-1)
15. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
16. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
17. CFC 507.5.5 - CLEAR SPACE AROUND HYDRANTS; A 3 FOOT RADIUS CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
18. SAN DIEGO MUNICIPAL CODE SECTION 55.0507 ITEM (C) HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED IN ROAD/LANE AND/OR BETWEEN CURBS. THE MARKER(S) SHALL BE AT A RIGHT ANGLE TO THE HYDRANT.

**BUILDING HEIGHT NOTE:**  
 DIMENSION FROM FINISHED FLOOR TO TOP OF EAVE SHALL BE LESS THAN 30' THEREFORE AERIAL ACCESS NOT REQUIRED.



PREPARED BY:  
 HENRY H. PENG  
 R.C.E. 63686



NAME: CIVIL SENSE, INC.  
 ADDRESS: 13475 DANIELSON STREET, SUITE 120  
 POWAY, CA 92128  
 PHONE: 858-843-4253

PROJECT ADDRESS:  
 SE CORNER OTAY MESA  
 ROAD AND CALIENTE AVENUE

PROJECT NAME:  
 CALIFORNIA TERRACES - PA61 LOT 1  
 VTM, SDP, MFCP AND NDP AMENDMENT,  
 CPA, AND REZONE

SHEET TITLE:  
 FIRE PLAN

REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	3/8/2022
REVISION 3:	2/16/2022
REVISION 2:	12/10/2021
REVISION 1:	10/12/2021
ORIGINAL DATE:	05/21/2021
SHEET 9 OF 12	
DEP #	



**City of San Diego Development Services**  
 1222 First Ave., MS-501  
 San Diego, CA 92101

**Landscape Calculations Worksheet**  
 Vehicular Use Area (VUA)

**FORM DS-5**  
 August 2020

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

**VEHICULAR USE AREA (<6,000 sf) [§142.0406 - §142.0407]**

Planting Area Required		
40 sq. ft. per tree		
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area _____ sq. ft. x 0.05 = _____ points	_____ points	_____ points
Plant Points Achieved with Trees (50%)		
_____ points		

**VEHICULAR USE AREA (>6,000 sf) [§142.0406 - §142.0407]**

Planting Area Required	Planting Area Provided	Excess Area Provided
VUA Inside Street Yard 4,840 sq. ft. x 0.05 = 242 sq. ft.	3,337 sq. ft.	2,671 sq. ft.
VUA outside Street Yard 13,445 sq. ft. x 0.03 = 403 sq. ft.	4,039 sq. ft.	3,636 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
VUA Inside Street Yard 4,840 sq. ft. x 0.05 = 242 points	808 points	566 points
Plant Points Achieved with Trees (50%)		
380 points		
VUA outside Street Yard 13,445 sq. ft. x 0.03 = 403 points	998 points	595 points
Plant Points Achieved with Trees (50%)		
480 points		

**TEMPORARY VEHICULAR USE AREA [§142.0408]**  
 (a specified time limit of less than 5 years from the date of construction permit issuance.)

Planting Area Required	Planting Area Provided	Excess Area Provided
Length of Public ROW adjacent to VUA _____ ft. x 3 ft. = _____ sq. ft.	_____ sq. ft.	_____ sq. ft.

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 DS-5 (08-20)

**City of San Diego Development Services**  
 1222 First Ave., MS-501  
 San Diego, CA 92101

**Landscape Calculations Worksheet**  
 Multiple Dwelling Unit Residential & Residential Components of Mixed Use Development

**FORM DS-6**  
 August 2020

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

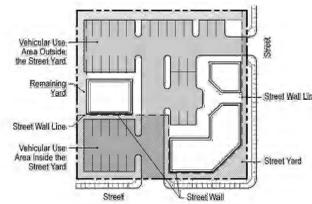
**STREET YARD [§142.0404 - §142.0405] - All Multiple Dwelling Unit Residential Development**

Planting area in the public right-of-way is not counted towards fulfillment of the required street yard planting area.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area _____ sq. ft. x 50% = _____ sq. ft.	21,925 sq. ft.	3,670 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area _____ sq. ft. x 0.05 = _____ points	3,845 points	2,019 points
Plant Points Achieved with Trees (50%)		
1,032 points		

**ADDITIONAL YARD PLANTING AND PLANT POINT REQUIREMENTS - IF APPLICABLE**

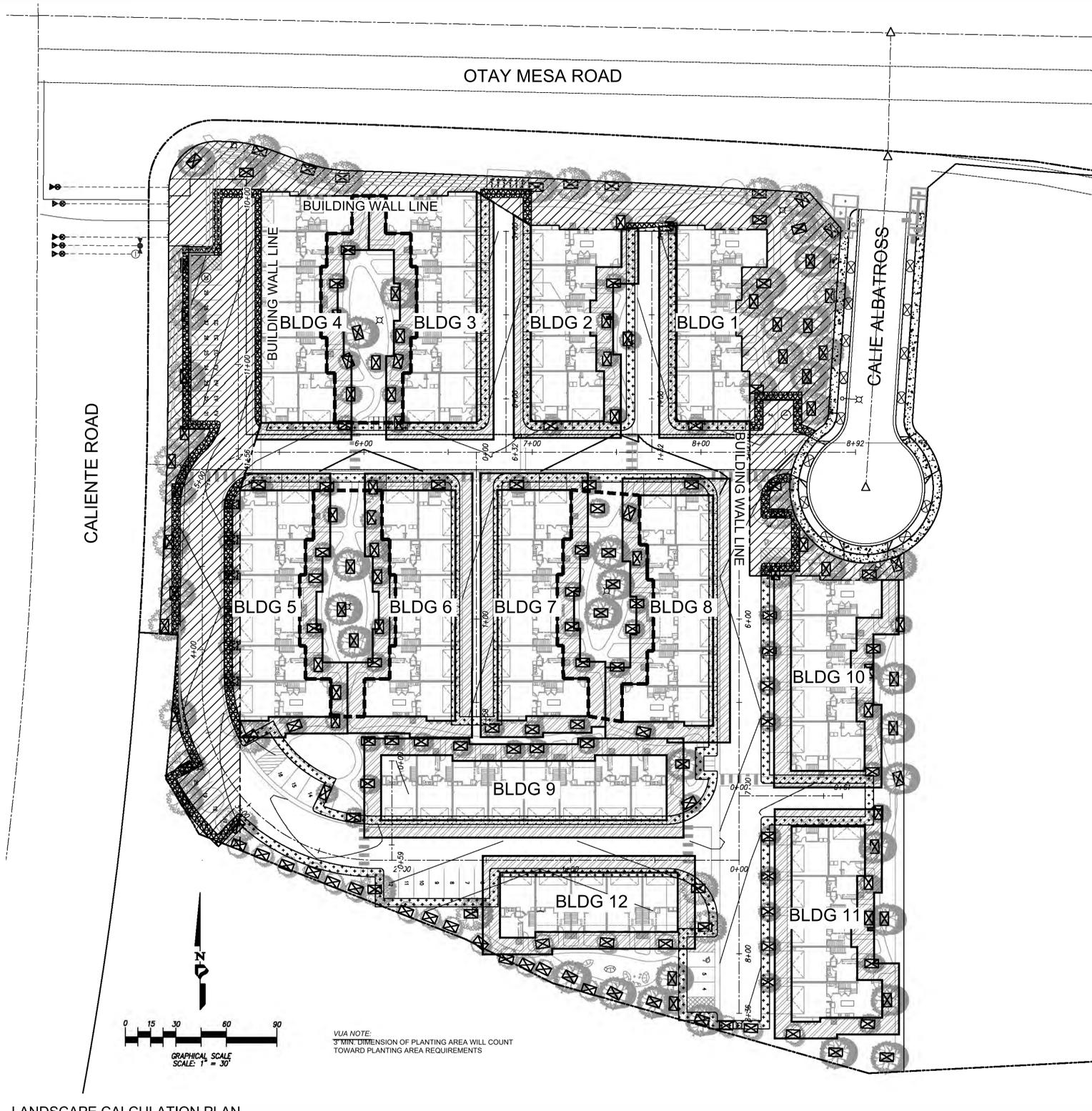
Planting Area Reduction [§142.0405(a)(3)]	Minimum Planting Area with Allowed Reduction	Excess Points Required
Planting Area Required _____ sq. ft. x 25% = _____ sq. ft.	_____ sq. ft.	_____ points
Planting Area allowable as Hardscape [§142.0405(b)(1)(A)]	Hardscape Provided	
Planting Area Required _____ sq. ft. x 10% = _____ sq. ft.	_____ sq. ft.	



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 DS-6 (08-20)

**LANDSCAPE CALCULATIONS**

- STREET YARD PLT AREA
- VUA INSIDE STREET YARD PLANTING
- VUA OUTSIDE STREET YARD PLANTING
- REMAINING YARD (10' OFFSET)
- COMMON SPACE BETWEEN BUILDINGS



LANDSCAPE CALCULATION PLAN

VUA NOTE:  
 3" MIN. DIMENSION OF PLANTING AREA WILL COUNT TOWARD PLANTING AREA REQUIREMENTS

- REVISION 12: \_\_\_\_\_
- REVISION 11: \_\_\_\_\_
- REVISION 10: \_\_\_\_\_
- REVISION 9: \_\_\_\_\_
- REVISION 8: \_\_\_\_\_
- REVISION 7: \_\_\_\_\_
- REVISION 6: \_\_\_\_\_
- REVISION 5: \_\_\_\_\_
- REVISION 4: \_\_\_\_\_
- REVISION 3: 03/08/2022
- REVISION 2: 12/10/2021
- REVISION 1: 09/20/2021

PROJECT ADDRESS:  
 SE CORNER OF OTAY MESA ROAD AND CALIENTE AVENUE

PROJECT NAME:  
 CALIFORNIA TERRACES - PA61 LOT 1  
 VTM, SDP, MPDP AND NDP AMENDMENT, CPA, AND REZONE

SHEET TITLE:  
 LANDSCAPE CALCULATIONS

ORIGINAL DATE: 05/21/2021  
 SHEET 11 OF 12  
 DEP # \_\_\_\_\_



**PROJECT DESIGN CONSULTANTS**  
 Planning | Landscape Architecture | Engineering | Survey

701 B Street, Suite 800  
 San Diego, CA 92101  
 619.234.8171 Fax  
 619.234.0249 Fax

DATE REGISTERED: 07-31-21	DESIGNED BY: _____	DATE: _____	REVISED BY: _____
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<p><b>BLDG 1</b> REMAINING YARD [§142.0404 - §142.0405] – 5 Dwelling Units or More</p> <p>Option 1: A minimum of 30 percent of the total area within a 10-foot offset from the structural envelope of each residential structure shall be planting area and shall be planted at a rate of 0.05 points per square foot of total area within the offset.</p> <table border="1"> <thead> <tr> <th>Planting Area Required</th> <th>Planting Area Provided</th> <th>Excess Area Provided</th> </tr> </thead> <tbody> <tr> <td>Total Area 1,701 sq. ft. x 30% = 510 sq. ft.</td> <td>315 sq. ft.</td> <td>-195 sq. ft.</td> </tr> <tr> <th>Plant Points Required</th> <th>Plant Points Provided</th> <th>Excess Points Provided</th> </tr> <tr> <td>Total Area 1,701 sq. ft. x 0.05 = 85 sq. ft.</td> <td>322 points</td> <td>237 points</td> </tr> <tr> <td colspan="2">Plant Points Achieved with Trees (50%)</td> <td>3 - 48" box 300 points</td> </tr> </tbody> </table>	Planting Area Required	Planting Area Provided	Excess Area Provided	Total Area 1,701 sq. ft. x 30% = 510 sq. ft.	315 sq. ft.	-195 sq. ft.	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Plant Points Required	Plant Points Provided	Excess Points Provided	Total Area 3,249 sq. ft. x 0.05 = 162 sq. ft.	225 points	63 points	Plant Points Achieved with Trees (50%)		100 points	<p><b>BLDG 5</b> REMAINING YARD [§142.0404 - §142.0405] – 5 Dwelling Units or More</p> <p>Option 1: A minimum of 30 percent of the total area within a 10-foot offset from the structural envelope of each residential structure shall be planting area and shall be planted at a rate of 0.05 points per square foot of total area within the offset.</p> <table border="1"> <thead> <tr> <th>Planting Area Required</th> <th>Planting Area Provided</th> <th>Excess Area Provided</th> </tr> </thead> <tbody> <tr> <td>Total Area 2,802 sq. ft. x 30% = 841 sq. ft.</td> <td>1,981 sq. ft.</td> <td>1,140 sq. ft.</td> </tr> <tr> <th>Plant Points Required</th> <th>Plant Points Provided</th> <th>Excess Points Provided</th> </tr> <tr> <td>Total Area 2,803 sq. ft. x 0.05 = 140 sq. ft.</td> <td>291 points</td> <td>151 points</td> </tr> <tr> <td colspan="2">Plant Points Achieved with Trees (50%)</td> <td>200 points</td> </tr> </tbody> </table>	Planting Area Required	Planting Area Provided	Excess Area Provided	Total Area 2,802 sq. ft. x 30% = 841 sq. ft.	1,981 sq. ft.	1,140 sq. ft.	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**COMMON SPACE BETWEEN BUILDINGS 3+4**

**COMMON SPACE BETWEEN BUILDINGS 5+6**

**COMMON SPACE BETWEEN BUILDINGS 7+8**

Option 2:  
Where common open space areas are provided in the form of plazas, paseos, or courtyard (including decks), 20 percent of the total common open space area shall be planting area and shall be planted at a rate of 0.05 points per square foot of the total area. The required 20 percent of each open space area is to be calculated individually.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 6,108 sq. ft. x 20% = 1,222 sq. ft.	4,539 sq. ft.	3,317 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 6,108 sq. ft. x 0.05 = 305 sq. ft.	688 points	383 points
Plant Points Achieved with Trees (50%)		220 points

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DS-6 (08-20)

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Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 6,101 sq. ft. x 20% = 1,220 sq. ft.	4,580 sq. ft.	3,360 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 6,101 sq. ft. x 0.05 = 305 sq. ft.	752 points	447 points
Plant Points Achieved with Trees (50%)		280 points

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DS-6 (08-20)

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Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 6,108 sq. ft. x 20% = 1,222 sq. ft.	4,544 sq. ft.	3,322 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 6,108 sq. ft. x 0.05 = 305 sq. ft.	728 points	423 points
Plant Points Achieved with Trees (50%)		260 points

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DS-6 (08-20)

- REVISION 12: \_\_\_\_\_
- REVISION 11: \_\_\_\_\_
- REVISION 10: \_\_\_\_\_
- REVISION 9: \_\_\_\_\_
- REVISION 8: \_\_\_\_\_
- REVISION 7: \_\_\_\_\_
- REVISION 6: \_\_\_\_\_
- REVISION 5: \_\_\_\_\_
- REVISION 4: \_\_\_\_\_
- REVISION 3: 03/08/2022
- REVISION 2: 12/10/2021
- REVISION 1: 09/20/2021

PROJECT ADDRESS:  
SE CORNER OF OTAY MESA  
ROAD AND CALIENTE AVENUE

PROJECT NAME:  
CALIFORNIA TERRACES – PA61 LOT 1  
VTM, SDP, MFPD AND NDP AMENDMENT,  
CPA, AND REZONE

SHEET TITLE:  
LANDSCAPE  
CALCULATIONS

ORIGINAL DATE: 05/21/2021

SHEET 12 OF 12

DEP # \_\_\_\_\_



**PROJECT DESIGN CONSULTANTS**  
Planning | Landscape Architecture | Engineering | Survey

701 B Street, Suite 800  
San Diego, CA 92101  
619.234.6171  
619.234.0249 Fax

JON J. BECKER - # 2542	DATE REGISTERED EXPIRES 07-31-21	DESIGNED BY:	PM REVIEW:	REVIEW:
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9909 Mira Mesa Boulevard, Suite 310 | San Diego, CA 92131 | Tel: (858) 281-7200

July 20, 2022

**Subject: Retail Analysis for “PA61”, City of San Diego, San Diego County, California**

John Burns Real Estate Consulting, LLC (“JBREC”) completed an analysis of retail market conditions in the competitive market area (“CMA”) for Planning Area 61 (“PA61”) in the city of San Diego in October 2018. This letter serves as commentary on current market conditions that impact the conclusions of our 2018 analysis.

At the time of our 2018 analysis, we concluded that a reduction in the amount of retail space planned at PA61 from roughly 118K square feet to about 45K square feet would have no adverse impact on the local retail environment. The CMA was adequately supplied with retail space and future planned retail (including 45K at PA61) would provide for future population growth in the area.

The retail market trends we based our 2018 conclusions on have generally continued on the trajectories we identified at the time:

- a steady shift to more online retail and less in-person shopping, which accelerated during the COVID-19 pandemic
- the South County retail sector is still underperforming in comparison to retail trends in San Diego County overall
- tenant out-migration continues
- there are currently higher than average vacancy rates for retail space compared to this market’s typical/historical rates

As such, **our previous conclusions appear to remain valid at this time.** Having less retail space (or no retail space) in PA61 would not adversely impact the local retail environment, which appears to be more than adequately supplied with existing retail space and other planned retail developments.

Scott Wild  
Senior Vice President  
John Burns Real Estate Consulting LLC  
swild@realestateconsulting.com

4250 Executive Square, Suite 540 • San Diego, CA 92037 • Tel: (858) 281-7200 • Fax: (858) 558-8744

October 12, 2018

Subject: Retail Analysis for "PA61", City of San Diego, San Diego County, California

The objective of this study was to assess what impact, if any, reducing the amount of retail space planned at PA61 in the City of San Diego would have on the retail environment in the PA61 Competitive Market Area (CMA) and to what extent there is demand for a community shopping center with the potential for a major supermarket, drugstore or hardware store. For the purpose of this analysis, the CMA analyzed was the "Imperial Beach/South San Diego Submarket" (Area 14) as defined by CoStar (a commercial real estate data provider). Information in the CMA was compared to data in San Diego County as a whole to understand the relative performance of the CMA. PA61 is currently proposed for approximately 45K square feet of retail space on +/-4.5 acres, compared to an estimated +/-118K square feet in the original plan (JBREC estimate based on current coverage ratio).



The CMA currently has about 4.259M total square feet of retail space (all retail types) of which 280K is vacant, for a vacancy rate of 6.6%. In comparison, there is 140.3M square feet of retail space in San Diego County as a whole, of which 5.15M is vacant, for a vacancy rate of 3.7%. The CMA represents 3.0% of the total retail space in the county but 5.4% of the vacant space, indicating that the CMA is under-performing compared to the county as whole. The average retail rent in the CMA is currently \$25.23 per square foot, 15% lower than the average in the county as whole (\$29.60).

Since 2006, the CMA has added a total of 322K square feet of new retail space, or an average of about 24.7K square feet per year. Over the same time period the amount of occupied space has increased by only 161K square feet (12.4K square feet per year) and the vacancy rate has more than doubled from just 3.0% in 2006 to 6.6% today. In comparison, the vacancy rate in the county as a whole has actually decreased from 4.1% in 2006 to just 3.7% today, indicating that the county-wide retail market is performing better than the CMA.

PA61 Retail Analysis

The rise of e-commerce is disrupting the demand for “brick and mortar” retail space. The amount of occupied retail space per person has declined in both the CMA and San Diego County as a whole since 2010. The amount of occupied retail space per person in the CMA has dropped from 28 square feet in 2010 to 27 square feet in 2018, while in the county as a whole it has dropped from 42 to 40 square feet over the same time period (based on CoStar data on occupied square feet, and ESRI population estimates). The average household income in the CMA (\$69,648) is only 69% of the average for the county as a whole (\$101,373) translating into less spending power in the CMA, and lower retail demand.

Area	2010			2018			2018 Average HH Income
	Occupied Retail (sq.ft.)	Total Population	Retail Sq.Ft./ Person	Occupied Retail (sq.ft.)	Total Population	Retail Sq.Ft./ Person	
Imperial/So. SD Sub-Market	3,781,221	134,914	28	3,978,867	144,849	27	\$69,648
San Diego County	129,441,297	3,095,313	42	135,195,222	3,344,185	40	\$101,373
Sub-Market % of County	2.9%	4.4%	67%	2.9%	4.3%	68%	69%

Source: ESRI "Market Profile" reports

From 2010 through 2018, the amount of occupied retail space in the county as a whole increased by about 5.75M square feet compared to population growth of just under 249K people, or about 23 square feet of retail absorbed per person. Although the dynamics of the retail market are changing, it appears that population growth still fuels demand for new retail space; just not at the higher ratios seen in the past. Future residential growth in the CMA likely will translate into demand for more retail space.

Future developments in the CMA in the South Otay Mesa Specific Plan Area such as the Southwest Village and the Central Village are anticipated to include new on-site retail space. Current plans for the Central Village SPA indicate up to 139.7K square feet of retail. While specific plans for the Southwest Village have not been finalized, the community likely will include a mixed-use village core, which based on estimated acreage allocations, could accommodate upwards of 100K square feet of retail, if not more. According to CoStar there is another +/-80K square feet of planned retail space in three other proposed retail centers in other CMA locations. Combined with approximately 45K square feet of retail at PA61 there could be +/-365K square feet of new retail space constructed in the CMA.

According to ESRI the population of the CMA is projected to grow by about 6.3K people over the next five years. At the county-wide ratio of 23 square feet of retail per person (based on retail absorption vs. population growth from 2010 through 2018), that would imply demand for about 145K square feet of new retail space in the CMA over the next five years. Some of the demand for new space can be met by vacant space in existing centers.

PA61 has an advantageous location on Ocean View Hills Parkway at the I-905 freeway on/off-ramp to capture demand for retail space from existing households and household growth in the southeastern portions of the California Terraces Precise Plan, in addition to future residential development in the Southwest Village (south of I-905). According to CoStar the highest vacancy rate in the CMA at 12.4% is in “neighborhood centers”; while “strip centers” have a vacancy rate of just 5.0%. At 45K square feet, the size of the proposed retail center at PA61 falls in-between the typically smaller size of strip centers (5K to 25K square feet) and larger size of neighborhood centers (50K to 125K square feet). As such, it will be important to maintain some flexibility at PA61 to potentially accommodate an array of tenant types (for instance, typical neighborhood retail tenants such as a grocery store or drugstore might be interested in the location due to strong freeway exposure, while smaller tenants such as restaurants, beauty shops, and dry cleaners would also be strong prospects).



PA61 Retail Analysis

**Our conclusion is that a reduction in the amount of retail space planned at PA61 from roughly 118K square feet of space to about 45K will have no adverse impact on the local retail environment. The CMA is currently adequately supplied with retail space and future planned retail (including 45K at PA61) will provide for future population growth in the area.**

Pete Reeb  
Principal  
John Burns Real Estate Consulting  
preeb@realestateconsulting.com

Otay Mesa Planning Group member, Mr. Jimmy Ayala called the meeting to order at 3:04 p.m.

Introductions are made via the zoom meeting screen.

Members present:	Members absent:
Jimmy Ayala	Tony Blas
Jayson Christopher	Tom Simmons
Chris Holder	James Street
Diane Kirma	Mark Freed
Rodolfo Jr. Lopez	Clarissa Falcon
Alejandra Mier y Teran	Rob Hixson
Rita Mahoney	Ted Shaw
Scott Merry	
Felipe Nuno	
Tom Ricotta	
Ronnie Taylor	

**Approval of minutes:**

October 2021

- **Vote:** A motion was made by F. Nuno & seconded by S. Merry. Motion passed (9-0-2)
- **Yes:** C. Holder, D. Kirma, R. Taylor, R. Lopez, J. Ayala, T. Ricotta & A. Mier y Teran.
- **Abstained:** R. Mahoney & J. Christopher.
- **Vote No:** None.

**Public Input/Comments on Matters Not on the Agenda:**

Please welcome Nancy Graham as our new Otay Mesa community planner.

**Chairman's Report:**

Items received:

1. Discretionary Offline Reviewer Form - 690358
2. Viva Logistics Sign Plan NUP Assessment Letter Project No. 683463
3. CPC upcoming meetings -- November meeting rescheduled to Nov 30.
4. BDM Mixed Use CPA/SDP

**Government Liaison Reports**

**A. COUNCILMEMBER MORENO'S OFFICE: Gerardo Ramirez:**

**Performance Audit of Equity in Recreation Programming**

- The Audit Committee conducted an audit of equity in recreation programming. Today the results were presented noting the severe inequity between underserved communities and wealthy ones when it comes to programs offered at our City's parks.
- Twice as many recreation programs are offered in affluent communities and current program spending per recreation center is 47% higher in wealthy communities in the City of San Diego.
- The Audit Committee accepted all of the recommendations from the Auditor and requested implementation funding to be considered in the FY22 mid-year budget adjustments.

**Beyer Park-Prop 68 Grant Funding**

- City staff informed our office that the results for the Prop 68 grant are expected this December.

**La Media Road Project**

- Next La Media Road Truck Route Working Group meeting scheduled for Tuesday, December

- 7, at 2:00 PM.
- B. MAYOR'S OFFICE: *Stephanie Estrada:***
- The city is currently hiring.
  - Streetlights in the city have been a big issue that has been reported across all the districts, including district eight district & nine. We are short right now on electricians and so right now we're working on hiring those.
- C. ASSEMBLYMEMBER WEBER'S OFFICE: *Mo Alo:***
- *Recess:* The 2022 Legislature session will begin soon. So if you are still looking to meet with the member please use the request feature on our website. There is still time to get on her calendar
- There Ought To Be a Law**
- Our office just hosted our There Ought to Be a Law program which ended on the first of this month. This program allowed residents of the 79<sup>th</sup> Assembly District to submit detailed proposals before the beginning of the next legislative session for the opportunity to be selected as a bill to introduce to the Legislature. Our office received a whopping 80 submissions, which we are currently reviewing.
- Small Business Webinar**
- Our office recently hosted a small business webinar with California Treasurer Fiona Ma. If you missed that webinar no worries you can access it from our website. You will find many resources for our small business and nonprofit organizations.
- *Upcoming Events*
- Turkey Giveaway**
- This event will take place at the Jacob Center on December 20, 2021 from 10am to 1pm or until supplies last. This is a first come first serve event coupled with a vaccine event. We encourage attendees to register online but it is not necessary. Our office will be distributing 500 turkeys with sides along with addition groceries. See you there.
- Winter Literacy Event**
- This event will take place at the Boys & Girls Club Encanto Branch on December 20, 2021 from 1pm – 3pm. Come by and pick up a book or two for your young reader. If you'd like to donate we are also looking for book donations.
- Staying Updated**
- If you would like to stay up to date on our office events, please sign up on our website to receive updates and follow our social media pages on Facebook, Instagram, and Twitter. You may search Assemblymember Akilah Weber to find the pages. To see videos of the Assemblymember presenting bills on the floor, you may check out our website! (Drop link in chat: <https://a79.asmdc.org/>)
- *Redistricting*
    - The redistricting process is still underway and we just want to encourage you all to be engaged in the public input period about your communities of interest. The state, county, and city has redistricting commissions that you may look up to find their public input dates.

As always our office continues to provide assistance for these high priority areas:

- Golden State Stimulus inquiries, EDD Assistance, ERAPs
- D. SUPERVISOR VARGAS' OFFICE: *Andrew Harvey:***
- Through Nov. 9, a total of 279,293 San Diegans had received a COVID-19 booster and 7,320 children ages 5 through 11 had received their first shot of the Pfizer vaccine, the only one approved for this age group.
  - COVID-19 vaccines for all eligible ages and booster shots are available at health care providers, retail pharmacies, clinics and other medical providers. Appointments can be made at [myturn.ca.gov](http://myturn.ca.gov) or by calling (833) 422-4255.

- SAN DIEGO (CNS) – The San Diego County Board of Supervisors Tuesday voted unanimously to support a congressional bill aimed at prohibiting new offshore oil drilling in Southern California.
- There is also an Op Ed that was just released by the Tribune that you can check out about Supervisor Vargas and the events that have taken place this month at the Board of Supervisors meetings.

E. **ASSEMBLY MEMBER LORENA GONZALEZ OFFICE:** *No report was provided.*

F. **SENATOR HUESOS' OFFICE:** *Claudia Lopez:*

- The 2021 legislative session has ended, and the legislature passed roughly 900 bills that went to Governor Newsom’s desk for action.
- As of September 10, legislators have been in a legislative recess, Senator Hueso is meeting with stakeholders and constituents to develop legislation for introduction in the next session, which will convene in January 2022. We welcome your ideas and proposals.
- 8 bills were sent to the Governor and all 8 were signed into law. The explanation of each is on last month’s minutes for your reference.

G. **POLICE DEPARTMENT & CODE COMPLIANCE:** *No report was provided.*

H. **FIRE DEPARTMENT:** *No report was provided.*

I. **IMMIGRATION & CUSTOMS DEPARTMENT:** *No report was provided.*

J. **CITY ATTORNEY'S OFFICE:** *No report was provided.*

**Monthly Report:**

A. **CPC-** *Mark Freed (emailed report)*

- This latest CPC Update covers the Sept. 28th and Oct. 26th, 2021, meetings.  
Sept. 28, 2021, Meeting Minutes: [https://www.sandiego.gov/sites/default/files/cpc\\_draft-09-28-21\\_minutes\\_.pdf](https://www.sandiego.gov/sites/default/files/cpc_draft-09-28-21_minutes_.pdf)

**ITEM #5. SPACES AS PLACES:**

- Planning Department presented an update on “Spaces as Places” from the August agenda. Proposed changes are operational including: hours for streetaries; noise levels within streetaries should be compatible with adjacent uses; streets with streetaries should have a speed limit of 30 mph; streetaries should be permitted on classified streets but not those equal to or greater major streets; a new exclusive use fee is being considered; there should be a minimum 5-foot clear path of travel for ADA compliance.

**ITEM #6. 2021 CODE UPDATE:**

- Planning Department gave a presentation as part of the annual update to the Land Development Code. There will be 6 workshops from July to August to present the items and get feedback.
- There are 36 items proposed, 16 corrections, 18 regulatory reforms, 2 in compliance with state law. Most are general zoning changes (ie. Centre City PDO). Discussion of regulatory reform for the Centre City PDO including employing overlay zones to incentivize housing, requiring greenway improvements, adding limited use regulations for pet boarding, day care and vet clinics. Other items include allowing artisan food and beverage producers in all zones, update of the green building incentive standards, clarify FAR calculation historic buildings, add flexibility to allow commercial to residential projects, apply active transportation in-lieu fee for residential development that exceeds maximum parking, and eliminate electronic game limit for entertainment establishments in the Gaslamp quarter. The update is to be consistent with state law. Next step is to present at Planning Commission on October 27 and Land Use and Housing in November/December 2021.
- Motion: A motion was made and passed to support.

**ITEM #7. CITY ADU ORDINANCES:** Neighbors for a Better San Diego, presented an update on the City’s laws regarding Auxiliary Dwelling Units (ADU). Stated that ADU ordinance could allow up to 5 addresses on one property. Called the density bonus program ‘egregious’ and questioned its necessity. Proposed reducing the square footage on market rate ADU’s to no more than 1,000 square feet, replacing the ADU density bonus

with a 200 SF size bonus, restrict affordable incentives for very low and low-income, increase affordable deed restriction from 15 years to 30 years, waive the DIF on ADU's greater than 75 sf of deeded affordable, increase the side yard and rear yard setback on new ADU's and Junior ADU's and limit ADU height to 16 feet. Stated current 30-foot height limit is not in keeping with neighborhood character and that the number of ADU's be limited to 4 per lot. Recommended opposing SB-10, the new state law allowing multiple ADU's in single-family zones.

- Motion: A motion was made and passed to stick with state guidelines, approve a total of 4 ADU's and not support the ordinance/SB-10 allowing 10 ADU's on a single-family lot.
- The meeting Minutes for the Oct. 26, 2021 meeting have not been posted yet. Please see below and attached for information on items discussed/presented.

- Oct. 26, 2021 Agenda: [https://www.sandiego.gov/sites/default/files/cpc-agenda\\_10-26-21\\_mp.pdf](https://www.sandiego.gov/sites/default/files/cpc-agenda_10-26-21_mp.pdf)

**ITEM #5 CALIFORNIA CITIZENS REDISTRICTING COMMISSION:**

- Presentation by CA Citizens Redistricting Commission regarding Draw My CA Community Online Mapping Tool. Please see: <http://wedrawthelinesca.org/>
- For an update on the County's redistricting process. Please see: <https://www.sandiegocounty.gov/content/sdc/redistricting.html>

**ITEM #6 CLIMATE RESILIENT SAN DIEGO PLAN:**

- Planning Department Presentation on the Draft Climate Resilient SD Plan. Please see: <https://www.sandiego.gov/sustainability/resilience>.

**ITEM #7 TREES:** Treewatch San Diego and Kate's Trees presentation on the inadequacies of the City's Urban Forest policies, and request for advocacy for trees from Community Planning Groups.

- The next CPC meeting is 11/30/21.

**B. Southwest Village Committee - (Felipe Nuno, Resident)**

- Nothing to report. Still waiting to hear back from the City.

**C. Border Transportation – (Alejandra Mier y Teran, Business Representative)**

- Travel restrictions were lifted in the US Mexico border.
- Mexican nationals are not crossing the border as expected.
- The California Air Resources Board has concerns about residential developments that are in industrial communities and because of that, they are doing a new regulation where they are requiring trucks now to be zero emission trucks as early as 2023.
- STG was at the webinar and they say for example, that they are willing to partner with private fleets to come up with charging stations at their facilities. This is a five-year program.

**D. La Media Truck Route- (David Wick, Business Representative)**

- The next update by the city, a virtual meeting is going to be on December 7th, from 2pm-3pm.
- Detouring trucks from December 6th for about a month. It's the slow season for trucks crossing the border.

**E. San Diego Airport Advisory Committee - (Jayson Christopher, Business Representative)**

- Nothing to report at this time.

**F. Otay Mesa Chamber of Commerce – (Alejandra Mier y Teran, Business Representative)**

- Holiday Breakfast December 9, 2021 at the Chula Vista Golf Course
- Two vaccination clinics coming up. One is December 30<sup>th</sup>.

**G. East Otay Mesa Property Owner's Association Update – (David Wick, Business Representative)**

- LS power is going to break ground on their phase two of their battery storage facility of 250 megawatts adjacent to their existing battery storage facility.
- The county just opened their EVOC facility, their emergency vehicle operation center.

**H. La Media West Wetlands - No report was provided.**

**I. Informational Items:**

- BDM Mixed Use Project No. 673818 - Steven Bossi

The BDM Mixed-Use project is proposed for a 13.45-acre site, located on the south side of Otay Mesa Road, east of Emerald Crest Court, west of Corporate Center Drive, and north of State Route 905, within the Otay Mesa Community Plan area in the City of San Diego. The project proposes 430 total multi-family residential dwelling units and approximately 6,000 square feet of commercial use. The multi-family residential use includes 378 market-rate dwelling units, situated in the northern portion of the site, and 52 affordable dwelling units (affordable to low-income households) situated in the western portion of the site. Commercial uses would be located in the northwestern portion of the site. Access to the project would be provided off Emerald Crest Court and by a new private drive off Otay Mesa Road. The project requires an Amendment to the Otay Mesa Plan to change the land use designation from Community Commercial – Residential Prohibited to Community Commercial – Residential Permitted, Rezone from the existing CC-2-3 zone to CC-3-6, Vesting Tentative Map, Site Development Permit, Neighborhood Development Permit, and Public Right-of-Way Vacation to vacate Corporate Center Drive south of Otay Mesa Road

- The City of San Diego 2020 ADU Ordinance and the threat that it represents to home ownership and to the quality of life in single family residential areas – Newell Booth

**J. Action Items:**

A. **Motion:** EPOCA Parks –

**Presented by:** Ian Morris Groundlevel

- **Vote:** A motion was made by F. Nuno & seconded by S. Merry. Motion passed (10-0-1)
- **Yes:** C. Holder, D. Kirma, R. Taylor, R. Lopez, J. Ayala, J. Christopher, T. Ricotta & A. Mier y Teran.
- **Abstained:** R. Mahoney
- **Vote No:** None.

B. **Motion:** PA61 Lot 1 VTM/SDP/MPDP/Community Plan Amendment and Rezone – Project No. 690358

**Presented by:** David Stearn

- **Vote:** N A motion was made by R. Taylor & seconded by A. Mier y Teran Motion passed (10-0-1)
- **Yes:** C. Holder, D. Kirma, F. Nuno, T. Ricotta, R. Lopez, S. Merry & J. Christopher.
- **Abstained:** J. Ayala.
- **Vote No:** None.

**Closing remarks:**

Thank you.

**K. Old Business:**

No old business.

**Meeting adjourned at 4:43 p.m. by Jimmy Ayala, Planning Group Member.**

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<b>FORM DS-318</b>  <b>October 2017</b>
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**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** \_\_\_\_\_ **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** \_\_\_\_\_

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General – What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No