



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 16, 2019 REPORT NO. PC-19-032

HEARING DATE: May 23, 2019

SUBJECT: VERIZON – SOUTH DOYLE. Process Four Decision

PROJECT NUMBER: [447574](#)

OWNER/APPLICANT: City of San Diego/ Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) at Doyle Park which is located at 8175 Regents Road within the University Community Planning area?

Staff Recommendation: **Approve** Conditional Use Permit (CUP) No. 1565307 and Neighborhood Development Permit (NDP) No. 2264791.

Community Planning Group Recommendation: On October 9, 2018, the University Community Planning Group voted 13-0-4 to disapprove the project based on lack of Radio Frequency (RF) information, lack of cumulative effect of RF, the location and aesthetics.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 6, 2018 and the opportunity to appeal that determination ended December 20, 2018.

Fiscal Impact Statement: Processing costs are paid for by applicant fees.

BACKGROUND

Verizon South Doyle is an application for a WCF consisting of two athletic field light poles, each supporting three panel antennas, six Remote Radio Units (RRU) and three raycaps within a 23-foot long radome located below the light bank (Attachments 11 and 12). The associated equipment is proposed within a 256-square-foot enclosure which includes storage space for park use. The project is proposed on the west side of Doyle Park, located at 8175 Regents Road (Attachment 3). The park is zoned OP-1-1, which provides for open space uses and allows for WCFs with the approval of a

CUP, Process Four. The project is within the University Community Plan, which designates the site as a park. The park is surrounded primarily by multi-unit residential RM-3-9 to the north, RM-2-5 to the east, RS-1-14/RM-1-1 to the south and RM-3-7 to the west), with Doyle Elementary School to the south (Attachment 2).

[Council Policy 600-43](#) sets forth four locational categories that correspond to the Process levels contained within the [WCF Regulations](#). This project is located in a Preference Four/Process Four location for two separate reasons: 1) It is located in dedicated parkland and; 2) The property is zoned open space. Therefore, the project requires a Process Four, Planning Commission decision.

DISCUSSION

Proposed Project:

The project proposes a WCF consisting of an existing 100-foot-tall athletic field pole which will support three panel antennas, six Remote Radio Units (RRU) and three raycaps and the replacement of a 70-foot-tall athletic field light pole that will support the same number of antennas and components. Each pole will include a 36-inch-diameter, 23-foot-long perforated antenna shroud below the light bank which will conceal the pole mounted equipment. Associated equipment is proposed within a 142-square foot enclosure with a contiguous 114-square-foot storage space for park use for a total of 256 square feet. WCFs that include an equipment enclosure that exceed 250 square feet requires an NDP. The WCF is proposed to be located on the west side of the Doyle Community Park (Attachment 13).

Verizon's desired coverage area includes the surrounding highly-traveled streets and the residential areas south of Nobel Drive. Although there are lower-preference sites located less than 1500 feet to the southwest, the elevation drops between 20 and 40 feet and the buildings are low-scale in nature. This would most likely result in a WCF out of scale with the shopping center and the potential that it would not provide the coverage to the desired area (Attachment 8).

Doyle Park contains several athletic field light standards which are regularly used for night-time activities. On the north side of the park, two of these standards house a WCF operated by AT&T, which was approved by the Planning Commission in 2011 and on the south side of the park, Sprint has antennas on two athletic field lights that were originally approved in 2005 and again in 2017 (Attachment 9).

WCF Regulations:

The WCF Regulations require that applicants *"use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions."*

The existing WCFs at the park are 70 feet tall, with the exception of the 100-foot-tall pole that Verizon is proposing to use to support their antennas. The recently approved Sprint facility has a

similar design to the one Verizon is proposing; a 23-foot-long, 36-inch-diameter antenna shroud to conceal antennas and associated components. The AT&T poles support exposed antennas and an 11-foot long, 50-inch radome concealing their radios. The AT&T WCF was approved in 2011 prior to the development of the current athletic field light standard design requirements, however, when the AT&T permit expires, the associated light poles will be required to match the Sprint and Verizon poles. Verizon's WCF design includes a 36-inch-diameter antenna radome, which will extend only five inches from the pole, screening all pole-mounted equipment from view within a slim profile designed to complement the pole resulting in a visual improvement compared to the AT&T facility. (Attachment 12) It also matches the proposed Sprint replacement WCF.

General/Community Plan Analysis:

The 1987 University Community Plan (and subsequent revisions) does not contemplate WCFs; however, the City's 2008 General Plan addresses WCFs in the [Urban Design Element](#) (UD-A.15). Per the General Plan, the visual impact of WCFs should be minimized by concealing them in existing structures or using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

The proposed project conceals antennas within the slim-line structure of athletic field light poles. Equipment will be located in a Concrete Masonry Unit (CMU) enclosure with a trellis top. This enclosure includes storage space for use by the park. Therefore, this project meets the intent of UD-A.15, as well as the objectives of the General Plan.

Community Planning Group Vote:

The University Community Planning Group (UCPG) recommended disapproval of the project on October 9, 2018 by a vote of 13-0-4. Discussion of the project was focused on Radio Frequency (RF) associated with the project. The motion to disapprove the project was based on lack of RF information, lack of cumulative effect of RF, aesthetics and the location of the WCF in a park and adjacent to a school.

The Telecommunications Act of 1996 preempts local governments from regulating WCFs on the basis of the environmental effects of RF emissions, provided that the site complies with the Federal Communication Commission's (FCC) standards for such emissions. The City may regulate the placement of WCFs based on other concerns.

An Electromagnetic Energy Exposure Report was prepared, which concluded that the project will comply with FCC standards for RF emissions. Therefore, the City may not deny the project based on RF emissions.

Conclusion:

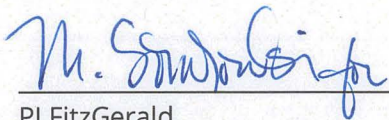
The project complies with the development regulations of the OP-1-1 zone, and it will comply with

the WCF Regulations (SDMC 141.0420). Staff has prepared draft findings in the affirmative to approve the project and recommends approval of Conditional Use Permit (CUP) No. 1565307 and Neighborhood Development Permit No. 2264791 (Attachment 5).

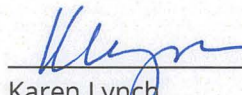
ALTERNATIVES

1. Approve CUP No. 1565307 and NDP No. 2264791, with modifications.
2. Deny CUP No. CUP No. 1565307 and NDP No. 2264791 if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Karen Lynch
Development Project Manager
Development Services Department

FITZGERALD/KAL

Attachments:

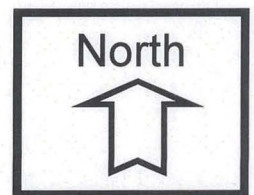
1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Justification/Coverage Maps
9. Photo Survey
10. Community Planning Group Recommendation
11. Photo Simulations
12. Project Plans

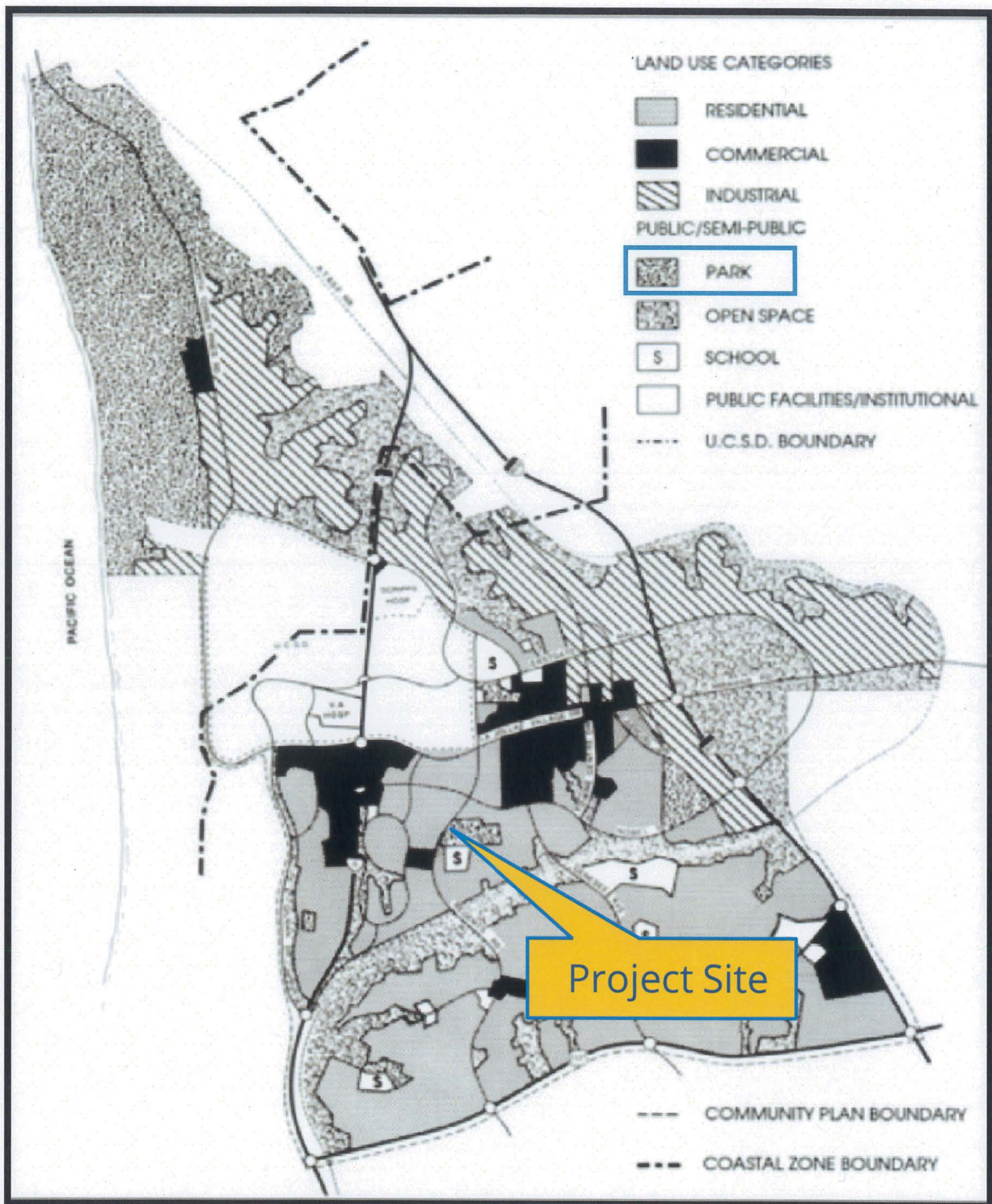


Aerial Photo

Verizon South Doyle - CUP / 8175 Regents Road

PROJECT NO. 447574





Land Use Map

Verizon South Doyle - CUP / 8175 Regents Road
PROJECT NO. 447574

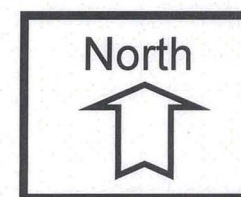
North





Project Location Map

Verizon South Doyle - CUP / 8175 Regents Road
PROJECT NO. 447574



PROJECT DATA SHEET

PROJECT NAME:	Verizon South Doyle	
PROJECT DESCRIPTION:	A Wireless Communication Facility consisting of two athletic field light poles, an existing 100' tall pole and one a replacement of an existing 70' tall pole, each supporting 3 antennas, 6 RRU and 3 raycaps concealed within a 23' long radome below the light bank. The associated equipment is proposed in a 256-sf enclosure. The project is proposed on the west side of Doyle Community Park at 8175 Regents Road.	
COMMUNITY PLAN AREA:	University	
DISCRETIONARY ACTIONS:	Conditional Use Permit/Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Park	
ZONING INFORMATION:		
ZONE:	OP-1-1(Open Space--Park)	
HEIGHT LIMIT:	N/A	
LOT SIZE:	N/A	
FLOOR AREA RATIO:	N/A	
FRONT SETBACK:	N/A	
SIDE SETBACK:	N/A	
STREETSIDE SETBACK:	N/A	
REAR SETBACK:	N/A	
PARKING:	N/A	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential / RM-3-9	Multi-Unit Residential
SOUTH:	Residential / RS-1-14	Doyle Elementary School
EAST:	Residential / RM-2-5	Multi-Unit Residential
WEST:	Residential / RM-3-7	Multi-Unit Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On November 1, 2018, the University Community Planning Group voted 13-0-4 to disapprove the Verizon South Doyle project based on the lack of RF information, lack of information pertaining to cumulative effects of RF and due to the location in a park near a school, as well as poor aesthetics.	

PLANNING COMMISSION RESOLUTION NO. [REDACTED]
CONDITIONAL USE PERMIT NO. 1565307
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2264791
VERIZON – SOUTH DOYLE PROJECT NO. 447574

WHEREAS, City of San Diego, Owner, and Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 1565307 and 2264791), on portions of a 5.88-acre site;

WHEREAS, the project site is located at 8175 Regents Road in the OP-1-1 zone of the University Community Plan;

WHEREAS, the project site is legally described as:

THAT PORTION OF PUEBLO LOT 1294 OF THE LAND OF SAN DIEGO IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED NOVEMBER 14, 1921 AND IS KNOWN AS MISCELLANEOUS MAP NO. 36 LYING NORTH OF THE NORTHERLY LINE OF THAT PORTION OF THE PUEBLO LOT 1294 OF THE PUEBLO LANDS SAN DIEGO DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF REGENTS ROAD WITH THE NORTHWESTERLY PROLONGATION OF THE NORTHEASTERLY RIGHT OF WAY LINE OF BERNINO COURT AS SAID STREETS ARE NOW LOCATED AND ESTABLISHED ON THE DATE OF THIS INSTRUMENT, SAID POINT BEING ALSO THE NORTHWESTERLY CORNER OF GENESEE HIGHLANDS UNIT NO.6 MAP 7179: THENCE, SOUTH 64°17'01" EAST 205.41 FEET TO THE BEGINNING OF THE TANGENT 600.00 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY: THENCE, SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 6°40'-0" AND ARC LENGTH OF 69.93 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ALSO THE NORTHEASTERLY CORNER OF SAID MAP 7179 RADIAL TO SAID POINT BEARS SOUTH 19°02'19" WEST: THENCE SOUTH 10°19'41" WEST (DEED SOUTH 10° 20'053 WEST) 783.45 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ARRIBA STREET, SAID POINT BEING ALSO THE SOUTHEASTERLY CORNER OF SAID MAP: THENCE SOUTH 89°59'22" EAST (DEED SOUTH 89° 58'1 0" EAST 5.44 FEET TO THE BEGINNING OF A TANGENT 220.00 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID POINT BEARS SOUTH 00°00'37" WEST (DEED SOUTH 00°01 '50' WEST): THENCE TANGENT FROM SAID POINT SOUTH 89°59'22" EAST (DEED SOUTH 89° 58'10") 688.43 FEET TO THE SOUTHWESTERLY CORNER OF LOT 11 GENESEE HIGHLANDS UNIT NO.5 MAP 7178: THENCE LEAVING SAID NORTHERLY RIGHT OF LINE OF ARRIBA STREET NORTH 00°00'38" EAST (DEED NORTH 00°01 '50" EAST) 750.00 FEET NORTHWEST CORNER OF SAID MAP 7178: THENCE NORTH 87°07'01" WEST 654.06 FEET TO

THE TRUE POINT OF BEGINNING, AND LYING NORTHWEST OF BERING COURT AND EAST OF REGENTS ROAD AS SHOWN IN ASSESSOR'S BOOK 347 PAGE 13;

WHEREAS, on December 6, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 23, 2019, the Planning Commission of the City of San Diego considered Conditional Use Permit (CUP) No. 1565307 and Neighborhood Development Permit (NDP) No. 2264791 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to CUP No. 1565307 and NDP No. 2264791:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The University Community Plan does not contemplate WCFs. However, the City's General Plan addresses WCFs in the Urban Design Element (UD-A.15), which requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The project proposes to replace an existing 70-foot-tall athletic field light pole and use an existing 100-foot-tall athletic field light pole to each support three panel antennas, six Remote Radio Units (RRU) and three raycaps concealed within a 36-inch-diameter, 23-foot-long perforated antenna shroud below the light bank. Associated equipment is proposed

within a 142-square foot enclosure with a contiguous 114-square-foot storage space for park use, for a total of 256 square feet.

A Conditional Use Permit is required to allow a WCF in a dedicated public park, as well as to allow a WCF on a property zoned for open space. The design of the Wireless Communication Facility (WCF) follows the same lines as the athletic field light pole by including a proposed slim-line style antenna shroud to conceal the antennas and associated components and the equipment enclosure is designed similarly to other buildings in the park. The WCF is designed and sited so as to not detract or interfere with the park or its uses.

A Neighborhood Development Permit is required for equipment enclosures exceeding 250 square feet and in parks, when the equipment is not located underground. The Verizon enclosure is a total of 256 square feet which includes 114 square feet of storage for park use and 142 square feet for Verizon's equipment. It is located approximately 50 feet north of the recreation center in an unused, fenced-off landscape area.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the design and location requirements of the City's General Plan. The proposed WCF will not adversely affect the applicable land use plan or the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project is located at Doyle Community Park, 8175 Regents Road in the OP-1-1 zone and the University Community Planning Area. It consists of the replacement of an 70-foot-tall athletic field light pole and the use of a 100-foot-tall athletic field light pole with each pole supporting three panel antennas, six Remote Radio Units (RRU) and three raycaps concealed within a 36-inch-diameter, 23-foot-long perforated antenna shroud below the light bank. Associated equipment is proposed within a 142-square foot enclosure with a contiguous 114-square-foot storage space for park use, for a total of 256 square feet.

The project was determined to be exempt from CEQA pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared, which concluded that the project will comply with FCC standards for RF emissions. Therefore, the project will not

result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project requires a Conditional Use Permit (CUP) pursuant to SDMC 141.0420(f)(1) because it is proposed in a public park, and also pursuant to SDMC 141.0420(f)(3) because it is located in an open space zone. The purpose of the CUP, as stated in SDMC 126.0301, is to establish a review process for the development of uses that may be desirable under appropriate circumstances but are not permitted by right in the applicable zone. The intent is to review these uses on a case-by-case basis to determine whether and under what conditions the use may be approved at a given site. Due to the project's specific location on the site, and the concealment of all pole-mounted equipment within an antenna shroud, there will be no impact to the surrounding area.

In addition to the CUP Regulations, the WCF Regulations (SDMC 141.0420) contain design requirements for WCFs, which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment and to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The project also requires a Neighborhood Development Permit (NDP) for equipment enclosures exceeding 250 square feet and in parks, when the equipment is not located underground. The Verizon enclosure is a total of 256 square feet, which includes 114 square feet of storage for park use and 142 square feet for Verizon's equipment. It is located approximately 50 feet north of the recreation center in an unused, fenced-off landscape area. The equipment/storage enclosure is proposed to be concrete block with stucco exterior to match the recreation center and other out buildings in the park. The Verizon portion of the enclosure includes a heavy wood timber trellis on top. The placement of the equipment enclosure, as well as the new athletic light pole has been designed, in consultation with the Parks and Recreation Department so as not to remove usable park space or impact use of the park.

The project, in proposing screening by an antenna shroud and integration into two athletic field light standards, meets these requirements. The project meets the design requirements of SDMC 141.0420 and findings can be made in the affirmative for all permits required by this project; therefore, the project will comply with the applicable regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

Doyle Community Park is 5.88 acres and contains large expanses of turf areas for field sports, a variety of on-site buildings and structures, and other athletic field light poles supporting WCFs from two other carriers (AT&T and Sprint). By locating in a public park, the

project can utilize athletic field light standards (which are already located in this park) to achieve the height required to provide adequate coverage without introducing undesirable visual elements to the surrounding area.

Verizon worked with Parks and Recreation Department staff to design a WCF with little to no visual impacts while providing additional sport lights and storage space for park use. The design, which flush mounts the antennas and associated components to the light poles and conceals them inside a 23-foot-long, 36-inch-diameter antenna shroud maintains the overall slim-line appearance of the athletic field light pole. Since the athletic field light standards already exist in the park at this location, the project's visual effect on adjacent properties or public vantage points is negligible since athletic field lights are commonly located in public parks. This ensures that the proposed use is appropriate at the proposed location.

B. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404]

1. Findings for all Neighborhood Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

Please see CUP Finding No. 1 a) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

Please see CUP Finding, No. 1 b) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

Please see CUP Finding No. 1 c) above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1565307 and Neighborhood Development Permit No.

2264791 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1565307/2264791, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: May 23, 2019

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006224

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1565307
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2264791
VERIZON - SOUTH DOYLE PROJECT NO. 447574
PLANNING COMMISSION

This Conditional Use Permit No. 1565307 and Neighborhood Development Permit No. 2264791 is granted by the Planning Commission of the City of San Diego to the City of San Diego, Owner, and Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0305 and 126.0402. The 5.88-acre site is located at 8175 Regents Road in the OP-1-1 zone of the University Community Planning area. The project site is legally described as:

THAT PORTION OF PUEBLO LOT 1294 OF THE LAND OF SAN DIEGO IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED NOVEMBER 14, 1921 AND IS KNOWN AS MISCELLANEOUS MAP NO. 36 LYING NORTH OF THE NORTHERLY LINE OF THAT PORTION OF THE PUEBLO LOT 1294 OF THE PUEBLO LANDS SAN DIEGO DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF REGENTS ROAD WITH THE NORTHWESTERLY PROLONGATION OF THE NORTHEASTERLY RIGHT OF WAY LINE OF BERNINO COURT AS SAID STREETS ARE NOW LOCATED AND ESTABLISHED ON THE DATE OF THIS INSTRUMENT, SAID POINT BEING ALSO THE NORTHWESTERLY CORNER OF GENESEE HIGHLANDS UNIT NO. 6 MAP 7179: THENCE, SOUTH 64°17'01" EAST 205.41 FEET TO THE BEGINNING OF THE TANGENT 600.00 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY: THENCE, SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 6°40'-0" AND ARC LENGTH OF 69.93 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ALSO THE NORTHEASTERLY CORNER OF SAID MAP 7179 RADIAL TO SAID POINT BEARS SOUTH 19°02'19" WEST: THENCE SOUTH 10°19'41" WEST (DEED SOUTH 10° 20'053 WEST) 783.45 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF ARRIBA STREET, SAID POINT BEING ALSO THE SOUTHEASTERLY CORNER OF SAID MAP: THENCE SOUTH 89°59'22" EAST (DEED SOUTH 89° 58'1 0" EAST 5.44 FEET TO THE BEGINNING OF A TANGENT 220.00 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY: THENCE SOUTHEASTERLY ALONG THE ARC OF SAID POINT BEARS SOUTH 00°00'37" WEST (DEED SOUTH 00°01 '50' WEST):

THENCE TANGENT FROM SAID POINT SOUTH 89°59'22" EAST (DEED SOUTH 89° 58'10") 688.43 FEET TO THE SOUTHWESTERLY CORNER OF LOT 11 GENESEE HIGHLANDS UNIT NO.5 MAP 7178: THENCE LEAVING SAID NORTHERLY RIGHT OF LINE OF ARRIBA STREET NORTH 00°00'38" EAST (DEED NORTH 00°01 '50"EAST) 750.00 FEET NORTHWEST CORNER OF SAID MAP 7178: THENCE NORTH 87°07'01" WEST 654.06 FEET TO THE TRUE POINT OF BEGINNING, AND LYING NORTHWEST OF BERING COURT AND EAST OF REGENTS ROAD AS SHOWN IN ASSESSOR'S BOOK 347 PAGE 13.

Subject to the terms and conditions set forth in this Permit, permission is granted to Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 23, 2019, on file in the Development Services Department.

The project shall include:

- a. An existing 100-foot-tall athletic field light standard supporting three antennas measuring 72.9 inches by 11.9 inches by 7.1 inches; six Remote Radio Units (RRUs) and three raycaps concealed within a perforated radome 23 feet in length and 36 inches in diameter;
- b. Replacement of a 70-foot-tall athletic field light standard supporting three antennas measuring 72.9 inches by 11.9 inches by 7.1 inches; six Remote Radio Units (RRUs) and three raycaps concealed within a perforated antenna shroud 23 feet in length and 36 inches in diameter;
- c. Installation of a 256-square-foot concrete block enclosure with a trellis top, of which 114 square feet will be allocated for the Parks and Recreation Department Doyle Park use and 142 square feet will be allocated for Verizon's equipment;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 7, 2022.

2. This permit and corresponding use of this site shall **expire on June 7, 2029**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit, the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. Pursuant to San Diego Municipal Code Section 142.0607, Repair and Replacement of Public Facilities, if the park is damaged during construction, the Permittee shall, at no cost to the City, repair or replace the public facility to the satisfaction of the City Engineer.

PLANNING/DESIGN REQUIREMENTS:

19. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

20. No overhead cabling is permitted.

21. The WCF shall conform to the approved construction plans.

22. Photo simulations shall be printed in color on the construction plans.

23. Prior to any construction being conducted on site, the Permittee is required to contact the Parks and Recreation Department to arrange a pre-con meeting.

24. Prior to Final Inspection, the Permittee is required to contact the Parks and Recreation Department to schedule a final walk-through. A Telecom inspection will not be scheduled until Parks and Recreation has approved the completed project.

25. The City may require the Permittee to provide a topographical survey conforming to the provisions of the SDMC if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

26. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Permittee shall be responsible for complying with all State and Federal regulations.

27. Antennas and associated components, such as, but not limited to, RRUs, surge suppressors, etc., shall not exist outside of the radome.

28. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, the Permittee shall provide an

updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

29. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

30. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

31. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) XXX-XXXX to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 23, 2019 by Resolution No. _____.

Permit Type/PTS Approval No.: CUP No. 1565307

Date of Approval: May 23, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

City of San Diego
Owner

By _____
NAME: Cybele L Thompson
Real Estate Assets Director

**Verizon Wireless (VAW) LLC d/b/a
Verizon Wireless**
Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION**ATTACHMENT 7***(Check one or both)*

TO: ☒ RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 447574

Project Title: Verizon South Doyle

PROJECT LOCATION-SPECIFIC: The project is located at 8175 Regents Road, Doyle Community Park, within the University Community Plan San Diego CA 92122

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: Conditional Use Permit (CUP) and Neighborhood Development Permit (NDP) for a Wireless Communication Facility (WCF) consisting of the construction of six panel antennas concealed within radomes mounted on two ballfield light standards. Antennas are to be configured with three antennas per pole oriented one antenna per sector per pole. However, the overall configuration is two antennas per sector distributed on each of the poles. The associated Remote Radio Units (RRUs) are also concealed within these radomes. The associated equipment will be located in a 260 square foot custom concrete masonry unit (CMU). The project is located at 8175 Regents Road, Doyle Community Park, within the University Community Plan area and is zoned OP-1-1.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Kerrigan Diehl, 302 State Place, 2nd floor Escondido CA 92029. (760) 735-4913

EXEMPT STATUS: (CHECK ONE)


- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c)).
- ☒ CATEGORICAL EXEMPTION: Section 15303 (New Construction)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction) which allows for the installation of small new equipment and facilities in small structures. Since the project would build an unmanned WCF with a limited number of light standards and equipment within the CMU on a site devoid of sensitive resources the project qualifies to be categorical exempt from CEQA and the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKITELEPHONE: 619 446-5324IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 / SENIOR PLANNER
SIGNATURE/TITLE4/29/2019

DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

SITE JUSTIFICATION

Verizon Wireless
South Doyle NCD
8175 Regents Road

PROJECT DESCRIPTION

The project proposes to locate a wireless communication facility at 8175 Regents Road which is also known as Doyle Community Park located in the University Community Plan area. The project will consist of six panel antennas concealed within radomes mounted on 2 ballfield light standards. Antennas are to be configured 3 antennas per pole oriented 1 antenna per sector per pole. However, the overall configuration is 2 antennas per sector distributed on each of the poles. The associated Remote Radio Units (RRUs) are also concealed within these radomes. The associated equipment will be located in a custom CMU equipment enclosure adjacent to the existing recreation building.

The property is zoned OP-1-1 and developed with a City owned Community Park and Community Center Building with an established multi-carrier wireless use. The property is almost entirely surrounded by high density residential development and vertical living.

SITE DESIGN & CONFIGURATION

The antennas will be distributed between two poles: A and B. Pole A is an existing 100' pole recently installed during the AT&T installation which designed for and lit the entire northern baseball diamond. Pole B is an existing 70' light standard currently used in the outfield of the southern baseball diamond. Each pole will have 3 antennas each and 6 radomes concealed within RF transparent screening radomes. The radome on Pole A is proposed to be 4'-6" in diameter with a centerline of antennas at 56'-6". The radome on Pole B is proposed to be 3'-7" in diameter also with a 56'-6" antenna centerline. The replacement light standard will be designed and painted to match the existing park light standards. The associated equipment will be located within a new enclosure adjacent to the recreation building which is designed to match the color and materials of the building while. The equipment is in an area not used for recreational purposes and is surrounded by existing landscaping obscuring its view from the park's active uses located at the field level.

PREFERENCE 4 LOCATION – PROCESS 4

The proposed facility is located within Doyle Community Park. As such the project is considered a preference 3 location and but due to the Open Space zoning designation will require a Conditional Use Permit which requires a process 4 approval by the Planning Commission. We believe that the facility as designed is consistent with all relevant regulations and antennas will be integrated with the existing vertical infrastructure, while the equipment is located in a maintenance area with restricted use and is a non-active/usable area of the park with sufficient landscape screening integration.

CO-LOCATION OF FACILITIES

Sprint and AT&T are currently located on site also mounted to existing ballfield lights. Locating at Doyle Park allows us to co-locate in an area with an established telecommunications use.

ALTERNATIVE SITE ANALYSIS & SITE SELECTION

Topography and line of sight plays a critical role in siting of wireless communication facilities. Additionally, the established network design including the placement and locations of existing facilities are important factors that are considered when establishing new locations. These new locations must first meet the intended coverage objective for the area. In this case, while there is a commercial center at the corner of Arriba Street between Regents Road and Palmilla Drive, this location is situated at a significantly lower ground elevation. This commercial corner, home to a Vons grocery store, is at about 310' AMSL. Additionally, the center's design is exclusively single-story development which creatively limit integrated antenna designs at viable heights. More significantly, the entire northern property line is bordered by a 5-story condominium complex that would block an entire sector, with a possible obstruction of a second sector, as this design calls for 2 northerly oriented sectors at 300 and 70 degrees.

Conversely, Doyle Community Park is located 35' above the Vons shopping center, generally at 345' but it also provides the necessary vertical infrastructure from the ballfield lights to achieve an additional 60' of vertical height for the antenna tips without obstruction. When compared with the commercial center, it is at a 95' height disadvantage and blocks 2 of 3 sectors of antennas. For this reason, the Arriba Street commercial complex was immediately eliminated as a suitable candidate for a Macro WCF in favor of Doyle Park which has an established multi-carrier telecom use one site where the same/similar design aesthetic could be achieved.

Verizon Wireless Communications Facility

Engineering Necessity Case – South Doyle

3

Prepared by: Carlos Jimenez

June 6, 2018



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Rev. 1/18

ATTACHMENT 8

Introduction:

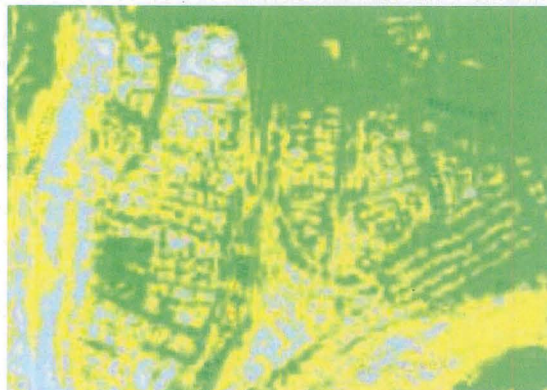
Coverage and/or capacity deficiencies are the two main drivers that prompt the need for a new wireless communications facility (WCF). Most WCF provide a mixture of both capacity and coverage for the benefit of the end user.

Coverage describes the existence or lack of wireless service in an area. The request for improved service often comes from our customers or emergency services personnel that have no service or poor service. Coverage used to refer to the ability to make or place a call in vehicles, however, as usage patterns have shifted, coverage is now determined based on whether or not sufficient WCF exist to provide a reliable signal inside of buildings and residential areas, as well. Historically, when wireless was still in its infancy, coverage was the primary means to measure the effectiveness of the network in a given area.

Capacity is the metric used to determine if sufficient wireless resources exist and is now the primary means to measure how a community's wireless needs are being addressed. "Five bars" no longer means guaranteed coverage and capacity because each WCF has a limited amount of resources to handle voice calls, data connections and data volume. When these limits are reached and the WCF becomes overloaded (meaning there is more demand than signal to service it), the user experience quickly degrades preventing customers from making/receiving calls or getting applications to run. A WCF short on capacity could also make internet connections time out or delay information to emergency response personnel.



Explanation of Wireless Coverage



5

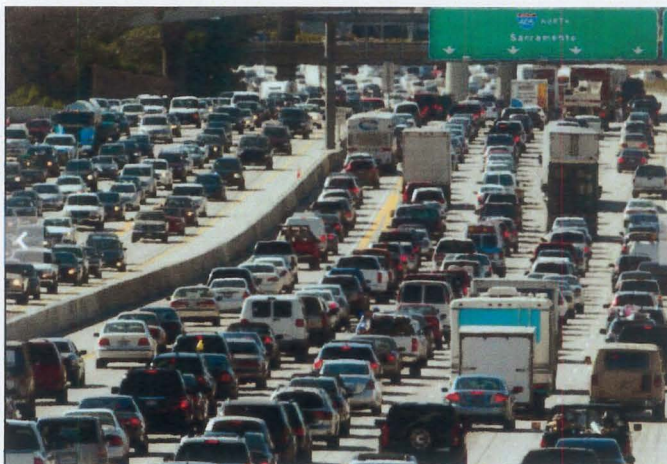
Coverage is best shown via coverage maps. RF engineers use tools that take into account terrain, vegetation, building types, and WCF specifics to model the existing coverage and predict what we expect to see with the addition of a proposed WCF.

Coverage also changes depending on which frequencies are used. Most phones today use 3G at 800 MHz or 4G at 700 MHz spectrum which are considered low frequencies. Low frequencies can travel further distances than the higher 1900 MHz and 2100 MHz frequencies now being employed due to increased capacity demands. Operating at higher frequencies makes it necessary for carriers to install substantially more wireless facilities to achieve the same coverage as one tower operating on the lower frequencies.



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Explanation of Wireless Capacity



Capacity is the amount of resources that a WCF has to service customer demand. Verizon utilizes sophisticated programs and customer feedback to monitor current usage trends and to forecast future needs. Because it takes an average of 2-3 years to complete a WCF, we have to start the process of adding a new WCF several years in advance of when the WCF will be needed.

Location, Location, Location. A good capacity WCF needs to be in the center of a user population which insures that traffic is evenly distributed around the WCF. A typical WCF is configured into three sectors (like a pie cut into three pieces), with each slice (sector) having 33% of the WCF resources. If one sector is under-utilized, it's resources can not necessarily be diverted to another sector. Therefore, optimal performance is only obtained when all three sectors have an even traffic distribution.



Explanation of Wireless Data Growth

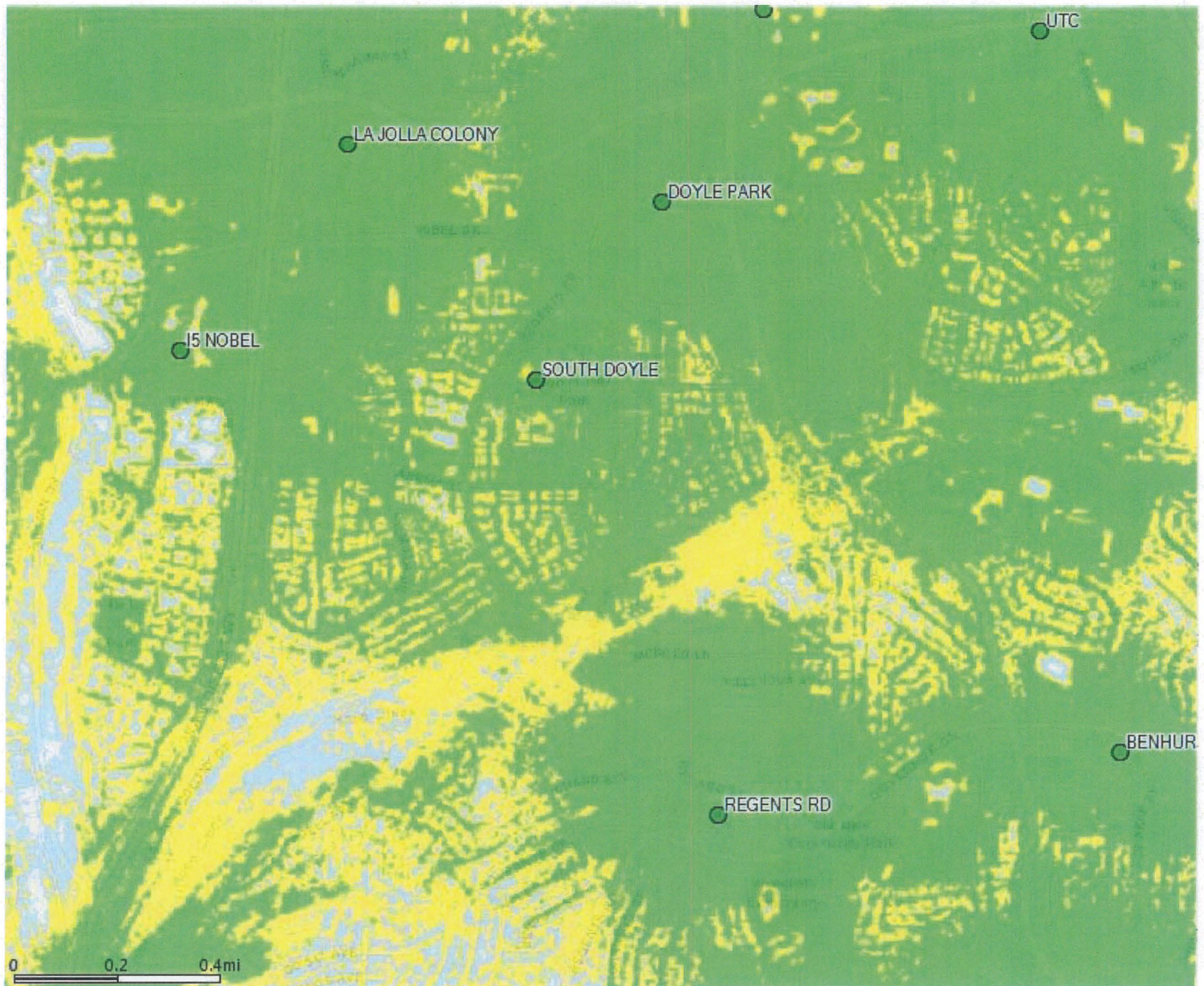
Wireless Data Growth

Each year Verizon sees large increases in how much data its customers need. As the resolution of the pictures we send increases, the quality of the video we watch improves and the complexity of the applications grow, we commonly see tremendous growth year-over-year. [Insert latest growth info from COMET web page and citing the source]

Machine to Machine communications will also increase the data burden on wireless networks, as over the next five (5) years more and more services that improve our safety and make our lives easier will be available over the wireless infrastructure , such as:

- Cars that notify 911 when an airbag deploys.
- “Driverless” cars needing traffic data and maps to reach your destination as quickly as possible.
- Medical monitors that will alert us should a loved one neglect taking their prescription drugs.
- Home alarms that notify you when your child arrives home from school.
- Smart street lights that notify the city when they are not working.
- City garbage cans that let people know when they need to be emptied.
- Tracking watches will aid in finding lost Alzheimer patients.

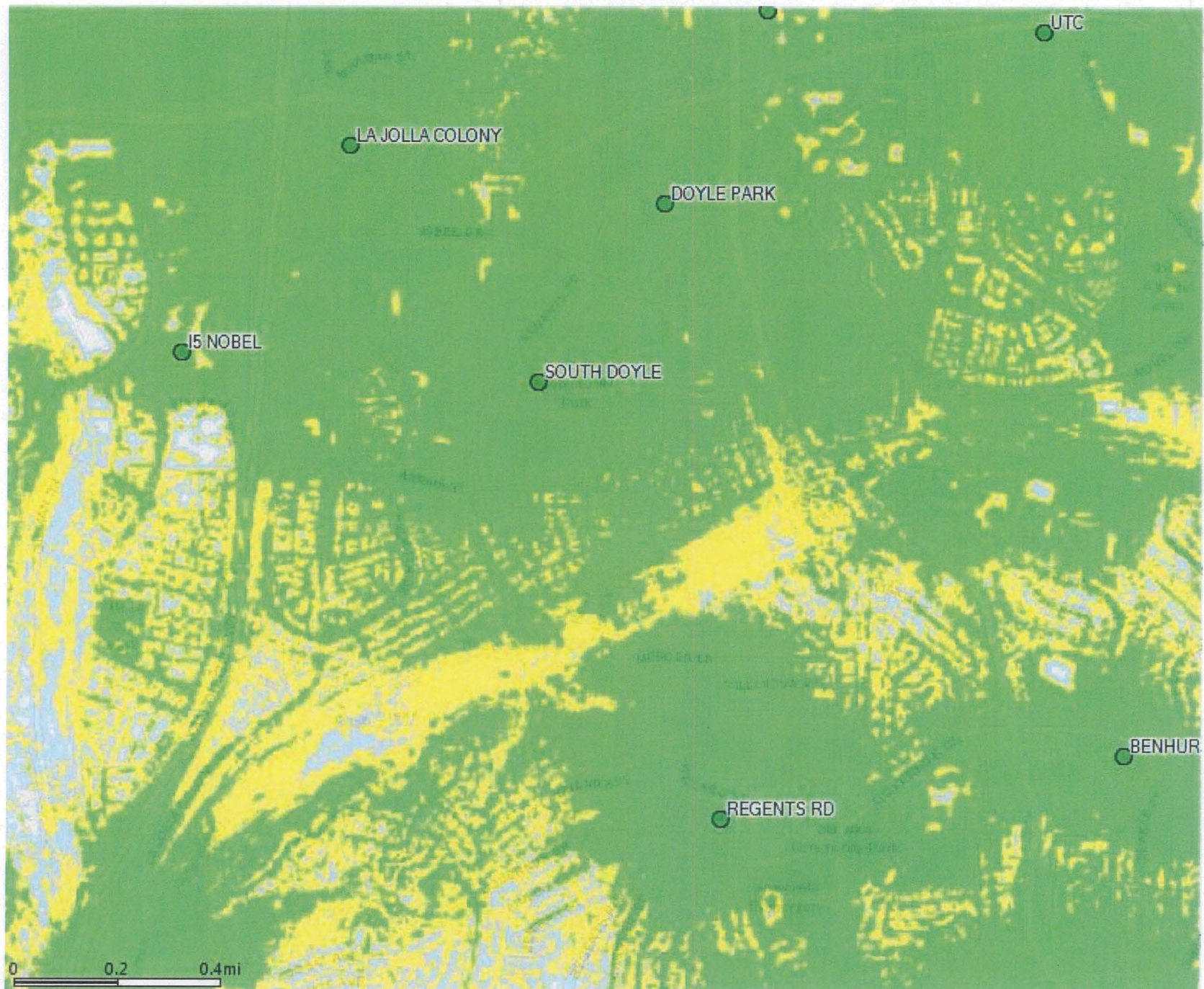




verizon✓

■ RSRP Level (DL) (dBm) ≥ -85 (In-Building Coverage)
 ■ RSRP Level (DL) (dBm) ≥ -95 (In-Vehicle Coverage)
 ■ RSRP Level (DL) (dBm) ≥ -105 (On-Street Coverage)

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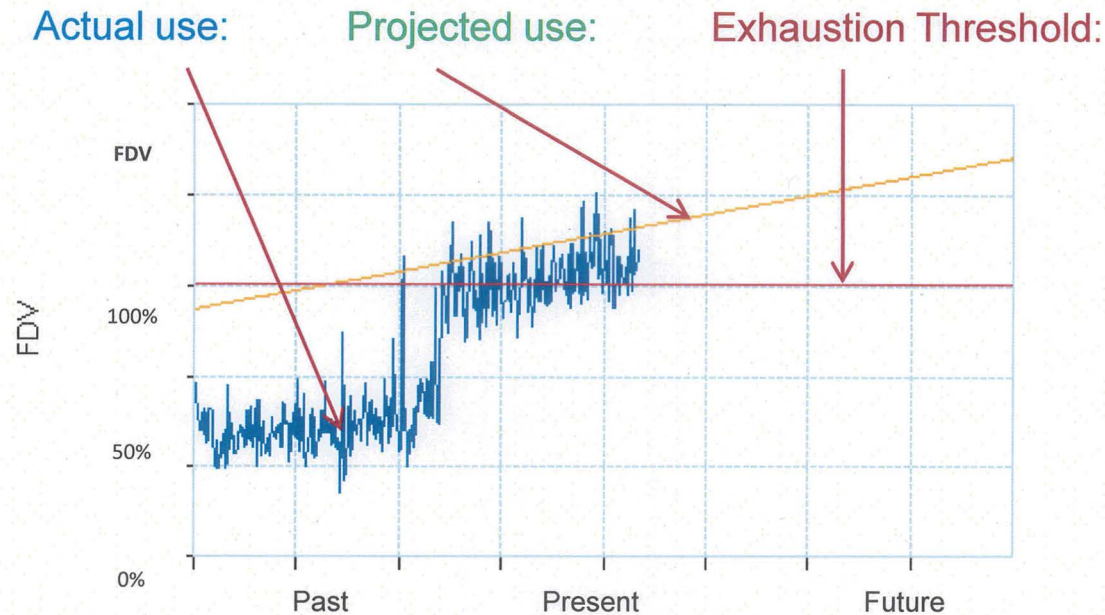


verizon✓

■ RSRP Level (DL) (dBm) ≥ -85 (In-Building Coverage)
 ■ RSRP Level (DL) (dBm) ≥ -95 (In-Vehicle Coverage)
 ■ RSRP Level (DL) (dBm) ≥ -105 (On-Street Coverage)

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Capacity Projection:



Summary: The existing communication sites cannot support the data traffic in the large area they cover and are already frequently overloaded as shown above by the blue use line rising above the red exhaustion threshold. When this occurs 4G data speeds slow to unacceptable levels.

Detail below:

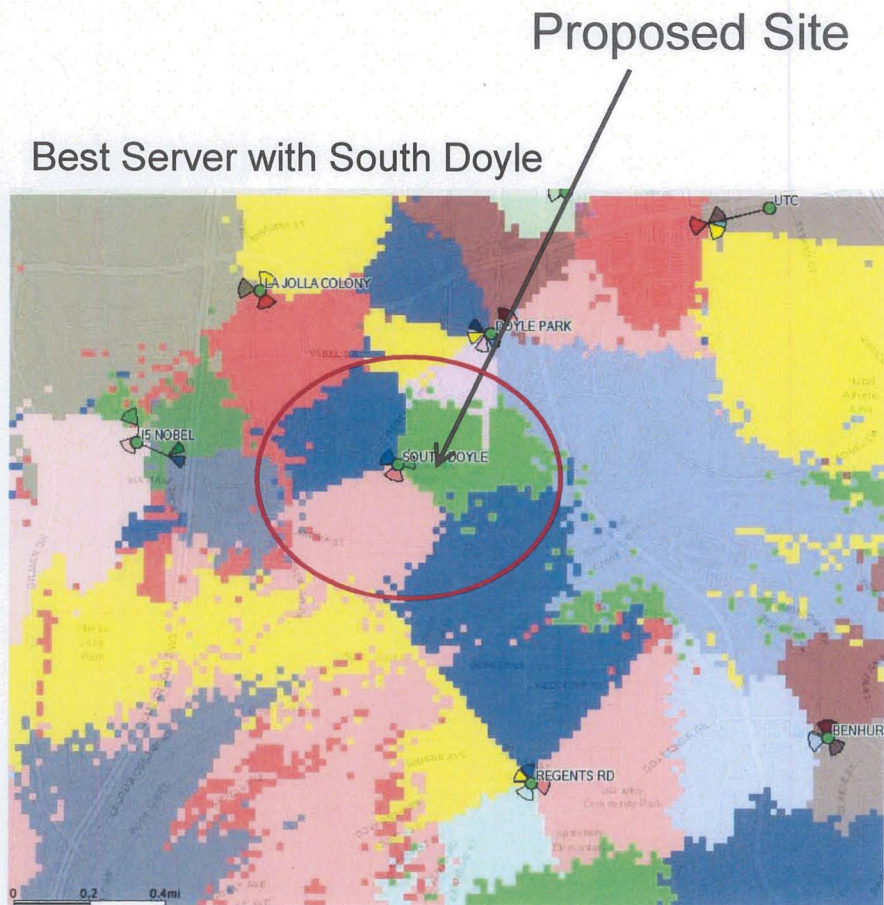
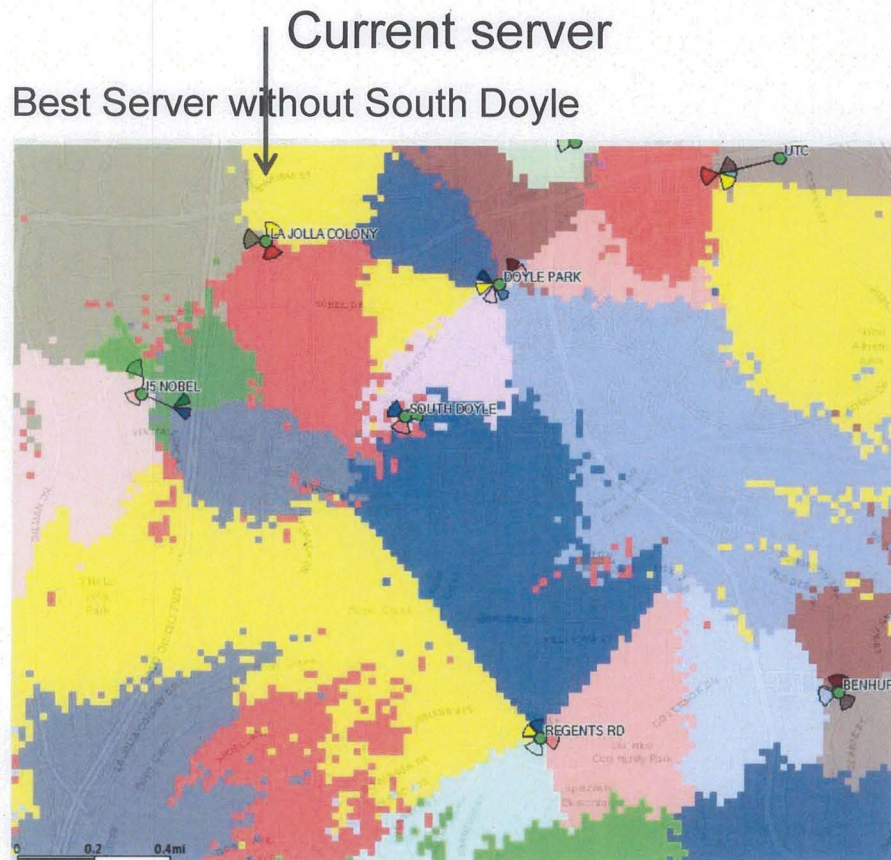
The graph above shows FDV (**F**orward **D**ata **V**olume) which is a measurement of the customer data usage that these sectors currently serve. The blue line shows a representation of the data usage on these sectors. The yellow line is a representation of the projected usage to show when we expect to see our customers begin to see their data speeds begin to slow down. The red line is the limit where the sectors become exhausted and service starts to degrade.

The proposed three-sector communications facility is designed to improve wireless service capacity and coverage in this area by offloading commercial traffic from surrounding overloaded facilities.



Serving Sector Maps:

11



The proposed site footprint on the right will improve both capacity and coverage in the circled area. The plots above show the best servers or sectors that cover this area with each sector shown in a different color. The left map shows what sectors currently cover this area which are all overloaded. The right map shows the area this new site will primarily cover. This project will improve service by providing necessary capacity to support the growth we are seeing in 4G data traffic. If the site is not built the customers using those sectors will see data speeds and new 4G voice service start to quickly degrade as the site overloads.



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PHOTO STUDY & KEY MAP

PROPOSAL TO MODIFY AN EXISTING WIRELESS TELECOMMUNICATIONS FACILITY

Verizon Wireless
"South Doyle"
8175 Regents Road
San Diego, CA 92122

Prepared for:
City of San Diego
Development Services Department
1222 First Avenue
San Diego, CA 92101

Prepared by:
PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Kerrigan Diehl, Planning Consultant
(760) 587-3003

March 1, 2018



West Elevation 1



Southwest Elevation



East Elevation



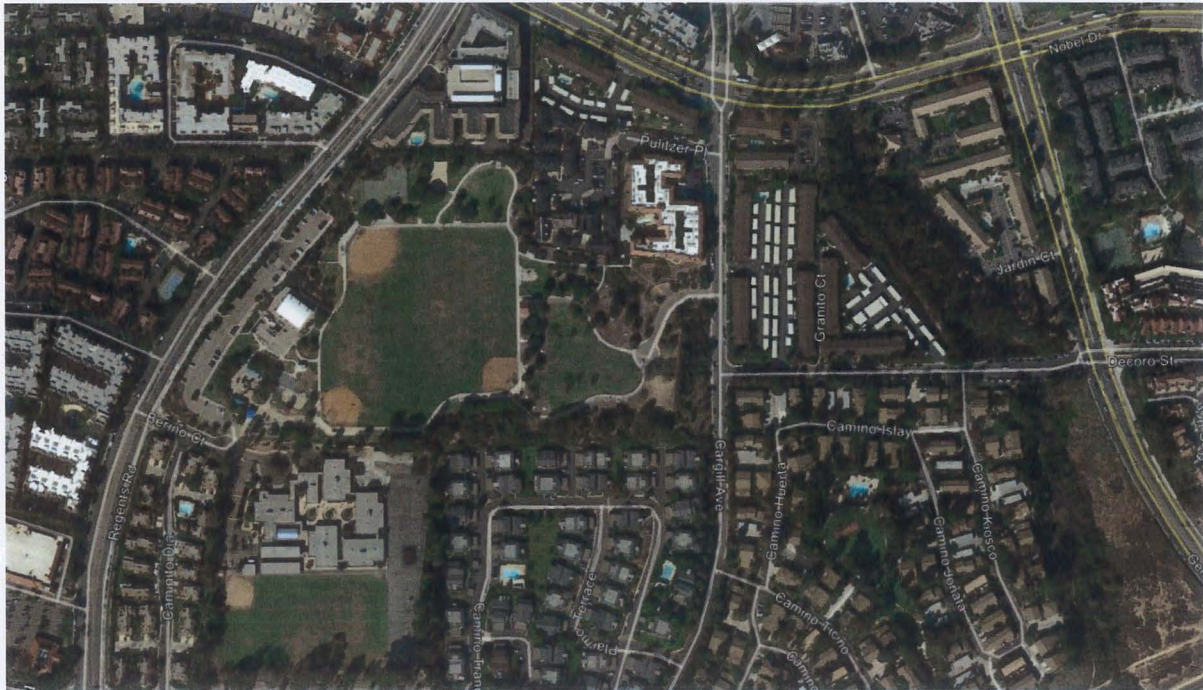
View North



View West



Proposed Equipment Area within Maintenance Side Yard



Aerial View of Subject Site & Surroundings

UNIVERSITY COMMUNITY PLANNING GROUP

Meeting Minutes

10300 Campus Pointe Drive, 2nd Floor

6 P.M . October 9, 2018

Directors present: Chris Nielsen (CN) (Chair), Meagan Beale (MB) (Vice Chair), Andrew Wiese (AW), Nancy Groves (NG) John Bassler (JB), Caryl Lees Witte (CW), Nan Madden (NM), Chris Nelsen (CN), Joann Selleck (JS), Isabelle Kay (IK), Ash Nasserri (AN), Rebecca Robinson (RR), Kristopher Kopensky (KK), Michael Leavenworth (ML), Roger Cavanaugh (RC), Alice Buck (ABu), Ryan Perry (RP), Amber Ter-Vrugt (ATV), Jason Moorhead (JM), Kristin Camper (KC), Anu Delouri (AD), Petr Krysl (PK), Andie Hosch (AH), and Dan Monroe (DM).

Directors absent:

- 24 Action Item:** Kerrigan Diehl, Pancominc, Verizon Wireless Antennas, South Doyle Park, Project No. 447574, Conditional Use Permit, Process 4.
- a. Review of project
 - b. NM: How far are you from the school? A: About 200'
 - c. AN:What is the RF reading? A: Complies with FCC
 - d. AN:Is it fair to say that the cumulative effects are greater? A: Yes and it falls within range
 - e. MB: Is there a report on the RF? A: Yes, pre conditions are submitted to City with application. MB:There is not one requested? A:No but we would be happy to provide
 - f. JS: Are there alternative locations to the park? A: Alternatives are difficult due to it being a dense area.
 - g. NG: Are these above safety height? A: Yes, at 56' high they expenintionally reduce. RC: Disagrees due to a private study done
 - h. JS: Do you pay rent? A: Yes
 - i. Community: Concern on safety of children in nearby school
 - j. Community: Wanting the board to consider amount of questioning on this site versus the previous one.
 - k. AW: Feels that he does not have enough information and it seems the City should take a stand and look into this
 - l. NG: From FCC site, no state to government may regulate theRC disagrees as there is a stipulation in it related to public health
 - m. ATV: Does the carrier have the option to construct their own equipment?
A: Yes carriers can if given permission.

Motion: JS motion to disapprove the project based on lack of RF information, lack of accumulative effect of RF, it is at a park, near a school and has poor aesthetics. Seconded by NM.

Vote: 13, 0, 4 abstentions, motion passed

October 2016

City of San Diego • Information Bulletin 620

Page 3 of 4



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Verizon South Doyle - CUP	Project Number: 447574	Distribution Date:
---	----------------------------------	---------------------------

Project Scope/Location:

Applicant Name:	Applicant Phone Number:
------------------------	--------------------------------

Project Manager:	Phone #:	E-mail Address:
-------------------------	-----------------	------------------------

Project Issues (To be completed by Community Planning Committee for initial review):

Attach Additional Pages If Necessary.

Please return to:
Project Management Division
City of San Diego
Development Services Department
1222 First Avenue, MS 302
San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

(10-16)



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Verizon South Doyle - CUP		Project Number: 447574	Distribution Date:
Project Scope/Location:			
Applicant Name:		Applicant Phone Number:	
Project Manager:	Phone #:	E-mail Address:	
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes 13	Members No 0	Members Abstain 4
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes 13	Members No 0	Members Abstain 4
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes 13	Members No 0	Members Abstain 4
<input checked="" type="checkbox"/> Vote to Deny	Members Yes 13	Members No 0	Members Abstain 4
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: Chris Nielsen		TITLE: Chair, UCPG	
SIGNATURE:		DATE: 11/1/2018	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

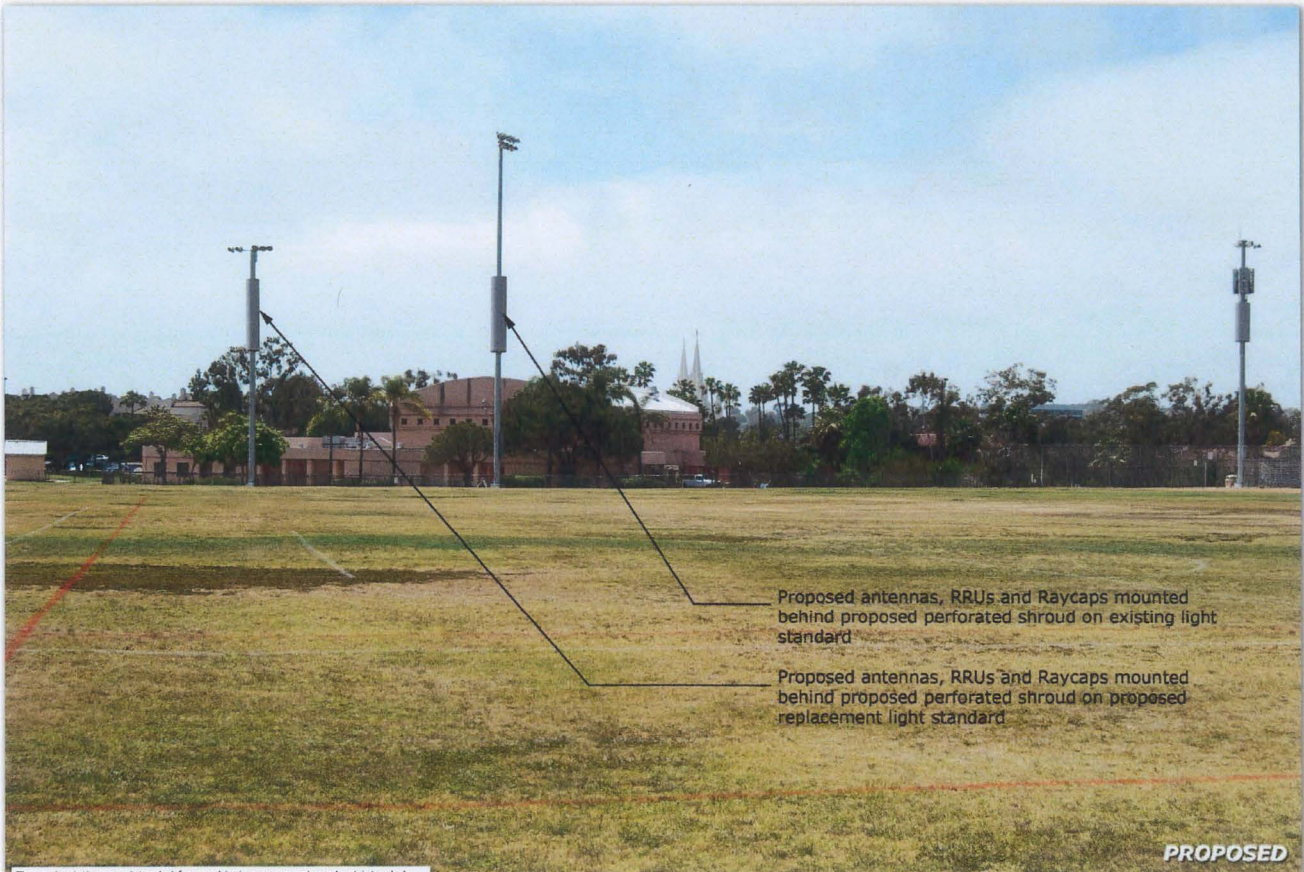
(10-16)

EXISTING



PROPOSED

EXISTING



Proposed antennas, RRUs and Raycaps mounted behind proposed perforated shroud on existing light standard

Proposed antennas, RRUs and Raycaps mounted behind proposed perforated shroud on proposed replacement light standard

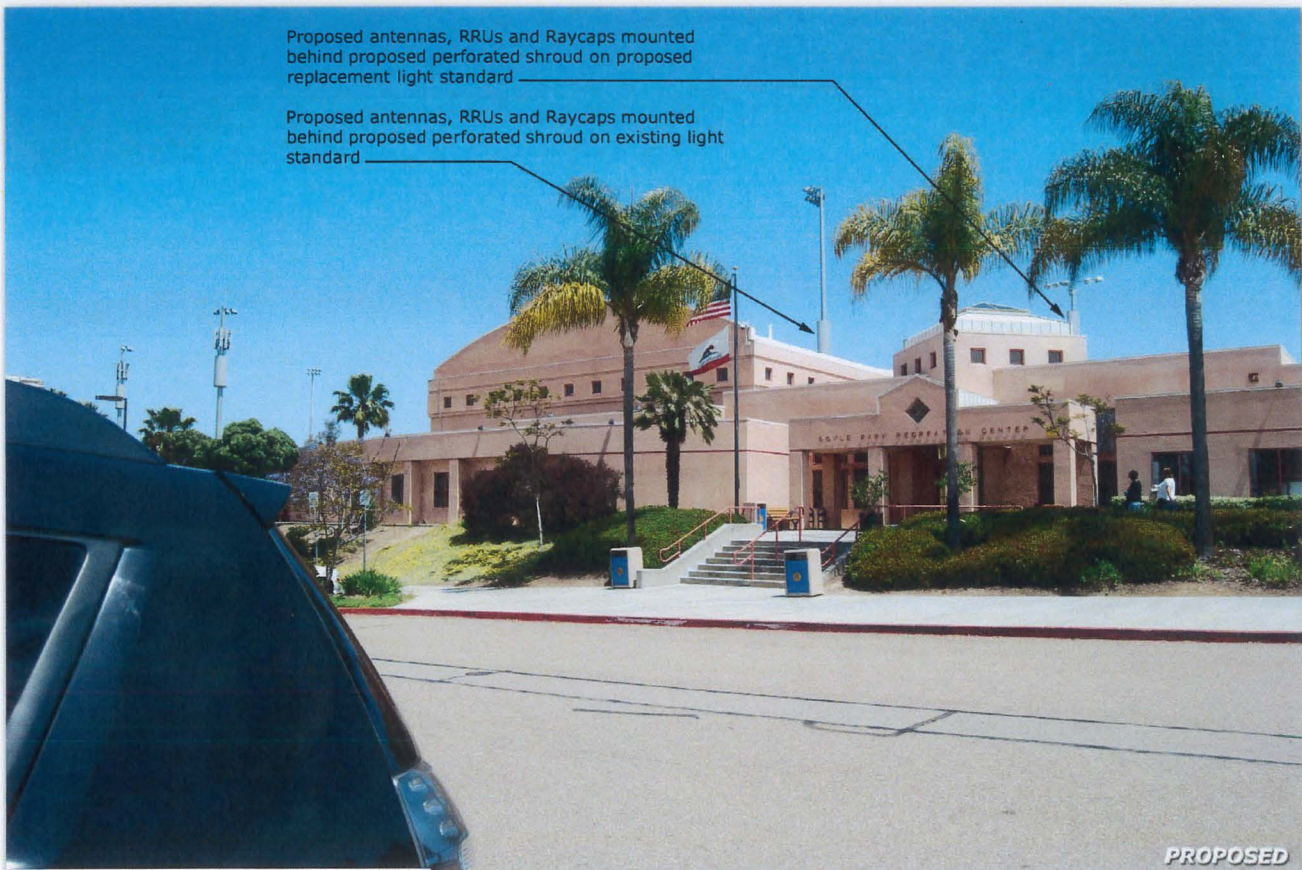
PROPOSED

EXISTING



Proposed antennas, RRUs and Raycaps mounted behind proposed perforated shroud on proposed replacement light standard

Proposed antennas, RRUs and Raycaps mounted behind proposed perforated shroud on existing light standard



PROPOSED

EXISTING

South Doyle
8175 Regents Rd.
San Diego, CA 92122

verizon



PROPOSED

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings.
6/4/2018

Photosimulation of proposed telecommunications site

SOUTH DOYLE

MCE

DISCLAIMER

PROJECT TEAM

SITE ACQUISITION

PLANNING

ARCHITECT:

SURVEYOR:

UTILITY COORDINATOR:

PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- ## PROJECT SUMMARY

APPLICANT/LESSEE:

ASSESSOR'S PARCEL NUMBER:

APN: 345-072-28

APPLICANT'S REPRESENTATIVE:

PROPERTY OWNER:

PROPERTY INFORMATION:

CONSTRUCTION INFORMATION:

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

CODE COMPLIANCE

- | SHEET | DESCRIPTION | REV |
|-------|---|-----|
| T-1 | TITLE SHEET | P10 |
| T-2 | FORMS I-4 AND I-5 | P10 |
| LS-1 | TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY) | P10 |
| LS-2 | TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY) | P10 |
| A-0 | SITE PLAN | P10 |
| A-1 | ENLARGED SITE PLAN | P10 |
| A-1.1 | EQUIPMENT PLAN | P10 |
| A-1.2 | ANTENNA PLANS AND SCHEDULE SPECS | P10 |
| A-1.3 | ANTENNA PLAN AND ELEVATION COMPARISON | P10 |
| A-2 | ELEVATIONS | P10 |
| A-2.1 | ELEVATIONS | P10 |
| A-2.2 | EQUIPMENT ENCLOSURE ELEVATIONS | P10 |
| A-2.3 | EQUIPMENT ENCLOSURE ELEVATIONS | P10 |
| A-3 | DETAILS | P10 |
| L-1 | IRRIGATION PLAN | P10 |
| L-2 | IRRIGATION DETAILS | P10 |
| L-3 | PLANTING PLAN | P10 |
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| | | |
| | | |
- ZONING DRAWINGS**

ZONING DRAWINGS



ISSUE STATUS



Jeffrey Rome |
ASSOCIATES

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF
DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO
VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES
TO VERIZON WIRELESS IS STRICTLY PROHIBITED



IRVINE, CA 92618



SOUTH DOYLE

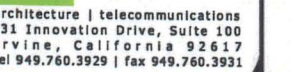
8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:

TITLE SHEET

T-1

REV.	DATE	DESCRIPTION	BY
P3	09/17/15	100% ZONING	AZ
P4	11/03/15	100% ZONING	AZ
P5	11/18/15	100% ZONING	AZ
P6	12/22/15	UTILITY COMMENTS	AZ
P7	04/13/16	SA COMMENTS	JM
P8	05/03/16	LANDSCAPING	JM
P9	02/09/17	DARK FIBER ADD.	IB
P10	02/09/17	UC COMMENTS	IB
P11	08/30/18	PLANNING COMMENTS	AM



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verizon[✓]

15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618



SOUTH DOYLE
8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:
RMS 1-4 & 1-5

T-2

[illegible]

<p>Notes: All development projects must implement the design, BMPs, and Erosion, Sediment, and Stormwater Management Practices listed in Chapter 4 and Appendix B of the SDC Design Manual for information on implementing BMPs shown in this checklist.</p> <p>Notes: All relevant BMPs must be shown on the construction plans.</p> <p>See Design Requirement</p> <p>Applic. Y</p>	
SD-1 Maintain Natural Drainage Patterns and Hydrologic Function	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-2 Minimize Natural Areas, Rills, and Vegetation	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-3 Minimize Impervious Area	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-4 Minimize Soil Compaction	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-5 Impervious Area Reduction	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-6 Stormwater Management	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-7 Landscaping with Native or Drought-Tolerant Species	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
SD-8 Fertilizing and Using Pesticides	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
<p>Discussion / Justification for all "No" answers shown above:</p> <p>Click on the link below to enter text.</p>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

14 Answer the each source stated and the design strategy shall be presented in the following

- a) **362** means the BMP is not suitable for the project because the BMP is described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discontinue / justification is required
- b) **362** means the BMP is applicable to the project, but it is not feasible to implement. Discontinue / justification must be provided.
- c) **362** means the BMP is not suitable as the project has features that preclude the BMP. Discontinue / justification must be provided.

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tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR
verizon wireless
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F.	
ZONING	
CONSTRUCTION	
SITE ACQUISITION	
OWNER APPROVAL	

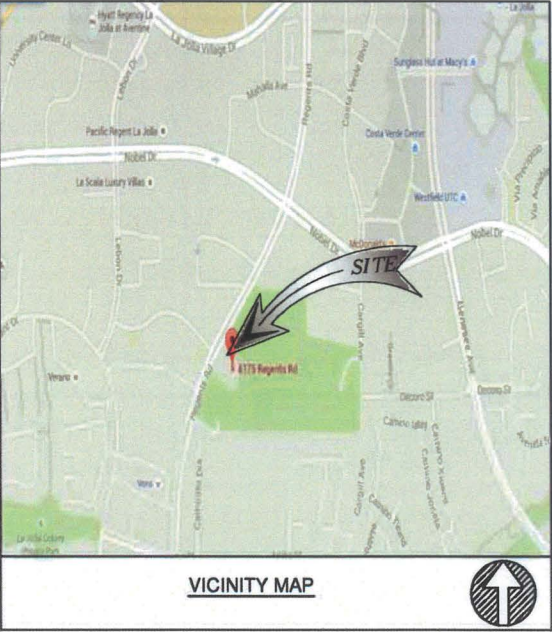
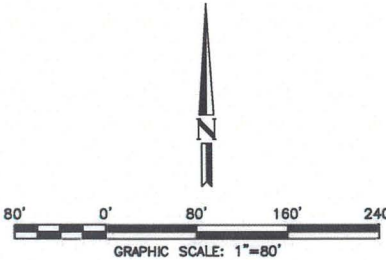
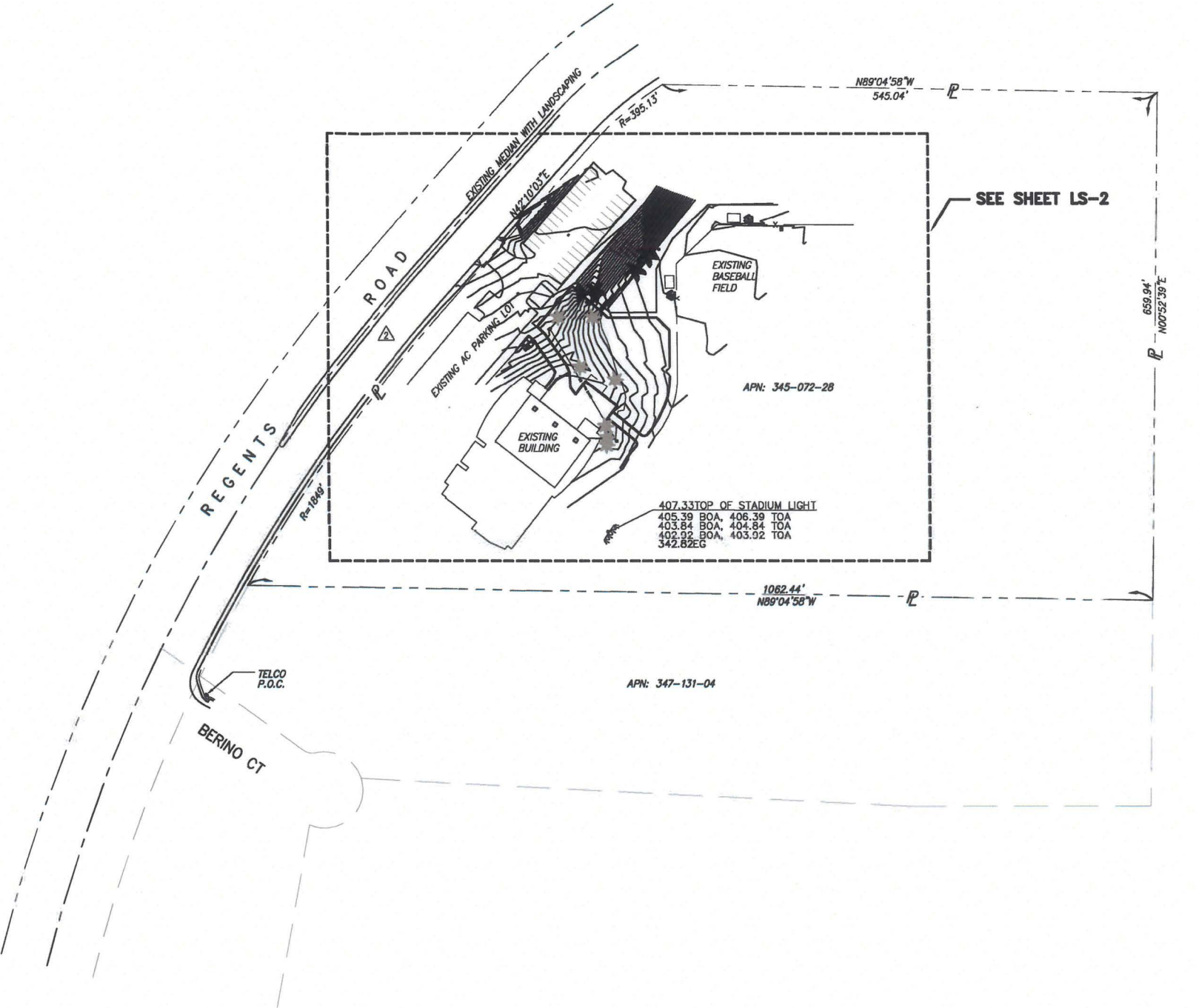
SITE NAME
SOUTH DOYLE

8175 REGENTS ROAD
SAN DIEGO, CA 92122

DRAWING DATES
06/21/15 PRELIMINARY SURVEY
05/08/18 FINAL SURVEY

SHEET TITLE
LS-1

BOUNDARY DETAIL



LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
THE SOUTH 20 ACRES OF THE EAST HALF OF PUEBLO LOT 1301 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AND KNOWN AS MISCELLANEOUS MAP 36, THE NORTHERLY LINE OF SAID SOUTHERLY 20 ACRES BEING PARALLEL WITH THE SOUTHERLY LINE OF SAID PUEBLO LOT 1301.

EXCEPTING THAT PORTION OF SAID SOUTH 20 ACRES LYING WESTERLY OF THE EASTERLY LINE OF REGENTS ROAD DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF SAID PUEBLO LOT 1301 DISTANT NORTH 89° 04' 58" WEST 1,078.03 FEET FROM THE SOUTHEAST CORNER OF SAID PUEBLO LOT, BEING A POINT IN THE ARC OF A 1,849-FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, A RADIAL BEARS NORTH 59° 32' 10" WEST TO SAID POINT;
THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 10° 49' 30" A DISTANCE OF 349.34 FEET;
THENCE TANGENT TO SAID CURVE NORTH 41° 17' 20" EAST 404.01 FEET;
THENCE NORTH 41° 28' 17" EAST 87.18 FEET TO THE NORTHERLY LINE OF SAID SOUTH 20 ACRES.

SITE ADDRESS

8175 REGENTS ROAD, SAN DIEGO, CA 92122

APN

345-072-28

RECORD OWNER

THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION

TITLE REPORT

A PRELIMINARY TITLE REPORT WAS PREPARED BY COMMONWEALTH LAND TITLE COMPANY FILE NO. 08025735 DATED JUNE 17, 2015.

SCHEDULE B EXCEPTION

ITEMS A-C ARE TAXES & LIENS RELATED
ITEM 1 IS WATER RIGHTS RELATED
ITEMS 4, 5 & 6 ARE MATTER RELATED

AN EASEMENT IN FAVOR OF THE PUBLIC OVER ANY EXISTING ROADS LYING WITHIN SAID LAND.
DOES NOT AFFECT VERIZON LEASE PREMISES

A RECORD OF SURVEY MAP PURPORTING TO SHOW VARIOUS BOUNDARIES AND DIMENSIONS OF SAID LAND.
MAP NO.: 6615

THERE ARE NO ISSUES EXIST THAT MAY INTERFERE WITH VZW'S PROPOSED USE OF THE PREMISES.

BASIS OF BEARING

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 6.

BENCH MARK

THE SPATIAL REFERENCE CENTER CRTN "SIO5", ELEVATION = 327.35 FEET (NAVD 88)

FLOOD ZONE

SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. NO. 06073C1601G EFFECTIVE DATE MAY 16, 2012.

VERIZON LEASE PREMISES TO BE DETERMINED

Jeffrey Rome | ASSOCIATES
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Irvine, California 92617
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PREPARED FOR

verizon wireless
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____
ZONING _____
CONSTRUCTION _____
SITE ACQUISITION _____
OWNER APPROVAL _____

SITE NAME
SOUTH DOYLE

8175 REGENTS ROAD
SAN DIEGO, CA 92122

DRAWING DATES
06/21/15 PRELIMINARY SURVEY
05/08/18 FINAL SURVEY

SHEET TITLE

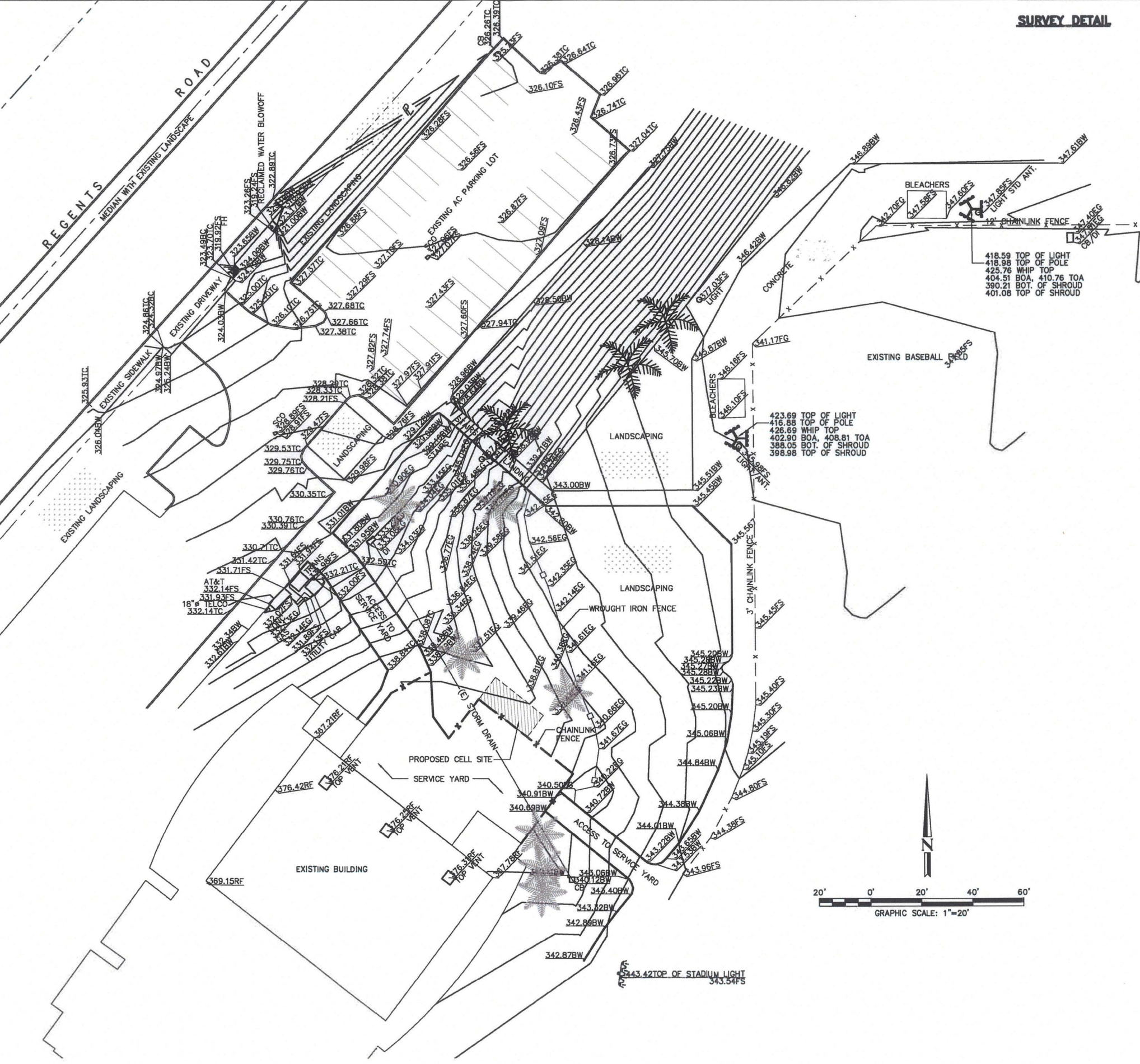
LS-2

LEGEND

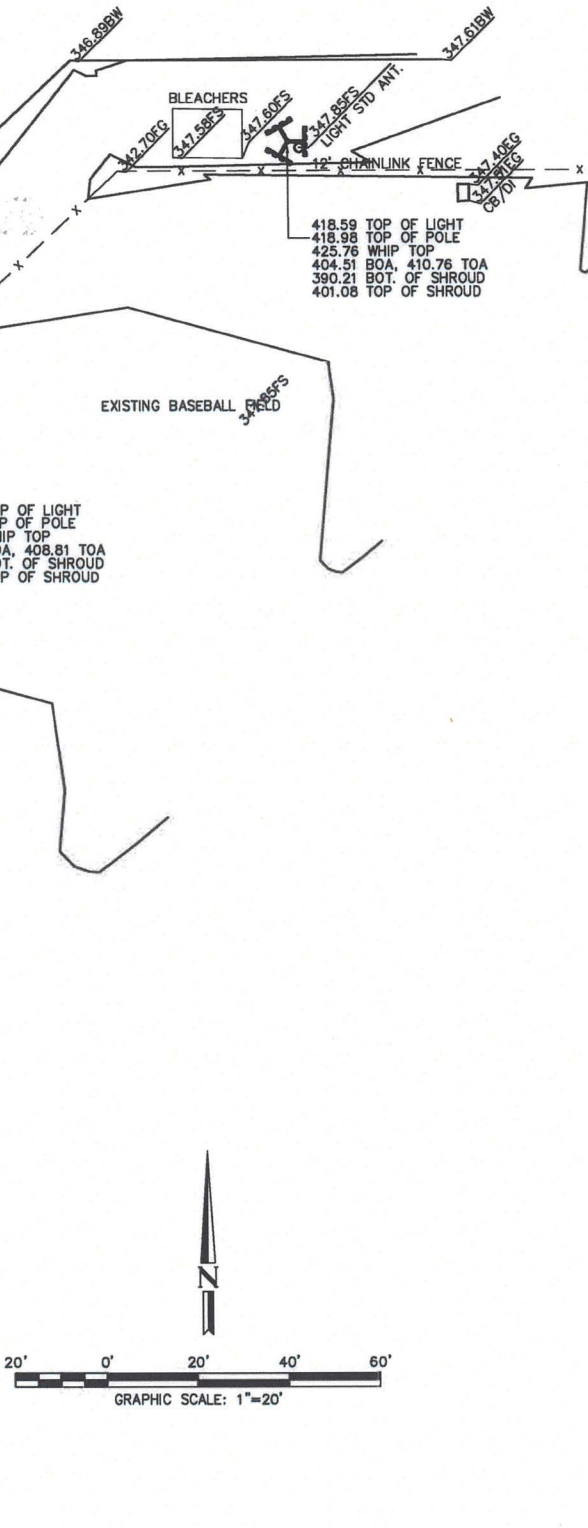
- CENTER LINE
- - - - - PROPERTY LINE
- x - x - x - CHAIN-LINK FENCE
- - - - - WOOD FENCE
- - - - - EASEMENT LINE
- - - - - GAS LINE
- - - - - SEWER LINE
- - - - - WATER LINE
- - - - - TELEPHONE CABLE
- - - - - WOOD WALL
- - - - - CMU WALL
- - - - - EDGE OF PAV'T
- - - - - EXISTING GROUND
- - - - - FOUND
- - - - - GUY WIRE ANCHOR
- - - - - EDGE OF PAVEMENT
- - - - - FLOW LINE
- - - - - FINISH SURFACE
- - - - - HEIGHT
- - - - - NATURAL GRADE
- - - - - ROOF GRADE
- - - - - RAISED PLATFORM
- - - - - MAIL BOX
- - - - - PROPERTY LINE
- - - - - POWER POLE
- - - - - PULL BOX
- - - - - SANITARY SEWAGE CLEANOUT
- - - - - STREET SIGN/STOP SIGN
- - - - - STORM DRAIN MAN HOLE
- - - - - SIGN
- - - - - TOP OF CURB
- - - - - TOP OF WALL
- - - - - TOP OF ANTENNA
- - - - - UNDERGROUND ACCESS
- - - - - BACK FLOW PREVENTER
- - - - - WATER METER
- - - - - WATER VALVE
- - - - - EXISTING LIGHT
- - - - - EXISTING ELECTRICAL MH
- - - - - EXISTING POLE
- - - - - EXISTING STREET LIGHT
- - - - - EXISTING SATELLITE DISH
- - - - - EXISTING CONDENSER
- - - - - ROOF DRAIN
- - - - - EXISTING TELE. MANHOLE
- - - - - EXISTING WATER METER
- - - - - EXISTING BACKFLOW PREVENTER
- - - - - EXISTING SIGN
- - - - - EXISTING TRAFFIC SIGNAL
- - - - - EXISTING ANTENNA
- - - - - EXISTING MICROWAVE DISH
- - - - - EXISTING SEWER MANHOLE
- - - - - POWER POLE
- - - - - GUY WIRE ANCHOR
- - - - - CATCH BASIN
- - - - - FIRE HYDRANT
- - - - - VALVE (UTILITY)
- - - - - TREE
- - - - - PINE TREE
- - - - - BUSH
- - - - - PALM TREE
- - - - - EXISTING CONCRETE
- - - - - EXISTING GRASS/TURF

MONUMENTS

MONUMENT FD.
(AS NOTED)



SURVEY DETAIL



KEYNOTES

- | | | | | |
|--|---|--|--|--|
| 1 PROPOSED VZW 10'-8" X 24'-0" X 8'-0" HIGH CMU BLOCK ENCLOSURE / STORAGE BIN; SEE SHEETS A-2.2 AND A-2.3. | 7 EXISTING LIGHT POLE TO BE REMOVED, EXISTING CAISSON TO BE REMOVED, RETURN POLE TO CITY OF SAN DIEGO AND PATCH CONCRETE. | 10 EXISTING VOLLEYBALL COURT. | 17 PROPOSED VZW ELECTRICAL 200A METER MOUNTED TO BACK OF EXISTING SWITCHGEAR. | 21 EXISTING INGRESS/EGRESS & PROPOSED VZW 12'-0" WIDE ACCESS PATH. |
| 1A PROPOSED VZW EQUIPMENT AND ANTENNA AREA; SEE SHEET A-1. | 7A PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"), 3 ANTENNAS PER POLE (6 TOTAL). | 11 EXISTING STORM DRAIN. | 18 PROPOSED VZW POWER TRENCH; APPROXIMATELY 105 LINEAR FEET. | 22 EXISTING CHAIN LINK FENCE. |
| 2 EXISTING BASEBALL FIELD. | 7B PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED VZW PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LED LIGHT STANDARD WITH SPORTS LIGHTS TO MATCH THOSE INSTALLED IN NORTHERN FIELD BY AT&T. (POLE "B"), 3 ANTENNAS PER POLE (6 TOTAL). SEE GENERAL NOTE "R" ON THIS DRAWING. | 12 PROPOSED VZW 17"x30" FIBER HAND HOLE AT PROPERTY LINE. | 19 PROPOSED VZW COAX CABLE TRENCH FROM PROPOSED ENCLOSURE TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"); APPROXIMATELY 160 LINEAR FEET. | 23 EXISTING AT&T EQUIPMENT SHELTER. |
| 3 EXISTING RECREATION CENTER. | | 13 PROPOSED VZW FIBER TRENCH WITH 4" CONDUIT; APPROXIMATELY 210 LINEAR FEET. | 20 PROPOSED VZW COAX CABLE TRENCH FROM PROPOSED ENCLOSURE TO EXISTING 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B"); APPROXIMATELY 235 LINEAR FEET. | 24 EXISTING SPRINT EQUIPMENT SHELTER. |
| 4 EXISTING BASKETBALL COURT, TYP. | 8 EXISTING TREE, TYP. | 14 EXISTING SIDEWALK. | | |
| 5 EXISTING PARKING LOT, NO PARKING SPACES WILL BE LOST. | 9 EXISTING PROPERTY LINE. | 15 EXISTING AT&T ANTENNAS ON EXISTING LIGHT STANDARD. | | |
| 6 EXISTING RESIDENTIAL AREA, TYP. | | 16 EXISTING SWITCHGEAR AND PROPOSED VZW POWER SOURCE. | | |

GENERAL NOTES

- A. SETBACKS: N/A
(ALL PER CODE, TABLE 131-02C OF CITY CODE).
- B. EASEMENTS:
SEE SHEETS LS-1 & LS-2.
- C. FREQUENCY:
OPERATING FREQUENCIES: TBD.
- D. TOTAL IMPERVIOUS AREA BEFORE CONSTRUCTION: 129,126 SQ. FT.
TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION: 130,126 SQ. FT.
- E. TOTAL AREA DISTURBED: EQUIPMENT ENCLOSURE: 256 SQ. FT.
UTILITY TRENCHING (DIRECTIONAL BORING): 0 SQ. FT.
- F. PROPOSED EQUIPMENT AREA: 256 SQ. FT.
PROPOSED ANTENNAS AREA AT EXISTING LIGHT STANDARD "A": 20 SQ. FT.
PROPOSED ANTENNAS AREA AT PROPOSED LIGHT STANDARD "B": 20 SQ. FT.
TOTAL PROPOSED VZW LEASE AREA: 296 SQ. FT.
- G. A/C UNIT MANUFACTURER: N/A
- H. GENERATOR MANUFACTURER: N/A
- I. SITE CONTRACTOR TO CALL DIG ALERT (1-800-227-2600) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- J. EXISTING LANDSCAPE: TREES AND BUSHES.
- K. THE APPLICANT SHALL OBTAIN A NON-EXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE REGENTS ROAD'S RIGHT-OF-WAY ADJACENT TO PROJECT SITE.
- L. THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE REGENTS ROAD'S RIGHT-OF-WAY ADJACENT TO PROJECT SITE.
- M. SAN DIEGO MUNICIPAL CODE SECTION 142.0607 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES REQUIRES WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER/PERMITEE SHALL, AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.
- N. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- O. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- P. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- Q. THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT, AS SHOWN ON THE SITE PLAN, IS SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- R. PROVIDE MUSCO LED SPORTS FIELD LIGHTS WITH 25-YEAR WARRANTY ON THE NEW POLE AS WELL AS THE EXISTING POLE LOCATED TO THE SOUTH. COORDINATE WITH MUSCO AND SPRINT REPRESENTATIVES FOR THE PROPER RE-LIGHTING OF THE SOUTHWEST FIELD.

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007 (<http://www.sdrwqcb.com/WATERSHEDS/PROGRAMS/STORMWATER/CONSTRUCTION.SHTML>) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE <http://docs.sandiego.gov/municode/municodechapter14/ch14art02division02.pdf> AND STORM WATER MANUAL <http://www.sandiego.gov/development-services/pdf/proposeds/stormwatermanual.pdf>

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

GRADING TABLE:

EQUIPMENT AREA
CUT: 7.50 C.Y.
EXPORT: 7.50 C.Y.
DEPTH OF FOOTING: 3'-0"

(1) LIGHT STANDARD AREA
CUT 8.60 C.Y.
EXPORT: 8.60 C.Y.
FOOTING DEPTH: 18'-6"

COAX CABLES
DIRECTIONAL BORING
EXPORT: 0.00 C.Y.
DEPTH: 3'-0"

UTILITY CONDUITS
DIRECTIONAL BORING
EXPORT: 0.00 C.Y.
DEPTH: 3'-0"

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P3	09/17/15	100% ZONING	AZ
P4	11/03/15	100% ZONING	AZ
P5	11/18/15	100% ZONING	AZ
P6	12/22/15	UTILITY COMMENTS	AZ
P7	04/13/16	SA COMMENTS	JM
P8	05/03/16	LANDSCAPING	JM
P9	02/09/17	DARK FIBER ADD.	IB
P10	02/09/17	UC COMMENTS	IB
P11	08/30/18	PLANNING COMMENTS	AM

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verizon

15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618



SOUTH DOYLE

8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:

SITE PLAN

A-0

SITE PLAN

SCALE:

1"=80'

0 40' 80'

1

KEYNOTES

- 1

PROPOSED VZW B'-0" HIGH CMU BLOCK WALL ENCLOSURE; SEE DETAIL 1/A-1.1.
- 2

EXISTING INGRESS/EGRESS & PROPOSED VZW 12'-0" WIDE ACCESS PATH.
- 3

EXISTING RECREATION CENTER.
- 4

PROPOSED VZW COAX CABLE TRENCH (DIRECTIONAL BORE) FROM PROPOSED ENCLOSURE TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"); APPROXIMATELY 160 LINEAR FEET.
- 4A

PROPOSED VZW COAX CABLE TRENCH (DIRECTIONAL BORE) FROM PROPOSED ENCLOSURE TO EXISTING 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B"); APPROXIMATELY 235 LINEAR FEET.
- 5

EXISTING PARKING LOT.
- 6

EXISTING CHAIN LINK FENCE.
- 7

EXISTING LIGHT POLE AND CONCRETE FOUNDATION TO BE REMOVED. RETURN POLE TO CITY OF SAN DIEGO.
- 7A

PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"), 3 ANTENNAS PER POLE (6 TOTAL).
- 7B

PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED VZW PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B") WITH SPORTS LIGHTS TO MATCH THOSE INSTALLED IN NORTHERN FIELD BY AT&T; 3 ANTENNAS PER POLE (6 TOTAL).
- 8

EXISTING TREE, TYP.
- 9

EXISTING PROPERTY LINE.
- 10

PROPOSED VZW POWER TRENCH (DIRECTIONAL BORE); APPROXIMATELY 105 LINEAR FEET.
- 11

EXISTING STORM DRAIN.
- 12

PROPOSED VZW ELECTRICAL 200A METER MOUNTED TO BACK OF EXISTING SWITCHGEAR.
- 13

EXISTING METER.
- 14

EXISTING SIDEWALK.
- 15

EXISTING AT&T ANTENNAS ON EXISTING LIGHT STANDARD.
- 16

PROPOSED VZW 17"x30" FIBER MMP HAND HOLE AT PROPERTY LINE.
- 16A

PROPOSED VZW FIBER TRENCH (DIRECTIONAL BORE) WITH 4"x6" CONDUIT; APPROXIMATELY 210 LINEAR FEET.
- 17

EXISTING BLEACHERS.
- 18

PROPOSED LANDSCAPING AT PROPOSED ENCLOSURE; SEE LANDSCAPE DRAWINGS.

Lessee's Certificate
Standard Wireless Facility Project
for Post Construction BMPs

I/we the undersigned as Lessee(s) of the property described as

8175 REGENTS ROAD SAN DIEGO, CALIFORNIA 92122
(Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed land use are as follows:

Sediments
Nutrients
Trash & debris
Oxygen Demanding Substance
Oil & Grease
Bacteria & Viruses
Pesticides

I/We will incorporate the following into the site design -

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shutoff devices and flow reducers

I/we will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee Andrey Matekin Company Name Verizon Wireless
Date 7/25/14

GRADING TABLE:

EQUIPMENT AREA
CUT: 7.50 C.Y.
EXPORT: 7.50 C.Y.
DEPTH OF FOOTING: 3'-0"

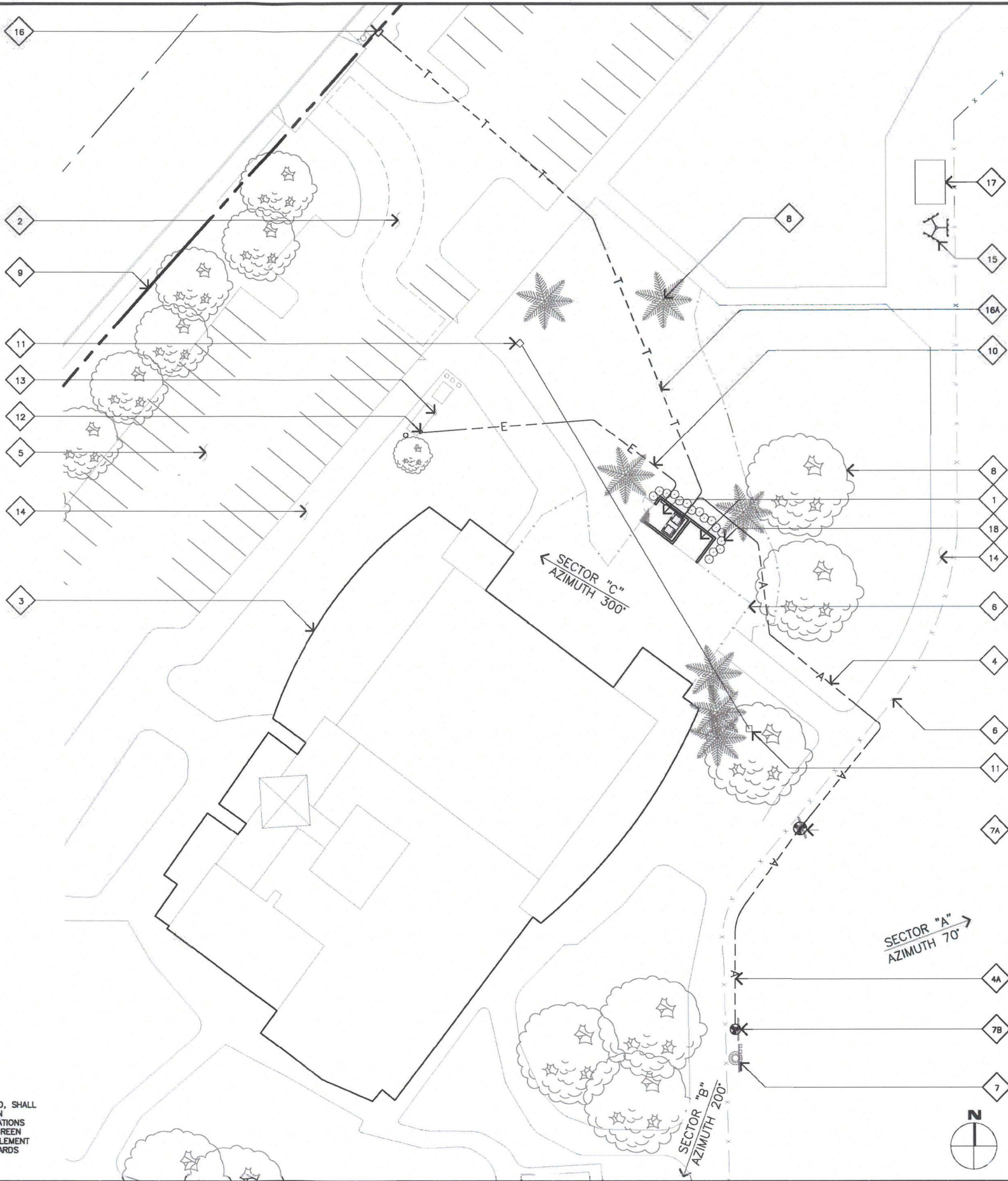
(1) LIGHT STANDARD AREA
CUT 8.60 C.Y.
EXPORT: 8.60 C.Y.
FOOTING DEPTH: 18'-6"

COAX CABLES
DIRECTIONAL BORING
EXPORT: 0.00 C.Y.
DEPTH: 3'-0"

UTILITY CONDUITS
DIRECTIONAL BORING
EXPORT: 0.00 C.Y.
DEPTH: 3'-0"

NOTE

ANY EXCAVATED MATERIAL THAT IS EXPORTED, SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREEN BOOK"), 2015 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.



SCALE:

1"=20'



1

ENLARGED SITE PLAN

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P3	08/17/15	100% ZONING	AZ
P4	11/03/15	100% ZONING	AZ
P5	11/18/15	100% ZONING	AZ
P6	12/22/15	UTILITY COMMENTS	AZ
P7	04/13/16	SA COMMENTS	JM
P8	05/03/16	LANDSCAPING	JM
P9	02/08/17	DARK FIBER ADD.	IB
P10	02/08/17	UC COMMENTS	IB
P11	08/30/18	PLANNING COMMENTS	AM

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SOUTH DOYLE

8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:

ENLARGED SITE PLAN

A-1

KEYNOTES

- 1

PROPOSED VZW 24'-0" X 10'-8" X 8'-0" HIGH CMU BLOCK ENCLOSURE/STORAGE BIN WITH STUCCO FINISH. SEE NOTE A.
- 2

PROPOSED VZW CONCRETE EQUIPMENT PAD.
- 3

PROPOSED VZW STEP-DOWN TRANSFORMER. (IF REQ'D)
- 3A

PROPOSED VZW POWER PANEL.
- 3B

PROPOSED VZW MISC. UTILITY BOXES. ALL PROPOSED UTILITY EQUIPMENT TO BE INSTALLED INSIDE VZW'S ENCLOSURE.
- 4

PROPOSED VZW FIBER TRENCH (DIRECTIONAL BORE). SEE SHEET A-1.
- 5

PROPOSED VZW POWER TRENCH (DIRECTIONAL BORE). SEE SHEET A-1.
- 6

PROPOSED VZW COAX TRENCH (DIRECTIONAL BORE). SEE SHEET A-1.
- 7

PROPOSED VZW HEAVY WOOD TIMBER TRELLIS ABOVE VZW EQUIPMENT ENCLOSURE.
- 7A

PROPOSED CHAIN LINK SECURITY TOPPER MOUNTED BELOW THE TOP THE CMU WALL.
- 8

PROPOSED VZW MCE CABINET MOUNTED ON PROPOSED CONCRETE PAD, TYP. OF (2).
- 9

PROPOSED VZW FIRE EXTINGUISHER.
- 10

PROPOSED VZW SOLID METAL ACCESS GATE.
- 11

PROPOSED CONDUIT STUB-UPS AT BASE OF CABINETS.
- 12

PROPOSED GRAVEL BASE THROUGHOUT VZW ENCLOSURE.
- 13

PROPOSED VZW GPS ANTENNA MOUNTED ABOVE PROPOSED TRELLIS.
- 14

PROPOSED CMU BLOCK STORAGE BIN FOR CITY OF SAN DIEGO USE. PAINT AND TEXTURE EXTERIOR TO MATCH EXISTING RECREATION BUILDING.
- 15

PROPOSED CONCRETE SLABTHROUGHOUT STORAGE BIN.
- 16

PROPOSED UNFINISHED CMU BLOCK ON INTERIOR FACE OF STORAGE BIN.

NOTES

- A. PAINT AND TEXTURE ENCLOSURE TO MATCH EXISTING RECREATION CENTER BUILDING.
- B. LANDSCAPING NOT SHOWN FOR CLARITY.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P3	08/17/15	100% ZONING	AZ
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SOUTH DOYLE

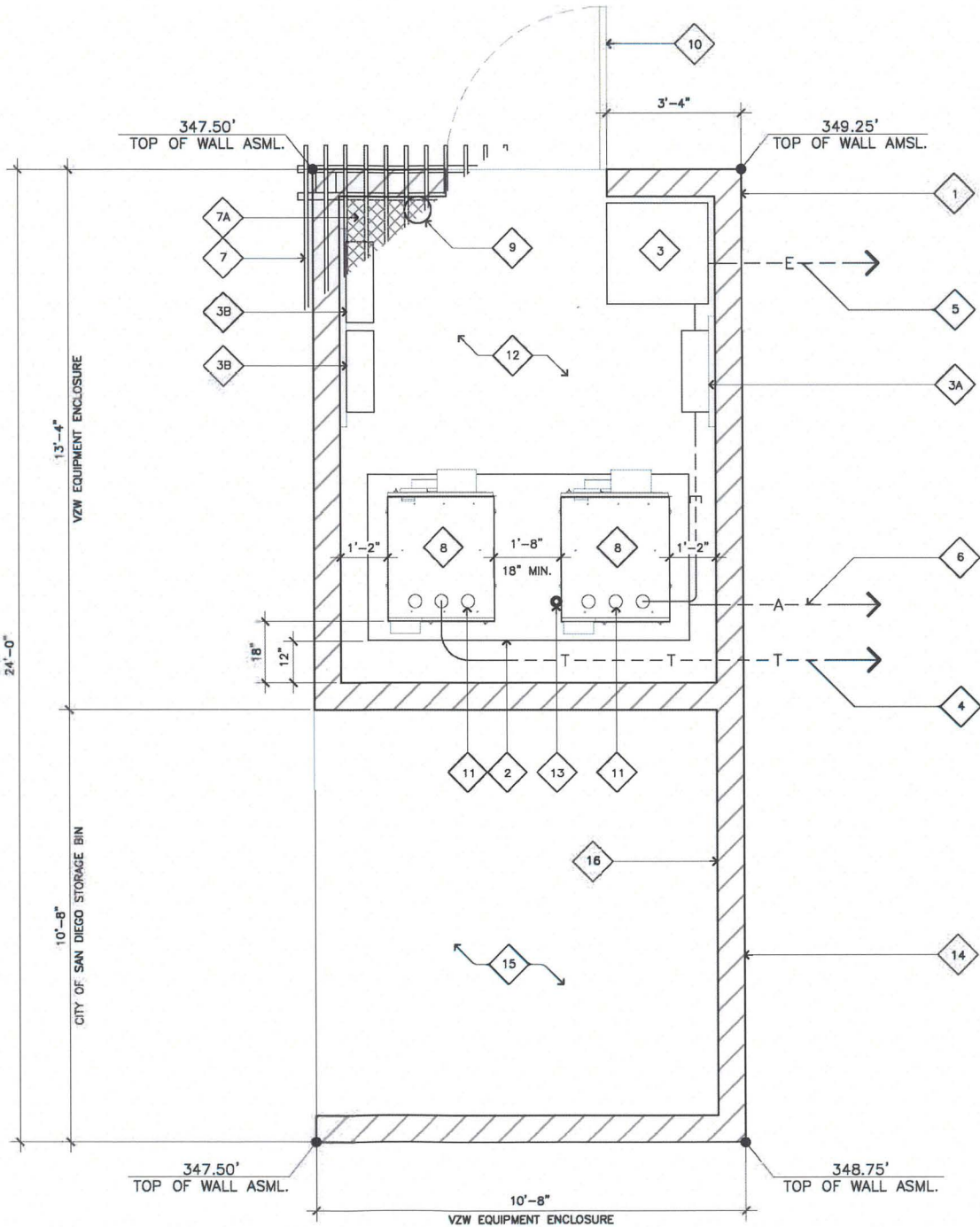
8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:

EQUIPMENT PLAN

A-1.1

EQUIPMENT PLAN



SCALE:

1/2"=1'-0"



1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE INFO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

JRA JOB NUMBER: 150618

ISSUE STATUS

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P4	11/03/15	100% ZONING	AZ
P5	11/18/15	100% ZONING	AZ
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P7	04/13/16	SA COMMENTS	JM
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P9	02/09/17	DARK FIBER ADD.	IB
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SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:
ANTENNA PLANS AND
SCHEDULE SPECS

A-1.2

JRA JOB NUMBER: 150618

FREQUENCY (MHZ)	698 - 2360
GAIN	18.3 dBd
HORIZONTAL BW(°)	58-69
VERTICAL BW(°)	4.5-12.1
POLARIZATION	SLANT ±45°
VSWR	≤1.5 14.0
SIZE:LXWXD(INCH/MM)	72.9X11.9X7.1/1851X301X181
CONNECTOR TYPE	6X7-16 DIN FEMALE
CONNECTOR LOCATION	BOTTOM

ANTENNAS					CABLES					
SECTOR	QUANTITY	AZIMUTH	PROPOSED ANTENNA SIZE	TOP OF ANTENNA	COAX POLE "A"	COAX POLE "B"	EST. LENGTH POLE "A"	EST. LENGTH POLE "B"	TX/RX	DNTLT.
ALPHA	2	70° DEGREES	6'-1"	55'	1-5/8" / HYBRID	1-5/8" / HYBRID	160'	235'	TBD	0° DEGREES
BETA	2	200° DEGREES	6'-1"	55'	1-5/8" / HYBRID	1-5/8" / HYBRID	160'	235'	TBD	0° DEGREES
GAMMA	2	300° DEGREES	6'-1"	55'	1-5/8" / HYBRID	1-5/8" / HYBRID	160'	235'	TBD	0° DEGREES

NOT USED

SCALE:

NONE

4

ANTENNA SCHEDULE SPECIFICATIONS

SCALE:

NONE

2

KEYNOTES

- 1

PROPOSED VZW ANTENNAS (3 PER POLE, 6 TOTAL).
- 2

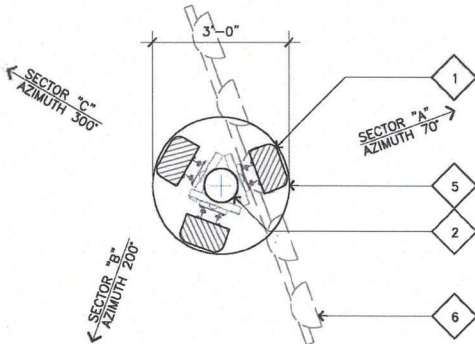
EXISTING VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 3

PROPOSED VZW RRU'S (6 PER POLE, 12 TOTAL).
- 4

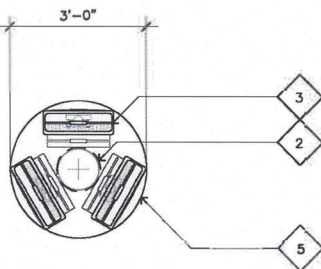
PROPOSED VZW RAYCAPS (3 PER POLE, 6 TOTAL).
- 5

PROPOSED 36"ø PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE; SEE A-1.3.
- 6

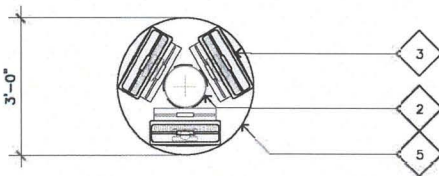
EXISTING SPORTS LIGHTS ABOVE.



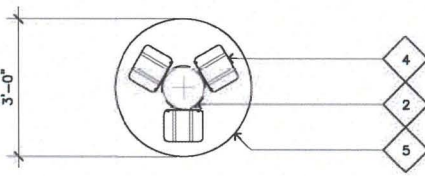
PROPOSED ANTENNA LAYOUT AT
POLE "A" AT ELEVATION 56'-6"



PROPOSED RRU'S LAYOUT AT
POLE "A" AT ELEVATION 51'-10"



PROPOSED RRU'S LAYOUT AT
POLE "A" AT ELEVATION 49'-0"



PROPOSED SURGE SUPPRESSORS LAYOUT
AT POLE "A" AT ELEVATION 46'-6"



KEYNOTES

- 1

PROPOSED VZW ANTENNAS (3 PER POLE, 6 TOTAL).
- 2

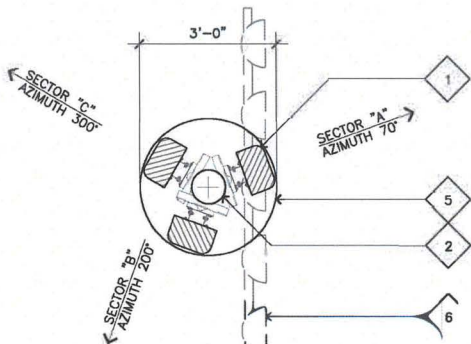
PROPOSED VZW 70'-0" HIGH MUSCO LIGHT STANDARD.
- 3

PROPOSED VZW RRU'S (6 PER POLE, 12 TOTAL).
- 4

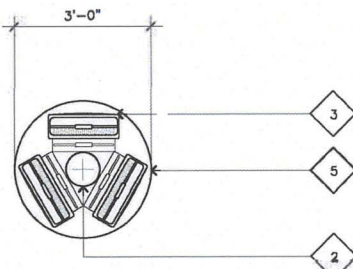
PROPOSED VZW RAYCAPS (3 PER POLE, 6 TOTAL).
- 5

PROPOSED 36"ø PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE; SEE A-1.3.
- 6

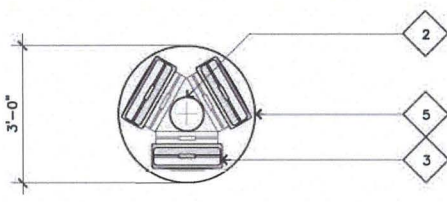
PROPOSED SPORTS LIGHTS ABOVE TO MATCH THOSE INSTALLED IN THE NORTHERN FIELD BY A&T.



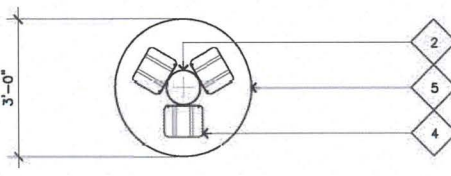
PROPOSED ANTENNA LAYOUT AT
POLE "B" AT ELEVATION 56'-6"



PROPOSED RRU'S LAYOUT AT
POLE "B" AT ELEVATION 51'-10"



PROPOSED RRU'S LAYOUT AT
POLE "B" AT ELEVATION 49'-0"



PROPOSED SURGE SUPPRESSORS LAYOUT
AT POLE "B" AT ELEVATION 46'-6"



ANTENNA PLANS - POLE "A"

SCALE:

1/2"=1'-0"



3

ANTENNA PLANS - POLE "B"

SCALE:

1/2"=1'-0"



1

KEYNOTES

- 1

PROPOSED VZW ANTENNAS, (1 PER SECTOR, 3 TOTAL PER POLE).
- 2

PROPOSED VZW 70'-0" HIGH MUSCO LIGHT STANDARD.
- 3

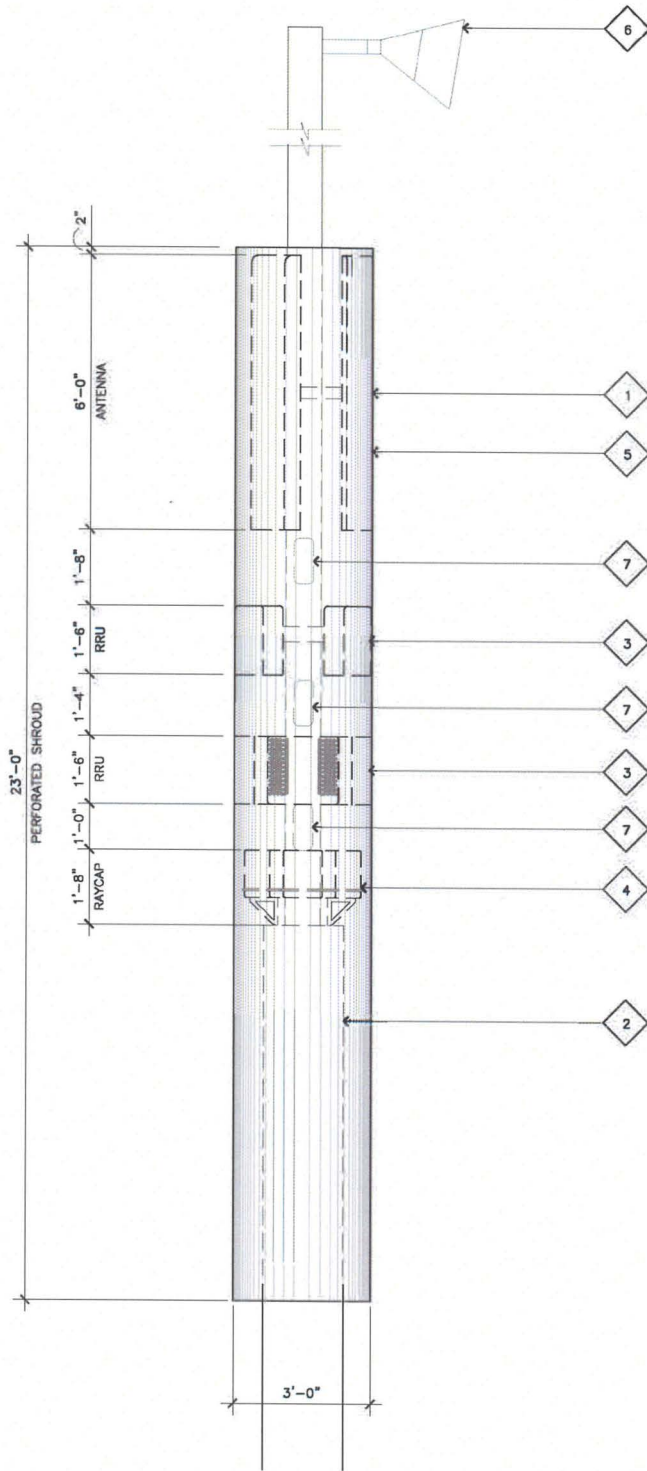
PROPOSED VZW RRU'S, STAGGERED (6 PER POLE) MOUNTED WITH PROPOSED UNISTRUTS.
- 4

PROPOSED VZW RAYCAPS, BELOW (3 PER POLE).
- 5

PROPOSED 36"Ø PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE.
- 6

PROPOSED SPORTS LIGHTS ABOVE TO MATCH THOSE INSTALLED IN THE NORTHERN FIELD BY AT&T.
- 7

PROPOSED HAND HOLES.



PROPOSED ANTENNA ELEVATIONS AT POLE "B"
(1) ANTENNA PER SECTOR WITH PERFORATED SHROUD

KEYNOTES

- 1

PROPOSED VZW ANTENNAS, (1 PER SECTOR, 3 TOTAL PER POLE).
- 2

EXISTING VZW 100'-0" HIGH MUSCO LIGHT STANDARD.
- 3

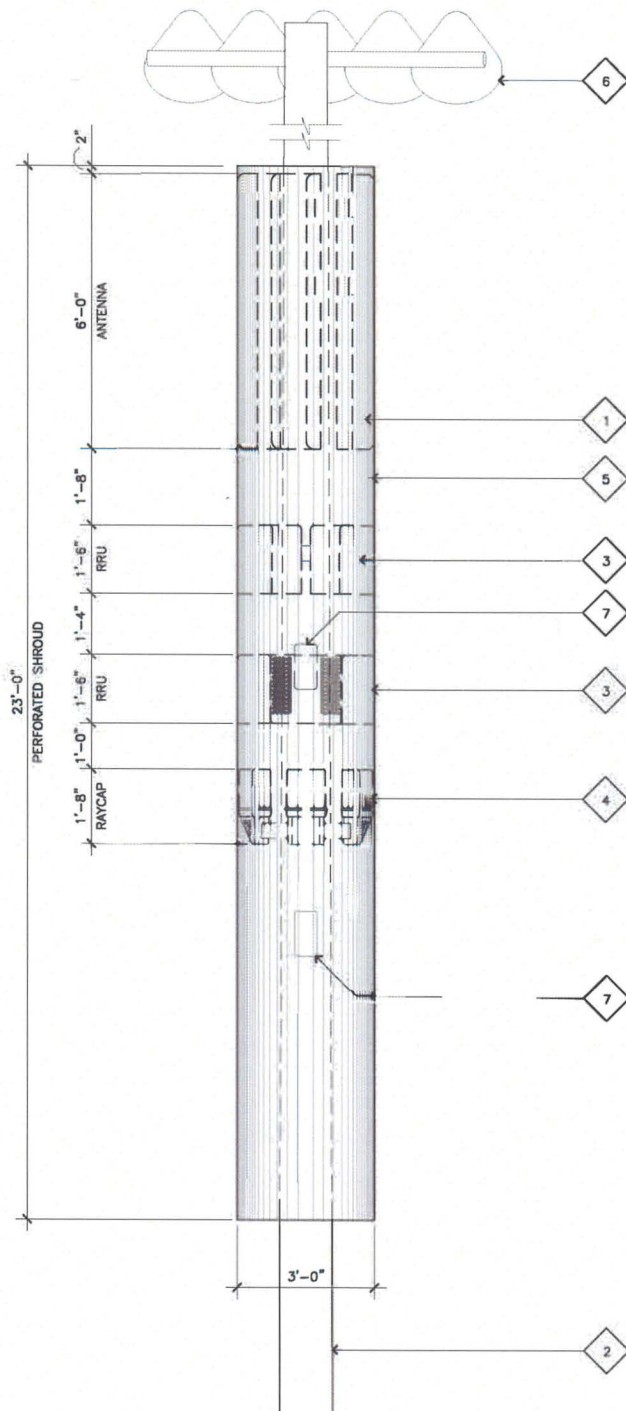
PROPOSED VZW RRU'S, STAGGERED (6 PER POLE) MOUNTED WITH PROPOSED UNISTRUTS.
- 4

PROPOSED VZW RAYCAPS (3 PER POLE).
- 5

PROPOSED 36"Ø PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE.
- 6

EXISTING SPORTS LIGHTS, ABOVE.
- 7

EXISTING HAND HOLES. EXACT LOCATION TO BE DETERMINED.



PROPOSED ANTENNA ELEVATIONS AT POLE "A"
(1) ANTENNA PER SECTOR WITH PERFORATED SHROUD

ISSUE STATUS

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P3	09/17/15	100% ZONING	AZ
P4	11/03/15	100% ZONING	AZ
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P8	05/03/16	LANDSCAPING	JM
P9	02/09/17	DARK FIBER ADD.	IB
P10	02/09/17	UC COMMENTS	IB
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SHEET TITLE:
ANTENNA PLAN AND
ELEVATION COMPARISON

A-1.3

PROPOSED POLE "B"

SCALE:
1/2"=1'-0"

2

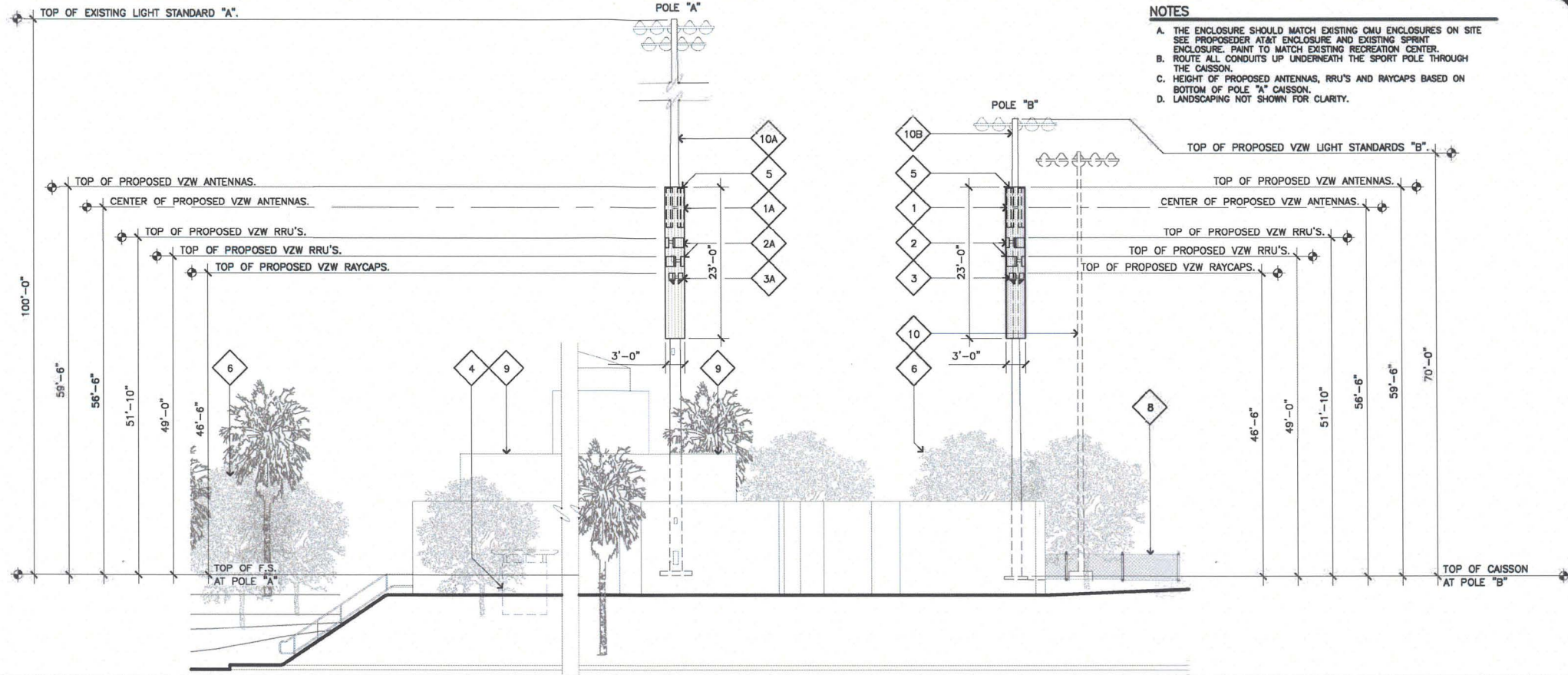
EXISTING POLE "A"

SCALE:
1/2"=1'-0"

1

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B"), 3 ANTENNAS PER POLE (6 TOTAL).
- 1A PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"), 3 ANTENNAS PER POLE (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 6 RRU'S PER POLE (12 TOTAL).
- 2A PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 6 RRU'S PER POLE (12 TOTAL).
- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 3 RAYCAPS PER POLE (6 TOTAL).
- 3A PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLES "A"), 3 RAYCAPS PER POLE (6 TOTAL).
- 4 PROPOSED VZW CMU BLOCK WALL ENCLOSURE (BEYOND) WITH HEAVY WOOD TIMBER TRELLIS ON TOP TO MATCH EXISTING OTHER CARRIER ENCLOSURES; SEE SHEET A-2.2 AND A-2.3.
- 5 PROPOSED 36" PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE; SEE A-1.3.
- 6 EXISTING TREE TO REMAIN, TYP.
- 7 NOT USED.
- 8 EXISTING CHAIN LINK FENCE.
- 9 EXISTING BUILDING.
- 10 EXISTING LIGHT POLE AND CONCRETE FOUNDATION TO BE REMOVED. RETURN POLE TO CITY OF SAN DIEGO.
- 10A EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10B PROPOSED VZW 70'-0" HIGH MUSCO LIGHT STANDARD WITH SPORTS LIGHTS TO MATCH THOSE INSTALLED IN THE NORTHERN FIELD BY AT&T.



NOTES

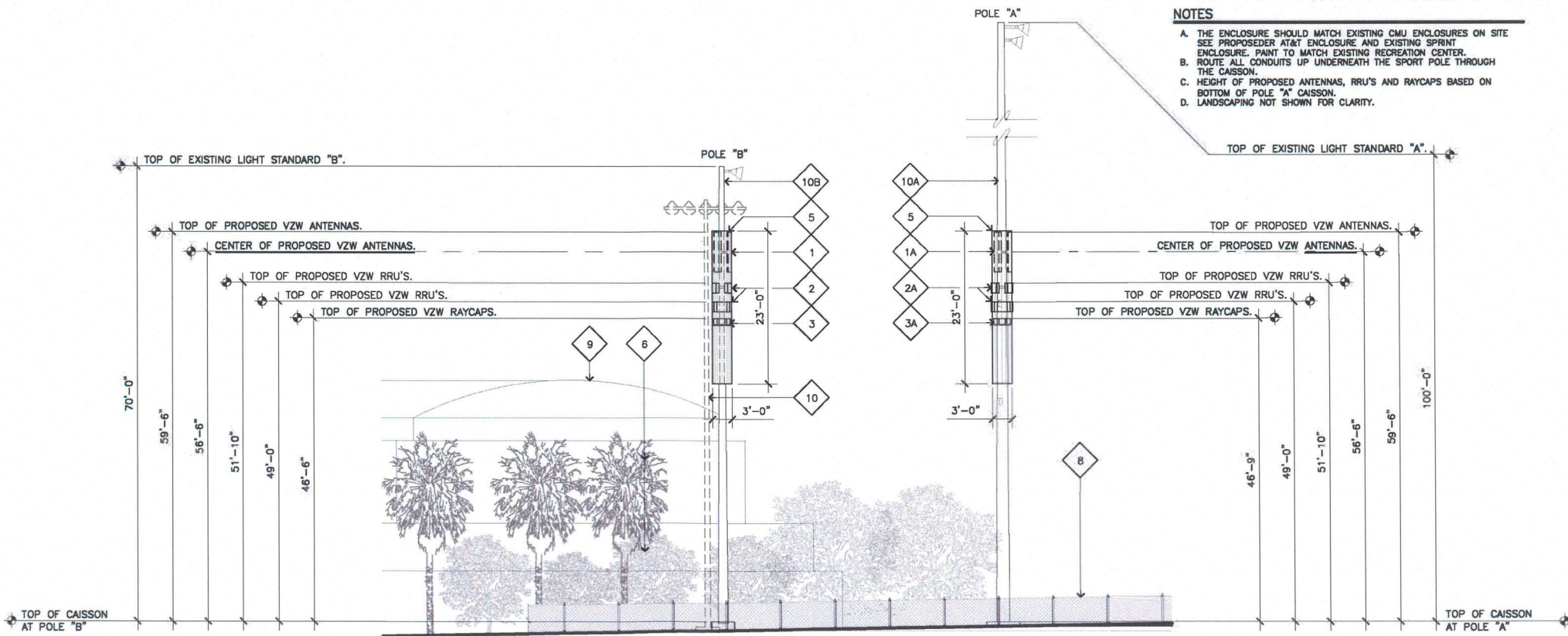
- A. THE ENCLOSURE SHOULD MATCH EXISTING CMU ENCLOSURES ON SITE. SEE PROPOSED AT&T ENCLOSURE AND EXISTING SPRINT ENCLOSURE. PAINT TO MATCH EXISTING RECREATION CENTER.
- B. ROUTE ALL CONDUITS UP UNDERNEATH THE SPORT POLE THROUGH THE CAISSON.
- C. HEIGHT OF PROPOSED ANTENNAS, RRU'S AND RAYCAPS BASED ON BOTTOM OF POLE "A" CAISSON.
- D. LANDSCAPING NOT SHOWN FOR CLARITY.

WEST ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12' 2

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B"), 3 ANTENNAS PER POLE (6 TOTAL).
- 1A PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"), 3 ANTENNAS PER POLE (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 6 RRU'S PER POLE (12 TOTAL).
- 2A PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 6 RRU'S PER POLE (12 TOTAL).
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- 4 NOT USED.
- 5 PROPOSED 36" PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE; SEE A-1.3.
- 6 EXISTING TREE TO REMAIN, TYP.
- 7 NOT USED.
- 8 EXISTING CHAIN LINK FENCE.
- 9 EXISTING BUILDING.
- 10 EXISTING LIGHT POLE AND CONCRETE FOUNDATION TO BE REMOVED. RETURN POLE TO CITY OF SAN DIEGO.
- 10A EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10B PROPOSED VZW 70'-0" HIGH MUSCO LIGHT STANDARD WITH SPORTS LIGHTS TO MATCH THOSE INSTALLED IN THE NORTHERN FIELD BY AT&T.



NOTES

- A. THE ENCLOSURE SHOULD MATCH EXISTING CMU ENCLOSURES ON SITE. SEE PROPOSED AT&T ENCLOSURE AND EXISTING SPRINT ENCLOSURE. PAINT TO MATCH EXISTING RECREATION CENTER.
- B. ROUTE ALL CONDUITS UP UNDERNEATH THE SPORT POLE THROUGH THE CAISSON.
- C. HEIGHT OF PROPOSED ANTENNAS, RRU'S AND RAYCAPS BASED ON BOTTOM OF POLE "A" CAISSON.
- D. LANDSCAPING NOT SHOWN FOR CLARITY.

SOUTH ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12' 1

ISSUE STATUS

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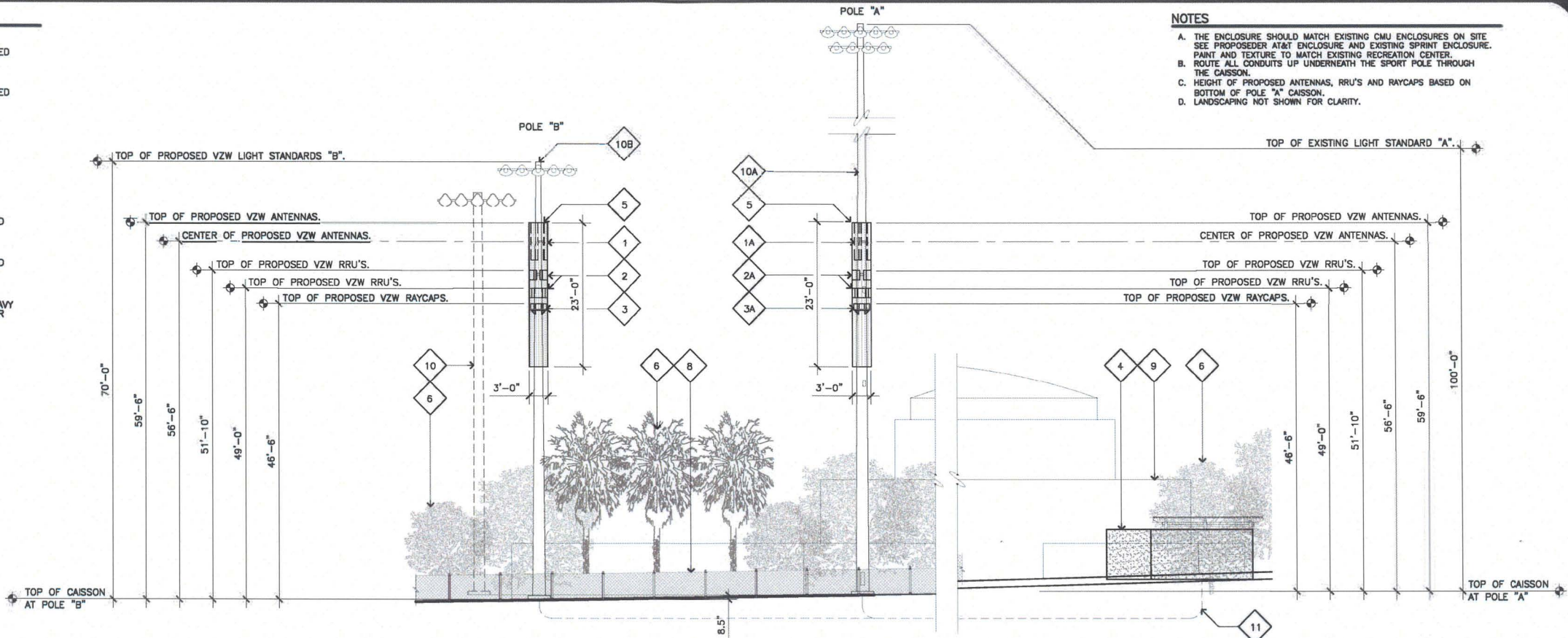
8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:
ELEVATIONS

A-2

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B"), 3 ANTENNAS PER POLE (6 TOTAL).
- 1A PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLE "A"), 3 ANTENNAS PER POLE (6 TOTAL).
- 2 PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 6 RRU'S PER POLE (12 TOTAL).
- 2A PROPOSED VZW RRU'S MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD (POLES "B"), 6 RRU'S PER POLE (12 TOTAL).
- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" MUSCO LIGHT STANDARD (POLES "B"), 3 RAYCAPS PER POLE (6 TOTAL).
- 3A PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" MUSCO LIGHT STANDARD (POLES "A"), 3 RAYCAPS PER POLE (6 TOTAL).
- 4 PROPOSED VZW CMU BLOCK WALL ENCLOSURE (BEYOND) WITH HEAVY WOOD TIMBER TRELLIS ON TOP TO MATCH EXISTING OTHER CARRIER ENCLOSURES; SEE SHEET A-2.2 AND A-2.3.
- 5 PROPOSED 36" PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE; SEE A-1.3.
- 6 EXISTING TREE TO REMAIN, TYP.
- 7 NOT USED.
- 8 EXISTING CHAIN LINK FENCE.
- 9 EXISTING BUILDING.
- 10 EXISTING LIGHT POLE AND CONCRETE FOUNDATION TO BE REMOVED. RETURN POLE TO CITY OF SAN DIEGO.
- 10A EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10B PROPOSED VZW 70'-0" HIGH MUSCO LIGHT STANDARD WITH SPORTS LIGHTS TO MATCH THOSE INSTALLED IN THE NORTHERN FIELD BY AT&T.
- 11 PROPOSED VZW HYBRID CABLES ROUTED IN UNDERGROUND CONDUITS INTO BASE OF PROPOSED POLE.



NOTES

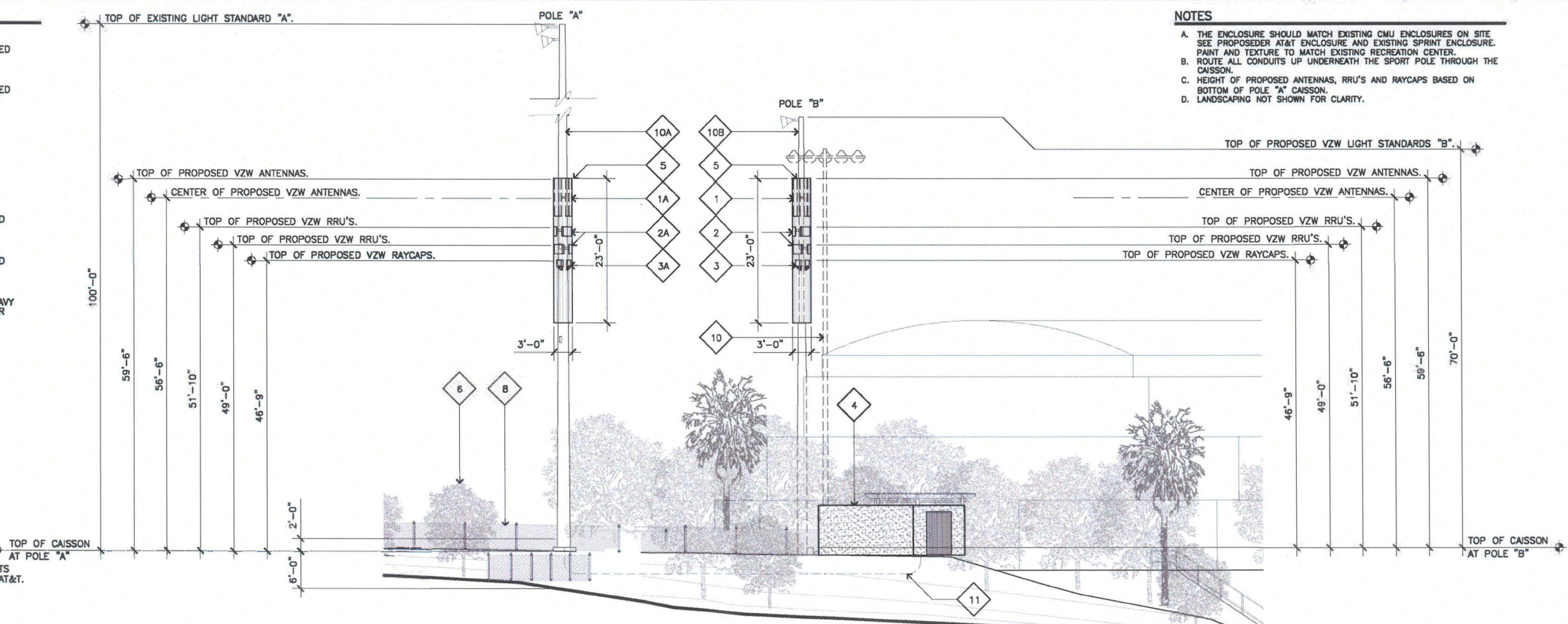
- A. THE ENCLOSURE SHOULD MATCH EXISTING CMU ENCLOSURES ON SITE. SEE PROPOSED AT&T ENCLOSURE AND EXISTING SPRINT ENCLOSURE. PAINT AND TEXTURE TO MATCH EXISTING RECREATION CENTER.
- B. ROUTE ALL CONDUITS UP UNDERNEATH THE SPORT POLE THROUGH THE CAISSON.
- C. HEIGHT OF PROPOSED ANTENNAS, RRU'S AND RAYCAPS BASED ON BOTTOM OF POLE "A" CAISSON.
- D. LANDSCAPING NOT SHOWN FOR CLARITY.

EAST ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12' 2

KEYNOTES

- 1 PROPOSED VZW ANTENNAS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" HIGH MUSCO LIGHT STANDARD (POLE "B"), 3 ANTENNAS PER POLE (6 TOTAL).
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- 3 PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO PROPOSED 70'-0" MUSCO LIGHT STANDARD (POLES "B"), 3 RAYCAPS PER POLE (6 TOTAL).
- 3A PROPOSED VZW RAYCAPS MOUNTED BEHIND PROPOSED PERFORATED SHROUD MOUNTED TO EXISTING 100'-0" MUSCO LIGHT STANDARD (POLES "A"), 3 RAYCAPS PER POLE (6 TOTAL).
- 4 PROPOSED VZW CMU BLOCK WALL ENCLOSURE (BEYOND) WITH HEAVY WOOD TIMBER TRELLIS ON TOP TO MATCH EXISTING OTHER CARRIER ENCLOSURES; SEE SHEET A-2.2 AND A-2.3.
- 5 PROPOSED 36" PERFORATED SHROUD, OPEN AT TOP WITH PERFORATED BOTTOM FOR DRAINAGE; SEE A-1.3.
- 6 EXISTING TREE TO REMAIN, TYP.
- 7 NOT USED.
- 8 EXISTING CHAIN LINK FENCE.
- 9 EXISTING BUILDING.
- 10 EXISTING LIGHT POLE AND CONCRETE FOUNDATION TO BE REMOVED. RETURN POLE TO CITY OF SAN DIEGO.
- 10A EXISTING 100'-0" HIGH MUSCO LIGHT STANDARD.
- 10B PROPOSED VZW 70'-0" HIGH MUSCO LIGHT STANDARD WITH SPORTS LIGHTS TO MATCH THOSE INSTALLED IN THE NORTHERN FIELD BY AT&T.
- 11 PROPOSED VZW HYBRID CABLES ROUTED IN UNDERGROUND CONDUITS INTO BASE OF PROPOSED POLE.



NOTES

- A. THE ENCLOSURE SHOULD MATCH EXISTING CMU ENCLOSURES ON SITE. SEE PROPOSED AT&T ENCLOSURE AND EXISTING SPRINT ENCLOSURE. PAINT AND TEXTURE TO MATCH EXISTING RECREATION CENTER.
- B. ROUTE ALL CONDUITS UP UNDERNEATH THE SPORT POLE THROUGH THE CAISSON.
- C. HEIGHT OF PROPOSED ANTENNAS, RRU'S AND RAYCAPS BASED ON BOTTOM OF POLE "A" CAISSON.
- D. LANDSCAPING NOT SHOWN FOR CLARITY.

NORTH ELEVATION

SCALE: 3/32"=1'-0" 0 3' 6' 12' 1

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P3	09/17/15	100% ZONING	AZ
P4	11/03/15	100% ZONING	AZ
P5	11/18/15	100% ZONING	AZ
P6	12/22/15	UTILITY COMMENTS	AZ
P7	04/13/16	SA COMMENTS	JM
P8	05/03/16	LANDSCAPING	JM
P9	02/09/17	DARK FIBER ADD.	IB
P10	02/09/17	UC COMMENTS	IB
P11	08/30/18	PLANNING COMMENTS	AM

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IRVINE, CA 92618



SOUTH DOYLE

8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:
ELEVATIONS

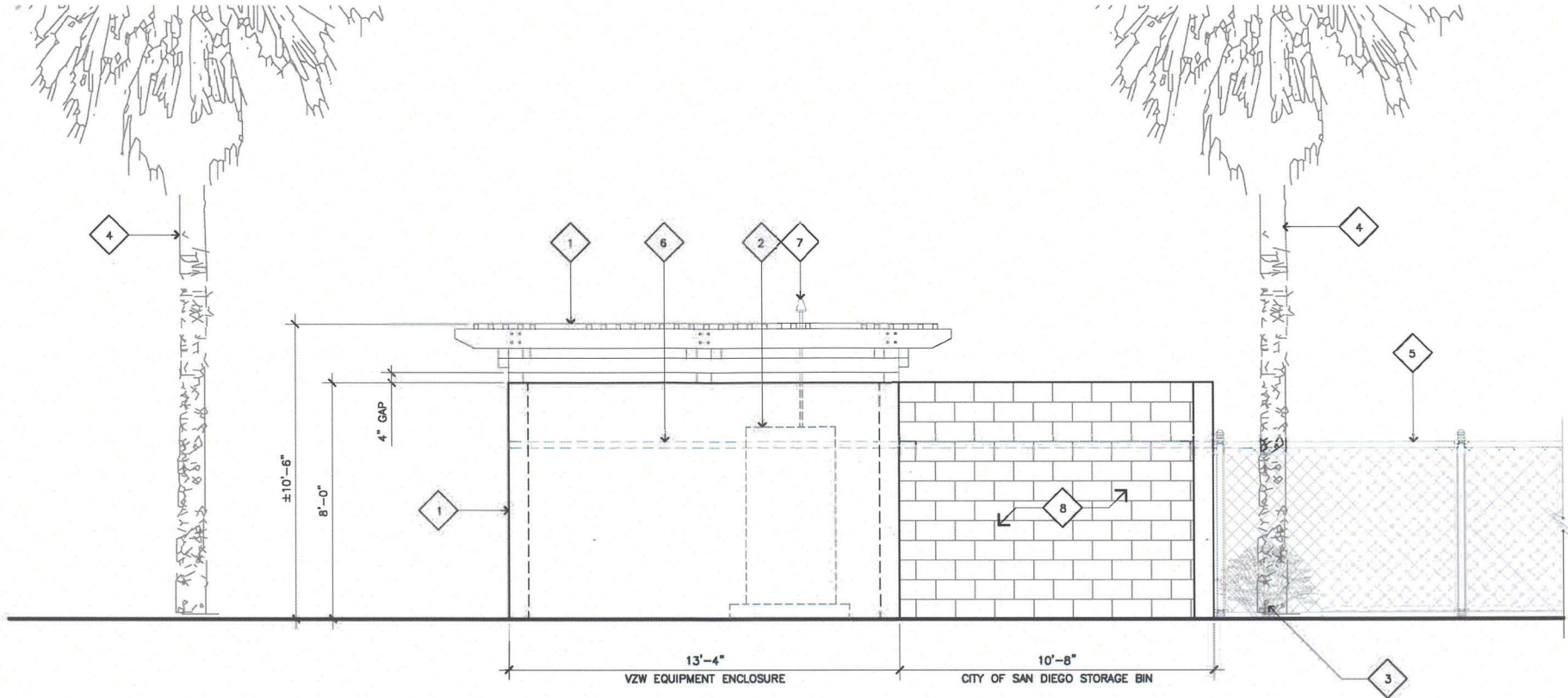
A-2.1

KEYNOTES

- 1 PROPOSED VZW CMU BLOCK EQUIPMENT ENCLOSURE WITH HEAVY WOOD TIMBER TRELLIS ON TOP TO MATCH EXISTING OTHER CARRIER ENCLOSURES. SEE NOTE 'A'.
- 2 PROPOSED VZW MCE OUTDOOR CABINET, TYP. OF (2) LOCATED WITHIN VZW EQUIPMENT ENCLOSURE.
- 3 PROPOSED LANDSCAPING; SEE LANDSCAPE DRAWINGS.
- 4 EXISTING PALM TREE TO REMAIN, TYPICAL.
- 5 EXISTING CHAIN LINK FENCE.
- 6 PORTION OF EXISTING CHAIN LINK FENCE TO BE REMOVED AT PROPOSED ENCLOSURE/STORAGE BIN.
- 7 PROPOSED VZW GPS ANTENNA MOUNTED ABOVE PROPOSED WOOD TRELLIS.
- 8 PROPOSED STORAGE BIN FOR CITY OF SAN DIEGO USE. NO STUCCO FINISH OR PAINT ON INSIDE FACE OF BIN.

NOTES

- A. ENCLOSURE TO MATCH EXISTING CMU ENCLOSURES ON SITE AND BE TEXTURED AND PAINTED TO MATCH THE EXISTING RECREATION CENTER BUILDING.



SOUTHWEST ELEVATION

SCALE:

3/8"=1'-0"



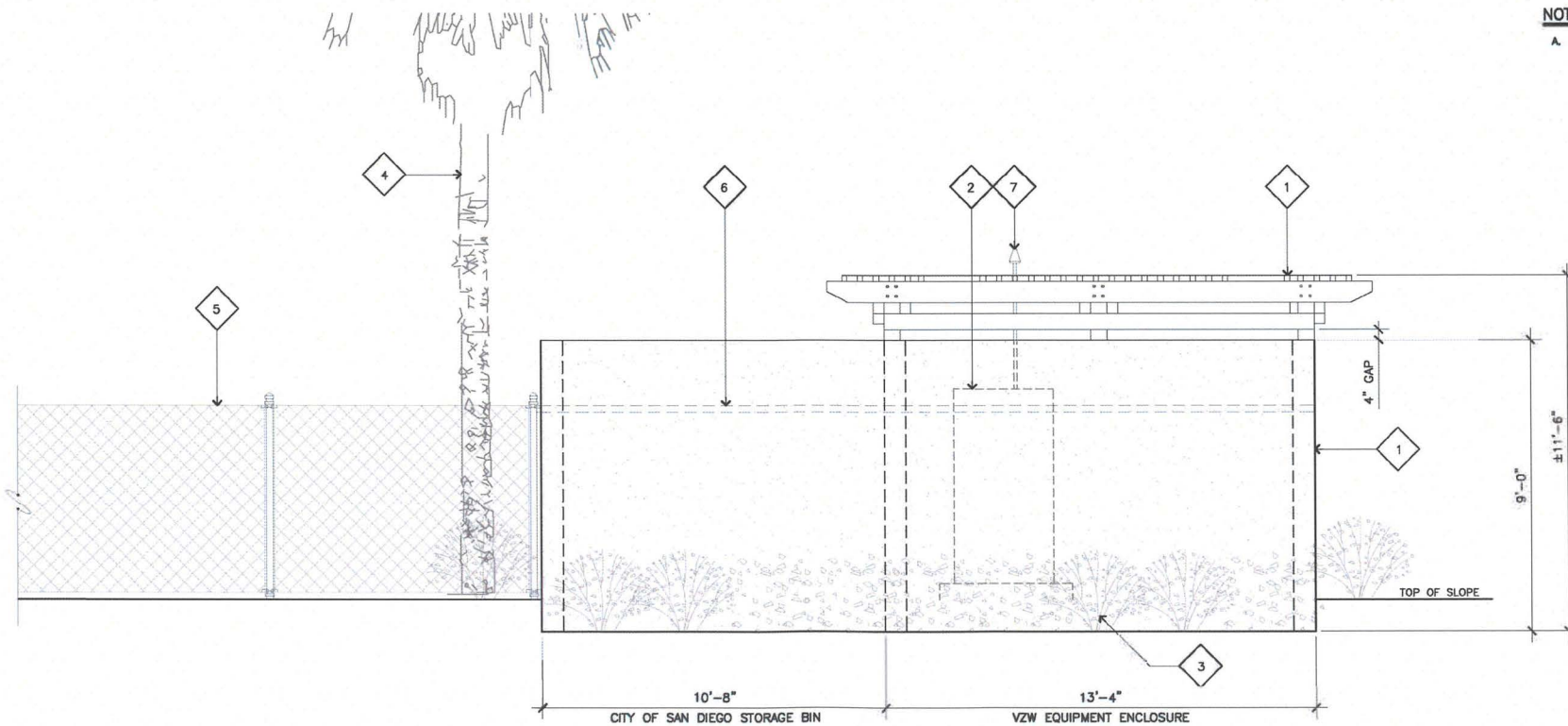
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KEYNOTES

- 1 PROPOSED VZW CMU BLOCK EQUIPMENT ENCLOSURE WITH HEAVY WOOD TIMBER TRELLIS ON TOP. ENCLOSURE TO MATCH EXISTING OTHER CARRIER ENCLOSURES. SEE NOTE 'A'.
- 2 PROPOSED VZW MCE OUTDOOR CABINET, TYP. OF (2) LOCATED WITHIN VZW EQUIPMENT ENCLOSURE.
- 3 PROPOSED LANDSCAPING; SEE LANDSCAPE DRAWINGS.
- 4 EXISTING PALM TREE TO REMAIN, TYPICAL.
- 5 EXISTING CHAIN LINK FENCE.
- 6 PORTION OF EXISTING CHAIN LINK FENCE TO BE REMOVED AT PROPOSED ENCLOSURE/STORAGE BIN.
- 7 PROPOSED VZW GPS ANTENNA MOUNTED ABOVE PROPOSED WOOD TRELLIS.

NOTES

- A. ENCLOSURE TO MATCH EXISTING CMU ENCLOSURES ON SITE AND BE TEXTURED AND PAINTED TO MATCH THE EXISTING RECREATION CENTER BUILDING.



NORTHEAST ELEVATION

SCALE:

3/8"=1'-0"



1

ISSUE STATUS

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P9	02/09/17	DARK FIBER ADD.	IB
P10	02/09/17	UC COMMENTS	IB
P11	08/30/18	PLANNING COMMENTS	AM

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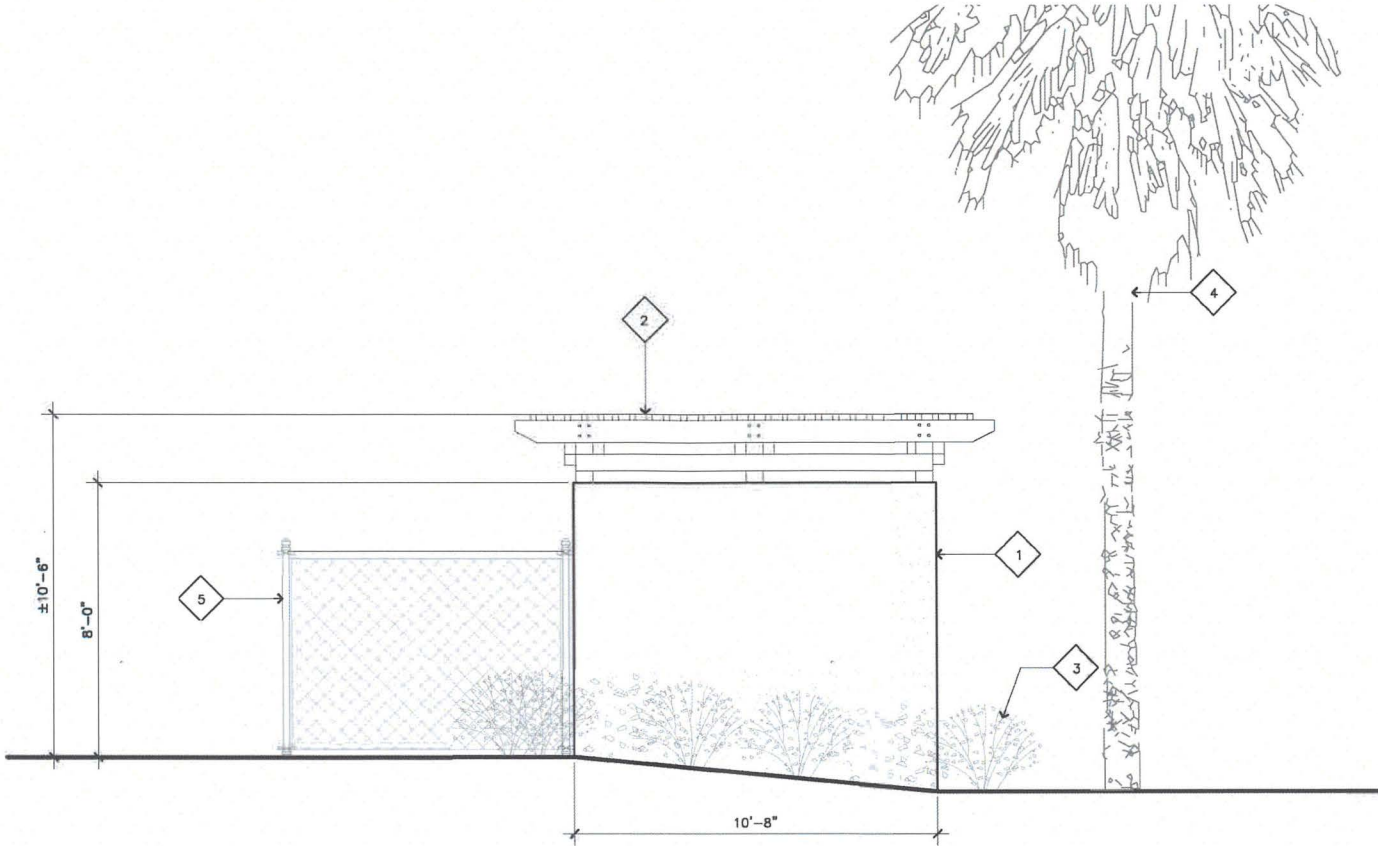
SHEET TITLE:
EQUIPMENT ENCLOSURE
ELEVATIONS

A-2.2

- KEYNOTES
- 1 PROPOSED CMU BLOCK STORAGE BIN FOR CITY OF SAN DIEGO USE. PAINT AND TEXTURE TO MATCH EXISTING RECREATION CENTER BUILDING.
 - 2 PROPOSED VZW WOOD TRELLIS BEYOND.
 - 3 PROPOSED LANDSCAPING; SEE LANDSCAPE DRAWINGS.
 - 4 EXISTING PALM TREE TO REMAIN, TYPICAL.
 - 5 EXISTING CHAIN LINK FENCE.

NOTES

A. ENCLOSURE / STORAGE BIN TO MATCH EXISTING CMU ENCLOSURES ON SITE AND BE TEXTURED AND PAINTED TO MATCH THE EXISTING RECREATION CENTER BUILDING.



SOUTHEAST ELEVATION

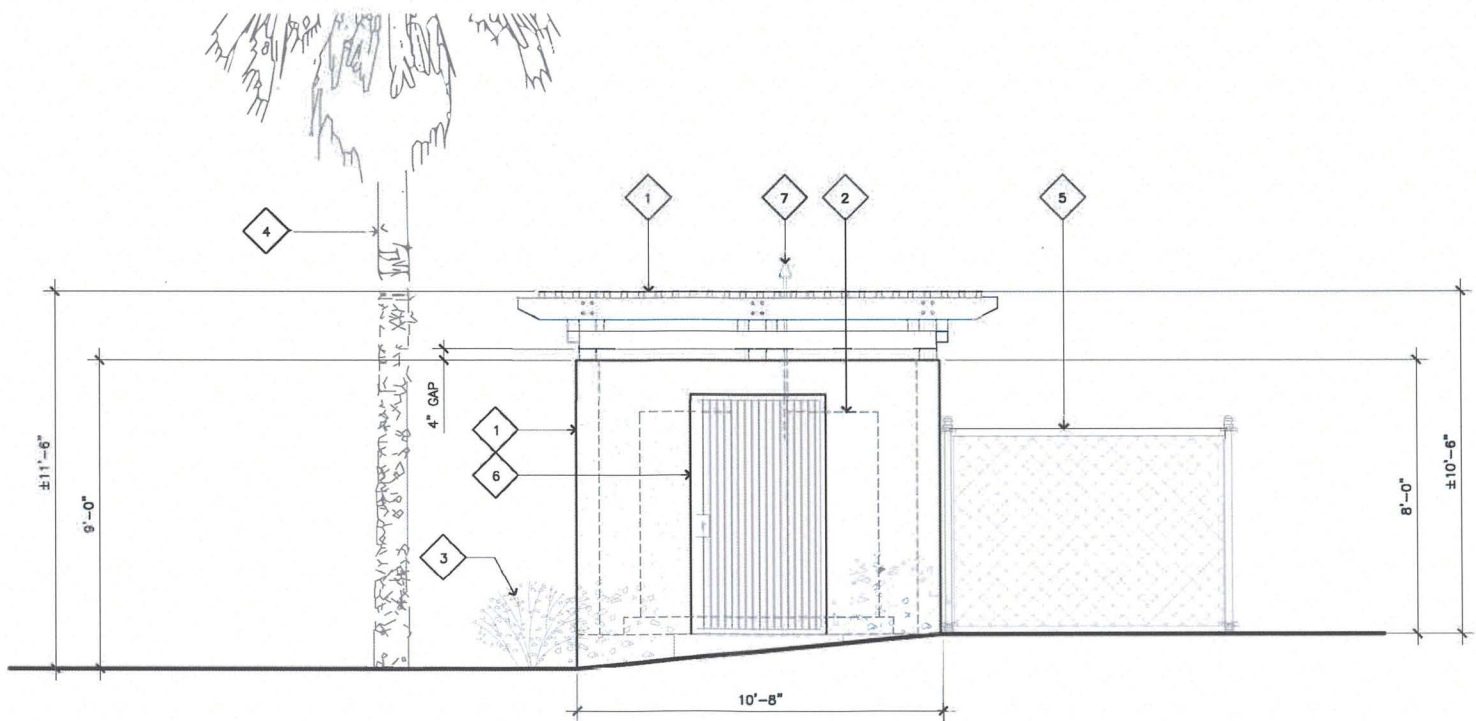
SCALE: 3/8"=1'-0" 0 1' 2' 3'

2

- KEYNOTES
- 1 PROPOSED VZW CMU BLOCK EQUIPMENT ENCLOSURE WITH HEAVY WOOD TIMBER TRELLIS ON TOP. ENCLOSURE TO MATCH EXISTING OTHER CARRIER ENCLOSURES. SEE NOTE 'A'.
 - 2 PROPOSED VZW MCE OUTDOOR CABINET, TYP. OF (2) LOCATED WITHIN VZW EQUIPMENT ENCLOSURE.
 - 3 PROPOSED LANDSCAPING; SEE LANDSCAPE DRAWINGS.
 - 4 EXISTING PALM TREE TO REMAIN, TYPICAL.
 - 5 EXISTING CHAIN LINK FENCE.
 - 6 PROPOSED VZW SOLID METAL GATE. PAINT TO MATCH EXISTING RECREATION CENTER BUILDING.
 - 7 PROPOSED VZW GPS ANTENNA MOUNTED ABOVE PROPOSED WOOD TRELLIS.

NOTES

A. ENCLOSURE TO MATCH EXISTING CMU ENCLOSURES ON SITE AND BE TEXTURED AND PAINTED TO MATCH THE EXISTING RECREATION CENTER BUILDING.



NORTHWEST ELEVATION

SCALE: 3/8"=1'-0" 0 1' 2' 3'

1

ISSUE STATUS

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P10	02/09/17	UC COMMENTS	IB
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SHEET TITLE:
EQUIPMENT ENCLOSURE
ELEVATIONS

A-2.3

ISSUE STATUS

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SHEET TITLE:
DETAILS

A-3

JRA JOB NUMBER: 150618

ANTENNA MATERIAL: GRP
ANTENNA COLOR: LIGHT GRAY
DIMENSIONS, HxWxD: 72.9"x11.9"x7.1"
WEIGHT: 50.71 lbs
WIND LOAD: 617.7 N @ 150 km/h
138.9 lbf @ 150 km/h

FRONT

SIDE

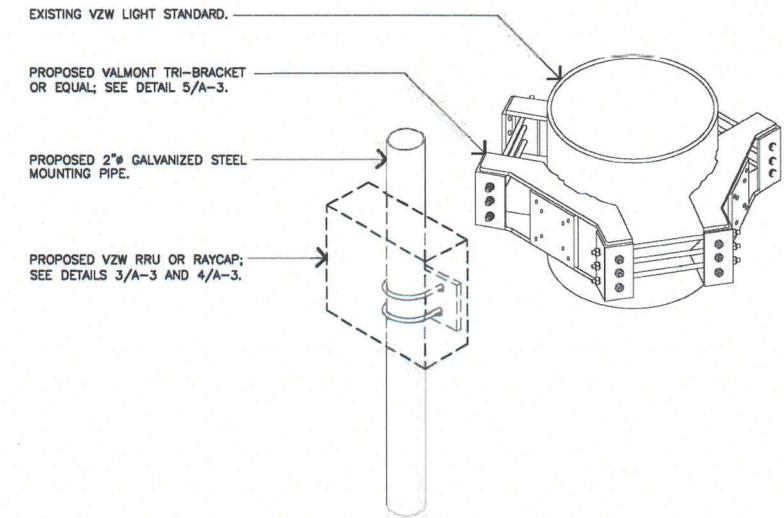
BOTTOM

COLOR: GRAY
DIMENSIONS, HxWxD: 15.95"x10.15"x8.15"
WEIGHT: 14.0 lbs

FRONT

SIDE

TOP



- NOTES:
- SEE MANUFACTURER FOR COMPLETE SPECIFICATIONS.
 - CONTRACTOR TO VERIFY POLE DIAMETER INFIELD AND CONFIRM BRACKET SIZE.
 - VALMONT QUAD UNIVERSAL RING MOUNTS PART NUMBER: UQB4 - FITS 12" TO 60" DIAMETER POLE.
 - ALL PROPOSED STEEL TO BE HOT-DIPPED GALVANIZED.

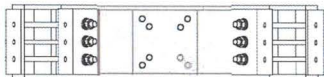
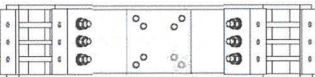
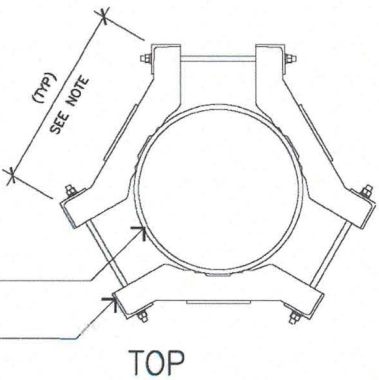
RING MOUNTING

SCALE:
NONE

6

VALMONT UNIVERSAL RING MOUNT OR EQUAL

ASSEMBLY: TRI-MOUNT RING
MONOPOLE DIMENSION: 12"-45"
WEIGHT: 269.0 lbs



FRONT

SIDE

- NOTES:
- THIS DIMENSION MUST BE EQUAL AT ALL FOUR LOCATIONS TO ENSURE 90° SEPARATION OF COLLAR MOUNTS.

VALMONT UNIVERSAL RING MOUNT

SCALE:
NONE

5

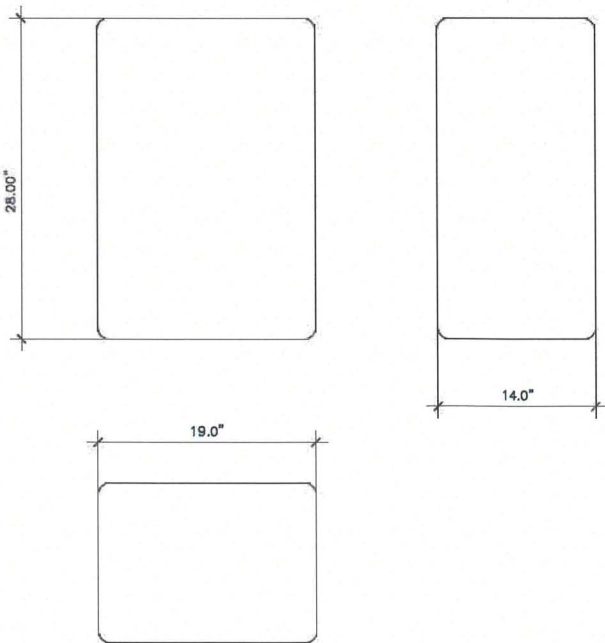
RAYCAP SPECIFICATIONS

SCALE:
NONE

4

RRU - BLACK BOX

DIMENSIONS, HxWxD: 28.00"x19.0"x14.0"
WEIGHT: 105.00 LBS.



RRU SPECIFICATIONS

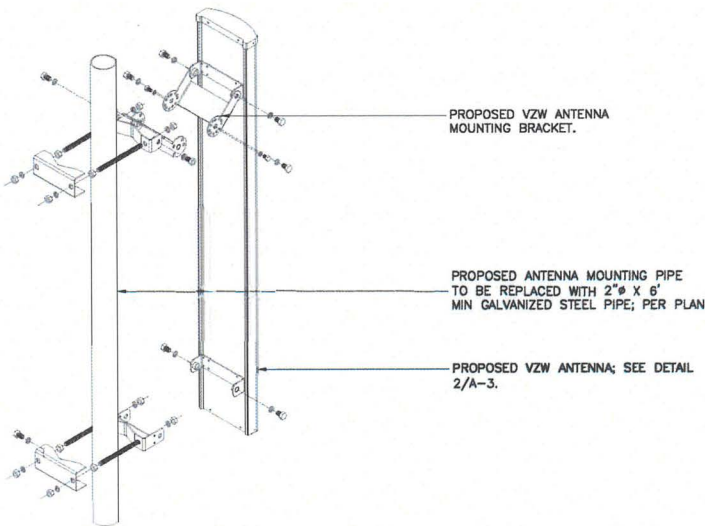
SCALE:
NONE

3

ANTENNA SPECIFICATIONS

SCALE:
NONE

2



- NOTES:
- ALL PROPOSED STEEL TO BE HOT-DIPPED GALVANIZED.
 - SEE ANTENNA MANUFACTURER SPECS. FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.
 - ALL EXISTING PIPES TO BE REPLACED WITH PROPOSED STEEL PIPES SAME LENGTH AS PROPOSED ANTENNAS.

ANTENNA MOUNTING DETAIL

SCALE:
NONE

1

IRRIGATION NOTES

1. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO PREVENT RUNOFF, OVER-SPRAY, LOW-HEAD DRAINAGE AND OTHER SIMILAR CONDITIONS. SOIL TYPES AND INFILTRATION RATES SHALL BE CONSIDERED WHEN DESIGNING IRRIGATION SYSTEMS. IRRIGATION SYSTEM SHALL BE DESIGNED, CONSTRUCTED, MANAGED, AND MAINTAINED TO ACHIEVE AS HIGH AN OVERALL EFFICIENCY AS POSSIBLE.
2. ALL IRRIGATION SYSTEMS SHALL INCLUDE:
 - A. A SMART IRRIGATION CONTROLLER, OR OTHER EQUIVALENT TECHNOLOGY WHICH AUTOMATICALLY ADJUSTS THE FREQUENCY AND / OR DURATION OF IRRIGATION EVENTS IN RESPONSE TO CHANGING WEATHER CONDITIONS, SHALL BE REQUIRED.
 - B. ANTI-DRAIN CHECK VALVES SHALL BE INSTALLED TO PREVENT LOW-HEAD DRAINAGE IN SPRINKLER HEADS.
 - C. A PRESSURE REGULATOR WHEN THE STATIC WATER PRESSURE EXCEED MAXIMUM RECOMMENDED OPERATION PRESSURE OF THE IRRIGATION SYSTEM.
 - D. A RAIN SENSOR WITH AN AUTOMATIC RAIN SHUTOFF FEATURE SHALL BE REQUIRED.

INSPECTION NOTES

1. PRIOR TO START OF WORK THE CONTRACTOR AND OWNERS REPRESENTATIVE SHALL MEET AND REVIEW UTILITIES AND EXISTING SITE CONDITIONS. AT COMPLETION OF WORK A FINAL INSPECTION SHALL BE MADE AND ACCEPTED BY OWNER AND GOVERNING JURISDICTION.
2. THIS PLAN IS DIAGRAMMATIC AND ALLOWS FOR ADJUSTMENT TO BE MADE TO ACCOMMODATE EXISTING SITE CONDITIONS.
3. LANDSCAPE INSTALLATION SHALL MEET STANDARD SHOWN UNLESS SUPERSEDED BY LOCAL STANDARDS.
4. PRECAUTIONS SHALL BE TAKEN TO PROTECT ALL UTILITIES, STRUCTURES ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGES AND REPLACEMENT.
5. THE CONTRACTOR SHALL REMOVE ALL DEBRIS, WEEDS AND TRASH FROM COMMUNICATION SITE AREA AT COMPLETION OF WORK.
6. CONTRACTOR TO MAINTAIN SITE FOR 30 DAYS.
7. THE MAINTENANCE OF THE COMMUNICATION SITE IS DEFINED WITHIN MAINTENANCE AGREEMENT WITH OWNER.

P.O.C.

CONTRACTOR TO CONNECT TO EXISTING IRRIGATION AT LOCATION INDICATED ON PLAN. CONTRACTOR TO CONNECT PROPOSED BUBBLER SYSTEM TO EXISTING SPRAYHEAD SYSTEM. CONTRACTOR TO INSPECT ALL MAINLINE, LATERAL LINES AND SPRAYHEADS AND REPLACE IF DAMAGED OR WORN. CONTRACTOR TO ADD RAIN SENSOR AT EXISTING CONTROLLER IF ONE DOES NOT CURRENTLY EXIST (PER NOTES, THIS PAGE).

MAINTENANCE NOTE

LANDSCAPE TO BE PROPERLY MAINTAINED IN A HEALTHY CONDITION FREE OF WEEDS, PESTS OR DISEASES. MAINTENANCE RESPONSIBILITY TO BE NEGOTIATED BETWEEN PROPERTY OWNER AND VERIZON.

DIG-ALERT NOTE

1. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT BEFORE START OF CONSTRUCTION (2 WORKING DAYS OR 48 HOURS). CONTRACTOR SHALL VERIFY EXISTING LOCATION OF UTILITIES AS NECESSARY TO IDENTIFY LOCATION.

EXISTING IRRIGATION NOTE:

EXISTING IRRIGATION SYSTEM SHALL BE MODIFIED TO PROVIDE ADEQUATE COVERAGE AND NO OVERSPRAY PER THE CONSULTANT'S GUIDE.

DAMAGED IRRIGATION NOTES

1. ALL IRRIGATION DAMAGED DURING CONSTRUCTION OF ENCLOSURE WALLS SHALL BE REPLACED AND CONSISTENT WITH EXISTING IRRIGATION MATERIALS.

LANDSCAPE CONTRACTOR NOTES

1. LANDSCAPE CONTRACTOR HIRED TO INSTALL PROPOSED LANDSCAPING SHALL BE C-27 CERTIFIED.

IRRIGATION DETAIL NOTES

1. APPLY TEFLON TAPE TO ALL THREADED PIPE CONNECTIONS.

CHECK VALVE NOTES

1. CONTRACTOR TO UTILIZE CHECK VALVES TO PREVENT LOW HEAD DRAINAGE.



(7) EXISTING IRRIGATION CONTROLLER VALVES. VALVE #9 OPERATES PROPOSED SYSTEM.

- 1
- 2
- 3
- 4
- 5
- 6
- 7

Irrigation Legend

Symbol	Catalogue No.	Manuf.	Description	GPM	PSI	Detail No.
①	PCN-20	HUNTER	SHRUB BUBBLER	2.0	30	A, SHEET L-2
⊕	NIBCO T-580	NIBCO	BALL VALVE			B, SHEET L-2
— Schedule 40 PVC Otherwise, Main Line Pipe @ 24" Min. Depth (1-1/4" Diameter Unless Otherwise Indicated)						
— Schedule 40 PVC Pipe @ 18" Min. Depth (3/4" Diameter Unless Otherwise Indicated)						

NOTES:

Backflow Device. Install new backflow device only if one does not exist or existing device does not meet current City standards.
Controller Device. Install new controller only if one does not exist or existing controller does not meet current City standards.

**CS
DG**

CS Design Group, Inc.

6965 El Camino Real
Suite 105-482
Carlsbad, CA 92009
(P) 760-272-5742
(F) 760-454-3097

SCALE:

1/8"=1'-0"



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
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P5	11/18/15	100% ZONING	AZ
P6	12/22/15	UTILITY COMMENTS	AZ
P7	04/13/16	SA COMMENTS	JM
P8	05/03/16	LANDSCAPING	JM
P9	02/09/17	DARK FIBER ADD.	IB
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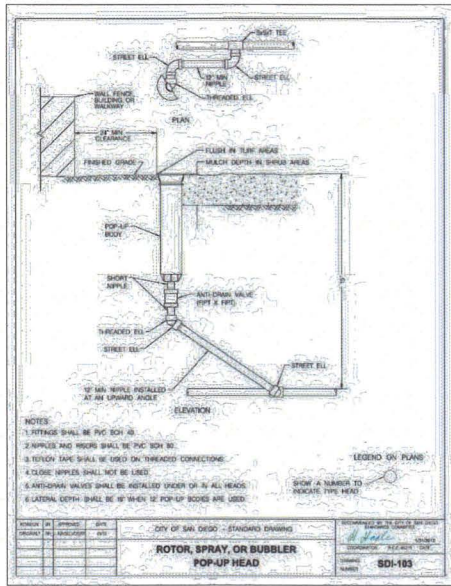
SHEET TITLE:
IRRIGATION PLAN

L-1

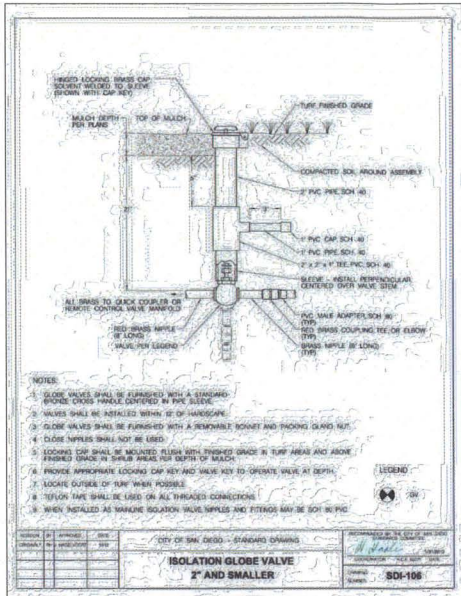
JRA JOB NUMBER: 150618

NOTES: THE ORIGINAL SET OF THIS PLAN IS 24" x 36". SCALE MUST BE NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

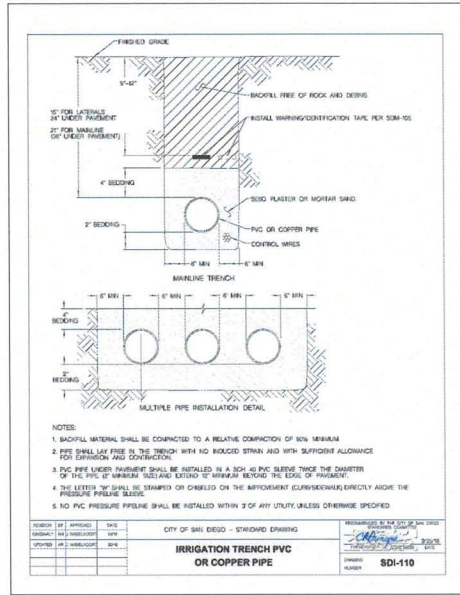
IRRIGATION PLAN



A N.T.S. CITY OF SAN DIEGO - STD DRAWING (SDI-103)



B N.T.S. CITY OF SAN DIEGO - STD DRAWING (SDI-106)



C N.T.S. CITY OF SAN DIEGO - STD DRAWING (SDI-110)

NOTES: THE ORIGINAL SIZE OF THIS PLAN IS 36\"/>

IRRIGATION DETAILS

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(F) 760-454-3097

SCALE:
REFER TO DETAIL

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P2	09/03/15	100% ZONING	AZ
P3	09/17/15	100% ZONING	AZ
P4	11/03/15	100% ZONING	AZ
P5	11/18/15	100% ZONING	AZ
P6	12/22/15	UTILITY COMMENTS	AZ
P7	04/13/16	SA COMMENTS	JM
P8	05/03/16	LANDSCAPING	JM
P9	02/09/17	DARK FIBER ADD.	IB
P10	02/09/17	UC COMMENTS	IB

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IRVINE, CA 92618





SOUTH DOYLE
8175 REGENTS ROAD
SAN DIEGO, CALIFORNIA 92122

SHEET TITLE:
IRRIGATION DETAILS

L-2

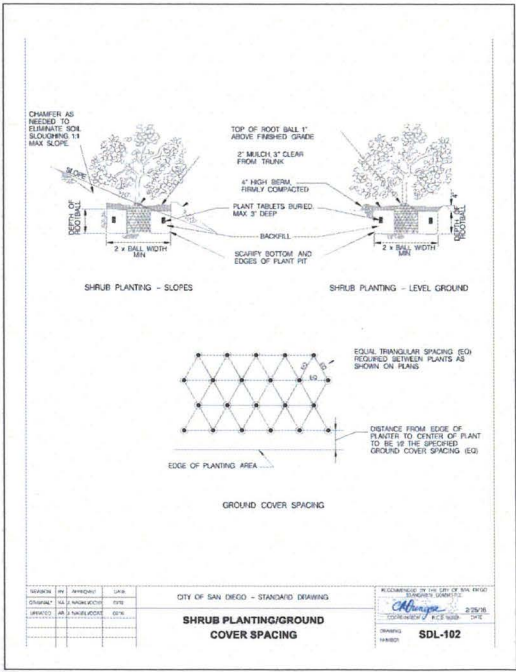
JRA JOB NUMBER: 150618

PLANT MATERIAL KEY				
<u>SYMBOL</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>COUNT</u>
<u>EXISTING LANDSCAPE</u>				
	EXISTING TREES TO REMAIN			
	EXISTING FAN PALMS TO REMAIN			
<u>PROPOSED SHRUBS</u>				
PIT TOB	Pittosporum tobira 'Wheeler's Dwarf'	Pittosporum	5 Gal	4
RHA IND	Raphiolepis indica 'Springtime'	Indian Hawthorne	5 Gal	12

- PLANTING NOTES
1. THE SCOPE OF WORK INCLUDES FURNISHING ALL MATERIALS NECESSARY FOR THE INSTALLATION OF THE PLANTING, BACKFILL, IRRIGATION AND DRAINAGE WORK OUTLINED IN THESE DRAWINGS. ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER SUPERVISION OF A QUALIFIED FOREMAN.
 2. PLANT MATERIAL LOCATIONS ARE DIAGRAMATIC AND MAY BE SUBJECT TO CHANGE BY THE LANDSCAPE ARCHITECT BEFORE THE MAINTENANCE PERIOD BEGINS.
 3. BEFORE ANY PLANTING OCCURS, ALL PLANTED AREAS ARE TO HAVE BEEN GRADED IN AN ACCEPTABLE MANNER TO ASSURE POSITIVE DRAINAGE PER THE GRADING NOTES.
 4. ALL PLANTING AREAS SHALL HAVE THE FOLLOWING SOIL AMENDMENTS INCORPORATED INTO THE TOP 6" OF NATIVE SOIL:
 - 5 CUBIC YARDS - NITROGEN AND IRON FORTIFIED ORGANIC AMENDMENT
 - 50 LBS - 6 - 20 - 20 ORGANIC GRO-POWER FERTILIZER
 5. DIG PLANTING PITS 2 TIMES THE HEIGHT AND WIDTH OF THE ROOTBALL. BACKFILL PITS WITH 70% NATIVE ON SITE SOIL AND 30% NITROLIZED SHAVINGS OR EQUIVILANT.
 - SAMPLE BACKFILL:
 - 70% NATIVE SOIL BY VOLUME
 - 30% NITROLIZED SHAVINGS OR EQUIVILANT
 - 16 LBS GRO-POWER PLUS, PER CUBIC YARD MIX
 - * OTHER AMENDMENTS PER SOIL ANALYSIS
 6. IF APPLICABLE, ALL TREES TO BE STAKED AS SHOWN IN THE TREE PLANTING DETAIL.
 7. WHERE CIRCUMSTANCES PERMIT, PLANT NO TREE CLOSER THAN 18" TO AN EDGE OF PAVING OR HEADERBOARD.
 8. REFER TO PLANTING DETAILS.
 9. USE PLANT MATERIALS ACCLIMATED TO THE AREA.
 10. WHERE CIRCUMSTANCES PERMIT, DO NOT PLANT SPECIMEN TREES CLOSER THAT 4' -0" FROM THE EDGE OF PAVING, HEADERBOARD, OR ROOF LINES. DEEPROOT OR APPROVED ROOT BARRIERS ARE TO BE INSTALLED PER DETAIL. REFER TO PLANTING LEGEND FOR SPECIES REQUIRING DEEP ROOT BARRIERS.
 11. WARNING: PLANT MATERIAL LISTED MAY OR MAY NOT HAVE BEEN APPROVED BY THE AGRICULTURAL COMMISSIONER'S OFFICE. LANDSCAPE CONTRACTOR IS TO CONTACT THE DEVELOPER FOR STATUS OF AGRICULTURAL COMMISSIONER'S APPROVAL OR DENIAL. PLANT MATERIAL NOT CONFORMING WITH QUARANTINE LAWS MAY BE DESTROYED AND CIVIL ACTION TAKEN. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AT THE DISCRETION OF THE AGRICULTURAL COMMISSIONER'S OFFICE. ALL PLANT MATERIAL MUST BE FREE OF DISEASE.
 19. NO SHRUBS ARE TO BE PLANTED WITHIN 12" OF HARDSCAPE, MEASURED FROM CENTER OF SHRUB.

- PLANTING NOTES
1. ALL EXISTING TREES WITHIN THE PROPERTY LINES SHALL BE PROTECTED IN PLACE. NO TREES SHALL BE REMOVED AS A PART OF THIS PERMIT UNLESS OTHERWISE INDICATED. LANDSCAPE CONTRACTOR TO VERIFY EXISTING TREES AT LOCATION OF PROPOSED ENCLOSURE AND ANTENNAS. IF EXISTING TREES (INDICATED TO REMAIN) ARE REMOVED OR DAMAGED DURING CONSTRUCTION OF ENCLOSURE AND INSTALLATION OF ANTENNA, CONTRACTOR TO REPLACE WITH LIKE SPECIES.
 2. ALL FERTILIZERS AND AMENDMENTS USED DURING PLANTING PREPARATION SHALL BE DERIVED FROM ORGANIC-BASED MATERIALS AS A BEST MANAGEMENT PRACTICE FOR STORM WATER SOURCE CONTROL. NO SEWAGE SLUDGE IS ALLOWED.
 3. A 3" DEEP LAYER OF APPROVED ORGANIC MULCH SHALL BE APPLIED TO COVER THE SOIL WITHIN 50" OF THE MONO-TREE ON THE SUBJECT PROPERTY AFTER THE PLANTING IS COMPLETE.

- DIG-ALERT NOTE
1. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT BEFORE START OF CONSTRUCTION (2 WORKING DAYS OR 48 HOURS). CONTRACTOR SHALL VERIFY EXISTING LOCATION OF UTILITIES AS NECESSARY TO IDENTIFY LOCATION.



A SCALE: 1/4" = 1'-0"

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SCALE:
1/8"=1'-0"
0 4' 8'

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SHEET TITLE:
PLANTING PLAN

L-3

JRA JOB NUMBER: 150618