



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: February 14, 2019 REPORT NO. PC-19-002
HEARING DATE: February 21, 2019
SUBJECT: T-MOBILE –ARIZONA STREET. Process Four Decision
PROJECT NUMBER: [551837](#)
OWNER/APPLICANT: WCOT/Broadstone North Park, LLC/T-Mobile West, LLC

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility at 4220 Arizona Street within the North Park Community Plan area?

Staff Recommendation: **Approve** Conditional Use Permit (CUP) No. 2241123/Planned Development Permit (PDP) No. 2241124.

Community Planning Group Recommendation: On February 20, 2018, the North Park Planning Committee voted 13-0-0 to recommend approval of the T-Mobile project without conditions (Attachment 8).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 14, 2019 and the opportunity to appeal that determination ended January 29, 2019 (Attachment 7).

Fiscal Impact Statement: None. A flat fee deposit was paid by the applicant for the processing of this project.

BACKGROUND

T-Mobile –Arizona Street is an application for a CUP and PDP for a Wireless Communication Facility (WCF) in the RM-3-9 (Residential – Multiple Unit) zone of the North Park Community Plan area (Attachments 1 and 3). T-Mobile was approved for a rooftop facility in 2000 when Pacific Bell was located on the property. The Pacific Bell building was recently demolished, and T-Mobile applied for and received approval for a Substantial Conformance Review (SCR) to install a temporary WCF during construction of a multi-unit residential apartment complex completed in December. This application is for a permanent WCF on the new apartment building.

Pursuant to San Diego Municipal Code (SDMC) Section 141.0420(f)(2), WCFs on residential buildings within residential zones require a CUP, Process Four. This corresponds with [Council Policy 600-43](#), which assigns preference levels to WCFs in different land use categories. This project is in the Preference 4 category. T-Mobile is also requesting a PDP per [SDMC 126.0602\(b\)\(1\)](#) to deviate from the RM-3-9 height limit of 60 feet.

The project site is designated Residential - Very High (55-73 du/ac) in the [North Park Community Plan](#) (Attachment 2). Surrounding land uses include commercial to the north, multi-unit residential to the east and west and single-unit residential to the south (Attachments 1-3).

DISCUSSION

Project Description:

T-Mobile is proposing a WCF consisting of six antennas in three sectors of two antennas each with one Remote Radio Unit (RRU) in each sector. Two of the sectors will be mounted on the existing elevator shaft on the south side of the building, covered with Fiberglass Reinforced Panels (FRP) designed to match the elevator shaft. The other sector will be concealed within a new rooftop box located on the north side of the building. Associated equipment will be located within the basement parking garage.

The overall height of the building is 76 feet, 5 inches, which is to the top of the elevator shaft. The actual building is 62 feet tall. T-Mobile proposes to mount two antennas and one Remote Radio Unit (RRU) on each face of the east and west sides of the elevator shaft and cover them with FRP designed to match the elevator shaft surface. The other sector contains two panel antennas and one RRU located in a rooftop box on the north side of the building. The 10-foot, 6-inch-tall FRP box is proposed to be set back approximately 12 feet from the edge of the roof. The top of the box will be located at 72 feet, 6 inches above ground level, which is approximately 4 feet lower than the elevator shaft (Attachment 14). The FRP will be painted to match the lighter stucco color on the building (Attachment 12). Associated equipment will be in the basement parking garage within a 170-square-foot enclosure.

The intent of a PDP is to “to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.”

The height limit in the RM-3-9 zone is 60 feet. The apartment building is 62 feet tall with the elevator shaft at 76 feet, 5 inches. A variety of building materials were used for the apartment building which also includes many offsetting planes. T-Mobile takes advantage of these elements, using existing parts of the building design as well as proposing a new element to fully integrate the WCF into the building, resulting in a Completely Concealed and Integrated Facility (CCIF). In an effort to promote fully integrated WCF projects an expiration date is not included in permits where a project completely conceals the antennas, cable trays and equipment. The only other design option that would not require a PDP would be façade-mounted antennas, which usually have a minimum offset

from the building façade of 12 to 18-inches. Although façade-mounted antennas require skirts and chin straps to conceal cables, they still have a visual impact especially on a new building with clean lines. Façade-mounted antennas do not have to qualify as a CCIF and would result in a less desirable project.

Community Plan Analysis:

The [North Park Community Plan](#) identifies the need and support for expanding wireless facilities within the community, recognizing that concern exists about the potential for visible blight with inappropriate installations. The Plan goes on to recommend that efforts be made to integrate WCFs into the surroundings in a sensitive manner to minimize potential negative visual impacts on community character, open space, view corridors and historic elements within the community.

The Community Plan also references the City's General Plan Urban Design Element (Section UD-A1.5) as a policy significant to the community. This section of the General Plan recommends that the visual impact of WCFs be minimized by concealing them in existing structures or by using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. The T-Mobile – Arizona Street project has been designed to architecturally integrate into the new apartment building. The equipment is located within the basement parking garage not visible to the general public, and the antennas have been concealed within different building components.

Conclusion:

Other than the requested height deviation, the project complies with the development regulations of the RM-3-9 zone and the WCF regulations (SDMC 141.0420). Staff has prepared draft findings in the affirmative to approve the project and recommends approval of CUP No. 2241123 and PDP No. 2241124 (Attachment 6).

ALTERNATIVES

1. Approve Conditional Use Permit No. 2241123 and Planned Development Permit 2241124, with modifications.
2. Deny Conditional Use Permit No. 2241123 and Planned Development Permit 2241124, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Karen Lynch
Development Project Manager
Development Services Department

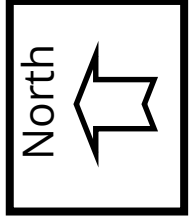
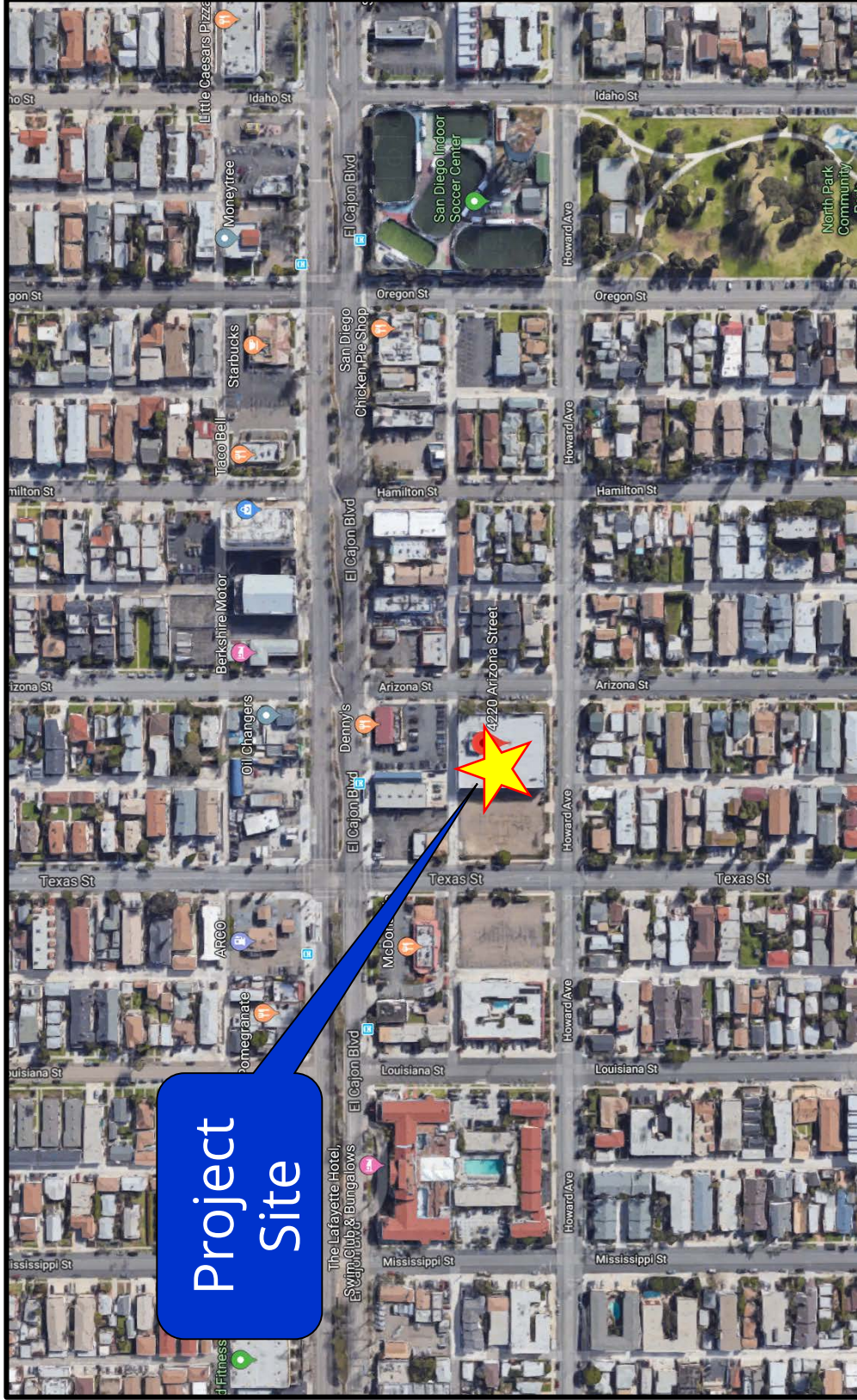
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Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Coverage Maps
11. Photo Survey
12. Photo Simulations
13. Project Plans



Aerial Photo



I-Mobile - Arizona Street - Project No. 551837
4220 Arizona Street

Development Services Department

Community Plan

LEGEND

Residential

- Residential - Low : 5-9 DU/AC
- Residential - Low Medium : 10-18 DU/AC
- Residential - Medium : 16-29 DU/AC
- Residential - Medium High : 30-44 DU/AC *
- Residential - High : 45-54 DU/AC
- Residential - Very High : 55-73 DU/AC

Commercial, Employment, Retail, and Services

- Community Commercial : 0-29 DU/AC
- Community Commercial : 0-44 DU/AC
- Community Commercial : 0-54 DU/AC
- Community Commercial : 0-73 DU/AC**
- Community Commercial : 0-109 DU/AC***
- Neighborhood Commercial : 0-29 DU/AC
- Neighborhood Commercial : 0-73 DU/AC

Park, Open Space, and Recreation

- Open Space
- Park

Institutional, and Public/Semi-Public Facilities

- Institutional
- Community Village
- Community Plan Boundary

Notes:

- * Residential Density up to 73 DU/AC allowed via RDP
- ** Residential Density up to 144 DU/AC allowed via RDP
- *** Along S. Coplan Blvd. Residential Density up to 144 DU/AC allowed via RDP

Designated Residential - Very High (55-73 du/ac)

Project Site

ATTACHMENT 2

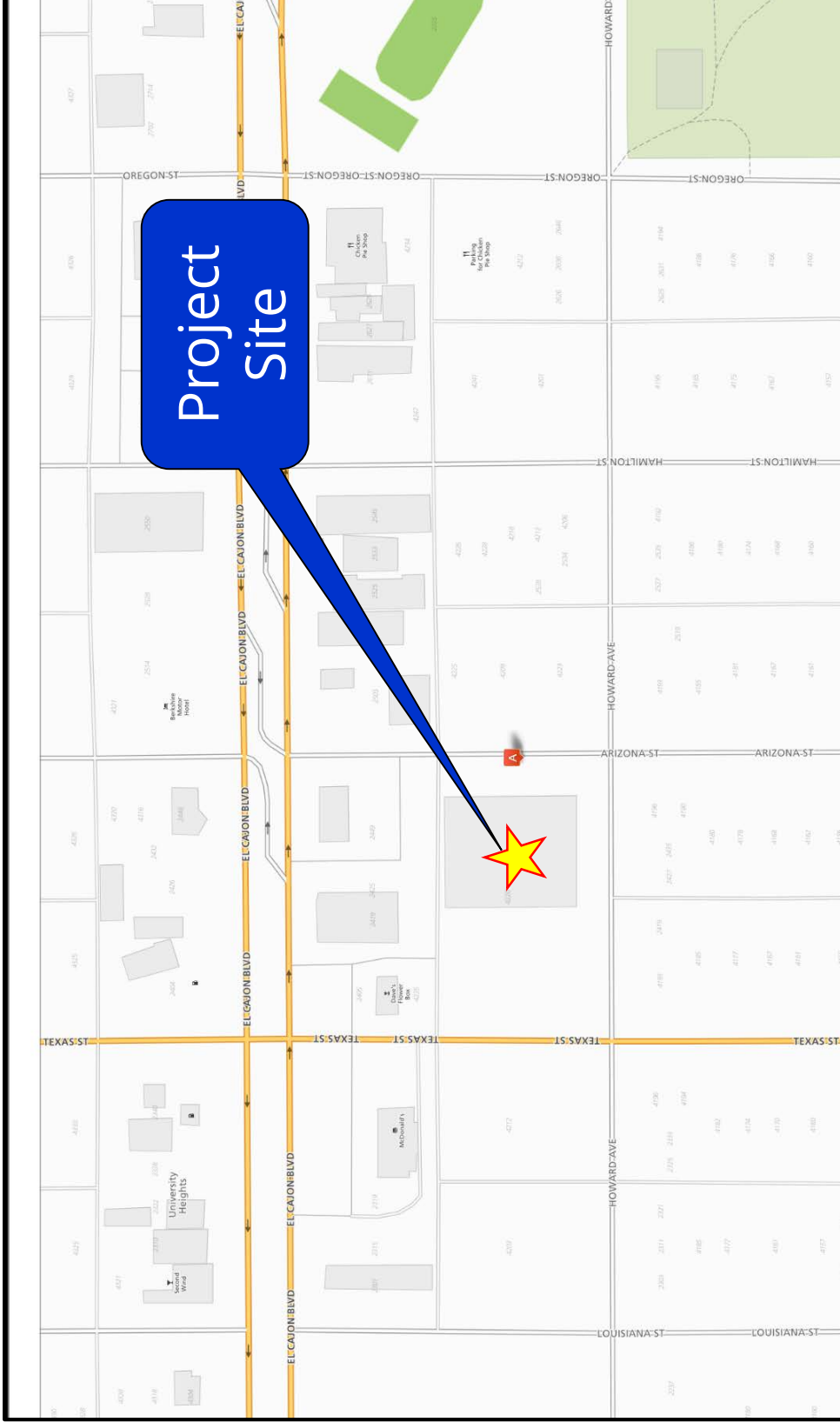
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sandiego.gov

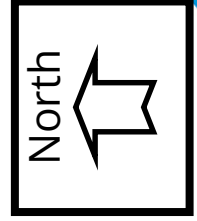
T-Mobile - Arizona Street Project No. 551837
4420 Arizona Street



Project Location Map



T-Mobile - Arizona Street Project No. 551837
4220 Arizona Street



PROJECT DATA SHEET		
PROJECT NAME:	T-Mobile – Arizona Street	
PROJECT DESCRIPTION:	A Wireless Communication Facility (WCF) consisting of six panel antennas and three Remote Radio Units (RRUs) concealed behind Fiberglass Reinforced Panels (FRP) on the roof top of the multi-unit Broadstone apartment complex addressed at 4220 Arizona Street. Associated equipment will be located within a 170-square-foot enclosure in the parking garage.	
COMMUNITY PLAN AREA:	North Park	
DISCRETIONARY ACTIONS:	Conditional Use Permit/Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential-Very High (55-73 du/acre)	
ZONING INFORMATION:		
ZONE:	RM-3-9 (Residential – Multiple Unit)	
HEIGHT LIMIT:	60'	
FRONT SETBACK:	10/20 feet (min/std)	
SIDE SETBACK:	5 feet	
STREETSIDE SETBACK:	10 feet	
REAR SETBACK:	5 feet	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Community Commercial; CC-3-9	Commercial
SOUTH:	Residential-Medium High; RM-3-9	Single-Unit Residential
EAST:	Residential-Very High; RM-3-9	Multi-Unit Residential
WEST:	Residential-Very High; RM-3-9	Multi-Unit Residential
DEVIATION REQUESTED:	A 12' deviation from the RM-3-9 height limit of 60'. Current building height is 62' and the proposed roof top screen box adds another 10',6" for a total of 72', 5".	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 20, 2018, the North Park Planning Committee voted 13-0-0 to recommend approval of the T-Mobile project without conditions.	

PLANNING COMMISSION RESOLUTION NO. [REDACTED]
CONDITIONAL USE PERMIT NO. 2241123
PLANNED DEVELOPMENT PERMIT NO. 2241124
T-MOBILE -ARIZONA STREET PROJECT NO. 551837

WHEREAS, WCOT/BROADSTONE NORTH PARK, LLC, Owner and T-MOBILE WEST, LLC, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 2241123 and 2241124 on portions of a 1.21-acre site;

WHEREAS, the project site is located at 4220 Arizona Street in the RM-3-9 zone of the North Park Community Plan area;

WHEREAS, the project site is legally described as Lot 1 and Lot 2 of Hillside Square, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6200, filed in the Office of the County Recorder of San Diego County, September 27, 1968;

WHEREAS, on January 14, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 21, 2019, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 2241123 and Planned Development Permit No. 2241124 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2241123 and Planned Development Permit No. 2241124.

A. Conditional Use Permit [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The North Park Community Plan addresses the importance of expanding Wireless Communication Facilities (WCF) in the community in a way that is sensitive to the community character, with an emphasis on reducing any associated visual impacts through appropriate integration. Similarly, the City of San Diego's General Plan (UD- A.15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of six panel antennas and three remote radio units located behind new Fiberglass Reinforced Panel (FRP) screens. Two sectors will be façade mounted to the existing elevator shaft and covered with FRP and the other sector will be located on the rooftop within an FRP box. Equipment will be located within a 170-square-foot enclosure in the basement parking garage. T-Mobile was originally approved at this site in 2000 when Pacific Bell was located on site. Once Broadstone received approval for the new multi-unit development on site, T-Mobile received approval for a Substantial Conformance Review to install a temporary WCF during construction of the residential development. The temporary WCF will be removed once the proposed project has been installed.

As designed, the project qualifies as a Completely Concealed and Integrated Facility (CCIF) and the permit will not include an expiration date. Apart from deviating from the height limit which requires a Planned Development Permit (PDP), the proposed WCF complies with the City's Land Development Code (LDC), Section 141.0420, "Wireless Communication Facilities", as well as the requirements of the North Park Community Plan and the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan or the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project is located on a new multi-unit residential building at 4220 Arizona Street in the North Park Community Plan area. This project consists of six panel antennas

and three remote radio units located behind new Fiberglass Reinforced Panel (FRP) screens. Two sectors will be façade mounted to the existing elevator shaft and covered with FRP and the other sector will be located on the rooftop within an FRP box. Equipment will be located within a 170-square-foot enclosure in the basement parking garage. T-Mobile was originally approved at this site in 2000 when Pacific Bell was located on site. Once Broadstone received approval for the new multi-unit development on site, T-Mobile received approval for a Substantial Conformance Review to install a temporary WCF during construction of the residential development. The temporary WCF will be removed once the proposed project has been installed. The resulting project will be completely concealed and architecturally integrated.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical and fire codes.

The Telecommunications Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency - Electromagnetic Energy Compliance Report was prepared by EBI Consulting, which concluded that the project will be in compliance with FCC standards for RF emissions with certain mitigation measures such as posted signage and restricted access to the roof top. As a result, the project would not result in any significant health or safety risks to the surrounding area related to matters within the City's jurisdiction. Therefore, the proposed project will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Land Development Code (LDC) Section 141.0420 permits Wireless Communication Facilities (WCF) on premises containing residential uses in a residential zone with a Conditional Use Permit (CUP). Up until approximately two years ago, Pacific Bell operated an office and switching station on the property and T-Mobile had pipe mounted antennas on the roof top, which were approved ministerially in 2000 without a permit expiration. Once Broadstone received approval for the new multi-unit residential development on site, T-Mobile obtained approval for a Substantial Conformance Review to install a temporary WCF during construction of the residential development. The temporary WCF will be removed once the proposed WCF has been installed.

The existing zone for this property is RM-3-9 and the height limit is 60'. The Broadstone Apartment building was approved to be 62' tall with the tallest projection on the roof, the elevator shaft, at 76'-5". T-Mobile is requesting a Planned Development Permit (PDP) to deviate from the RM-3-9 height limit. The project consists of six panel antennas and three remote radio units located behind new Fiberglass Reinforced Panel (FRP) screens. Two sectors will be façade mounted to the existing elevator shaft and covered with FRP and the other sector will be located on the rooftop within a new FRP box, proposed to be 10'-6" tall, which is approximately 4' below the height of the elevator shaft. The associated equipment will be located within a 170-square-foot enclosure in the basement parking garage.

If the WCF were designed to comply with the RM-3-9 height, the antennas would have to be façade mounted. That type of installation is less preferable than a complete concealment installation. The architects used creativity and imagination to design the project to architecturally integrate into the apartment building. The new FRP screens appear to be a part of the original architecture, so there will be no visual impacts. The project has been designed to comply with regulations of the LDC including the requested height deviation.

d. The proposed use is appropriate at the proposed location.

The project is proposed in a Preference 4 location as outlined in Council Policy 600-43. Council Policy 600-43 includes guidelines for placement of Wireless Communication Facilities (WCFs). The guidelines set forth four locational categories that correspond to the process levels contained within the WCF Regulations, LDC Section 141.0420. These categories establish a hierarchy from the most preferred location to the least preferred location. In this case, the original project consisted of pipe mounted antennas on the rooftop of a Pacific Bell building. The property was rezoned and sold to Broadstone who developed it as multi-unit residential. T-Mobile has designed the WCF to architecturally integrate into the apartment building. The design qualifies as a Completely Concealed and Integrated Facility (CCIF) and as a result, the permit does not include an expiration. The project, as designed, is consistent with the WCF regulations by integrating the facility into the design of the building.

The area surrounding the project site is predominately low scale in nature with commercial uses to the north along El Cajon Boulevard and residential uses to the south, east and west. Existing commercial uses to the north are not tall enough to provide the same coverage as the proposed site. Remodels to increase heights of existing buildings or new significantly taller stand-alone structures would have to be designed to accommodate T-Mobile's desired coverage. T-Mobile indicated that coverage with the original WCF on the Pacific Bell building was good, however, the site suffered some loss in coverage due to the scaled back version of the temporary facility. The installation of the new architecturally integrated facility will

provide improved coverage due to the height of the antennas and updated technology.

A WCF is appropriate at this location because the design and architecture of the project results in a fully integrated project.

B. Planned Development Permit (SDMC Section §126.0605)

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding a above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed project will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health,

Please see CUP Finding b, above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations SDMC Section ns of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

Please see CUP Finding c above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this finding by reference, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 2241123 and Planned Development Permit No. 2241124 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form,

exhibits, terms and conditions as set forth in Permit No. 2241123/2241124, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: February 21, 2019

IO#: 11003679

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2241123
PLANNED DEVELOPMENT PERMIT NO. 224124
T-MOBILE - ARIZONA STREET PROJECT NO. 551837
PLANNING COMMISSION

This Conditional Use Permit No. 2241123 and Planned Development Permit No. 2241124 is granted by the Planning Commission of the City of San Diego to WCOT/Broadstone North Park, LLC, Owner, and T-Mobile West, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0303 and 126.0602. The 1.21-acre site is located at 4220 Arizona Street in the RM-3-9 zone of the North Park Community Plan area. The project site is legally described as: Lot 1 and Lot 2 of Hillside Square in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6200, filed in the Office of the County Recorder of San Diego County, September 27, 1968.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 21, 2019, on file in the Development Services Department.

The project shall include:

- a. Six panel antennas and three Remote Radio Units concealed behind Fiberglass Reinforced Panels (FRP) on the roof top of a multi-unit residential apartment building with associated equipment located in a 170-square-foot enclosure in the parking garage;
- b. A 12-foot height deviation for the new roof top antenna FRP screen box, where 60 feet is the maximum height limit in the RM-3-9 zone and the existing building is 62 feet tall. The screen box is 10 feet, 6 inches tall, approximately 5 feet lower than the existing elevator shaft.
- c. Removal of the temporary WCF approved under project no. 464628.
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 7, 2022.
2. The project complies with the Wireless Communication Facility Guidelines as a Complete Concealment Facility and as a result, the permit does not contain an expiration date. The Owner/Permittee shall maintain the appearance of the approved facility to the condition set forth in this permit unless the WCF that is the subject of this Permit is removed and restored to its original condition.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permit, the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix ze of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

13. Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment.
14. The WCF shall conform to the approved construction plans.
15. Photo simulations shall be printed on the construction plans.
16. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
17. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.
18. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.
19. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
20. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
21. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
22. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.
23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on February 21, 2019 by Resolution No. _____.

Permit Type/PTS Approval No.: CUP No. 2241123//PDP No. 2241124
Date of Approval: February 21, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

T-Mobile West, LLC
Permittee

By _____
NAME: Joseph Rose
TITLE: Site Development/
Real Estate Manager

WCOT/Broadstone North Park, LLC
Owner

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 7

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 551837

Project Title: T-Mobile Arizona

PROJECT LOCATION-SPECIFIC: The project is located at 4220 Arizona Street, San Diego CA 92104 within the North Park Community Planning Area.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: A Conditional Use Permit (CUP) and a Planned Development Permit (PDP) application for the construction of a Wireless Communication Facility (WCF). The WCF project consists of six panel antennas and three Remote Radio Units (RRU) concealed behind Fiberglass Reinforced Panels (FRP) on the roof top of a multi-unit residential apartment building. Additionally, associated equipment would be located in a 170-square-foot enclosure in a parking garage. The 1.21-acre site is located at 4220 Arizona Street in the RM-3-8 zone of the North Park Community Plan area. The project site is located within a fully developed neighborhood and is primarily surrounded by residential and commercial uses.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Adam Stone, Smart Link, 2037 Thomas Avenue, San Diego, CA 92109. (734) 904-3390.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: 15303 (New construction or conversion of small structures)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures where only minor modifications are made in the exterior of the structure. Since the project would build one unmanned WCF within an existing building without substantially altering the exterior of the building the project qualifies to be categorical exempt from CEQA. The project site is devoid of sensitive resources and the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Jeffrey Szymanski / SENIOR PLANNING
SIGNATURE/TITLE

1/28/2019
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



NORTH PARK PLANNING COMMITTEE (NPPC)

Meeting Minutes

February 20, 2018; 6:30 pm

2901 North Park Way, 2nd Floor

www.northparkplanning.org

info@northparkplanning.org

Like us: [NorthParkPlanning](https://www.facebook.com/NorthParkPlanning) Follow us: [@NPPlanning](https://twitter.com/NPPlanning)

To receive NPPC Agendas & Announcements sign up at:

<https://www.facebook.com/NorthParkPlanning/app/100265896690345>

- I. **March 20, 2018 Election Announcement.** Chair Vidales announced that today is the last chance to establish eligibility to vote and/or run for the March 20 NPPC board election. To be eligible to run for the NPPC Board or vote in the election, people must have a valid registration form on file and have signed-in at one NPPC Board meeting from March 2017 through February 2018.
- II. **Call to Order: 6:37 PM**
 - 1. Attendance Report

Member	Kate Callen	Dennis Campbell	Dionné Carlson	Kathleen Ferrier	Daniel Gebreselassie	Robert Gettinger	Peter Hill	Brandon Hilpert	Megan Kucharski	Sarah McAlear	Dang Nguyen	Melissa Stayner	Tim Taylor	Eduardo Velasquez	René Vidales
Attendance	1			2	3	4	5	6	7	8	9	10	11		12
Late			1												
Absences	2	4	2	3		3				3		2	1	2	

- I. **Parliamentary Items**
 - 1. **Consent Agenda Items:** Items were heard, voted on at an NPPC subcommittee and are not considered controversial.
 - 1) **Letter of Support: Sidewalk Café – U-31 Bar/Restaurant - 3112 University Ave.** Letter of Support for an Expansion to a Type 48 (Full Alcohol) alcohol license to allow food service in existing fenced sidewalk space. NPPC input requested by SDPD. Steve Billings, Owner.
MOTION: To support the expansion of this type 48 license to allow food and alcohol to be served on the existing sidewalk patio. No alcohol should be served at the patio after 10pm. NPPC recommends that U31 provides and manage trash containers until non-disposable serving ware is used. Steppke/Hill 4-0-0.
MOTION: To approve Consent Agenda. Hilpert/on Consent 11-1-0 (Callen)
 - 2. **Agenda:** Adoption of the February 20, 2018 NPPC Agenda. **MOTION: To adopt Agenda as modified. Gebreselassie/Hilpert 12-0-0**
 - 3. **Minutes:** Approval of the January 16, 2018 Minutes. **MOTION: To approve the January 16, 2018 Meeting Minutes with the following corrections: In Item VIII.1.a.ii Replace text with “SoNo had been planning a Candidates Forum but will defer to NPPC and fully support an NPPC Candidates Forum”. In Item II.3.b.iii. Replace text with “Check not refunded to Hilpert”. Hilpert/Stayner 12-0-0**

4. **Treasurer's Report:** Brandon Hilpert. Current balance is \$829.06

II. **Non-Agenda Public Comment:** Limited to Items not on the Agenda and non-debatable. Two-minute maximum, Chair can award more time.

1. Eileen Gonzales. North Park Community Association (NPCA) will be hosting an informational presentation with Target representatives at the Lafayette Hotel. NPCA is looking for bands for this year's Bird Park Concert Series.
2. René Smith. Balboa Park Infrastructure Funds. Zoo tax and no consistent income stream into Balboa Park. Brought to city and failed. Proposing an item for the June election.
3. Angela Landsberg. Lime Bikes – owned by company that did not get a permit and does not need to get a permit.

III. **Announcements & Event Notices:**

1. **NPPC Candidates Forum. Thursday.** Thursday, March 15, 6:00 to 7:30 p.m. North Park Recreation Center Gymnasium. 4044 Idaho St. This event will give candidates more time for statements plus there will be a moderator.
2. **San Diego Vintage Flea Market.** Sunday, March 4, 9 am to 4 pm, in the parking lot behind the Observatory North Park Theater, with 100 vendors bringing the very best in vintage wares, clothing, furniture, knickknacks, and more.
3. **North Park Thursday Market (Farmers Market).** Every Thursday 3pm-7:30pm year round
4. **Ray at Night.** San Diego's largest and longest-running monthly art walk. Second Saturday of every month from 6-10pm. Next event is March 10.
5. **North Park Festival of Arts.** Saturday, May 12. 11 a.m. to 10 p.m.

IV. **Elected Official Reports & contact Info:** Reports are limited to 2 Min Max

1. **Jessica Poole, Hon. Susan Davis, US Congress Dist. 53,** 619-208-5353, Jessica.Poole@mail.house.gov
2. **Nick Serrano, Hon. Todd Gloria, State Assembly Dist. 78,** 619-645-3090, Nick.Serrano@asm.ca.gov
3. **Toni Duran, Hon. Toni Atkins, State Senate Dist. 39,** 619-645-3133, Toni.Duran@sen.ca.gov
 - a. NPPC former Chair Vicki Granowitz selected as Woman of the Year at event by State Senator Toni Atkins
 - b. Sign up for Newsletter online to get the most up to date information
4. **Tyler Renner, Hon. Chris Ward, City Council Dist. 3,** 619-236-6633 TRenner@sandiego.gov
 - a. Select Committee on the Homeless. City acquired 14th & Imperial site to serve as a housing shelter
 - b. The City has selected David Nisleit as new Chief of Police.
5. **Planner's Report:** Elizabeth Ocampo Vivero, 619-236-6301, EOcampo@sandiego.gov; Nancy Graham, 619-236-6891, NHGraham@sandiego.gov

V. **Information Item:**

1. **Target (Express) Small Format Store at 3029 University Ave.** Informational presentation on Target and the next steps to move into the space formerly occupied by Wang's North Park. Laurie T. Jones, Senior Development Manager made a presentation.
Target has signed a lease and has begun the process of tenant improvements. The building footprint is not changing. There will be 30 dedicated parking stalls; 20 in the existing parking lot behind the store and 10 in the adjacent parking lot. They will be using 35,000 square feet of the existing building. Anticipated opening is for November 2018. The North Park (NP) store will be different than the store in South Park (SP). The NP store is double the size of the SP store. The store in SP responded to a grocery need. The basement of the NP store will be used for stock. The 1st and 2nd floors will be used for retail with the escalator located in the front. Target would like to do a new mural using a local artist where the one with the dinosaur exists, which was not done by a local artist. The exterior will lighten up to reflect the San Diego sun. Target has worked with the Historic Resources Group. As far as operation, Target will have between 40 to 60 employees and store hours will be based on needs of the community; normally from 8 a.m. to 11 p.m. The Target team will park

in nearby parking structure. Please visit target.com for more information on Target's commitment on sustainability. For additional information please contact LaurieT.Jones@target.com.

- a. Public comment:
 - i. Parking and Transportation? A: Will be putting in bike racks and looking into validating parking. There will be a parking management plan from the landlord
 - ii. Aesthetic value that the building will bring to the community? A: Plan to keep it fresh, clean and simple
 - iii. Reimbursement of employees for parking? A: No. This is for the leadership team at the store (8 spots only)
 - iv. Length of lease? A: Long term lease. Minimum 10 years
 - v. Store labeled Target or Target Express? A: Will be called "Small Format Target"
 - vi. Pharmacy details? A: Will be a CVS Pharmacy. No details how this affects CVS Pharmacy on 32nd & University
 - vii. Number of employees? A: 40 to 60. Will focus on local employment. There will be an employment fair about 3 months before opening.
 - viii. Mix of part-time vs. full-time employees? A: Majority is part-time
 - ix. Realistic opening schedule? A: Target is currently on schedule to open in November
- b. Board comment:
 - i. Ferrier. Please work with neighborhood on design issues. Proposal currently looks a little stark.
 - ii. Hilpert. Parking has not been as big an issue in South Park as they thought it would be.
 - iii. Hill. Will delivery trucks be idle or turnoff? A: Morning truck will properly be idle.
 - iv. Stayner: How does Target decide how much to give back to community? Will it stay in NP? A: 5% go back to communities (regional not macro)
 - v. Callen. Target has integrated very well in the SP community. Thank you for your outreach to the community even when you did not have to.
 - vi. Gebreselassie. Consider placing local products in store.
 - vii. Taylor. Appreciates efforts for reaching out to community. Concerned with stark white building blending in with NP.
 - viii. Carlson. Thank you for the adaptive reuse of a historic building in our retail corridor. Consider NP's sustainability efforts and subsidize transportation for employees. NP has an active biking community, therefore consider bike storage within building due to bike theft. Would like to make sure employee parking rules are followed. Would like to hear whether there is an opportunity for solar.
 - ix. Vidales. Supplying of the store with merchandise for the first time will bring a high number of truck loads into a very small area, has concerns about how all the truck traffic will be managed. A: Target will take this feedback to corporate. Also, what are the plans for the mezzanine? A: Windows will remain, but both mezzanines will be taken out due to a seismic retrofit.

Target would like to hear back on the kind of products the community would like to have in the store. There will be an informational presentation on Target this coming Thursday, February 22 at the LaFayette Hotel starting at 6 p.m.

2. **County Probation Department project.** County of San Diego is making changes at their building located on Ohio St. north of University Ave. Proposal to tear down vacant building and construct a new building. Marc Regier, County of San Diego, Marc.Regier@sdcounty.ca.gov. No presentation was made. Marc Regier was present but no questions were asked.
3. **March 20, 2018 Election**
 - a. **Call for Candidates.** There are 7 open seats and currently there are 8 people running for those 7 seats. The 8 candidates have submitted their statements and are currently posted in NPPC's

website. Anyone who wants their name to be printed on the ballot needs to contact the Chair with their intent by February 28, 2018.

- b. **Review ID requirements to receive a ballot.** Chair Vidales reminded everyone that there are documents that need to be brought in order to receive a ballot on March 20. Everyone needs to be at least 18 years of age. For Residents, a photo ID with the qualifying North Park address shown would suffice; in case of the photo ID address not matching, a utility bill with the qualifying address in addition to the photo ID would suffice. For Non-Resident Property Owners, a property tax bill in addition to a photo ID would suffice. For Non-Resident Business Owners, a business tax certificate in addition to a photo ID would suffice. For Non-Resident Business Owner Designee, a letter from the North Park business designating the voter in addition to a photo ID would suffice.
- c. **March 15 Candidates Forum.** Candidates will have an opportunity to become better known to the voters at this forum, which will be held at the North Park Recreation Center Gymnasium at 4044 Idaho St. on March 15 starting at 6:00 p.m. The Forum will have a moderator.

VI.

Action Items:

- 1) **Conditional Use Permit – T-Mobile –4220 Arizona St.** Conditional Use Permit (Process 3) to install a Wireless Communication Facility (WCF) on a new apartment building. Christopher Ward, representing Applicant. PTS 551837. Item previously heard twice at Urban Design/Project Review Subcommittee. Christopher Ward made a presentation where he described that the project is located on rooftop of Broadstone Apartment Building.

Board comments:

- Hill. Item has been heard at Urban Design/Project Review Subcommittee 2 separate times. It has been previously denied recommendation.
- Taylor. The design shown is an improved proposal from what was previously presented
- Gebreselassie. Renderings show an improvement

MOTION: To recommend project as presented. McAlear/Callen 13-0-0

- 2) **Tentative Map – 4060 Utah St.** (Process 4) Tentative Map for the creation of 6 residential condominium units within one structure, in a three-story townhouse totaling 7,991 square-feet (currently under construction). The 0.16-acre site is located at 4058 and 4060 Utah Street in the RM-3-7 zone(s) of the Greater North Park Community Plan area. Maggie Roland was not present to represent the applicant. PTS 562485. After a discussion of process for Tentative Maps and Tentative Map Waivers in regards to apartment buildings that are already under construction but where there is no opportunity for community input, the following motion was made:

MOTION: The NPPC approves the Tentative Map for 4060 Utah St. because increasing the amount of owner-occupied housing increases neighborhood stability and desirability. However, the NPPC strongly believes that the often-used “dual tracking” method of initially permitting a building as apartments, to later change to condominiums, deliberately circumvents neighborhood input into the design process. NPPC would like to work with city staff to improve upon this process. Ferrier/Callen 11-2-0 (Gebreselassie and Nguyen)

VII.

NPPC Reports1. **Chair’s Report**

- a. **City has appointed Alyssa Muto as Interim Planning Director.** A nationwide search will be conducted to replace former Director Jeff Murphy.
- b. **Valle Vista Terrace Historic District.** Update on the February 6 City Council hearing on the appeal to November 2017 decision from Historic Resources Board (HRB)
- c. **Circulate San Diego Report.** Democracy in Planning <http://www.circulatesd.org/democracyinplanning>. Recommendations from this report can help improve how some Community Planning Groups (CPGs) operate, but it can also penalize the CPGs that are already doing things right.

- d. **SANDAG Survey on Mid-City Bikeways.** Available until March 16, 2018. Survey available at www.surveymonkey.com/r/NorthParkMidCity
 - e. **Community Planners Committee (CPC).** Tuesday, February 27, 2018, 7-9 pm. 202 C St Civic Concourse. Terrace Level Silver Room. For more info: <http://www.sandiego.gov/planning/community/cpc/agendas/index.shtml>
 - i. General Plan Update on the Public Facilities, Services and Safety Element. Update needed in order to comply with state requirements on fire safety and prevention.
2. **Social Media** Brandon Hilpert. Nothing to report.
 3. **NPPC Website Update** Brandon Hilpert. The only update on the website is the election information.
 4. **Subcommittee Reports:**
 - a. Urban Design/Project Review (UDPR): Peter Hill Chair, Melissa Stayner Vice Chair – NP Rec Center Social Room, 6:00 pm 1st Monday. The 2 action items heard today were on February’s UDPR subcommittee meeting. Next meeting February 5, 2018
 - b. Public Facilities & Transportation (PF&T): Eduardo Velasquez Chair, Dennis Campbell Vice Chair – NP Adult Center, 6:00 pm, 2nd Wednesday. PF&T did not meet in February. Next meeting March 14, 2018.
 5. **Liaisons Reports:**
 - a. Balboa Park Committee. Rob Steppke. No meeting due to lack of quorum.
 - b. Maintenance Assessment District. Peter Hill. The following items were approved:
 - i. Cutting 2 new tree wells and installing 2 new street trees at St. Luke’s Church; cost not to exceed (NTE) \$1100
 - ii. Replacing 20 rotted trash can liners on University Ave.; NTE \$600
 - iii. Median work in El Cajon Blvd. medians: accelerated planting of bare areas & mulching. NTE \$20,000
 - iv. Replacement of first solar street light on Boundary St., north of Meade. NTE \$6000
 - v. Spring/second phase of tree well filling program: plant 11 trees. NTE \$3500
 - c. North Park Main Street. Tim Taylor. Reviewed proposal for Drowsy Maggie Street Festival. Also reviewed operating hours for North Park Mini Park.
 - d. Adams Avenue Business Association. Dionne Carlson. No report.
 - e. El Cajon Boulevard Business Improvement Assoc. Dang Nguyen. No report
 - f. Community Review Board for Police Practices. Brandon Hilpert. Measure G is to allow Mayor and City Council to appoint members.
 - g. Election Subcommittee. Will work on putting together Forum event and March 20 election.

VIII. **Future NPPC Meeting Dates & Agenda Items:** Next meeting is Tuesday, March 20, 2018

IX. Meeting adjourned at 9:01 p.m.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title _____ **Project No. For City Use Only** _____
T-Mobile 4220 Arizona

Project Address:
4220 Arizona Street, San Diego, CA 92104

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Signature : _____ Date: _____

Project Title: T-Mobile 4220 Arizona	Project No. (For City Use Only)
---	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? DE Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
WCOT/Broadstone North Park LLC

Owner Tenant/Lessee

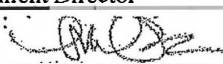
Street Address:
450 Newport Center Drive, Suite 550

City/State/Zip:
Newport Beach, CA 92660

Phone No: _____ Fax No: _____
(949) 706-8487

Name of Corporate Officer/Partner (type or print):
Michael Wilborn

Title (type or print):
Development Director

Signature :  Date: Jun 15, 2017

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____



SD06260A Coverage Map

RF Team San Diego Market





Contents:

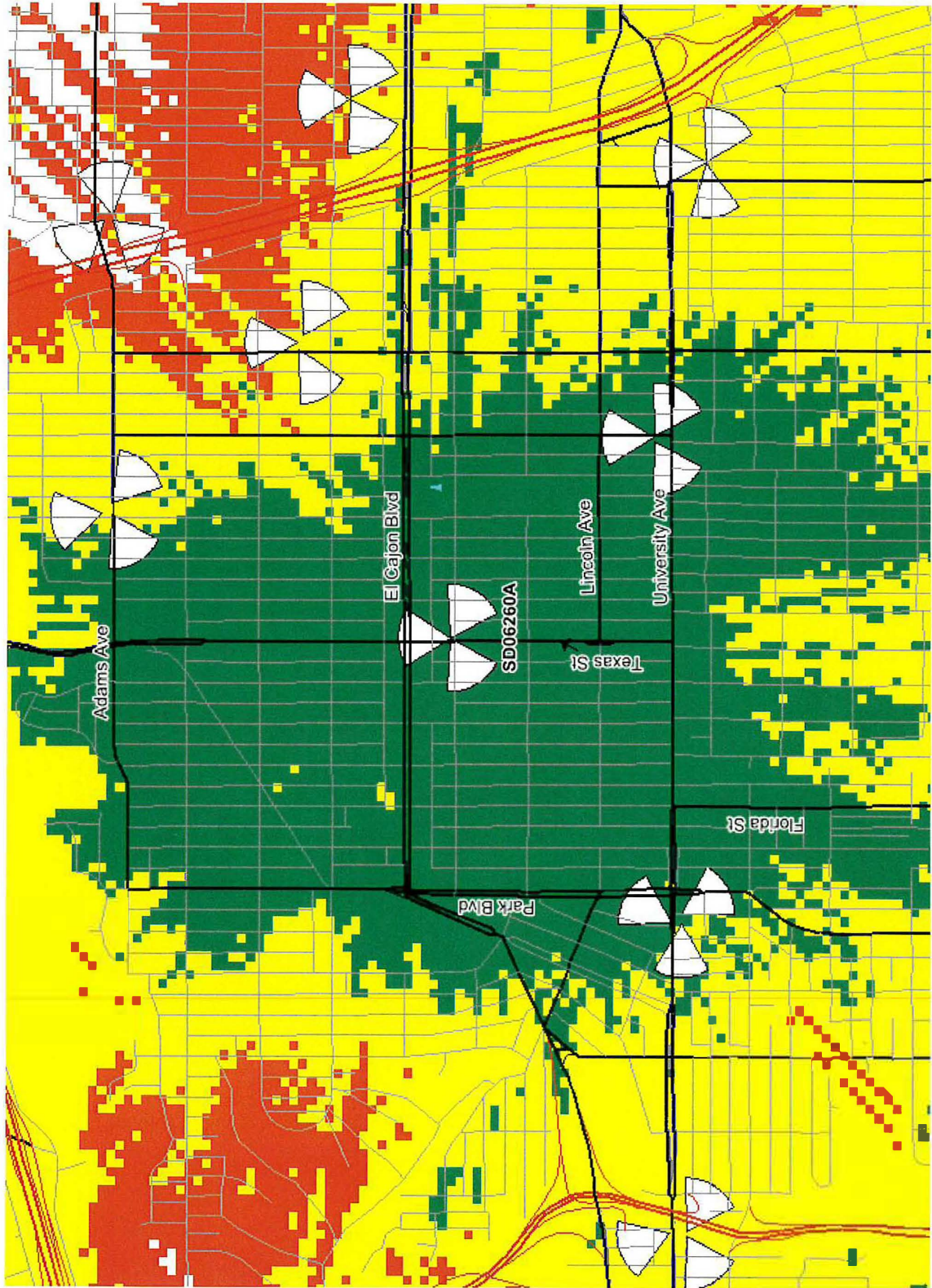
Plots:

- SD06260A coverage
- Existing On-Air sites coverage without SD06260A
- Site with existing On-Air neighbor sites coverage





SD06260A coverage

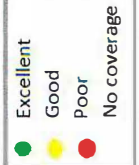
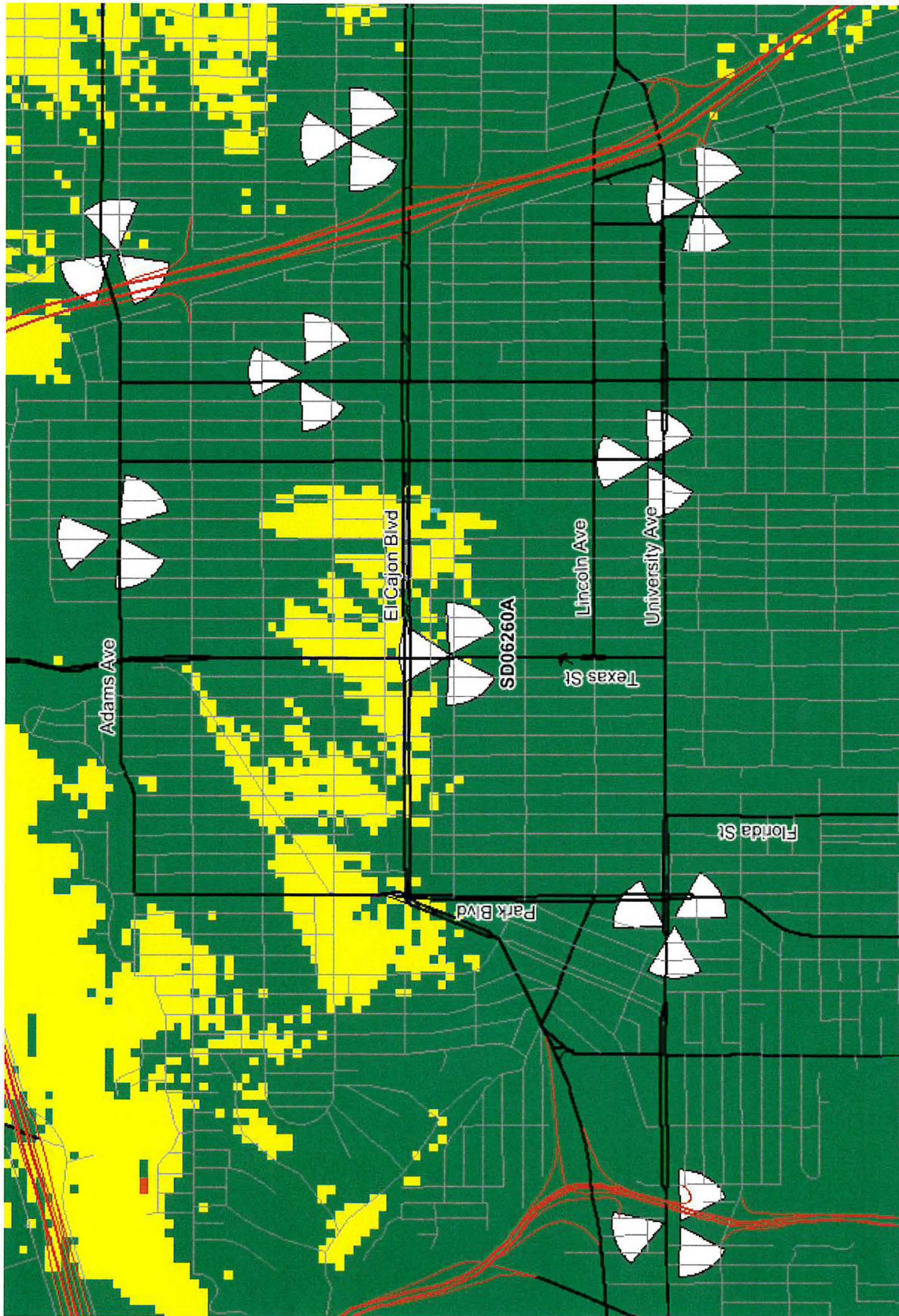


- Excellent
- Good
- Poor
- No coverage



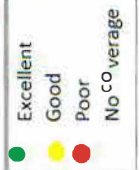
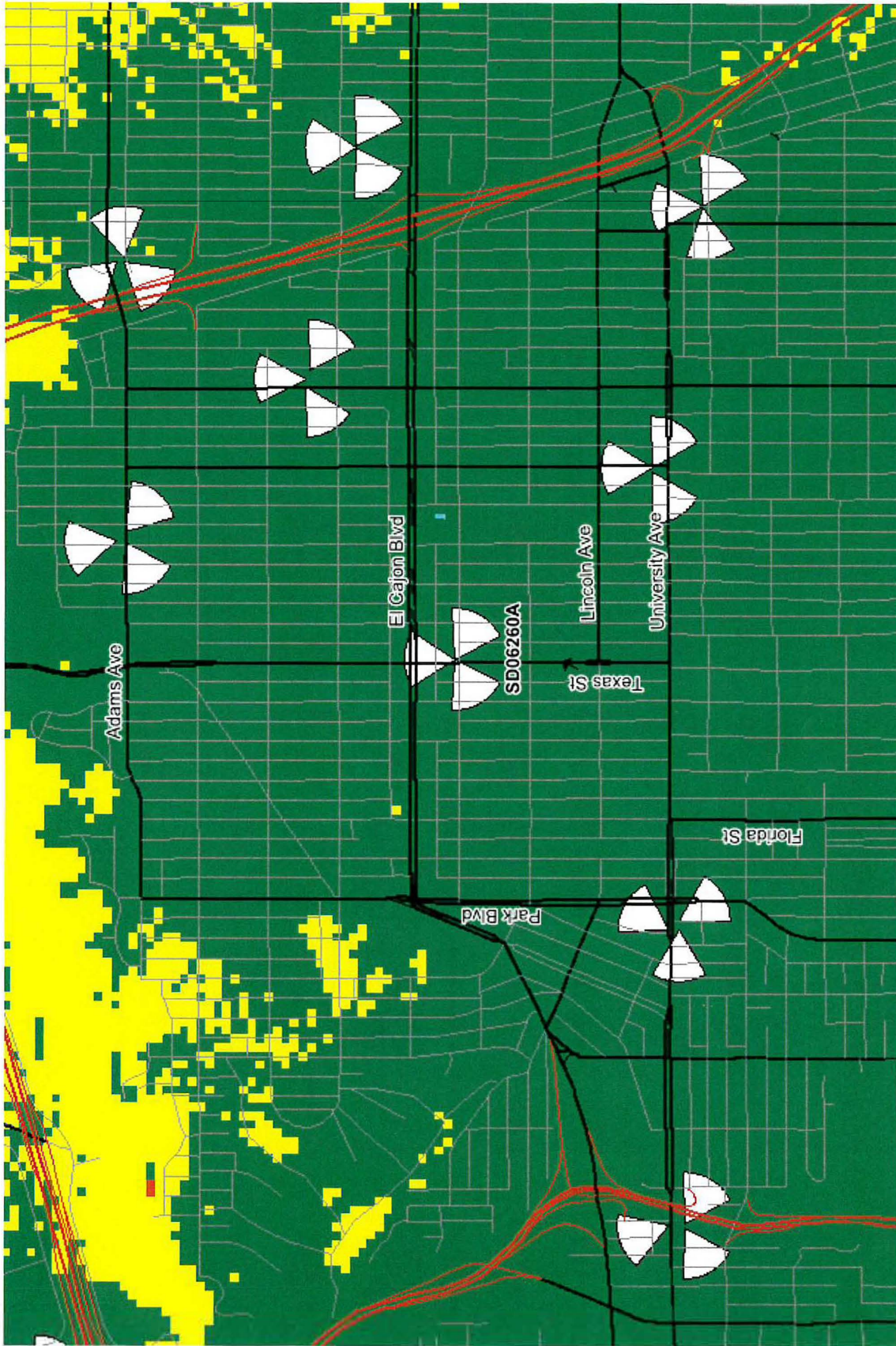


Existing On-Air sites coverage without SD06260A





Site with existing On-Air neighbor sites coverage



KEY MAP

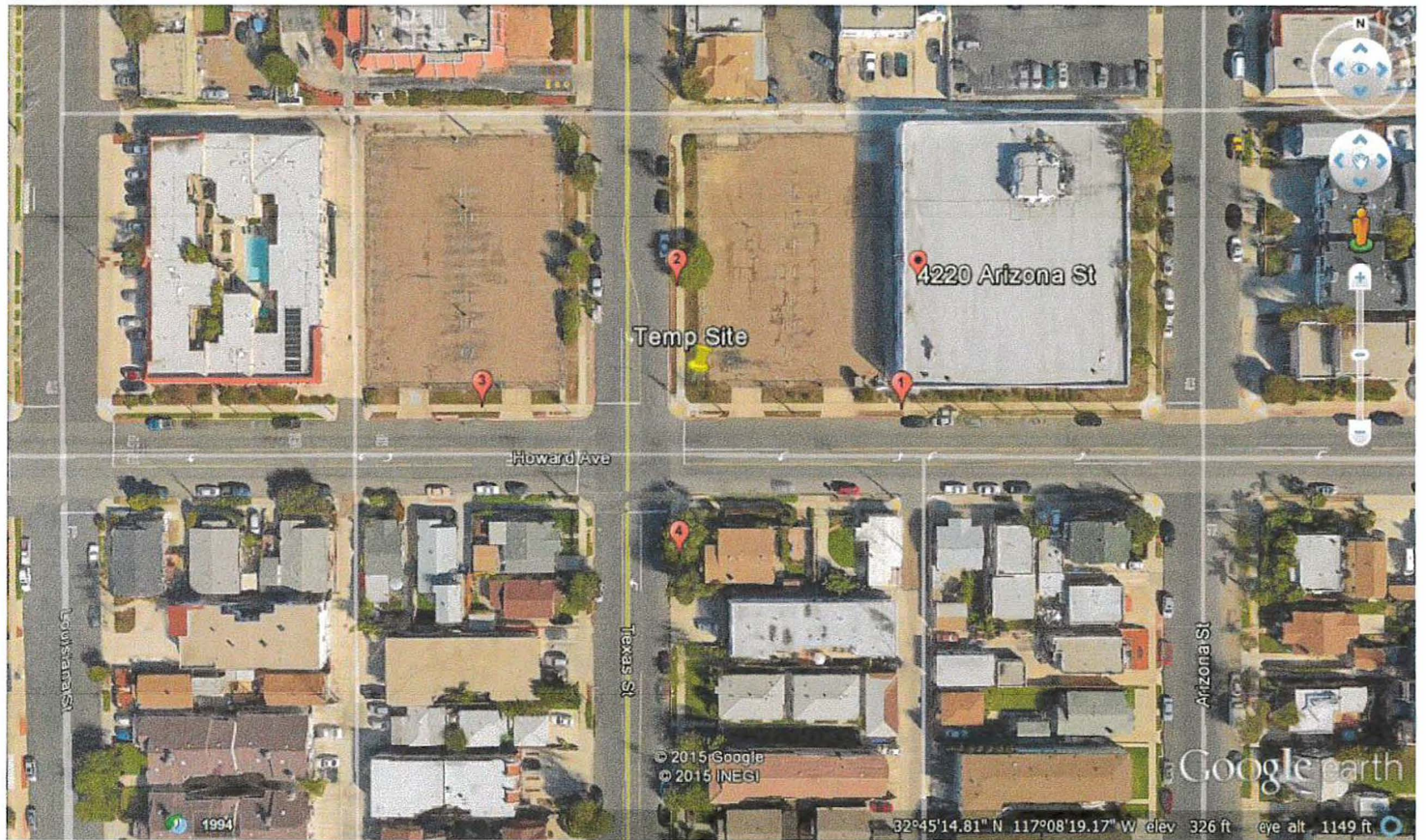


PHOTO 1



PHOTO 1-A



PHOTO 2



PHOTO 2-A



PHOTO 3



PHOTO 3-A



PHOTO 4



PHOTO 4-A



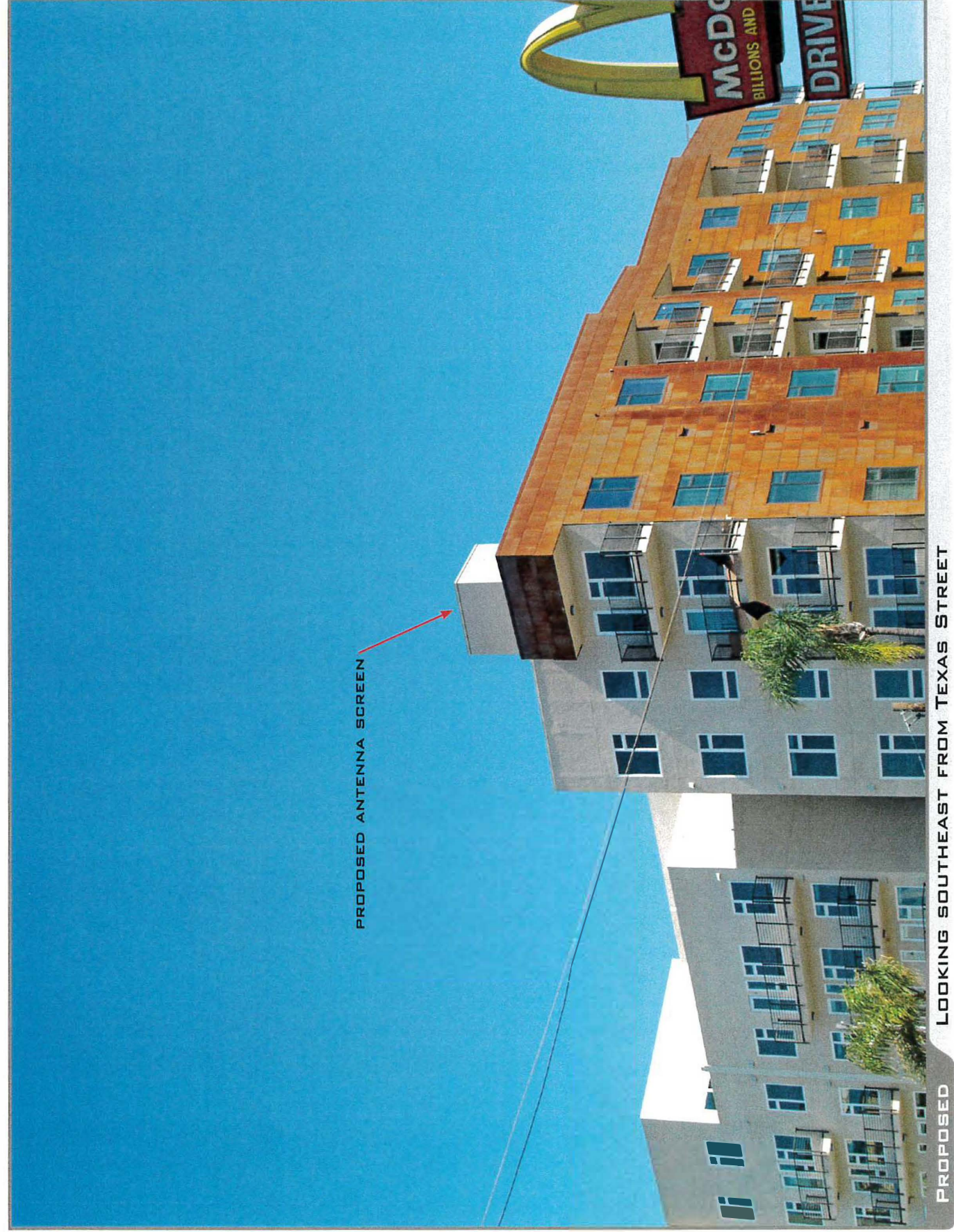
VIEW 1



©2018 Google Maps



EXISTING



PROPOSED ANTENNA SCREEN

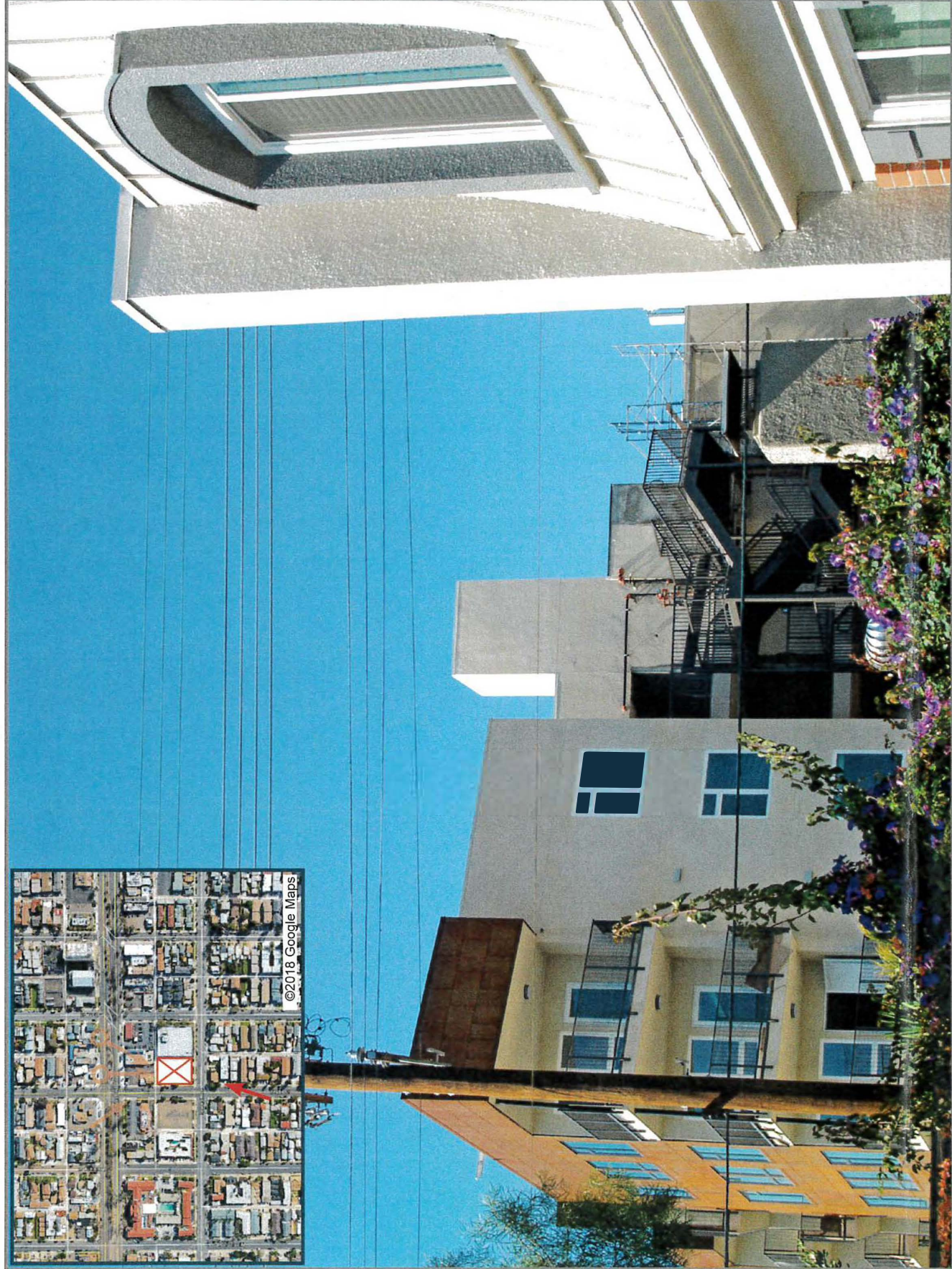
PROPOSED

LOOKING SOUTHEAST FROM TEXAS STREET

VIEW 2



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EXISTING



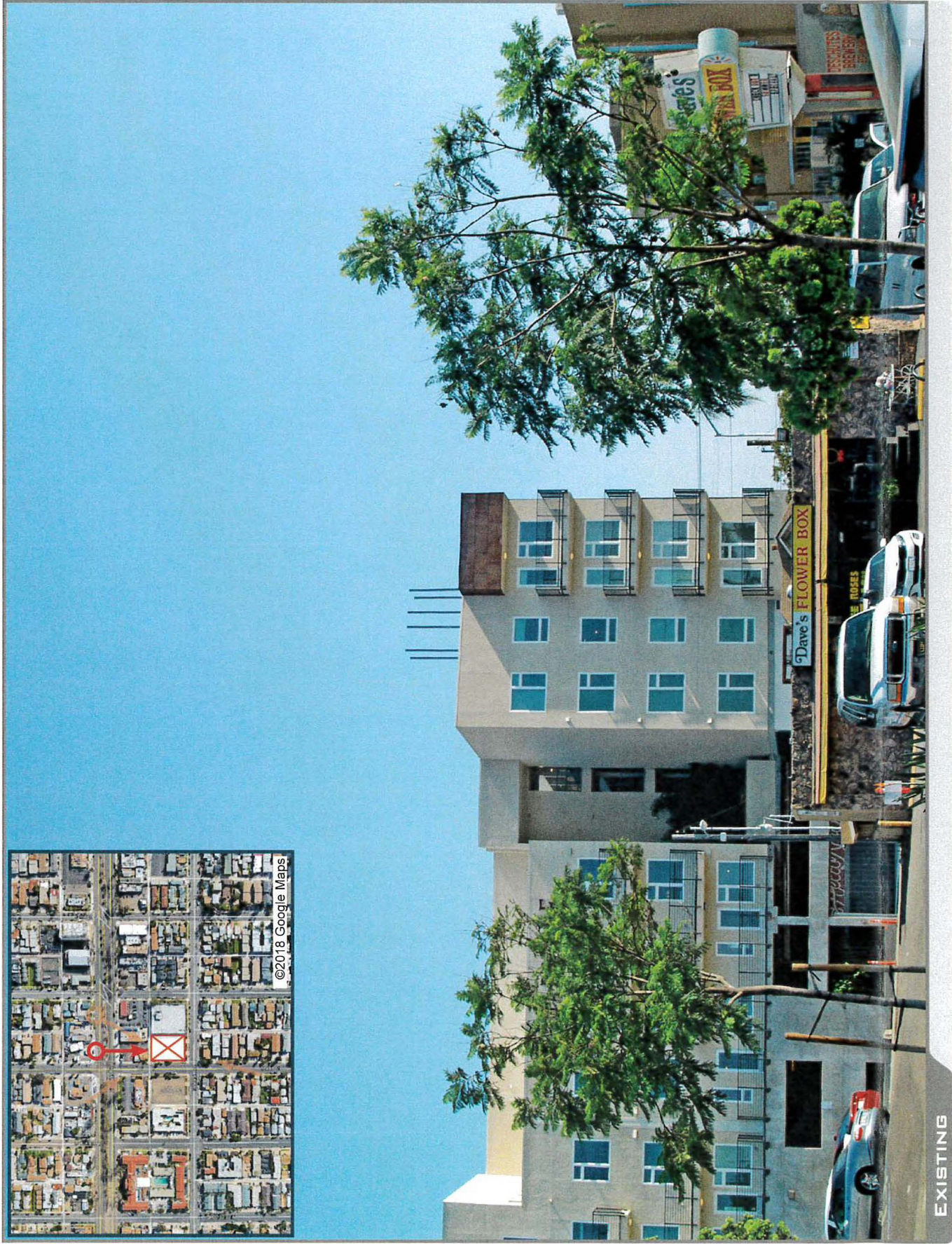
PROPOSED

LOOKING NORTHEAST FROM TEXAS STREET

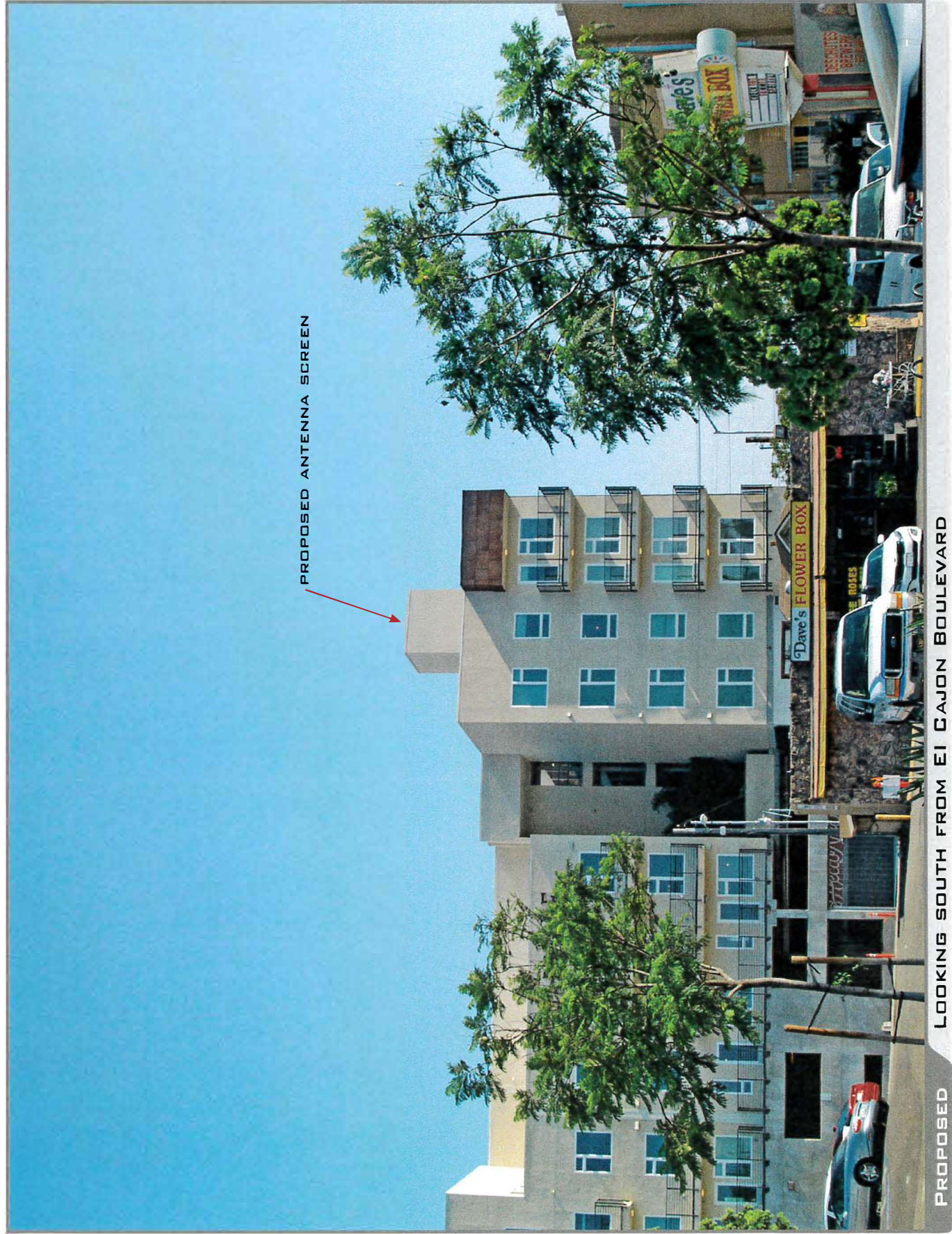
VIEW 3



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EXISTING



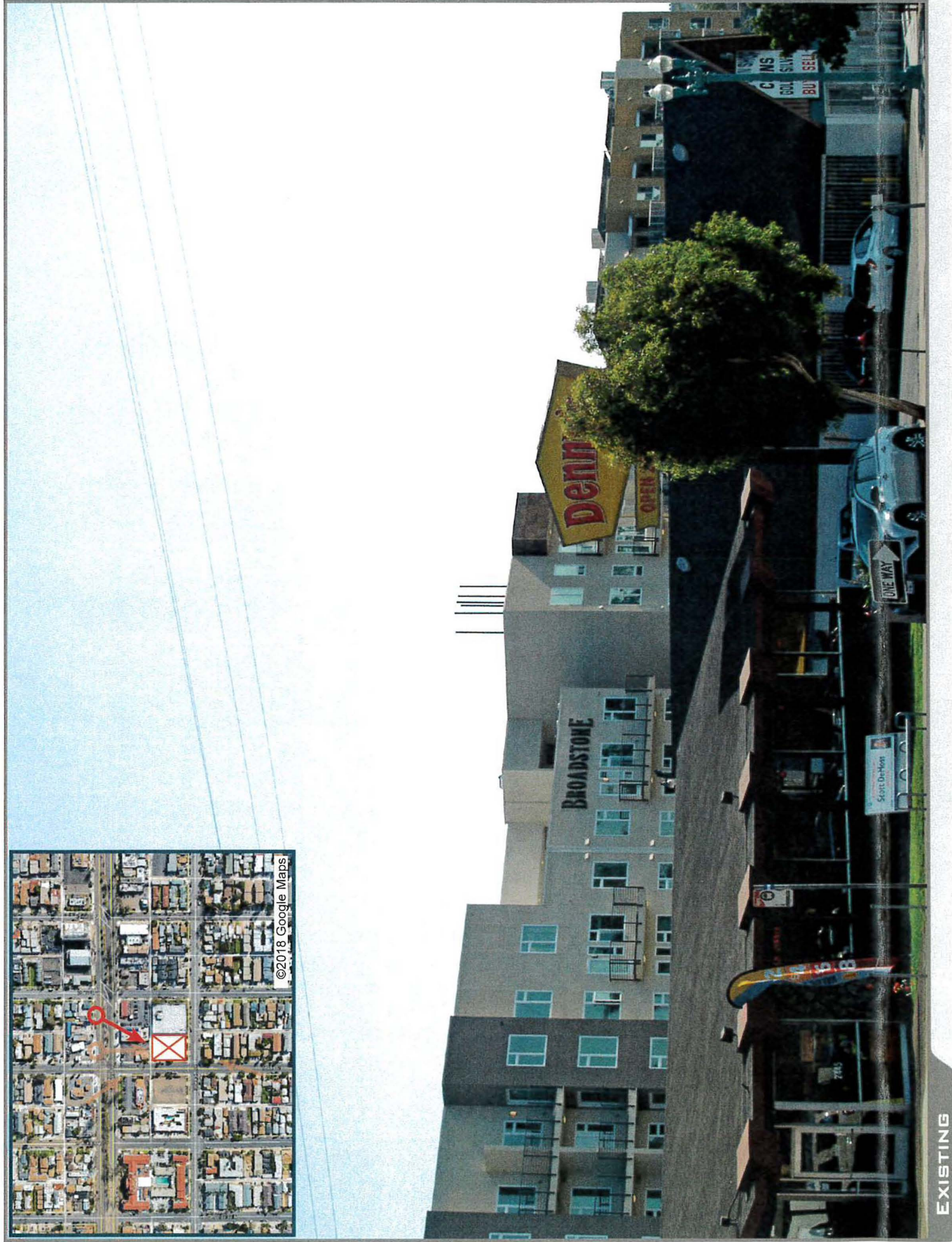
PROPOSED

LOOKING SOUTH FROM EI CAJON BOULEVARD

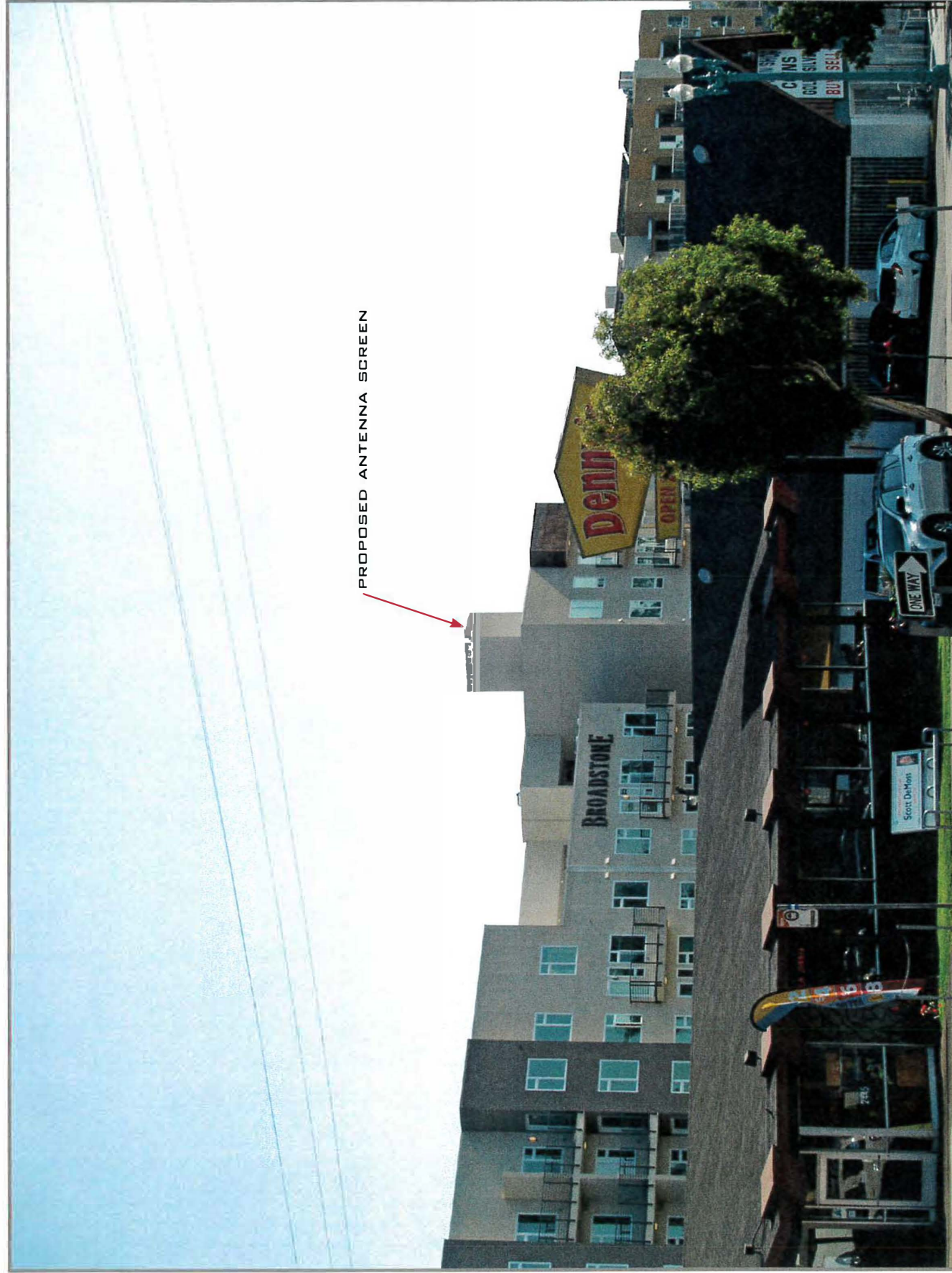


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VIEW 4



EXISTING



PROPOSED ANTENNA SCREEN

PROPOSED

LOOKING SOUTHWEST FROM EI CAJON BOULEVARD

T-Mobile®

Stick Together®

T-Mobile®
Stick Together®
10509 VISTA SORRENTO PARKWAY
SUITE 206
SAN DIEGO, CA 92121

PLANS PREPARED BY:
NATIONAL
ENGINEERING & CONSULTING, INC
27 ORCHARD LAKE FOREST, CA 92630
PHONE: (949) 716-9990 | FAX: (949) 716-9997

CONSULTANT:
smartlink
18401 VON KARMAN AVENUE
SUITE 400
IRVINE, CA 92612
TEL: (949) 861-2201
FAX: (949) 387-1275

SITE NUMBER: SD06260A

SITE NAME: ARIZONA PACIFIC BELL BLDG.

SITE TYPE: ROOF TOP

CITY: SAN DIEGO

COUNTY: SAN DIEGO

JURISDICTION: CITY OF SAN DIEGO

CONSTRUCTION DRAWING

IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE

PROJECT SUMMARY:

SITE ADDRESS:
4220 ARIZONA STREET
SAN DIEGO, CA 92104

PROPERTY OWNER:
WCOT/BROADSTONE NORTH PARK LLC
C/O ALLIANCE RESIDENTIAL COMPANY
450 NEWPORT CENTER DRIVE, SUITE 550
NEWPORT BEACH, CA 92660
CONTACT: MICHAEL WILBORN
PHONE: (949) 706-8487

PROJECT DESCRIPTION:
SITE #SD06260A PROJECT ENTAILS THE FOLLOWING:
- INSTALL (1) NEW T-MOBILE 6102 ODE EQUIPMENT CABINET
- INSTALL (4) NEW T-MOBILE PANEL ANTENNAS
- INSTALL (3) NEW T-MOBILE RRUS11
- INSTALL (1) NEW T-MOBILE FRP SCREEN ENCLOSURES
- INSTALL (2) NEW T-MOBILE FRP SCREEN BOX FACADES
- INSTALL (1) NEW T-MOBILE POWER CABINET
- INSTALL (1) NEW T-MOBILE TELCO CABINET
- INSTALL (6) NEW T-MOBILE LOUVER VENTS
- INSTALL NEW T-MOBILE ROOF MOUNTED CABLE TRAY
- INSTALL NEW T-MOBILE CMU EQUIPMENT ROOM AT BASEMENT PARKING LEVEL

PROPOSED EQUIPMENT LEASE AREA: ±153 SQ. FT.
PROPOSED ANTENNA LEASE AREA: ±64 SQ. FT.

PROPOSED TOTAL LEASE AREA: ±217 SQ. FT.

ZONING: MCCPD-MR-800B
LATITUDE: 32.75455522
LONGITUDE: -117.137948800

LOCATION INFORMATION:
LEGAL DESCRIPTION: LOT 1 AND LOT 2 OF HILLSIDE SQUARE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6200, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 27, 1968.

SHEET INDEX:

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES & SPECIFICATIONS
T-3	GENERAL NOTES & SPECIFICATIONS
T-4	GENERAL NOTES & SPECIFICATIONS
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	EQUIPMENT AND ANTENNA LAYOUT PLANS & RF SCHEDULE
A-4	ARCHITECTURAL ELEVATIONS
A-4.1	ARCHITECTURAL ELEVATIONS
A-5	ARCHITECTURAL ELEVATIONS
A-5.1	ARCHITECTURAL ELEVATIONS
A-6	ARCHITECTURAL DETAILS
A-7	ARCHITECTURAL DETAILS
S-1	STRUCTURAL SITE PLAN
S-2	EQUIPMENT ROOM AND FRP SCREENS PLAN VIEWS
SE-1	STRUCTURAL ISOMETRIC AND ELEVATIONS
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS
SD-4	STRUCTURAL DETAILS



PARKING SUMMARY

	P1 LEVEL	L1 LEVEL	TOTAL
ASSIGNED RESIDENT PARKING			
ACCESSIBLE - CAR ONLY	2	1 (EV)	3
ACCESSIBLE - VAN	1	2	1
NON ACCESSIBLE	77	69	144
VISITOR PARKING - RESIDENT (MIN. 1 PER 30 DWELLING UNITS)			
ACCESSIBLE - CAR ONLY	0	0	0
ACCESSIBLE - VAN	1	0	1
NON ACCESSIBLE	4	0	4
STAFF & PROSPECTIVE TENANT PARKING			
ACCESSIBLE - CAR ONLY	0	0	0
ACCESSIBLE - VAN	0	1	1
NON ACCESSIBLE	5	0	5
ELECTRIC VEHICLE CHARGING SPACES (MIN. 3% OF TOT. PKG)	4	1 (INC IN ACCESSIBLE ABOVE)	5
U.S. POSTAL SERVICE ONLY	1	0	1
TOTAL	95	71	166
NON ACCESSIBLE	5	0	5

	P1 LEVEL	L1 LEVEL	TOTAL
MOTORCYCLE PARKING ¹ (1 PER DWELLING UNIT=12 REOD.)	13	0	13
BICYCLE PARKING ²			
3 PER STUDIO = 3x19 = 6			
4 PER 1 BDRM = 4x59 = 24			
5 PER 2 BDRM = 5x40 = 20			
TOTAL REOD. = 50			
INDOOR (BIKE STORAGE ROOM)	60	0	60
EXTERIOR	15	5	20

NO.	DATE:	DESCRIPTION:	BY:
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
5	08/09/17	100% CD	AE
6	09/07/17	CLIENT REVISIONS	CN
7	03/15/18	CLIENT REVISIONS	NT
8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
11	10/17/18	PLANNING REVISIONS	AG

SD06260A
ARIZONA PACIFIC BELL BLDG.
4220 ARIZONA STREET
SAN DIEGO, CA 92104

CONSULTING TEAM:

PROJECT MANAGER:
T-MOBILE USA
10509 VISTA SORRENTO PARKWAY
SUITE 206
SAN DIEGO, CA 92121
CONTACT: JOEY ROSE
PHONE: (858) 334-6112
EMAIL: joseph.rose41@T-Mobile.com

ARCHITECTURAL ENGINEERING:
NATIONAL ENGINEERING & CONSULTING, INC.
27 ORCHARD LAKE FOREST, CA. 92630
PHONE: (949) 716-9990
FAX: (949) 716-9997

SITE ACQUISITION:
SMARTLINK
18301 VON KARMAN AVE., STE 910
IRVINE, CA 92612
CONTACT: ADAM STONE
PHONE: (734) 904-3390
EMAIL: adam.stone@smartlinkllc.com

ZONING:
SMARTLINK
18301 VON KARMAN AVE., STE 910
IRVINE, CA 92612
CONTACT: ADAM STONE
PHONE: (734) 904-3390
EMAIL: adam.stone@smartlinkllc.com

RF ENGINEER:
T-MOBILE USA
10509 VISTA SORRENTO PARKWAY
SUITE 206
SAN DIEGO, CA 92121
CONTACT: CHERYL CHEN
PHONE: (858) 334-6124
EMAIL: cheryl.chen@T-Mobile.com

CONSTRUCTION MANAGER:
T-MOBILE USA
10509 VISTA SORRENTO PARKWAY
SUITE 206
SAN DIEGO, CA 92121
CONTACT: KIRT BABCOCK
PHONE: (858) 334-6139
EMAIL: kirt.babcock@T-Mobile.com

APPROVALS:

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL CONSTRUCTION DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND ANY CHANGES AND MODIFICATIONS THEY MAY IMPOSE.

	PRINT NAME	SIGNATURE	DATE
LANDLORD			
ZONING REP.			
DEVELOP. MGR			
CONST. MGR			
PROJECT MGR			
ZONING MGR.			
RF ENGINEER			
OPERATIONS			
SAC REP.			

DIRECTIONS FROM SAN DIEGO T-MOBILE OFFICE:

- START OUT GOING NORTHWEST ON VISTA SORRENTO PKWY.
- MAKE A U-TURN ONTO VISTA SORRENTO PKWY.
- TURN RIGHT ONTO MIRA MESA BLVD.
- MERGE ONTO I-805 S.
- TAKE THE EL CAJON BLVD EXIT, EXIT 16.
- TURN SLIGHT RIGHT ONTO EL CAJON BLVD.
- TURN LEFT ONTO ARIZONA ST.

DESTINATION WILL BE ON THE RIGHT
4220 ARIZONA ST
SAN DIEGO, CA 92104

APPLICABLE CODES

- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.
- 2016 CALIFORNIA ADMINISTRATIVE CODE.
 - 2016 CALIFORNIA BUILDING CODE (CBC).
 - 2016 CALIFORNIA ELECTRICAL CODE (CEC).
 - 2016 CALIFORNIA ENERGY CODE.
 - 2016 CALIFORNIA MECHANICAL CODE (CMC).
 - 2016 CALIFORNIA PLUMBING CODE (CPC).
 - ANSI/TIA-222-G LIFE SAFETY CODE NFPA-101
 - LOCAL BUILDING CODE.

PARKING:
19 STUDIOS x 0.75 / UNIT = 14.25
59 ONE BEDROOM UNITS x 0.75 / UNIT = 44.25
40 TWO BEDROOM UNITS x 1.75 / UNIT = 70.00
TOTAL REQUIRED: 129.0
TOTAL PROVIDED: 166.0
SEE PARKING SUMMARY ABOVE FOR FURTHER DETAIL

LANDSCAPE AREA:
4,200 SF. (AT GRADE)

TOTAL AREA OF DISTURBANCE:
52,533 SF. (1.21 ACRES)

POWER & TELCO UTILITY CONTACTS

POWER: POWER COMPANY: SDG&E
CONTACT: PHONE:
TELCO: PHONE COMPANY: AT&T
CONTACT: PHONE:



SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ABBREVIATIONS

AB ANCHOR BOLT	AC ASPHALTIC CONCRETE	ADJ AIR CONDITIONING	A.F.F. ADJUSTABLE	ARCH ABOVE FINISH FLOOR	APPROX ARCHITECTURAL APPROXIMATELY	A.G.L. ABOVE GRADE LEVEL	A.M.S.L. ABOVE MEAN SEA LEVEL	BD BOARD	BLDG BUILDING	BLKG BLOCKING	BSMT BOTTOM	BSMT BASEMENT	BTS BASE TRANSCIVER STATION	C COURSE(S)	CEM CEMENT	CL CHAIN LINK	CLG CLEAN	CLR COLUMN	COL CONCRETE	CONC CONSTRUCTION	CONT CONTINUOUS	CORR CORRIDOR	CO CONDUIT ONLY	DIA DIAMETER	DEPT DEPARTMENT	DEMO DEMOLITION	DN DOWN	DR DOOR	DTL DETAIL	DWG DRAWING	(E) EXISTING	EA EACH	ELEC ELECTRIC	ELEV ELEVATION	EQUIP EQUIPMENT	EXP EXPANSION	EXT EXTERIOR	FA FIRE ALARM	FB FLAT BAR	FF FINISH FLOOR	FH FLAT HEAD	FIN FINISH(ED)	FLR FLOOR	FOS FACE OF STUDS	FS FINISH SURFACE	FT FOOT, FEET	FTG FOOTING	FW FINISH WALL	F.G. FINISH GRADE	FUT FUTURE	GA GAUGE	GALV GALVANIZED	GL GLASS	OR GRADE	GYP GYPSUM	GFCI GROUND FAULT CIRCUIT INTERRUPT	GND GROUND	HC HOLLOW CORE	HW HARDWARE	HTR HEATER	HM HOLLOW METAL	HORIZ HORIZONTAL	HR HOUR	HSS HOLLOW STRUCTURAL SECTION	HT HEIGHT	HV HIGH VOLTAGE	ID INSULATION	INS INTERIOR	JT JOINT	LAM LAMINATED	LBS LIGHT	LA LIGHTNING ARRESTOR	LNA LOW NOISE AMPLIFIER	MFR MANUFACTURER	MAT MATERIAL	MAX MAXIMUM	MECH MECHANICAL	MIN MINIMUM	MISC MISCELLANEOUS	ML METAL LATH	MO MASONRY OPENING	MS MACHINE SCREW	MTD MOUNTED	MTL METAL	(N) NEW	NIC NOT IN CONTRACT	NO NUMBER	NTS NOT TO SCALE	OA OVERALL	O.C. ON CENTER	OPNG OPENING	OPP OPPOSITE	PARTN PARTITION	PL PLATE	PLAS PLASTER	PLYWOOD PLYWOOD	POC POINT OF CONNECTION	PROP PROPERTY	PT PRESSURE TREATED	R RISER	REOD REQUIRED	RD ROOM	RMS ROOMS	RO ROUGH OPENING	SC SOLID CORE	SCHED SCHEDULE	SECT SECTION	SHEET SHEET	SIM SIMILAR	SPECS SPECIFICATIONS	SS STAINLESS STEEL	STL STORAGE	STRUC STRUCTURAL	SUSP SUSPENDED	SWP SWITCH	SWBO SWITCHBOARD	THK THICK	TI TENANT IMPROVEMENT	TMA TOWER MOUNTED AMPLIFIER	TOS TOP OF SURFACE	TS TUBE STEEL	TYP TYPICAL	UNO UNLESS NOTED OTHERWISE	VCT VINYL COMPOSITION TILE	VERT VERTICAL	V.I.F. VERIFY IN FIELD	VG VERTICAL GRAIN	W/ WITH	WD WOOD	WR WATER RESISTANT	WT WEIGHT	XFMR TRANSFORMER	@ AT	CH CHANNEL	CL CENTERLINE	ANGLE ANGLE	R PROPERTY LINE
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SYMBOLS:

	SECTION NUMBER	— — — — —	BUILDING SECTION REFERENCE
	SHEET NUMBER	— — — — —	DETAIL REFERENCE
	SECTION NUMBER	— — — — —	DETAIL SECTION REFERENCE
	SHEET NUMBER	— — — — —	EXTERIOR ELEVATION REFERENCE
①	KEY NOTE REFERENCE	— — — — —	PROPERTY LINE
X	DOOR NUMBER	— X — X — X	FENCING
XX	AREA AND/OR ROOM NUMBER	— e — e — e	ELECTRICAL SERVICE
	MECHANICAL UNIT	— T — T — T	TELCO SERVICE
		— e/T — e/T	ELECTRICAL/TELCO SERVICE

GENERAL

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE BUILDING CODE AND ALL OTHER GOVERNING CODES. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT/ENGINEER.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK. WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, UTILITIES SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT/HIRED DRAWINGS TO THE ARCHITECT/ENGINEER AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON, NOR PROVIDE DIRECTION, AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT. FURTHER, THE STRUCTURE IS DESIGNED AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT(S).
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF LOAD IMPOSED ON THE STRUCTURE AND STRUCTURE DURING CONSTRUCTION. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT. THE CONTRACTOR SHALL ALSO RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FRAMING, BACKING, HANGERS, BLOCKING OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE FIRE MARSHALL APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
- WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUGE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO BID TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWING (SHEET L-1), SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY, THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID. THIS INCLUDES THAT THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY DEVIATION FROM THE PLANS BY THE PROFESSIONAL'S OF RECORD REVIEW OF SHOP DRAWINGS, PRODUCT DATA, ETC. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATION IN WRITING AT THE TIME OF SUBMISSION, AND THE PROFESSIONAL OF RECORD HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- ANY REFERENCE TO THE WORDS "APPROVED" OR "APPROVAL" IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- STAIR TRENDS SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2-INCHES WIDE AND PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP. ALL TREAD SURFACES SHALL BE SLIP RESISTANCE. NOSING SHALL NOT PROJECT MORE THAN 1-1/2 INCHES PAST THE FACE OF THE RISER BELOW.

SITE PREPARATION NOTES:

- THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BROKEN CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
- ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED SOIL OR APPROVED COMPACTED FILL. FOOTINGS SHALL EXTEND INTO SOIL DEPTH INDICATED ON DETAILS.
- SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER DANGEROUS CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW FOUNDATION, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
- THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR POCKETS OF SOFT OR UNSUITABLE MATERIAL, EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
- PROOFROLL THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDEM AXLE DUMP TRUCK. REMOVE ALL SOLES WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
- FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL. PLACE IN 8" LOOSE LIFTS AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698. COMPACT TO A MINIMUM OF 90% RELATIVE COMPACTION. ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO PONDING OCCURS AFTER THESE RECOMMENDATIONS ARE APPROVED BY THE ARCHITECT/ENGINEER.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.

SUBMITTALS

SUBMITTALS: SUBMITTALS FOR SHOP DRAWINGS, MILL TESTS, PRODUCT DATA, ETC. FOR ITEMS DESIGNED BY THE ARCHITECT/ENGINEER OF RECORD SHALL BE MADE TO THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE SUBMITTAL BEFORE FORWARDING TO THE ARCHITECT. SUBMITTALS SHALL BE MADE IN TIME TO PROVIDE A TWO-WEEK REVIEW PERIOD FOR THE ARCHITECT/ENGINEER. SUBMITTALS REQUIRED FOR EACH SECTION OF THESE NOTES ARE SPECIFIED IN THAT SECTION.

SHOP DRAWING REVIEW

REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MARKINGS OR COMMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, NOR DEPARTURES THEREFROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATION PROCESSES, ETC. WHEN SHOP DRAWINGS DIFFER FROM OR ADD TO THE REQUIREMENTS OF THE STRUCTURAL DRAWINGS THEY SHALL BE DESIGNED AND STAMPED BY A SPECIALTY STRUCTURAL ENGINEER (SSE)

FIRE DEPARTMENT NOTES

- SCHEDULE REQUIRED FINAL FIRE DEPARTMENT INSPECTION 2 DAYS IN ADVANCE.
- A UNIFORM FIRE CODE PERMIT TO OPERATE BATTERY SYSTEMS WITH STATIONARY LEAD-ACID BATTERIES MAY BE REQUIRED AND ISSUED BY FIRE INSPECTOR.
- AN APPROVED METHOD TO NEUTRALIZE SPILLED ELECTROLYTE SHALL BE PROVIDED IN THE BATTERY ROOM (IF APPLICABLE).
- LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE UNIFORM FIRE CODE STANDARD 10-1 AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE FIRE INSPECTOR.
- CONTRACTOR SHALL POST PERMANENT SIGNAGE IN A CONSPICUOUS LOCATION AT THE SITE IDENTIFYING WHOM SHOULD BE CALLED IN AN EMERGENCY WITH PHONE NUMBERS AND SITE-IDENTIFYING INFORMATION (SUCH AS ADDRESS, SITE #, ETC.) FOR FIRE DEPARTMENT EMERGENCY USE.
- A HAZARDOUS MATERIALS IDENTIFICATION SIGN IS REQUIRED FOR ALL ENTRANCES INTO BATTERY STORAGE AREAS. LETTERS MUST BE 1" IN HEIGHT AND IN A COLOR WHICH CONTRASTS WITH THE BACKGROUND OF THE SIGN AND LIST THE FOLLOWING: "BATTERY CABINET, LEAD ACID BATTERIES INSIDE".
- PROVIDE 2A-40BC FIRE EXTINGUISHER, OR OTHER EQUIVALENT, IN RECESSED OR SEMI-RECESSED CABINET MOUNTED AT 48" AFF MAXIMUM TO TOP OF CABINET. IF CONSTRUCTION MATERIALS ARE NOT AMENABLE TO RECESSED CABINET SURFACE MOUNTED CABINETS MAY BE APPROVED. CABINETS SHALL HAVE AN OPENABLE DOOR THAT DOES NOT REQUIRE BREAKAGE OF GLASS. EXTINGUISHERS SHALL BE HUNG ON THEIR HOOKS IN THE CABINETS.

FLASHING AND SHEET METAL

- ALL FLASHING, COUNTER FLASHING, COPING AND ALL OTHER SHEET METAL SHALL BE OF NOT LESS THAN NO. 20 U.S. GAUGE CORROSION-RESISTANT METAL. U.N.O. ALL METAL MUST BE GALVANIZED AFTER FABRICATION.
- FLASH AND COUNTER FLASH AT ALL ROOF TO WALL CONDITIONS. G.J. FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOFING, WHICH CONFORMS TO THE STANDARDS OF LOCAL AND STATE CODES.
- ALL CONNECTIONS TO BUILDING WALLS OR ROOFS MUST BE FLASHED AND MADE WATERTIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. CONTRACTOR SHALL OBTAIN DETAILING CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ARCHITECT/ENGINEER. IF NECESSARY, BEFORE PROCEEDING. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE.

PAINTING

- THE CONTRACTOR SHALL PREPARE SURFACES, FURNISH ALL PAINT, MATERIAL, LABOR AND EQUIPMENT FOR THE PAINTING OF ALL SURFACES AS REQUIRED.
- ALL PAINTS TO BE APPLIED IN WORKMANLIKE MANNER. AT COMPLETION, REMOVE ALL MATERIALS AND DEBRIS CAUSED BY THIS CONTRACTOR. ALL FLOORS, GLASS, HARDWARE, FRAMES, FIXTURES, ETC SHALL BE THOROUGHLY CLEANED OF PAINT.
- ALL STEEL COLUMNS AND MISC. METALS SHALL BE PRIMED AND PAINTED.
- FIRE PREVENTION: TAKE EVERY PRECAUTION AT THE END OF THE DAY TO REMOVE OILY RAGS AND COMBUSTIBLE MATERIALS FROM THE SITE OR STORE IN METAL CONTAINER WITH TIGHT COVERS.
- FINAL TEXTURE & COLOR PER OWNER'S INSTRUCTIONS.
- SHOP PAINTING: CONFORM TO AISC SPECIFICATION SEC 12 AND AISC CODE SEC. 6.5. DO NOT PRIME SURFACES TO BE FIREPROOFED, IN CONTACT WITH CONCRETE, OR FIELD WELDED. STEEL WORK TO BE CONCEALED BY INTERIOR BUILDING FINISHES OR IN CONTACT WITH CONCRETE DOES NOT REQUIRE PAINTING. ALL OTHER STEEL WORK SHALL BE GIVEN ONE COAT OF SHOP PAINT.
- ALL VISIBLE ANTENNAS, ANTENNA SUPPORT STRUCTURES, CABLE TRAYS, EQUIPMENT MUST BE PAINTED TO BLEND WITH SURROUNDING ELEMENTS - U.N.O.

GYP BOARD SHEA THINGNOTES

- 5/8" TYPE "X" FIRE RESISTANT TAPERED EDGE BOARDS SHALL BE USED WHERE REQUIRED FOR RATED FIRE PROTECTION.
- CORNER BEADS: STANDARD WALLBOARD CORNER BEADS MANUFACTURED OF GALVANIZED STEEL WITH FIRE FORMED FLANGES, ANSI-CB-FF.
- EDGE TRIM OR CASTING: STANDARD WALLBOARD EDGE TRIM 126 MANUFACTURED OF GALVANIZED STEEL WITH PERFORATED FLANGES, ANSI-US, SQUARE NOSE, SIZE AS REQUIRED FOR THICKNESS OF WALLBOARD.
- FASTENERS: 1-1/4" USG OR EQUAL TYPE W BUGLE HEAD DRYWALL SCREWS, 1-1/4" GWB-54 ANNULAR RING NAILS, OR 1-5/8" COOLER NAILS.
- INSTALLATION SHALL CONFORM TO REQUIREMENTS OF GYPSUM ASSOCIATION "CA-216-78R". ELECTRICAL BOX AND OTHER ROUGH-IN OPENINGS MUST BE CLEANED OF EXCESS SPACKLE BEFORE PAINTER STARTS. USE METAL CORNER BEAD ON OUTSIDE CORNERS. USE METAL EDGE BEAD ON UNEXPOSED EDGES. BENT OR RUSTY MATERIAL IS NOT ACCEPTABLE. SPACKLED AREAS SHALL BE SANDED SMOOTH AND EVEN.
- DRYWALL TEXTURE SHALL BE SPRAY-ON SPATIER/KNOCKDOWN TYPE.
- TAPING AND FINISHING: APPLY JOINT TAPE AND JOINT COMPOUND AT JOINTS (BOTH DIRECTIONS). APPLY COMPOUND AT NECESSARY FLANGES, PENETRATIONS, FASTENERS, HEADS AND SURFACE DEFECTS. INSTALL COMPOUND IN 3 COATS, SANDING AFTER EACH OF LAST 2 COATS.
- WALLS AND CEILINGS SHALL BE PRIMED AND PAINTED WITH (2) COATS OF FRAZEE SEMI-GLOSS PRIOR TO WALL ATTACHMENT OF ANY EQUIPMENT OR ELECTRICAL CONDUITS. (U.N.O.)

ACCESSIBILITY NOTE

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN ON THESE PLANS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2016 CALIFORNIA BUILDING CODE SECTION 1105B.3.4, EXCEPTION 1, THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

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Stick Together
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NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
5	08/09/17	100% CD	AE
6	09/07/17	CLIENT REVISIONS	CN
7	03/15/18	CLIENT REVISIONS	NT
8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:

SD06260A
ARIZONA PACIFIC BELL
BLDG.

4220 ARIZONA STREET
SAN DIEGO, CA 92104

SEAL:

SHEET TITLE:

GENERAL NOTES & SPECIFICATIONS

SHEET NUMBER:

T-2

FRAMING

- ALL LUMBER SHALL BE GRADE MARKED DOUGLAS FIR-LARCH AND SHALL HAVE THE FOLLOWING MINIMUM GRADES:
JOISTS AND RAFTERS #1
BEAMS AND STRINGERS #1
PLATES #2
STUDS (2X4, 3X4, 2X6) #1
POSTS, COLUMNS AND TIMBER #1
- ALL FRAMING EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION SPECIFICATIONS. WHERE POSSIBLE, ALL CUTS AND HOLES SHOULD BE COMPLETED BEFORE TREATMENT. CUTS AND HOLES DUE TO ON-SITE FABRICATION SHALL BE BRUSHED WITH 2 COATS OF COPPER NAPHTHENATE SOLUTION CONTAINING A MINIMUM OF 2% METALLIC COPPER IN SOLUTION (PER AWWA STD. M4).
- CUTTING OR NOTCHING OF WOOD STUDS OR PLATES SHALL NOT EXCEED 25% OF THE STUD/PLATE WIDTH AT EXTERIOR OR BEARING WALLS AND SHALL NOT EXCEED 40% OF THE STUD/PLATE WIDTH IN NONBEARING PARTITIONS. BORED HOLE DIAMETERS ARE LIMITED TO 40% OF THE STUD WIDTH IN ANY STUD AND MAY BE 60% IN NONBEARING PARTITIONS OR WHEN THE BORED STUD IS DOUBLED.
- DO NOT NOTCH JOISTS, RAFTERS, OR BEAMS EXCEPT WHERE SHOWN ON THE DETAILS. BORED HOLES THROUGH JOISTS SHALL NOT EXCEED 1/3 OF MEMBER DEPTH AND BE LOCATED AT LEAST 2" FROM THE TOP AND BOTTOM OF THE MEMBER.
- ALL BLOCKING AND BRIDGING SHALL BE PROVIDED AS REQUIRED PER GOVERNING CODE OR STANDARD OF PRACTICE.
- ALL JOIST, RAFTER & MISC. FRAMING SHALL HAVE FULL-DEPTH (OR METAL) BRIDGING AT ALL SUPPORTS, MIDSPAN AND AT A MAXIMUM SPACING OF 8" O/C OR IN BETWEEN UNLESS NOTED OTHERWISE.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS THAT ARE PARALLEL TO JOISTS. USE 2-16D NAILS AT 16" O.C. TO NAIL DOUBLE JOISTS TOGETHER.
- THE CONTRACTOR SHALL CAREFULLY SELECT LUMBER TO BE USED IN LOADBEARING APPLICATIONS. THE LENGTH OF SPLIT ON THE WIDE FACE OF 2" NOMINAL LOADBEARING FRAMING SHALL BE LIMITED TO LESS THAN 1/2 OF THE WIDE FACE DIMENSION. THE LENGTH OF SPLIT ON THE WIDE FACE OF 3" (NOMINAL) AND THICKER LUMBER SHALL BE LIMITED TO 1/2 OF THE NARROW FACE DIMENSION.
- BOLT HOLES SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE WASHERS BETWEEN BOLT HEADS OR NUTS AND WOOD. BOLTED CONNECTIONS SHALL BE SNUGGED TIGHT BUT NOT TO THE EXTENT OF CRUSHING WOOD UNDER WASHERS.
- ALL BOLTS SHALL BE RE-TIGHTENED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC. AND BEFORE CLOSING IN COMPLETION OF THE JOB.
- PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS AND OTHER ACCESSORIES SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL. INSTALL ALL ACCESSORIES PER THE MANUFACTURER'S REQUIREMENTS. ALL STEEL SHALL HAVE A MINIMUM THICKNESS OF 0.04 INCHES (PER ASTM A446, GRADE A) AND BE GALVANIZED (COATING G60).
- STRUCTURAL STEEL PLATE CONNECTORS SHALL CONFORM TO ASTM A-36 SPECIFICATIONS AND BE 1/4" THICK UNLESS OTHERWISE INDICATED.
- ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS, AND OTHER MISCELLANEOUS HARDWARE THAT ARE EXPOSED OR IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIP GALVANIZED.
- BOLTS IN WOOD SHALL BE A MINIMUM OF 7 BOLT DIAMETERS FROM THE ENDS AND 4 BOLT DIAMETERS FROM THE EDGES.
- ALL SILL BOLTS SHALL BE PLACED STARTING 9" FROM THE ENDS OF A BOARD OR FROM A NOTCH AND SPACED AT INTERVALS AS NOTED ON THE PLANS.
- ALL SILL PLATE ANCHOR BOLTS AND HOLD-DOWN CONNECTOR BOLTS AT ALL PLYWOOD SHEAR PANELS SHALL HAVE THE FOLLOWING PLATE WASHERS.
BOLT SIZE PLATE WASHER SIZE (ASTM A-36)
5/8" 0.229" x 3" x 3"
3/4" 5/16" x 3" x 3"
7/8" 5/16" x 3" x 3"
1" 3/8" x 3-1/2" x 3-1/2"
- TOP PLATES FOR ALL STUD WALLS SHALL BE 2-2X. MINIMUM TOP PLATE LAP SHALL BE 48" WITH 16d NAILS AT 4" O.C. EACH SIDE OF SPLICE U.N.O. SPLICES IN UPPER AND LOWER PLATES SHALL BE STAGGERED 10" MINIMUM.
- ALL WOOD STUD WALLS SHALL HAVE 2X4 STUDS AT 16" O.C. WHEN HEIGHT BETWEEN LATERAL SUPPORTS IS LESS THAN 10'-0". WHEN HEIGHT BETWEEN LATERAL SUPPORTS MORE THAN 10'-0", USE 2X6 STUDS AT 16" O.C. WITH FULL DEPTH BLOCKING AT NOT MORE THAN 8' VERTICAL INTERVAL.
- ALL NAILS SHALL BE COMMON WIRE NAILS U.N.O. SEE FRAMING PLANS OR DETAILS FOR NAIL SIZES AND SPACING. NAILS THAT ARE NOT DETAILED OR NOTED SHALL BE IN ACCORDANCE WITH IBC TABLE 2304.9.1. FASTENING SCHEDULE. HOLES FOR NAILS SHALL BE PREDRILLED AT A SMALLER DIAMETER THAN THE NAIL WHERE NECESSARY TO PREVENT SPLITTING.
- LAG BOLTS SHALL HAVE LEAD HOLES BORED AS FOLLOWS:
SHANK PORTION SAME DIAMETER AND LENGTH AS SHANK
THREADED PORTION 0.6-0.75 OF DIAMETER OF THREAD

PLYWOOD SHEATHING NOTES

- ALL PLYWOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH (APA) AMERICAN PLYWOOD ASSOCIATION SPECIFICATIONS AND COMPLY WITH PSI-95 OR PS2-92.
- ALL ROOF PANEL SHEATHING SHALL BE 5/8" (NOM.) TYPE CDX. EXP. 1 APA RATED SHEATHING. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. CONNECT ROOF SHEATHING WITH 8d COMMON NAILS AT 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS U.N.O.
- ALL WALL PANEL SHEATHING SHALL BE 1/2" (NOM.) TYPE CDX. EXP. 1 APA RATED SHEATHING ATTACHED WITH 10d COMMON NAILS SPACED 6" O/C AT SUPPORTED PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS U.N.O.
- INSTALL ALL PLYWOOD SHEATHING WITH THE LONG DIMENSION OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE SHEATHING MANUFACTURER.
- ALL NAILING SHALL BE CAREFULLY DRIVEN AND NOT OVERDRIVEN. THE USE OF STAPLES AND PNEUMATIC NAIL GUNS ARE PROHIBITED FROM USE.
- ALL EXTERIOR EXPOSED PLYWOOD SHALL BE MARINE GRADE.

FIRE RESISTANCE REQUIREMENTS

- CONTRACTOR TO PROVIDE FLAME STOP I-DS (OR OTHER APPROVED METHOD OF FIRE PREVENTION) TO TOWER, BRANCHES, AND/OR OTHER COMBUSTIBLE MATERIALS AS OUTLINED IN SECTIONS 602 & 603 OF 2016 CBC.

MASONRY

- ALL MASONRY SHALL HAVE MINIMUM COMPRESSIVE STRENGTH 1'm OF 1,500 PSI.
- MASONRY UNITS SHALL BE NORMAL WEIGHT BLOCK CONFORMING TO ASTM C90, GRADE N, TYPE 1, AND SHALL HAVE A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 1900 PSI. CONCRETE MASONRY UNITS MUST BE TESTED IN ACCORDANCE WITH ASTM C140.
- MORTAR SHALL BE MACHINE MIXED CONFORMING TO ASTM C270, TYPE S. MORTAR SHALL BE FRESHLY PREPARED AND UNIFORMLY MIXED AND SHALL BE TO BUILDING CODE SECTION 2103.8.
- GROUT SHALL CONFORM TO ASTM C476 AND BE PROPORTIONED PER BUILDING CODE TABLE 2103.12. MINIMUM GROUT COMPRESSIVE STRENGTH SHALL EQUAL OR EXCEED THE GREATER OF 2,000 PSI OR THE REQUIRED 1'm.
- REINFORCING BARS SHALL CONFORM TO ASTM A706 OR ASTM A615, GRADE 60 U.N.O.
- CONTINUOUS WIRE REINFORCING (JOINT REINFORCING) SHALL BE GALVANIZED TRUSS OR LADDER TYPE FORMED FROM 9 GAUGE COLD-DRAWN STEEL WIRE COMPLYING WITH ASTM A82.
- ALL MASONRY BLOCKS SHALL CONFORM WITH EACH OTHER IN COLOR, TEXTURE AND SIZE WHERE APPLICABLE. BLOCK SIZE, COLOR, TYPE AND TEXTURE SHALL BE AS INDICATED ON THE DRAWINGS. PROVIDE ACCESSORY BLOCKS AS INDICATED AND REQUIRED. WHERE CUTTING IS REQUIRED, BLOCKS SHALL BE SAWCUT.
- COURSING SHALL BE COMMON RUNNING BOND (UNLESS NOTED OTHERWISE), WITH 3/8" GROUT JOINT. JOINTS SHALL BE TOOLED CONCAVE AND BE UNIFORM IN SIZE. USE CARE TO PREVENT MORTAR AND GROUT SPILLAGE ON THE FACE OF THE MASONRY. CLEAN SUCH SPILLAGE IMMEDIATELY. REPAIR ANY DAMAGE OR INTERSTICES BETWEEN BLOCKS AND REMOVE STAINS AT THE COMPLETION OF WORK.
- THE INTERSECTING WALLS BY OVERLAPPING UNITS IN ALTERNATE COURSES. ROUGHEN AND CLEAN CONCRETE BEARING SURFACES FOR THE PLACEMENT OF THE FIRST COURSE. VERTICAL HEAD JOINTS SHALL BE FILLED SOLID AND SHOVED TIGHTLY TO PROVIDE BOND TO BOTH BLOCKS.
- AT VERTICAL REINFORCING LOCATIONS, PROVIDE DOWELS FROM FOOTING TO MATCH SIZE AND SPACING OF VERTICAL WALL REINFORCING. DOWELS SHALL BE EMBEDDED INTO THE FOOTING A MINIMUM OF 9" AND SHALL HAVE A 90 DEGREE HOOK. DEEPEN FOOTING WHERE REQUIRED FOR DOWEL. WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL BLOCK CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN 6 VERTICAL.
- SPLICED BARS (INCLUDING DOWELS) SHALL BE LAPPED 48 BAR DIAMETERS MINIMUM OR 24", WHICHEVER IS GREATER. SPLICED BARS SHALL BE WIRE-TIED.
- VERTICAL REINFORCING BARS SHALL HAVE A MINIMUM CLEARANCE OF 3/4" FROM THE MASONRY AND NOT LESS THAN ONE DIAMETER BETWEEN BARS.
- BOND BEAMS WITH A HORIZONTAL BAR OR BARS SHALL BE PROVIDED AT 48 INCHES ON CENTER AND AT ALL FLOOR AND ROOF LINES AND AT THE TOP OF THE WALL. PROVIDE A BOND BEAM WITH A HORIZONTAL BAR OR BARS OVER ALL OPENINGS, AND EXTEND THESE BARS 2'-0" PAST THE OPENING AT EACH SIDE. PROVIDE A BAR OR BARS VERTICALLY FOR THE FULL HEIGHT OF THE WALL AT EACH SIDE OF OPENINGS, WALL ENDS AND INTERSECTIONS. PROVIDE CORNER BARS TO MATCH THE HORIZONTAL WALL REINFORCING AT WALL INTERSECTIONS.
- REINFORCING STEEL SHALL BE SECURED IN PLACE BEFORE GROUTING BEGINS. VERTICAL BARS SHALL BE HELD IN POSITION AT THE TOP, BOTTOM AND AT INTERVALS NOT EXCEEDING 200 DIAMETERS OF THE REINFORCING BAR, NOR 10 FEET.
- SEE DRAWINGS FOR LOCATION OF VERTICAL CONTROL JOINTS. HORIZONTAL BOND BEAM AND LINTEL REINFORCING SHALL BE CONTINUOUS ACROSS VERTICAL CONTROL JOINTS.
- ALL CELLS SHALL BE GROUTED SOLID. GROUTING OF MASONRY BEAMS AND LINTELS SHALL BE DONE IN ONE CONTINUOUS OPERATION. GROUTING SHALL BE STOPPED 1-1/2" BELOW THE TOP OF A COURSE SO AS TO FORM A KEY AT THE POUR JOINT. FILL CELLS WITH GROUT WITH MAXIMUM 4'-0" LIFTS. VERTICAL CELLS SHALL HAVE A VERTICAL ALIGNMENT TO MAINTAIN A CONTINUOUS UNOBSTRUCTED CELL AREA NOT LESS THAN 3"x4".
- ALL ISOLATED BOLTS EMBEDDED IN MASONRY SHALL BE GROUTED SOLIDLY IN PLACE WITH NOT LESS THAN 2" OF GROUT SURROUNDING THE BOLT.
- PROVIDE BOND BEAM LINTELS AND BRICK SHELVE ANGLES ABOVE ALL WALL OPENINGS PER DETAILS. SEE THE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF ALL OPENINGS.
- THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY WALL BRACING DURING CONSTRUCTION.
- ALL RETAINING WALLS SHALL HAVE AT LEAST 12" OF FREE-DRAINING GRANULAR BACKFILL. FULL HEIGHT OF WALL. PROVIDE CONTROL JOINTS IN RETAINING WALLS AT APPROXIMATELY EQUAL INTERVALS NOT TO EXCEED 25 FEET NOR 3 TIMES THE WALL HEIGHT. PROVIDE EXPANSION JOINTS AT EVERY FOURTH CONTROL JOINT, UNLESS OTHERWISE INDICATED. SEAL RETAINING FACE OF WALL AND FOOTING WITH 2 COATS OF HENRY'S 502 ASPHALTIC MASTIC. PROVIDE CONTINUOUS INSPECTION.

STRUCTURAL STEEL

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISED EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION, WHICH INCLUDES SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, CODE OF STANDARD PRACTICE AND AWS STRUCTURAL WELDING CODE. IDENTIFY AND MARK STEEL PER CBC 2203.
- STRUCTURAL STEEL SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER/ ARCHITECT PRIOR TO FABRICATION.
- GROUTING OF COLUMN BASE PLATES: BASE PLATES SHALL BE DRYPACKED OR GROUTED WITH NON-SHRINK, NON-FERROUS GROUT. MINIMUM COMPRESSIVE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS. ALL SURFACES SHALL BE PROPERLY CLEANED OF FOREIGN MATERIAL PRIOR TO GROUTING.
- ALL EXPOSED WELDS SHALL BE FILLED AND GROUND SMOOTH WHERE METAL COULD COME IN CONTACT WITH THE PUBLIC.
- NO HOLES OTHER THAN THOSE SPECIFICALLY DETAILED SHALL BE ALLOWED THRU STRUCTURAL STEEL MEMBERS. BOLT HOLES SHALL CONFORM TO AISC SPECIFICATION, AND SHALL BE STANDARD HOLES UNLESS OTHERWISE NOTED. NO CUTTING OR BURNING OF STRUCTURAL STEEL WILL BE PERMITTED WITHOUT PRIOR CONSENT OF THIS ENGINEER. HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.
- WELDING: CONFORM TO AWS D1.1. WELDERS SHALL BE CERTIFIED.
- BOLTING: ASTM A307 BOLTS SHALL BE INSTALLED "SNUG TIGHT" PER AISC SECTION RCSC 8(C), ASTM A325 BOLTS SHALL CONFORM TO RCSC SECTION 8 (D).
- FABRICATION: CONFORM TO AISC SPECIFICATION SEC M2 "FABRICATION" AND AISC CODE SEC 6 "FABRICATION AND DELIVERY" PERFORM WORK ON PREMISES OF A FABRICATOR APPROVED BY THE BUILDING OFFICIAL.
- GALVANIZING: ALL EXPOSED STEEL OUTSIDE THE BUILDING ENVELOPE SHALL BE HOT-DIPPED GALVANIZED. APPLY FIELD TOUCH-UPS PER ASTM A153.
- ALL FRAMING CONNECTORS SUCH AS CONCRETE ANCHORS, HOLD-DOWNS, POST BASES, FRAMING CAPS, HANGER AND OTHER MISCELLANEOUS STRUCTURAL METALS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE CO. OR APPROVED EQUAL.
- ALL STRUCTURAL STEEL EXPOSED TO EARTH SHALL HAVE 3" CONCRETE COVER.
- MATERIALS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
ANCHOR BOLTS/ RODS: ASTM F1554, GRADE 36
BARS & PLATES: ASTM A36
BOLTS IN WOOD:
BOLTS - HIGH STRENGTH: ASTM A307
ASTM A325SSC OR A325SN
C-, M-, AND ANGLE SHAPES: ASTM A36
DEFORMED WELDED WIRE FABRIC: ASTM A497
GROUT: EMBECCO OR EQUIVALENT
OTHER STRUCTURAL SHAPES: ASTM A36
REINFORCING BARS (WELDED): ASTM A706, GRADE 60, DEFORMED BARS
REINFORCING BARS (REGULAR): ASTM A615, GRADE 60, DEFORMED BARS
SMOOTH WELDED WIRE FABRIC: ASTM A185
STEEL GRATING: ANSI/NAAMM MBG 531-00
STEEL PIPE: ASTM A53, GRADE B
TIE WIRE: 16.5 GAGE OR HEAVIER, BLACK ANNEALED
TUBE STEEL & PIPE COLUMNS: ASTM A500, GRADE B
W - SHAPES: ASTM A992, GRADE 50
WELDING ELECTRODES: E70XX FOR STRUCTURAL STEEL
E60XX FOR REINFORCING BARS
E60XX FOR LIGHT GAUGE AND METAL DECK

EPOXY AND EXPANSION ANCHORS

- EPOXY OR EXPANSION ANCHORS SHALL NOT BE USED EXCEPT WHERE SPECIFICALLY SHOWN ON THE PLANS OR WHEN APPROVED IN ADVANCE BY THE STRUCTURAL ENGINEER.
- DRILLED HOLES SHALL BE PREPARED AND ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE CURRENT ICC REPORT.
- SPECIAL INSPECTION SHALL BE DONE IN ACCORDANCE WITH BUILDING CODE AND THE SPECIFIC INSPECTION REQUIREMENTS SET FORTH IN THE CURRENT ICC REPORT.
- ANCHOR RODS USED FOR EPOXY ANCHORS SHALL BE THE TYPE SPECIFIED IN THE REFERENCED ICC REPORT.
- THE ANCHOR SIZE AND EMBEDMENT SHALL BE AS INDICATED ON THE PLANS.
- WHERE PERMITTED, EPOXY ANCHORING SHALL BE COMPLETED WITH THE FOLLOWING ALLOWED PRODUCT(S):
HILTI RE-500 SD (ICC# ESR-2322, LARR-25700) - CONCRETE ONLY
HILTI HIT-HY 150 (ICC# ER-5193, LARR-23652M) - MASONRY WALL ONLY.
HILTI HIT-HY 20 (ICC# ER-4815, LARR-24564) - BRICK WALL ONLY.
- WHERE PERMITTED, THE FOLLOWING EXPANSION ANCHORS MAY BE USED:
HILTI KWIK BOLT TZ (ICC# ESR-1917, LARR-25701) - CONCRETE ONLY.
SIMPSON STONG-BOLT (ICC# ESR-1771, LARR-25705) - CONCRETE ONLY.
HILTI KWIK BOLT 3 (ICC# ESR-1385, LARR-25577) GROUT FILLED MASONRY ONLY.
SIMPSON WEDGE-ALL (ICC# ESR-1396, LARR-24682) - GROUT FILLED MASONRY ONLY.

FIBER REINFORCED PLASTIC (FRP)

- FIBER REINFORCED PLASTIC (FRP) PULTRUDED FLAT SHEETS SHALL BE PROVIDED BY STEALTH CONCEALMENT SOLUTIONS, INC. (LARR# 25400), FIBERGATE COMPOSITE STRUCTURES (LARR# 25536), OR APPROVED EQUAL. SHALL CONFORM TO THE ASTM DESIGNATION: F-1552-0-695, 0-790, 0-792, AND SHALL COMPLY WITH THE FOLLOWING MECHANICAL PROPERTIES (LENGTHWISE):
FLEXURAL STRENGTH = 35,000 PSI
FLEXURAL MODULUS = 1.80 x 10⁶ PSI
TENSILE STRENGTH = 24,000 PSI
COMPRESSIVE STRENGTH = 24,000 PSI
DENSITY = 0.062 - 0.070 LBS/IN³
- ALL MATERIAL SHALL BE CLASS I FIRE RATED WITH FLAME SPREAD OF 25 MAXIMUM, TESTED IN ACCORDANCE WITH ASTM E84. THE USE OF ANTIMONY OXIDE IS NOT PERMITTED.
- FRP BOLTS, THREADED RODS, AND RELATED NUTS AND WASHERS SHALL BE PROVIDED BY STEALTH OR APPROVED EQUAL, UNLESS OTHERWISE NOTED.
- SURFACES OF PANELS SHALL BE COATED WITH SUITABLE PAINT FOR U.V. PROTECTION. ALL FOAM EDGES OF PANELS MUST BE COVERED OR COATED FOR U.V. PROTECTION AND WATER. COAT ANY CUT OR DRILL TOP OF FRP STRUCTURAL MEMBERS WITH HETROLOAC OR EQUAL RESIN OR ACRYLIC SEALER.
- PANEL FASTENERS TO BE SPACED PER BELOW AND LOCATED 6" HORIZONTALLY FROM EACH EDGE AT TOP AND BOTTOM OF PANEL. MAINTAIN 1-1/2" MINIMUM CLEARANCE FROM ALL EDGES.
- WHEN FASTENER BOLT-HEAD OR NUT BEARS DIRECTLY ON SURFACE OF PANEL, TIGHTEN BOLTS 1/4 TURN PAST SNUG, USE A THIN BEAD OF EPOXY TO LOCK THREADS OF FRP BOLTS/NUTS. USE WASHER OF FLANGED HEAD BOLTS WITH LARGE BEARING SURFACE.
- PANELS WILL EXPAND AND CONTRACT DUE TO TEMPERATURE. WHEN INSTALLING PANELS IN COLD TEMPERATURES, EVENLY SPACE PANELS TO ALLOW FOR EXPANSION DURING WARM TEMPERATURES.
- ADJACENT FLAT PANELS ARE JOINED BY A VERTICAL FOAM SPLINE THAT IS INSERTED IN THE GROOVES CUT INTO THE SIDE OF EACH PANEL. DO NOT LIFT PANELS BY GROOVES. PANELS MUST BE LIFTED WITH FORCE DIRECTED ONTO THE PANEL SURFACE.
- AS NOTED IN THE LARR REPORT, PANELS SHALL BE BONDED TO THE SUPPORTING FRAME USING A QUICKSET URETHANE CONTINUOUS BEAD ADHESIVE AROUND THE ENTIRE PERIMETER OF THE PANEL, AND ATTACHED TO THE PERIMETER FRAME VIA #8 STEEL SCREWS AT 12" OR LESS SPACING AROUND THE PERIMETER OF THE PANEL (24 MIN SCREWS PER 4' X 8' PANEL). DO NOT LOCATED STEEL SCREWS IN FRONT OF AN ANTENNA. ALTERNATIVELY, THE PANELS SHALL BE BONDED TO THE SUPPORTING FRAME USING A QUICKSET URETHANE CONTINUOUS BEAD ADHESIVE AROUND THE ENTIRE PERIMETER OF THE PANEL, AND ATTACHED PER THE LARR REPORT WITH 1/2" DIAMETER THREADED FRP RODS CUT TO LENGTH AND INSERTED THROUGH 9/16" DIAMETER HOLES DRILLED AT 24" OR LESS SPACING AROUND THE PERIMETER OF THE PANEL (12 MINIMUM PER 4' X 8' PANEL). THE FRP RODS SHALL HAVE AN FRP NUT PLACED ON EACH END. ALL PANEL EDGES SHALL BE BLOCKED.
- ALL EXPOSED EXTERIOR PANEL SURFACES SHALL BE COVERED WITH A MINIMUM 1" THICK LAYER OF EIFS (DRYVT OR EQUAL) THAT SHALL BE TEXTURED, FINISHED, AND PAINTED TO MATCH THE EXISTING STRUCTURE. ALL OTHER EXPOSED SURFACES INCLUDING ANCILLARY FRAMING AND HARDWARE SHALL BE PAINTED TO MATCH.
- PLACE WEATHER TIGHT FRP CAP AT ENDS OF ALL OPEN, EXPOSED FRP POSTS.

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NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
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SITE INFORMATION:
SD06260A
ARIZONA PACIFIC BELL
BLDG.
4220 ARIZONA STREET
SAN DIEGO, CA 92104

SEAL:


SHEET TITLE:
GENERAL NOTES & SPECIFICATIONS

SHEET NUMBER:
T-3



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SHEET TITLE:
GENERAL NOTES & SPECIFICATIONS

SHEET NUMBER:
T-4

STATEMENT OF SPECIAL INSPECTIONS PER THE 2016 CBC

- THE OWNER OR REGISTERED DESIGN PROFESSIONAL OF RECORD WILL EMPLOY THE SERVICES OF ONE OR MORE SPECIAL INSPECTORS TO PROVIDE SPECIAL INSPECTIONS DURING CONSTRUCTION FOR THE ITEMS IN THE SPECIAL INSPECTION TABLE BELOW.
- THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL AND THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
- DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR:
 - THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE INSPECTOR MAY NOT ALTER, MODIFY, ENLARGE OR WAIVE ANY OF THE REQUIREMENTS OF THE DOCUMENTS.
 - THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE PROFESSIONAL OF RECORD, AND THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. THEN, IF UNCORRECTED, SUBMIT A COMPLETE LIST OF ALL OUTSTANDING DISCREPANCIES ON A WEEKLY BASIS TO THE OWNER, THE BUILDING OFFICIAL, AND THE PROFESSIONAL OF RECORD UNTIL ALL CORRECTIONS HAVE BEEN COMPLETED.
 - THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.
- WHERE SPECIAL INSPECTION REQUIREMENTS DUPLICATE THE REQUIREMENTS OF SPECIFIED QUALITY ASSURANCE TESTING, DUPLICATE INSPECTIONS SHALL NOT BE REQUIRED.
- OBSERVATIONS OR SITE VISITS PERFORMED BY THE ENGINEER OR ARCHITECT DUE NOT CONSTITUTE SPECIAL INSPECTIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE NOTIFICATION OF SCHEDULE OF WORK REQUIRING INSPECTION OR TESTING TO THE SPECIAL INSPECTOR TO ALLOW COORDINATION.
- THE MATERIALS, SYSTEMS, COMPONENTS AND WORK REQUIRED TO HAVE SPECIAL INSPECTION OR TESTING ARE OUTLINED ON THESE DRAWINGS ALONG WITH THE TYPE AND EXTENT OF EACH INSPECTION AND TEST AND WHETHER IT IS CONTINUOUS OR PERIODIC IN NATURE. IF IT IS NOT INDICATED OTHERWISE, INSPECTION SHALL BE CONTINUOUS.
- EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND- OR SEISMIC-FORCE-RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM OR A WIND- OR SEISMIC-RESISTING COMPONENT SHALL PROVIDE A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT AS REQUIRED BY CBC SECTION 1704.

ADDITIONAL SEISMIC RESISTANCE CASES:

SEISMIC DESIGN CATEGORIES REQUIRED IN	THE FOLLOWING IS A SUMMARY OF THE SEISMIC SYSTEMS, SEISMIC COMPONENTS AND SEISMIC-FORCE-RESISTING SYSTEMS
SEISMIC FORCE RESISTING SYSTEMS	
C, D, E, F	A. ALL MOMENT FRAMES, BRACED FRAMES, CANTILEVERED COLUMNS, SHEARWALLS, AND THEIR FOUNDATIONS, AND DRAGS, CHORDS, FLOOR AND ROOF DIAPHRAGMS
C, D, E, F	B. ALL DRAGS, CHORDS, FLOOR AND ROOF DIAPHRAGMS
D, E, F	C. ALL FREE STANDING MASONRY WALLS
ADDITIONAL SYSTEMS AND COMPONENTS	
C, D, E, F	A. ANCHORAGE OF ELECTRICAL EQUIPMENT USED FOR EMERGENCY OR STANDBY POWER SYSTEMS INCLUDING TELECOM CABINETS
D, E, F	B. EXTERIOR WALL PANELS AND THEIR ANCHORAGE
D, E, F	C. SUSPENDED CEILING SYSTEMS AND THEIR ANCHORAGE

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
MASONRY		
1. AS MASONRY CONSTRUCTION BEGINS, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE:		
a. SITE PREPARED MORTAR PROPORTIONS	PERIODIC	ART. 2.6A
b. CONSTRUCTION OF MORTAR JOINTS	PERIODIC	ART. 3.3B
c. LOCATION OF REINFORCEMENT AND CONNECTORS	PERIODIC	ART. 3.4
2. THE INSPECTION PROGRAM SHALL VERIFY:		
a. SIZE AND LOCATION OF STRUCTURAL ELEMENTS	PERIODIC	ART. 3.3G
b. TYPE, SIZE AND LOCATION OF ANCHORS, INCLUDING DETAILS OF ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAMES OR OTHER CONSTRUCTION	PERIODIC	SEC. 1.15.4.2.1.2
c. SPECIFIED SIZE, GRADE AND TYPE OF REINFORCEMENT	PERIODIC	SEC. 1.12 ART. 2.4, 3.4
d. WELDING OF REINFORCING BARS	CONTINUOUS	SEC. 8.5.7 & SEC. 8.5.7.2
e. PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F) OR HOT WEATHER (TEMPERATURE ABOVE 90°F)	PERIODIC	ART. 1.8
3. PRIOR TO GROUTING, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE:		
a. GROUT SPACE IS CLEAN	PERIODIC	ART. 3.2D
b. PLACEMENT OF REINFORCEMENT AND CONNECTORS	PERIODIC	ART. 3.4
c. PROPORTIONS OF SITE-PREPARED GROUT	PERIODIC	ART. 2.6B
d. CONSTRUCTION OF MORTAR JOINTS	PERIODIC	ART. 3.3B
4. GROUT PLACEMENT SHALL BE VERIFIED TO ENSURE COMPLIANCE WITH CODE AND CONSTRUCTION DOCUMENT PROVISIONS.	CONTINUOUS	ART. 3.5
5. PREPARATION OF ANY REQUIRED GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS SHALL BE OBSERVED.	CONTINUOUS	ART. 1.4
6. COMPLIANCE WITH REQUIRED INSPECTION PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND APPROVED SUBMITTALS SHALL BE VERIFIED.	PERIODIC	ART. 1.5

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
CONCRETE (APPLICABLE TO STRUCTURAL CONCRETE OVER F'c = 2,500 PSI)		
1. INSPECT BOLTS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED	CONTINUOUS	
2. INSPECT EPOXY ANCHORS AND EXPANSION ANCHORS INSTALLED IN HARDENED CONCRETE.	CONTINUOUS	PRODUCT ICC-ES REPORT

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
STEEL CONSTRUCTION		
1. MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS, AND WASHERS:	PERIODIC	APPLICABLE ASTM MATERIAL SPECIFICATIONS: AISC ASD, SECTION A3.4; AISC LRFD, SECTION A3.3
a. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.		
b. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.		
2. INSPECTION OF HIGH-STRENGTH BOLTING:		
a. BEARING TYPE CONNECTIONS	PERIODIC	AISC LRFD SECTION M2.5
b. SLIP-CRITICAL CONNECTIONS	CONTINUOUS	
3. MATERIAL VERIFICATION OF STRUCTURAL STEEL:		
a. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS.		ASTM A 6 OR ASTM A 568
b. MANUFACTURER'S CERTIFIED MILL TEST REPORTS REQUIRED.		
4. MATERIAL VERIFICATION OF WELD FILLER MATERIALS:		
a. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATION IN THE APPROVED CONSTRUCTION DOCUMENTS.		ASC. ASD, SECTION A3.6; AISC LRFD, SECTION A3.5
b. MANUFACTURER'S CERTIFICATE OF COMPLIANCE REQUIRED.		
5. INSPECTION OF WELDING:		
a. STRUCTURAL STEEL		
1) COMPLETE AND PARTIAL PENETRATION GROOVE WELDS	CONTINUOUS	AWS D1.1
2) MULTI-PASS FILLET WELDS	CONTINUOUS	
3) SINGLE-PASS FILLET WELDS GREATER THAN 5/16" (7.9mm)	CONTINUOUS	
4) SINGLE-PASS FILLET WELDS LESS THAN OR EQUAL TO 5/16" (7.9mm)	PERIODIC	
5) FLOOR AND DECK WELDS	PERIODIC	AWS D1.3
6. INSPECTION OF STEEL FRAME JOINT DETAILS FOR COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS:	PERIODIC	
a. DETAILS SUCH AS BRACING AND STIFFENING		
b. MEMBER LOCATIONS.		
c. APPLICATION OF JOINT DETAILS AT EACH CONNECTION.		
INSPECTION OF FABRICATORS		
1. APPLICABLE ELEMENT (FABRICATOR CERTIFICATION REQUIREMENTS)		
a. STRUCTURAL STEEL (AISC CERTIFIED FOR CONVENTIONAL STEEL BUILDING)		
b. STEEL JOISTS/ JOIST GIRDERS (SJI MEMBER)		
c. STEEL ROOF DECK (SDI MEMBER)		
d. PRECAST CONCRETE WALLS/PANELS (PCI GROUP C MANUFACTURER WITH C3 CERTIFICATION)		
e. LOAD BEARING CONCRETE MASONRY (NCMA MEMBER)		
2. WHEN SPECIAL INSPECTIONS ARE REQUIRED BY BUILDING OFFICIAL		
a) FABRICATION AND IMPLEMENTATION PROCEDURES. THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE A BASIS FOR INSPECTION, CONTROL OF THE WORKMANSHIP, AND THE FABRICATOR'S ABILITY TO CONFORM TO APPROVED CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. THE SPECIAL INSPECTOR SHALL REVIEW THE PROCEDURES FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENTS FOR THE FABRICATOR'S SCOPE OF WORK.		
3. WHEN SPECIAL INSPECTIONS ARE NOT REQUIRED BY THE BUILDING OFFICIAL		
a) UPON COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF THE COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.		

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
DRILLED PIERS		
1. OBSERVE DRILLING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH PIER.	CONTINUOUS	GEOTECHNICAL ENGINEERING REPORT
2. VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM PIER DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE) AND ADEQUATE END BEARING STRATA CAPACITY.		
3. FOR CONCRETE PIERS, PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1704.4.	SEE SPECIAL INSPECTION NOTES FOR CONCRETE ALSO	
SOILS		
1. SITE PREPARATION-VERIFY THAT THE SITE SUBGRADE SOILS ARE PROPERLY PREPARED	CONTINUOUS	GEOTECHNICAL ENGINEERING REPORT
2. FILL PLACEMENT 12" THICK OR GREATER - VERIFY MATERIAL BEING USED AND LIFT THICKNESS	CONTINUOUS	
3. EVALUATION OF IN-PLACE DENSITY OF COMPACTED FILL 12" THICK OR GREATER	PERIODIC	
4. SUB-GRADE IMPROVEMENTS INVOLVING SOL MIXING, COMPACTION GROUTING, DYNAMIC COMPACTION, OR PLACEMENT OF STONE COLUMNS	CONTINUOUS	

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
COLD-FORMED STEEL FRAMING		
1. DURING WELDING OPERATIONS OF ELEMENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM.	PERIODIC	
2. SCREW ATTACHMENT, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC-FORCE RESISTING SYSTEM, INCLUDING STRUTS, BRACES & HOLD-DOWNS.	PERIODIC	CBC 1705.10.2

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
WOOD		
1. DURING FIELD GLUING OPERATIONS OF ELEMENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM.	CONTINUOUS	
2. NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN SEISMIC-FORCE-RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS & HOLD-DOWNS.	PERIODIC	CBC 1705.10.1
EXCEPTION		
SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS & DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING & OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER.		

STRUCTURAL OBSERVATION:

STRUCTURAL OBSERVATIONS BY AN INDEPENDENT ENGINEER OR THE ENGINEER OF RECORD SHALL BE MADE IN ACCORDANCE WITH SECTION 1704 OF THE 2016 CALIFORNIA BUILDING CODE AT THE EXPENSE OF THE OWNER TO REVIEW THE CONSTRUCTION OF THE PROJECT. STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION OF THE ELEMENTS AND CONNECTIONS OF THE STRUCTURAL SYSTEM AT SIGNIFICANT CONSTRUCTION STAGES, AND THE COMPLETED STRUCTURE FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS. STRUCTURAL OBSERVATION DOES NOT WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING INSPECTOR OR THE DEPUTY INSPECTOR(S).

THE OWNER SHALL EMPLOY THE CIVIL OR STRUCTURAL ENGINEER OR THE ARCHITECT OF RECORD OR THEIR DESIGNATED AGENT TO PERFORM THE STRUCTURAL OBSERVATION.

EVIDENCE OF EMPLOYMENT BY THE OWNER SHALL BE PROVIDED TO THE BUILDING INSPECTOR BEFORE THE FIRST SITE VISIT.

WHEN A PRECONSTRUCTION MEETING IS REQUIRED, IT SHALL BE ATTENDED BY THE GENERAL CONTRACTOR, APPROPRIATE SUBCONTRACTORS, AND DEPUTY INSPECTORS. THE MAJOR STRUCTURAL ELEMENTS AND CONNECTIONS WHICH REQUIRE STRUCTURAL OBSERVATION WILL BE IDENTIFIED. A RECORD OF THE MEETING SHALL BE INCLUDED IN THE FIRST OBSERVATION REPORT.

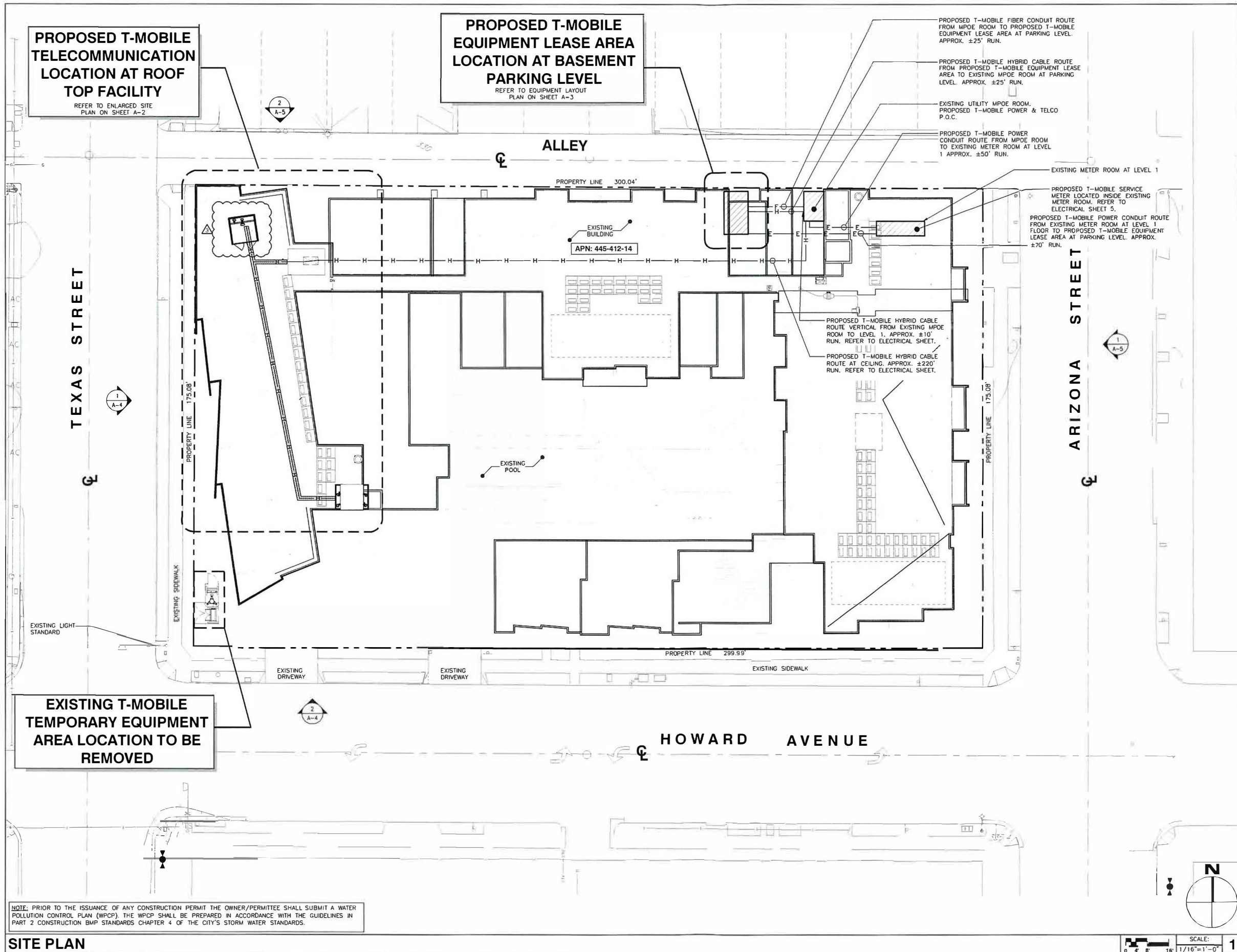
REQUIRED OBSERVATIONS ARE TO OCCUR AT THE FOLLOWING STAGES OF CONSTRUCTION AS A MINIMUM, FOR EACH BUILDING OR STRUCTURE AS APPLICABLE. NOTIFY THE ENGINEER 72 HOURS PRIOR TO EACH OBSERVATION.

REQUIRED IF CHECKED	ITEMS
<input type="checkbox"/>	A. PRECONSTRUCTION MEETING SHALL BE ATTENDED BY THE STRUCTURAL OBSERVER OF RECORD.
<input type="checkbox"/>	B. PRIOR TO PLACEMENT OF CONCRETE FOR THE FIRST FOUNDATION POUR.
<input type="checkbox"/>	C. PRIOR TO PLACEMENT OF CONCRETE IN WALL FORMS.
<input type="checkbox"/>	D. UPON COMPLETION OF WELDING AT STEEL MOMENT FRAMES.
<input type="checkbox"/>	E. UPON COMPLETED ERECTION OF ALL STRUCTURAL STEEL.
<input type="checkbox"/>	F. PRIOR TO PLACEMENT OF GROUT IN FIRST LFT.
<input type="checkbox"/>	G. PRIOR TO GROUTING THE TOP 48" OF MASONRY WALLS AT FLOOR AND ROOF LINE. (CHORD REINFORCING)
<input type="checkbox"/>	H. AFTER NAILING OF ALL PLYWOOD SHEAR WALLS AND ALL HOLDINGS, DRAGS, STRAPS ARE IN PLACE, AND PRIOR TO COVERING ANY OF THE SHEAR WALLS.
<input type="checkbox"/>	K. AFTER NAILING OF FLOOR PLYWOOD DIAPHRAGM(S), PRIOR TO COVERING.
<input type="checkbox"/>	J. AFTER NAILING OF ROOF PLYWOOD DIAPHRAGM(S), PRIOR TO COVERING.
<input type="checkbox"/>	K. PRIOR TO ROOFING OR PLACEMENT OF CONCRETE FILL OVER METAL DECK ROOF'S OR FLOORS.
<input type="checkbox"/>	L. FINAL WALK THROUGH UPON COMPLETION OF ALL STRUCTURAL ASPECTS OF THE PROJECT PRIOR TO ARCHITECTURAL FINISHES.
<input checked="" type="checkbox"/>	M. NO STRUCTURAL OBSERVATION REQUIRED

- A REPORT PREPARED ON DEPARTMENT FORMS OR FORMS PREPARED BY THE ENGINEER OR ARCHITECT OF RECORD FOR EACH SIGNIFICANT STAGE OF CONSTRUCTION OBSERVED, SHALL BE LEFT AT THE PROJECT SITE FOR THE CONTRACTOR TO FORWARD TO THE BUILDING INSPECTOR. THE FORMS SHALL BE WET SIGNED AND SEALED BY THE RESPONSIBLE STRUCTURAL OBSERVER, ONE SIGNED COPY OF THE REPORT SHALL BE PROVIDED TO THE OWNER, CONTRACTOR, AND DEPUTY INSPECTOR, AS REQUESTED.
- A FINAL OBSERVATION REPORT MUST BE SUBMITTED WHICH SHOWS THAT ALL OBSERVED DEFICIENCIES WERE RESOLVED AND THE STRUCTURAL SYSTEM GENERALLY CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS.
- IF THE OWNER ELECTS TO CHANGE THE STRUCTURAL OBSERVER OF RECORD, THE OWNER SHALL:
 - NOTIFY BUILDING INSPECTOR IN WRITING BEFORE THE NEXT INSPECTION.
 - CALL AN ADDITIONAL PRECONSTRUCTION MEETING, AND FURNISH THE REPLACEMENT STRUCTURAL OBSERVER WITH A COPY OF PREVIOUS OBSERVER'S REPORTS.
 - THE NEW OBSERVER SHALL BE RESPONSIBLE FOR APPROVAL OF THE CORRECTION OF ALL THE ORIGINAL OBSERVED NOTED DEFICIENCIES.
- THE ENGINEER OR ARCHITECT OF RECORD SHALL DEVELOP ALL CHANGES TO THE STRUCTURAL SYSTEMS AT THE CONTRACTOR'S EXPENSE.
- STRUCTURAL OBSERVATION SHALL BE PERFORMED BY NATIONAL ENGINEERING & CONSULTING, INC.

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
WOOD		
1. DURING FIELD GLUING OPERATIONS OF ELEMENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM.	CONTINUOUS	
2. NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN SEISMIC-FORCE-RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS & HOLD-DOWNS.	PERIODIC	CBC 1705.10.1

SPECIAL INSPECTION	FREQUENCY	REFERENCED STANDARD
WOOD		
1. DURING FIELD GLUING OPERATIONS OF ELEMENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM.	CONTINUOUS	
2. NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN SEISMIC-FORCE-RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS & HOLD-DOWNS.	PERIODIC	CBC 1705.10.1
EXCEPTION		
SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS & DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING & OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER.		



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11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:
SD06260A
ARIZONA PACIFIC BELL BLDG.
4220 ARIZONA STREET
SAN DIEGO, CA 92104

SEAL:

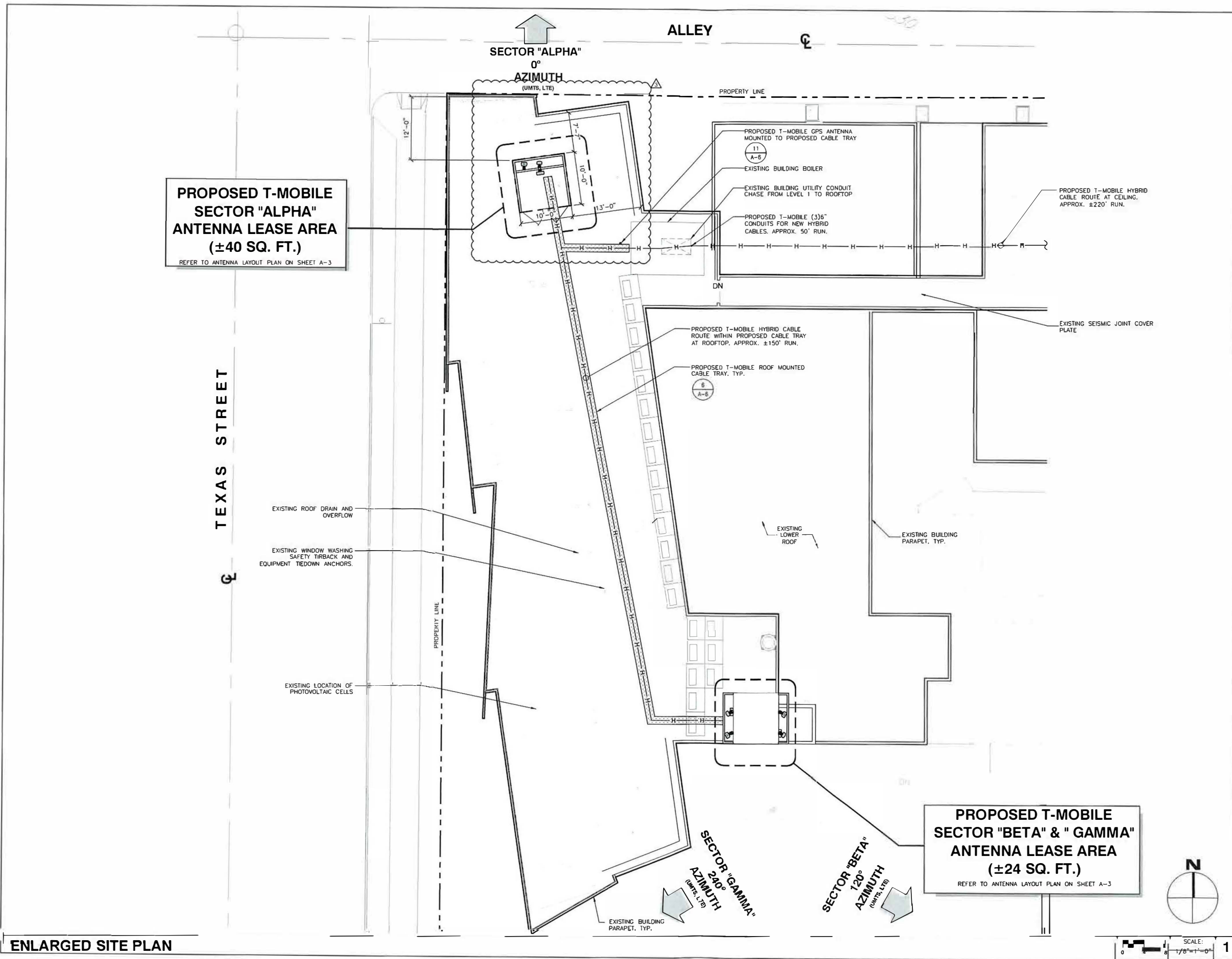
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A-1

NOTE: PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

SITE PLAN

SCALE: 1/16"=1'-0" 1



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PHONE (949) 718-9980 | FAX (949) 716-9997

CONSULTANT:
smartlink
18401 VON KARMAN AVENUE
SUITE 400
IRVINE, CA 92612
TEL: (949) 861-2201
FAX: (949) 387-1275

NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
5	08/09/17	100% CD	AE
6	09/07/17	CLIENT REVISIONS	CN
7	03/15/18	CLIENT REVISIONS	NT
8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:
SD06260A
ARIZONA PACIFIC BELL BLDG.
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SEAL:


SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
A-2

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TEL: (949) 861-2201
FAX: (949) 387-1275

NO.	DATE	DESCRIPTION	BY
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SITE INFORMATION:
SD06260A
ARIZONA PACIFIC BELL
BLDG.
4220 ARIZONA STREET
SAN DIEGO, CA 92104



SHEET TITLE:
PROPOSED EQUIPMENT AND ANTENNA LAYOUT PLANS & RF SCHEDULE

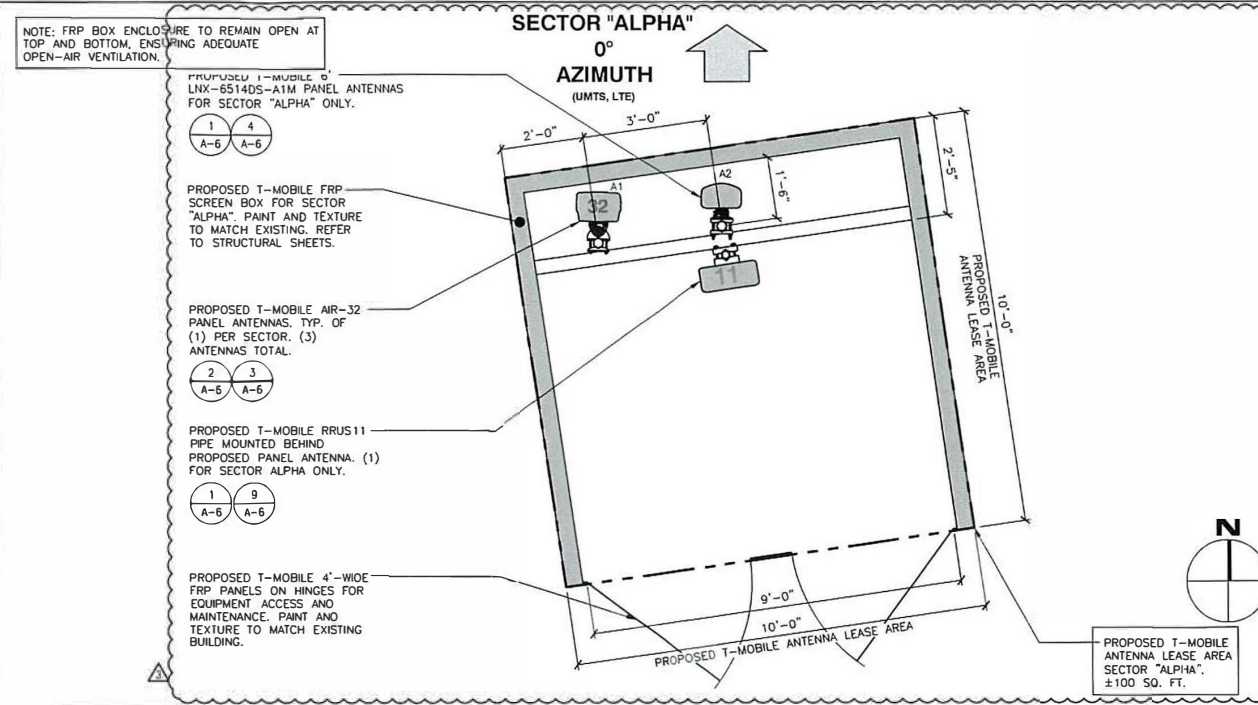
SHEET NUMBER:
A-3

SECTOR	POSITION	ANTENNA AZIMUTH	ANTENNA TYPE	ANTENNA SIZE	RAD CENTER	# OF COAX LINE	COAX TYPE	COAX LENGTH
ALPHA	A1	0°	AIR-32	4'	69'-8"	1	HYBRIFLEX	±350'
ALPHA	A2	0°	LNX-6514DS-A1M	6'	69'-0"			
BETA	B1	120°	AIR-32	4'	73'-8"	1	HYBRIFLEX	±380'
BETA	B2	120°	LNX-6515DS-A1M	8'	72'-0"			
GAMMA	G1	240°	AIR-32	4'	73'-8"	1	HYBRIFLEX	±380'
GAMMA	G2	240°	LNX-6515DS-A1M	8'	72'-0"			

NOTE: CONSTRUCTION MANAGER TO FIELD VERIFY CABLE LENGTHS PRIOR TO OPENING, FABRICATION, OR INSTALLATION OF CABLES CHECK RF DATA SHEET.

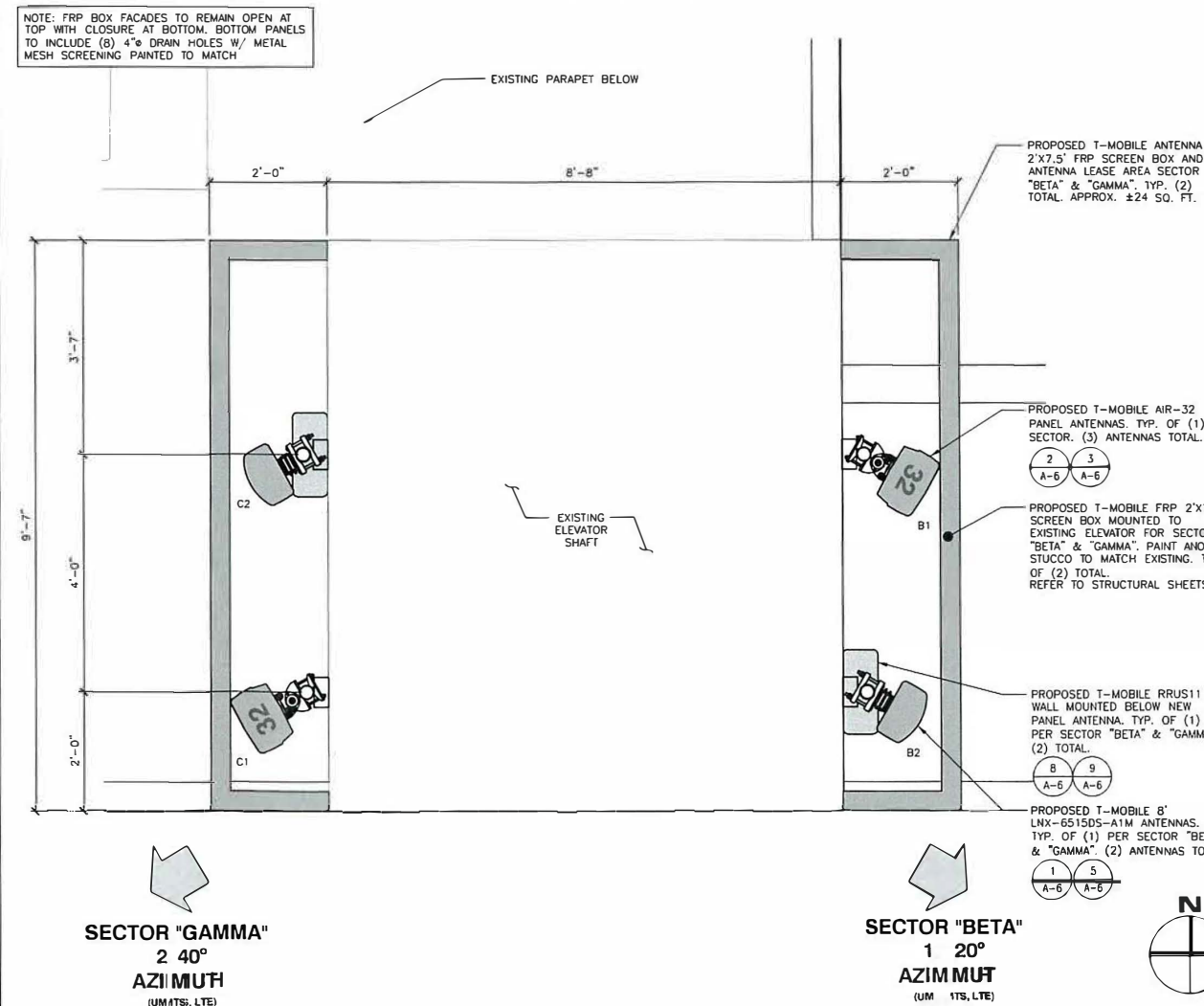
RF SCHEDULE DATA SHEET

SCALE: 1/2"=1'-0"



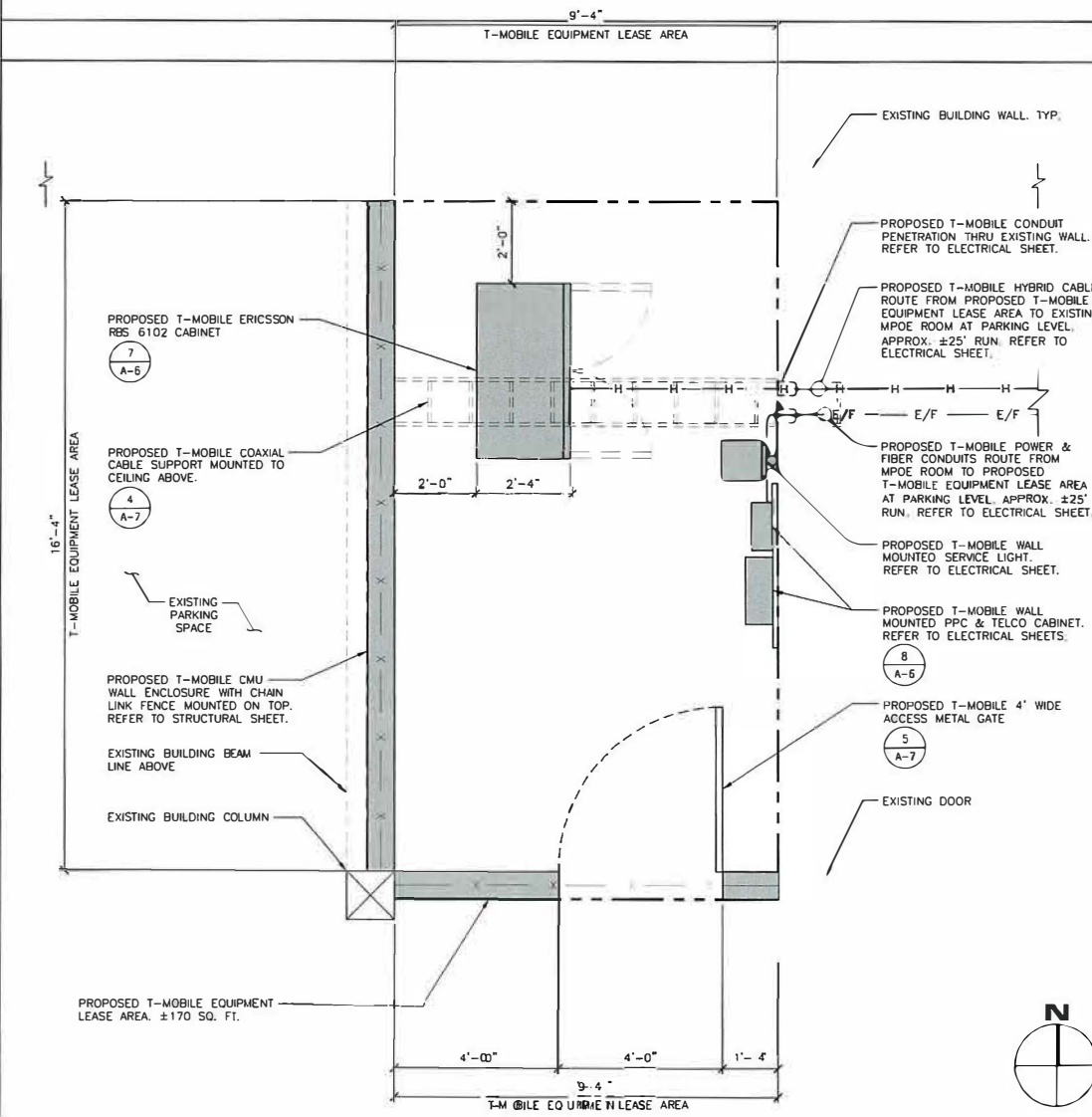
PROPOSED ANTENNA SECTOR "ALPHA"

SCALE: 1/2"=1'-0"



PROPOSED ANTENNA SECTOR "BETA" & "GAMMA"

SCALE: 3/4"=1'-0"



PROPOSED EQUIPMENT LAYOUT PLAN

SCALE: 1/2"=1'-0"

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 TEL: (949) 861-2201
 FAX: (949) 387-1275

NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
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8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:

SD06260A
ARIZONA PACIFIC BELL
BLDG.
 4220 ARIZONA STREET
 SAN DIEGO, CA 92104

SEAL:



SHEET TITLE:

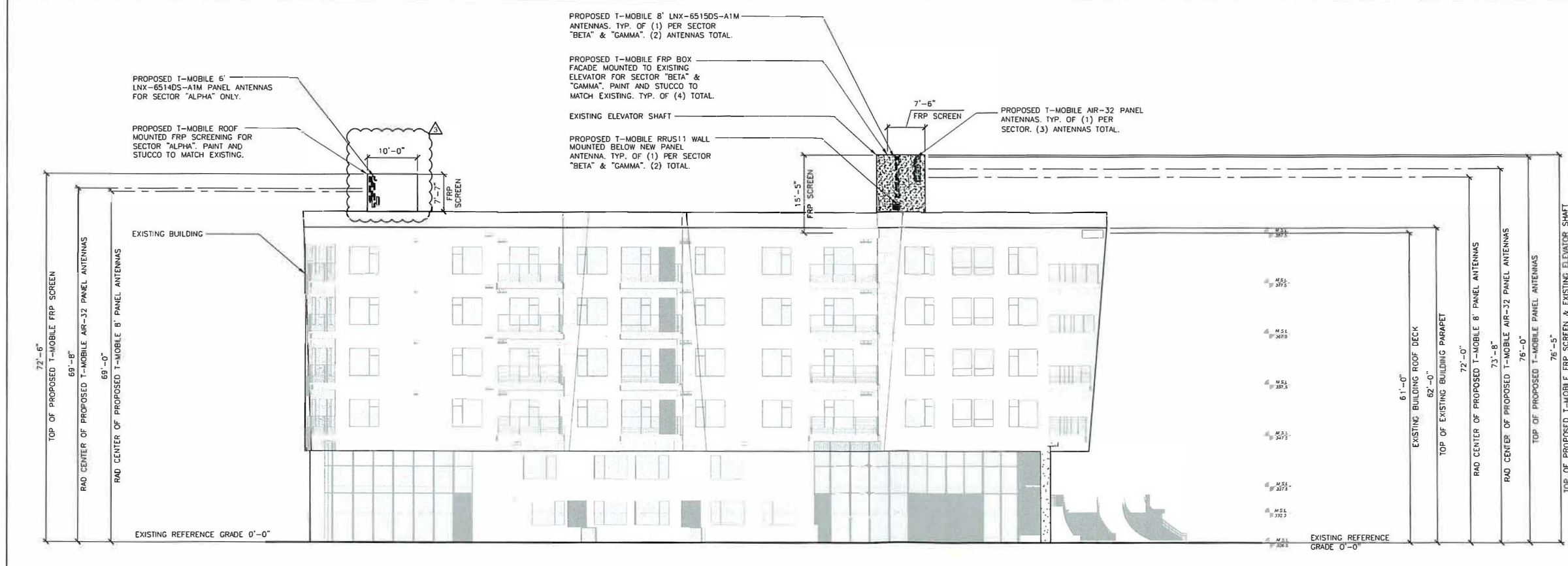
ARCHITECTURAL
ELEVATIONS

SHEET NUMBER:

A-4



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



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NO.	DATE:	DESCRIPTION:	BY:
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
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6	09/07/17	CLIENT REVISIONS	CN
7	03/15/18	CLIENT REVISIONS	NT
8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:

SD06260A
ARIZONA PACIFIC BELL
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 4220 ARIZONA STREET
 SAN DIEGO, CA 92104

SEAL:

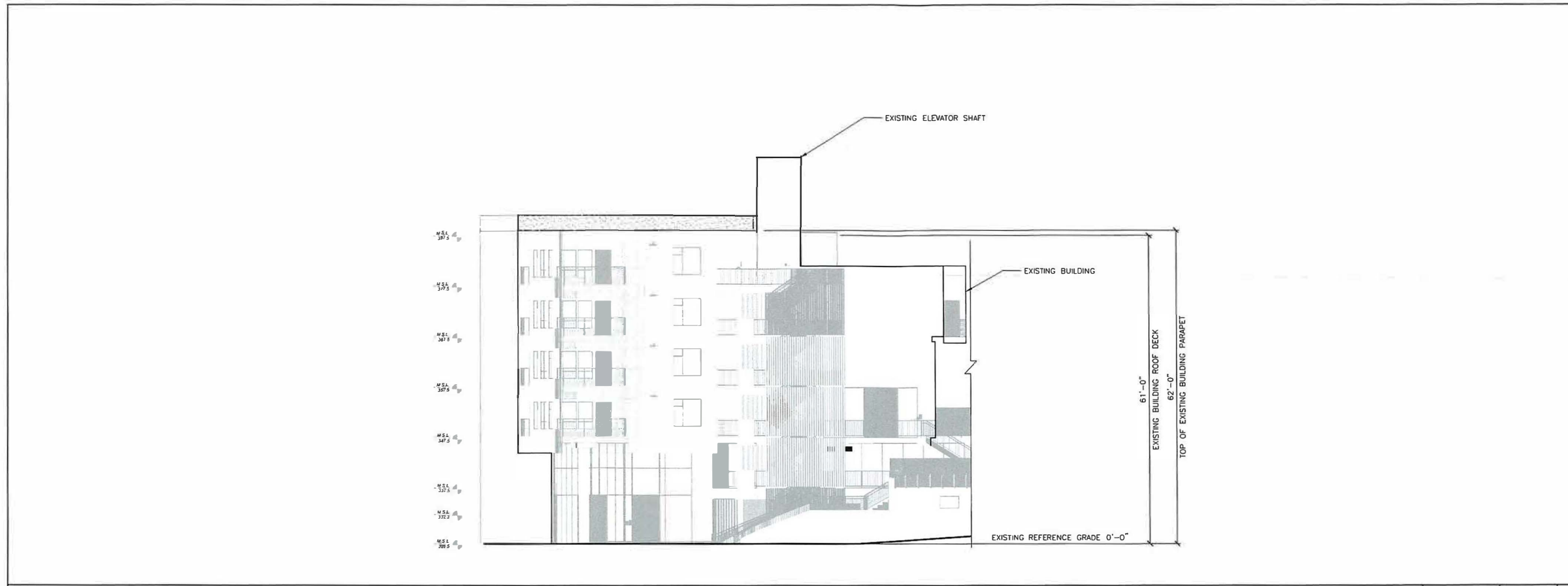


SHEET TITLE:

ARCHITECTURAL
ELEVATIONS

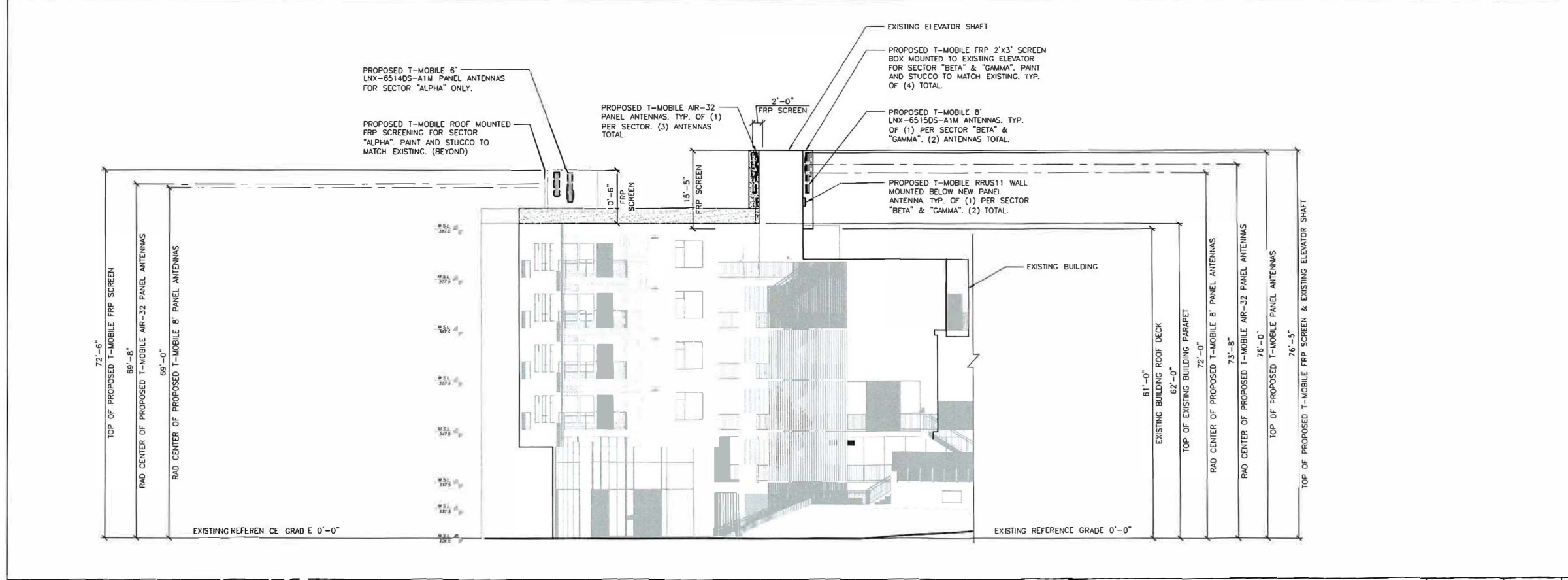
SHEET NUMBER:

A-4.1



SCALE: 3/32"=1'-0" 1

EXISTING SOUTH ELEVATION



SCALE: 3/32"=1'-0" 2

PROPOSED SOUTH ELEVATION

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 FAX. (949) 387-1275

NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
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11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:

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 4220 ARIZONA STREET
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SEAL:



SHEET TITLE:

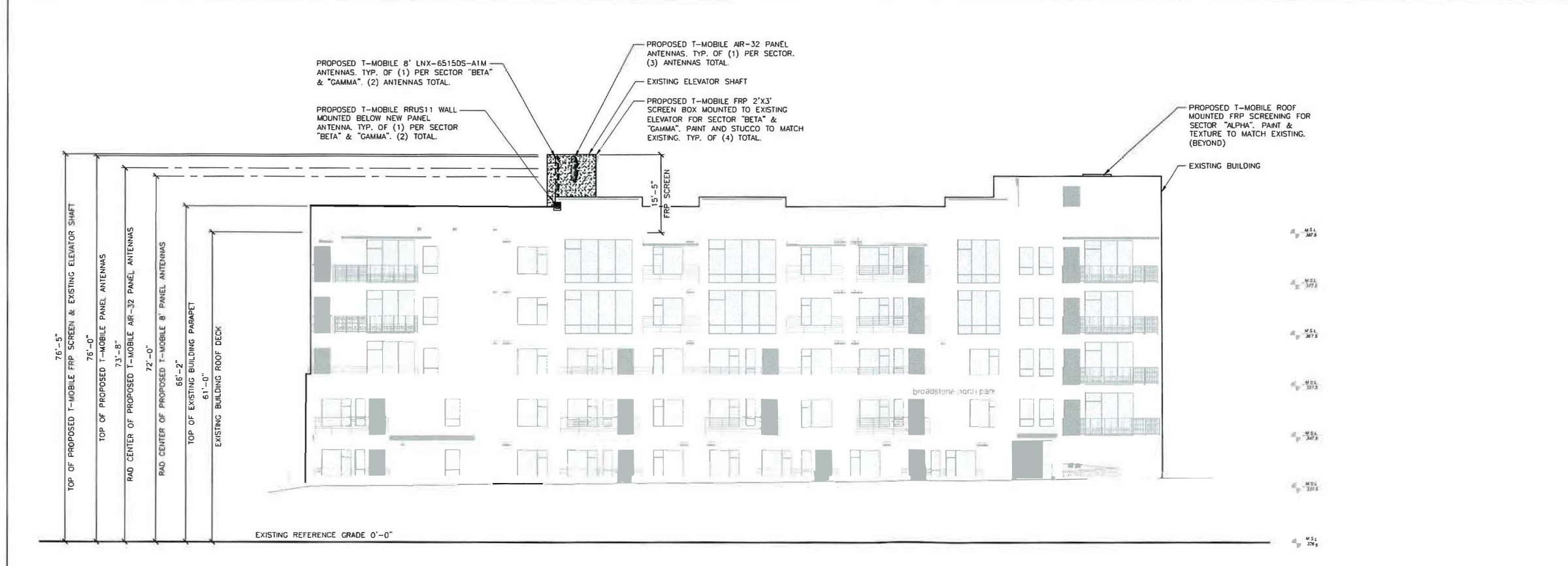
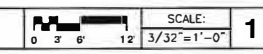
ARCHITECTURAL
ELEVATIONS

SHEET NUMBER:

A-5



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



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NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
3	06/26/17	90% CD	NT
4	07/31/17	LEASE AREA REVISIONS	SST
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7	03/15/18	CLIENT REVISIONS	NT
8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
11	10/17/18	PLANNING REVISIONS	AG

SITE INFORMATION:

SD06260A
ARIZONA PACIFIC BELL
BLDG.

4220 ARIZONA STREET
SAN DIEGO, CA 92104

SEAL:

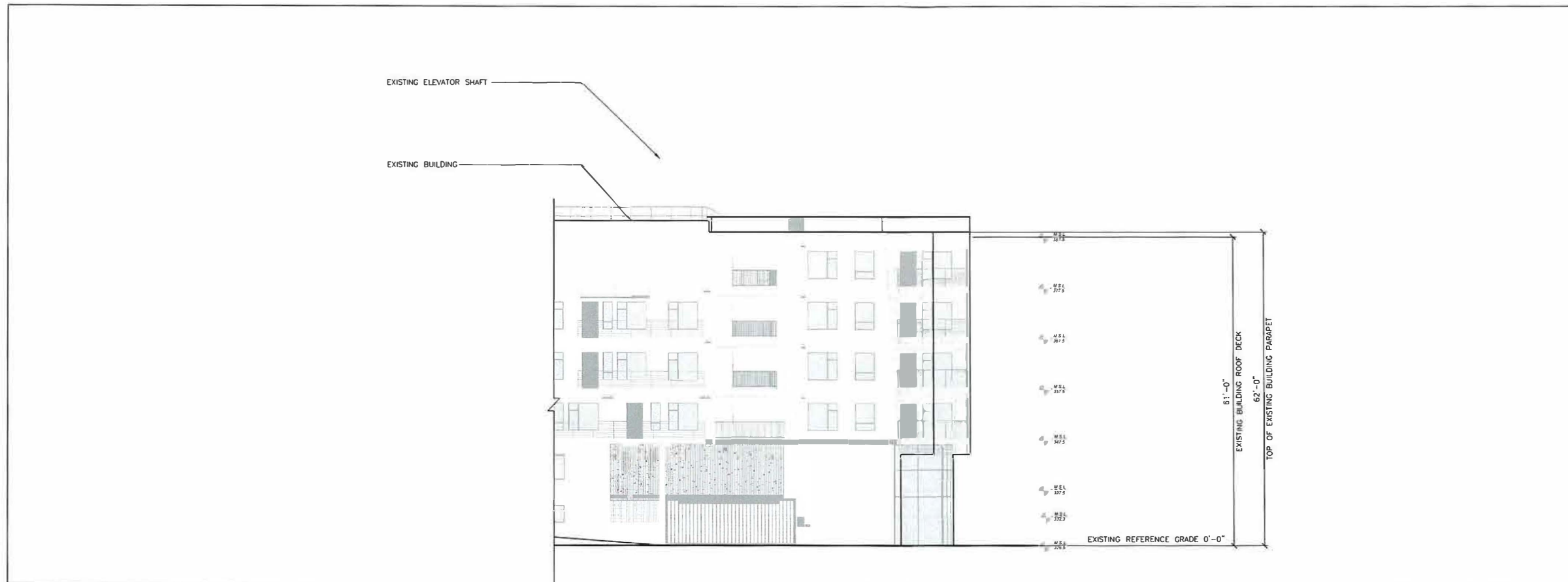


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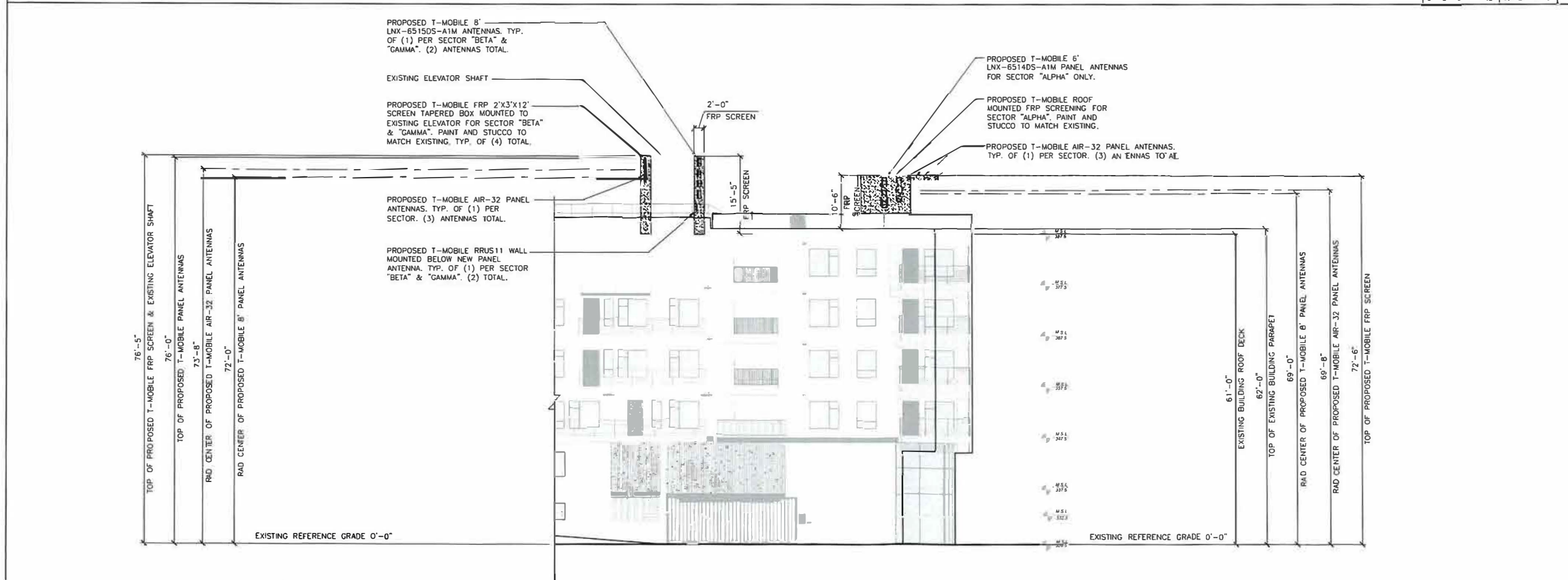
ARCHITECTURAL
ELEVATIONS

SHEET NUMBER:

A-5.1



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



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NATIONAL
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 PHONE (949) 716-9980 FAX (949) 716-9487

CONSULTANT:

 18401 VON KARMAN AVENUE SUITE 400 IRVINE, CA 92612
 TEL (949) 861-2201 FAX (949) 387-1275

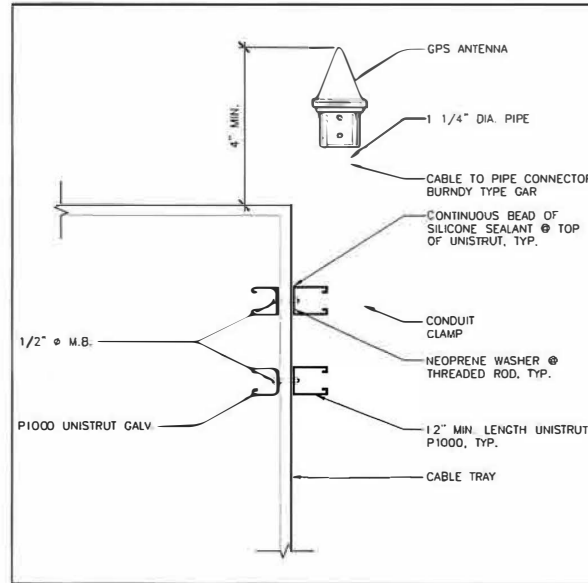
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2	02/22/17	100% ZD	NT
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4	07/31/17	LEASE AREA REVISIONS	SST
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6	09/07/17	CLIENT REVISIONS	CN
7	03/15/18	CLIENT REVISIONS	NT
8	04/10/18	CLIENT REVISIONS	NT
9	06/06/18	PLANNING REVISIONS	MM
10	07/30/18	PLANNING REVISIONS	NT
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SITE INFORMATION:
SD06260A
ARIZONA PACIFIC BELL BLDG.
 4220 ARIZONA STREET
 SAN DIEGO, CA 92104

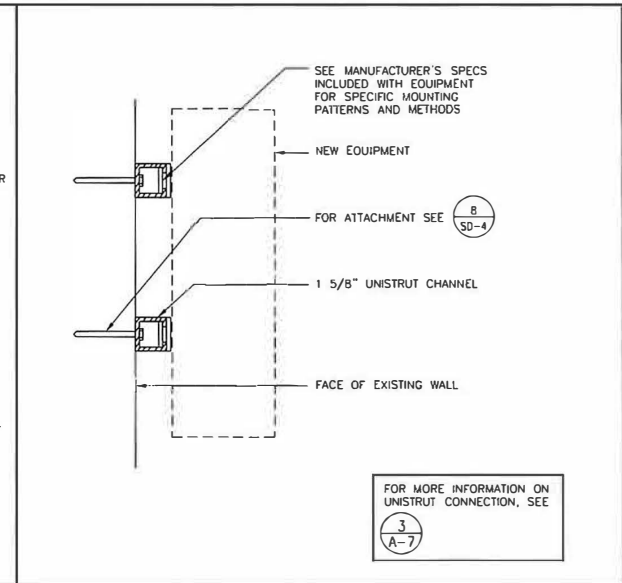


SHEET TITLE:
ARCHITECTURAL DETAILS

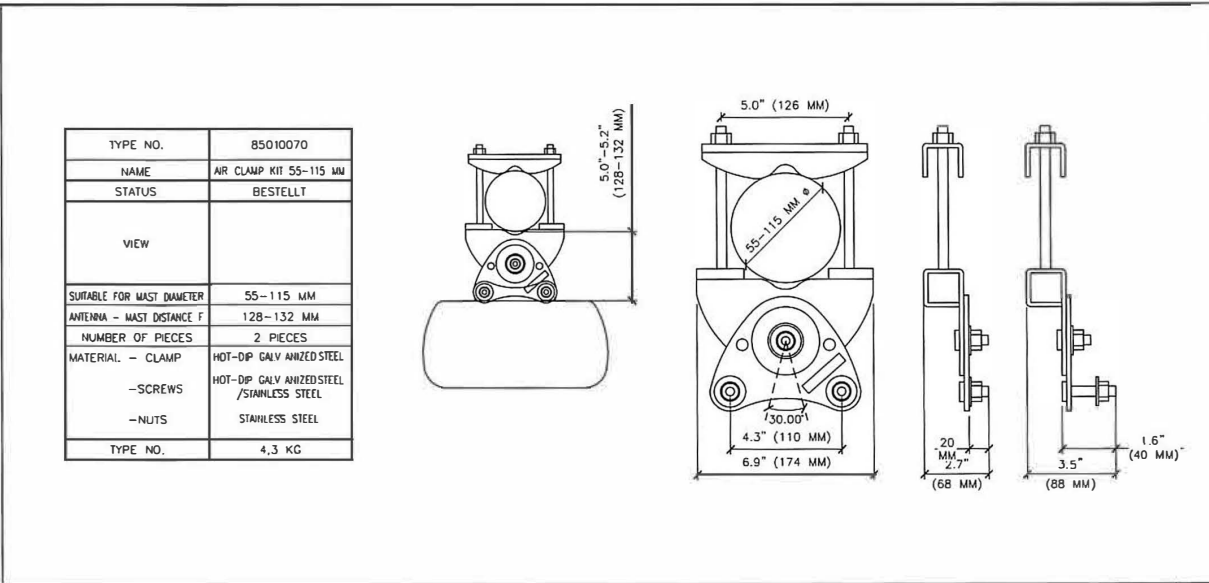
SHEET NUMBER:
A-6



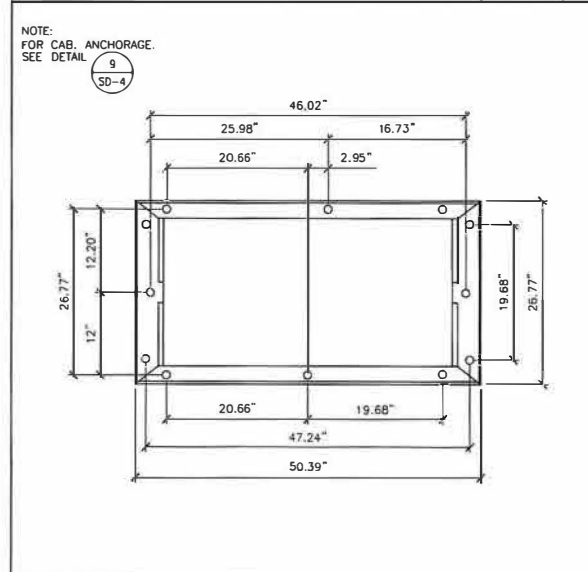
GPS ANTENNA MOUNT SCALE: N.T.S. 11



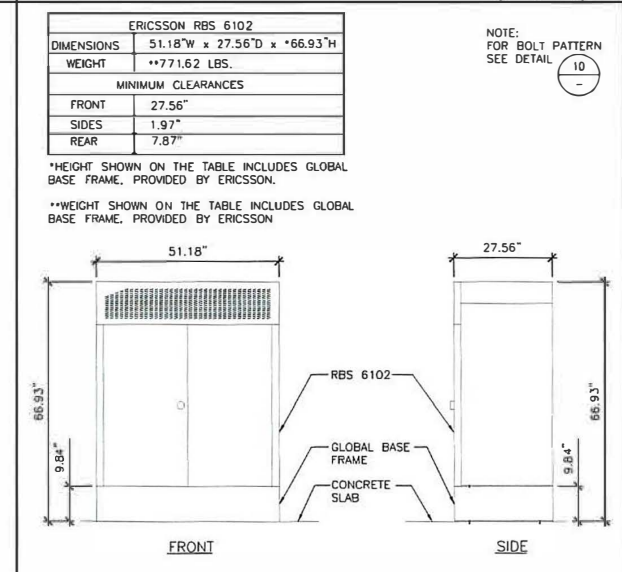
EQUIPMENT MOUNTING DETAIL SCALE: N.T.S. 8



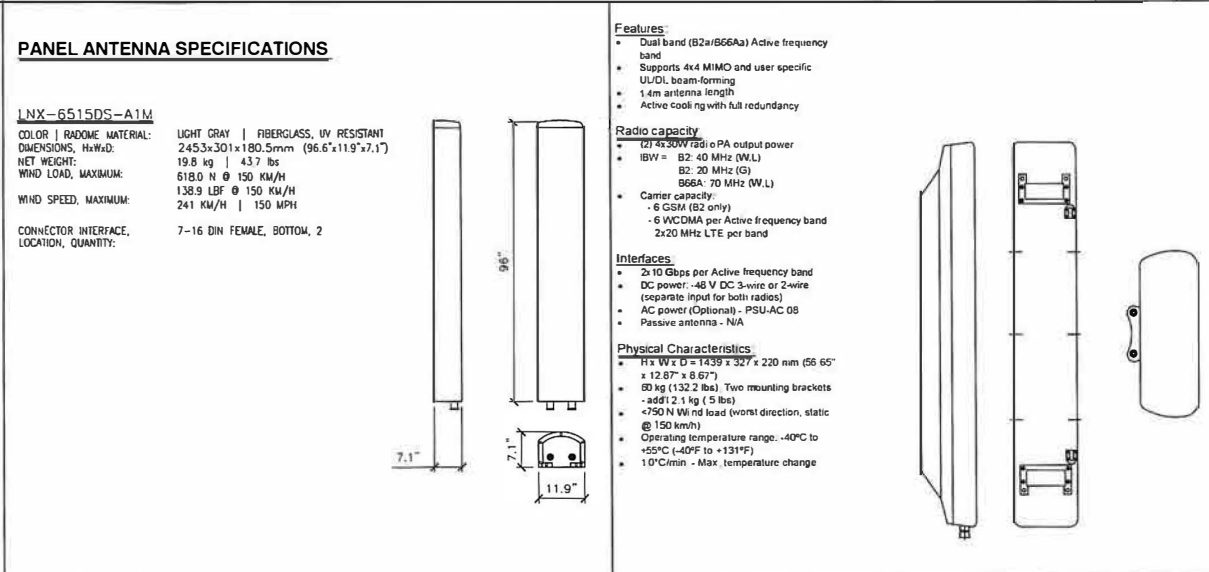
AIR ANTENNA MOUNTING SCALE: N.T.S. 3



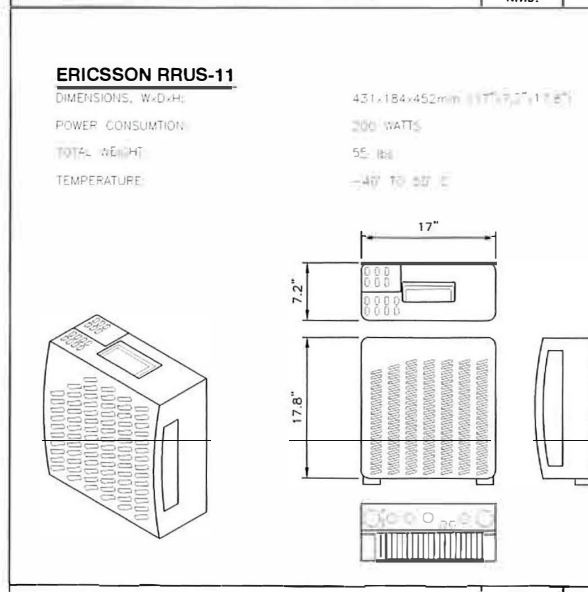
RBS 6102 BOLT PATTERN SCALE: N.T.S. 10



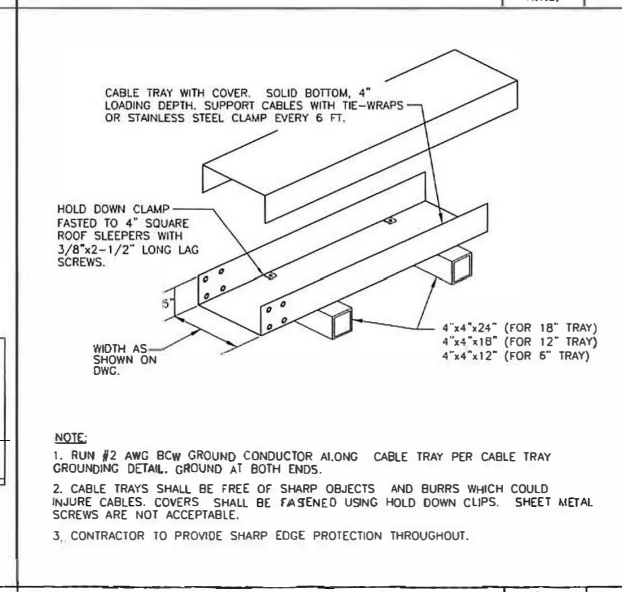
RBS 6102 SCALE: N.T.S. 7



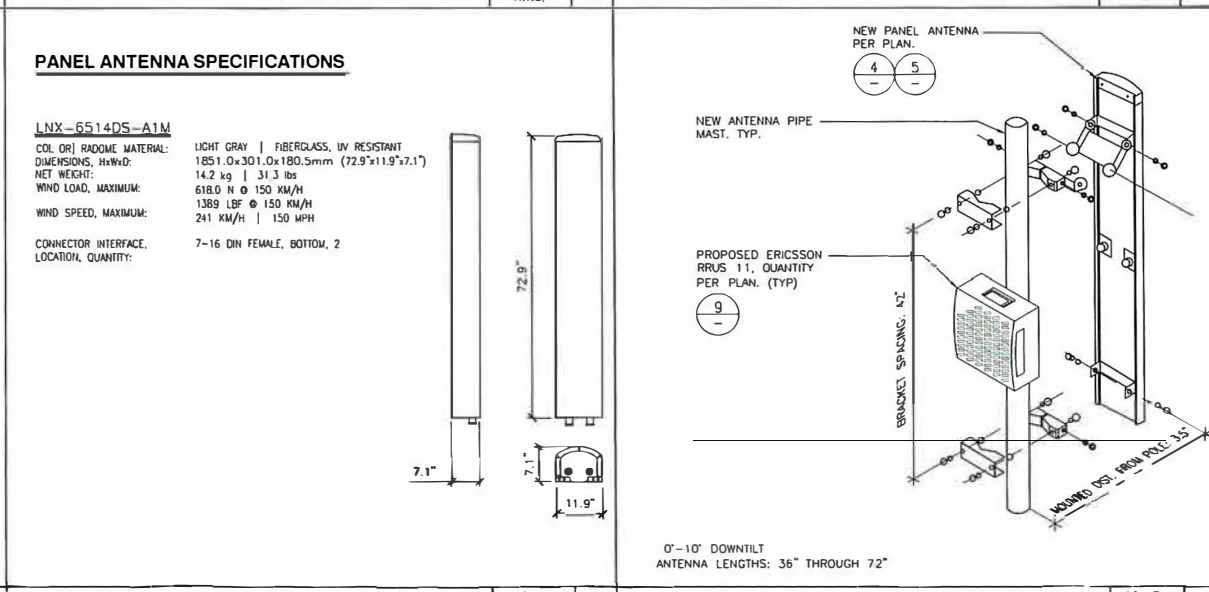
LNx-6515DS-A1M DETAIL SCALE: N.T.S. 5



RRUS-11 DETAIL SCALE: N.T.S. 9



CABLE TRAY SCALE: N.T.S. 6

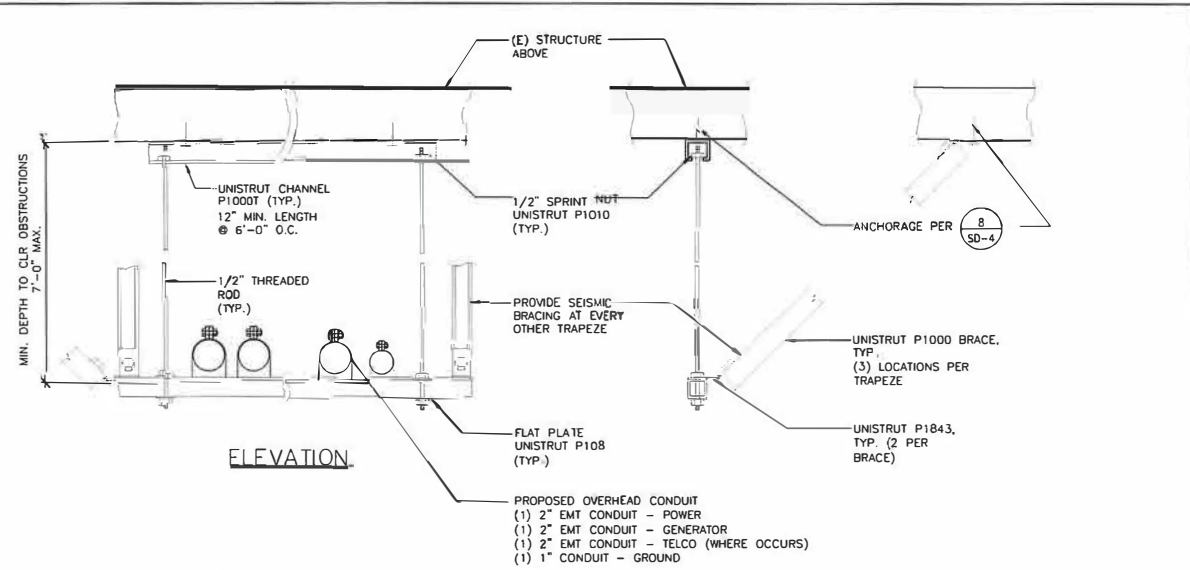


ANTENNA MOUNT W/ RRUS SCALE: N.T.S. 1

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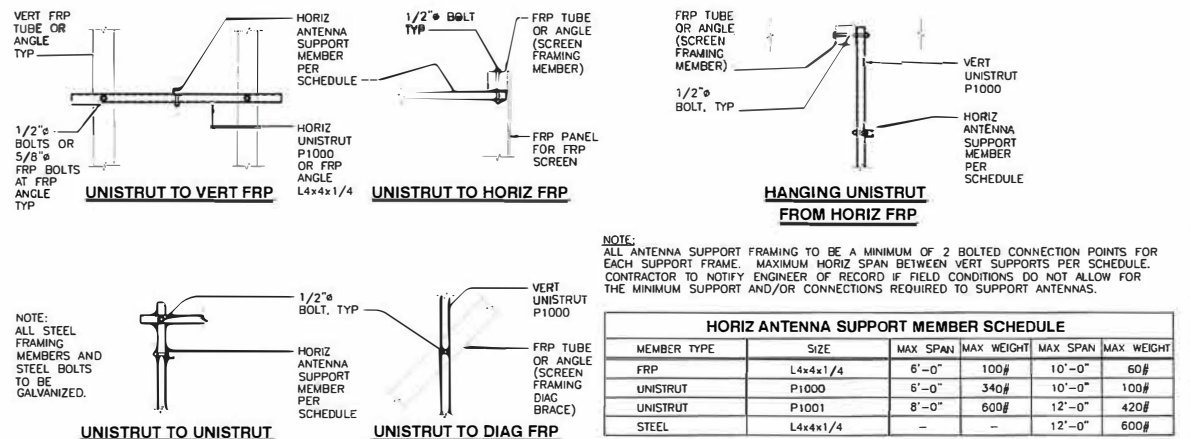
CONSULTANT:
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SUITE 400
IRVINE, CA 92612
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OVER-HEAD CONDUIT SUPPORT

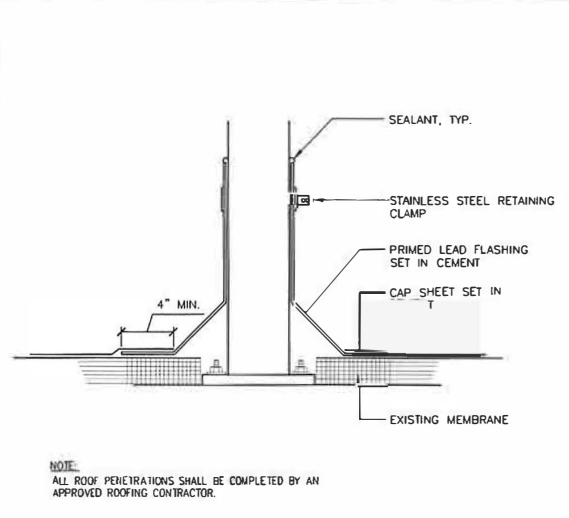
SCALE: 4 NOT USED
N.T.S.

SCALE: 5
N.T.S.



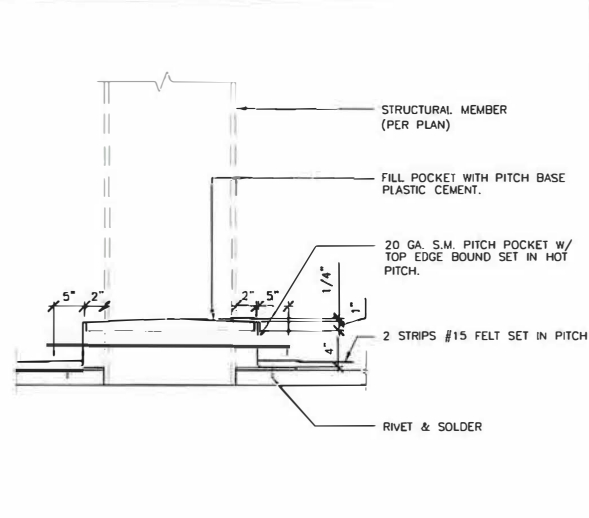
TYPICAL UNISTRUT FRAMING CONNECTIONS

SCALE: 3
N.T.S.



PIPE FLASHING

SCALE: 6
N.T.S.



PITCH POCKET - TYPICAL

SCALE: 2 NOT USED
N.T.S.

NO.	DATE	DESCRIPTION	BY
1	05/27/15	90% ZD	JY
2	02/22/17	100% ZD	NT
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SHEET TITLE:
ARCHITECTURAL DETAILS

SHEET NUMBER:
A-7

SCALE: 1
N.T.S.