



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: March 27, 2019 REPORT NO. PC-19-021

HEARING DATE: April 4, 2019

SUBJECT: THE PRESERVE AT TORREY HIGHLANDS. Process Five Decision

PROJECT NUMBER: [442880](#)

REFERENCE: Planning Commission Report No. [PC-13-103- Initiation of an Amendment to the Torrey Highlands Subarea Plan](#)

OWNER/APPLICANT: The Preserve at Torrey Highlands, LLC/John Leppert

SUMMARY

Issue(s): Should the Planning Commission recommend approval to the City Council for the construction of a commercial office development with café and parking structure on a 11.10-acre site located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur in the Torrey Highlands Subarea Plan?

Staff Recommendations:

1. Recommend the City Council Certify Environmental Impact Report No. 442880 and ADOPT the Mitigation, Monitoring and Reporting Program; and ADOPT the Findings and Statement of Overriding Considerations; and
2. Recommend the City Council Approve Community Plan Amendment No. 1686938;
3. Recommend the City Council Approve Rezone No. 1689633;
4. Recommend the City Council Approve Planned Development Permit No. 2161983; and
5. Recommend the City Council Approve Site Development Permit No. 1689641.

Community Planning Group Recommendation - On January 8, 2019, a motion by the Rancho Penasquitos Planning Group to recommend approval of the project failed by a vote of 0-12-4.

A second motion was made to recommend approval of the project if reduced in size to 360,00 square feet. This motion failed by a vote of 3-11-3 (Attachment 18).

Environmental Review: Environmental Impact Report (EIR) No. 442880/SCH No. 2016031026 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce some of the potential impacts, to below a level of significance. The applicant has provided Draft Candidate Finding's and Statement of Overriding Consideration to allow the decision maker to adopt the project with significant unmitigated and unavoidable direct impacts related to Transportation/Traffic Circulation, Greenhouse Gases, Visual Effects and Neighborhood Character (landform alteration).

Fiscal Impact Statement: No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: None

Housing Impact Statement: There is no impact on the provision of housing with the proposed project. The site has a Commercial Limited land use designation in the Torrey Highlands Subarea Plan which does not allow residential uses. The project proposes to re-designate the property to Employment Center and rezone the site from AR-1-1 (Agriculture-Residential) to IP-3-1 (Industrial-Park). The project proposes the construction of three commercial office buildings, consistent with the proposed land use designation and proposed zoning.

BACKGROUND

The project site consists of 11.10-acres of undisturbed land located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur. The City's Multi-Habitat Planning Area surrounds the site on three sides (north, south, and west), but is not within the project site (see Figure 1 below). The site is zoned AR-1-1 and designated Commercial Limited within the Torrey Highlands Subarea Plan. The project proposes to rezone the site to IP-3-1 and redesignate the land use to Employment Center with this Development Permit application. Additionally, the site is located within the Airport Land Use Compatibility Overlay Zone (Marine Corps Aviation Station [MCAS] Miramar) and the Airport Influence Area (Review Area 2 - MCAS Miramar).

The topography of the project site consists of an eroded mesa cut down the middle by a natural drainage ditch, dividing the site into western and eastern ridges with minor trails and access roads on the southerly mesa and both ridges. The southern portion of the project site is generally flat, and the northern half descends northward into the eastern portion of Deer Canyon. Elevations across the site range from approximately 325 feet above mean sea level (AMSL) at the lowest point in the north and northeastern portions of the site to approximately 410 feet AMSL in the southwest corner of the site (Attachment 6)

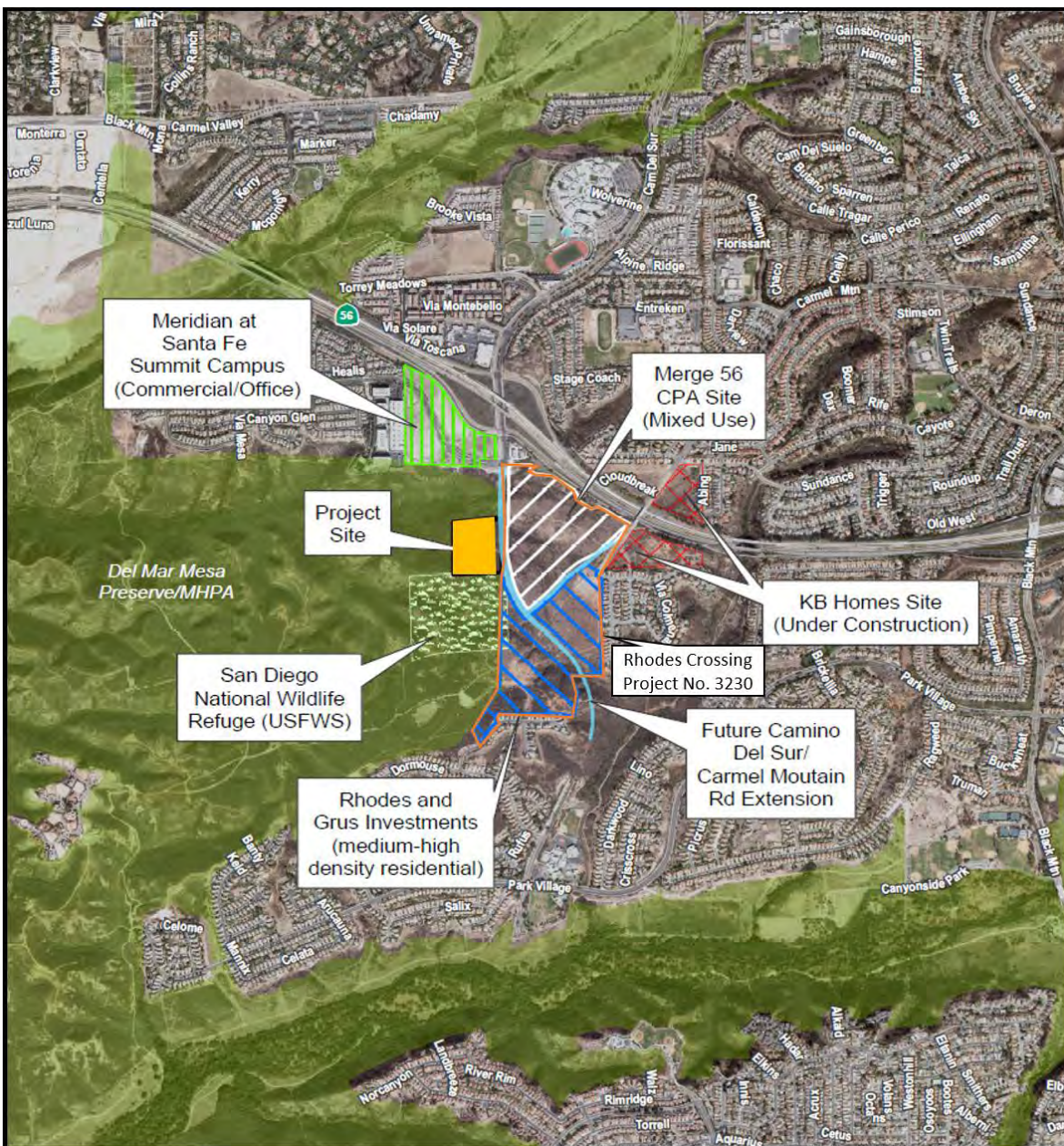


Figure 1: Surrounding Area

Commercial and residential land uses are located approximately a quarter mile north of the project site. Located to the south and east is the Rhodes Crossing project (Project No. 3230) approved in 2004 and consisting of 147.4-acres for the development of 741 dwelling units, 531,055 square-feet of commercial and self-storage facilities and a gasoline service station (Figure 1). Amending a portion of Rhodes Crossing and located directly across future Camino Del Sur to the east is the Merge 56 project (Project No. 360009) consisting of the future development of 525,000 square feet of commercial, office, theater/cinema, and hotel uses and 242 residences (158 multi-family and 84

single-family) on 41.34-acres. The Merge 56 project was approved at City Council on May 22, 2018. Additionally, another portion of the Rhodes Crossing project area, located directly south of the Merge 56 project site, underwent a community plan amendment (CPA) initiation in September 2013. Since the CPA initiation, a formal project submittal has not been made.

Prior Approvals – On March 4, 2004 the Planning Commission approved a Planned Development Permit, Site Development Permit, and Conditional Use Permit for the development of Our Lady of Mt. Carmel which included a church campus, worship center and school with a total enrollment of 500 students in grades kindergarten through eight (Attachment 15). The entire development footprint including surface parking, administration offices, classrooms and worship center occupied a majority of the site. On May 3, 2007 an Extension of Time was submitted for the project but was withdrawn on December 4, 2012.

On September 19, 2013, the Planning Commission held a public hearing to consider a request to amend the Torrey Highlands Subarea Plan to redesignate the 11.10-acre site from Commercial Limited to Employment Center as identified in Planning Commission Report No. [PC-13-103](#). Resolution No. 4549-PC was approved by a vote of 6-0-1 to initiate the amendment (Attachment 14).

Council Policy No. 600-27 and 900-14:

The Preserve at Torrey Highlands project (Project) was deemed complete on November 18, 2015, and the project is utilizing the Affordable/In-Fill Housing and Sustainable Buildings Expedite program (Program) qualifications and San Diego Municipal Code (SDMC) regulations that were in effect at the time of the submittal. On July 31, 2017, the City Council adopted [Resolution No. R-311256](#) amending Council Policy No. 600-27 regarding the Program. This resolution went into effect upon the adopted associated amendments to the SDMC regarding the qualifications for the Program pursuant to [Ordinance No. O-20856 \(New Series\)](#). The qualifications and regulations for the affordable, in-fill housing and sustainable buildings project became effective outside of the coastal overlay zone on October 20, 2017, which replaces the qualification requirements for private development from Council Policy 900-14 (2003 version) to the SDMC. Therefore, the Preserve at Torrey Highlands project is being processed in accordance with the Affordable Housing, Infill Projects, and Sustainable Buildings Development Regulations ordinance (Chapter 14, Article 3, Division 9) in effect at the time the project was deemed complete.

DISCUSSION

Project Description:

The project proposes a Community Plan Amendment (CPA), Rezone, Site Development Permit (SDP), and Planned Development Permit (PDP) for the construction of a 450,000-square-foot campus-like commercial office project on an undeveloped 11.10-acre site. The project would consist of three commercial office buildings, an accessory café, parking structure, and fitness center. Building One, located on the east side of the site and adjacent to Camino Del Sur, consists of a six-story, 180,000-square-foot office building with 87 subterranean parking stalls (Figure 2). Building Two, located on



Figure 2: Building 1 and Cafe



Figure 3: Building 2



Figure 4: Building 3



Figure 5: Parking Structure

the north side of the property would consist of a four-story 120,000-square-foot office building with 69 subterranean parking stalls and a 5,000 square-foot fitness center with lockers and shower stalls (Figure 3). Building Three, located on the west side of the site will consist of a five-story 150,000-



Figure 6: Site Plan

square-foot office building with 85 subterranean parking spaces (Figure 4). Additionally, the site would include a single level, 3,850-square-foot café located in the middle of the site (Figure 2) and a 180,000 square-foot, seven-story (plus one level of subterranean parking) parking structure with 1,478 parking spaces located on the south side of the site (Figure 5). The project also includes 62 surface parking stalls for a total of 1,781 total parking stalls.

The project proposes a campus type setting designed to integrate into the natural topography. This includes a café in the center of the development with patio and dining area, an outdoor collaboration space, an amphitheater with staggered seat walls, and overlook seating area with a view of Dear Canyon. The natural setting would include a landscape design which adheres to the principals of the Torrey Highlands Subarea Plan by providing a coordinated program for street landscaping and fire protection zones between native areas and the proposed development. The proposed plant palette relates to the concept by utilizing native and non-invasive plants to create a buffer to the Multiple Habitat Planning Area (MHPA). To promote pedestrian circulation, connections have been provided between the site and the street frontage to access the future retail site locate across Camino Del Sur. A combination of grading and trees will help integrate the parking structure into the surrounding terrain and screen any views from the south (Figure 6).

Sustainability Features - The project would achieve Leadership in Energy and Environmental Design (LEED) Gold certification by implementing sustainable and environmentally friendly design features, techniques, and materials in accordance with the Affordable/In-Fill Housing and Sustainable Buildings Expedite program. These features would reduce energy demand, water and resource consumption, and waste, and would generate renewable energy on-site. Sustainability measures would include but not be limited to the following:

- Solar panels would be mounted on top of parking garage shade structures to generate on-site renewable energy;
- Ventilation strategies from adjustable windows and an open-air campus courtyard would reduce reliance on the heating, ventilation, and air conditioning (HVAC) system and reduce energy use;
- Landscaping with non-invasive drought-tolerant native species would be planted throughout the project site;
- Recycled water would be used instead of potable water for irrigation of landscaping;
- Waste reduction strategies would be used to improve recycling programs, both during and after construction;
- Cool roofing materials, such as reflective, low-heat-retention tiles, membranes, and coatings would be used to reduce heat build-up;
- Shade structures over the parking garage would be installed;
- Shade trees and other vegetation would be planted throughout the site to provide shade to the buildings, and the parking lot and garage; and
- Carpool/van-pool-designated spaces, Americans with Disabilities Act-compliant parking, bicycle parking, and electrical vehicle charging facilities would be provided.

Required Approvals

- Community Plan Amendment (CPA)- The CPA is required to change the land use designation of the project from Commercial Limited (CL) to Employment Center (EC)
- Rezone- The Rezone would modify the underlying zoning of AR-1-1 (Agriculture-Residential, minimum 10-acre lots) to IP-3-1 (Industrial Park) allowing for research and development, office, and residential uses.
- Site Development Permit (SDP) – Required for development on a site that contains Environmentally Sensitive Lands (ESL) and for development within the Airport Land Use Compatibility Overlay Zone that request a Rezone or a land use plan amendment.

- Planned Development Permit (PDP) – Pursuant to SDMC Section 143.0465 where the Torrey Highlands Subarea Plan recommends a Planned Development Permit be processed to ensure site design objectives from the Torrey Highlands Subarea plan are being met.

Project-Related Issues

Environmentally Sensitive Lands – The site is vacant containing three native vegetation communities to include scrub oak chaparral (0.6-acres), southern mixed chaparral (2.4-acres), and chamise chaparral (8.1-acres) (Attachment 7 and 8). Development of the project would result in direct impacts to approximately 9.75-acres of native vegetation as outlined in Table 1:

Table 1¹		
Environmentally Sensitive Lands Impacts		
Direct Impacts (acres)	Mitigation On-Site (acres)	Mitigation Off-Site (acres)
0.47-acre of scrub oak chaparral (Tier I)		0.47-acre of Tier I scrub oak chaparral to be provided at a 1:1 ratio through the off-site conservation of 0.47-acre of Tier I habitat at the Deer Canyon Mitigation Bank.
1.97-acres of southern mixed chaparral (Tier IIIA).		8.85-acres of Tier III habitat, including 1.97-acres of southern mixed chaparral and 6.88-acres of chamise chaparral (6.88-acres is the result of 7.31-acres of impact minus 0.43-acre mitigated on-site) will be accomplished at a 0.5:1 ratio through the conservation of 4.42-acres also within the Deer Canyon Mitigation Bank. ²
7.31-acres of chamise chaparral (Tier IIIA).	0.43-acre to be mitigated on-site through the recordation of a Covenant of Easement (COE) shall preserve 0.43-acre of chamise chaparral (Tier IIIA) at a 1:1 ratio and required to be recorded prior to the issuance of a grading permit.	

Footnotes:

¹0.92-acres of the total 11.10-acre site is considered Not a Part (NAP) of the project due to its association with the extension of Camino del Sur which was analyzed and mitigated with the Merge 56 project (Approved May 22, 2018) located along the eastern edge of the site.

² The Deer Canyon Mitigation Bank credits include 4.39-acres of Tier III habitat credits. The excess 0.03-acre of Tier I habitat credits (0.5-acre available minus 0.47-acre used for mitigation for impacts to scrub oak chaparral) will be applied to the less sensitive Tier III impacts to satisfy those mitigation requirements.

Additionally, the project is required to adhere to the Multiple Species Conservation Program (MSCP) guidelines which require that all new and proposed parking lots and developed areas in and adjacent to the preserve must not drain directly into the Multiple Habitat Planning Area (MHPA). Additionally, lighting of all developed areas adjacent to the MHPA should be directed away from the MHPA; uses in or adjacent to the MHPA would be designed to minimize noise impacts by the construction of berms or walls; no invasive non-native plant species shall be introduced into areas adjacent to the MHPA; and all manufactured slopes contained within the development footprint would not encroach into the MHPA.

Brush Management - The proposed brush management plan conforms to the requirements of the City's Landscape Ordinance by a means of standard brush management requirements and alternative compliance. Fire hazard conditions currently exist in the open space area to the north, west, and south of the project site (Figure 7 and Attachment 21).

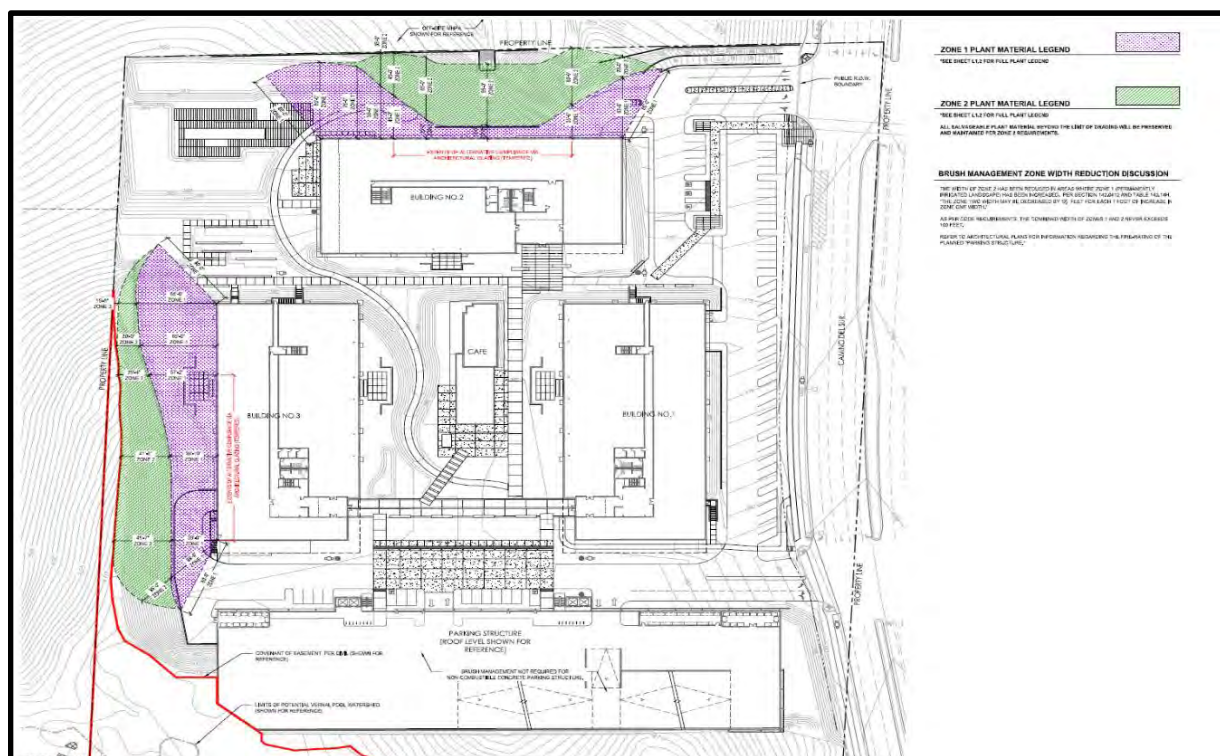


Figure 7: Brush Management Plan

Where brush management is required, a comprehensive program would be implemented to reduce fire hazards around all structures by providing a defensible space or fire-break between structures and areas of flammable vegetation. Brush Management Zones (BMZ) 1 and 2 are located within the development footprint and outside of the MHPA. New planting would occur within the graded areas. BMZ 2 will include only native plant species and no non-native invasive plant species would be used. Brush management is not proposed in the MHPA. The Brush Management Program is based on a standard Zone One width of 35-foot, a Zone Two width of 65 feet, exercising the Zone Two reduction option and Alternative Compliance measures set forth under SDMC Sections

142.0412(f), 142.0412(i), and 142.0412(j). Building Two, located on the north side of the site, will observe a Zone One ranging from 13 feet to 80 feet as measured from the north façade towards the north property line and a corresponding Zone Two ranging from 65 feet to 0 feet. Building 3, located on the west side of the site, will observe a Zone One ranging from 39 feet to 80 feet as measured from the west façade out towards the west property line, and a corresponding Zone Two ranging from 48 feet to 0 feet. Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures, windows will be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.

Public Roads- Access to the project site would be provided via two signalized driveways off Camino del Sur. The signal at the northern driveway will be constructed as part of the Merge 56 project and the southern driveway signal would be constructed as part of the proposed project. The Merge 56 project will incorporate planned rights-of-way for the Camino del Sur improvements (Attachment 19). The extension of Camino del Sur would be constructed by the Merge 56 project along the easterly project site boundary, complete with curb, gutter, sidewalk, and a paved travel way of two lanes in each direction plus turn pockets. The Camino del Sur improvements would also include a bus stop and crosswalk serving the project and the Merge 56 project located just south of the project's northerly driveway entrance. Bike lanes would be provided on all sections of Camino del Sur. Improvements to be constructed by this project include the extension of the third southbound thru lane to the southerly driveway and the southbound to northbound U-turn lane at the southerly driveway along Camino Del Sur. Because construction of Camino del Sur was reviewed, analyzed, and mitigated as part of EIR No. 36009/SCH No. 2014071065 (Merge 56), The Preserve at Torrey Highlands would not receive a Certificate of Occupancy for the first commercial office building until after the Camino del Sur and Carmel Mountain Road improvements are open to traffic to the satisfaction of the City Engineer.

Water Supply Assessment (WSA)- In accordance with Senate Bill SB 610 and SB 221(2001), the City Public Utilities Department prepared a WSA Report for the proposed project (City 2014b), which assessed whether sufficient water supplies are or would be available to meet the projected water demands of the project. The WSA evaluated the City's ability to provide water supplies to the proposed project during normal water supply year, a single-dry year, and multiple-dry water years over a 20-year projection period, in addition to existing and planned future water demands of the City. As demonstrated in the WSA, current and future water supplies, as well as the actions necessary to develop these supplies, have been identified to serve the projected demands of the project, in addition to existing and planned future water demands of the City. Water conservation features, such as drought-tolerant landscaping, water efficient irrigation, water recycling, and low water use fixtures would be incorporated into the project, in accordance with the City requirements and California Building Code (CBC) regulations. The WSA concluded there is a sufficient water supply planned to serve the projects future water demands in normal, single-dry year, and multiple-dry water year forecasts. The projected level of water use for the proposed project is within the regional water resource planning documents of the City, the Water Authority, and the Metropolitan Water District. Current and future water supplies, as well as the actions necessary to develop these supplies, have been identified in the water resources planning documents.

General Plan/Community Plan Analysis:

The proposed project is consistent with the goals and policies of the General Plan and Torrey Highlands Subarea Plan (Community Plan). The project proposes a Community Plan amendment to redesignate the site from Commercial Limited to Employment Center to allow for a 450,000-square-foot business office campus. The proposed business office development would help implement the General Plan's Economic Prosperity Element by contributing positively to the economic vitality of the community and providing opportunities for new business development. The proposed business office development would also complement the nearby Santa Fe Summit office campus to the north and the recently approved Merge 56 mixed-use center to the east, with the potential for employees in the office campus to walk to the retail uses at Merge 56. The Subarea Plan's Employment Center land use designation allows for the development of a variety of employment-related uses, including corporate headquarters and professional and corporate offices. The proposed project would help implement the land use goals of the Subarea Plan by providing an employment base for the North City to contribute to the jobs/housing balance for residents of Torrey Highlands and the surrounding communities.

The project site is located in the southern portion of Torrey Highlands, which contains the majority of the community's employment and commercial and land uses. The southern portion of Torrey Highlands provides a centralized area for goods, services, and job opportunities. The uses are located to take advantage of access to SR-56 and proximity to Rancho Peñasquitos. The Subarea Plan originally designated the site Commercial Limited to allow for religious facilities, trade schools, storage, veterinary clinics, nurseries, and garden centers. The uses permitted in the designation are generally automobile oriented and are appropriate for the location of the site in proximity to State Route (SR)-56. The proposed amendment to allow for employment-related uses would similarly take advantage of access to SR-56 and the absence of comparable uses in Rancho Peñasquitos.

The proposed project would be consistent with the goals and policies of the General Plan Urban Design Element and Subarea Plan Open Space Element through compliance with the Multiple Species Conservation Program (MSCP) Land Use Adjacency Guidelines and the City's Environmentally Sensitive Lands regulations. Although the project site borders the City's Multiple-Habitat Planning Area (MHPA) on three sides, it does not include development within land designated as part of the MHPA. In addition to the parking garage, a combination of walls, signage, natural rock/boulder barriers, and landscaping are designed to prevent human intrusion into the adjacent MHPA sensitive areas. The project would ensure that all landscape planting adjacent to the MHPA would be comprised of native and non-invasive species, including species from the Torrey Highlands Subarea Plan recommended plant list. The location of the parking garage within the southern portion of the project site would help restrict access to the off-site vernal pool watershed consistent with the MSCP. The project proposes to provide outdoor meeting areas and access to walking paths that would connect to outside running and hiking trails planned in the Natural Resources Management Plan for the Del Mar Mesa Preserve.

The proposed project design would be consistent with the Subarea Plan's Community Design Guidelines for the Employment Center by incorporating a varied building scale and architectural detail to create an interesting and lively pedestrian environment. The project has been designed to

incorporate variation in building pad elevations to mimic the natural character of the site. The proposed project would locate the tallest commercial building (six stories) along Camino Del Sur, adjacent to the six-story business office development within the recently approved Merge 56 development. Additionally, the project locates one four-story building and one five-story building adjacent to the project site's western and northern boundary with the Del Mar Mesa Preserve. The proposed project's bulk and scale adjacent to the Del Mar Mesa Preserve would be consistent with the existing 480,000-square-foot Kilroy Santa Fe Summit office campus and planned expansion located to the northwest of the project site. The Santa Fe Summit office campus includes four-story buildings and a parking garage adjacent to the Del Mar Mesa Preserve.

The General Plan's Urban Design Element calls for development adjacent to natural features to be designed in a sensitive manner to highlight and complement the natural environment. The project would provide a visual transition from the surrounding natural areas to the site through a landscape palette that would include native trees, shrubs, and low-lying vegetation throughout the site and around the site perimeter. The proposed site design includes natural-colored and textured concrete paving and decomposed granite paving on walkways and patios throughout the site. The landscape plan includes mature size trees designed to mimic the off-site natural environment. The proposed building materials and landscaping have been designed to complement the surrounding natural areas and nearby existing and proposed development. The building design uses variations in massing and architectural treatments for each building, which include a mixture of stone, concrete and glass to avoid repetition in design and help reduce the sense of height and bulk for each building.

The project proposes a 180,000 square-foot, seven-story (plus one level of subterranean parking) parking structure with 1,478 parking spaces located on the south side of the site. To help reduce the visual impact of the parking garage from the Del Mar Mesa Preserve, new tree plantings would be located along the north and south-facing wall of the parking structure to screen views of the building façade.

Consistent with the General Plan's Urban Design and Conservation Element goals and policies, sustainability features of the project would include LEED Gold certification or equivalent by implementing a series of sustainable and environmentally friendly design features, techniques, and materials. These features include but are not limited to on-site solar installations; exceedance of Title 24, Par 6, energy requirements; energy efficient lighting, appliances, and ventilation strategies; high-efficiency plumbing and landscaping; and cool roofing materials.

Conclusion:

The proposed development complies with the applicable zoning and development regulations of the Land Development Code including development requirements regulating a commercial office development. The proposed project was reviewed for compliance with the IP-3-1 zone development regulations, the Torrey Highlands Subarea Plan, and the General Plan and no deviations proposed, thus, staff recommends approval of the project.

ALTERNATIVES

1. Recommend the City Council Certify Environmental Impact Report No. 442880/SCH No. 2016031026, ADOPT the Findings and Statement of Overriding Considerations, and Adopt the Mitigation, Monitoring, and Reporting Program; Adopt the Amendment to the Torrey Highlands - Subarea IV Subarea Plan No. 1689638; Adopt the Rezone Ordinance No. 1689633; Approve Planned Development Permit No. 2161983, and Site Development Permit No. 1689641, with modifications.
2. Recommend to the City Council Do Not Certify Environmental Impact Report No. 442880/SCH No. 2016031026, Do Not Adopt the Findings and Statement of Overriding Considerations, and Do Not Adopt the Mitigation, Monitoring, and Reporting Program; Deny the Amendment to the Torrey Highlands - Subarea IV Subarea Plan No. 1689638; Deny the Rezone Ordinance No. 1689633; and Deny Planned Development Permit No. 2161983, and Site Development Permit No. 1689641 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Patricia J. Fitzgerald
Assistant Deputy Director
Development Services Department



William Zounes
Development Project Manager
Development Services Department



Laura C. Black, AICP
Deputy Director
Planning Department

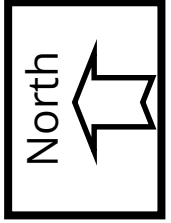
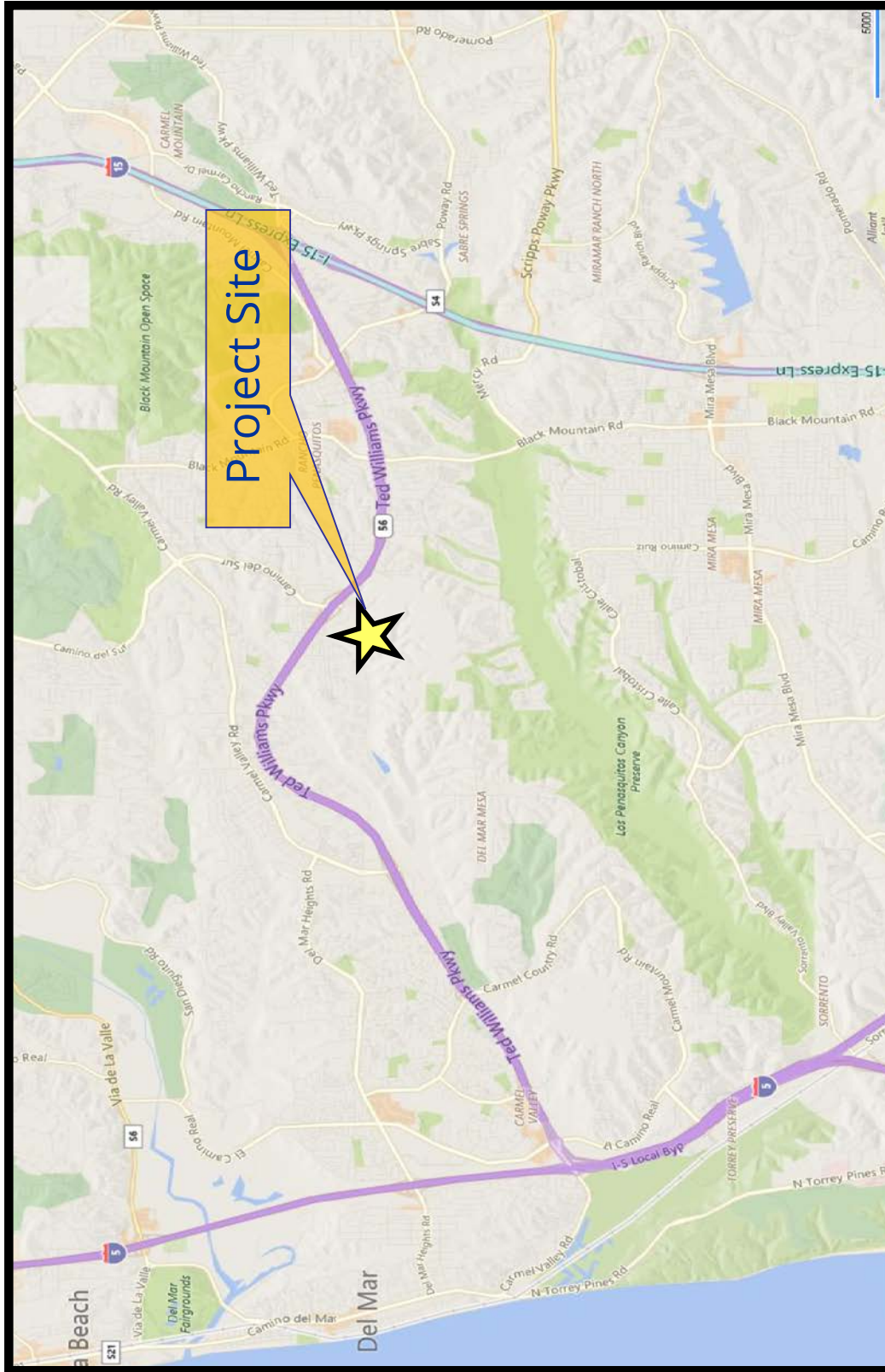
FITZGERALD/WJZ

Attachments:

1. Location Map
2. Aerial Photograph
3. Community Plan Land Use Map - Existing
4. Community Plan Land Use Map - Proposed
5. Existing Zoning
6. Site Photographs

- 6a. Data Sheet
7. Existing Biological and Jurisdictional Resources (EIR Figure 5.6.1)
8. Biological Resource Impacts (EIR Figure 5.6.3)
9. Draft PDP/SDP Resolution with Findings
10. Draft EIR Environmental Resolution
11. Draft PDP/SDP Permit with Conditions
12. Draft Rezone Ordinance
13. Rezone Exhibit Sheet B-4334
14. Community Plan Update Exhibit
- 14a. Community Plan Initiation September 9, 2013
15. Draft Community Plan Amendment Resolution
16. Revised Torrey Highlands - Subarea IV Plan Strikeout and Underlines
17. Planning Commission Report PC-04-022
18. Community Planning Group Recommendation
19. Ownership Disclosure Statement
20. Camino del Sur improvements
21. The Preserve at Torrey Highlands Simulations
22. Project Plans

Internal Order No. 24006166

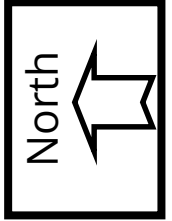
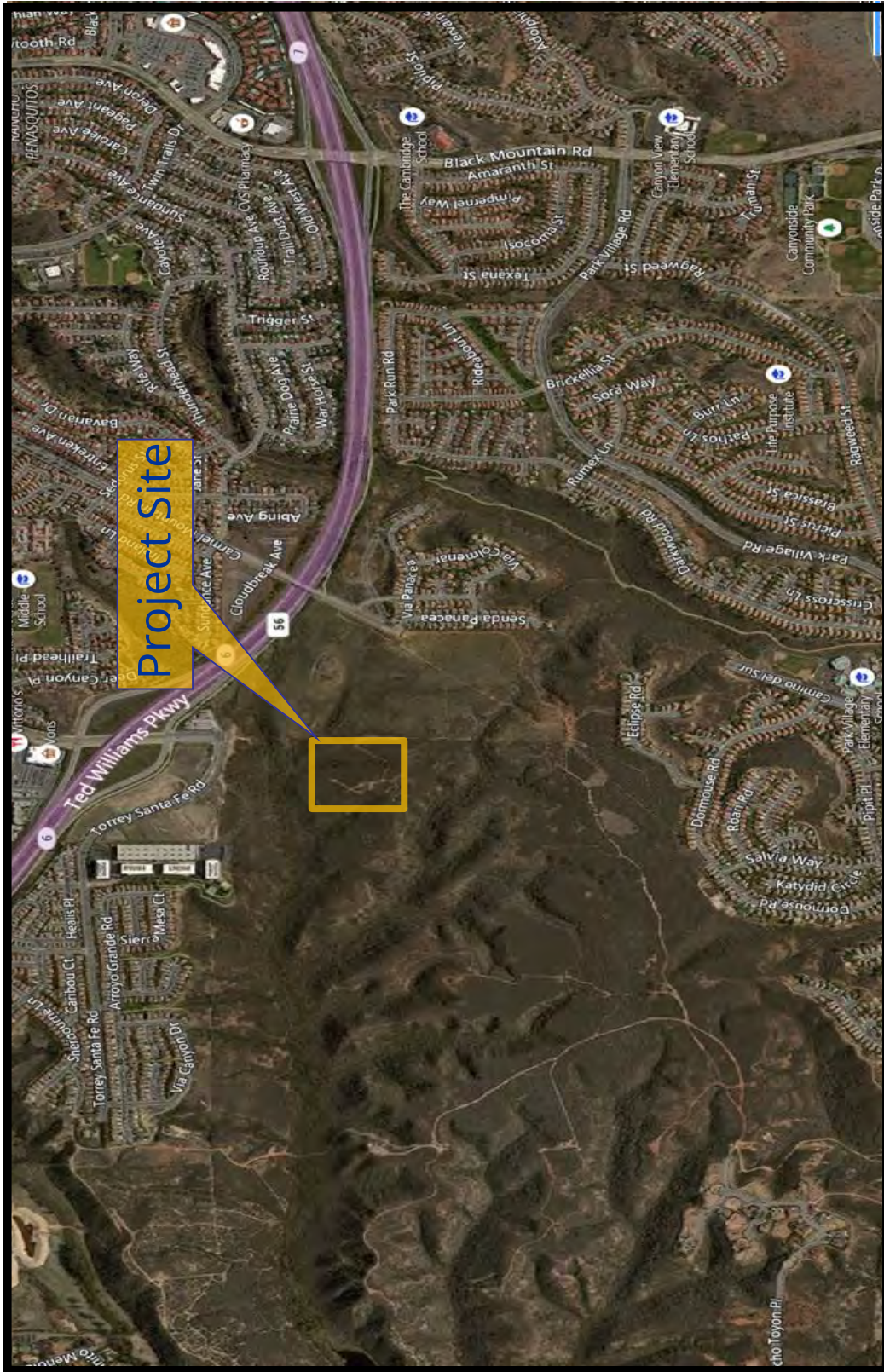


Location Map

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur

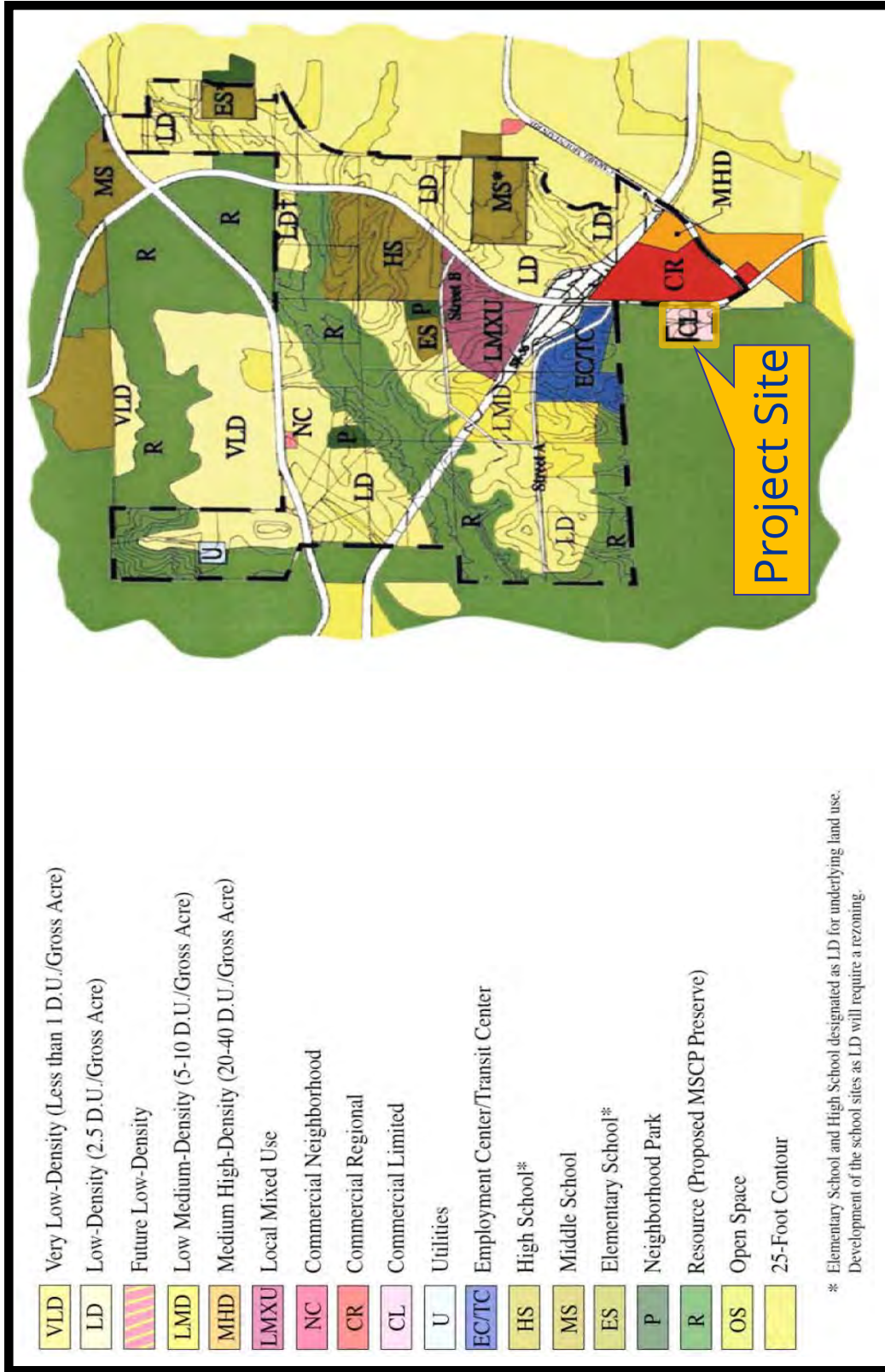




Aerial Photograph

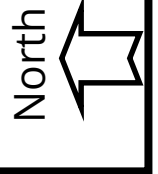
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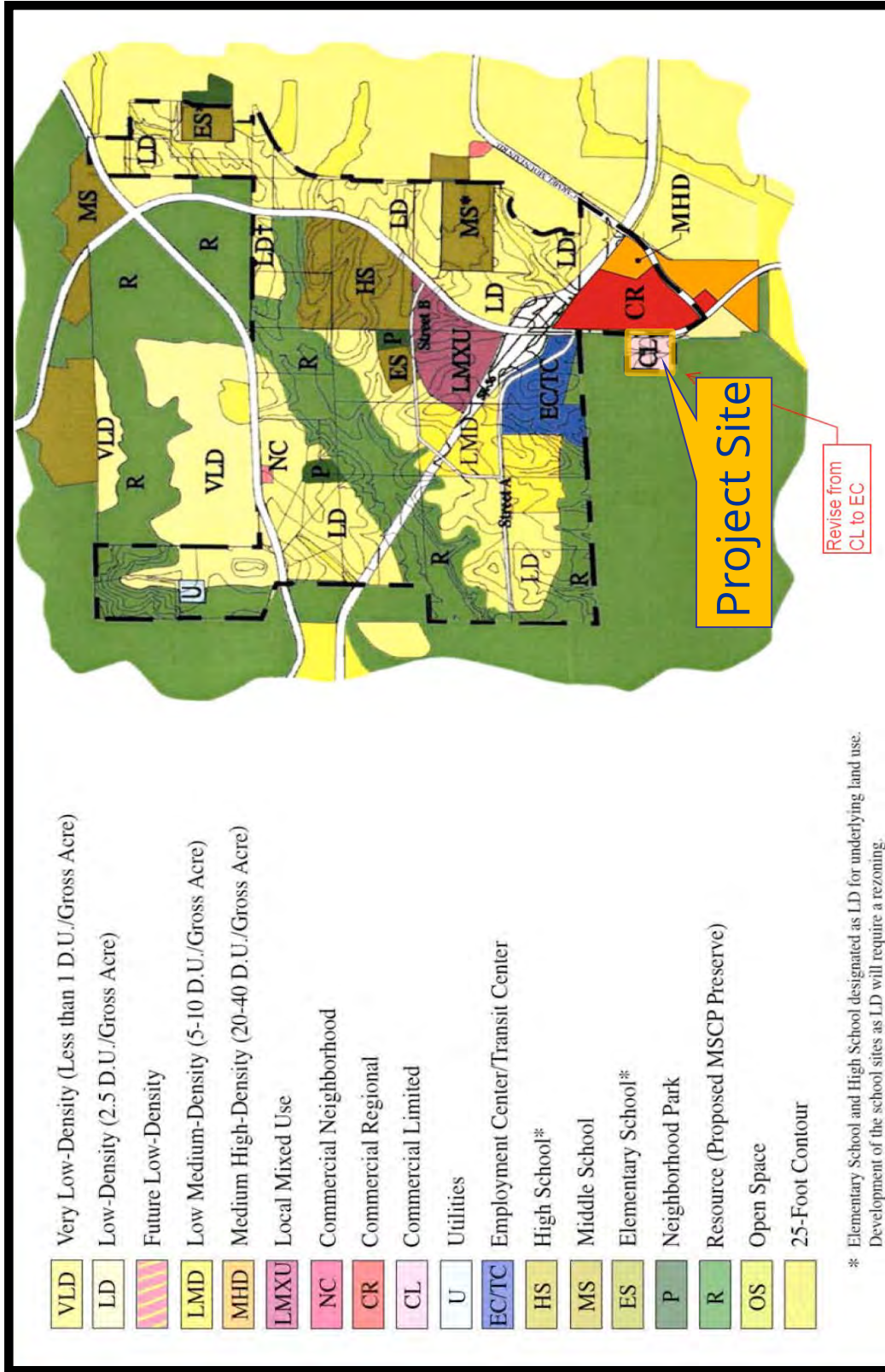
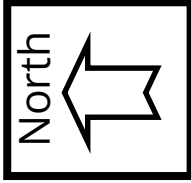




Community Plan Land Use Map Existing

The Preserve at Torrey Highlands -Project 442880
 South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur

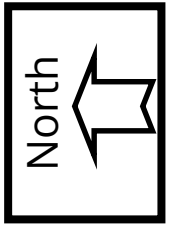
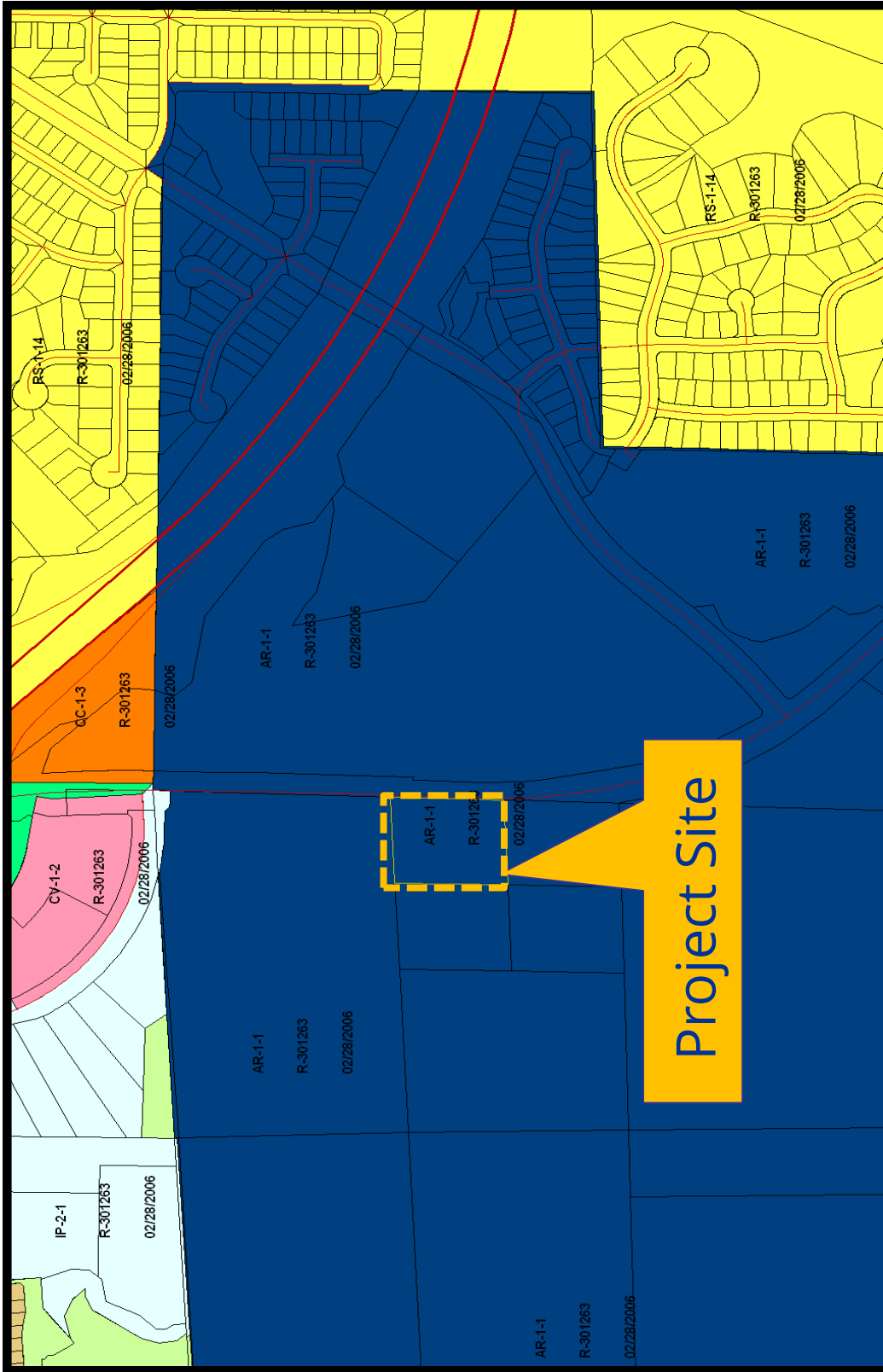




Community Plan Land Use Map Proposed

The Preserve at Torrey Highlands -Project 442880
 South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



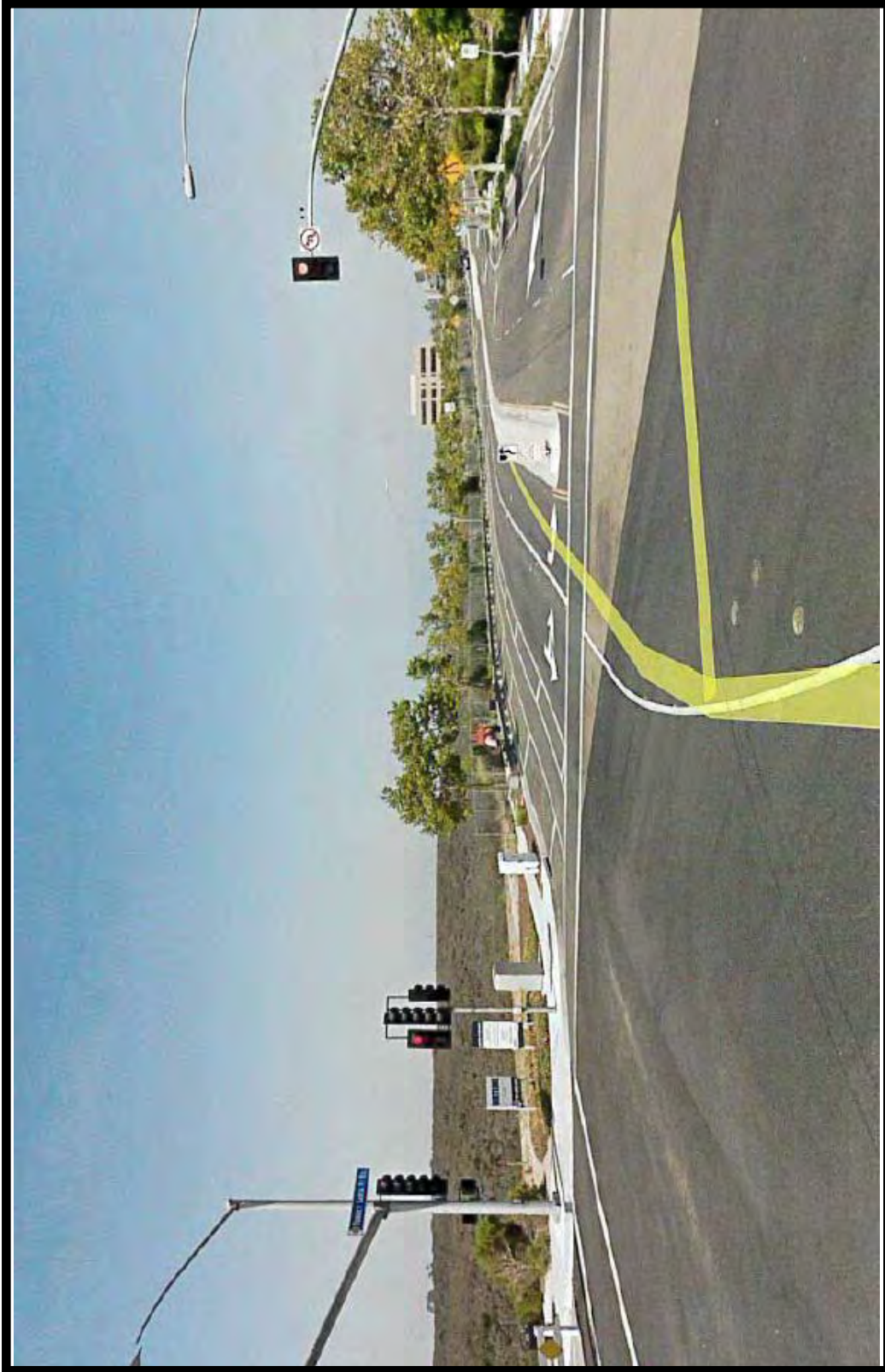


Zoning Map (CN-1-4 and RM-1-2 zones)

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur





Site Photographs – Looking southwest

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur





Site Photographs - Looking south

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur





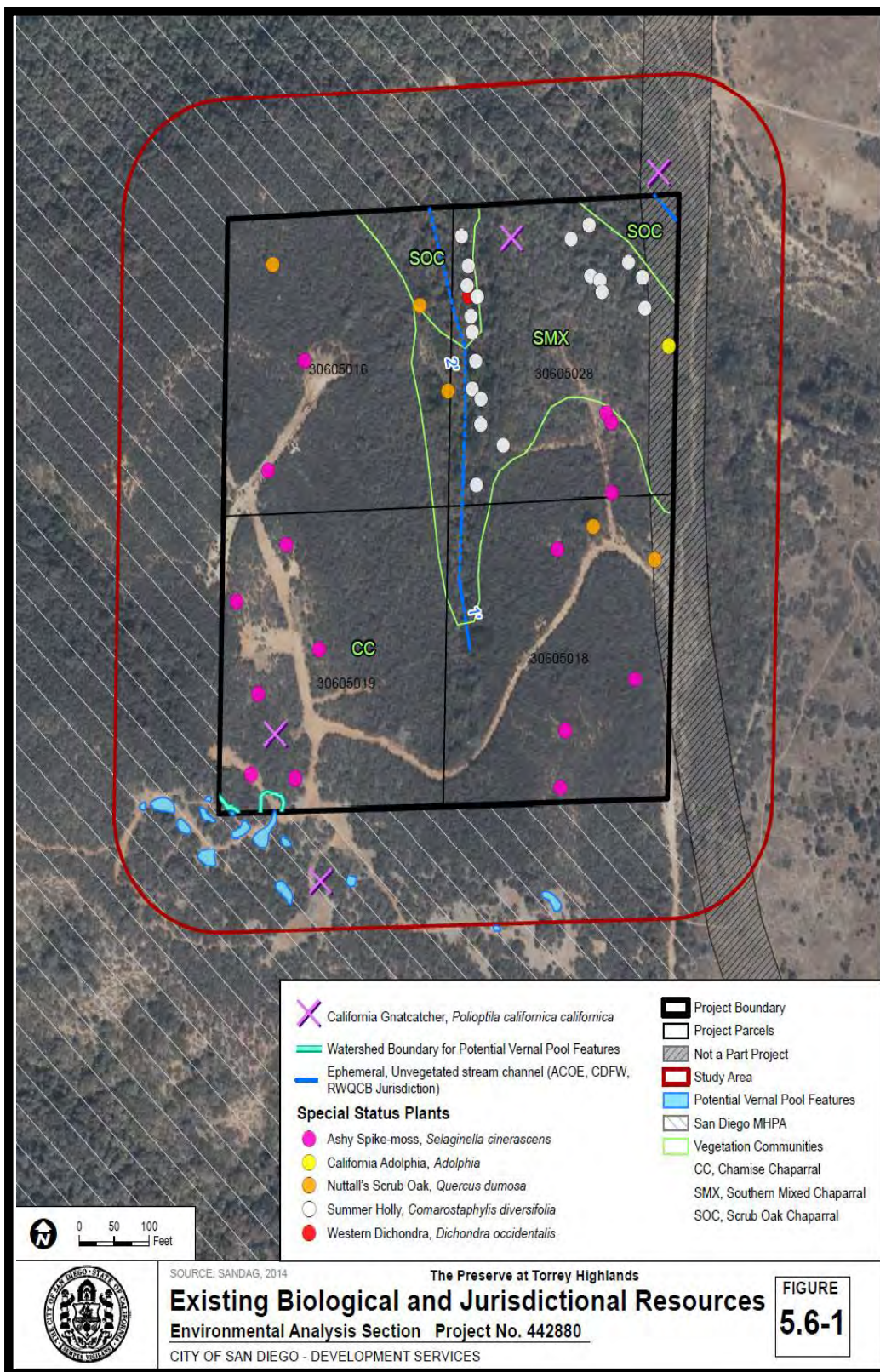
Site Photographs – Looking southeast

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



PROJECT DATA SHEET		
PROJECT NAME:	The Preserve at Torrey Highlands	
PROJECT DESCRIPTION:	Community Plan Amendment, Rezone, Planned Development Permit and Site Development Permit Planned Development for the construction of a 450,000 square-foot commercial office development with café and parking structure on a 11.10-acre site	
COMMUNITY PLAN AREA:	Torrey Highlands Subarea Plan	
DISCRETIONARY ACTIONS:	Community Plan Amendment, Rezone, Planned Development Permit and Site Development Permit Planned Development	
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial Limited (Existing)	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p style="text-align: center;">ZONE: AR-1-1</p> <p style="text-align: center;">HEIGHT LIMIT: 30 feet</p> <p style="text-align: center;">LOT SIZE: 11.10-acres</p> <p style="text-align: center;">FLOOR AREA RATIO: N/A</p> <p style="text-align: center;">FRONT SETBACK: 25 feet</p> <p style="text-align: center;">SIDE SETBACK: 20 feet</p> <p style="text-align: center;">STREETSIDE SETBACK: N/A</p> <p style="text-align: center;">REAR SETBACK: 25 feet</p> <p style="text-align: center;">PARKING: N/A</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	MHPA; AR-1-1	Undeveloped land
SOUTH:	MHPA; AR-1-1	Undeveloped land
EAST:	Commercial Regional; AR-1-1	Undeveloped land
WEST:	MHPA; AR-1-1	Undeveloped land
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 8, 2019, a motion by the Rancho Penasquitos Planning Group to recommend approval of the project failed by a vote of 0-12-4. A second motion was made to recommend approval of the project if reduced in size to 360,00 square feet. This motion failed by a vote of 3-11-3	

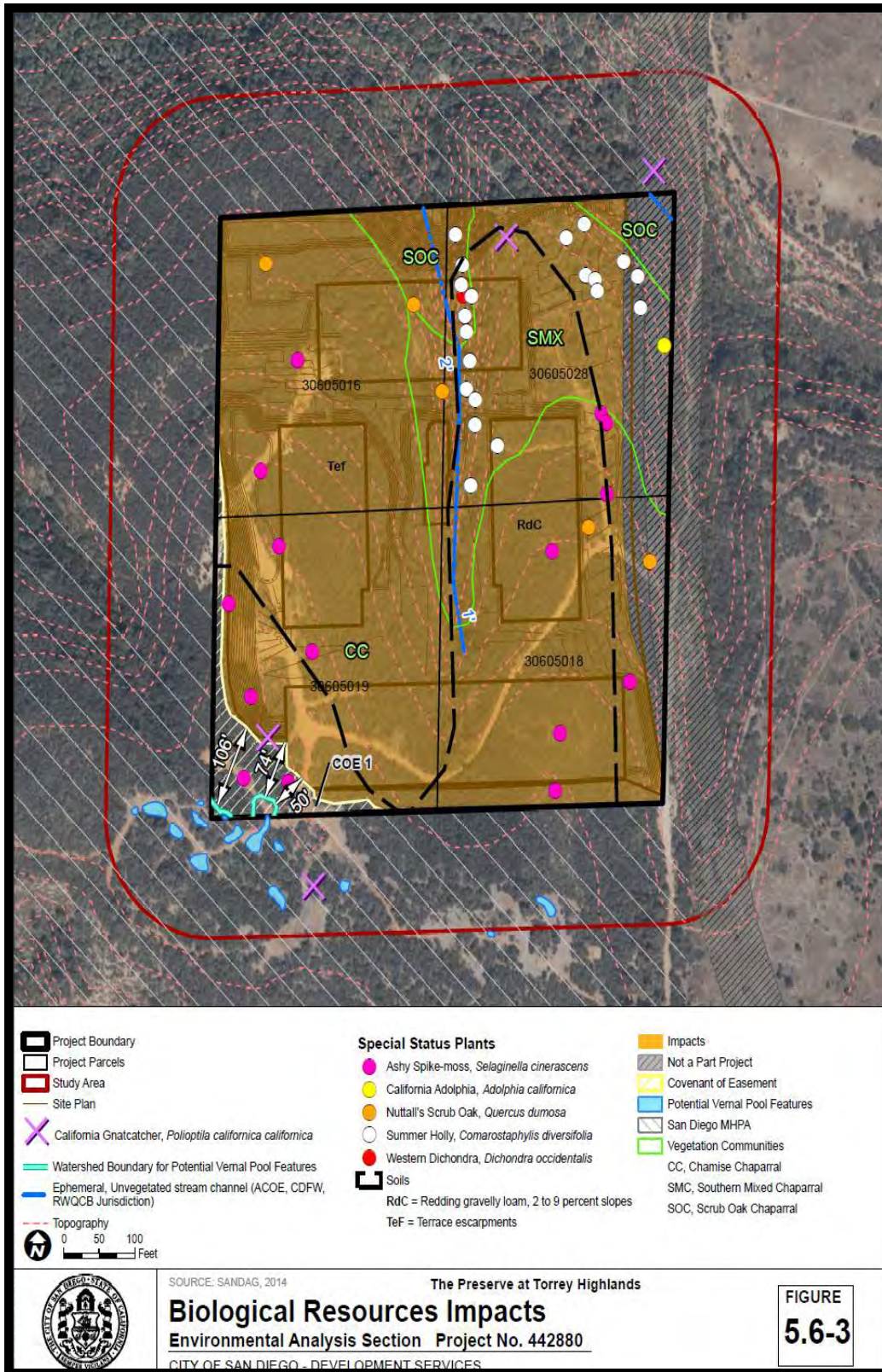


Existing biological & Jurisdictional Resources

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur





Biological Resource Impacts

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur

SOURCE: SANDAG, 2014

The Preserve at Torrey Highlands

Biological Resources Impacts

Environmental Analysis Section Project No. 442880

CITY OF SAN DIEGO - DEVELOPMENT SERVICES

FIGURE
5.6-3



CITY COUNCIL RESOLUTION NO. _____

SITE DEVELOPMENT PERMIT NO. 1689641

PLANNED DEVELOPMENT PERMIT NO. 2161983

THE PRESERVE AT TORREY HIGHLANDS PROJECT NO. 442880

(RESCISSION OF CONDITIONAL USE PERMIT NO. 4915, SITE DEVELOPMENT PERMIT NO. 49156, AND
PLANNED DEVELOPMENT PERMIT NO. 10965)

[MMRP]

WHEREAS, THE PRESERVE AT TORREY HIGHLANDS, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a Site Development Permit and Planned Development Permit to construct three new business office buildings, one parking structure, and one amenity building collectively known as The Preserve at Torrey Highlands project, located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur, and legally described as (1) The northwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, township 14 south; (2) the northeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, Township 14 south; (3) the southwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14 Township 14 south; and (4) the southeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of Section 14, Towhship14 south, all in Range 3 west, San Bernardino base and meridian, in the County of San Diego, State of California, according to the official plat thereof record of survey No. 15686 in the Torrey Highlands Subarea Plan, in the AR-1-1 zone which is proposed to be rezoned to the IP-3-1 zone; and

WHEREAS, on April 4, 2019, the Planning Commission of the City of San Diego considered Site Development Permit (SDP) Permit No. 1689641 and Planned Development Permit (PDP) No. 2161983, and pursuant to Resolution No. _____ PC voted to recommend approval of the Permits; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 1689641 and Planned Development Permit No. 2161983: entrusted

A. SITE DEVELOPMENT PERMIT [SDMC SECTION NO. 126.0505]

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes a Community Plan Amendment (CPA) to redesignate the site from Commercial Limited to Employment Center to allow for a 450,000-square-foot business office campus and to rezone the site from AR-1-1 (Agriculture-Residential) to IP-3-1 (Industrial-Park). The 11.1-acre site is located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur. The site is zoned AR-1-1 and within Torrey Highlands Subarea Plan and is governed by the Torrey Highlands Subarea Plan for North City Future Urbanizing Area Subarea IV.

The proposed business office development would help implement the General Plan's Economic Prosperity Element by contributing positively to the economic vitality of the community and providing opportunities for new business development. The proposed business office development would also complement the nearby Santa Fe Summit office campus to the north and the recently approved Merge 56 mixed-use center to the east, with the potential for employees in the business office campus to walk to the retail uses at Merge 56. The Subarea Plan's Employment Center land use designation allows for the development of a variety of employment-related uses,

including corporate headquarters and professional and corporate offices. The proposed project would help implement the land use goals of the Subarea Plan by providing an employment base for the North City to contribute to the jobs/housing balance for residents of Torrey Highlands and the surrounding communities.

The project site is located in the southern portion of Torrey Highlands, which contains the majority of the community's employment and commercial and land uses. The southern portion of Torrey Highlands provides a centralized area for goods, services, and job opportunities. The uses are located to take advantage of access to SR-56 and proximity to Rancho Peñasquitos. The Subarea Plan originally designated the site Commercial Limited to allow for religious facilities, trade schools, storage, veterinary clinics, nurseries, and garden centers. The uses permitted in the designation are generally automobile oriented, and are appropriate for the location of the site in proximity to State Route (SR)-56. The proposed amendment to allow for employment-related uses would similarly take advantage of access to SR-56 and the absence of comparable uses in Rancho Peñasquitos.

The proposed project would be consistent with the goals and policies of the General Plan Urban Design Element and Subarea Plan Open Space Element through compliance with the Multiple Species Conservation Program (MSCP) Land Use Adjacency Guidelines and the City's Environmentally Sensitive Lands regulations. Although the project site borders the City's Multiple-Habitat Planning Area (MHPA) on three sides, it does not include development within land designated as part of the MHPA. In addition to the parking garage, a combination of walls, signage, natural rock/boulder barriers, and landscaping are designed to prevent human intrusion into the adjacent MHPA sensitive areas. The project would ensure that all landscape planting adjacent to the MHPA would be comprised of native and non-invasive species, including species from the Torrey Highlands Subarea Plan recommended plant list. The location of the parking garage within the southern portion of the project site would help restrict access to the off-site vernal pool watershed consistent with the MSCP. The project proposes to provide outdoor meeting areas and access to walking paths that would connect to outside running and hiking trails planned in the Natural Resources Management Plan for the Del Mar Mesa Preserve.

The project design would be consistent with the Subarea Plan's Community Design Guidelines for the Employment Center by incorporating a varied building scale and architectural detail to create an interesting and lively pedestrian environment. The project has been designed to incorporate variation in building pad elevations to mimic the natural character of the site. The proposed project would locate the tallest commercial building (six stories) along Camino Del Sur, adjacent to the six-story business office development within the recently approved Merge 56 development. Additionally, the project locates one four-story building and one five-story building adjacent to the project site's western and northern boundary with the Del Mar Mesa Preserve. The proposed project's bulk and scale adjacent to the Del Mar Mesa Preserve would be consistent with the existing 480,000-square-foot Kilroy Santa Fe Summit office campus and planned expansion located to the northwest of the

project site. The Santa Fe Summit office campus includes four-story buildings and a parking garage adjacent to the Del Mar Mesa Preserve.

The General Plan's Urban Design Element calls for development adjacent to natural features to be designed in a sensitive manner to highlight and complement the natural environment. The project would provide a visual transition from the surrounding natural areas to the site through a landscape palette that would include native trees, shrubs, and low-lying vegetation throughout the site and around the site perimeter. The proposed site design includes natural-colored and textured concrete paving and decomposed granite paving on walkways and patios throughout the site. The landscape plan includes mature size trees designed to mimic the off-site natural environment. The proposed building materials and landscaping have been designed to complement the surrounding natural areas and nearby existing and proposed development. The building design uses variations in massing and architectural treatments for each building, which include a mixture of stone, concrete and glass to avoid repetition in design and help reduce the sense of height and bulk for each building.

The project proposes a 180,000 square-foot, seven-story (plus one level of subterranean parking) parking structure with 1,478 parking spaces located on the south side of the site. To help reduce the visual impact of the parking garage from the Del Mar Mesa Preserve, new tree plantings would be located along the north and south-facing wall of the parking structure to screen views of the building façade.

Consistent with the General Plan's Urban Design and Conservation Element goals and policies, sustainability features of the project would include Leadership in Energy and Environmental Design (LEED) Gold certification or equivalent by implementing a series of sustainable and environmentally friendly design features, techniques, and materials. These features include but are not limited to on-site solar installations; exceedance of Title 24, Part 6, energy requirements; energy efficient lighting, appliances, and ventilation strategies; high-efficiency plumbing and landscaping; and cool roofing materials. Therefore, the Project will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The City of San Diego as Lead Agency under the California Environmental Quality Act has prepared and completed Environmental Impact Report (EIR) No. 442880/SCH No. 2016031026 and has also completed an Initial Study for this project. The EIR concluded that the project would result in significant but mitigated environmental impacts to Air Quality and Odor, Biological Resources, Historical Resources, Paleontological Resources, and Tribal Cultural Resources, and significant and unmitigated impacts to Transportation/Circulation, Visual Effects/Neighborhood Character (Landform Alteration), and Greenhouse Gases. All other impacts analyzed in the EIR were determined to be less than significant.

The proposed grading design, in support of off-site roadway, utilities, drainage infrastructure, preservation and maintenance of open space has been designed to conform with the City of San Diego's codes and regulations which focus on the protection of the public's health, safety and welfare. The Project is consistent with the Sub Area Plan, the City's environmental regulations, the Multiple Habitat Planning Area (MHPA) principles and guidelines, landscaping and brush management policies, the Fire Department's fire protection policies, and water and sewer recommendations.

The proposed project has also been designed to meet the storm water requirements of the California Regional Water Quality Control Board for the San Diego Region National Pollutant Discharge Elimination System permit (Municipal Separate Storm Sewer Systems [MS4] Permit) that went into effect in 2013 (Order No. R9-2013-0001), and the MS4 Permit amendment from February 2015 (Order No. R9-2015-001). The Project will utilize biofiltration basins on-site to meet both the treatment and hydromodification requirements of the MS4 permit, with concentrated flows directed to the existing canyon to mimic the existing drainage conditions. In addition, the project would be required to obtain building permits, grading permits, and a public improvement permit for to the construction of the commercial development. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code requirements, and development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Land Development Code (LDC) in effect for this project. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes a CPA, Rezone, Site Development Permit (SDP), and Planned Development Permit (PDP) for construction of a 450,000 square foot campus-like business office complex including a parking structure, an amenity café, and a fitness center on an undeveloped 11.10-acre site located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur. The project would consist of three commercial office buildings, parking structure and an accessory café. Commercial Building One, located on the east side of the site and adjacent to Camino del Sur, consist of a six-story, 180,000-square-foot office building with 87 subterranean parking spaces. Commercial Building Two, located on the west side of the site will consist of a five-story 150,000-square-foot office building with 85 subterranean parking spaces. Commercial Building Three, located on the north side of the site will consist of a four-story 120,000-square-foot office building with 69 subterranean parking spaces and a 5,000 square-foot fitness center with lockers and shower stalls. Additionally, the site will include a single level, 3,950 square-foot café located in the middle of the site and a 180,000 square-foot, seven-story (plus one level of subterranean parking) parking

structure with 1,478 parking spaces located on the south side of the site . The project site also includes 62 surface parking stalls for a total of 1,781 total parking stalls.

The site is zoned AR-1-1 and designated Commercial Limited within the Torrey Highlands Subarea Plan and is governed by the Torrey Highlands Sub Area Plan. The project proposes to rezone the site to IP-3-1 and redesignate the land use to Employment Center. Additionally, the site is located within the Airport Land Use Compatibility Overlay Zone (Marine Corps Aviation Station [MCAS] Miramar) and the Airport Influence Area (Review Area 2 - MCAS Miramar).

The proposed development complies with the applicable zoning and development regulations of the Land Development Code including development requirements regulating business office development. The proposed project was reviewed for compliance with the IP-3-1 zone development requirements, which include but are not limited to height, setbacks, density, landscape, parking, and floor area ratio.

No deviations are proposed with the project. As a component of the proposed project, the project would meet sustainable building design measures by achieving a Leadership in Energy and Environmental Design (LEED), thus meeting the requirements of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program, the City Council's Sustainable Building Policy. Therefore, the project complies with the applicable zoning and development regulations of the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The City of San Diego as Lead Agency under the California Environmental Quality Act has prepared and completed EIR No. 442880/SCH No. 2016031026 and has also completed an Initial Study for this project. The EIR concluded that the project would result in significant but mitigated environmental impacts to Air Quality and Odor, Biological Resources, Historical Resources, Paleontological Resources, and Tribal Cultural Resources, and significant and unmitigated impacts to Transportation/Circulation, Visual Effects/Neighborhood Character (Landform Alteration), Greenhouse Gases. All other impacts analyzed in the EIR were determined to be less than significant.

The project site is immediately adjacent to open space including Deer Canyon to the north and the Del Mar Mesa Preserve to the south and west. This Multi-Habitat Planning Area (MHPA) open space has been planned and or dedicated and preserved previously through the implementation of the Torrey Highlands Subarea Plan, North City Future Urbanizing Area and various approved tentative maps. The project site is surrounded on three sides by the City's MHPA, but the project is not within the

preservation area. The project is designed to adhere to the City's MHPA Land Use Adjacency Guidelines (LUAG) to include, all proposed parking lots and developed areas will not drain directly into the MHPA; lighting of all developed areas adjacent to the MHPA will be directed away from the MHPA; uses in or adjacent to the MHPA will be designed to minimize noise impacts; the parking garage a combination of walls, signage, natural rock/boulder barriers, and fencing are provided to prevent human intrusion into the MHPA area; the landscape plan for the project would utilize native species; and all manufactured slopes are contained within the development footprint and would not encroach into the MHPA preventing impacts to environmentally significant areas.

In 2004, Our Lady of Mt. Carmel Conditional Use Permit No. 4915, Site Development Permit No. 4916 and Planned Development Permit No. 10965 was approved by the Planning Commission for a church facility. The entitlement was never utilized, and the permit expired. However, a set of conservation easements associated with the expired project were previously approved and are incorporated into the this projects developable boundaries. The development area of this project is within the original development footprint and no additional biological impacts are proposed. The Our Lady of Mt. Carmel project also included the acquisition and preservation of off-site mitigation land (consistent with the requirements of the development footprint) within the nearby Deer Canyon Conservation Bank. However, the project would result in direct impacts to special-status plant and wildlife species including impacts to scrub oak and chamise vegetation. Mitigation for this project for impacts to scrub oak and chamise will be accomplished by on-site preservation and off-site purchase of Tier I and Tier IIIA habitat.

The project is consistent with the City's Environmentally Sensitive Lands regulations and with the Multiple Species Conservation Program (MSCP) requirements. The project is designed in a sensitive manner to compliment the natural environment in keeping with the goals and policies of the General Plan and the MSCP LUAG which include regulations and restrictions to drainage, lighting, noise, grading, and plant material.

The design and layout of the proposed project has been developed to conform to the existing landforms and to avoid environmentally sensitive lands to the extent possible. The Project is not within, but it is adjacent to the city's MSCP and MHPA. The development is designed to comply with the MSCP LUAG. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimal disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed Project's grading design, utilities, drainage infrastructure, and preservation and maintenance of open space has been designed to conform with the City of San Diego's codes, policies, and regulations. The Project is also consistent

with the City's environmental regulations, landscaping and brush management regulations, the Fire Department's fire protection regulations, and water and sewer requirements.

The proposed project has been designed to meet the storm water requirements of the California Regional Water Quality Control Board for the San Diego Region National Pollutant Discharge Elimination System permit (Municipal Separate Storm Sewer Systems [MS4] Permit) that went into effect in 2013 (Order No. R9-2013-0001), and the MS4 permit amendment from February 2015 (Order No. R9-2015-001). The Project will utilize biofiltration basins on-site to meet both the treatment and hydromodification requirements of the aforementioned MS4 permit. The Project required the submission of several technical reports to include a Storm Water Quality Management Plan dated September 28, 2016 and Drainage Study dated June 22, 2016, both prepared by Leppart Engineering. These technical reports were reviewed by the City of San Diego for compliance to Federal, State, and Local regulations and determined to meet the development requirements for the proposed development.

The project site is located within geologic hazards zones 51, 52 and 53 as shown on the City's Seismic Safety Study. Zone 51 and 52 are as nominal to low risk. Zone 53 is characterized by level or sloping to steep terrain with unfavorable geologic structure, low to moderate risk and determined to be suitable for the proposed development.

Brush Management is required for development with structures that are within 100 feet of any highly flammable area of native or naturalized vegetation. Fire hazard conditions currently exist in the open space area to the north, west, and south of the project site. Where brush management is required, a comprehensive program would be implemented to reduce fire hazards around all structures by providing a defensible space or fire-break between structures and areas of flammable vegetation. As allowed by the Landscape Regulations of the Land Development Code, the project would provide modified brush management zones in addition to alternative compliance measures to achieve an equivalency of a full brush management program while minimizing impacts to undisturbed native/naturalized vegetation to the north, west, and south of the project site. Building 2 and Building 3 would employ dual tempered glazing to meet alternative compliance standards for brush management and would provide functional equivalency as a full brush management zone. Additionally, along the southern property line, the project proposes a parking structure made of concrete, non-combustible, Type 1 construction, achieving a full equivalency of Zone One, with a reduced Zone Two excluding areas designated within the conservation easement.

The project has been designed to minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project site is immediately adjacent to open space including Deer Canyon to the north, and the Del Mar Mesa Preserve to the south and west. The Multi-Habitat Planning Area (MHPA) open space has been planned and or dedicated and preserved previously through the implementation of the Torrey Highlands Subarea Plan, North City Future Urbanizing Area and various approved tentative maps. The project site is surrounded on three sides by the City's MHPA, but the project is not within the preservation area. The project is designed to adhere to the City's MHPA Land Use Adjacency Guidelines (LUAG) and no impacts to environmentally significant areas will occur.

In 2004, Our Lady of Mt. Carmel project was approved by the Planning Commission for a church facility. The entitlement was never utilized, and the permit expired. However, a set of conservation easements associated with the expired project were previously approved and are incorporated into this project's developable boundaries. The development area of the proposed project is within the original development footprint and no additional biological impacts are proposed. The Our Lady of Mt. Carmel project also included the acquisition and preservation of off-site mitigation land (consistent with the requirements of the development footprint) within the nearby Deer Canyon Conservation Bank. However, the project would result in direct impacts to special-status plant and wildlife species including impacts to scrub oak and chamise vegetation. Mitigation for this project for impacts to scrub oak and chamise will be accomplished by on-site preservation and off-site purchase of Tier I and Tier IIIA habitat.

The project is consistent with the City's Environmentally Sensitive Lands regulations and with the MSCP requirements. The project is designed in a sensitive manner to compliment the natural environment in keeping with the goals and policies of the General Plan and the MSCP LUAG which include regulations and restrictions to drainage, lighting, noise, grading, and plant material.

The design and layout of the proposed project has been developed to conform to the existing landforms and to avoid environmentally sensitive lands to the extent possible. The project is not within but adjacent to the city's MSCP and MHPA. The development is designed to comply with the MSCP LUAG. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project is designed in a sensitive manner to compliment the natural environment in keeping with the goals and policies of the General Plan and the MSCP

Land Use Adjacency guidelines(LUAG) which include regulations and restrictions to drainage, lighting, noise, grading, and plant material.

The design and layout of the proposed project will be developed to conform with the existing landforms and to avoid environmentally sensitive lands to the extent possible. The project is not within but adjacent to the city's MSCP and MHPA. The development is designed to comply with the MSCP LUAG.

The primary resources to be protected on the preserves are vernal pools; southern maritime chaparral; the continuity of habitat for wildlife movement and gene flow and the federally and state listed flora and fauna. The Carmel Mountain Preserve and Del Mar Mesa Preserve Resource Management Plan (RMP) describe the tasks that will ensure management and maintenance of the preserves in accordance with the MSCP and the Torrey Highlands Subarea Plan. Two vernal pool features are located adjacent to the property along the southern project boundary. No vernal pool features are located within the project boundary. However, a 0.43-acre on-site covenant of easement will provide protection for the off-site vernal pool features and the watershed and will also provide mitigation for impacts to chamise chaparral at a 1:1 ratio. Therefore, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The proposed development is located approximately six miles east of the Pacific Ocean's beaches and local shoreline. All water quality and erosion control measures will be required of the project during construction and post construction. The proposed project has also been designed to meet the storm water requirements of the California Regional Water Quality Control Board for the San Diego Region National Pollutant Discharge Elimination System permit (Municipal Separate Storm Sewer Systems [MS4] Permit) that went into effect in 2013 (Order No. R9-2013-0001), and the MS4 Permit amendment from February 2015 (Order No. R9-2015-001). The Project will utilize biofiltration basins on-site to meet both the treatment and hydromodification requirements of the aforementioned MS4 permit, with concentrated flows directed to the existing canyon to mimic the existing drainage conditions. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The City of San Diego as Lead Agency under the California Environmental Quality Act has prepared and completed Environmental Impact Report (EIR) No. 442880/SCH No. 2016031026 and has also completed an Initial Study for this project. The EIR concluded that the project would result in significant but mitigated environmental

impacts to Air Quality and Odor, Biological Resources, Historical Resources, Paleontological Resources, and Tribal Cultural Resources, and significant and unmitigated impacts to Transportation/Circulation, Visual Effects/Neighborhood Character (landform alteration), and Greenhouse Gases. All other impacts analyzed in the EIR were determined to be less than significant.

Mitigation measures have been included in the Mitigation Monitoring and Reporting Program for the Project that specifically mitigate all of the potentially significant impacts. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

B. PLANNED DEVELOPMENT PERMIT SDMC SECTION 126.0605

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Site Development Permit Finding No. (1)(a), the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Site Development Permit Finding No. (1)(b), the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The proposed development complies with the applicable zoning and development regulations of the Land Development Code including development requirements regulating commercial office development. The proposed project was reviewed for compliance with the IP-3-1 zone development requirements, which include but are not limited to height, setbacks, density, landscape, parking, and floor area ratio. No deviations from the IP-3-1 zone are proposed with the project.

Pursuant to the Torrey Highlands Subarea Plan Section 5.6.4, a Planned Development Permit is required to be processed to ensure development is consistent with the Subarea Plan related to site design, mutual access, landscape, building orientation, building color, parking, architecture styles, MHPA guidelines,

pedestrian connections, and setbacks. The project processed a Planned Development Permit and was reviewed in accordance with the Torrey Highlands Subarea Plan Employment Center designed criteria.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Site Development Permit No. 1689641 and Planned Development Permit No. 2161983 is granted to THE PRESERVE AT TORREY HIGHLANDS, LLC, Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

RESOLUTION NUMBER R- _____

ADOPTED ON _____

WHEREAS, on November 18, 2015, THE PRESERVE AT TORREY HIGHLANDS, LLC, a California Limited Liability Company submitted an application to Development Services Department for a Community Plan Amendment, Rezone, Planned Development Permit and Site Development Permit for The Preserve at Torrey Highlands (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the [DECISION-MAKER] of the City of San Diego; and

WHEREAS, the issue was heard by the Council of the City of San Diego on _____; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Council of the City of San Diego considered the issues discussed in Environmental Impact Report No. 442880 / SCH No. 2016031026 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego that it is certified that the Report has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the Council of the City of San Diego in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081 and State CEQA Guidelines Section 15091, the Council of the City of San Diego hereby adopts the Findings made with respect to the Project, which are attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that pursuant to State CEQA Guidelines Section 15093, the Council of the City of San Diego hereby adopts the Statement of Overriding Considerations with respect to the Project, which is attached hereto as Exhibit B.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Council of the City of San Diego hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Council of the City of San Diego in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit C.

BE IT FURTHER RESOLVED, that the Report and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the City Clerk, 202 C Street, San Diego CA 92101.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: Myra W. Elliott

By: _____
Noah Brazier

ATTACHMENT(S): Exhibit A, Findings
 Exhibit B, Statement of Overriding Considerations
 Exhibit C, Mitigation Monitoring and Reporting Program

EIR Resolution Form for Any Decision Maker

EXHIBIT C

MITIGATION MONITORING AND REPORTING PROGRAM

COMMUNITY PLAN AMENDMENT, REZONE, PLANNED DEVELOPMENT PERMIT AND
SITE DEVELOPMENT PERMIT
PROJECT NO. 442880

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Environmental Impact Report No. 442880 / SCH No. 2016031026 shall be made conditions of Community Plan Amendment, Rezone, Planned Development Permit and Site Development Permit as may be further described below.

Part I – Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction-related activity on site, the Development Services Department Director's Environmental Designee shall review and approve all Construction Documents (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the Environmental Designee shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City of San Diego's (City's) website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>.
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

Part II – Post-Plan Check (after permit issuance/prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to

arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent, and the following consultants:

- a. Qualified Paleontological Monitor
- b. Qualified Biologist
- c. Qualified Acoustician
- d. Qualified Archaeological Monitor
- e. Qualified Native American Monitor

NOTE: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a. The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division - 858.627.3200**
- b. For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC** at **858.627.3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System No. 442880 and/or Environmental Document No. 442880/SCH No. shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the Development Services Department's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).
NOTE: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.
3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency:
 - A. 404 Permit from Army Corps of Engineers
 - B. 401 Certification Regional Water Quality Control Board
 - C. 1602 Streambed Alteration Agreement from California Department of Fish and Wildlife
4. **MONITORING EXHIBITS** All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist

Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Land Use	Land Use Adjacency Issues CVSRs	Land Use Adjacency Issue Site Observations
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Biology Reports	Biology/Habitat Restoration Inspection
Noise	Acoustical Reports	Noise Mitigation
Noise	Acoustical Reports	Features Inspection
Visual Quality	Contour Grading Verification Letter	Contour Grading/Staking Inspection
Visual Quality	Retaining Wall Verification Letter	Retaining Wall Inspection
Paleontology	Paleontology Reports	Paleontology Site Observation
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Traffic	Traffic Reports	Traffic Features Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Greenhouse Gas Emissions	Photovoltaic Verification	Prior to Final Inspection of associated building permits
Greenhouse Gas Emissions	CAP Consistency Checklist	Prior to Issuance of associated construction permits
Greenhouse Gas Emissions	10 Percent Reduction	Prior to issuance of associated building permits
Air Quality	Engine Tier Verification	Prior to First Grading Permit
Tribal Cultural Resources	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**Air Quality and Odor (Construction)**

MM-AQ-1 The owner/permittee shall include verbatim in construction contracts the engine tier requirements in accordance with MM-AQ-2.

MM-AQ-2 Prior to the start of construction activities, the owner/permittee, or its designee, shall ensure that all diesel-powered aerial lifts, forklifts, tractors, loaders, backhoes, and welders be powered with California Air Resources Board–certified Tier 4 Final engines, except where Tier 4 Final equipment is not available. All other diesel-powered construction equipment will be classified as Tier 3 or higher, at a minimum, except where Tier 3 equipment is not available. Engine Tier requirements in accordance with this measure shall be incorporated on all construction plans. An exemption from these requirements may be granted by the City of San Diego in the event that the owner/permittee documents that equipment with the required tier is not reasonably available and corresponding reductions in criteria air pollutant emissions are achieved from other construction equipment.¹ Before an exemption may be considered by the City of San Diego, the owner/permittee shall be required to demonstrate that at least two construction fleet owners/operators in the San Diego region were contacted and that those owners/operators confirmed the requested equipment could not be located within the San Diego region.

Biological Resources

MM-BIO-1 Mitigation measures to provide protection of biological resources during construction are outlined as follows:

I. Prior to Construction

- A. Biologist Verification:** The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biology Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. Preconstruction Meeting:** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. Biological Documents:** The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands

¹ For example, if a Tier 4 Interim piece of equipment is not reasonably available at the time of construction and a lower tier equipment is used instead (e.g., Tier 3), another piece of equipment could be upgraded from a Tier 4 Interim to a higher tier (i.e., Tier 4 Final) or replaced with an alternative-fueled (not diesel-fueled) equipment to offset the emissions associated with using a piece of equipment that does not meet Tier 4 Interim standards.

Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.

- D. BCME:** The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above (see Appendix F, Biological Technical Report). In addition, include: avian or other wildlife surveys/survey schedules (including nesting surveys for Bell's sparrow), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/ monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. Avian Protection Requirements:** To avoid any direct impacts to Bell's sparrow, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of Bell's sparrow on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting Bell's sparrow are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e., appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.
- F. Resource Delineation:** Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting Bell's sparrow) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. Education:** Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to

protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. Monitoring:** All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. Subsequent Resource Identification:** The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna on site (e.g., flag plant specimens for avoidance during access, etc.). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A.** In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD.

MM-BIO-2 Sensitive Habitat Impacts

Mitigation for impacts to scrub oak and chamise shall be accomplished by on-site preservation and off-site purchase of Tier I and Tier IIIA habitat.

The 0.43-acre on-site covenant of easement provides protection for the off-site vernal pool features and the watershed and also provides mitigation for impacts to chamise chaparral at a 1:1 ratio.

Mitigation for impacts to 0.47 acres of Tier I scrub oak chaparral shall be provided at a 1:1 ratio through the off-site conservation of 0.47 acre of Tier I habitat at the Deer Canyon Mitigation Bank. Mitigation for impacts to 8.85 acres of Tier III habitat, including 1.97 acres of southern mixed chaparral and 6.88 acres of chamise chaparral (6.88 acres is the result of 7.31 acres of impact minus 0.43 acres mitigated on site) shall be accomplished at a 0.5:1 ratio through the conservation of 4.42 acres also within the Deer Canyon Mitigation Bank. While the Deer Canyon Mitigation Bank credits include only 4.39 acres of Tier III habitat credits, the excess 0.03 acres of Tier I habitat credits (0.5 acres available minus 0.47 acres used for mitigation for impacts

to scrub oak chaparral) shall be applied to the less sensitive Tier III impacts to satisfy those mitigation requirements consistent with the City's Biology Guidelines.

MM-BIO-3 **Covenant of Easement:** Prior to a Notice to Proceed or the first grading permit, the owner/permittee shall mitigate upland impacts in accordance with the City of San Diego Biology Guidelines. The owner/permittee shall convey a Covenant of Easement (COE) as shown on Exhibit A, to be recorded against the title. The on-site preservation within the COE shall preserve 0.43 acres of chamise chaparral (Tier IIIA) at a 1:1 ratio. This COE also provides protection for the off-site vernal pool features and the watershed.

MM-BIO-4 Prior to a Notice to Proceed or the first grading permit, owner/permittee shall provide evidence of the following permits: a 404 permit from U.S. Army Corps of Engineers, 401 Certification from Regional Water Quality Control Board, and a 1602 streambed alteration agreement from the California Department of Fish and Wildlife. Evidence shall include copies of permit(s) issued, letter of resolution(s) by the responsible agency documenting compliance, or other evidence documenting compliance deemed acceptable by the Environmental Designee of the City of San Diego's Development Services Department.

Historical Resources

MM-CUL-1

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including, but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
 - 3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is

not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.

2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼-mile radius.
- B. PI Shall Attend Preconstruction Meetings
1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the preconstruction meeting, the Applicant shall schedule a focused preconstruction meeting with MMC, the PI, RE, CM, or BI, if appropriate, prior to the start of any work that requires monitoring.
 2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
1. The Archaeological Monitor shall be present full-time during grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Native American

monitor shall determine the extent of their presence during construction related activities based on the AME and provide that information to the PI and MMC. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.

2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI and Native American monitor shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and the following procedures as set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
 - 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
 - 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
 - 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
 - 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenience.
 - 3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains ARE determined to be Native American
 - 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
 - 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 - 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with the California Public Resource and Health & Safety Codes.
 - 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 - 5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery

may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

- D. If Human Remains are NOT Native American
 - 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner and the Museum of Man.

Paleontological Resources

MM-PALEO-1 I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
 - 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Preconstruction Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction**A. Monitor Shall be Present During Grading/Excavation/Trenching**

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.

3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the Precon Meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

Transportation/Circulation

- MM-TRA-1** **Intersection No. 6. Camino del Sur/SR-56 Westbound Ramps:** Prior to issuance of the first building permit, the owner/permittee shall pay Facilities Benefit Assessment (FBA) fees toward the construction of Torrey Highlands Public Facilities Financing Plan (PFFP) Project No. T-1.3 (corresponding Black Mountain Ranch PFFP Project No. T-15.1) to complete the northbound to westbound loop on-ramp, to the satisfaction of the City Engineer.
- MM-TRA-2** **Intersection No. 7. Camino del Sur/SR-56 Eastbound Ramps:** Prior to issuance of the first building permit, the owner/permittee shall pay Facilities Benefit Assessment (FBA) fees toward the construction of Torrey Highlands Public Facilities Financing Plan (PFFP) Project No. T-1.3 (corresponding Black Mountain Ranch PFFP Project No. T-15.1) southbound to eastbound loop on-ramp, to the satisfaction of the City Engineer.
- MM-TRA-3** **Intersection No. 17. Black Mountain Road/SR-56 Westbound Ramps:** Prior to the issuance of the first building permit, the owner/permittee shall provide a fair share contribution (12.0%, to the satisfaction of the City Engineer) toward the unfunded portion of Rancho Peñasquitos Public Facilities Financing Plan (PFFP) Project No. T-2D (corresponding Black Mountain Ranch PFFP Project No. T-57, Pacific Highlands Ranch PFFP Project No. T-11.1) to widen Black Mountain Road from Twin Trails Drive to the Community Plan boundary to its ultimate classification as a six-lane primary arterial to the satisfaction of the City Engineer. This would include the restriping of the Black Mountain Road overpass at SR-56 to provide three thru lanes in the northbound direction and associated widening north of the interchange, to the satisfaction of the City Engineer.
- MM-TRA-4** **Intersection No. 18. Black Mountain Road/SR-56 Eastbound Ramps:** Prior to the issuance of the first building permit, the owner/permittee shall provide a fair share contribution (15.6%, to the satisfaction of the City Engineer) toward the unfunded portion of Rancho Peñasquitos Public Facilities Financing Plan (PFFP) Project No. T-2D (corresponding Black Mountain Ranch PFFP Project No. T-57, Pacific Highlands Ranch PFFP Project No. T-11.1) to widen Black Mountain Road from Twin Trails Drive to the Community Plan boundary to its ultimate classification as a six-lane primary arterial to the satisfaction of the City Engineer. This would include the restriping of the Black Mountain Road overpass at SR-56 to provide three thru lanes in the northbound direction and associated widening north of the interchange, to the satisfaction of the City Engineer.

- MM-TRA-5 Intersection No. 19. Black Mountain Road/Park Village Road:** Prior to the issuance of the first building permit, the owner/permittee shall provide a fair share contribution (14.7%, to the satisfaction of the City Engineer) toward the unfunded portion of Rancho Peñasquitos Public Facilities Financing Plan (PFFP) Project No. T-2D (corresponding Black Mountain Ranch PFFP Project No. T-57, Pacific Highlands Ranch PFFP Project No. T-11.1) to widen Black Mountain Road from Twin Trails Drive to the Community Plan boundary to its ultimate classification as a six-lane primary arterial, to the satisfaction of the City Engineer.
- MM-TRA-6 Segment No. 19. Black Mountain Rd from SR-56 Eastbound Ramps to Park Village Road:** Prior to issuance of the first building permit, the owner/permittee shall provide a fair share contribution (8.7%, to the satisfaction of the City Engineer) toward the unfunded portion of Rancho Peñasquitos Public Facilities Financing Plan (PFFP) Project No. T-2D (corresponding Black Mountain Ranch PFFP Project No. T-57, Pacific Highlands Ranch PFFP Project No. T-11.1) to widen Black Mountain Road from Twin Trails Drive to the Community Plan boundary to its ultimate classification as a six-lane primary arterial to the satisfaction of the City Engineer.
- MM-TRA-7 Mainlines No. 1. SR-56 from Carmel Valley Road to Camino del Sur (Eastbound):** Prior to issuance of the first building permit, the owner/permittee shall pay the project's Facilities Benefit Assessment (FBA) fees toward the construction of the Torrey Highlands FBA for the construction of the Torrey Highlands Public Facilities Financing Plan Project No. T-1.2B to expand SR-56 from I-5 to I-15 from a four-lane freeway to a six-lane freeway, to the satisfaction of the City Engineer.
- MM-TRA-8 Mainline No. 2. SR-56 from Camino del Sur to Black Mountain Road (Eastbound):** Prior to issuance of the first building permit, the owner/permittee shall pay the project's Facilities Benefit Assessment (FBA) fees toward the construction of the Torrey Highlands Public Facilities Financing Plan Project No. T-1.2B to expand SR-56 from I-5 to I-15 from a four-lane freeway to a six-lane freeway, to the satisfaction of the City Engineer.
- MM-TRA-9 Mainline No. 2. SR-56 from Camino del Sur to Black Mountain Road (Westbound):** Prior to issuance of the first building permit, the owner/permittee shall pay the project's Facilities Benefit Assessment (FBA) fees toward the construction of the Torrey Highlands Public Facilities Financing Plan Project No. T-1.2B to expand SR-56 from I-5 to I-15 from a four-lane freeway to a six-lane freeway, to the satisfaction of the City Engineer.

Greenhouse Gas Emissions

- MM-GHG-1** The owner/permittee shall install a solar photovoltaic system to be incorporated as part of the parking garage rooftop trellis structures. The photovoltaic system shall occupy the maximum surface area provided by the trellis structures, and would be no less than 25,000 square feet, consistent with Figure 3-15 of this EIR. The photovoltaic system shall be incorporated on all construction plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.

- MM-GHG-2** The project shall achieve a 5% increase in energy efficiency over the 2016 Title 24 Standards through structural design elements including variable refrigerant flow systems for the heating, ventilation and air conditioning (HVAC) system; high performance glazing; and heat reflecting roofing material. These design elements including the variable refrigerant flow systems for the HVAC system, high performance glazing, and heat reflecting roofing material shall be incorporated on all construction plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.
- MM-GHG-3** The owner/permittee shall install a cool roof (thermoplastic polyolefin) above the 3-year-old solar reflection and a thermal remittance or solar reflection index in exceedance of the code minimums pursuant to the "Cool/Green Roofs" requirement of the City's CAP Consistency Checklist. The cool roof specifics shall be incorporated on all construction plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.
- MM-GHG-4** The owner/permittee shall implement the required flow rates and appliances that meet the voluntary measures portion of the California Green Building Standards Code for non-residential buildings pursuant to the "Plumbing Fixtures and Fittings" requirement of the City's CAP Consistency Checklist.
- MM-GHG-5** The owner/permittee shall provide 107 electric vehicle-capable (pre-wired) parking spaces consistent with the California Green Building Code Standards Code. Additionally, 50% (54) of the 107 pre-wired parking spaces would include electric vehicle charging infrastructure as determined by Table 5.106.5.3.3 of the California Green Building Standards Code. This measure would be pursuant to the "Electric Vehicle Charging" requirements of the City's CAP Consistency Checklist. These parking spaces shall be incorporated on all construction plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.
- MM-GHG-6** The owner/permittee shall provide 90 short-term bicycle parking spaces and 90 long-term bicycle parking spaces pursuant to the "Bicycle Parking Spaces" requirement of the City's CAP Consistency Checklist. Bicycle parking specifics shall be incorporated on all construction plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.
- MM-GHG-7** The owner/permittee shall provide 12 shower stalls and 48 two-tier lockers pursuant to the "Shower Facilities" requirement of the City's CAP Consistency Checklist. Shower stalls and lockers shall be incorporated on all project plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.
- MM-GHG-8** The owner/permittee shall include 179 carpool/vanpool spaces (10% of total spaces) pursuant to the "Designated Parking Spaces" requirement of the City's CAP Consistency Checklist. These parking spaces shall be incorporated on all construction plans and verified by the Environmental Designee of the City of San Diego's Development Services Department.

- MM-GHG-9** Pursuant to the “Transportation Demand Management Program” requirement of the City’s CAP Consistency Checklist, the owner/permittee shall require office tenants to:
- Implement a parking cash-out program, and/or
 - Provide unbundled parking option for employees, and/or
 - Charge employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools.
 - Carpool/vanpool parking spaces shall be provided in preferentially located areas (closest to building entrances) for use by qualified employees. These spaces shall be signed and striped “Car/Vanpool Parking Only.” Information about the availability of and the means of accessing the car/vanpool parking spaces shall be posted on Transportation Information Displays located in common areas or on intranets, as appropriate.
 - The owner/permittee shall conduct an employee commute travel survey within 6 months of occupancy to evaluate the efficacy of the Transportation Demand Management plan, and to inform/validate any changes that may be proposed or needed. A copy of the results of this survey will be provided to the City Development Services Department. The owner/permittee shall continue monitoring the effectiveness of the project’s Transportation Demand Management plan, including the provision of items a. through d. as listed above, and provide the results in an annual report to the Development Services Department for a period of 5 years. The first report submittal shall occur 1 year after project occupancy.
- MM-GHG-10** Pursuant to the “Transportation Demand Management Program” requirement of the City’s CAP Consistency Checklist, the owner/permittee shall require office tenants to maintain an employer network in the SANDAG iCommute program and promoting its RideMatcher service to tenants/employees. Participation in the iCommute program and use of the RideMatcher service shall be disclosed in the TDM annual report as required under **MM-GHG-9 (e)**.
- MM-GHG-11** The owner/permittee shall require office tenants to offer partially subsidized monthly transit passes for employees, should service routes be implemented in the future. If transit passes are offered, issuance of transit passes shall be disclosed in the TDM annual report as required under **MM-GHG-9 (e)**.
- MM-GHG-12** The owner/permittee shall require office tenants to offer partially subsidized vanpool/rideshare services to all employees. Employee utilization of vanpool/rideshare services shall be disclosed in the TDM annual report as required under **MM-GHG-9 (e)**.
- MM-GHG-13** Pursuant to the “Transportation Demand Management Program” requirement of the City’s CAP Consistency Checklist, the owner/permittee shall require office tenants to offer a telework program to all employees. Employee utilization of the telework program shall be disclosed in the TDM annual report as required under **MM-GHG-9 (e)**.

Tribal Cultural Resources

MM-TCR-1 See MM-CUL-1.

Visual Effects and Neighborhood Character

MM-VIS-1 During grading activities, spot elevations and contour grading techniques shall be employed to imitate the existing on-site landforms to the maximum extent feasible. Implementation of grading techniques (spot elevation and contour grading) shall be consistent with Exhibit A.

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24006166 SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1689641
PLANNED DEVELOPMENT PERMIT NO. 2161983

THE PRESERVE AT TORREY HIGHLANDS PROJECT NO. [MMRP]

(RESCISSION OF CONDITIONAL USE PERMIT NO. 4915, SITE DEVELOPMENT PERMIT NO. 49156, AND
PLANNED DEVELOPMENT PERMIT NO. 10965)
CITY COUNCIL

This Site Development Permit No. 1689641 and Planned Development Permit No. 2161983 is granted by the City Council of the City of San Diego to THE PRESERVE AT TORREY HIGHLANDS, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0506, 126.0602, 143.0465 and 143.0110. The 11.10-acre site is located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur in the AR-1-1 zone of the Torrey Highlands Subarea Plan area. The project site is legally described as: (1) The northwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, township 14 south; (2) the northeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, Township 14 south; (3) the southwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14 Township 14 south; and (4) the southeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of Section 14, Township 14 south, all in Range 3 west, San Bernardino base and meridian, in the County of San Diego, State of California, according to the official plat thereof record of survey No. 15686;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner THE PRESERVE AT TORREY HIGHLANDS, LLC a California Limited Liability Company Permittee to construct three new commercial office buildings, one parking structure, and once amenity building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated _____, on file in the Development Services Department. The project shall include:

- a. Three commercial office buildings totaling 450,000 square feet (Commercial Office Building No. 1, Commercial Office Building No. 2, and Commercial Office Building No. 3), a seven-story parking structure, an amenity café totaling 3,850 square feet, and a fitness center totaling 5,000 square feet within Commercial Office Building No. 2;

- b. Brush Management Alternative Compliance for Commercial Office Buildings No. 2 and No. 3;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Amenities to include an arroyo path with native chaparral character, outdoor patio, amphitheater and outdoor gathering area, and an overlook seating area;
- e. Retaining walls;
- f. Off-street parking;
- g. The project will achieve Leadership in Energy and Environmental Design (LEED) Gold certification by implementing sustainable and environmentally friendly design features, techniques, and materials in accordance with the Affordable/In-Fill Housing and Sustainable Buildings Expedite program.
- h. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

11. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
14. The mitigation measures specified in the MMRP and outlined in Environmental Impact Report No. 442880 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
15. The Owner/Permittee shall comply with the MMRP as specified in Environmental Impact Report No. 442880 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Air Quality and Odor, Biological Resources, Historical Resources, Paleontological Resources, and Tribal Cultural Resources

CLIMATE ACTION PLAN REQUIREMENTS:

16. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

17. The project proposes to export 49,000 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
18. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of two current City Standard curb return driveways per approved Exhibit "A," adjacent to the site on Camino Del Sur, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
23. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
24. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

25. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
27. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
28. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).
29. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."
30. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged, or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

32. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A," on file in the Development Services Department.
33. The Brush Management Program shall be based on a standard Zone One of 35-feet in width and a Zone Two of 65-feet in width, exercising the Zone Two reduction option and Alternative Compliance measures set forth under §142.0412(f), §142.0412(i), and §142.0412(j). Building 2 shall observe a Zone One ranging from 13-feet to 80-feet as measured from the north façade out towards the north property line, and a corresponding Zone Two ranging from 65-feet to 0-feet. Building 3 shall observe a Zone One ranging from 39-feet to 80-feet as measured from the west façade out towards the west property line, and a corresponding Zone Two ranging from 48-feet to 0-feet. Where the full brush management zones cannot be provided, openings along the brush side of the habitable structures shall be upgraded to dual-glazed, dual-tempered panes as alternative compliance for the reduced brush management zones.
34. Prior to issuance of any Engineering Permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."
35. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A," on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.
36. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
37. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

MULTIPLE SPECIES CONSERVATION PROGRAM:

38. The project will be required to comply with Migratory Bird Treaty Act and California Code 3503 as applicable.

PLANNING/DESIGN REQUIREMENTS:

39. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
40. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."
41. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
42. Medical office uses shall be prohibited in this permit.

TRANSPORTATION REQUIREMENTS

43. Prior to the issuance of any building permits, the Owner/Permittee shall submit documentation that the extensions of Camino del Sur and Carmel Mountain Road as described below have been assured by permit and bond, satisfactory to the City Engineer. Additionally, the connection of Camino Del Sur between Torrey Santa Fe Road and Dormouse Road and the connection of Carmel Mountain Road between Via Las Lenas and Camino Del Sur shall be completed and open to traffic to the satisfaction of the City Engineer prior to the issuance of any occupancy permit.
44. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
45. Prior to issuance of the first certificate of occupancy, the Owner/Permittee shall provide and maintain all elements of the Transportation Demand Management Plan (TDMP) listed in the Climate Action Plan (CAP) checklist including bicycle parking, subsidized transit passes, electric vehicle charging stations, on-site shower facilities, and preferential carpool/vanpool parking to the satisfaction of the City Engineer. In order to ensure the proposed TDM strategies are implemented and maintained, the Owner/Permittee shall conduct a TDMP Monitoring and Reporting Program to include parking occupancy counts each year for a five year period. The TDMP Monitoring Report must be prepared and submitted to the City Engineer on the first anniversary of the issuance of a certificate of occupancy for the project and on such date each year thereafter during the five year monitoring period.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

46. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.
47. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.
48. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond, the design and construction of the proposed 10-inch sewer main on the north end of Camino del Sur from the proposed manhole one to the existing manhole at Torrey Santa Fe Road, as described in the sewer study date February 22, 2017 and the Civil Drawing C-1 (Revision March 15, 2017).
49. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.
50. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
51. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
52. All public water and sewer facilities are to be in accordance with the approved Water and Sewer Studies dated April 4, 2016 (Leppert Engineering Corporation).

PARK AND RECREATION REQUIREMENTS:

53. There shall be no temporary or permanent construction impacts to the adjacent City fee-owned open space.
54. The Owner/Permittee shall address any impacts that results from project stormwater drainage discharge onto adjacent City fee-owned space.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on_____.

DRAFT

Permit Type/PTS Approval SDP No.: 1689633/PDP No. 2161983

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

The Preserve at Torrey Highlands, LLC
Owner/Permittee

By _____
Jason Wood
Project Principal

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

REZONE ORDINANCE

(O-_____)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 11.10-ACRES LOCATED APPROXIMATELY ONE-QUARTER MILE SOUTH OF STATE ROUTE (SR) 56 ALONG THE WEST SIDE OF THE FUTURE PLANNED EXTENSION OF CAMINO DEL SUR, WITHIN THE TORREY HIGHLANDS SUBAREA PLAN, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE AR-1-1 ZONE TO THE IP-3-1 ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE CHAPTER 13, ARTICLE 1, DIVISION 6; AND REPEALING ORDINANCE NO. O-18691(NEW SERIES), ADOPTED DECEMBER 9, 1997, INsofar AS O-18691(NEW SERIES) CONFLICTS WITH THIS ORDINANCE;

WHEREAS, THE PRESERVE AT TORREY HIGHLANDS, LLC, a California Limited Liability Company, Applicant, requested a rezone for the purpose of changing 11.10-acres located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur, and legally described below; and

WHEREAS, on April 4, 2019, the Planning Commission of the City of San Diego considered Rezone No. 1689633, and voted _____ to recommend City Council approval of this Rezone No. 1689633; and

WHEREAS, the matter was set for public hearing on _____ with testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; and

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision

and where the Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That 11.10-acres located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur and legally described as (1) The northwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, township 14 south; (2) the northeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, Township 14 south; (3) the southwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14 Township 14 south; and (4) the southeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of Section 14, Township 14 south, all in Range 3 west, San Bernardino base and meridian, in the County of San Diego, State of California, according to the official plat thereof record of survey No. 15686, in the Torrey Highlands Subarea Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4334, filed in the office of the City Clerk as Document No. OO- _____, are rezoned from the AR-1-1 zone into the IP-3-1 zone as the zone is described and defined by San Diego Municipal Code Chapter 13 Article 1 Division 6. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

Section 2. That Ordinance No. 18691(New Series), adopted December 9, 1997, of the ordinances of the City of San Diego is repealed insofar as Ordinance No 18691(New Series) conflicts with the rezoned uses of the land.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, or the date that R-_____ adopting amendments to the Torrey Highlands Subarea Plan becomes effective, whichever date occurs later.

Section 5. No building permits for development inconsistent with the provisions of this Ordinance shall be issued unless application therefor was made prior to the date of adoption of this Ordinance.

APPROVED: MARA W. ELLIOTT, City Attorney

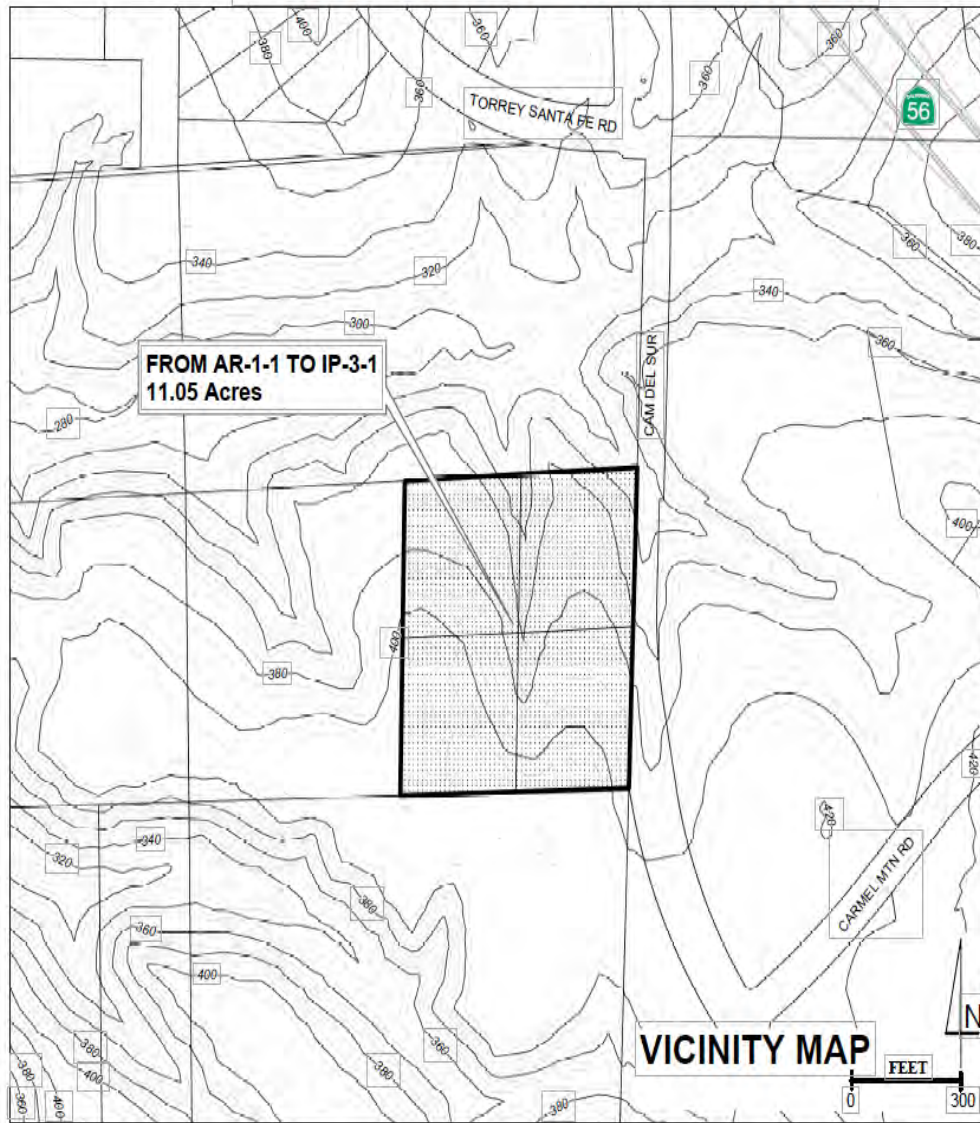
By _____
Attorney name
Deputy City Attorney

Initials~
Date~
Or.Dept: INSERT~
Case No.INSERT PROJECT NUMBER~
O-INSERT~
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CITY OF SAN DIEGO • DEVELOPMENT SERVICES

PROPOSED REZONING



VICINITY MAP

FEET

SEC 14-14-3W*SEQ*NEQ OF SEQ OF NEQ

ORDINANCE NO. _____
 EFF. DATE ORD. _____
 ZONING SUBJ. TO _____
 BEFORE DATE _____
 EFF. DATE ZONING _____
 MAP NAME AND NO. _____

REQUEST **IP-3-1**
 PLANNING COMM.
 RECOMMENDATION
 CITY COUNCIL
 ACTION

CASE NO. **442880**

DEVELOPMENT SERVICES MANAGER

B- 4334

APN 306-050-16, 18, 19 & 28

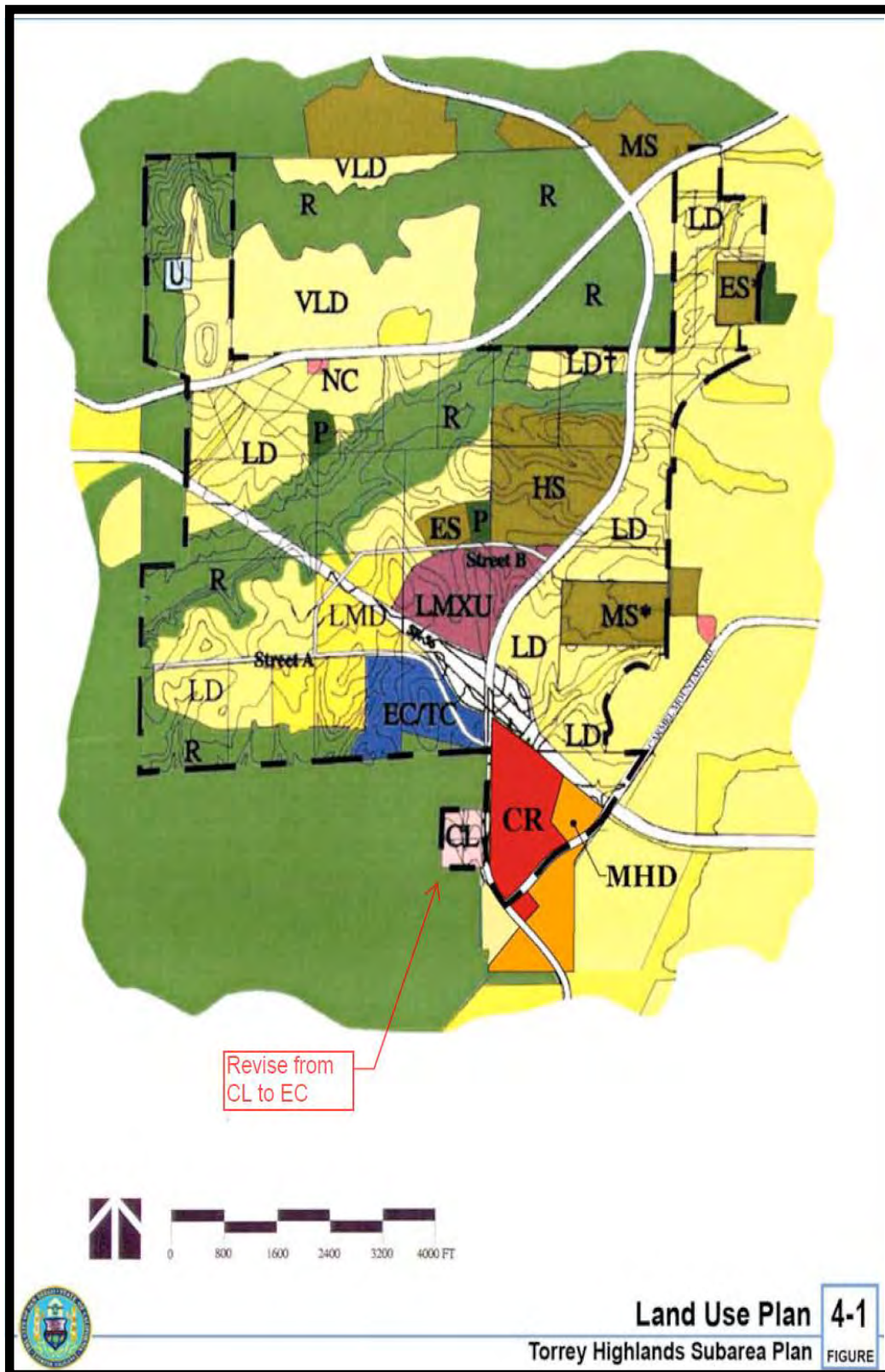
(286-1722) 5-21-18 ldj

Rezone Exhibit Sheet B-4334

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur





Community Plan Update Exhibit

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



PLANNING COMMISSION INITIATION APPROVAL RESOLUTION

PLANNING COMMISSION RESOLUTION NO. 4549-PC

INITIATING AN AMENDMENT TO THE Torrey Highlands Subarea Plan TO
REDESIGNATE LAND FROM Commercial Limited TO Employment Center.

WHEREAS, on September 19th 2013, the Planning Commission of the City of San Diego held a public hearing to consider a request to amend the Torrey Highlands Subarea Plan to redesignate an 11-acre site located approximately 1/4-mile south of State Route 56 and west of the planned extension of Camino del Sur, from Commercial Limited to Employment Center; and

WHEREAS the 2008 General Plan will be amended as the Torrey Highlands Subarea Plan is a component of the adopted general plan; and

WHEREAS, the Planning Commission considered Report No. PC-13-103 as well as all maps, exhibits, evidence and testimony; NOW, THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby initiates the requested Community Plan and General Plan Amendment based on its compliance with the initiation criteria found in policy LU-D.10 of the Land Use Element of the General Plan and specifically addressed in Report No. PC-13-103; and

BE IT FURTHER RESOLVED that the Planning Commission directs staff to consider the following issue(s) in addition to all of the issues identified in Report No. PC-13-103:

- Potential incompatible uses, such as gas stations, adjacent to the open space system;
- Potential to incorporate transportation demand management strategies, and creative ideas for private vehicle access;
- Potential relocation of uses identified in the Commercial Limited land use designation;
- Consideration of the input of the Del Mar Mesa Community Planning Group.

BE IT FURTHER RESOLVED, that this initiation does not constitute an endorsement of a project proposal. This action allows the future development project to become a complete submittal and will allow staff analysis to proceed.



Staff Planner

Initiated: September 19, 2013

By a vote of: 6-0-1

(R-2016-)

RESOLUTION NUMBER R-_____

ADOPTED ON _____

A RESOLUTION APPROVING AN AMENDMENT TO THE TORREY
HIGHLANDS SUBAREA PLAN TO REDESIGNATE LAND LOCATED
APPROXIMATELY ONE-QUARTER MILE SOUTH OF STATE ROUTE
(SR) 56 ALONG THE WEST SIDE OF THE FUTURE PLANNED
EXTENSION OF CAMINO DEL SUR FROM COMMERCIAL LIMITED TO
EMPLOYMENT CENTER

WHEREAS, on _____, the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the General Plan and the Torrey Highlands Subarea Plan; and

WHEREAS, The Preserve at Torrey Highlands, LLC requested an amendment to the Torrey Highland Subarea Plan to redesignate an 11.10-acre site located approximately one-quarter mile south of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur, from Commercial Limited to Employment Center.

WHEREAS, the site is legally described as (1) The northwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, township 14 south; (2) the northeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14, Township 14 south; (3) the southwest quarter of the southeast quarter of the northeast quarter of the southeast quarter of section 14 Township 14 south; and (4) the southeast quarter of the southeast quarter of the northeast quarter of the southeast quarter of Section 14, Towhship14 south, all in Range 3 west, San Bernardino base and meridian, in the County of San Diego, State of California, according to the official plat thereof record of survey No. 15686, City of San Diego, County of San Diego, State of California; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the General Plan; and

WHEREAS, on _____ the City Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, that it adopts the amendments to the Torrey Highlands Subarea Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-_____.

APPROVED: MARA W. ELLIOTT, City Attorney

By _____

Deputy City Attorney

MJL:pev
INSERT Date
Or.Dept:DSD
R-2016- INSERT
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TORREY HIGHLANDS

SUBAREA PLAN

City of San Diego Planning Department

202 C Street, MS 4A
San Diego, CA 92101



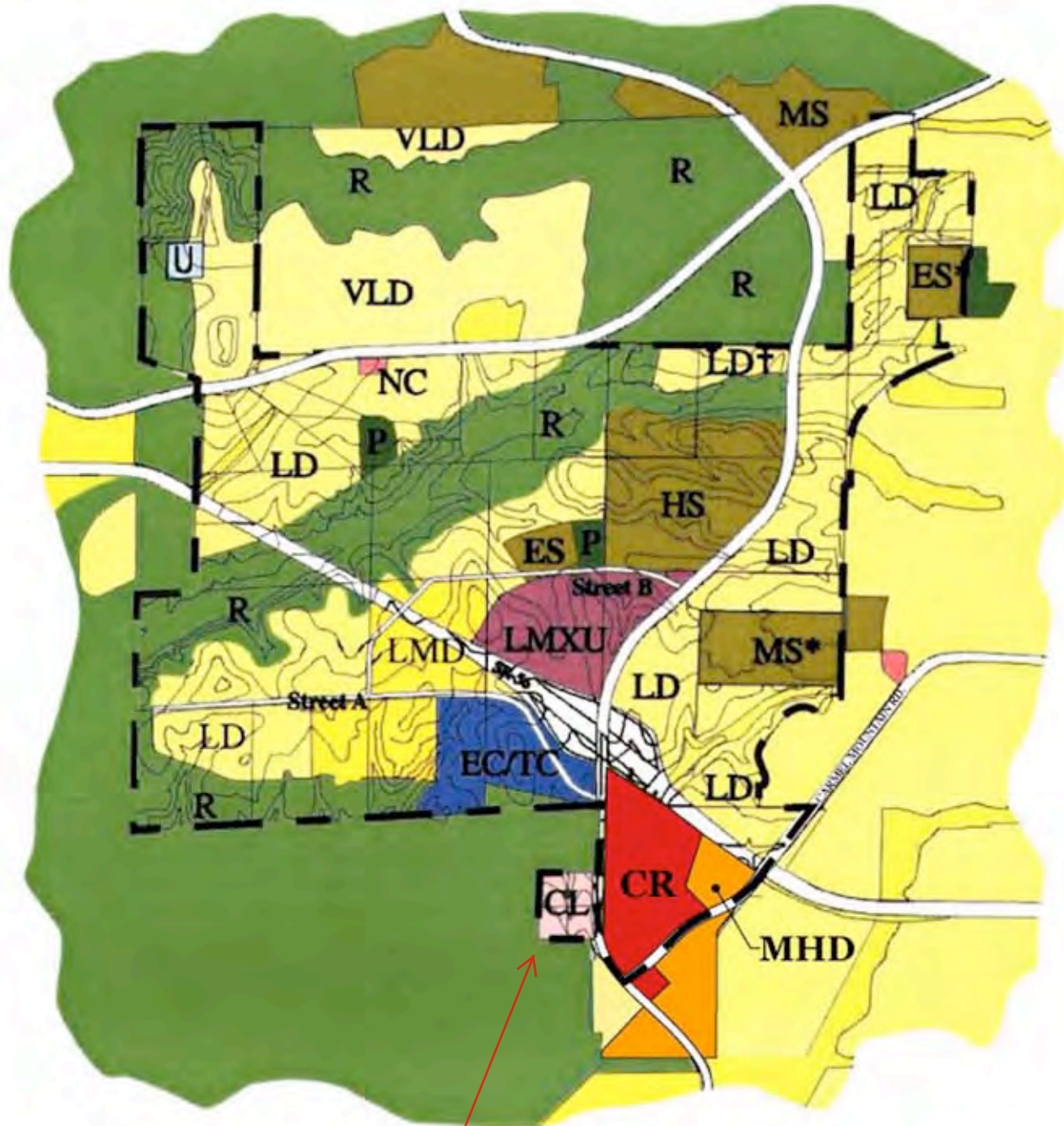
Printed on recycled paper.

This information, or this document (or portions thereof), will be made available in alternative formats upon request.

TORREY HIGHLANDS COMMUNITY PLAN

The following amendments have been incorporated into this January 2006 posting of this Plan:





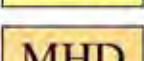

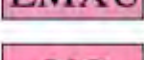
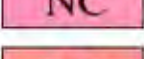
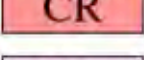



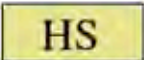
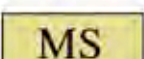

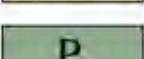
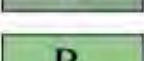
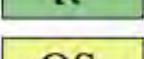
Amendment	Date Adopted by Planning Commission	Resolution Number	Date Adopted by City Council	Resolution Number
Torrey Highlands Subarea Plan adopted			August 5, 1996	R-287749
Redesignated a portion of the Employment Center to LD and LMD Residential (Torrey Santa Fe)	December 2, 1999		December 7, 1999	R-292591
Redesignated 2 small areas from Institutional to LMXU and LMD Residential to Commercial Regional (Greystone Homes)	October 26, 2000		November 14, 2000	R-294053
Redesignated 39 acres from LD Residential to LMD Residential (Shaw)	August 1, 2002		September 24, 2002	R-297097
Reconfigured residential, commercial and open space areas and adjusted the community plan boundary on a 147-acre site (Rhodes Crossing)	February 5, 2004		March 30, 2004	R-299054



Revise from
CL to EC



Land Use Plan 4-1
Torrey Highlands Subarea Plan **FIGURE**

	VLD	Very Low-Density (Less than 1 D.U./Gross Acre)
	LD	Low-Density (2.5 D.U./Gross Acre)
		Future Low-Density
	LMD	Low Medium-Density (5-10 D.U./Gross Acre)
	MHD	Medium High-Density (20-40 D.U./Gross Acre)
	LMXU	Local Mixed Use
	NC	Commercial Neighborhood
	CR	Commercial Regional
	CL	Commercial Limited
	U	Utilities
	EC/TC	Employment Center/Transit Center
	HS	High School*
	MS	Middle School
	ES	Elementary School*
	P	Neighborhood Park
	R	Resource (Proposed MSCP Preserve)
	OS	Open Space
		25-Foot Contour

* Elementary School and High School designated as LD for underlying land use. Development of the school sites as LD will require a rezoning.



TABLE 4-2
TORREY HIGHLANDS LAND USE ACREAGE

		DU or Acres
Residential		2,600 DU
VLD	Very Low-Density (Less than 1 du/acre)	28.3 Acres
LD	Low-Density (2-5 du/acre)*	363.85 Acres
LMD	Low-Moderate Density (5-10 du/acre)	62.08 Acres
MHD	Medium-High Density (20-40 du/acre)	7 Acres
LMXU	Local Mixed Use	43.5 Acres
CN	Commercial Neighborhood	1.5 Acres
CR	Commercial Regional	35 Acres
CL	Commercial Limited	10.5 Acres
EC/TC	Employment Center/Transit Center	34 Acres
Schools		
ES	Elementary School (Existing)	12 Acres
MS	Middle School (Existing)	30 Acres
ES	Elementary School (Proposed)**	11 Acres
HS	High School (Proposed)	68.5 Acres
MS	Middle School (Proposed)***	0.3 Acres
P	Neighborhood Park	10 Acres
R	Resource (MSCP)	273. Acres
OS	Open Space	11 Acres
ROW	Right-of-Way	120 Acres
U	Utilities	3.7 Acres
Total		1125.8 Acres

* Total low-density acreage does not include acreage for the underlying LD acreage designated for schools.

** Elementary school and high school designated as LD for underlying land Use. Development of the school site as LD will require a rezoning of the property to implement that designation.

*** Approximately 10 acres of proposed middle school located in Fairbanks Highlands, 15 acres located in Subarea I.

Low- to Moderate-Density Residential

Single-family homes will be the predominant use in the low- to moderate-density residential neighborhood. Average gross densities will range from five to ten dwelling units per acre. A range of dwelling unit types will be allowed, including conventional single-family dwellings, small-lot developments, single-family with accessory units, duplexes, triplexes and town homes. While multifamily developments will be a permitted use based on overall density, the predominant development will be single-family. A well-planned system of trails connects the residential areas with the neighborhood parks, the open space system and with other destinations including schools and the Local Mixed Use Center. **Chapter 5, Community Design Guidelines**, contains site design and development guidelines to achieve a mix of housing types.

Low-Density Residential

Areas of Torrey Highlands designated low-density residential will allow single-family development at average gross densities of two to five dwelling units per acre. Dwelling unit types may include single-family, single-family with companion units and clustered development.

Low-density residential areas on the east side of Camino Ruiz, and within 500-feet west of the Rancho Peñasquitos community, will relate to existing residential development in Rancho Peñasquitos through the use of minimum lot sizes of 7,500 square feet* and compatible scale and type of building. Additional design policies are contained in **Chapter 5, Community Design Guidelines**.

4.2.3 Subregional Land Uses

Torrey Highlands' projected population of approximately 7,280 persons, together with projected population from the entire NCFUA and existing communities, creates demand for a centralized area to provide subregional goods, services and job opportunities.

The subregional uses are located to take advantage of:

- One of the two freeway interchange locations (Camino Ruiz and SR-56) within the NCFUA.
- The absence of comparable uses in the adjacent community of Rancho Peñasquitos.

Subregional facilities including an Employment Center, ~~Commercial Limited~~ and Commercial Regional uses are sited in the southern portion of Torrey Highlands. Their location takes advantage of freeway proximity.

* The minimum lot size for low-density residential within Parcel #306-021-05 is 5,000 square feet

Employment Center

The commute from home to work typically generates approximately one-third of all automobile trips. By providing Employment Centers within Torrey Highlands, a reduction in traffic may be possible. The Employment Centers will contribute to an employment base for the North City. The close proximity of the Employment Centers to the Local Mixed Use Center and residential areas will decrease the dependency on private automobiles for residents of Torrey Highlands. There are two (2) Employment Center sites within Torrey Highlands: the Northern Employment Center comprising approximately 34 acres, and the Southern Employment Center comprising approximately 11 acres. The Southern Employment Center is restricted to a maximum of 450,000 square feet plus a small amenity café. The Northern Employment Center area is estimated to include 600,000 square feet. The two Employment Center sites may contain:

- Scientific research, and research and development uses
- Light industrial and manufacturing uses
- Professional and corporate office uses
- Business support and other convenience facilities
- Drive-through services are not permitted in the Employment Center

The provisions for business support and other convenience facilities is an essential element of the Torrey Highlands Employment Center. These support facilities provide services and products to employees without competing with the LMXU.

The Employment Center may also integrate design considerations in the event that transit services the area. As of June 1996, the MTDB has indicated that it will not provide transit services to the community. However, transit support facilities should be incorporated within the Employment Center to allow for private shuttles or eventual service by MTDB. The MTDB will make the actual determination when and under what circumstances transit service will be provided to the community prior to the issuance of tentative maps associated with the Employment Center site. Siting and design guidelines for the Employment Center are contained in Chapter 5, Community Design Guidelines.

Commercial Regional

There are two separate and distinct regional commercial areas identified in the Torrey Highlands Community. The primary Commercial Regional area covers approximately 23 acres north of the intersection of Camino Ruiz and Carmel Mountain Road, and the northern Commercial Regional area covers approximately two acres at the southeastern quadrant of the intersection of SR-56 and Camino Ruiz. Commercial Regional uses include: neighborhood-serving commercial uses, area-serving retail sales, automotive uses, commercial recreation facilities, visitor-serving commercial uses and offices.

The Commercial Regional locations benefit from the high visibility of the major routes including SR-56 and Camino Ruiz, easy access through the SR-56/Camino Ruiz interchange and central location within the region.

The primary Commercial Regional area allows for a broad range of retail commercial uses and is intended to serve both the Torrey Highlands and Rancho Peñasquitos communities. Up to 250,000 square feet of commercial development and 275,000 square feet of self-storage will occur on approximately 23 acres with the current alignment of Carmel Mountain Road and Camino Ruiz. Even if the acreage of the Commercial Regional site should increase based on the final alignments of Carmel Mountain Road and Camino Ruiz, the commercial square footage will remain at 250,000 square feet.

The northern Commercial Regional area is designated for auto-oriented Commercial Regional uses. Development of this parcel is restricted to a maximum of 10,000 square feet and 6,000 average daily trips (ADT). The Design Guidelines for the Commercial Regional Center and two conceptual site plans, illustrating potential development phases, have been approved for this parcel. To assure development consistent with the guidelines and other applicable ordinances, development of this parcel will require approval of a site-specific Planned Development Permit (PDP) and any necessary use permits. Chapter 5, **Community Design Guidelines**, contains specific siting and design guidelines for the Commercial areas.

~~Commercial Limited~~

~~Approximately 10.5 acres west of Camino Ruiz are designated for Commercial Limited uses. These uses are somewhat dependent on automobiles but are appropriate for the more isolated location of this site.~~

~~This category of land use includes: religious facilities, trade schools, storage facilities, nurseries, garden centers and veterinary clinics.~~

4.3 LAND USE PATTERN

4.3.1 Land Use Concept

The Torrey Highlands community is based on a traditional planning concept which emphasizes bicycle, equestrian and pedestrian paths, and focuses community activities around this concept. Commercial, civic and residential uses will be integrated in the community core and the circulation element will accommodate pedestrian, bicycle, transit and equestrian access with comparable ease to what motorized vehicles enjoy. In addition, a diverse variety of housing options are provided to ensure that residential opportunities are available to accommodate a range of incomes from very low to very high. To achieve a fine-grained development pattern which will implement these planning principles, Torrey Highlands is divided into four distinct planning areas as shown in **Figure 4-3** and described below:



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: March 3, 2004 REPORT NO. PC-04-022

ATTENTION: Planning Commission, Agenda of March 11, 2004

SUBJECT: **OUR LADY OF MT. CARMEL - PTS NO. 2752. PROCESS 4.**

OWNER/
APPLICANT: THE ROMAN CATHOLIC BISHOP OF SAN DIEGO

SUMMARY

Issue(s) - Should the Planning Commission approve, modify or deny the Our Lady of Mt. Carmel project?

Staff Recommendation -

1. **Certify** Addendum No. 2752 to Environmental Impact Report No. 93-0152 and **Adopt** the Mitigation Monitoring and Reporting Program; and
2. **Approve** Planned Development Permit No.10965, Site Development Permit No. 4916 and Conditional Use Permit No. 4915.

Community Planning Group Recommendation - The Rancho Penasquitos Planning Board, voted 10:5:0 to recommend approval of the project at their November 2003 meeting.

Environmental Impact - An Addendum to Environmental Impact Report No. 93-0152 has been prepared for the project in accordance with State CEQA Guidelines. A Mitigation Monitoring and Reporting Program has been prepared and would be implemented to reduce any potential impacts to below a level of significance.

Fiscal Impact - All costs associated with the processing of this project are covered from a deposit account maintained by the applicant.

Code Enforcement Impact - None with this action.

Housing Impact Statement - The proposed project would have a neutral impact on housing. The Torrey Highlands Subarea IV Plan designates this undeveloped agriculturally zoned site for Commercial Limited land uses. The Commercial Limited designation is intended to provide opportunities for religious facilities, garden centers, trade schools, and similar uses. The Commercial Limited designation is not intended to provide housing. Development of the site with a religious facility would not result in an increase or decrease in existing or potential housing units.

Water Quality Impact - The project is required to comply with the State Water Resources Control Board Order No.92-08-DWQ (NPDES General Permit No. CAS0000002). The post development Best Management Practices incorporated into the project consists of site design, source control and treatment.

BACKGROUND

Existing Conditions

The project site is located within the planned urbanizing portion of the Torrey Highlands Subarea IV Plan (Attachment 1), yet is bounded on three sides by property within the Del Mar Mesa Specific Plan area. The site abuts the MHPA on the north, west and south, and Camino Del Sur parallels the eastern boundary of the property. The site is designated Commercial Limited (CL) in the Torrey Highlands Subarea IV Plan which allows for the development of religious and educational facilities through discretionary review to ensure compatibility with Deer Canyon within the MHPA. The property to the east is designated Commercial Regional by the Torrey Highlands Subarea IV Plan and the property to the north, west and south is designated Resource Based Open Space by the Del Mar Mesa Subarea V Specific Plan. The property and surrounding properties are zoned AR-1-1 (Attachment 2).

The site is currently undisturbed and undeveloped land (Attachment 3). The following native habitats occur on the project site: chamise chaparral, scrub oak chaparral and southern mixed chaparral. In addition, the southwestern portion of the site is located within a potential vernal pool habitat and an ephemeral stream channel is located within the central portion of the site.

All of the Torrey Highlands Subarea IV, except for the Fairbanks Highlands Subdivision between Carmel Valley Rd and the north Subarea IV boundary, was phase shifted on Nov. 5, 1996 by Proposition "H". The project would receive police service from the Northeastern Division where in 2002 average response time was 10.3 minutes. The fire service response time would meet the six minute requirement for emergency vehicles.

Required Approvals

A Planned Development Permit is required to allow deviations from the 30-foot height limit, reduced yard setbacks, maximum lot coverage and the maximum height of retaining walls. The

Planned Development process would allow design flexibility to accommodate the proposed deviations including the 65-foot-high decorative spire located on both the entry tower and worship center.

A Site Development Permit is required due to the presence of sensitive resources located in and on the site. These resources include three sensitive native plant communities: chamise, scrub oak chaparral and southern mixed chaparral, high archaeological sensitivity near an identified sensitive site, moderate and high sensitivity for paleontological resources, potential vernal pools and on and off-site vernal pool watersheds.

The new church facility requires processing and approval of a Conditional Use Permit.

DISCUSSION

Subarea Plan Analysis

Development of the Our Lady of Mount Carmel Church and elementary school would implement the policies and objectives of the Torrey Highlands Subarea IV Plan applicable at this site. The Torrey Highlands Subarea IV Plan (Plan) designates the site for Commercial Limited (CL) land uses (Attachment 1). The CL designation allows development of religious facilities only through the discretionary review and approval process. Development of a religious facility is consistent with the CL land use designation of the Subarea Plan.

The Plan identifies the outer limits of development and disturbance along the MHPA throughout Subarea IV. The Plan also identifies a maximum allowable slope height of fifty feet for the northern property boundary of this site. The proposed project complies with the identified limits of development and slope height restrictions. The proposal further accomplishes the policies of the Plan through terracing and siting techniques to be employed by execution of the design. The project would grade the site into a series of terraces from the southwest to the north. The southwest corner of the property would maintain the existing elevation of 414 feet above mean sea level (MSL), terrace down to the church and rectory at elevation 395, the parish ministries and hall at elevation 377, the play yard at elevation 369, and the elementary school would be at elevation 365. The siting and design of the parish ministries, parish hall and elementary school allows the structures to be built into the topography.

As recommended in the Plan's design guidelines, the project has been designed to provide appropriate landscape throughout. The edges of development along the north, west, and south of the project are adjacent to the MHPA and would be planted with a palette of native trees, shrubs, and groundcovers. The parking lot trees adjacent to Camino Del Sur are consistent with the approved street trees for Camino Del Sur, and the plantings within the project are typical of those used throughout the community.

Project Description

The project proposes a church campus, worship center and a school with a total enrollment of 500 students in grades kindergarten through eight (Attachment 4). The project floor area would total 102,983 square feet. The 1200 seat worship center would be 31,161 square feet; a two-story administration building would be 15,000 square feet; two-story parish ministries center including priest and caretaker residences would contain 12,022 square feet; two-story parish hall at 20,300 square feet; and the elementary school would be dispersed throughout three buildings. The permanent two-story school would be 24,100 square feet in three buildings; while temporary school buildings would occur in six temporary modular buildings at 1,800 square feet each until the permanent school buildings are constructed. At the completion of the permanent school buildings, the temporary buildings would be removed. The project also includes a bell tower; monument sign; grassy play area, retaining walls, landscaping and off-street parking facilities.

Grading Plan

At the 11.1 acre site, approximately 9.76 acres would be graded to implement the project (Attachment 5). Proposed grading for the project would result in a balanced earthwork condition. Grading would require approximately 65,000 cubic yards of excavation and approximately 65,000 cubic yards of embankment. The maximum height of the excavated slopes would be twelve feet at a four to one slope ratio and fifteen feet at a two to one slope ratio for embankments. The depth of excavation would be approximately twenty feet with an approximate embankment depth of forty feet. The project would require eleven retaining walls ranging in length from twenty-two to 580 feet long. Most walls would be less than 200 feet in length. Walls would vary in maximum height from two to twenty-five feet in height. The average height of the walls would be a maximum of twelve feet.

Architectural Features

The Our Lady of Mount Carmel project has been designed comprehensively to create a cohesive campus with a unified architectural style using consistent materials, forms, articulation and detailing (Attachment 6).

The worship center building would include a glazed dome, decorative spire, copper and concrete shingle roofing, stained fascia gutters, exterior plaster, wood windows and doors, stone and tile accents. The worship center at its highest would be sixty-five feet at the church spire, fifty-five feet at the dome, and forty feet along the ridge line of the roof.

The administration center, parish ministries and school buildings would include concrete shingle roofing, stained fascia gutters, exterior plaster, wood windows and doors. The parish ministries building would also have a wood trellis. The administration center would be eighteen feet high with the future second story for the parsonage reaching a maximum thirty-two feet. Both the parish ministries and school buildings would employ split pad construction. The highest point from grade for the ministries building would top out at forty feet, the school building would be

thirty-six feet eight inches.

The entry tower would include cooper shingle roofing, a decorative spire, exterior plaster, tile, stone and concrete accents. The tower would attain the height of sixty-five feet above the new surrounding pad grade.

Planned Development Permit Deviations

A request for height deviations is supported by staff for the proposed project. The AR-1-1 agricultural zone is designed to accommodate typically less intense agricultural uses. The AR-1-1 zone also allows for increases in height when associated with increases in setback for all yards where the standard setback is twenty-five feet. Although this proposal does not increase all of the standard setbacks the design and site planning do represent a superior design. The project as designed does provide the required twenty-five foot rear yard setback and proposes side yard setbacks of forty and eighty-five feet, respectively. It is staff's conviction that the tower, located within the front yard setback, is suitably located, and that the height of the tower and church are appropriate given nature of the proposed uses as religious facilities.

The request to allow a five foot deviation for a monument sign and tower from the required front yard setback of twenty-five feet is supported by staff. The Torrey Highlands Subarea Plan identifies a religious facility as a recommended use at this location. The tower, which functions as a freestanding steeple, is a feature commonly associated with religious facilities. The location of the tower within the front yard setback at twenty feet, combined with the design of the tower, clearly identifies the primary pedestrian and vehicular entrance to site.

The request for a deviation to the maximum lot coverage of the AR-1-1 zone is supported by staff. As stated previously, the AR-1-1 zone is designed to accommodate typically less intense agricultural uses. However, the Torrey Highlands Subarea Plan designates the entire site for development with one of the recommended uses, including a religious facility. Staff has determined the sizes of the buildings are appropriate for the institutional and religious uses proposed by the applicant and are reasonable to accommodate the uses within each structure.

The applicant is requesting deviations to the maximum height allowed for walls. Within the required setbacks, the regulations allow six foot high walls. Outside of the required setbacks, twelve foot high walls are allowed. The project proposes retaining walls deviating from the maximum allowed height in the side and rear yard setbacks and within areas outside the setbacks internal to the site (Attachment 5). No walls are proposed within the front yard setback. All retaining walls vary in height along the length of the each wall. Within and adjacent to the northern side yard the applicant proposes four retaining walls over the maximum height. Within the northern setback three walls are over height by six, eight and nine feet, outside the setback the fourth wall is four feet over height. Within the southern side yard setback two walls are proposed. At their highest point these two walls are ten and eight feet over the maximum height. Within the rear yard setback one wall is seven feet over the maximum height. All other walls proposed conform to the height regulations.

The proposed retaining walls are well designed and integrate the proposed development with the surrounding landform. The retaining walls in and adjacent to the setbacks are curvilinear and would be screened by trees, shrubs and vines. The proposed retaining walls allow the developed area of the site to be physically separated from the adjacent MHPA. Allowing these walls to exceed the maximum height would reduce the total number of walls necessary to develop the site with the proposed uses. The adjacent MHPA, on three sides of the project site, has no existing or planned trails in the area and the proposed walls would not be visible from any public right-of-way or adjacent public vantage point.

With regard to the deviations sought by the applicant, staff supports the deviations to allow greater flexibility in the design of the project resulting in a superior design and greater land utilization.

Landscape Concept

The landscape design would consist of Carrotwood trees as street trees, Tipu trees as interior parking and shade trees with Queen Palms used for accents (Attachment 7). Bronze Loquat, Purple Leaf Plum, Crepe Myrtle and New Zealand Christmas trees would be used as small flowering accent trees. A variety of ornamental large, medium and low shrubs would also be planted and complemented with colorful annuals and perennials, vines and ground covers. Native trees, shrubs and groundcovers would be used adjacent to the MHPA areas. Native trees including Coast Live Oak, Engelmann Oak, California Sycamore, and Western Redbud would also be planted adjacent to the MHPA. Native shrubs would include Lemonadeberry, Toyon, Flat-top Buckwheat, and White Coast Ceanothus together with the native groundcovers of Wild Lilac, Red Monkeyflower and Dwarf Coyote Brush. No invasive species would be allowed in the project as listed by the California Exotic Pest Plant Council. A six-foot-high masonry block wall and wrought iron fencing would be located along the western boundary to protect sensitive habitat areas. Other site improvements include enhanced pavement treatments, retaining walls capable of being planted, wood benches, amphitheater seating, water features, bicycle racks and decorative light bollards.

Areas which contain vernal pools and potential vernal pool basins would remain undisturbed and protected. Valuable watersheds contributing to the vernal pools would also be protected to preserve the wetland habitat. Disturbance to these areas would be expressly prohibited by the conditions of approval and monitored during construction by mitigation monitoring staff. Walls and fences would further prevent unauthorized intrusion by persons into the adjacent MHPA lands.

Circulation

Access to the site would be provided from Camino Del Sur, formerly Camino Ruiz, at three locations (Attachment 4). Two access points would be controlled by future signalized intersections required as conditions of the draft permit. Based on the largest assembly, 400

parking spaces would be required. The project would exceed the requirement by providing 404 parking spaces including ten accessible spaces for a total of 414 spaces. Internal circulation is provided to facilitate ease of movement and assure adequate fire protection to all structures.

Water Quality

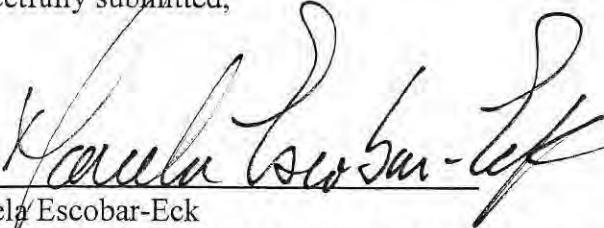
The project is classified as a priority project as defined by the City Storm Water Standards. The project is required to comply with the State Water Resources Control Board Order No.92-08-DWQ (NPDES General Permit No. CAS0000002). The post development Best Management Practices (BMPs) incorporated into the project consists of site design, source control and treatment. The project's runoff will be collected and conveyed by a private drainage system, passing through an in-line hydrodynamic separation system before being discharged into Deer Canyon. The hydrodynamic system will be sized accordingly to meet the project's numeric sizing requirements. The property owner will be responsible for the long term maintenance of all on site facilities. A Storm Water Pollution Prevention Plan would be implemented concurrently with the commencement of grading activities.

In summary, the Development Services and Planning Departments have reviewed the proposed project and determined the project meets all the relevant regulations and policies in effect for this site. City staff is recommending approval of the proposed project as evidenced by the draft resolution of approval (Attachment 8) and conditions of approval contained in the draft permit (Attachment 9).

ALTERNATIVES

1. Approve the project with modifications to the site development and/or draft permits.
2. Deny the proposed project if it is determined the required findings of fact cannot be affirmed.

Respectfully submitted,



Marcela Escobar-Eck
Deputy Director, Project Management Division
Development Services Department



John S. Fisher
Development Project Manager
Development Services Department

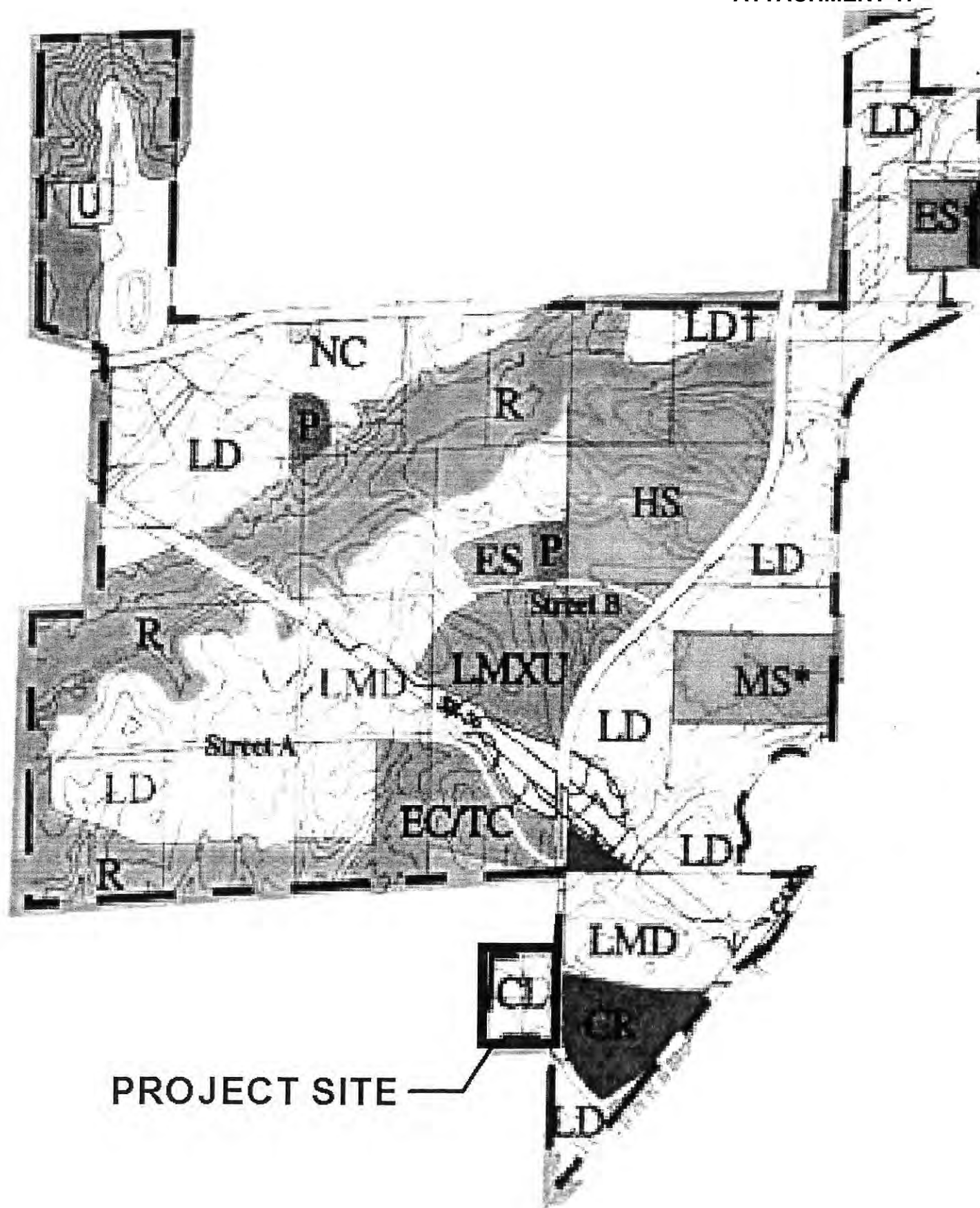
CHRISTIANSEN/JSF/Project No. 2752

- Attachments:
1. Torrey Highlands Ranch Subarea Plan Land Use Map
 2. Project Vicinity Map

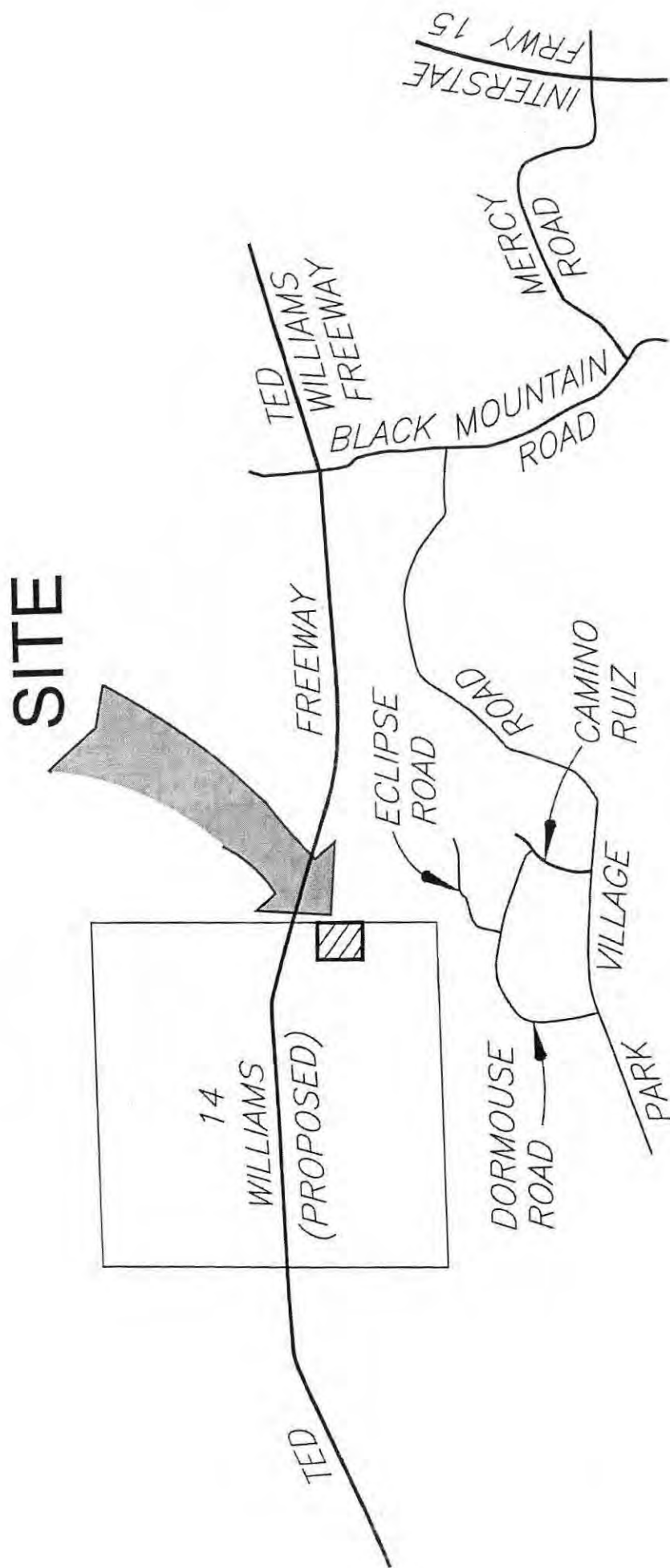
3. Aerial Site Photograph and surrounding area
4. Site Plan
5. Grading Plan
6. Elevations
7. Landscape Concept Plan
8. Draft Resolution with Findings
9. Draft Permit with Conditions
10. Community Planning Group recommendation
11. Project Title Sheet and Notes
12. Site Accessibility Plan
13. Fire Hose Coverage Plan
14. Worship Center Floor and Roof Plans
15. Landscape Concept Plan, Sheet 6 of 7
16. Administrative Center Floor and Roof Plans
17. School Floor and Roof Plans
18. Site Sections
19. Storm Water Best Management Practices Plan
20. Existing topography
21. Slope Analysis
22. Ownership Disclosure Statement
23. Project Data Sheet
24. Project Chronology
25. Architectural Site Models

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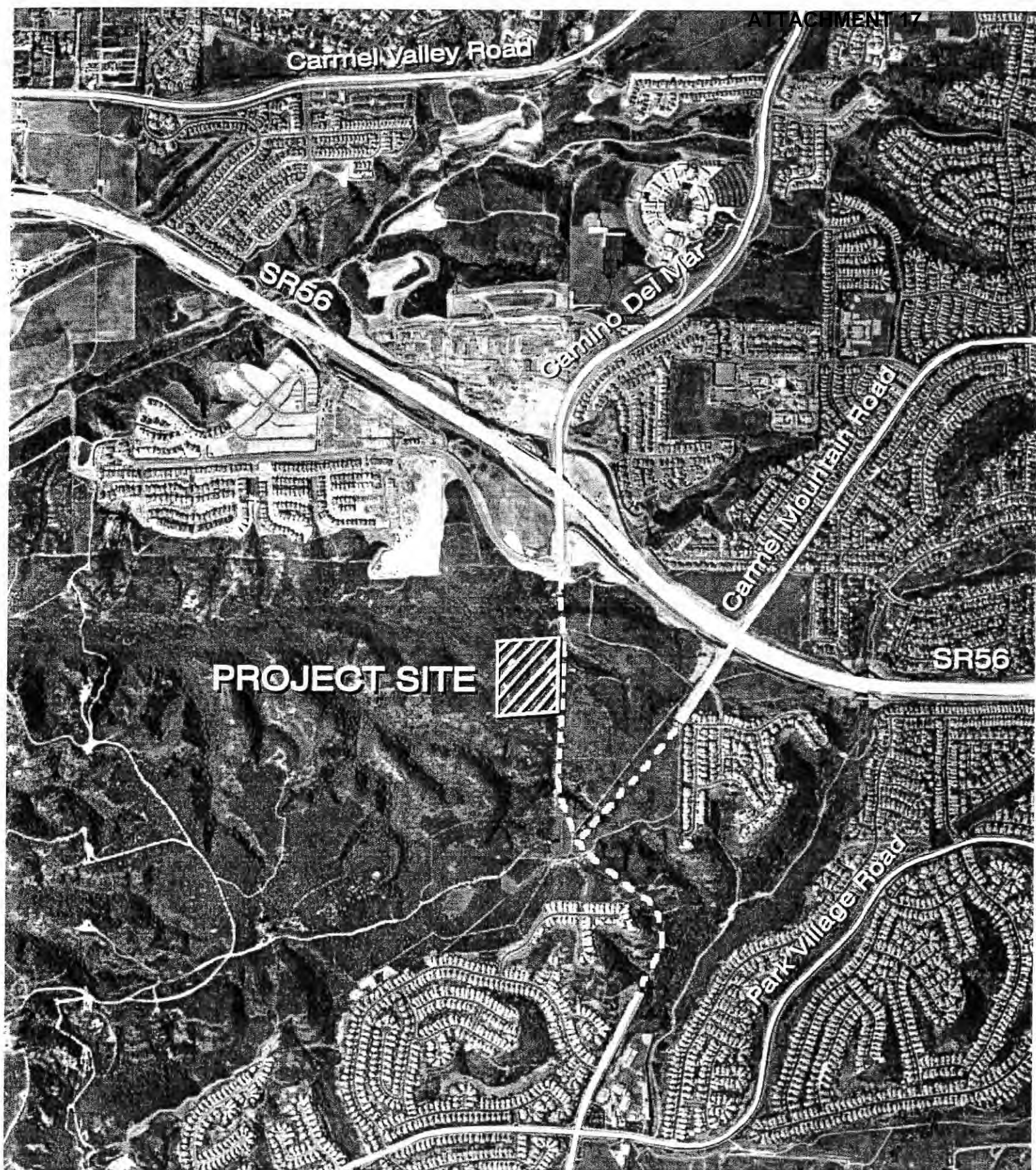
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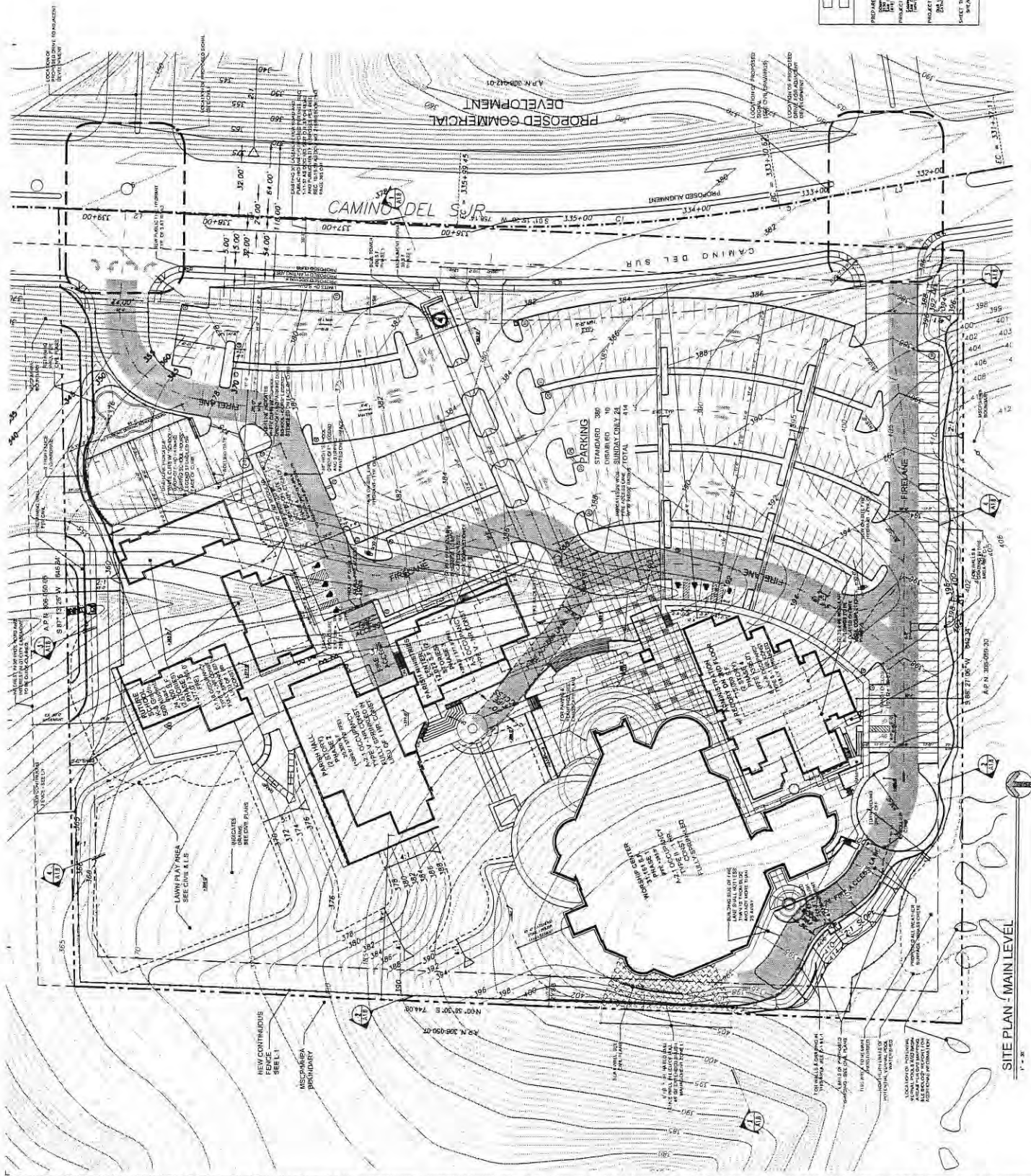
VICINITY MAP
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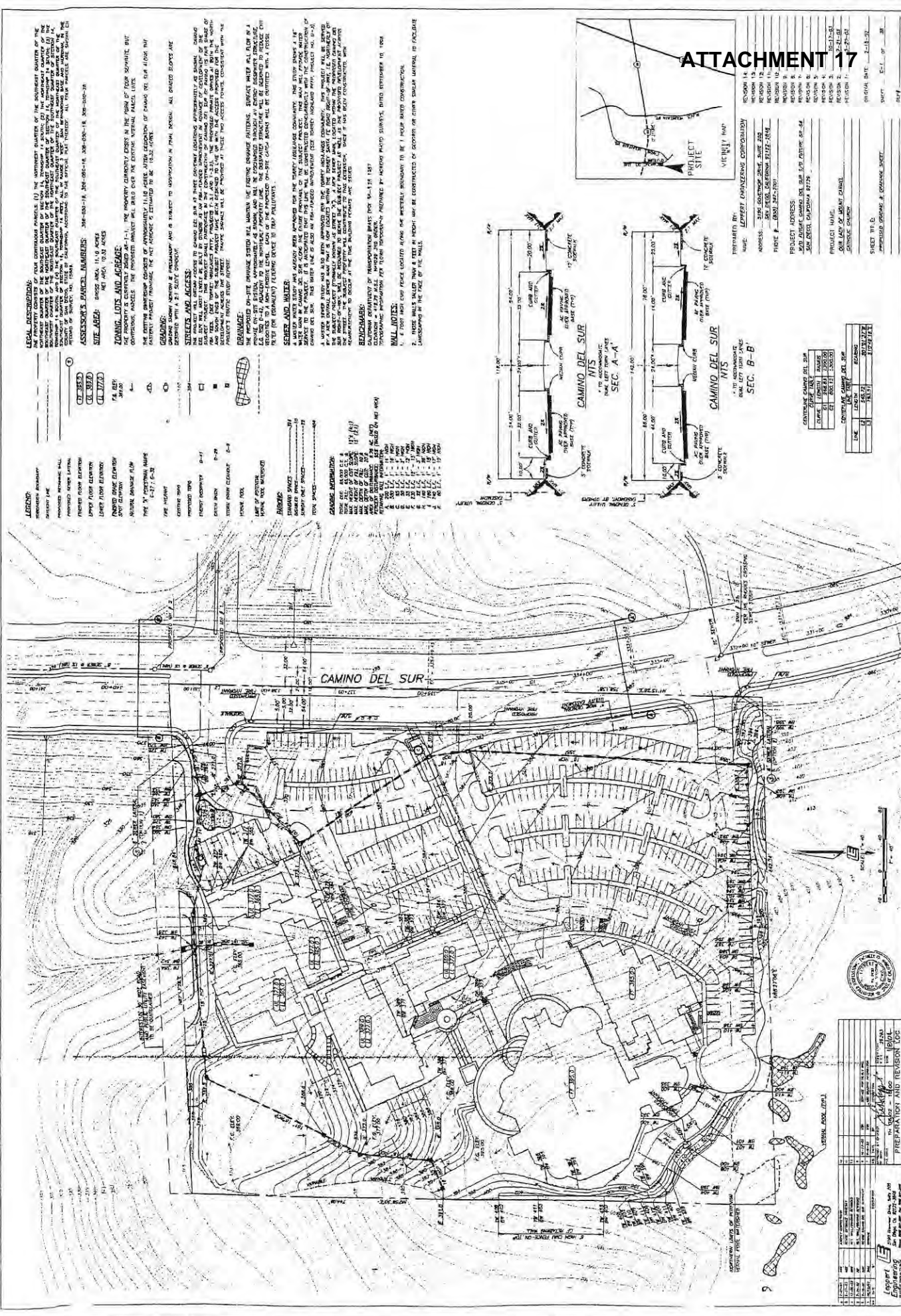
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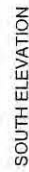
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SITE PLAN - MAIN LEVEL



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ALL CLAIMS HAVE BEEN PRINTED PRIOR TO ISSUANCE OF A PATENT AND ARE SUBJECT TO CHANGE

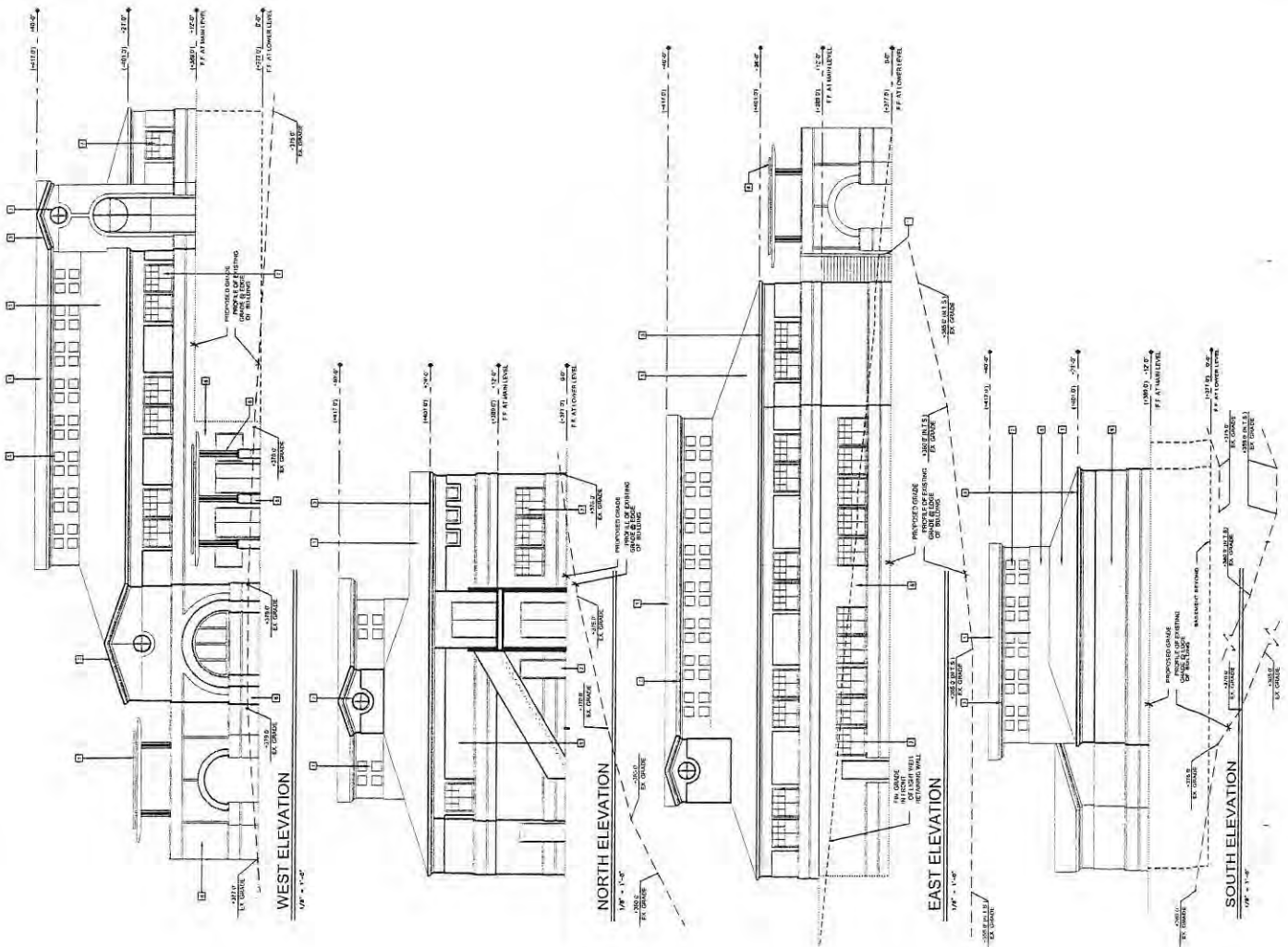
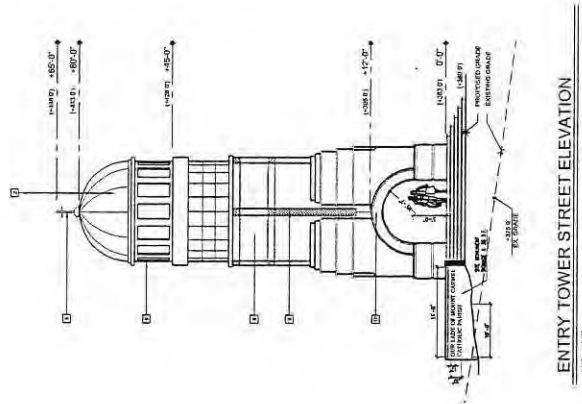
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4	CLIFFER DOVE
5	ST. CATHARINE SPONGE
6	EXTERIOR PLASTER
7	WOOD SHEDS / ROOM
8	WOOD SHEDS - STAINED
9	WATER / STONE ACQUISITION
10	CONCRETE ACQUISITION



MATERIALS LEGEND

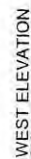
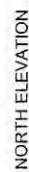
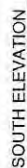
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- 2 CHINESE BUILDING PROVIDER
- 3 STAFFED KASSEL/STREET
- 4 FLATLANDS
- 5 DE-ZONE TRIP/STREET
- 6 PEDESTAL PLANT
- 7 ROOM/IMAGINE/DOOR
- 8 WORK/IMAGINE/STREET
- 9 TRIP/STREET/ACCENT
- 10 CHINESE/STREET

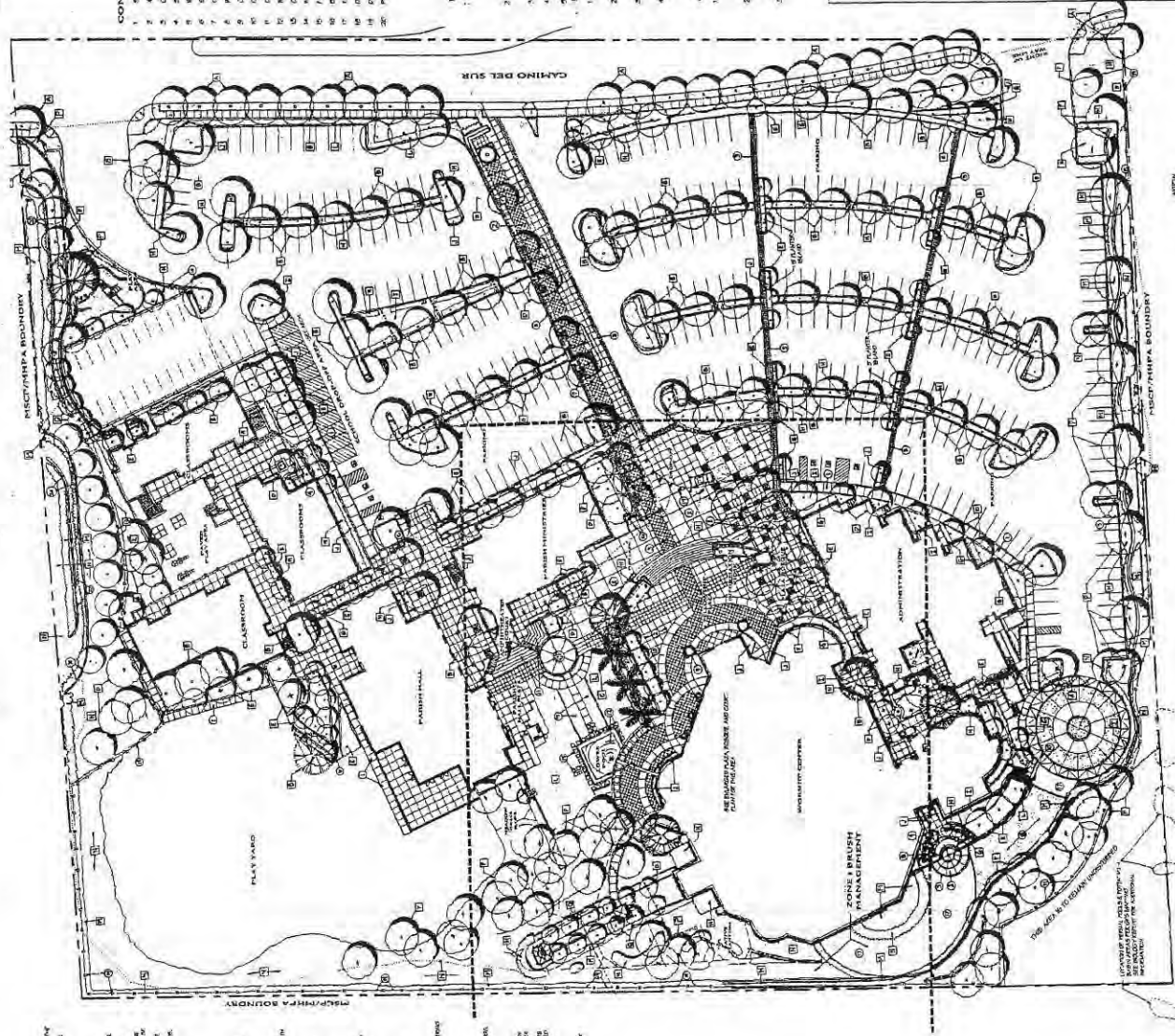


THESE PLANS HAVE BEEN PRINTED PRIOR TO ISSUANCE OF A BUILDING PERMIT AND ARE NOT TO BE USED FOR CONSTRUCTION USE

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3	STANDARD PAPER, COLOURS
4	DIGITAL DOGS
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OUR LADY OF MOUNT CARMEL PARISH

The Catholic Community in Rancho Peñasquitos

LANDSCAPE DEVELOPMENT PLAN,
BRUSH MANAGEMENT PROGRAMLANDSCAPE DEVELOPMENT PLAN,
BRUSH MANAGEMENT PROGRAM[illegible]

ATTACHMENT 17

PLANNING COMMISSION RESOLUTION NO. (to be filled in)
Planned Development Permit No.10965/Site Development Permit No. 4916/
Conditional Use Permit No. 4915
OUR LADY OF MT. CARMEL

WHEREAS, THE ROMAN CATHOLIC BISHOP OF SAN DIEGO, A SOLE CORPORATION, Owner/Permittee, filed an application with the City of San Diego for a permit to develop and construct a 102,983 square foot church campus, worship center and school with a maximum enrollment of 500 students grades kindergarten through twelve, minor improvements in the public right-of-way, landscaping, and other minor improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 10965, 4916 and 4915), on portions of a 11.1 acre site;

WHEREAS, the project site is located at and along the future alignment of Camino Ruiz and south of the future State Route 56 in the AR-1-1 zone of the Torrey Highlands Subarea Plan;

WHEREAS, the project site is legally described as the Southeast one quarter of the northeast one quarter of the southeast one quarter of section 14, township 14 south, range 3 west, San Bernardino Meridian in the County of San Diego, State of California, according to the official plat thereof;

WHEREAS, on (to be filled in), the Planning Commission of the City of San Diego considered Planned Development Permit No.10965/Site Development Permit No. 4916/Conditional Use Permit No. 4915 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated (to be filled in).

FINDINGS:

Findings for all Planned Development Permits - Section 126.0604

1. **The proposed development will not adversely affect the applicable land use plan.** The Torrey Highlands Subarea Plan identifies these sites for Commercial Limited (CL) uses. The CL designation allows for development of religious facilities and educational facilities through discretionary review in order to ensure compatibility with Deer Canyon. The proposed project, being determined consistent with the community plan land use, would not adversely affect the relevant land use plan.
2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The permit controlling the development and continued use of the development proposed for this site contains conditions addressing the project compliance with the City's regulations and other regional, state and federal regulations to prevent

ATTACHMENT 17

detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls intended to assure the continued health, safety and general welfare of persons residing or working in the area. All Building, Fire, Plumbing, Electrical, Mechanical Code and the City regulations governing the construction and continued operation of the development apply to this site to prevent adverse affects to those persons or other properties in the vicinity.

3. The proposed development will comply with the regulations of the Land Development Code. Specific conditions of approval require the continued compliance with all relevant regulations of the San Diego Land Development Code in effect for this site and have been written as such into the permit. Development of the site with a religious campus shall meet all requirements of the regulations, as allowed through a Planned Development permit. Concept plans for the project identify all other development criteria in effect for the site. All relevant regulations shall be complied with at all times for the life of the project.

4. The proposed development, when considered as a whole, will be beneficial to the community. The proposed project would provide opportunities for members of the community for worship, prayer, meditation and education. The operation of the church would support intrinsic values of the community and the operation of the school would provide opportunities for high quality educational experiences. The focus of these two uses on the site would benefit the community as members of the school and church seek personal improvement along cultural, ecumenical, secular and spiritual principles.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. The proposed project has been designed as a cohesive campus using similar materials, building forms, articulation and massing relative to the functions of each building. The project requires a deviation to allow the height of the church spire and retaining walls. The spire is considered a substantial element necessary to the identification of the site as a religious center and spiritual focal point in the community. The height of the spire on the church and entry dome at sixty-five feet above grade contributes to the overall design of the campus and will result in a more desirable project than would be achieved if designed in strict compliance with the development regulations. The retaining walls are a necessary component of the overall site design to utilize the site to its maximum extent and provide for the pad elevations necessary to support buildings, parking areas, play areas and the general use of the site. The walls as designed will be appropriate for this location and will not create a precedent in the neighborhood to the detriment of the community. The walls as proposed will result in a more desirable project than would be achieved if designed in strict compliance with the development regulations.

Findings for All Site Development Permits – Section 126.0504

ATTACHMENT 17

6. The proposed development will not adversely affect the applicable land use plan. Being determined the proposed project is consistent with the community plan, as evidenced in finding 1 above, the proposed project will not adversely affect the relevant land use plan.

7. The proposed development will not be detrimental to the public health, safety and welfare. Being determined the proposed project would not result in detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area, as evidenced in finding 2 above, the permit controlling the development and continued use of the project proposed for this site would contribute in a positive manner to the community.

8. The proposed development will comply with the applicable regulations of the Land Development Code. Being determined the proposed project would comply, as evidenced in finding 3, with all applicable regulations, the concept plans for the project identify all other development criteria in effect for the site. All relevant regulations would be complied with at all times for the life of the project as required by the conditions of approval.

Findings for Conditional Use Permit - Section 126.0305

9. The proposed development will not adversely affect the applicable land use plan. Being determined the proposed project is consistent with the community plan, as evidenced in finding 1 and 6 above, the proposed project will not adversely affect the relevant land use plan.

10. The proposed development will not be detrimental to the public health, safety and welfare. Being determined the proposed project would not result in detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area, as evidenced in finding 2 and 7 above, the permit controlling the development and continued use of the project proposed for this site would contribute in a positive manner to the community.

11. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code. Being determined the proposed project would comply, as evidenced in finding 3 and 8 above, with all applicable regulations, the concept plans for the project identify all other development criteria in effect for the site and all relevant regulations would be complied with at all times for the life of the project as required by the conditions of approval.

12. The proposed use is appropriate at the proposed location. The proposed project would provide opportunities for members of the community for worship, prayer, meditation and education. The operation of the church would support intrinsic values of the community and the operation of the school would provide opportunities for high

ATTACHMENT 17

quality educational experiences. The focus of these two uses on the site would benefit the community as members of the school and church seek to improve themselves along cultural, ecumenical, secular and spiritual principles. The physical site characteristics of slope, soil, geology and the structural properties of these factors support the proposed development at this site. The Torrey Highlands Subarea Plan identifies these sites for Commercial Limited (CL) uses. The CL designation allows for development of religious facilities and educational facilities through discretionary review. The proposed project, being determined consistent with the community plan land use, would not adversely affect the relevant land use plan and is appropriate for this location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No.10965, Site Development Permit No. 4916, Conditional Use Permit No. 4915 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 10965, 4916 and 4915, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Linda Lugano
Secretary to the Planning Commission

Adopted on: (to be filled in)

Job Order No. 42-0261

cc: Legislative Recorder, Planning Department

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rev 2/03/03wct

**RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
DEPARTMENT**

**WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER 42-0261

Planned Development Permit No.10965/Site Development Permit No. 4916/
Conditional Use Permit No. 4915

OUR LADY OF MT. CARMEL, Project #2752 (MMRP)
Planning Commission

This Planned Development/Site Development/Conditional Use Permit is granted by the Planning Commission of the City of San Diego to THE ROMAN CATHOLIC BISHOP OF SAN DIEGO, A SOLE CORPORATION, Owner/Permittee pursuant to Sections 126.0601, 126.0501 and 126.0301 of the Land Development Code of the City of San Diego. The 11.1 acre site is located at and along the future alignment of Camino del Sur and south of the future State Route 56 in the AR-1-1 zone within the Torrey Highlands Subarea Plan. The project site is legally described as the Southeast one quarter of the northeast one quarter of the southeast one quarter of section 14, township 14 south, range 3 west, San Bernardino Meridian in the County of San Diego, State of California, according to the official plat thereof.

Subject to the terms and conditions set forth in this permit, permission is granted to Owner/Permittee to develop and construct a new 102,983 square-foot church campus, 1200 seat worship center and school for 500 students grades kindergarten through eight, minor improvements in the public right-of-way, landscaping, and other minor improvements described as, and identified by size, dimension, quantity, type and location on the approved Exhibits "A," dated (to be filled in) on file in the Office of the Development Services Department. The facility shall include:

- a. A total of 102,983 square foot church campus, 1200 seat worship center & elementary school dispersed in seven buildings; the worship center at 31,161 square feet, two-story administration at 15,000 square feet; two-story parish ministries center including priest and caretaker residences at 12,022 square feet; two-story parish hall at 20,300 square feet; two-story school at 24,100 square feet in three buildings; and six temporary modular buildings at 1,800 square feet each until the permanent school buildings are constructed and which at that time the temporary buildings will be removed;

- b. Bell tower; monument sign; turf play area and retaining walls;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking facilities; and
- e. Accessory improvements requested by the Owner/Permittee and determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted Community Plan, California Environmental Quality Act guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this permit, and any other applicable regulations of the Municipal Code in effect for this site.

STANDARD REQUIREMENTS:

1. Construction, grading or demolition must commence and be pursued in a diligent manner within 36 months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within 36 months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the Land Development Code requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this permit has been revoked by the City of San Diego the property included by reference within this permit shall be used only for the purposes and under the terms and conditions set forth in this permit unless otherwise authorized by the City Manager.
4. This permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.
5. The utilization and continued use of this permit shall be subject to the regulations of this and any other applicable governmental agencies.
6. Issuance of this permit by the City of San Diego does not authorize the Owner/Permittee for said permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. Section 1531 et seq.)

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and/or site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," dated (to be filled in), on file in the Office of the Development Services Department. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this discretionary permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded special rights which the holder of the Permit is obtaining as a result of this Permit. It is the intent of the City that the Owner of the property which is the subject of this Permit either utilizes the property for any use allowed under the zoning and other restrictions which apply to the property or, in the alternative, that the Owner of the property is allowed the special and extraordinary rights conveyed by this Permit, but only if the Owner complies with all the conditions of the Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new Permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the Permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed Permit and the condition(s) contained therein.

10. This permit may be developed in phases. Each phase shall be constructed consistent with the conditions and exhibits approved for each respective phase, per the approved Exhibits "A," dated (to be filled in), on file in the Office of the Development Services Department.

MSCP REQUIREMENTS:

11. The following represent the MSCP requirements:

A. Third Party Beneficiary Status:

The issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (EAS) and any amendments thereto (16 U.S.C. Section 1531 et seq.).

In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service (USFWS) pursuant to Section 10(a) of the ESA and by the California

Department of Fish and Game (CDFG) pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program (MSCP), the City of San Diego through the issuance of this Permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement (IA), executed on July 17, 1997 and on File in the Office of the City Clerk as Document No. 00-18394. Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA.

If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

B. MHPA Land Use Adjacency Guidelines:

The Owner/Permittee shall comply with the Mitigation, Monitoring and Reporting Program (MMRP) as specified in the Environmental Documentation for the "Our Lady of Mount Carmel" (PTS No. 2752, SCH No. BLANK), satisfactory to the City Manager and the City Engineer, for the following issues areas to ensure compliance with the MSCP Land Use Adjacency Guidelines: Biological Resources and Hydrology/Water Quality. Additionally, the following conditions shall apply:

B1: Fencing. Prior to issuance of any building occupancy permits, the Owner/Permittee shall construct a five-foot-high wrought iron fence along the perimeter of the site in accordance with the approved Exhibit "A", satisfactory to the City Manager and the City Engineer, to direct MHPA access to designated areas. Along the perimeter of the on-site vernal pool preserve, the wrought iron fence may be substituted for black vinyl-coated chain link fence. Any proposed changes to the proposed size, location or type of fence shall be approved by the City Manager prior to construction. All fencing shall be located on the subject premises and maintained by the Owner/Permittee in perpetuity. Any necessary future fence repairs shall be conducted in a manner which does not result in impacts to sensitive biology resource or wildlife movement.

C. On-Site Preservation:

Prior to issuance of any grading permits, the on-site vernal pool preserve area shall be placed in a conservation easement, which is then recorded on the property. The Owner/Permittee shall manage the on-site preserve area in perpetuity in accordance with the final Habitat Management

Plan (HMP) prepared for the site.

D. Habitat Management Plan:

Prior to issuance of any grading permits, the Owner/Permittee shall prepare a final habitat management plan (HMP) for the on-site preserved areas to the satisfaction of the City Manager. All costs associated with long-term management of the on-site preserved areas shall be the responsibility of the Owner/Permittee or its designated representative. The entity/designee selected by the Owner/Permittee to manage the on-site preserved lands shall be acceptable to the City.

E. MHPA Buffer:

Prior to the issuance of any building occupancy permits, the City Manager shall verify that the perimeter native landscape buffer is constructed around the entire premises, as shown in the approved landscape plans. In the northwestern corner of the site, the native buffer shall not be less than 15-feet wide from the fenced property line to the turf play area at its narrowest point, consistent with the approved Exhibit "A" Landscape Concept Plan.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Prior to the issuance of each building permit which includes exterior lighting fixtures, plans shall be submitted indicating compliance with the glare and lighting requirements of the Land Development Code Sections 142.0730 and 142.0740 and other conditions addressing lighting within this permit.
13. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.
14. As conditions of Planned Development Permit No. 10965/Site Development Permit No. 4916/Conditional Use Permit No. 4915 mitigation measures specified in the MMRP, and outlined in the Mitigated Negative Declaration, Project No. 2752 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.
15. The Mitigation, Monitoring, and Reporting Program (MMRP) shall require a deposit of \$7,000.00 to be collected prior to the issuance of grading permits to cover the City's costs associated with implementation of the MMRP.
16. A Job Order number open to the Land Development Review Division of the Development Services Department shall be required to cover the Land Development Review Division's cost associated with the implementation of the MMRP.
17. The Owner/Permittee shall comply with the Mitigation, Monitoring and Reporting Program (MMRP) as specified in Mitigated Negative Declaration, Project No. 2752, satisfactory to the City Manager and the City Engineer. Prior to issuance of any grading permits and/or

building permits, mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Historical Resources
Paleontological Resources
Transportation
Biological Resources
Land Use/Visual Quality
Multiple Habitat Planning Area

PLANNING/DESIGN REQUIREMENTS:

18. No fewer than 400 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibits "A," dated (to be filled in), on file in the Office of the Development Services Department. Parking spaces shall comply at all times with requirements of the Land Development Code and shall not be converted for any other use unless otherwise authorized by the City Manager.

19. There shall be compliance with the regulations of the underlying zone(s) except as allowed by the deviations indicated on the Exhibit "A" as approved by this permit.

20. The heights of the buildings or structures shall not exceed those heights set forth on the exhibits including, but not limited to, elevations and cross sections.

21. A topographical survey conforming to the provisions of the Land Development Code may be required if it is determined, during construction, that there may be a conflict between the buildings under construction and a condition of this permit. The cost of any such survey shall be borne by the Permittee.

22. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

23. All signage associated with this development shall be consistent with the signs indicated and approved on the Exhibit "A", dated (to be filled in) and any additional signs shall comply with the sign criteria established by Citywide sign regulations.

24. Prior to the issuance of any building permits, complete outdoor lighting information shall be submitted to the Development Services Department, Land Development Review Division for review and approval. Complete lighting information shall include a plan view photometric analysis indicating an isofoot candle plot and a point by point plot to include all areas within the private property and to extend a minimum of fifty (50) feet beyond the property line, construction details as necessary to direct installation of the outdoor lighting system, manufacturers name, visors, prisms, lenses and reflectors and a lighting plan locating each fixture in plan view and a legend. The outdoor lighting system shall be designed, manufactured and installed to allow shading, adjusting, and shielding of the light source so all outdoor lighting is directed to fall only onto the same premises as light sources are located.

Prior to the issuance of any occupancy permit, a night inspection shall be required to verify compliance of the outdoor lighting system. No light shall be directed to fall outside the property

line. Light levels along the perimeter of the property shall be measured no higher than three footcandles. Light levels throughout the planned development shall be the least practical level necessary to effectively illuminate the operation. Sky glow or light halo shall be reduced to the greatest extent practical and in no case shall initial light levels be measured exceeding eight footcandles anywhere within the site. The Owner/Permittee, or an authorized representative, shall provide an illuminance meter to measure light levels as required to establish conformance with the conditions of this permit during the night inspection. Night inspections may be required additional fees as determined by the Development Services Department.

25. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

26. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

27. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

28. No mechanical equipment, tank, duct, elevator enclosure, cooling tower or mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed architecturally integrated structure whose top and sides may include grillwork, louvers and latticework.

29. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Refuse and Recyclable Materials Storage Regulations (Land Development Code Section 142.0801) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A."

30. The approved Exhibit "A" shall be the overriding document for proximity of development to the vernal pools unless an amendment to this permit is obtained.

LANDSCAPE REQUIREMENTS:

31. No change, modification or alteration shall be made to the project unless appropriate application or amendment of this Permit has been granted by the City. All plan specifications and notes mentioned in the conditions below shall be consistent with the Land Development Code 142.0401 and Landscape Standards, Exhibit "A" Landscape Development Plan, Brush Management Plan, Details and Notes on file in the Office of the Development Services.

32. All required landscape plant materials shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

33. The Owner/Permittee shall be responsible for the maintenance of all street trees and landscape improvements in the public right-of-way adjacent to the property consistent with the Landscape Standards. A Landscape Maintenance Agreement and bond shall be entered into prior to issuance of any grading or construction permit.
34. If any required landscape improvements are damaged during construction, they shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager, within 90 days of damage and prior to any Certificate of Occupancy.
35. The landscape construction plans shall not include any non-native plant species identified as invasive by the California Exotic Pest Plant Council.

BRUSH MANAGEMENT:

36. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" Brush Management Program/Landscape Development Plan, on file in the Office of the Development Services Department.
37. Prior to issuance of construction permits, all easements or right of entry permits for the purpose of Brush Management shall be obtained.
38. Prior to issuance of any engineering permits for grading, complete Brush Management, planting and irrigation plans, details and specifications (including maintenance specifications), shall be submitted to the City Manager for approval. All plans shall indicate the brush management zones depths by dimension.
39. Prior to any construction or grading, it shall be the responsibility of the Permittee to schedule a preconstruction meeting on site with the contractor and the Mitigation, Monitoring & Conservation section of Development Services Department to discuss and outline the implementation of the Brush Management Program.

TRANSPORTATION REQUIREMENTS:

40. The project shall conform to the Torrey Highlands/Subarea IV transportation Phasing Plan.
41. Prior to issuance of any building permit, the Owner/Permittee shall assure construction of two traffic signals. One traffic signal at the intersection of the project's northern driveway and Camino del Sur and the second traffic signal at the intersection of the project's southern driveway and Camino del Sur, satisfactory to the City Engineer. If, in the opinion of the City Engineer, construction of a traffic signal on Camino del Sur does not meet traffic warrants at the time of initial occupancy of the project, this requirement may be satisfied by the applicant entering into a deferred improvements agreement, or other such instrument acceptable to the City Engineer.
42. Prior to issuance of any building permit, the construction of Camino del Sur from Carmel Mountain Road to Torrey Santa Fe Road shall be assured to the satisfaction of the City Engineer.
43. The Owner/Permittee shall assure the construction of a standard thirty foot wide driveway or two twenty foot wide driveways with a ten foot separation designated for right-in/right-out

traffic movement only near the midpoint between the two proposed signalized intersections, satisfactory to the City Engineer.

44. Prior to the issuance of any building permit for the school, the Owner/Permittee shall assure the establishment of a school zone pm Camino del Sur in the vicinity of the school's site, satisfactory to the City Engineer. The school zone shall include appropriate pavement markings, signage and traffic control devices, satisfactory to the City Engineer.

45. Prior to the issuance of any building permit, the Owner/Permittee shall assure the construction of a right-turn lane at the project's northerly driveway on Camino del Sur as part of student drop-off area. The right-turn lane would require an additional twelve feet of dedication and improvement, and shall be completed satisfactorily to the City Engineer.

46. The maximum number of students allowed on site shall be 500 for all grades from Kindergarten through the Eighth grade.

ENGINEERING REQUIREMENTS:

47. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an encroachment removal agreement from the City Engineer for landscaping, irrigation and appurtenances in the City right-of-way.

48. Prior to the issuance of any building permits, the Owner/Permittee shall grant to the City a five foot wide General Utility Easement along the project frontage on Camino Del Sur. The slope of the land within the easement shall be two percent toward the street.

49. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

50. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (PCP). The PCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

51. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

52. Prior to the issuance of any building permits, the Owner/Permittee shall initiate and process an application to vacate the portion of the existing thirty foot wide road and public highway easement, adjacent to the project southerly entrance, satisfactory to the City Engineer.

53. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

54. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

55. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08-DWQ and the Municipal Storm Water Permit, Order No. 2001-01(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99-08-DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99-08-DWQ.

56. Prior to building occupancy, the Owner/Permittee shall conform to Section 62.0203 of the Municipal Code, "Public Improvement Subject to Desuetude or Damage." If repair or replacement of such public improvements is required, the owner shall obtain the required permits for work in the public right-of-way, satisfactory to the permit-issuing authority.

WASTEWATER REQUIREMENTS:

57. Prior to and during construction of the Carmel Valley Trunk Sewer, all remaining capacity within the existing pipeline has been assigned to others. In order for the Owner/Permittee to obtain any certificates of occupancy, assuming the Owner/Permittee is seeking to obtain service from the Carmel Valley Trunk Sewer, the construction of the Carmel Valley Trunk Sewer shall either be completed to the satisfaction of the City Engineer or the Owner/Permittee, by amendment, shall become signatory to the Advance Funding Agreement for the Carmel Valley Trunk Sewer, which was approved by the City Council on November 3, 2003, Document No. 298540-2. The determination of any remaining capacity in the existing sewer will be governed in accordance with the terms and conditions of this Agreement.

58. The Owner/Permittee shall install all sewer facilities required by the accepted sewer study and in accordance with the City of San Diego Sewer Design Guide, necessary to serve this development. Sewer facilities as shown on the approved plans will require modification where they do not conform to the accepted sewer study, and Sewer Design Guide.

59. The Owner/Permittee shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's sewer design guide. Proposed facilities that do not meet the current standards shall be redesigned.

60. Providing a sewer for this development is dependent upon prior construction of certain sewer facilities in other developments in the area. If they have not been constructed when required for this development, then the construction of certain portions of these previously approved sewer facilities, as required by the City Engineer, will become off-site improvements required for this development.

61. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

WATER REQUIREMENTS:

62. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of public 16-inch potable water facilities in Camino del Sur, from Torrey Santa Fe Road to the southerly property boundary, in a manner satisfactory to the Water Department Director and the City Engineer.

63. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of 24-inch recycled water facilities from Torrey Santa Fe Road to the southerly property boundary, in a manner satisfactory to the Water Department Director and the City Engineer.

64. Prior to the submittal of any plans for engineering permits, except grading, the Owner/Permittee shall request a participation agreement with the City for which the City will reimburse the Owner/Permittee the actual cost of design and construction of public recycled water facilities beyond the Owner/Permittee's prorata share (equivalent to 8-inch facilities) in a manner satisfactory to the Water Department Director and in accordance with City regulations, standards, and practices pertaining thereto. Agreement for work shall be executed prior to issuance of the first engineering permit, except grading.

65. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new potable water services within the Camino del Sur right-of-way, in a manner satisfactory to the Water Department Director and the City Engineer. All on-site water facilities shall be private.

66. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of recycled water irrigations service(s) within the Camino del Sur right-of-way, in a manner satisfactory to the Water Department Director and the City Engineer. If recycled water is not yet available, then the irrigation systems shall be designed in such a manner as to accept recycled water when available and avoid any potential cross connections.

67. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of private back flow prevention devices on all water services to the development, in a manner satisfactory to the Water Department Director and the City Engineer.

68. Prior to the issuance of any certificates of occupancy, redundant 16-inch water facilities shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer. Such facilities shall be located in Camino del Sur or Carmel Mountain Road.

69. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department, the Water Department Director and the City Engineer. All on-site fire hydrants shall be private.

70. Prior to the issuance of any certificates of occupancy all public water facilities, necessary to provide service to this development, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

71. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current editions of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, as shown on approved Exhibit "A," shall be modified at final engineering in accordance with accepted studies and standards.

72. Providing water for this development is dependent upon prior construction of certain water facilities in previously approved developments in this area. If facilities have not been constructed when required for this development, then the construction of certain portions of these previously approved water facilities, as required by the City Engineer, will become off-site improvements required for this development.

INFORMATION ONLY

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

APPROVED by the Planning Commission of the City of San Diego on (to be filled in).

ALL-PURPOSE CERTIFICATE

Attachment 9
ATTACHMENT 17

Type/PTS Approval Number of Document
Planned Development Permit No.10965/Site
Development Permit No. 4916/Conditional
Use Permit No. 4915
Date of Approval _____

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

John S. Fisher, Development Project Manager

On _____ before me, _____, (Notary Public), personally appeared John S. Fisher, Development Project Manager of the Development Services Department of the City of San Diego, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal

Signature _____

ALL-PURPOSE CERTIFICATE

OWNER(S)/PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED OWNER(S)/PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF OWNER(S)/PERMITTEE(S) THEREUNDER.

Signed _____ Signed _____
Typed Name Typed Name

STATE OF _____
COUNTY OF _____

On _____ before me, _____ (Name of Notary Public) personally appeared _____, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5210

Community Planning ATTACHMENT 17 Committee

Distribution Form Part.1

THE CITY OF SAN DIEGO

Project Name : OUR LADY OF MT. CARMEL		Project Number 2752	Distribution Date 8/12/03
Project Scope :Torrey Highlands JO 42-0261. (PROCESS 4) Conditional Use Permit/Site Development Permit/Planned Development Permit for a new 102,983 sq ft church campus, worship center & elementary school for Our Lady of Mount Carmel Parish on a 10.58 acre site located along the future alienment of Camino Ruiz and south of the future HWY 56 in the AR-1-1 zone within the Torrey Highlands Sub Area of the Future Urbanized Planning Area, Council District 1. Notice Cards=3.			
Project Location 14190 Camino Ruiz			
Applicant Name: Stan Hockett		Applicant Phone No. (858) 597-2001	
Related Projects			
Project Manager John Fisher	Phone Number (619) 446-5231	Fax Number (619) 446-5245	E-mail Address JSFisher@sandiego.gov
Community Plan Ranch@ Penasquitos	Council District /	Existing Zone	Proposed Zone
Project Issues (To be completed by Community Planning Committee for initial review):			
<p><i>Attach Additional Pages if Necessary.</i></p> <p>Return Within 30 Days of Distribution of Project Plans To: Project Management Division City Of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101</p>			



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5210

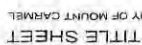
THE CITY OF SAN DIEGO

Community Planning ATTACHMENT 17 Committee

Distribution Form Part 2

Project Name : OUR LADY OF MT. CARMEL		Project Number 2752	Distribution Date 8/12/03	
Project Scope : Torrey Highlands JO 42-0261. (PROCESS 4) Conditional Use Permit/Site Development Permit/Planned Development Permit for a new 102,983 sq ft church campus, worship center & elementary school for Our Lady of Mount Carmel Parish on a 10.58 acre site located along the future alienment of Camino Ruiz and south of the future HWY 56 in the AR-1-1 zone within the Torrey Highlands Sub Area of the Future Urbanized Planning Area, Council District 1. Notice Cards=3.				
Project Location 14190 Camino Ruiz				
Applicant Name: Stan Flockett			Applicant Phone No. (858) 597-2001	
Related Projects				
Project Manager John Fisher		Phone Number (619) 446-5231	Fax Number (619) 446-5245	E-mail Address JSFisher@sandiego.gov
Community Plan Rancho Penasquitos		Council District		
Existing Zone	Proposed Zone	Building Height	Number of Stories	FAR
Committee Recommendations (To be completed for Initial Review):				
<input checked="" type="checkbox"/> Vote to Approve		Members Yes 10	Members No 5	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued
CONDITIONS:				
NAME JOSE H. BENDUE, AIA		TITLE CHAIR		
SIGNATURE JOSE H. BENDUE		DATE 25 NOV. 2003		
Attach Additional Pages If Necessary. <div style="text-align: right;"> Please Return Within 30 Days of Distribution of Project Plans To: Project Management Division City Of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101 </div>				

rancho ponquillo, californie



DOMINY + ASSOCIATES ARCHITECTS © downstudio llc

DOMINY + ASSOCIATES ARCHITECTS © downstudio llc

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	MINN. APOL. CO. 55108-2738
RECEIVED BY	MINN. APOL. CO. 55108-2738
DATE RECEIVED	MINN. APOL. CO. 55108-2738

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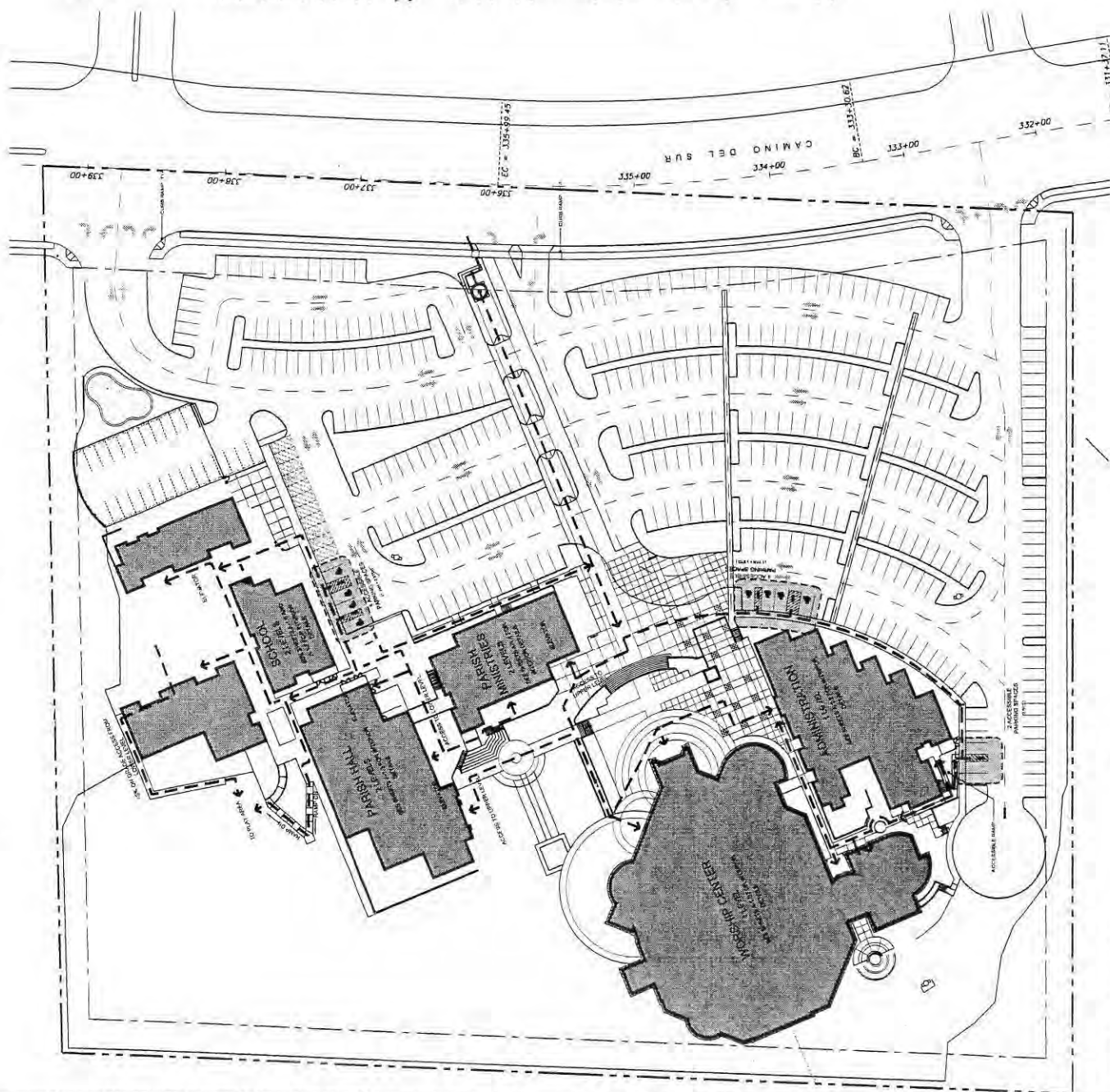
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ATTACHMENT 17

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SITE PLAN - MAIN LEVEL

ATTACHMENT 17

NOT FOR CONSTRUCTION USE

REVISION 1	DATE: 02-27-2018	BY: JLD	CHK: JLD
REVISION 2	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 3	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 4	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 5	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 6	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 7	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 8	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 9	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 10	DATE: 03-15-2018	BY: JLD	CHK: JLD
REVISION 11	DATE: 03-15-2018	BY: JLD	CHK: JLD
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SITE PLAN - MAIN LEVEL

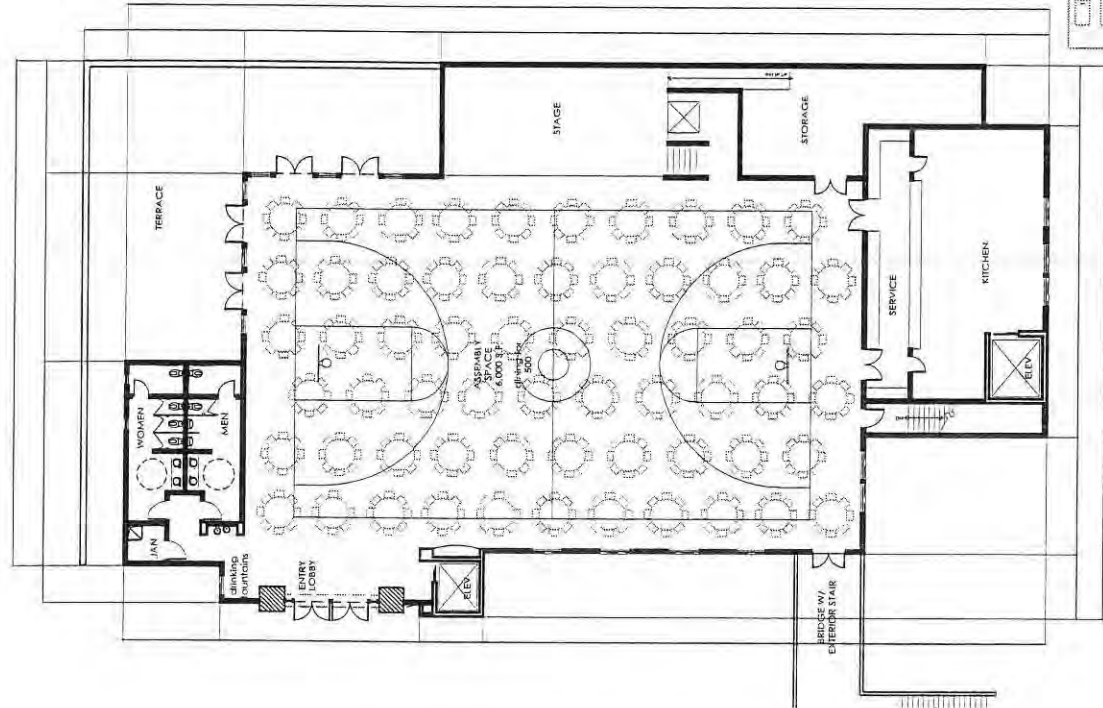
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3. TITLE	3. TITLE
4. AUTHOR	4. AUTHOR
5. SUBJECT	5. SUBJECT
6. ABSTRACT	6. ABSTRACT
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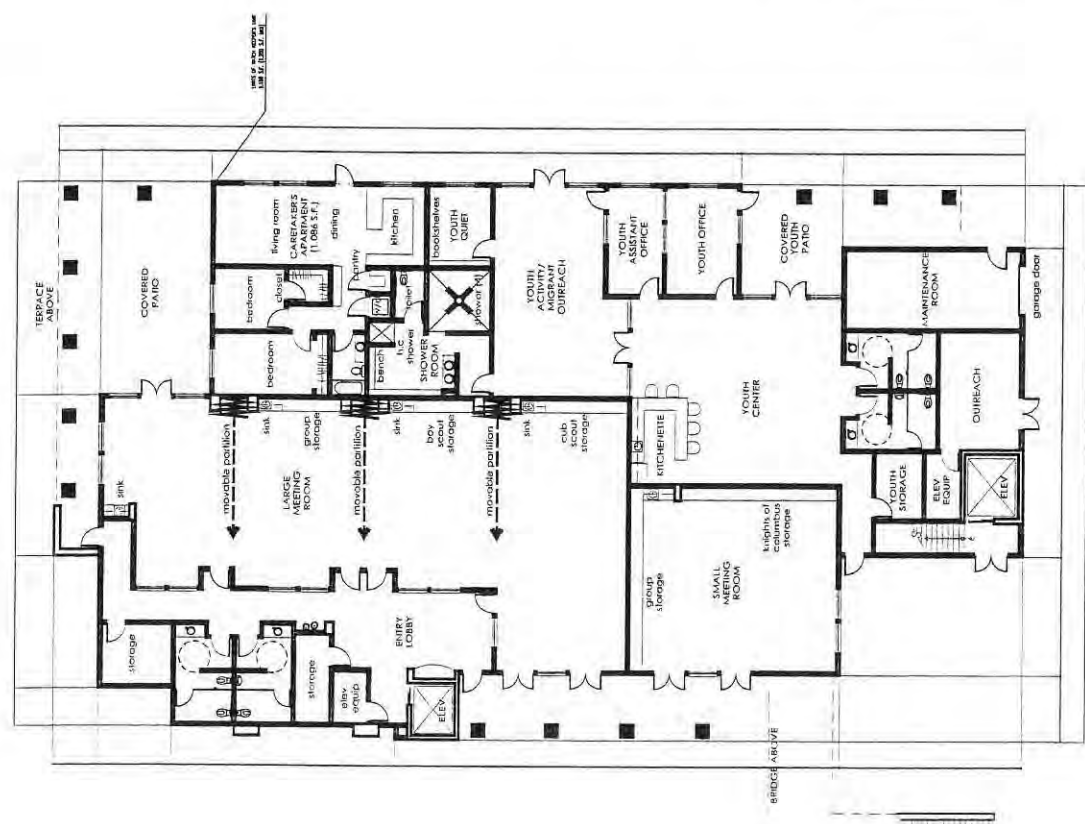


NOT FOR CONSTRUCTION

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PROJECT LOCATION	100-00000000
PROJECT OWNER	Our Lady of Mount Carmel Catholic Church
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PROJECT ENGINEER	DOMINY + ASSOCIATES ARCHITECTS
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FLOOR PLAN - MAIN LEVEL (PFE 100.07)
1/8" = 1'-0"

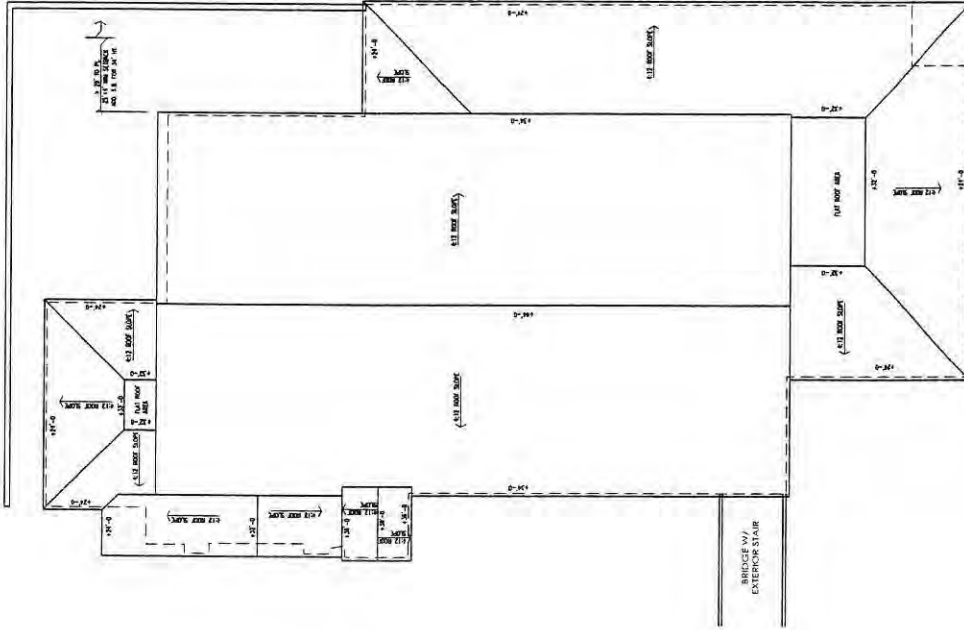


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1/8" = 1'-0"

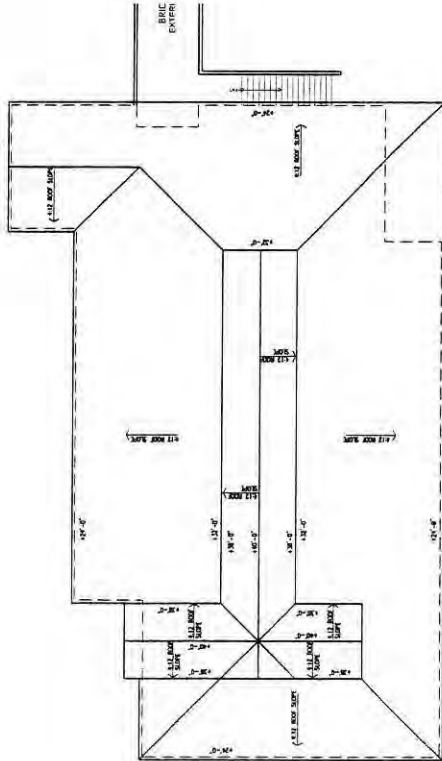
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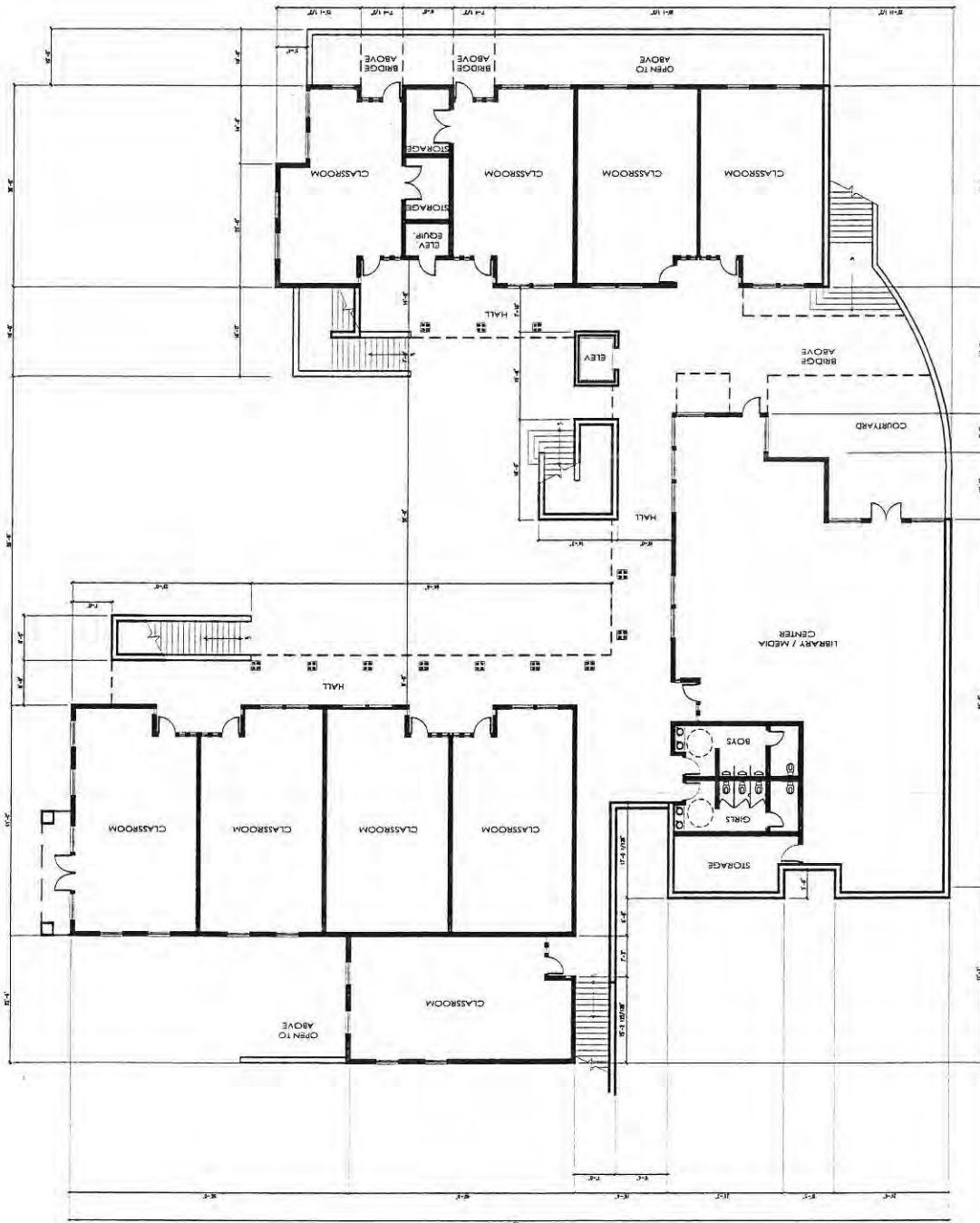


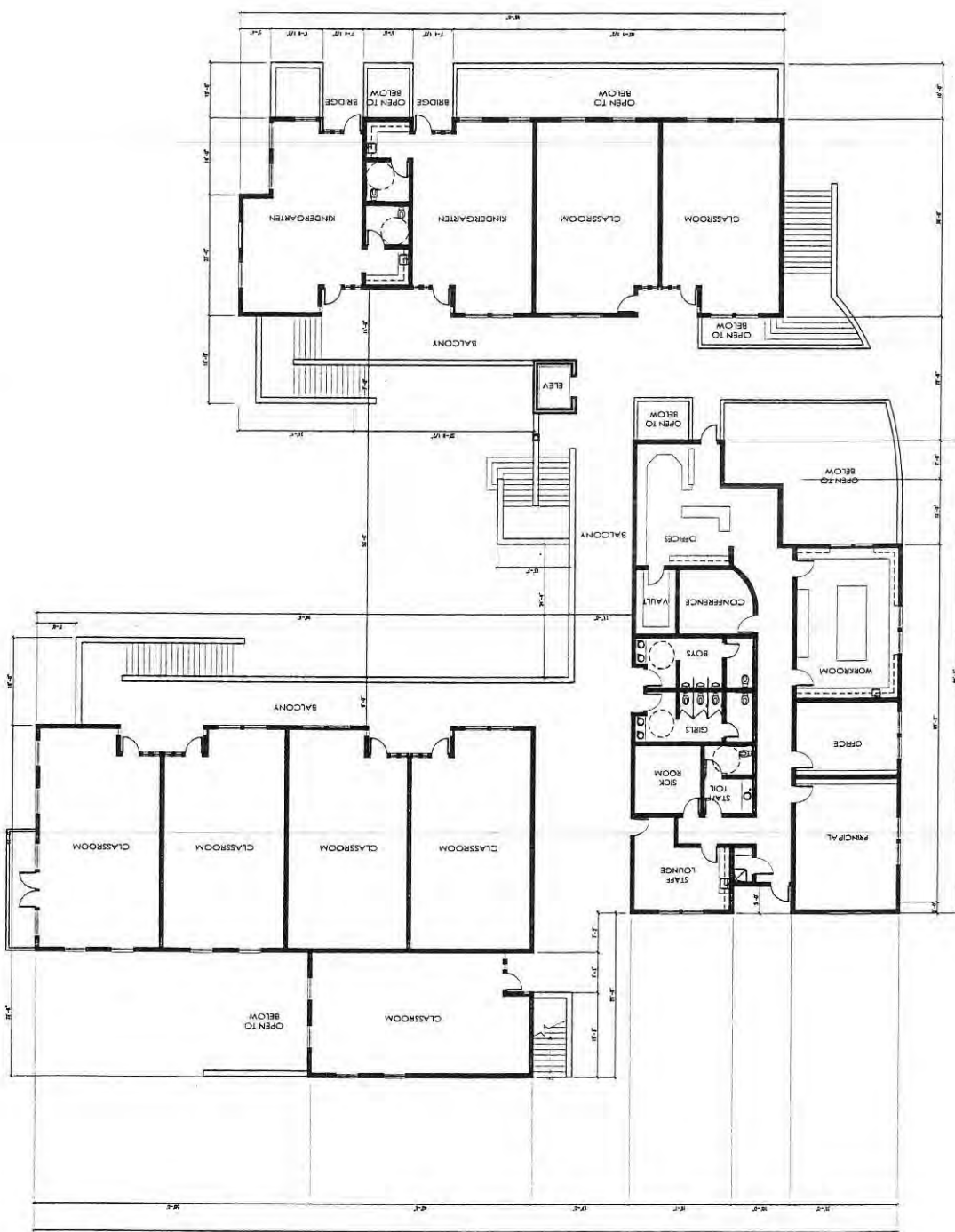
ROOF PLAN - PARISH HALL
1/8" = 1'-0"



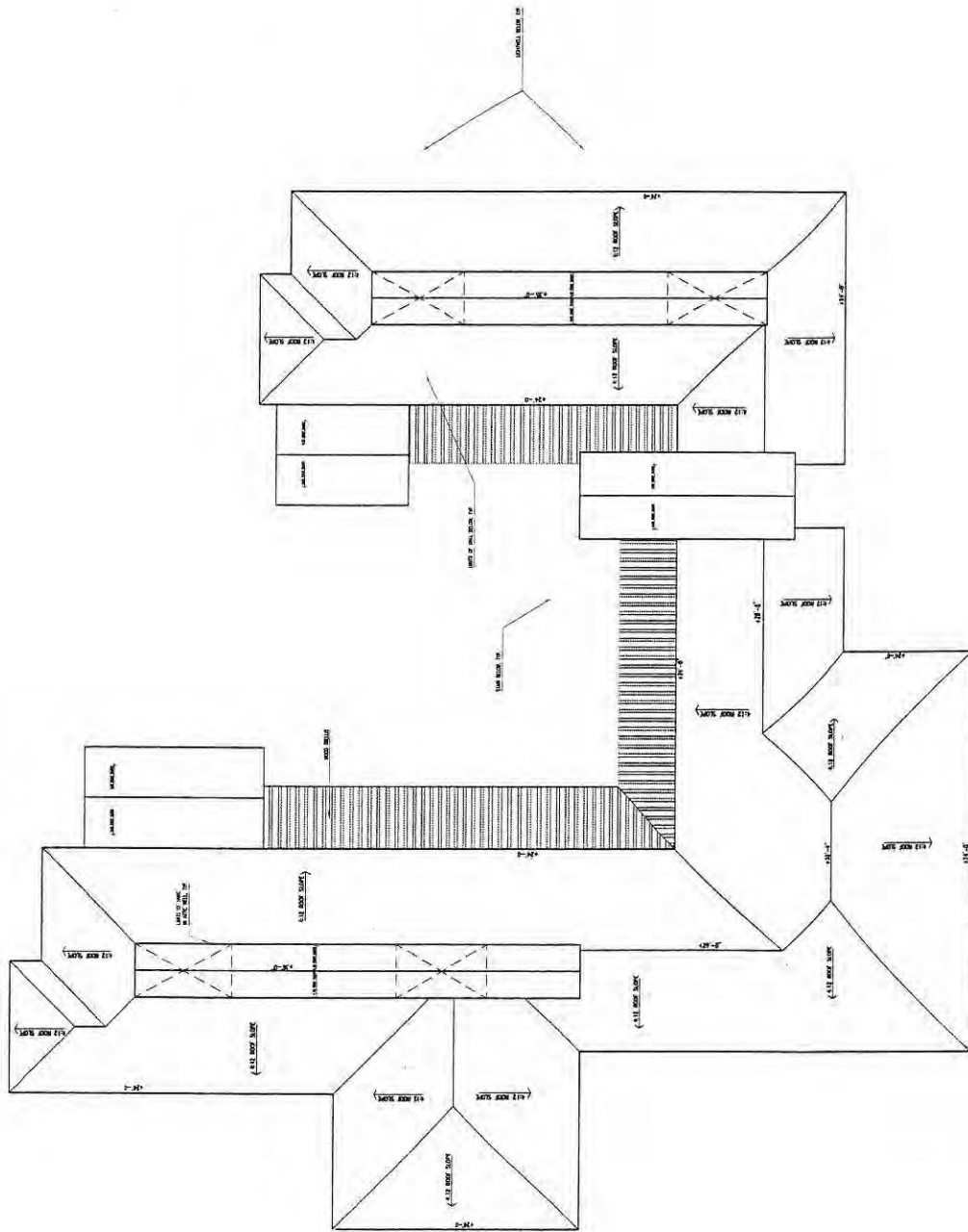
ROOF PLAN - PARISH MINISTRIES
1/8" = 1'-0"

LOWER LEVEL FLOOR PLAN - SCHOOL (PFE-305.01)



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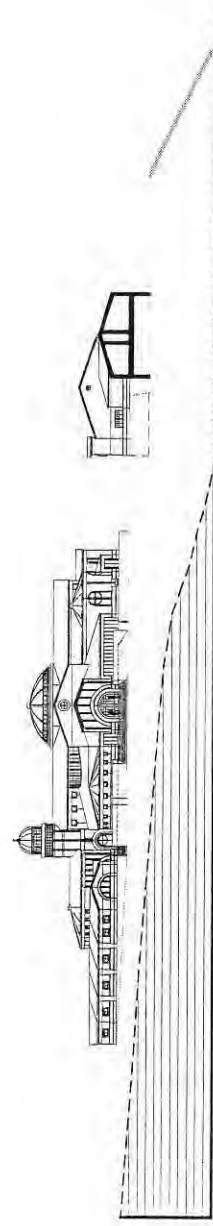
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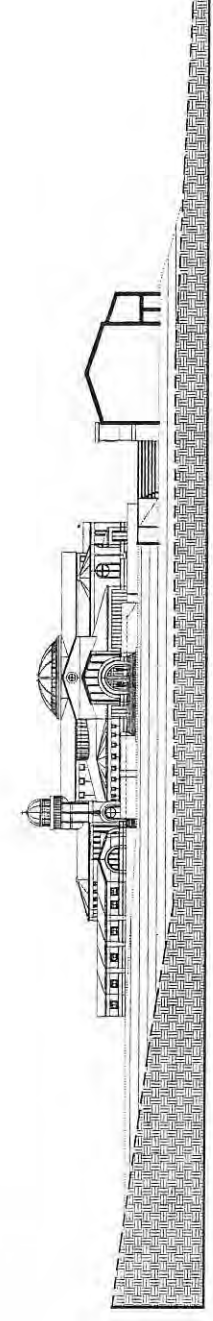
ROOF PLAN - SCHOOL

MATERIALS LEGEND

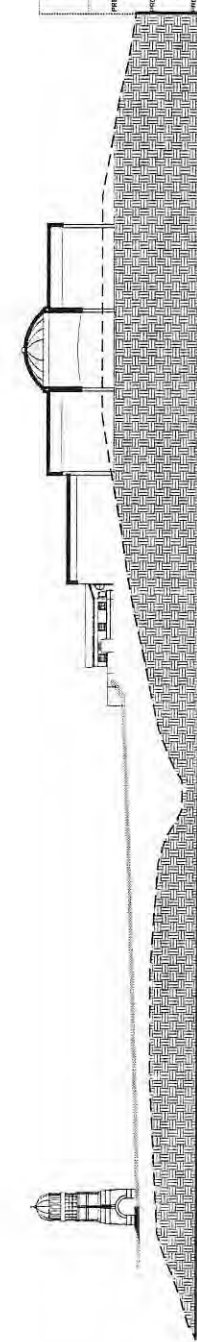
- 1. CONCRETE FLOOR, 4" THICK, 1500 PSI
- 2. METAL STUDS, 12" ON CENTER
- 3. METAL STUDS, 12" ON CENTER
- 4. PLASTER, 5/8" THICK, 1500 PSI
- 5. PLASTER, 5/8" THICK, 1500 PSI
- 6. PLASTER, 5/8" THICK, 1500 PSI
- 7. PLASTER, 5/8" THICK, 1500 PSI
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N/S SECTION THROUGH PARKING LOT - SCHOOL



N/S SECTION THROUGH DROP OFF - PARISH HALL

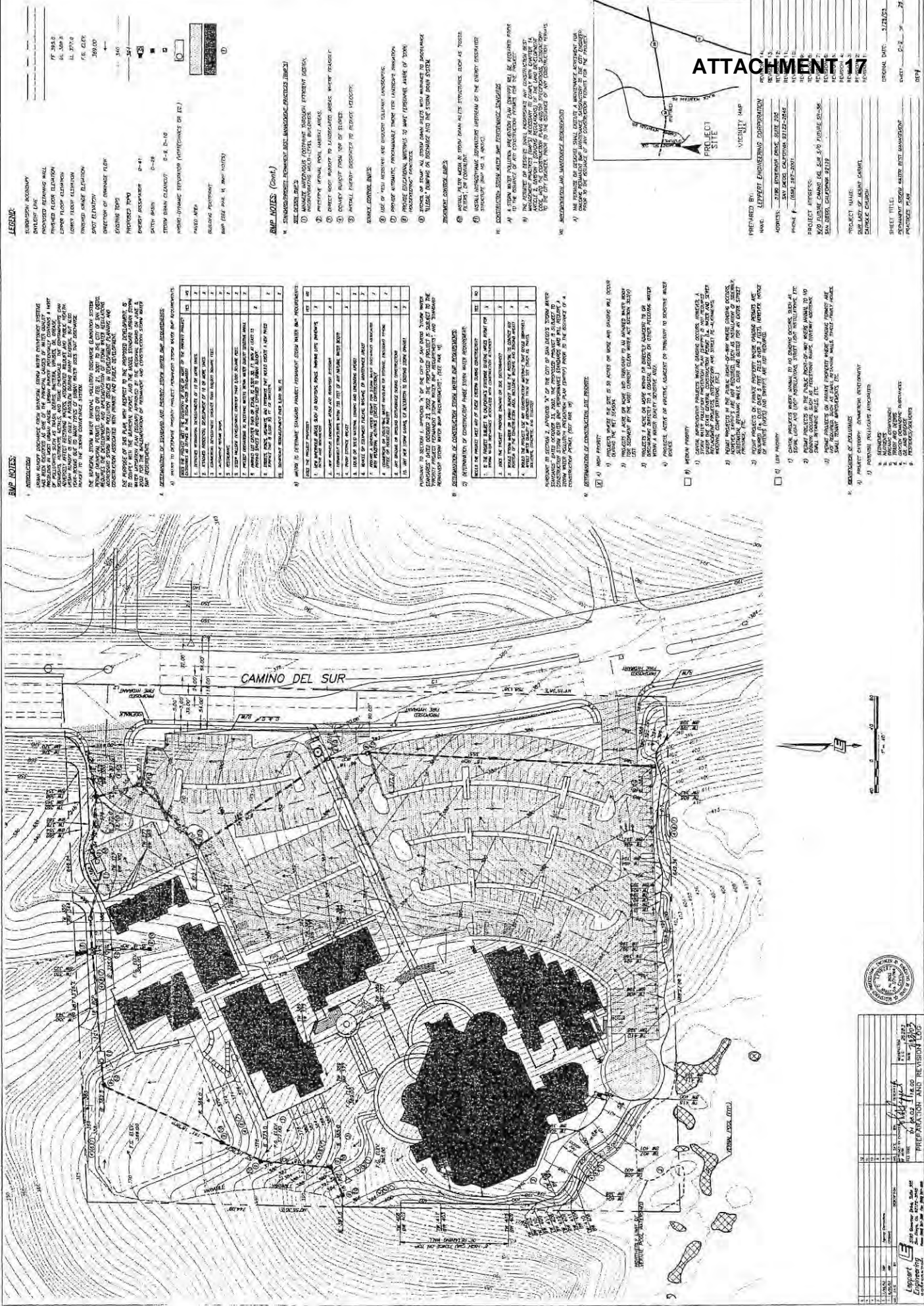


E/W SECTION THROUGH PARKING LOT - SANCTUARY

ATTACHMENT 17

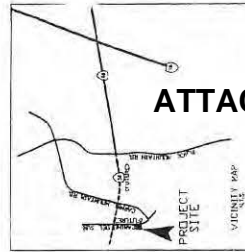
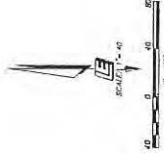
PROJECT INFORMATION

PROJECT NAME	ST. JOHN'S CATHOLIC CHURCH
PROJECT ADDRESS	1000 N. 10TH ST. SUITE 100
PROJECT CITY	MINNEAPOLIS, MN
PROJECT STATE	MINN.
PROJECT ZIP	55401
PROJECT PHONE	(612) 338-1234
PROJECT FAX	(612) 338-1235
PROJECT E-MAIL	info@stjohns.org
PROJECT WEBSITE	www.stjohns.org
PROJECT ARCHITECT	DOMINY + ASSOCIATES ARCHITECTS
PROJECT DATE	10/10/2024
PROJECT SCALE	1/8" = 1'-0"
PROJECT SHEET	101
PROJECT TOTAL SHEETS	105

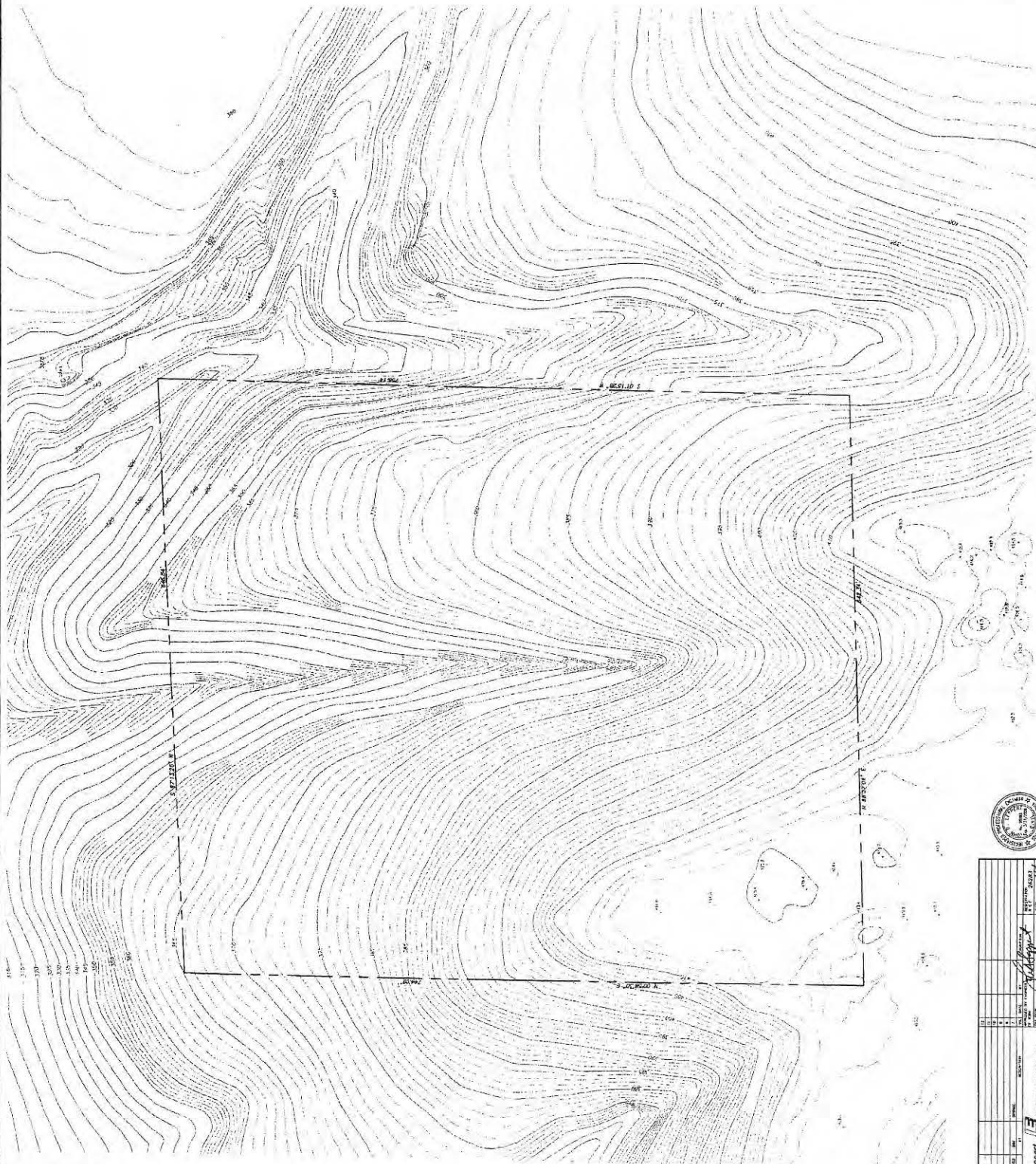


ATTACHMENT 17

LEGEND
PROPERTY RECORD



PREPARED BY: [blank]
 NAME: LEPPERT ENGINEERING CORPORATION
 ADDRESS: 1000 GARDEN AVENUE, SUITE 200
 SAN DIEGO, CALIFORNIA 92103-2044
 PHONE # (619) 594-1801
 PROJECT ADDRESS:
 1000 GARDEN AVENUE, SUITE 200
 SAN DIEGO, CALIFORNIA 92103-2044
 PROJECT NAME:
 SAN DIEGO COUNTY WATER TREATMENT PLANT
 SHEET TITLE:
 PRELIMINARY ENGINEERING



PREPARED BY		CHECKED BY		APPROVED BY	
NAME	DATE	NAME	DATE	NAME	DATE
[Signature]	10/10/00	[Signature]	10/10/00	[Signature]	10/10/00

Leppert Engineering
 1000 GARDEN AVENUE, SUITE 200
 SAN DIEGO, CALIFORNIA 92103-2044
 (619) 594-1801



CITY OF SAN DIEGO
Development Services Department

ATTACHMENT 17

Ownership Disclosure Statement

Project Name: Our Lady of Mount Carmel

Project Address: Torrey Highlands S/O future SR-56 W/O future Camino Ruiz

Legal Status (check one) ☒ Corporation ☐ Limited ☐ General
☐ Individual What State _____

Please list below the owner(s) of the above referenced property. Include individual partnerships and corporations.

1. Catholic Diocese of San Diego [Signature] 10/23/01
 Name (type or print) Signature Date
P.O. Box 85728, San Diego, CA 92186 619-224-8298 619-490-8272
 Address Phone No. Fax No.
2. _____
 Name (type or print) Signature Date
 Address Phone No. Fax No.
3. _____
 Name (type or print) Signature Date
 Address Phone No. Fax No.
4. _____
 Name (type or print) Signature Date
 Address Phone No. Fax No.

Attention: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property on the Change of Responsible Party Form.

For City use only: Property type	
Case No.	Date filed

MM 3/1/55

PROJECT DATA SHEET

PROJECT NAME/PDR NO: Our Lady of Mt. Carmel		
PROJECT MANAGER: John Fisher		
PROJECT LOCATION: West of Camino Del Sur and south of Highway 56 within the Torrey Highlands community planning area. (Southeast ¼ of the Northeast ¼ of the Southeast ¼ of Section 14. Township 14 South, Range 3 West, San Bernardino Meridian)		
COMMUNITY PLAN & LAND USE DESIGNATION: Torrey Highlands - Commercial Limited (CL)		
SURROUNDING LAND USES: MHPA Preserve (north, south, west), Employment Center & Transit Center (north beyond MHPA), Residential and Commercial Regional(east)		
PROJECT DESCRIPTION: Planned Development Permit (PDP), Site Development Permit (SDP), Conditional Use Permits (CUP) for a 1200 seat church and K-8 school facility, to develop an 11.1 acre site consisting of Environmentally Sensitive Lands, while preserving a vernal pool site located on the southern periphery at project site.		
ZONES: AR-1-1		
	REQUIRED	PROPOSED
LOT SIZE	10 acres	11.1 acres
UNITS	na	church/school use + 1 caretaker unit
F.A.R.	na	na
LOT COVERAGE	10 %	14.7 %
BUILDING HEIGHT(S)	30'	Worship Center – 55' Dome/65' Spire Parish Hall – 45' Ridge Parish Ministry – 40' Ridge Admin. Bldg – 32' Ridge Tower – 65' Spire School – 45' Ridge
FRONT YARD SETBACK	25'	25', Tower/sign at 20'
SIDE YARD SETBACK	20'	20'
REAR YARD SETBACK	25'	25'
PARKING SPACES	1-space per 3 fixed seats (400 spaces)	414 provided
BUILDING DESIGN/MAT.	none specified	Roman Catholic Arch. - tile, stone, plaster, themed roof materials
DEVIATIONS: Setbacks, building heights, wall heights, lot coverage.		

Our Lady of Mt. Carmel

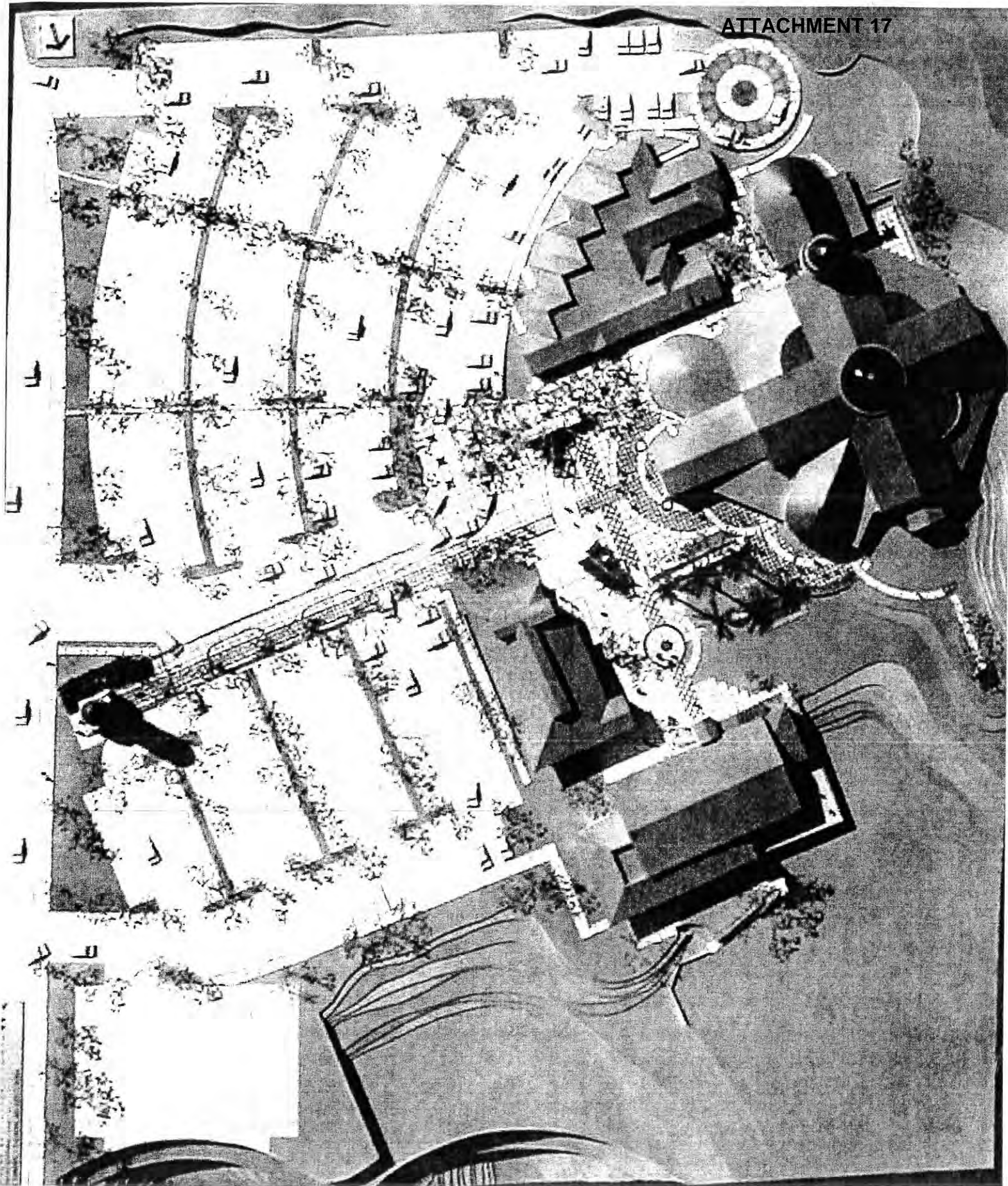
Planned Development Permit No. 10965/Site Development Permit

No. 4916/Conditional Use Permit No. 4915

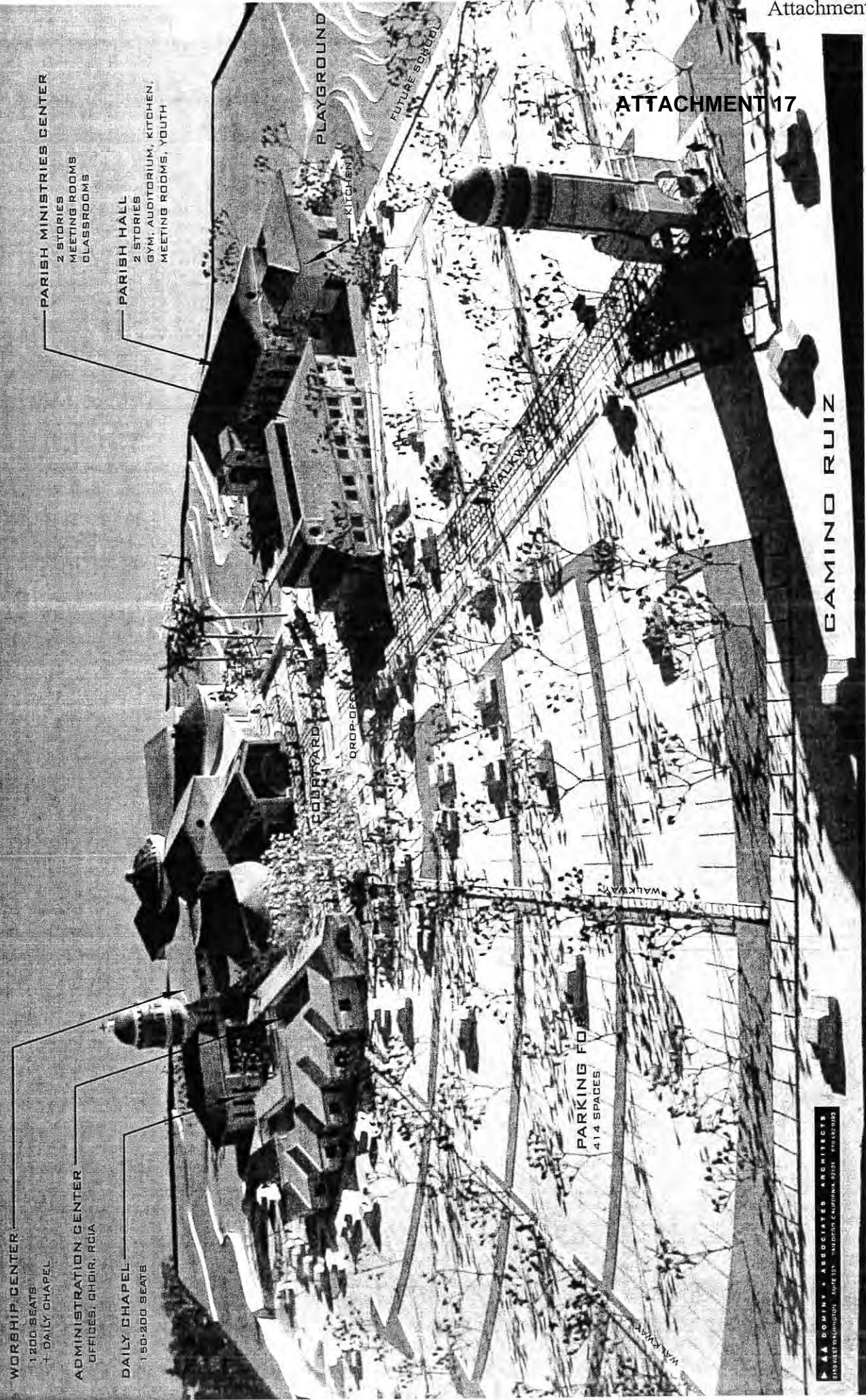
Project Chronology

Date	Action	Description	City Review Time	Applicant Response Time
01/08/02	Initial Project Submittal	For Completeness Check	N/A	N/A
03/14/02	Comments to Applicant	Deemed Incomplete	N/A	N/A
04/04/02	First Submittal	Project Deemed Complete		
05/20/02	First Assessment Letter	Assessment Letter identifying issues.	32 days	
01/21/03	Second Submittal	Resubmittal by applicant.		176 days
02/14/03	Second Assessment Letter	Assessment Letter identifying issues.	17 days	
03/07/03	Meeting w/ Applicant	Meeting to resolve issues		1 day
06/24/03	Third Submittal	Resubmittal by applicant team.		94 days
07/16/03	Third Assessment Letter	Assessment Letter identifying issues.	16 days	
08/12/03	Fourth Submittal	Resubmittal by new applicant team.		19 days
08/29/03	Fourth Review by City staff	All issues deemed resolved.	12 days	
10/03/03	Meeting with Applicant to resolve issues	Meeting held to discuss remaining issues		1 day
01/27/04	Meeting with Applicant	Meeting held to discuss conditions of approval		1 day
	CEQA Process	Addendum to Master Environmental Impact Report distributed		
03/11/04	Public Hearing	Planning Commission	N/A	N/A
TOTAL STAFF TIME		Averaged at 30 days per month	2 months 16 days	
TOTAL APPLICANT TIME		Averaged at 30 days per month		9 months 24 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	23 Months, 27 Days	

ATTACHMENT 17



AERIAL VIEW OF CHURCH FROM CAMINO RUIZ



ATTACHMENT 17



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: The Preserve at TH SDP/Rezone		Project Number:		Distribution Date:	
Project Scope/Location: TORREY HIGHLANDS "SUSTAINABLE BUILDING EXPEDITE PROGRAM" (Process 5) CPA, Rezone, and SDP for construction of 450,000 sf commercial development on a vacant parcel of land at 12902 1/3 Camino Del Sur, AR-1-1 to a IP-3-1 Zone, in the Torrey Highlands Community Plan area, ALUC Overlay & AIA Area for MCAS Miramar, CD 6. Notice=3 MOTION #2: MOTION TO APPROVE THE PROJECT DESIGN FOR THE PRESERVE AT TORREY HIGHLANDS ADDRESSING THEIR PROPOSED CPA/SDP/REZONE, FOR PROJECT # 442880, IF THE PROJECT IS REDUCED IN SIZE TO 360,000 SQUARE FEET.					
Applicant Name:			Applicant Phone Number:		
Project Manager: Will Zounes		Phone Number: (619) 687-5942	Fax Number: (619) 446-5245	E-mail Address: WZounes@sanidiego.gov	
Committee Recommendations (To be completed for Initial Review): MOTION #1: MOTION TO APPROVE THE UPDATED PROPOSED PROJECT DESIGN FOR THE PRESERVE AT TORREY HIGHLANDS ADDRESSING THEIR PROPOSED CPA/SDP/REZONE, FOR PROJECT # 442880.					
<input checked="" type="checkbox"/> Vote to Approve VOTE #1		Members Yes 8	Members No 12	Members Abstain/RECUSE 2 / 2	
<input checked="" type="checkbox"/> Vote to Approve VOTE #2 With Conditions Listed Below		Members Yes 3	Members No 11	Members Abstain/RECUSE 1 / 2	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input checked="" type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS: "IF THE PROJECT IS REDUCED IN SIZE TO 360,000 SQUARE FEET MOTION #2:					
NAME: THOMAS CLARK			TITLE: CHAIR RPPB		
SIGNATURE:			DATE: 1-8-2019		
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					

Project Title:

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership**Legal Status (please check):**

☐ Corporation ☒ Limited Liability -or- ☐ General) What State? CA Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print):
The Preserve at Torrey Highlands, LLC

☒ Owner ☐ Tenant/Lessee

Street Address:
3580 Carmel Mountain Rd, Suite 460

City/State/Zip:
San Diego, CA 92130

Phone No: (619) 615-0200 Fax No:

Name of Corporate Officer/Partner (type or print):

Jason Wood
Title (type or print): Project Principal
Signature : [Signature] Date: 8.27.15

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:



THE CITY OF SAN DIEGO

City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☒ Other and Rezone

Project Title**Project No. For City Use Only**

The Preserve at TH

Project Address:

SEQ State Route 56 & Camino Del Sur, San Diego, CA 92129

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

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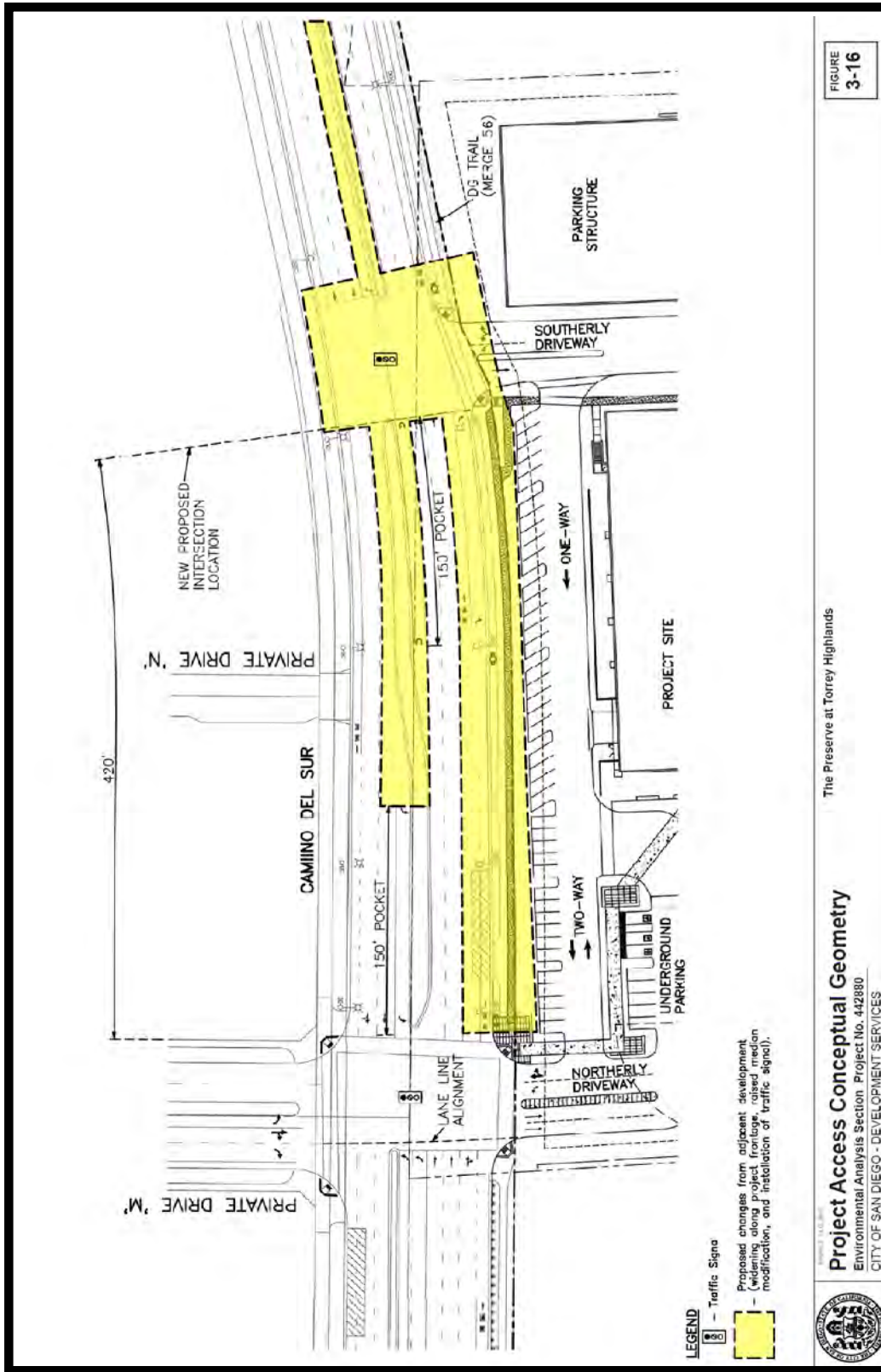
City/State/Zip:

Phone No:

Fax No:

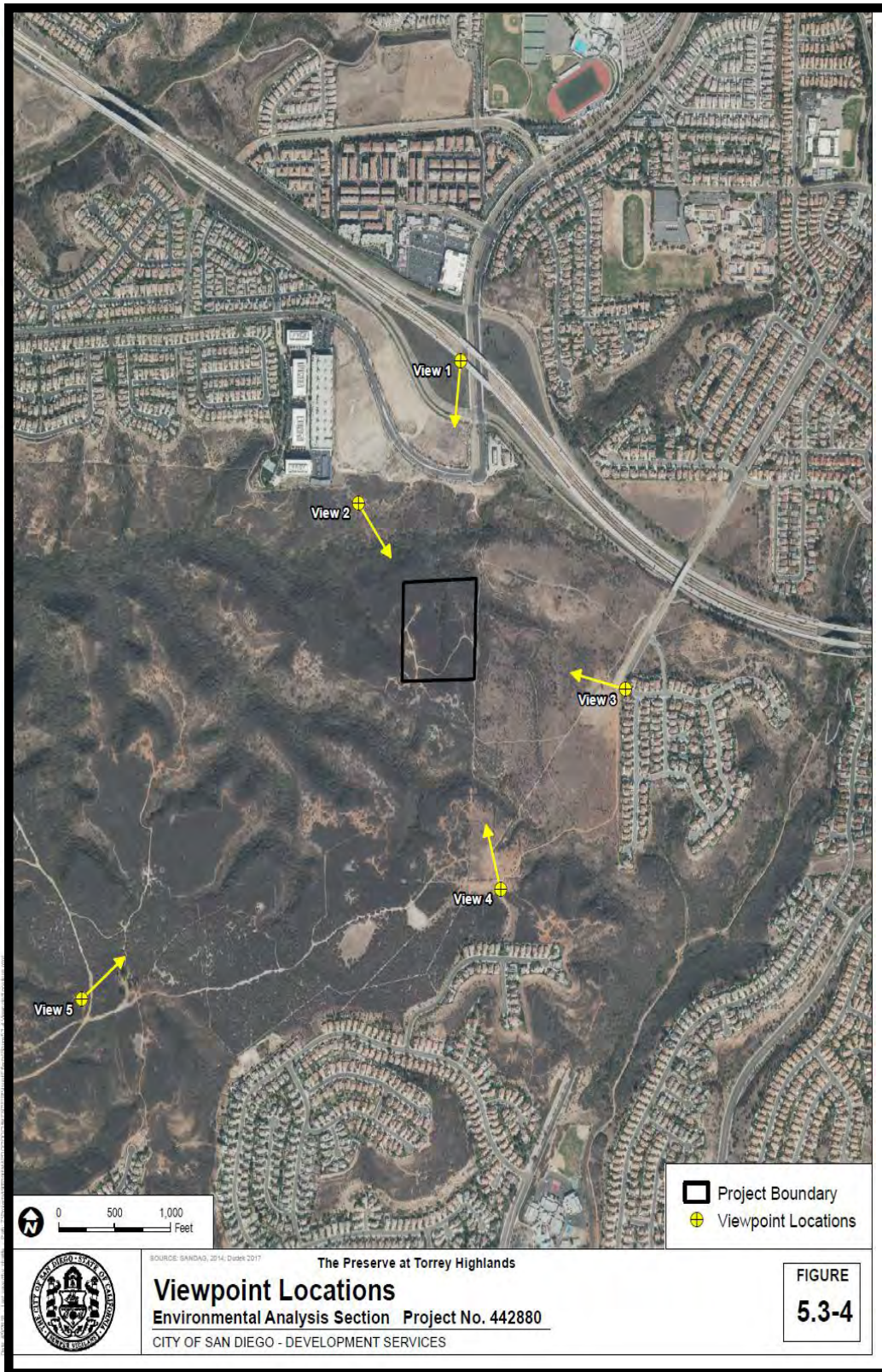
Signature :

Date:



Camino del Sur Improvements

The Preserve at Torrey Highlands - Project 442880
 South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



Project Simulations - Map Key

The Preserve at Torrey Highlands -Project 442880

South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur





ABOVE: Existing Conditions
BELOW: Visual Simulation



Project Simulations 1 – From SR-56

The Preserve at Torrey Highlands -Project 442880
South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



SOURCE: Dunes 2017
The Preserve at Torrey Highlands
Viewpoint 1: Eastbound SR-56
Environmental Analysis Section Project No. 442880
CITY OF SAN DIEGO - DEVELOPMENT SERVICES

FIGURE
5.3-5





ABOVE: Existing Conditions
BELOW: Visual Simulation



Project Simulations 2 - NW of Site

The Preserve at Torrey Highlands -Project 442880
South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



SOURCE: Dudgeon 2017

The Preserve at Torrey Highlands

Viewpoint 2: Del Mar Mesa hiking/biking trail (NW of Project Site)
Environmental Analysis Section Project No. 442880

CITY OF SAN DIEGO - DEVELOPMENT SERVICES

FIGURE
5.3-6





ABOVE: Existing Conditions
BELOW: Visual Simulation



Project Simulations 3 – From Carmel Mt. Road

The Preserve at Torrey Highlands -Project 442880
South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



SOURCE: Dunes 2017

The Preserve at Torrey Highlands

Viewpoint 3: Current Terminus of Carmel Mountain Road

Environmental Analysis Section Project No. 442880

CITY OF SAN DIEGO - DEVELOPMENT SERVICES

FIGURE

5.3-7





ABOVE: Existing Conditions
BELOW: Visual Simulation



Project Simulations 4 – South of Site

The Preserve at Torrey Highlands -Project 442880
 South of State Route (SR) 56 along the west side of the future planned extension of Camino del Sur



SOURCE: Duedel 2017

The Preserve at Torrey Highlands

Viewpoint 4: Carmel Road Extension and Trail (South of Project Site)

Environmental Analysis Section Project No. 442880

CITY OF SAN DIEGO - DEVELOPMENT SERVICES

FIGURE
5.3-8



Gensler
Architect
225 Broadway
Suite 100
San Diego CA 92101
Telephone: 619.557.2500
Facsimile: 619.557.2520

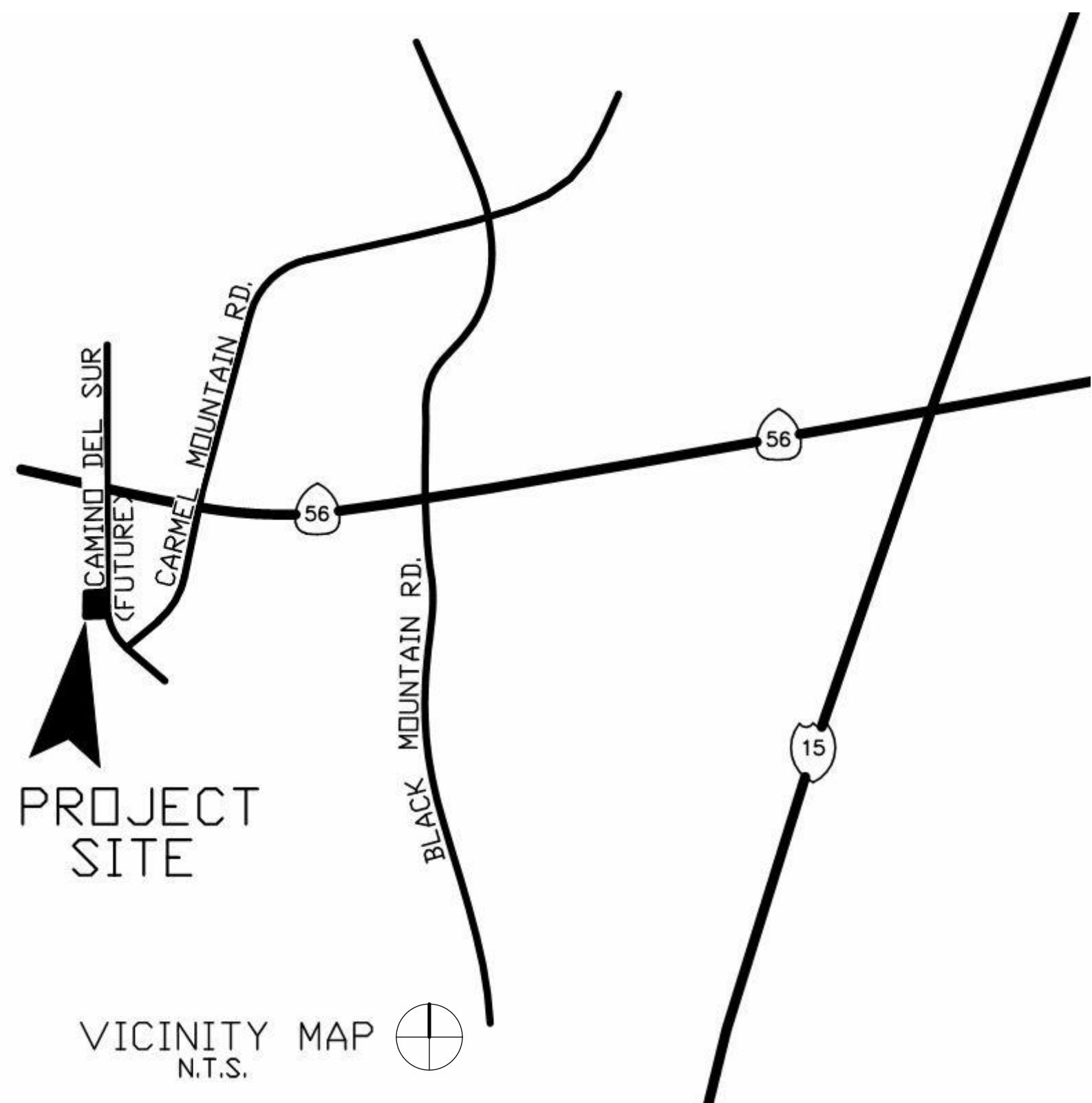
THE PRESERVE AT TORREY HIGHLANDS

THE PRESERVE AT TORREY
HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

APN # 306-050-16, 306-050-18, 306-050-19, 306-050-28

11/20/2017
SDP SUBMITTAL #5



I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

THE PROPOSED PROJECT EXCEEDS THE CITY'S SIGNIFICANCE DETERMINATION THRESHOLDS AND A SPECIFIC PALEONTOLOGICAL RESOURCES MITIGATION, MONITORING AND REPORTING PROGRAM MAY BE REQUIRED PRIOR TO A FORMAL ENVIRONMENTAL DOCUMENT DETERMINATION BEING MADE.

11/20/17

SIGNATURE DATE

PALEONTOLOGICAL MONITORING ACKNOWLEDGEMENT:

CODE ANALYSIS (BASED ON 2013 C.B.C.)

	OFFICE BLDG 1	OFFICE BLDGS 2 & 3	PKG STRUCT
USE	COMMERCIAL OFFICE	COMMERCIAL OFFICE	PARKING
OCCUPANCY	B	B	S-2
CONSTRUCTION TYPE	TYPE I - B	TYPE III - A	TYPE I - B
SPRINKLERS	YES	YES	YES
ALLOWABLE AREA			
BASE AREA (TABLE 503)	UL	28,500	79,000
FRONTAGE INCREASE (PER 506.2) **		0	0
SPRINKLER INCREASE (PER 506.3)		57000	158000
ALLOWABLE AREA PER FLOOR		85,500	237,000
LARGEST PROPOSED AREA PER FLOOR	30,000	30,000	59,800
NUMBER OF STORIES (TABLE 503)	11	5	11
SPRINKLER STORY INCREASE (PER504.2)	1	1	1
TOTAL ALLOWABLE STORIES	12	6	12
PROPOSED STORIES	6	4 TO 5	7.4
TOTAL BLDG AREA MULTIPLIER (PER 506.4)		3	3
TOTAL AREA ALLOWABLE	UL	256,500	711,000
LARGEST PROPOSED AREA	180,000	150,000	439,690
BUILDING HEIGHT			
BASE HEIGHT (TABLE 503)	160'-0"	65'-0"	160'-0"
SPRINKLER INCREASE (PER 504.2)	20'-0"	20'-0"	20'-0"
TOTAL ALLOWABLE HEIGHT	180'-0"	85'-0"	180'-0"
MAXIMUM PROPOSED HEIGHT	99'-0"	84'-6"	73'-0"
BUILDING ELEMENTS - FIRE RATING (HOURS)			
(PER TABLE 601)			
PRIMARY STRUCTURAL FRAME	2	1	2
BEARING WALLS EXTERIOR	2	2	2
BEARING WALLS INTERIOR	2	1	2
NON-BEARING WALLS EXTERIOR	PER DISTANCE TO P.L.	PER DISTANCE TO P.L.	PER DISTANCE TO P.L.
NON-BEARING WALLS INTERIOR	0	0	0
FLOOR CONSTRUCTION	2	1	2
ROOF CONSTRUCTION	1	1	1
SHAFT ENCLOSURES ***	1 TO 2	1 TO 2	1 TO 2
INTERIOR EXIT STAIRWAY AND RAMPS ****	1 TO 2	1 TO 2	1 TO 2
EXIT PASSAGEWAY *****	2	2	2

** FRONTAGE INCREASE NOT / FRONTAGE INCREASE NOT NEEDED
*** 2-HR WHEN CONNECTING / 2-HR WHEN CONNECTING 4 OR MORE STORIES (INCLUD
**** 2-HR WHEN CONNECTING / 2-HR WHEN CONNECTING 4 OR MORE STORIES PER SEC.
***** ENTIRE EXIT PASSAGEWAY / ENTIRE EXIT PASSAGEWAY SHALL MAINTAIN INTERIOR E

TRAVEL DISTANCES

DEAD END CORRIDOR	50'-0"	PER SEC. 1018.4 EXCEPTION PER SEC. 1018.4 EXCEPTION 2
EXIT ACCESS TRAVEL DISTANCE	300'-C	PER TABLE 1016.2 PER TABLE 1016.2
CORRIDOR FIRE RESISTANCE RATING	0	PER TABLE 1018.1 (WITH AP PER TABLE 1018.1 (WITH APPROVED SPRINKLER SYSTEM)

BUILDING CODE ANALYSIS

SCALE: 1" = 1'-0"

ON BEHALF OF OUR CLIENT, THE PRESERVE AT TORREY HIGHLANDS, LLC, PLEASE ACCEPT THIS LETTER AS OUR DESCRIPTION OF HOW THE SUBJECT PROJECT ANTICIPATES COMPLYING WITH THE AFFORDABLE/IN-FILL HOUSING & SUSTAINABLE BUILDINGS EXPEDITE PROGRAM IN ACCORDANCE WITH INFO BULLETIN NO. 538, AND THE CITY OF SAN DIEGO GENERAL PLAN CONSERVATION ELEMENT (CE) DATED MARCH 2008:

- PER CE-A.2: THE PROJECT INTENDS TO REDUCE FUEL EMISSION LEVELS BY ENCOURAGING ALTERNATIVE MODES OF TRANSPORTATION AND INCREASING FUEL EFFICIENCY BY PROVIDING SECURE BICYCLE STORAGE AND SHOWER FACILITY FOR EMPLOYEES WHO BIKE TO WORK, AND EV CHARGING STATIONS TO ENCOURAGE THE USE OF ELECTRIC VEHICLES.
- PER CE-A.2: THE PROJECT INTENDS TO REDUCE THE URBAN HEAT ISLAND EFFECT THROUGH SUSTAINABLE DESIGN AND BUILDING PRACTICES, INCLUDING REFLECTIVE COOL ROOFING, SHADE STRUCTURES OVER PARKING STALLS, AND THE PLANTING OF TREES (CONSISTENT WITH HABITAT AND WATER CONSERVATION POLICIES) FOR THEIR MANY ENVIRONMENTAL BENEFITS, INCLUDING NATURAL CARBON SEQUESTRATION.
- PER CE-A.2: THE PROJECT WILL REDUCE WASTE BY IMPROVING MANAGEMENT AND RECYCLING PROGRAMS, BOTH DURING AND AFTER CONSTRUCTION.
- PER CE-A.5: THE PROJECT WILL EMPLOY SUSTAINABLE OR "GREEN" BUILDING TECHNIQUES FOR THE CONSTRUCTION AND OPERATION OF THE BUILDINGS.
- PER CE-A.7: THE PROJECT WILL CONSTRUCT AND OPERATE BUILDINGS USING MATERIALS, METHODS, AND MECHANICAL AND ELECTRICAL SYSTEMS THAT ENSURE A HEALTHFUL INDOOR AIR QUALITY. AVOID CONTAMINATION BY CARCINOGENS, VOLATILE ORGANIC COMPOUNDS, FUNGI, MOLDS, BACTERIA, AND OTHER KNOWN TOXINS.
- PER CE-A.9: THE PROJECT WILL USE MATERIALS THAT HAVE RECYCLED CONTENT, OR USE MATERIALS THAT ARE DERIVED FROM SUSTAINABLE OR RAPIDLY RENEWABLE SOURCES TO THE EXTENT POSSIBLE.
- PER CE-A.10: THE PROJECT WILL INCLUDE FEATURES IN BUILDINGS TO FACILITATE RECYCLING OF WASTE GENERATED BY BUILDING OCCUPANTS AND ASSOCIATED REFUSE STORAGE AREAS.
- PER CE-A.11: THE PROJECT WILL IMPLEMENT SUSTAINABLE LANDSCAPE DESIGN AND MAINTENANCE.
- PER CE-A.12: THE PROJECT INTENDS TO REDUCE THE SAN DIEGO URBAN HEAT ISLAND.
- PER CE-B.1: THE PROJECT INTENDS TO PROTECT AND CONSERVE OPEN SPACES TO THE EXTENT POSSIBLE.
- PER CE-B.2: THE PROJECT INTENDS TO APPLY THE APPROPRIATE ZONING AND ENVIRONMENTALLY SENSITIVE LANDS (ESL) REGULATIONS TO LIMIT DEVELOPMENT OF FLOODPLAINS, SENSITIVE BIOLOGICAL AREAS INCLUDING WETLANDS, STEEP HILLSIDES, AND CANYONS.
- PER CE-B.3: THE PROJECT DESIGN WILL USE NATURAL LANDFORMS AND FEATURES AS INTEGRATING ELEMENTS IN PROJECT DESIGN TO COMPLEMENT AND ACCENTUATE THE CITY'S FORM.
- PER CE-B.4: THE PROJECT WILL LIMIT AND CONTROL RUNOFF, SEDIMENTATION, AND EROSION BOTH DURING AND AFTER CONSTRUCTION ACTIVITY.
- PER CE-B.5: THE PROJECT WILL MAXIMIZE THE INCORPORATION OF TRAILS AND GREENWAYS LINKING LOCAL AND REGIONAL OPEN SPACE AND RECREATION AREAS INTO THE PLANNING AND DEVELOPMENT REVIEW PROCESSES.
- PER CE-B.6: THE PROJECT WILL PROVIDE AN APPROPRIATE DEFENSIBLE SPACE BETWEEN OPEN SPACE AND URBAN AREAS THROUGH THE MANAGEMENT OF BRUSH, THE USE OF TRANSITIONAL LANDSCAPING, AND THE DESIGN OF STRUCTURES. THE OWNER WILL CONTINUE TO IMPLEMENT A BRUSH MANAGEMENT SYSTEM.
- PER CE-E.2: THE PROJECT WILL APPLY WATER QUALITY PROTECTION MEASURES TO LAND DEVELOPMENT PROJECTS EARLY IN THE PROCESS-DURING PROJECT DESIGN, PERMITTING, CONSTRUCTION, AND OPERATIONS-IN ORDER TO MINIMIZE THE QUANTITY OF RUNOFF GENERATED ON-SITE, THE DISRUPTION OF NATURAL WATER FLOWS AND THE CONTAMINATION OF STORM WATER RUNOFF.
- PER CE-E.3: THE PROJECT WILL REQUIRE CONTRACTORS TO COMPLY WITH ACCEPTED STORM WATER POLLUTION PREVENTION PLANNING PRACTICES FOR ALL PROJECTS.

SUSTAINABILITY SUMMARY

*NOTE: SEE SEPERATE SUSTAINABILITY LETTER FOR FURTHER DETAILS.

OWNER / PROPERTY MGR.

CISTERRA DEVELOPMENT
3580 CARMEL MOUNTAIN ROAD
SUITE 460
SAN DIEGO, CA 92130
PHONE: 619-615-0200
CONTACT: JASON WOOD (PROJECT PRINCIPAL)

ARCHITECT

GENSLER
225 BROADWAY
SUITE 1600
SAN DIEGO, CA 92101
PHONE: 619-557-2500
FAX: 619-557-2520
CONTACT: DARREL FULLBRIGHT

CIVIL

LEPPERT ENGINEERING CORPORATION
5190 GOVERNOR DRIVE
SUITE 205
SAN DIEGO, CA 92122
PHONE: 858-597-2001
FAX: 858-597-2009
CONTACT: JOHN LEPPERT

LANDSCAPE

GROUNDLEVEL LANDSCAPE ARCHITECTURE
2605 STATE STREET
SUITE B
SAN DIEGO, CA 92103
PHONE: 619-325-1995
CONTACT: SCOTT L SANDEL, ASLA, PRINCIPAL

ENVIRONMENTAL

DUDEK
605 THIRD STREET
ENCINITAS, CA 92024
PHONE: 760-479-4858
CONTACT: ASHA R. BLEIER, AICP, LEED AP BD+C

PROJECT TEAM

SCALE: 1" = 1'-0"

DRAWING INDEX		
#	Sheet Number	Sheet Name

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2	G00.01	PROJECT INFO / INDEX
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4	C-2	TOPO & SLOPE ANALYSIS
5	L1.1	LANDSCAPE PLAN
6	L1.2	LANDSCAPE LEGEND & NOTES
7	L1.3	IRRIGATION PLAN AND CALCULATIONS
8	L1.4	BRUSH MANAGEMENT PLAN
9	L1.5	BRUSH MANAGEMENT NOTES
10	L1.6	LANDSCAPE DIAGRAM AND CALCULATIONS
11	A00.01	EXTERIOR PERSPECTIVE VIEWS
12	A00.50	SITE PLAN
13	A00.51	FIRE ACCESS PLAN
14	A00.52	SUBTERRANEAN PARKING PLAN
15	A00.53	TRAIL CONNECTION PLAN
16	A02.01	OFFICE BLDG 1 - FLOOR PLANS
17	A02.02	OFFICE BLDG 1 - FLOOR PLANS
18	A02.03	OFFICE BLDG 1 - FLOOR PLANS
19	A02.04	OFFICE BLDG 1 - FLOOR PLANS & ROOF PLAN
20	A02.05	OFFICE BLDG 2 - FLOOR PLANS
21	A02.06	OFFICE BLDG 2 - FLOOR PLANS
22	A02.07	OFFICE BLDG 2 - FLOOR PLANS
23	A02.08	OFFICE BLDG 2 - ROOF PLAN
24	A02.09	OFFICE BLDG 3 - FLOOR PLANS
25	A02.10	OFFICE BLDG 3 - FLOOR PLANS
26	A02.11	OFFICE BLDG 3 - FLOOR PLANS
27	A02.12	OFFICE BLDG 3 - ROOF PLAN
28	A02.13	CAFE - FLOOR PLANS & ROOF PLAN
29	A02.14	PARKING STRUCTURE - FLOOR PLANS
30	A02.15	PARKING STRUCTURE - FLOOR PLANS
31	A02.16	PARKING STRUCTURE - FLOOR PLANS
32	A02.17	PARKING STRUCTURE - FLOOR & ROOF PLAN
33	A09.01	OFFICE BLDG 1 - EXTERIOR ELEVATIONS
34	A09.02	OFFICE BLDG 1 - EXTERIOR ELEVATIONS
35	A09.03	OFFICE BLDG 2 - EXTERIOR ELEVATIONS
36	A09.04	OFFICE BLDG 2 - EXTERIOR ELEVATIONS
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39	A09.07	CAFE - EXTERIOR ELEVATIONS
40	A09.08	PARKING STRUCTURE - EXTERIOR ELEVATIONS
41	A09.09	PARKING STRUCTURE - EXTERIOR ELEVATIONS
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- PROCESS (5) COMMUNITY PLAN AMENDMENT (CPA)
- PROCESS (5) REZONE
- PROCESS (5) SITE DEVELOPMENT PERMIT (SDP)
- PROCESS (3) PLANNED DEVELOPMENT PERMIT (PDP)
- DETERMINATION FROM THE SDCR AIRPORT AUTHORITY & MCAS MIRAMAR

PERMIT & DISCRETIONARY ACTION LIST

SCOPE OF WORK

CONSTRUCT THREE NEW COMMERCIAL OFFICE BUILDINGS (4 STORY, 5 STORY & 6 STORY) WITH ONE LEVEL SUBTERRANEAN PARKING, ONE AMENITY BUILDING (1 STORY) AND ONE ABOVE GRADE PARKING STRUCTURE (7 LEVELS UP / 1 LEVELS DOWN). PERMIT ALSO INCLUDES SITE IMPROVEMENTS INCLUDING SURFACE PARKING, DRIVEWAYS, WALKWAYS, LANDSCAPING, GRADING, AND 1,093 LINEAR FEET OF RETAINING WALL. NO EXISTING STRUCTURES OR SITE IMPROVEMENTS EXIST ON THE SITE.

DEVELOPMENT SUMMARY

OVERALL SITE	11.10 ACRES
SITE WITHIN LIMIT OF WORK	10.33 ACRES

TOTAL OFFICE BLDG. 1	180,000 SF
TOTAL OFFICE BLDG. 2	120,000 SF
TOTAL OFFICE BLDG. 3	150,000 SF

TOTAL = 450,000 SF

IP-3-1 MAXIMUM FAR: 2.0	0.98 FAR
*PARKING STRUCTURE IS EXCLUDED FROM FAR AS IT MEETS AT LEAST TWO OF THE FOLLOWING CRITERIA: 1. PER SEC 113.0234 (D)(3)(B)(I), THE PARKING STRUCTURE INCLUDES AT LEAST ONE SUBTERRANEAN FLOOR. 2. PER SEC 113.0234 (D)(3)(B)(IV), THE PARKING STRUCTURE IS AT LEAST 40 PERCENT OPEN ON AT LEAST TWO ELEVATIONS.	

ACCESSORY SUMMARY

AMENITY CAFE BLDG.	3,850 SF
FITNESS CENTER	5,000 SF

ZONING SUMMARY

	ALLOWABLE	PROPOSED
TYPE I-B		
(N) OFFICE BLDG. 1	180'-0"	99'-0"
(N) PARKING STRUCTURE	180'-0"	75'-0"
TYPE III-A		
(N) OFFICE BLDG. 2	85'-0"	70'-0"
(N) OFFICE BLDG. 3	85'-0"	84'-6"

PROJECT ADDRESS:

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

APN: 306-050-16, 306-050-18, 306-050-19, 306-050-28

LEGAL DESCRIPTION

THE PROPERTY CONSISTS OF FOUR CONTIGUOUS PARCELS: (1) THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH; (2) THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH; (3) THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH; AND (4) THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, ALL IN RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF. ALL FOUR PARCELS ARE SHOWN ON RECORD OF SURVEY, NO. 15686.

ZONING CLASSIFICATION

IP-3-1
INDUSTRIAL PARK ZONE

SETBACKS

FRONT = 25'
STREET SIDE = N/A
SIDE = 15'
REAR = 25'

NOTE: PARKING SPACES MAY ENCROACH UP TO 5'-0" INTO STANDARD 25' SETBACK

APPLICABLE BUILDING CODES

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA FIRE CODE (CFC)
2016 BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24)
NFPA 13 (FIRE SPRINKLERS)

THE PRESERVE AT TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

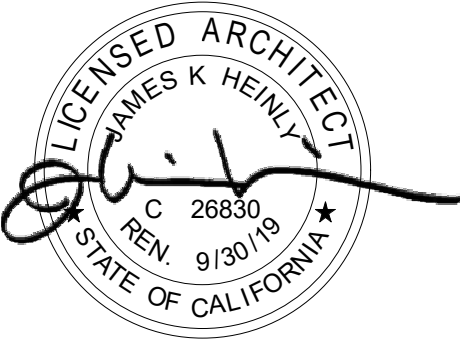
225 Broadway
Suite 100
San Diego CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

Gensler

Issue Date & Issue Description By Check

2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

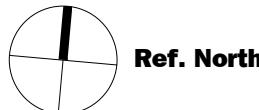
Description
PROJECT INFO / INDEX

Scale
As indicated

G00.01

2 of 43

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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
06/06/18	RL	CONSERVATION EASEMENT REVISION	12		
11/21/17	RL	RESUBMITTAL 4	11		
03/15/17	NK	RESUBMITTAL 3	10		
04/24/16	RL	RESUBMITTAL 2	9		
11/28/15	RL	RESUBMITTAL 1	8		
08/21/15	RL	ORIGINAL	7		

FILE CODE	DATE	BY	DESCRIPTION
TH 06.07-13.15	DATE	DATE	DESCRIPTION
PREPARATION AND REVISION LOG			

Leppert Engineering CORPORATION

5190 Governor Drive, Suite 205
San Diego, Ca. 92122-2848
Phone: (858) 597-2001 Fax: (858) 597-2009

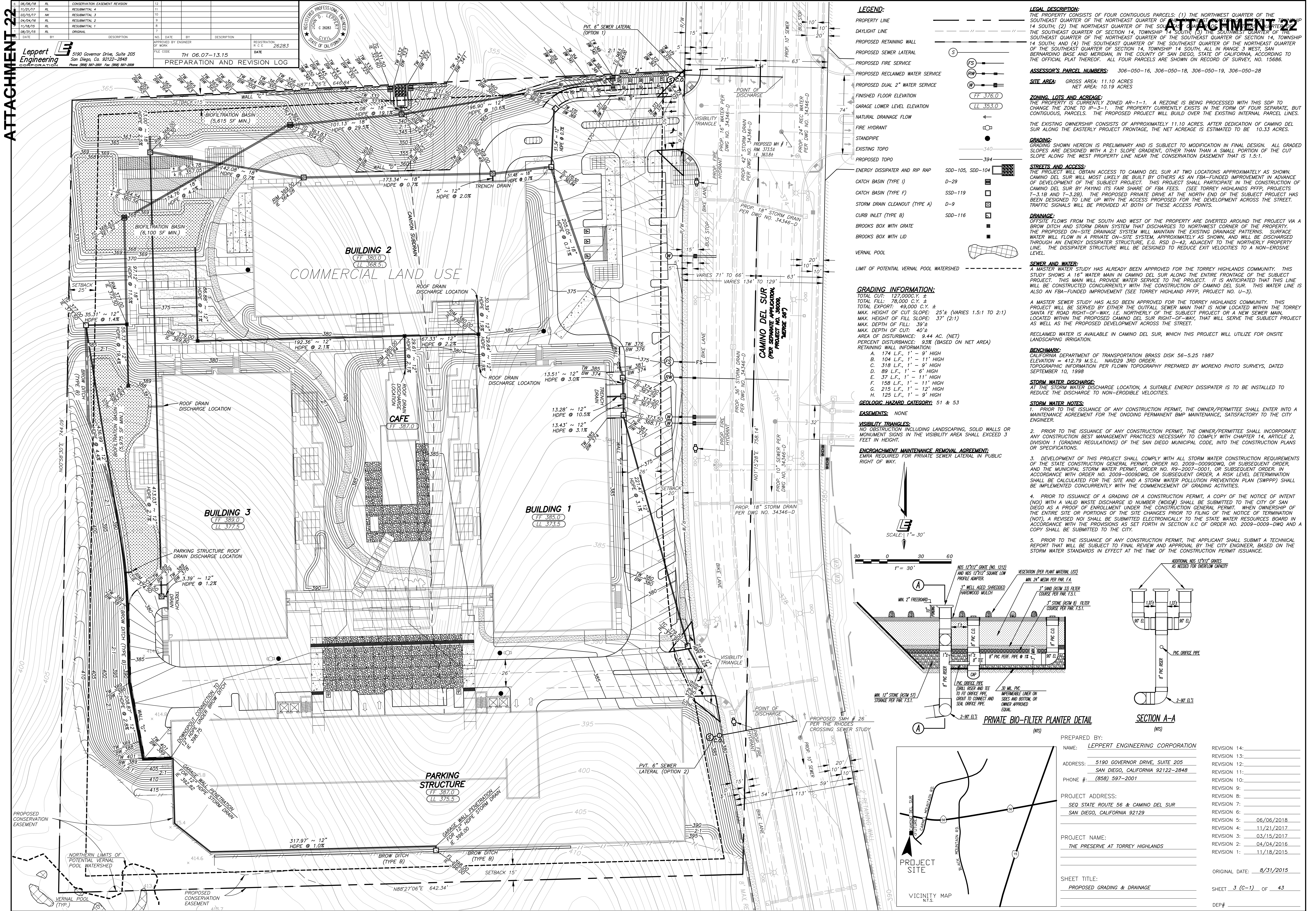
REGISTERED PROFESSIONAL CIVIL ENGINEER

JOHN D. LEPPERT

STATE OF CALIFORNIA

C 26883

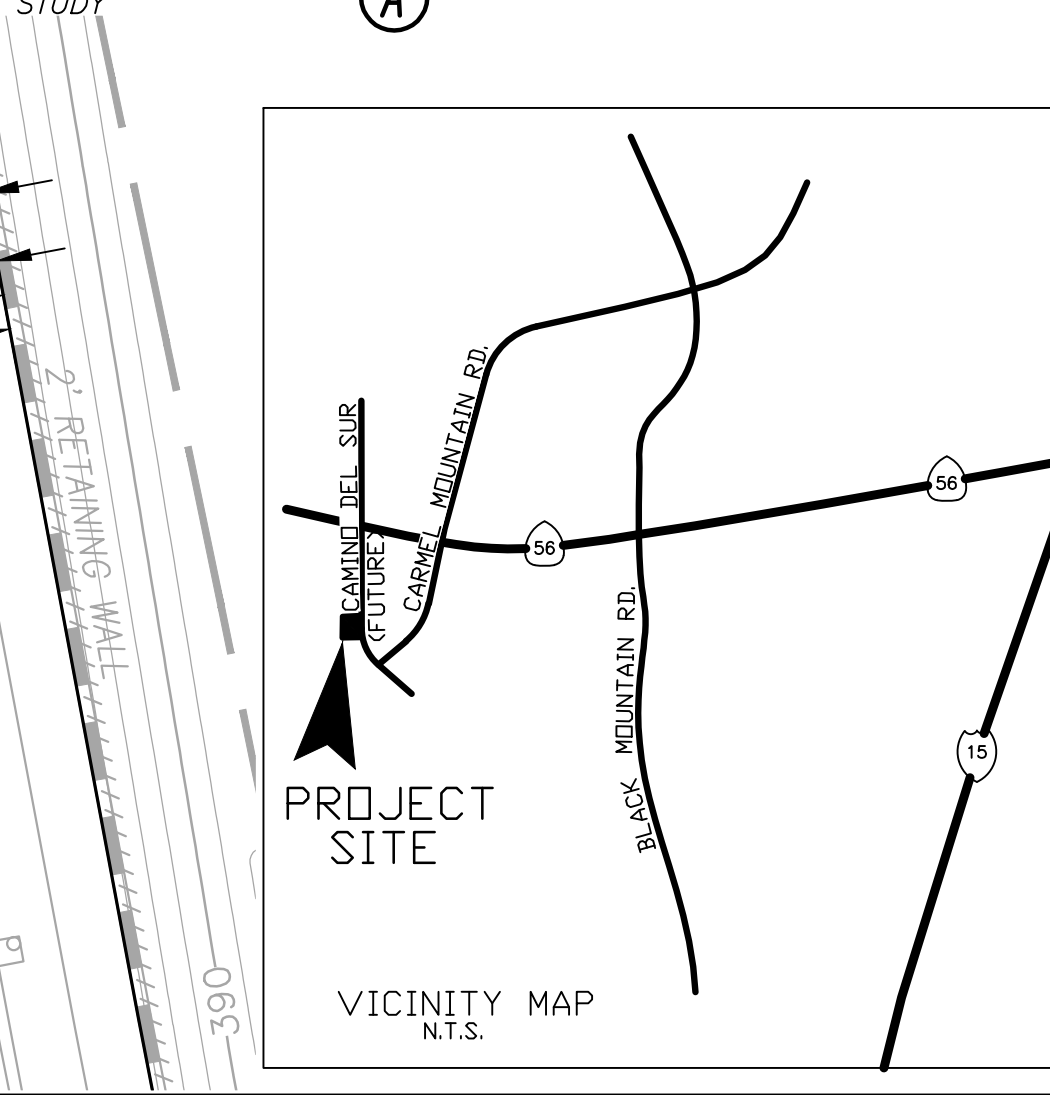
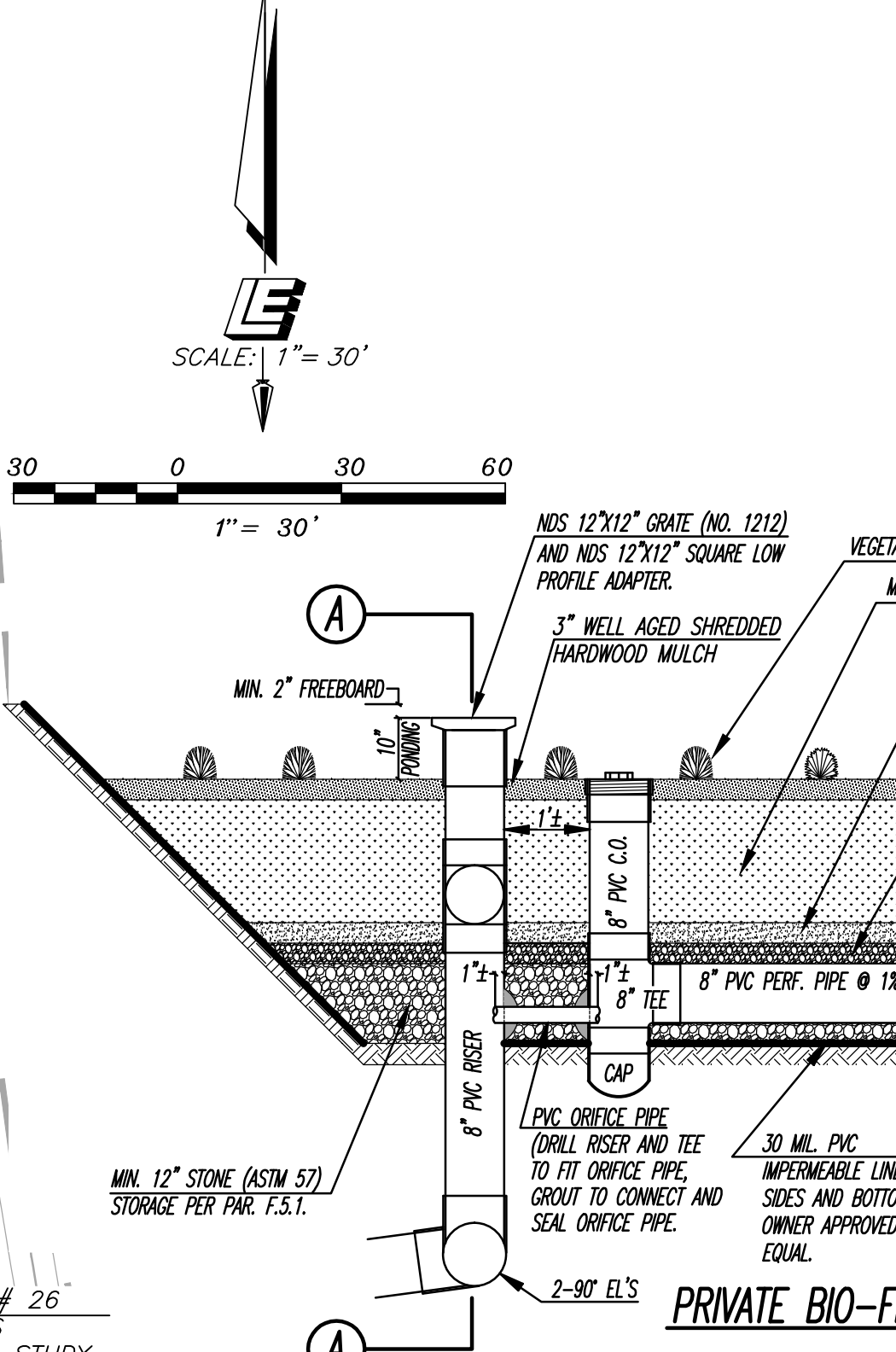
DATE: 06/06/18 BY: RL DESCRIPTION: CONSERVATION EASEMENT REVISION



LEGEND:	
PROPERTY LINE	---
DAYLIGHT LINE	---
PROPOSED RETAINING WALL	---
PROPOSED SEWER LATERAL	---
PROPOSED FIRE SERVICE	---
PROPOSED RECLAIMED WATER SERVICE	---
PROPOSED DUAL 2" WATER SERVICE	---
FINISHED FLOOR ELEVATION	FF 376.0
GARAGE LOWER LEVEL ELEVATION	LL 353.0
NATURAL DRAINAGE FLOW	---
FIRE HYDRANT	---
STANDPIPE	---
EXISTING TOPO	---
PROPOSED TOPO	---
ENERGY DISSIPATER AND RIP RAP	SDD-105, SDD-104
CATCH BASIN (TYPE I)	D-29
CATCH BASIN (TYPE F)	SDD-119
STORM DRAIN CLEANOUT (TYPE A)	D-9
CURB INLET (TYPE B)	SDD-116
BROOKS BOX WITH GRATE	---
BROOKS BOX WITH LID	---
VERNAL POOL	---
LIMIT OF POTENTIAL VERNAL POOL WATERSHED	---

GRADING INFORMATION:
TOTAL CUT: 127,000 C.Y. ±
TOTAL FILL: 76,000 C.Y. ±
TOTAL EXPORT: 49,000 C.Y. ±
MAX. HEIGHT OF CUT SLOPE: 25' ± (VARIES 1.5:1 TO 2:1)
MAX. HEIGHT OF FILL SLOPE: 37' (2:1)
MAX. DEPTH OF FILL: 39' ±
MAX. DEPTH OF CUT: 40' ±
AREA OF DISTURBANCE: 9.44 AC. (NET)
PERCENT DISTURBANCE: 93% (BASED ON NET AREA)
RETAINING WALL INFORMATION:
A. 174 L.F., 1' - 9" HIGH
B. 104 L.F., 1' - 11" HIGH
C. 318 L.F., 1' - 9" HIGH
D. 89 L.F., 1' - 6" HIGH
E. 37 L.F., 1' - 11" HIGH
F. 158 L.F., 1' - 11" HIGH
G. 215 L.F., 1' - 12" HIGH
H. 125 L.F., 1' - 9" HIGH

GEOLOGIC HAZARD CATEGORY: 51 & 53
EASEMENTS: NONE
VISIBILITY TRIANGLES: NO OBSTRUCTION INCLUDING LANDSCAPING, SOLID WALLS OR MONUMENT SIGNS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT: EMRA REQUIRED FOR PRIVATE SEWER LATERAL IN PUBLIC RIGHT OF WAY.



LEGAL DESCRIPTION:
THE PROPERTY CONSISTS OF FOUR CONTIGUOUS PARCELS: (1) THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 13 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF. ALL FOUR PARCELS ARE SHOWN ON RECORD OF SURVEY, NO. 15686.

ASSESSOR'S PARCEL NUMBERS: 306-050-16, 306-050-18, 306-050-19, 306-050-28

SITE AREA: GROSS AREA: 11.10 ACRES
NET AREA: 10.19 ACRES

ZONING, LOTS AND ACREAGE:
THE PROPERTY IS CURRENTLY ZONED AR-1-1. A REZONE IS BEING PROCESSED WITH THIS SDP TO CHANGE THE ZONE TO IP-3-1. THE PROPERTY CURRENTLY EXISTS IN THE FORM OF FOUR SEPARATE, BUT CONTIGUOUS, PARCELS. THE PROPOSED PROJECT WILL BUILD OVER THE EXISTING INTERNAL PARCEL LINES.

THE EXISTING OWNERSHIP CONSISTS OF APPROXIMATELY 11.10 ACRES. AFTER DEDICATION OF CAMINO DEL SUR ALONG THE EASTERLY PROJECT FRONTAGE, THE NET ACREAGE IS ESTIMATED TO BE 10.33 ACRES.

GRADING:
GRADED SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN. ALL GRADED SLOPES AND DESIGNED WITH A 2:1 SLOPE GRADIENT OTHER THAN A SMALL PORTION OF THE CUT SLOPE ALONG THE WEST PROPERTY LINE NEAR THE CONSERVATION EASEMENT THAT IS 1.5:1.

STREETS AND ACCESS:
THE PROJECT WILL OBTAIN ACCESS TO CAMINO DEL SUR AT TWO LOCATIONS APPROXIMATELY AS SHOWN. CAMINO DEL SUR WILL MOST LIKELY BE BUILT BY OTHERS AS AN FBA-FUNDED IMPROVEMENT IN ADVANCE OF DEVELOPMENT OF THE SUBJECT PROJECT. THIS PROJECT SHALL PARTICIPATE IN THE CONSTRUCTION OF CAMINO DEL SUR BY PAYING ITS FAIR SHARE OF FBA FEES. (SEE TORREY HIGHLANDS PFPF, PROJECTS 7-318 AND 7-328). THE PROPOSED PRIVATE DRIVE AT THE NORTH END OF THE SUBJECT PROJECT HAS BEEN DESIGNED TO LINE UP WITH THE ACCESS PROPOSED FOR THE DEVELOPMENT ACROSS THE STREET. TRAFFIC SIGNALS WILL BE PROVIDED AT BOTH OF THESE ACCESS POINTS.

DRAINAGE:
OFFSITE FLOWS FROM THE SOUTH AND WEST OF THE PROPERTY ARE DIVERTED AROUND THE PROJECT VIA A BROW DITCH AND STORM DRAIN SYSTEM THAT DISCHARGES TO NORTHWEST CORNER OF THE PROPERTY. THE PROPOSED ON-SITE DRAINAGE SYSTEM WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS. SURFACE WATER WILL FLOW IN A PRIVATE ON-SITE SYSTEM, APPROXIMATELY AS SHOWN, AND WILL BE DISCHARGED THROUGH AN ENERGY DISSIPATER STRUCTURE, E.G. RSD D-42, ADJACENT TO THE NORTHERLY PROPERTY LINE. THE DISSIPATER STRUCTURE WILL BE DESIGNED TO REDUCE EXIT VELOCITIES TO A NON-EROSIVE LEVEL.

SEWER AND WATER:
A MASTER WATER STUDY HAS ALREADY BEEN APPROVED FOR THE TORREY HIGHLANDS COMMUNITY. THIS STUDY SHOWS A 16" WATER MAIN IN CAMINO DEL SUR ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROJECT. THIS MAIN WILL PROVIDE WATER SERVICE TO THE PROJECT. IT IS ANTICIPATED THAT THIS LINE WILL BE CONSTRUCTED CONCURRENTLY WITH THE CONSTRUCTION OF CAMINO DEL SUR. THIS WATER LINE IS ALSO AN FBA-FUNDED IMPROVEMENT (SEE TORREY HIGHLAND PFPF, PROJECT NO. U-3).

A MASTER SEWER STUDY HAS ALSO BEEN APPROVED FOR THE TORREY HIGHLANDS COMMUNITY. THIS STUDY SHOWS A 16" SEWER MAIN IN CAMINO DEL SUR ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROJECT. THIS MAIN WILL PROVIDE SEWER SERVICE TO THE PROJECT. IT IS ANTICIPATED THAT THIS LINE WILL BE CONSTRUCTED CONCURRENTLY WITH THE CONSTRUCTION OF CAMINO DEL SUR. THIS SEWER LINE IS ALSO AN FBA-FUNDED IMPROVEMENT (SEE TORREY HIGHLAND PFPF, PROJECT NO. U-3).

BENCHMARK:
CALIFORNIA DEPARTMENT OF TRANSPORTATION BRASS DISK 56-525 1987
ELEVATION = 412.79 M.S.L. NAVD83 3RD ORDER.
TOPOGRAPHIC INFORMATION PER FLOWN TOPOGRAPHY PREPARED BY MORENO PHOTO SURVEYS, DATED SEPTEMBER 10, 1998

STORM WATER DISCHARGE:
AT THE STORM WATER DISCHARGE LOCATION, A SUITABLE ENERGY DISSIPATER IS TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.

STORM WATER NOTES:
1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0090DWO, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. R9-2007-0001, OR SUBSEQUENT ORDER, IN ACCORDANCE WITH ORDER NO. 2009-0090DWO, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
4. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WQID#) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION I.C OF ORDER NO. 2009-0090-DWO AND A COPY SHALL BE SUBMITTED TO THE CITY.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

PREPARED BY:
NAME: LEPPERT ENGINEERING CORPORATION
ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205
SAN DIEGO, CALIFORNIA 92122-2848
PHONE #: (858) 597-2001

PROJECT ADDRESS:
SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CALIFORNIA 92129

PROJECT NAME:
THE PRESERVE AT TORREY HIGHLANDS

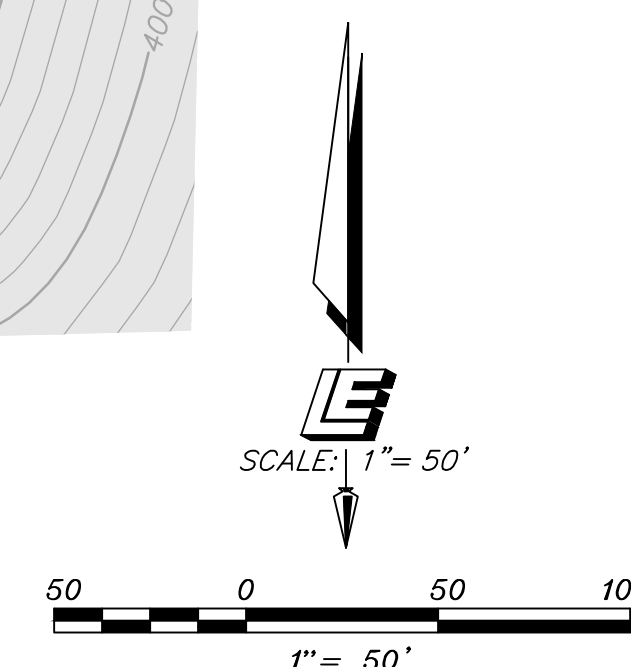
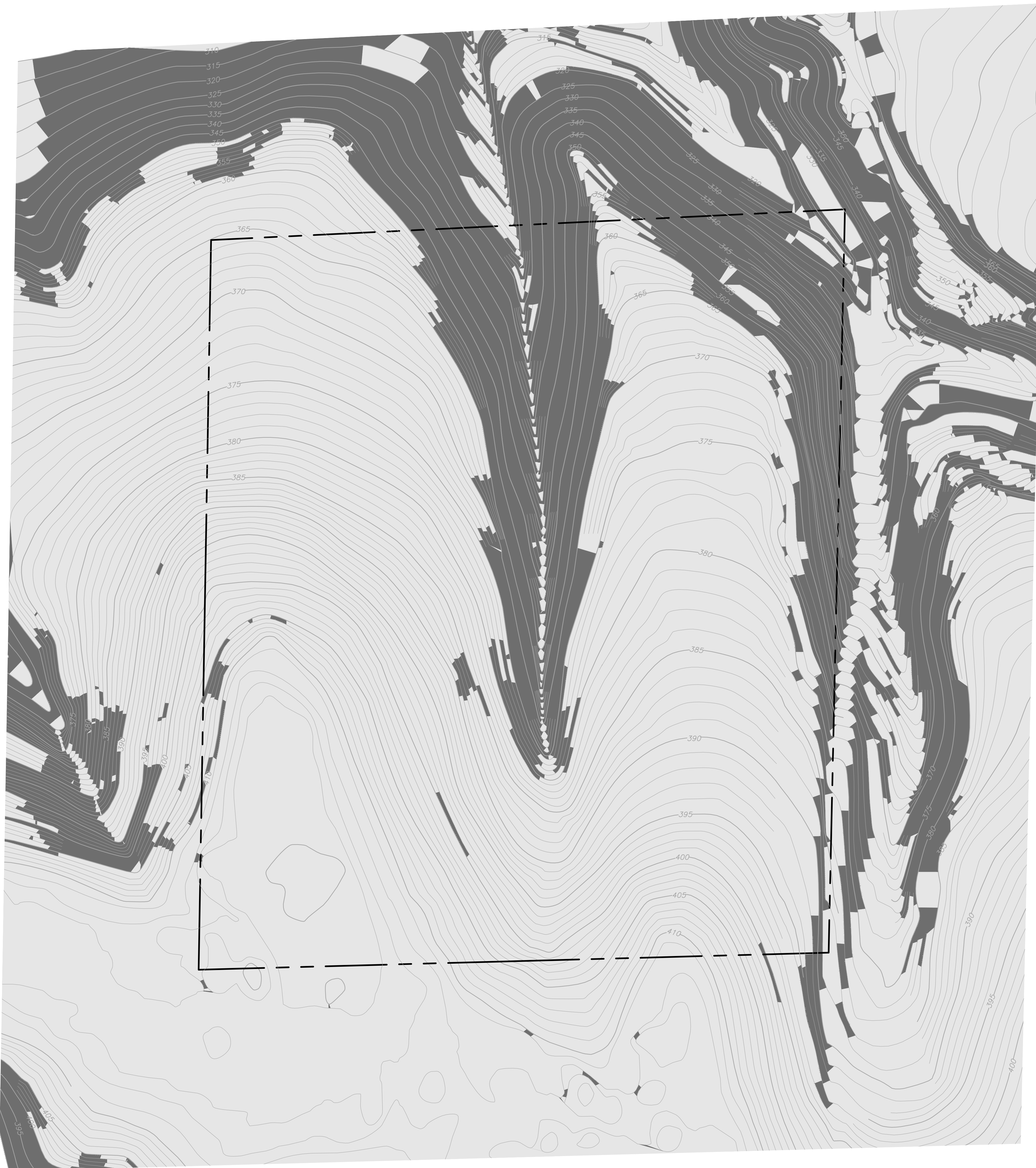
SHEET TITLE:
PROPOSED GRADING & DRAINAGE

REVISION 14:
REVISION 13:
REVISION 12:
REVISION 11:
REVISION 10:
REVISION 9:
REVISION 8:
REVISION 7:
REVISION 6:
REVISION 5: 06/06/2018
REVISION 4: 11/21/2017
REVISION 3: 03/15/2017
REVISION 2: 04/04/2016
REVISION 1: 11/18/2015

ORIGINAL DATE: 8/31/2015



SHEET 3 (C-1) OF 43

DEP#

[illegible]

ATTACHMENT 22

SLOPE ANALYSIS:

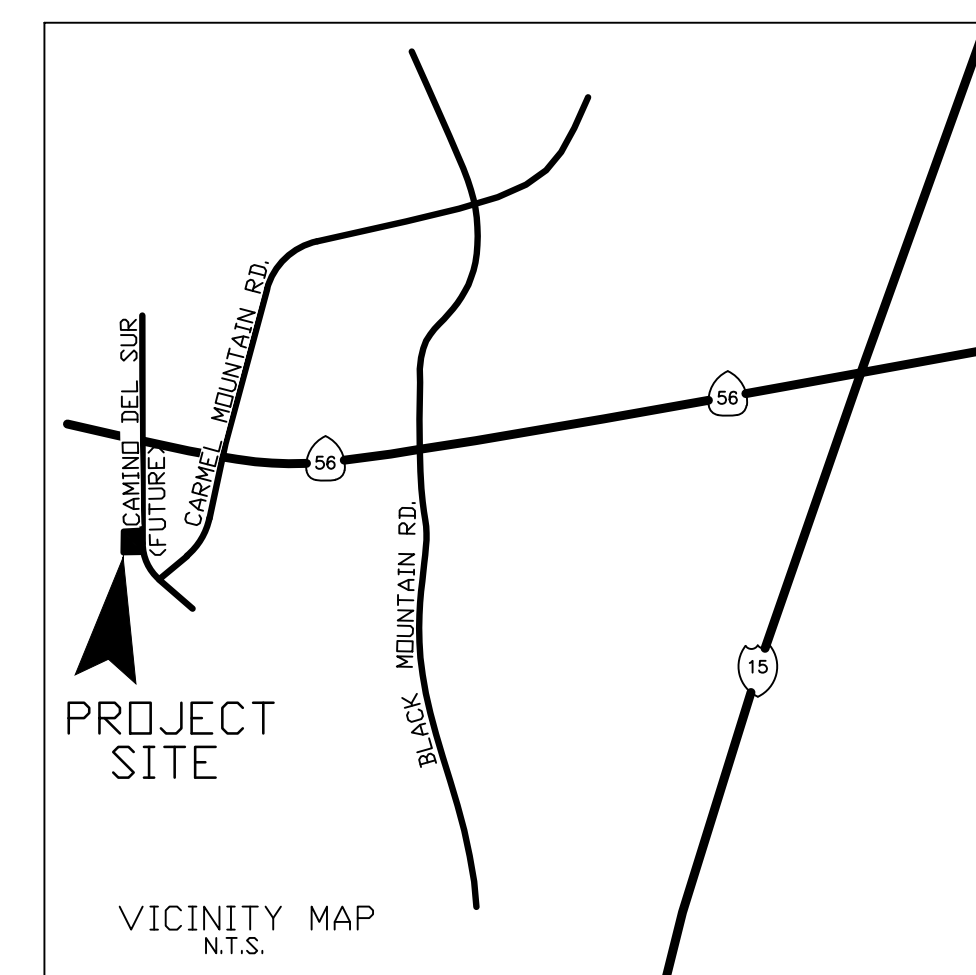
<u>COLOR</u>	<u>SLOPE IN PERCENT</u>	<u>PERCENT OF SITE</u>	<u>AREA (SF)</u>
	0-25	79.5	384,459
	25+	20.5	<u>98,880</u>
			483,339

STEEP HILLSIDES:

THERE ARE NO STEEP HILLSIDES ON SITE. PER SECTION 1131.01003 OF THE CITY MUNICIPAL CODE, STEEP HILLSIDES ARE DEFINED AS FOLLOWS - "STEEP HILLSIDES MEANS ALL LANDS THAT HAVE A SLOPE WITH A NATURAL GRADIENT OF 25 PERCENT (4 FEET OF HORIZONTAL DISTANCE FOR EVERY 1 FOOT OF VERTICAL DISTANCE) OR GREATER AND A MINIMUM ELEVATION DIFFERENTIAL OF 50 FEET, OR A NATURAL GRADIENT OF 200 PERCENT (1 FOOT OF HORIZONTAL DISTANCE FOR EVERY 2 FEET OF VERTICAL DISTANCE) OR GREATER AND A MINIMUM ELEVATION DIFFERENTIAL OF 10 FEET." THERE ARE SLOPES WITH A NATURAL GRADIENT OF 25 PERCENT OR GREATER, BUT THE ELEVATION DIFFERENTIAL IS LESS THAN 50 FEET.

TOPOGRAPHY:

TOPOGRAPHIC INFORMATION PER FLOWN TOPOGRAPHY, PREPARED BY MORENO PHOTO SURVEYS,
DATED SEPTEMBER 10, 1998.



PREPARED BY:

NAME: LEPPERT ENGINEERING CORPORATION

ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205
SAN DIEGO, CALIFORNIA 92122-2842

PHONE #: (858) 597-2001

PROJECT ADDRESS:
SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CALIFORNIA 92129

PROJECT NAME:
THE PRESERVE AT TORREY HIGHLANDS

SHEET TITLE:
TOPOGRAPHIC MAP & SLOPE ANALYSIS SHEET

REVISION 14:_____

REVISION 12: _____

REVISION 11:_____

REVISION 10:_____

REVISION 9: _____
REVISION 8: _____

REVISION 8: _____

REVISION 7: _____

REVISION 6: _____

REVISION 5: _____

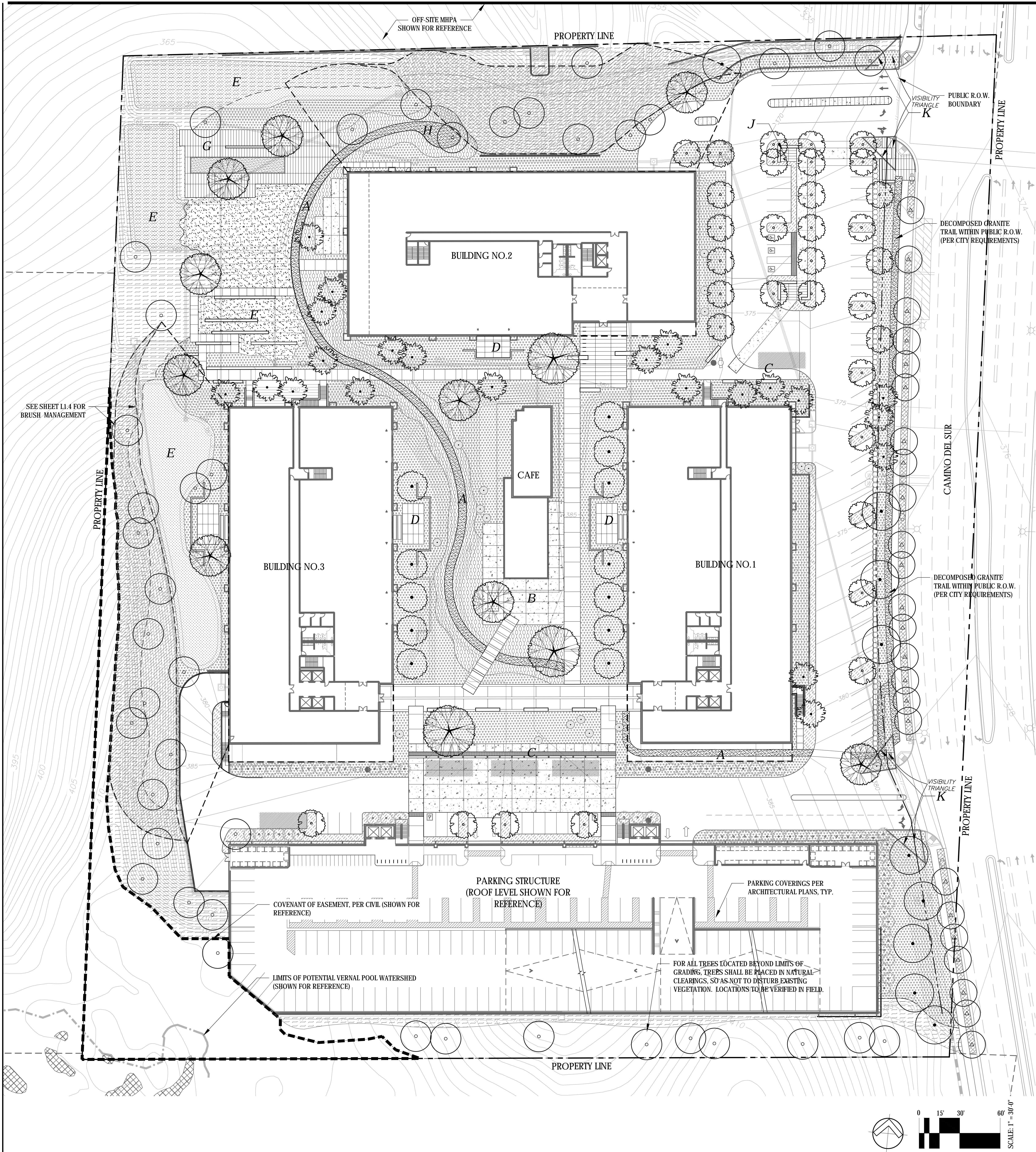
REVISION 4: _____

REVISION 3: 11/21/2017

ORIGINAL DATE: 8/31/2015

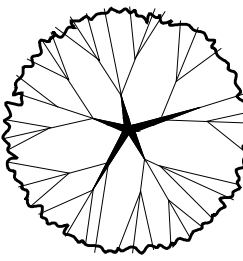
SHEET 4 (C-2) OF 43

DEP# _____



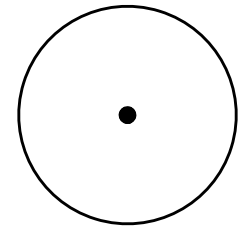
PLANT MATERIAL LEGEND

See sheet L1.2 for plant species and sizing information



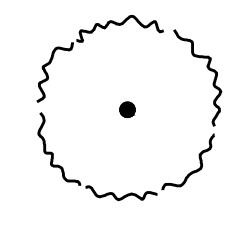
HERITAGE TREE

Character defining tree that brings the feeling of the chaparral natural surroundings into the site interior while providing a large canopy of shade



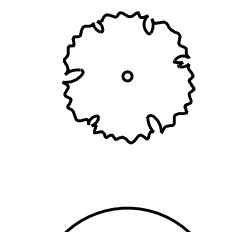
CANOPY TREE AT PROJECT PERIMETER

Formal trees arranged in an informal manner to allude to the site's natural character; also provide screening of the parking lot from Camino Del Sur



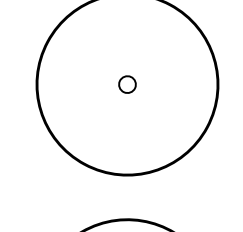
CANOPY TREE IN PROJECT INTERIOR

For shade and to establish a formal plane of vegetation that flanks the architecture



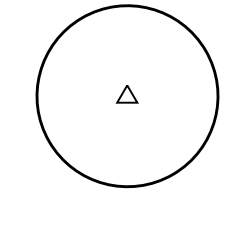
CANOPY TREE IN PARKING COURTS

For shade



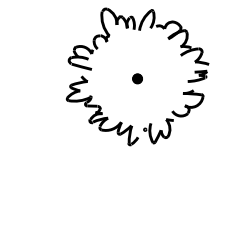
PERIMETER SCREEN TREE

To blend boundaries of site and the adjacent open space



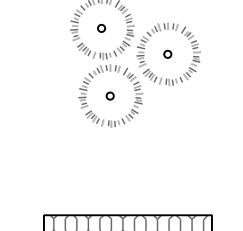
STREET TREE

Trees along the public Right-of-Way



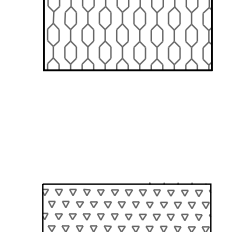
SMALL FLOWERING ACCENT TREE

Pedestrian scale accents

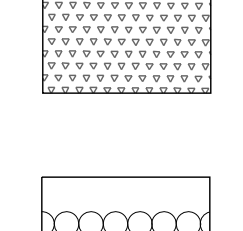


BAMBOO GROVE

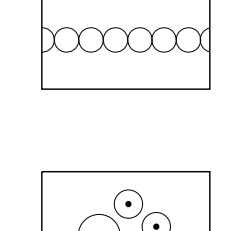
To soften architecture of parking structure



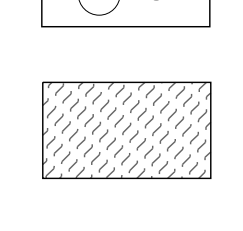
'ARROYO PATH' PLANTINGS



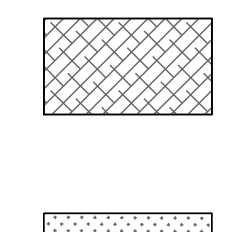
INTERIOR GARDEN SHRUBS AND GROUNDCOVER



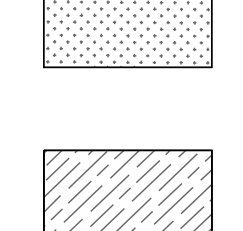
EVERGREEN HEDGES AT PARKING



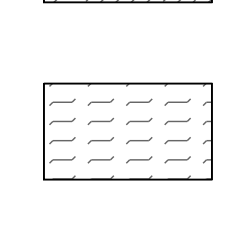
SPECIMEN GARDEN ACCENTS



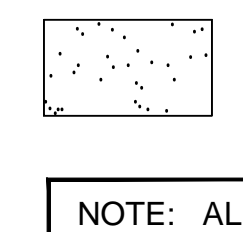
EVERGREEN SHRUBS IN PARKING COURTS



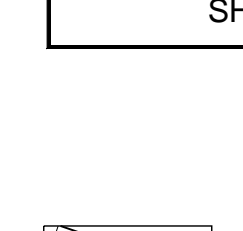
PARKWAY SHRUBS



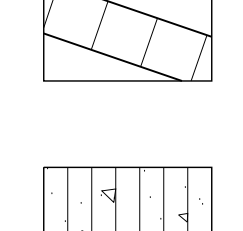
BIOFILTRATION BASIN PLANTINGS



BRUSH MANAGEMENT ZONE 2 PLANTING



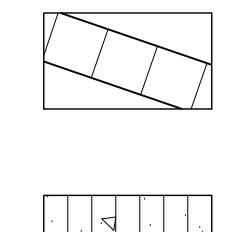
MHPA BUFFER PLANTINGS



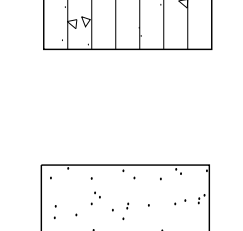
TURF GRASS

NOTE: ALL SHRUBS AND GROUNDCOVERS SHOWN AS HATCHES SHALL BE SPACED IN A TRIANGULAR PATTERN

PAVING FINISH LEGEND



STANDARD GRAY CONCRETE



ENHANCED CONCRETE PAVING:
SUCH AS INTEGRAL COLOR, SCORING,
OR TEXTURE / SEEDING



DECOMPOSED GRANITE PAVING

NOTE: Driveway/parking areas that not designated as enhanced concrete are asphalt, typical.

PLAN KEY

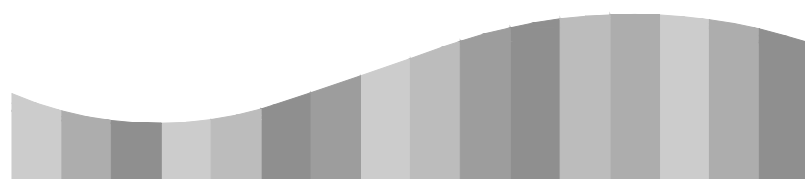
- | | | | |
|---|---|---|---|
| A | Arroyo path with native chaparral character | F | Amphitheater space with staggered seat walls |
| B | Cafe Patio with Outdoor Dining | G | Outdoor gathering space with bocce ball court |
| C | Pedestrian drop-off zone | H | Overlook Seating Area |
| D | Outdoor collaboration space | J | Pedestrian 'nodes' along connection to adjacent multi-use project |
| E | Biofiltration Basins, Per Civil Plans | K | Visibility Triangles - No landscape over 24" |

ATTACHMENT 22
THE PRESERVE AT
TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

Gensler



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Architecture

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San Diego, CA 92103
(619) 325-1990
groundlevels.com

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2015-11-18	SDP RESUBMITTAL		
2015-04-04	SDP RESUBMITTAL		
2017-03-15	SDP RESUBMITTAL		
2017-11-20	SDP RESUBMITTAL		
2018-06-08	SDP RESUBMITTAL		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

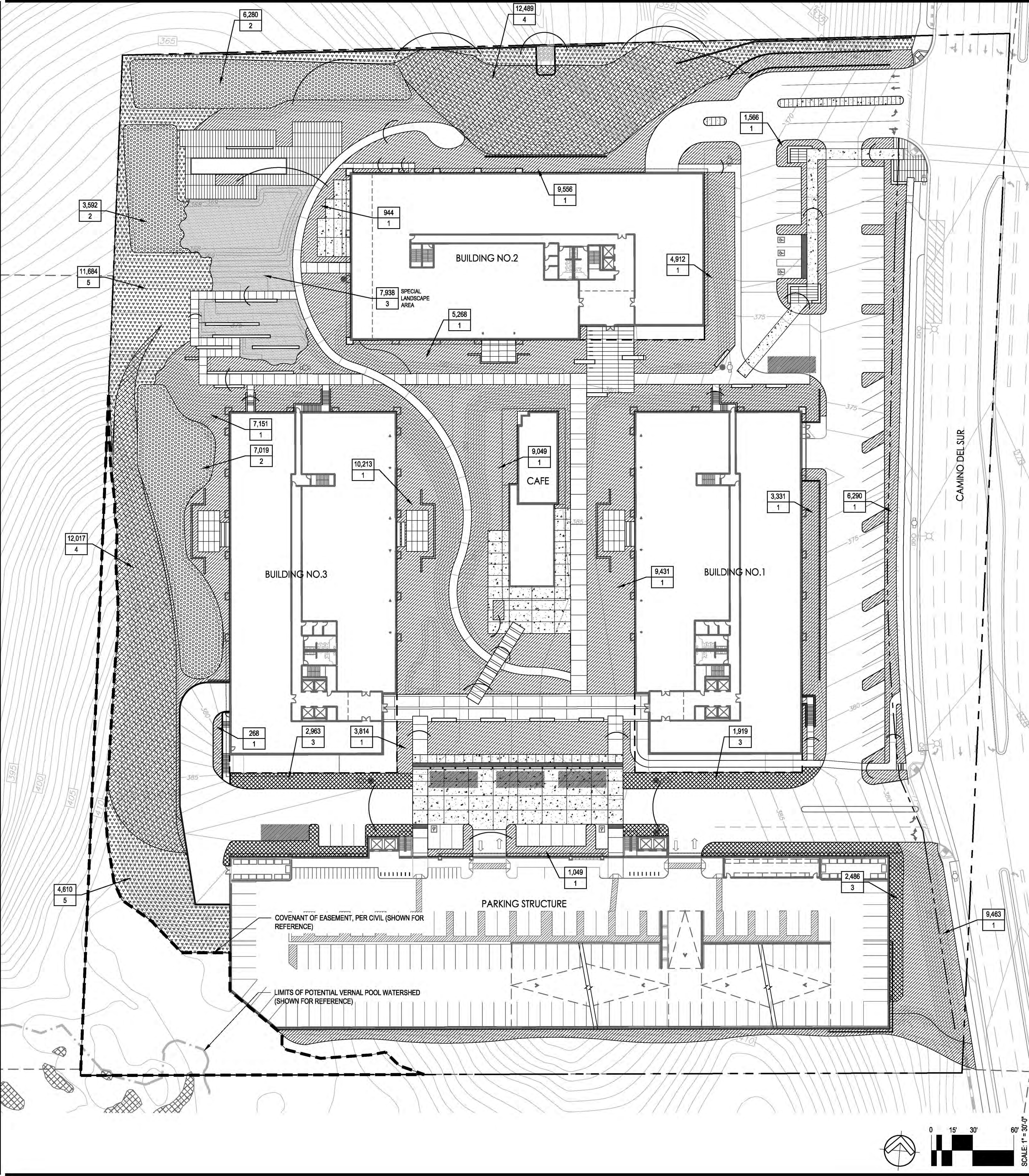
GL Project Number
15060

Description
LANDSCAPE PLAN

Scale
As indicated

L1.1

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IRRIGATION WATER BUDGET CALCULATION

WATER BUDGET:
 $(ET_o)(0.62)[(0.7)(LA) + (0.3)(SLA)]$
 $(47)(0.62)[(0.7)(147,364) + (0.3)(7,983)] = 3,075,718 \text{ GAL/YR.}$

ESTIMATED TOTAL WATER USE:
 $[(ET_o)(0.62)][(PF \times HA / IE) + SLA]$

HYDROZONE 1 - PERIMETER & INTERIOR SHRUBS & GROUNDCOVER
 $[(47)(0.62)][(0.2 \times 82,305 / 0.8) + 0] = 589,582 \text{ GAL/YR.}$

HYDROZONE 2 - BIORETENTION BASINS / SWALES
 $[(47)(0.62)][(0.5 \times 16,891 / 0.75) + 0] = 328,136 \text{ GAL/YR.}$

HYDROZONE 3 - HIGH WATER USE SHRUBS & TURF
 $[(47)(0.62)][(0.8 \times 7,368 / 0.55) + 7,983] = 544,921 \text{ GAL/YR.}$

HYDROZONE 4 - BM ZONE 2 NATIVE SHRUBS
 $[(47)(0.62)][(0.2 \times 24,506 / 0.70) + 0] = 204,030 \text{ GAL/YR.}$

HYDROZONE 5 - PERIMETER NATIVE SHRUBS
 $[(47)(0.62)][(0.2 \times 16,294 / 0.70) + 0] = 135,659 \text{ GAL/YR.}$

TOTAL ESTIMATED WATER USE = 1,812,338 GAL/YR.

X,XXX — AREA IN SQUARE FEET				
X — HYDROZONE ID				
ID	HYDROZONE	PF	AREA(SF)	%AREA
1	LOW	0.2	82,305	53.0%
2	MEDIUM	0.5	16,891	10.9%
3	HIGH	0.8	15,351	9.8%
4	LOW (BM 2)	0.2	24,506	15.8%
5	LOW (NATIVE)	0.2	16,294	10.5%
TOTAL			155,347	100%

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

IRRIGATION NOTES

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THIS SYSTEM WILL BE CONTROLLED BY A DUAL PROGRAM ELECTRONIC TIME CLOCK AND REMOTE CONTROL VALVES. POP-UP TYPE HEADS WILL BE USED ADJACENT TO WALKWAYS AND ROADWAYS. BUBBLER HEADS WILL BE USED FOR LANDSCAPED AREAS LESS THAN 6' WIDE. DRIP IRRIGATION OR LOW-FLOW BUBBLERS SHALL BE USED IN PARKING AREAS AND ADJACENT TO LOW-LEVEL BUILDING GLASS. THE SYSTEM WILL BE INSTALLED AS SOON AS POSSIBLE AFTER CONSTRUCTION AND PRIOR TO PLACEMENT OF PLANT MATERIALS.

A DEDICATED LANDSCAPE IRRIGATION METER WILL BE PROVIDED.

ATTACHMENT 22
THE PRESERVE AT
TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129
APN# 308-050-16, 308-050-18, 308-050-19, 308-050-28

Gensler

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

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2015-04-04	SDP RESUBMITTAL		
2017-03-15	SDP RESUBMITTAL		
2017-11-20	SDP RESUBMITTAL		
2018-06-08	SDP RESUBMITTAL		

Seal/Signature



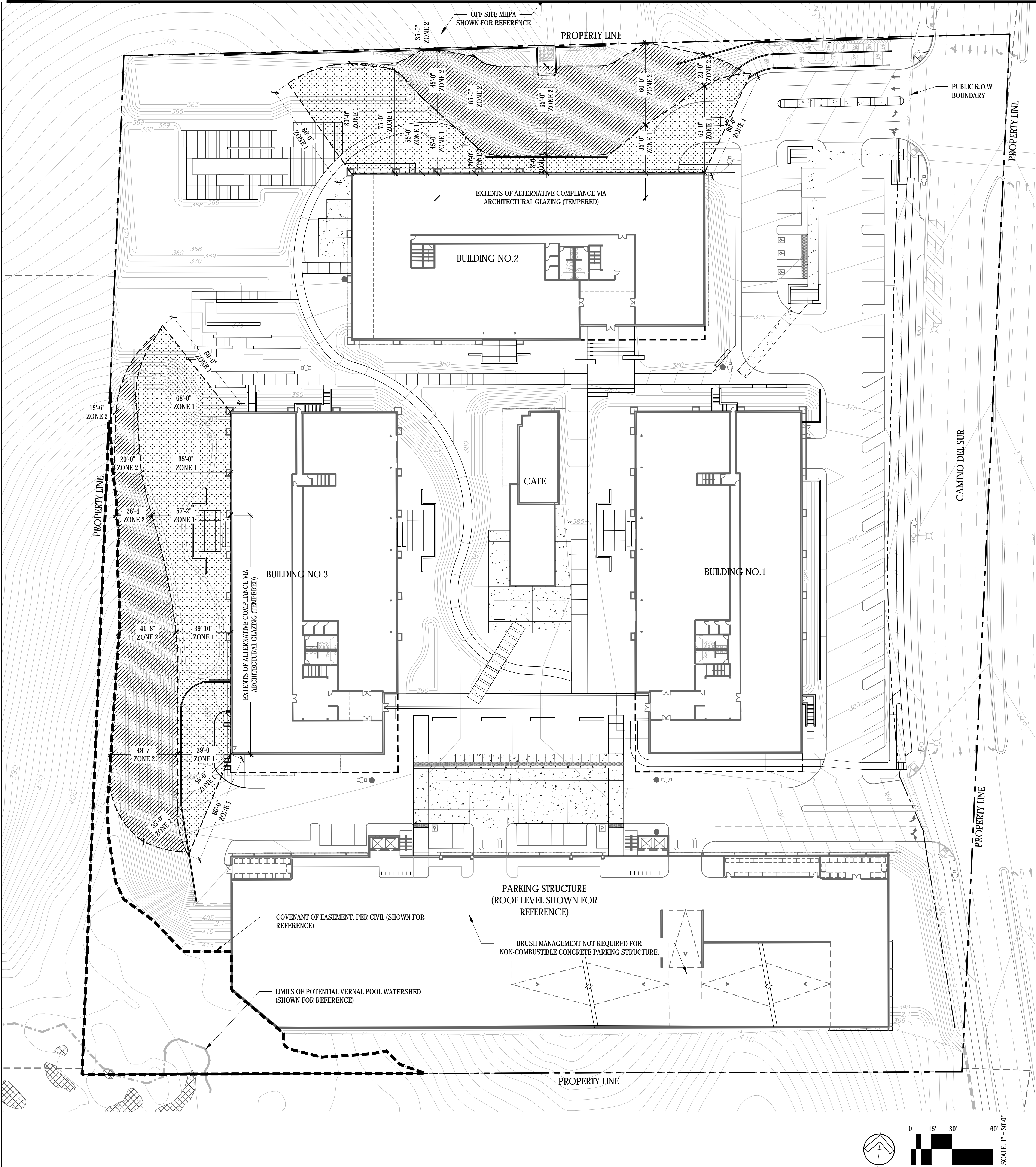
Project Name
THE PRESERVE AT TORREY HIGHLANDS

GL Project Number
15060

Description
IRRIGATION PLAN AND CALCULATIONS

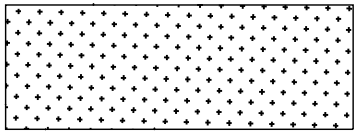
Scale
As indicated

L1.3



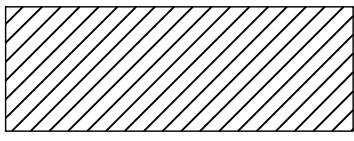
ZONE 1 PLANT MATERIAL LEGEND

*SEE SHEET L1.2 FOR FULL PLANT LEGEND



ZONE 2 PLANT MATERIAL LEGEND

*SEE SHEET L1.2 FOR FULL PLANT LEGEND



ALL SALVAGEABLE PLANT MATERIAL BEYOND THE LIMIT OF GRADING WILL BE PRESERVED AND MAINTAINED PER ZONE 2 REQUIREMENTS.

BRUSH MANAGEMENT ZONE WIDTH REDUCTION DISCUSSION

THE WIDTH OF ZONE 2 HAS BEEN REDUCED IN AREAS WHERE ZONE 1 (PERMANENTLY IRRIGATED LANDSCAPE) HAS BEEN INCREASED. PER SECTION 142.0412 AND TABLE 142.14H, "THE ZONE TWO WIDTH MAY BE DECREASED BY 1½ FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH."

AS PER CODE REQUIREMENTS, THE COMBINED WIDTH OF ZONES 1 AND 2 NEVER EXCEEDS 100 FEET.

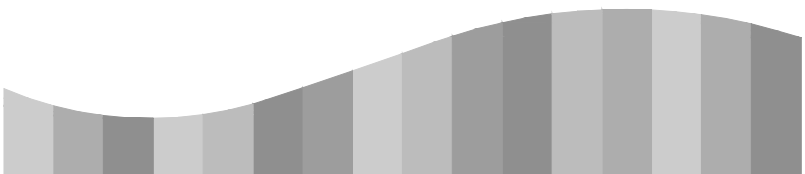
REFER TO ARCHITECTURAL PLANS FOR INFORMATION REGARDING THE FIRE-RATING OF THE PLANNED "PARKING STRUCTURE."

ATTACHMENT 22
THE PRESERVE AT
TORREY HIGHLANDS

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APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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2017-11-20	SDP RESUBMITTAL		
2018-06-08	SDP RESUBMITTAL		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

GL Project Number
15060

Description
BRUSH MANAGEMENT PLAN

Scale
As indicated

L1.4

BRUSH MANAGEMENT NOTES FROM "OUTLINE FOR PREPARING BRUSH MANAGEMENT EXHIBITS" [PAGES 3-6]

VI. BRUSH MANAGEMENT – VEGETATION

A. Thinning and Pruning, Native/Naturalized Vegetation [SDMC §142.0412(d), (g) & (h), Landscape Standards §3.2-2.04, 3.2-3.01] – Two key factors in creating a fire safe landscape are providing fuel discontinuity by the separation of the flammable plant cover (thinning) and reduction in fuel load by cutting out dead and excess growth of the native/naturalized vegetation (pruning). Plants to be retained should be consistent with the allowable coverage, nussing and spacing required in the Brush Management Regulations and the Landscape Standards. Whenever possible, a person knowledgeable about the use and maintenance of native plants should be consulted to oversee the selection, thinning, and pruning of these plants. The progression of work should proceed as follows: 1) remove dead plants, 2) thin out brush management areas to the required coverage, 3) prune remaining plants, 4) dispose or mulch debris and trimmings, and 5) maintain Zone One on a year-round basis. Zone Two on a seasonal basis. Note that brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Mayor's Designee that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

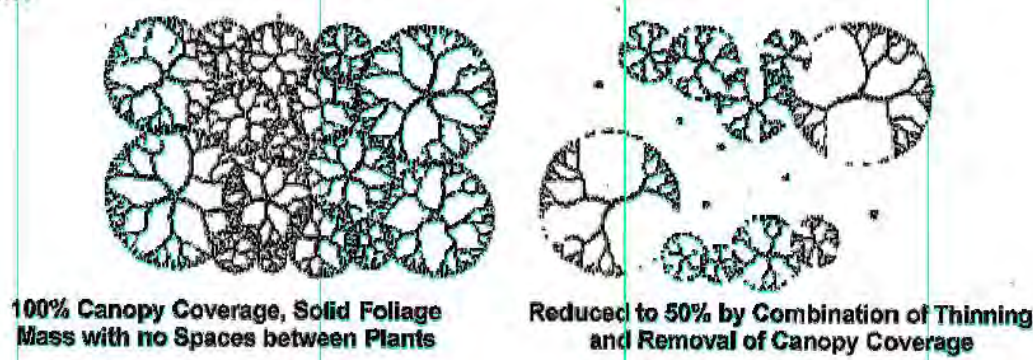
1) Thinning – This first step requires identification of the native/naturalized species and a familiarity with their various characteristics such as rooting depth, fuel loads, flammability, as well as habitat and aesthetic value. Thinning should be prioritized as follows: 1) invasive non-native species with the exception of eucalyptus trees in Eucalyptus Woodland areas, 2) non-native species, 3) flammable native species, 4) native species, and 5) regionally sensitive species. All vegetation that is not to be removed during the initial thinning should be noted or flagged. The remaining plants which are not to be saved should be cut six inches above the ground without pulling out the roots.

For Eucalyptus Woodland areas that fall within Zone Two Brush Management, all trees 3 inches or less in diameter at breast height (dbh) shall be removed with the exception of indigenous, native species. The removal of live (includes "diseased") eucalyptus trees over 3 inches dbh, should only occur:

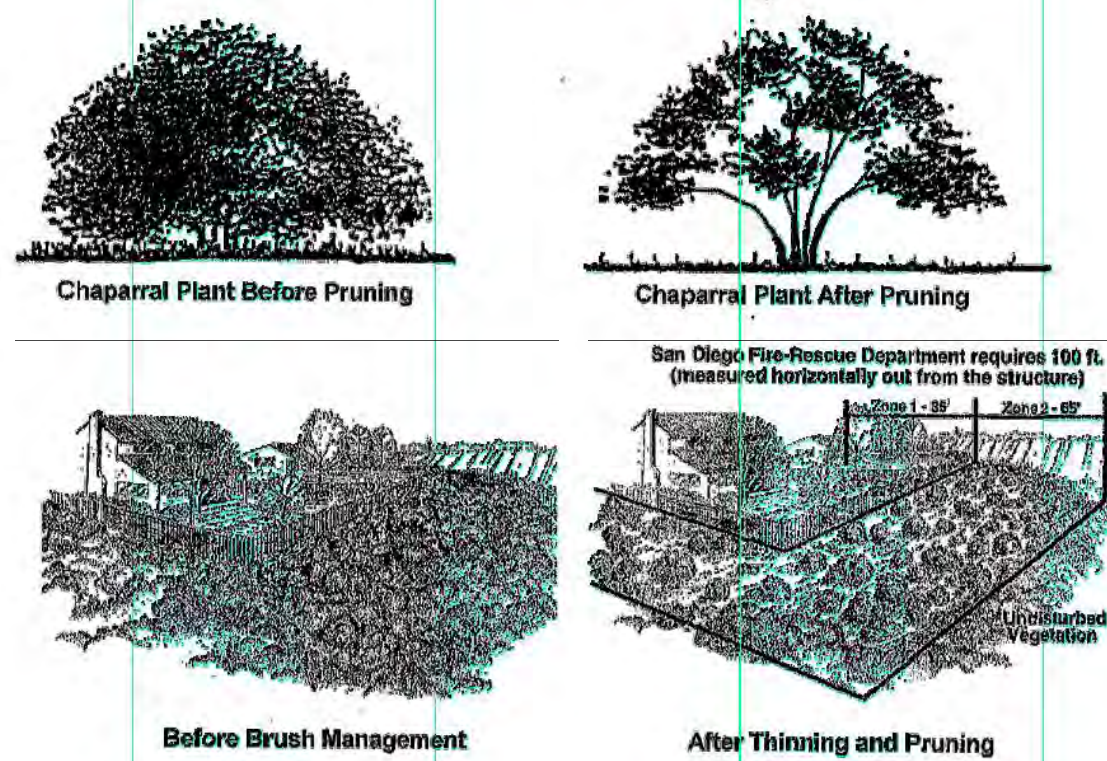
- a) when needed to remove adjacent dead trees;
- b) to achieve tree/shrub vertical requirements;
- c) where deemed a specific liability or fire safety hazard by the Fire Chief; or
- d) on private property when adhering to the horizontal spacing criteria shown in the Tree & Shrub Spacing Chart under Section VI.B.

Certain native plants, such as those found in coastal sage scrub, should be cut back to within 12 inches of the root crown. As sprouting and re-growth occur, these plants can be maintained as low, succulent mounds. Examples include Artemisia californica (California Sagebrush), Salvia mellifera (Black Sage), Adenostoma fasciculatum (Chamise) and Eriogonum fasciculatum (Buckwheat).

PLAN VIEW



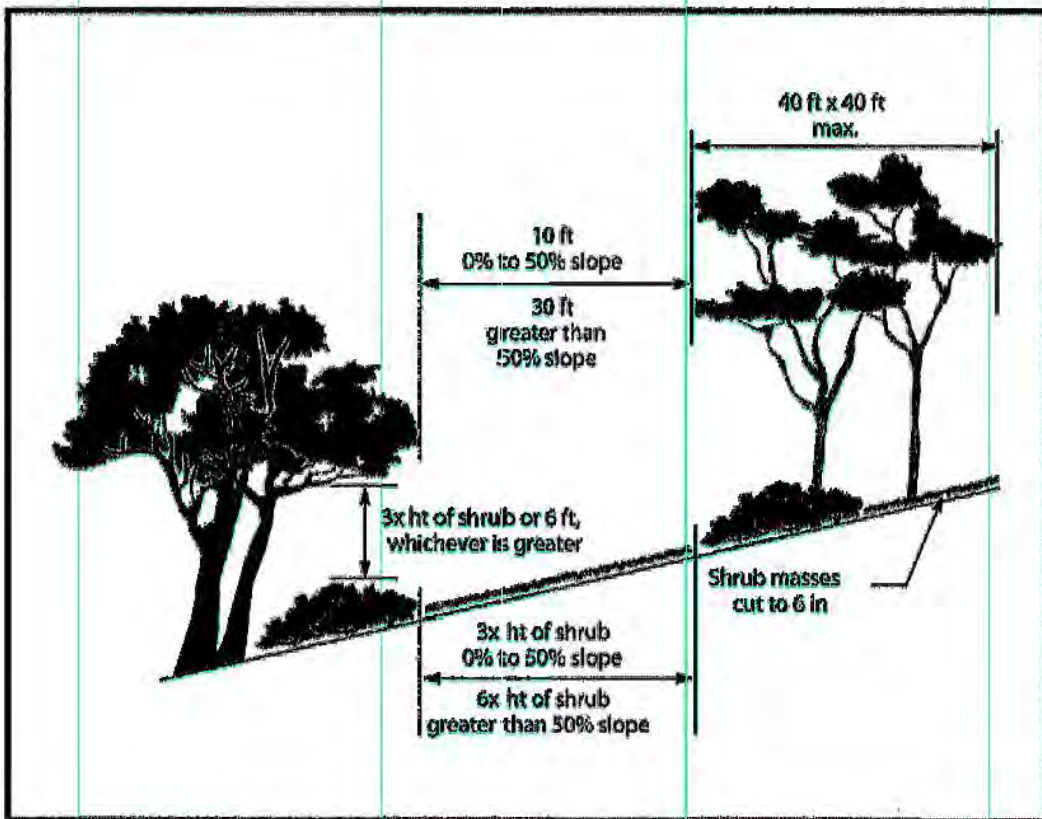
2) Pruning – After thinning of the native/naturalized vegetation, the fuel load should be further reduced by pruning the plants that have not been removed. While pruning individual plants is not feasible in coastal sage scrub, it is very effective for many hard chaparral species, such as Ceanothus (Wild Lilac), Heteromeles (Toyon), Rhus (Leonade Berry, Sugarbush), and Rhamnus (Coffeeberry, Redberry). These plants can be shaped into attractive, fire safe specimens by pruning dead and excessively twiggy growth. The figure below illustrates pruning of native shrubs. Note that the limbs touching the ground have been removed, and that a large volume of material has been taken from the canopy. The limbs that remain should be those with young, vigorous shoots.



B. Thinning and Pruning, Trees [Landscape Standards §3.2-1.03, 1.05] – Trees are allowed within the defensible space, provided the horizontal and vertical distance between trees and shrubs masses complies with required spacing for the slope gradient shown in the following Tree and Shrub Spacing Chart:

Tree & Shrub Spacing Chart		
Trees	Minimum horizontal space	
	From edge of one tree canopy spread (max. 48-ft x 48-ft) to the edge of the next	Spacing
	Slope	
	0% to 30% (2:1)	10 feet
Shrubs	Minimum horizontal space between edges of shrub	
	Slope	Spacing
	0% to 30% (2:1)	3 times the height of the shrub mass
	Greater than 30% (2:1)	6 times the height of the shrub mass
Vertical Space	Minimum vertical space between top of shrub and bottom of lower tree branches:	
	3 times the height of the shrub mass or 6 feet, whichever is greater	

- a. Trees greater than 3 inches dbh located in Eucalyptus Woodland areas are exempt from the minimum horizontal tree spacing requirement.
- b. Indigenous, native trees in all areas are exempt from the minimum horizontal tree spacing requirement.



Vertical clearance between trees and shrubs can be created by pruning up the tree canopy, reducing height of the shrubs, or a combination thereof. Canopies of existing trees that extend to within 10 feet of any structure shall be pruned to maintain a minimum horizontal and vertical clearance of 10 feet. Portions of tree canopies that extend within 10 feet of the outlet of a chimney shall be pruned to maintain a minimum horizontal and vertical clearance of 10 feet.

BRUSH MANAGEMENT PROGRAM [SDMC 142.0412]

BRUSH MANAGEMENT ZONES 1 AND 2 HAVE BEEN PROVIDED PER LDC SECTION 142.0412. MAINTENANCE AND IMPLEMENTATION OF BOTH ZONES SHALL BE AS DESCRIBED IN THE LANDSCAPE DEVELOPMENT CODE SECTION 142.0412 AND AS LISTED BELOW. LONG TERM MAINTENANCE AND MONITORING OF THE BRUSH MANAGEMENT ZONES SHALL BE THE RESPONSIBILITY OF THE OWNER. THINNING AND PRUNING SHALL BE PERFORMED ANNUALLY BY THE OWNER.

THE WIDTHS OF ZONES ONE AND TWO HAVE BEEN ALTERED FOR ALTERNATIVE COMPLIANCE. SEE BRUSH MANAGEMENT PLAN FOR DETAILED INFORMATION.

BRUSH MANAGEMENT REQUIREMENTS [SDMC 142.0412]

ZONE ONE REQUIREMENTS

- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
- PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE. REFER TO PLANT MATERIAL LEGEND AT LEFT FOR PLANT MATERIAL WITHIN THE BRUSH MANAGEMENT ZONES.
- TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - a. WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - b. WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.

- ZONE ONE IRRIGATION OVER SPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

ZONE TWO REQUIREMENTS

- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 18 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
- WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE CUT AND CLEARED SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - a. ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTANT. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - b. NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 2 FEET. SINGLE SPECIMENS OF FIRE-RESISTANT NATIVE TREES MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - c. ALL NEW ZONE TWO PLANTINGS SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRA AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - d. WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
- ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
- EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

SECTION III - LANDSCAPE STANDARDS MANUAL [PAGES 27-28]

SECTION III: BRUSH MANAGEMENT

3-1 BRUSH MANAGEMENT – DESCRIPTION

Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT - REQUIREMENTS

3.2-1 Basic requirements – All Zones

- 3.2-1.01 For zone two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine, and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.

3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).

3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).

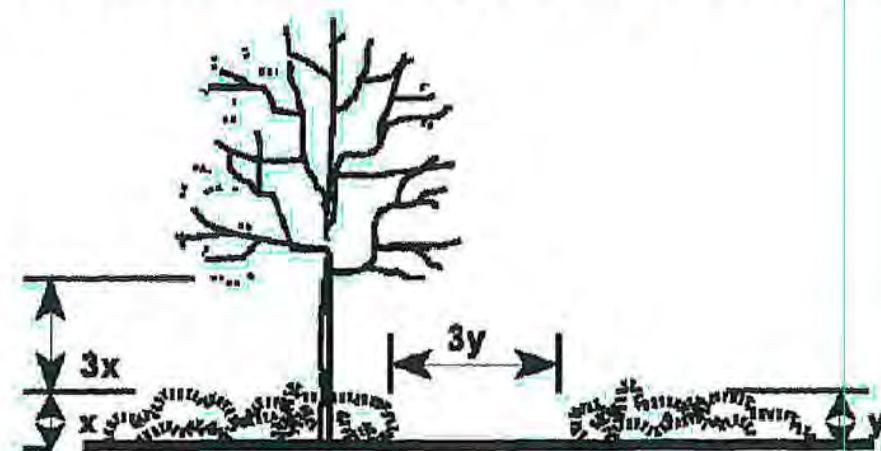
3.2-2 Zone 1 Requirements - All Structures

- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
- 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3.2-2.03 Maintain all plantings in a succulent condition.
- 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.

3.2-3 Zone 2 Requirements – All Structures

3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.

FIGURE 3-1
PRUNING TREES TO PROVIDE CLEARANCE FOR BRUSH MANAGEMENT



ATTACHMENT 22
THE PRESERVE AT
TORREY HIGHLANDS

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Gensler

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520



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(619) 325-1990
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Issue Date & Issue Description By Check

2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP RESUBMITTAL		
2015-04-04	SDP RESUBMITTAL		
2017-03-15	SDP RESUBMITTAL		
2017-11-20	SDP RESUBMITTAL		
2018-06-08	SDP RESUBMITTAL		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

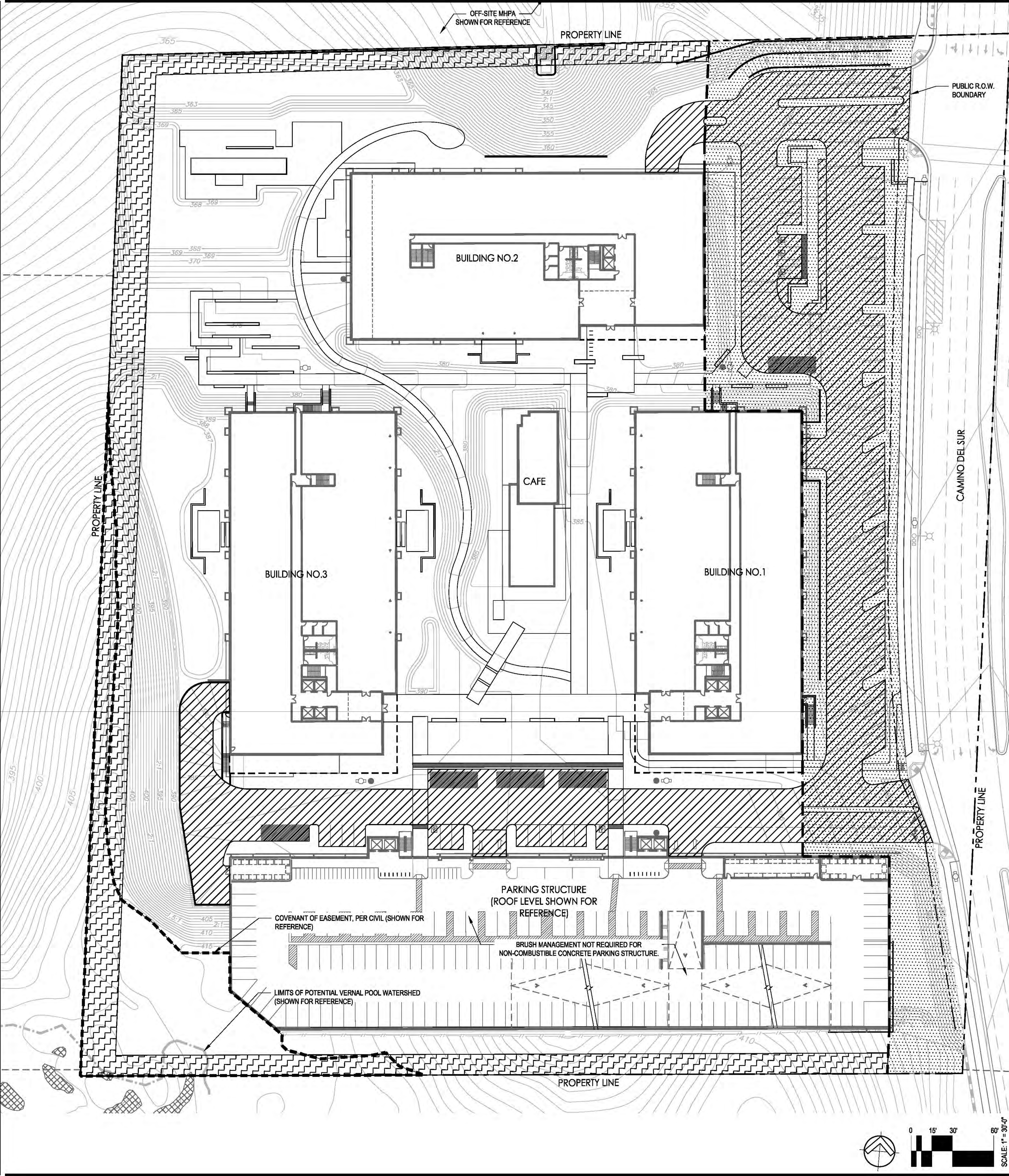
GL Project Number
15060

Description
BRUSH MANAGEMENT NOTES

Scale
As Indicated

L1.5

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LANDSCAPE CALCULATIONS DIAGRAM LEGEND

STREET WALL LINE

STREET YARD AREA

VEHICULAR USE AREA (OUTSIDE OF STREET YARD)

VEHICULAR USE AREA (INSIDE OF STREET YARD)

REMAINING YARD AREA

STREET TREE PLANTING

SECTION 142.0409 OF THE SD MUNICIPAL CODE REQUIRES "ONE 24-INCH BOX TREE FOR EVERY 30 FEET OF STREET FRONTAGE."

TOTAL STREET FRONTAGE = 731 LINEAR FEET
NUMBER OF TREES REQUIRED = (24) 24" BOX TREES
NUMBER OF TREES PROVIDED = (24) 24" BOX TREES

City of San Diego
Development Services
1222 First Ave., MS-501
San Diego, CA 92101-4154
(619) 445-5000

Landscape Calculations Worksheet

Industrial Development in RM and C Zones Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD

Industrial and Commercial Development (except Auto Service Stations; see below):		
Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 70,719 sq. ft. x 25% =	17,680 sq. ft.	27,185 sq. ft.
17,680 sq. ft.	27,185 sq. ft.	9,505 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided
Total Area 70,719 sq. ft. x 0.05 =	3,536 points	3,830 points
3,536 points	3,830 points	294 points

**Bamboo is being used to screen the parking structure from the road. Bamboo was selected over a traditional tree because it is a highly effective screen that will soften the parking str. facade, therefore it has been counted as a 15 gallon tree for 10 pts each. Auto Service Stations Only*

Planting Area Required [142.0405(c)(2)]	Planting Area Provided	Excess Area Provided
Total Area sq. ft. x 15% =	N/A	sq. ft.

Plant Points Required [142.0405(c)(2)]	Plant Points Provided	Excess Points Provided
Total Area sq. ft. x 0.03 =	N/A	points

Note: All required Street Yard planting areas located outside the Vehicular Use Area (VUA) except for auto service stations may consist of hardscape or unattached unit pavers, excluding the minimum area required for trees. [142.0405(c)(1)]

REMAINING YARD

Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area 33,080 sq. ft. x 30% =	9,924 sq. ft.	32,090 sq. ft.
9,924 sq. ft.	32,090 sq. ft.	22,166 sq. ft.

Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area 33,080 sq. ft. x 0.05 =	1,654 points	875 points
1,654 points	875 points	-779 points

**The Remaining Yard on this site presents a unique condition as it is directly adjacent to MHPA land for its entire extent, and overlaps with portions of the Covenant of Easement. In an effort to minimize impact to the natural environment, our landscape plans do not show any replacement of existing vegetation beyond the limits of grading. As a result, 45% of the remaining yard will consist of existing vegetation, protected in place. Where new planting does occur within the Remaining Yard, it is serving as a "buffer zone" in which high-density planting would not be appropriate. Due to this unique condition, we feel that it is appropriate to have a reduced point total for Remaining Yard. The current plan achieves 53% of the typical plant points required.*

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San Diego, CA 92101-4154
(619) 445-5000

Landscape Calculations Worksheet

Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sq ft) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')	Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: sq. ft. x 0.05 =	N/A	points	points

Points achieved through trees (at least half): points

VEHICULAR USE AREA (≥6,000 sq ft) [142.0406 - 142.0407]

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: 36,051 sq. ft. x 0.05 =	1,803 sq. ft.	2,989 sq. ft.
1,803 sq. ft.	2,989 sq. ft.	1,186 sq. ft.
VUA outside Street Yard: 23,478 sq. ft. x 0.03 =	704 sq. ft.	1,306 sq. ft.
704 sq. ft.	1,306 sq. ft.	602 sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: 36,051 sq. ft. x 0.05 =	1,803 points	2,924 points
1,803 points	2,924 points	1,121 points
VUA outside Street Yard: 23,478 sq. ft. x 0.03 =	704 points	748 points
704 points	748 points	44 points

TEMPORARY VEHICULAR USE AREA [142.0408]

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	N/A
N/A	sq. ft.

- Provide planting area between Public Right-of-Way and VUA.
- Plant with evergreen shrubs.
- Shrubs must achieve a minimum height of 30" within 2 years of installation over at least 50% of the required planting area.

ADDITIONAL YARD PLANTING AREA AND POINT REQUIREMENTS

If any of the requirements of Landscape Regulations, Section 142.0405 (a) 1, 2, or 3 apply to your project, provide a written summary explaining how requirements are being met.

ATTACHMENT 22
THE PRESERVE AT
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SAN DIEGO, CA 92129
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Gensler

225 Broadway
Suite 1600
San Diego, CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

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Landscape
Architecture

2605 State Street, Suite B
San Diego, CA 92103
(619) 325-1990
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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP RESUBMITTAL		
2015-04-04	SDP RESUBMITTAL		
2017-03-15	SDP RESUBMITTAL		
2017-11-20	SDP RESUBMITTAL		
2018-06-08	SDP RESUBMITTAL		

Seal/Signature

Project Name
THE PRESERVE AT TORREY HIGHLANDS

GL Project Number
15080

Description
LANDSCAPE DIAGRAM AND CALCULATIONS

Scale
As Indicated

L1.6

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CAMINO DEL SUR NORTH VIEW

2



CAMINO DEL SUR SOUTH ENTRANCE VIEW

1



ARROYO TRAIL COURTYARD VIEW

4



PEDESTRIAN DROP-OFF ZONE VIEW

3

THE PRESERVE AT TORREY HIGHLANDS

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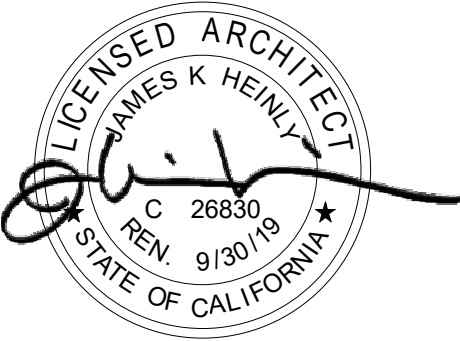
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225 Broadway
Suite 100
San Diego CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

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Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
EXTERIOR PERSPECTIVE VIEWS

Scale

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THE PRESERVE AT TORREY HIGHLANDS

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225 Broadway
Suite 100
San Diego CA 92101
Tel: 619.557.2500
Fax: 619.557.2520

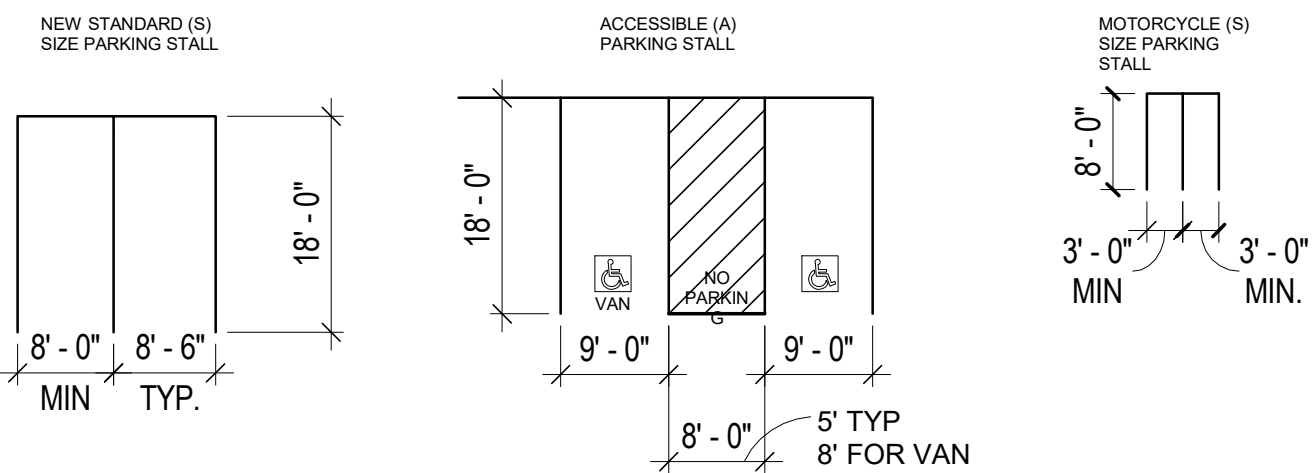
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OVERALL PARCEL PARKING TABULATION				SUBTERRANEAN / STRUCT. PARKING SF / CAR TABULATION	
	STANDARD	ACCESSIBLE	TOTAL	TOTAL SF	SF / CAR
BLDG 1 - SUBTERRANEAN	83	4 (1 VAN)	87	30,000 SF	345
BLDG 2 - SUBTERRANEAN	66	3 (1 VAN)	69	25,000 SF	362
BLDG 3 - SUBTERRANEAN	81	4 (1 VAN)	85	30,000 SF	353
STRUCTURED - 7 ABOVE, 1 BELOW	1,448	30 (5 VAN)	1,478	437,690 SF	297
SURFACE	57	5 (1 VAN)	62		
TOTAL	1,735	46 (9 VAN)	1,781	522,690 SF	305

REQUIRED PARKING RATIO 450,000 SF (3.3 / 1000 GSF) = 1,485 SPACES
PROVIDED PARKING RATIO 450,000 SF (3.96 / 1000 GSF) = 1,781 SPACES

OVERALL PARKING RATIOS		
TOTAL PARKING - 1,781 SPACES	REQUIRED	PROVIDED
CARPPOOL & F.E.V SPACES (10%)	179	179
MOTORCYCLE SPACES (2%)	36	36
BIKE LOCKERS - SHORT-TERM (5%)	90	90
BIKE LOCKERS - LONG-TERM (5%)	90	115
LOADING SPACES (0.1% / 1000 SF)	5	5
*NOTE: SEE SHEET A02.14 FOR SHORT & LONG-TERM BIKE TABULATION		

PROPOSED PARKING DIM.



LEGEND

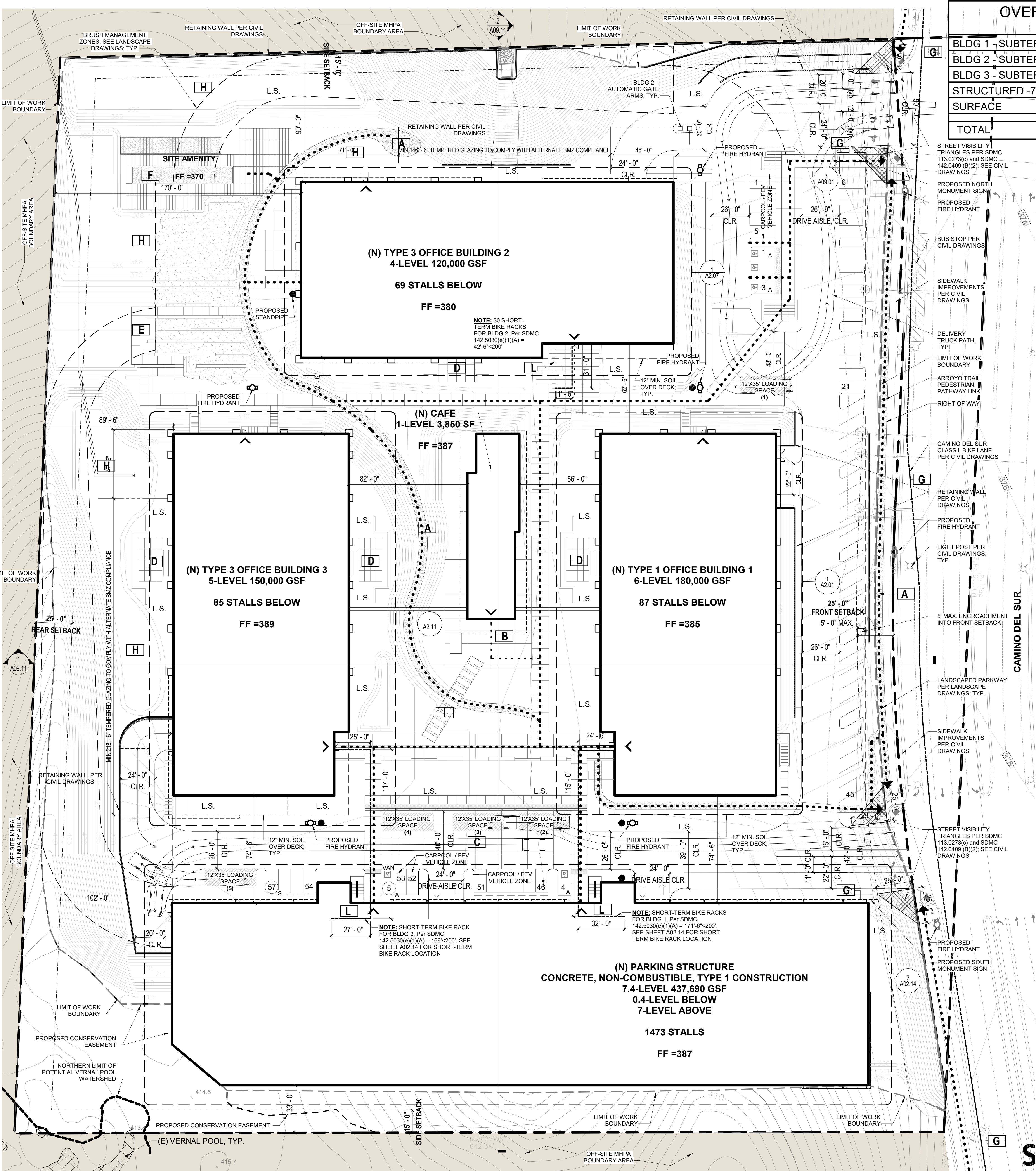
- PROPERTY LINE
- SETBACK
- LIMIT OF WORK
- PATH OF TRAVEL / ACCESSIBLE PATH
- CAMINO DEL SUR BIKE PATH
- INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ACCESSIBLE PARKING AND TOW AWAY SIGN
- L.S. LANDSCAPED AREA
- TOTAL NUMBER OF STALLS
- TYPE DESIGNATOR
- BUILDING EXIT

KEYNOTES

- A ARROYO PATH
- B CAFE PATIO W/ OUTDOOR DINING
- C PEDESTRIAN DROP-OFF ZONE
- D OUTDOOR COLLABORATION SPACE
- E AMPHITHEATER SPACE WITH STAGGERED SEAT WALLS
- F OUTDOOR GATHERING SPACE W/ BOCCO BALL COURT
- G PROJECT PROPOSED SIGNAGE
- H WATER QUALITY ZONES
- I PEDESTRIAN WALKWAY
- J WATER FEATURES
- K CAMINO DEL SUR BIKE PATH
- L 90 SHORT-TERM BIKE RACKS

SITE PLAN NOTES

- ARROYO PEDESTRIAN TRAIL WILL DEAD END AND NOT BE CONNECTING TO CAMINO DEL SUR CONNECTION TRAILS UNTIL FURTHER DEVELOPMENT HAS BEEN IDENTIFIED AND CONFIRMED.
- ALL DOORS SHALL BE WELL MAINTAINED AND HAVE STRONG SPRINGS THAT CLOSE PROPERLY AT ALL TIMES. ALL BUILDING ENTRY AND EXITS SHALL BE ACCOMPANIED WITH PROPER EMERGENCY SIGNAGE, CAMERA, AND ALARM SYSTEM.
- ALL BUILDING STAIRWELL ENTRY AND EXITS SHALL BE KEPT UNLOCKED DURING NORMAL OPERATING HOURS IN CASE OF AN EMERGENCY.
- CAFE IS ACCESSORY TO THE PRIMARY OFFICE USES ON SITE ONLY AND WILL NOT BE OPEN TO THE GENERAL PUBLIC.
- BUILDING ADDRESS NUMBER SHALL BE VISABLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE DIRECTOR OF THE PUBLIC UTILITIES DEPARTMENT AND THE CITY ENGINEER.
- LIGHTING SHALL BE DIRECTED AWAY FROM ALL NATURAL HABITAT, RUNOFF FROM PARKING AREAS SHALL NOT BE DISCHARGED DIRECTLY INTO THE MHPA, AND INVASIVE SPECIES SHALL NOT BE PLANTED ADJACENT TO THE MHPA.
- NO OBJECT HIGHER THAN 36 INCHES ARE PROPOSED IN VISIBILITY AREAS.
- IF VISIBILITY AREAS LIES WITHIN THE PUBLIC RIGH-OF-WAY, NO VEGETATION OTHER THAN TREES IN THESE AREAS WILL EXCEED 24 INCHES IN HEIGHT.
- TRASH & DELIVERY TRUCKS WILL USE THE SAME CIRCULATION AS THE FIRE TRUCKS ALONG THE FIRE LANE. TRASH BINS WITHIN THE STRUCTURES WILL BE WHEELED OUT INDIVIDUALLY BEFORE BEING PICKED UP.
- PARKING STRUCTURE HAS BEEN DESIGNATED AS TYPE 1 CONSTRUCTION. THE ENTIRE STRUCTURE WILL BE CONCRETE AND METAL, AND WILL NOT BE COMBUSTIBLE.
- ALL EXISTING WETLANDS AND VERNAL POOLS SHALL BE AVOIDED IN ITS ENTIRETY.
- PARKING STRUCTURE HAS BEEN DESIGNATED AS TYPE 1 CONSTRUCTION. THE ENTIRE STRUCTURE WILL BE CONCRETE AND METAL, AND WILL NOT BE COMBUSTIBLE.
- THE 3,850 SF CAFE WILL BE AN ACCESSORY TO THE PRIMARY OFFICE USES ON SITE ONLY. THE CAFE WILL NOT BE OPEN TO THE GENERAL PUBLIC AT ANY TIME. THE CAFE SHALL COMPLY TO MEET ALL SDMC ACCESSORY USE STANDARDS.



Site Plan

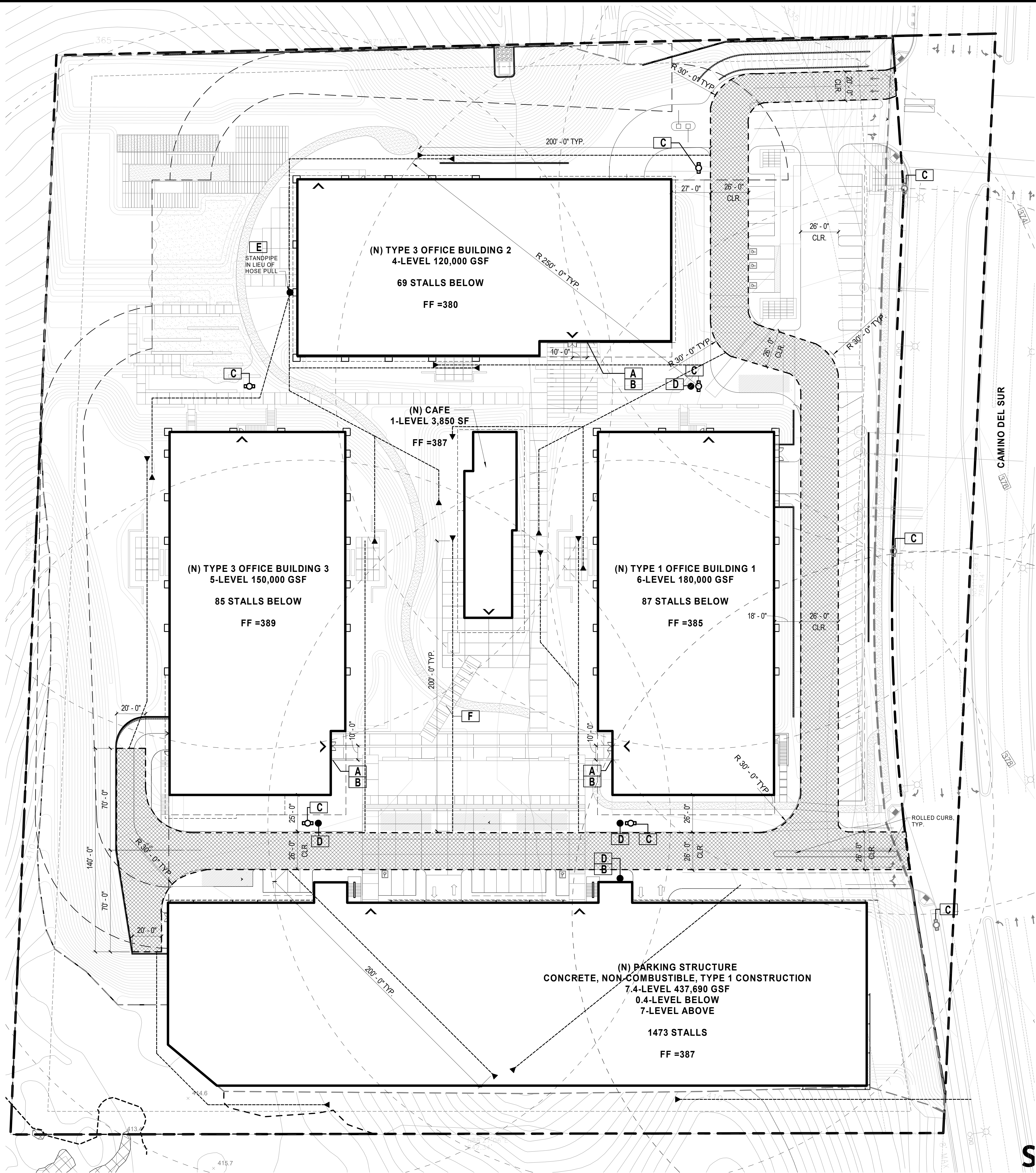
SCALE: 1" = 30'-0"

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FIRE ACCESS PLAN
SCALE: 1" = 30'-0"

FIRE ACCESS PLAN NOTES

- ALL DOORS AT STAIRWAYS EXISTING DIRECTLY TO EXTERIOR OF BUILDING SHALL COMPLY WITH FIRE DEPARTMENT ACCESS REQUIREMENTS.
- STAIRWAYS EXISTING DIRECTLY TO THE EXTERIOR OF THE BUILDING FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH A MEANS OF EMERGENCY ENTRY FOR FIRE DEPARTMENT ACCESS.
- THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING. DSD LIFE SAFETY REQUIRES FDC/PIV 40 FT. FROM BUILDING. IF CLEARANCE CANNOT BE OBTAINED FDC ON BLDG. 20' FROM OPENINGS. < 20 FT. 1 HR RATED OPENINGS.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- PER CBC SEC. 3002.4A - GENERAL STRETCHER REQUIREMENTS - ALL BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS.
- PER CFC 504.3 - NEW BUILDINGS FOUR OR MORE STORIES ABOVE GRADE PLANE, EXCEPT THOSE WITH A ROOF SLOPE GREATER THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL SHALL BE PROVIDED WITH A STAIRWAY TO THE ROOF.
- PER CFC APPENDIX B, SECTION B104.3; THE FIRE-FLOW CALCULATION AREA OF BUILDINGS CONSTRUCTED OF TYPE 1A AND TYPE 1B CONSTRUCTION SHALL BE THE AREA OF THE THREE LARGEST SUCCESSIVE FLOORS. FIRE-FLOW CALCULATION AREA FOR OPEN PARKING GARAGES SHALL BE DETERMINED BY THE AREA OF THE LARGEST FLOOR.
- STANDPIPE IN LIEU OF HOSE PULL FOR BUILDING 2; REFER TO SITE PLAN FOR LOCATION AND HOSE PULL COVERAGE.

LEGEND

- PROPERTY LINE
- SETBACK
- HOSE PULLS, 200' MAX.
- HYDRANT SPACING PER FIRE-FLOW REQ.
- FIRELANE
- INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ACCESSIBLE PARKING AND TOW AWAY SIGN
- L.S. LANDSCAPED AREA
- TOTAL NUMBER OF STALLS TYPE DESIGNATOR
S-STANDARD
A-ACCESSIBLE
E-EXISTING
- BUILDING EXIT

KEYNOTES

- A KNOX BOX
- B ALARM BELL
- C FIRE HYDRANTS
- D FDC/PIV
- E STANDPIPE
- F WALKWAY

THE PRESERVE AT TORREY HIGHLANDS
ATTACHMENT 22

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

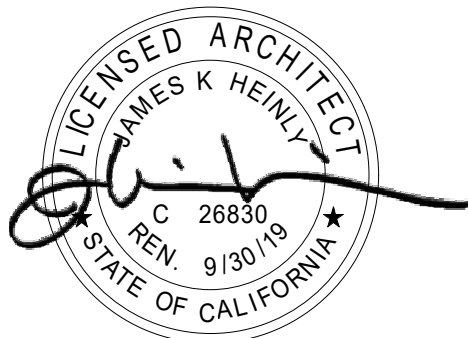
APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		
2018-06-12	SDP SUBMITTAL #6		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
FIRE ACCESS PLAN

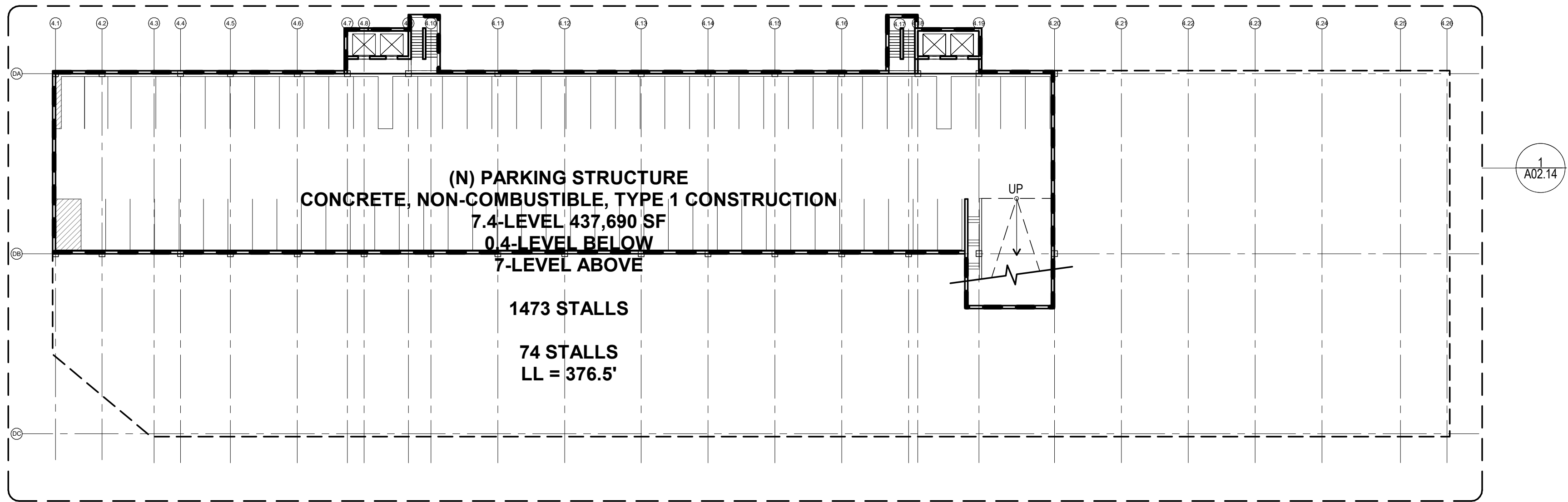
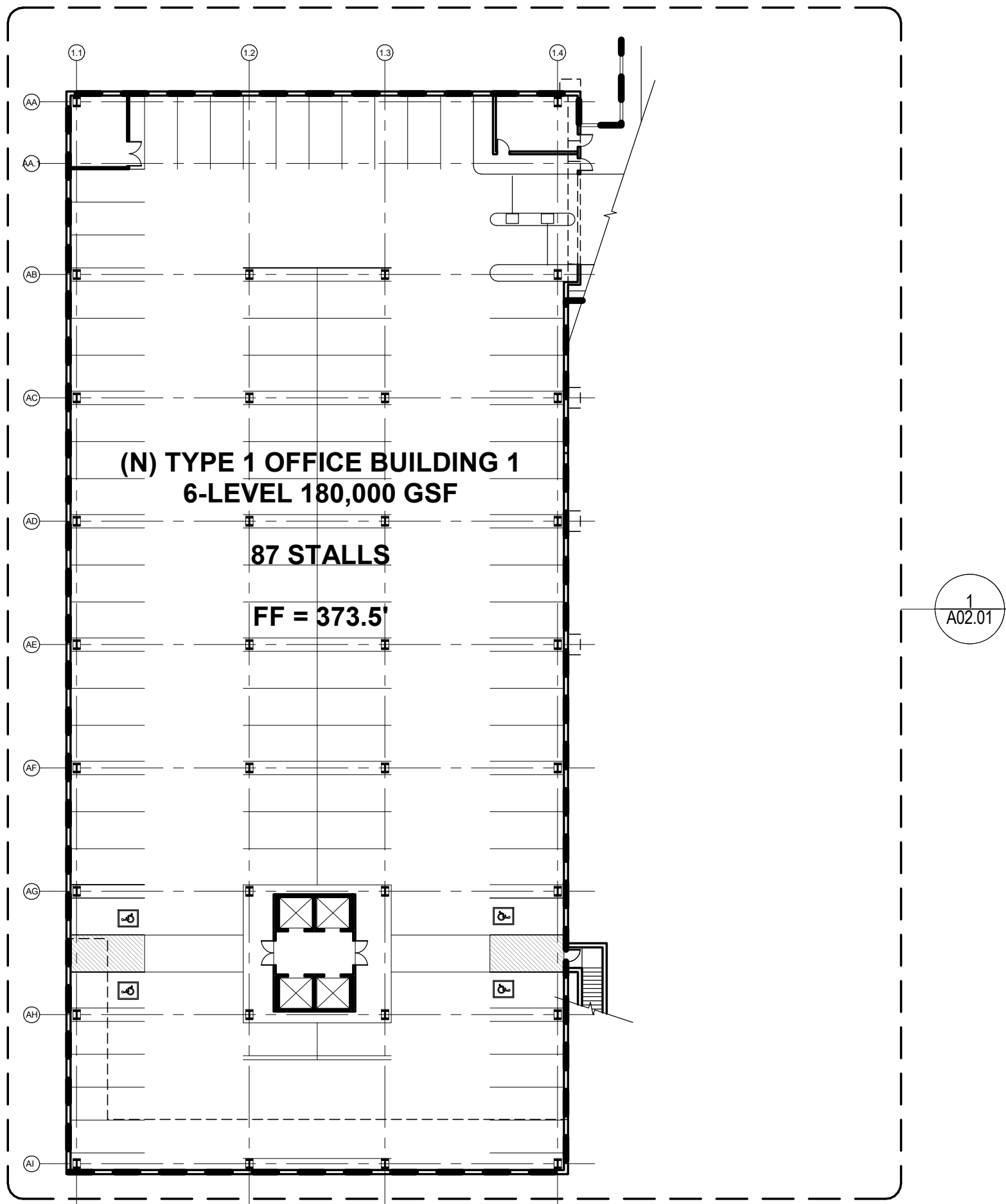
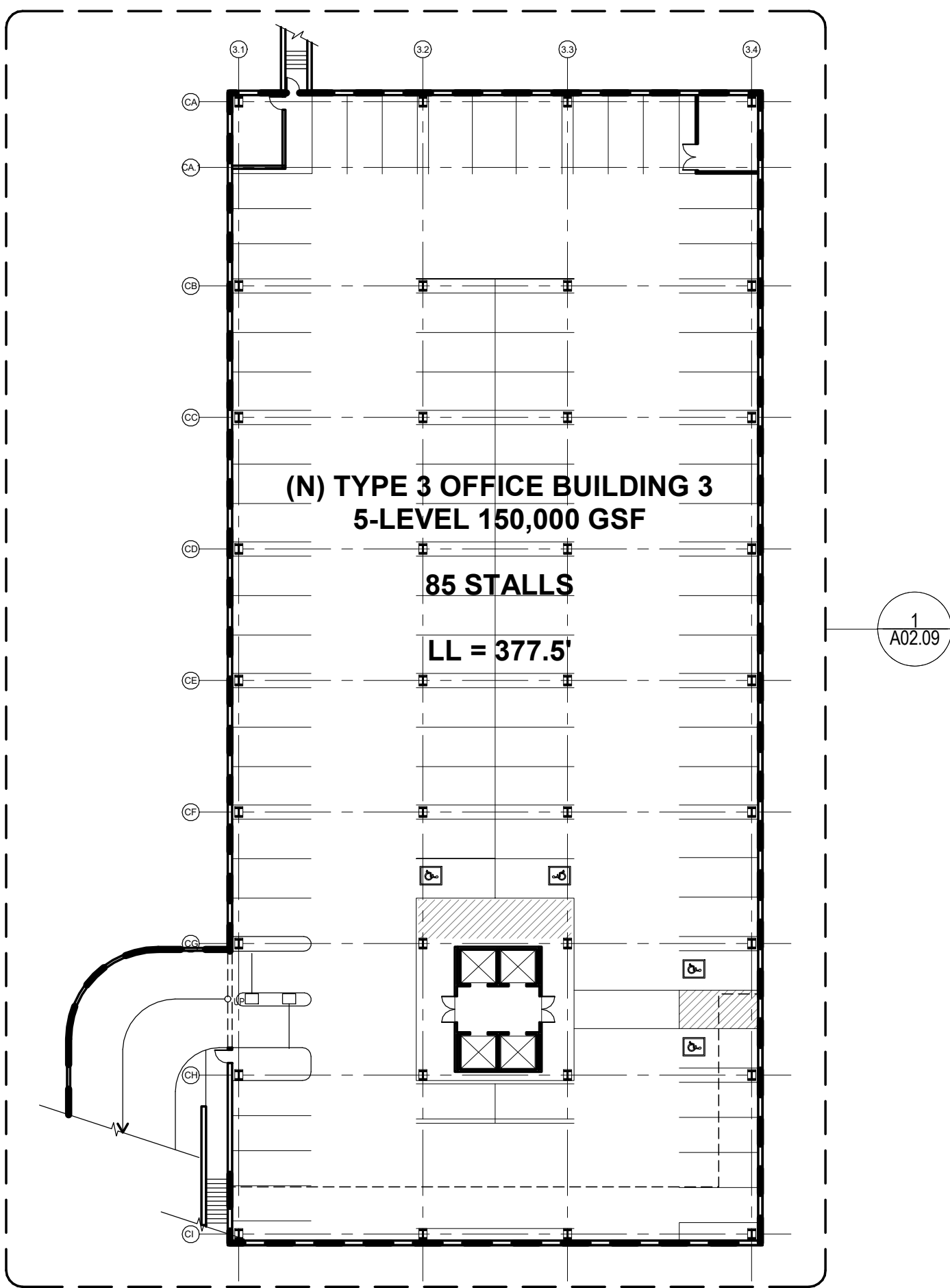
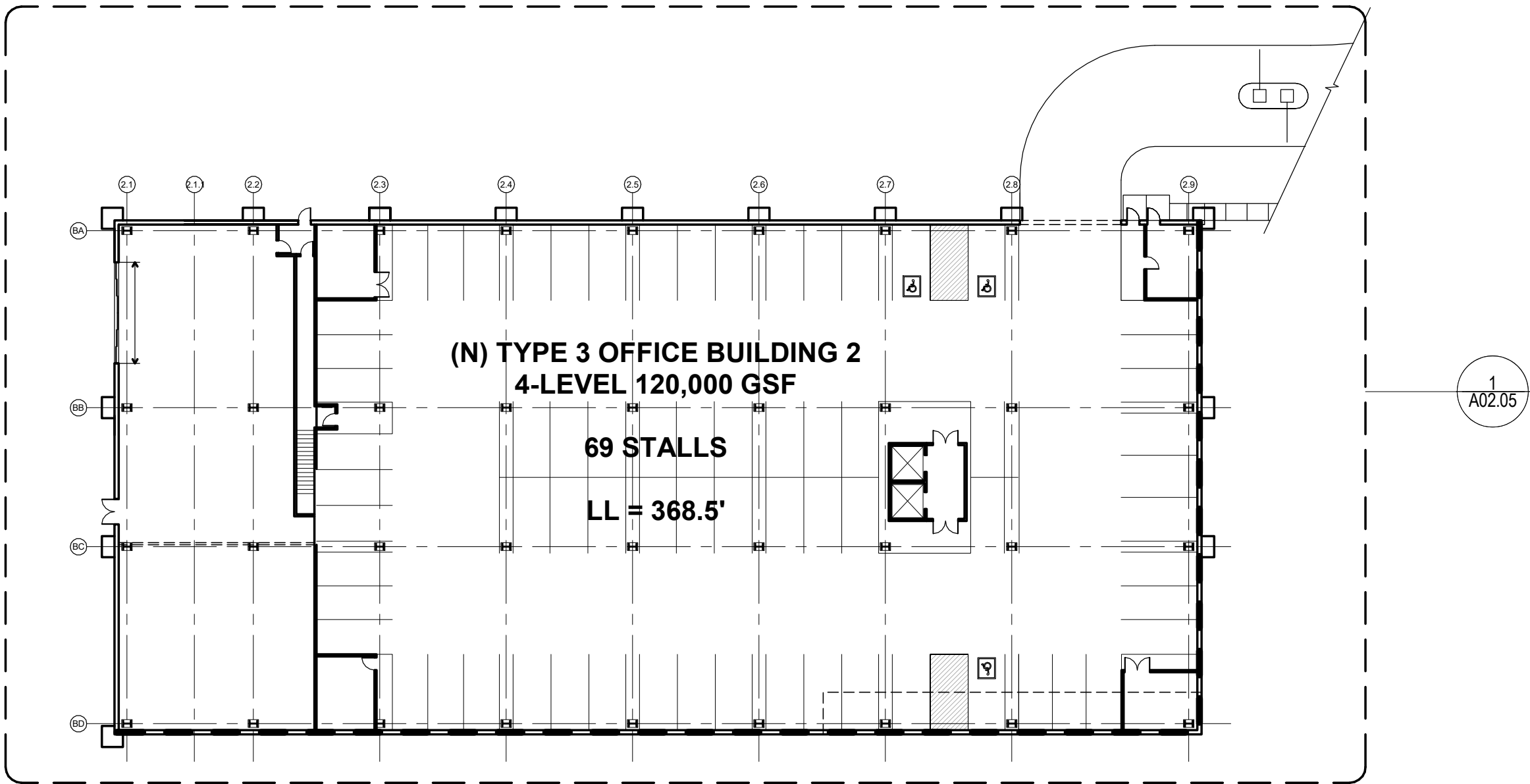
Scale
As indicated

A00.51

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SUBTERRANEAN PARKING PLAN

SCALE: 1" = 30'-0"

THE PRESERVE AT
TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

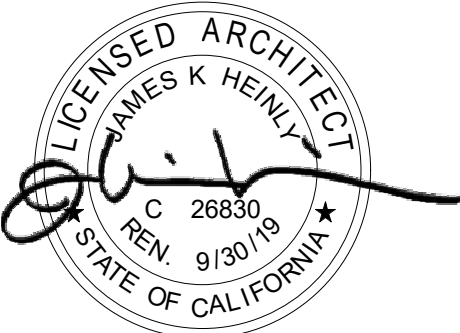
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
SUBTERRANEAN PARKING PLAN

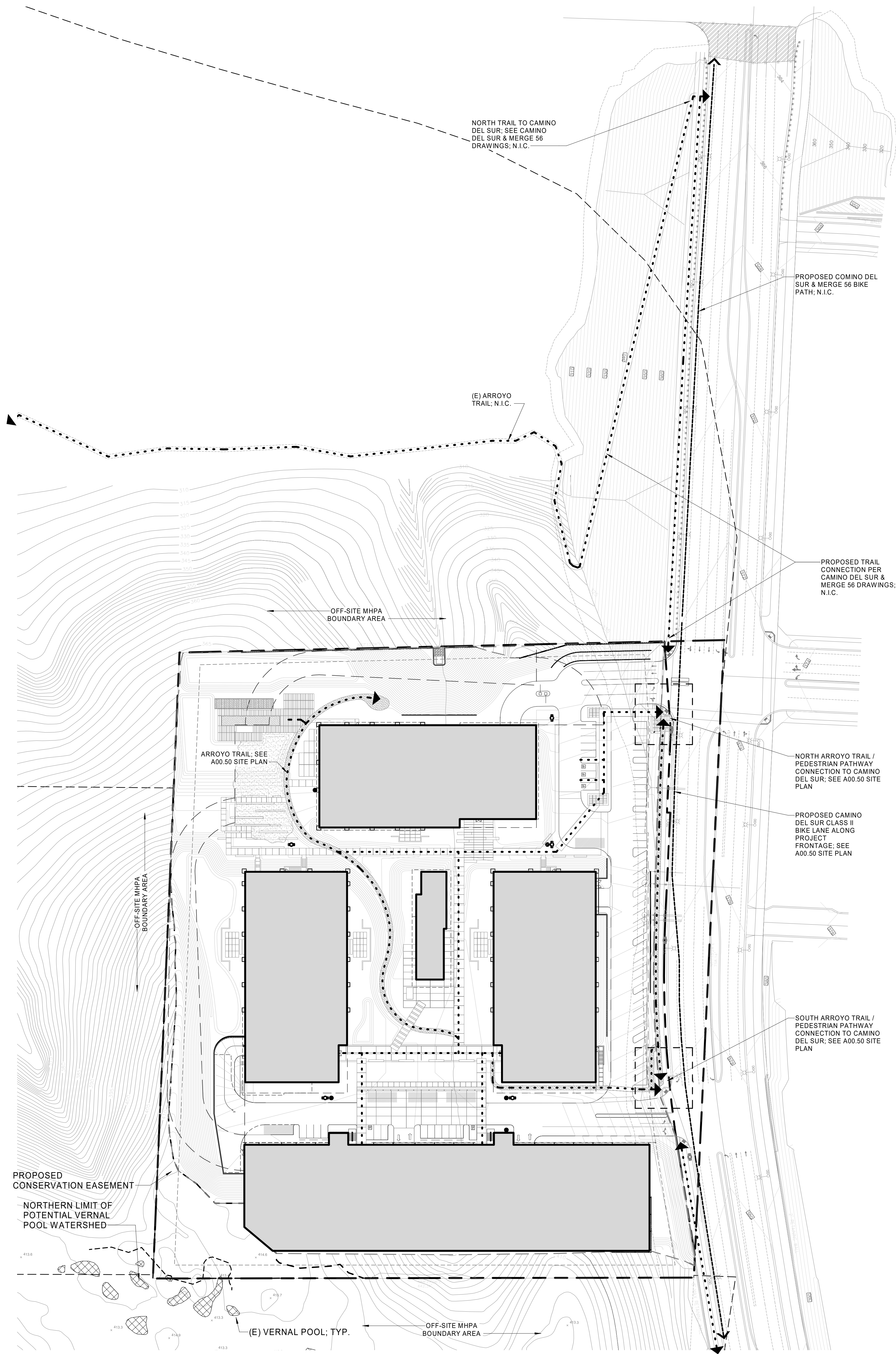
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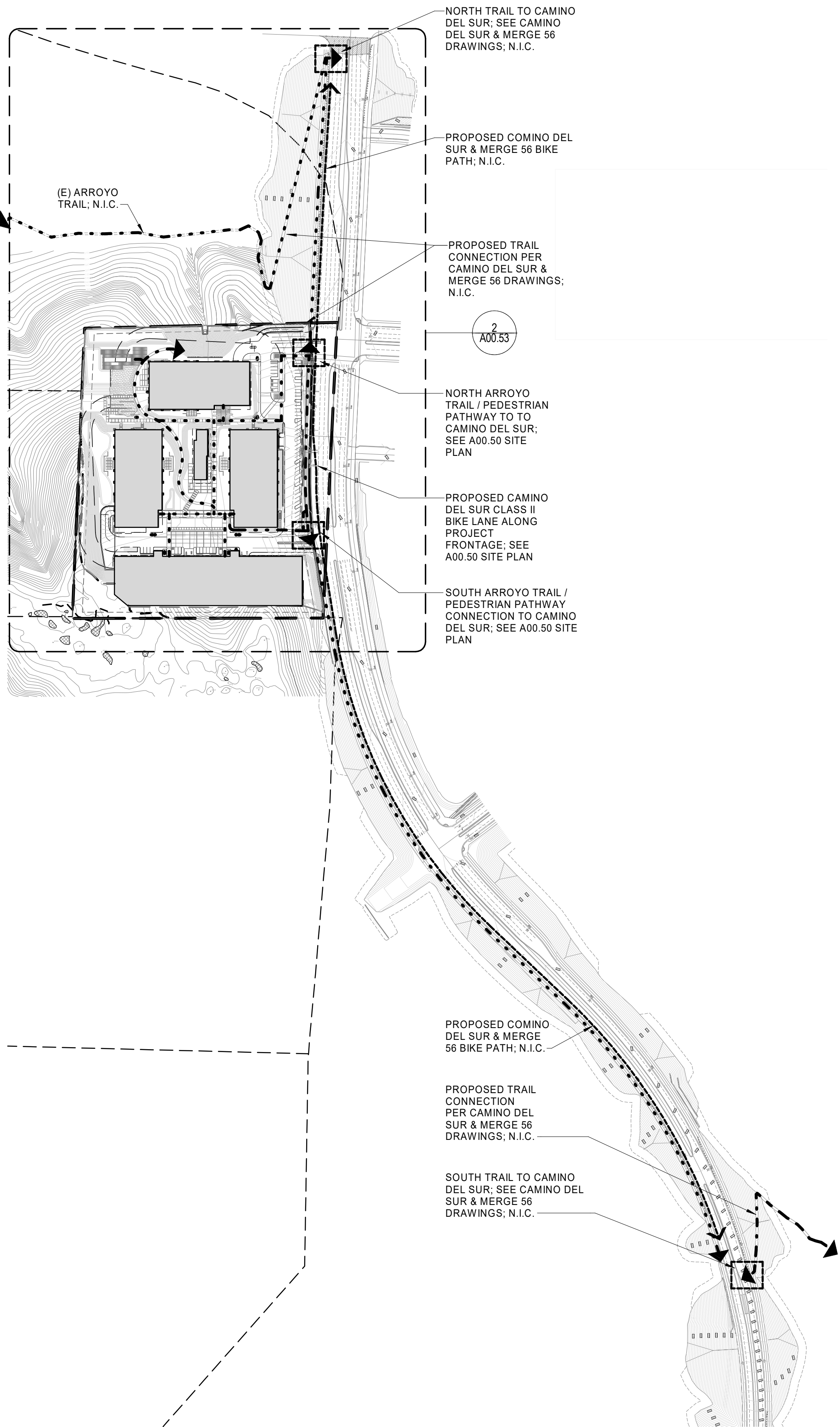
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ENLARGED TRAIL CONNECTION PLAN
SCALE: 1" = 60'-0"



TRAIL CONNECTION KEY PLAN
SCALE: 1" = 200'-0"

TRAIL CONNECTION PLAN NOTES

1. ARROYO PEDESTRIAN PATHWAY WILL NOT CONNECT UNTIL FURTHER DEVELOPMENT OF THE CAMINO DEL SUR TRAIL LOCATION IS IDENTIFIED AND CONFIRMED. ARROYO PATHWAY ON-SITE WILL DEAD END ON THE NORTHERN SIDE OF THE SITE; U.N.O.
2. ALL CAMINO DEL SUR BIKE LANES WILL BE BUILT ON THE IMPROVEMENT PLANS THAT BUILD CAMINO DEL SUR; THIS WILL WORK IN CORRISPONDANCE WITH THE MERGE 56 PROJECT SUBMITTAL; BIKE LANES UNDER SEPERATE PERMIT.

LEGEND

- PROPERTY LINE
- - - - - SETBACK
- - - - - LIMIT OF WORK
- ←----- ARROYO TRAIL PATH OF TRAVEL
- ←----- CAMINO DEL SUR BIKE PATH

THE PRESERVE AT TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
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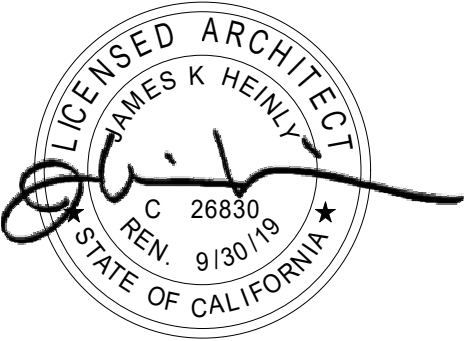
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2017-11-20	SDP SUBMITTAL #5		
2018-06-12	SDP SUBMITTAL #6		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
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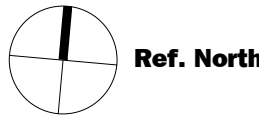
Description
TRAIL CONNECTION PLAN

Scale
As indicated

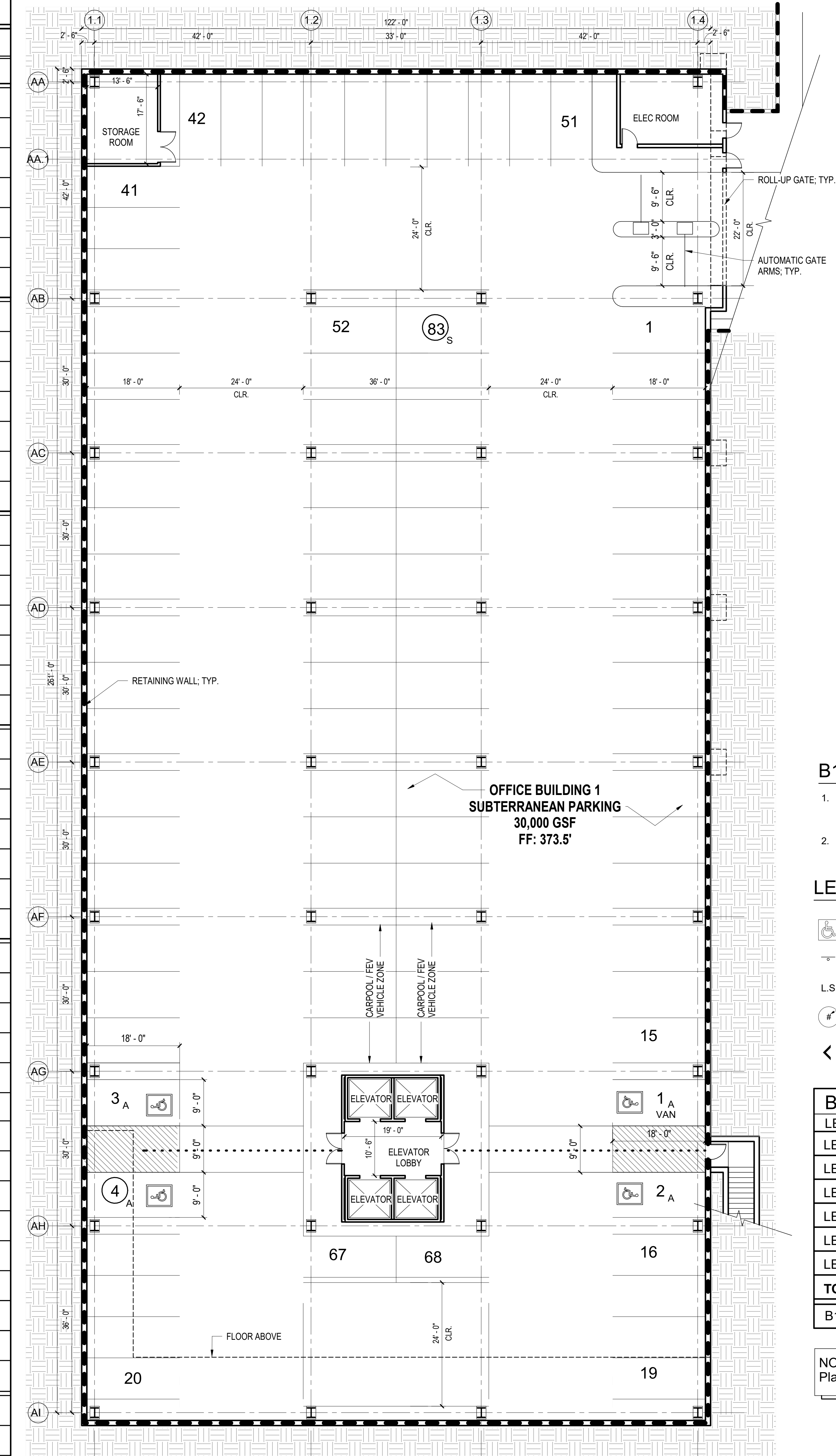
A00.53

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BUILDING FIXTURE UNIT SUMMARY							
BLDG	FIXTURE	TYPE	QTY	WATER		WASTE	
				FU	TOTAL	FU	TOTAL
OFFICE BLDG 1 (6-LEVELS)	LAVATORY	-	36	-	-	-	-
	MOP SINK	-	6	-	-	-	-
	WATER CLOSET	FLUSH VALVE	36	-	-	-	-
	DRINKING FOUNTAIN	-	12	-	-	-	-
	HOSE BIBB	-	-	-	-	-	-
	URINAL	FLUSH VALVE	12	-	-	-	-
	SHOWERS	-	0	-	-	-	-
OFFICE BLDG 2 (4-LEVELS)	LAVATORY	-	24	-	-	-	-
	MOP SINK	-	4	-	-	-	-
	WATER CLOSET	FLUSH VALVE	24	-	-	-	-
	DRINKING FOUNTAIN	-	8	-	-	-	-
	HOSE BIBB	-	-	-	-	-	-
	URINAL	FLUSH VALVE	8	-	-	-	-
	SHOWERS	-	0	-	-	-	-
OFFICE BLDG 3 (5-LEVELS)	LAVATORY	-	30	-	-	-	-
	MOP SINK	-	5	-	-	-	-
	WATER CLOSET	FLUSH VALVE	30	-	-	-	-
	DRINKING FOUNTAIN	-	10	-	-	-	-
	HOSE BIBB	-	-	-	-	-	-
	URINAL	FLUSH VALVE	10	-	-	-	-
	SHOWERS	-	0	-	-	-	-
FITNESS CENTER (1-LEVEL)	LAVATORY	-	6	-	-	-	-
	MOP SINK	-	1	-	-	-	-
	WATER CLOSET	FLUSH VALVE	4	-	-	-	-
	DRINKING FOUNTAIN	-	4	-	-	-	-
	HOSE BIBB	-	-	-	-	-	-
	URINAL	FLUSH VALVE	2	-	-	-	-
	SHOWERS	-	10	-	-	-	-
CAFE (1-LEVEL)	RESTROOMS	LAVATORY	-	4	-	-	-
		WATER CLOSET	FLUSH VALVE	6	-	-	-
		DRINKING FOUNTAIN	-	2	-	-	-
		HOSE BIBB	-	-	-	-	-
		URINAL	FLUSH VALVE	2	-	-	-
		SHOWERS	-	0	-	-	-
	KITCHEN	MOP SINK	-	1	-	-	-
		HAND SINK	-	7	-	-	-
		PREP SINK	-	3	-	-	-
		DUMP SINK	-	1	-	-	-
		3 COMPARTMENT SINK	-	1	-	-	-
		WAREWASHER	-	1	-	-	-
		WATER STATION	-	1	-	-	-
		SODA DISPENSER	-	1	-	-	-
		ICE MACHINE	-	1	-	-	-
		TOTAL FU			-		-
		TOTAL GPM			-		-



B1 SUB. PARKING NOTES

- PARKING STRUCTURE SHALL REQUIRE ROLL-UP GATE AT ENTRY AND EXITS. GATE SHALL BE OPEN DURING BUSINESS HOURS AT ALL TIMES. NO FOB OR CONTROL GATE WILL BE REQUIRED.
- ALL STALLS @ 8'-6"; U.N.O.

LEGEND

- INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ACCESSIBLE PARKING AND TOW AWAY SIGN
- LANDSCAPED AREA
- TOTAL NUMBER OF STALLS TYPE DESIGNATOR: S-STANDARD, B-ACCESSIBLE, M-MOTORCYCLE, E-ELECTRIC
- BUILDING EXIT

BLDG 1 - GSF TABULATION	
LEVEL DESCRIPTION	TOTAL GSF
LEVEL 1	30,000 GSF
LEVEL 2	30,000 GSF
LEVEL 3	30,000 GSF
LEVEL 4	30,000 GSF
LEVEL 5	30,000 GSF
LEVEL 6	30,000 GSF
TOTAL	180,000 GSF
B1 SUBTERRANEAN	30,000 GSF

NOTE: See Sheet A00.50 Site Plan for Overall Parking Ratio

THE PRESERVE AT TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

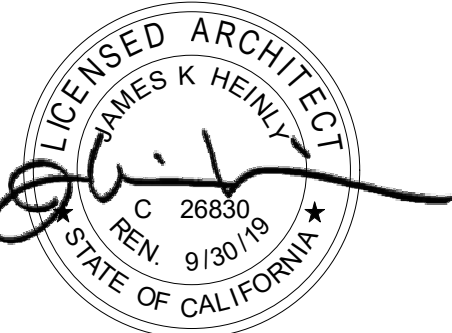
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2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

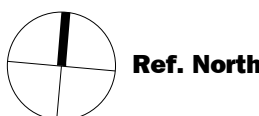
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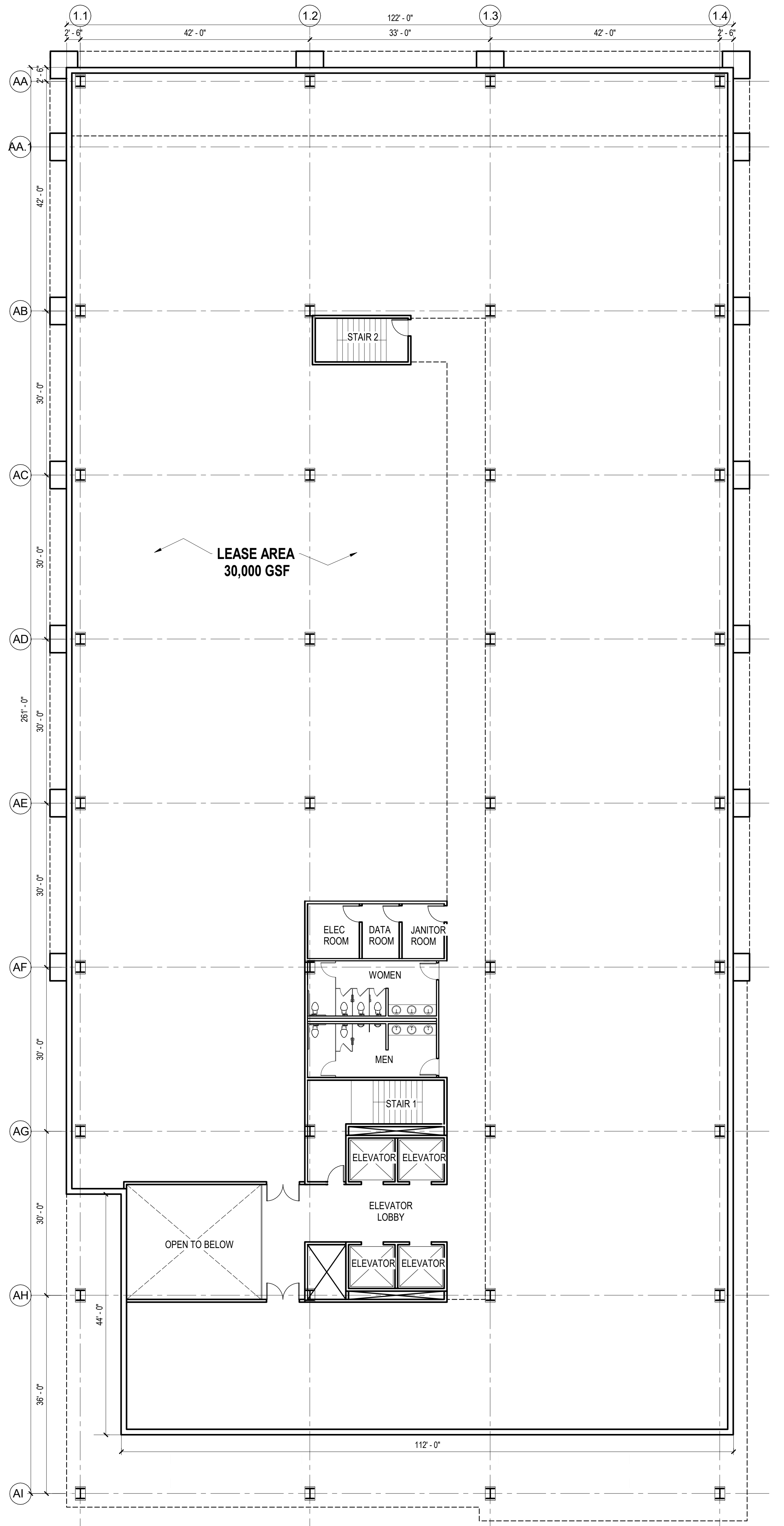
Scale
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A02.01

16 of 43

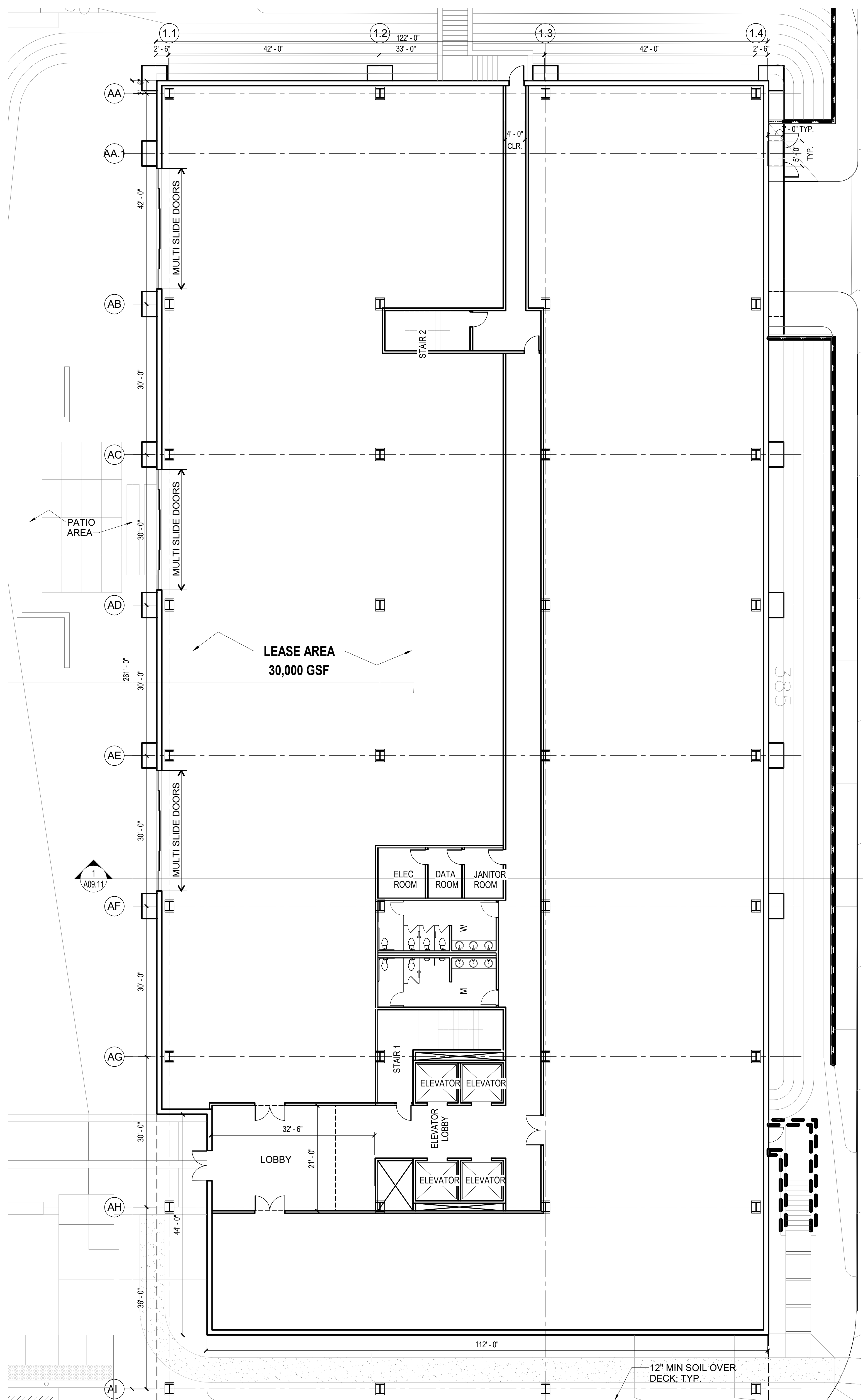
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OFFICE BLDG 1 - CONSTRUCTION PLAN LEVEL 2
SCALE: 3/32" = 1'-0"

2



OFFICE BLDG 1 - CONSTRUCTION PLAN LEVEL 1
SCALE: 3/32" = 1'-0"

1

THE PRESERVE AT
TORREY HIGHLANDS

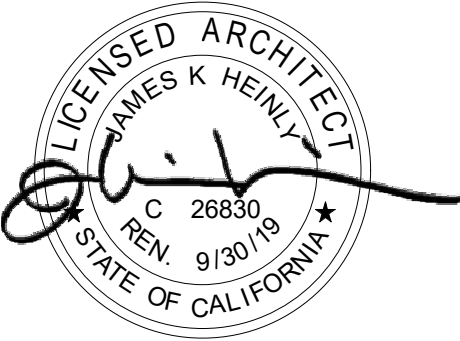
SEQ STATE ROUTE 56 & CAMINO DEL SUR
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature

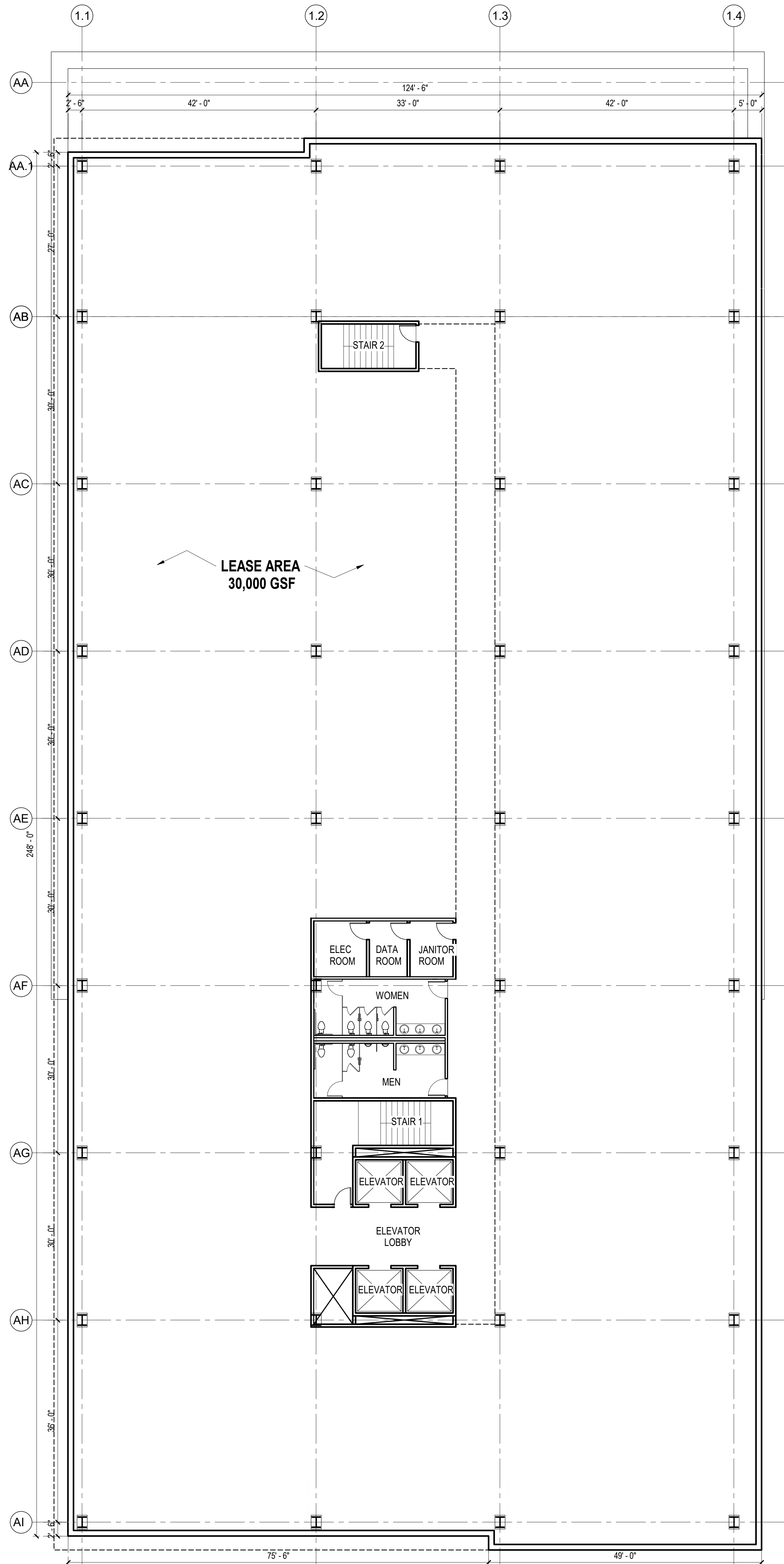


Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
OFFICE BLDG 1 - FLOOR PLANS

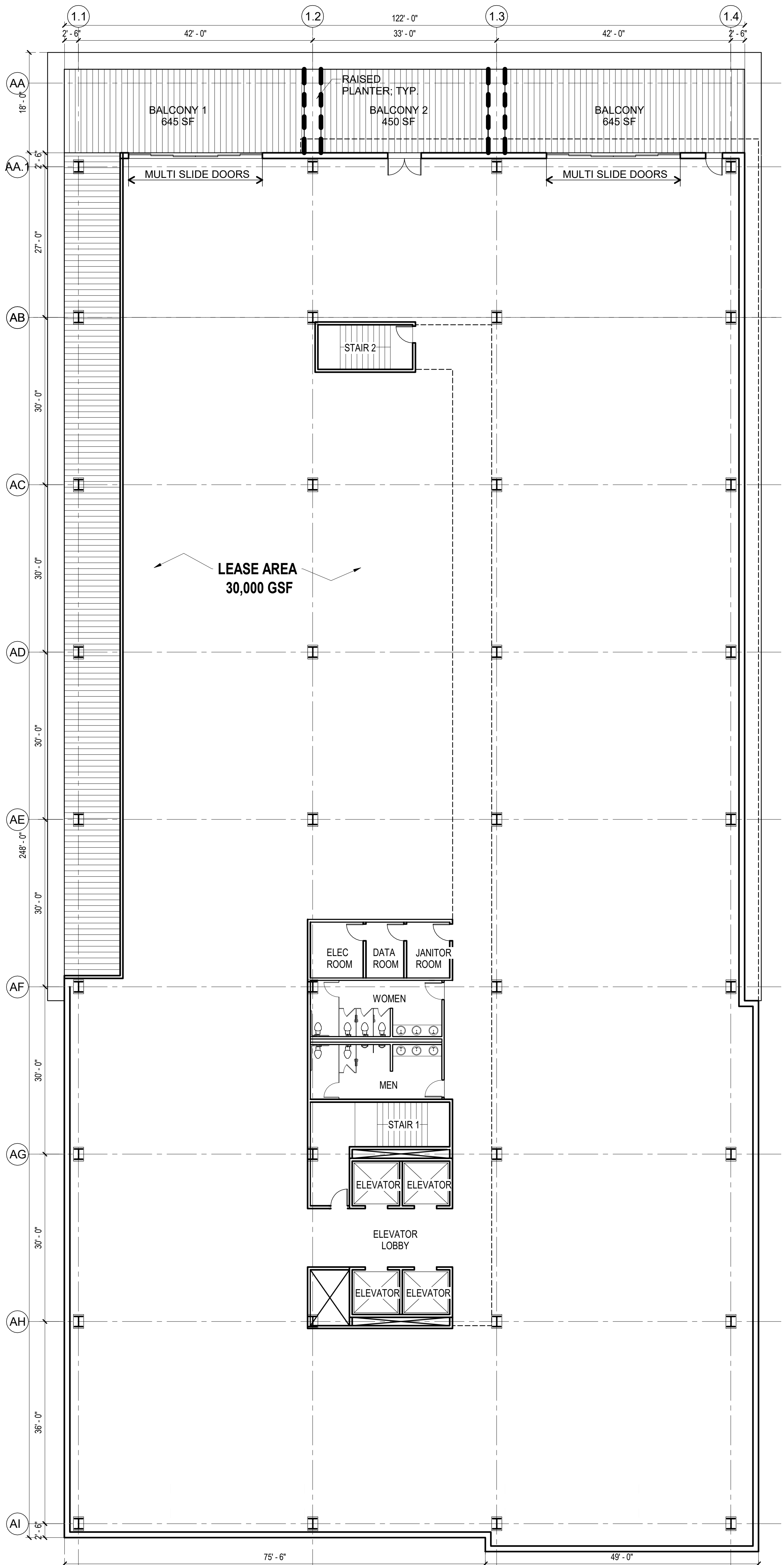
Scale
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OFFICE BLDG 1 - CONSTRUCTION PLAN LEVEL 4

SCALE: 3/32" = 1'-0"

2



OFFICE BLDG 1 - CONSTRUCTION PLAN LEVEL 3

SCALE: 3/32" = 1'-0"

1

THE PRESERVE AT
TORREY
HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

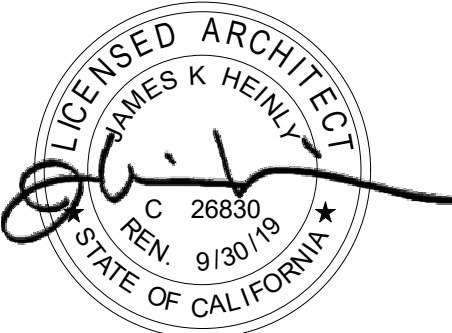
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

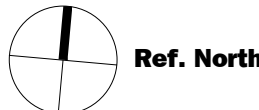
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OFFICE BLDG 1 - FLOOR PLANS

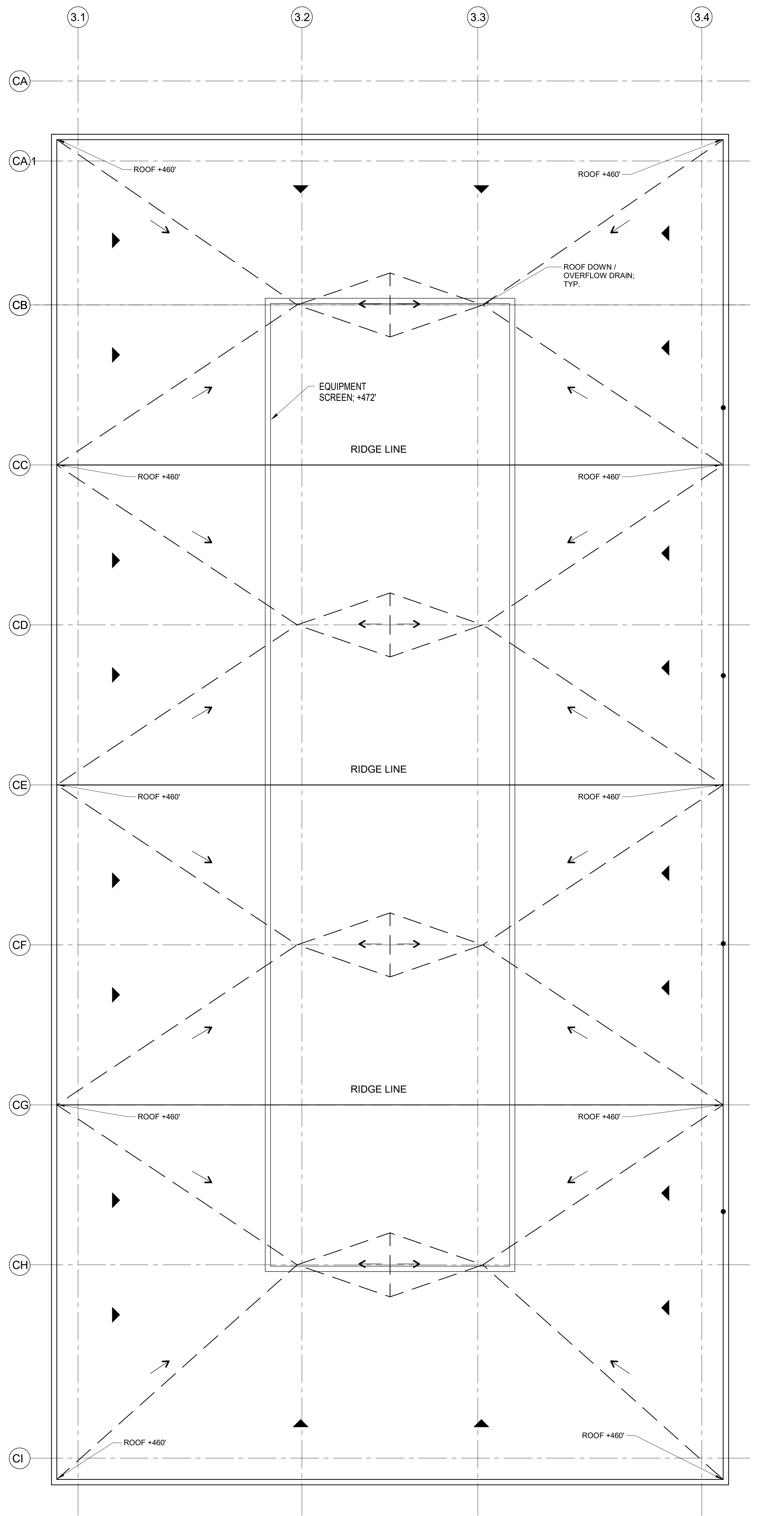
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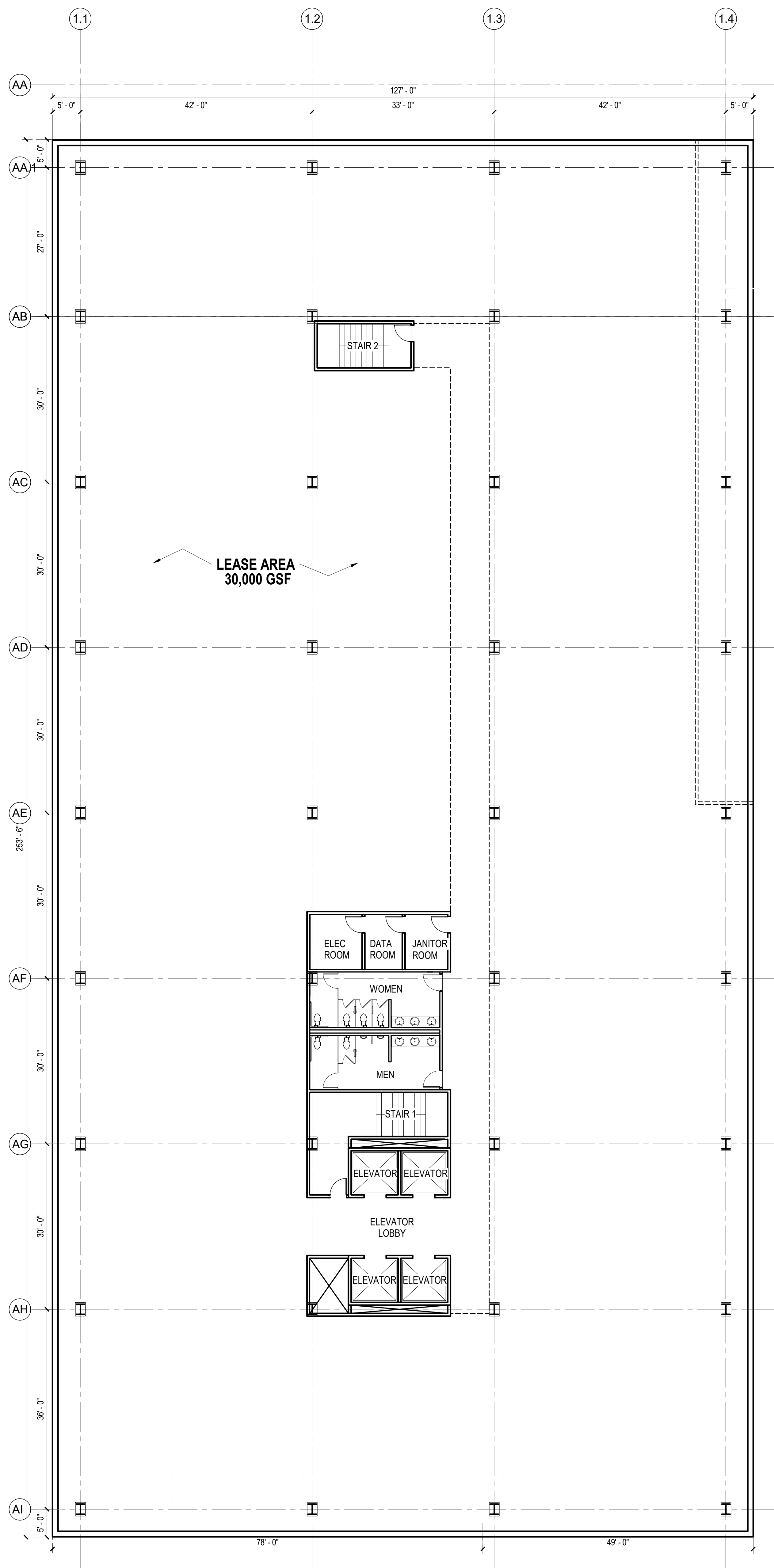
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OFFICE BLDG 1 - ROOF PLAN
SCALE: 3/32" = 1'-0"

2



OFFICE BLDG 1 - CONSTRUCTION PLAN LEVEL 5-6
SCALE: 3/32" = 1'-0"

1

THE PRESERVE AT TORREY HIGHLANDS

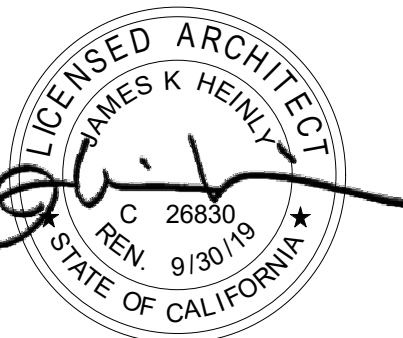
SEQ STATE ROUTE 56 & CAMINO DEL SUR
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APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

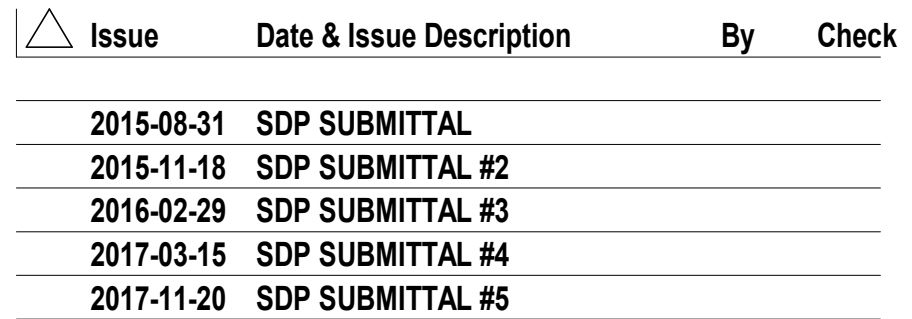
Project Number
55.7511.000

Description
OFFICE BLDG 1 - FLOOR PLANS & ROOF PLAN

Scale
3/32" = 1'-0"

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BLDG 2 - B1 SUB. PARKING - 25,000 SF | 69 CARS | 362 SF / CAR

1

BLDG 1 - GSF TABULATION	
LEVEL DESCRIPTION	TOTAL GSF
LEVEL 1	30,000 GSF
LEVEL 2	30,000 GSF
LEVEL 3	30,000 GSF
LEVEL 4	30,000 GSF
TOTAL	120,000 GSF
B1 SUBTERRANEAN	25,000 GSF
FITNESS CENTER	5,000 GSF

PER SDMC 142.0830 TABLE 142-08C: Refuse and Recyclable storage area per development requires 192 SF per 100,001 GSF plus 48 SF for every 25,000 SF of building area after.	REFUSE		RECYCLABLE	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
BLDG 1 - 180,000 GSF	384 SF	390 SF	384 SF	390 SF
BLDG 2 - 120,000 GSF	240 SF	240 SF	240 SF	240 SF
BLDG 3 - 150,000 GSF	288 SF	343 SF	288 SF	343 SF
TOTAL	912 SF	973 SF	912 SF	973 SF

1. PER SDMC 142.5030; EMPLOYEE SHOWER FACILITIES SHALL BE PROVIDED ON SITE AT THE FITNESS LOCKER AND SHOWER DESIGNATED AREA.
2. PARKING STRUCTURE SHALL REQUIRE ROLL-UP GATE AT ENTRY AND EXITS. GATE SHALL BE OPEN DURING BUSINESS HOURS AT ALL TIMES. NO FOB OR CONTROL GATE WILL BE REQUIRED.
3. ALL STALLS @ 8'-6"; U.N.O.

INTERNATIONAL SYMBOL OF ACCESSIBILITY

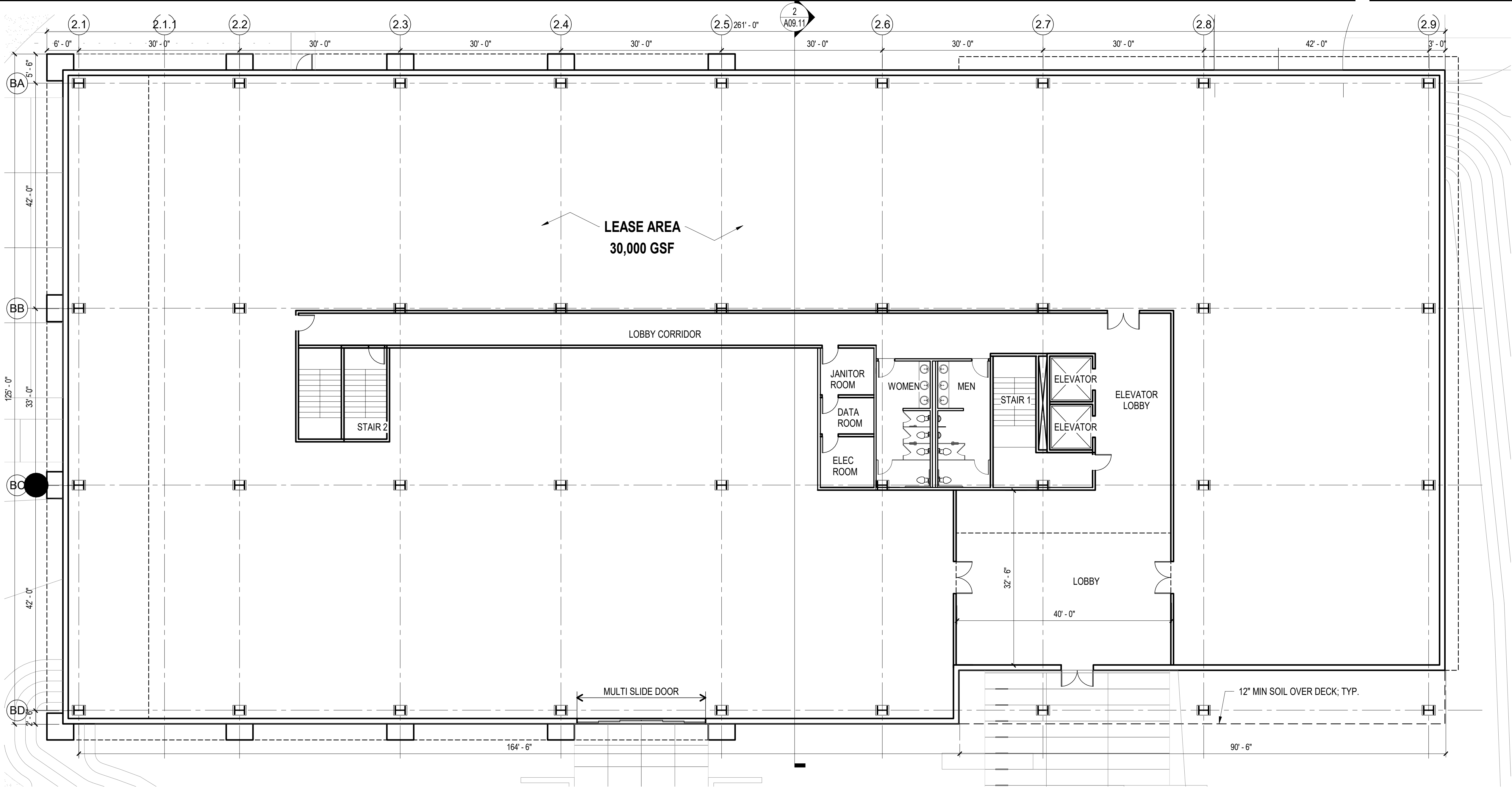
ACCESSIBLE PARKING AND TOW AWAY SIGN

L.S. LANDSCAPED AREA

TOTAL NUMBER OF STALLS
TYPE DESIGNATOR

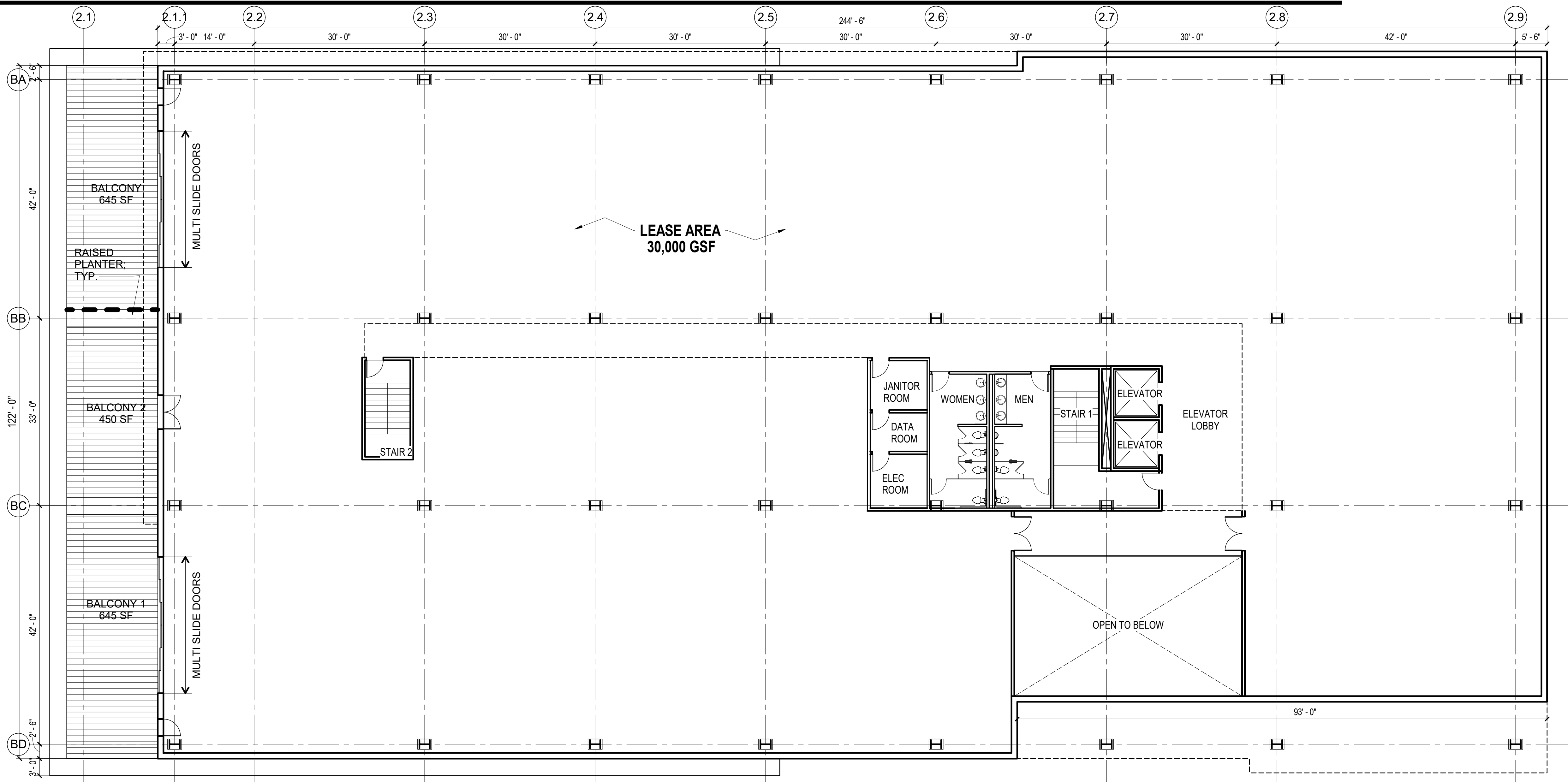
STANDARD
A=ACCESSIBLE
M=MOTORCYCLE
E=EXISTING

BUILDING EXIT



OFFICE BLDG 2 - CONSTRUCTION PLAN LEVEL 1
SCALE: 3/32" = 1'-0"

1



OFFICE BLDG 2 - CONSTRUCTION PLAN LEVEL 2
SCALE: 3/32" = 1'-0"

2

THE PRESERVE AT
TORREY HIGHLANDS

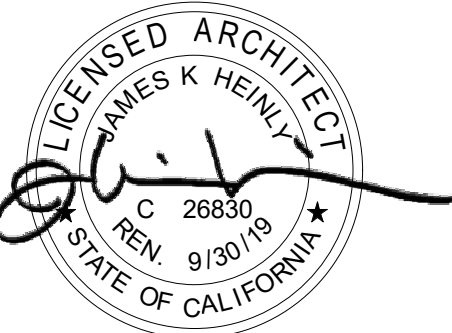
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Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
OFFICE BLDG 2 - FLOOR PLANS

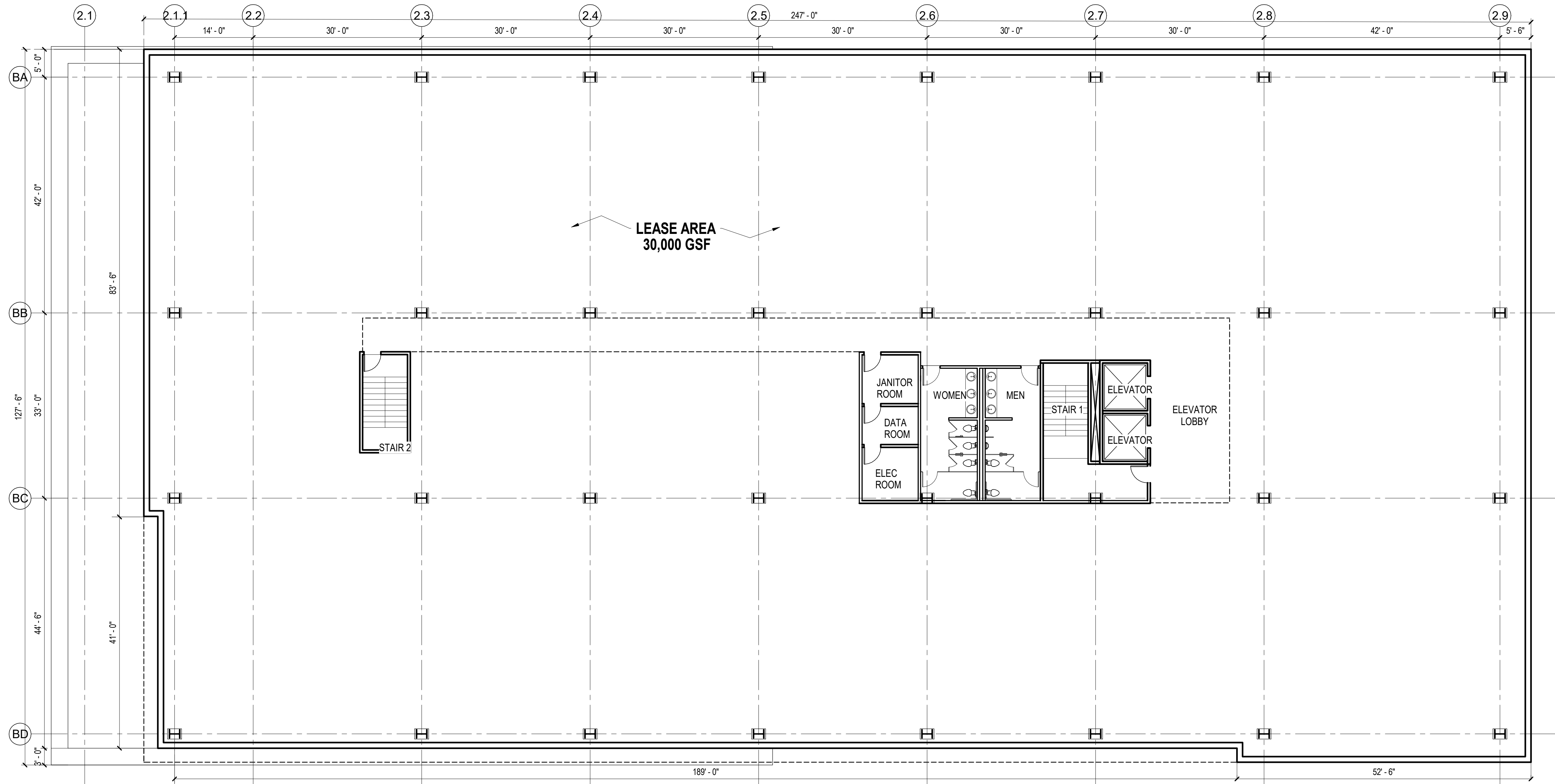
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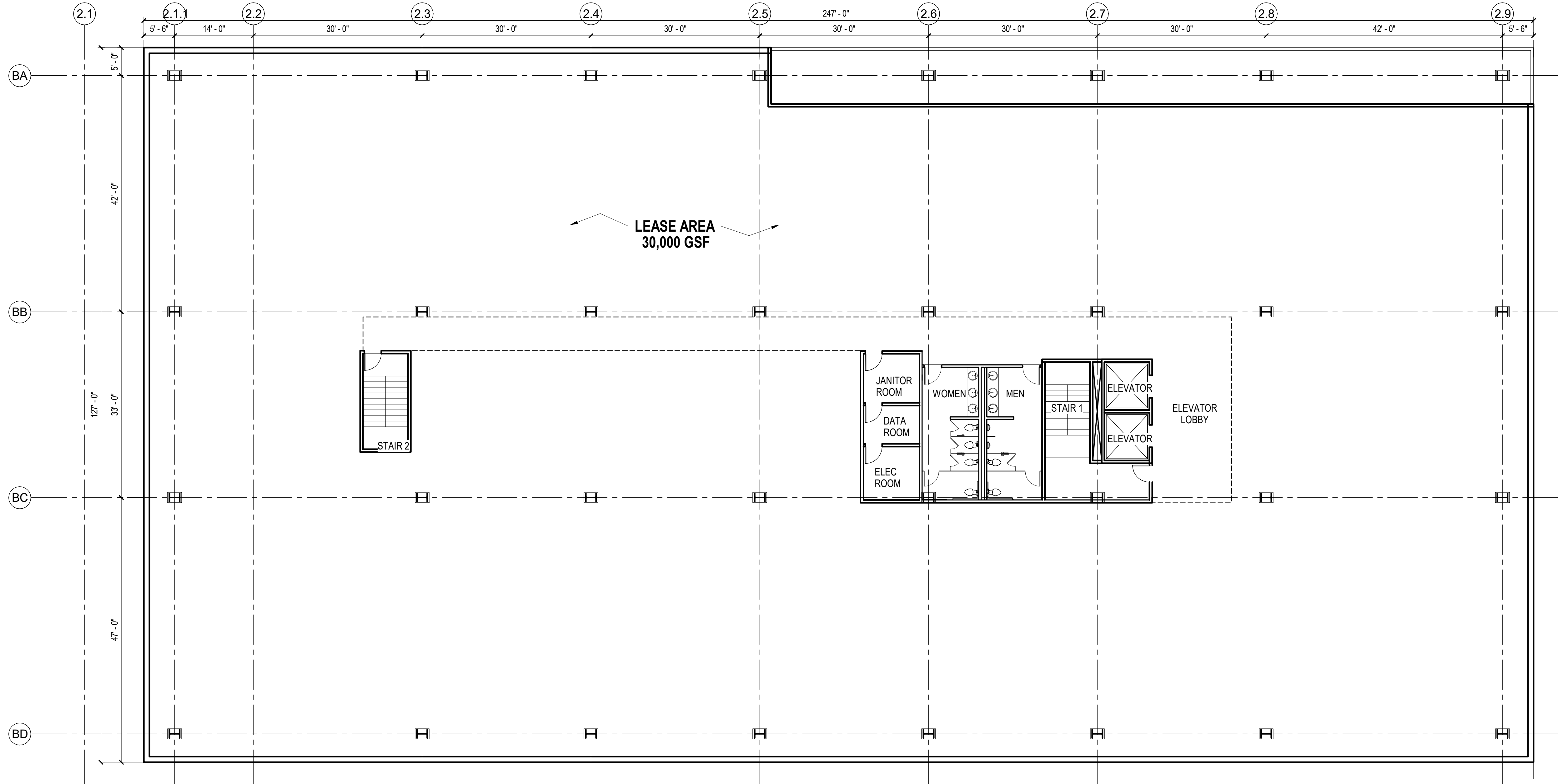




OFFICE BLDG 2 - CONSTRUCTION PLAN LEVEL 3

SCALE: 3/32" = 1'-0"

2



OFFICE BLDG 2 - CONSTRUCTION PLAN LEVEL 4

SCALE: 3/32" = 1'-0"

1

THE PRESERVE AT
TORREY HIGHLANDS

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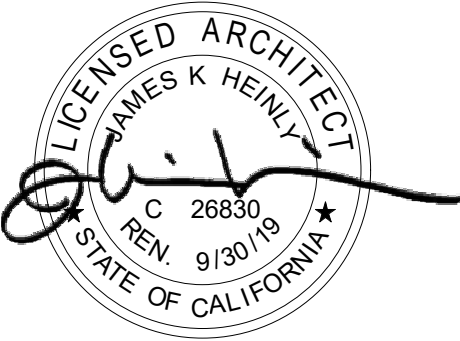
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2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
OFFICE BLDG 2 - FLOOR PLANS

Scale
3/32" = 1'-0"

A02.07

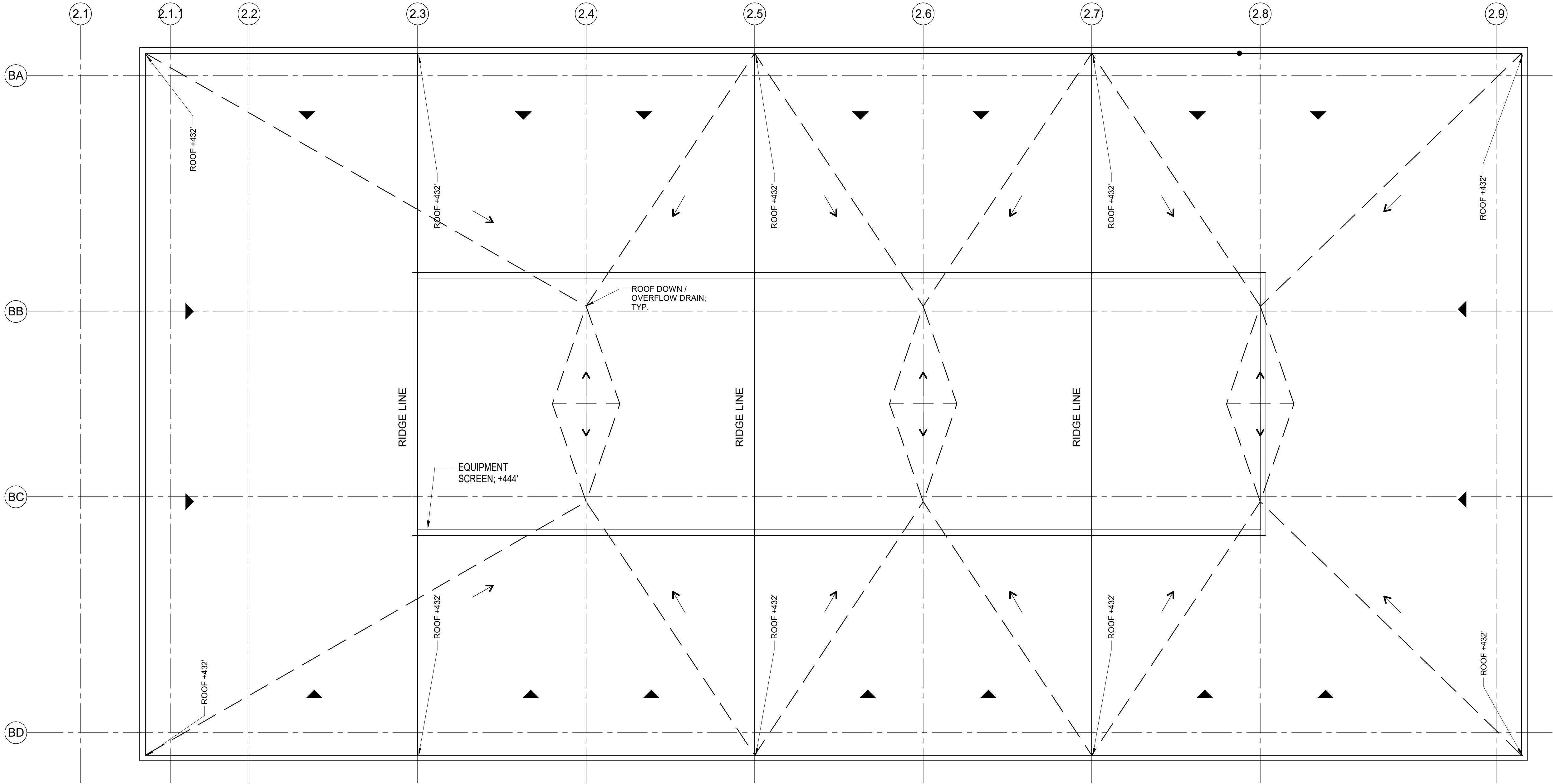
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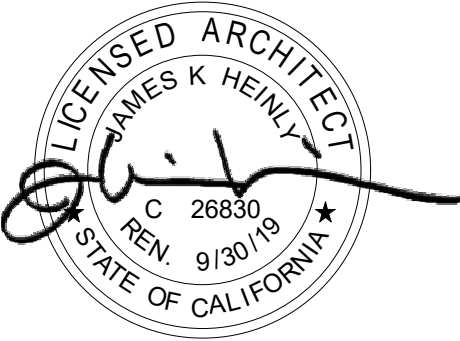


OFFICE BLDG 2 - ROOF PLAN
SCALE: 3/32" = 1'-0"

1

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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

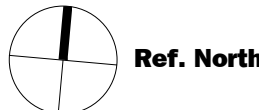
Project Number
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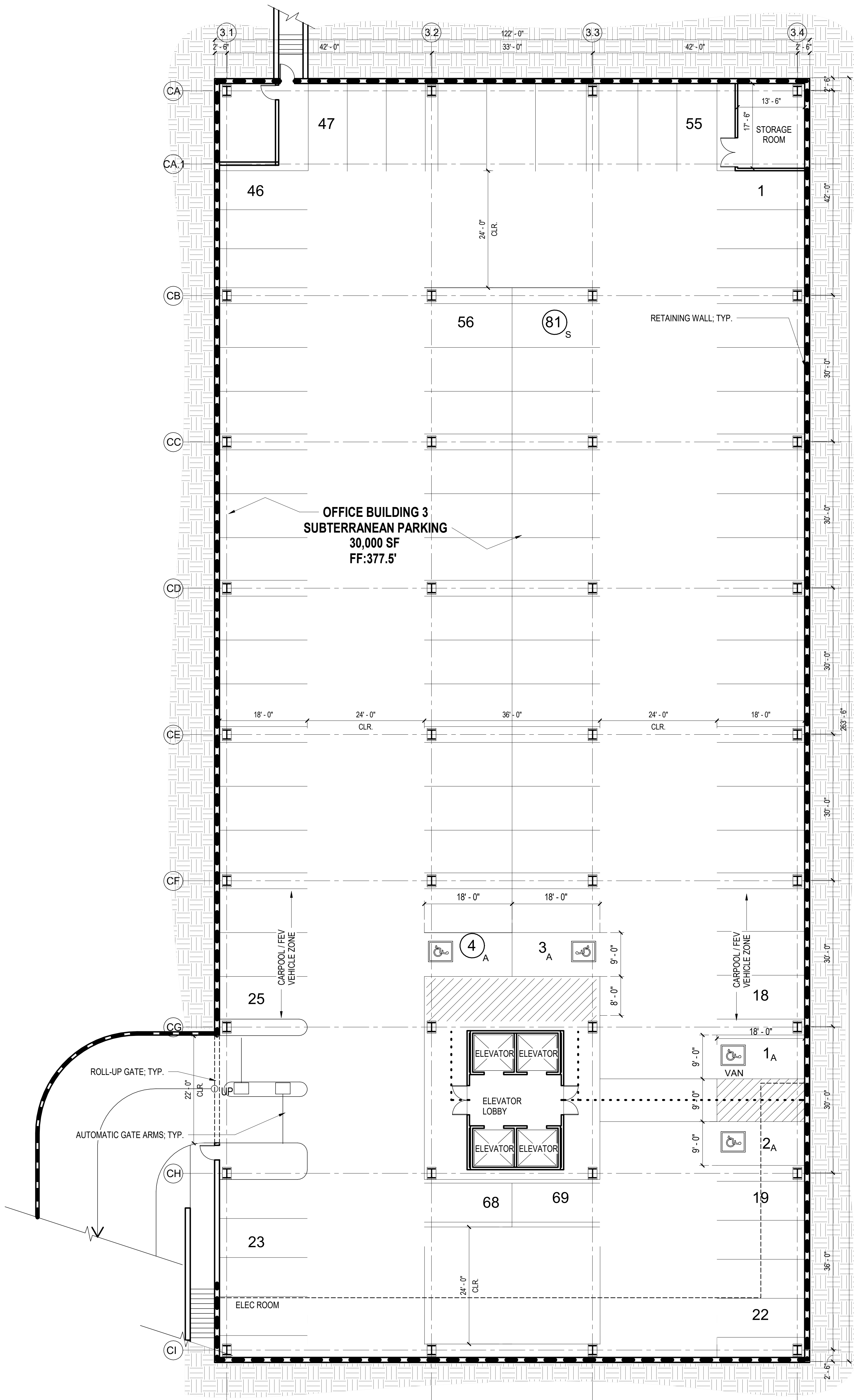
Description
OFFICE BLDG 2 - ROOF PLAN

Scale
3/32" = 1'-0"

A02.08

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BLDG 1 - GSF TABULATION	
LEVEL DESCRIPTION	TOTAL GSF
LEVEL 1	30,000 GSF
LEVEL 2	30,000 GSF
LEVEL 3	30,000 GSF
LEVEL 4	30,000 GSF
LEVEL 5	30,000 GSF
TOTAL	150,000 GSF
B1 SUBTERRANEAN	30,000 GSF

NOTE: See Sheet A00.50 Site Plan for Overall Parking Ratio

OVERALL BICYCLE PARKING TABULATION				
	SHORT-TERM BICYCLE PARKING		LONG-TERM BICYCLE PARKING	
	REQUIRED (5%)	PROVIDED	REQUIRED (5%)	PROVIDED
BLDG 1 - SUBTERRANEAN	-	-	-	-
BLDG 2 - SUBTERRANEAN	-	-	-	-
BLDG 3 - SUBTERRANEAN	-	-	-	-
STRUCTURED -7 ABOVE, 1 BELOW	-	60	-	115
SURFACE	-	30	-	-
TOTAL	89	90	89	115

B1 SUB. PARKING NOTES

- PARKING STRUCTURE SHALL REQUIRE ROLL-UP GATE AT ENTRY AND EXITS. GATE SHALL BE OPEN DURING BUSINESS HOURS AT ALL TIMES. NO FOB OR CONTROL GATE WILL BE REQUIRED.
- ALL STALLS @ 8'-6"; U.N.O.

LEGEND

- INTERNATIONAL SYMBOL OF ACCESSIBILITY
- ACCESSIBLE PARKING AND TOW AWAY SIGN
- L.S. LANDSCAPED AREA
- TOTAL NUMBER OF STALLS TYPE DESIGNATOR
 - S=STANDARD
 - A=ACCESSIBLE
 - M=MOTORCYCLE
 - E=EXISTING
- BUILDING EXIT

OFFICE BLDG 3 - B1 SUBTERRANEAN PARKING PLAN
SCALE: 3/32" = 1'-0"

BLDG 3 - B1 SUB. PARKING - 30,000 SF | 85 CARS | 353 SF / CAR

THE PRESERVE AT TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
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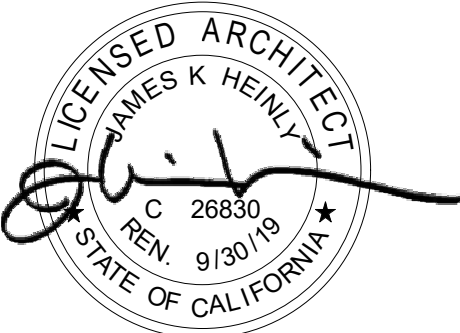
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2015-11-18	SDP SUBMITTAL #2		
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2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



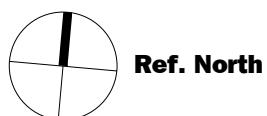
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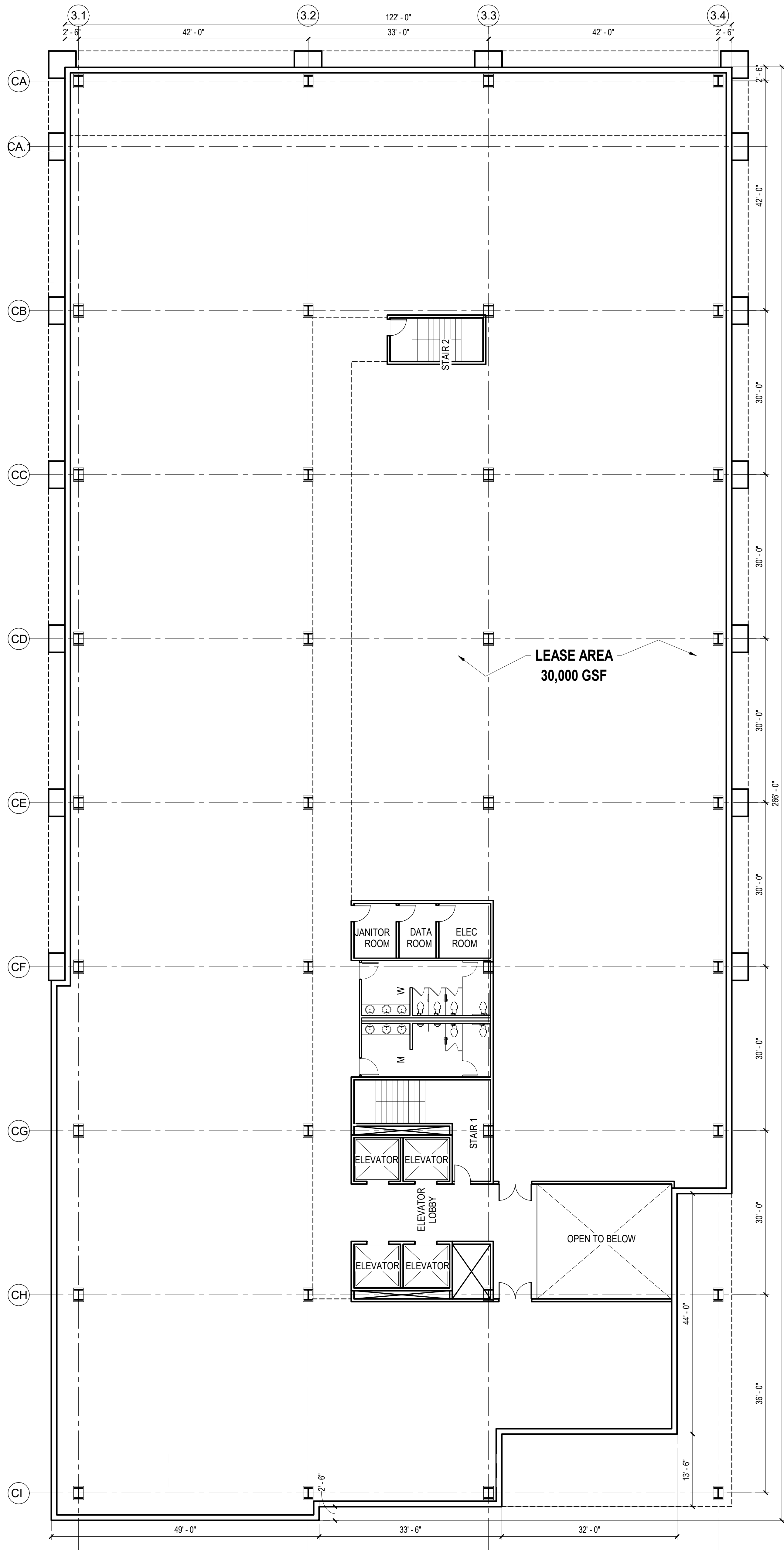
Project Number
55.7511.000

Description
OFFICE BLDG 3 - FLOOR PLANS

Scale
As indicated

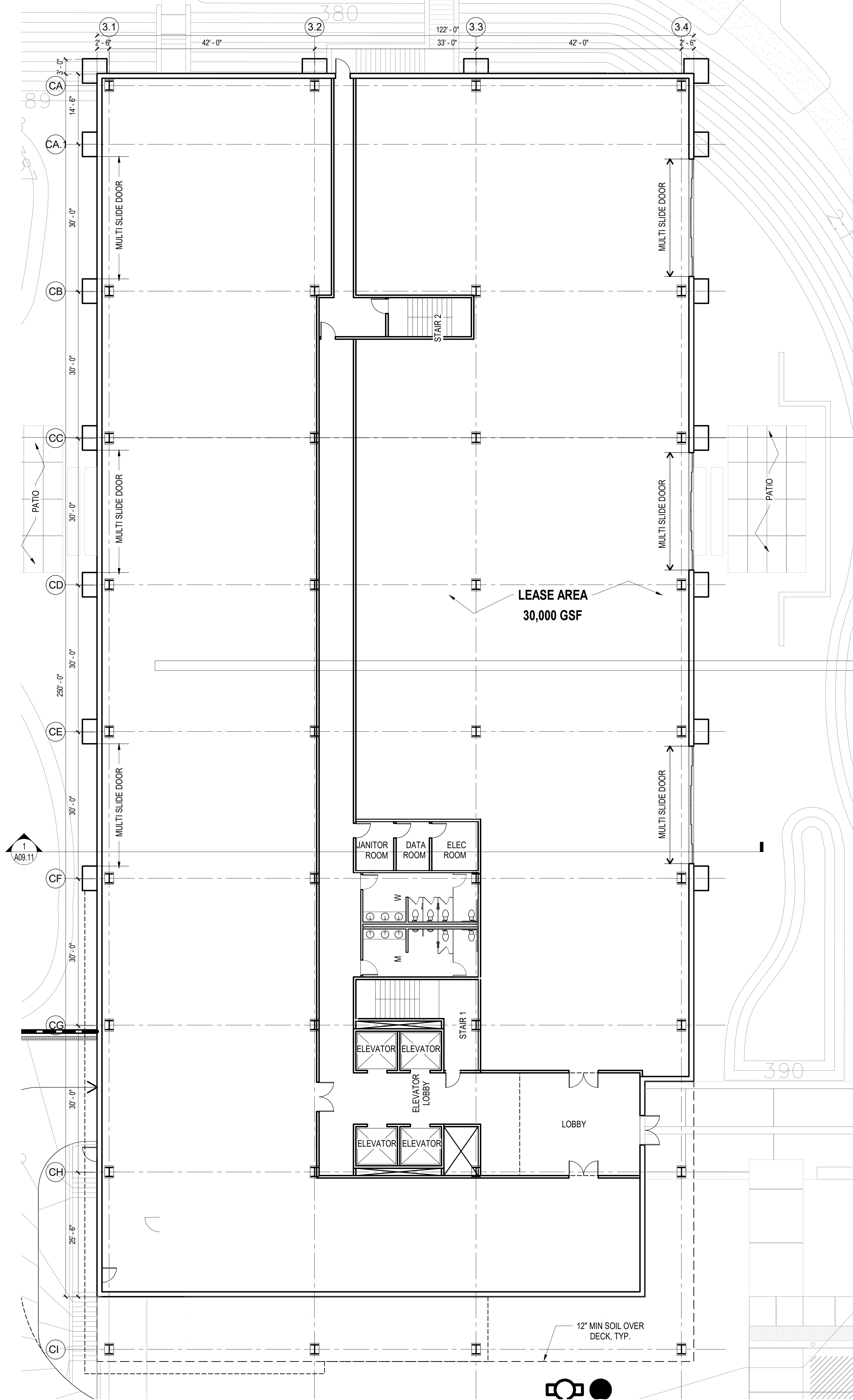
A02.09





OFFICE BLDG 3 - CONSTRUCTION PLAN LEVEL 2

SCALE: 3/32" = 1'-0"



OFFICE BLDG 3 - CONSTRUCTION PLAN LEVEL 1

SCALE: 3/32" = 1'-0"

THE PRESERVE AT
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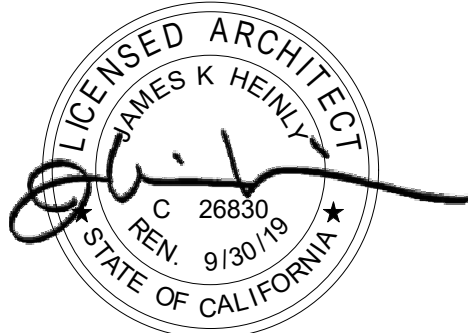
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



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THE PRESERVE AT TORREY HIGHLANDS

Project Number
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Description
OFFICE BLDG 3 - FLOOR PLANS

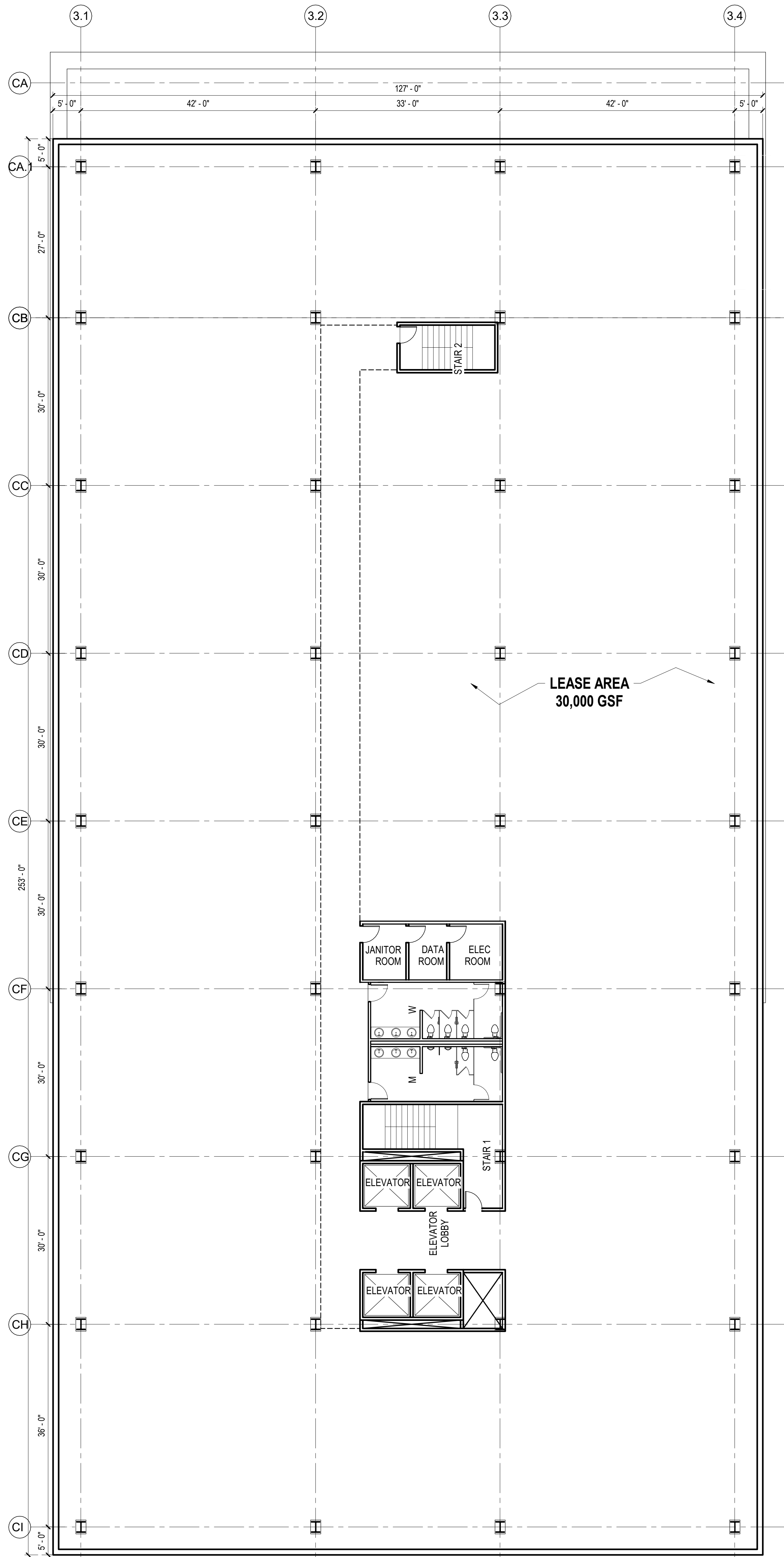
Scale
3/32" = 1'-0"

A02.10

25 of 43

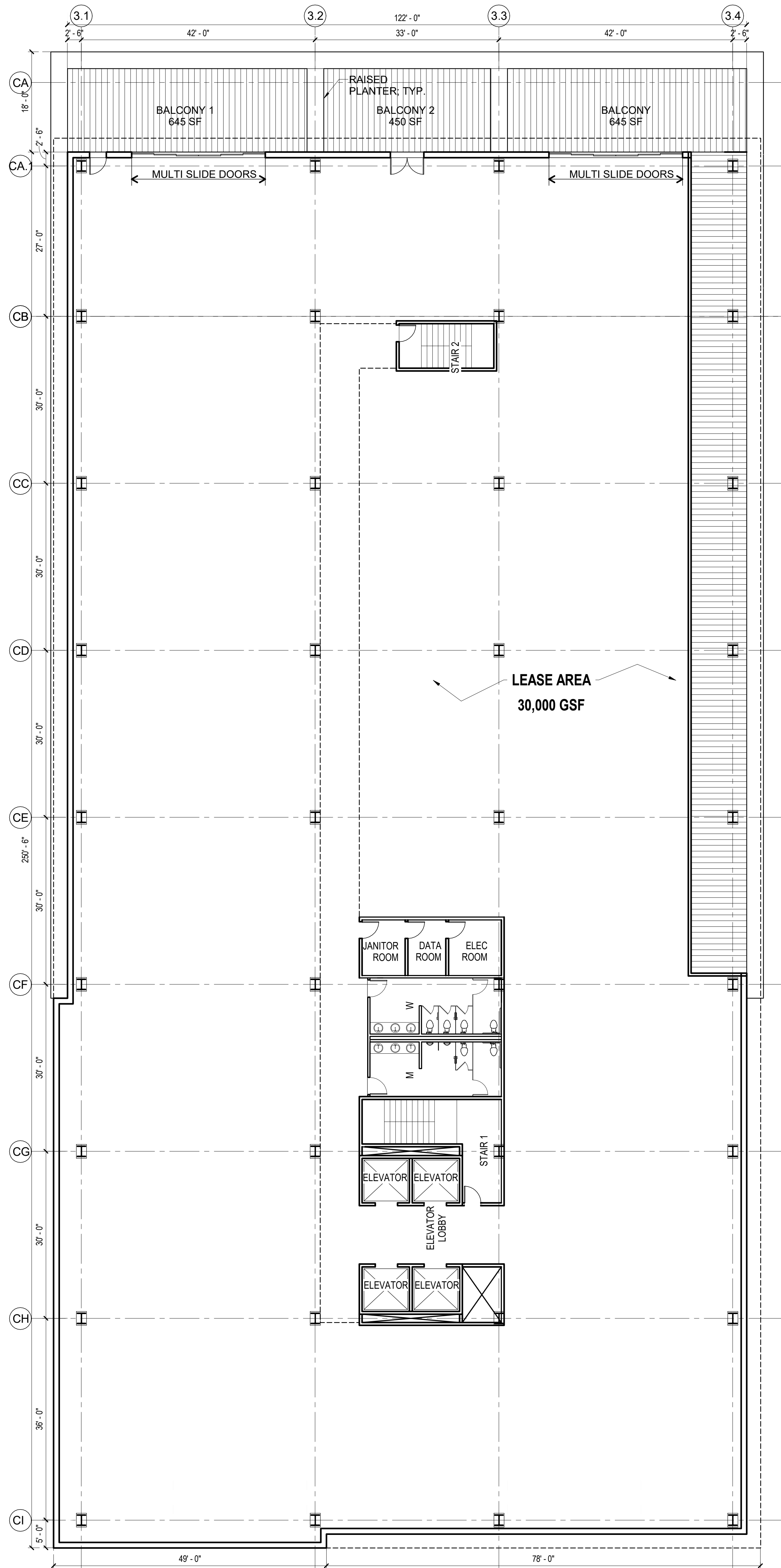
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OFFICE BLDG 3 - CONSTRUCTION PLAN LEVEL 4 & 5
SCALE: 3/32" = 1'-0"

2



OFFICE BLDG 3 - CONSTRUCTION PLAN LEVEL 3
SCALE: 3/32" = 1'-0"

1

THE PRESERVE AT
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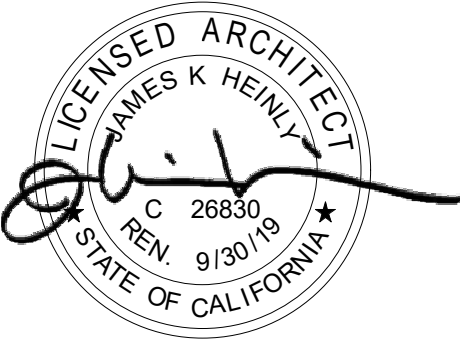
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature

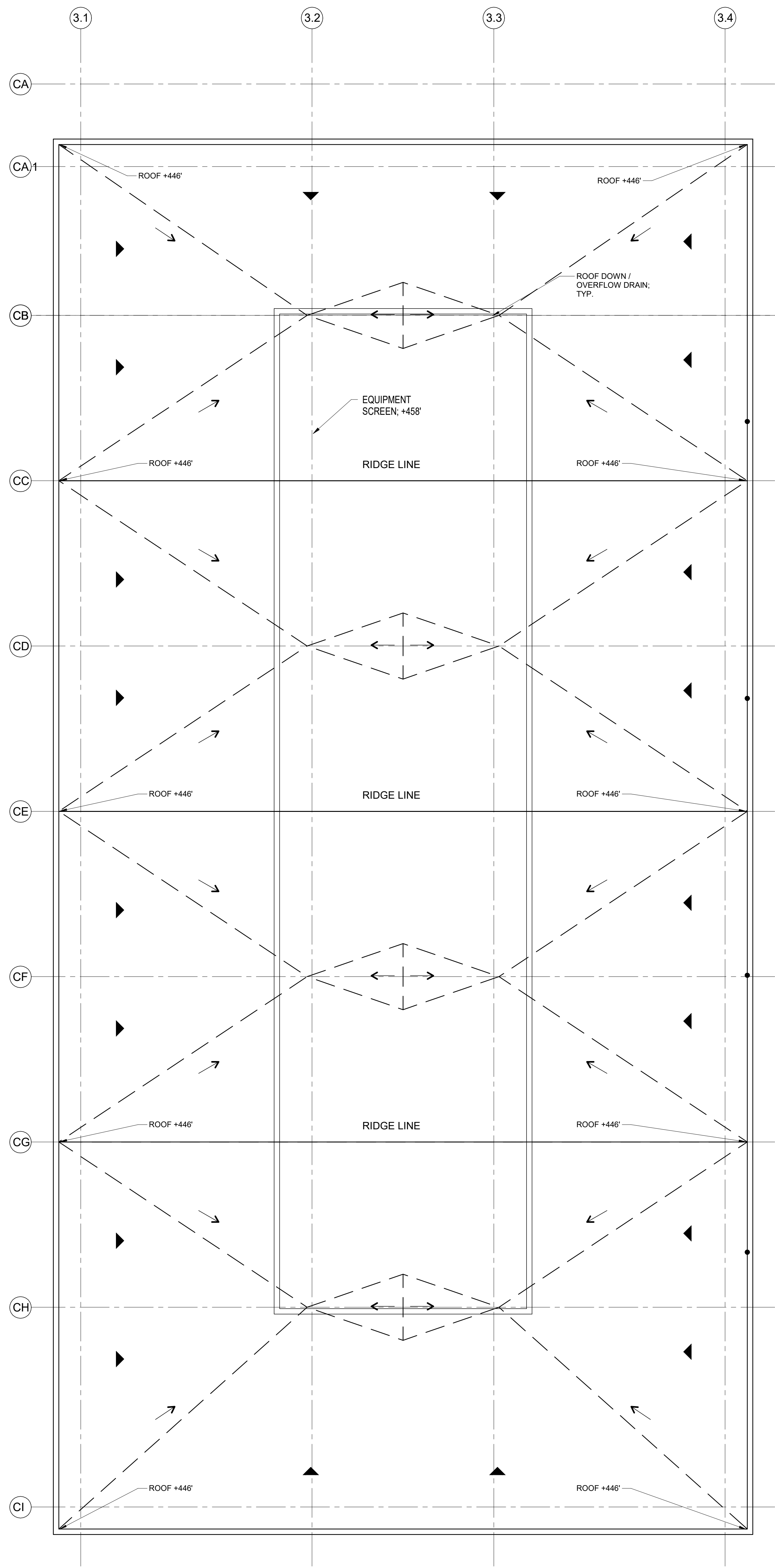


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Description
OFFICE BLDG 3 - FLOOR PLANS

Scale
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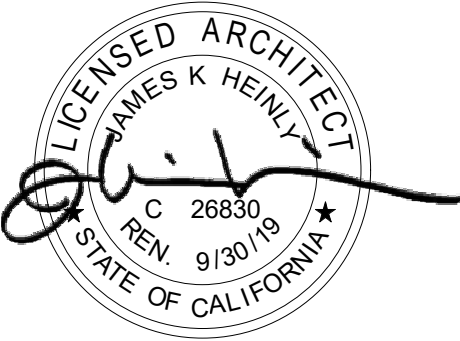
OFFICE BLDG 3 - ROOF PLAN
SCALE: 3/32" = 1'-0" 1

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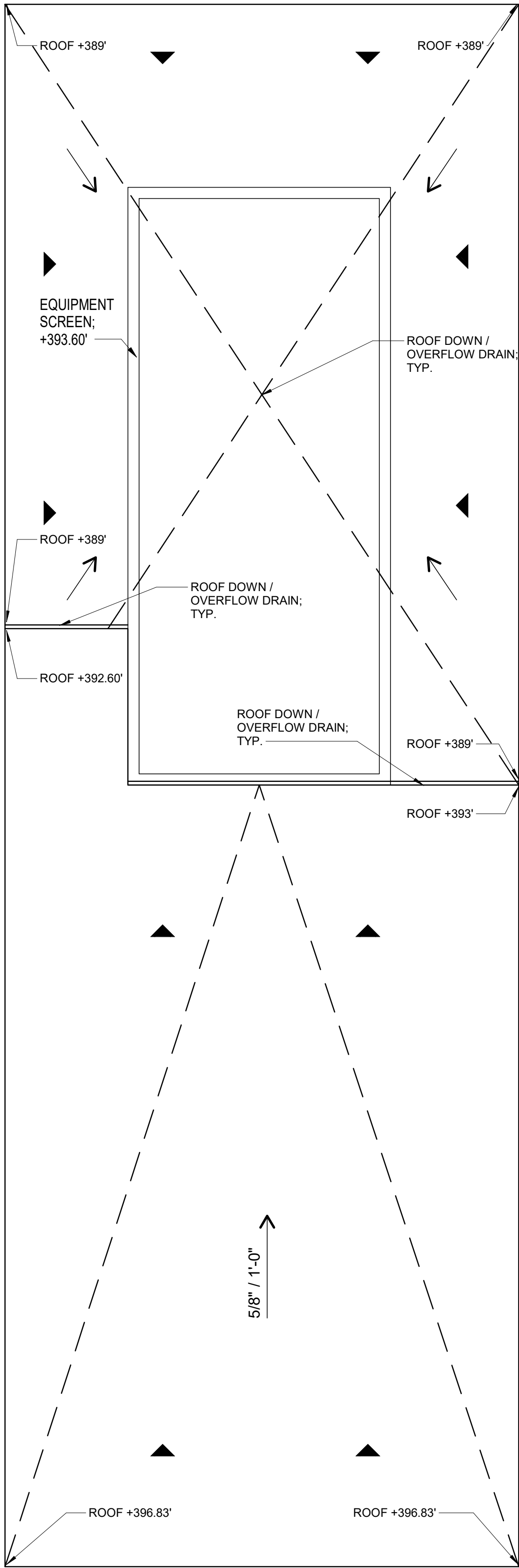


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Description
OFFICE BLDG 3 - ROOF PLAN

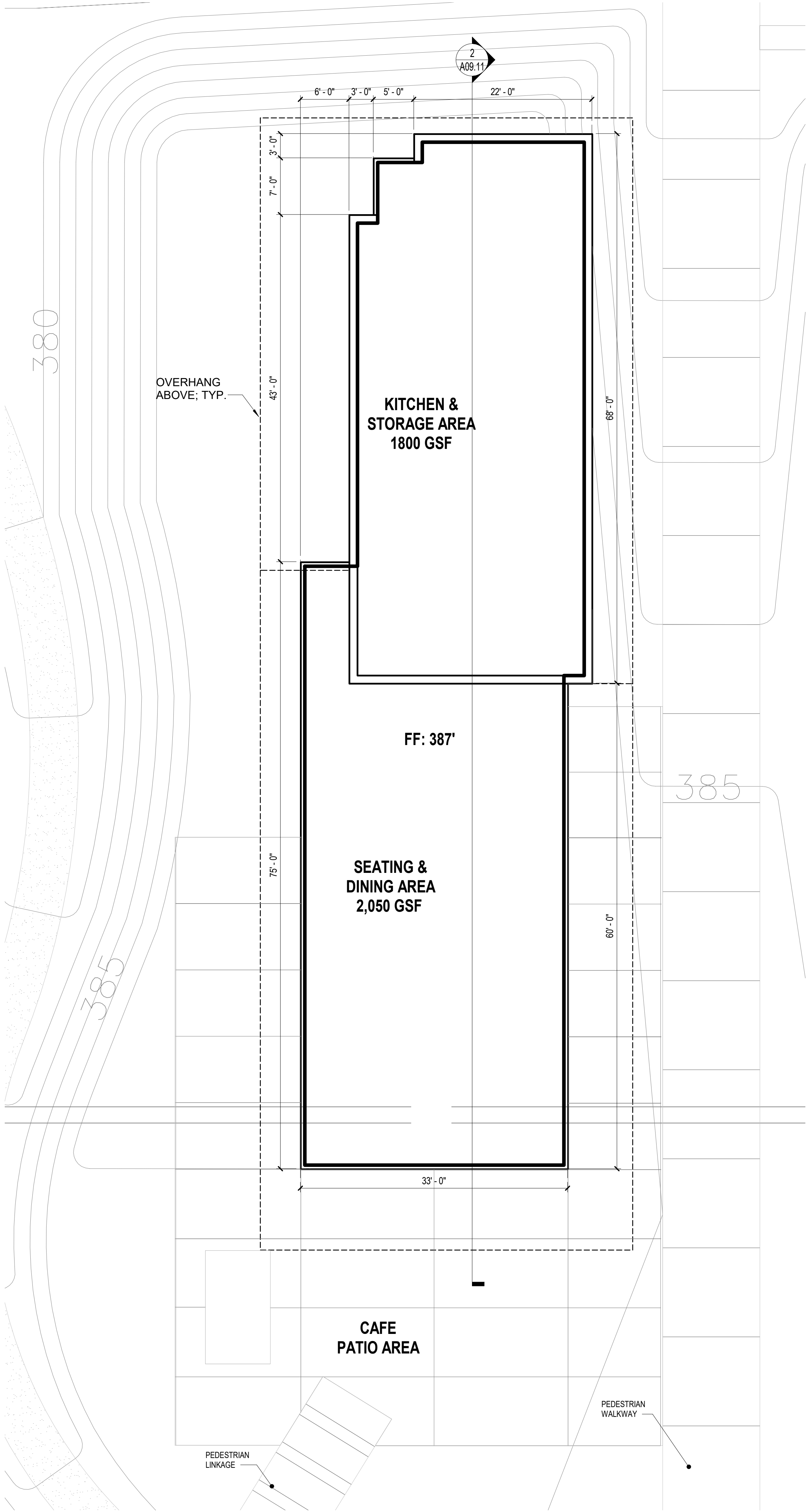
Scale
3/32" = 1'-0"



CAFE - ROOF PLAN

SCALE: 1/8" = 1'-0"

2



CAFE - CONSTRUCTION PLAN LEVEL 1

SCALE: 1/8" = 1'-0"

1

CAFE NOTES

- SCOPE INCLUDES SHEEL AND SITE IMPROVEMENTS ONLY. INTERIOR BUILD-OUT NOT INCLUDED IN THIS PERMIT.
- THE CAFE WILL BE AN ACCESSORY TO THE PRIMARY OFFICE USES ON SITE ONLY. THE CAFE WILL NOT BE OPEN TO THE GENERAL PUBLIC AT ANY TIME.

THE PRESERVE AT TORREY HIGHLANDS

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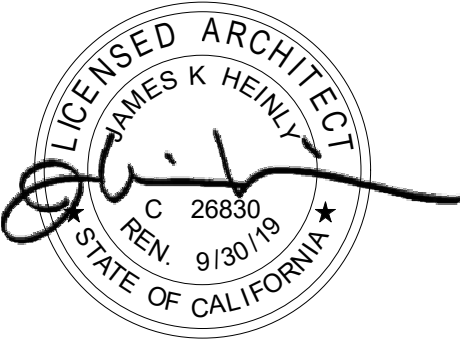
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

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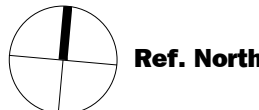
Description
CAFE - FLOOR PLANS & ROOF PLAN

Scale
1/8" = 1'-0"

A02.13

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OVERALL BICYCLE PARKING TABULATION

*PER Section 142.0530(e)(1)(D). The minimum long-term and short-term bicycle parking spaces shall be 5% of the required automobile parking space minimum.

	SHORT-TERM BICYCLE PARKING		LONG-TERM BICYCLE PARKING	
	REQUIRED (5%)	PROVIDED	REQUIRED (5%)	PROVIDED
BLDG 1 - SUBTERRANEAN	-	-	-	-
BLDG 2 - SUBTERRANEAN	-	-	-	-
BLDG 3 - SUBTERRANEAN	-	-	-	-
STRUCTURED -7 ABOVE, 1 BELOW	-	60	-	115
SURFACE	-	30	-	-
TOTAL	89	90	89	115

OVERALL PARKING STRUC. PARCEL PARKING TABULATION

	STANDARD	ACCESSIBLE	TOTAL	TOTAL SF	SF / CAR
LEVEL B1	75	0	75	20,000 SF	267
LEVEL 1	116	30 (5 VAN)	146	58,890 SF	403
LEVEL 2 (208 STANDARD PER FL)	208	0	208	59,800 SF	288
LEVEL 3 - 6 (209 STANDARD PER FL)	627	0	836	239,200 SF	286
LEVEL 7 ROOF	213	0	213	59,800 SF	281
TOTAL	1,448	30 (5 VAN)	1,478	437,690 SF	297

OVERALL MOTORCYCLE PARKING TABUL.

*PER SDMC Table 142.5030(g); Motorcycle parking shall be provided at a ratio of 2 percent of the minimum number of automobile parking spaces required

	REQUIRED (2%)	PROVIDED
LEVEL B1	-	0
LEVEL 1	-	30
LEVEL 2 - 6 (1 PER FL)	-	5
LEVEL 7 ROOF	-	1
TOTAL	36	36

NOTE: See Sheet A00.50 Site Plan for Overall Parking Ratio

PARKING STRUCTURE NOTES

- 36 MOTORCYCLE SPACES SHALL BE PROVIDED WITHIN PARKING STRUCTURE TO COMPLY WITH SDMC 142.5030 (G) REQUIREMENTS.
- ALL STALLS @ 8'-6"; U.N.O.

REFUSE & RECYCLABLE STORAGE AREA TABUL.

*PER SDMC 142.0830 TABLE 142-08C; Refuse and Recyclable storage area per development requires 192 SF per 100,001 GSF plus 48 SF for every 25,000 SF of building area after.

	REFUSE		RECYCLABLE	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
BLDG 1 - 180,000 GSF	384 SF	390 SF	384 SF	390 SF
BLDG 2 - 120,000 GSF	240 SF	240 SF	240 SF	240 SF
BLDG 3 - 150,000 GSF	288 SF	343 SF	288 SF	343 SF
TOTAL	912 SF	973 SF	912 SF	973 SF

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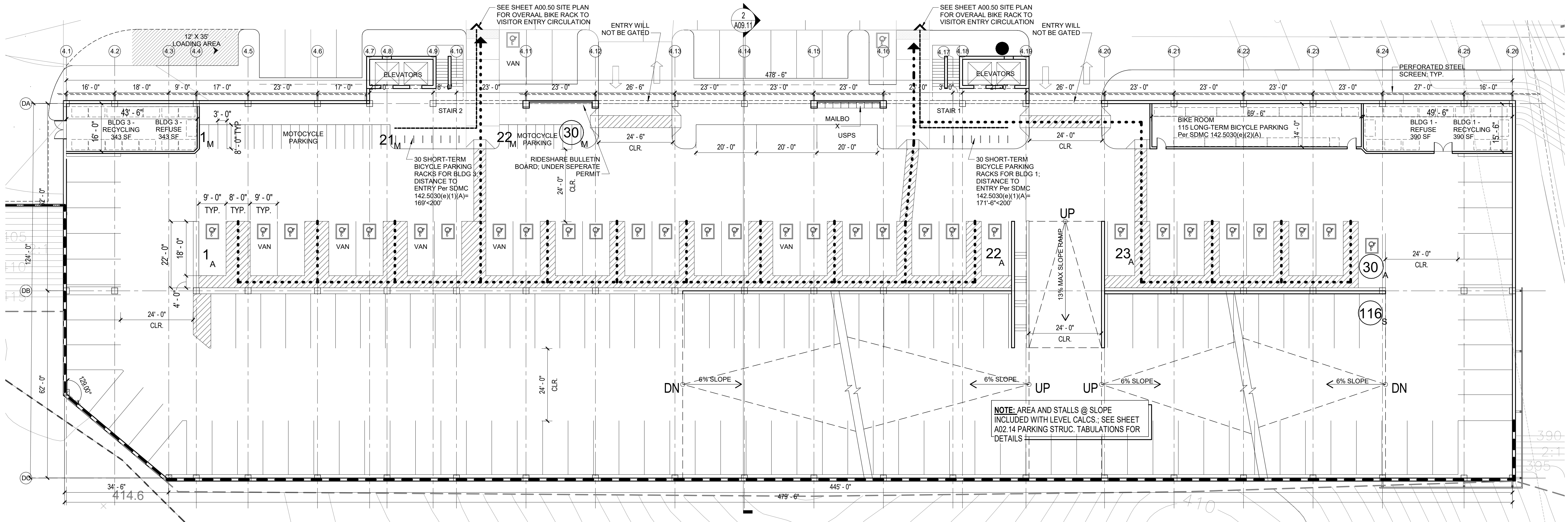
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2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

PARKING STRUCTURE - CONSTRUCTION PLAN LEVEL B1

SCALE: 1/16" = 1'-0"

LEVEL B1 - 20,000 SF | 74 CARS | 270 SF / CAR

1



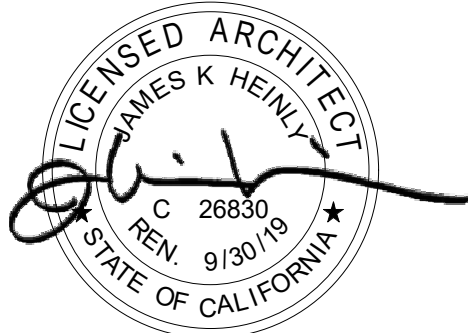
PARKING STRUCTURE - CONSTRUCTION PLAN LEVEL 1

SCALE: 1/16" = 1'-0"

LEVEL 1 - 58,890 SF | 146 CARS | 403 SF / CAR

2

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

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Description
PARKING STRUCTURE - FLOOR PLANS

Scale
1/16" = 1'-0"

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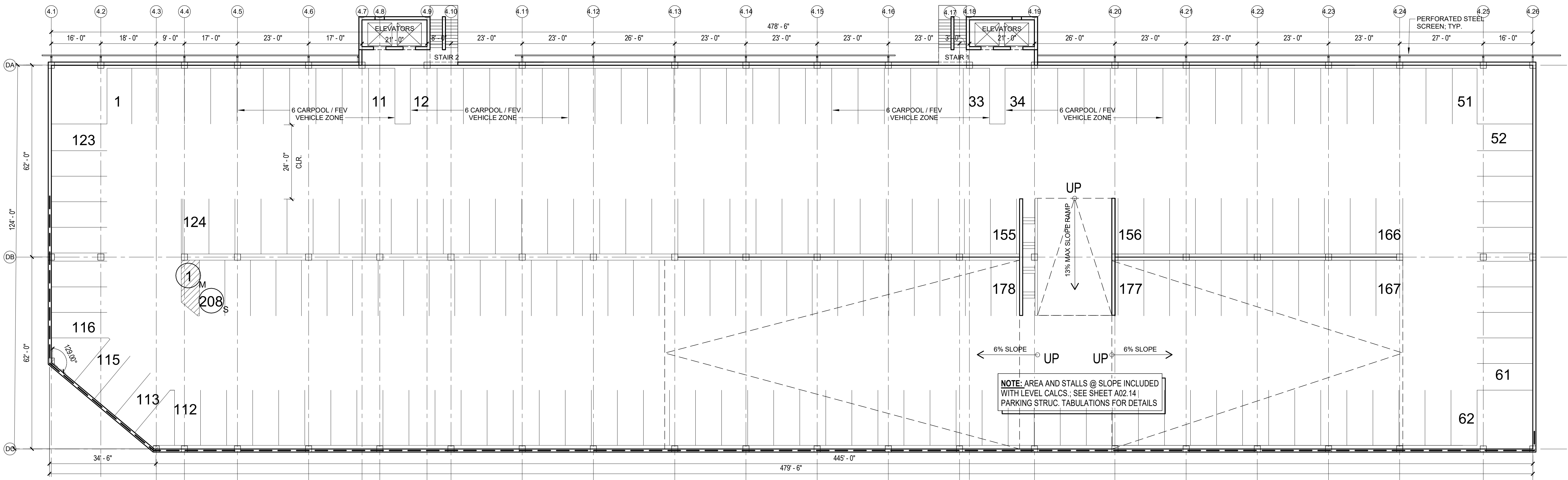
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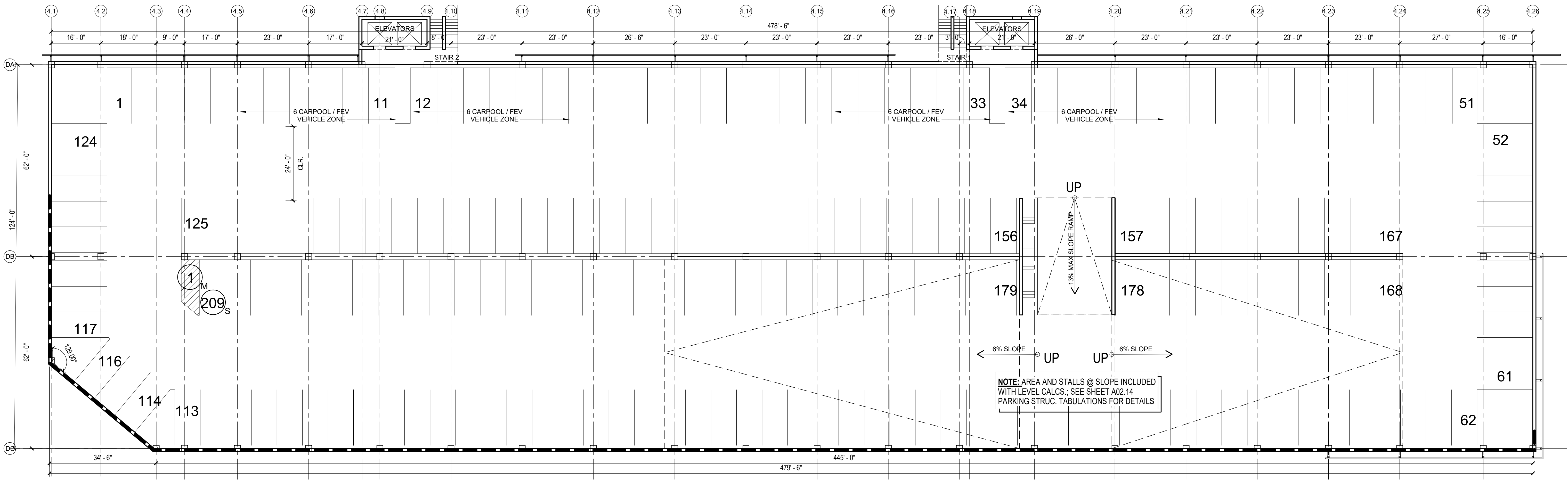
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PARKING STRUCTURE - CONSTRUCTION PLANS LEVEL 2
SCALE: 1/16" = 1'-0"

LEVEL 2 - 59,800 SF | 208 CARS | 288 SF / CAR 1

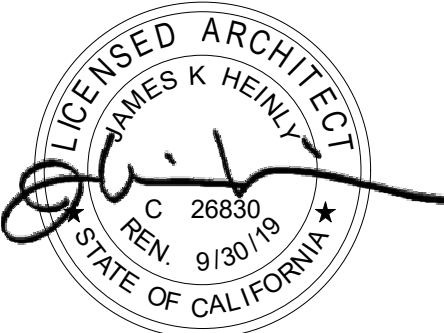


PARKING STRUCTURE - CONSTRUCTION PLANS LEVEL 3
SCALE: 1/16" = 1'-0"

LEVEL 3 - 59,800 SF | 208 CARS | 288 SF / CAR 2

Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
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Description
PARKING STRUCTURE - FLOOR PLANS

Scale
1/16" = 1'-0"

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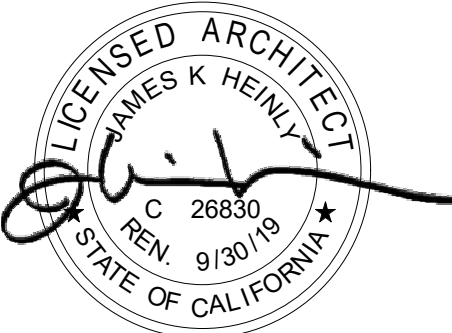
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2015-08-31	SDP SUBMITTAL		
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2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
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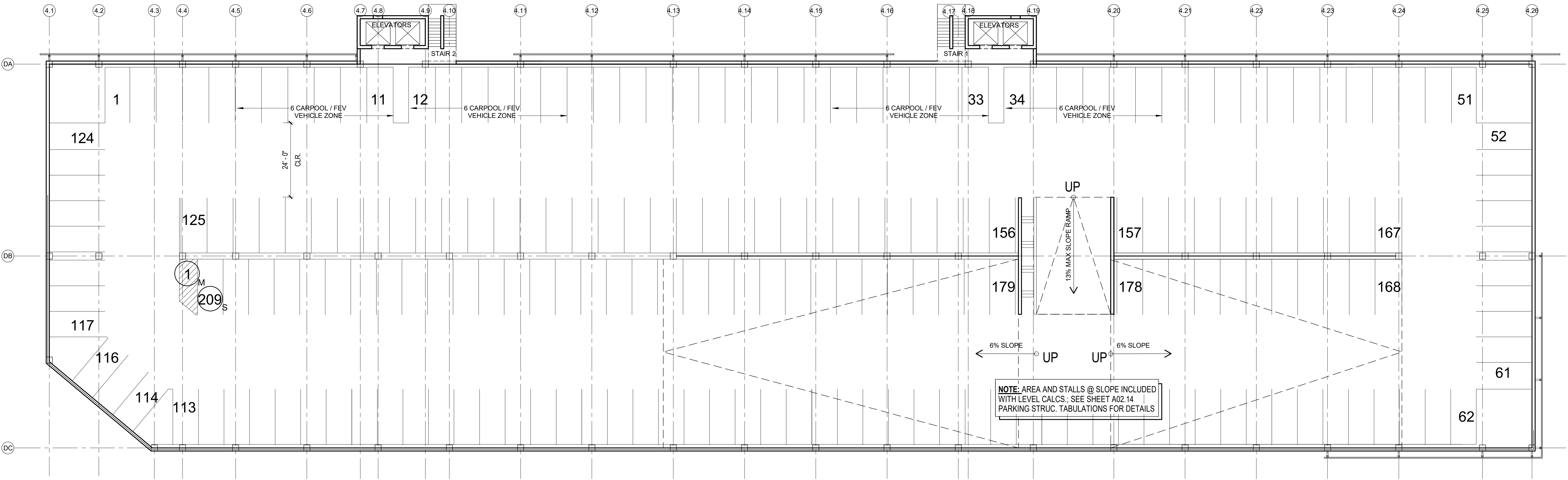
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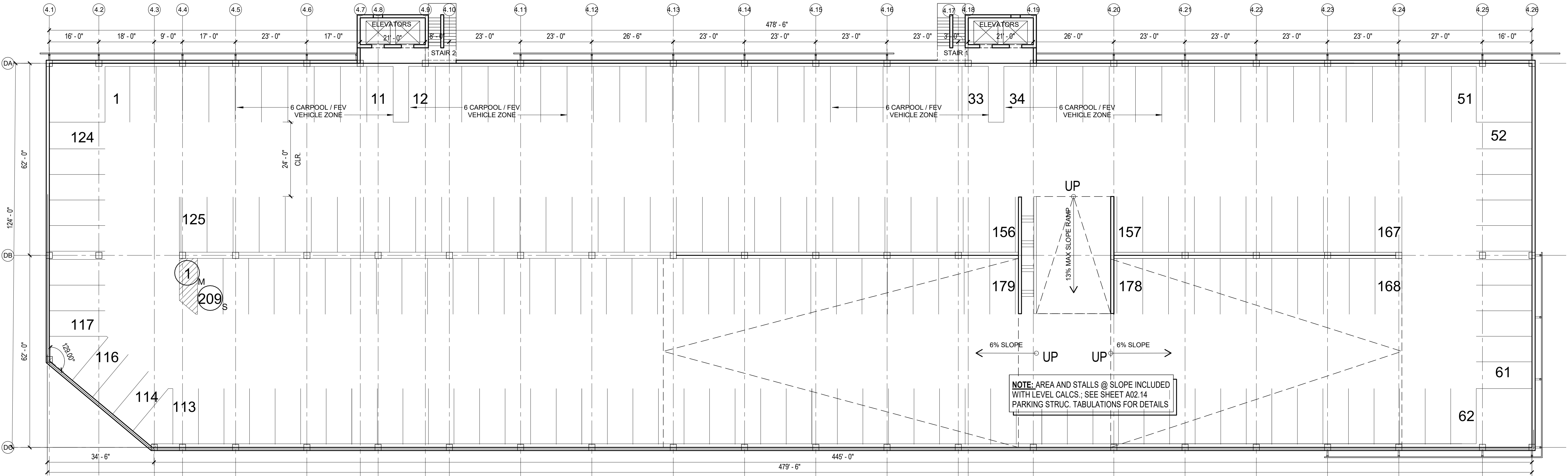
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PARKING STRUCTURE - CONSTRUCTION PLANS LEVEL 4
SCALE: 1/16" = 1'-0"

LEVEL 4 - 59,800 SF | 208 CARS | 288 SF / CAR 1



PARKING STRUCTURE - CONSTRUCTION PLANS LEVEL 5
SCALE: 1/16" = 1'-0"

LEVEL 5 - 59,800 SF | 208 CARS | 288 SF / CAR 2

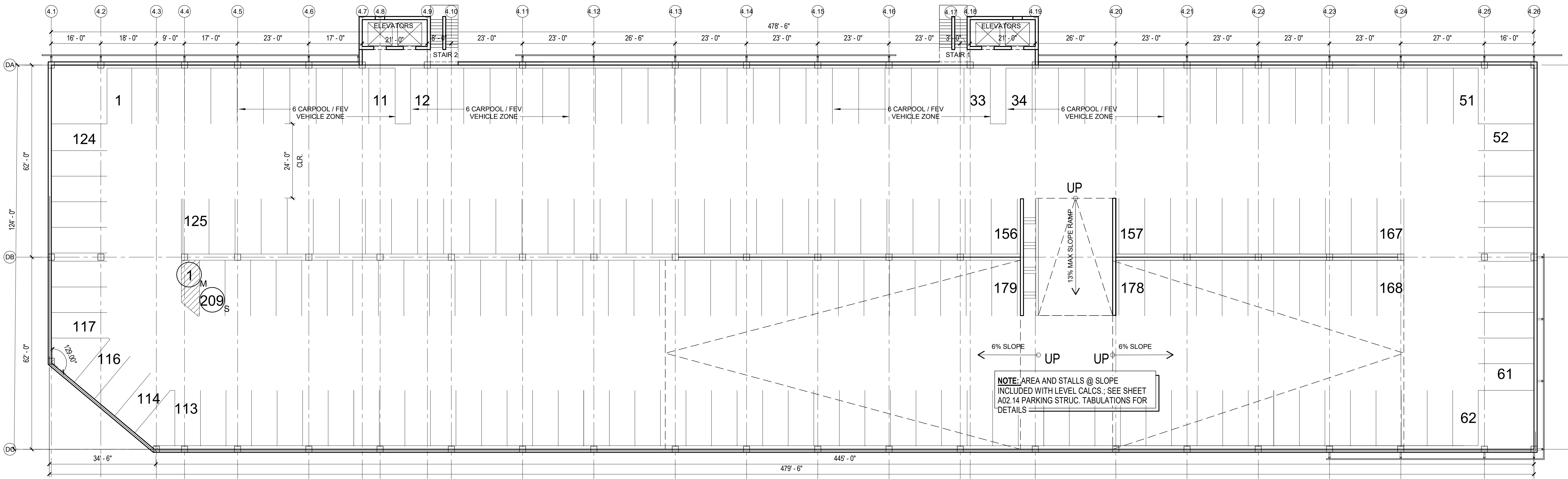
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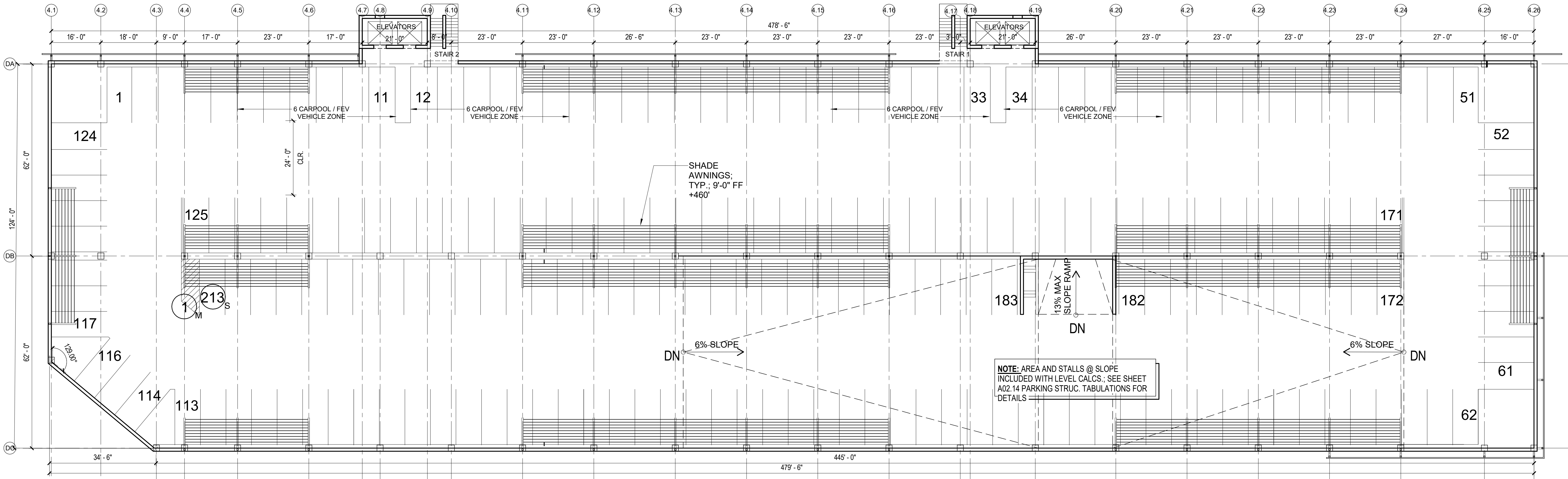
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PARKING STRUCTURE - CONSTRUCTION PLANS LEVEL 6
SCALE: 1/16" = 1'-0"

LEVEL 6 - 59,800 SF | 208 CARS | 288 SF / CAR 1

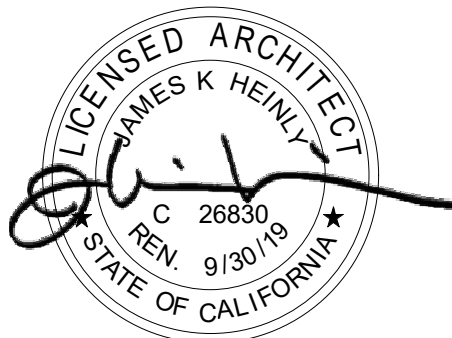


PARKING STRUCTURE - ROOF PLAN LEVEL 7
SCALE: 1/16" = 1'-0"

LEVEL 7 - 59,800 SF | 212 CARS | 282 SF / CAR 2

Issue	Date & Issue Description	By	Check
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Seal/Signature



Project Name
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Project Number
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Description
PARKING STRUCTURE - FLOOR & ROOF PLAN

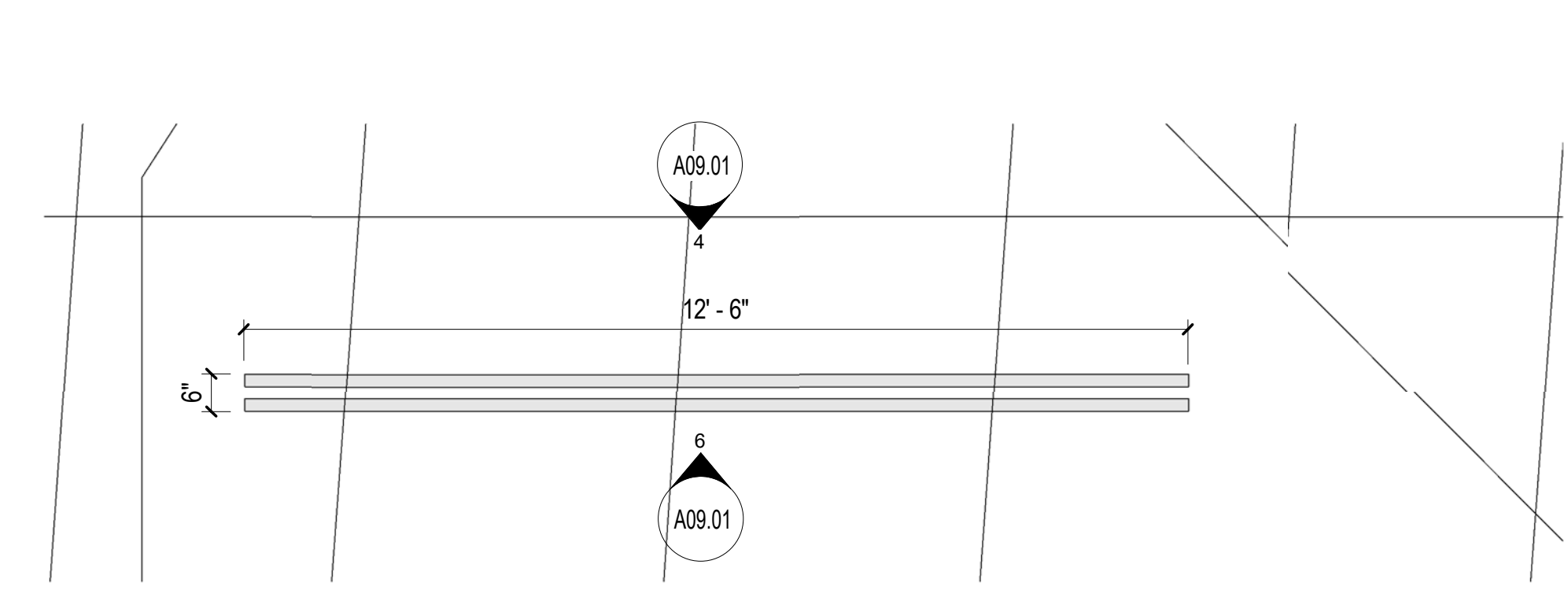
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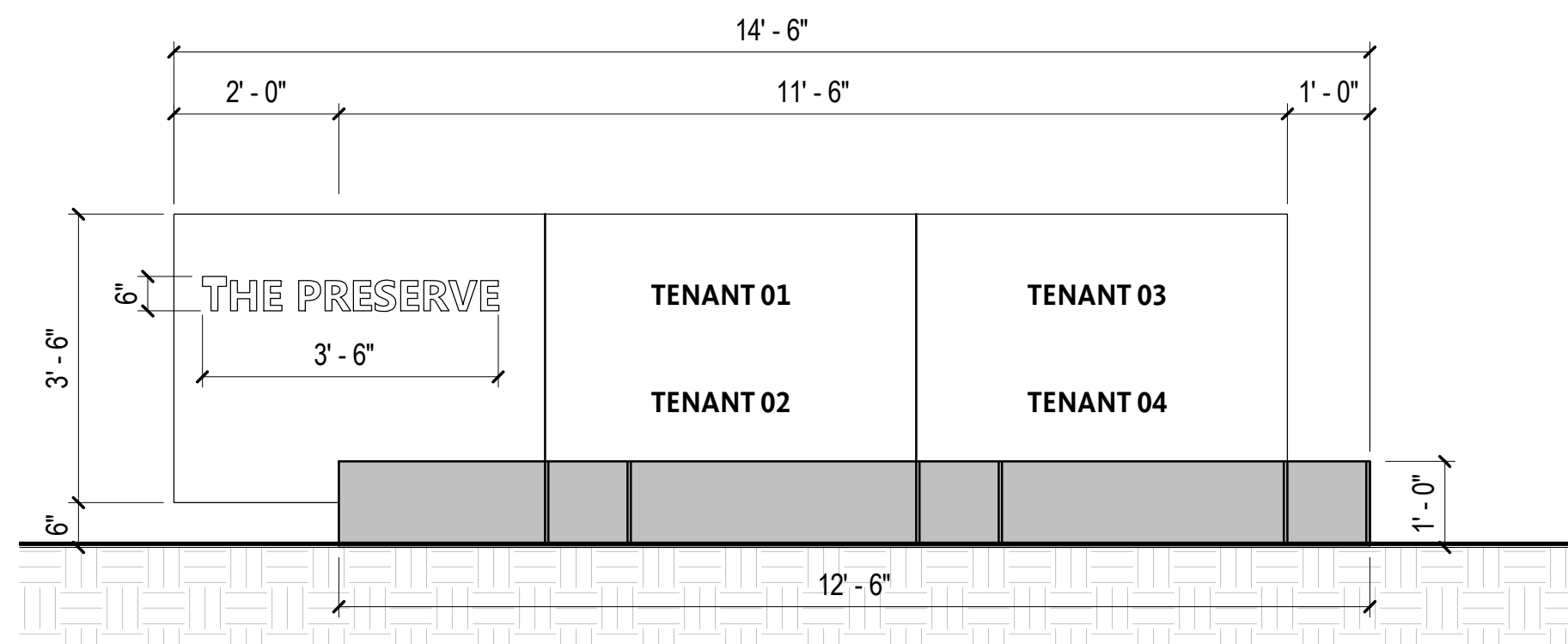
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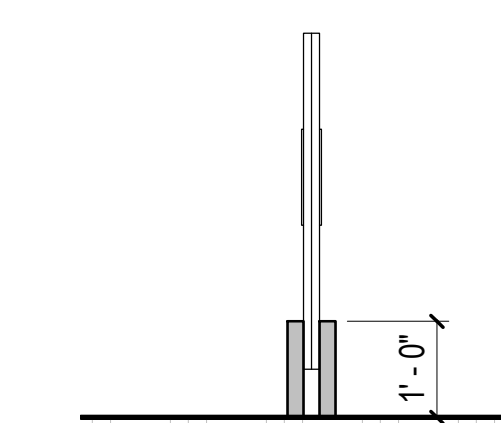




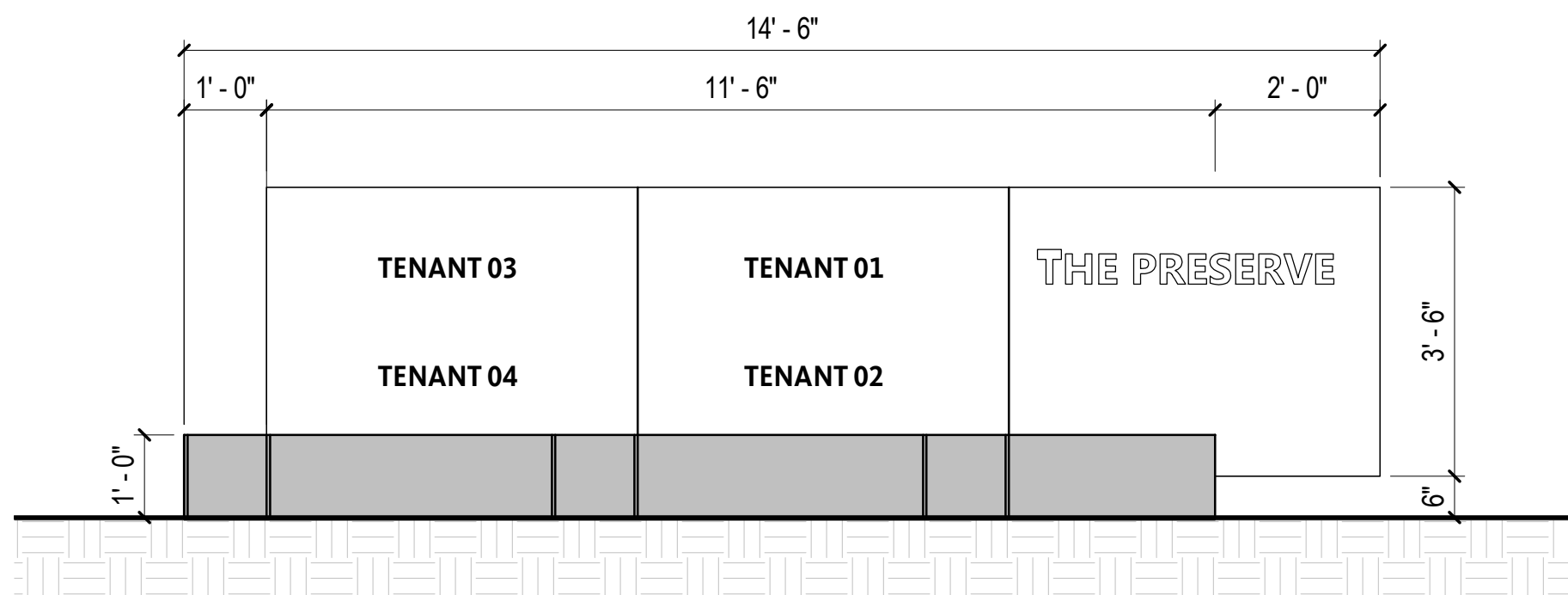
Monument Sign Plan
SCALE: 1/2" = 1'-0"



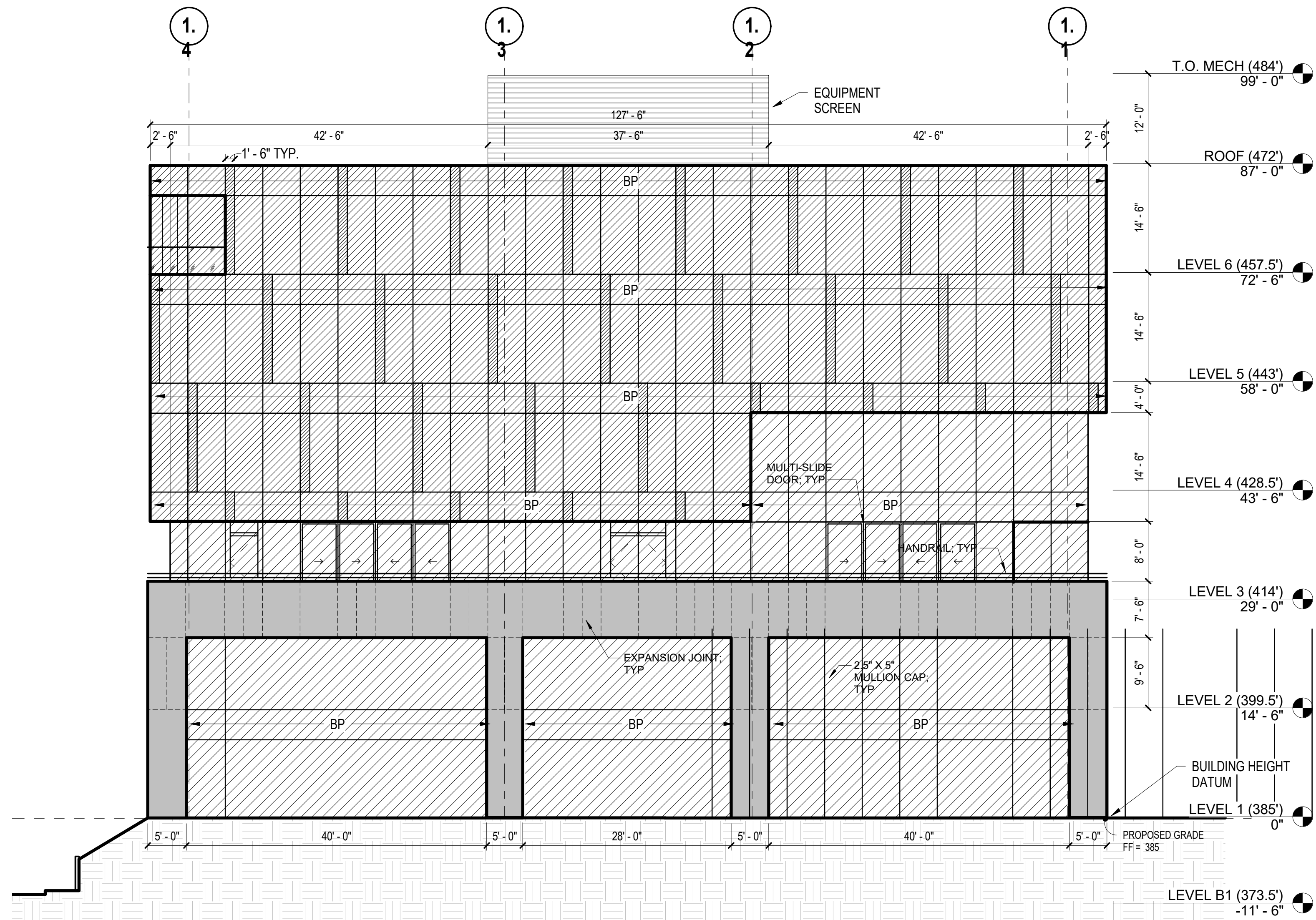
North Monument Sign Elevation
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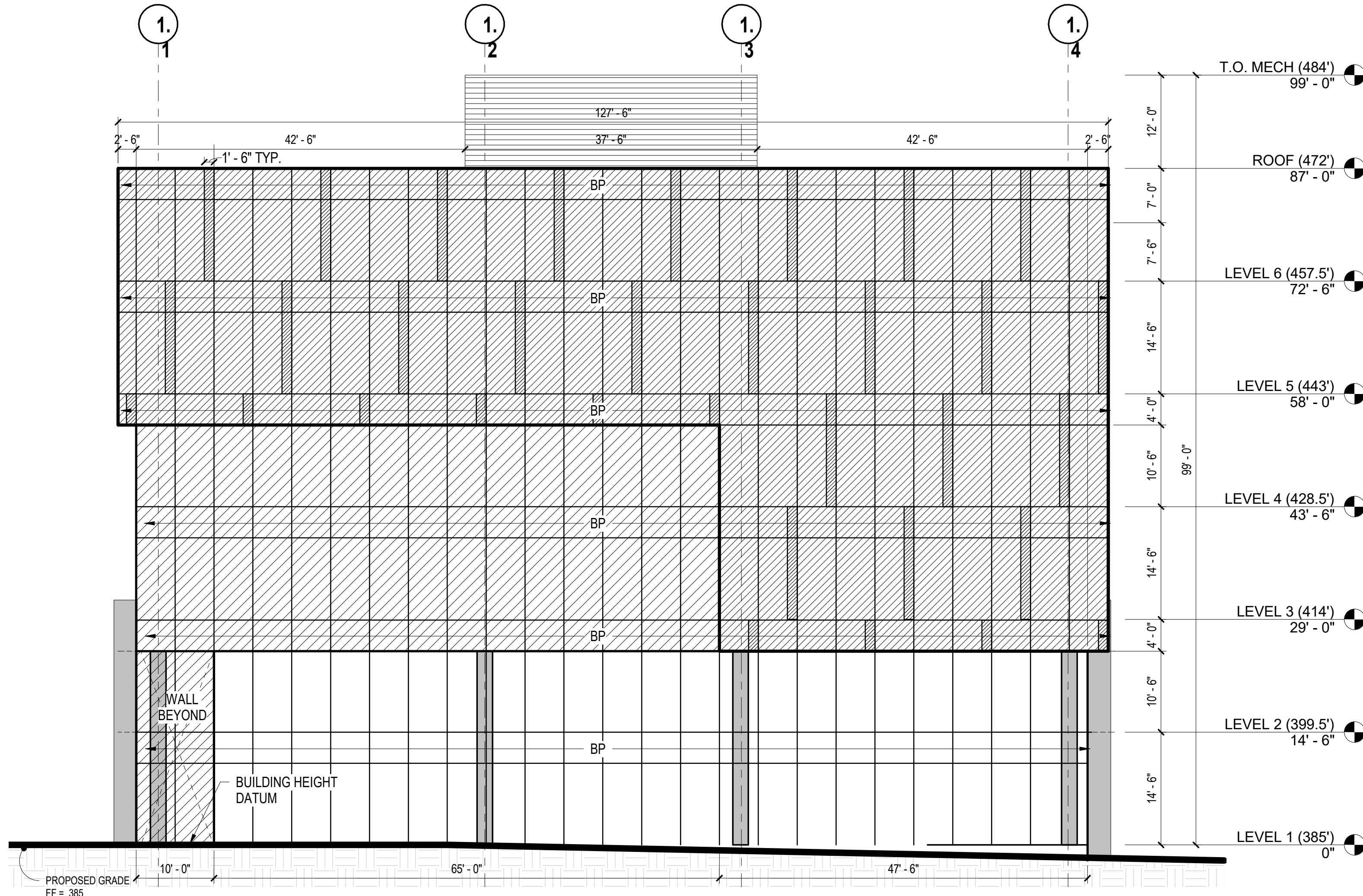
East Monument Sign Elevation
SCALE: 1/2" = 1'-0"



South Monument Sign Elevation
SCALE: 1/2" = 1'-0"



OFFICE BLDG 1 - NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



OFFICE BLDG 1 - SOUTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

	3" ALUMINUM PANEL		GREY PERFORATED METAL PANEL		BP		GL-1B	1" INSULATED GLASS STARFIRE W/ BACK PAN		GL-3	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE		BP	GL-4B	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
	CAST-IN-PLACE GREY CONCRETE, PAINTED IN MUTED EARTH TONES		METAL CLADDING		GL-2	1" INSULATED GLASS SOLARBAN 70XL		BP	GL-3B	GL-3B	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN		BP	GL-3B	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN
	STONE TILE WALL		GL-1	1" INSULATED GLASS STARFIRE		BP	GL-2B	GL-2B	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN		GL-4	1" INSULATED GLASS SOLARBAN 70XL		GL-4	1" INSULATED GLASS SOLARBAN 70XL

ELEVATIONS
SCALE: 1/2" = 1'-0"

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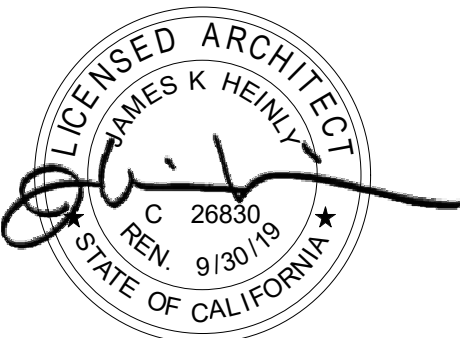
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2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



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THE PRESERVE AT TORREY HIGHLANDS

Project Number
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Description
OFFICE BLDG 1 - EXTERIOR ELEVATIONS

Scale
As indicated

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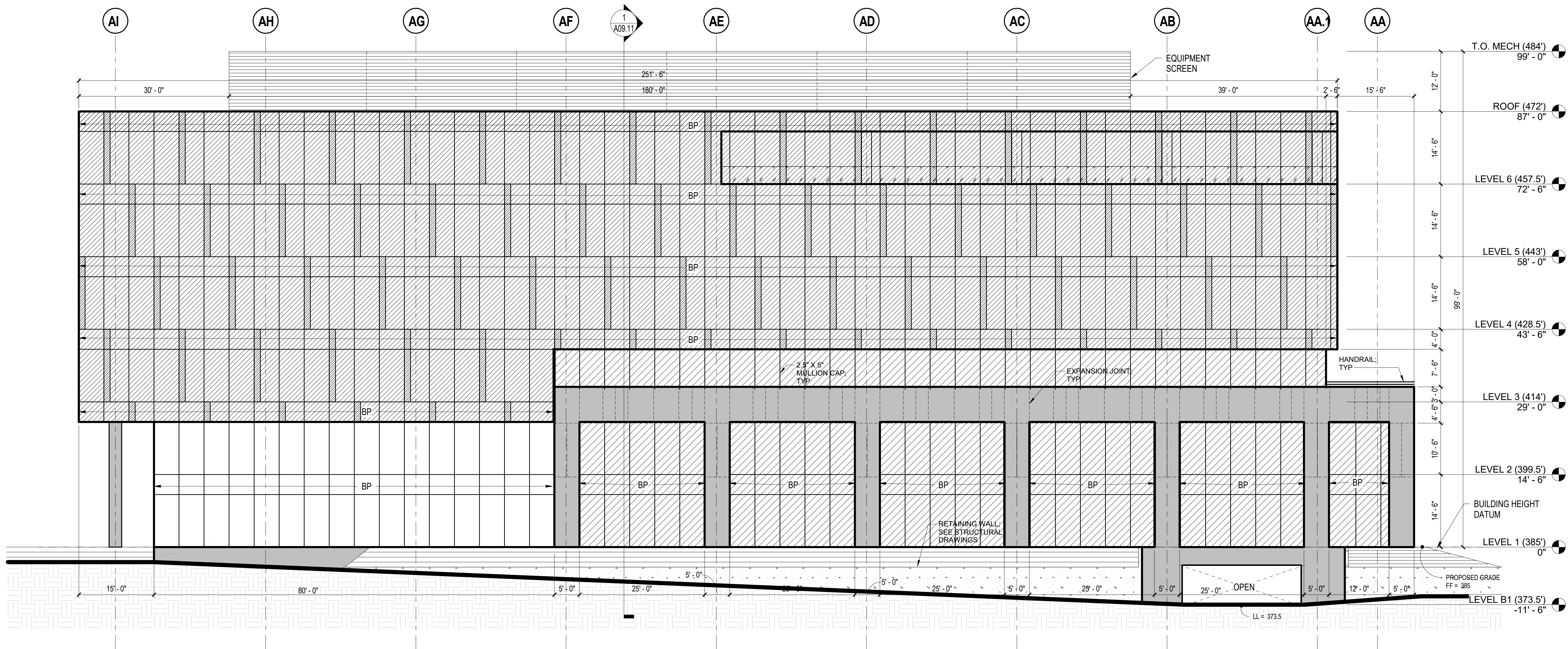


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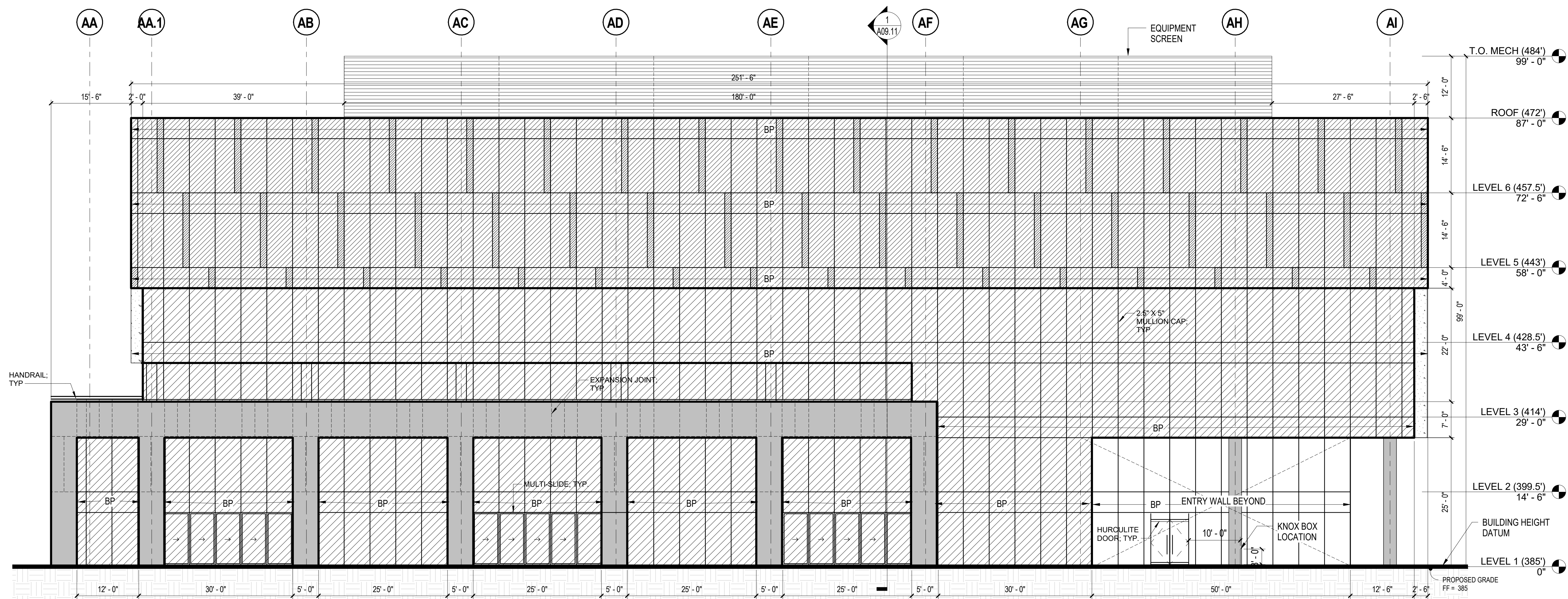
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OFFICE BLDG 1 - EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

3

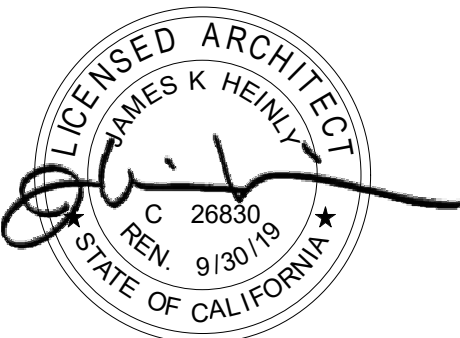


OFFICE BLDG 1 - WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

4

Issue	Date & Issue Description	By	Check
1	SDP Submittal	08/31/15	
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

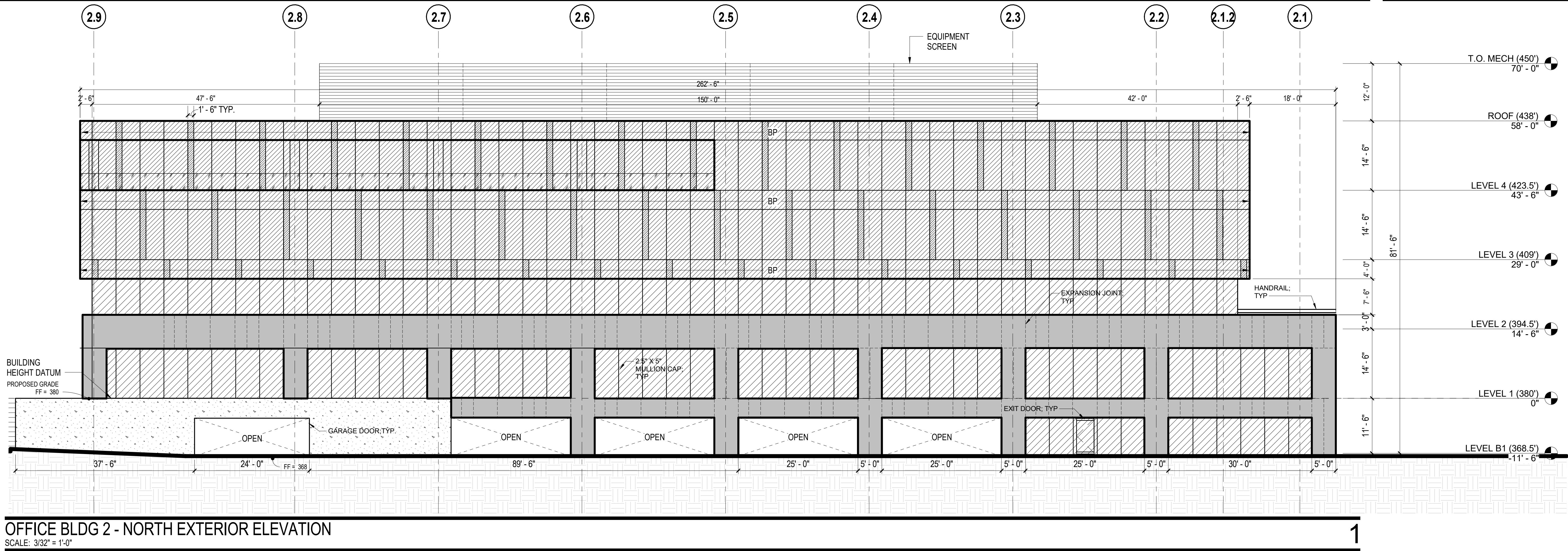
Project Number
55.7511.000

Description
OFFICE BLDG 1 - EXTERIOR ELEVATIONS

Scale
3/32" = 1'-0"

A09.02

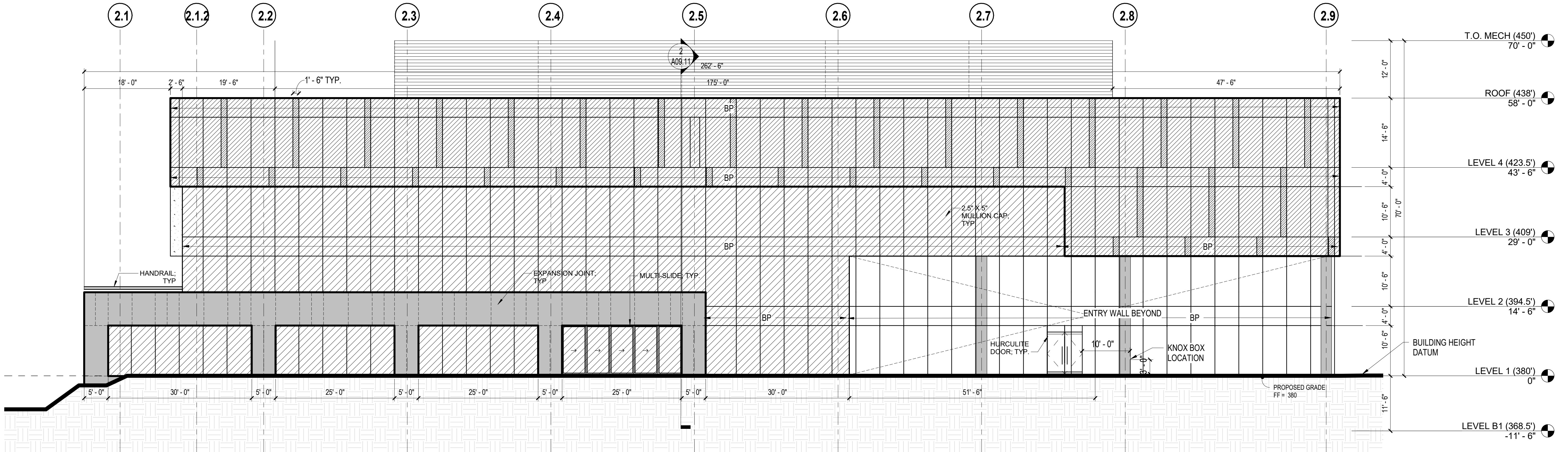
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OFFICE BLDG 2 - NORTH EXTERIOR ELEVATION

SCALE: 3/32" = 1'-0"

1



OFFICE BLDG 2 - SOUTH EXTERIOR ELEVATION

SCALE: 3/32" = 1'-0"

2

3" ALUMINUM PANEL

CAST-IN-PLACE GREY CONCRETE

STONE TILE WALL

GREY PERFORATED METAL PANEL

METAL CLADDING

GL-1 1" INSULATED GLASS STARFIRE

BP GL-1B 1" INSULATED GLASS STARFIRE W/ BACK PAN

GL-2 1" INSULATED GLASS SOLARBAN 70XL

BP GL-2B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN

GL-3 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE

BP GL-3B 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN

GL-4 1" INSULATED GLASS SOLARBAN 70XL

BP GL-4B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN

ELEVATION 01

SCALE: 1/2" = 1'-0"

THE PRESERVE AT TORREY HIGHLANDS

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SAN DIEGO, CA 92129

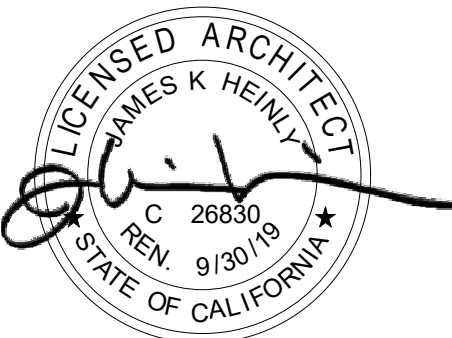
APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
OFFICE BLDG 2 - EXTERIOR ELEVATIONS

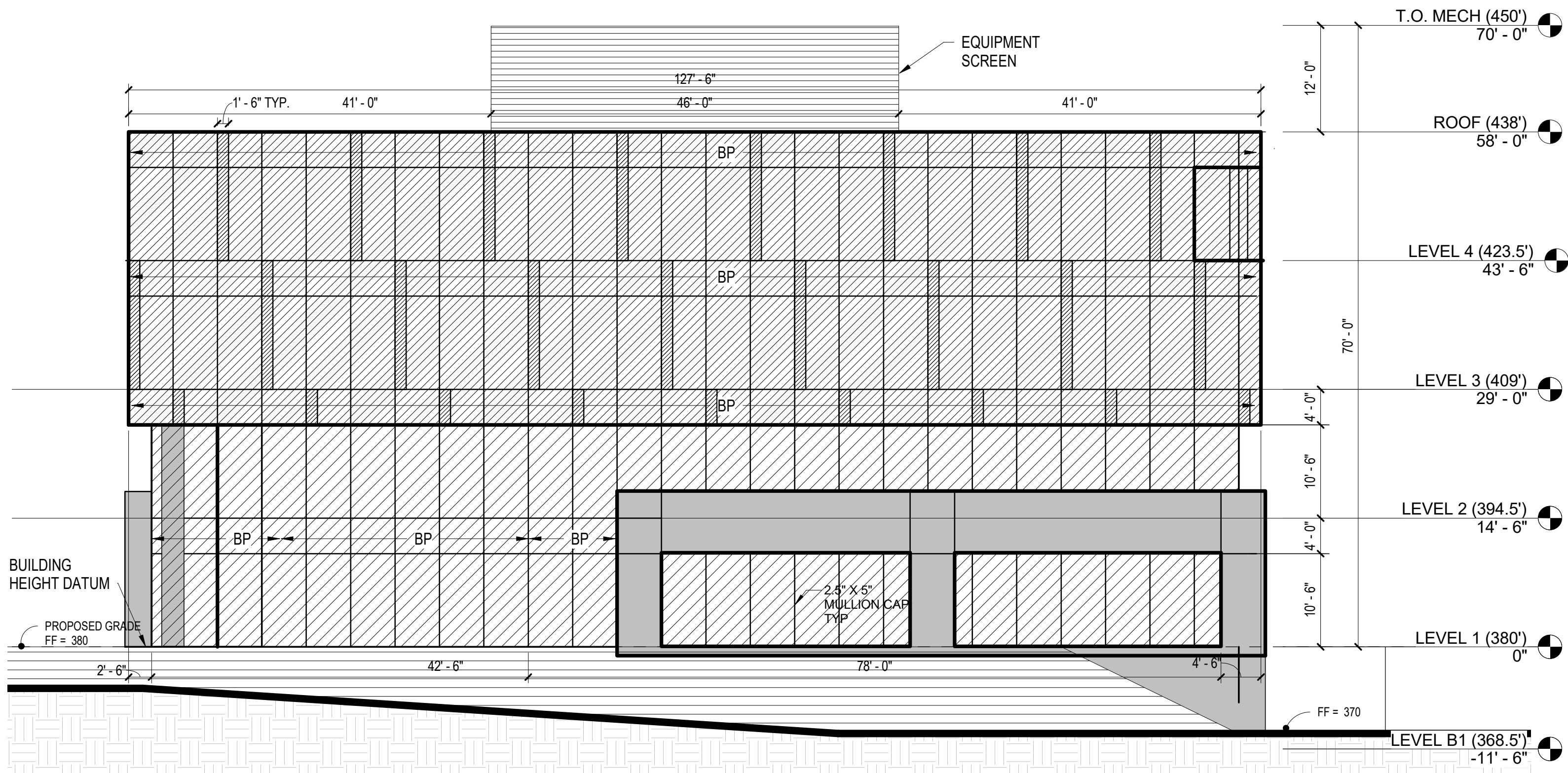
Scale
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A09.03

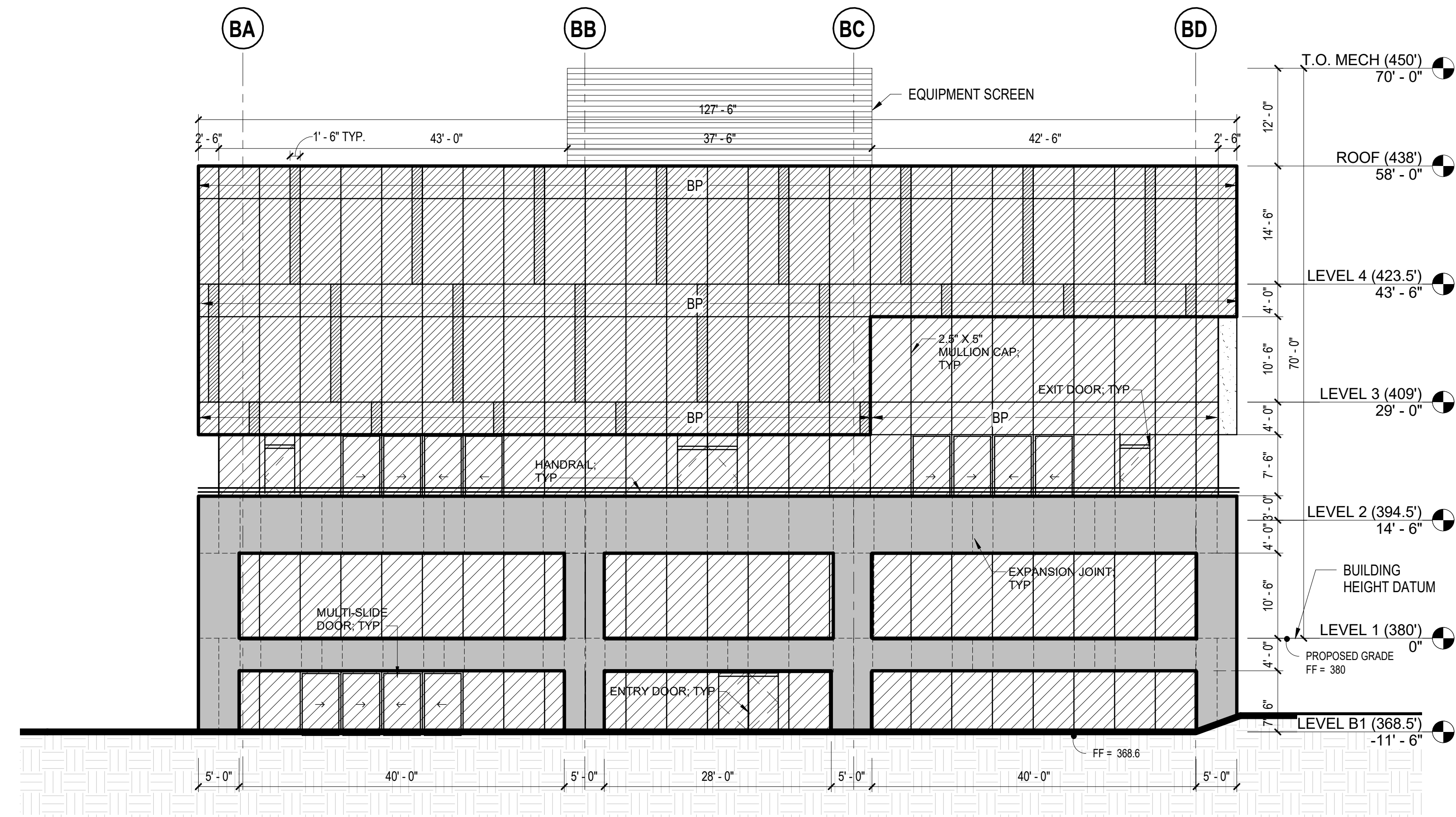
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OFFICE BLDG 2 - EAST EXTERIOR ELEVATION 3



OFFICE BLDG 2 - WEST EXTERIOR ELEVATION 4

- 3" ALUMINUM PANEL
- CAST-IN-PLACE GREY CONCRETE
- STONE TILE WALL
- GREY PERFORATED METAL PANEL
- METAL CLADDING
- GL-1 1" INSULATED GLASS STARFIRE
- BP GL-1B 1" INSULATED GLASS STARFIRE W/ BACK PAN
- GL-2 1" INSULATED GLASS SOLARBAN 70XL
- BP GL-2B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
- GL-3 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE
- BP GL-3B 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN
- GL-4 1" INSULATED GLASS SOLARBAN 70XL
- BP GL-4B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN

ELEVATION SCALE: 1/2" = 1'-0"

THE PRESERVE AT TORREY HIGHLANDS

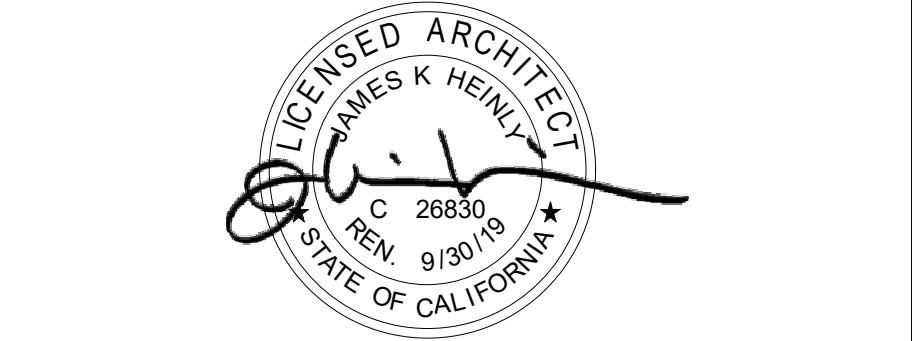
SEQ STATE ROUTE 56 & CAMINO DEL SUR
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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
OFFICE BLDG 2 - EXTERIOR ELEVATIONS

Scale
As indicated

A09.04

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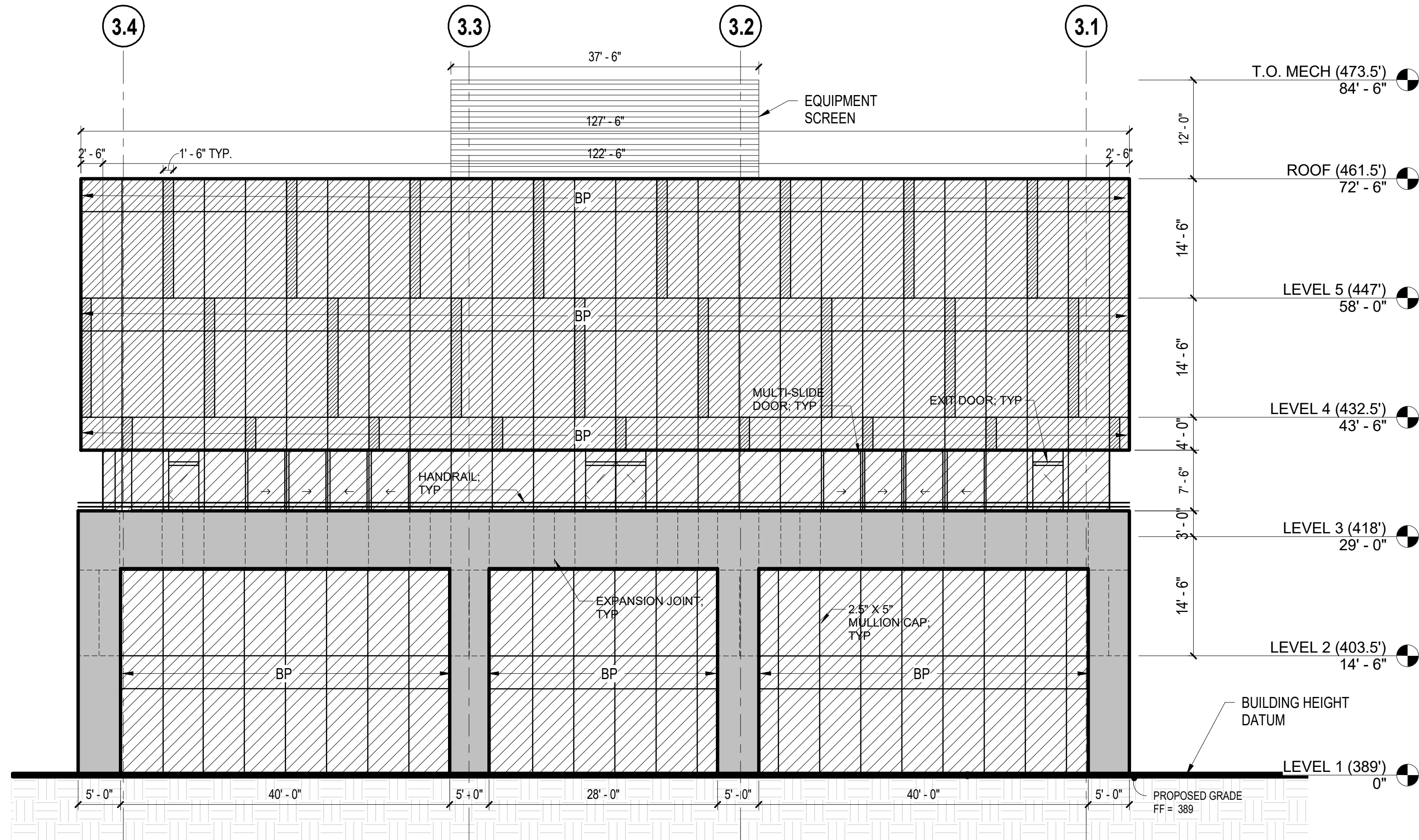


THE PRESERVE AT
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APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

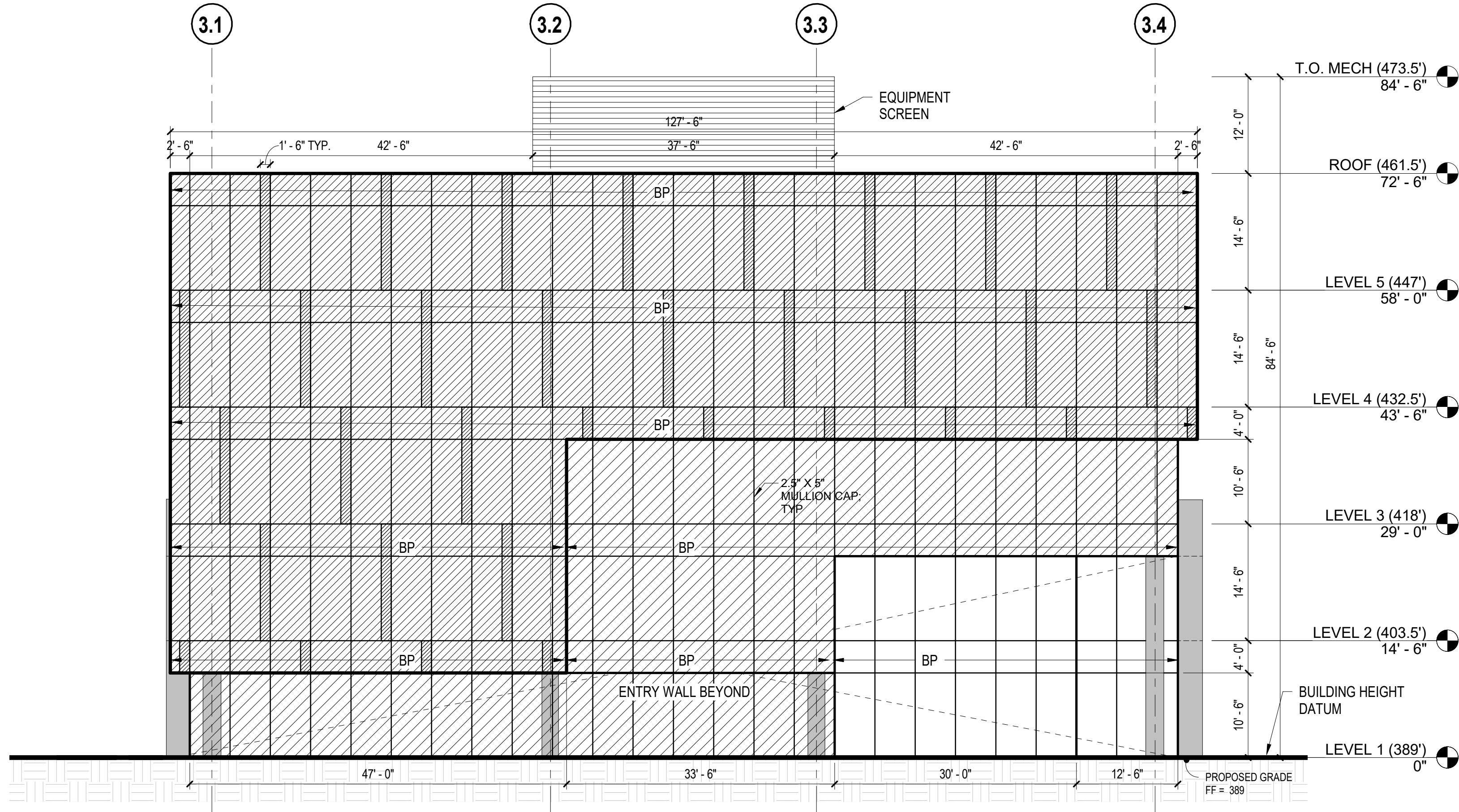
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OFFICE BLDG 3 - NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

1



OFFICE BLDG 3 - SOUTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

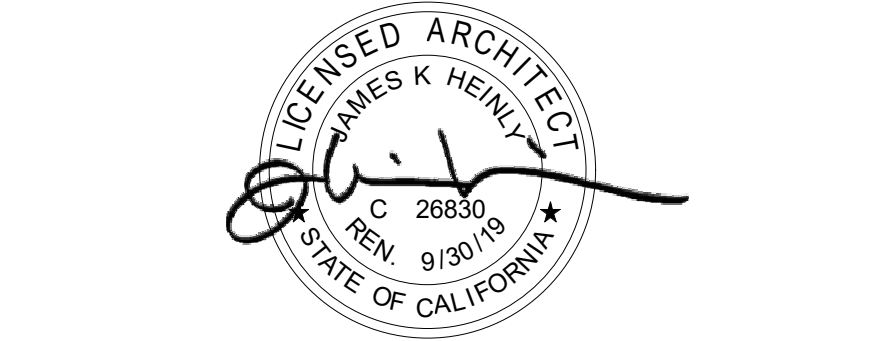
2

- 3" ALUMINUM PANEL
- CAST-IN-PLACE GREY CONCRETE
- STONE TILE WALL
- GREY PERFORATED METAL PANEL
- METAL CLADDING
- GL-1 1" INSULATED GLASS STARFIRE
- BP GL-1B 1" INSULATED GLASS STARFIRE W/ BACK PAN
- GL-2 1" INSULATED GLASS SOLARBAN 70XL
- BP GL-2B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
- GL-3 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE
- BP GL-3B 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN
- GL-4 1" INSULATED GLASS SOLARBAN 70XL
- BP GL-4B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN

ELEVATION
SCALE: 1/2" = 1'-0"

Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
OFFICE BLDG 3 - EXTERIOR ELEVATIONS

Scale
As indicated

A09.05

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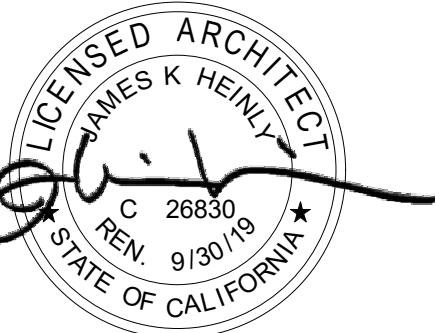
SEQ STATE ROUTE 56 & CAMINO DEL SUR
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APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

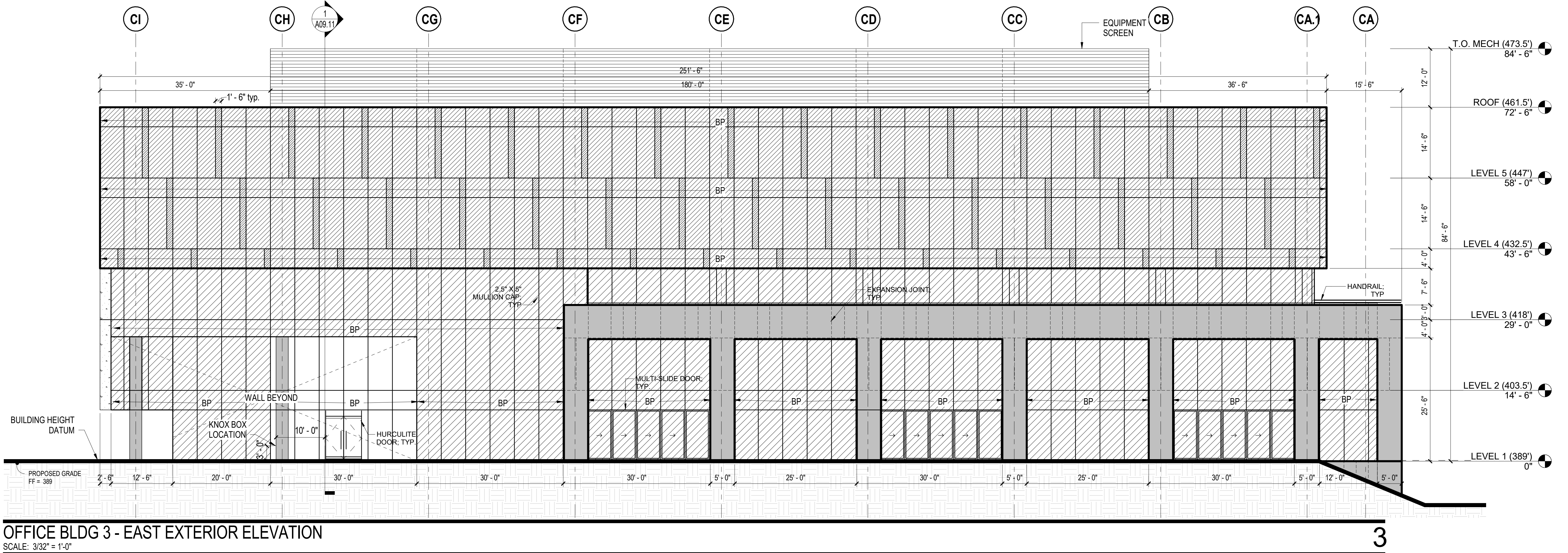
Project Number
55.7511.000

Description
OFFICE BLDG 3 - EXTERIOR ELEVATIONS

Scale
3/32" = 1'-0"

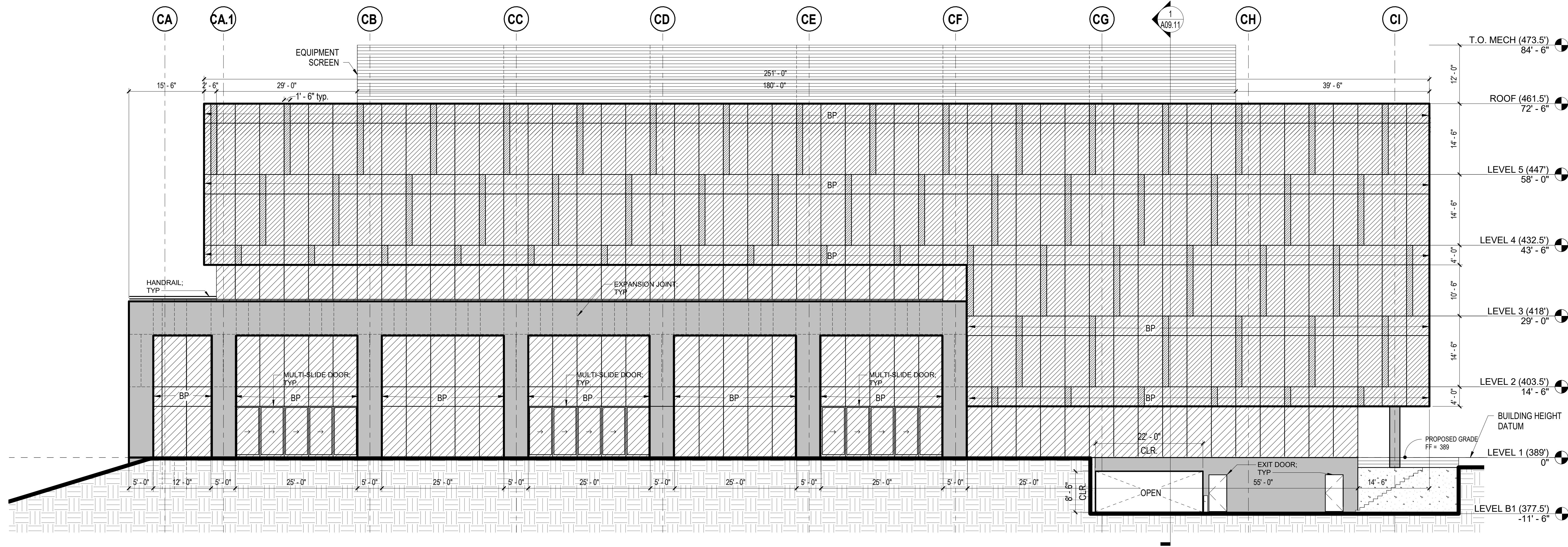
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OFFICE BLDG 3 - EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

3



OFFICE BLDG 3 - WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

4

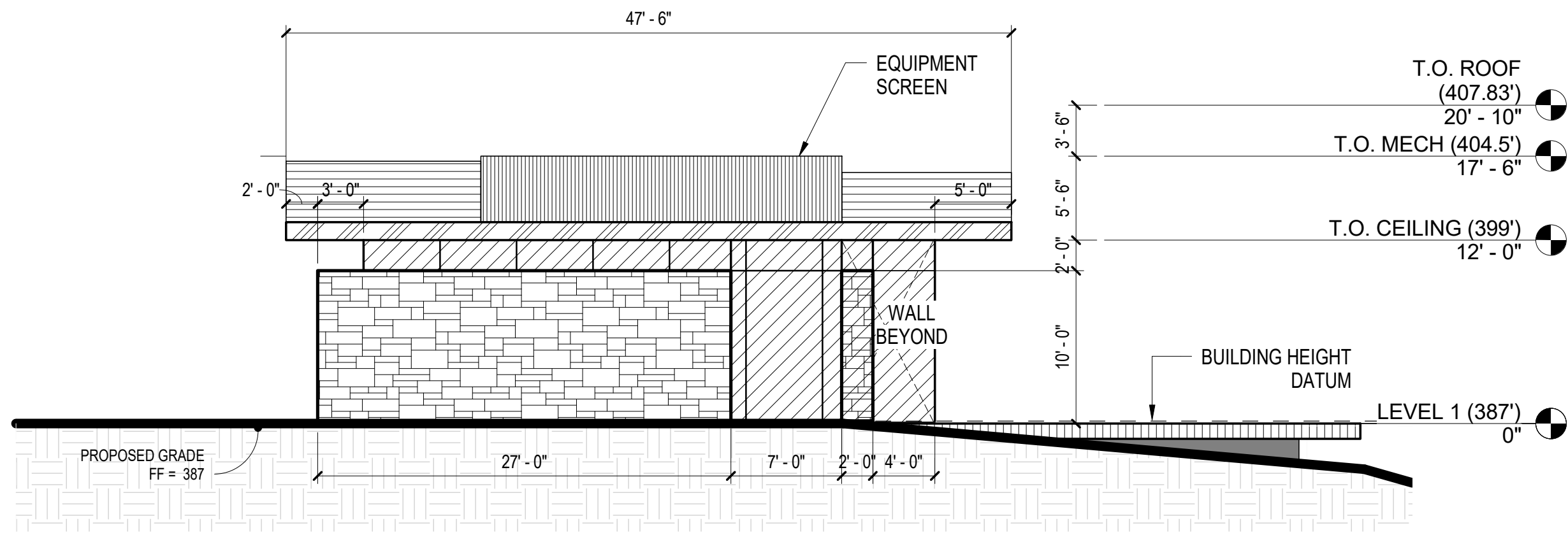
THE PRESERVE AT TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

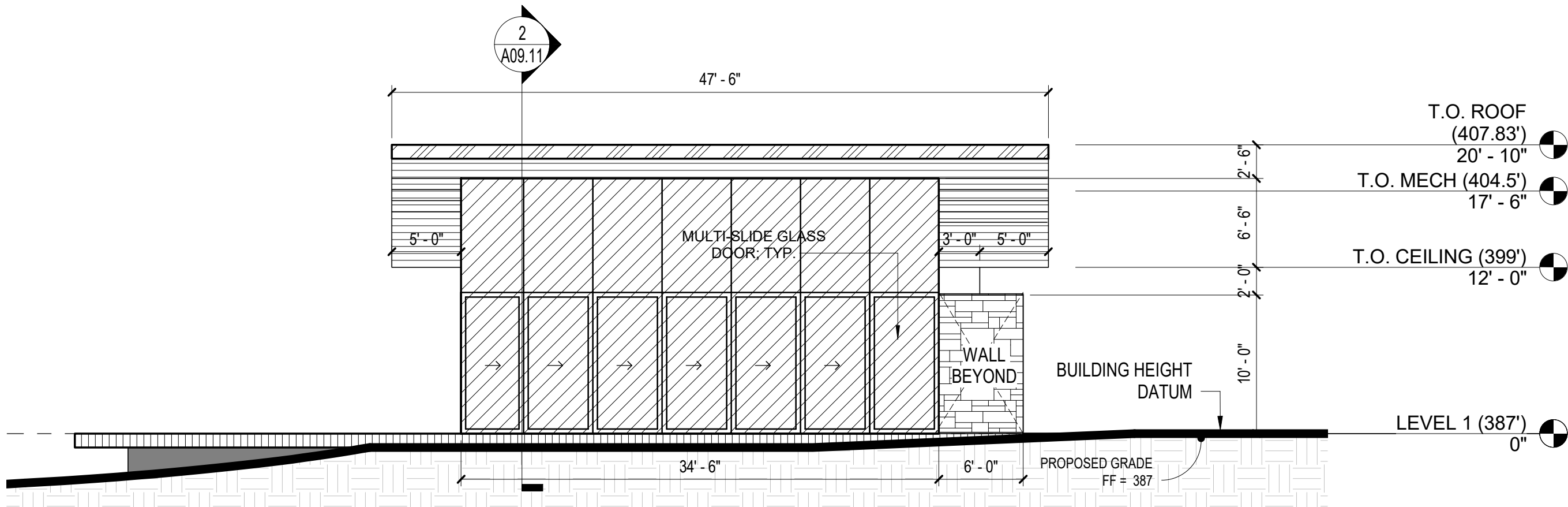
APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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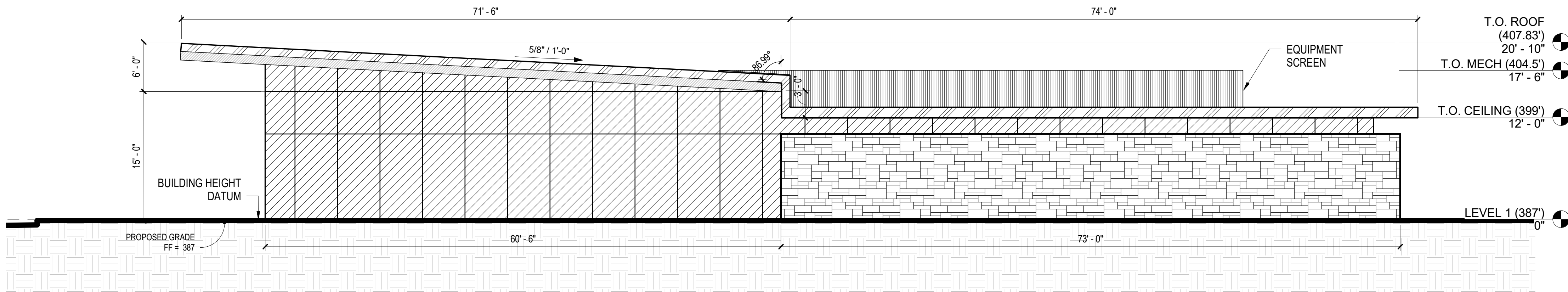
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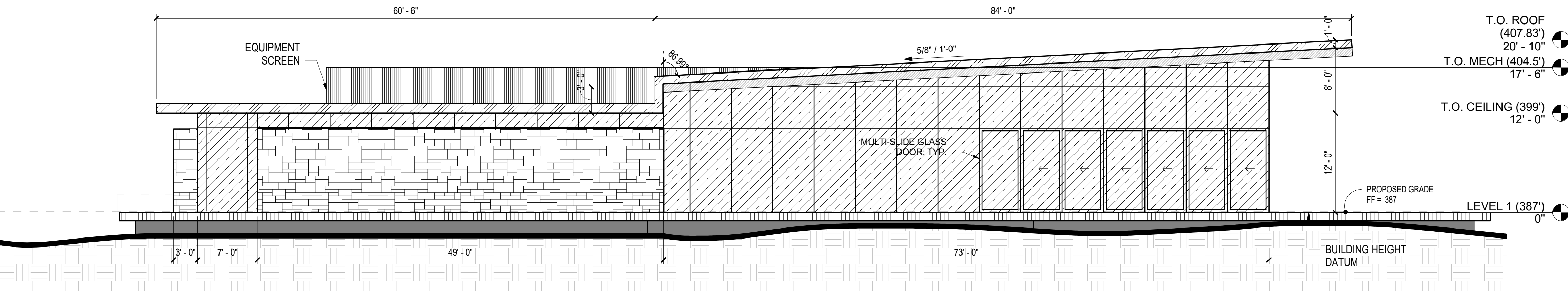
CAFE - NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



CAFE - SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



CAFE - EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



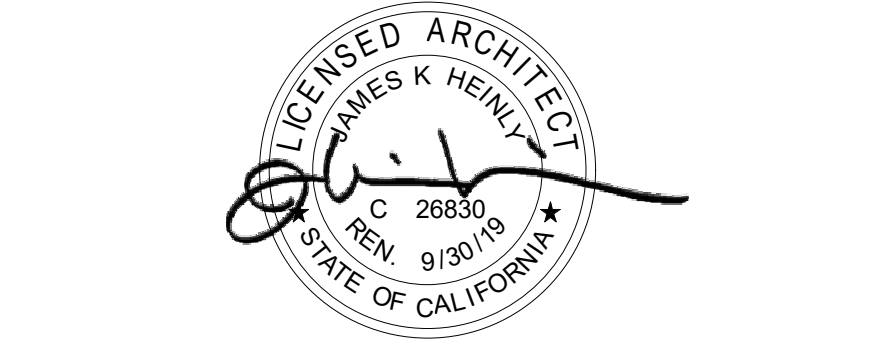
CAFE - WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

- 3" ALUMINUM PANEL
- CAST-IN-PLACE GREY CONCRETE
- STONE TILE WALL
- GREY PERFORATED METAL PANEL
- METAL CLADDING
- GL-1 1" INSULATED GLASS STARFIRE
- GL-1B 1" INSULATED GLASS STARFIRE W/ BACK PAN
- GL-2 1" INSULATED GLASS SOLARBAN 70XL
- GL-2B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
- GL-3 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE
- GL-3B 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN
- GL-4 1" INSULATED GLASS SOLARBAN 70XL
- GL-4B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN

ELEVATION
SCALE: 1/2" = 1'-0"

Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
CAFE - EXTERIOR ELEVATIONS

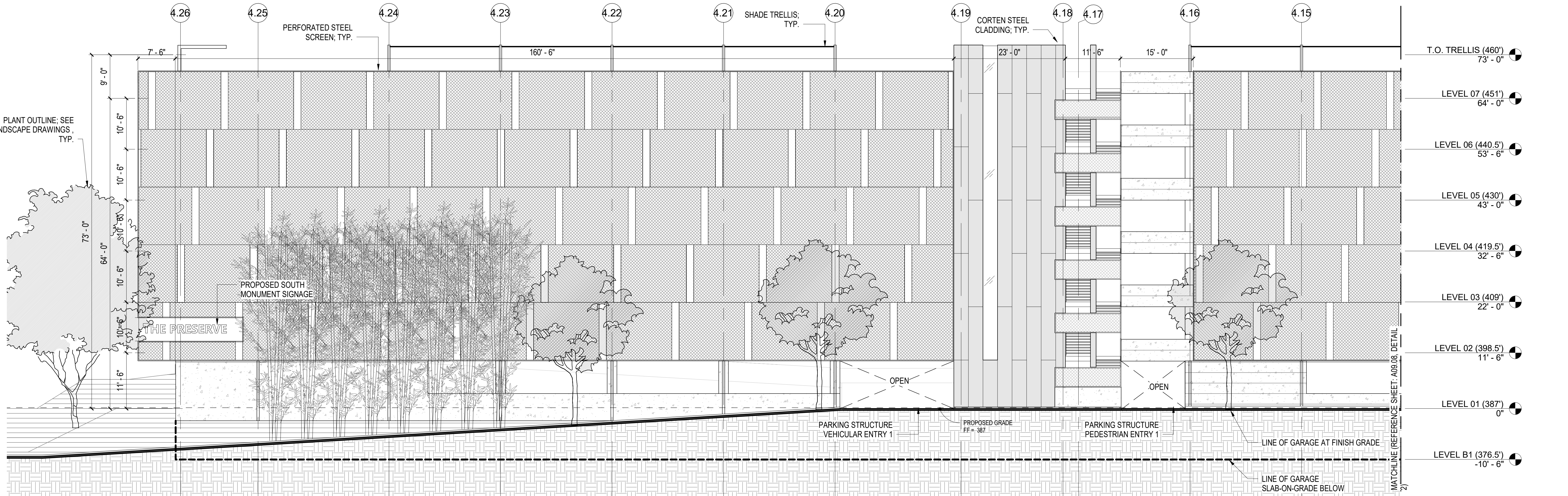
Scale
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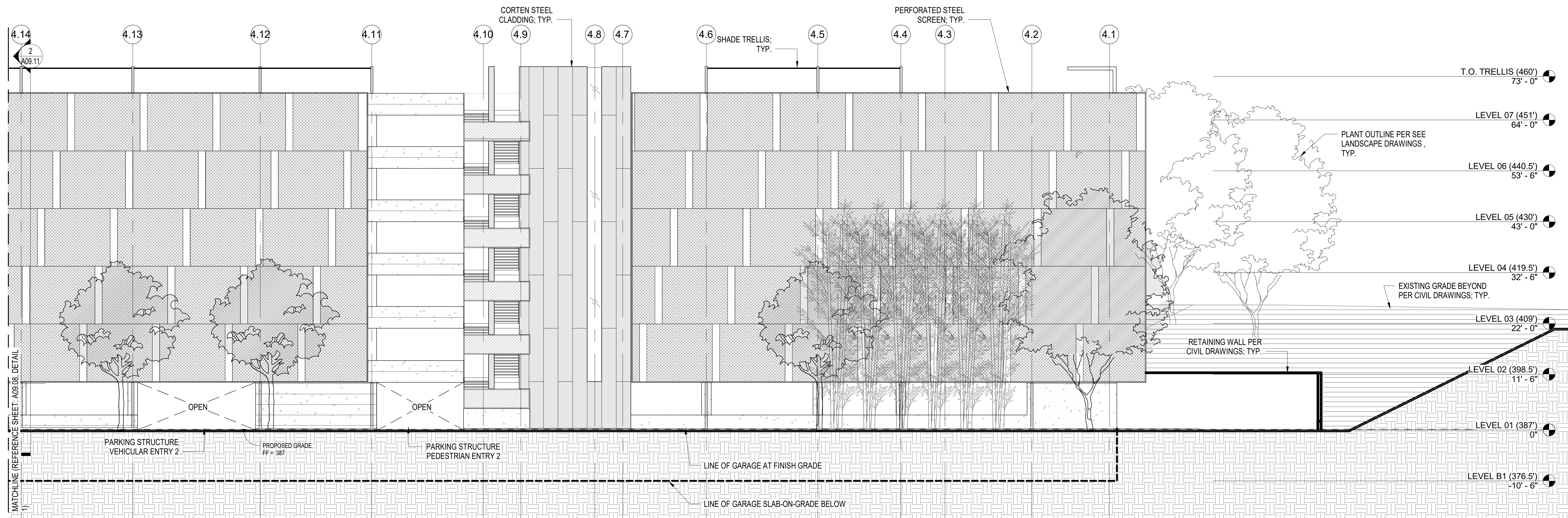




PARKING STRUCTURE - NORTH EXTERIOR ELEVATION 1

SCALE: 1" = 10'-0"














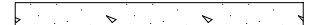

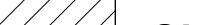

1



PARKING STRUCTURE - NORTH EXTERIOR ELEVATION 2

SCALE: 1" = 10'-0"

2

	3" ALUMINUM PANEL		GREY PERFORATED METAL PANEL		BP		GL-1B	1" INSULATED GLASS STARFIRE W/ BACK PAN		GL-3	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE		BP		GL-4B	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
	CAST-IN-PLACE GREY CONCRETE, PAINTED IN MUTED EARTH TONES		METAL CLADDING		GL-2		GL-2	1" INSULATED GLASS SOLARBAN 70XL		BP		GL-3B	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN			
	STONE TILE WALL		GL-1	1" INSULATED GLASS STARFIRE		BP	GL-2B	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN		GL-4	1" INSULATED GLASS SOLARBAN 70XL					

ELEVATIONS

SCALE: 1/2" = 1'-0"

THE PRESERVE AT TORREY HIGHLANDS

SEQ STATE ROUTE 56 & CAMINO DEL SUR
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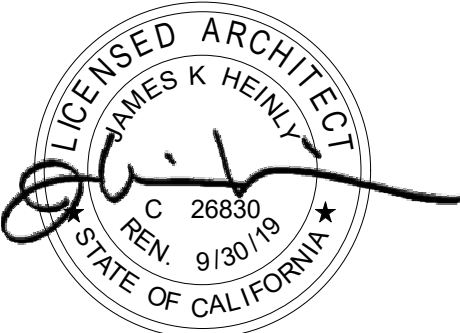
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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
PARKING STRUCTURE - EXTERIOR ELEVATIONS

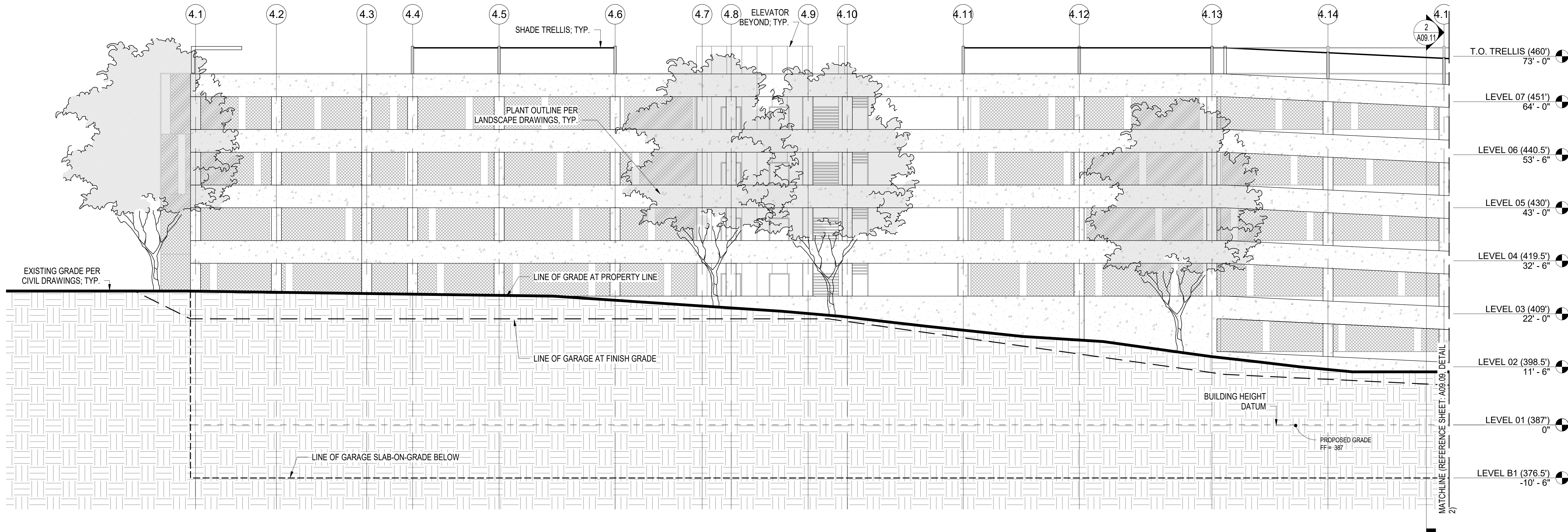
Scale
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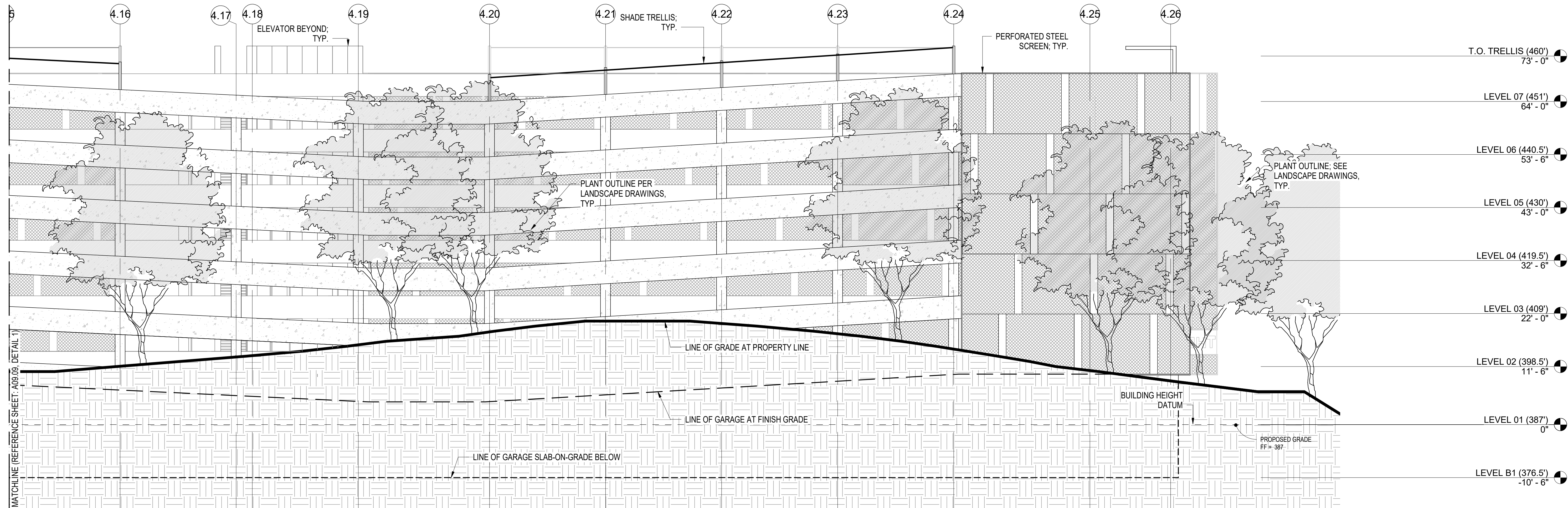
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PARKING STRUCTURE - SOUTH EXTERIOR ELEVATION 1
SCALE: 1" = 10'-0"

1



PARKING STRUCTURE - SOUTH EXTERIOR ELEVATION 2
SCALE: 1" = 10'-0"

2

	3" ALUMINUM PANEL		GREY PERFORATED METAL PANEL		BP		GL-1B 1" INSULATED GLASS STARFIRE W/ BACK PAN		GL-3 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE		BP		GL-4B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
	CAST-IN-PLACE GREY CONCRETE, PAINTED IN MUTED EARTH TONES		METAL CLADDING		GL-2 1" INSULATED GLASS SOLARBAN 70XL		BP		GL-3B 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN		GL-4 1" INSULATED GLASS SOLARBAN 70XL		
	STONE TILE WALL		GL-1 1" INSULATED GLASS STARFIRE		GL-2B 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN								

ELEVATIONS
SCALE: 1/2" = 1'-0"

Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
2015-11-18	SDP SUBMITTAL #2		
2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
PARKING STRUCTURE - EXTERIOR ELEVATIONS

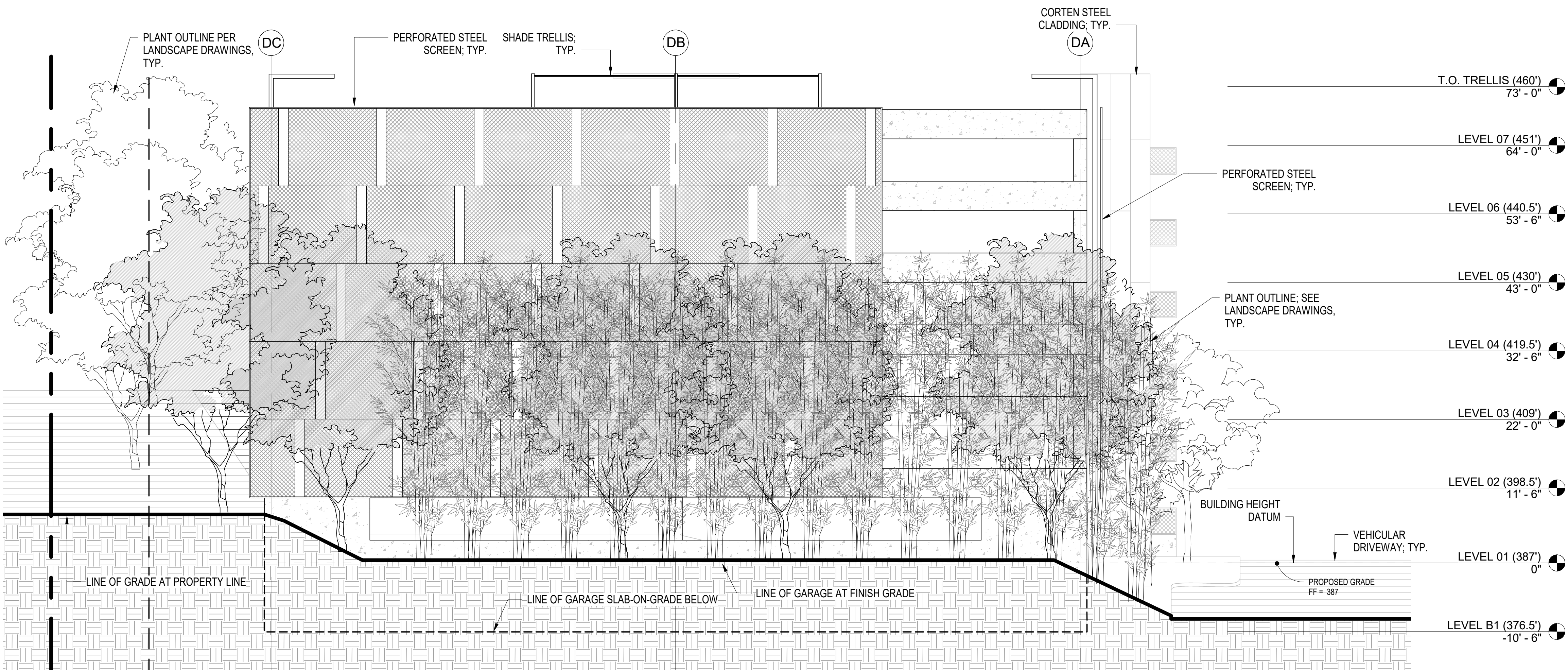
Scale
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A09.09

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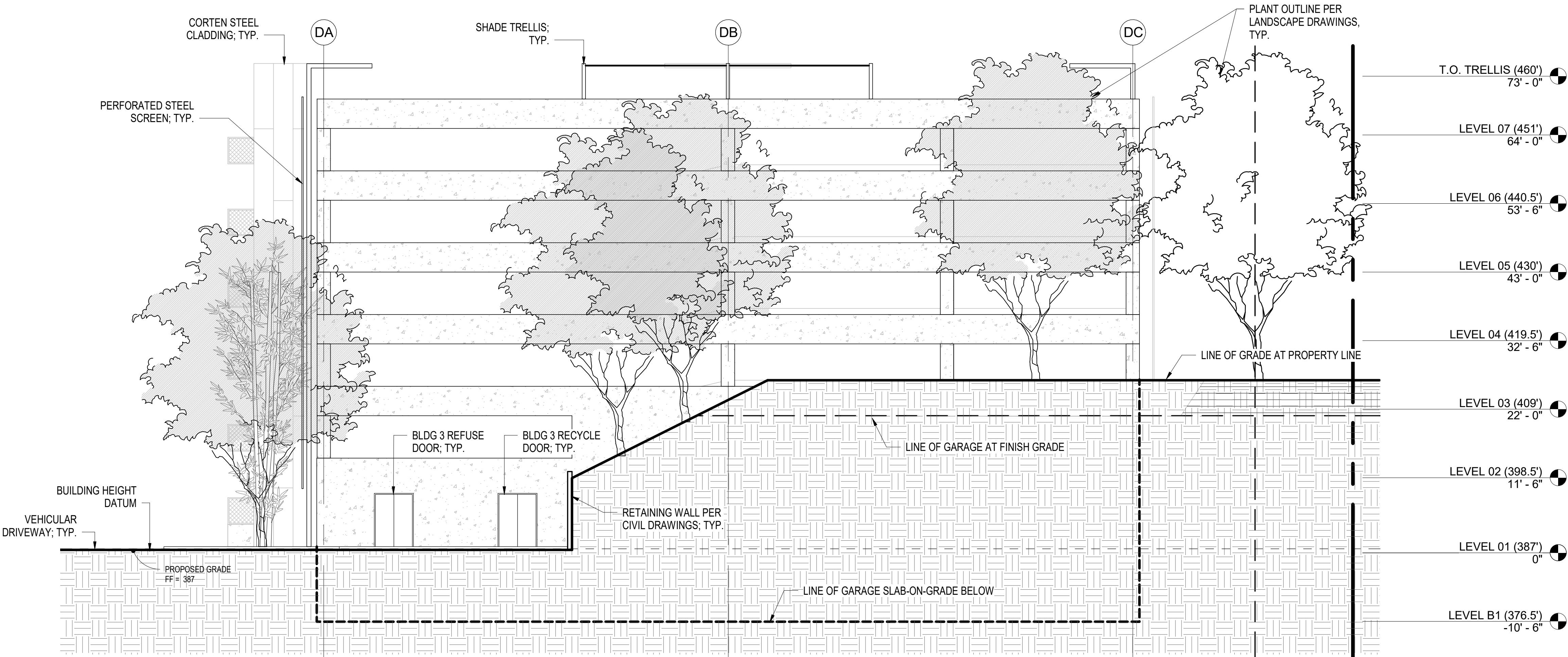
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PARKING STRUCTURE - EAST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

2



PARKING STRUCTURE - WEST EXTERIOR ELEVATION
SCALE: 1" = 10'-0"

1

	3" ALUMINUM PANEL		GREY PERFORATED METAL PANEL		BP		GL-1B	1" INSULATED GLASS STARFIRE W/ BACK PAN		GL-3	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE		BP		GL-4B	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
	CAST-IN-PLACE GREY CONCRETE, PAINTED IN MUTED EARTH TONES		METAL CLADDING		GL-2		GL-2	1" INSULATED GLASS SOLARBAN 70XL		BP		GL-3B	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN		GL-4	1" INSULATED GLASS SOLARBAN 70XL
	STONE TILE WALL		GL-1	1" INSULATED GLASS STARFIRE		BP	GL-2B	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN		GL-4	1" INSULATED GLASS SOLARBAN 70XL					

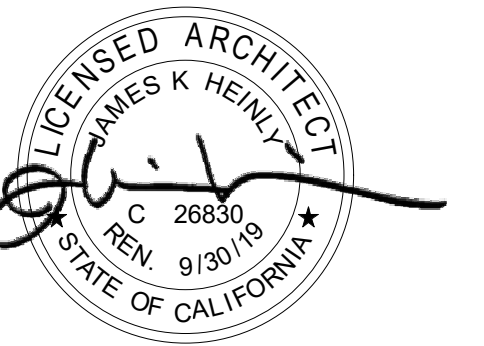
ELEVATIONS
SCALE: 1/2" = 1'-0"

THE PRESERVE AT
TORREY
HIGHLANDS

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Issue	Date & Issue Description	By	Check
2015-08-31	SDP SUBMITTAL		
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2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
PARKING STRUCTURE - EXTERIOR ELEVATIONS

Scale
As indicated



THE PRESERVE AT
TORREY
HIGHLANDS

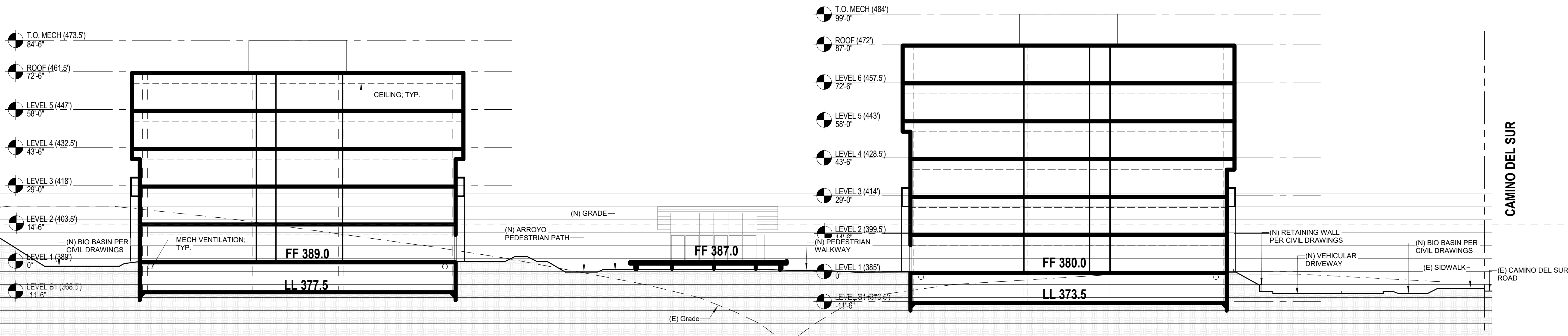
SEQ STATE ROUTE 56 & CAMINO DEL SUR
SAN DIEGO, CA 92129

APN# 306-050-16, 306-050-18, 306-050-19, 306-050-28

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San Diego CA 92101
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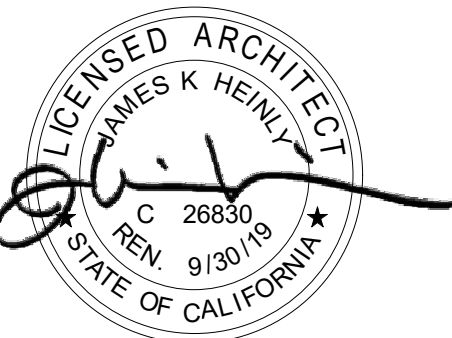
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415
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365
360



Issue	Date & Issue Description	By	Check
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2016-02-29	SDP SUBMITTAL #3		
2017-03-15	SDP SUBMITTAL #4		
2017-11-20	SDP SUBMITTAL #5		

Seal/Signature



Project Name
THE PRESERVE AT TORREY HIGHLANDS

Project Number
55.7511.000

Description
SITE SECTIONS

Scale
As indicated

A09.11

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SITE SECTION 2

SCALE: 3/64" = 1'-0"

2

LEGEND

- PROPERTY LINE
- SETBACK
- LIMIT OF WORK