



THE CITY OF SAN DIEGO

Report to the Planning Commission

33DATE ISSUED: April 4, 2019 REPORT NO. PC-19-026

HEARING DATE: April 11, 2019

SUBJECT: RV Mini Storage, Process Five Recommendation

PROJECT NUMBER: [534380](#)

OWNER/APPLICANT: Pardee Homes

SUMMARY

Issue: Should the Planning Commission recommend the City Council approve the construction of a recreational vehicle and mini-storage facility on a 10.03-acre site, located at the eastern terminus of Azuaga Street, southwest of the Interstate 15 (I-15) and State Route 56 (SR 56)/Ted Williams Parkway interchange in the RS-1-13 Zone within the Rancho Penasquitos Community Plan area?

Staff Recommendations:

1. Recommend City Council ADOPT Addendum No. 534380 to Environmental Impact Report No. 89-1222/SCH No. 91061052 and ADOPT the Mitigation, Monitoring, and Reporting Program (MMRP); and
2. Recommend City Council APPROVE Planned Development Permit No. 2180790, Site Development Permit No. 2266733, and Easement Vacation No. 18872277.

Community Planning Group Recommendation: On September 5, 2018, the Rancho Penasquitos Community Planning Board voted 12-1-1 to recommend approval of the project with no recommendations or conditions (Attachment 10).

Environmental Review: [Addendum No. 534380 to Environmental Impact Report No. 89-1222/SCH No. 91061052](#) has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) has been prepared and would be implemented with this project to reduce all of the potential impacts to resources to below a level of significance (Attachment 4). Impacts were identified to Biological Resources and Visual Quality.

Fiscal Impact Statement: None. All costs are recovered through a deposit account funded by

the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The Rancho Penasquitos Community Plan ([RPCP](#)) designated the project site as Industrial. The land use allocation table identifies that approximately 10 acres of land should be used for Recreational Vehicle Storage and Mini-storage, with a notation that if the site is not used for those uses, it should remain as or revert to open space. No housing units were planned for or are proposed for this site, and there would be no impact to housing.

BACKGROUND

On March 30, 1993, the City Council of the City of San Diego certified the RPCP Final Environmental Impact Report (EIR) and approved the current RPCP. The RPCP specifically identified that approximately 10 acres of land in the community should be used for recreational vehicle and mini-storage. A Mitigation Monitoring and Reporting Program (MMRP), Findings, and Statement of Overriding Considerations (SOCs) for the RPCP were also adopted with the EIR and approval of the RPCP.

The 10.03-acre project site is at the eastern terminus of Azuaga Street, southwest of the Interstate 15 (I-15)/State Route 56 (SR 56)/Ted Williams Parkway interchange. The project site is currently undeveloped and has been disturbed with prior grading and use as a construction staging area. The site is gently sloping, with elevations ranging from 525 to 575 feet above mean sea level (AMSL). Topography on the site is generally flat, with some slopes along the western edge, but does not contain steep slopes as defined by the City's Environmentally Sensitive Lands.

While the project site is undeveloped, it is located within a developed neighborhood, southwest of the I-15/SR 56 interchange and east of an existing condominium/townhome development called Terra Vista. The site is somewhat triangular-shaped, and so east and south of the site is bounded by I-15, and to the north is SR-56. Southwest of the site is a canyon area.

The project site is designated in the RPCP as Industrial, and the plan's land use allocation table specifies that approximately 10 acres are to be allocated to Recreational Vehicle and Mini-storage. The site is zoned RS-1-13. The site is located within the Airport Land Use Compatibility Overlay Zone (Marine Corps Air Station [MCAS] Miramar), Airport Influence Area (Review Area 2), Very High Fire Severity Zone, and Transit Priority Area.

DISCUSSION

Project Description:

The project proposes to construct four buildings, up to three stories each and totaling 139,587 square feet of mini-storage and associated office space, along with 60 to 69 RV storage parking

spaces and 27 standard parking spaces. Improvements are proposed to site access, along with a sign, landscaping, and hardscape work.

The site is accessed from Azuaga Street and through the existing Terra Vista residential development. There is an access easement provided through the Terra Vista development to the site. Two gates are proposed to regulate access to the site. On-site circulation would consist of a loop road that would serve the buildings and the RV parking area.

The proposed mini-storage buildings would be three stories in height and would be at or below the 35-foot-height-limit for the zone. These building would be located in the central portion of the site, with RV parking along the eastern edge of the site.

Landscaping along the perimeter is proposed to screen the development from adjacent roadways and the Terra Vista development. Approximately 2 acres of the project site would be landscaped, including a mix of trees, shrubs, and hydroseed. All landscape and irrigation within the project site would conform to the standards of the City of San Diego (City) landscape regulations and the Land Development Manual Landscape Standards.

Grading for the project would require a total of 25,700 cubic yards (cy) of cut, and 25,700 cy of fill, resulting in no net import or export of soil. The maximum depth of fill would be 11 feet while the maximum depth of cut would be 13 feet. The maximum height of cut slopes would be 10 feet, while the maximum height of fill slope would be 12 feet. The project would construct two retaining walls in order to accommodate site development and reduce grading. One retaining wall would be 231 linear feet, ranging from 1 to 12 feet in height, located along the northern boundary of the site. The second retaining wall would be 37 linear feet, ranging from 1 to 10 feet in height, located along the western boundary of the site. The project would install a 9-foot-wide-by-5-foot-high sign located at the entrance to the project site along Azuaga Street.

There is an existing off-site drainage that collects runoff from State Route 56 (SR-56)/Ted Williams Parkway, discharges on-site via a storm drain pipe, flows through an on-site concrete drainage channel, and discharges in the southern area of the project site. The project would replace the concrete-lined channel with an underground storm drain pipe, provide a biofiltration basin, and construct an energy dissipater at outfalls near an existing wetland. In addition, an earthen channel would be provided along the southeastern edge of the development.

The project would install an 8-inch sewer pipeline that would connect to existing facilities associated with the adjacent Terra Vista Development. In addition, the project would install a 24-inch water pipe along the northern and eastern boundary of the project site, to which an internal network of 8-inch water main pipeline would connect.

Consistent with the RPCP recommendation, the open space easement that covers the site would be vacated as a part of the project, and equivalent open space would be provided in the East Elliott Community.

Required Approvals:

- Planned Development Permit (PDP) – A PDP in accordance with San Diego Municipal Code (SDMC) Section 126.0602 is required to allow for development that complies with the applicable land use plan, but contains uses that are not permitted in the underlying base zone.
- Site Development Permit (SDP) – The project site contains Environmental Sensitive Lands (ESL) in the form of biological resources that will be impacted by the development. Therefore, a SDP is required in accordance with SDMC Section 126.0502 (a)(5). Specifically, the project site contains sensitive biological resources in the form of Non-native grasses which will be impacted during on site grading and construction. Non-native grasses are designated in the City's Biology Guidelines as Tier III-B sensitive habitat.
- Easement Vacation – An Easement Vacation in accordance with SDMC Section 125.1010 is required to allow development on the project site, and where the RPCP recommends that the open space easement be vacated for development as an RV/Mini-Storage facility.

General Plan/Community Plan Analysis:

The project site is subject to the recommendations of the General Plan and the RPCP. The RPCP contains specific recommendations for the project site that provide more relevant guidance than the General Plan for evaluating land use and design policy consistency.

The Community Plan Land Use Map designates the site as Industrial and the plan's land use allocation table specifies that approximately 10 acres are to be allocated to Recreational Vehicle and Mini Storage. The Community Plan identifies a critical need for recreational vehicle storage sites due to various codes, covenants and restrictions that prohibit RVs from parking within residential neighborhoods. The plan's main objective is to alleviate extended parking of recreational vehicles on public streets, which is not permitted by the Municipal Code. Approval of the project would permit development of a recreational vehicle and mini-storage facility within the 10.03-acre site consistent with community plan land use recommendations.

The Community Plan also recommends that the existing open space easement, established when the Sun Ridge Vista development was approved, can be vacated for this use if equivalent open space is provided at another location. Alternatively, if development of a RV storage and mini-warehouse facility is determined to be infeasible at this location, the land use designation would change to open space and the open space easement would remain over the site. The applicant has identified and secured a 2.7-acre parcel in the East Elliott Community Plan for conservation of equivalent open space. The project proposal for a RV storage and mini-warehouse facility within the project site addresses the community plan recommendations. In addition, approximately 4 acres of the existing site would not be developed, with two acres of that area receiving landscape treatment for a visual buffer.

The Community Plan provides the following recommendations for design of any RV storage and mini-warehouse facility within the project site:

- The site should be heavily landscaped to provide an effective visual buffer from the adjacent residential development and freeways.

The project would provide trees, shrubs and vegetative groundcover of differing heights within a landscape setback around the perimeter of the site. The landscaped setback would function as a visual buffer between the proposed development area and adjacent residential development and freeways. Project mitigation measures include this requirement.

- Outdoor lighting should be permitted only on the RV storage facility and should be designed to minimize potential visual impacts.

The permit has a condition that lighting will not be installed within the landscaped setback described above and lighting within the remainder of the facility would meet Municipal Code requirements. These requirements would minimize any visual impacts due to lighting within the site.

- The design, color and materials of mini-storage structures should be compatible with the adjacent residential neighborhood and natural areas. Mini-storage buildings and paved areas should be designed and sited to be as unobtrusive as possible.

The permit has a condition to require future building construction specify and use neutral, muted and primarily earth-tone colors for all building facades.

- Only low-scale monument type signs should be permitted.

The site plan proposes one monument sign that is 9 feet wide with a height of 5 feet which addresses this recommendation.

Environmental Analysis:

The project site is located within the Multiple Species Conservation Program (MSCP) area, but is entirely outside of Multi-Habitat Planning Area (MHPA) boundaries. The project provided a biological survey of the site and determined that the majority of the site contains non-native grassland and ornamental landscaping, with wetland habitat in the southern area of the site. A manufactured slope along the southern and eastern side of the site is landscaped with ornamental plant species as part of the existing residential development. Two small areas associated with a concrete drainage that traverses the site supports plant species associated with wetlands, but no impacts to wetlands plant species would occur with implementation of the project. Therefore no mitigation for wetlands communities is required.

Project-level impacts to non-native grassland would be significant and project-specific mitigation would be required consistent with the RPCP EIR. The Mitigation Monitoring and Reporting Program for this project requires that impacts to 5.5 acres of Tier IIIb habitat (non-native grassland) be mitigated for prior to issuance of any permits from the project.

The RPCP EIR identified that a parking/storage facility as the project location could have a significant impact on the visual quality of the area if not sensitively designed and screened. That EIR stated that visual impacts associated with the conversion of open space to industrial uses could be mitigated by requiring a “sensitive design”, and the RPCP notes that “the site should be heavily landscaped to provide an effective visual buffer from the adjacent residential development and freeways”. Consistent with the EIR, mitigation for visual impacts is provided through the planting of trees and shrubs intended to screen the project site from adjacent roadways and development. New trees and shrubs would be planted, adding to existing trees and landscaping. The Mitigation Monitoring and Reporting Program for this project requires that, adequate screening and sensitive design shall be demonstrated to City Staff consistent with the Landscape Plans and visual simulations included with the Addendum No. 534380 to EIR No. 89-1222 prior to issuance of any permit for the project is issued.

Addendum No. 534380 to Environmental Impact Report No. 89-1222/SCH No. 91061052 has been prepared for the project in accordance with California Environmental Quality Act (CEQA) Guidelines. A Mitigation and Monitoring Reporting Program (MMRP) is proposed and has been made a condition of the project.

Project-Related Issues:

Community Interest

Residents and the Homeowners Association of the adjacent Terra Vista development have raised concerns about the access through their community to the proposed project. The photo below shows the terminus of Azuaga Street at the right and the private drive that the access easement crosses to the project site at the left, with the Terra Vista community on the south.



The access easement through the Terra Vista community was recorded on October 22, 1987, and is identified as an easement for ingress and egress to/from the project site through portions of Lots 5, 6, and 7 of Sunridge Vista Unit No. 1 Map No. 11924 per file No. 87-595483, and which extends from the easterly terminus of Azuaga Street to the project site. The easement was approved with the Tentative Map No. 85-0910 and Planned Residential Development Permit No. 85-0910.

CONCLUSION

The proposed development meets all applicable regulations and policy documents. Staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted RPCP, the SDMC, and the General Plan. Therefore, Staff can support the draft findings included in Attachment 5.

ALTERNATIVES

1. Recommend the City Council ADOPT Addendum No. 534380 to Environmental Impact Report No. 89-1222/SCH No. 91061052 and ADOPT the MMRP and APPROVE Planned Development Permit No. 2180790, Site Development Permit No. 2266733, and Easement Vacation No. 1887227 with modifications;
2. Recommend the City Council NOT ADOPT Addendum No. 534380 to Environmental Impact Report No. 89-1222/SCH No. 91061052 and NOT ADOPT the MMRP and DENY Planned Development Permit No. 2180790, Site Development Permit No. 2266733, and Easement Vacation No. 1887227 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


PJ FitzGerald
Assistant Deputy Director
Development Services Department
Martha Blake
Development Project Manager
Development Services Department

LOWE/MKB

Attachments:

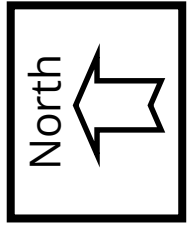
1. Aerial Photographs/Site Vicinity
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Environmental Resolution with MMRP
5. Draft Permit Resolution with Findings

6. Draft Permit with Conditions
7. Draft Easement Vacation
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Site Plans



Aerial Photo
RV Mini Storage
PROJECT NO. 534380





Land Use Map/Land Use Allocation Table

RV Mini Storage
PROJECT NO. 534380

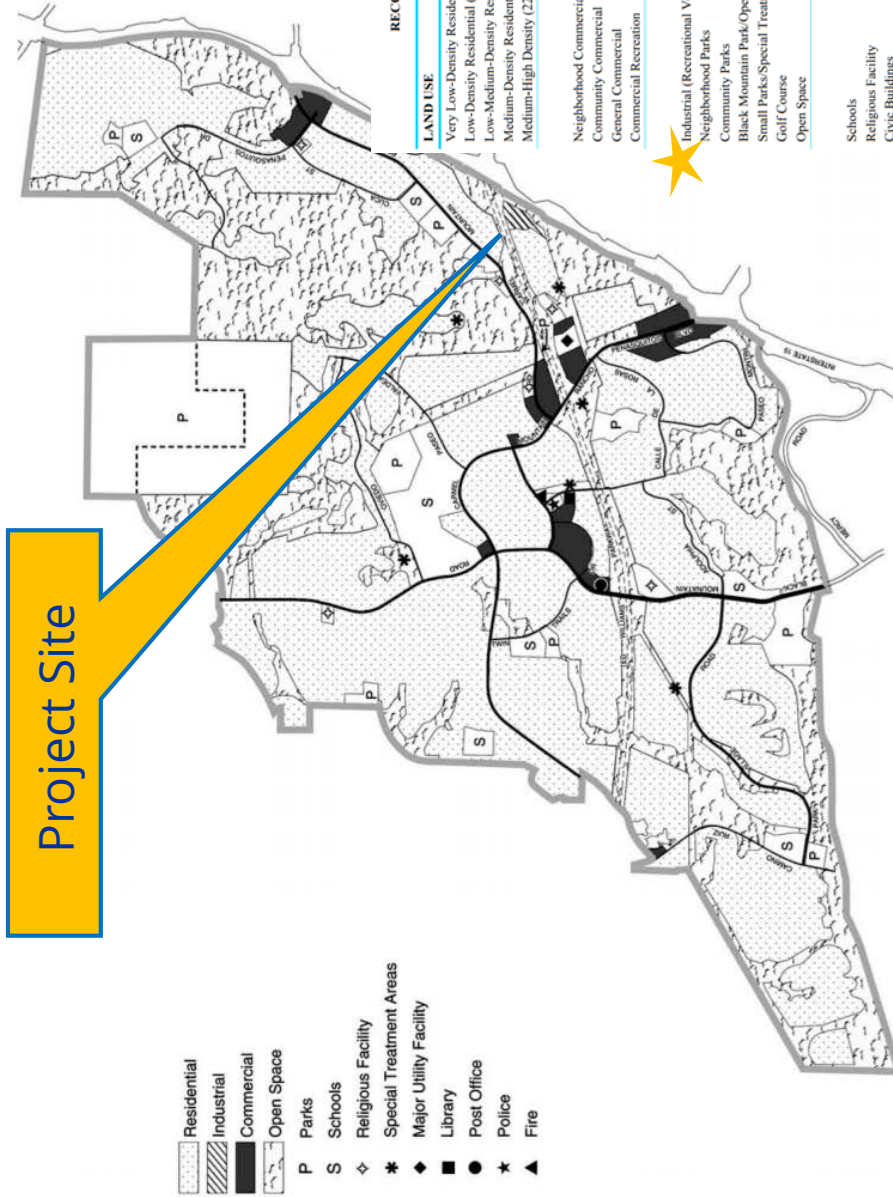
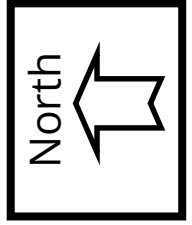


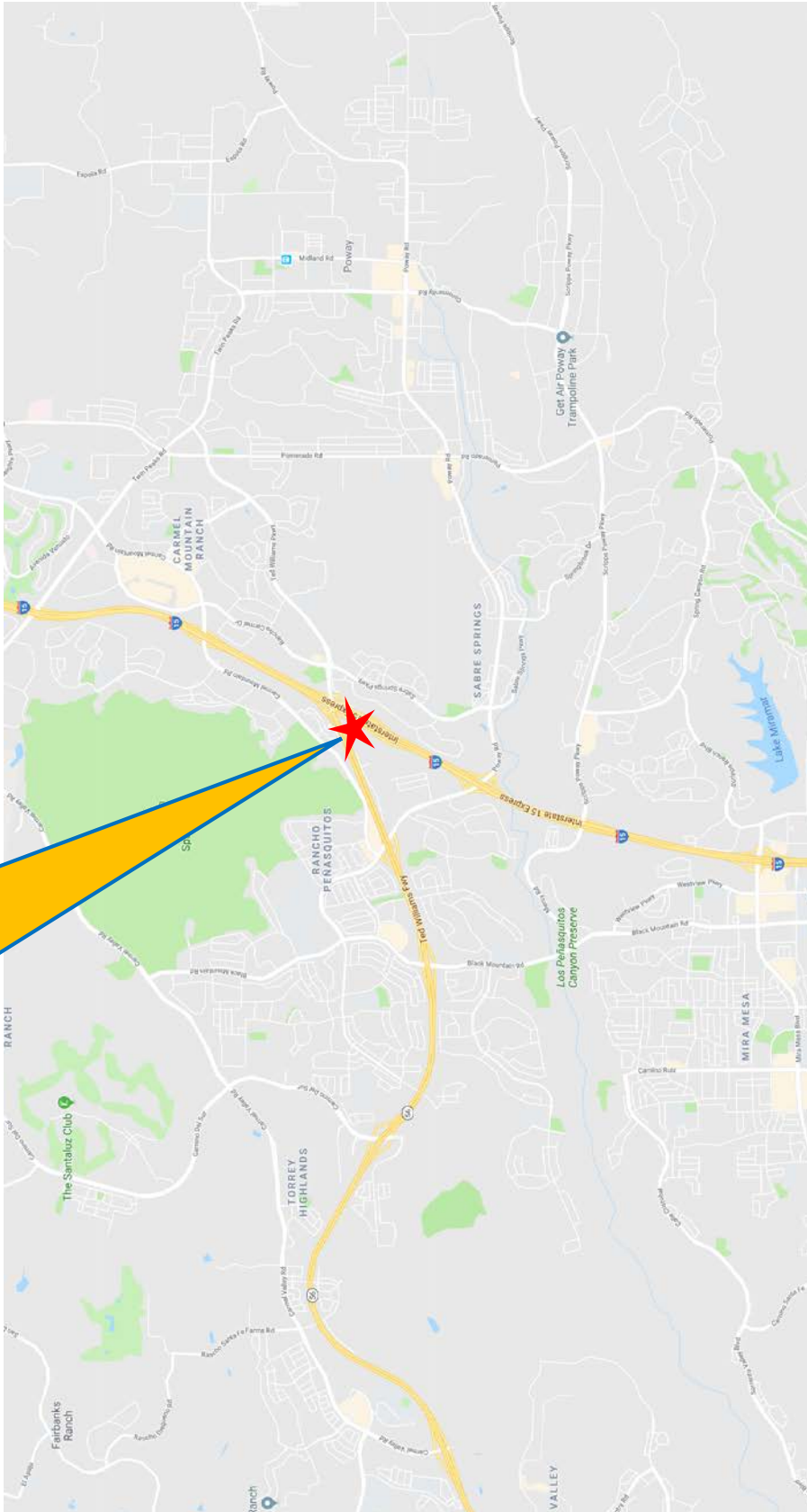
TABLE 1
RECOMMENDED LAND USE ALLOCATIONS

LAND USE	ACRES	PERCENT
Very Low-Density Residential (0-1*)	175 ±	2.7
Low-Density Residential (1-5**)	2,873 ±	43.9
Low-Medium-Density Residential (5-10**)	150 ±	2.3
Medium-Density Residential (10-22**)	134 ±	2.0
Medium-High Density (22-45**)	8 ±	0.1
SUBTOTAL	3,340	51.3
Neighborhood Commercial	17 ±	0.3
Community Commercial	52 ±	0.8
General Commercial	50 ±	0.8
Commercial Recreation	9 ±	0.1
SUBTOTAL	128 ***	2.0
Industrial (Recreational Vehicle and Mini-Storage)	10 ±	0.1
Neighborhood Parks	57 ±	0.9
Community Parks	53 ±	0.7
Black Mountain Park-Open Space	480 ±	7.4
Small Parks/Special Treatment Areas	12 ±	0.2
Golf Course	121 ±	1.9
Open Space	1,525 ±	23.4
SUBTOTAL	2,258	34.6
Schools	130 ±	2.0
Religious Facility	32 ±	0.5
Civic Buildings	8 ±	0.1
SUBTOTAL	170	2.6
Utilities and Easements	165 ±	2.5
Streets and Other Public Rights-of-Way	450 ±	7.0
SUBTOTAL	615	9.5
TOTAL	6,511 ±	100.0

*DU/ACRE = Dwelling units per acre.
 **DU/DA = Dwelling units per developable acre.
 ***31 acres have been developed residentially.



Project Site



Project Location Map

RV Mini Storage
PROJECT NO. 534380



RESOLUTION NUMBER R-

ADOPTED ON MONTH DAY, 2019

WHEREAS, City of San Diego Planning Department conducted a comprehensive plan update to the Rancho Penasquitos Plan that included amendments to the Rancho Penasquitos Community Plan and General Plan, ordinance amendments to the Land Development Code and a Rezone ordinance; and

WHEREAS, on March 30, 1993, the San Diego City Council adopted Resolution No. 281712, certifying Environmental Impact Report No. 89-1222 / SCH No. 91061052, a copy of which is on file in the City Clerk's Office in accordance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.); and

WHEREAS, on February 15, 2017, Pardee Homes submitted an application to the Development Services Department for approval of minor technical changes or additions to the Project; and

WHEREAS, State CEQA Guidelines section 15164(a) allows a lead agency to prepare an Addendum to a final Program Environmental Impact Report if such Addendum meets the requirements of CEQA; and

BE IT RESOLVED, by the City Council of the City of San Diego as follows:

1. That the information contained in the Environmental Impact Report No. 89-1222 / SCH No. 91061052 along with the Addendum thereto, including any comments received during the public review process, has been reviewed and considered by this City Council prior to making a decision on the Project.
2. That there are no substantial changes proposed to the Project and no substantial changes with respect to the circumstances under which the Project is to be undertaken that would require major revisions in the Environmental Impact Report No. 89-1222 / SCH No. 91061052 for the Project.
3. That no new information of substantial importance has become available showing that the Project would have any significant effects not discussed previously in the Environmental Impact Report No. 89-1222 / SCH No. 91061052 or that any significant effects previously examined will be substantially more severe than shown in the Environmental Impact Report No. 89-1222 / SCH No. 91061052.
4. That no new information of substantial importance has become available showing that mitigation measures or alternatives previously found not to be feasible are in fact feasible which would substantially reduce any significant effects, but that the Project proponents decline to adopt, or that there are any considerably different mitigation measures or alternatives not previously considered which would substantially reduce any significant effects, but that the Project proponents decline to adopt.

ATTACHMENT 4

5. That pursuant to State CEQA Guidelines Section 15164, only minor technical changes or additions are necessary, and therefore, the City Council adopts Addendum to Environmental Impact Report No. 89-1222 / SCH No. 91061052 with respect to the Project, a copy of which is on file in the office of the Development Services Department.

6. That pursuant to CEQA Section 21081.6, the City Council adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this City Council in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

7. That Development Services Department staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED:

By: _____
[NAME], [DEPUTY CITY ATTORNEY]

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

PLANNED DEVELOPMENT PERMIT NO. 2180790 and SITE DEVELOPMENT PERMIT NO. 2266733
PROJECT NO. 534380

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Environmental Impact Report No. 89-1222 / SCH No. 91061052 shall be made conditions of Planned Development Permit No. 2180790 and Site Development Permit No. 2266733 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:
<http://www.sandiego.gov/development-services/industry/information/standtemp>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent, and the following consultant:

Qualified Paleontological Monitor, Qualified Biologist, Acoustician

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 560527 and/or Environmental Document Number 560527, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency.

- National Pollutant Discharge Elimination System (NPDES) Municipal Storm Water Permit Compliance;

- NPDES General Construction Activity Permit for Storm Water Discharges Compliance;
- California Fish and Game Code Section 1602 Streambed Alteration Agreement;
- Federal Clean Water Act Section 404 Permit; and
- Federal Clean Water Act Section 401 Water Quality Certification

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work would be performed. When necessary for clarification, a detailed methodology of how the work would be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Biologist Reports	Biology Site Observation and Preconstruction Reports
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIOLOGICAL RESOURCES – (Impacts to Non-Native Grassland)

Prior to the issuance of a Notice to Proceed or any permits, including but not limited to, the first Grading Permit, Demolition/Development Plans/Permits, and Building Plans/Permits, whichever is applicable, the Owner/Permittee shall mitigate the project's sensitive upland impacts in accordance with the City's Biology Guidelines (2012). Accordingly, the Owner/Permittee shall mitigate for project impacts to 5.55 acres of Tier IIIb habitat (non- native grassland) outside the MHPA at a 0.5:1 mitigation ratio with 2.78 acres of Tier IIIb inside the MHPA or at a 1:1 mitigation ratio with 5.55 acres of Tier I lib if mitigation is located outside the MHPA.

VISUAL QUALITY

Prior to issuance of a Notice to Proceed or any permits, including but not limited to, the first Grading Permit, Demolition/Development Plans/Permits, and Building Plans/Permits, whichever is applicable, the Owner/Permittee shall show proof of sensitive design with adequate screening consistent with the Landscape Plans and visual simulations included herein.

CITY COUNCIL RESOLUTION NO. [REDACTED]

PLANNED DEVELOPMENT PERMIT NO. 2180790

SITE DEVELOPMENT PERMIT NO. 2266733

RV/MINI STORAGE - PROJECT NO. 534380 [MMRP]

WHEREAS, PARDEE HOMES, Owner/Permittee, filed an application with the City of San Diego for Planned Development Permit No. 2180790 and Site Development Permit No. 2266733 to construct 60 to 69 recreational vehicle (RV) parking storage space, a mini-storage facility consisting of 4, 3-story, buildings, and 27 automobile parking spaces, known as the RV/Mini Storage project, on portions of a 10.03-acre site located at the eastern terminus of Azuaga Street, southwest of the Interstate 15 and State Route 56/Ted Williams Parkway interchange, and legally described as Lot 12 of Sun Ridge Vista Unit No. 1, Map No. 11924 in the Rancho Penasquitos Community Plan area, in the Residential Single Unit (RS-1-13) Zone, within the Airport Land Use Compatibility Overlay Zone (Marine Corps Air Station [MCAS] Miramar), Airport Influence Area (Review Area 2), Very High Fire Severity Zone, and Transit Priority Area overlay; and

WHEREAS, on April 11, 2019, the Planning Commission of the City of San Diego considered Planned Development Permit No. 2180790 and Site Development Permit No. 2266733 pursuant to Resolution No. PC voted to recommend approval/denial of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 2180790 and Site Development Permit No. 2266733:

A. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed 10.03-acre RV storage and Mini Storage development does not adversely affect the land use plan. . The proposed development will comply with the goals and recommendations contained in the Rancho Peñasquitos Community Plan for this specific site. The Rancho Peñasquitos Community Plan identifies this property for "*use as a recreational vehicle (RV) and mini-storage site.*" The Land Development Code authorizes the use of a Planned Development Permit, in lieu of a Rezone, when the proposed land use is not otherwise permitted in the underlying base zone. Currently, the project site is zoned RS-1-13 and this zoning will remain. The undeveloped portions of the project site that contain environmentally sensitive lands will be placed in a covenant of easement. Approval of the proposed development will include vacation of an open space easement that currently encumbers the property and providing equivalent open space in the City's Multi-Habitat Planning Area (MHPA). The landscaping proposed for the project would conform to the community plan recommendation that the site be heavily landscaped in order to provide effective visual buffers of the site.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes an RV and mini storage facility on a site the contains ESL and is within a severe fire hazard area. The project will comply with applicable local, regional, state, and federal regulations to prevent detrimental impact to health, safety, and welfare of persons working in and around the project site, including all applicable building, fire, plumbing, and mechanical code requirements.

Proper infrastructure is proposed to ensure the project will be provided with potable water, sanitary sewer, and fire sprinkler supply lines. The project proposes sufficient

accessibility for emergency vehicles to access all portions of the site from the point of entry.

Based on the design measures incorporated into the project, including perimeter parking, concrete buildings, and appropriate landscape design, along with the building code requirements controlling the construction and operation of the project in severe high fire areas, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The proposed development complies with the Land Development Code regulations, and does not require any deviations. Specifically, as set forth in the Land Development Code, Section 126.0602(a)(2), a Planned Development Permit may be utilized for, "[d]evelopment in accordance with Section 143.0403(a) that complies with the applicable land use plan, but contains uses that are not permitted in the underlying base zone." The project site is zoned RS-1-13, which is a residential zone that requires a minimum 6,000-square-foot per dwelling unit. The RPCP designates the project site as "Industrial" A storage facility is consistent with allowable uses in most industrial base zones, and permanent and temporary parking as a primary use is permitted in all industrial zones, with a discretionary permit required for some specific industrial zones.

The RPCP Industrial Element (p. 63) identifies a "critical need...in the Rancho Penasquitos planning area for recreational vehicle storage sites...complicated by the fact that a majority of the community's codes, covenants and restrictions prohibit RVs from parking within residential neighborhoods...[and] there are no RV storage facility sites within" the community. In addition, the Land Use Allocation Table (Table 1, p. 12) specifically identifies 10 acres (plus or minus) as "Industrial (Recreational Vehicle and Mini-Storage)". Therefore, a Planned Development Permit is being utilized to implement the goals and objectives of the applicable land use plan, the RPCP.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

Please see PDP Finding A(1)(a).

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

Please see PDP Finding (A)(1)(b).

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

Please see PDP Finding (A)(1)(c).

2. Supplemental Findings – Environmentally Sensitive Lands

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The proposed project is designed with minimal disturbance to biological resources, but will result in impacts to biological resources, which are defined as environmentally sensitive lands. The site is dominated by Non-native grassland, considered a sensitive habitat, and ornamental plantings, which are not sensitive. The site also contains a freshwater marsh, that will not be impacted by the development through a minimum 50-foot setback to development. The grassland area is located in the area of the property that has been disturbed and impacted by construction staging and prior grading, but is still a sensitive habitat. Impacts to Non-native grassland would be fully mitigated through offsite acquisition and conservation of 2.78 acres of Tier IIIb habitat within the MHPA or 5.55 acres of Tier IIIb habitat outside of the MHPA, in accordance with the City's Biology Guidelines and as described in the Addendum to EIR.

As noted above, the site was anticipated to be developed with the proposed use with the certification of the Rancho Penasquitos Community Plan Update EIR. The site is physically suitable for the design and siting of the proposed development and development will result in the minimum disturbance possible to environmentally sensitive lands.

- b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

This project is located on the west side of the Chicarita Creek drainage, on the slopes of a west-to-east trending ridgeline, with elevation ranging from 525 to 575 feet above mean sea level (AMSL). No steep slopes exist on site. The site has been previously disturbed as it has been used as a construction staging area. Additionally, the site has been previously graded as part of work on the adjacent freeways and residential construction. The site is not located within a Special Flood Hazard Area, and the site drainage and grading will ensure minimal erosion. The majority of the

developed site runoff will be collected, treated, and discharged in accordance with all applicable storm water regulations and standards.

The site is within the Very High Fire Severity zone. The project is therefore subject to specific regulation identified in Chapter 7A of the California Building Code (CBC) as adopted and amended by the City of San Diego (Chapter 14, Article 5).

Therefore, based on proposed design measures and application of required building code regulations, the proposed development will minimize the alteration of the natural land forms and will not result in the undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed development location is in the northern and eastern portion of the project site, adjacent to Interstate 15 and State Route 56 rights-of-way. Those areas do not have environmentally sensitive lands. Adjacent to the site to the southwest are areas containing ESL, but the development would be located approximately 650 feet away from the nearest off-site ESL. The proposed development would comply with applicable storm water and grading regulations. Therefore, the project will not adversely impact adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

The project site lies within the MSCP area, but outside of the MHPA areas. The Biology Study prepared by RECON Environmental, Inc shows compliance with mitigation requirements for vegetation communities. The report also provides BMP measurements such as gravel bags, and silt fencing to prevent off-site sedimentation from the concrete brow ditches. No vernal pools exist on or adjacent to the project site. Therefore, the project will be consistent with the MSCP and VPHCP.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreland sand supply.

The proposed site is located approximately nine and a half miles inland, and not located within the costal overlay zone. Thus, the proposed project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The development approvals include mitigation for the development impacts to biological resources and visual quality, in accordance with City Guidelines and the EIR certified for the Rancho Penasquitos Community Plan update, as described in the

project Addendum to EIR. The mitigation is appropriate for the impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that Planned Development Permit No. 217090 and Site Development Permit No. 2266733 are hereby GRANTED to Pardee Homes, Owner/Permittee, under terms and conditions as set forth in the attached permit which is made a part of this resolution.

Deputy City Attorney
Office of the City Attorney

Adopted on:

IO#: 24007166

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007166

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 2180790
SITE DEVELOPMENT PERMIT NO. 2266733
RV/MINI STORAGE - PROJECT NO. 534380
CITY COUNCIL

This Planned Development Permit No. 2180790 and Site Development Permit No. 2266733, is granted by the City Council of the City of San Diego to Pardee Homes, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0605 and 126.0505. The 10.03-acre site is located at the eastern terminus of Azuaga Street, southwest of the Interstate 15 (I-15) and State Route 56 (SR 56)/Ted Williams Parkway interchange. The site is designated Recreational Vehicle/Mini-Storage Facility and Zoned RS-1-13 within the Rancho Peñasquitos Community Plan. Additionally, the project site is within the Airport Land Use Compatibility Overlay Zone (Marine Corps Air Station [MCAS] Miramar), Airport Influence Area (Review Area 2), Very High Fire Severity Zone, and Transit Priority Area. (Legal Description: Lot 12 of Sun Ridge Vista Unit No. 1, in the City of San Diego, County of San Diego, State of California, According to Map Thereof No. 11924 filed in the Office of the County Recorder of San Diego County, October 22, 1987. Excepting Therefrom that portion of said Lot 12 deeded to the State of California by Document Recorded November 21, 2003 as Instrument No. 2003-1399053).

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to vacate an open space easement and construct 139,587 square feet of mini-storage within four buildings, 60 to 69 Recreational Vehicle (RV) parking spaces, 27 parking spaces, site access improvements, and other infrastructure improvements, as described and identified by size, dimension, quality, type, and location on the approved exhibits [Exhibit "A"] dated TBD, 2019, on file in the Development Services Department.

The project shall include:

- a. Easement vacation and construction of 139,587 square feet of mini-storage within four buildings;
- b. Construction of 60 to 69 Recreational Vehicle (RV) parking spaces and 27 parking spaces;

- c. Landscaping (planting, irrigation and landscape related improvements); and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by TBD, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in the Addendum No. 534380 to EIR No. 89-1222/SCH No. 91061052 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as the Addendum No. 534380 to EIR No. 89-1222/SCH No. 91061052, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Biology
- Visual Impacts

GEOLOGY REQUIREMENTS:

15. Prior to the issuance of any construction permits (either grading or building permits), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development Services.

ENGINEERING REQUIREMENTS:

16. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the plan is private and is subject to approval by the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permits the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

21. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

22. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

23. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

25. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

27. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter

free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

30. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside of the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources in accordance with SDMC Section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A".

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC. No lighting shall be installed in the landscape between the adjacent residential development and freeways.

32. All buildings shall utilize neutral, muted, and primarily earth-tone colors for all building facades.

TRANSPORTATION REQUIREMENTS:

33. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

34. Access gates to the parking lot shall remain open during business hours.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

35. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the design and construction of a 12" public water main connecting to the existing 10" water main in the adjacent Terra Vista condos, as shown on approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.

36. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

37. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPD's are shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

38. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards, and practices.

39. No tree or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on XXXX XX, 2019 and Resolution No.

PLANNED DEVELOPMENT PERMIT NO. 2180790

SITE DEVELOPMENT PERMIT NO. 2266733

Date of Approval:

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martha Blake
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Pardee Homes
Owner, and Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R - _____

DATE OF FINAL PASSAGE - _____

A RESOLUTION VACATING OPEN SPACE EASEMENT NO. 1887227
EASTERN TERMINUS OF AZUAGA STREET, SOUTHWEST OF THE INTERSTATE 15 (I-15) AND STATE
ROUTE 56 (SR 56)/TED WILLIAMS PARKWAY INTERCHANGE
RV/MINI STORAGE - PROJECT NO. 534380

CITY COUNCIL

WHEREAS, San Diego Municipal Code section 125.1010(a) *et seq* provides a procedure for the vacation of public easements; and

WHEREAS, PARDEE HOMES, filed an application to vacate an open space easement located at the eastern terminus of Azuaga Street, southwest of the Interstate 15 (I-15) and State Route 56 (SR 56)/Ted Williams Parkway interchange, being described as Easement Vacation No. 1887227 and

WHEREAS, on April 11, 2019, the Planning Commission of the City of San Diego considered Easement Vacation No. 1887227, and pursuant to Resolution No. XXXX-PC voted to recommend approval; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on MONTH DATE, 2019 testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the City Council, that with respect to Easement Vacation No. 1887227, the City Council finds that:

(a) There is no present or prospective use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The existing easement to be vacated was acquired in October 1987 when the easement was granted on the final map entitled: Sun Ridge Vista Unit No. 1, Map No. 11924. This easement was a condition of approval for Tentative Map No. 85-0910 and Planned Residential Development Permit No. 85-0910, Sun Ridge Vista. The Rancho Penasquitos Community Plan includes language specific to this property that the open space easement would be vacated with the proposal to develop the site with an RV and Mini Storage facility. The Community Plan notes that development of this site should be restricted to RV storage and mini-storage warehouse and associated uses, with other uses not permitted. With the build-out of the project, the easement would be vacated and equivalent open space will be provided in the East Elliott area adjacent to the existing Mission Trails Regional Park. The open space in East Elliott is of higher biological value than the existing site due to its connectivity to Multi-Habitat Planning Area (MHPA) lands. In addition, the value of the buffer provided would be accommodated on-site through retention of 4.21 acres in its current state, and the addition of enhanced landscaping over two of those acres. When this replacement occurs, the existing easement proposed to be vacated will have no present or prospective use, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The approximately 10.03-acre project site is presently limited by the existence of the open space easements in that the property may not develop or place new buildings over the area of the existing easement. Without vacation of the existing easement, the area of land available for proposed RV Mini storage facility, is constrained. The public will benefit from the action through improved utilization of the land made available by the vacation with development of the site as outlined in the 1992 Community Plan Update, and Planned Development Permit No. 2180790 and Site Development Permit No. 2266733.

(c) The vacation is consistent with any applicable land use plan.

The adopted Rancho Penasquitos Community Plan designates the site for Industrial use, and the plan's land use allocation table specifies that approximately 10 acres are to be allocated to RV and Mini Storage use. The Community Plan identifies a critical need for recreational vehicle storage site. Proposed Easement Vacation No. 1887227 will facilitate the build out of the land consistent with the land use designation and Community Plan land use allocation table and will not adversely affect the Rancho Penasquitos Community Plan or the goals and policies contained therein.

(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The existing easement to be vacated was acquired for the purposes of clustering the residential dwelling units being proposed by the Sun Ridge Vista PRD No. 85-0910 on the disturbed, buildable portions of the site, thereby preserving natural open space areas. The open space

easement precluded future residential development on the balance of the property, an action that would have been inconsistent with the adopted Community Plan. The proposed development will maintain a landscape buffer between the residential community and the new development and the buildings would create a developed buffer between the freeway interchange and the residential development. The present easement will no longer be necessary, and the purpose for which the easement was acquired will no longer exist. The portions of the project site with environmentally sensitive lands that will remain undeveloped will be placed in a covenant of easement. There are no public facilities within the easement, and therefore no public facility will be detrimentally affected by Easement Vacation No. 1887227.

BE IT FURTHER RESOLVED, that Easement Vacation No. 1887227 as shown on Drawing 40006-B marked as Exhibit "A," is by this reference incorporated herein and made a part hereof, are ordered vacated, subject to the condition that equivalent open space will be provided in the East Elliot area. Prior to the recordation of the Easement Vacation, the condition has to be met to the satisfaction of the City Engineer (SDMC section 125.0950).

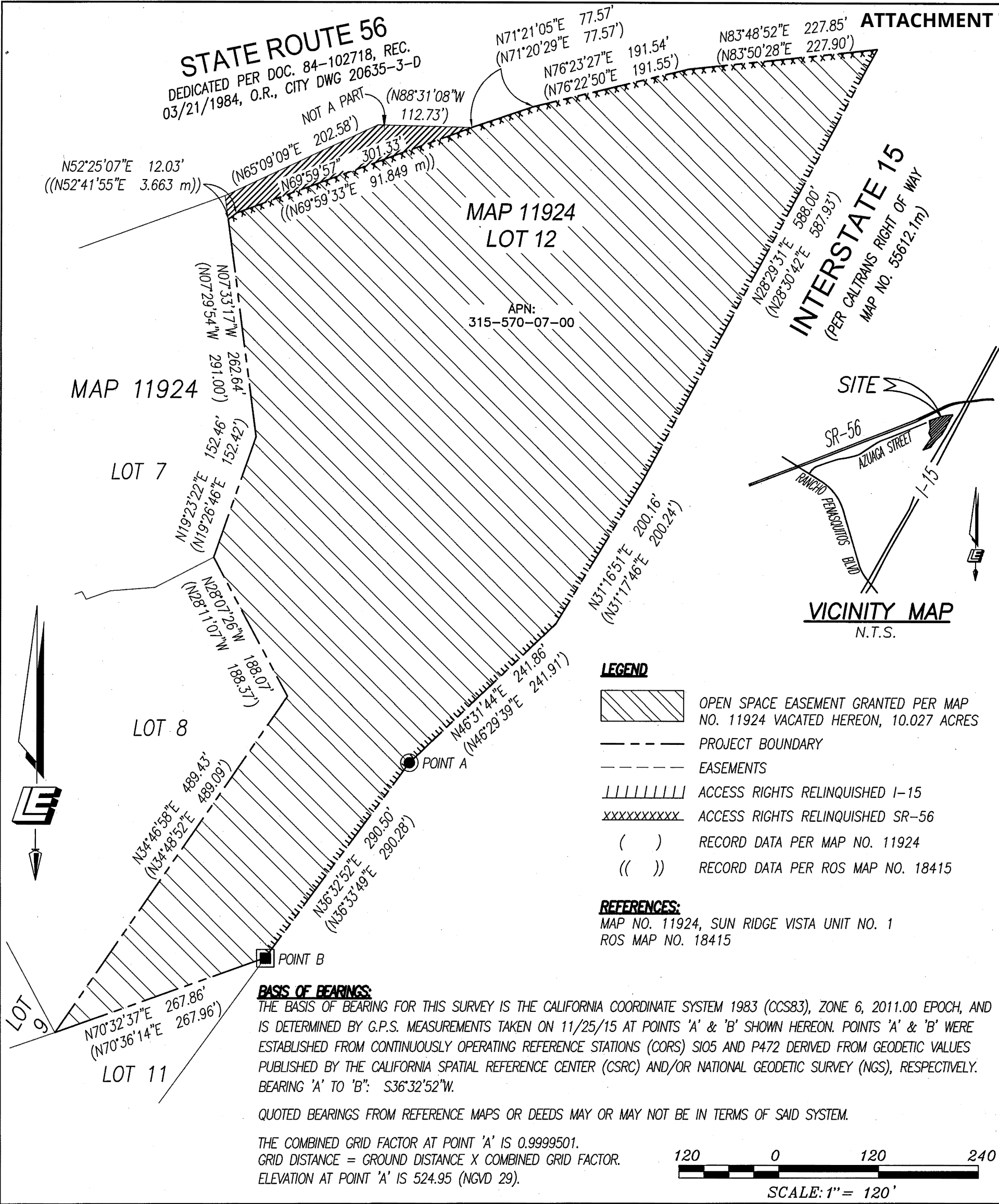
BE IT FURTHER RESOLVED, that the Development Services Department shall record a copy of this resolution and attached exhibits, in the Office of the County Recorder releasing to the property owner, all rights title and interest in said easement.



Deputy City Attorney
Office of the City Attorney

Adopted on:
JO: 24007166

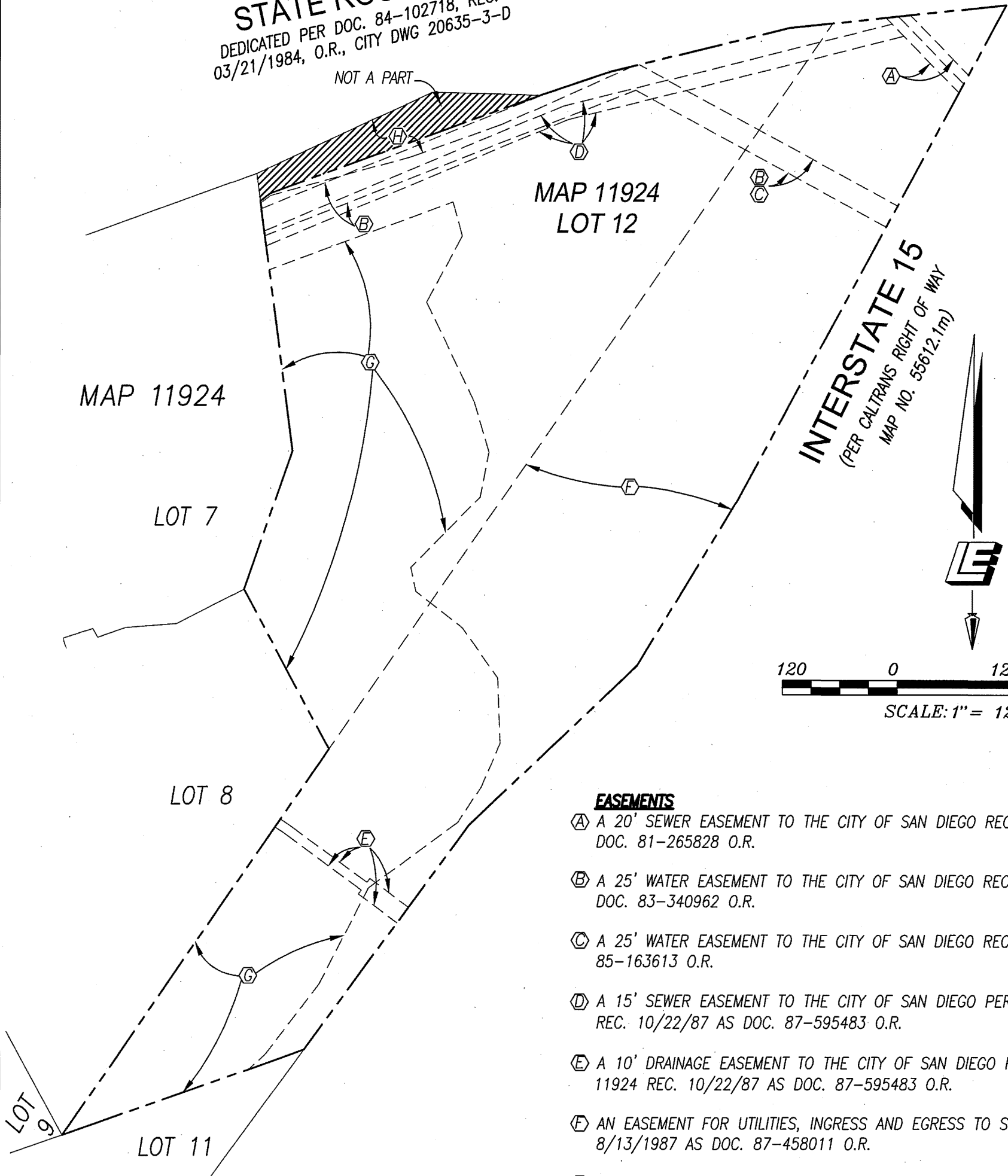
Attachment: Drawings No. 40006-B
R-_____

DRAFT



 <p>Leppert Engineering Corporation 5190 Governor Drive, Suite 205 San Diego, Ca. 92122-2848 Phone: (858) 597-2001</p> <p><i>John D. Leppert</i> JOHN D. LEPPER RCE 26283 DATE <u>6-5-2018</u></p>		RESOLUTION NO. _____ RECORDED _____ DOCUMENT NO. _____ RECORDED _____																																				
<p align="center">OPEN SPACE EASEMENT VACATION PORTION OF LOT 12 OF MAP NO. 11924</p>																																						
<table><thead><tr><th>DESCRIPTION</th><th>BY</th><th>APPROVED</th><th>DATE</th><th>FILMED</th></tr></thead><tbody><tr><td>ORIGINAL</td><td>LEC</td><td></td><td></td><td></td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>	DESCRIPTION	BY	APPROVED	DATE	FILMED	ORIGINAL	LEC																			<table><tr><td colspan="2">CITY OF SAN DIEGO, CALIFORNIA SHEET 1 OF 2 SHEET</td></tr><tr><td>FOR CITY ENGINEER</td><td>DATE</td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>	CITY OF SAN DIEGO, CALIFORNIA SHEET 1 OF 2 SHEET		FOR CITY ENGINEER	DATE					<table><tr><td>PTS NO. 534380 I.O. NO. 24007166</td></tr><tr><td>1928-6299 CCS NAD 83 COORDINATES 288-1739 LAMBERT COORDINATES</td></tr><tr><td>40006-1-B</td></tr></table>	PTS NO. 534380 I.O. NO. 24007166	1928-6299 CCS NAD 83 COORDINATES 288-1739 LAMBERT COORDINATES	40006-1-B
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40006-1-B																																						
STATUS																																						

STATE ROUTE 56
DEDICATED PER DOC. 84-102718, REC.
03/21/1984, O.R., CITY DWG 20635-3-D



EASEMENTS

- A A 20' SEWER EASEMENT TO THE CITY OF SAN DIEGO REC. 8/19 /81 AS DOC. 81-265828 O.R.
- B A 25' WATER EASEMENT TO THE CITY OF SAN DIEGO REC. 9/23/83 AS DOC. 83-340962 O.R.
- C A 25' WATER EASEMENT TO THE CITY OF SAN DIEGO REC. 5/9/85 AS DOC. 85-163613 O.R.
- D A 15' SEWER EASEMENT TO THE CITY OF SAN DIEGO PER MAP NO. 11924 REC. 10/22/87 AS DOC. 87-595483 O.R.
- E A 10' DRAINAGE EASEMENT TO THE CITY OF SAN DIEGO PER MAP NO. 11924 REC. 10/22/87 AS DOC. 87-595483 O.R.
- F AN EASEMENT FOR UTILITIES, INGRESS AND EGRESS TO SDG&E REC. 8/13/1987 AS DOC. 87-458011 O.R.
- G AN EASEMENT FOR LANDSCAPING AND MAINTENANCE TO TERRA VISTA 1 COMMUNITY ASSOC. REC. 5/1/90 AS DOC. 1990-234154 O.R.
- H EASEMENTS FOR SLOPES AND DRAINAGE TO THE CITY OF SAN DIEGO REC. 3/21/84 AS DOC. 84-102718, AND REC. 12/7/89 AS DOC. 89-662074, AND TO TERRA VISTA 2 COMMUNITY ASSOC. REC. 10/30/07 AS DOC. 2007-0692215.

NON-PLOTTABLE EASEMENT: THE FOLLOWING EASEMENT HAS NO LOCATION DEFINED IN SAID RECORD AND CANNOT BE PLOTTED ON THIS MAP.

AN EASEMENT TO PACIFIC BELL FOR UNDERGROUND COMMUNICATION CABLES, INGRESS AND EGRESS REC. 8/8/1988 AS DOC. 88-387814 O.R.



Leppert Engineering Corporation
5190 Governor Drive, Suite 205
San Diego, Ca. 92122-2848
Phone: (858) 597-2001

OPEN SPACE EASEMENT VACATION
PORTION OF LOT 12 OF MAP NO. 11924

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA SHEET 2 OF 2 SHEET	PTS NO. 534380 I.O. NO. 24007166
ORIGINAL	LEC					
					FOR CITY ENGINEER	1928-6299
						CCS NAD 83 COORDINATES
						288-1739
						LAMBERT COORDINATES
						40006-2-B
STATUS						



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

All Times listed are approximate.

Attendance					
District	Board Member	Present	District	Board Member	Present
District 1	Geoffrey Patrick	X	District 2	Stephen Egbert	X
District 3	Thom Clark (C)	X	District 4	Mike Shoecraft	X
District 5	Ramesses Surban	X	District 6	VACANT	
District 7	Corey Buckner	X	District 8	VACANT	
District 9	Cynthia Macshane	X	District 10	Darshana Patel	X
District 11	Jon Becker (VC)	X	BMR1	Joseph Schmelzer (S)	X
BMR2	VACANT		Commercial 1	Pamela Blackwill	X
Commercial 2	Alex Plishner	X	Rec Council	Steve Leffler	X
Renter-at-Large	Brian Reschke	X	Torrey Highlands 1	Sabrina Leitner	X
Torrey Highlands 2	Brooke Whalen				

X: present, seated

P: present, not seated

Community Members (Voluntary Sign-in)	
John Leppert	Rory Linehan
Jerry Tyler	Phil Hoos
Randall Hobbs	Renee Zavala
Mary Ann Eisele	Irina Stysis
Jennifer Burstedt	Bonnie Beamer
Mike Beamer	Holly Sepa
Dan Gydher	Rebecca Decker
Barry Chen	Melissa Harris
Ken Laundroche	Linda Schulman
Polly Dong, YMCA	Pamela Hsu
Ellen Vasquez	Elizabeth Gydher
Cynthia Fuller	Julie Adams
Frederick Ludden	Dale Politte
Martha Laundroche	Gloria Kuramoto
Ken Heflinger	Linda Mauch
Josh Farmer	

Time	Item	Notes
747PM	Call to Order	
738PM	Agenda Modifications	
		T-Mobile Agenda Item removed MSC: Thom Clark / Joseph Schmelzer: 14/0/0 PASS



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

Time	Item	Notes
740PM	Approval of Minutes	
	<i>Motion to approve June 27 2018 Minutes as amended</i>	MSC: Corey Buckner / Stephen Leffler Vote: 14/0/0 PASS
742PM	Public Safety Agencies Report	Fire Station 40, San Diego Police Northeastern Substation
		No report
745PM	Public Forum	Non-Agenda Items
		Corey Buckner: Introduce Polly Dong YMCA
		Pam Blackwill / Rhodes Crossing // Trespassing and vandalism at the site. Break into the construction equipment. Sep 4. Stealing off the equipment, and improper use. Expressed concern for safety of the individuals using the equipment. Several thousand dollars spent on repairs.
		Alex Plishner // PQ Village update // Lennar Homes Property vacated in July. No tenants remain on site. Carmel Mt Road has a fence. Tree removal started. Looking for demo to start within the month. Not a fast thing for the remediation work. 8-10 week process. Removing utilities/meters/etc. Demo crews for next few months. All plans in review. Start models for review mid next year. Open models in the Fall. Working with Atlantic/Pacific on a joint-marketing effort.
803 PM	Public Officials	
	San Diego Planning Department	Sara Toma: TomaS@sanidiego.gov
		Not present, no report
	San Diego City Council, 5 th District, Mark Kersey	Michael Meram representing. meramm@sanidiego.gov
		<ul style="list-style-type: none"> • <i>Groundbreaking for Sienna's Playground.</i> • <i>Del Sur Neighborhood park in process.</i> • <i>Stop signs on Sparren have been installed.</i>
	San Diego City Council, 6 th District, Chris Cate	Daniel Manley representing. DManley@sanidiego.gov
		<ul style="list-style-type: none"> • <i>Not present, no report</i>



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

Time	Item	Notes
	San Diego County, District 3 Supervisor Kristin Gaspar	Jason Paguio representing. Jason.Paguio@sdcounty.ca.gov
		<ul style="list-style-type: none"> • <i>Not present, no report</i>
	CA State 77th Assembly District, Member Brian Maienschein	Lance Witmond representing. Lance.Witmond@asm.ca.gov
		<ul style="list-style-type: none"> • <i>Last Friday was last day of session</i> • <i>Sep 30 is last day for Governor to sign legislation. Seven bills signed already. Seven more on the Governor's desk.</i> • <i>AB1893: maternal mental health</i> • <i>Looking for Fall interns: local High school junior/seniors</i> • <i>Request from public: Consider Mental Health programs for students</i>
	CA State Senate District 39, Senator Toni Atkins	Jason Weisz: representing. Jason.Weisz@sen.ca.gov
		<ul style="list-style-type: none"> • <i>Not present, no report</i>
	US Congressman 52nd District, Scott Peters	Jason Bercovitch representing. Jason.Bercovitch@mail.house.gov
		<ul style="list-style-type: none"> • <i>Not present, no report</i>
Business		
810PM	Information Item	<p><i>Councilmember Cate to provide an update on the Neighborhoods First Coalition (NFC) District 6 Strategic Planning Process / Thom Clark</i></p> <p><i>Budget year begins January 2019.</i></p> <p><i>Councilmember Cate seeking inputs from neighborhoods, strategic planning background, prefers employing measurable goals and metrics.</i></p> <p><i>Website: https://www.sandiego.gov/citycouncil/cd6/neighborhoodsfirst</i></p> <p><i>We have four years' of history, this is the 5th year.</i></p> <p><i>Seeking inputs from neighborhoods on priorities on suggested improvements.</i></p> <p><i>Each office presents a budget to the Mayor's Office. Councilmember Cate is very specific about the requests for budget improvements. Had 50 requests in the first year – last year 100. Budget deficit forecasted for next fiscal year.</i></p>



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

Time	Item	Notes
		<p>Google form on the website https://www.sandiego.gov/citycouncil/cd6/neighborhoodsfirst/strategicplan</p> <p>Suggest to Councilman Cate to prioritize to update the Community Plan as a priority. Response: we're not in the queue.</p>
830	Action Item	<p>Alex Plishner, representing Black Mountain Ranch: Motion to approve Lot Line Adjustment at APN: 312-300-03 which reduces the dedicated Open Space by 792.9 sq. ft. within Lot "B" of Easement Granted per Map 15923.</p>
		<p>MSC: Thom Clark / Ramesses Surban: 14/0/0/1 Alex Plishner recused</p>
845	Action Item	<p>April Tornillo, Pardee Motion to approve City Project No. 534380 for the RV /Mini Storage Project as per the Community Plan near SR 56 & I-15.</p>
		<p>Presented June (2018) to Land Use Committee. 10 acre parcel. SW corner of 56 and 15. Identifies critical need for RV storage and other storage. Parking RV on (Rancho Penasquitos) public streets is prohibited. RV storage and Mini Storage are appropriate use for locations near highways.</p> <p>Consistent as outlined in the Community Plan. Will use dense landscaping, and is at a lower grade than the residential property close by. A dedication of 3 acres remain open space. Site has been heavily disturbed. This site has been in the Community Plan for about 20 years. Community The code enables the zone to remain residential and process with a planned development permit. Idea is to follow the basic outline of the Community Plan. Provides a "cool roof" (eco-friendly, energy efficient).</p> <p>MSC: Thom Clark / Corey Buckner: 12/1/0/1 Ramesses Surban opposed Jon Becker recused</p>
9:00PM	Reports	
	Chair Report	<p>Thom Clark. Rppb.chair@gmail.com</p>
		<ol style="list-style-type: none"> 1. Thom Clark wrote a letter for the board for the Caltrans District 11 in support for the I-15 to the 56 multi-use path connection project. 2. Comments for Preserve at Torrey Highlands. 3. Heard nothing back from the Mayor's Office on the Grand Jury findings. Extended response time by 60 days.



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

Time	Item	Notes
		4. Working on drafting the Annual Report.
	Vice-Chair Report	Jon Becker. jbecker@projectdesign.com
		1. Preserve Project response provided
	Secretary Report	Joseph Schmelzer. rppb.secretary@gmail.com
		No report
10:30PM	Standing Committee Reports	
	Land Use Committee	Alex Plishner: alex.plishner@calatl.com
		1. Cisterra Project: Motion made but died due to lack of a second.
	Wireless Communications Facilities	Joseph Schmelzer, Chair.
		No meeting, no report.
	Ad Hoc Committee Reports	
	Media Communications / Website	Brooke Whalen
		Not present, no report
	Liaison and Organization Reports	
	Black Mountain Open Space Park	Mike Shoecraft
		<ul style="list-style-type: none"> Meeting will be next week (TBC)
	Community Funds	Thom Clark
		<ul style="list-style-type: none"> Thom to call Angela regarding budget
	MCAS Miramar CLF	Stephen Egbert
		<ul style="list-style-type: none"> No meeting during Summer Air Show on Sep 28-30.
	PQ Fire Safe Council	Mike Shoecraft
		<ul style="list-style-type: none"> September 15, 9-11A, participating in Town Council sponsored Disaster Prep Workshop with Dept of Homeland Security, ReadySanDiego.org



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

Time	Item	Notes
	PQ Town Council	Brian Reschke
		<ul style="list-style-type: none"> • <i>Hosting beer garden at Oktoberfest, Oct 19 Hilltop Park 6-10PM</i>
	PQ Recreation Council	Steve Leffler
		<ul style="list-style-type: none"> • <i>Aug. 23 Rec Council meeting cancelled due to lack of agenda items</i> • <i>Aug. 24 – Polynesian Family Night at Hilltop Park well attended. Food, drink, Polynesian dance provided.</i> • <i>Aug. 25 – Del Sur Park Opening Ribbon Cutting – CD5 – Councilmember Mark Kersey, Brett Bochy (Giants and Del Sur Resident), Anne Schreiber (Realtor), Steve Leffler (RP Recreation Council). 21st park opening for Mayor Faulconer parks initiative since 2016. First developer presentation to RP Rec Council was in 2006!</i> • <i>Aug. 27 – Sienna’s Playgarden Groundbreaking at Rolling Hills. Very well attended by local media, Parks and Recreation staff including Director and Assistant Director, city staff and Rancho Peñasquitos Parks and Recreation Area Director and recreation center staff. Councilmember Kersey and Mayor Faulconer attended and spoke as did Parks Board members. Jen Palkovic, who is a member of the RP Recreation Council has spearheaded this effort which honors her late daughter Sienna who died at 18 months. Jen raised \$250k from the community to purchase play equipment.</i> • <i>Oct 19 6-10 PM - Oktoberfest at Hilltop. Rec Council and Parks and Rec sponsor food, drink, and music. RP Town Council will run the beer garden.</i>
	Los Peñasquitos Canyon Preserve CAC	Joseph Schmelzer
		<ul style="list-style-type: none"> • <i>No meeting</i>
	Park Village LMAD	Jon Becker
		<ul style="list-style-type: none"> • <i>Starting to implement projects in the master plan</i>
	Peñasquitos East LMAD	Geoffrey Patrick
		<ul style="list-style-type: none"> • <i>Illegal dumping incident.</i>
	Torrey Highlands LMAD	Sabrina Leitner
		<ul style="list-style-type: none"> • <i>Walked the LMAD. Going through a vendor transition to Aztec. Some elements were not operational.</i>



RANCHO PEÑASQUITOS PLANNING BOARD

Meeting Minutes

Wednesday, September 5, 2018 at 7:30 PM

Time	Item	Notes
	Black Mountain Ranch South MAD	Brian Reschke
		<ul style="list-style-type: none"> <i>No report</i>
	Transportation Agencies	John Keating
		<ul style="list-style-type: none"> <i>John Keating has moved.</i> <i>Corey Buckner volunteered to act as a middleman between the RPPB / Community and John Keating.</i>
1030 PM	Adjournment	

Committee Meetings	
Land Use Committee	See notes
Wireless Facilities Meeting	See notes

Future Meetings	Will be held at the Hotel Karlan (Doubletree Resort), same room as board meeting, 14455 Peñasquitos Drive.
	10/3/18; 11/7/18; 12/5/18; 01/2/2019; 02/6/2019; 03/6/2019; 04/3/2019; 05/1/2019; 06/5/2019; 07/3/2019; 9/5/19



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 448-6000

THE CITY OF SAN DIEGO

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☒ Other Rezone

Project Title

PENASQUITOS RV/ MINI-STORAGE

Project No. For City Use Only

Project Address:

SOUTHWEST CORNER OF SR-56 AND I-15

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

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Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title:	Project No. (For City Use Only)
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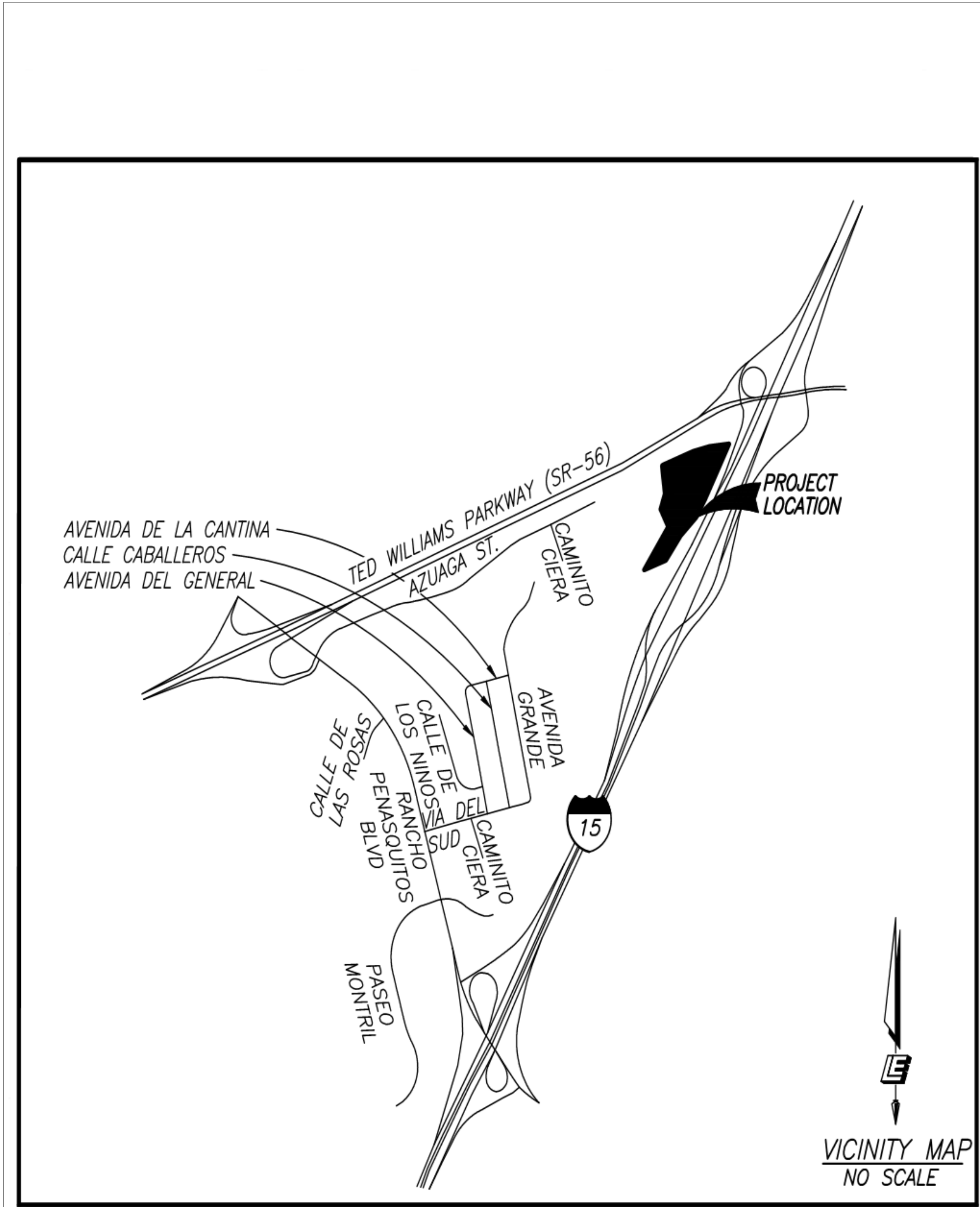
Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☒ Corporation ☐ Limited Liability -or- ☐ General What State? CA Corporate Identification No. C0538474
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☐ No

Corporate/Partnership Name (type or print): <u>PARDEE HOMES</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>13400 SABRE SPRINGS PARKWAY, S-200</u> City/State/Zip: <u>SAN DIEGO</u> Phone No: <u>858-794-2571</u> Fax No: <u>(858) 794-2560</u> Name of Corporate Officer/Partner (type or print): <u>JIMMY AYALA</u> Title (type or print): <u>DIVISION PRESIDENT</u> Signature: <u>[Signature]</u> Date: <u>1.18.17</u>	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:



LEGAL DESCRIPTION

LEGAL DESCRIPTION:
LOT 12 OF SUN RIDGE VISTA UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11924, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 22, 1987.

EXCEPTING THEREFROM, THAT PORTION OF SAID LOT 12 DEEDED TO STATE OF CALIFORNIA BY DOCUMENT RECORDED NOVEMBER 21, 2003 AS INSTRUMENT NO. 2003-1399053 AND LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT A ONE INCH IRON PIPE WITH TAG "CA HWYS" SET AT THE EASTERLY TERMINUS OF A COURSE ON THE SOUTHERLY RIGHT OF WAY OF STATE HIGHWAY 56, SHOWN AS SOUTH 88°31'45" EAST, 112.71 FEET ON STREET 7 OF MISCELLANEOUS SURVEY NO. 964 ON FILE IN THE OFFICE OF THE COUNTY ENGINEER OF SAID SAN DIEGO COUNTY; THENCE (1) LEAVING SAID SOUTHERLY RIGHT OF WAY SOUTH 69°59'11" WEST, 91.849 METERS; THENCE (2) SOUTH 52°41'33" WEST 3.614 METERS; THENCE (3) SOUTH 72°15'23" WEST, 58.018 METERS; THENCE (4) SOUTH 80°01'34" WEST, 15.304 METERS TO A POINT ON SAID SOUTHERLY RIGHT OF WAY OF STATE HIGHWAY 56, SAID POINT BEARS SOUTH 76°00'00" WEST, ALONG SAID SOUTHERLY RIGHT OF WAY 14.930 METERS FROM A ONE INCH IRON PIPE WITH TAG "CA DIV HWYS" SET AT THE EASTERLY TERMINUS OF A COURSE SHOWN AS NORTH 76°22'55" EAST 102.60 FEET ON SAID SHEET 7 OF MISCELLANEOUS SURVEY NO. 964.

ASSESSOR'S PARCEL NUMBERS: 315-570-07

SITE AREA: 10.03 ACRES

ZONING, LOTS AND ACREAGE:
THE PROPERTY IS CURRENTLY ZONED RS-1-13. THE PROPERTY IS CURRENTLY MAPPED AS A SINGLE LOT. THE PROJECT SITE IS WITHIN THE AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCAS MIRAMAR), AIRPORT INFLUENCE AREA (REVIEW AREA 2), VERY HIGH FIRE SEVERITY ZONE, AND TRANSIT PRIORITY AREA.

TRANSIT:
NO ADJACENT TRANSIT STOPS.

STREETS AND ACCESS:
THE PROJECT SITE IS ACCESSED VIA AZUAGA STREET AND AN EXISTING EASEMENT FOR INGRESS AND EGRESS TO/FROM THE PROJECT SITE THROUGH PORTIONS OF LOTS 5,6, AND 7 OF SUNRIDGE VISTA UNIT NO. 1 MAP NO. 11924, PER FILE NO. 87-595483, WHICH EXTENDS FROM THE EASTERLY TERMINUS OF AZUAGA STREET TO THE PROJECT SITE AS SHOWN ON SHEET C-3 (SHEET 4 OF 16).

A

Rancho Penasquitos RV/ Mini Storage Facility

LOT 12 OF SUN RIDGE VISTA, UNIT NO.1 MAP 1924

SOUTHWEST CORNER OF SR-56 AND I-15

PLANNED DEVELOPMENT PERMIT SUBMITTAL - JANUARY 18, 2019

DEVELOPMENT SUMMARY

THE PROJECT PROPOSES A RECREATIONAL VEHICLE (RV) STORAGE AND MINI-STORAGE FACILITY IN ACCORDANCE WITH THE COMMUNITY PLAN. THE PROJECT INCLUDES 139,587 SQUARE FEET OF MINI-STORAGE INCLUDING 4,031 SQFT OF ANCILLARY OFFICE SPACE, 69 RV STORAGE PARKING STALLS, AND 27 STALLS FOR TENANTS, OFFICE STAFF, VISITORS PARKING PLUS 3 OFF STREET LOADING/UNLOADING AREAS AS REQUIRED BY APPLICABLE CODES.

SHEET INDEX

GENERAL	
CS	COVER SHEET
CIVIL	
C-1	PROPOSED GRADING & DRAINAGE
C-2	UTILITIES
C-3	EASEMENTS
C-4	TOPOGRAPHIC MAP & SLOPE ANALYSIS
LANDSCAPE	
L-1	CONCEPTUAL LANDSCAPE PLAN
L-2	CONCEPTUAL LANDSCAPE LEGENDS
ARCHITECTURAL	
A100	CODE ANALYSIS
A101	SITE PLAN
A102	FIRST FLOOR
A103	SECOND FLOOR
A104	THIRD FLOOR
A105	ROOF PLAN
A201	SITE & BUILDING SECTIONS
A301	EXTERIOR ELEVATIONS
A302	EXTERIOR ELEVATIONS

PROJECT DIRECTORY

CLIENT/OWNER

PARDEE HOMES
13400 SABRE SPRINGS PARKWAY, SUITE 200
SAN DIEGO, CA 92128

CONTACT:
ALLEN KASHANI
DIRECTOR OF PROJECT MANAGEMENT
13400 Sabre Springs Parkway, Suite 200
San Diego, CA 92128

P: 858.794.2571

CIVIL

LEPPERT ENGINEERING CORPORATION
5190 GOVERNOR DRIVE SUITE 205
SAN DIEGO, CA 92122

CONTACT:
JOHN D. LEPPERT, P.E.
Leppert Engineering Corporation
5190 Governor Drive, Suite 205
San Diego, CA 92122

P: 858.597.2001
F: 858.597.2009

LANDSCAPE

PROJECT DESIGN CONSULTANTS
701 B STREET, SUITE 800
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CLIENT



13400 Sabre Springs Parkway
San Diego, CA 92128
Tel.(858)794-2500, Fax(858)794-2599

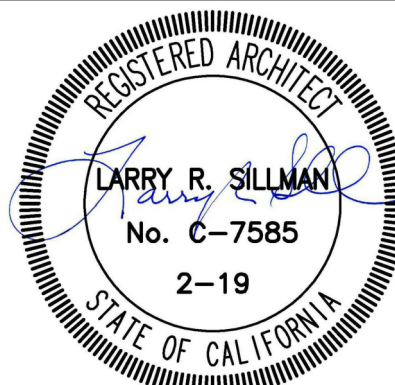
CONSULTANTS

PROJECT:

PEN 173
RANCHO PENASQUITOS
RV / MINI-STORAGE FACILITY
LOT 12 OF SUN RIDGE VISTA,
UNIT NO.1 MAP 1924

REGISTRATION STAMP

ISSUE



Mark	Date	Description
1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
3	1.18.2019	Revision 3 cycle 11 resp

SCALE:

DESIGNER PROJECT NO.: 17046
DRAWN BY: Author
CHECKED BY: Checker
12" = 1'-0"

KEY PLAN

DESIGN ITERATION

1.18.2019

SHEET TITLE

COVER SHEET

SHEET NUMBER (SHEET 1 OF 16)

CS

GRADING:
GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN. ALL GRADED SLOPES ARE DESIGNED WITH A 2:1 SLOPE GRADIENT UNLESS OTHERWISE INDICATED.

DRAINAGE:
THERE IS AN EXISTING OFFSITE FLOW FROM SR-56 TO THE NORTH OF THE PROJECT SITE THAT DISCHARGES ONSITE VIA A STORM DRAIN PIPE TO A CONCRETE DRAINAGE CHANNEL. THE CONCRETE DRAINAGE CHANNEL WILL BE REMOVED AND THE STORM DRAIN PIPE WILL BE EXTENDED TO THE SOUTHERLY PROPERTY LINE WHERE IT WILL DISCHARGE VIA AN ENERGY DISSIPATER TO A REMAINING SECTION OF THE EXISTING CONCRETE DRAINAGE CHANNEL, WHICH DISCHARGES TO THE EXISTING WETLAND.

THE PROPOSED ON-SITE DRAINAGE SYSTEM WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS. SURFACE WATER WILL FLOW IN A PRIVATE ON-SITE SYSTEM, APPROXIMATELY AS SHOWN, AND WILL BE DISCHARGED THROUGH AN ENERGY DISSIPATER STRUCTURE, TO A BIOFILTRATION BASIN NEAR THE SOUTHERLY PROPERTY LINE. THE DISSIPATER STRUCTURES WILL BE DESIGNED TO REDUCE EXIT VELOCITIES TO A NON-EROSIVE LEVEL.

BENCHMARK:
CITY OF SAN DIEGO SBP AT CARMEL MOUNTAIN ROAD. INDEX 2910-17389, ELEVATION: 717.629' (NGVD29) PER CITY OF SAN DIEGO VERTICAL BENCHMARK DATED 04-OCT-11, PAGE 144 OF 674. TOPOGRAPHIC INFORMATION PER FLOWN TOPOGRAPHY PREPARED BY AEROTECH MAPPING, DATED NOVEMBER 20, 2015.

SDGE NOTE:
PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE SUBDIVIDER SHALL OBTAIN A LETTER OF PERMISSION FROM SDGE, FOR THE PROPOSED GRADING AND IMPROVEMENTS, LOCATED IN THE EXISTING SDG&E EASEMENT, TO THE SATISFACTION OF THE CITY ENGINEER.

GRADING INFORMATION:

TOTAL CUT: 25,700 C.Y. ±
TOTAL FILL: 25,700 C.Y. ±
TOTAL IMPORT: 0 C.Y. ±
MAX. HEIGHT OF CUT SLOPE: 10' (2:1)
MAX. HEIGHT OF FILL SLOPE: 12' (2:1)
MAX. DEPTH OF CUT: 13' ±
AREA OF DISTURBANCE: 5.82 AC.
PERCENT DISTURBANCE: 58%
RETAINING WALL INFORMATION:
WALL A: 231 L.F., 1' - 12' HIGH

STORM WATER DISCHARGE:
AT THE STORM WATER DISCHARGE LOCATION, A SUITABLE ENERGY DISSIPATER IS TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.

ROOF DRAINS WILL DISCHARGE TO ADJACENT IMPERVIOUS SURFACES, AND SURFACE FLOW TO ONSITE, PRIVATE INLETS.

NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATION.

STORM WATER NOTES:

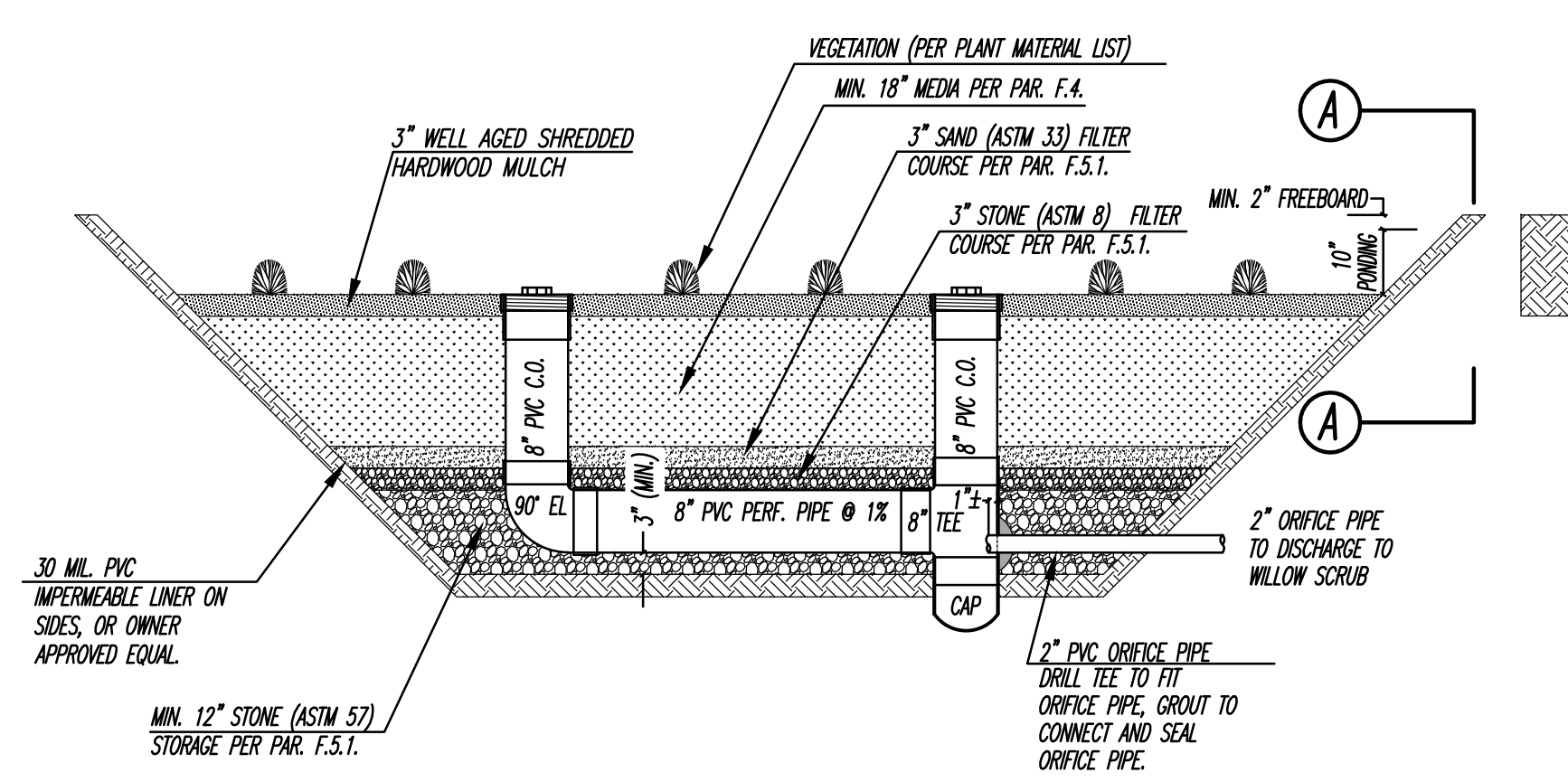
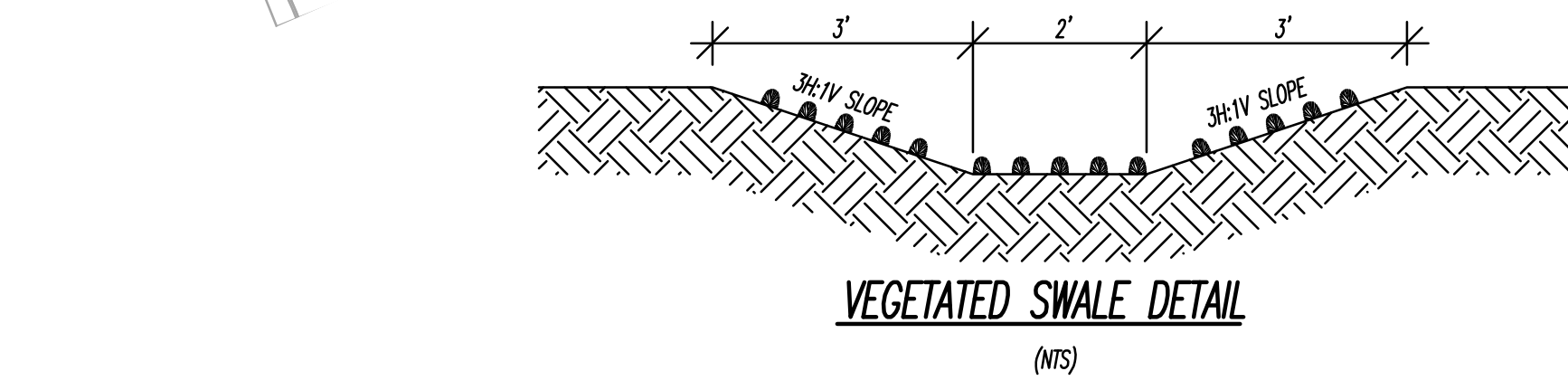
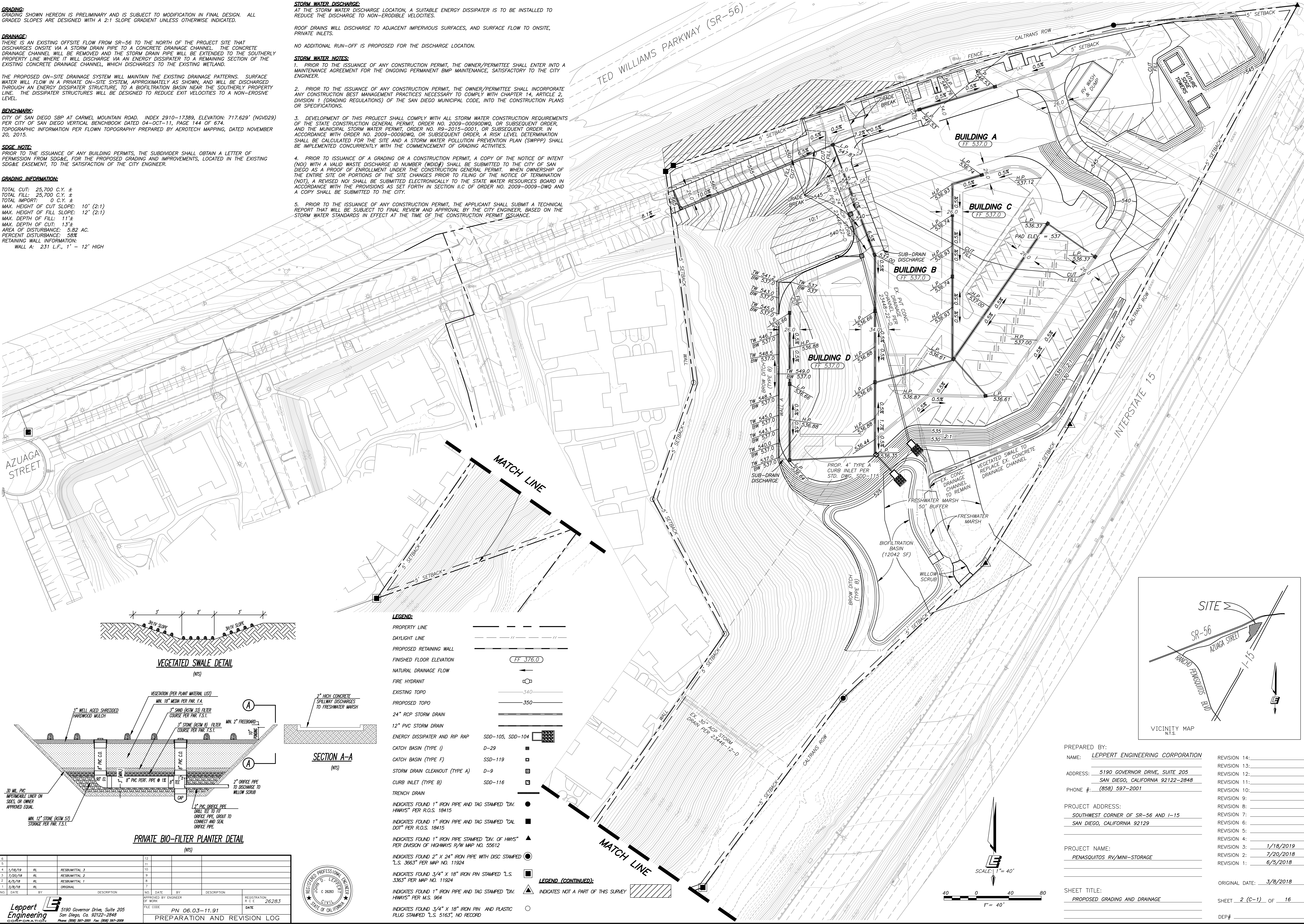
1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

3. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0009DWO, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. R9-2015-0001, OR SUBSEQUENT ORDER, IN ACCORDANCE WITH ORDER NO. 2009-0009DWO, OR SUBSEQUENT ORDER, A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.

4. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDD#) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION 1(C) OF ORDER NO. 2009-0009-DWO AND A COPY SHALL BE SUBMITTED TO THE CITY.

5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

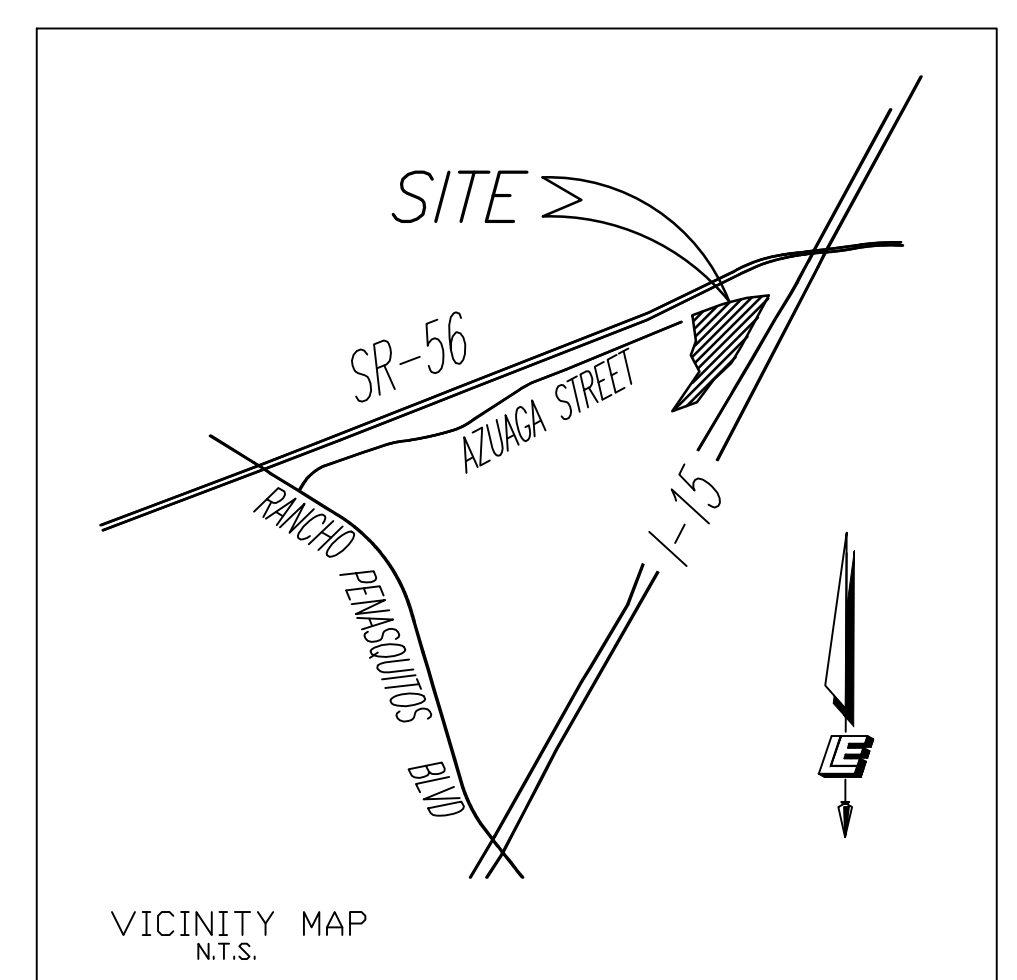


NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
1	1/18/19	RL	RESUBMITTAL 1	10			
2	7/20/18	RL	RESUBMITTAL 2	9			
3	6/2/18	RL	RESUBMITTAL 3	8			
4	3/28/18	RL	ORIGINAL	7			

APPROVED BY ENGINEER	DATE	REGISTRATION NO.
JOHN D. LEPPERT	PN 06.03-11.91	26283

PREPARATION AND REVISION LOG

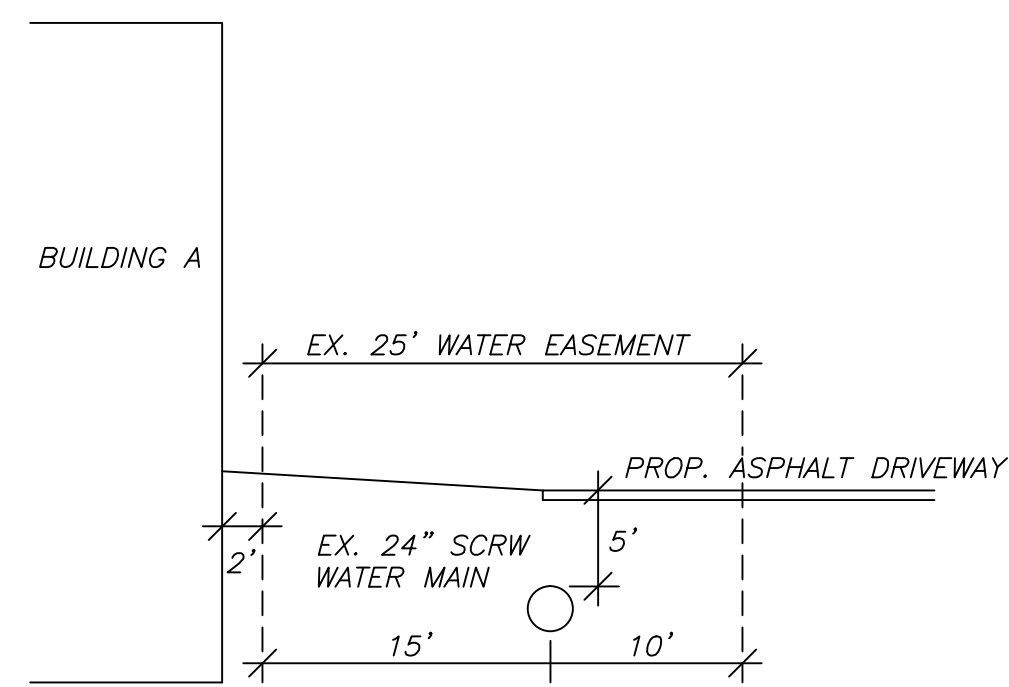
LEGEND:	
PROPERTY LINE	---
DAYLIGHT LINE	---
PROPOSED RETAINING WALL	---
FINISHED FLOOR ELEVATION	FF 376.0
NATURAL DRAINAGE FLOW	→
FIRE HYDRANT	○
EXISTING TOPO	340
PROPOSED TOPO	350
24" RCP STORM DRAIN	---
12" PVC STORM DRAIN	---
ENERGY DISSIPATER AND RIP RAP	---
CATCH BASIN (TYPE I)	D-29
CATCH BASIN (TYPE F)	SSD-119
STORM DRAIN CLEANOUT (TYPE A)	D-9
CURB INLET (TYPE B)	SSD-116
TRENCH DRAIN	---
INDICATES FOUND 1" IRON PIPE AND TAG STAMPED "DIV. OF HWYS" PER R.O.S. 18415	●
INDICATES FOUND 1" IRON PIPE AND TAG STAMPED "CAL DOT" PER R.O.S. 18415	■
INDICATES FOUND 1" IRON PIPE STAMPED "DIV. OF HWYS" PER DIVISION OF HIGHWAYS R/W MAP NO. 55612	▲
INDICATES FOUND 2" X 24" IRON PIPE WITH DISC STAMPED "L.S. 3663" PER MAP NO. 11924	●
INDICATES FOUND 3/4" X 18" IRON PIN STAMPED "L.S. 3363" PER MAP NO. 11924	■
INDICATES FOUND 1" IRON PIPE AND TAG STAMPED "DIV. OF HWYS" PER DIVISION OF HIGHWAYS R/W MAP NO. 55612	▲
INDICATES FOUND 3/4" X 18" IRON PIN AND PLASTIC PLUG STAMPED "L.S. 5163", NO RECORD	○
LEGEND (CONTINUED):	
INDICATES NOT A PART OF THIS SURVEY	---



PREPARED BY:	LEPPERT ENGINEERING CORPORATION	REVISION 14:	
NAME:		REVISION 13:	
ADDRESS:	5190 GOVERNOR DRIVE, SUITE 205 SAN DIEGO, CALIFORNIA 92122-2848	REVISION 12:	
PHONE #:	(858) 597-2001	REVISION 11:	
PROJECT ADDRESS:	SOUTHWEST CORNER OF SR-56 AND I-15 SAN DIEGO, CALIFORNIA 92129	REVISION 10:	
PROJECT NAME:	PENASQUITOS RV/MINI-STORAGE	REVISION 9:	
REVISION 1:	6/5/2018	REVISION 8:	
REVISION 2:	7/20/2018	REVISION 7:	
REVISION 3:		REVISION 6:	
REVISION 4:		REVISION 5:	
REVISION 5:		REVISION 4:	
REVISION 6:		REVISION 3:	1/18/2019
REVISION 7:		REVISION 2:	7/20/2018
REVISION 8:		REVISION 1:	6/5/2018
REVISION 9:			
REVISION 10:			
REVISION 11:			
REVISION 12:			
REVISION 13:			
REVISION 14:			
ORIGINAL DATE:	3/8/2018		
SHEET TITLE:	PROPOSED GRADING AND DRAINAGE		
SHEET	2 (C-1)	OF	16
DEP#			

SEWER AND WATER:
THERE IS AN EXISTING 24" WATER MAIN THAT PASSES THROUGH THE PROJECT SITE. THIS 24" WATER MAIN WILL BE REALIGNED AS PART OF THIS PROJECT. A CONNECTION TO THIS MAIN WILL ALSO BE MADE TO SERVE THE SUBJECT SITE AS SHOWN.

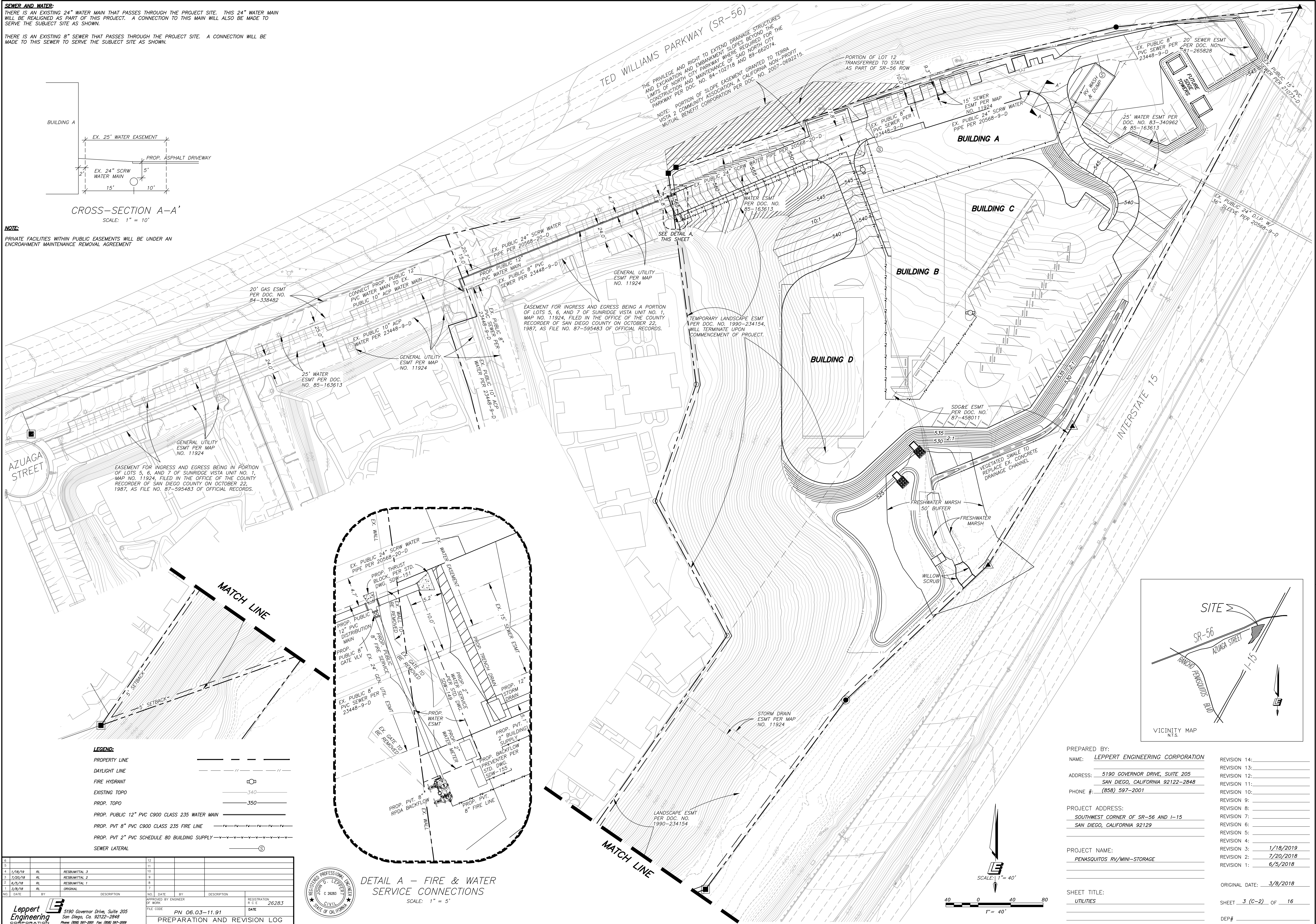
THERE IS AN EXISTING 8" SEWER THAT PASSES THROUGH THE PROJECT SITE. A CONNECTION WILL BE MADE TO THIS SEWER TO SERVE THE SUBJECT SITE AS SHOWN.



CROSS-SECTION A-A'
SCALE: 1" = 10'

NOTE:

PRIVATE FACILITIES WITHIN PUBLIC EASEMENTS WILL BE UNDER AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT



LEGEND:

PROPERTY LINE

INDICATES FOUND 1" IRON PIPE AND TAG STAMPED "DN. HWYS" PER R.O.S. 18415

INDICATES FOUND 1" IRON PIPE AND TAG STAMPED "CAL DOT" PER R.O.S. 18415

INDICATES FOUND 1" IRON PIPE STAMPED "DN. OF HWYS" PER DIVISION OF HIGHWAYS R/W MAP NO. 55612

INDICATES FOUND 2" X 24" IRON PIPE WITH DISC STAMPED "L.S. 3663" PER MAP NO. 11924

INDICATES FOUND 3/4" X 18" IRON PIN STAMPED "L.S. 3363" PER MAP NO. 11924

INDICATES FOUND 1" IRON PIPE AND TAG STAMPED "DN. HWYS" PER M.S. 964

INDICATES FOUND 3/4" X 18" IRON PIN AND PLASTIC PLUG STAMPED "L.S. 5163", NO RECORD

INDICATES PORTION OF LOT 12, MAP 11924, NOT INCLUDED IN PROJECT AREA

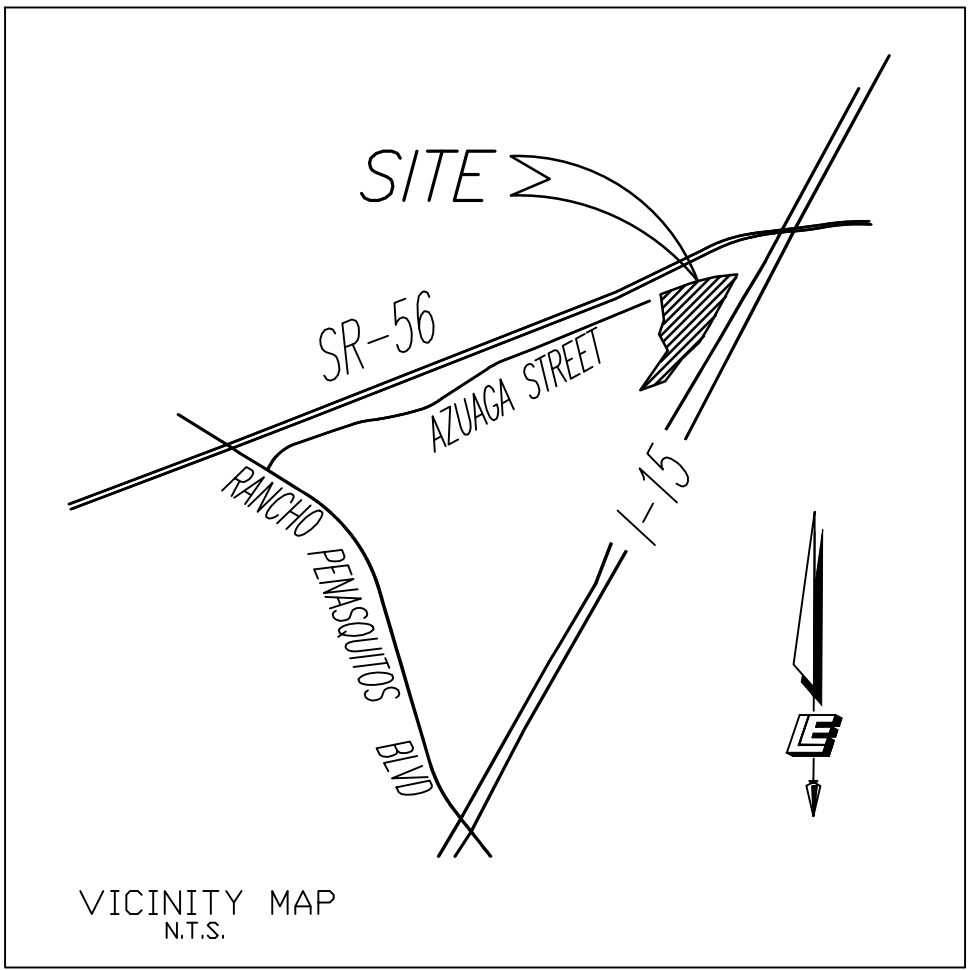
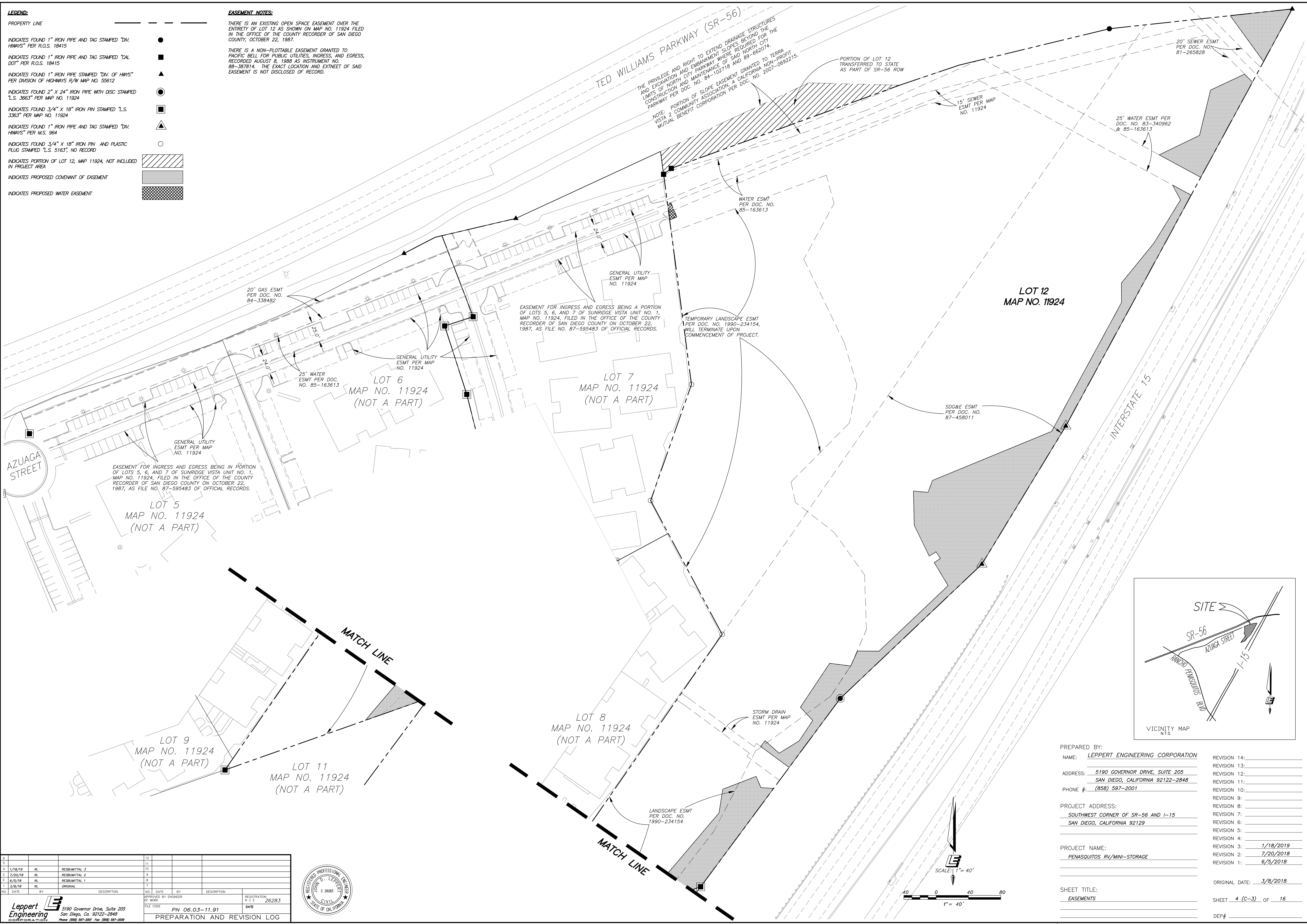
INDICATES PROPOSED COVENANT OF EASEMENT

INDICATES PROPOSED WATER EASEMENT

EASEMENT NOTES:

THERE IS AN EXISTING OPEN SPACE EASEMENT OVER THE ENTIRETY OF LOT 12 AS SHOWN ON MAP NO. 11924 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 22, 1987.

THERE IS A NON-PLOTTABLE EASEMENT GRANTED TO PACIFIC BELL FOR PUBLIC UTILITIES, INGRESS, AND EGRESS, RECORDED AUGUST 8, 1988 AS INSTRUMENT NO. 88-387814. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD.



PREPARED BY:
NAME: LEPPERT ENGINEERING CORPORATION

ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205
SAN DIEGO, CALIFORNIA 92122-2848

PHONE #: (858) 597-2001

PROJECT ADDRESS:
SOUTHWEST CORNER OF SR-56 AND I-15
SAN DIEGO, CALIFORNIA 92129

PROJECT NAME:
PENASQUITOS RV/MINI-STORAGE

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	
REVISION 3:	1/18/2019
REVISION 2:	7/20/2018
REVISION 1:	6/5/2018

ORIGINAL DATE: 3/8/2018

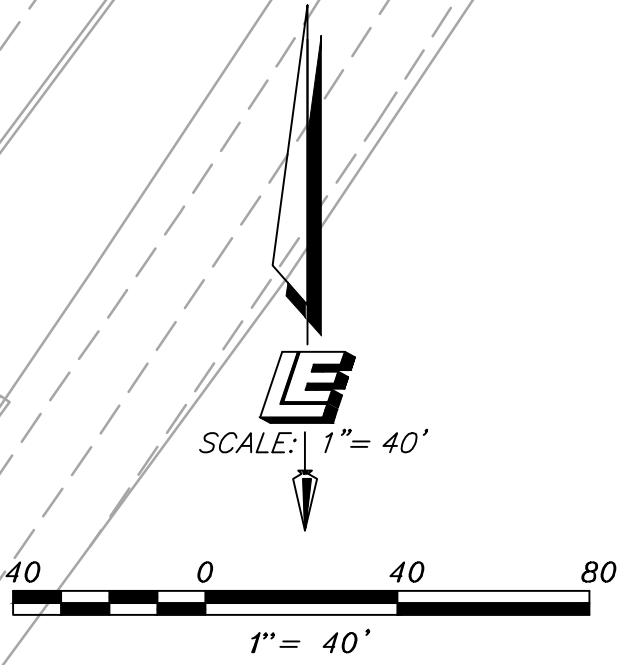
SHEET 4 (C-3) OF 16

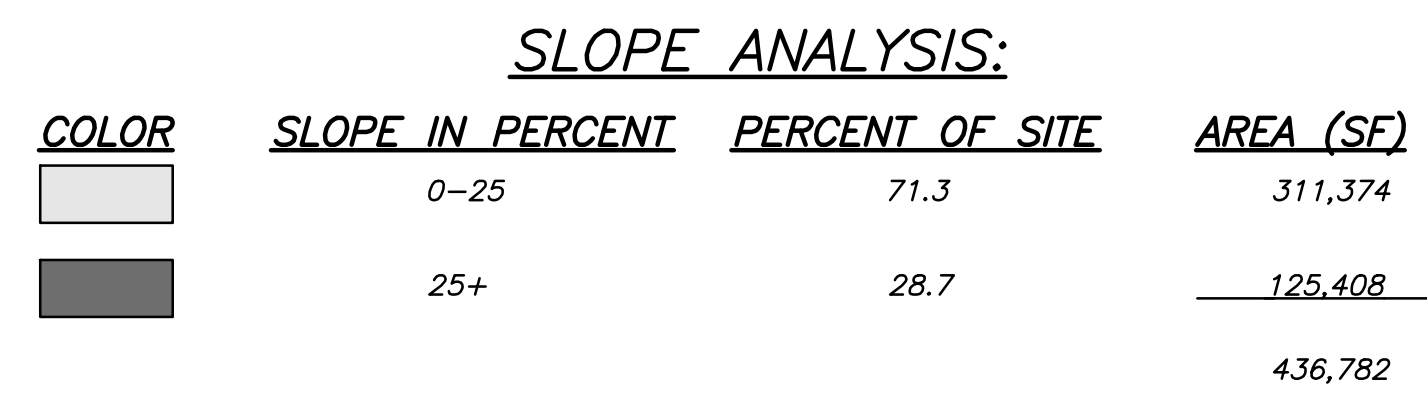
DEP#

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
1	1/18/19	RL	RESUBMITTAL 3	12			
2	7/20/18	RL	RESUBMITTAL 2	11			
3	6/5/18	RL	RESUBMITTAL 1	10			
4	3/8/18	RL	ORIGINAL	9			
5				8			
6				7			

APPROVED BY ENGINEER	REGISTRATION
OF WORK	NO.
FILE CODE	DATE
PN 06.03-11.91	26283
PREPARATION AND REVISION LOG	

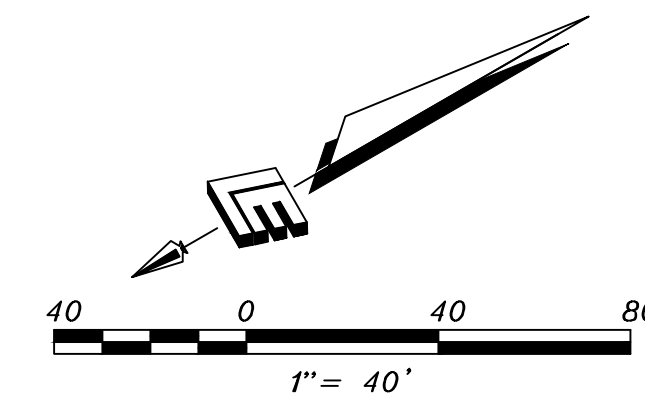
Leppert Engineering Corporation
5190 Governor Drive, Suite 205
San Diego, Ca. 92122-2848
Phone: (858) 597-2001 Fax: (858) 597-2009





THERE ARE NO STEEP HILLSIDES ON SITE. PER SECTION 1131.01003 OF THE CITY MUNICIPAL CODE, STEEP HILLSIDES ARE DEFINED AS FOLLOWS - "STEEP HILLSIDES MEANS ALL LANDS THAT HAVE A SLOPE WITH A NATURAL GRADIENT OF 25 PERCENT (4 FEET OF HORIZONTAL DISTANCE FOR EVERY 1 FOOT OF VERTICAL DISTANCE) OR GREATER AND A MINIMUM ELEVATION DIFFERENTIAL OF 50 FEET, OR A NATURAL GRADIENT OF 200 PERCENT (1 FOOT OF HORIZONTAL DISTANCE FOR EVERY 2 FEET OF VERTICAL DISTANCE) OR GREATER AND A MINIMUM ELEVATION DIFFERENTIAL OF 10 FEET." THERE ARE SLOPES WITH A GRADIENT OF 25 PERCENT OR GREATER, BUT THE ELEVATION DIFFERENCE IS LESS THAN 50 FEET. FURTHERMORE, THE HILLSIDES ARE NOT NATURAL. THEY WERE MANUFACTURED PER THE GRADING PLANS FOR SUN RIDGE VISTA, UNIT NO. 1, CITY OF SAN DIEGO DWG. NO. 23448-22-D.

TOPOGRAPHIC INFORMATION PER FLOWN TOPOGRAPHY PREPARED BY AEROTECH MAPPING, DATED
NOVEMBER 20, 2015.



SHEET TITLE:
TOPOGRAPHIC MAP & SLOPE ANALYSIS

DEP# _____

DESIGN STATEMENT:

THE PRIMARY GOAL OF THE LANDSCAPE DESIGN IS TO BLEND AND COMPLIMENT THE EXISTING NATIVE PLANTING IN THE AREA. NATIVE LOW FUEL VOLUME SPECIES WILL BE USED TO RE-VEGETATE THE GRADED SLOPES. THE TREATMENT FOR THE INTERIOR SHALL PRIMARILY BE SITE AND SLOPE TREES AND GROUND COVER. SUITABLE FOR SCREENING, FIRE-RESISTANT, AND COMPLIMENT THE BUILDING ARCHITECTURE.

LANDSCAPE DESIGN OBJECTIVES:

1. PLANT MATERIALS SPECIFIED FOR USE ON THIS PROJECT WILL BE FROM THE PALETTE OF PLANTS KNOWN TO PERFORM WELL IN THIS CLIMATIC ZONE AND AMENDED SOIL TYPE.
2. THE PALETTE OF LANDSCAPE PLANT MATERIALS WILL PROVIDE VARIATIONS OF FOLIAGE, BARK, AND FLOWER FORM, TEXTURE, AND COLOR. THESE VARIATIONS WILL BE USED TO BLEND IN WITH EXISTING SURROUNDING LANDSCAPE TREATMENTS ESPECIALLY AT PERIMETER SLOPES.
3. LANDSCAPE PLANTING AREAS WILL BE GRADED TO ASSURE POSITIVE SURFACE DRAINAGE.
4. ONSITE SOILS WILL BE AMENDED TO COMPLY WITH THE RECOMMENDATION OF A CERTIFIED SOILS TESTING LABORATORY.
5. ALL SLOPE ASPECTS 2:1 OR STEEPER SHALL RECEIVE JUTE MATTING (OR PER THE RECOMMENDATION BY THE GEO-TECHNICAL ENGINEER).

GRADING NOTES:

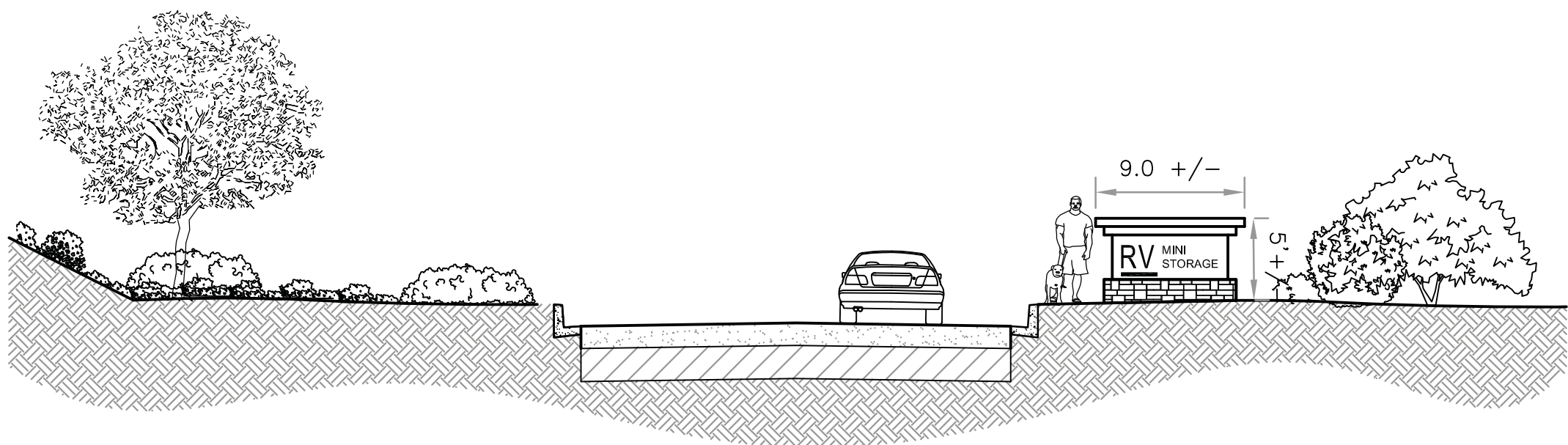
1. PERMANENT REVEGETATION - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
2. TEMPORARY REVEGETATION - GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. TEMPORARY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH THE VEGETATION.
3. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
4. INTERIM BINDER NOTE: GRADED, DISTURBED OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX AND INTERIM BINDER / TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.

MAINTENANCE NOTE:

ALL REQUIRED COMMON LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

MINIMUM TREE SEPARATION DISTANCE:

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS	25 FEET
SEWERS	10 FEET



CONCEPTUAL MONUMENT SIGN ELEVATION

IRRIGATION:

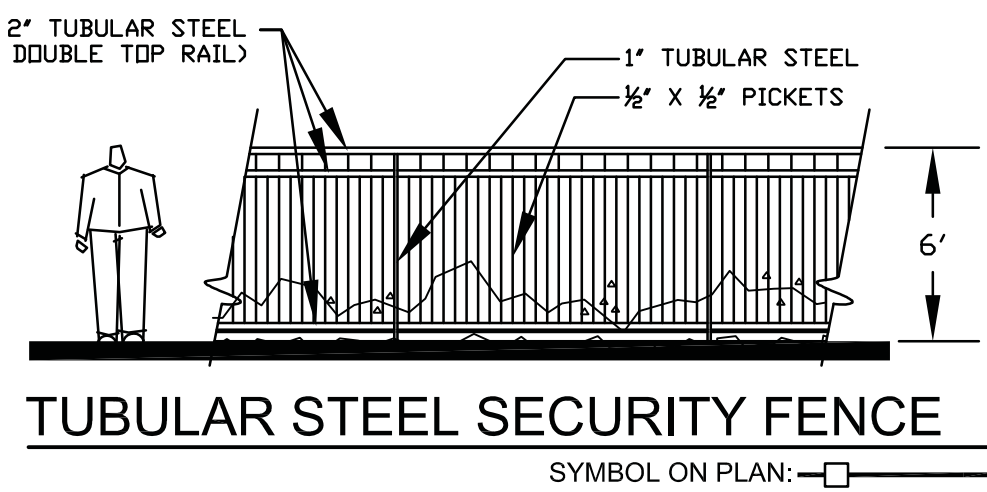
ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE..

NOTES:

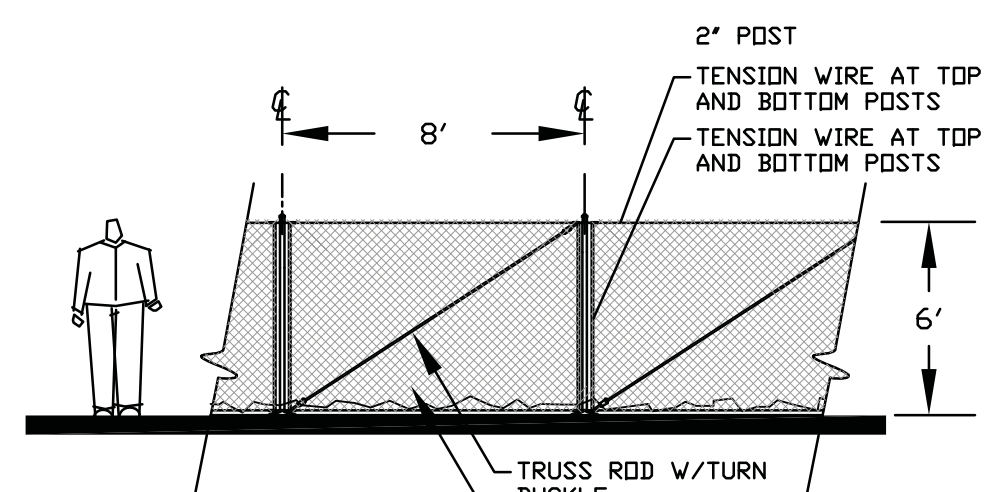
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. NO IMPROVEMENTS, INCLUDING ENHANCED PAVING, IRRIGATION AND LANDSCAPING, SHALL BE INSTALLED IN OR OVER ANY EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
3. PERMANENT MONUMENT SIGNAGE MAYBE PROPOSED BY THE DEVELOPER.
4. MINIMUM 24-INCH BOX SIZE STREET TREES SHALL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY. TREE PLANTING AREAS SHALL HAVE A MINIMUM 40 SQUARE FEET OF AIR-AND-WATER, PERMEABLE AREA.
5. INSTALL ALL APPROVED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTION FORMS. COPIES OF THESE APPROVED DOCUMENTS MUST BE SUBMITTED TO THE CITY.
6. IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER/SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE CITY.
7. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WHICH WRAP AROUND THE ROOT BALL ARE NOT PERMITTED
8. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
9. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY MAY BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES.

DEVELOPER INSTALLED LANDSCAPE AREAS

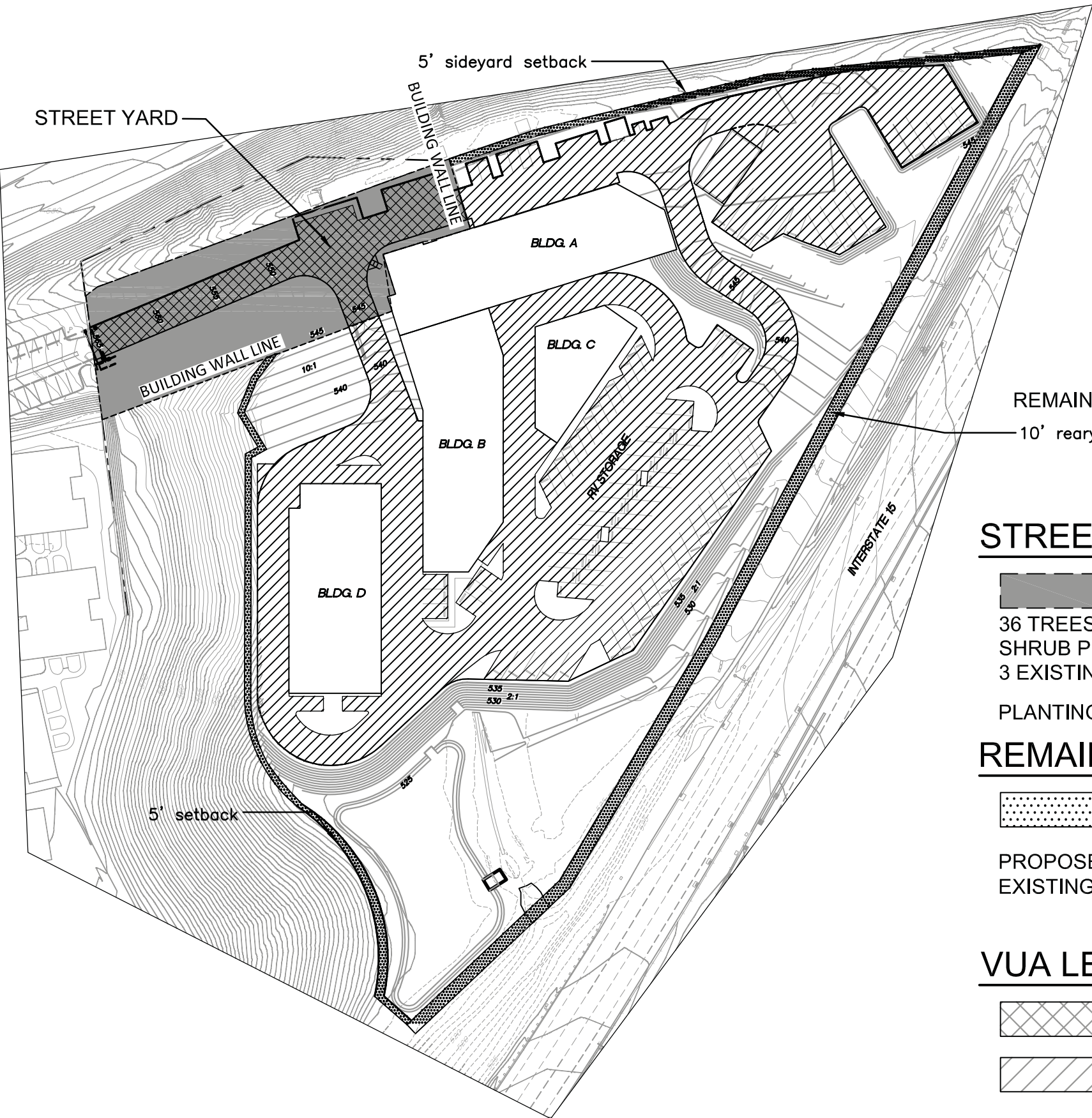
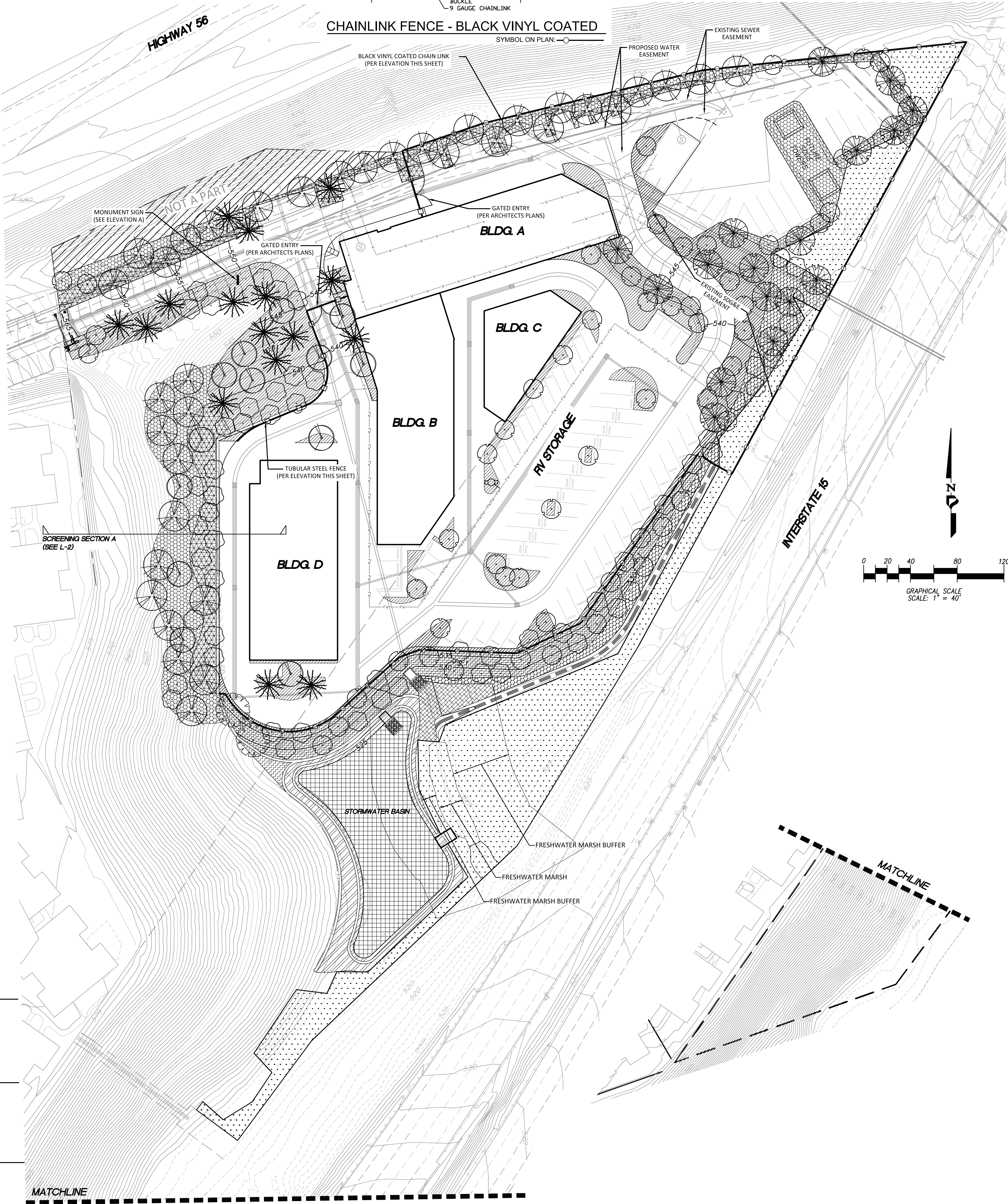
RE-VEGETATED SLOPES	25,382 SF or (.58 Acres)
INTERIOR PLANTING/SLOPES AREAS	74,874 SF or (1.72 Acres)
WATER QUALITY BASIN	17,403 SF or (.40 Acres)
FRESHWATER MARSH	12,396 SF or (.28 Acres)



TUBULAR STEEL SECURITY FENCE



CHAINLINK FENCE - BLACK VINYL COATED



REMAINING YARD
10' rear yard setback

STREET YARD

STREET YARD AREA	29,752 SF
36 TREES 27' (75%) 24" box + 9' (15 g) = 540*90=	630
SHRUB PLANTING AVERAGE 9,438 SF/3' O.C.	1,048
3 EXISTING TREES 20" 50*18"X 25=	500
PLANTING AREA PROVIDED=	2,178
	9,438 S.F.

REMAINING YARD

REMAINING YARD AREA	12,112 SF
---------------------	-----------

PROPOSED SHRUB PLANTING: 2,755 SF / 4' O.C. = 239 PTS
EXISTING PLANTING: 9,357 SF / 5' O.C. = 1,728 PTS

VUA LEGEND

INSIDE STREET YARD VUA	11,988 SF
OUTSIDE STREET YARD VUA	108,666 SF

SEE SHEET L-2 FOR FORM DS-005 & 007 CALCULATIONS



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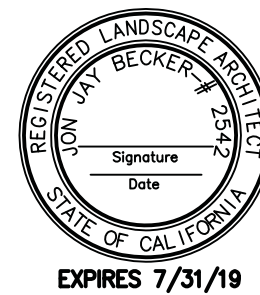
CONSULTANTS



PROJECT:

PEN 173
RANCHO PENASQUITOS
RV / MINI-STORAGE FACILITY
LOT 12 OF SUN RIDGE VISTA,
UNIT NO.1 MAP 1924

REGISTRATION STAMP
ISSUE



Mark	Date	Description
1	06/04/2018	REVISION 1
2	07/20/2018	REVISION 2 CYCLE 10 RESP
3	01/18/2019	REVISION 3

SCALE:

DESIGNER PROJECT NO.: 17046

DRAWN BY:

CHECKED BY:

KEY PLAN

DESIGN ITERATION

01.18.2019

SHEET TITLE

CONCEPTUAL
LANDSCAPE PLAN

SHEET NUMBER (SHEET 6 OF 16)

L-1

REVEGETATION PLANTING LEGEND

NATURALIZED AND TRANSITIONAL AREAS WILL STABILIZE THE SLOPES WITH DEEP ROOTING TREES, SHRUBS, GROUND COVER AND HYDROSEED. THE PROPOSED PLANTING IS TO BLEND INTO THE SURROUNDING HABITAT. THE RE-VEGETATION SPECIES SHALL BE SELECTED FROM THIS PALETTE OR APPROVED EQUAL.

SCREENING REVEGETATION PLANTING LEGEND - OWNER MAINTAINED (TEMP. IRRIGATED)

THE NATURALIZED STREETSCAPE AREAS ARE TO BE PLANTED WITH NATIVE OR NATURALIZED SPECIES TO BE SUSTAINABLE WITH MINIMAL SUPPLEMENTAL WATER. SELECTION TO BE IN CONFORMANCE WITH THE LANDSCAPE ORDINANCE AND STREET TREE SELECTION GUIDE.

NATURALIZED REVEGETATION SCREEN TREES, EVERGREEN, ROUND HEAD, SHADE TREE - 50% 24" BOX OR LARGER, 50% 15 GAL - TREES IN VEHICULAR USE AREAS (VUA) SHALL BE 24" BOXES IN SIZE.

TREE - 50% 24" BOX OR LARGER, 50% 15 GAL - TREES IN VEHICULAR USE AREAS (VUA) SHALL BE 24" BOXES IN SIZE.	MATURE HEIGHT & SPREAD
PINUS TORREYANA	20'-40' x 15'-25'
PLATANUS RACEMOSA	40'-80' x 30'-50'
QUERCUS AGRIFOLIA	25'-65' x 30'-50'
QUERCUS KELLOGGII	25'-40' x 35'-40'

SDG&E REVEGETATION TREES, EVERGREEN, ROUND HEAD, SHADE TREE - 50% 24" BOX OR LARGER, 50% 15 GAL - TREES IN VEHICULAR USE AREAS (VUA) SHALL BE 24" BOXES IN SIZE.

CASSIA LEPTOPHYLLA	GOLDEN MEDALLION TREE	20'-40' x 15'-25'
CERCIS OCCIDENTALIS	WESTERN REDBUD	40'-80' x 30'-50'
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	25'-65' x 30'-50'
LAGERSTROMIA INDICA	GRAPE MYRTLE	25'-40' x 35'-40'
RHUS LANCEA	AFRICAN SUMAC	20'-30' x 25'-35'

EVERGREEN SCREENING SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

ONLY SHRUBS OF 3' IN HEIGHT OR LESS WILL BE USED IN THE PARKWAY VISIBILITY TRIANGLE

CALYCANTHUS OCCIDENTALIS	SPICE BUSH	8' x 8'
HETEROMELES ARBUTIFOLIA	TOYON	15' x 15'
PLUMBAGO AURICULATA	CAPE PLUMBAGO	8' x 10'
RHUS INTEGRIFOLIA	LEMONADE BERRY	20' x 20'
RHUS OVATA	SUGAR BUSH	8' x 8'

PERIMETER SLOPES (TEMPORARILY IRRIGATED)

THE PERIMETER SLOPE AREAS ARE TO BE PLANTED WITH CONTAINER MATERIAL IN CONFORMANCE WITH THE GRADING ORDINANCE THE SLOPES ARE TO BE HYDRO-SEEDED WITH A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS 24" OR LESS.

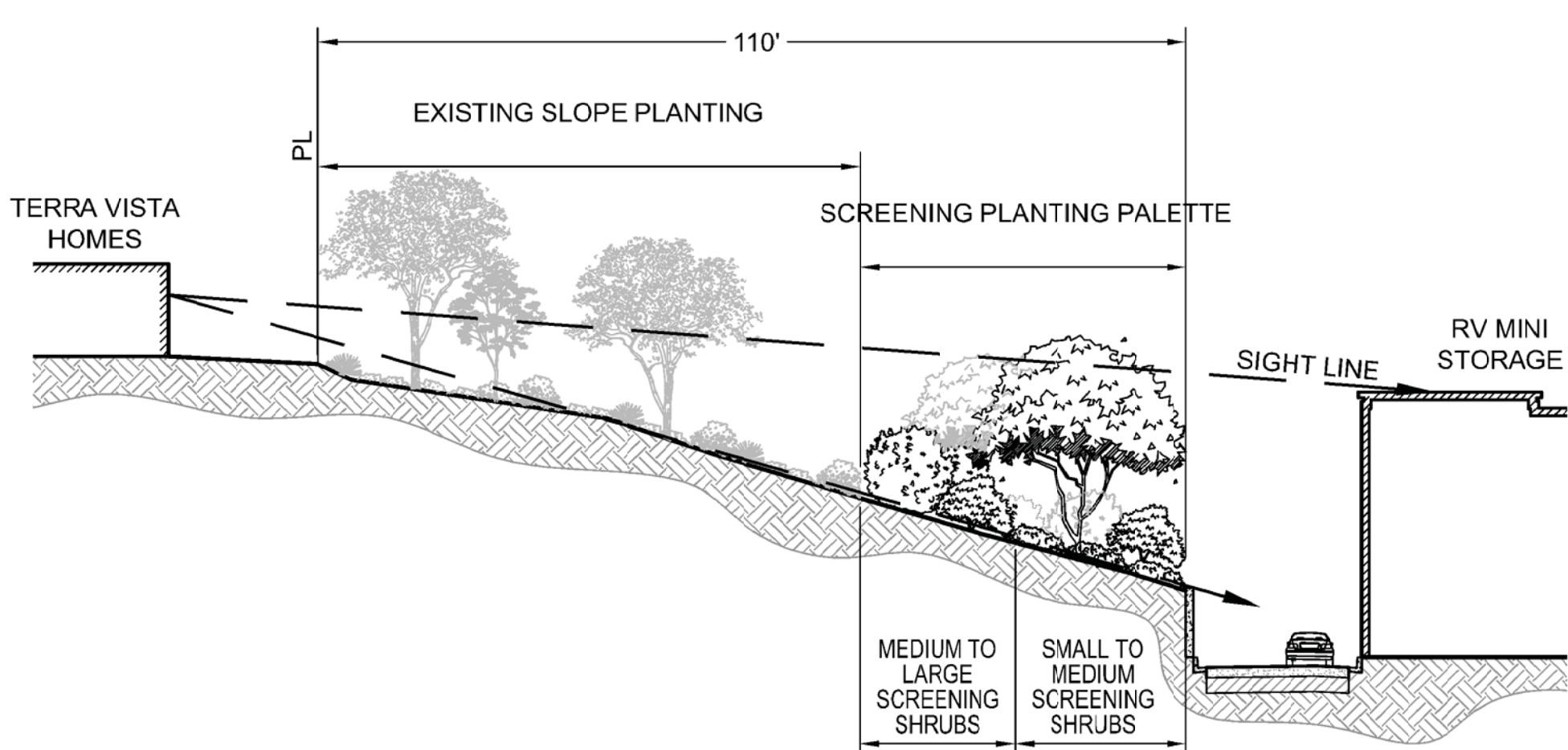
POTENTIAL SCREENING SPECIES FOR SLOPES-50% 1 GAL., 50% 5 GAL.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HEIGHT & SPREAD
ADOLPHIA CALIFORNICA	SPINESHRUB	FRAGRANT FLOWERS, EROSION CONTROL	4' x 6'
COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	EVERGREEN, WHITE ACCENT FLOWERS	6-10' x 8'
ENCHELIA CALIFORNICA	COAST SUNFLOWER	YELLOW ACCENT FLOWERS, FAST GROWER	1-3' x 4'
ERIODICTYON TRICHOCALYX	SMOOTH LEAF YERBA SANTA	EVERGREEN, WHITE ACCENT FLOWERS	3-5' x 3-6'
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN-YARROW	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1-3' x 1.5'
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1-3' x 3'
GNAPHALUM CALIFORNICUM	CALIFORNIA PEARLY EVERLASTING	FRAGRANT EVERGREEN, WHITE FLOWERS	3' x 3'
HAZARDIA SQUARROSA	COMMON HAZARDIA	SHRUB, YELLOW FLOWERS	1-2' x 2-3'
HETEROMELES ARBUTIFOLIA	TOYON	LARGE EVERGREEN SHRUB, SHOWY RED BERRIES	8-15' x 15'
LOTUS SCOPARIUS	DEER WEED	FAST GROWING PERENNIAL, YELLOW FLOWERS	2-3' x 3'
MALOSMA LAURINA	LAURAL SUMAC	EVERGREEN SHRUB, RAPID GROWTH	8-15' x 12'+
MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUB-SHRUB, CRIMSON TO BRICK-RED FLOWERS	2' x 3'
NEMOPHILA MENZIESII	BABY BLUE EYES	ANNUAL, BLUE FLOWERS	1' x 1.5'
QUERCUS AGRIFOLIA	COAST LIVE OAK	EVERGREEN TREE, SPREADING CROWN	20-40' x 35'+
QUERCUS DUMOSA	NUTTALL'S SCRUB OAK	LARGE EVERGREEN SHRUB, GOOD SOIL BINDER	3-10' x 15'
RHUS INTEGRIFOLIA	LEMONADE BERRY	EVERGREEN SHRUB, SLOPE STABILIZER	5-15' x 10'+
SALVIA APIANA	WHITE SAGE	SUB-SHRUB, AROMATIC WHITE LEAVES & FLOWERS	3-5' x 5'
SALVIA LEUCOPHYLLA	PURPLE SAGE	MEDIUM SHRUB, PINKISH PURPLE FLOWERS	3-4' x 4-6'

COASTAL SAGE SCRUB HYDROSEED MIX FOR SLOPES

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HEIGHT & SPREAD	% PURITY/ GERMINATION	RECOMMENDED
ARTEMESIA CALIFORNICA	COASTAL SAGEBRUSH	AROMATIC SHRUB, EROSION CONTROL, FAST GROWING	3-4' x 2-3'	2	15 / 50
ENCHELIA CALIFORNICA	COAST SUNFLOWER	SUB-SHRUB, YELLOW FLOWERS, FAST GROWER	3' x 4'	4	40 / 60
ERIDOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	PERENNIAL, PINK-WHITE FLOWERS, FAST GROWER	3-4' x 4'	6	10 / 65
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	HERBACEOUS SUB-SHRUB, ORANGE-YELLOW FLOWERS	2' x 3'	3	30 / 60
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, YELLOW FLOWERS, FAST GROWER	3' x 3'	1	98 / 75
LOTUS SCOPARIUS	DEERWEED	PERENNIAL, NUMEROUS YELLOW FLOWERS, FAST GROWER	2-3' x 3'	6	90 / 60
LUPINUS BICOLOR	PYGMY-LEAF LUPINE	SMALL ANNUAL, BLUE FLOWER, REVEGETATION	1' x 1.5'	4	98 / 80
LUPINUS NANUS	SKY LUPINE	SMALL ANNUAL, BLUE FLOWER, GROUND COVER	1.5' x 3'	4	98 / 85
MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUB-SHRUB, CRIMSON TO BRICK-RED FLOWERS	2' x 3'	2	2 / 55
SALVIA MELLIFERA	BLACK SAGE	SUB-SHRUB, AROMATIC, FLOWERS BLUE, LILAC OR WHITE	3-5' x 6'+	1	70 / 50
NASSELLA PULCHRA	PURPLE NEEDLE GRASS	PERENNIAL BUNCHGRASS, PURPLE SEED HEADS	2' x 2'	8	90 / 60

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER 100 S.F. OF DISTURBED AREA.



SCREENING SECTION

GRAPHICAL SCALE
SCALE: 1" = 20'


INTERIOR SLOPES AND SITE PLANTING LEGEND

OWNER MAINTAINED (PERMANENTLY IRRIGATED)

THE FACILITY GROUNDS ARE TO BE PLANTED WITH A MIX OF EVERGREEN AND SEASONALLY CHANGING SHADE TREES. ACCENT TREES ARE LOCATED AT INTERSECTIONS AND HIGHLY VISIBLE AREAS WITH COLORFUL SHRUBS. TRANSITIONAL EDGES TO OPEN SPACE SHOULD HAVE DROUGHT TOLERANT, AND ORNAMENTAL OF TREES, SHRUBS, AND NATURALIZED DROUGHT TOLERANT GRASSES.


POTENTIAL SCREENING PLANT MATERIAL

SITE TREES - EVERGREEN SHADE TREE - 25% 24" BOX OR LARGER 75% 15 GAL		
	ARBUTUS MARINA	MARINA MADRONE
	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE
	RHUS LANCEA	AFRICAN SUMAC
	TRISTANIA LAURINA	ELEGANT BRISBANE
SITE SCREENING TREES - EVERGREEN SHADE TREE - 25% 24" BOX OR LARGER 75% 15 GAL		
	DODONAEA VISCOSA	PURPUREA
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW
	MILYCA CALIFORNICA	PACIFIC WAX MYRTLE
	PODOCARPUS MACROPHYLLUS	YEW PINE
	RHUS LANCEA	AFRICAN SUMAC

SITE SCREENING TREES - EVERGREEN SHADE TREE - 25% 24" BOX OR LARGER 75% 15 GAL			
	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPESEED	10' x 15'
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	30' x 20'
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	30' x 20'
	PODOCARPUS MACROPHYLLUS	YEW PINE	20' x 8'
	RHUS LANCEA	AFRICAN SUMAC	25' x 30'

SDG&E SITE TREES - EVERGREEN SHADE TREE - 100% 15 GAL OR LARGER- TREES IN VEHICULAR USE AREAS (VUA) SHALL BE 24" BOXES IN SIZE.

CASSIA LEPTOPHYLLA	GOLDEN MEDALLION TREE	20' x 15'
CERCIS OCCIDENTALIS	WESTERN REDBUD	15' x 10'
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	20' x 15'
LAGERSTROMIA INDICA	GRAPE MYRTLE	20' x 15'
RHUS LANCEA	AFRICAN SUMAC	25' x 30'

SDG&E SITE SCREENING TREES - EVERGREEN SHADE TREE - 100% 15 GAL OR LARGER			
	DODONAEA VISCOSA 'PURPUREA'	PURPLE HOPBUSH	12' x 8'
	PITTOSPORUM PHILLYRAEODES	WILLOW PITTOSPORUM	25' x 15'

SMALL / MEDIUM EVERGREEN FLOWERING SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

ONLY SHRUBS OF 3' IN HEIGHT OR LESS WILL BE USED IN THE VISIBILITY TRIANGLE AREAS

ABELIA GRANDIFLORA	GLOSSY ABELIA	4' x 4'
CEANOTHUS SP.	WILD LILAC	3' x 3'
CISTUS PURPUREUS	ORCHID ROCKROSE	4' x 5'
ESCALLONIA 'NEWPORT DWARF'	ESCALLONIA	3' x 4'
GREVILLEA 'NOELLII'	GREVILLEA	4' x 5'
LEUCOPHYLLUM FRUITICOSUM	TEXAS RANGER	4' x 5'
SALVIA GREGGII	AUTUMN SAGE	4' x 4'

GROUNDCOVERS - 55% 1-GALLON, 35% FLATS-3'-5' o.c.

BACCHARIS PILULARIS 'Twin Peaks'	Twin Peaks BACCHARIS	3' x 6'
CALANDRINA SPECTABILIS	ROCK PURSLANE	1.5' x 4'
EPILOBUM CANUM	CALIFORNIA FUCHSIA	3' x 4'
HEMEROCALLIS HYBRIDA	ESCALLONIA	3' x 4'
LANTANA SPP.	DAYLILY	1.5' x 2'
TRACHELOSPERMUM JAPONICUM	LANTANA	1.5' x 5'
	STAR JASMINE	2' x 5'

LARGE / MEDIUM SCREENING EVERGREEN SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

ONLY SHRUBS OF 3' IN HEIGHT OR LESS WILL BE USED IN THE VISIBILITY TRIANGLE AREAS

ACACIA REDOLENS	PROSTRATE ACACIA	4' x 8'
HETEROMELES ARBUTIFOLIA	TOYON	10' x 10'
ELEAGNUS PUNGENS	SILVERBERRY	8' x 8'
LIGUSTRUM JAPONICUM 'TEXANUM'	PRIVET	10' x 10'
MALOSMA LAURINA	LAURAL SUMAC	10' x 10'
PLUMBAGO AURICULATA	CAPE PLUMBAGO	10' x 10'
RHUS INTEGRIFOLIA	LEMONADE BERRY	8' x 12'
THEVETIA PERUVIANA	YELLOW OLEANDER	12' x 12'
XYLOSMA CONGESTUM	SHINY XYLOSMA	15' x 15'

SMALL / MEDIUM SCREENING EVERGREEN FLOWERING SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

ONLY SHRUBS OF 3' IN HEIGHT OR LESS WILL BE USED IN THE VISIBILITY TRIANGLE AREAS

ACACIA REDOLENS	PROSTRATE ACACIA	4' x 8'
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	4' x 4'
CEANOTHUS SP.	WILD LILAC	3' x 3'
CISTUS PURPUREUS	ORCHID ROCKROSE	4' x 5'
SALVIA MELLIFERA	BLACK SAGE	3' x 4'
LEUCOPHYLLUM FRUITICOSUM	TEXAS RANGER	4' x 5'
WESTRINGIA FRUTICOSA	COAST ROSEMARY	4' x 5'

NOTE: GRADED PAD HYDROSEED - WILDFLOWER (NON-IRRIGATED)

Temporary Pad Hydro-seed will be applied with a tackifier to the graded pad as part of the grading plan permit set.

BASIC EROSION CONTROL MIX (CONTACT S&S SEEDS 805.684.0436)	Lbs./Ac.	Purity %
BROMUS CARINATUS "CUCAMONGA "	Cucamonga Brome	20 85
TRIFOLIUM WILLDENOVII	Tomcat Clover	4 85
VULPIA MICROSTACHYS	Small Fescue	8 85

Landscape Calculations Worksheet Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 8 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: sq. ft. x 0.05 =	points	points

Points achieved through trees (at least half):

VEHICULAR USE AREA (>6,000 sf) [142.0406 - 142.0407]

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA inside Street Yard: 11,988 sq. ft. x 0.05 =	599 sq. ft.	3,237 sq. ft.
VUA outside Street Yard: 108,666 sq. ft. x 0.03 =	3,260 sq. ft.	16,882 sq. ft.
		13,422 sq. ft.

Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)
VUA inside Street Yard: *1,988 sq. ft. x 0.05 =	600 points	1,043 points
VUA outside Street Yard: *108,666 sq. ft. x 0.03 =	3,260 points	7,758 points
		1,709 points

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	sq. ft.

Required Plant Points	Plant Points Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	points

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	sq. ft.

Required Plant Points	Plant Points Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	points

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	sq. ft.

Required Plant Points	Plant Points Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	points

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	sq. ft.

Required Plant Points	Plant Points Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	points

Required Planting Area	Planting Area Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	sq. ft.

Required Plant Points	Plant Points Provided
Length of Public Right-of-Way adjacent to VUA: ft. x 3 ft. =	points

STORM WATER QUALITY BASIN (TEMPORARILY IRRIGATED)

BASINS TO BE LINED WITH 18" MEDIUM DEPTH.

STORM WATER BASIN (BOTTOM)

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	UPRIGHT, SPREADING	LINERS 1.5' x 1.5'
CAREX SUBFUSCA	RUSTY SEDGE	UPRIGHT, SPREADING	LINERS 1.5' x 1.5'
JUNCUS MEXICANUS	MEXICAN RUSH	UPRIGHT, SPREADING	1'G / LINERS 0.5' x 0.5'
JUNCUS PATENS	CALIFORNIA GRAY RUSH	UPRIGHT, SPREADING	LINERS 1' x 2'
LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	CLUMPING, WEEPING	LINERS 1.5' x 1.5'
SCIRPUS CENUUS	LOW BULLRUSH	LUSH GREEN, CLUMPING	LINERS 1' x 1'

STORM WATER BASIN (TOP & SIDE SLOPES)

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ACHILLEA MILLEFOLIUM	YARROW	FRAGRANT, UPRIGHT, SPREADING	LINERS 1' x 2'
ANEMOPSIS CALIFORNICA	YERBA MENZA	FRAGRANT, UPRIGHT, SPREADING	LINERS .75' x .75'
BACCHARIS P. PIGEON POINT	DWARF COYOTE BUSH	WHITE FLOWER, SILVER FOLIAGE	LINERS 3' x 3'
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	UPRIGHT, SPREADING	LINERS 1.5' x 1.5'
CAREX SUBFUSCA	RUSTY SEDGE	UPRIGHT, SPREADING	LINERS 1.5' x 1.5'
IVA HAYESIANA	POVERTY WEED	FRAGRANT, SPREADING	1G / LINERS 1' x 2.5'
JUNCUS MEXICANUS	MEXICAN RUSH	UPRIGHT, SPREADING	LINERS 1' x 2'
JUNCUS PATENS	CALIFORNIA GRAY RUSH	UPRIGHT, SPREADING	LINERS 1' x 2'
LEYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	CLUMPING, WEEPING	LINERS 1.5' x 1.5'
MAHONIA NEVINI	NEVINS BARBERRY	FRAGRANT, MOUNDING, ROUNDED	LINERS 4' x 5'
MIMULUS CARDINALIS	SCARLET MONKEY FLOWER	UPRIGHT, ORANGE-RED FLOWER	1G 2' x 2'
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	UPRIGHT, PURPLISH-BLUE FLOWER	LINERS 1' x 1'

VEGETATED SWALE

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	UPRIGHT, SPREADING	LINERS 1.5' x 1.5'
CAREX SUBFUSCA	RUSTY SEDGE	UPRIGHT, SPREADING	LINERS 1.5' x 1.5'
JUNCUS MEXICANUS	MEXICAN RUSH	UPRIGHT, SPREADING	1'G / LINERS 0.5' x 0.5'
JUNCUS PATENS	CALIFORNIA GRAY RUSH	UPRIGHT, SPREADING	LINERS 1' x 2'
SCIRPUS CENUUS	LOW BULLRUSH	LUSH GREEN, CLUMPING	LINERS 1' x 1'

FRESH WATER MARSH BUFFER PLANTING

FRESH WATER MARSH MIX - 00% 1-GALLON, 100% FLATS-3'-5' o.c.

BOLBOSCHOENUS MARITIMUS SSP. PALUDOSUS [=SCIRPUS MARITIMUS]	SALT MARSH BULRUSH	1.5' x 4'
ELEOCHARIS MACROSTACHYA -	PALE SPIKE RUSH	1' x 2.5'
TYPHA 'ANGUSTIFOLIA -	NARROW-LEAVED CATTAIL	3' x 4'
AMBROSIA PSILOSTACHYA -	WESTERN RAGWEED	1.5' x 2.5'
OENOTHERA ELATA SSP. HIRSUSSISSIMA -	GREAT MARSH EVENING-PRIMROSE	1.5' x 4'

EXISTING PLANTING TO REMAIN

EXISTING PLANTING TO REMAIN PER COVENANT OF EASEMENT

WATER CALCULATIONS

RV MINI STORAGE - MAWA / ETWU									
Irrigation Point of Connection (P.O.C.) # 1									
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (Leverage) (PF)	Hydrozone Area (sf) (HA)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	EXT SLOPES	1	MP ROTATOR	0.3	25,382	18.2%	7,614.6	0.75	10,



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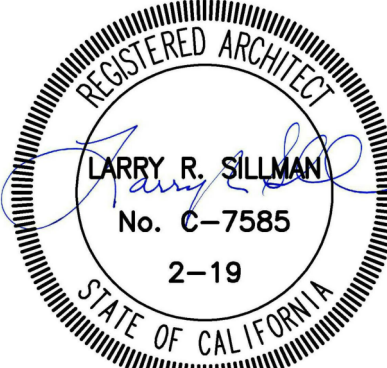
CONSULTANTS

PROJECT:

PEN 173
RANCHO PENASQUITOS
RV / MINI-STORAGE FACILITY
LOT 12 OF SUN RIDGE VISTA,
UNIT NO.1 MAP 1924

REGISTRATION STAMP

ISSUE



Mark	Date	Description
1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
3	1.18.2019	Revision 3 cycle 11 resp

SCALE:

DESIGNER PROJECT NO.: 17046

DRAWN BY: Author

CHECKED BY: Checker

As Indicated

KEY PLAN

DESIGN ITERATION

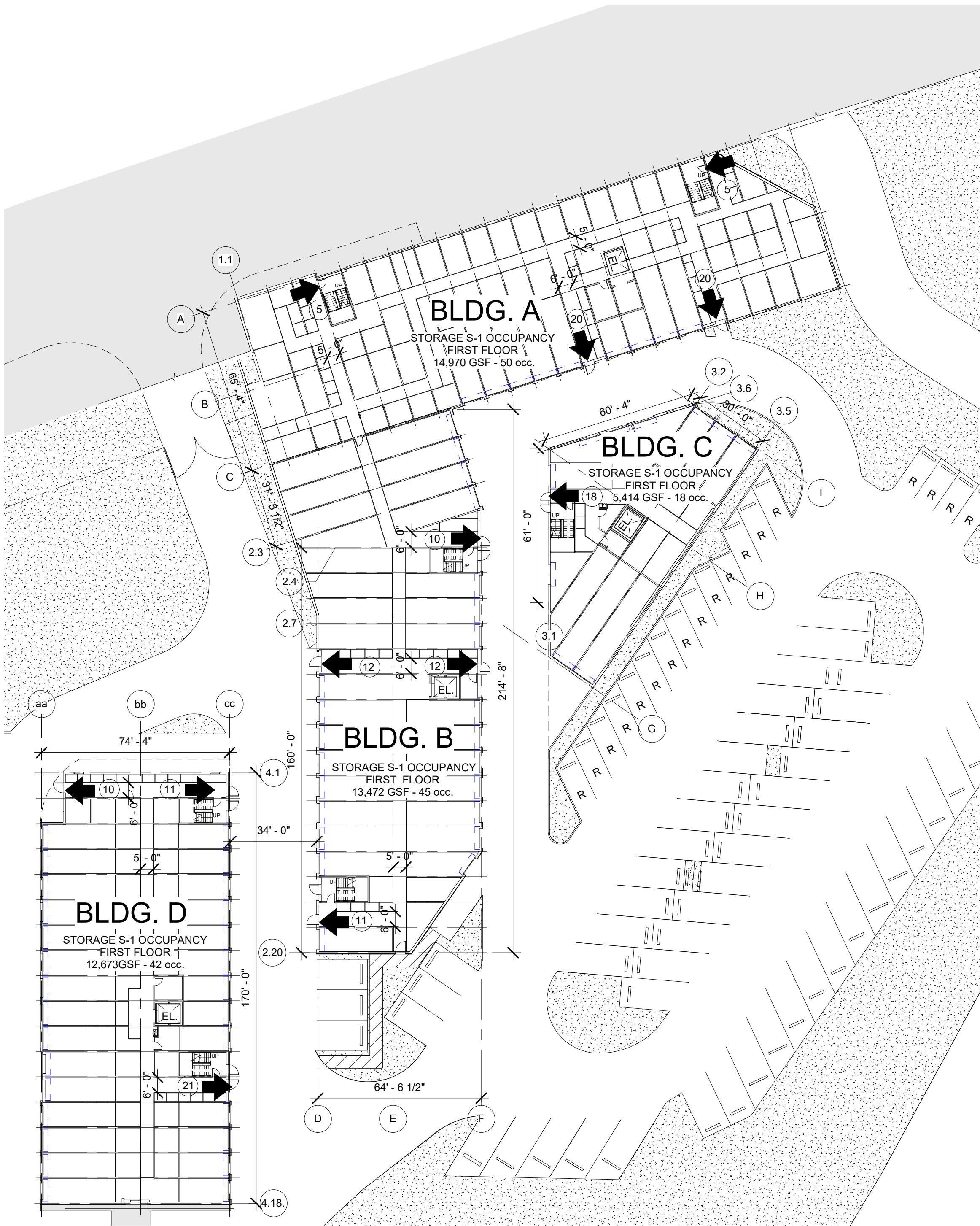
1.18.2019

SHEET TITLE

CODE ANALYSIS

SHEET NUMBER (SHEET 8 OF 16)

A100



1 FIRST LEVEL EXITING PLAN

A100 SCALE: 1/32" = 1'-0"
REF: A201

BUILDING SUMMARY:

OCCUPANCY TYPE: BLDGS. A, B = S-1 & B (FULLY SPRINKLERED)
B OCCUPANCY ACCESSORY TO S-1
OCCUPANCY SEPARATION NOT REQUIRED (TABLE 508.4)
BLDGS. C, D = S-1 (FULLY SPRINKLERED)

TYPE OF CONSTRUCTION:
BUILDING A = VA W/ SPRINKLERS IN LIEU OF 1 HR
BUILDING B = VA W/ SPRINKLERS IN LIEU OF 1 HR
BUILDING C = VA W/ SPRINKLERS IN LIEU OF 1 HR
BUILDING D = VA W/ SPRINKLERS IN LIEU OF 1 HR

S-1 OCC. LOAD FACTOR = 300 GROSS
B OCC. LOAD FACTOR = 100 GROSS
TABLE 1004.1.2
TOTAL BLDGS. GROSS SQFT: 139,587 GSF
BUILDING A = 44,910 GSF - 3 STORY
BUILDING B = 40,416 GSF - 3 STORY
BUILDING C = 16,242 GSF - 3 STORY
BUILDING D = 38,019 GSF - 3 STORY
TOTAL BLDGS. OCCUPANT LOAD: 493
BUILDING A = 167 OCC. (S-1+ B)
BUILDING B = 147 OCC. (S-1+ B)
BUILDING C = 54 OCC.
BUILDING D = 126 OCC.

BUILDING A (OCC. S-1 + OCC. B)

ACTUAL GROSS SQUARE FOOTAGE:
FIRST FLOOR: 14,970 GSF
SECOND FLOOR: 14,970 GSF
THIRD FLOOR: 14,970 GSF
TOTAL BUILDING AREA: 44,910 GSF

CODE ANALYSIS (2016 CBC) S-1 TYPE VA:
ALLOWABLE BUILDING AREA (TABLE 506.2): 14,000 GSF PER STORY (NON SPRINKLERED)

USED FLOOR AREA (OCC. S-1 12,729 + OCC. B 2,241) = 14,970 GSF
USED FLOOR AREA > ALLOWABLE - NOT OK
APPLY AREA MODIFICATIONS (FRONTAGE INCREASE 506):

BLDG. A

[Aa = [At + (NS X If)] = 20,860 GSF
At = 14,000
NS = 14,000

If = [F/P-0.25] W / 30 = 49

F = 540'

P = 600'

W = [(L1 x W1 + L2 x W2...)] / F =
= [235'x30' + 45'x30' + 36'x30' + 65'x30' + 161'x26'] / 600' = 22.77

BLDG. A TOTAL USED FLOOR AREA:
14,970 (S-1 OCC. + B OCC.) < ALLOWABLE (20,860) - OK
ALLOWABLE BUILDING HEIGHT BY OCCUPANCY (CBC TABLE 504.3): 50', 3 STORIES
ALLOWABLE BUILDING HEIGHT BY ZONE (SDMC Zone R-1-13): 35' MAX.
ACTUAL BUILDING HEIGHT: 34'-4" FROM LOWEST ADJACENT GRADE PLANE TO HIGHEST ROOF PARAPET, 3 STORY - OK

BUILDING B (OCC. S-1 + OCC. B)

ACTUAL GROSS SQUARE FOOTAGE:
FIRST FLOOR: 13,472 GSF
SECOND FLOOR: 13,472 GSF
THIRD FLOOR: 13,472 GSF
TOTAL BUILDING AREA: 40,416 GSF

CODE ANALYSIS (2016 CBC) S-1 TYPE VA:
ALLOWABLE BUILDING AREA (TABLE 506.2): 14,000 GSF PER STORY (NON SPRINKLERED)

USED FLOOR AREA (OCC. S-1 11,220 + OCC. B 1,790) = 13,472 GSF
USED FLOOR AREA < ALLOWABLE - OK

ALLOWABLE BUILDING HEIGHT BY OCCUPANCY (CBC TABLE 504.3): 50', 3 STORIES
ALLOWABLE BUILDING HEIGHT BY ZONE (SDMC Zone R-1-13): 35' MAX.
ACTUAL BUILDING HEIGHT: 34'-4" FROM LOWEST GRADE PLANE TO HIGHEST ROOF PARAPET, 3 STORIES - OK

BUILDING C (OCC. S-1)

ACTUAL GROSS SQUARE FOOTAGE:
FIRST FLOOR: 5,414 GSF
SECOND FLOOR: 5,414 GSF
THIRD FLOOR: 5,414 GSF
TOTAL BUILDING AREA: 16,242 GSF

CODE ANALYSIS (2016 CBC) S-1 TYPE VA:
ALLOWABLE BUILDING AREA (TABLE 506.2): 14,000 GSF PER STORY (NON SPRINKLERED)

USED FLOOR AREA (5,414) < ALLOWABLE - OK

ALLOWABLE BUILDING HEIGHT BY OCCUPANCY (CBC TABLE 504.3): 50', 3 STORIES
ALLOWABLE BUILDING HEIGHT BY ZONE (SDMC Zone R-1-13): 35' MAX.
ACTUAL BUILDING HEIGHT: 34'-4" FROM LOWEST GRADE PLANE TO HIGHEST ROOF PARAPET, 2 STORIES - OK

BUILDING D (OCC. S-1)

ACTUAL GROSS SQUARE FOOTAGE:
FIRST FLOOR: 12,673 GSF
SECOND FLOOR: 12,673 GSF
THIRD FLOOR: 12,673 GSF
TOTAL BUILDING AREA: 38,019 GSF
CODE ANALYSIS (2016 CBC) S-1 TYPE VA:
ALLOWABLE BUILDING AREA (TABLE 506.2): 14,000 GSF PER STORY (NON SPRINKLERED)

USED FLOOR AREA 12,673 < ALLOWABLE - OK

ALLOWABLE BUILDING HEIGHT BY OCCUPANCY (CBC TABLE 504.3): 50', 3 STORIES
ALLOWABLE BUILDING HEIGHT BY ZONE (SDMC Zone R-1-13): 35' MAX.
ACTUAL BUILDING HEIGHT: 34'-4" FROM LOWEST GRADE PLANE TO HIGHEST ROOF PARAPET, 3 STORIES - OK

FIRE RESISTANCE RATINGS FOR TYPE V A & B BUILDING ELEMENTS (TABLE 601):

TYPE VA - BLDGS. A, B, C & D

STRUCTURAL FRAME: 1

BEARING EXTERIOR WALLS: 1 *

BEARING INTERIOR WALLS: 1

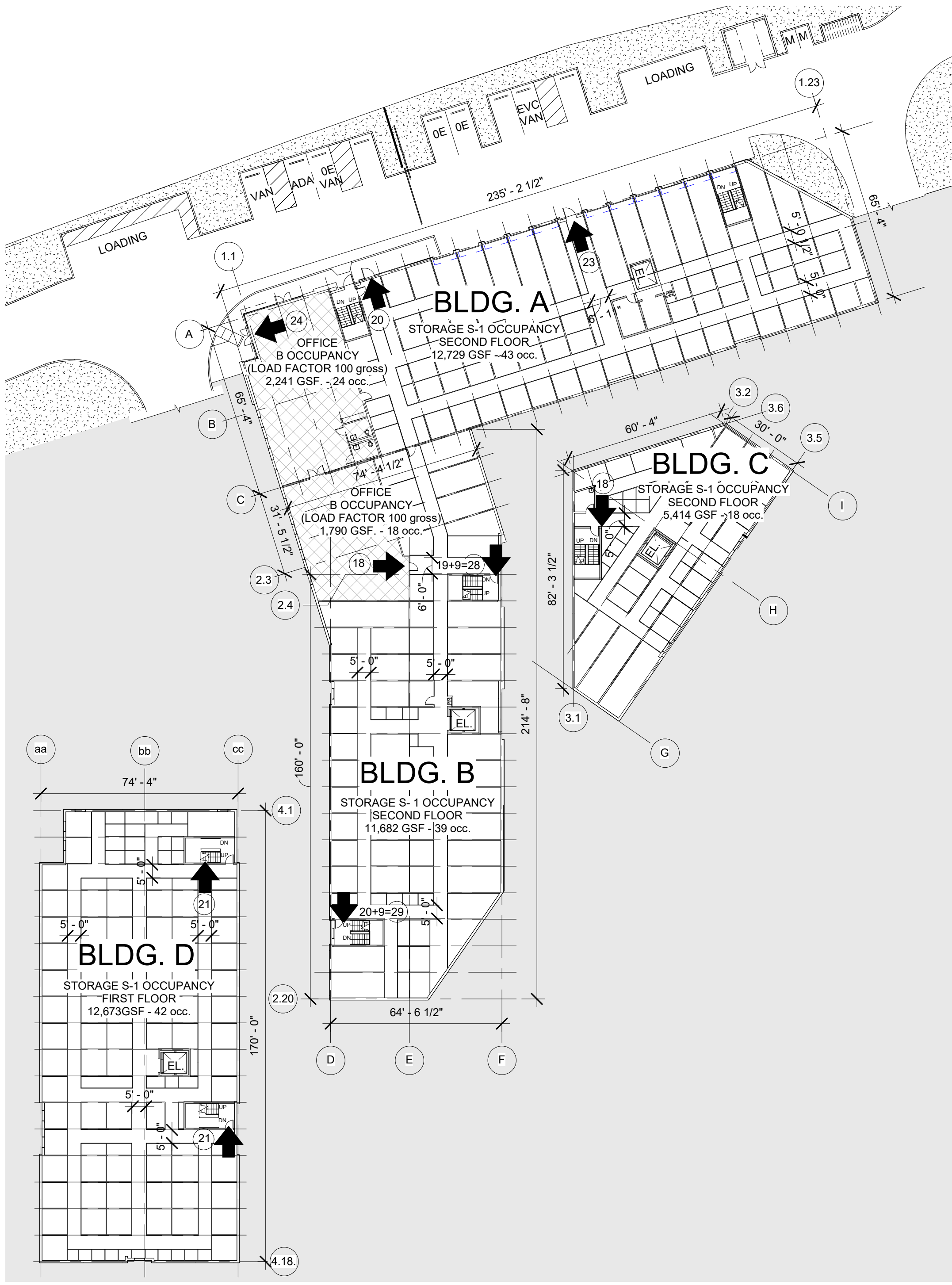
NON-BEARING EXTERIOR WALLS: * (REFER TO FIRE RESISTANCE RATING)

NON-BEARING INTERIOR WALLS: 0

FLOOR CONSTRUCTION: 1

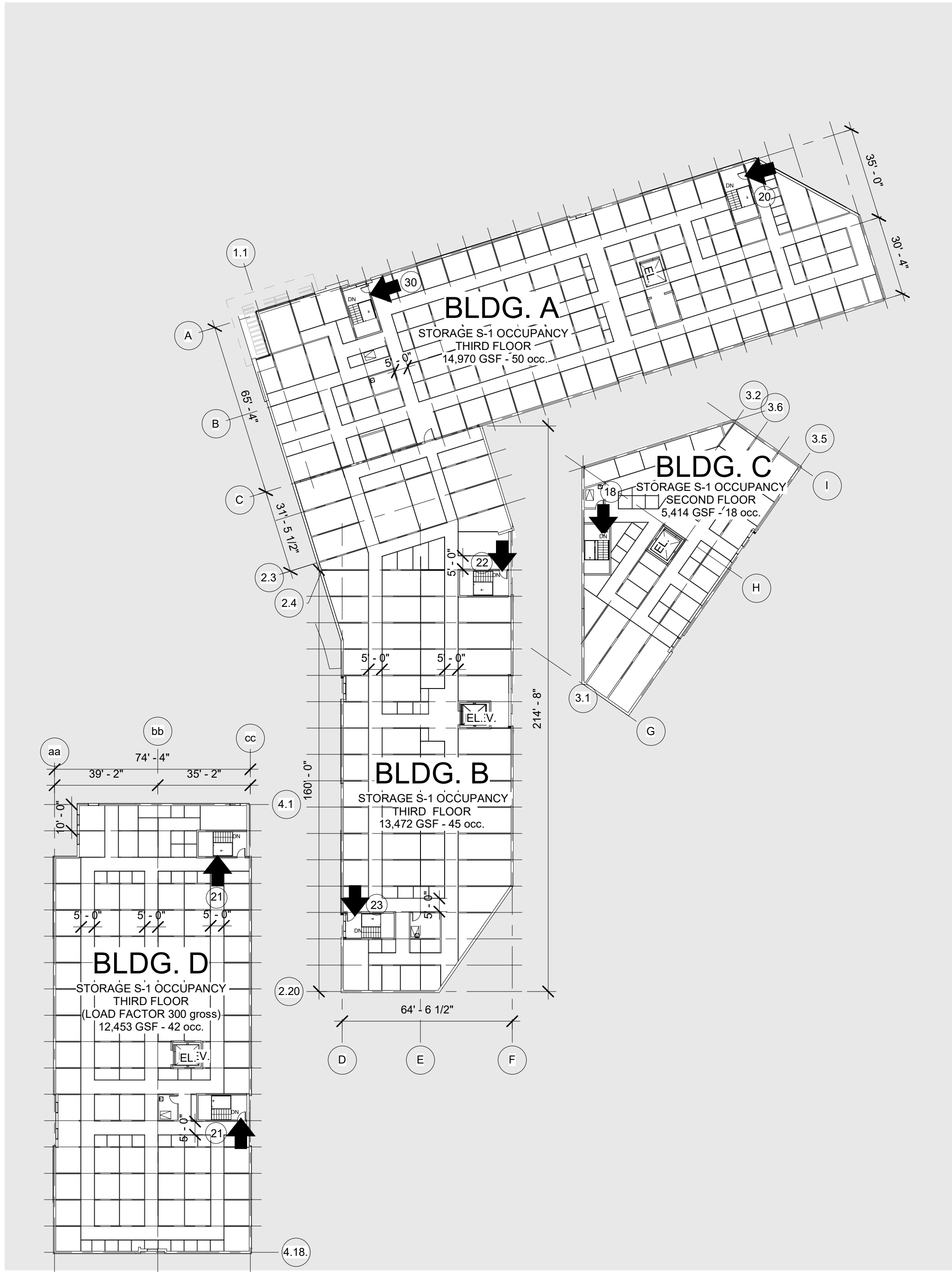
ROOF CONSTRUCTION: 1

MODIFICATION: SPRINKLERS IN LIEU OF 1 HR FIRE RATING



2 SECOND LEVEL EXITING PLAN

A100 SCALE: 1/32" = 1'-0"
REF: A201



3 THIRD LEVEL EXITING PLAN

A100 SCALE: 1/32" = 1'-0"
REF: A201

* SEE FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON
FIRE SEPARATION DISTANCE (TABLE 602) AND FIRE WALLS (TABLE 706.4):

BUILDING A

NORTH WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
EAST WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
WEST WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
SOUTH WALL: 10' s x s 30' 1 HOUR RATING REQUIRED BETWEEN BLDG. A & C PER TABLE 602.
SPRINKLERED BLDG. EXCEPTION TAKEN - NO RATING PROVIDED
x = 0'-0" 3 HOUR FIRE WALL REQUIRED BTW. BLDG. A & B S-1 OCC. (TABLE 706.4)
3 HOUR FIRE WALL PROVIDED - OK

BUILDING B

NORTH WALL: 3 HOUR FIRE WALL BETWEEN BLDG. A & B (TABLE 706.4 a)
PROVIDED - OK
EAST WALL: 10' s x s 30' 1 HOUR RATING REQUIRED PER TABLE 602
SPRINKLERED BLDG. EXCEPTION TAKEN - NO RATING PROVIDED
WEST WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
SOUTH WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED

BUILDING C

NORTH WALL: 10' s x s 30' 1 HOUR RATING REQUIRED PER TABLE 602.
SPRINKLERED BLDG. EXCEPTION TAKEN - NO RATING PROVIDED
EAST WALL: 10' s x s 30' 1 HOUR RATING REQUIRED PER TABLE 602.
SPRINKLERED BLDG. EXCEPTION TAKEN - NO RATING PROVIDED
WEST WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
SOUTH WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED

BUILDING D

NORTH WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
EAST WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
WEST WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED
SOUTH WALL: x > 30' FIRE-RESISTANCE RATING NOT REQUIRED

MAXIMUM AREA OF EXTERIOR WALL OPENINGS (705.8 AND 706.5.1) BLDG. A:
BLDG. A NORTH WALL: 25' s x s 30' UNPROTECTED SPRINKLERED, NO LIMIT
BLDG. A EAST WALL: 25' s x s 30' UNPROTECTED SPRINKLERED, NO LIMIT
BLDG. A / BLDG. B: 5' s x s 10' UNPROTECTED SPRINKLERED,
WALL ANGLE = 180, PROTECTION NOT REQUIRED

MAXIMUM AREA OF EXTERIOR WALL OPENINGS (705.8 AND 706.5.1) BLDG. B:
BLDG. B NORTH WALL: 25' s x s 30' UNPROTECTED SPRINKLERED, NO LIMIT
BLDG. B EAST WALL: 25' s x s 30' UNPROTECTED SPRINKLERED, NO LIMIT
BLDG. B / BLDG. A: 5' s x s 10' UNPROTECTED SPRINKLERED,
WALL ANGLE = 180, PROTECTION NOT REQUIRED

MAXIMUM AREA OF EXTERIOR WALL OPENINGS (705.8 AND 706.5.1) BLDG. C:
BLDG. C SOUTH WALL: x > 30' UNPROTECTED SPRINKLERED, NO LIMIT
MAXIMUM AREA OF EXTERIOR WALL OPENINGS (705.8 AND 706.5.1) BLDG. D:
BLDG. D EAST WALL: 25' s x s 30' UNPROTECTED SPRINKLERED, NO LIMIT
BLDG. D SOUTH WALL: x > 30' UNPROTECTED SPRINKLERED, NO LIMIT

TOTAL BUILDING A, B, C, D = 139, 587 GSF; # OF EMPLOYEES < 10

PARKING REQUIRED = REFER TO SHEET A101

PARKING PROVIDED = REFER TO SHEET A101

BICYCLE STALLS REQUIRED = REFER TO SHEET A101

BICYCLE STALLS PROVIDED = REFER TO SHEET A101

SHOWER & CHANGING FACILITIES NOT REQUIRED

PLUMBING FIXTURES REQUIRED: 1 WC & 1 LAV MALE (1/1 PROVIDED AT BLDG. A)
1 WC & 1 LAV FEMALE (1/1 PROVIDED AT BLDG. A)
1 SERVICE SINK (1 PER BLDG. PROVIDED)
1 DRINKING FOUNTAIN (2 PER BLDG. PROVIDED)

NOTE: * SEE SHEET A101 FOR F.A.R. CALCULATIONS

LEGEND:

- B OCCUPANCY (ACCESSORY TO S-1)
- 3-HOUR FIRE RATED CONSTRUCTION, DOORS IN FIRE RATED WALLS SHALL BE FIRE RATED
- 1-HOUR FIRE RATED CONSTRUCTION, DOORS IN FIRE RATED WALLS SHALL BE FIRE RATED
- EXIT
- OCCUPANT LOAD

4 CODE ANALYSIS

A100 SCALE: 12" = 1'-0"



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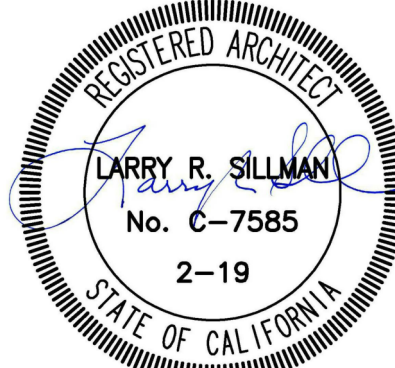
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CONSULTANTS

PROJECT:

**PEN 173
RANCHO PENASQUITOS
RV / MINI-STORAGE FACILITY**
**LOT 12 OF SUN RIDGE VISTA,
UNIT NO.1 MAP 1924**

REGISTRATION STAMP
ISSUE



Mark	Date	Description
1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
3	1.18.2019	Revision 3 cycle 11 resp

SCALE:

DESIGNER PROJECT NO.:	17046
DRAWN BY:	Author
CHECKED BY:	Checker
	As indicated

KEY PLAN

DESIGN ITERATION

12.27.2018

SHEET TITLE

SITE PLAN

SHEET NUMBER (SHEET 9 OF 16)

A101

KEYNOTES

- 1 CURB CUT RAMP
- 2 RETAINING WALL, SEE CIVIL
- 3 (N) FENCE, SEE LANDSCAPE
- 4 OFF STREET LOADING ZONE (12'X35' MIN.)
- 5 SECURED LONG TERM BIKE PARKING RACK (INSIDE BUILDING, SEE SECOND FLOOR PLAN)
- 6 SHORT TERM BIKE PARKING RACK
- 7 MOTORCYCLE PARKING
- 8 MASONRY REFUSE AND RECYCLING ENCLOSURE/OPEN TRELLIS
- 9 VISITORS, STAFF AND TENANTS PARKING
- 10 (E) FENCE, SEE CIVIL
- 11 PROPERTY LINE, SEE CIVIL
- 12 VEHICULAR EXIT GATE, PROVIDE SIGN "GATE TO REMAIN OPEN AT ALL TIMES DURING NORMAL BUSINESS HOURS"
- 13 VEHICULAR ENTRY SLIDING GATE, PROVIDE SIGN "GATE TO REMAIN OPEN AT ALL TIMES DURING NORMAL BUSINESS HOURS"
- 14 RV WASH AND DUMP COVERED BAY

LEGEND

- FIRE LANE
- FIRE HYDRANT
- NEW BUILDING
- LANDSCAPED AREA, SEE LANDSCAPE AND CIVIL
- (E) SITE FENCE, SEE CIVIL
- (N) FENCE, SEE LANDSCAPE
- STRUCTURE OVERHEAD
- EXISTING
- NEW
- PARKING SPACES NUMBER GROUPING
- PROPERTY LINE, SEE CIVIL
- SETBACK LINE, SEE CIVIL
- ACCESSIBLE PATH OF TRAVEL
- VEHICULAR ENTRY / EXIT
- DRIVEWAY SLOPE (DOWN)

REQUIRED PARKING LEGEND

- VAN VAN ACCESSIBLE PAKING STALL 9'X18' W/ 8' AISLE
- ADA STANDARD ACCESSIBLE PARKING STALL 9'X18' W/5' AISLE
- OE ZERO EMISSION VEHICLE 9'X18'
- OE VAN ZERO EMISSION VEHICLE, VAN ACCESSIBLE 9'X18' W/ 8' AISLE
- EVC VAN ELECT. VEHICLE CHARGING STATION, VAN ACCESSIBLE 9'X18' W/ 8' AISLE
- R STANDARD STALL 9'X18' (RESERVED TO SELF STORAGE FACILITY TENANTS, ANCILLARY OFFICE STAFF AND VISITORS)
- M MOTORCYCLES STALL

SITE and PARKING SUMMARY

TOTAL SITE AREA: 10.03 ACRES (436,782 SQFT)
TOTAL DEVELOPED SITE AREA: 5.82 ACRES (253,385 SQFT)
ZONE RS-1-13 F.A.R. = 0.45 (for Lot size19,001sqft and greater, per Table 131-04.J)
PROJECT F.A.R. = BUILDING GSF/SITE SF = 139,587 / 436,782 = 0.32
PARKING PROVIDED = 96 to 87 STALLS
SELF STORAGE FACILITY = 14 STALLS
ANCILLARY OFFICE SPACE = 13 STALLS
RV STORAGE SPACES * = 69 to 60 STALLS
PARKING TOTAL = 96 to 87 STALLS
- RV NUMBER OF STALLS TOTAL: 69 TO 60*
combination of:
20'X12' = 19
22'X12' = 19
22'-6"X12' = 19
30'X12' = 3
34'X12' = 3
42'X12' = 6
* # (18) 22'-6"x12' stalls can be combined in # (9) 45'-0"x12' stalls
NOTE: NUMBER AND SIZE OF RV STALLS IS FOR REFERENCE ONLY. WIDTH AND DEPTH OF STALLS SHALL BE STRIPED PER HEALTH AND SAFETY REQUIREMENTS AND MARKET DEMAND

PARKING REQUIREMENTS

PARKING REQUIREMENT
per SDMC TAB 142.05G (Outside Transit Area)
Self Storage facilities, 1.0 space/10,000 sq ft plus 3.3 space per 1,000 square foot of accessory office space per SDMC TAB 142.05G (Outside Transit Area)
Self Storage(135,556 sf) = 14
Accessory Office (4,031 sf) = 13
PARKING REQUIRED = 27
PARKING PROVIDED = 27
OFF-STREET LOADING PARKING REQUIREMENT
per SDMC TAB 142-10B
Self Storage(139,587sf) = 3
PARKING REQUIRED = 3 (12'X35')
PARKING PROVIDED = 3 (2 12'X35' + 1 12'X45')
ACCESSIBLE PARKING REQUIREMENT
per ADA Standards, Chapter 5
Parking Facility Total (26 - 50) = 2
PARKING REQUIRED = 2: 1 Standard (9'x18' w/ 5' isle)
1 VAN (9'x18' w/ 8' isle)
PARKING PROVIDED = 2: 1 Standard (9'x18' w/ 5' isle)
1 VAN (9'x18' w/ 8' isle)
ZERO EMISSION PARKING REQUIREMENT
per SDMC 142.0530 (d & e)
Parking Facility Total (26 - 50) = 3
PARKING REQUIRED = 3
PARKING PROVIDED =3 (of which 1 VAN 9'x18' w/ 8' isle)
MOTORCYCLES PARKING REQUIREMENT
2% percent of the minimum number of automobile parking spaces required or two spaces, whichever is greater.
Parking Facility Total (2% of 27) = 1
PARKING REQUIRED = 2
PARKING PROVIDED = 2 (4'x8')
GREEN BUILDING CODE VEHICLE CHARGING SPACES REQUIREMENTS (CALGreen Code)
per Table A5.106.5.3.1
Parking Facility Total (1-50) = 1
PARKING REQUIRED = 1 (VAN Accessible 9'x18' w/8' isle)
PARKING PROVIDED = 1 (VAN Accessible 9'x18' w/8' isle)
LONG TERM BICYCLE PARKING REQUIREMENT
Bicycle parking for any premises with more than ten full-time employees = 5% of the required automobile parking.
Automobile Parkig Required Total = 27
Bike Parking Required (5% of 27) = 2
PARKING REQUIRED = 2
PARKING PROVIDED = 4 (inside building)
SHORT TERM BICYCLE PARKING REQUIREMENT
The minimum number of required short-term bicycle parking spaces shall be two; or 0.1 per 1,000 square feet of building floor area, excluding floor area devoted to parking; or 5% of the required automobile parking space minimum, whichever is greater.
Facility Area Total = 139,587
Bike Parking Required [0.1 of (139,408/1000)]= 14
PARKING REQUIRED = 14
PARKING PROVIDED = 14

GENERAL NOTES

- 1) SEE SHEET A100 FOR CODE ANALYSIS
- 2) REFER TO CIVIL AND LANDSCAPE FOR ADDITIONAL SITE INFORMATION
- 3) REFER TO CIVIL FOR PROJECT EASEMENTS INFORMATION
- 4) TRANSIT STOP IS NOT IN PROJECT VICINITY
- 5) EXTERIOR LIGHTING SHALL COMPLY WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGUALATIONS AND SHALL BE DESIGNE TO MINIMIZE VISUAL IMPACTS.
- 6) ALL AUTOMOBILE, MOTORCYCLE AND BICYCLE PARKING SPACES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAN DIEGO MUNICIPAL CODE (SDMC). ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LAND DEVELOPMENT CODE AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE APPROPRIATE CITY DECISION MAKER IN ACCORDANCE WITH THE SDMC.

GRAPHIC SCALE



1 SITE PLAN

A101
SCALE: 1" = 40'-0"
REF: A201



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CONSULTANTS

PROJECT:

PEN 173
RANCHO PENASQUITOS
RV / MINI-STORAGE FACILITY
LOT 12 OF SUN RIDGE VISTA,
UNIT NO.1 MAP 1924

REGISTRATION STAMP

ISSUE



Mark	Date	Description
1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
3	1.18.2019	Revision 3 cycle 11 resp

SCALE:

DESIGNER PROJECT NO.: 17046

DRAWN BY: Author

CHECKED BY: Checker

As Indicated

KEY PLAN

DESIGN ITERATION

1.18.2019

SHEET TITLE

FIRST FLOOR

SHEET NUMBER

(SHEET 10 OF 16)

A102

KEYNOTES

- 1 DRIVE UP STORAGE UNIT, TYP.
- 2 STORAGE UNIT, TYP.
- 3 VEHICULAR EXIT GATE
- 4 LANDSCAPED AREA, TYP.
- 5 3 HRS FIRE RATED WALL
- 6 OFF STREET LOADING ZONE (12'X35' MIN.)
- 7 DRINKING FOUNTAIN

LEGEND

- INTERIOR LOAD BEARING NON RATED WALL
- INTERIOR 1 HR FIRE RATED PARTITION WALL
- 3 HRS FIRE RATED PARTITION WALL
- NON RATED STORAGE UNIT WALL
- ACCESSIBLE PATH OF TRAVEL
- DRINKING FOUNTAINS
- SERVICE SINK
- KITCHENETTE SINK
- PASSENGER / HEAVY LOAD ELEVATOR
- ROOF ACCESS
- LANDSCAPED AREA

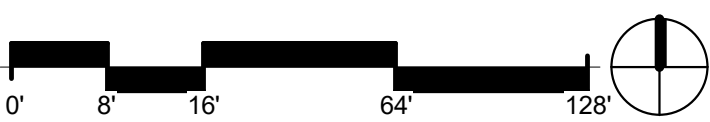
REQUIRED PARKING LEGEND

- VAN VAN ACCESSIBLE PAKING STALL 9'X18' W/ 8' AISLE
- ADA ACCESSIBLE PAKING STALL 9'X18' W/5' AISLE
- OE ZERO EMISSION VEHICLE 9'X18'
- OE VAN ZERO EMISSION VEHICLE, VAN ACCESSIBLE 9'X18' W/ 8' AISLE
- EVC VAN ELECT. VEHICLE CHARGING STATION,VAN ACCESSIBLE 9'X18' W/ 8' AISLE
- R RESERVED PARKING - STANDARD STALL 9'X18' (RESERVED TO SELF STORAGE FACILITY TENANTS, ANCILLARY OFFICE STAFF AND VISITORS)

GENERAL NOTES

1. REFER TO CIVIL AND LANDSCAPE FOR ADDITIONAL SITE INFORMATION
2. REFER TO A100 FOR CODE ANALYSIS
3. INTERIOR DOOR IN FIRE RATED WALLS SHALL BE ALSO FIRE RATED

GRAPHIC SCALE



1 FIRST LEVEL

SCALE: 1/16" = 1'-0"
REF: A201



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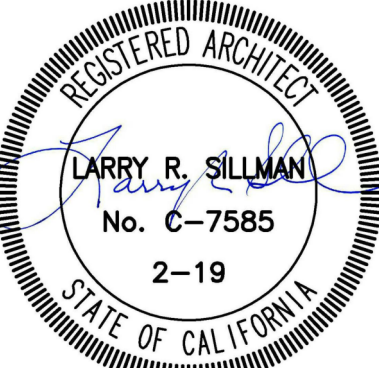
CONSULTANTS

PROJECT:

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LOT 12 OF SUN RIDGE VISTA,
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REGISTRATION STAMP

ISSUE



Mark	Date	Description
1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
3	1.18.2019	Revision 3 cycle 11 resp

SCALE:

DESIGNER PROJECT NO.: 17046
DRAWN BY: Author
CHECKED BY: Checker
As indicated

KEY PLAN

DESIGN ITERATION

1.18.2019

SHEET TITLE

SECOND FLOOR

SHEET NUMBER (SHEET 11 OF 16)

A103

KEYNOTES

- 1 VEHICULAR ENTRY SLIDING GATE
- 2 BIKE RACK
- 3 STORAGE UNIT, TYP.
- 4 DRIVE UP STORAGE UNIT, TYP.
- 5 CANOPY PROJECTION
- 6 LANDSCAPED AREA, TYP.
- 7 3 HRS FIRE RATED WALL
- 8 SELF STORAGE AND OFFICE PARKING
- 9 OFF STREET LOADING ZONE (12'X35' MIN.)
- 10 DRINKING FOUNTAIN

LEGEND

- INTERIOR LOAD BEARING NON RATED WALL
- INTERIOR 1 HR FIRE RATED PARTITION WALL
- 3 HRS FIRE RATED PARTITION WALL
- NON RATED STORAGE UNIT WALL
- ACCESSIBLE PATH OF TRAVEL
- DRINKING FOUNTAINS
- SERVICE SINK
- KITCHENETTE SINK
- PASSENGER / HEAVY LOAD ELEVATOR
- ROOF ACCESS
- LANDSCAPED AREA

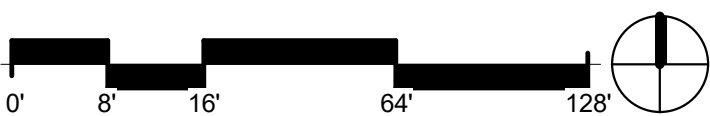
REQUIRED PARKING LEGEND

- VAN VAN ACCESSIBLE PAKING STALL 9'X18' W/ 8' AISLE
- ADA ACCESSIBLE PAKING STALL 9'X18' W/5' AISLE
- 0E ZERO EMISSION VEHICLE 9'X18'
- 0E VAN ZERO EMISSION VEHICLE, VAN ACCESSIBLE 9'X18' W/ 8' AISLE
- EVC VAN ELECT. VEHICLE CHARGING STATION,VAN ACCESSIBLE 9'X18' W/ 8' AISLE
- R RESERVED PARKING - STANDARD STALL 9'X18' (RESERVED TO SELF STORAGE FACILITY TENANTS, ANCILLARY OFFICE STAFF AND VISITORS)

GENERAL NOTES

1. REFER TO CIVIL AND LANDSCAPE FOR ADDITIONAL SITE INFORMATION
2. REFER TO A100 FOR CODE ANALYSIS
3. INTERIOR DOORS IN FIRE RATED WALLS SHALL BE ALSO FIRE RATED

GRAPHIC SCALE



1 SECOND LEVEL

SCALE: 1/16" = 1'-0"
REF: A201

A103



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CONSULTANTS

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REGISTRATION STAMP

ISSUE



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1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
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SCALE:

DESIGNER PROJECT NO.: 17046

DRAWN BY: Author

CHECKED BY: Checker

As indicated

KEY PLAN

DESIGN ITERATION

1.18.2019

SHEET TITLE

THIRD FLOOR

SHEET NUMBER

(SHEET 12 OF 16)

A104

KEYNOTES

- 1 STORAGE UNIT, TYP.
2 3 HRS FIRE RATED WALL

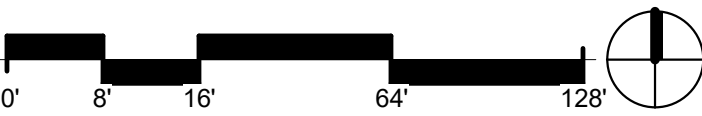
LEGEND

- INTERIOR LOAD BEARING NON RATED WALL
INTERIOR 1 HR FIRE RATED PARTITION WALL
3 HRS FIRE RATED PARTITION WALL
NON RATED STORAGE UNIT WALL
DRINKING FOUNTAINS
SERVICE SINK
KITCHENETTE SINK
PASSENGER / HEAVY LOAD ELEVATOR
ROOF ACCESS

GENERAL NOTES

1. REFER TO CIVIL AND LANDSCAPE FOR ADDITIONAL SITE INFORMATION
2. REFER TO A100 FOR CODE ANALYSIS
3. INTERIOR DOORR IN FIRE RATED WALLS SHALL BE ALSO FIRE RATED

GRAPHIC SCALE



1 THIRD LEVEL
A104 SCALE: 1/16" = 1'-0"
REF: A201



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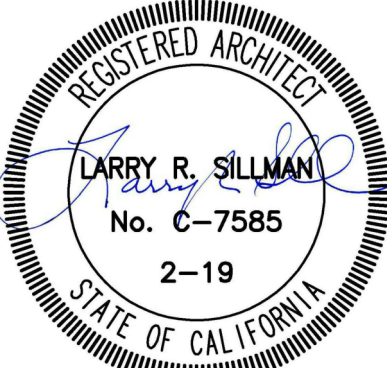
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RANCHO PENASQUITOS
RV / MINI-STORAGE FACILITY
LOT 12 OF SUN RIDGE VISTA,
UNIT NO.1 MAP 1924**

REGISTRATION STAMP

ISSUE



Mark	Date	Description
1	06.04.2018	Revision 1
2	07.20.2018	Revision 2 cycle 10 resp
3	1.18.2019	Revision 3 cycle 11 resp

SCALE:

DESIGNER PROJECT NO.:	17046
DRAWN BY:	Author
CHECKED BY:	Checker
	As indicated

KEY PLAN

DESIGN ITERATION

1.18.2019

SHEET TITLE

ROOF PLAN

SHEET NUMBER (SHEET 13 OF 16)

A105

KEYNOTES

- 1 ROOF PARAPET W/PAINTED METAL COPING
- 2 ROOF PARAPET W/ PRECAST COPING.TYP.
- 3 ELEVATOR SHAFT ENCLOSURE
- 4 MECHANICAL UNIT (HVAC). SERVES THE SECOND FLOOR OFFICE SPACES ONLY
- 5 ROOF HATCH
- 6 FLAT "COOL ROOF": ROOF WITH MATERIALS HAVING A MINIMUM OF 3-YEAR AGED SOLAR REFLECTION AND EMITTANCE OR SOLAR REFLECTION INDEX EQUAL OR GREATER THAN THE VALUES SPECIFIED IN THE VOLUNTARY MEASURES UNDER THE CALIFORNIA GREEN BUILDING STANDARDS CODE

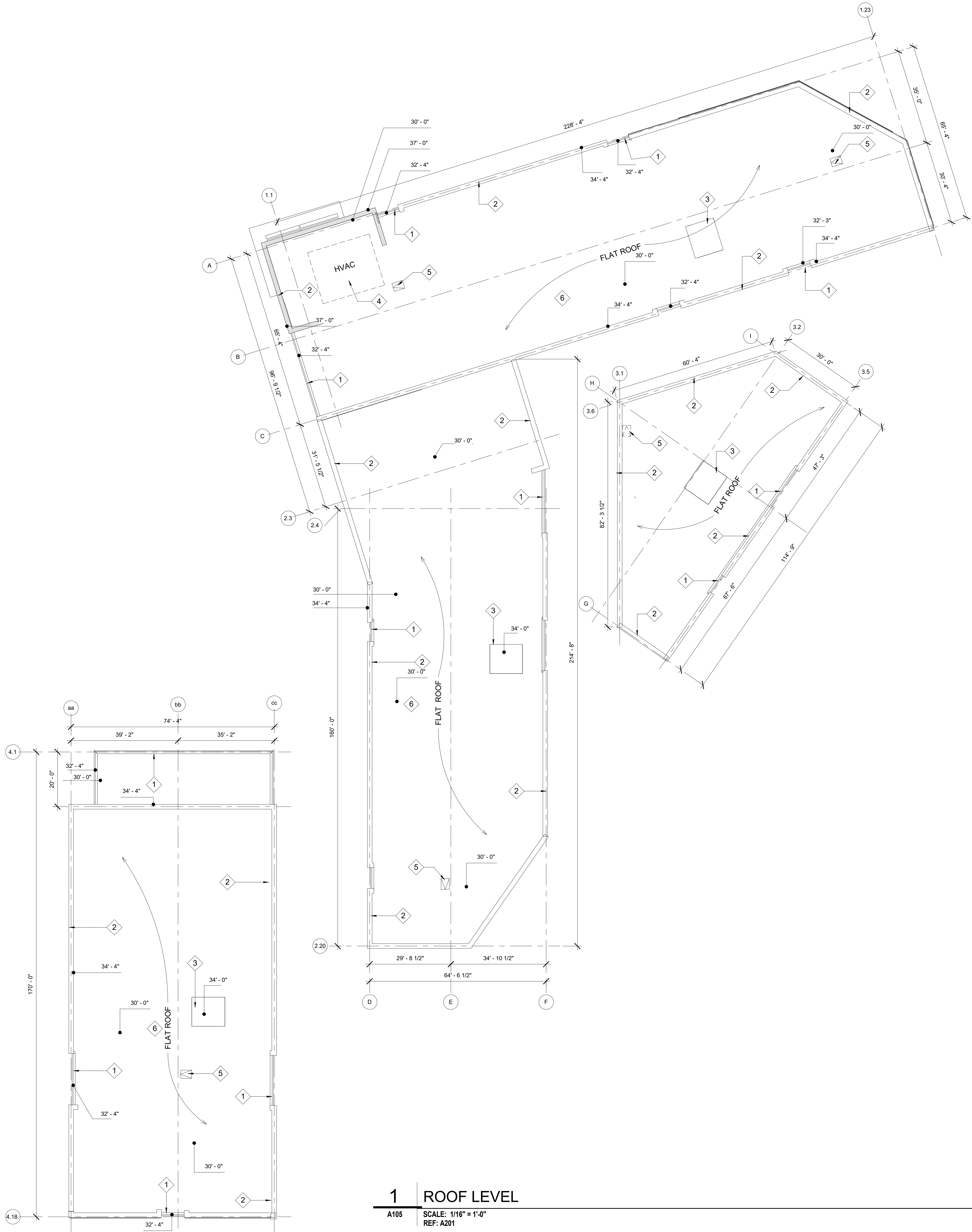
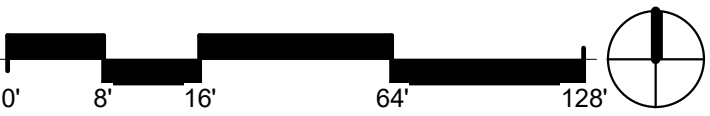
LEGEND

- ROOF ACCESS
- RELATIVE SPOT ELEVATIONS
0'-0" = +537 (REFER TO CIVIL AND SITE SECTIONS)

GENERAL NOTES

1. REFER TO A100 FOR CODE ANALYSIS
2. REFER TO CIVIL AND SITE SECTIONS FOR SITE GRADING ELEVATIONS
3. MECHANICAL HVAC UNIT SERVES THE SECOND FLOOR OFFICE SPACES ONLY. ALL STORAGE SPACES IN BLDG A,B,C, & D ARE UNCONDITIONED, TYP.

GRAPHIC SCALE





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CONSULTANTS

PROJECT:

PEN 173
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1/16" = 1'-0"

KEY PLAN

DESIGN ITERATION

1.18.2019

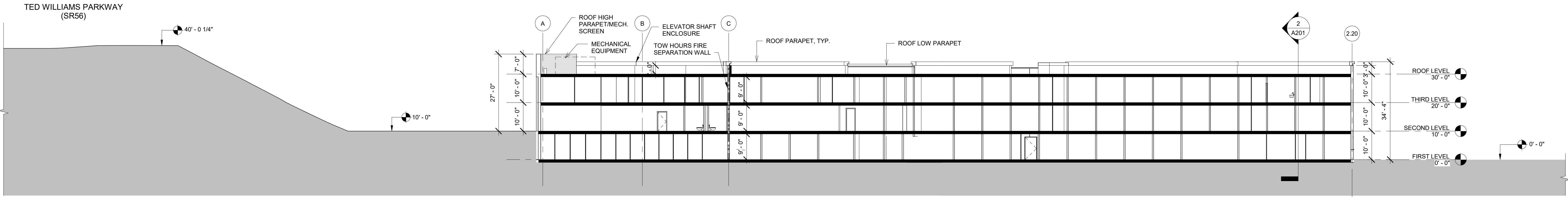
SHEET TITLE

SITE & BUILDING
SECTIONS

SHEET NUMBER

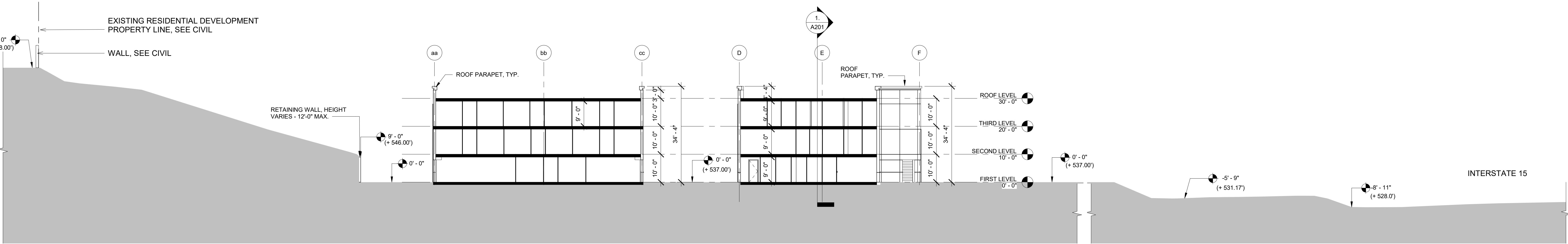
(SHEET 14 OF 16)

A201



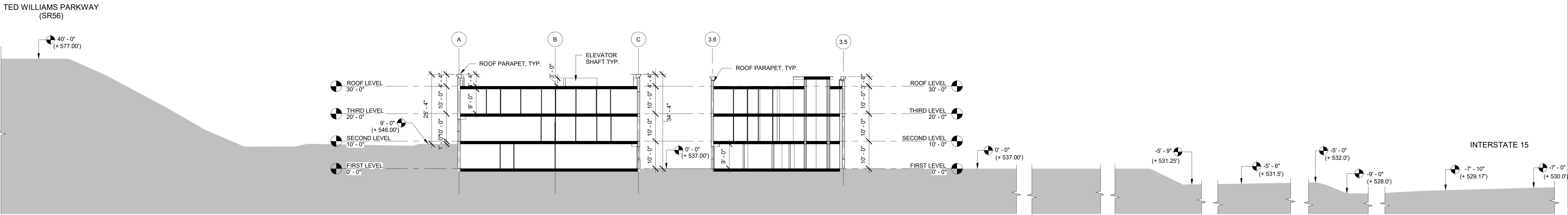
1 Section AA

A201
SCALE: 1/16" = 1'-0"
REF: A101



2 Section BB

A201
SCALE: 1/16" = 1'-0"
REF: A101



3 Section CC

A201
SCALE: 1/16" = 1'-0"
REF: A101



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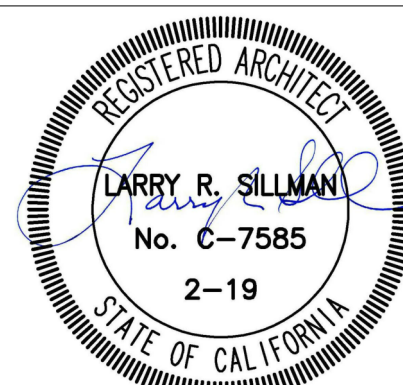
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SCALE:

DESIGNER PROJECT NO.: 17046

DRAWN BY: Author

CHECKED BY: Checker

3/32" = 1'-0"

KEY PLAN

DESIGN ITERATION

12.27.2018

SHEET TITLE

EXTERIOR
ELEVATIONS

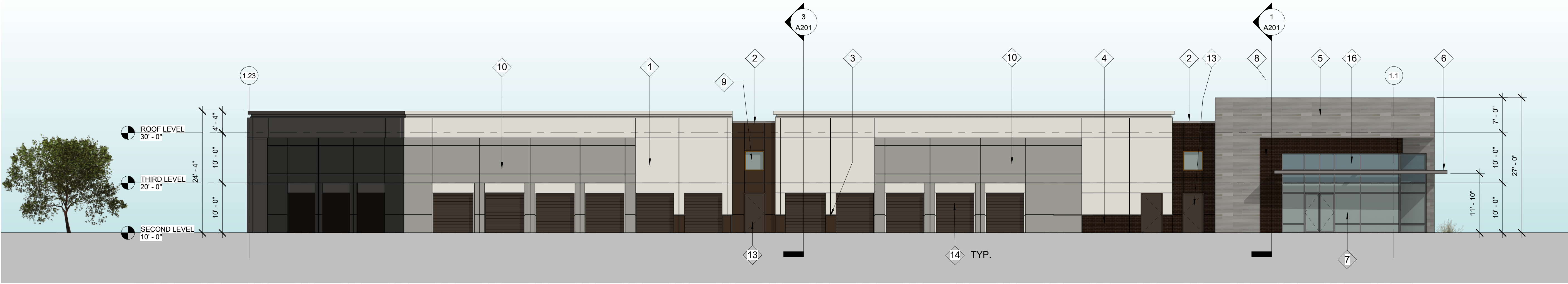
SHEET NUMBER

(SHEET 15 OF 16)

A301

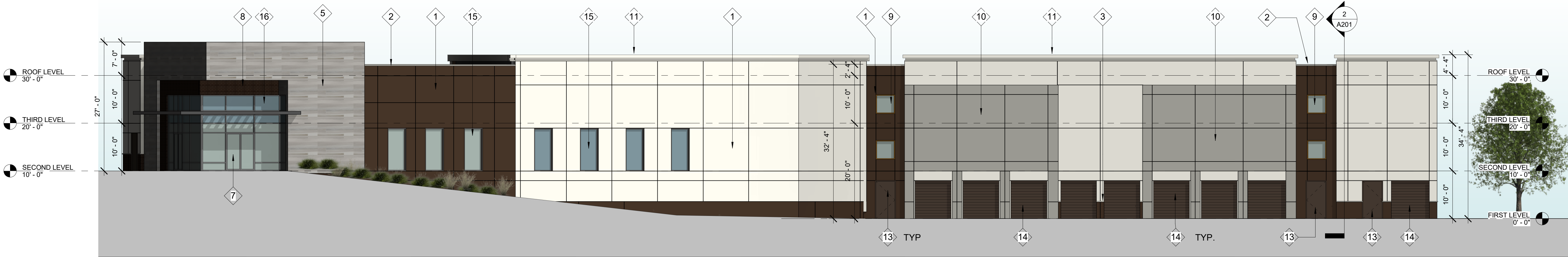
KEYNOTES

- 1 EXTERIOR PLASTER WITH REVEALS, TYP.
- 2 PAINTED METAL COPING, TYP.
- 3 EXTERIOR PLASTER WAINSCOT W/ FOAM CORNICE
- 4 CERAMIC TILE VENEER 1 WAINSCOT , TYP.
- 5 CERAMIC TILE 2, TYP.
- 6 METAL CANOPY
- 7 ALUMINUM STOREFRONT W/ LOW-E GLAZING
- 8 CERAMIC TILE VENEER 1, TYP.
- 9 LOW-E GLAZING OR SPANDREL GLASS WINDOW, TYP.
- 10 4" EXTERIOR PLASTER "POP OUT" WITH REVEALS, TYP.
- 11 PRECAST PARAPET WALL CAP, TYP.
- 12 EXTERIOR PLASTER W/ ACCENT COLOR WAINSCOT TYP.
- 13 PAINTED HOLLOW METAL DOOR AND FRAME TYP
- 14 METAL ROLLDOWN STORAGE UNIT DOOR
- 15 LOW-E GLAZING WINDOW, TYP.
- 16 LOW-E GLAZING SPANDREL GLASS, TYP.



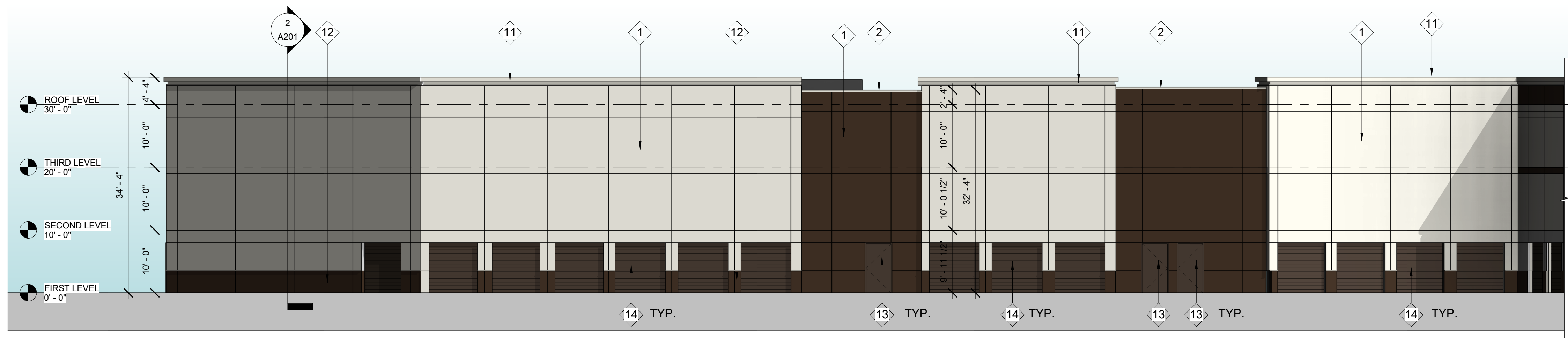
1 BLDG. A NORTH ELEVATION

A301 SCALE: 3/32" = 1'-0"
REF: A103



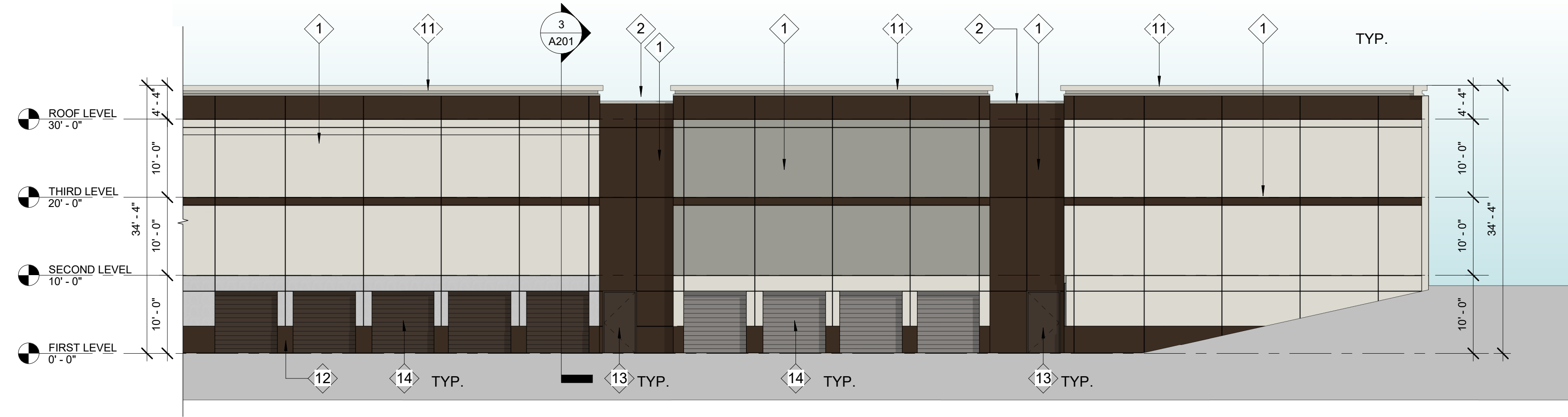
2 BLDG. A & B WEST ELEVATION

A301 SCALE: 3/32" = 1'-0"
REF: A102



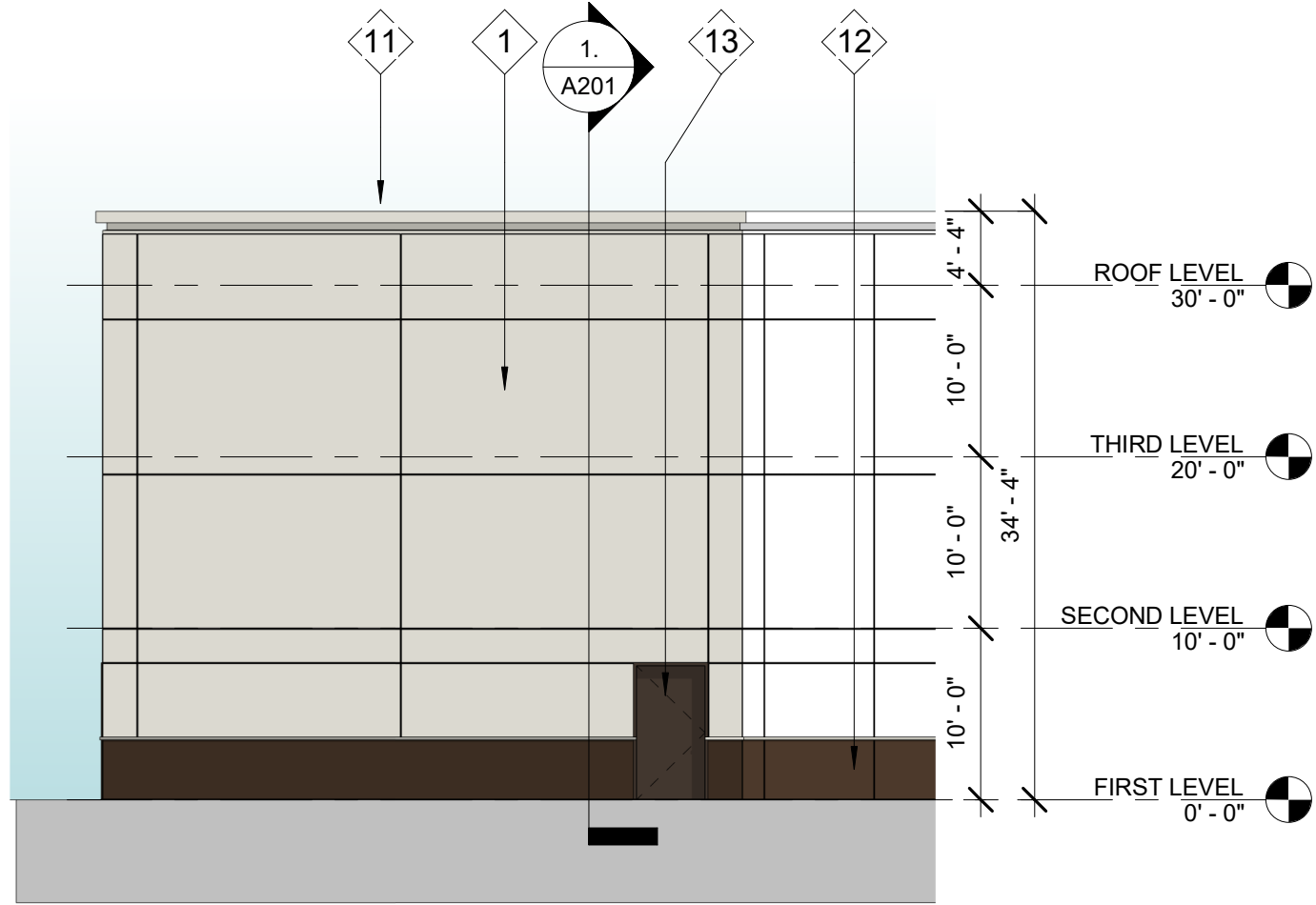
3 BLDG. B - EAST ELEVATION

A301 SCALE: 3/32" = 1'-0"
REF: A102



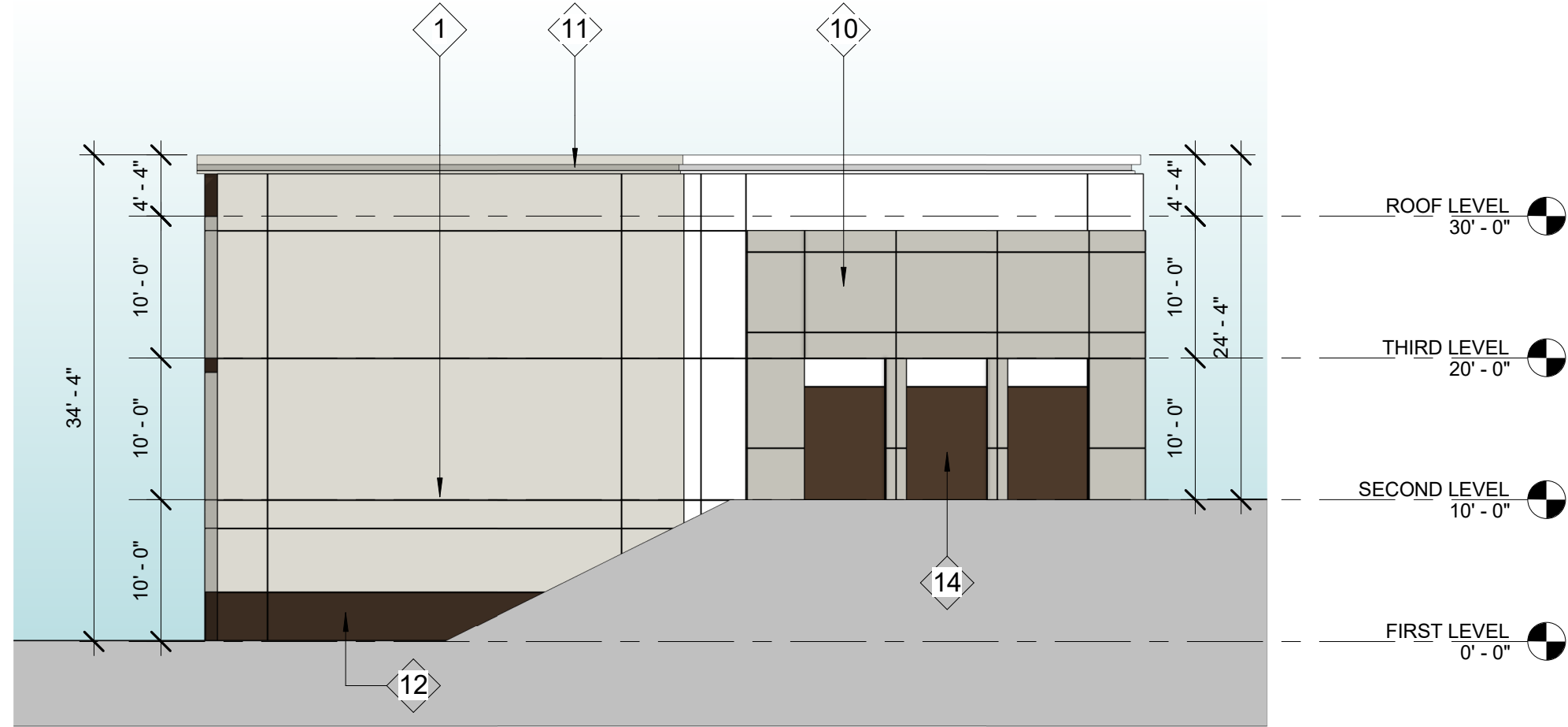
4 BLDG. A - SOUTH ELEVATION

A301 SCALE: 3/32" = 1'-0"
REF: A102



5 BLDG. B - SOUTH ELEVATION

A301 SCALE: 3/32" = 1'-0"
REF: A102



6 BLDG. A EAST ELEVATION 2

A301 SCALE: 3/32" = 1'-0"
REF: A102



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3/32" = 1'-0"

KEY PLAN

DESIGN ITERATION

1.18.2019

SHEET TITLE

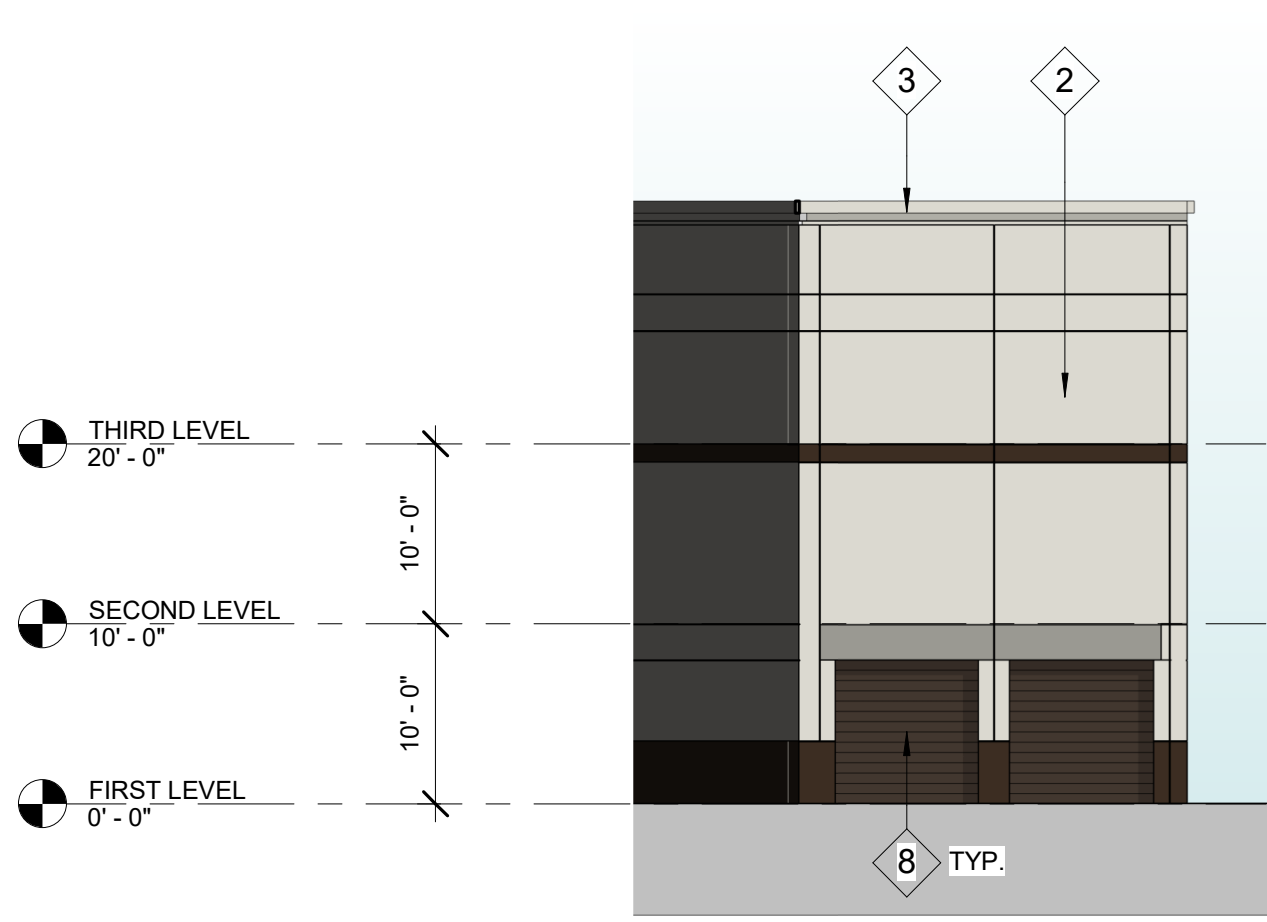
**EXTERIOR
ELEVATIONS**

SHEET NUMBER (SHEET 16 OF 16)

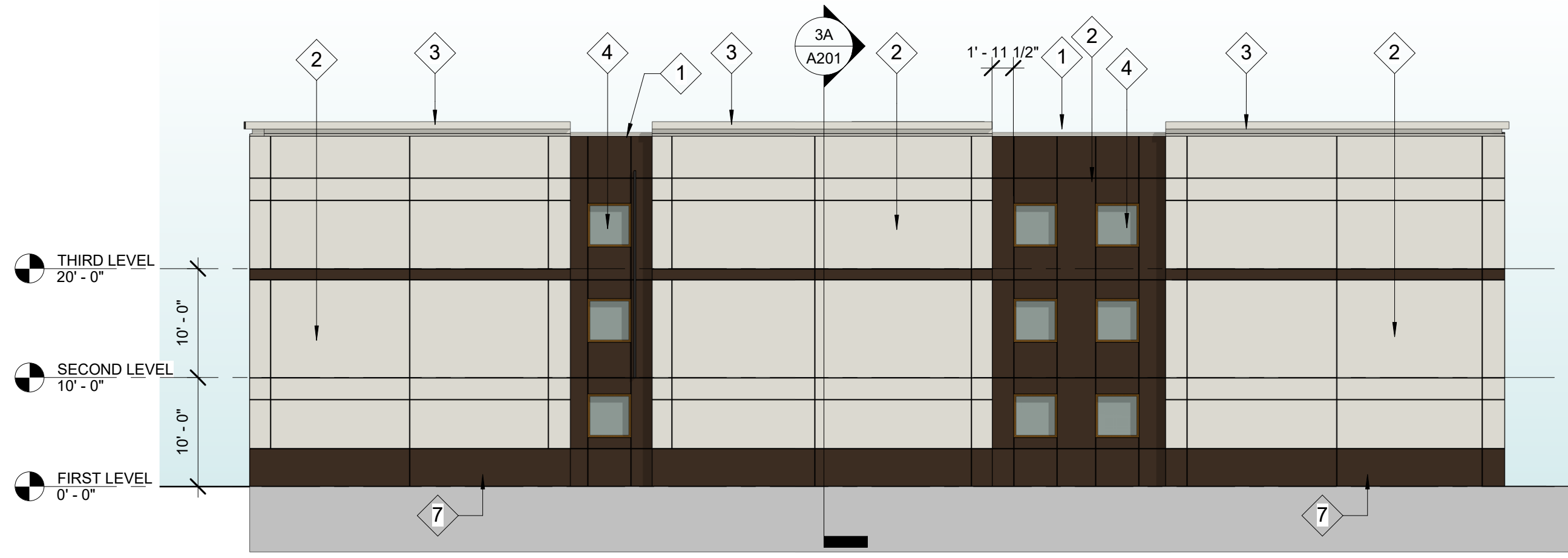
A302

KEYNOTES

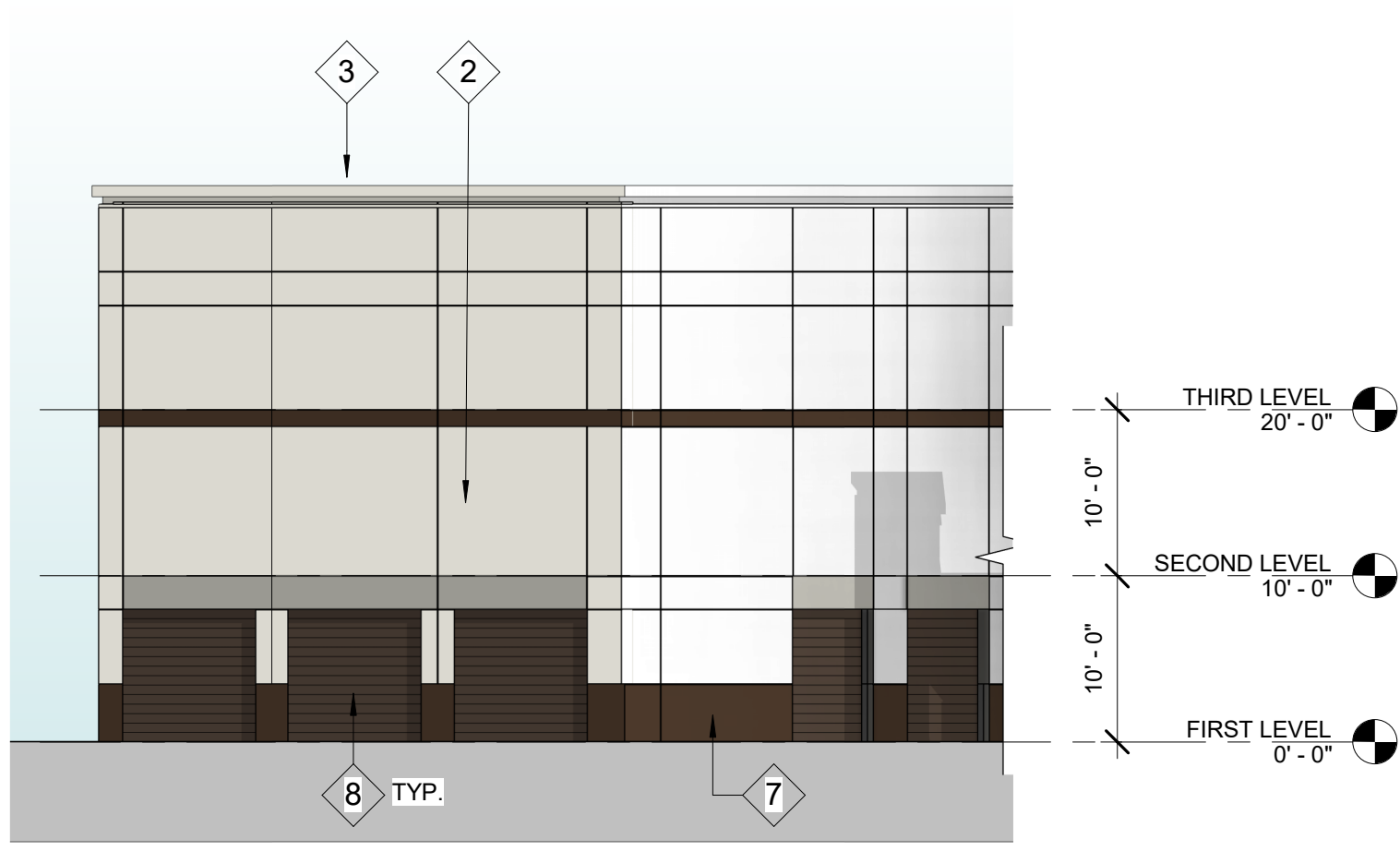
- 1 PAINTED METAL COPING, TYP.
- 2 EXTERIOR PLASTER WITH REVEALS, TYP.
- 3 PRECAST PARAPET WALL CAP, TYP.
- 4 LOW-E GLAZING OR SPANDREL GLASS WINDOW, TYP.
- 5 4" EXTERIOR PLASTER "POP OUT" WITH REVEALS, TYP.
- 6 EXTERIOR PLASTER WAINSCOT W/ FOAM CORNICE
- 7 EXTERIOR PLASTER W/ ACCENT COLOR WAINSCOT TYP.
- 8 METAL ROLLDOWN STORAGE UNIT DOOR
- 9 PAINTED HOLLOW METAL DOOR AND FRAME TYP



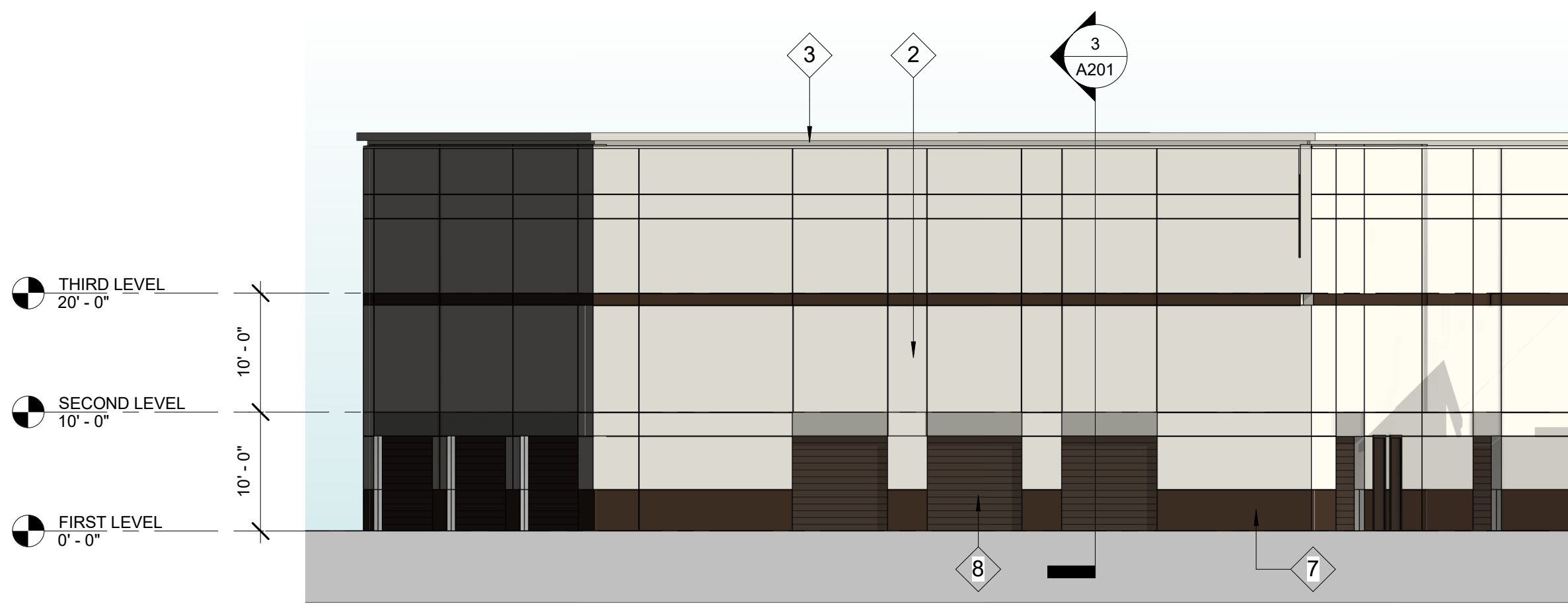
1 BLDG. C - SOUTH WEST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



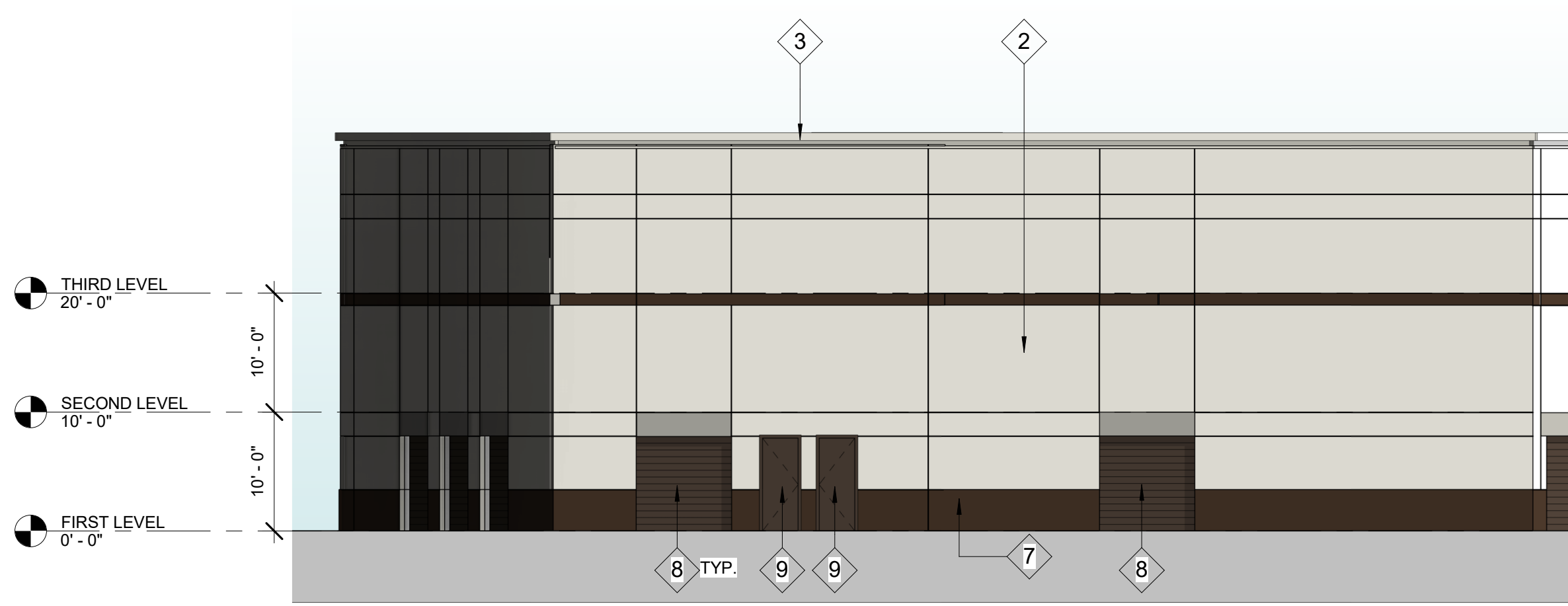
2 BLDG. C - SOUTH EAST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



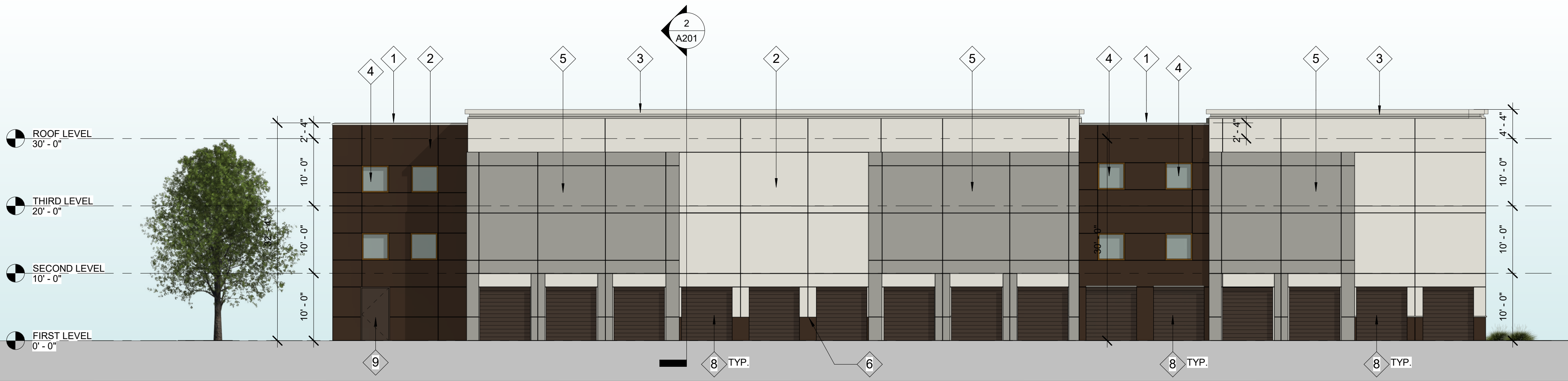
3 BLDG. C - NORTH EAST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



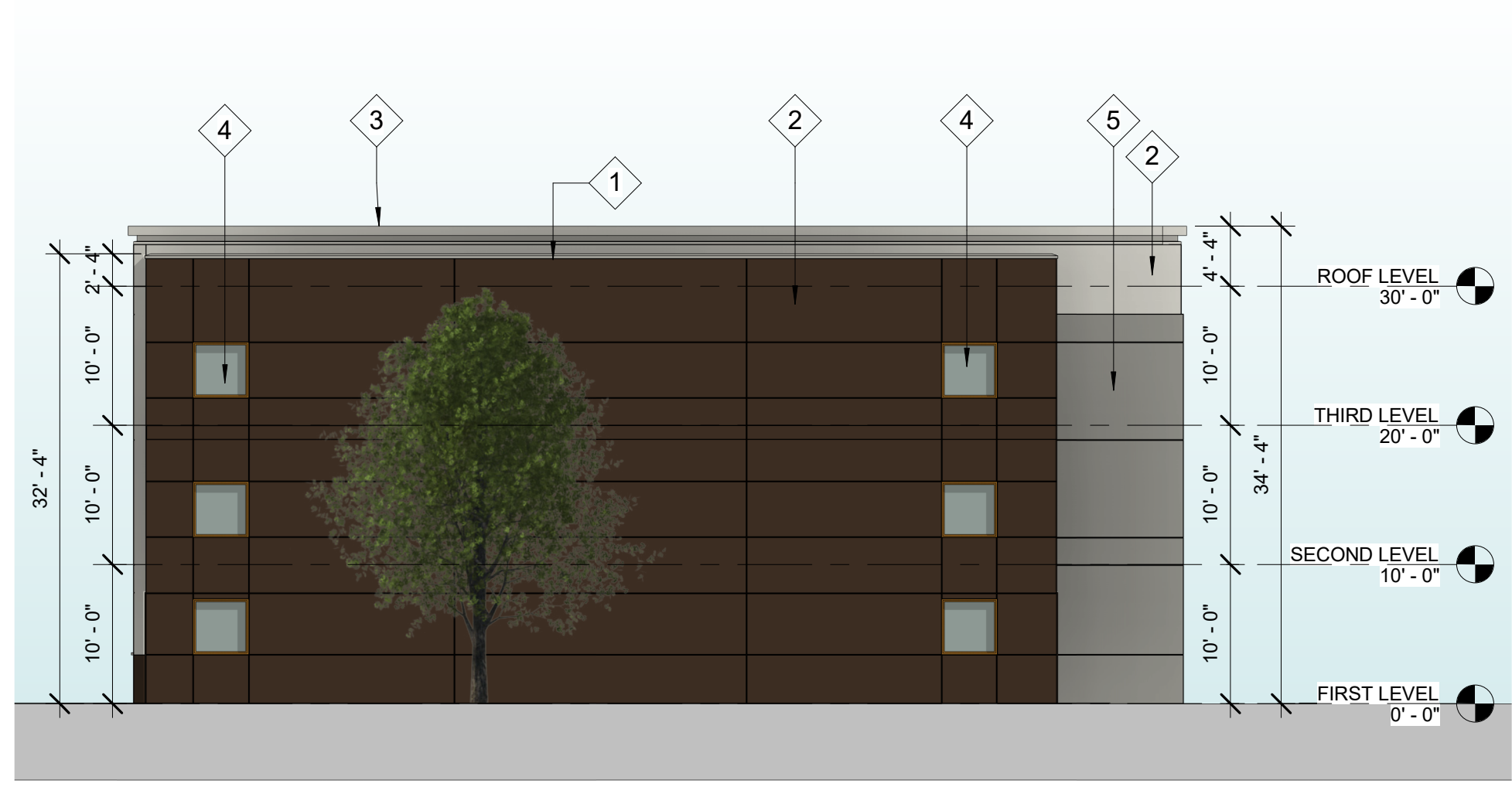
4 BLDG. C - NORTH WEST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



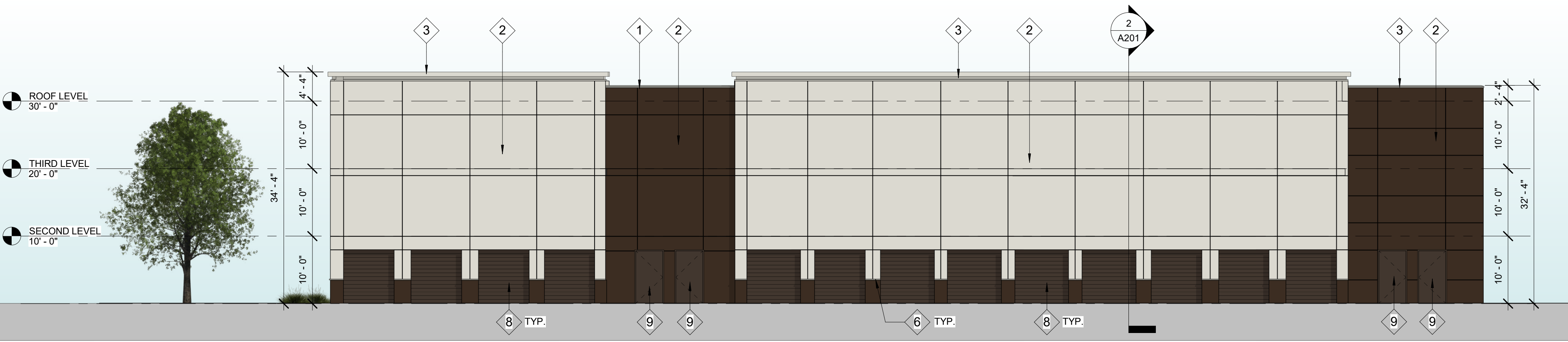
5 BLDG. C - WEST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



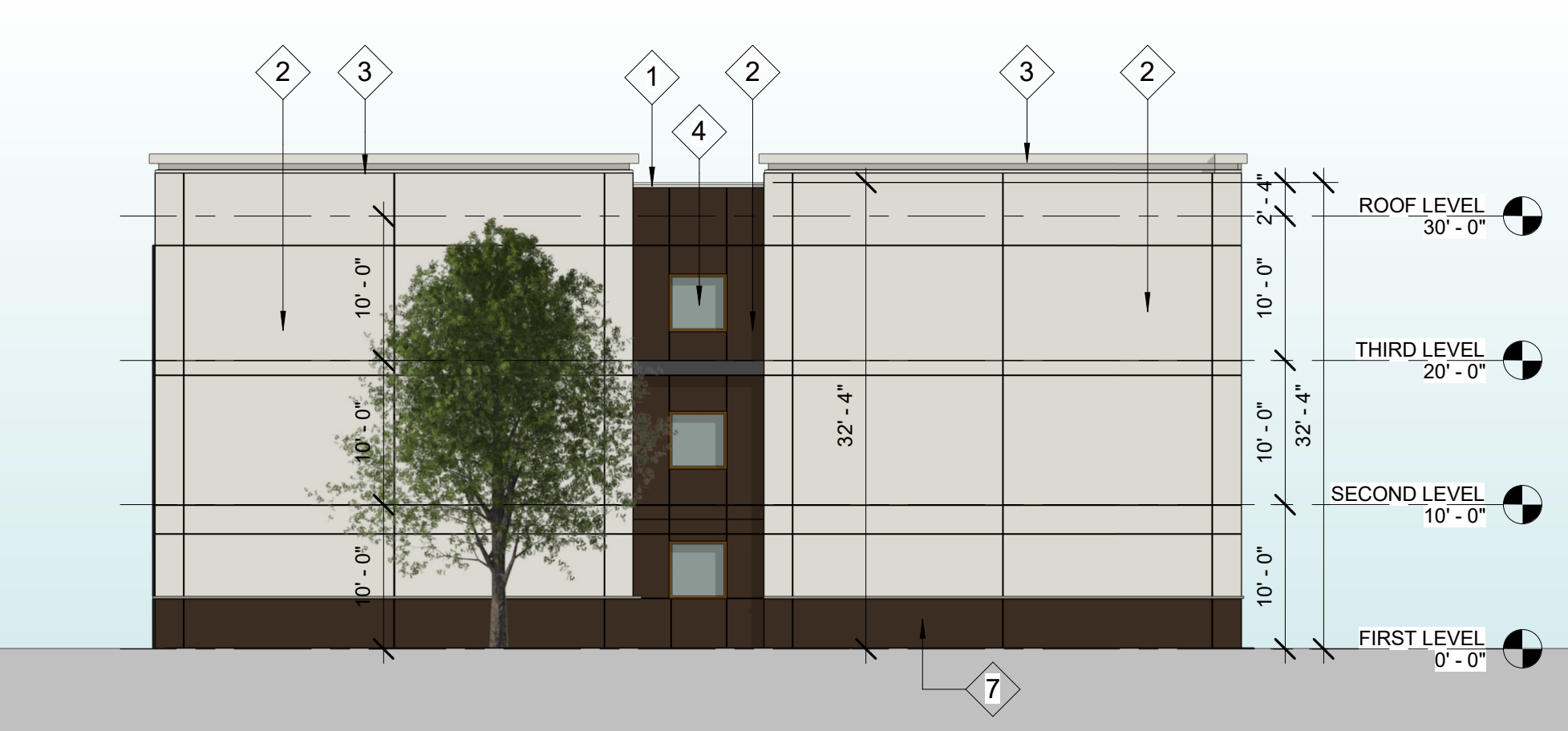
6 BLDG. D WEST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



7 BLDG. D - NORTH ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



8 BLGG. D - EAST ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102



9 BLDG. D- SOUTH ELEVATION
A302 SCALE: 3/32" = 1'-0"
REF: A102