



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 16, 2019 REPORT NO. PC-19-033

HEARING DATE: May 23, 2019

SUBJECT: WITT MISSION VALLEY. Process Four Decision

PROJECT NUMBER: [562674](#)

OWNER/APPLICANT: Townsend Mission Valley, LP a California Limited Partnership

SUMMARY

Issue(s): Should the Planning Commission approve an application for the demolition of existing commercial structures and the construction of a mixed-use development consisting of 277 residential units, 6,000 square feet of retail space and 3,600 square feet of commercial space located at 588 Camino Del Rio North within the Mission Valley Community Planning area?

Staff Recommendations:

1. **Certify** Environmental Impact Report No. 562674/SCH No. 2017111027 and **Adopt** the Mitigation, Monitoring, and Reporting Program; and
2. **Approve** Planned Development Permit No. 1984579; and
3. **Approve** Site Development Permit No. 1984580.

Community Planning Group Recommendation: On January 9, 2018 the Mission Valley Community Planning Group voted 20-0-0 to recommend approval of the project (Attachment 9).

Environmental Review: Environmental Impact Report (EIR) No. 562674/SCH No. 2017111027 has been prepared for the for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program for Transportation/Circulation, Historical Resources, and Tribal Cultural Resources would be implemented with this project, which will reduce the potential impacts to below a level of significance.

Fiscal Impact Statement: No Fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The project proposes to provide 277 residential units on a 5.13-acre site where no residential units currently exist. The proposed units consist of 22 studio apartments, 141 one-bedroom apartments, 104 two-bedroom apartments, and 10 residential units with commercial shops below. The units are proposed at market rental rates and the applicant would pay an affordable housing fee pursuant to the City's Inclusionary Housing Ordinance. The applicant proposes the residential units as part of a comprehensive mixed-use project by utilizing the Mission Valley Community Plan's Multiple Use Development Option through a Planned Development Permit.

BACKGROUND

The 5.13-acre project site is located at 588 Camino Del Rio North and is zoned MVPD-MV-CR within the Mission Valley Planned District and is designated Commercial Retail within the Mission Valley Community Plan [Plan]. Additionally, the project site is within the Airport Land Use Compatibility Overlay Zone (Montgomery Field), the Airport Influence Area (Montgomery Field and San Diego International Airport (SDIA), Review Area 2), the Federal Aviation Administration Part 77 Noticing Area (Montgomery Field and SDIA), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Transit Priority Area.

The site has been previously graded and is currently fully developed with a commercial automobile dealership (Witt Lincoln), service bays, and exterior auto sales areas totaling 38,070 square feet. There are no environmentally sensitive resources present on the site, however, the site is located within the Special Flood Zone AE of the San Diego River. The project site is disconnected from the main channel of the San Diego River by an existing flood control channel, which extends from Texas Street/ Qualcomm Way upstream to State Route 163 downstream. The project site is east and upstream of State Route 163 and south of the flood control channel. During a major flood event, water from the main channel of the San Diego River is not expected to leave the channel or breach the flood control channel. Surrounding the site is Camino Del Rio North and Interstate-8 to the south, multi-unit residential developments are located north of the project site across Camino De La Reina, a commercial office development exists across Camino De La Siesta to the west and a mixed-use development is located directly east (The Millennium Mission Valley) currently under construction.

DISCUSSION

Project Description:

The Witt Mission Valley project (Project) proposes to demolish 38,070-square-feet of existing commercial structures and on-site surface parking, for the construction of a 527,760-square-foot mixed-use development comprised of 267 multi-family residential units and 10 shopkeeper units (277 total units totaling approximately 343,160-square-feet); 6,000-square-feet of retail space; and

3,600-square-feet of commercial space. The project would range in height from one- to five stories. Parking would be provided in a central five-story, above-ground, parking structure wrapped with residential units. A total of 422 parking spaces would be provided in the parking structure in addition to 56 surface parking spaces, for a total of 478. Various site improvements would also be constructed that include associated hardscape and landscape and resident amenity spaces. The project would incorporate a photovoltaic system located on the roofs of the structures consisting of solar panels sufficient to generate at least 50 percent for the residential component consumption and 30 percent for the commercial and retail use consumption consistent with the requirements of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program (Program). The project application was deemed complete on July 13, 2017, and the project is utilizing the Program qualifications and the San Diego Municipal Code (SDMC) that were in effect at the time of the submittal.

The residential component would include 22 studio apartments averaging 581 square feet, 141 one-bedroom apartments averaging 788 square feet, 104 two-bedroom apartments averaging 1,161 square feet, and 10 apartments with commercial space below on the ground floor (Shopkeeper units) averaging 1,417 square feet. All units would have private outdoor space in the form of balconies overlooking one of the three courtyards or surrounding grounds (Figure 1). The largest courtyard would include a pool, hot tub, and outdoor fireplace. The two smaller courtyards would provide amenities conducive to quiet, more intimate gatherings. Residential amenity spaces would also include a clubroom, a fitness center and a lounge. The Project would include an approximately 12,395-square-foot plaza and gathering space located between commercial buildings fronting along Camino De La Reina, and smaller private gathering spaces for residential occupants located throughout the project (Figure 2). Colored concrete and enhanced paving would guide pedestrian circulation throughout the project site. Landscaping and water features would be provided to enhance the pedestrian experience in these spaces.



Figure 1: Birdseye view of site

The commercial buildings along Camino De La Reina would include an open plaza, outdoor seating, and a grand staircase connecting to the public sidewalk to access the commercial buildings and plaza area from at the corner of Camino De La Reina and Camino De La Siesta. The project provides a dog park/courtyard adjacent to Camino Del Rio North, and a passive courtyard and a pool courtyard along Camino De La Siesta (Figure 3). Total common open space area is 50,050 square feet which includes 20,800 square feet for a public plaza where 7,000 square feet is required.



Figure 2: Commercial Courtyard

The pedestrian plan links the land uses within the project but also provides a connection to the various amenity areas, including a fitness center and four different amenity areas located throughout the project site for use of residents, employees, and visitors. The amenity areas located



Figure 3: Dog park and courtyard

within the residential component of the project would be private. The retail plaza located on Camino De La Reina, is intended to serve project residents, employees, and visitors.

The entire 5.13-acre site would be graded, involving 100 cubic yards of cut and 29,000 cubic yards of fill; approximately 28,900 cubic yards of material would be imported for the grading operation. The maximum depth of cut would be eight feet and the maximum depth of fill would be two feet.

Required Approvals:

Due to process consolidation, all actions are processed concurrently as a Process Four. Development of the proposed project requires the following approvals:

- Process Four Planned Development Permit for a project incorporating the Mission Valley Community Plan's Multiple Use Development Option (Page 58, Mission Valley Community Plan) allowing the site to develop a project with multiple uses which are not allowed within the underlying zone and to allow deviations to sidewalk and parkway widths along Camino De La Reina;
- Process Three Mission Valley Development Permit processed as a Site Development Permit as the development exceeds Threshold 1 Average Daily Trip (ADT) and is in accordance with Threshold 2 of the Mission Valley Planned District Ordinance and for a development which includes above-grade structural parking as identified in SDMC Section [1514.0201](#).

Community Plan Analysis:

In accordance with the Mission Valley Community Plan's Multiple Use Development Option for developers, the proposed project is seeking an application through a Planned Development Permit (PDP) to develop a multiple-use development on a site designated Commercial Retail. A multiple-use development must include two or more significant revenue-producing uses (such as retail, office, residential, etc.). These two or more uses must be significant in scale and more than site-serving. The Multiple Use Development Option is intended to encourage comprehensive developments which will minimize the need for an over reliance on automobile access and emphasize pedestrian orientation and proximity to public transit. The project must include significant functional and physical integration of project components, including uninterrupted pedestrian connections, both within the project and to adjacent developments. The pedestrian integration spaces may consist of: public park or plazas, community meeting spaces, outdoor gathering spaces, passive or active open space areas that contain increased landscape, enhanced hardscape, streetscape design amenities, and outdoor dining and market activities. All buildings within the project must be connected to each other with pedestrian walkways. The project must include a permanent and direct bicycle and pedestrian linkage to the public transit system. In this case, the nearby bus stop adjacent to the site meets this requirement. The project should minimize an over reliance on automobile access, emphasize pedestrian orientation, and enhance proximity to public transit.

The project meets the Multiple Use Development Option by providing a walkable development with an outdoor gathering area. A bus stop is located adjacent to the site on Camino De La Reina and a

light rail transit is located 0.5 mile from the site. Residents within the project will be able to walk to the bus stop or trolley minimizing the need for automobile use. While the project is not in itself a village, it does create land uses that contribute to a “village” based on the site location which is surrounded by residential and commercial uses on the north and east side of the site. Additionally, Fashion Valley Mall is located to the north and a grocery store is located a quarter-mile to the east. The project provides a large pedestrian retail plaza on Camino De La Reina, a dog park/courtyard adjacent to Camino Del Rio North, and a passive courtyard and a pool courtyard along Camino De La Siesta. Total common open space area is 50,050 square feet which includes 20,800 square feet for a public plaza where 7,000 square feet is required.

The residential component provides additional housing stock within the community and new retail space will increase employment opportunities for the surrounding community. The project provides permanent pedestrian linkage from the proposed development to Camino De La Reina and linkages to the public transit system. The project provides horizontal and vertical land uses. Commercial and retail spaces are provided along Camino De La Reina allowing for high visibility and access to the surrounding neighborhood and they are connected internally for ease of access to the project’s residents. The vertical integration of shopkeeper units along the internal driveway that parallels Camino De La Reina adds a live-work element to the project with a focus on the ground floor commercial spaces of these units.

Furthermore, the project is consistent with the traffic allocations of the Community Plan and Planned District Ordinance. The project site is located in Development Intensity District “G”, Table 1514-03A which allows for up to 344 ADT per gross acres (Threshold 2), or 1,765 ADT for the 5.13-acre site. According to the Traffic Impact Analysis prepared for the project, the project generates less than 1,638 ADT, meeting the traffic threshold requirements.

Project-Related Issues:

Deviations- The proposed development is requesting a deviation to sidewalk and parkway widths along Camino Del La Reina. An applicant may request deviations from the applicable development regulations pursuant to a Planned Development Permit in accordance with [SDMC Section 126.0602\(b\)\(1\)](#), provided that findings can be made and the deviation results in a more desirable project. The following table is a matrix of the proposed deviations, followed by the justifications for the deviations:

DEVIATION SUMMARY			
Table 1			
Deviation Description	Deviation from SDMC	Required	Proposed
Sidewalk/Parkway widths	SDMC Section 1514.0402, Table 1514-04A	Eight-foot sidewalk corridor and six-foot landscaped parkway	Five-foot sidewalk corridor and five-foot landscaped parkway

Deviation: A deviation from SDMC Section 1514.0402 and Table 1514.04A allowing for a five-foot sidewalk with a five-foot parkway along Camino De La Reina where an eight-foot sidewalk and six-foot parkway are required.

Justification – The project proposes a five-foot sidewalk with a five-foot parkway along Camino De La Reina where an eight-foot sidewalk and six-foot parkway are required. Due to the site being partially located in a flood plain, the site is required to be elevated two feet above the base flood elevation, requiring a three-foot high retaining wall adjacent to the sidewalk along Camino De La Reina. Implementing an eight-foot sidewalk and six-foot parkway along Camino De La Reina would push the sidewalk further into the development's manufactured slope requiring a six-foot retaining wall along the length of the property along Camino De La Reina. This would create a wall effect rather than creating a "Main Street" for the pedestrian experience. The project has been designed with a primary focus on pedestrian access proposing amenity features along the public right-of-way that would provide for a pedestrian focus at the project edge. The retail plaza is centrally located facing Camino De La Reina and provides for a vibrant, pedestrian-oriented atmosphere. Additionally, the proposed deviation of a reduced sidewalk and parkway width would be consistent with the sidewalk and parkway widths for the Millennium Mission Valley Mixed Use project approved on October 30, 2014 and located to the east of the site.

The above deviation has been analyzed by staff and determined to be consistent with the goals and recommendations of the General Plan, the Mission Valley Community Plan, the Mission Valley Planned District Ordinance and the purpose and intent of the MV-CR zone. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. Apart from the deviation, the proposed project provides a mixed residential/commercial development in accordance with development standards of the MV-CR zone and the Mission Valley Community Plan. The proposed deviation will create an attractive and inviting street scene, and the reduced sidewalk and parkway widths will not affect pedestrian access and is in conformance with City of San Diego Transportation and Storm Water Street Design manual providing adequate pedestrian circulation. Additionally, the proposed development will assist in providing housing units and market-rate housing opportunities in transit-friendly areas near commercial centers. Allowing the site to maximize the variety of landscaped common open spaces with multiple social areas, allows for visual integration with the central retail plaza of which is a requirement of the Multiple-Use Option.

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. With the approval of the deviation, the project meets all applicable regulations and policy documents, and staff supports the determination that the project is consistent with the recommended land use plan, design guidelines, and development standards in effect for this site per the SDMC, the Mission Valley Plan and the General Plan. Thus, Staff recommends approval of the project.

ALTERNATIVES

1. Certify Environmental Impact Report No. 562674/SCH No. 2017111027 and Adopt the Mitigation, Monitoring, and Reporting Program; and Approve Planned Development Permit No. 1984579 and Site Development Permit No. 1984580, with modifications.
2. Do Not Certify Environmental Impact Report No. 562674 and Do Not Adopt the Mitigation, Monitoring, and Reporting Program and Deny Planned Development Permit No. 1984579 and Site Development Permit No. 1984580, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Patricia J. Fitzgerald
Assistant Deputy Director
Development Services Department



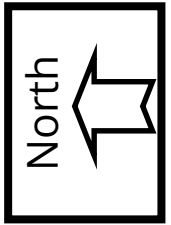
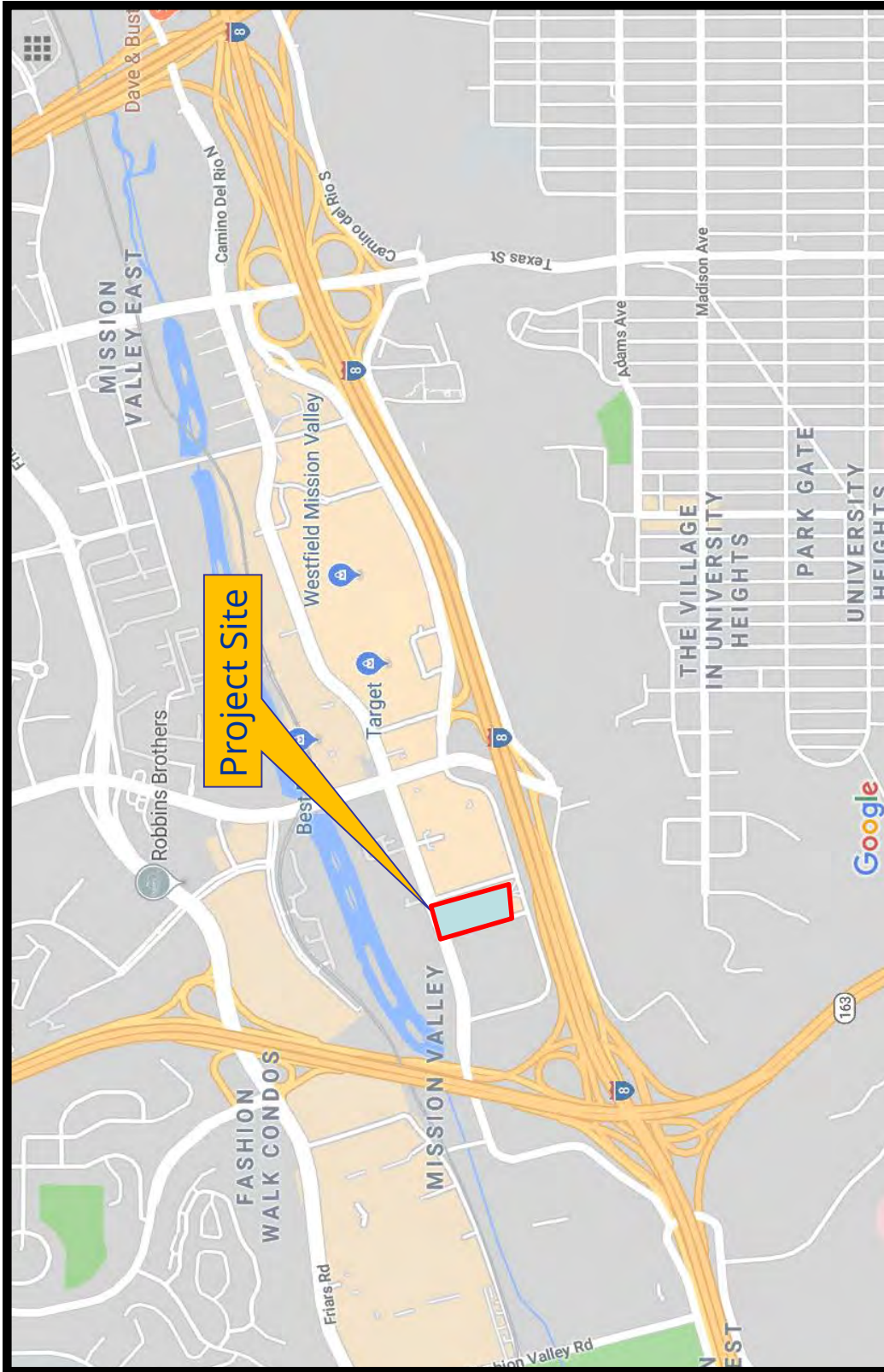
William J. Zounes
Development Project Manager
Development Services Department

FITZGERALD/WJZ

Attachments:

1. Location Map
2. Aerial Photograph
3. Existing Zoning Map
4. Community Plan Land Use Map
5. Site Photographs (Existing)
6. Data Sheet
7. Draft PDP/SDP Resolution with Findings
8. Draft PDP/SDP Permit with Conditions
9. Draft Environmental Resolution
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Renderings
13. Project Plans

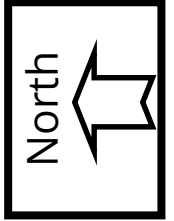
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Location Map

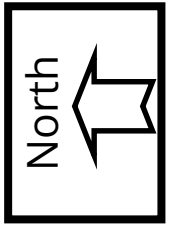
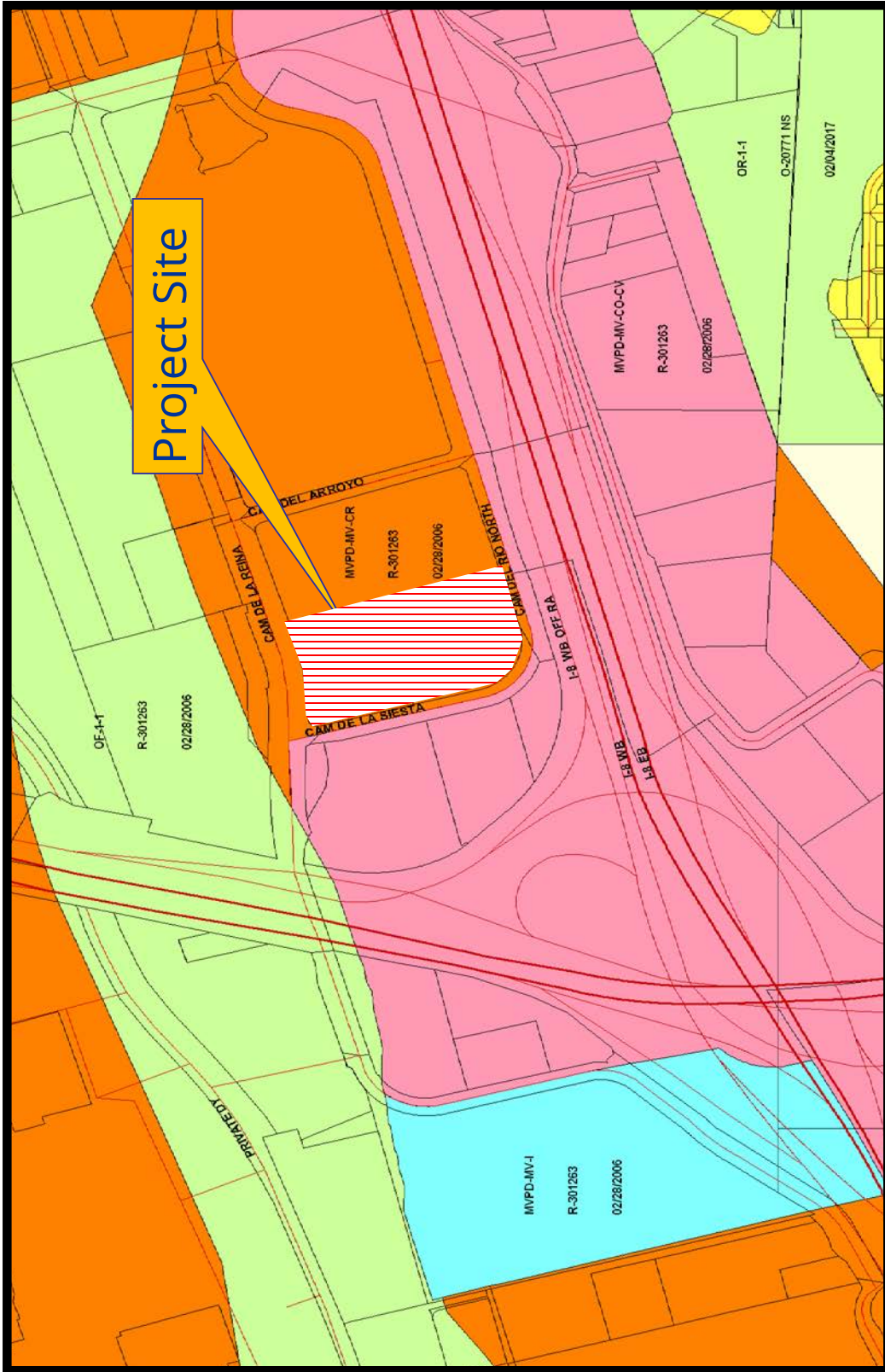
Witt Mission Valley -Project No. 562674
588 Camino Del Rio North





Aerial Photograph
Witt Mission Valley -Project 562674
588 Camino Del Rio North

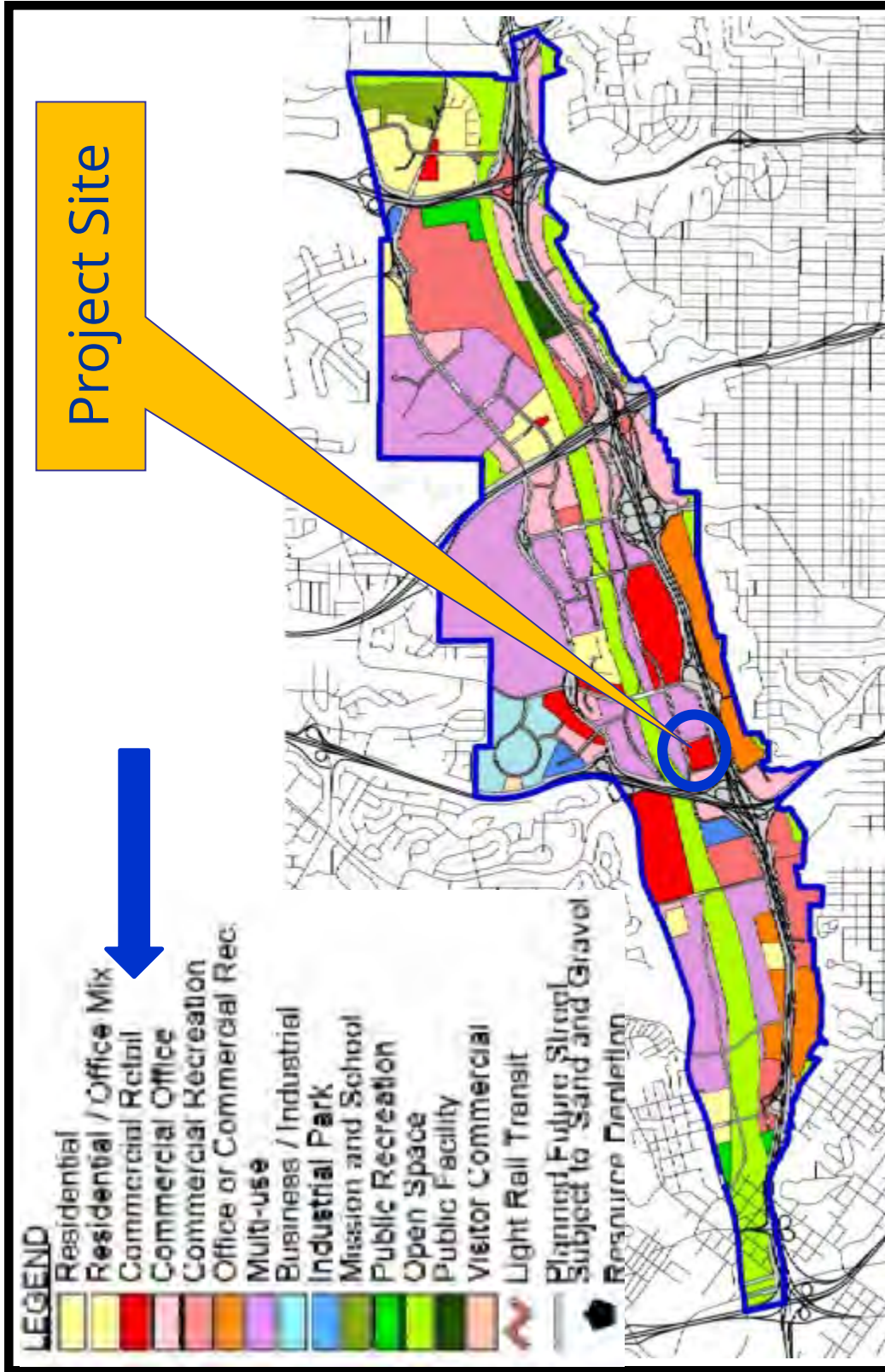




Existing Zoning (MVPD-MV-CR Zone)

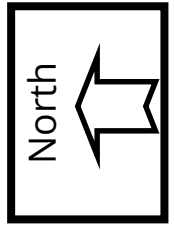
Witt Mission Valley -Project 562674
588 Camino Del Rio North





Mission Valley Community Land Use

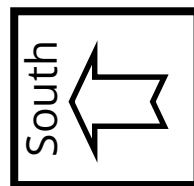
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588 Camino Del Rio North

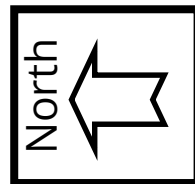
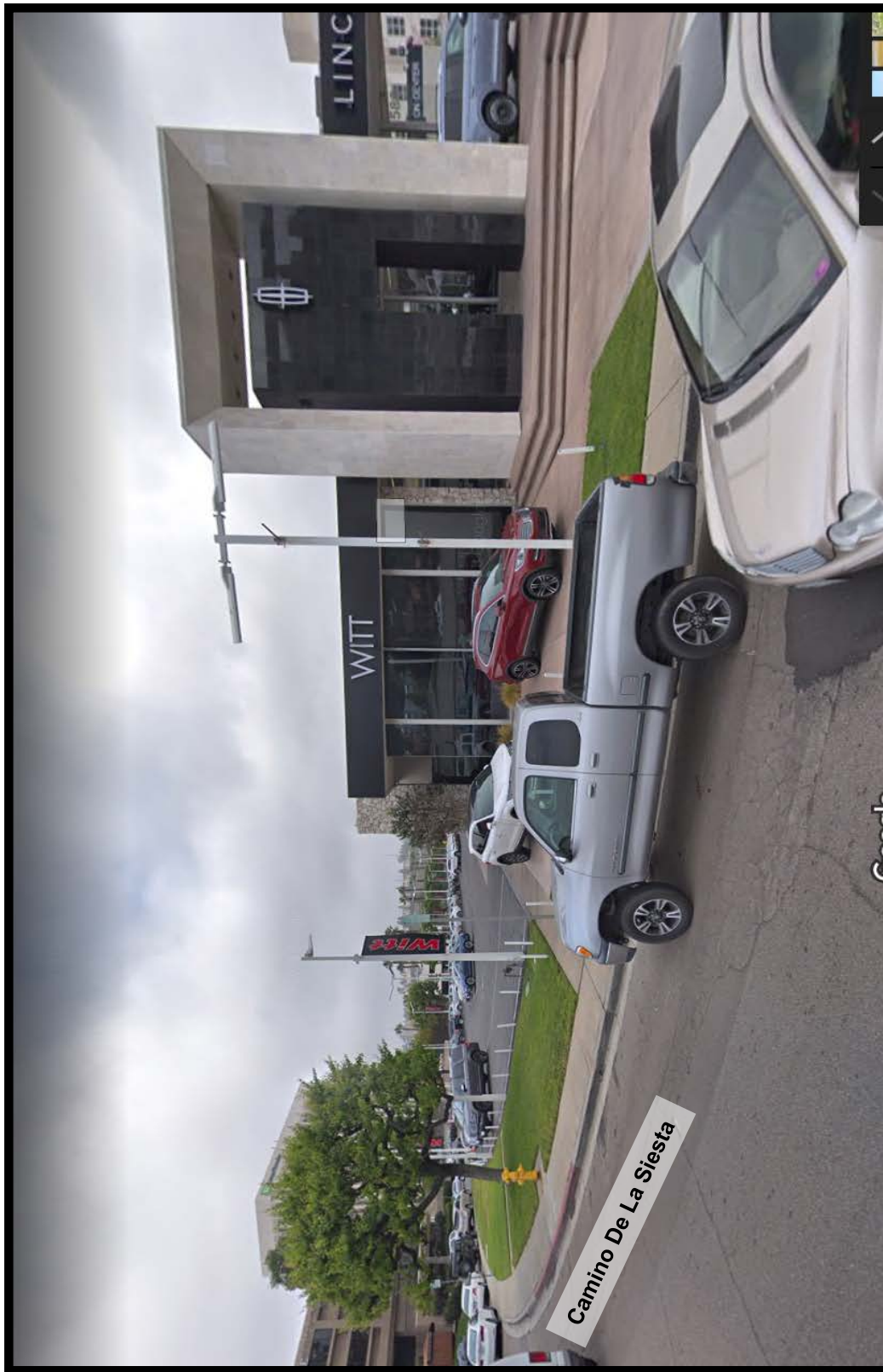




Site Photo - Looking southeast from corner of Camino De La Reina and Camino De La Siesta

Witt Mission Valley - Project 562674
588 Camino Del Rio North

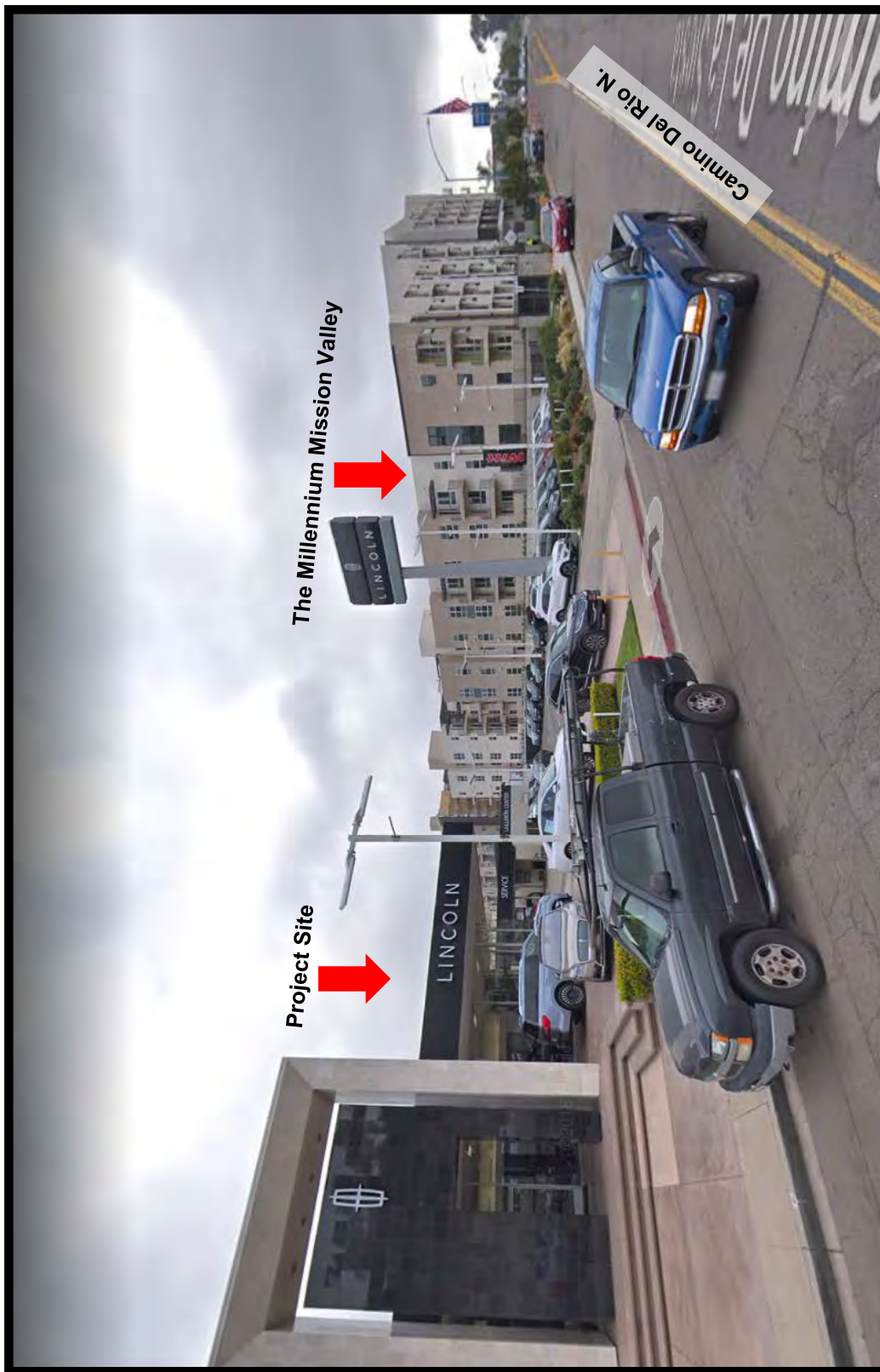




**Site Photo - Looking northwest from corner of
Camino De La Siesta and Camino Del Rio N.**

Witt Mission Valley - Project 562674
588 Camino Del Rio North





Site Photo - Looking east from corner of Camino De La Sista and Camino Del Rio N.

Witt Mission Valley - Project 562674
588 Camino Del Rio North

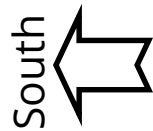




Site Photo – Looking south from Camino De La Reina



Witt Mission Valley – Project 562674
588 Camino Del Rio North



PROJECT DATA SHEET		
PROJECT NAME:	Witt Mission Valley	
PROJECT DESCRIPTION:	The demolition of a 38,070-square-foot automobile sales structure and on-site surface parking to construct a 527,760-square-foot mixed-use development comprised of 267 multi-family residential units and 10 shopkeeper units (277 total units) totaling approximately 343,160-square-feet; 6,000-square-feet of retail space; and 3,600-square-feet of commercial space.	
COMMUNITY PLAN AREA:	Mission Valley	
DISCRETIONARY ACTIONS:	Planned Development Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial Retail	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p>ZONE: MV-CR</p> <p>HEIGHT LIMIT: N/A</p> <p>LOT SIZE: 5.13-acres</p> <p>FLOOR AREA RATIO: N/A</p> <p>FRONT SETBACK: 10 feet</p> <p>SIDE SETBACK: 10 feet</p> <p>STREETSIDE SETBACK: 10 feet</p> <p>REAR SETBACK: 8 feet</p> <p>PARKING: 478 spaces proposed</p>		
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; MV-CR	Residential Units
SOUTH:	N/A-Interstate-8; MV-CO-CV	Interstate-8
EAST:	Commercial Retail; MV-CR	Mixed commercial/residential development
WEST:	Commercial Office; MV-CO-CV	Commercial Offices
DEVIATIONS OR VARIANCES REQUESTED:	Sidewalk and parkway widths along Camino De La Reina	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 9, 2018 the Mission Valley Community Planning Group voted 20-0-0 to recommend approval of the project.	

PLANNING COMMISSION
RESOLUTION NO. _____
PLANNED DEVELOPMENT PERMIT NO. 1984579
SITE DEVELOPMENT PERMIT NO. 1984580
WITT MISSION VALLEY PROJECT NO. 562674 [MMRP]

WHEREAS, TOWNSEND MISSION VALLEY, LP a California Limited Partnership Owner/Permittee, filed an application with the City of San Diego for a permit to demolish 38,070-square-feet of existing commercial structures and on-site surface parking, and the construction of a mixed-use residential and commercial development (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No's. 1984579 and 1984580), on portions of a 5.13-acre site;

WHEREAS, the project site is located at 588 Camino Del Rio in the MVPD-MV-CR zone within the Mission Valley Planned District and the Mission Valley Community Planning area. Additionally, the project site is within the Airport Land Use Compatibility Overlay Zone (Montgomery Field), the Airport Influence Area (Montgomery Field and San Diego International Airport (SDIA), Review Area 2), the Federal Aviation Administration Part 77 Noticing Area (Montgomery Field and SDIA), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Transit Priority Area;

WHEREAS, the project site is legally described as Parcels 1 and 2 of Parcel Map No. 17806;

WHEREAS, on May 23, 2019, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1984579 and Site Development Permit No. 1984580, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated May 23, 2019.

A. PLANNED DEVELOPMENT PERMIT [San Diego Municipal Code Section 126.0605]

1. Findings for all Planned Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes the demolition of existing commercial structures (38,070 square feet) and on-site surface parking and construction of a mixed-use development consisting of 267 multi-family residential units and ten shopkeepers' units for a total of 277 residential dwelling units, 6,000 square feet of commercial retail space, and 3,600 square feet of commercial office. The 5.13-acre site is located at 588 Camino Del Rio North in the MV-CR zone of the Mission Valley Planned District and designated Commercial Retail within the Mission Valley Community Plan. Additionally, the project site is within the Airport Land Use Compatibility Overlay Zone (Montgomery Field), the Airport Influence Area (Montgomery Field and San

Diego International Airport (SDIA), Review Area 2), the Federal Aviation Administration Part 77 Noticing Area (Montgomery Field and SDIA), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and the Transit Priority Area.

In accordance with the Mission Valley Community Plan's Multiple Use Development Option for developers, the proposed project is seeking an application through a Planned Development Permit (PDP) to develop a multiple-use development on a site designated Commercial Retail. A multiple-use development must include two or more significant revenue-producing uses (such as retail, office, residential, etc.) and provide a walkable development. The project meets the Multiple-Use Option by providing residential, retail spaces and commercial uses and is designed for walkability between the three use types and public transit. A bus stop is located adjacent to the site on Camino De La Reina and a light rail transit is located 0.5 mile from the site. Residents within the project will be able to walk to the bus stop or trolley minimizing the need for automobile use. The project provides a large pedestrian retail plaza on Camino De La Reina, a dog park/courtyard adjacent to Camino Del Rio North, and a passive courtyard and a pool courtyard along Camino De La Siesta. Total common open space area is 50,000 square feet which includes 20,800 square feet for a public plaza where 7,000 square feet is required.

The project provides for a functional and physical integration of land uses that are tied together by a pedestrian plan. The pedestrian plan links the mix of land uses within the project but also provides a connection to the project's various amenity areas, including a fitness center and four different amenity areas located throughout the project site for use of residents, employees, and visitors. The amenity areas located within the residential component of the project would be private and would serve the residents of the project. The retail plaza located on Camino De La Reina, is intended to serve project residents and employees, and visitors.

The residential component provides additional housing stock within the community and new retail space will increase employment opportunities for the surrounding community. The project provides permanent pedestrian linkage from the proposed development to Camino De La Reina and linkages to the public transit system. Commercial and retail spaces are provided along Camino De La Reina allowing for high visibility and access to the surrounding neighborhood and internal connections for ease of access to the project's residents.

Furthermore, the project is consistent with the traffic allocations of the Community Plan and Planned District Ordinance. The project site is located in Development Intensity District "G", Table 1514-03A which allows for up to 344 ADT per gross acre (Threshold 2), or 1,765 ADT for the 5.13-acre site. According to the Traffic Impact Analysis prepared for the project, the project generates approximately 1,765 ADT, meeting the traffic threshold requirement. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project, including review of grading, drainage, architecture, landscape, environmental analysis and provisions of new driveways, has been designed to conform with the City of San Diego's codes, policies, and regulations with the primary focus of protecting the public's health, safety and welfare. The conditions of approval require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would live and work at the site and within the community. Conditions of approval address driveways, public improvements, curb, gutters, sidewalks, landscaping and grading. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features, such as source control and treatment control Best Management Practices.

Environmental Impact Report (EIR) No. 562674/SCH No. 2017111027 has been prepared for the project in accordance with the state of California Environmental Quality Act (CEQA) guidelines. Based on the Initial Study, it was determined that a Mitigation, Monitoring and Reporting Program for Transportation/Circulation, Historical Resources, and Tribal Cultural Resources would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Planned Development Permit (PDP) No. 1984579 and Site Development Permit (SDP) No. 1984580, and other regulations and guidelines pertaining to the subject property per the SDMC for the project site. Prior to issuance of any building permits for the proposed development, the plans will be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the Owner/Permittee will be required to obtain a grading and public improvement permit. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project proposes a deviation to sidewalk and parkway widths along Camino De La Reina. SDMC Section 1514.0402 and Table 1514-04A requires an eight-foot

sidewalk with a six-foot parkway along Camino De La Reina. The project proposes a five-foot side walk and five-foot parkway. However, the project would meet the sidewalk and parkway width regulations along Camino Del Rio North and Camino De La Siesta.

The proposed deviation would be consistent with the sidewalk and parkway widths for the Millennium Mission Valley mixed use project approved on October 30, 2014 and located to the east of the site. Due to the site being partially located in a flood plain, the site is required to be elevated two feet above the base flood elevation, requiring a three-foot high retaining wall adjacent to the sidewalk. Implementing an eight-foot sidewalk and six-foot parkway along Camino De La Reina would push the sidewalk further into the development's manufactured slope requiring a six-foot retaining wall along the length of the property along Camino De La Reina. This would create a wall effect rather than creating a "Main Street" for the pedestrian experience. The project has been designed with a primary focus on pedestrian access proposing amenity features along the public right-of-way that would provide for a pedestrian focus at the project edge. The retail plaza is centrally located facing Camino De La Reina and provides for a vibrant, pedestrian-oriented atmosphere.

The above deviation is consistent with the goals and recommendations of the General Plan, the Mission Valley Community Plan, the Mission Valley Planned District Ordinance and the purpose and intent of the MV-CR zone. The Project has been designed to address the physical environment and would not adversely impact the public's health or safety. Apart from the deviation, the proposed project provides a mixed residential/commercial development in accordance with development standards of the MV-CR zone and the Mission Valley Community Plan. The proposed deviation will create an attractive and inviting street scene, and the reduced sidewalk and parkway widths will not affect pedestrian access and is in conformance with City of San Diego Transportation and Storm Water Street Design manual providing adequate pedestrian circulation. Additionally, the proposed development will assist in providing housing units and market-rate housing opportunities in transit-friendly areas near commercial centers. Allowing the site to maximize the variety of landscaped common open spaces with multiple social areas, allows for visual integration with the central retail plaza of which is a requirement of the Multiple-Use Development Option.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

As outlined in Planned Development Permit Finding No. (1)(a), the proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

As outlined in Planned Development Permit Finding No. (1)(b), the proposed development will not be detrimental to the public health, safety, and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

As outlined in Planned Development Permit Finding No. (1)(c), the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

C. MISSION VALLEY DEVELOPMENT PERMIT SDMC SECTION 1514.0201

1. Findings for all Mission Valley Development Permits:

- a. The proposed development is consistent with the Mission Valley Community Plan and the Progress Guide and General Plan.**

As outlined in Planned Development Permit Finding No. (1)(a), the proposed development is consistent with the Mission Valley Community Plan and the General Plan.

- b. The proposed development provides the required public facilities and is compatible with adjacent open space areas.**

The Project will pay all required Development Impact fees imposed by the City for development within the Mission Valley Community Plan area. A portion of these fees are directly related to providing public facilities for the community. Additionally, the project will require the construction of a two-way left turn lane on Camino Del Rio North from Camino Del Arroyo to Camino De La Siesta to the satisfaction of the City Engineer. Construction is required to be completed and accepted by the City prior to the issuance of the first certificate of occupancy. The proposed project is not adjacent to open space areas. Therefore, the proposed development provides the required public facilities and is compatible with adjacent open space areas.

c. The proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district.

The 5.13-acre project proposes the demolition of existing commercial structures and on-site surface parking for the construction of a mixed-use development. The proposed project will meet the purpose, intent, and criteria of the Mission Valley Planning District by allowing reasonable use of property; incorporating a multi-use development in accordance with the Mission Valley Community Plan and contributing to the functional well-being of the community by providing a pedestrian oriented development. The project meets the Multiple-Use Development Option of the Mission Valley Planned District Ordinance by providing a walkable development with outdoor gathering areas. A bus stop is located adjacent to the site on Camino De La Reina and a light rail transit is located 0.5 mile from the site. Residents within the project will be able to walk to the bus stop or trolley minimizing the need for automobile use. While the project does not meet the strict definition of a village, it does provide land uses that contribute to a "village" setting further augmented by the project location which is surrounded by residential and commercial uses on the north and east side of the site. Additionally, Fashion Valley Mall is located to the north and a grocery store is located a quarter mile to the east. The project provides a large pedestrian retail plaza on Camino De La Reina, a dog park/courtyard adjacent to Camino Del Rio North, and a passive courtyard and a pool courtyard along Camino De La Siesta. Total common open space area is 50,050 square feet which includes 20,800 square feet for a public plaza, where 7,000 is required.

The proposed project is in conformance with the Multiple-Use Development Option as the development includes multi-unit residential rentals, retail space and commercial uses. The project provides for a functional and physical integration of land uses that is tied together by a pedestrian plan. The pedestrian plan links the mix of land uses within the project but also provides a connection to the project's various amenity areas, including a fitness center and four different amenity areas located through-out the project site. The amenity areas located within the residential component of the project would be private and would serve the residents of the project. The retail plaza located on Camino de la Reina, is intended to serve residents, employees, and visitors.

Guidelines for Discretionary Review have been fulfilled as the project has successfully submitted a deemed complete application for review through the City of San Diego and brought forward to a decision maker for a decision in accordance with San Diego Municipal Code section 1514.0201 (Permit Application, Review, and Issuance). Therefore, the proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district.

d. The proposed development will comply with all other relevant regulations in the San Diego Municipal Code.

As outlined in Planned Development Permit Finding No. (1)(c), the proposed development will comply with all other relevant regulations in the San Diego Municipal Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1984579 and Site Development Permit No. 1984580 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 1984579 and Site Development Permit No. 1984580, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: May 23, 2019

IO#: 24007387

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007387

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 1984579

SITE DEVELOPMENT PERMIT NO. 1984580

WITT MISSION VALLEY PROJECT NO. 562674 [MMRP]

PLANNING COMMISSION

This Planned Development Permit No. 1984579 and Site Development Permit No. 1984580 is granted by the Planning Commission of the City of San Diego to TOWNSEND MISSION VALLEY, LP a California Limited Partnership, Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 1514.0201, 143.0110, 126.0502, and 126.0602. The 5.13-acre site is located at 588 Camino Del Rio North in the in the MVPD-MV-CR zone within the Mission Valley Planned District and the Mission Valley Community Planning area. Additionally, the project site is within the Airport Land Use Compatibility Overlay Zone (Montgomery Field), the Airport Influence Area (Montgomery Field and San Diego International Airport (SDIA), Review Area 2), the Federal Aviation Administration Part 77 Noticing Area (Montgomery Field and SDIA), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Transit Priority Area. The project site is legally described as: Parcels 1 and 2 of Parcel Map No. 17806;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish a 38,070-square-feet of existing commercial structures and on-site surface parking, and construct a mixed-use development described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 23, 2019, on file in the Development Services Department.

The project shall include:

- a. Demolish a 38,070-square-feet of existing commercial structures and on-site surface parking, and construction of a mixed-use development containing 267 multi-family residential units and 10 shopkeeper units (277 total units totaling and approximately 343,160-square-feet); 6,000-square-feet of retail space; and 3,600-square-feet of commercial space;
- b. Off-street parking to include a five-story parking structure and surface parking spaces;

- c. Deviation: A deviation from SDMC Section 1514.0402, Table 1514.04A allowing a five-foot sidewalk with five-foot parkway along Camino De La Reina where an eight-foot sidewalk and six-foot parkway is required;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's residential component and 30 percent for the commercial component projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 7, 2022.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Environmental Impact Report NO. 562674, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

The Owner/Permittee shall comply with the MMRP as specified in Environmental Impact Report NO. 562674, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Transportation/Circulation, Historical Resources, and Tribal Cultural Resources.

NOISE REQUIREMENTS:

13. Prior to issuance of any residential building permit, the Owner/Permittee shall submit an interior noise analysis that identifies sound transmission reduction measures demonstrating that building structures will attenuate exterior noise to a 45 dBA CNEL in habitable residential space and 50 dBA CNEL in occupied commercial areas per the exterior recommendations of the exterior noise analysis report (dBF, Associates, Inc. April 3, 2018).

14. Prior to issuance of Final Inspection, the Owner/Permittee shall submit two copies of the final Acoustical Analysis Report with the construction documents to the Building Inspector.

CLIMATE ACTION PLAN REQUIREMENTS:

15. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

AFFORDABLE HOUSING REQUIREMENTS:

16. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct any damaged existing curb with current City Standard Curb and Gutter, adjacent to the site on Camino De La Siesta, Camino De La Reina and Camino Del Rio North, satisfactory to the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Camino Del Rio North, Camino De La Siesta and Camino De La Reina, satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of two current City Standard driveways, adjacent to the site on Camino Del Rio North and Camino De La Siesta, satisfactory to the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of all non-utilized driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on Camino Del Rio North and Camino De La Siesta, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP (Best Management Practices) maintenance, satisfactory to the City Engineer.
24. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
25. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
26. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
27. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be

submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
29. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
30. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.
31. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'
32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

34. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the residential projected energy consumption and 30 percent of the commercial projected energy consumption
35. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

37. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
38. Prior to the issuance of any construction permit, the Owner/Permittee shall provide a one-foot-wide pedestrian access easement parallel to the property line abutting the entire site along Camino Del Rio North and Camino Siesta, satisfactory to the City Engineer.
39. Prior to the issuance of the first building permit, the Owner/Permittee shall assure by permit and bond, restriping of Camino Del Rio N. to provide a continuous ten-foot wide left turn lane from Camino Del Arroyo to Camino De La Siesta, satisfactory to the City Engineer. The improvement shall be completed and accepted by the City Engineer prior to first occupancy.
40. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond, the construction of a raised median on Camino De La Siesta from Camino De La Reina to south of the project's driveway on Camino De La Siesta, satisfactory of the City Engineer. The improvement shall be completed and accepted by the City Engineer prior to first occupancy.
41. Prior to issuance of the first building permit, the Owner/Permittee shall upgrade, and maintain the transit stop located on Camino De La Reina fronting the project (currently serviced by MTS Route 6), to include a bus shelter, concrete bus pad, seating, lighting, and any other amenities in coordination with MTS, satisfactory to the City Engineer.
42. Prior to the issuance of the first occupancy permit, the Owner/Permittee shall develop and implement a comprehensive Transportation Demand Management Plan that includes an information kiosk in a central location on the site, three bicycle lockers, priority parking spaces for carpools, partially subsidized transit passes for employees, and preferred parking for fuel efficient vehicles. The Owner/Permittee shall provide and maintain a nine-passenger shuttle, including driver, to transport residents and employees of the development to the nearest transit stations at Fashion

Valley and Mission Valley shopping centers travelling on a regular daily schedule and the service provided to residents shall be free of charge, satisfactory to the City Engineer.

43. Prior to the issuance of the first building permit, a Joint Use Driveway/Mutual Access Easement Agreement shall be recorded between APN 438-020-7500 and APN 438-020-7400 as shown on the Exhibit "A."

44. Prior to the issuance of the first building permit, the Owner/Permittee shall record a visibility easement on Camino Del Rio North within the sight distance triangle as shown on the Sight Visibility Exhibit, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

45. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water or sewer service(s) and the abandonment of any existing unused water or sewer service in a manner satisfactory to the Public Utilities Director and the City Engineer.

46. Prior to the issuance of any Certificate of Occupancy, the Owner/Permittee shall a private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located as shown on approved Exhibit "A" and constructed in a manner satisfactory to the Public Utilities Director and the City Engineer.

47. Prior to the issuance of any building permits, the Owner/Permittee shall grant water easements to the City of San Diego for the proposed above ground meters as shown on approved Exhibit "A" in a manner satisfactory to the Public Utilities Director and the City Engineer.

48. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and within five feet of any water facilities.

49. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

ATTACHMENT 8

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 23, 2019.

ATTACHMENT 8

Site Development Permit No. 1984580 /Planned Development Permit No. 1984579
Date of Approval: May 23, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

TOWNSEND MISSION VALLEY, LP
Owner/Permittee

By _____

Print Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R- _____

ADOPTED ON _____

WHEREAS, on October 5, 2017, Townsend Mission Valley, LP submitted an application to Development Services Department for a Planned Development Permit and Site Development Permit for the Witt Mission Valley (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on May 23, 2019; and

WHEREAS, the Planning Commission considered the issues discussed in Environmental Impact Report No. 562674 / SCH No. 2017111027 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Report has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081 and State CEQA Guidelines Section 15091, the Planning Commission hereby adopts the Findings made with respect to the Project, which are attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the [DECISION-MAKER] hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit B.

BE IT FURTHER RESOLVED, that the Report and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

ATTACHMENT 9

APPROVED: May 23, 2019,

By: _____
William Zounes,
Development Project Manager

ATTACHMENT(S): Exhibit A, Findings
 Exhibit B, Mitigation Monitoring and Reporting Program

EXHIBIT A

FINDINGS

(To be proved to the Planning Commission at EIR distribution)

EXHIBIT B

MITIGATION MONITORING AND REPORTING PROGRAM

**Planned Development Permit
Site Development Permit
Witt Mission Valley
Project No. 562674**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Environmental Impact Report No. 562674 / SCH No. 2017111027 shall be made conditions of Planned Development Permit and Site Development Permit as may be further described below.

Part I – Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction-related activity on site, the Development Services Department Director's Environmental Designee shall review and approve all Construction Documents (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the Environmental Designee shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City of San Diego's (City's) website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>.
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

Part II – Post-Plan Check (after permit issuance/prior to start of construction)

1. **PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent, and the following consultants:

- a. Qualified Paleontological Monitor
- b. Qualified Biologist
- c. Qualified Acoustician
- d. Qualified Archaeological Monitor
- e. Qualified Native American Monitor

NOTE: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a. The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858.627.3200**
 - b. For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC** at **858.627.3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System No. 442880 and/or Environmental Document No. 442880/SCH No. shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the Development Services Department's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).

NOTE: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency: **Not Applicable**
4. **MONITORING EXHIBITS** All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site

plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Paleontology	Paleontology Reports	Paleontology Site Observation
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Noise	Acoustical Reports	Noise Mitigation Features Inspection
Traffic	Traffic Reports	Traffic Features Site Observation
Tribal Cultural Resources	Archaeology Reports	Archaeology/Historic Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Transportation/Circulation

- MM 5.2-1 Camino del Rio North from Camino de la Siesta to Camino del Arroyo:** Prior to issuance of the first building permit, the owner permittee shall assure by permit and bond the construction of a two-way left turn lane on Camino del Rio North from Camino del Arroyo to Camino de la Siesta to the satisfaction of the City Engineer and construction should be complete and accepted by the City prior to the issuance of the first certificate of occupancy. This improvement and would provide adequate

storage for vehicles wishing to access the project and increase overall segment capacity.

Historical Resources

MM 5.8-1

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including, but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
 - 3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site-specific records search (1/4-mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 - 3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4-mile radius.
- B. PI Shall Attend Preconstruction Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the

Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the preconstruction meeting, the Applicant shall schedule a focused preconstruction meeting with MMC, the PI, RE, CM, or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching
 1. The Archaeological Monitor shall be present full-time during grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Native American monitor shall determine the extent of their presence during construction related activities based on the AME and provide that information to the PI and MMC. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day

of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI and Native American monitor shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and the following procedures as set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenience.

ATTACHMENT 9

3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains ARE determined to be Native American
 1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with the California Public Resource and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are NOT Native American
 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for

internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner and the Museum of Man.

Tribal Cultural Resources

MM 5.9-1 This mitigation measure requires implementation of all elements of Mitigation Measure MM 5.8-1, Historical Resources.

Attachment 10

Community Planning Group Recommendation

**MINUTES OF THE REGULAR MEETING OF THE
MISSION VALLEY PLANNING GROUP**

January 9, 2018

Mission Valley Public Library, Community Room
2123 Fenton Parkway, San Diego, CA 92108

Members Present:

Steve Abbo, Cameron Bucher, Kaye Durant, Bob Cummings, Jonathan Frankel, Alan Grant, Derek Hulse, John La Raia, Elizabeth Leventhal, Kathy McSherry, Andrew Michajlenko, Jim Penner, Patrick Pierce, Keith Pittsford, Marco Sessa, Michael Sherman, Dottie Surdi, Rick Tarbell, Josh Weiselberg, and Larry Wenel.

Members Absent: Michele Addington, Perry Dealy

City/Government Staff:

Nancy Graham

Guests:

See list at end of minutes

A. CALL TO ORDER

Jonathan Frankel called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:02p.m. at the Mission Valley Library Community Room located at 2123 Fenton Parkway, San Diego, CA.

Verify Quorum: 14 members were present, constituting a quorum; Kathy McSherry, Derek Hulse, Dottie Surdi, John LaRaia, Marco Sessa and Patrick Pierce joined after the Call to Order.

B. PLEDGE OF ALLEGIANCE –

Jonathan Frankel led the Pledge of Allegiance.

C. INTRODUCTIONS / OPENING REMARKS/REPORT OF THE CHAIR

Jonathan Frankel welcomed everyone to the meeting and reminded those present to sign the sign in sheets. Jonathan suggested an informal committee or other session of the Board to outline strategic goals and desires for the future of Mission Valley including the CPU, the SDSU West project and other proposed development in Mission Valley.

D. APPROVAL OF MINUTES

Keith Pittsford moved to approve the minutes of December 05, 2018 regular meeting; Alan Grant seconded the motion. Minutes were approved 14-0-6 with Steve Abbo, Kaye Durant, Johnathan Frankel, Alan Grant, Elizabeth Leventhal, Andrew Michajlenko, Patrick Pierce, Jim Penner, Keith Pittsford, Marco Sessa, Michael Sherman,

Attachment 10

Community Planning Group Recommendation

Dottie Surdi, Josh Weiselberg, Larry Wenel **voting yes, and** Cameron Bucher, Bob Cummings, Derek Hulse, John LaRaia, Kathy McSherry and Rick Tarbell **abstaining.**

E. Public Input – Non-Agenda Items but within the scope of authority of the planning group.

- None.

F. Membership Committee – Keith Pittsford

1. Two open positions on the MVPG Board; volunteers are encouraged to apply.

G. Treasurer’s Report – Elizabeth Leventhal

1. Reported that the balance remains same at \$1,344.16.

H. Information Items

1. Conversion of Existing Carl’s Jr. Restaurant at 5323 Mission Center Rd. – Khoa Nguyen

Application provided background on Chick-Fil-A and business practices, including development of dual drive-thru system. Applicant proposes no modifications to existing site plan; proposes architectural modifications to building façade and landscape and as necessary for compliance with City approval process. Applicant sought input from DAB, but project does not require DAB approval. Applicant came before MVPG as informational item for outreach to MVPG. Questions asked about property boundary and relationship to Incahoots business; the property is separate from that business and is a parcel separate and apart from the parcel upon which the Incahoots business is located. This facility will be franchisee operated. Questions asked about impacts to river and homeless; project will not directly affect the river and the franchisee is welcome to partner with City or other non-profits regarding assistance re: homelessness. Project timing seeks City approval in April, construction through the summer and an opening Fall of 2019. Question asked about mural on block wall; no plans to modify the mural.

I. Action Items –

1. Witt Mission Valley Residential Project – Josh Vasbinder & Karen Ruggels

Applicant provided background on company and general outline of project. Project is on just over 5 acres, five stories high in a wrap configuration and will have 277 residential units, including studios, 1 & 2 bd units and shop-keeper units and is similar to adjacent Millennium Mission Valley project.

Attachment 10

Community Planning Group Recommendation

Applicant modified the site plan to bring the garage closer to freeway at request of City. Project also features large dog park and prominent stair-step entry at northwest corner near entrance to river path to make more inviting. Traffic impacts are limited to cumulative impacts to Camino Del Rio North. The project will pay an in-lieu fee, which is reduced as project is on City's fast track process because it generates 52% of its own electric need onsite. Questions were asked about noise and impact to residents in adjacent project – no complaints received concerning noise by residents, but not all units are leased yet. The project EIR comment period has closed and project expects to go before Planning Commission February 2019; construction could begin end of 2019 and will require two years to complete.

Marco Sessa moved to recommend the project as presented; Dottie Surdi seconded the motion. The matter was approved 20-0-0 with Steve Abbo, Cameron Bucher, Kaye Durant, Bob Cummings, Jonathan Frankel, Alan Grant, Derek Hulse, John La Raia, Elizabeth Leventhal, Kathy McSherry, Andrew Michajlenko, Jim Penner, Patrick Pierce, Keith Pittsford, Marco Sessa, Michael Sherman, Dottie Surdi, Rick Tarbell, Josh Weiselberg, Larry Wenel **voting yes.** There were zero “no” votes, recusals or abstentions.

2. **Application for CUP for alcoholic beverage outlet at Chevron Gas Station at 2290 Camino Del Rio North** – Bill Riggle & Saad Attisha

Applicant presented materials including cycle comments from City and proposed conditions issued by City Police Department. Applicant agrees to comply with conditions provided it does seek waiver on the prohibition of refrigerated alcoholic beverage sales and does seek approval to have two coolers for refrigerated alcoholic beverages. Applicant also agrees that if it obtains approval for alcoholic sales as submitted, it will agree to comply with all of City requirements including frontage improvements to driveways and sidewalk. Applicant was asked to confirm the above. Applicant was also asked about crime statistics and whether they could confirm the high crime rate is mostly attributed to crimes committed at stadium site during events. Applicant believed such was the case, but could not provide confirmation re: the statistics. Applicant was asked if sales had declined since facility was renovated to expand convenience store. Applicant indicated sales had increased and sought approval of the CUP to provide additional convenience to customers and is aimed to maintain their business. Project is located immediately across Camino De La Reina and adjacent residential complex where some customers live.

Jonathan Frankel moved to recommend the project as presented by Applicant; Derek Hulse seconded the motion. The matter was approved 17-3-0 with Steve Abbo, Cameron Bucher, Kaye Durant, Bob Cummings, Jonathan Frankel, Alan Grant, Derek Hulse, John La Raia, Kathy McSherry, Andrew Michajlenko, Patrick Pierce, Marco Sessa, Michael Sherman, Dottie Surdi, Rick Tarbell, Josh Weiselberg, and Larry Wenel

Attachment 10

Community Planning Group Recommendation

voting yes, and Elizabeth Leventhal, Jim Penner and Keith Pittsford **voting no.** There were no recusals and/or abstentions.

J. Committee/Community Reports:

1. Subcommittee Reports:

a. Standing Committees:

- 1) Design Advisory Board – Normally meets the Monday prior to the MVPG meeting at 3:30 p.m. at the Mission Valley Library- Andrew Michajlenko.

The DAB did not meet last month.

- 2) Mission Valley Community Plan Update- Elizabeth Leventhal/ Andrew Michajlenko Normally meets 2nd Friday of each month at 3:00 p.m. at the Mission Valley Library.

Comments on the MVCPU have been compiled and submitted to the Chair for final review and delivery to the City. No meeting is planned for January. Nancy Graham commented the City is looking to release the EIR draft in February as well as proposed land use drafts. The land use drafts is passing through the City's working group prior to release which is anticipated to be February.

b. Ad Hoc Committees

- 1) Public Health, Safety and Welfare – Elizabeth Leventhal

The We All Count effort for MV and other areas of the County is planned for January 25th and is headed by the San Diego River Park Foundation.

For more information or to volunteer, visit the following link:

<https://rtfh.volunteerhub.com/>

John Brady from Voices of Our City Choir was introduced and briefly spoke about the organization and its purpose in developing solutions to homelessness in San Diego. More information can be found at the following link: <http://www.voicesofourcity.org/>

- 2) Riverwalk-Michele Addington

New meeting dates; meetings now held on 4th Thursday of the month with next meeting to be held February 28th at 3:30PM at the MV Library.

- 3) MV Stadium Redevelopment-Kaye Durant

Letter from MVPG sent to Mayor and SDSU, but no response received thus far. SDSU commented that they will be initiating outreach efforts and seek public input on the project in the coming months and will have email contact for public input to be received.

Attachment 10
Community Planning Group Recommendation

2. Community Reports

a. San Diego River Coalition – Alan Grant-Normally meets the third Friday of each month at 3:00 p.m. at the Mission Valley Library.

There was no meeting in December. The next meeting will be January 18 at 3:00p.m. and the agenda will include a letter to the Mayor's office concerning SANDAG's continued efforts regarding the river trail south of the stadium site.

b. Community Planning Chairs Meeting –Michele Addington/Jonathan Frankel

No meeting in December, but January meeting is focused on Mayor's proposed parking minimums.

3. Miscellaneous Mail/Items-For the Good of the Order

Rob Hutsel of San Diego River Park Foundation commented that over past year survey indicates an 81% reduction in homeless encampments in the river area of Mission Valley as well as reduction in associated trash removal. New efforts will focus on homeless residing in canyons who were displaced from the river and the impact on them. Josh Weiselberg commented that relocation of the recycling center from Food-4-Less to mid-City has also reduced some of the MV homeless issues and also commented that he would like to see SDSU work a homeless outreach or assistance program into its redevelopment process.

K. Adjournment: Meeting was adjourned at 1:22P.M. Next Regular Meeting Date is February 6th at 12 noon at the Mission Valley Library, Community Room.

Cameron Bucher, Secretary

Attachment 10
Community Planning Group Recommendation

PHOTO OF GUEST SIGN IN SHEET FOR JANUARY 9, 2019 MEETING

GUEST SIGN-IN Meeting Date 1/9/ 2019
We have open board positions—please let us know if you wish to volunteer.

	Print Name	Print Affiliation
1	Brittany Ruggeri Wallace	KUR Planning
2	Karen Ruggeri	KUR Planning
3	Robert Weichelt	Weichelt Properties
4	Carla Weichelt	Weichelt Properties
5	MARISSA FELICIANO	IS ARCHITECTURE
6	BECKE CIABATTI	URBAN ARENA.
7	Amy Tobia	FS Design Group - HV Business
8	Anthony Hackett	
9	KEN GOTTHELF	PROP OWNER
10		

GUEST SIGN-IN Meeting Date 1/9/ 2019
We have open board positions—please let us know if you wish to volunteer.

	Print Name	Print Affiliation
24	John Brady	Voices of our City
25	Saad Attisha	Mission Valley Christian
26	ROB HUTSEL	SORF
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35		



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☒ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Project No. For City Use Only

Witt Mission Valley

Project Address:

588 Camino de la Reina, San Diego 92108

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☒ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:


Project Title: Witt Mission Valley	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General What State? _____ Corporate Identification No. _____
☒ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☐ No

Corporate/Partnership Name (type or print): Townsend Mission Valley, LP <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 3737 Camino Del Rio S., Suite 109 City/State/Zip: San Diego, CA 92108 Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): Robert Townsend Title (type or print): _____ Signature:  Date: 7/10/12 Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____ Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____ Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____ Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____
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Supplement to Ownership Disclosure Form for Project No. 562674

Townsend Mission Valley Properties, L.P.

The General Partner of Townsend Mission Valley Properties, L.P. is Townsend Properties, Inc., a California corporation. Robert E. Townsend is the President, Chief Financial Officer and a Director of the corporation. Marilyn J. Townsend is the Secretary and a Director of the corporation. There are no other officers or Directors.

The Limited Partners of the Partnership are Robert E. Townsend and Marilyn J. Townsend.



Project Rendering (Birdseye view looking southeast)

Witt Mission Valley –Project No. 562674
588 Camino Del Rio North



Project Rendering (looking northeast from I-8)

Witt Mission Valley –Project No. 562674
588 Camino Del Rio North

WITT MISSION VALLEY



RELAXED SOCAL LIVING WITH A HIP, SAN DIEGO VIBE

TEAM

OWNER:

Din / Cal 4, Inc.
777 S. Hwy 101, Ste 210
San Diego, CA 92075
Contact: Josh Vasbinder
P: 858.847.9311

ARCHITECT:

TCA Architects
19782 MacArthur Blvd, Ste 300
Irvine, CA 92612
Contact: Irwin Yau
P: 949.862.0270

LANDSCAPE:

Urban Arena
11300 Sorrento Valley Rd, Ste 230
San Diego, CA 92121
Contact: Keith Mittenmeyer
P: 858.625.0112

CIVIL ENGINEER:

Leppert Engineering
5190 Governor Drive, Ste 205
San Diego, CA 92122
Contact: Norm Kasabuchi
P: 858.597.2001

GEOTECHNICAL:

Christian Wheeler
3980 Home Ave.
San Diego, CA 92105
Contact: Shawn Caya
P: 619.550.1700

ENVIRONMENTAL:

KLR Planning
P.O. Box 882676
San Diego, CA 92168
Contact: Karen Ruggels
P: 619.578.9505

PROJECT SUSTAINABLE DESIGN FEATURES

- LEED for Homes Silver Certification
- ENERGYSTAR windows & kitchen appliances
- Energy efficient air conditioning & heating
- 3rd party performance testing & inspections of equipment
- Ceiling fans in all living areas
- Energy efficient lighting
- Programmable thermostats
- Low-flow water fixtures
- High efficiency toilets
- High efficiency irrigation system
- Drought tolerant landscaping
- Recycling during construction
- Walkability: close to retail / restaurants / mass transit
- Low VOC paints, sealants, adhesives, and carpet
- Green Label Plus carpet & padding
- Eco-friendly construction materials & finishes
- Preferred parking for fuel efficient vehicles
- Green education for leasing staff & tenants
- On-site recycling for residents & tenants
- Carbon monoxide monitors
- High-grade air filters (MERV 8)
- Controlled fresh air ventilation
- Indoor contaminant control during construction
- Bicycle parking

PROJECT DATA

PROJECT ADDRESS:

588 Camino Del Rio North. San Diego, California 92108

ASSESSOR PARCEL NUMBERS:

Parcel 1: 438-020-74 & Parcel 2: 438-020-75

CITY OF SAN DIEGO PROJECT NUMBER:

562674

ZONING DISTRICT:

Planned District: Mission Valley Planned District
Zone: MV-CR (Mission Valley - Commercial Retail)

LAND USE:

EXISTING: Auto dealership sales offices, service bays, and exterior sales areas with AC surface parking lots.
PROPOSED: 6,000 SF Retail space, 3,600 SF Commercial space, 267 Residential units, 10 Shopkeeper units.

GOVERNING CODES:

2016 California Building Code (CBC), CALGreen 2016,
San Diego Municipal Code (SDMC)

TYPES OF CONSTRUCTION:

Type III-A, 5 story wood superstructure
Type I-A, 5 story concrete garage structure
Type V-A, 1-4 story wood structure

FIRE SPRINKLERS:

Fully Sprinklered, NFPA-13

OCCUPANCY CLASSIFICATION:

R2 Residential Units
B Leasing, Mail / Parcel, Amenities
A3 Resident Lounge & Aqua Lounge
M Retail / Commercial
S2 Garage, Storage

LOT AREA & DENSITY:

± 223,463 SF 5.13 AC 54 DU/AC

BUILDING COVERAGE: 111,724 SF (49.9%)

GROSS SF:

*THESE ARE SCHEMATIC TABULATIONS ONLY & DON'T INCLUDE
REDUCTIONS FOR SHAFTS

Residential / Shopkeeper:	329,823 GSF
Retail / Commercial:	9,600 GSF
Parking Garage:	169,595 GSF
Total:	509,018 GSF

FLOOR AREA RATIO:

*RESIDENTIAL+ COMMERCIAL /LOT AREA

RETAIL / COMMERCIAL *	9,600 GSF
RESIDENTIAL *	329,823 GSF
TOTAL BLDGS *	339,423 GSF
PROVIDED	1.52 F.A.R.

BUILDING HEIGHT LIMITATION:

250' PER SDMC 1514.0404(a)
85' above grade plane, PER CBC for Type III-A
60' above grade plane, PER CBC for Type V-A

BUILDING SETBACKS:

Front (Camino De La Reina, De La Siesta, Del Rio N.): 10'
Rear/ Side (Internal Side): 16'

GEOLOGIC HAZARD CATEGORY:

Category 31

RESIDENT PRIVATE STORAGE:

277 private storage units @ 100 cubic ft / unit

PROJECT NARRATIVE

The proposed is a new high-density mixed-use apartment project on a 5.13 Acre site, providing 267 residential units and 10 shopkeeper units, located at the northwestern corner of Camino De La Reina & Camino De La Siesta. This Type III apartment building wraps a 5-story Type I parking garage, and provides 3,600 square feet of commercial and 6,000 square feet of retail use. Organized around 3 courtyards which are programmed with residential amenities, the building's architecture is designed in a contemporary style.

Fundamental to the design is the connection of pedestrian access to and from the site. Holding the edge of the buildings 20 feet back from the curb of Camino De La Reina and carving out 4,000 square-foot space for corner and central public plazas provides a vibrant, pedestrian-oriented atmosphere. Locating the project's "front door" adjacent to the large central public plaza allows for a sense of arrival & shared pedestrian experience between residents and public visitors.

SUMMARIES

UNIT SUMMARY						Total # Units	% of Unit Mix	NET S.F.*	Balcony / Deck S.F.**	Total Net Rent.	AVG. S.F.
UNIT TYPE	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05						
STUDIO:											
S1	1	2	2	2	2	9		475	0	4,275	
S2	0	2	2	2	2	8		579	0	4,632	
S2.1	1	1	1	1	1	5		606	0	3,030	
SUBTOTAL	2	5	5	5	5	22	7.9%			11,937	543
1 BR:											
A1	6	12	12	12	12	54		728	37	39,312	
A2	5	5	18	18	17	63		750	70	47,250	
A2.1	1	1	1	1	1	5		790	70	3,950	
A2.2	4	4	4	4	4	20		634	70	16,660	
SUBTOTAL	16	22	35	35	34	142	51.3%			107,192	755
2 BR:											
B1	5	9	12	12	12	50		1,090	68	54,500	
B1.1	1	1	1	1	1	5		1,145	68	9,725	
B1.2	1	1	1	1	1	5		1,217	68	6,085	
B1.3	2	2	2	2	2	10		1,253	68	12,530	
B2	5	6	7	7	5	30		1,063	40	31,890	
B3	0	0	1	1	1	3		1,248	60	3,744	
SUBTOTAL	14	19	24	24	22	103	37.2%			114,474	1,111
SUBTOTAL (RES.)	32	46	64	64	61	267	96.4%			233,603	875
SHOPKEEPER:											
SK1	10	0	0	0	0	10		1,398	60	13,980	
SUBTOTAL (SK)	10	0	0	0	0	10	3.6%			13,980	1,398
PROJECT TOTAL											
						277	100.0%			247,583	894

* Square footage is taken from centerline of parti walls and outside of exterior walls, excluding decks and balconies.

** Deck square footage is an average as most decks will vary slightly in size and is not included in Net Rentable Square Footage.

PARKING SUMMARY

REQUIRED PARKING - RESIDENTIAL				
Unit Type	Ratio*	#	Total Req'd**	
Unit S (Studio)	1.25	22	28	
Unit A (1-BR)	1.25	141	177	
Unit B (2-BR)	1.75	104	182	
SK (Shopkeeper)	1.75	10	18	
TOTAL			405	
Ratio			1.46	

*Transit Area Overlay Ratio, per SD Municipal Code 142.0525

**8% of total required stalls for low-emitting, fuel efficient, carpool/vanpool vehicles, per San Diego Zoning Ordinance Section 6792.

PROVIDED PARKING - RESIDENTIAL (STRUCTURE)			
LEVEL	HC*	Standard 9' x 18'	TOTAL CARS
01 - Resident (low-emitting)**	2	27	29
01 - Resident (electric vehicle)***	1	12	13
01 - Resident (UPS)	0	1	1
02 - Resident (low-emitting)**	0	5	5
02 - Resident	2	88	90
03 - Resident	2	93	95
04 - Resident	2	93	95
05 - Resident	2	92	94
TOTAL		411	422
		Ratio	1.52

*2% of total required parking, per City of SD Accessible Parking Requirements

**8% of total required stalls for low-emitting, fuel efficient, carpool/vanpool vehicles, per San Diego Zoning Ordinance Section 6792.

***3% of total provided stalls for electric vehicles, per CalGreen 2016 A4.106.8.2

REQUIRED BICYCLE PARKING - RESIDENTIAL				
Unit Type	Ratio*	# Stalls	Total Req'd	
Unit S (Studio)		22	8.8	
Unit A (1-BR)	0.4	141	56.4	
Unit B (2-BR)	0.5	104	52	
SK (Shopkeeper)	0.5	10	5	
BICYCLE PARKING - RES. REQUIRED			123	

*Per SD Municipal Code Table 142-05C

BICYCLE PARKING - RES. PROVIDED	129
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REQUIRED BICYCLE PARKING - RETAIL / COMMERCIAL*				
Space Type		# Stalls	Total Req'd	
Short Term		2	2	
Long Term		2	2	
BICYCLE PARKING - RTL. REQUIRED			4	

*Per SD Climate Action Plan

REQUIRED PARKING - RETAIL				
	Ratio *	% req'd	SF	Total Req'd**
Commercial	2.9	0.0029	3,600	11
Retail*	2.5	0.0025	6,000	15
TOTAL			9,600	26

*Transit Area Overlay Ratio, per SD Municipal Code 142.0525 & 142.0530

**4 stalls required for low-emitting, fuel efficient, carpool/vanpool vehicles, per SD Climate Action Plan

***6 EV stalls required for charging stations

PROVIDED PARKING - RETAIL (ON GRADE)				
		HC 9' x 18'	Standard 9' x 18'	TOTAL CARS
Retail/ Commercial - On Grade		3	49	52
Leasing		1	3	4
TOTAL		4	52	56
		Ratio		5.83

PROJECT TOTALS - RESIDENTIAL AND RETAIL	
Required Parking - Residential and Retail	431
Provided Parking - Residential and Retail	478

PROVIDED BICYCLE PARKING - RETAIL / COMMERCIAL			
Space Type		# Stalls	Total Req'd
Short Term		3	3
Long Term		3	3
BICYCLE PARKING - RTL. PROVIDED			6

REQUIRED MOTORCYCLE PARKING				
Unit Type	Ratio*	#	Total Req'd	
Unit S (Studio)	0.1	22	2.2	
Unit A (1-BR)	0.1	141	14.1	
Unit B (2-BR)	0.1	104	10.4	
SK (Shopkeeper)	0.1	10	1	
MOTORCYCLE PARKING - REQUIRED			28	

*Per SD Municipal Code Table 142-05C

MOTORCYCLE PARKING - PROVIDED	39
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ATTACHMENT 13 Project Plans Page 2 of 38

ARCHITECTURAL:

- Cover Sheet
- Project Data & Sheet Index
- Vicinity Map
- Site Photos
- Site Context
- Illustrative Site Plan
- Level 1 / Ground Floor Plan
- Level 2 Floor Plan
- Level 3 Floor Plan
- Level 4 Floor Plan
- Level 5 Floor Plan
- Roof Plan
- Access & Open Space Diagram
- Concept Design Criteria
- Perspective View
- North Elevation & Perspective
- East Elevation & Perspective
- South Elevation & Perspective
- West Elevation & Perspective
- Entry Drive Elevations & Perspective
- Pool Courtyard Elevations & Perspective
- Passive Courtyard Elevations & Perspective
- Retail Building Elevations & Perspective
- Commercial Building Elevations & Perspective
- Building Sections
- Units Plans: Studio & 1-Bedroom
- Units Plans: 1 & 2-Bedroom
- Units Plans: 2-Bedroom & Shopkeeper
- Fire Access Plan
- Exterior Materials

LANDSCAPE:

- Overall Site Plan
- Entry Plaza & Central Plaza
- Pool Courtyard Enlargement
- Dog Park & Passive Courtyard Enlargement
- Landscape Calculations
- Existing Tree Plan

CIVIL:

- Grading Plan
- Improvement Plan

PROJECT DESCRIPTION

PLANNED DEVELOPMENT PERMIT:

For the construction of a mixed-use project using the Multiple Use Option of the Mission Valley Community Plan.

SITE DEVELOPMENT PERMIT:

A portion of the project site is located within a Special Flood Area.

PLANNED DEVELOPMENT PERMIT

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RIO DEL ORO CONDOS



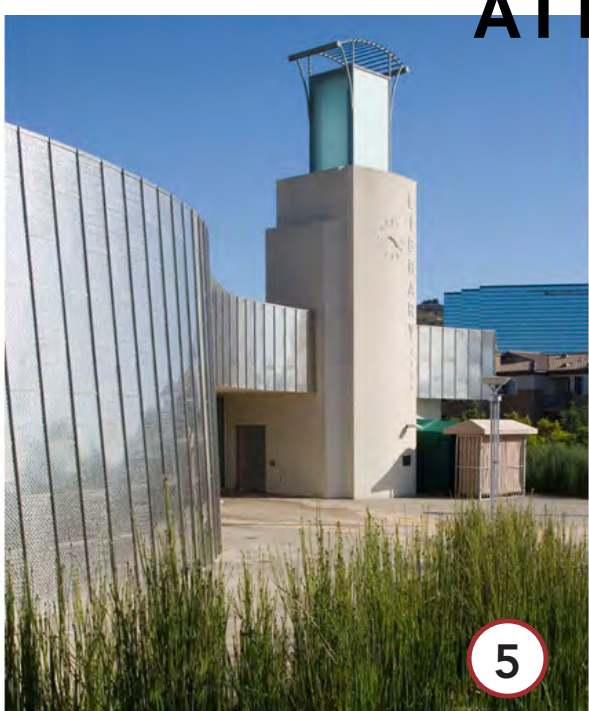
RIVER FRONT APARTMENTS



MISSION GATE APARTMENTS



SAN DIEGO MTS



MISSION VALLEY
LIBRARY



RIVER SCENE APARTMENTS



RIVERWALK GOLF CLUB



PROPOSED FUTURE MLS STADIUM



HILLS OF UNIVERSITY HEIGHTS



FASHION VALLEY MALL



WESTFIELD MISSION VALLEY

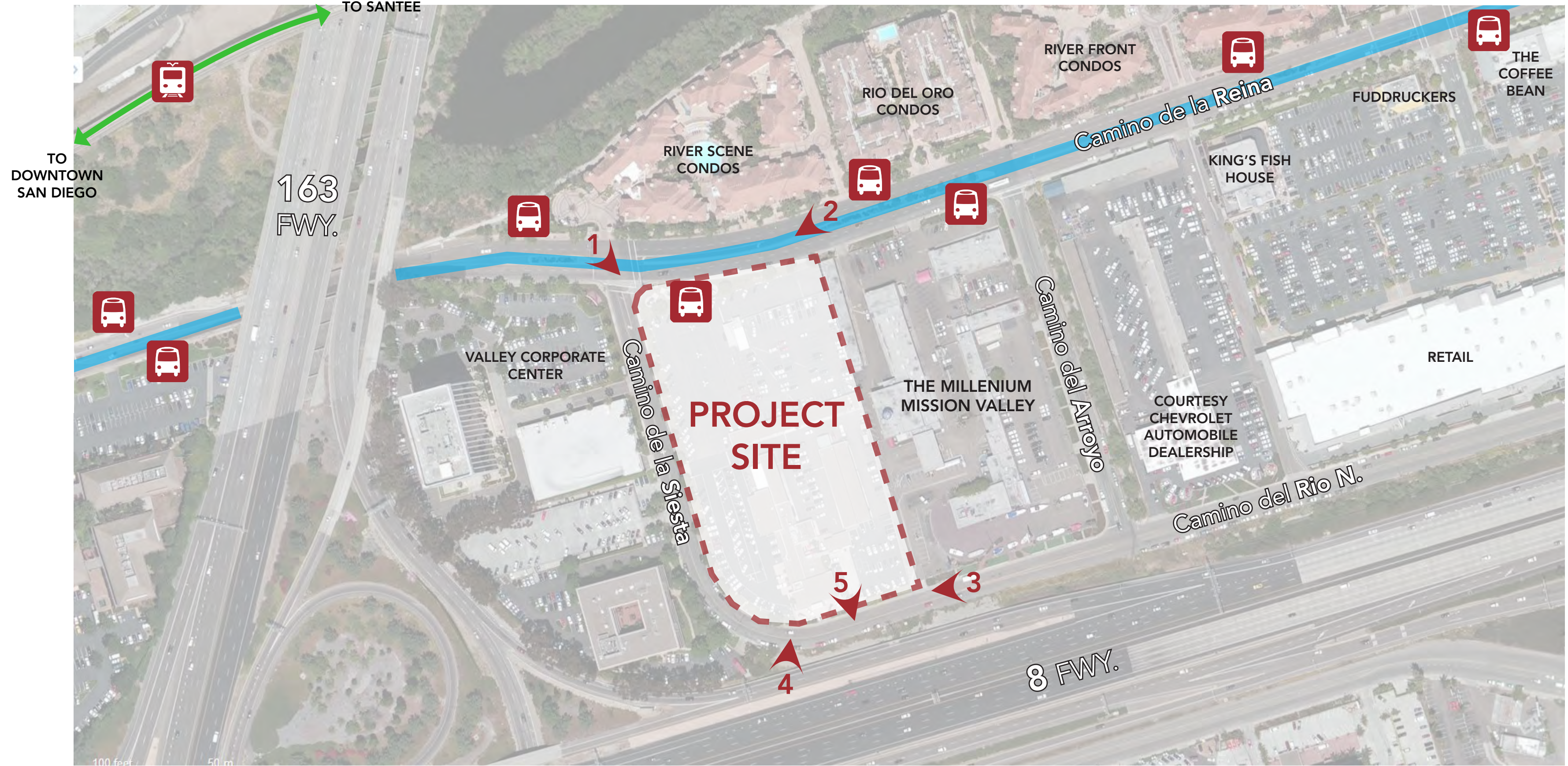


THE MILLENNIUM MISSION VALLEY



PLANNED DEVELOPMENT PERMIT
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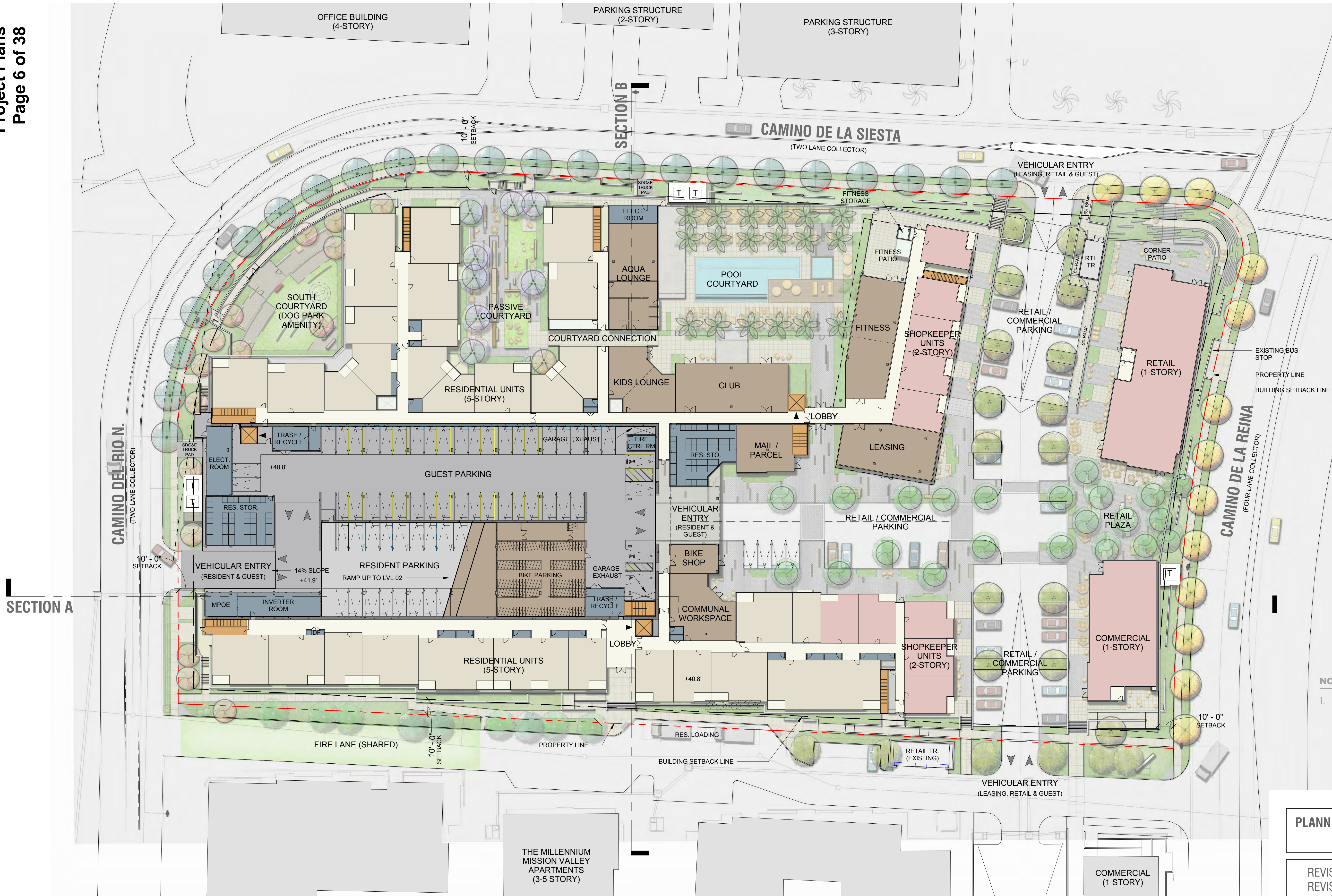


TRANSIT ROUTES

- SDMTS #6**
-  Bus Stop
- SAN DIEGO MTS**
-  MTS Stop







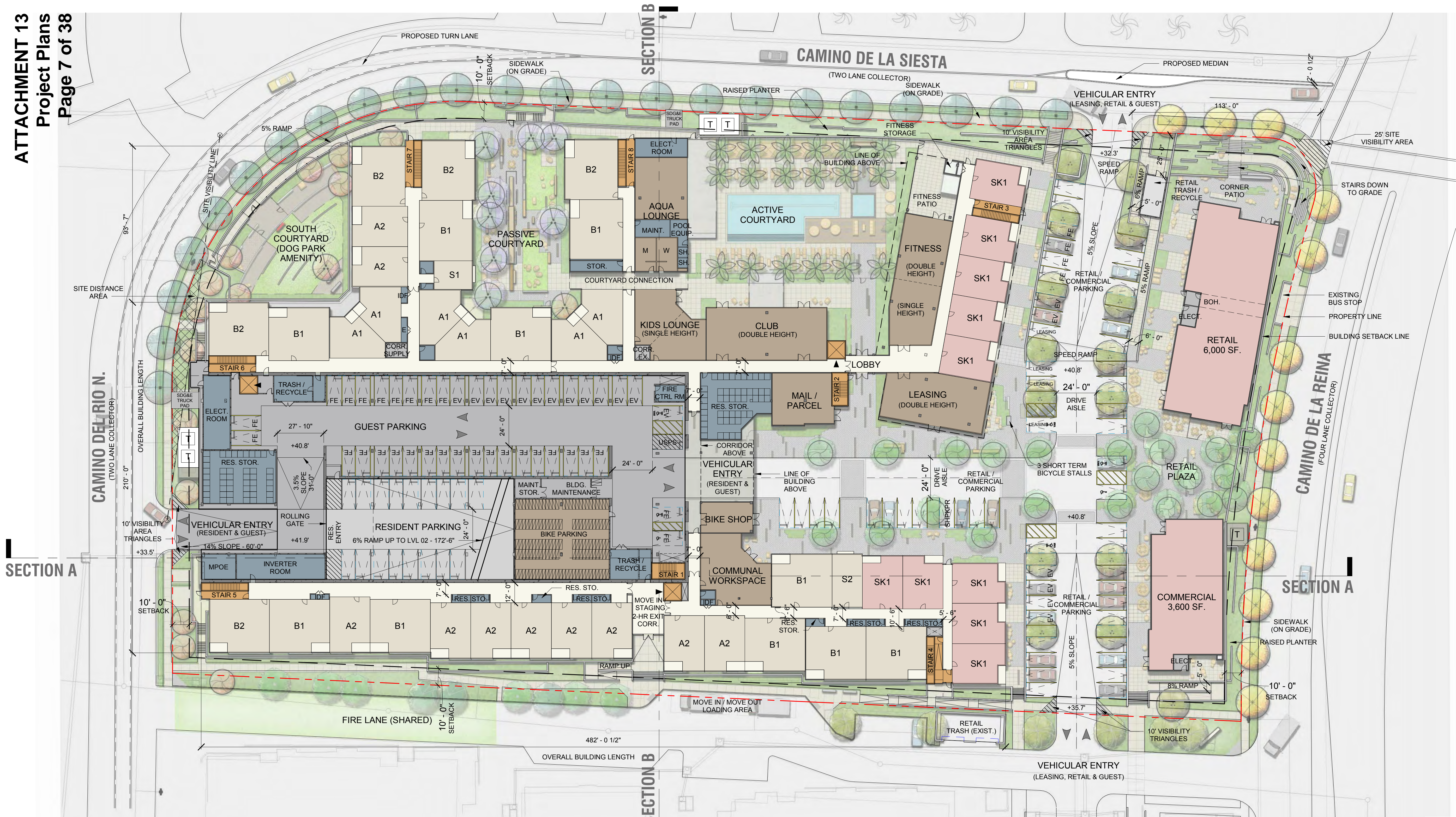
NOTES

1. HISTORICAL RESOURCES MITIGATION: Applicant acknowledges to implement the specific historical resources mitigation, monitoring, and reporting program.

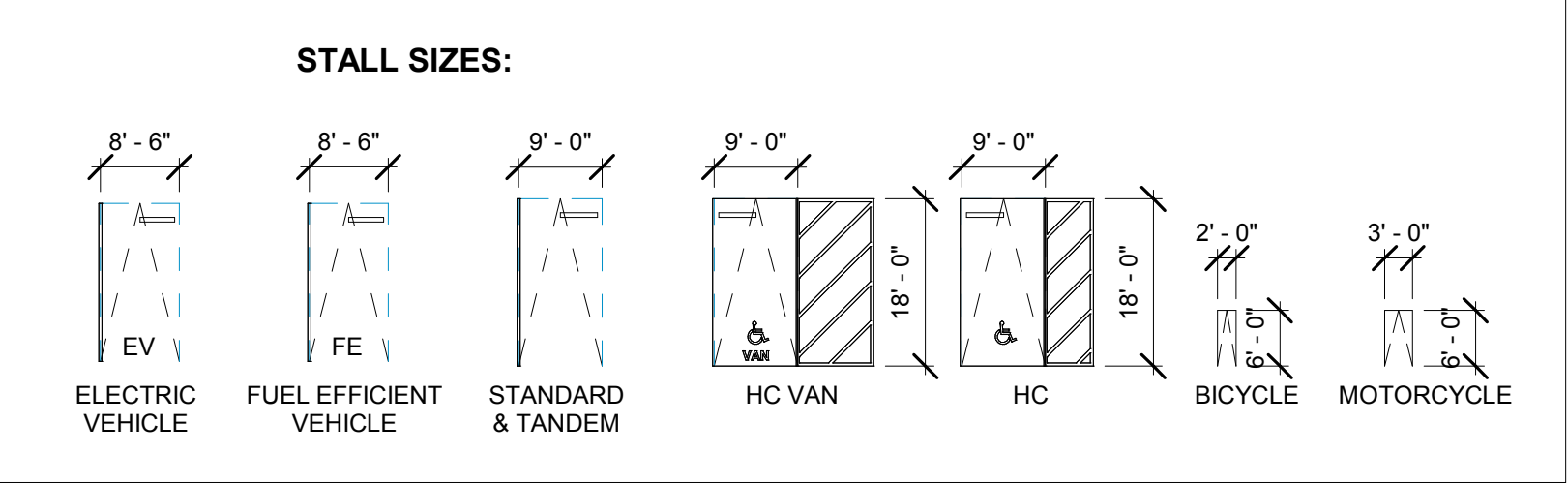
PLANNED DEVELOPMENT PERMIT
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NOTES
VISIBILITY AREA TRIANGLES: Per SDMC Diagram 113-02SS, No obstruction including landscaping or solid walls in the visibility areas shall exceed 3 feet in height.



LEGEND	
	Commercial / Retail
	Residential
	Amenities & Public Program
	Circulation & Retail Servicing
	Exit Stairs & Elevators

PLANNED DEVELOPMENT PERMIT
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LEGEND	
	Commercial / Retail
	Residential
	Amenities & Public Program
	Circulation & Retail Servicing
	Exit Stairs & Elevators

PLANNED DEVELOPMENT PERMIT
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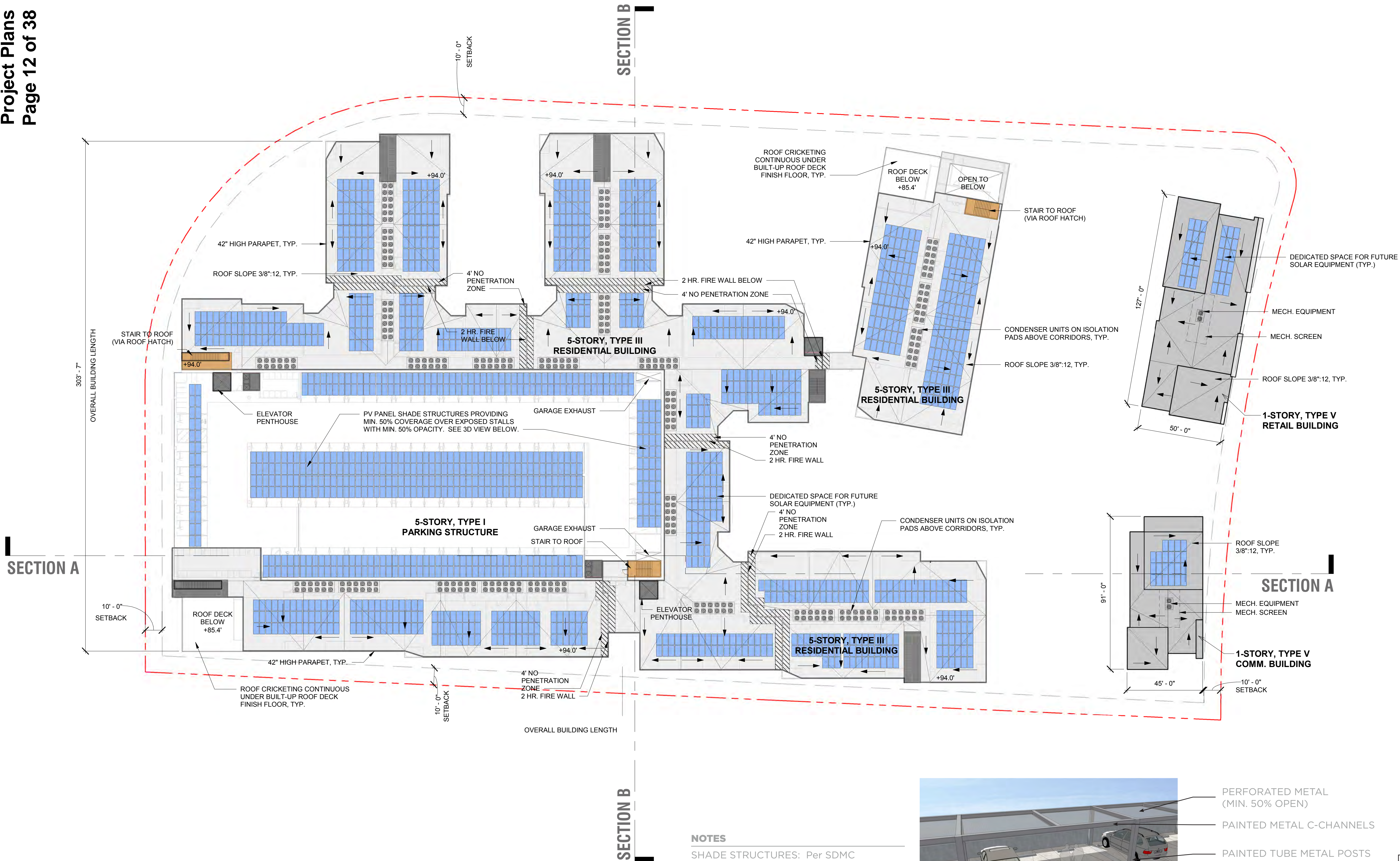


LEGEND	
	Commercial / Retail
	Residential
	Amenities & Public Program
	Circulation & Retail Servicing
	Exit Stairs & Elevators

PLANNED DEVELOPMENT PERMIT
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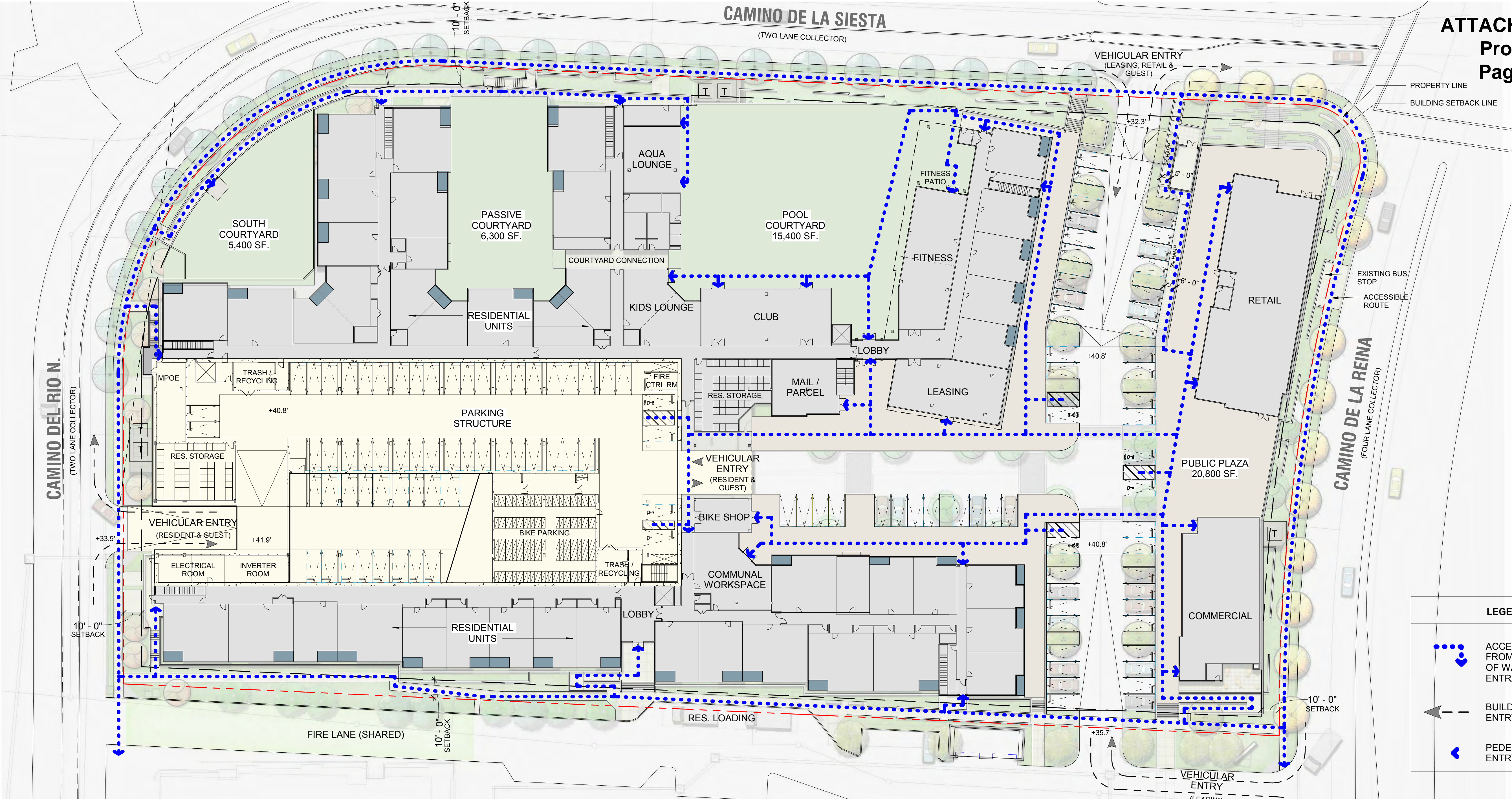
NOTES

SHADE STRUCTURES: Per SDMC 142.0506(K)(4), "The top floor of parking structures that are open to the sky are subject to the vehicular use area requirements of the Landscape Regulations (Chapter 14, Article 2, Division 4)."



3D VIEW OF SHADE STRUCTURE

- PERFORATED METAL (MIN. 50% OPEN)
- PAINTED METAL C-CHANNELS
- PAINTED TUBE METAL POSTS



PRIVATE OPEN SPACE REQUIRED:
PER SAN DIEGO MUNICIPAL CODE §131.0455 (c) FOR RM-3-8 ZONING
AT LEAST 75 PERCENT OF THE DWELLING UNITS SHALL BE PROVIDED WITH AT LEAST 60 SQUARE FEET OF USABLE, PRIVATE, EXTERIOR OPEN SPACE ABUTTING THE UNIT WITH A MINIMUM DIMENSION OF 6 FEET. THE OPEN SPACE MAY BE LOCATED IN THE REQUIRED FRONT YARD, BUT SHALL BE NO CLOSER THAN 9 FEET TO THE FRONT PROPERTY LINE.

NO. OF UNITS	RATIO	UNITS REQ'D @ 60 SF OPEN SPACE
277 DU TOTAL	75%	208 DU

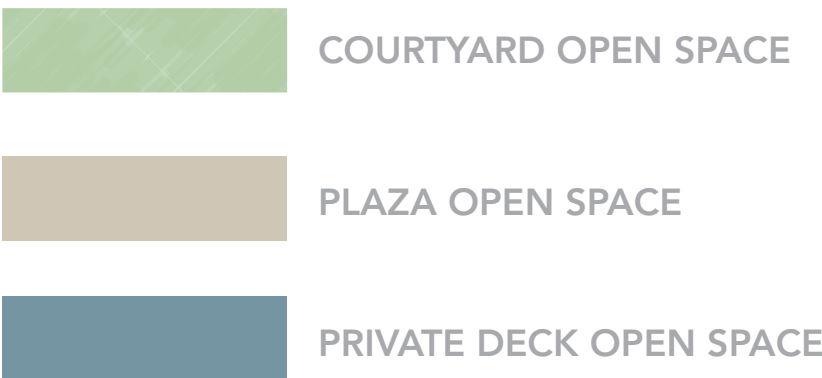
PRIVATE OPEN SPACE PROVIDED:
RESIDENTIAL PRIVATE DECKS >60 SF & 6' MIN. DIMENSION: 227 DU
TOTAL PRIVATE DECK AREA: 15,033 SF

COMMON OPEN SPACE REQUIRED:
PER SAN DIEGO MUNICIPAL CODE §131.0456 FOR RM-3-8 ZONING
THE COMMON OPEN SPACE AREA SHALL BE AT LEAST 300 SQUARE FEET, OR 25 SQUARE FEET PER DWELLING UNIT, WHICHEVER IS GREATER. AT LEAST ONE AREA OF COMMON OPEN SPACE SHALL BE PROVIDED WITH MINIMUM DIMENSIONS OF 12 FEET BY 15 FEET. THIS SPACE SHALL BE IMPROVED AS A USABLE AREA WITH LAWN OR RECREATIONAL FACILITIES. ROOFED STRUCTURES MAY OCCUPY A MAXIMUM OF 50 PERCENT OF THE COMMON OPEN SPACE AREA. NO ENCLOSED BUILDINGS ARE PERMITTED IN THE COMMON OPEN SPACE AREA.

NO. OF UNITS:	RATIO:	OPEN SPACE REQUIRED:
277 DU TOTAL	25 SF/DU	6,925 SF

COMMON OPEN SPACE PROVIDED:
PLAZA (ON GRADE): 20,800 SF
ROOF DECKS (LEVEL 5): 2,250 SF
COURTYARDS (LEVEL 1): 27,000 SF
TOTAL PROVIDED COMMON OPEN SPACE: 50,050 SF

BUILDING ADDRESS:
588 CAMINO DE LA REINA. SAN DIEGO, CA. 92108
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET
ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

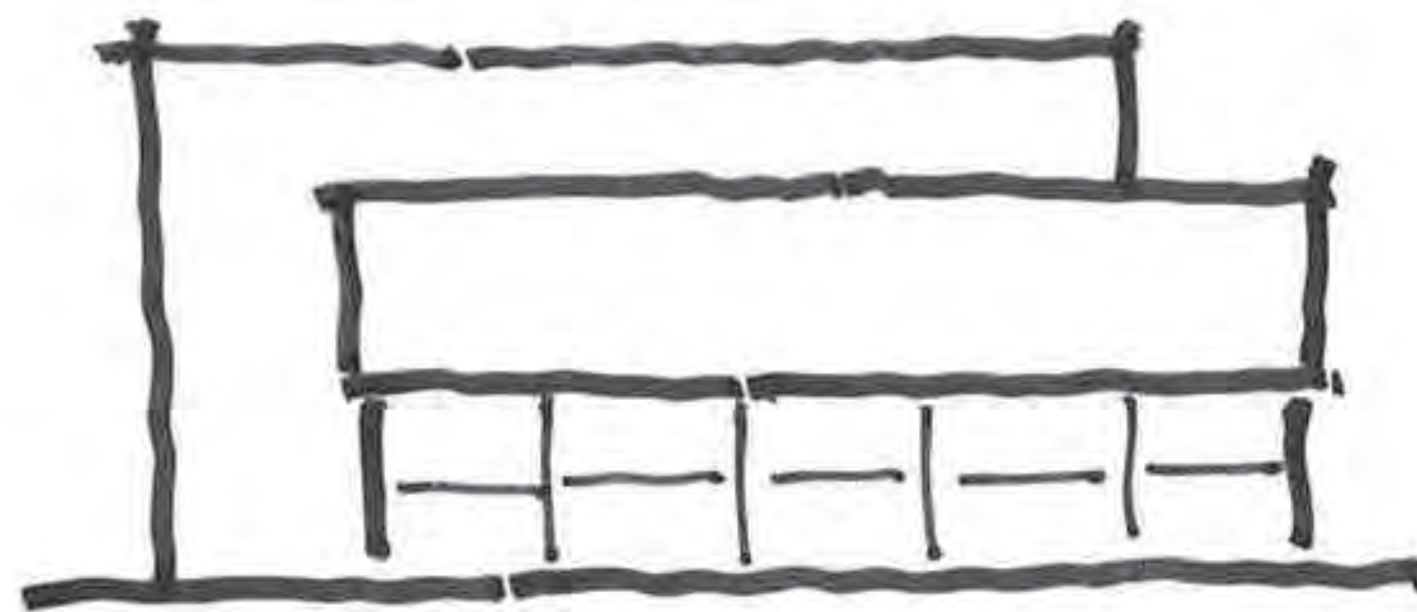
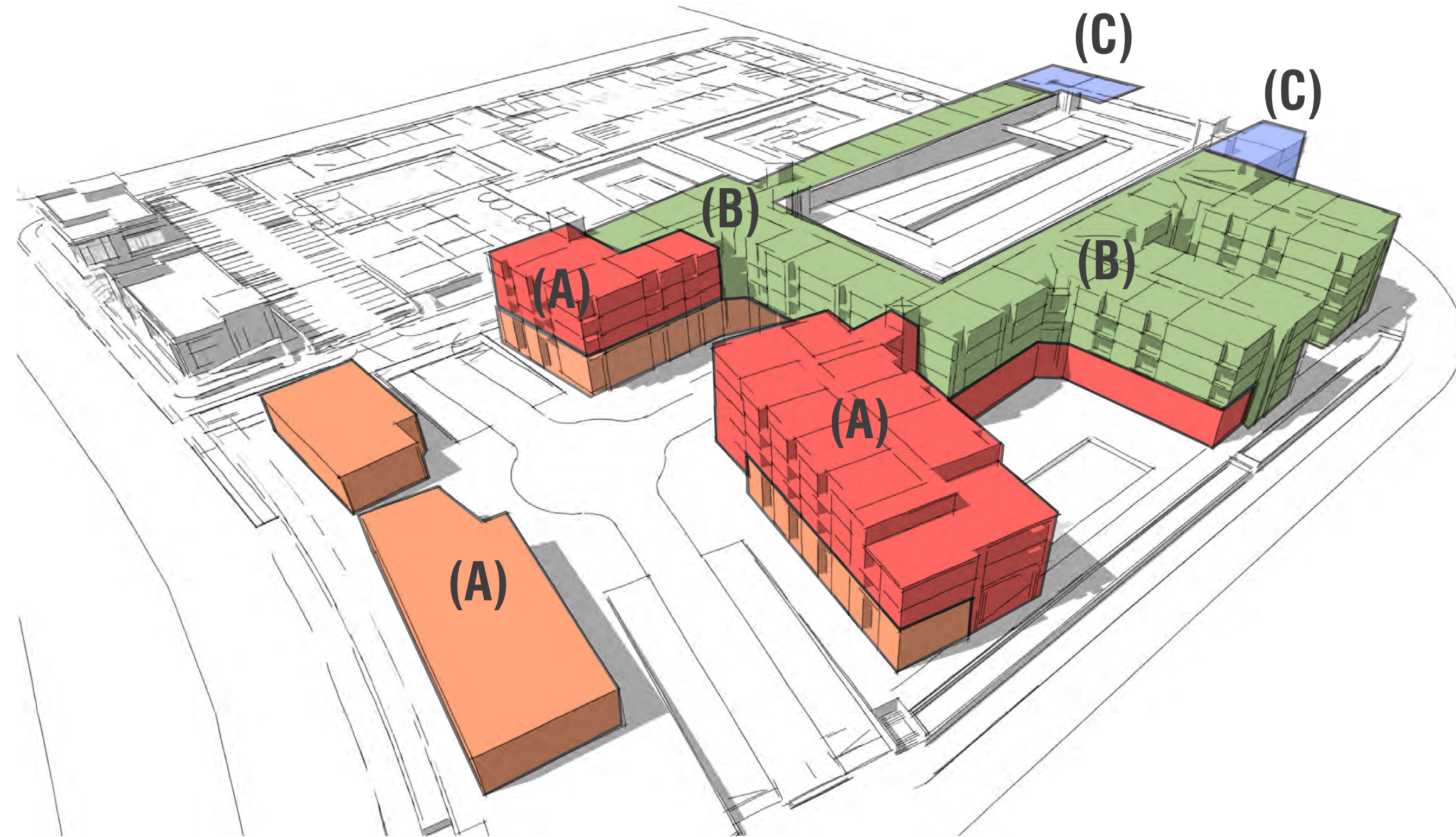


PLANNED DEVELOPMENT PERMIT
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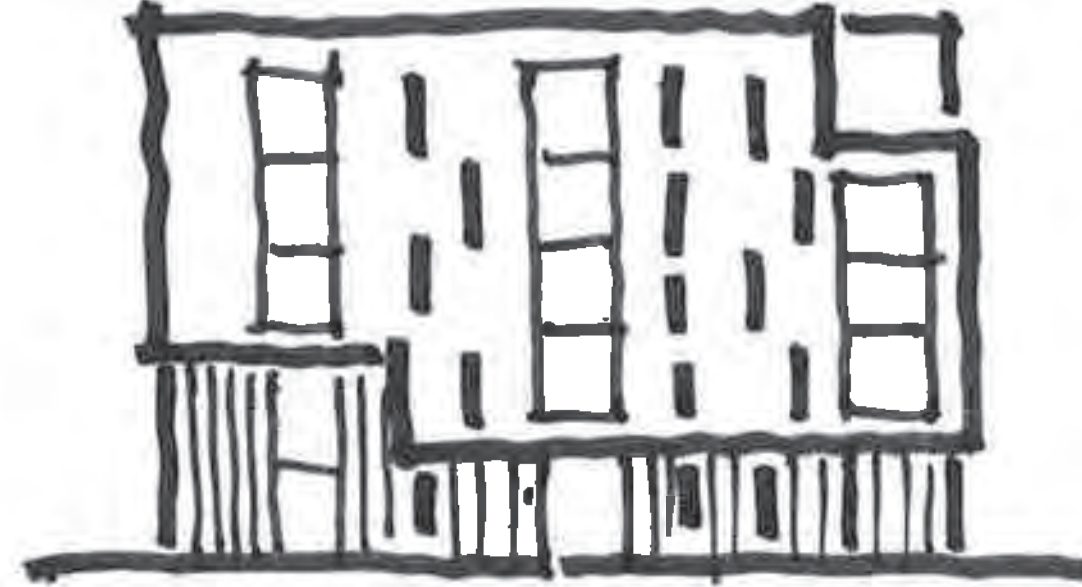
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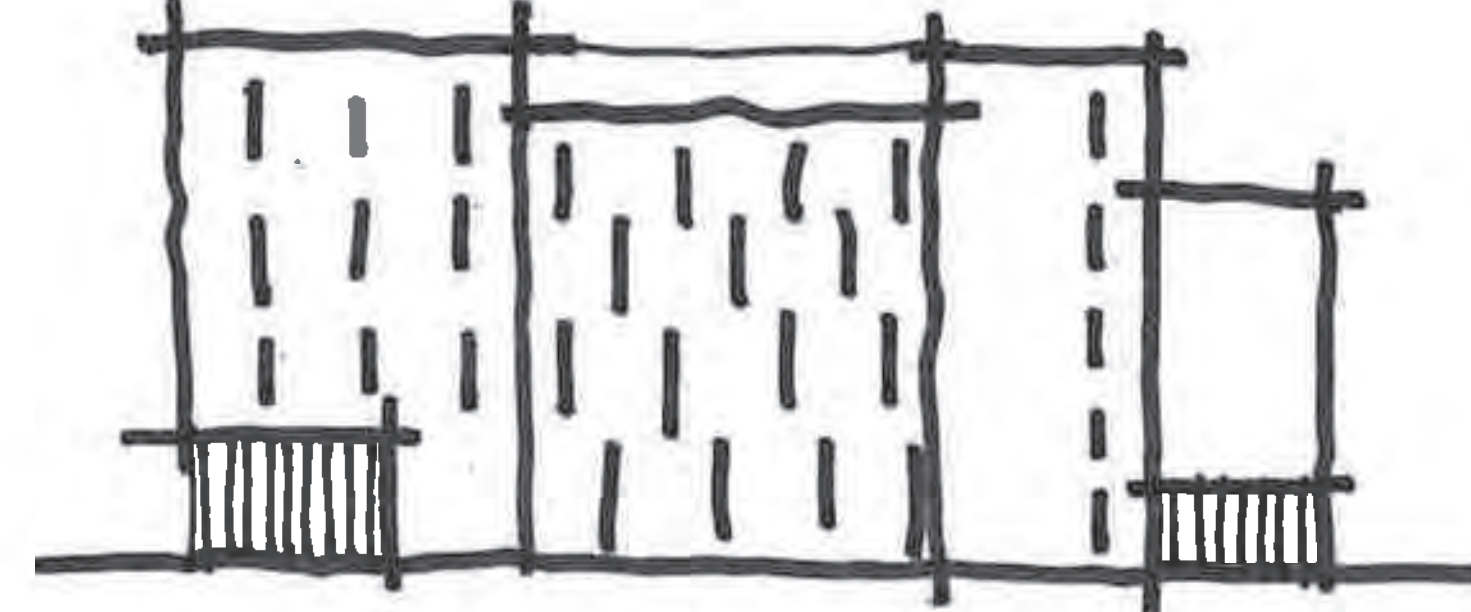
A) ACTIVE COMMERCIAL / RETAIL

- DOUBLE-HEIGHT COMMERCIAL BASE (SHOPKEEPER UNITS) PROMOTES A PEDESTRIAN SCALE
- CREATES A UNIFIED LOOK AND SCALE WITH RETAIL ON BOTH SIDES OF THE INTERNAL STREET



B) RESIDENTIAL BUILDING

- SIMPLE MASSING OF STACKED FLATS
- LOWER LEVEL HAS DIFFERENT MATERIAL AND COLOR IN ORDER TO BRING THE MASSING TO A MORE RESIDENTIAL SCALE
- MASSING STEPS AND BALCONY PAIRING IN KEY AREAS ADDS INTEREST TO THE ELEVATIONS



C) FREEWAY BUILDING

- LARGE MASSING THAT IS EASY TO PERCEIVE WHILE GOING BY ON THE FREEWAY
- MATERIAL & COLOR CHANGES FOR VISUAL INTEREST
- MASSING STEPS DOWN IN ORDER TO PAIR WITH THE LOWER HEIGHT OF THE MILLENNIUM, WHILE CREATING A SECONDARY ROOF DECK TO LOOK TOWARD THE SOUTHERN HILLS



PLANNED DEVELOPMENT PERMIT
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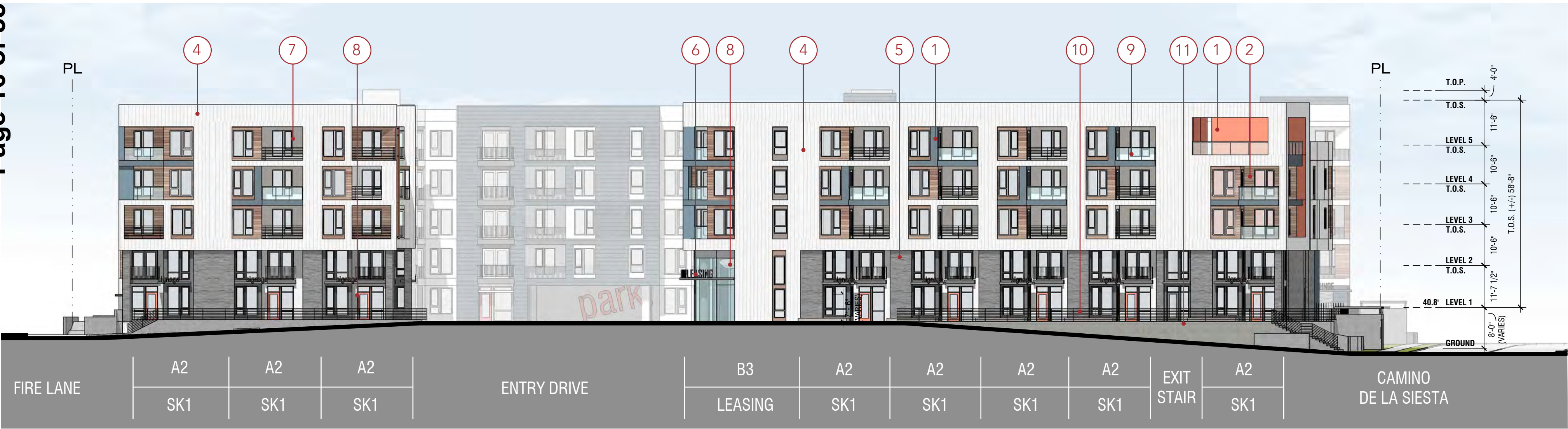
WITT MISSION VALLEY
MISSION VALLEY, CALIFORNIA



DIN / CAL 4, INC.
TCA # 2017-030

PLANNED DEVELOPMENT PERMIT /
SITE DEVELOPMENT PERMIT

PERSPECTIVE VIEW - PROJECT ENTRY
FROM CAMINO DE LA SIESTA

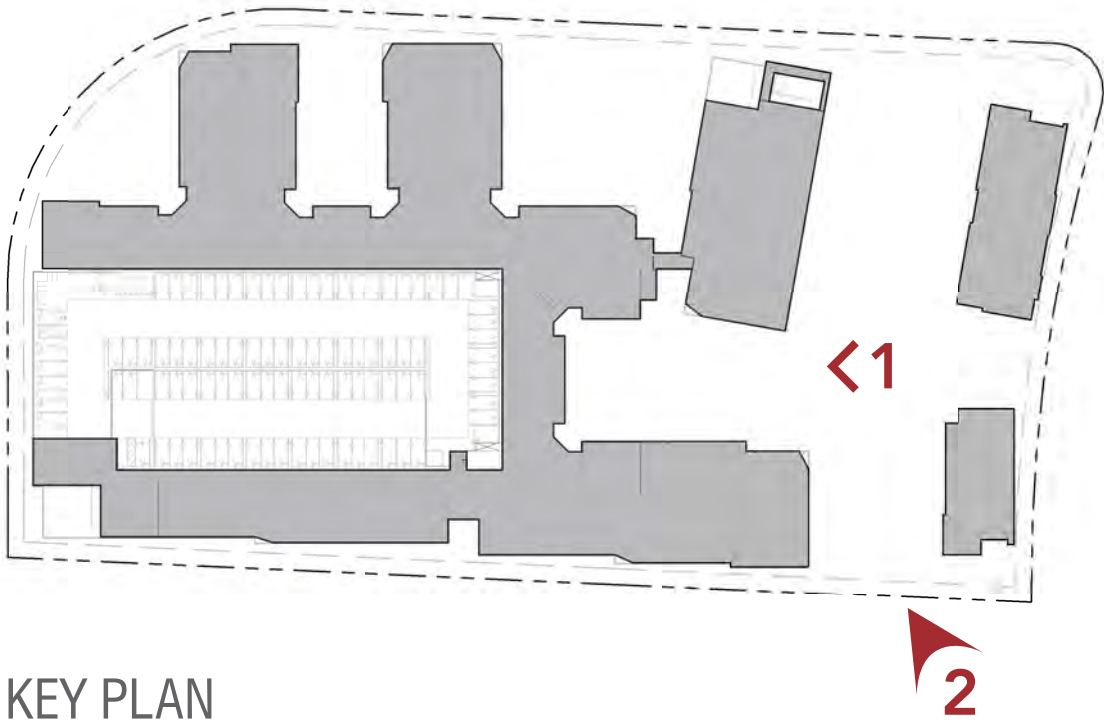


1) NORTH ELEVATION



2) PERSPECTIVE

- MATERIAL LEGEND**
(See exterior material sheet #30 for more detail)
- 1. Stucco
 - 2. Composite Wood Siding
 - 3. Fiber Cement Siding
 - 4. Metal siding
 - 5. Manufactured Stone Veneer
 - 6. Metal Awning/Sun Shade
 - 7. Vinyl Window
 - 8. Aluminum Storefront
 - 9. Glass Railing
 - 10. Metal Railing
 - 11. Precision Block Masonry



KEY PLAN

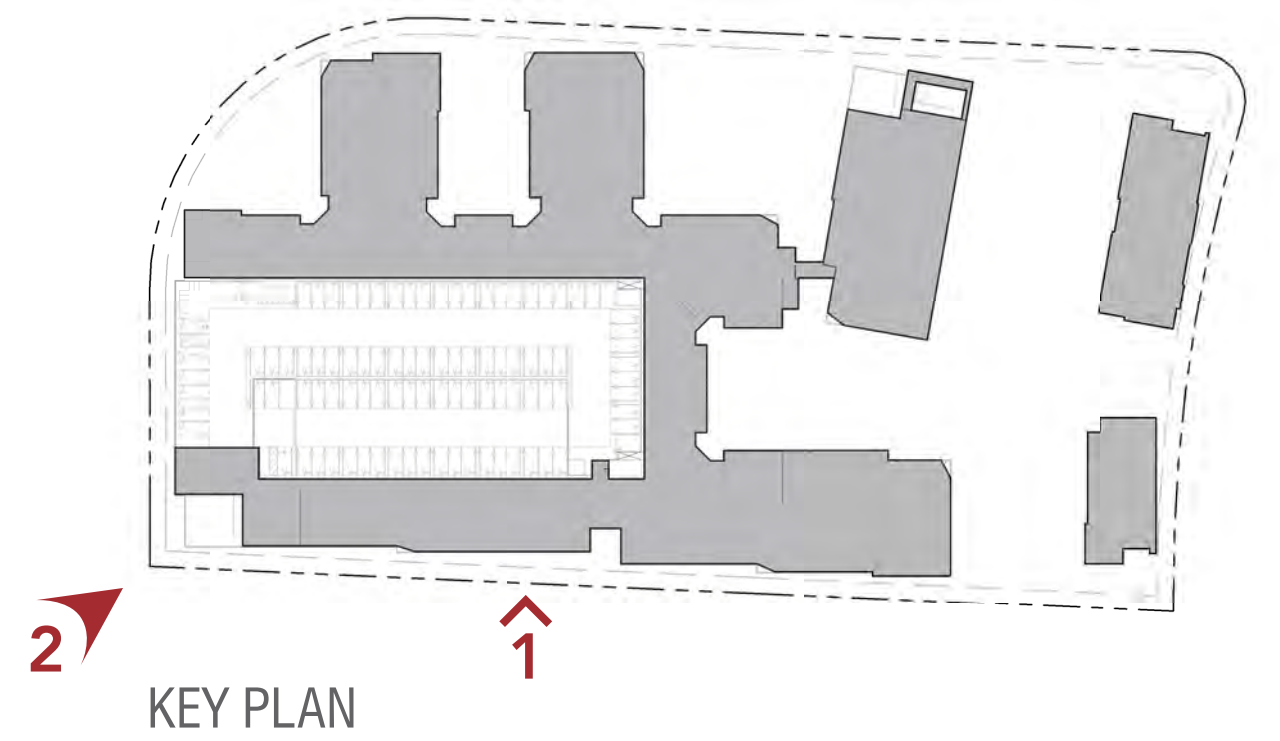
PLANNED DEVELOPMENT PERMIT
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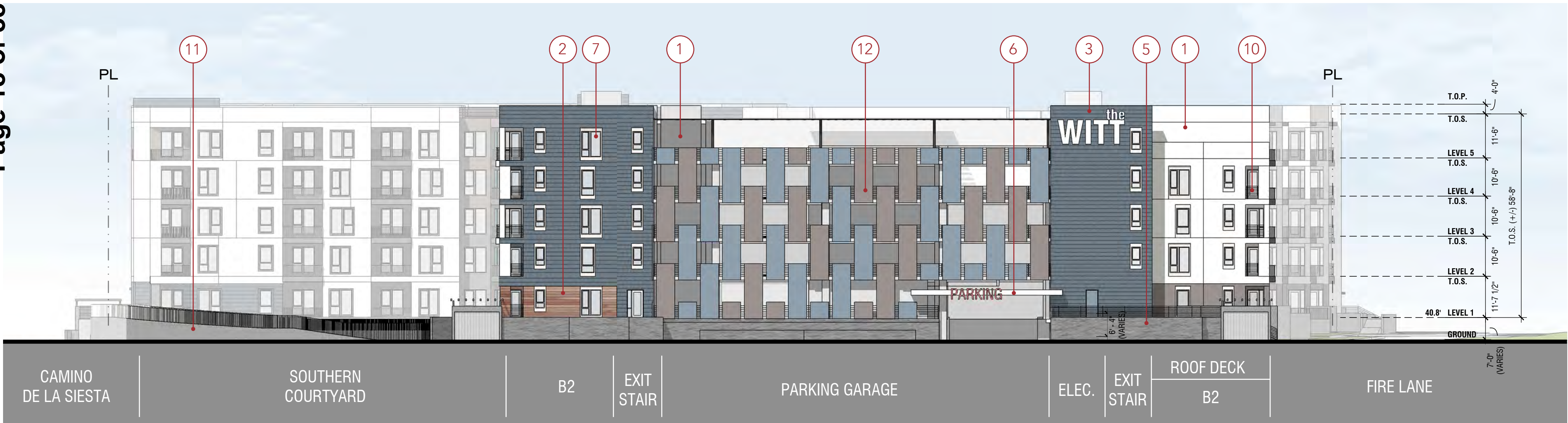
- ## MATERIAL LEGEND
- (See exterior material sheet #30 for more detail)
- 1. Stucco
 - 2. Composite Wood Siding
 - 3. Fiber Cement Siding
 - 4. Metal siding
 - 5. Manufactured Stone Veneer
 - 6. Metal Awning/Sun Shade
 - 7. Vinyl Window
 - 8. Aluminum Storefront
 - 9. Glass Railing
 - 0. Metal Railing
 - 1. Precision Block Masonry



PLANNED DEVELOPMENT PERMIT
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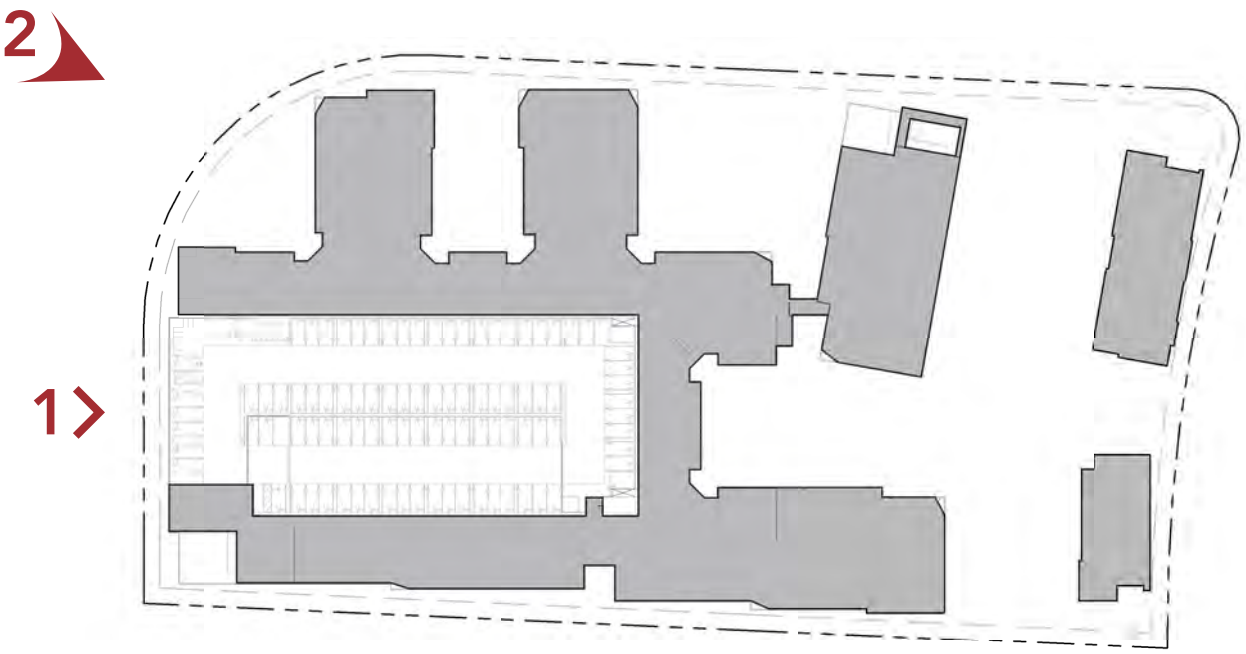


1) SOUTH ELEVATION



2) VIEW LOOKING AT SOUTH COURTYARD

- MATERIAL LEGEND**
(See exterior material sheet #30 for more detail)
- 1. Stucco
 - 2. Composite Wood Siding
 - 3. Fiber Cement Siding
 - 4. Metal siding
 - 5. Manufactured Stone Veneer
 - 6. Metal Awning/Sun Shade
 - 7. Vinyl Window
 - 8. Aluminum Storefront
 - 9. Glass Railing
 - 10. Metal Railing
 - 11. Precision Block Masonry
 - 12. Metal Panel

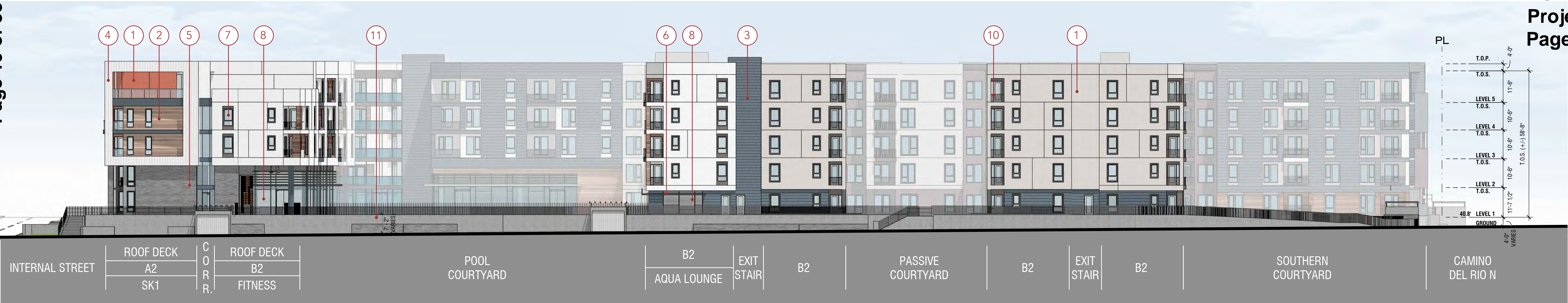


KEY PLAN

PLANNED DEVELOPMENT PERMIT
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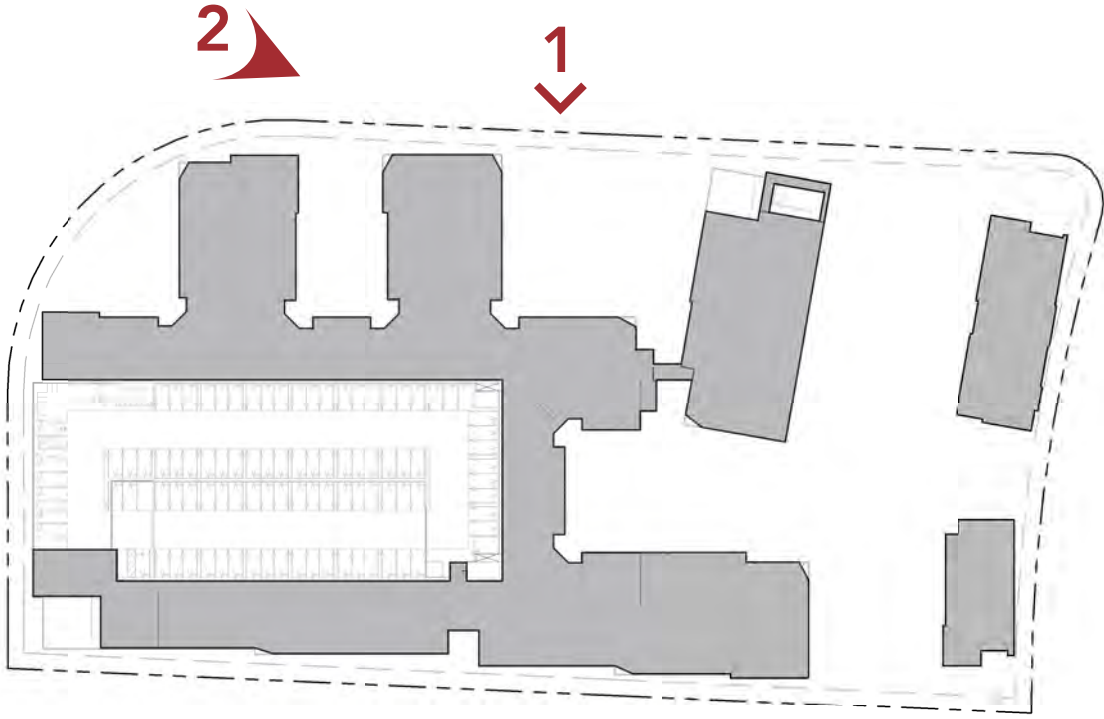


1) WEST ELEVATION



2) VIEW LOOKING NORTH AT CAMINO DE LA SIESTA FACADE

- MATERIAL LEGEND**
(See exterior material sheet #30 for more detail)
- 1. Stucco
 - 2. Composite Wood Siding
 - 3. Fiber Cement Siding
 - 4. Metal siding
 - 5. Manufactured Stone Veneer
 - 6. Metal Awning/Sun Shade
 - 7. Vinyl Window
 - 8. Aluminum Storefront
 - 9. Glass Railing
 - 10. Metal Railing
 - 11. Precision Block Masonry



KEY PLAN

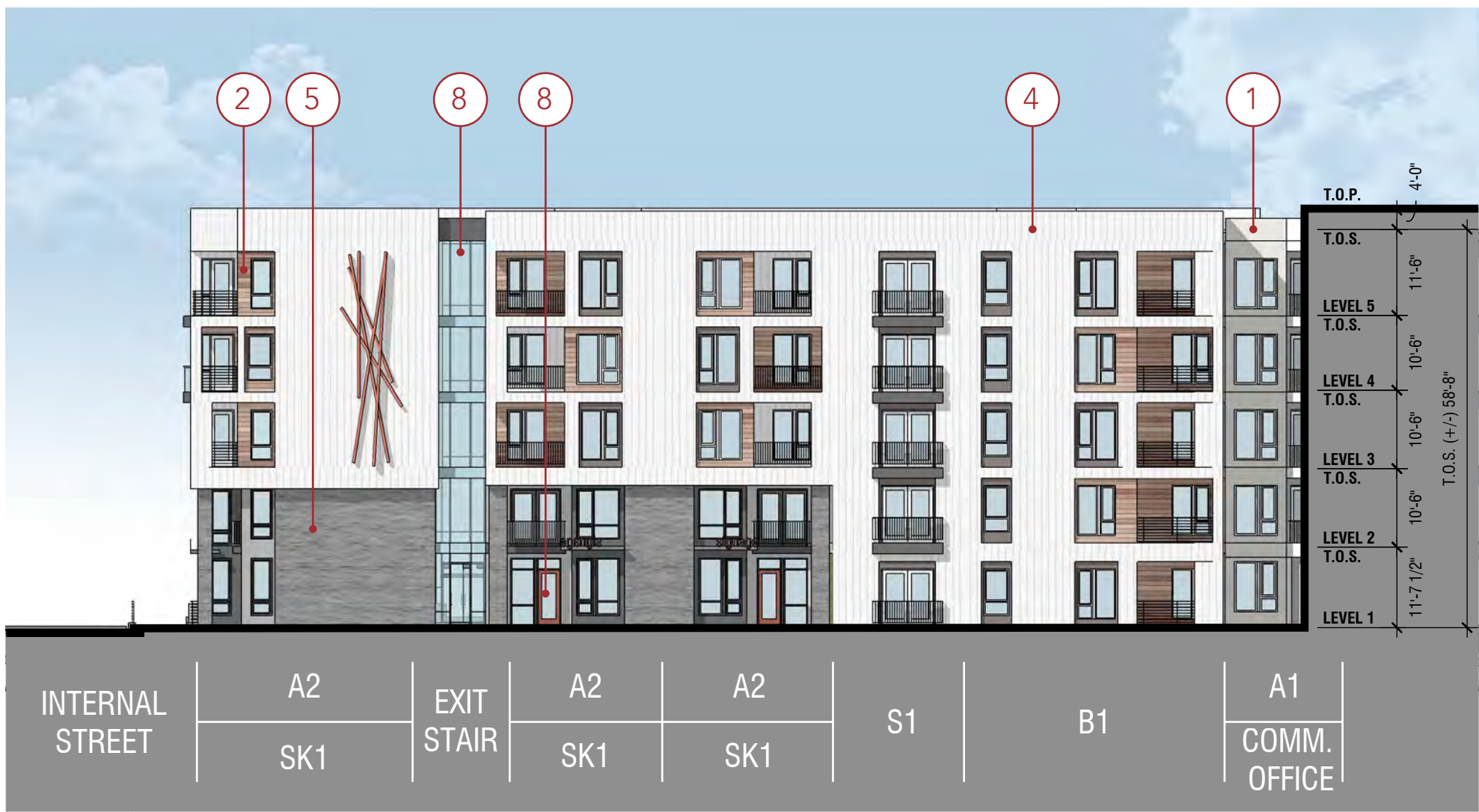
PLANNED DEVELOPMENT PERMIT
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REVISION 2: 11/16/2017
REVISION 1: 9/11/2017

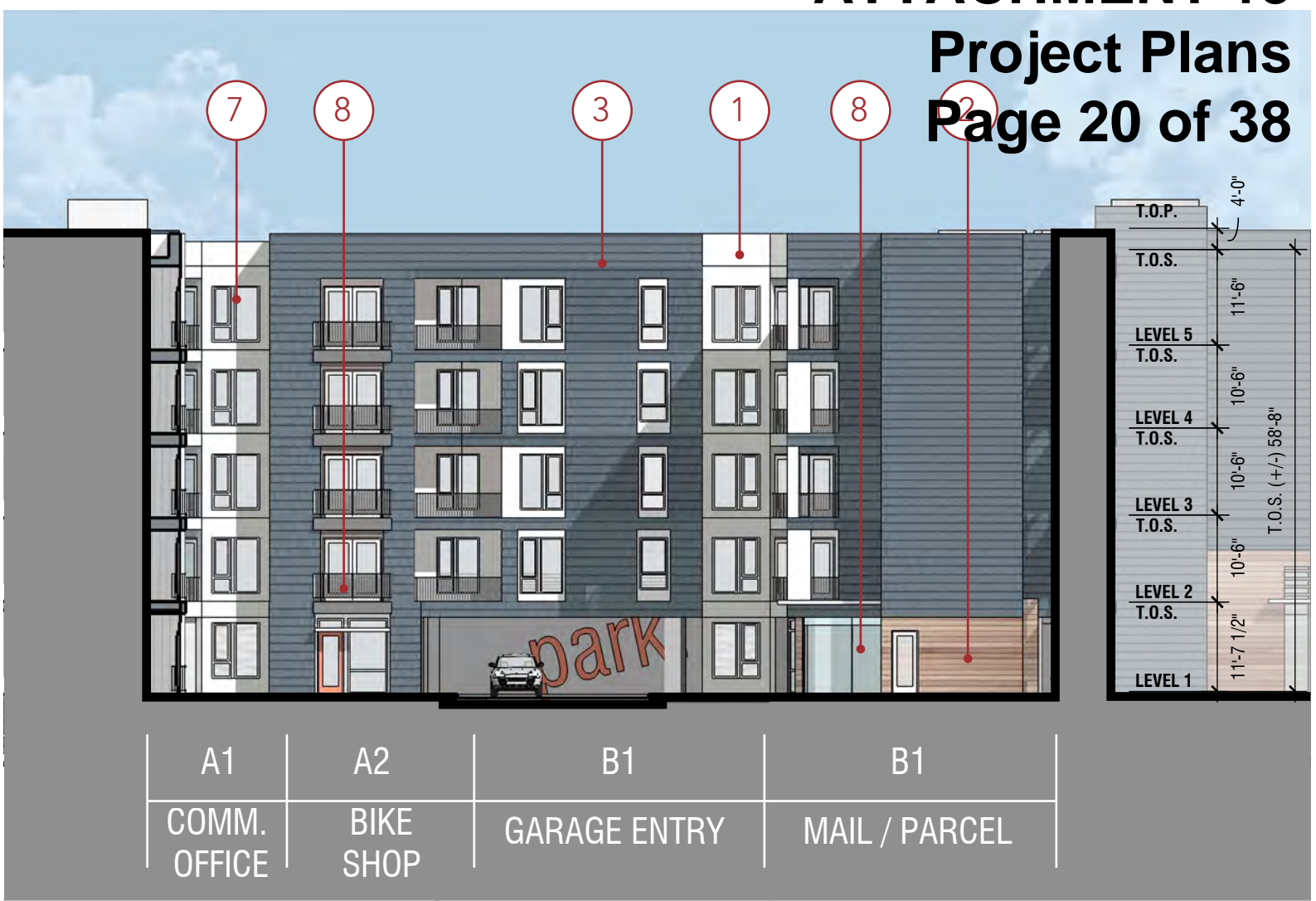
SUBMITTAL DATE: JULY 31, 2017



1) ELEVATION A



2) ELEVATION B

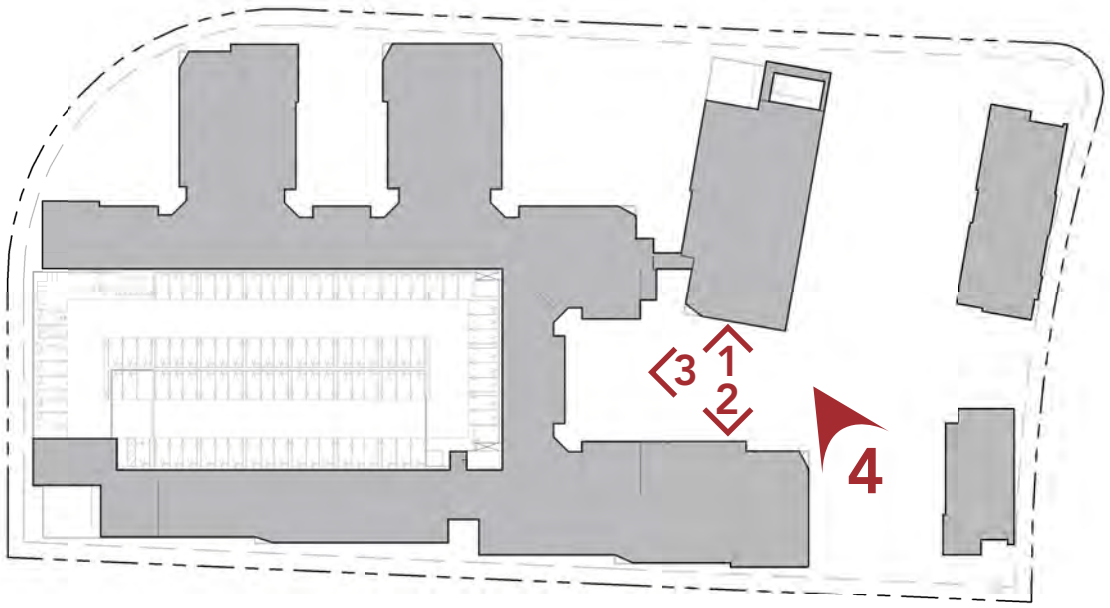


3) ELEVATION C



4) VIEW LOOKING SOUTH AT ENTRY COURTYARD

- MATERIAL LEGEND**
(See exterior material sheet #30 for more detail)
1. Stucco
 2. Composite Wood Siding
 3. Fiber Cement Siding
 4. Metal siding
 5. Manufactured Stone Veneer
 6. Metal Awning/Sun Shade
 7. Vinyl Window
 8. Aluminum Storefront
 9. Glass Railing
 10. Metal Railing
 11. Precision Block Masonry



KEY PLAN

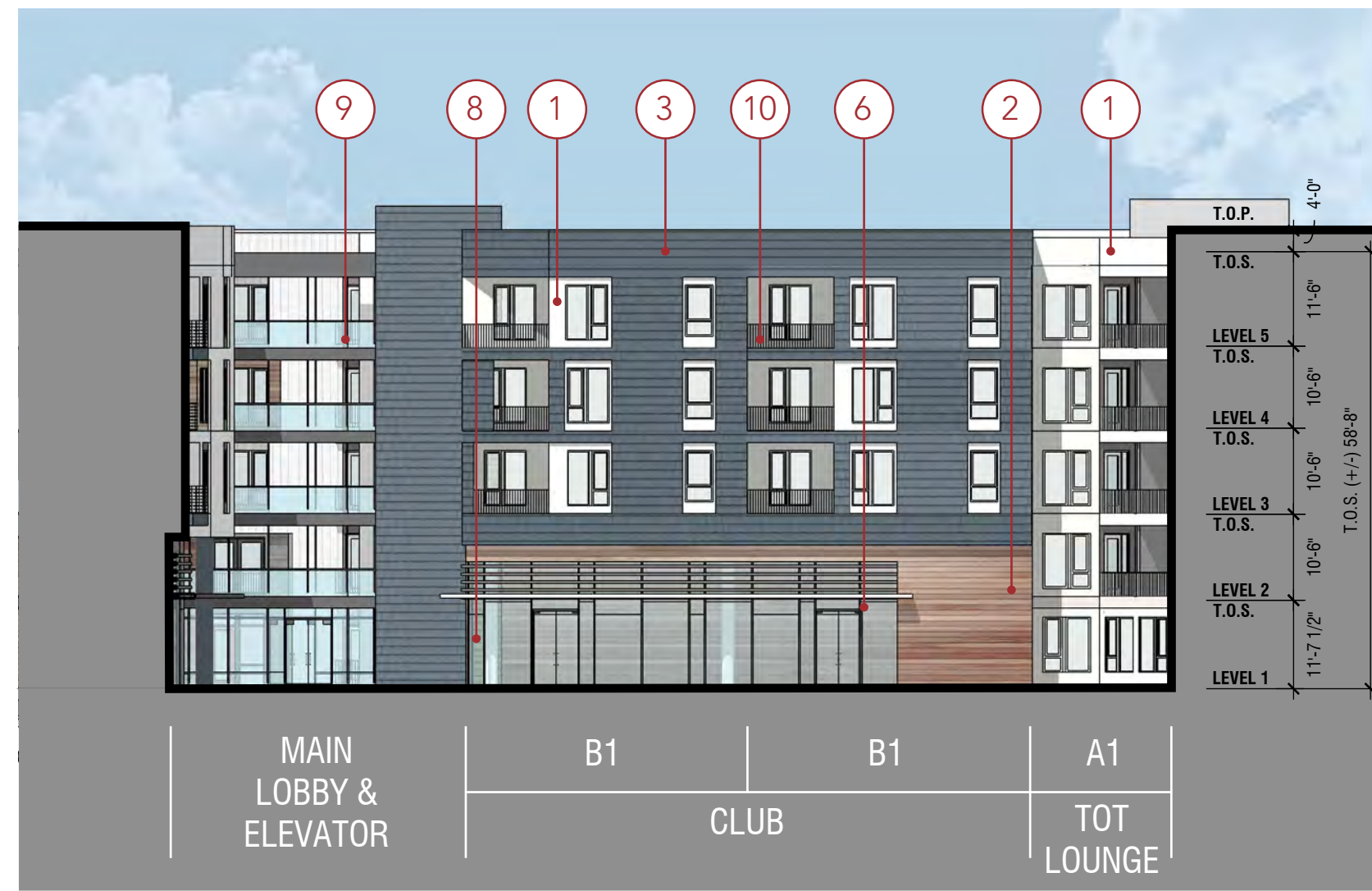
PLANNED DEVELOPMENT PERMIT
SHEET 20 OF 35

REVISION 5: _____
REVISION 4: _____
REVISION 3: 3/7/2018
REVISION 2: 11/16/2017
REVISION 1: 9/11/2017

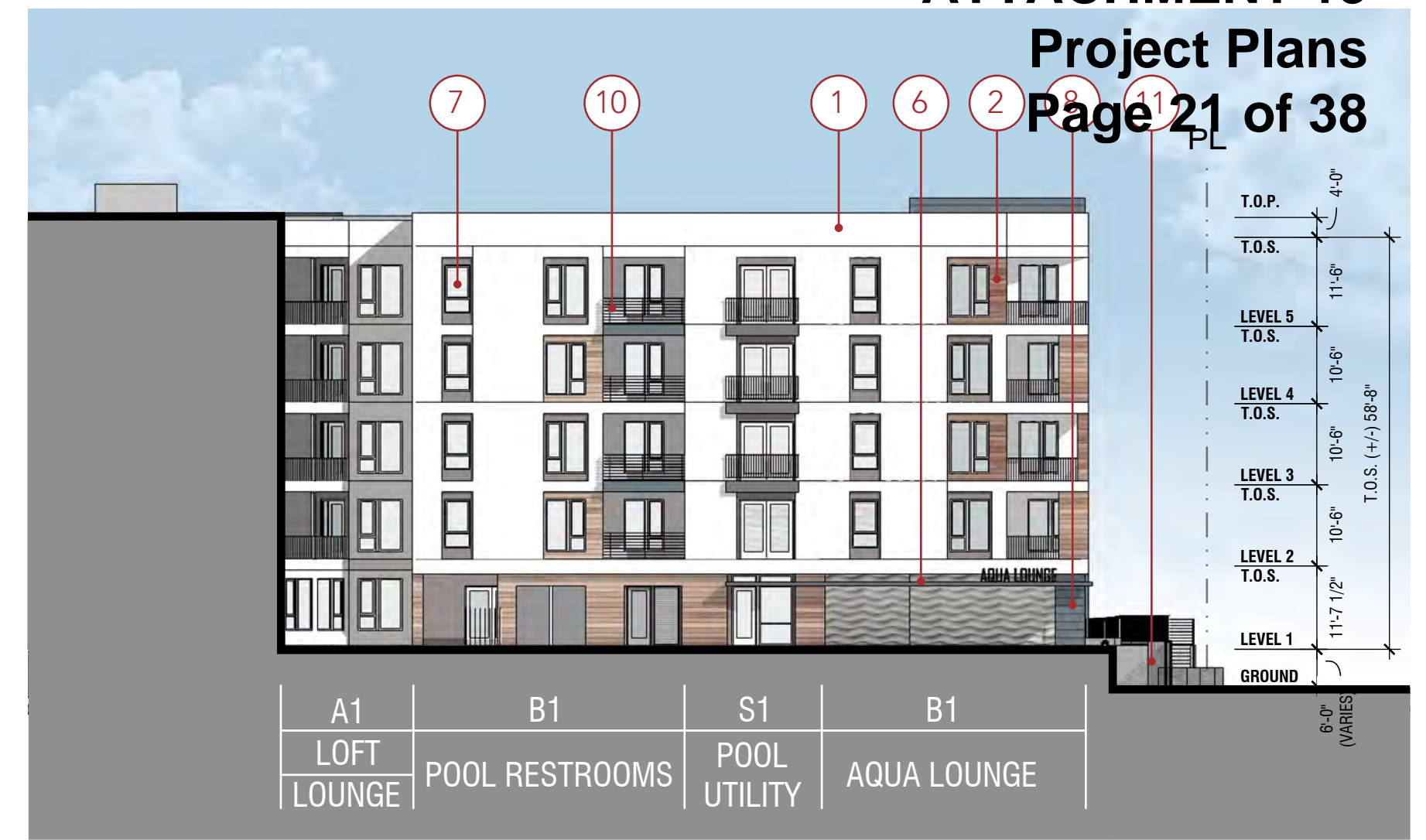
SUBMITTAL DATE: JULY 31, 2017



1) ELEVATION A



2) ELEVATION B



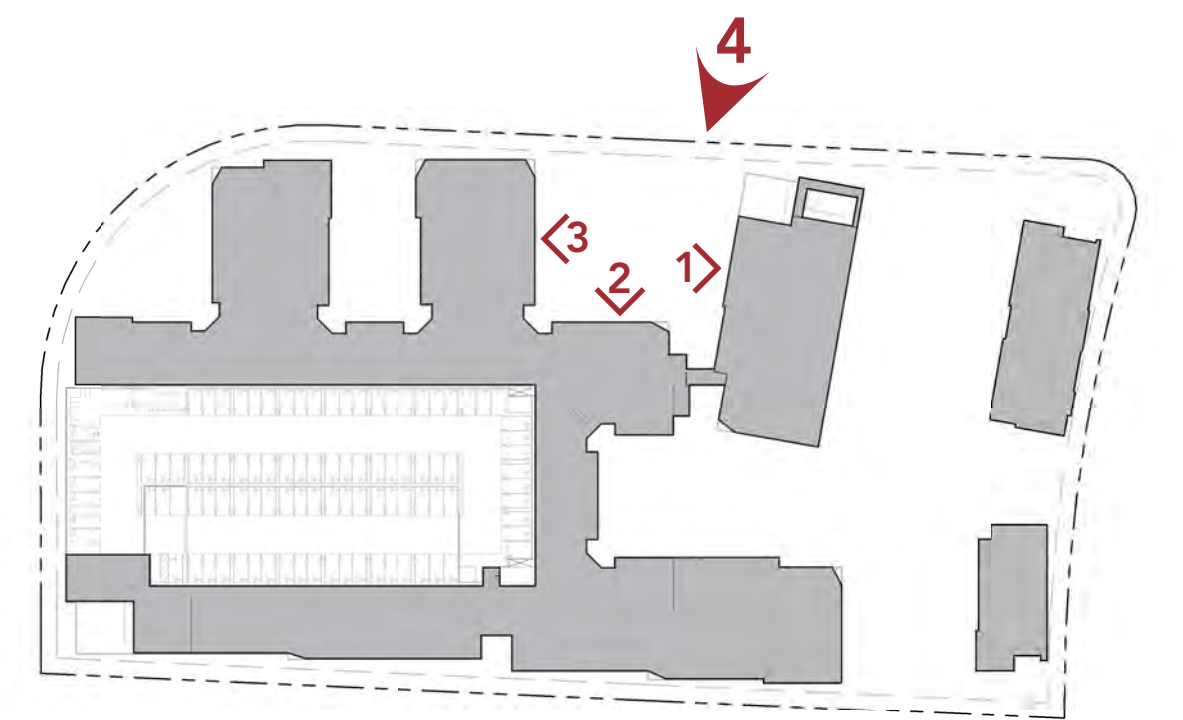
3) ELEVATION C



4) VIEW LOOKING EAST AT POOL COURTYARD

MATERIAL LEGEND
(See exterior material sheet #30 for more detail)

1. Stucco
2. Composite Wood Siding
3. Fiber Cement Siding
4. Metal siding
5. Manufactured Stone Veneer
6. Metal Awning/Sun Shade
7. Vinyl Window
8. Aluminum Storefront
9. Glass Railing
10. Metal Railing
11. Precision Block Masonry



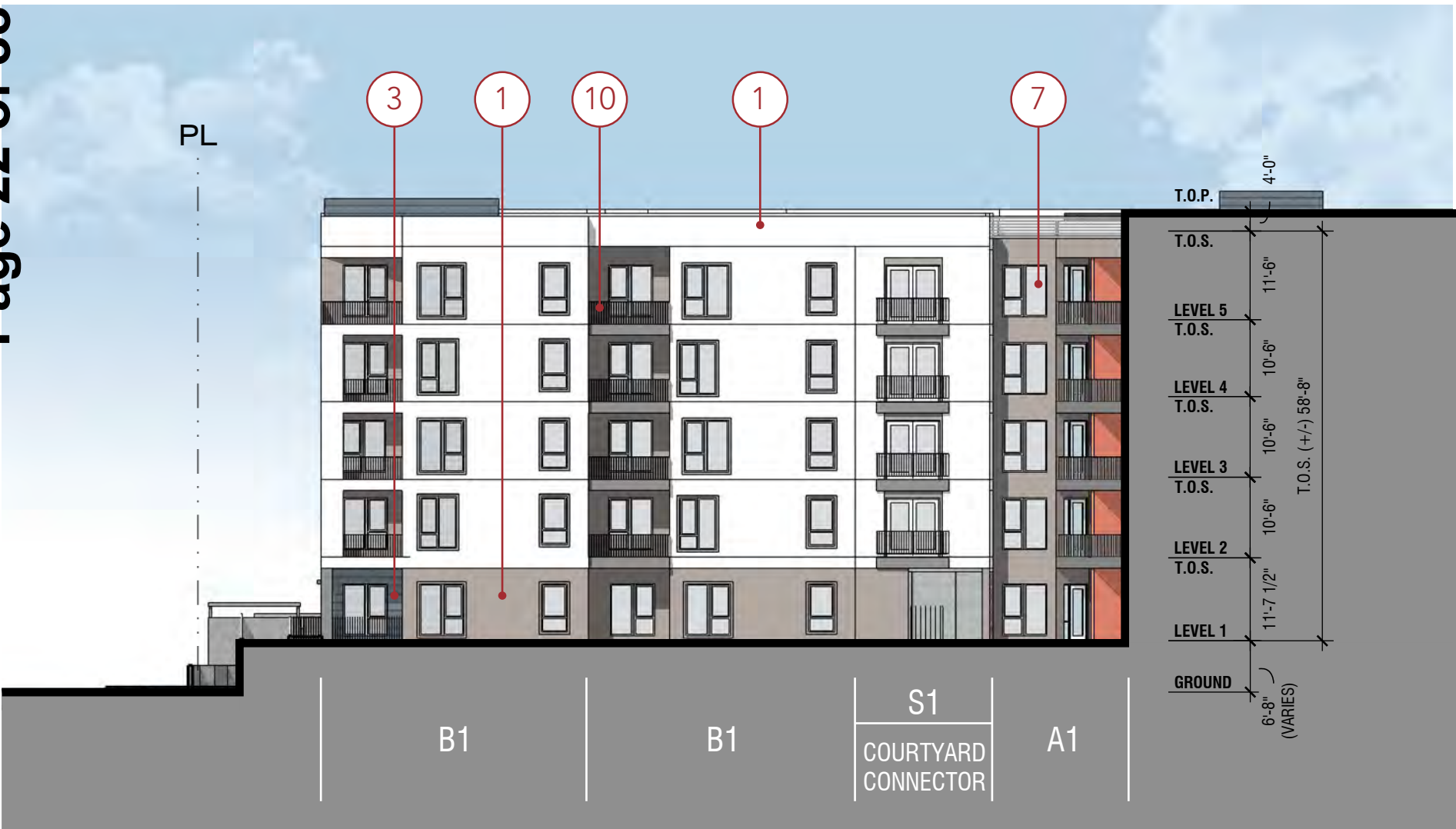
KEY PLAN

PLANNED DEVELOPMENT PERMIT
SHEET 21 OF 35

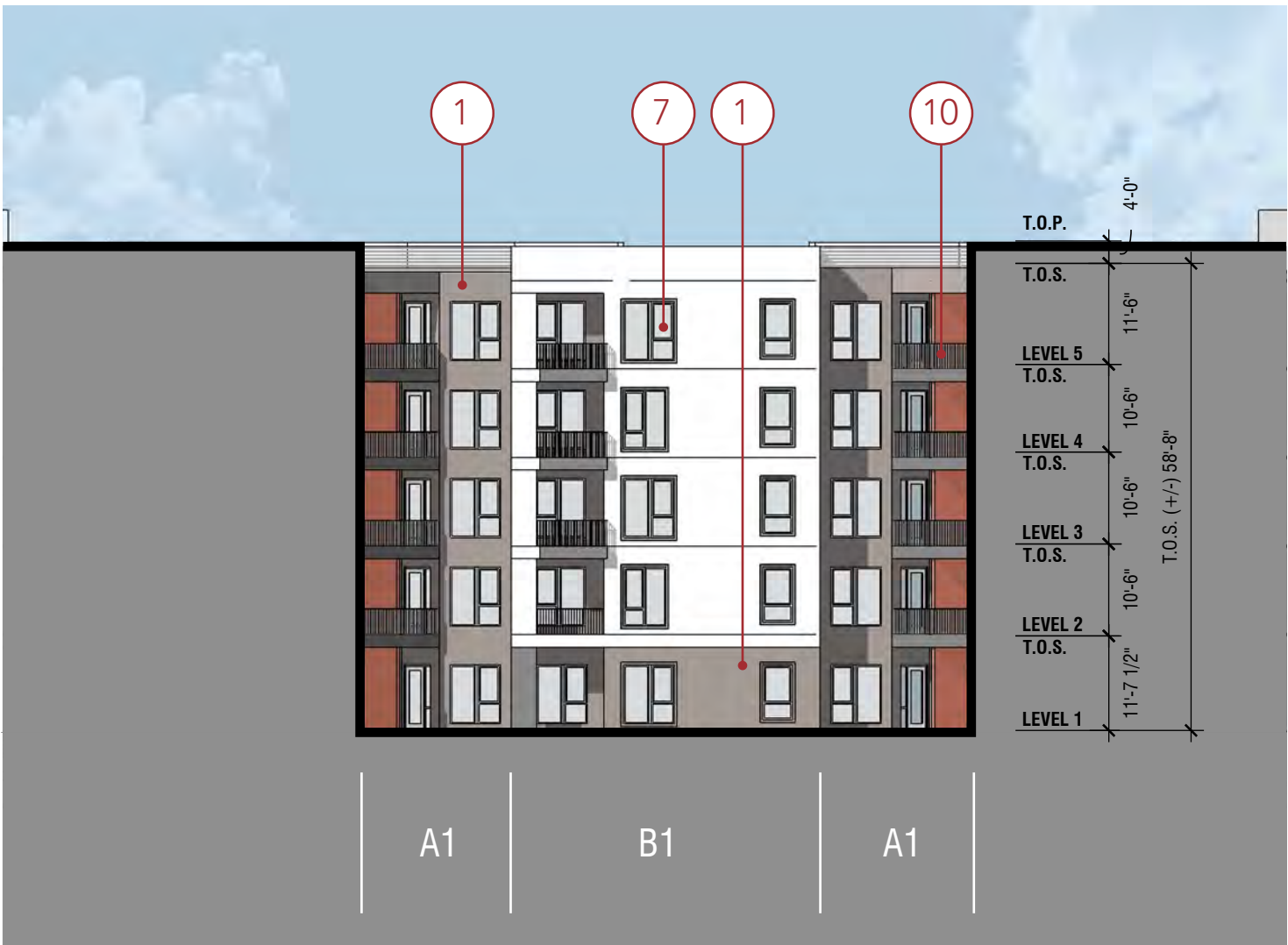
REVISION 5: _____
REVISION 4: _____
REVISION 3: 3/7/2018
REVISION 2: 11/16/2017
REVISION 1: 9/11/2017

SUBMITTAL DATE: JULY 31, 2017

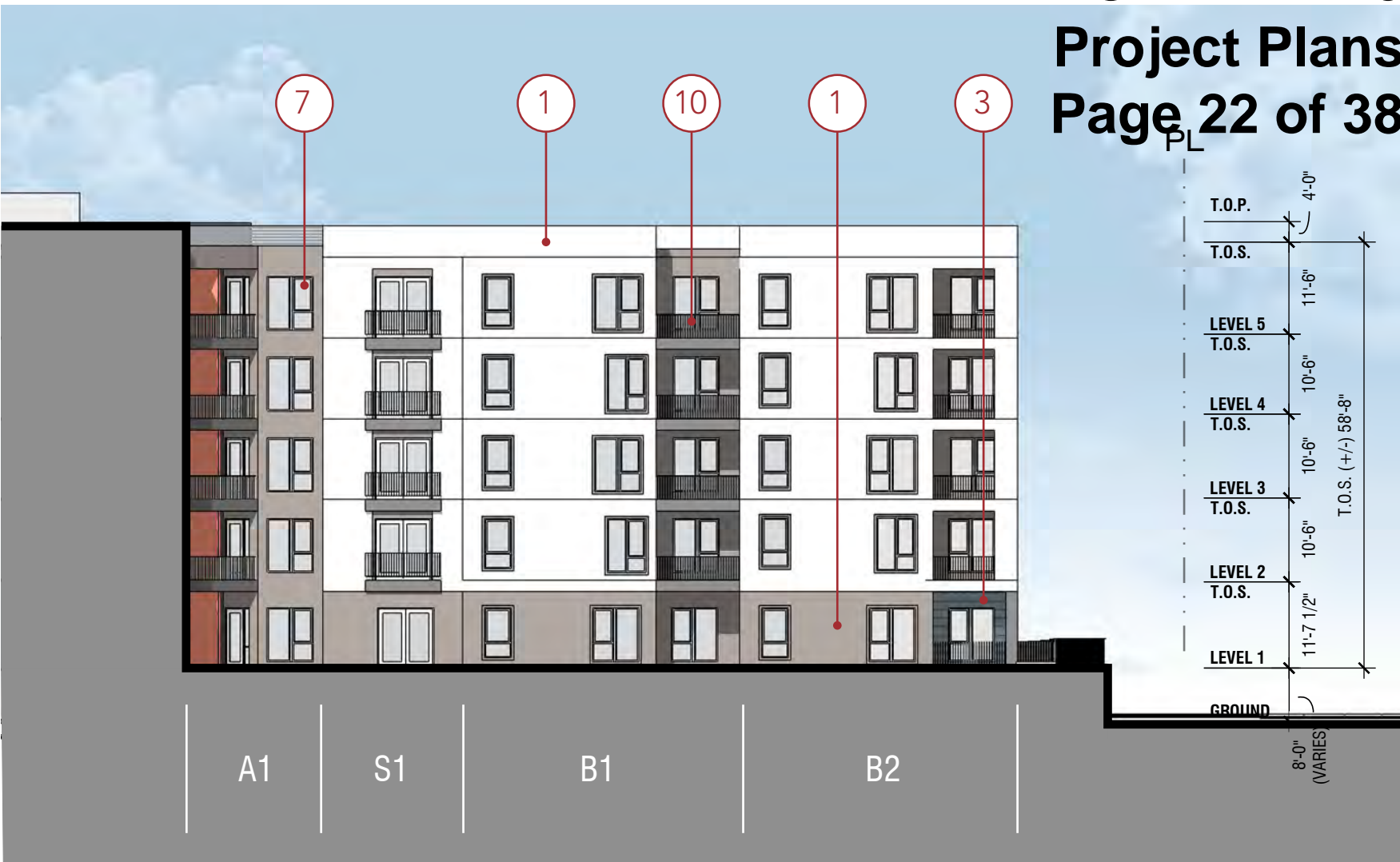




1) ELEVATION A



2) ELEVATION B

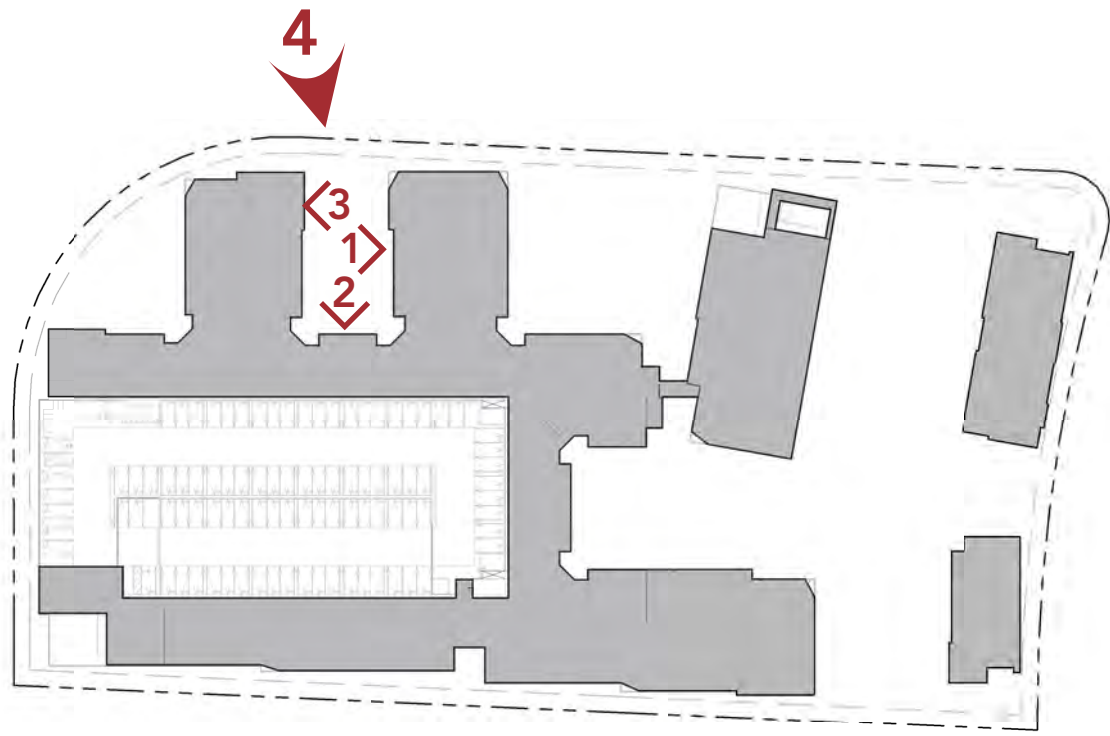


3) ELEVATION C



4) VIEW LOOKING EAST AT GARDEN COURTYARD

- MATERIAL LEGEND**
(See exterior material sheet #30 for more detail)
1. Stucco
 2. Composite Wood Siding
 3. Fiber Cement Siding
 4. Metal siding
 5. Manufactured Stone Veneer
 6. Metal Awning/Sun Shade
 7. Vinyl Window
 8. Aluminum Storefront
 9. Glass Railing
 10. Metal Railing
 11. Precision Block Masonry



KEY PLAN

PLANNED DEVELOPMENT PERMIT
SHEET 22 OF 35

REVISION 5: _____
REVISION 4: _____
REVISION 3: 3/7/2018
REVISION 2: 11/16/2017
REVISION 1: 9/11/2017

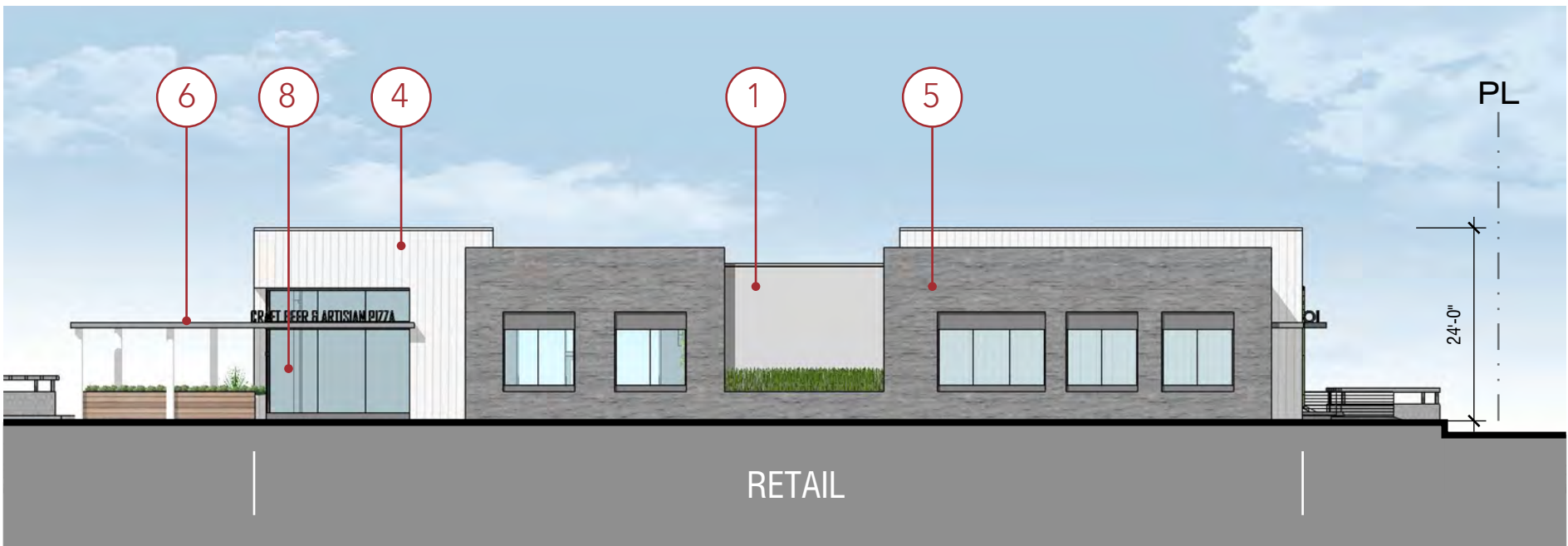
SUBMITTAL DATE: JULY 31, 2017



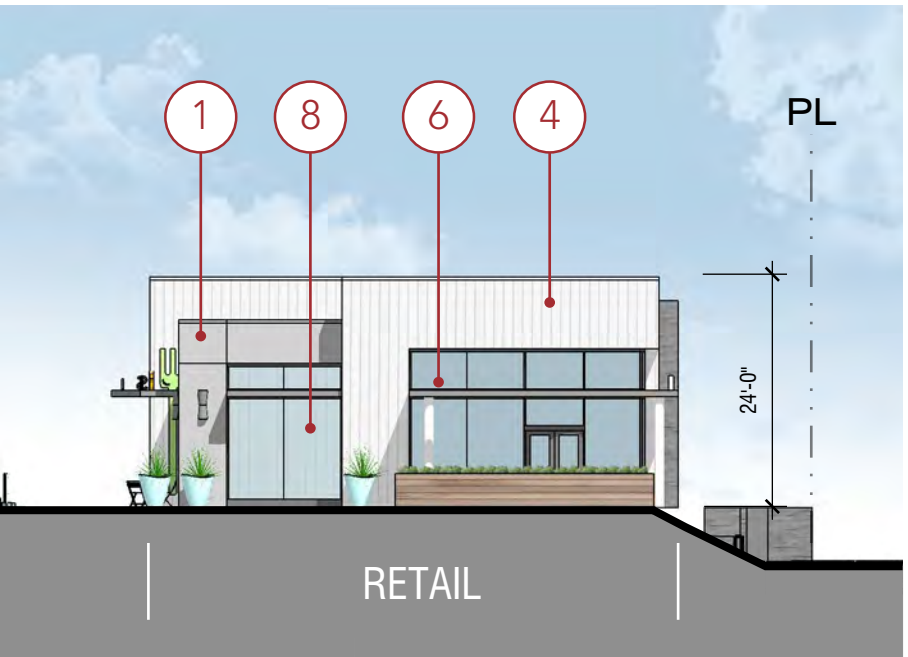
1) SOUTH ELEVATION



2) WEST ELEVATION



3) NORTH ELEVATION



4) EAST ELEVATION

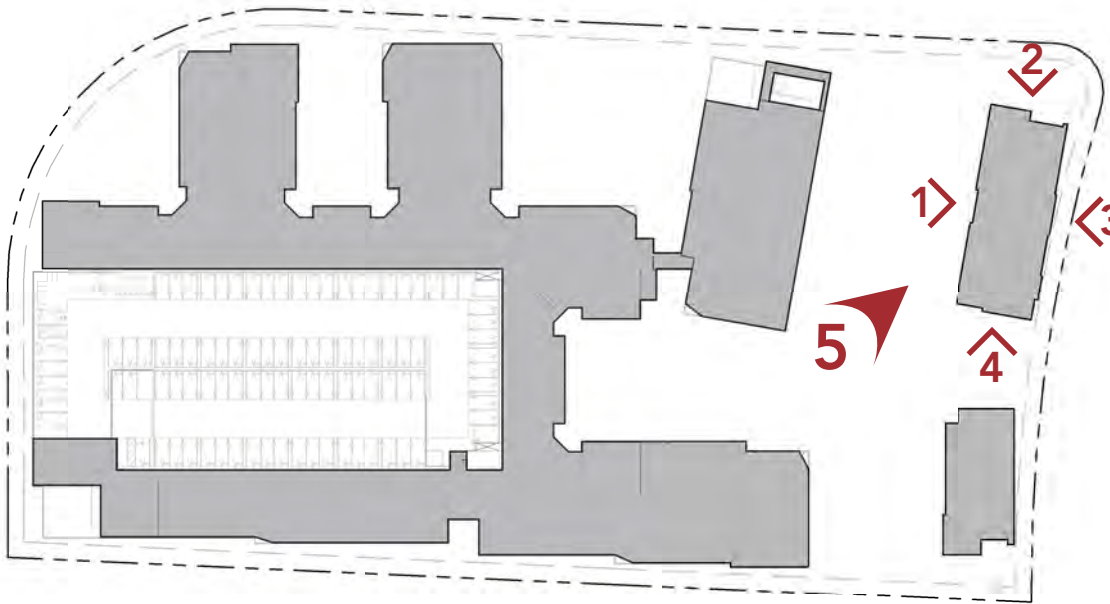


5) VIEW LOOKING WEST AT RETAIL BUILDING

MATERIAL LEGEND

(See exterior material sheet #30 for more detail)

1. Stucco
2. Composite Wood Siding
3. Fiber Cement Siding
4. Metal siding
5. Manufactured Stone Veneer
6. Metal Awning/Sun Shade
7. Vinyl Window
8. Aluminum Storefront
9. Glass Railing
10. Metal Railing
11. Precision Block Masonry



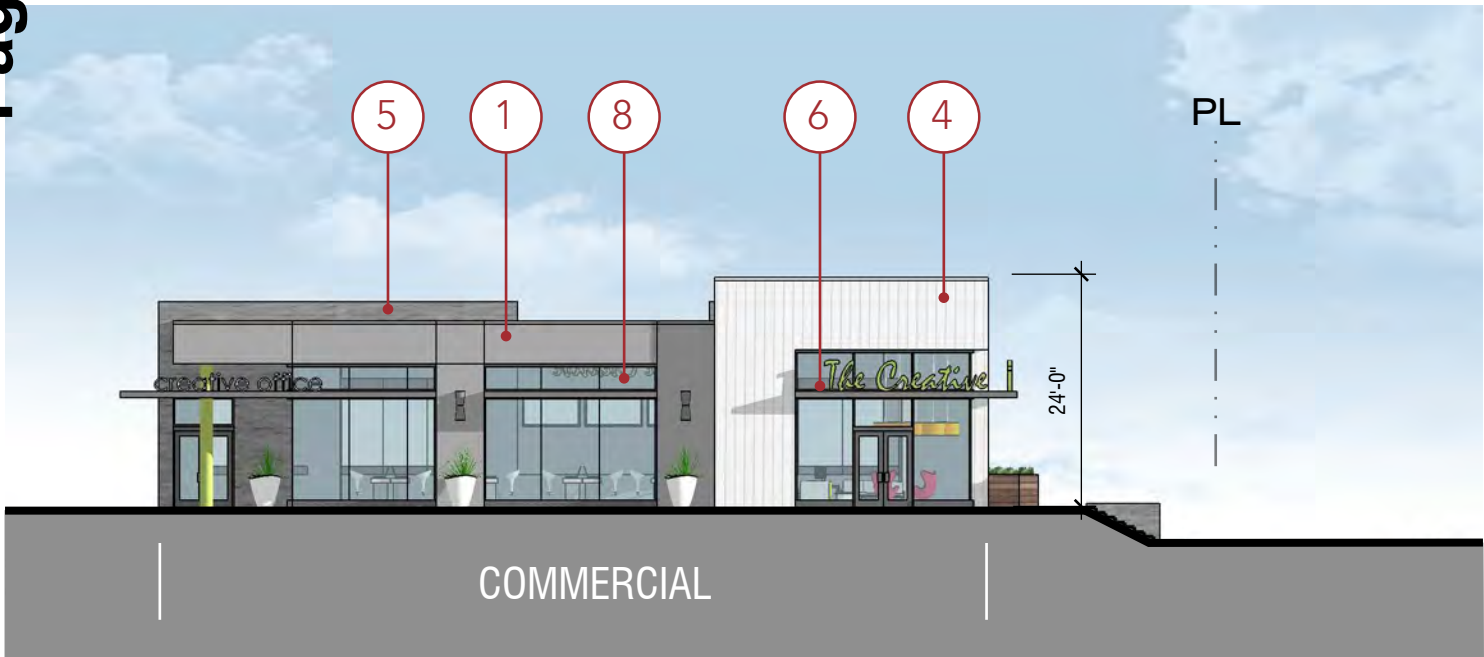
KEY PLAN

PLANNED DEVELOPMENT PERMIT

SHEET 23 OF 35

REVISION 5: _____
REVISION 4: _____
REVISION 3: 3/7/2018
REVISION 2: 11/16/2017
REVISION 1: 9/11/2017

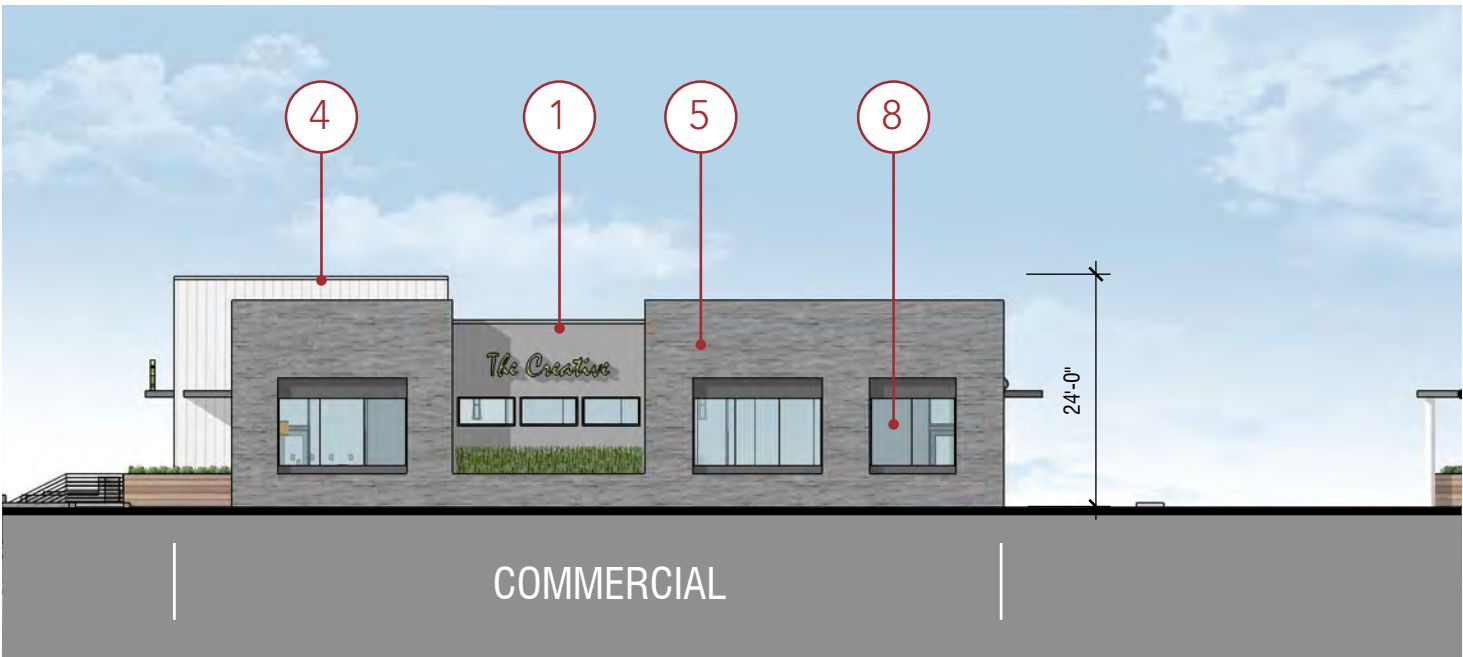
SUBMITTAL DATE: JULY 31, 2017



1) SOUTH ELEVATION



2) WEST ELEVATION



3) NORTH ELEVATION



4) EAST ELEVATION

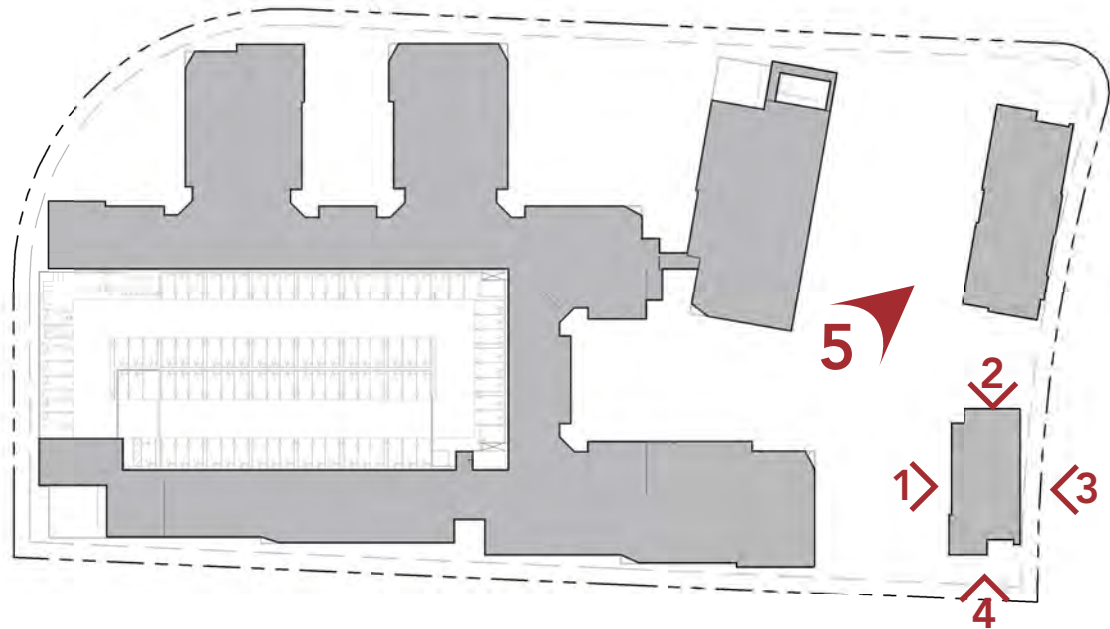


5) VIEW LOOKING NORTH AT COMMERCIAL BUILDING

MATERIAL LEGEND

(See exterior material sheet #30 for more detail)

1. Stucco
2. Composite Wood Siding
3. Fiber Cement Siding
4. Metal siding
5. Manufactured Stone Veneer
6. Metal Awning/Sun Shade
7. Vinyl Window
8. Aluminum Storefront
9. Glass Railing
10. Metal Railing
11. Precision Block Masonry



KEY PLAN

PLANNED DEVELOPMENT PERMIT

SHEET 24 OF 35

REVISION 5: _____
 REVISION 4: _____
 REVISION 3: 3/7/2018
 REVISION 2: 11/16/2017
 REVISION 1: 9/11/2017

SUBMITTAL DATE: JULY 31, 2017



Architectural elevation drawing of a multi-story building facade. The drawing shows a symmetrical layout with residential units, parking garage, and amenity spaces. Key features include:

- Vertical Axis:**
 - ROOF DATUM
 - 5TH STORY T.O. SHTG.
 - 4TH STORY T.O. SHTG.
 - 3RD STORY T.O. SHTG.
 - 2ND STORY T.O. SHTG.
 - 1ST STORY +40.8' (T.O. SLAB)
 - GROUND LEVEL VARIES
- Horizontal Axis:**
 - PROPERTY LINE
 - 10' SETBACK LINE
 - RESIDENTIAL UNITS TYPE III-A CONSTRUCTION
 - PARKING GARAGE TYPE I-A CONSTRUCTION
 - RESIDENTIAL UNITS TYPE III-A CONSTRUCTION
 - SETBACK LINE
 - PROPERTY LINE
- Building Sections:**
 - Left Wing:** Aqua Lounge, Pool Restrooms, Tot Lounge, Corridor, Units B2, S1, B1, A1, A1.
 - Central Wing:** Guest Parking, Corridor, Units B2, S1, B1, A1, A1.
 - Right Wing:** Lobby, Corridor, Units A2, A2, A2, A2.
- Amenities:** Lounge Loft, Tot Lounge, Aqua Lounge, Pool Restrooms, Guest Parking, and Lobby.
- Landscaping:** Trees and a fire lane (shared) are shown at the ground level.
- Annotations:** "SEE SHEET 12 FOR DETAIL VIEW OF SHADE STRUCTURES" and "COURTYARD CONNECTION".

SECTION A

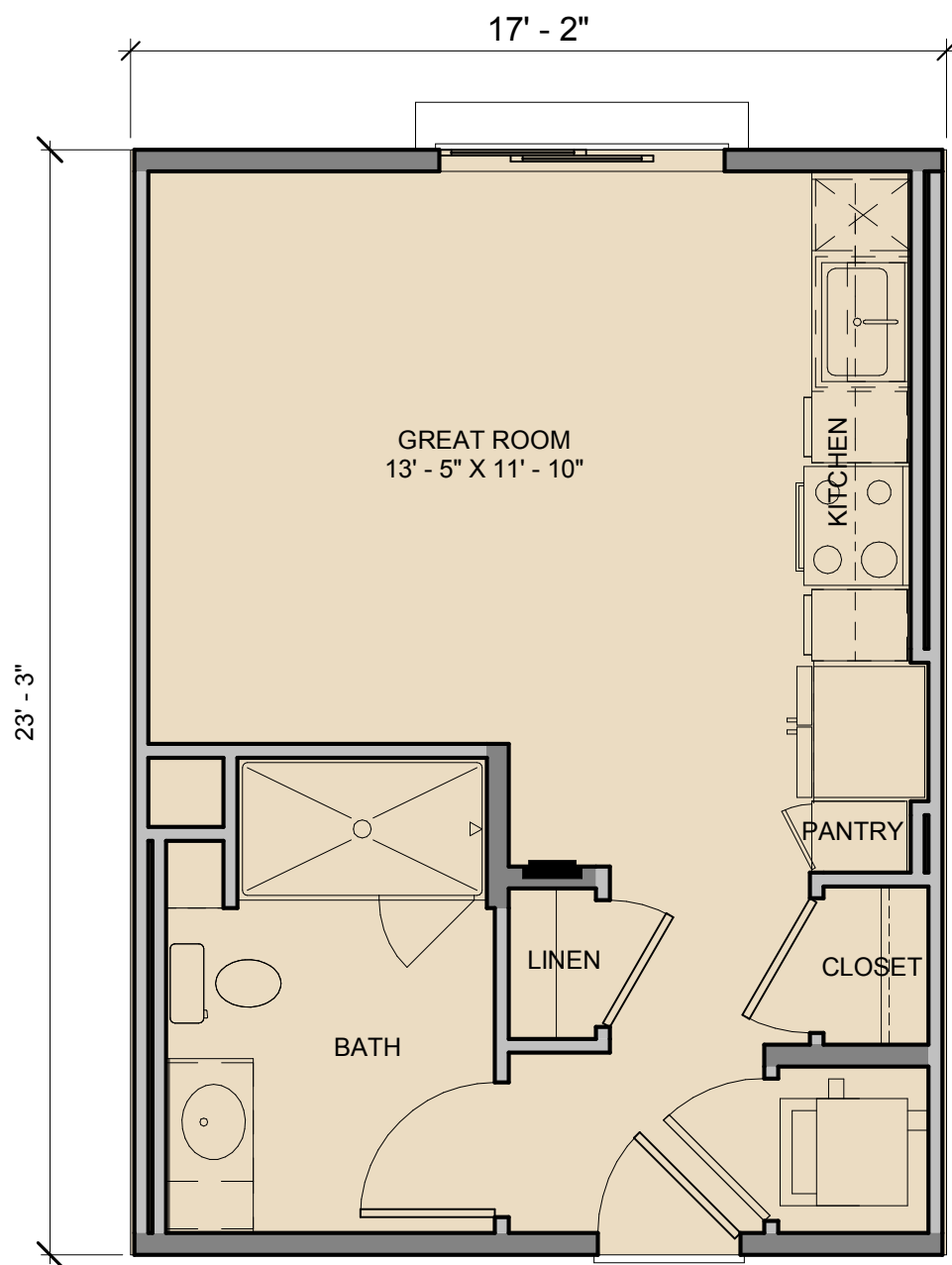
SECTION B

KEY PLAN

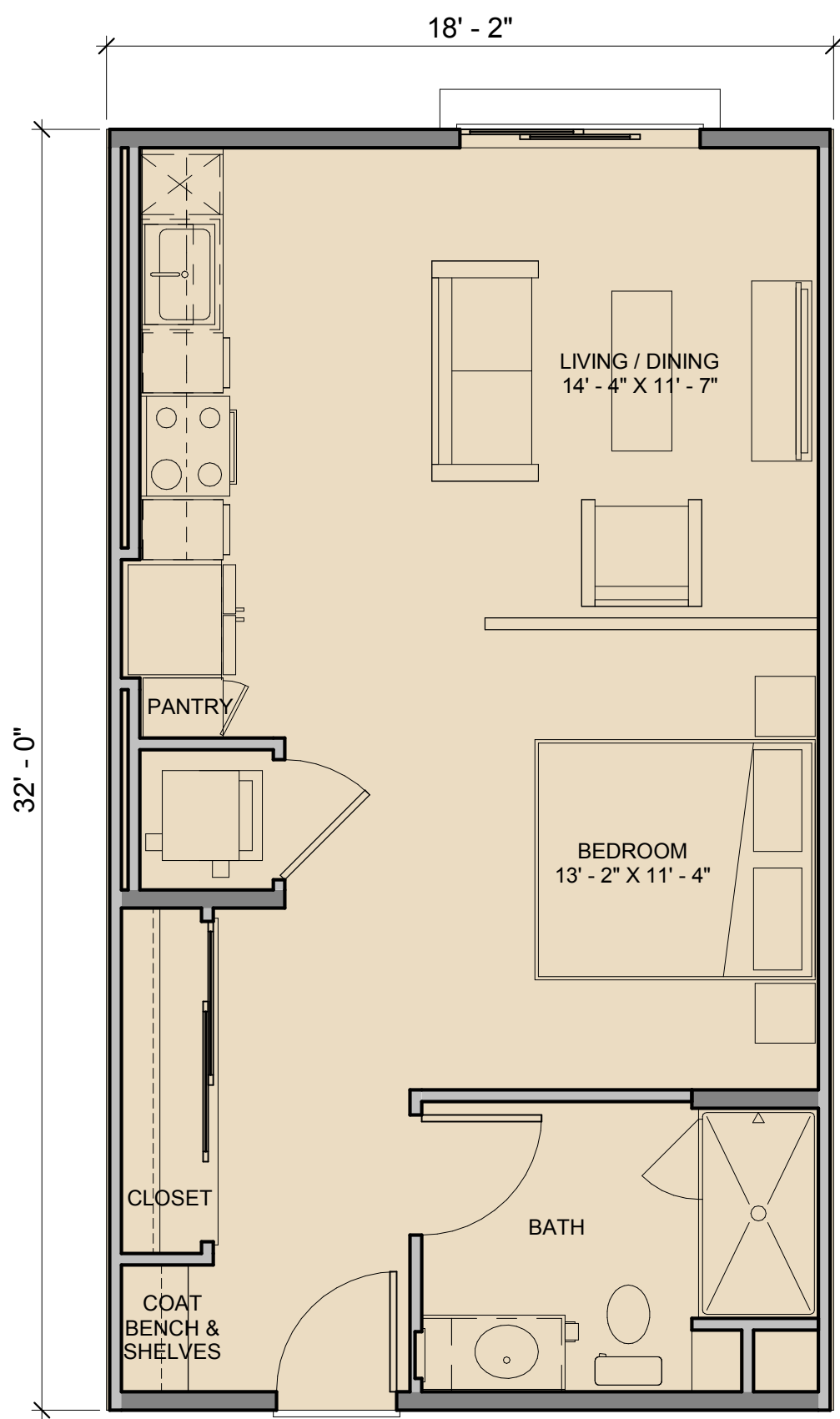
KEY PLAN



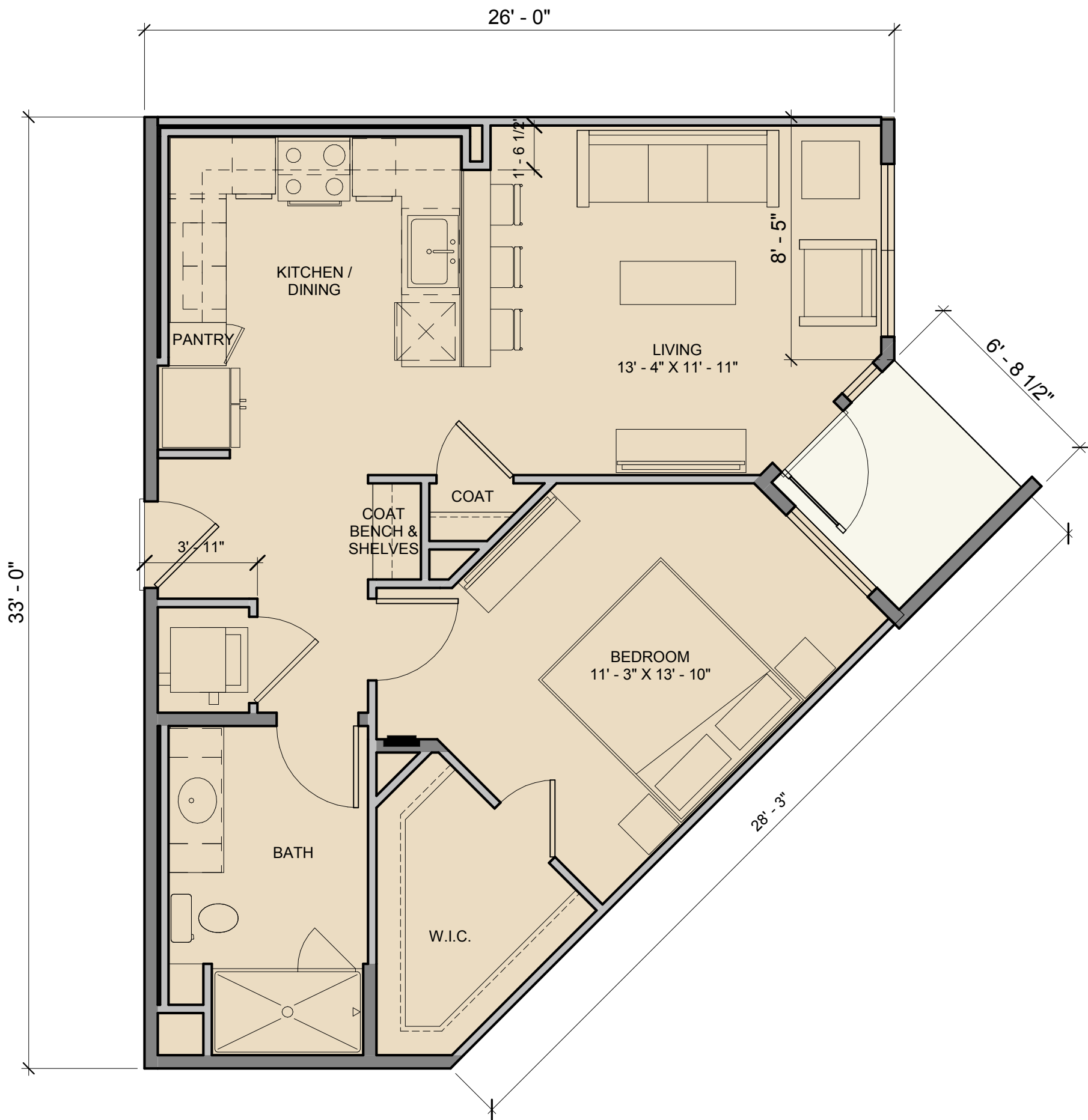
BUILDING SECTIONS



UNIT S1
399 SF UNIT
0 SF PRIVATE DECK



UNIT S2
581 SF UNIT
0 SF PRIVATE DECK



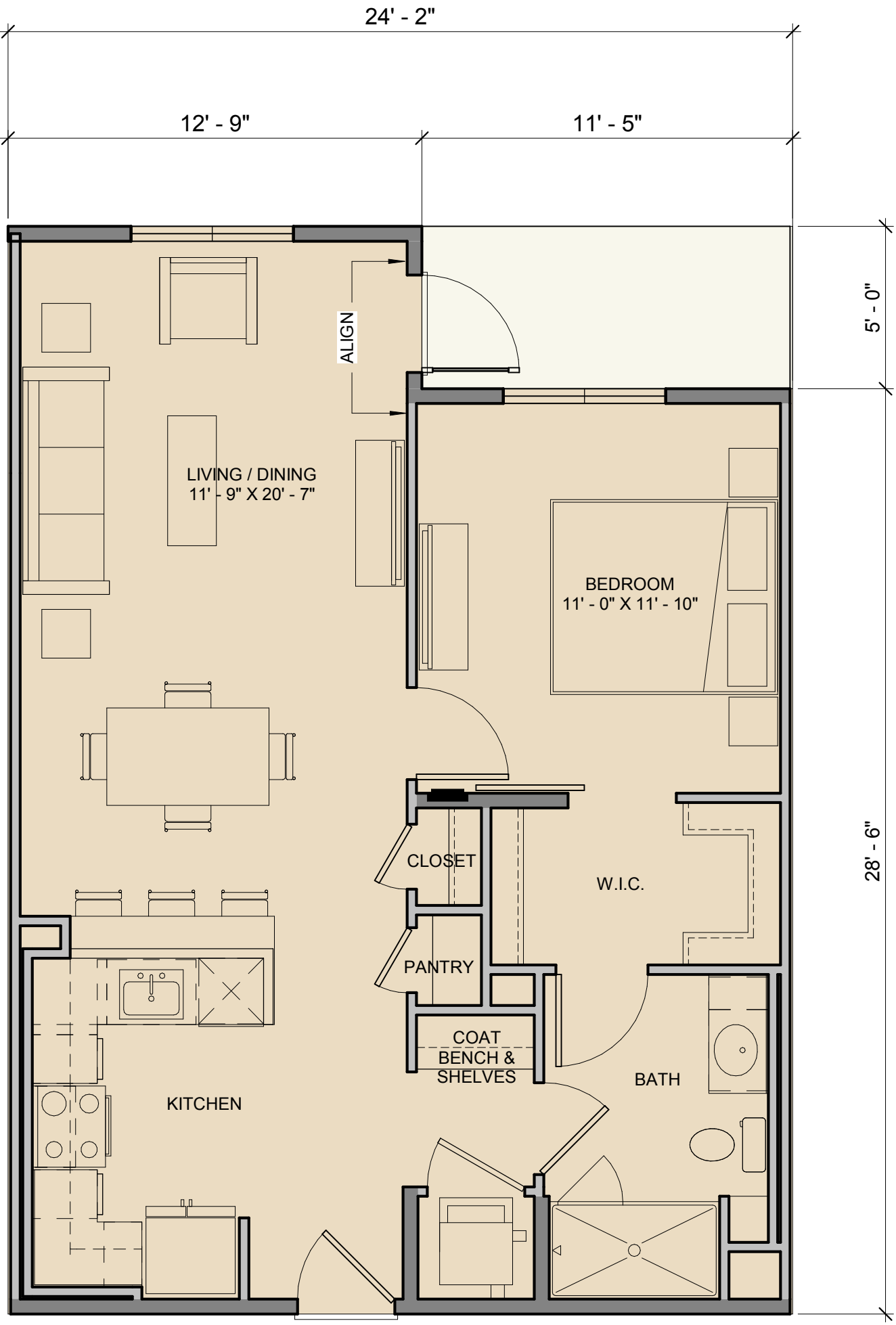
UNIT A1
740 SF UNIT
37 SF PRIVATE DECK

PLANNED DEVELOPMENT PERMIT
SHEET 26 OF 35

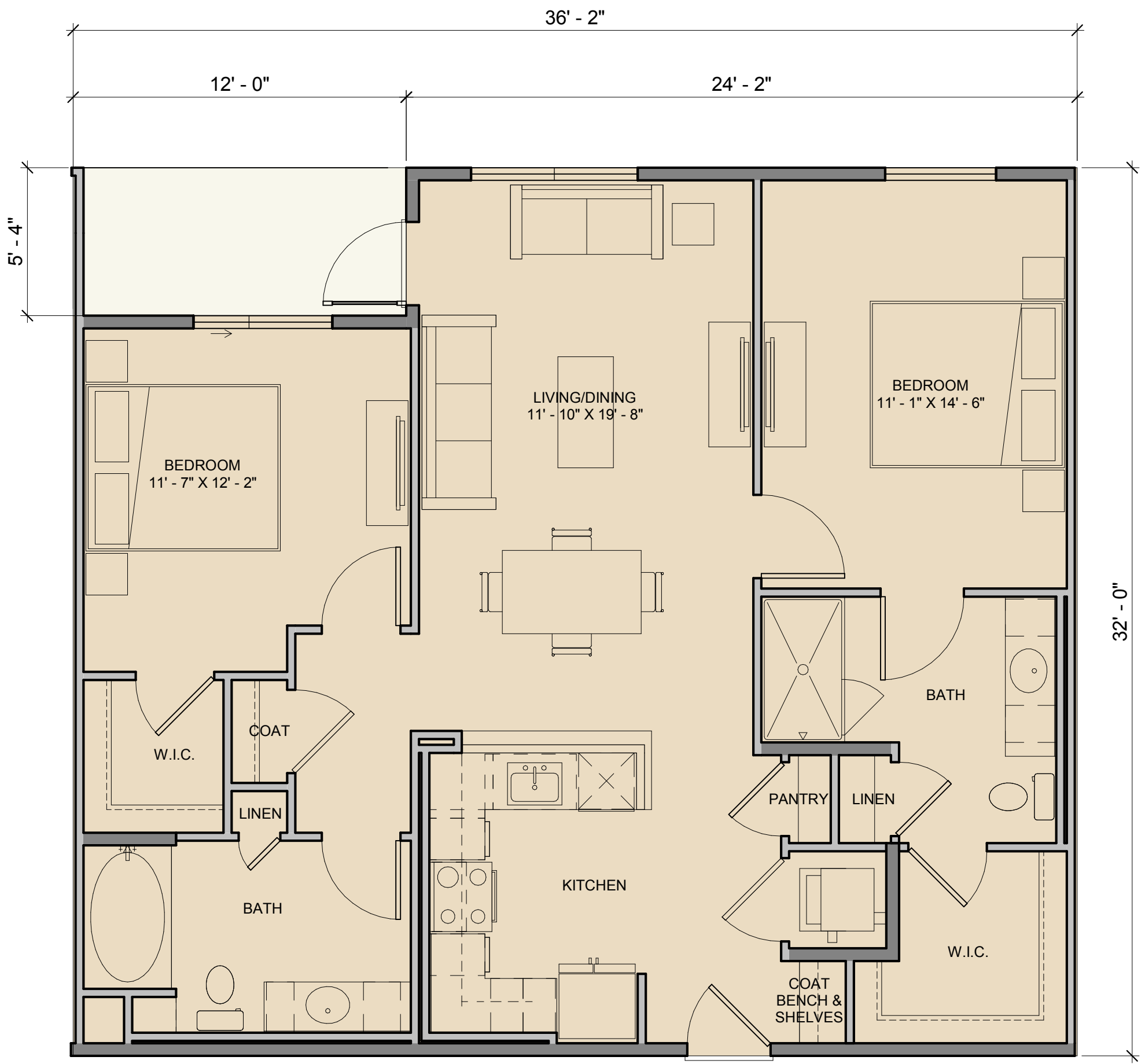
REVISION 5: _____
REVISION 4: _____
REVISION 3: 3/7/2018
REVISION 2: 11/16/2017
REVISION 1: 9/11/2017

SUBMITTAL DATE: JULY 31, 2017

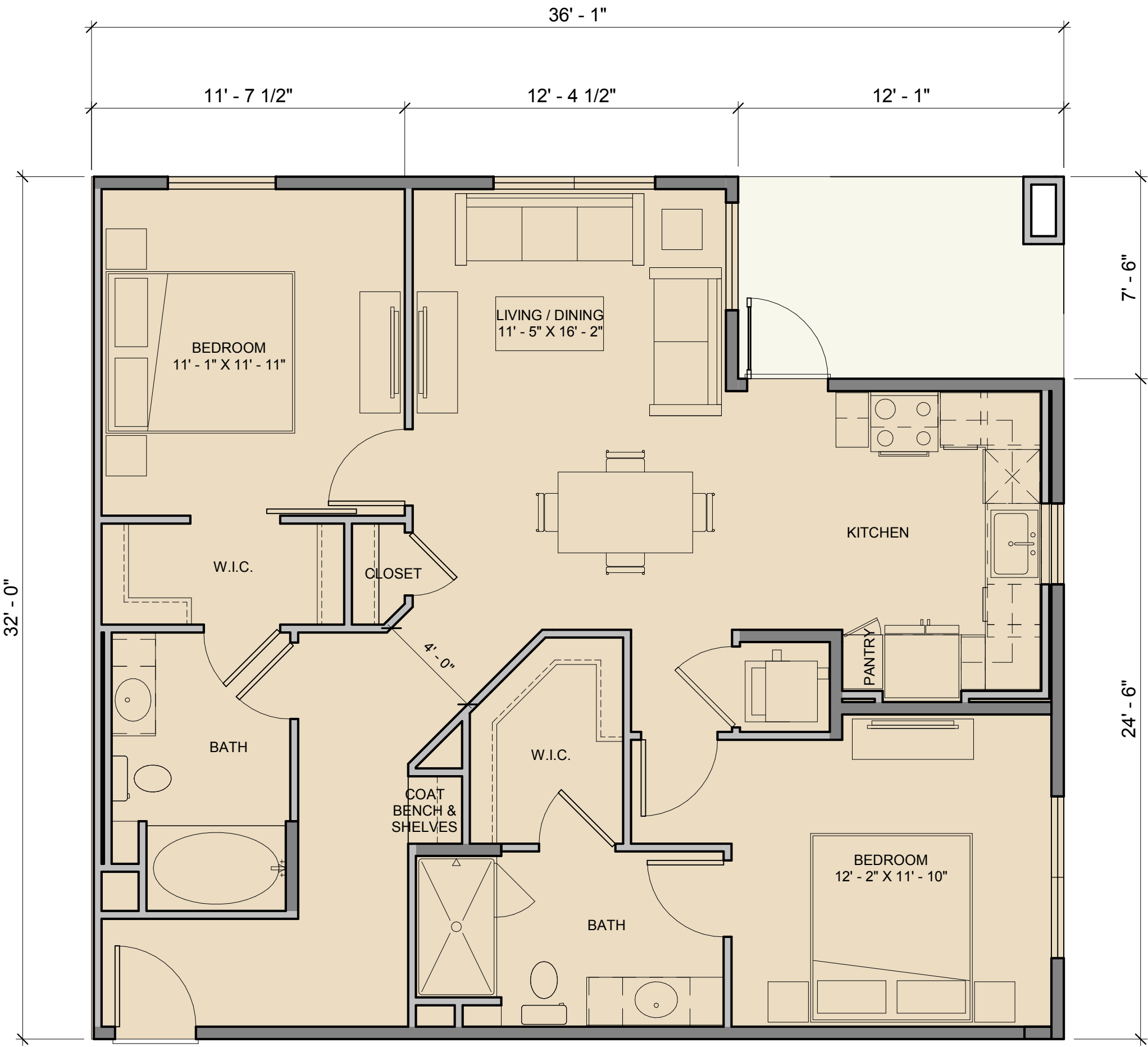




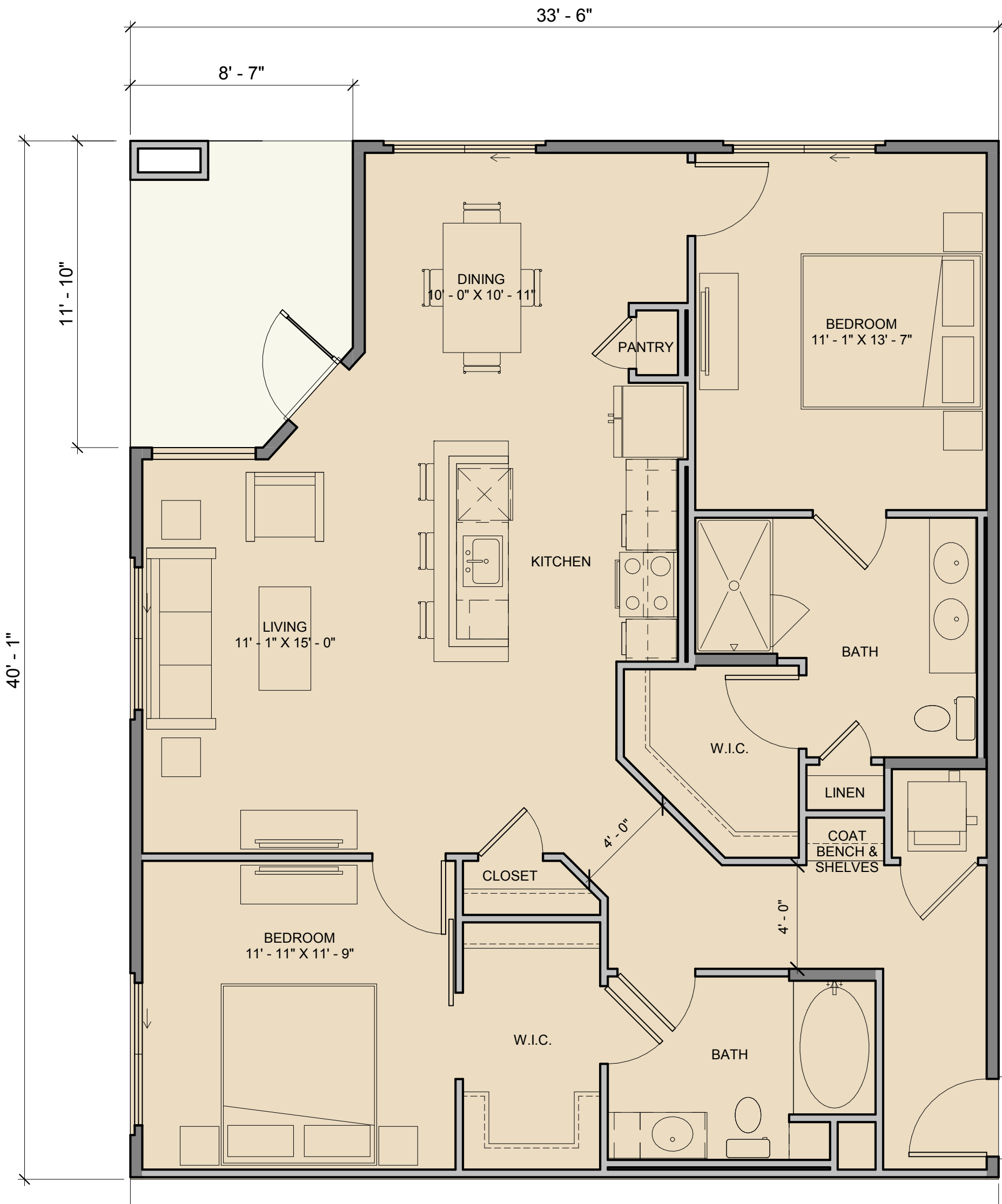
UNIT A2
725 SF UNIT
70 SF PRIVATE DECK



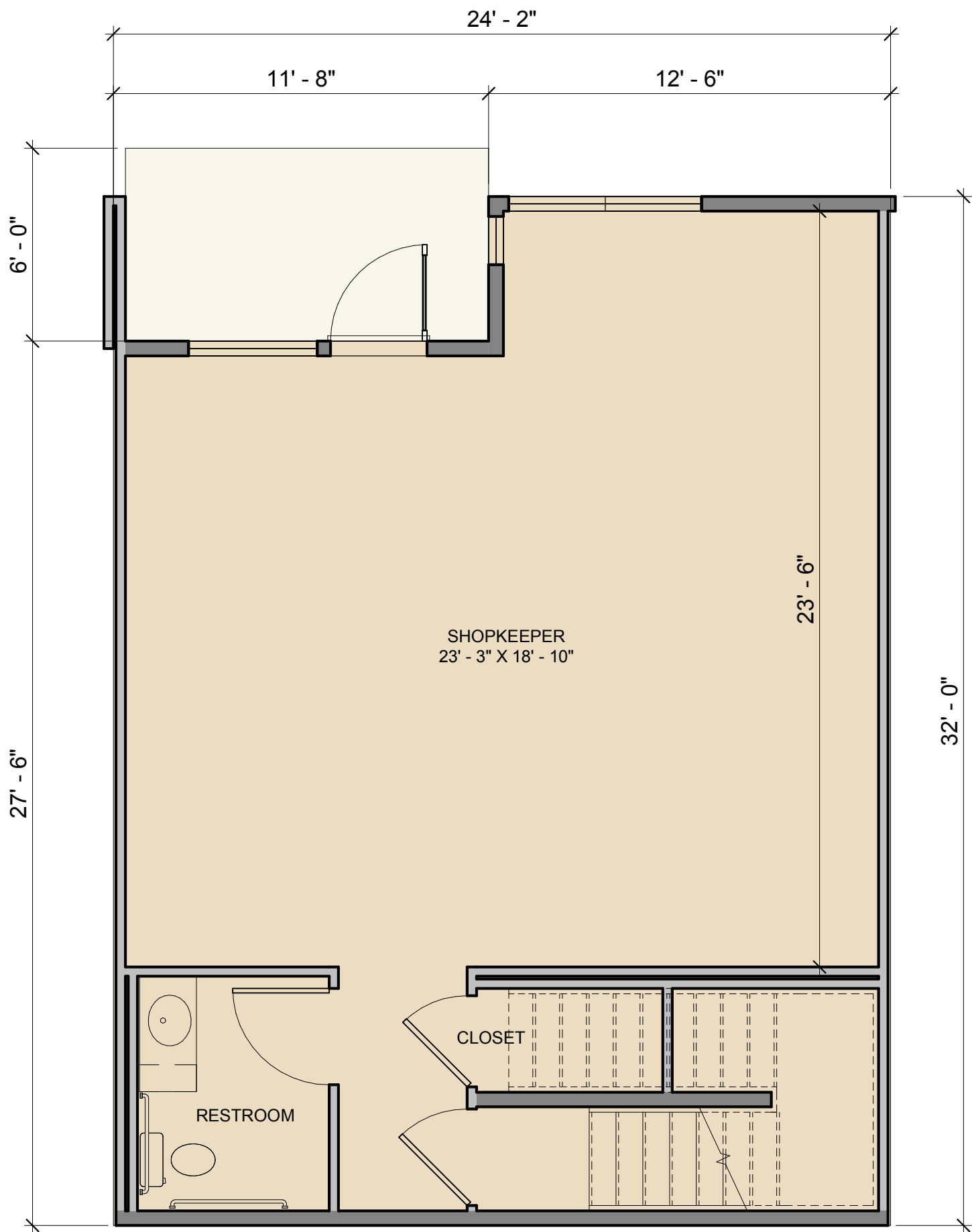
UNIT B1
1,090 SF UNIT
68 SF PRIVATE DECK



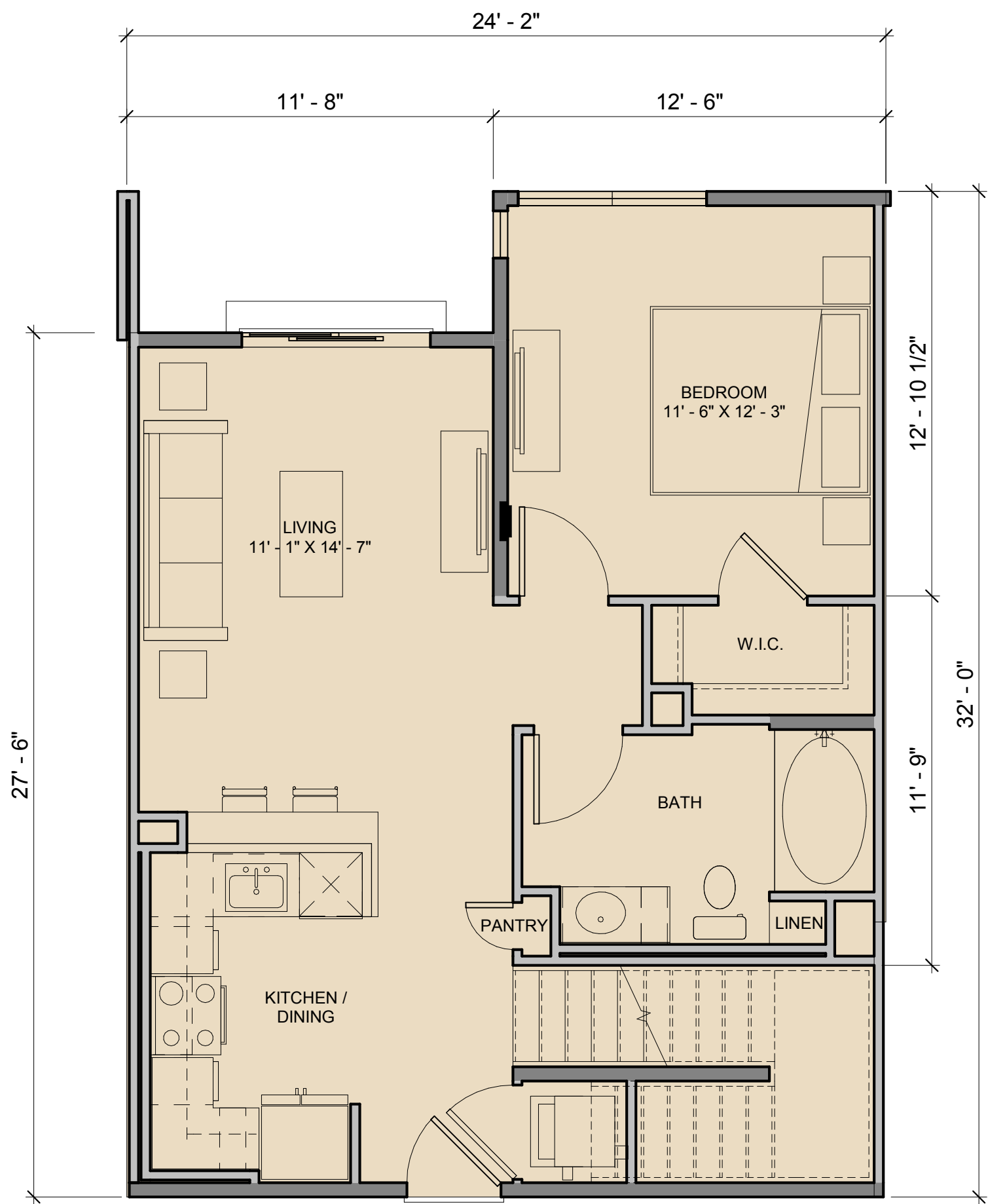
UNIT B2
1,110 SF UNIT
40 SF PRIVATE DECK



UNIT B3
1,274 SF UNIT
60 SF PRIVATE DECK



UNIT SK1 - LEVEL 01
721 SF UNIT (LOWER LEVEL)
60 SF PRIVATE PATIO



UNIT SK1 - LEVEL 02
636 SF UNIT (UPPER LEVEL)
1,357 SF UNIT TOTAL

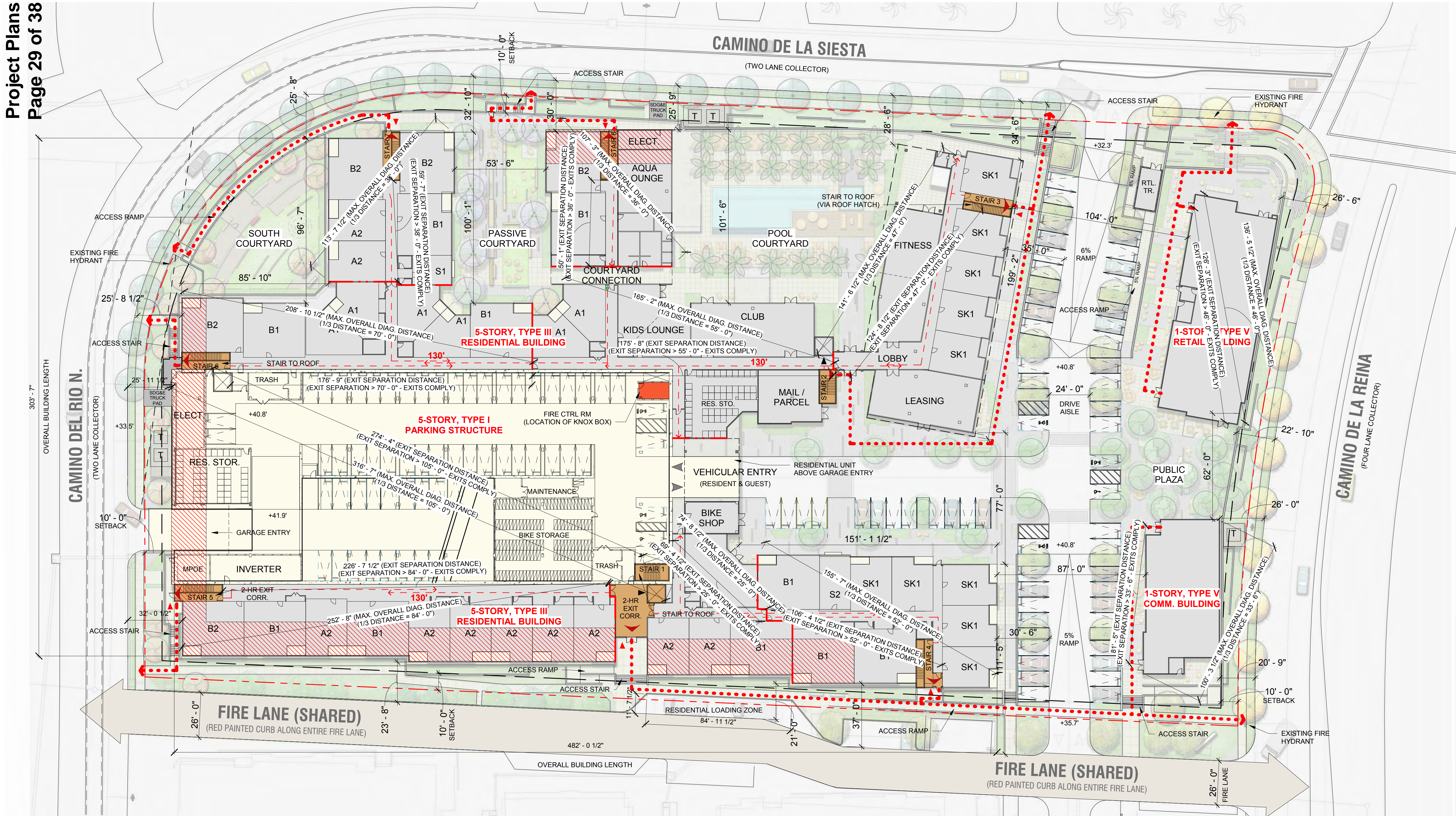
1. REFER TO THE COVER SHEET UNDER "BUILDING" FOR FIRE RESISTANCE RATING OF BUILDING ELEMENTS. SEE CBC TABLE 601 AND TABLE 602 FOR ADDITIONAL INFORMATION.

2. FIRE WALLS SEPARATE THE STRUCTURE INTO SEPARATE BUILDINGS. EACH SEPARATE "BUILDING" MUST COMPLY WITH ALL SECTIONS OF THE CODE AS "STAND-ALONE" BUILDINGS.

3. FIRE WALLS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED BY TABLE 706.4. IN TYPE II OR V CONSTRUCTION, WALLS SHALL BE PERMITTED TO HAVE A 2-HOUR FIRE-RESISTANCE RATING (CBC TABLE 706.4).

4. THE FIRE BARRIERS OR HORIZONTAL ASSEMBLIES, OR BOTH, SEPARATING A SINGLE OCCUPANCY INTO DIFFERENT FIRE AREAS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT INDICATED IN TABLE 707.3.10 (CBC 707.3.10). R-2: 2-HOURS FIRE-RESISTANCE RATING

5. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE (CBC 713.4).



NOTES

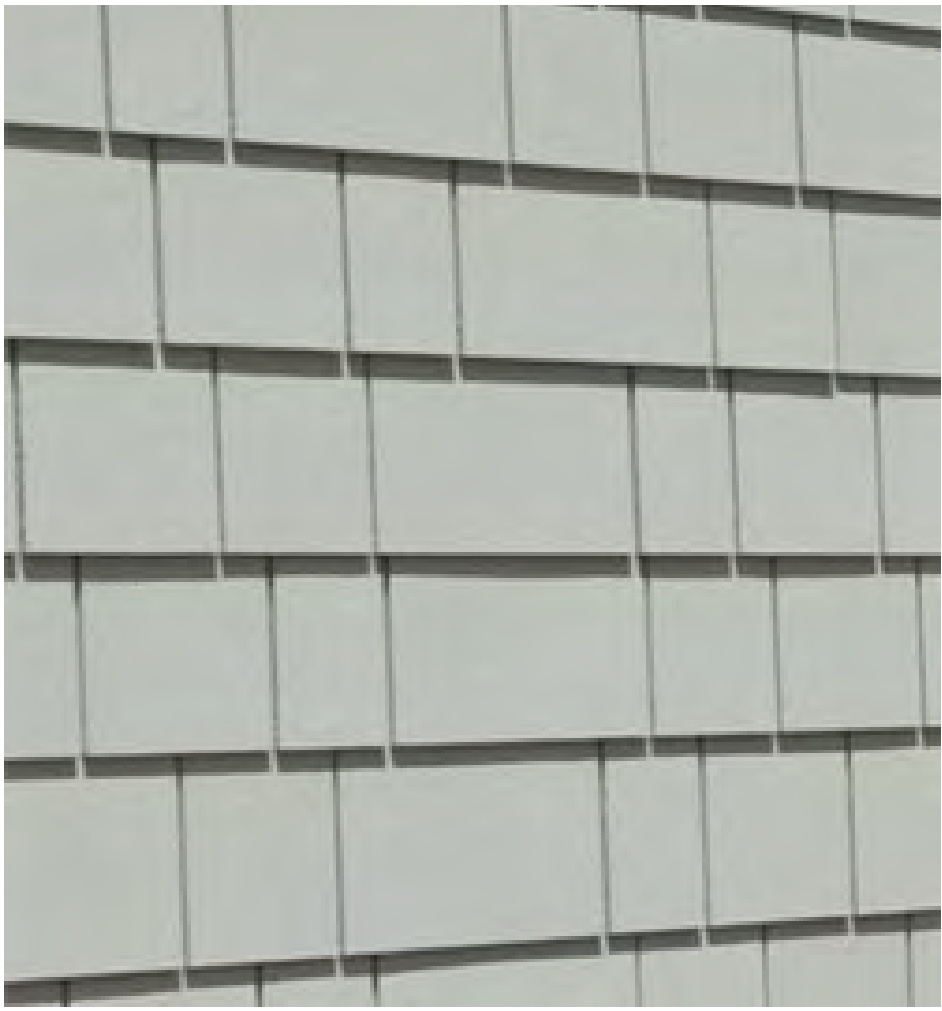
- Fire Apparatus Access Roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities. CFC 503.2.3
- Fire Apparatus Access Roads and Water Supplies for fire protection, shall be installed and made serviceable prior to and during time of construction. CFC 501.4
- Provide Building Address numbers, visible and legible from the street or road fronting the property per San Diego Municipal Code Section 995.0209
- Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structure.
- CBC Sec. 3002.4a - General Stretcher Requirements - All buildings and structures with one or more passenger service elevators shall be provided with not less than one medical emergency service elevator to all landings meeting the provisions of Section 3002.4a
- For hydrants refer to appendix B CFC. (Based on Fire Flow and Type of Construction. Fire flow reduction for sprinklers 75%).
- If new required: CFC 507.5.5 - Clear space around hydrants - A 3 foot clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved. (Provide note on the Fire Access Plan).
- If new required: San Diego Municipal Code Section 555.0507 item(c) hydrant locations shall be identified by the installation of reflective blue colored markers. Such markers shall be affixed to the roadway surface, approximately centered between curbs, and at a right angle to the hydrant. (provide as note).
- If new required: CFC 507.5.6 - Physical Protection - If additional hydrants are required and where five hydrants are subject to impact by a motor vehicle, guard posts or other approved means shall comply with Section CFC 312
- "An illuminated directory in accordance with FHPS Policy I-00-6, shall be provided" sandiego.gov, Public Safety, Fire, Services & Programs, Policies, Illuminated Directory
- Stairways exiting directly to the exterior of a building four or more stories in height shall be provided with a means for emergency entry for fire department access.
- Every building four stories or more in height shall be provided with not less than one standpipe for use during construction installed in accordance with CFC 3313.1/ Standpipe shall be installed when the progress of construction is not more than 40 feet in height above the lowest level of Fire Department access.
- Vegetation shall be selected and maintained in such a manner as to allow immediate access to all hydrants, valves, Fire Department connections, pull stations, extinguishers, sprinkler risers, alarm control panels, rescue windows,, and other devices or areas used for firefighting purposed. vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns, or strobes.
- Decorative materials shall be maintained in a flame-retardant condition. CFC Sec. 804
- All buildings and sites undergoing construction, alteration, or demolition shall comply with the requirements of Chapter 33 of the CFC.



STUCCO SIDING



STACKED MANUFACTURED STONE



FIBER CEMENT SIDING



ALUMINUM STOREFRONT
(SHOPKEEPER UNITS)



GLASS RAILING



PAINTED METAL RAILING



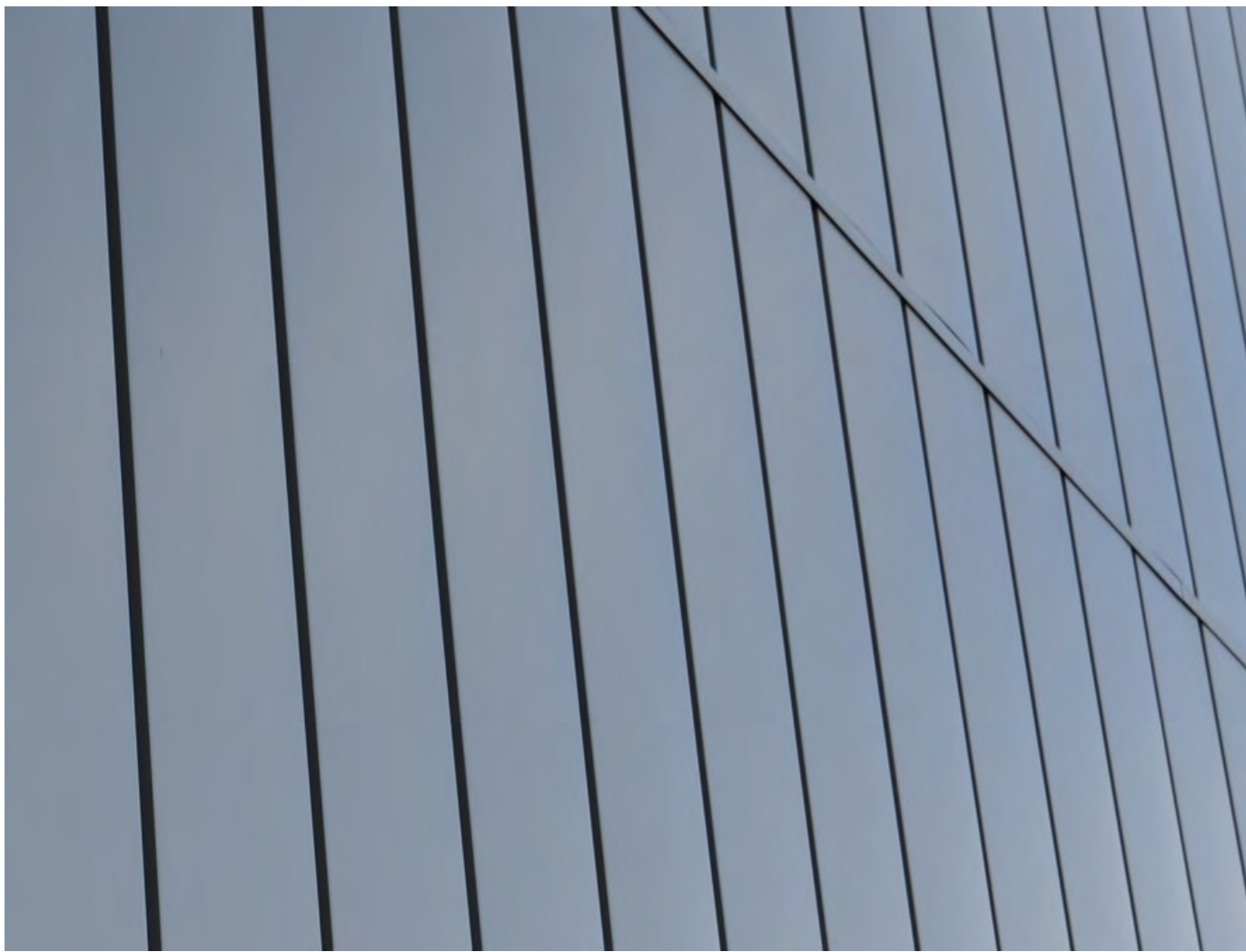
METAL AWNING



METAL AWNING/SUN SHADE



VINYL WINDOW
(RECESSED SHOWN)



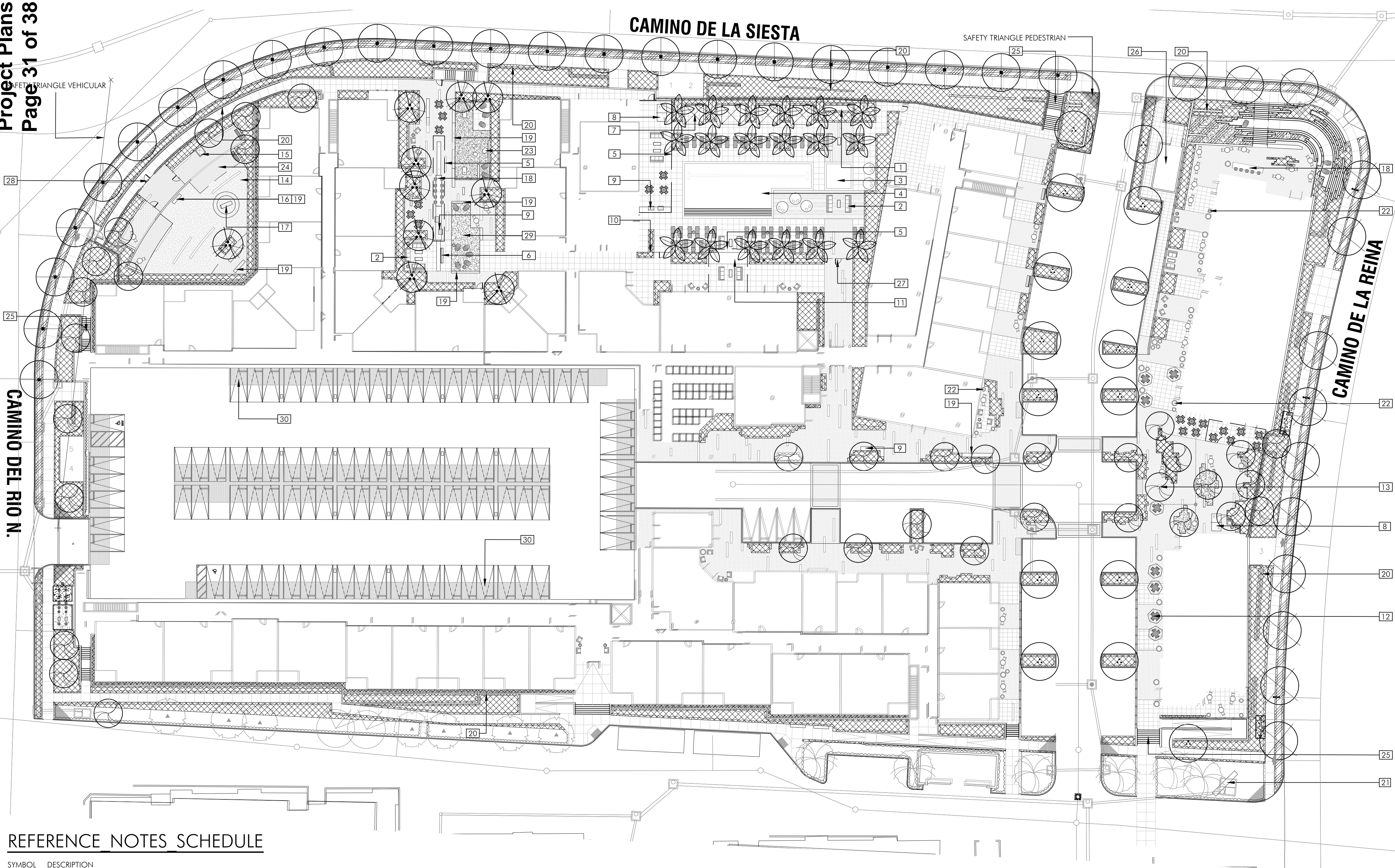
MANUFACTURED METAL SIDING



ALUMINUM STOREFRONT
(DOUBLE HEIGHT AMENITY SPACES)



COMPOSITE WOOD PANEL



CONCEPT PLANT SCHEDULE

PROPOSED ACCENT PALM 25'-50" MATURE HT. HOWEA FORSTERIANA / KENTIA PALM WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM SYAGRUS ROMANZOFFIANUM / QUEEN PALM ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM **NOT ALLOWED: WASHINGTONIA ROBUSTA / MEXICAN FAN PALM WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM	20' BTH 20' BTH 20' BTH 20' BTH
PROPOSED CAMINO DEL RIO & CAMINO DE LA SIESTA STREET TREE EVERGREEN TREE W/ 20'-50" MATURE HT. - SUCH AS: ARBUTUS X 'MARINA' / ARBUTUS STANDARD METROSIDEROS EXCELSA / NEW ZEALAND CHRISTMAS TREE PODOCARPUS GRACILIOR / FERN PINE	36" BOX 24" BOX 24" BOX
PROPOSED CAMINO DE LA REINA STREET TREE DECIDUOUS TREE W/ 40'-60" MATURE HT. - SUCH AS: PLATANUS X ACERIFOLIA 'COLUMBIA' / LONDON PLANE TREE	36" BOX
PROPOSED V.U.A. TREE EVERGREEN TREE W/ 20'-50" MATURE HT. - SUCH AS: ARBUTUS X 'MARINA' / ARBUTUS STANDARD PODOCARPUS GRACILIOR / FERN PINE RHUS LANCEA / AFRICAN SUMAC METROSIDEROS EXCELSUS / NEW ZEALAND CHRISTMAS TREE	24" BOX 24" BOX 24" BOX 24" BOX
PROPOSED PLAZA SPECIMEN TREE EVERGREEN TREE W/ 40'-60" MATURE HT. - SUCH AS: LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE LEPTOSPERMUM PETERSONI/ LEMON SCENTED TEA TREE QUERCUS AGRIFOLIA / COAST LIVE OAK	36" BOX 36" BOX 36" BOX
PROPOSED ACCENT TREE EVERGREEN OR DECIDUOUS TREE W/ 20'-50" MATURE HT. - SUCH AS: CASSIA LEPTOPHYLLA / GOLD MEDALLION TREE LAGERSTROEMIA X 'NATCHEZ' / CRAPE MYRTLE PRUNUS CERASIFERA 'ATROPURPUREA' / PURPLE-LEAF PLUM TABEBUIA IMPETIGINOSA / PINK TRUMPET TREE	24" BOX 24" BOX 24" BOX 36" BOX
PROPOSED SHRUBS ABELIA X GRANDIFLORA / GLOSSY ABELIA ACACIA SPECIES AGAVE X SPECIES ANICIZANTHOS X 'BIG RED' / KANGAROO PAW ALOE X SPECIES BAMBUSA TEXTILIS/ WEAVER'S BAMBOO BAMBUSA VULGARIS 'VITTATA'/ PAINTED BAMBOO BIGNONIA CAPREOLATA/ CROSSVINE CAREX TUMULICOLA / BERKELEY SEDGE DIANELLA TASMANICA 'TAS RED' / FLAX LILY DIETES VEGETA / AFRICAN IRIS ECHEVERIA X SPECIES JUNCUS PATENS / CALIFORNIA GREY RUSH LIGULSTRUM JAPONICUM 'TEXANUM' / WAX LEAF PRIVET LIRIOPE GIGANTEA / GIANT LIRIOPE PENNISETUM 'FAIRY TAILS' / EVERGREEN FOUNTAIN GRASS PHORMIUM TENAX / NEW ZEALAND FLAX RHAPHIOLEPIS INDICA 'DANCER' / INDIAN HAWTHORN TRACHELOSPERMUM JASMINOIDES 'STAR' / STAR JASMINE VIBURNUM JAPONICUM / EVERGREEN VIBURNUM	10% @ 15 GAL 48" O.C. 50% @ 5 GAL 36" O.C. 40% @ 1 GAL 24" O.C.
PROPOSED GROUNDCOVER CAREX PRAGRACILIS / CALIFORNIA FIELD SEDGE CARISSA MACROCARPA 'GREEN CARPET' / GREEN CARPET NATAL PLUM FESTUCA CAPILLATA / FESCUE FESTUCA RUBRA 'MOLATE' / CREEPING RED FESCUE ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	100% @ 1 GAL 24" O.C.
PROPOSED TURF MARATHON II / FESCUE FESTUCA RUBRA 'MOLATE' / CREEPING RED FESCUE	FROM SOD

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	GREEN LIVING WALL PLANTER
2	OUTDOOR LOUNGE FURNITURE
3	SPA
4	POOL
5	OVERHEAD STRUCTURE
6	FIRE PLACE / MEDIA WALL
7	CABANA
8	OUTDOOR PING PONG TABLE
9	OUTDOOR BBQ & COUNTERTOP
10	POOL FENCE
11	DOUBLE SIDED FIRE PLACE
12	UMBRELLA FOR SHADE
13	TREE WITHIN PAVING
14	SYNTHETIC TURF
15	DOG WASHING STATION
16	ART SCULPTURE
17	DOG TUNNEL
18	OUTDOOR DINING
19	SEAT WALL
20	PLANTER RETAINING WALL
21	SIGN
22	DECORATIVE PLANTER POT
23	BOULDER
24	DECOMPOSED GRANITE
25	STAIRS
26	TRASH ENCLOSURE
27	POOL GATE
28	DOG PARK FENCE AND GATE
29	TURF
30	PV PANEL SHADE STRUCTURES PER ARCHITECT, SEE ARCHITECT SHEET SET FOR PANEL LOCATIONS.

NOTES:

1. ALL SIDEWALKS IN CITY RIGHT-OF-WAY ADJACENT TO STREETS TO BE NATURAL GRAY CONCRETE WITH BROOM FINISH.

2. ALL ONSITE PAVING TO BE INTEGRAL COLOR CONCRETE WITH 'SANDBLAST' FINISH MINIMUM.

3. ALL LANDSCAPED AREAS, EXCEPT TURF AREAS, TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.

4. LANDSCAPED AREAS WITHIN THE PROJECT SHALL RECEIVE A FULLY AUTOMATIC IRRIGATION SYSTEM THAT PROVIDES 100% COVERAGE TO ALL PROPOSED PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE ZONED ACCORDING TO PLANT TYPES, SOLAR EXPOSURE, SLOPE RATIO, AND TYPE OF SPRINKLER HEAD TO BE USED. DRIP AND LOW PRECIPITATION RATE SPRINKLER HEADS SHALL BE USED WHERE APPLICABLE TO ENCOURAGE WATER INFILTRATION INTO THE SOIL AND DECREASE WATER RUN-OFF. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

6. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

7. NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES. ROOT BARRIERS MAY BE ELIMINATED WHERE THE COMBINATION OF TREE SPECIES, SOIL TYPE, SOIL AREA, AND DRAINAGE CONDITIONS CAN BE SHOWN TO AFFORD EQUIVALENT PROTECTION AGAINST TREE ROOT DAMAGE TO PUBLIC IMPROVEMENTS.

8. MINIMUM TREE / IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET; UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER); ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET, INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)- 25 FEET.

9. LANDSCAPE AND IRRIGATION WITHIN THE STREET RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY DIRECTLY BEHIND THE R.O.W. LINE.

10. IRRIGATION: AN AUTOMATIC ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.043(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

11. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET X 8 FEET = 40 S.F., PER SDMC 142.04.03(B)(5).

12. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(b)(10).

13. ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/ PERMITTEE SHALL REPAIR AND OR REPLACE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR CERTIFICATE OF OCCUPANCY.

PLANNED DEVELOPMENT PERMIT
SHEET 31 OF 38

REVISION 5: JUN. 04, 2018
REVISION 4: APR. 04, 2018
REVISION 3: MAR. 07, 2018
REVISION 2: NOV. 16, 2017
REVISION 1: SEPT. 11, 2017

SUBMITTAL DATE: JULY 31, 2017

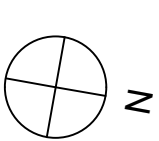
WITT MISSION VALLEY
MISSION VALLEY, CA



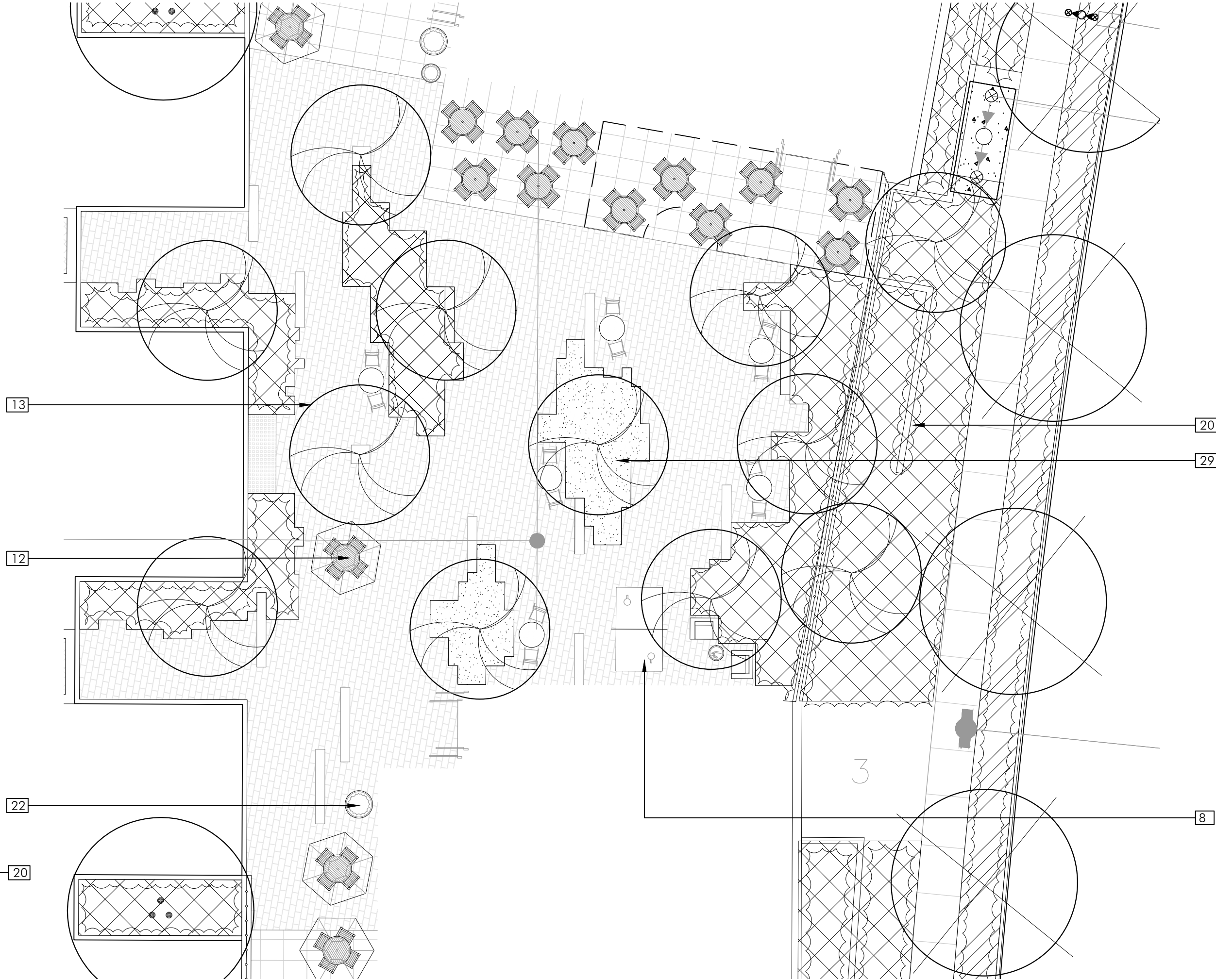
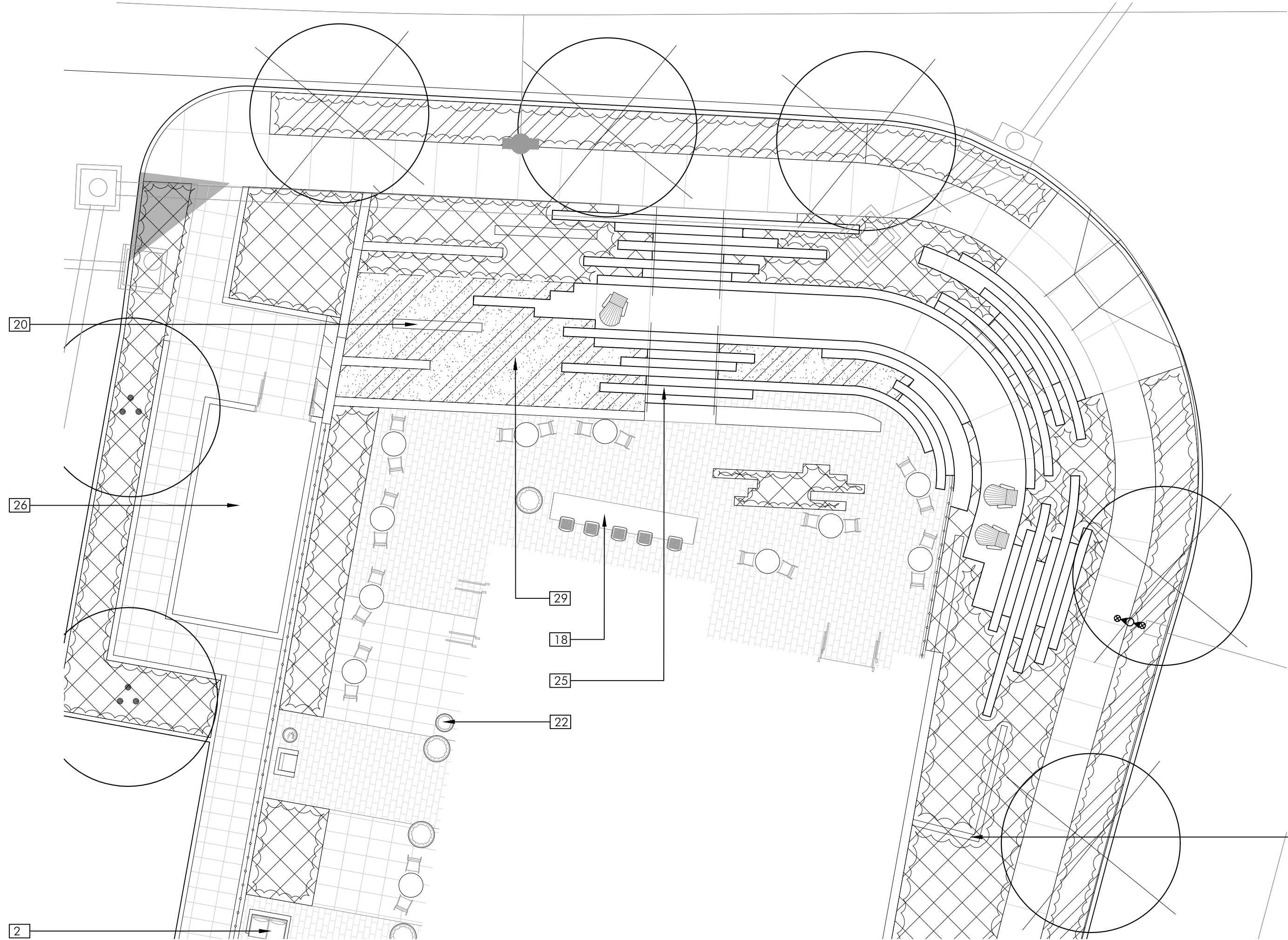
DIN / CAL 4, INC.
TCA# 2017-030

PLANNED DEVELOPMENT PERMIT /
SITE DEVELOPMENT PERMIT

0' 15' 30' 60'



OVERALL SITE PLAN



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	GREEN LIVING WALL PLANTER
2	OUTDOOR LOUNGE FURNITURE
3	SPA
4	POOL
5	OVERHEAD STRUCTURE
6	FIRE PLACE / MEDIA WALL
7	CABANA
8	OUTDOOR PING PONG TABLE
9	OUTDOOR BBQ & COUNTERTOP
10	POOL FENCE
11	DOUBLE SIDED FIRE PLACE
12	UMBRELLA FOR SHADE
13	TREE WITHIN PAVING
14	SYNTHETIC TURF
15	DOG WASHING STATION
16	ART SCULPTURE
17	DOG TUNNEL
18	OUTDOOR DINING
19	SEAT WALL
20	PLANTER RETAINING WALL
21	SIGN
22	DECORATIVE PLANTER POT
23	BOULDER
24	DECOMPOSED GRANITE
25	STAIRS
26	TRASH ENCLOSURE
27	POOL GATE
28	DOG PARK FENCE AND GATE
29	TURF
30	PV PANEL SHADE STRUCTURES PER ARCHITECT, SEE ARCHITECT SHEET SET FOR PANEL LOCATIONS

CONCEPT PLANT SCHEDULE

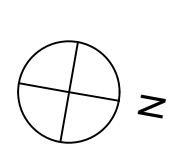
	PROPOSED ACCENT PALM 25'-50' MATURE HT. HOWEA FORSTERIANA / KENTIA PALM WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM STAGRUS ROMANZOFFIANUM / QUEEN PALM ARCHONTOPIHCHENIK CUNNINGHAMIANA / KING PALM **NOT ALLOWED: WASHINGTONIA ROBUSTA / MEXICAN FAN PALM WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM	20' BTH 20' BTH 20' BTH 20' BTH		PROPOSED SHRUBS ABELIA X GRANDIFLORA / GLOSSY ABELIA ACACIA SPECIES AGAVE X SPECIES ANIGOZANTHOS X 'BIG RED' / KANGAROO PAW ALOE X SPECIES BAMBUSA TEXTILIS/ WEAVER'S BAMBOO BAMBUSA VULGARIS 'VITTATA'/ PAINTED BAMBOO BIGNONIA CAPREOLATA/ CROSSVINE CAREX TUMULICOLA / BERKELEY SEDGE DIANELLA TASMANICA 'TAS RED' / FLAX LILY DIETES VEGETA / AFRICAN IRIS ECHEVERIA X SPECIES JUNCUS PATENS / CALIFORNIA GREY RUSH LIGUSTRUM JAPONICUM 'TEXANUM' / WAX LEAF PRIVET LIRIOPE GIGANTEA / GIANT LIRIOPE PENNISETUM 'FAIRY TAILS' / EVERGREEN FOUNTAIN GRASS PHORMIUM TENAX / NEW ZEALAND FLAX RHAPHIOLEPIS INDICA 'DANCER' / INDIAN HAWTHORN TRACHELOSPERMUM JASMINOIDES 'STAR' / STAR JASMINE VIBURNUM JAPONICUM / EVERGREEN VIBURNUM	10% @ 15 GAL 48" O.C. 50% @ 5 GAL 36" O.C. 40% @ 1 GAL 24" O.C.
	PROPOSED CAMINO DEL RIO & CAMINO DE LA SIESTA STREET TREE EVERGREEN TREE W/ 20'-50' MATURE HT. - SUCH AS: ARBUTUS X 'MARINA' / ARBUTUS STANDARD METROSIDEROS EXCELSA / NEW ZEALAND CHRISTMAS TREE PODOCARPUS GRACILIOR / FERN PINE	36' BOX 24' BOX 24' BOX			
	PROPOSED CAMINO DE LA REINA STREET TREE DECIDUOUS TREE W/ 40'-60' MATURE HT. - SUCH AS: PLATANUS X ACERIFOLIA 'COLUMBIA' / LONDON PLANE TREE	36' BOX			
	PROPOSED V.I.J.A. TREE EVERGREEN TREE W/ 20'-50' MATURE HT. - SUCH AS: ARBUTUS X 'MARINA' / ARBUTUS STANDARD PODOCARPUS GRACILIOR / FERN PINE RHUS LANCEA / AFRICAN SUMAC METROSIDEROS EXCELSUS / NEW ZEALAND CHRISTMAS TREE	24' BOX 24' BOX 24' BOX 24' BOX			
	PROPOSED PLAZA SPECIMEN TREE EVERGREEN TREE W/ 40'-60' MATURE HT. - SUCH AS: LAGERSTROEMIA X 'NATCHEZ' CRAPE MYRTLE LEPTOSPERMUM PETERSONII/ LEMON SCENTED TEA TREE QUERCUS AGRIFOLIA / COAST LIVE OAK	36' BOX 36' BOX 36' BOX			
	PROPOSED ACCENT TREE EVERGREEN OR DECIDUOUS TREE W/ 20'-50' MATURE HT. - SUCH AS: CASSIA LEPTOPHYLLA / GOLD MEDALLION TREE LAGERSTROEMIA X 'NATCHEZ' / CRAPE MYRTLE PRUNUS CERASIFERA 'ATROPURPUREA' / PURPLE-LEAF PLUM TABEBUIA IMPETIGINOSA / PINK TRUMPET TREE	24' BOX 24' BOX 24' BOX 36' BOX			
	PROPOSED GROUNDCOVER CAREX PRAEGRACILIS / CALIFORNIA FIELD SEDGE CARISSA MACROCARPA 'GREEN CARPET' / GREEN CARPET NATAL PLUM FESTUCA CAPILLATA / FESCUE FESTUCA RUBRA 'MOLATE' / CREEPING RED FESCUE ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	100% @ 1 GAL 24" O.C.			
	PROPOSED TURF MARATHON II / FESCUE FESTUCA RUBRA 'MOLATE' / CREEPING RED FESCUE	FROM SOD			
	NOTE 1. OFF SITE LANDSCAPE INSTALLED PER PTS 341130 2. NO SHRUB PLANTING WITHIN THE SIGHT TRIANGLE AREAS SHALL BE ABOVE 36" IN HEIGHT. 3. NO TREE BRANCHES WITHIN THE SIGHT TRIANGLE AREAS SHALL BE BELOW THE 6'-0" CLEARANCE REQUIRED BY CITY ORDINANCE.				

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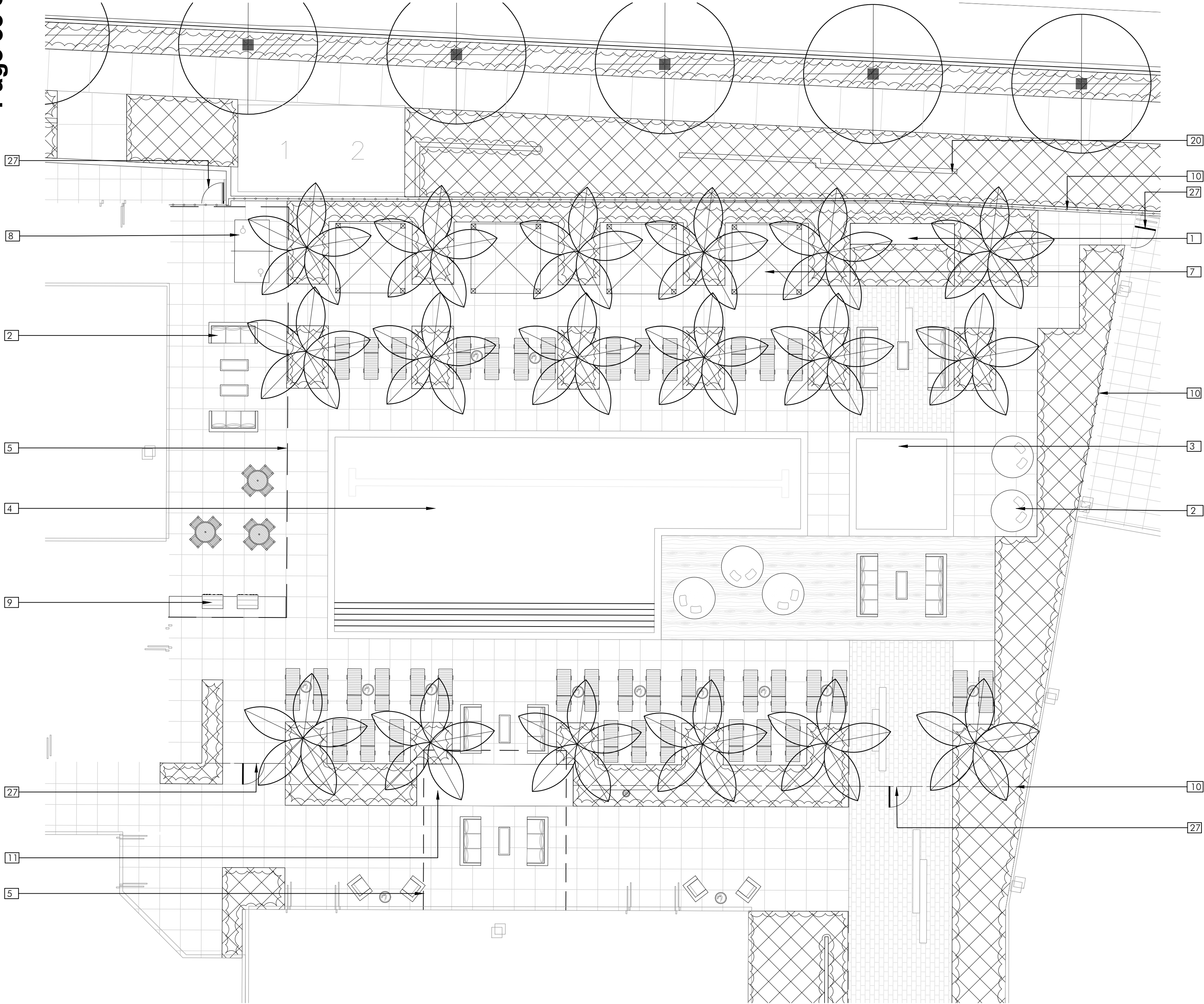


ENTRY PLAZA AND
CENTRAL PLAZA

PLANNED DEVELOPMENT PERMIT
SHEET 32 OF 38

REVISION 5: JUN. 04, 2018
REVISION 4: APR. 04, 2018
REVISION 3: MAR. 07, 2018
REVISION 2: NOV. 16, 2017
REVISION 1: SEPT. 11, 2017

SUBMITTAL DATE: JULY 31, 2017



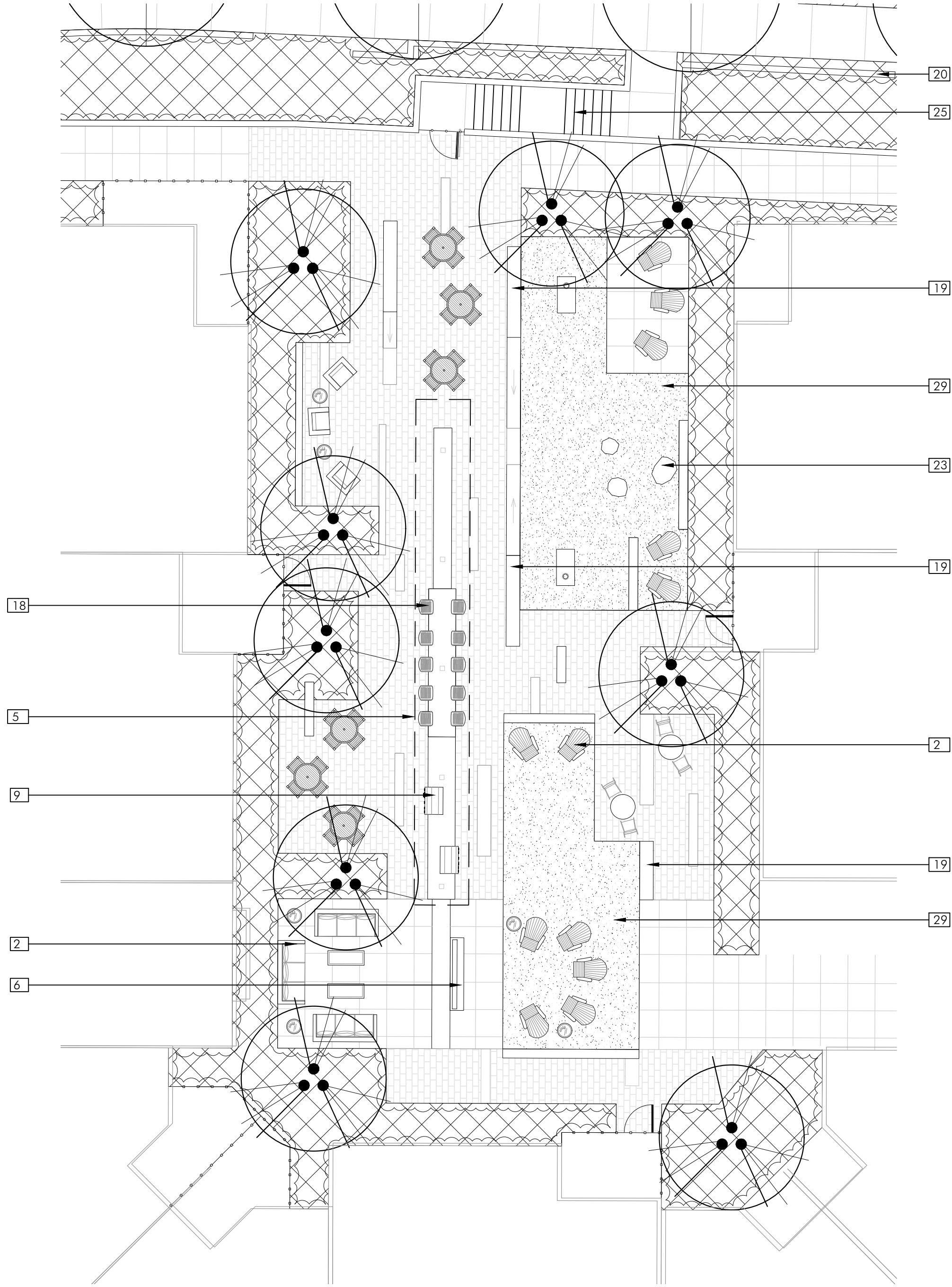
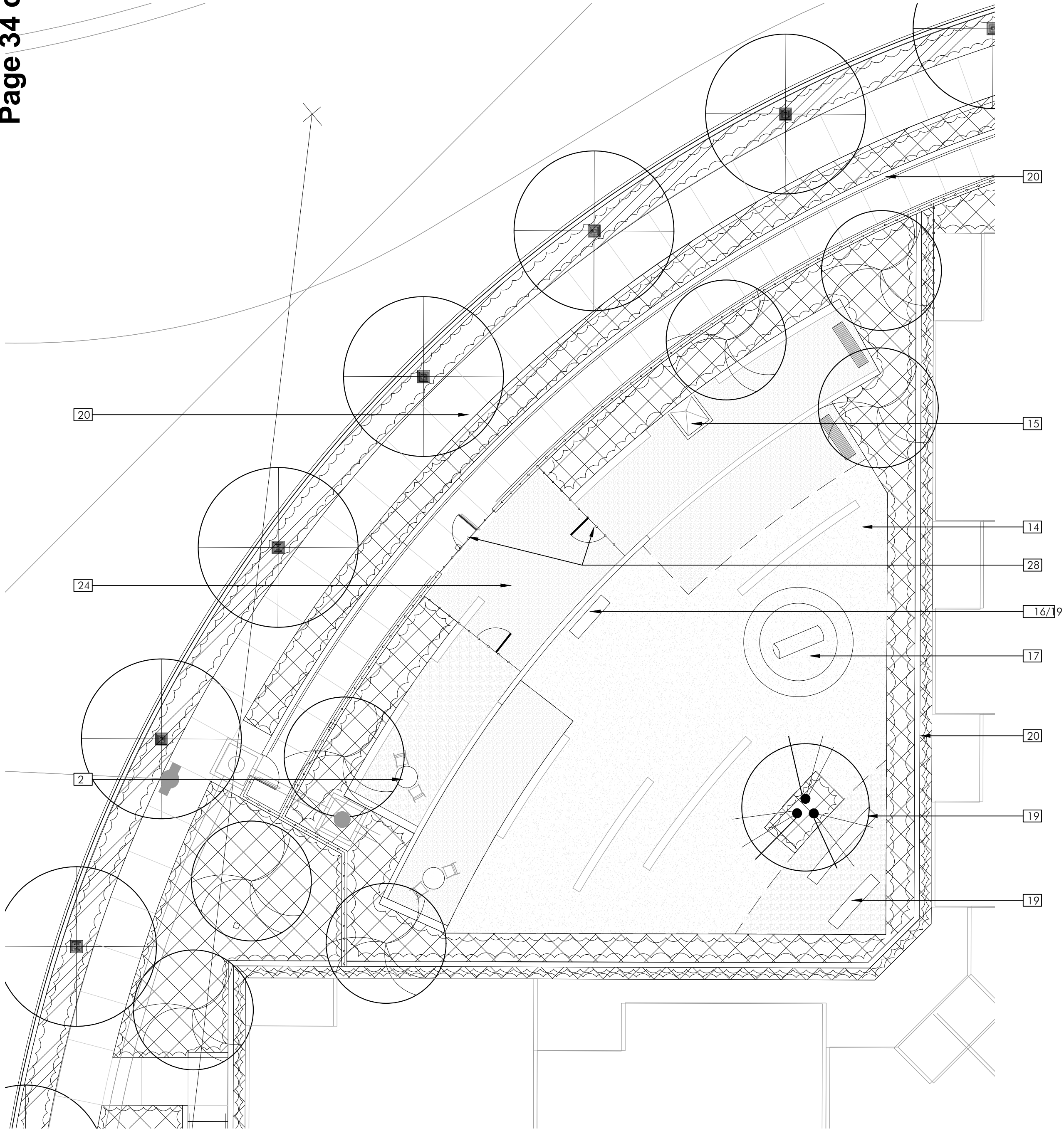
REFERENCE NOTES SCHEDULE

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CONCEPT PLANT SCHEDULE

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NOTE
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PLANNED DEVELOPMENT PERMIT
SHEET 34 OF 38

REVISION 5: JUN. 04, 2018
REVISION 4: APR. 04, 2018
REVISION 3: MAR. 07, 2018
REVISION 2: NOV. 16, 2017
REVISION 1: SEPT. 11, 2017

SUBMITTAL DATE: JULY 31, 2017

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	GREEN LIVING WALL PLANTER		DOUBLE SIDED FIRE PLACE		SIGN
	OUTDOOR LOUNGE FURNITURE		UMBRELLA FOR SHADE		DECORATIVE PLANTER POT
	SPA		TREE WITHIN PAVING		BOULDER
	POOL		SYNTHETIC TURF		DECOMPOSED GRANITE
	OVERHEAD STRUCTURE		DOG WASHING STATION		STAIRS
	FIRE PLACE / MEDIA WALL		ART SCULPTURE		TRASH ENCLOSURE
	CABANA		DOG TUNNEL		POOL GATE
	OUTDOOR PING PONG TABLE		OUTDOOR DINING		DOG PARK FENCE AND GATE
	OUTDOOR BBQ & COUNTERTOP		SEAT WALL		TURF
	POOL FENCE		PLANTER RETAINING WALL		PV PANEL SHADE STRUCTURES PER ARCHITECT, SEE ARCHITECT SHEET SET FOR PANEL LOCATIONS

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MISSION VALLEY, CA



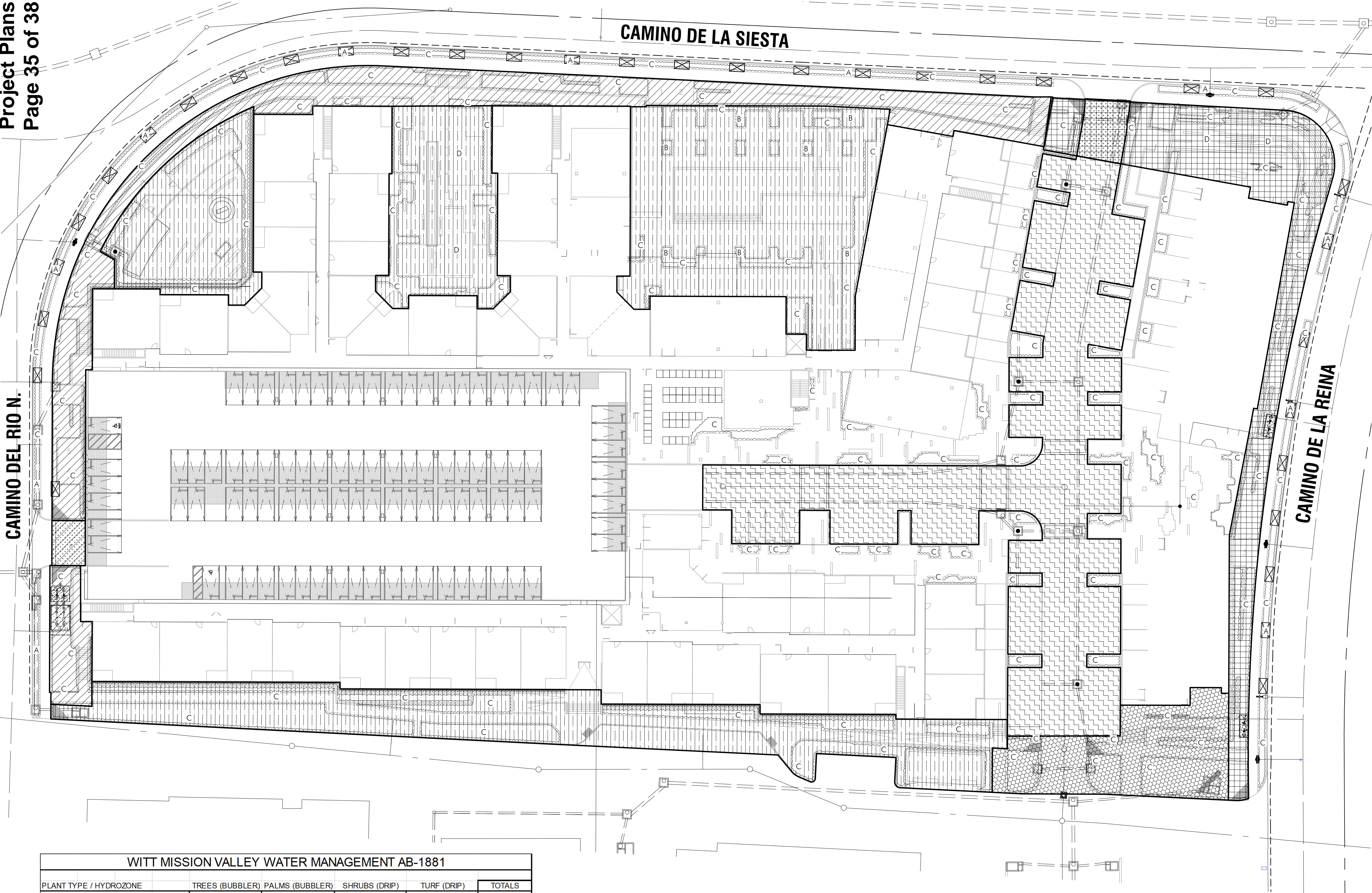
DIN / CAL 4, INC.
TCA# 2017-030

PLANNED DEVELOPMENT PERMIT /
SITE DEVELOPMENT PERMIT

0' 5' 10' 20'



DOG PARK AND PASSIVE
COURTYARD ENLARGEMENT



WITT MISSION VALLEY WATER MANAGEMENT AB-1881					
PLANT TYPE / HYDROZONE	TREES (BUBBLER)	PALMS (BUBBLER)	SHRUBS (DRIP)	TURF (DRIP)	TOTALS
SITE Eto (in/yr)	47.00	47.00	47.00	47.00	
PLANT FACTORS KC	0.50	0.70	0.30	0.80	
HYDROZONE AREA (sq.ft.)	4,160.00	720.00	32,530.00	1,654.00	39,064.00
IRRIGATION EFFICIENCY	0.81	0.81	0.81	0.81	
CONVERSION FACTOR	0.62	0.62	0.62	0.62	
MAWA (gal) = (ETo)(.45)(LA)(.62)	54,550.08	9,441.36	426,565.89	21,688.90	512,246.23
MAWA (ccf)	72.93	12.62	570.28	29.00	684.82
ETWU (gal)= ((ETo)(PF)(HA)(.62))/ (IE)	74,828.64	18,131.56	351,083.04	47,602.53	491,645.76
EWU (ccf)	100.04	24.24	469.36	63.64	657.28
AVERAGE RAINFALL IN.	10.42	10.42	10.42	10.42	
EFFECTIVE RAINFALL IN.	2.61	2.61	2.61	2.61	
EFFECTIVE RAINFALL (gallons)	6,754.67	1,169.08	52,819.56	2,685.63	63,428.93
TOTAL WATER USAGE (gallons)					428,216.83
TOTAL WATER USAGE (ccf)					572.48

HYDROZONE LEGEND

ZONE	DESCRIPTION
A	STREET TREES WITH MEDIUM WATER USE AND BUBBLER IRRIGATION
B	POOL SIDE PALM TREES WITH MEDIUM WATER USE AND BUBBLER IRRIGATION
C	SHRUB PLANTING AREAS WITH MEDIUM WATER USE AND DRIP TYPE IRRIGATION
D	RECREATION AREA TURF WITH HIGH WATER USE AND DRIP TYPE IRRIGATION
E	BAMBOO PLANTING WITH MEDIUM WATER USE AND DRIP TYPE IRRIGATION

SUMMARY: STREET AND REMAINING YARD MULTI-DWELLING UNIT RESIDENTIAL		
STREET YARD		QTY.
TOTAL AREA:		12,736 S.F.
PLANTING AREA:		
REQUIRED (50% T.A.):	6,368 S.F.	
PROVIDED:	7,035 S.F.	
EXCESS:	667 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	663 PTS.	
PLANTING AREA POINTS PROVIDED:	2,320 PTS.	
TREE POINTS (8 TREES @ 20 PTS) PROVIDED:	160 PTS.	
EXCESS:	1,817 PTS.	
REMAINING YARD		QTY.
TOTAL AREA:	39,166 S.F.	
SOUTH COURTYARD		
TOTAL AREA:	5,804 S.F.	
PLANT AREA:		
REQUIRED (15% T.A.):	871 S.F.	
PROVIDED:	1,452 S.F.	
EXCESS:	581 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	290 PTS.	
PLANTING AREA POINTS:	445 PTS.	
TREE PTS (6 TREES @ 20 PTS) PROVIDED:	120 PTS.	
EXCESS:	275 PTS.	
PASSIVE COURTYARD		
TOTAL AREA:	5,982 S.F.	
PLANT AREA:		
REQUIRED (15% T.A.):	897 S.F.	
PROVIDED:	1,703 S.F.	
EXCESS:	806 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	299 PTS.	
TREE PTS (9 TREES @ 20 PTS) PROVIDED:	140 PTS.	
PLANTING AREA POINTS:	538 PTS.	
EXCESS:	379 PTS.	
POOL COURTYARD		
TOTAL AREA:	14,270 S.F.	
PLANT AREA:		
REQUIRED (15% T.A.):	2,141 S.F.	
PROVIDED:	3,119 S.F.	
EXCESS:	978 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	714 PTS.	
TREE PTS (18 PALMS @ 30 PTS) PROVIDED:	540 PTS.	
PLANTING AREA POINTS:	987 PTS.	
EXCESS:	813 PTS.	
EAST PERIMETER		
TOTAL AREA:	13,110 S.F.	
PLANT AREA:		
REQUIRED (15% T.A.):	1,967 S.F.	
PROVIDED:	6,802 S.F.	
EXCESS:	4,835 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	656 PTS.	
TREE PTS (12 TREES @ 20 PTS) PROVIDED:	240 PTS.	
PLANTING AREA POINTS:	2,006 PTS.	
EXCESS:	1,590 PTS.	
NOTE: 40 SQ. FT. MIN. SHALL BE PROVIDED FOR EACH TREE		

SUMMARY: STREET AND REMAINING YARD RETAIL / COMMERCIAL		
STREET YARD		QTY.
TOTAL AREA:		10,020 S.F.
PLANTING AREA:		
REQUIRED (25% T.A.):	2,505 S.F.	
PROVIDED:	5,305 S.F.	
EXCESS:	2,800 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	501 PTS.	
PLANTING AREA POINTS PROVIDED:	1,679 PTS.	
TREE POINTS (4 TREES @ 50 PTS.) PROVIDED:	200 PTS.	
EXCESS:	1,378 PTS.	
REMAINING YARD		QTY.
TOTAL AREA:	5,105 S.F.	
PLANTING AREA:		
REQUIRED (30% T.A.):	1,532 S.F.	
PROVIDED:	2,098 S.F.	
EXCESS:	566 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	255 PTS.	
PLANTING AREA POINTS PROVIDED:	664 PTS.	
TREE (4 TREES @ 50 PTS) PROVIDED:	200 PTS.	
EXCESS:	609 PTS.	
NOTE: 40 SQ. FT. MIN. SHALL BE PROVIDED FOR EACH TREE		

SUMMARY: VEHICULAR USE AREA		
V.U.A. INSIDE STREET YARD		QTY.
TOTAL AREA:		1,166 S.F.
PLANTING AREA:		
REQUIRED (5% T.A.):	58 S.F.	
PROVIDED:	362 S.F.	
EXCESS:	304 S.F.	
PLANT POINTS:		
REQUIRED (0.05 x T.A.):	58 PTS.	
PROVIDED:	114 PTS.	
EXCESS:	56 PTS.	
V.U.A. OUTSIDE STREET YARD		QTY.
TOTAL AREA:	21,461 S.F.	
PLANTING AREA:		
REQUIRED (3% T.A.):	644 S.F.	
PROVIDED:	1,399 S.F.	
EXCESS:	755 S.F.	
PLANT POINTS:		
REQUIRED (0.03 x T.A.):	643 PTS.	
PLANTING AREA POINTS PROVIDED:	443 PTS.	
TREE PTS (12 TREES @ 50 PTS) PROVIDED:	600 PTS.	
EXCESS:	400 PTS.	
NOTE: (1) CANOPY TREE WITHIN 30-FT OF EACH PARKING STALL		

LEGEND

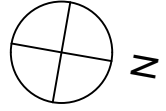
GARAGE STRUCTURE SOLAR PANEL SYSTEM, SEE ARCHITECT SHEET SET FOR PANEL LOCATIONS.

WITT MISSION VALLEY
MISSION VALLEY, CA



DIN / CAL 4, INC.
TCA# 2017-030

PLANNED DEVELOPMENT PERMIT /
SITE DEVELOPMENT PERMIT

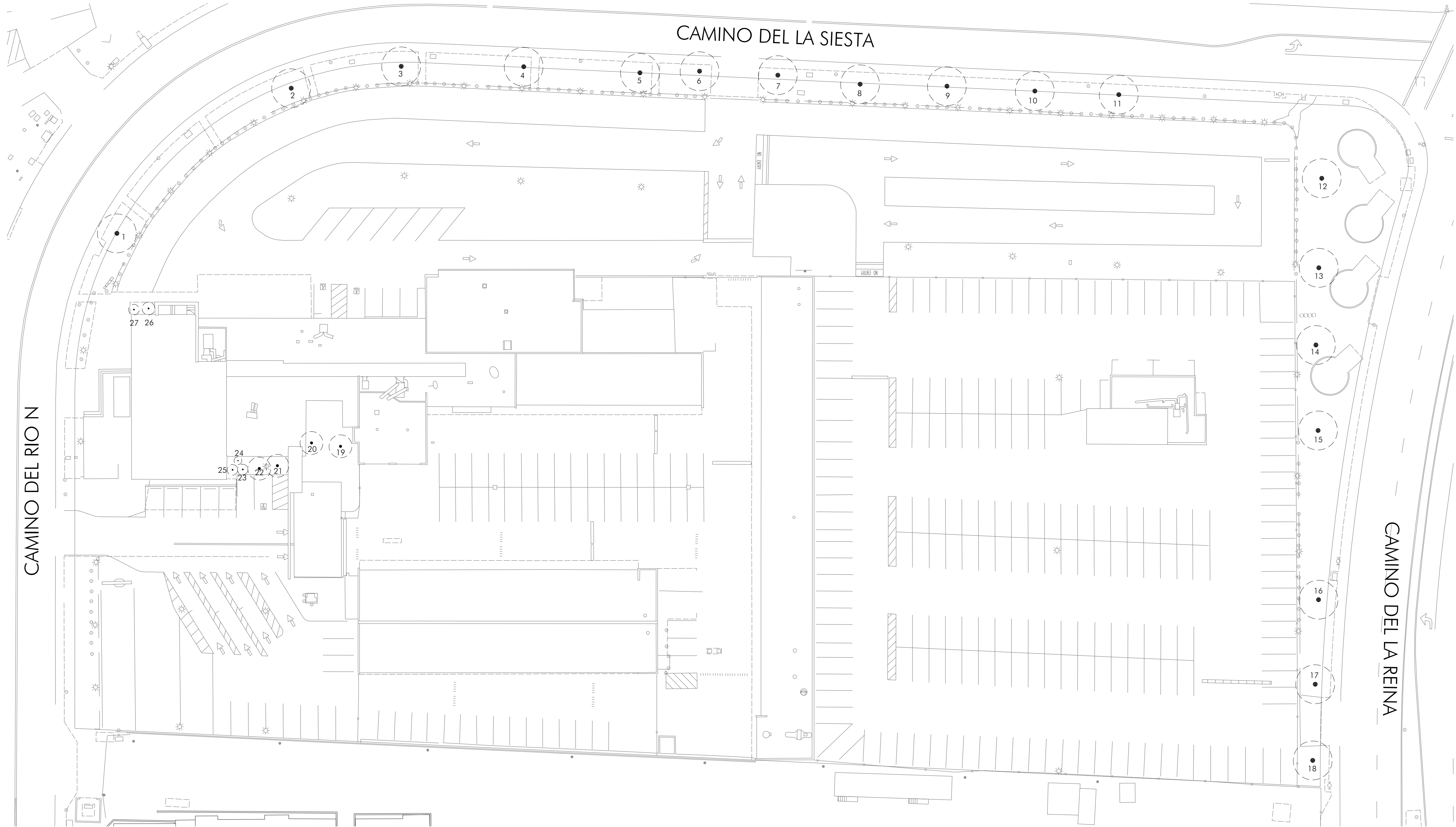


LANDSCAPE CALCULATIONS

PLANNED DEVELOPMENT PERMIT
SHEET 35 OF 38

REVISION 5: JUN. 04, 2018
REVISION 4: APR. 04, 2018
REVISION 3: MAR. 07, 2018
REVISION 2: NOV. 16, 2017
REVISION 1: SEPT. 11, 2017

SUBMITTAL DATE: JULY 31, 2017



LEGEND

EXISTING TREES

TREE #	BOTANICAL NAME	COMMON NAME	HEIGHT	DIAMETER	NOTES	TREE #	BOTANICAL NAME	COMMON NAME	HEIGHT	DIAMETER	NOTES	TREE #	BOTANICAL NAME	COMMON NAME	HEIGHT	DIAMETER	NOTES
1	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	16"	-	10	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	14"	-	19	SCHEFFLERA ARBORICOLA	UMBRELLA TREE	11'	35"	-MULTI TRUNK
2	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	15"	-	11	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	14"	-	20	SCHEFFLERA ARBORICOLA	UMBRELLA TREE	11'	36"	-MULTI TRUNK
3	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	16"	-	12	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	17"	-	21	PODOCARPUS GRACILIOR	FERN PINE PODOCARPUS	15'	10"	-
4	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	15"	-	13	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	17"	-	22	PODOCARPUS GRACILIOR	FERN PINE PODOCARPUS	15'	10"	-
5	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	16"	-	14	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	12"	-	23	PODOCARPUS GRACILIOR	FERN PINE PODOCARPUS	11'	7"	-
6	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	16"	-	15	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	15"	-	24	PODOCARPUS GRACILIOR	FERN PINE PODOCARPUS	8'	2"	-
7	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	17"	-	16	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	16"	-	25	PODOCARPUS GRACILIOR	FERN PINE PODOCARPUS	10'	5"	-
8	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	14"	-	17	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	13"	-	26	PODOCARPUS GRACILIOR	FERN PINE PODOCARPUS	11'	5"	-
9	PYRUS KAWAKAMII	EVERGREEN PEAR	18'	14"	-	18	PYRUS KAWAKAMII	EVERGREEN PEAR	17'	15"	-	27	LAGERSTROEMIA INDICA	CRAPE MYRTLE	10'	22"	-MULTI TRUNK

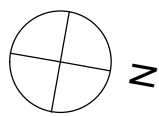
NOTE: ALL EXISTING TREES ARE TO BE REMOVED

WITT MISSION VALLEY
MISSION VALLEY, CA



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TCA# 2017-030

PLANNED DEVELOPMENT PERMIT /
SITE DEVELOPMENT PERMIT

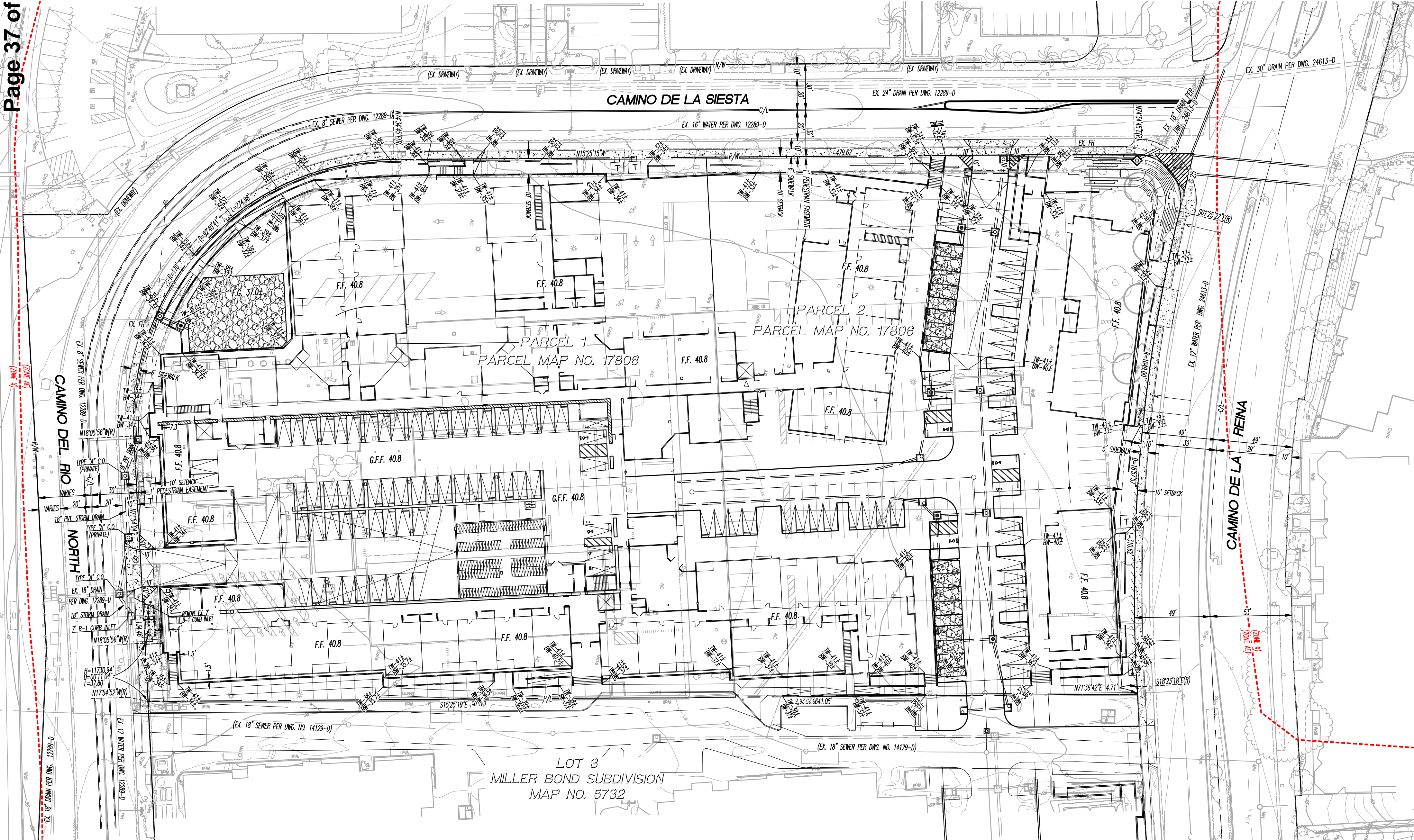


EXISTING TREE PLAN

PLANNED DEVELOPMENT PERMIT
SHEET 36 OF 38

REVISION 5: JUN. 04, 2018
REVISION 4: APR. 04, 2018
REVISION 3: MAR. 07, 2018
REVISION 2: NOV. 16, 2017
REVISION 1: SEPT. 11, 2017

SUBMITTAL DATE: JULY 31, 2017



GRADING AND DRAINAGE NOTES

- GRADING: IT IS PROPOSED THAT THE PROJECT BE GRADED AS SHOWN HEREON. APPROXIMATELY 29,000 CUBIC YARDS WILL BE IMPORTED TO COMPLETE THE PROPOSED GRADING.
- DRAINAGE: STORM WATER GENERATED ON-SITE WILL BE COLLECTED THROUGH A SYSTEM OF PRIVATE STORM DRAIN PIPES AS SHOWN HEREON. THE PROPOSED PRIVATE STORM DRAIN SYSTEM WILL DISCHARGE TO EXISTING DRAINAGE FACILITIES, AS SHOWN.
- BMPs: THE PROJECT WILL PROPOSE A NUMBER OF CONSTRUCTION AND POST CONSTRUCTION BMPs TO ADDRESS WATER QUALITY ISSUES CREATED BY THE PROPOSED PROJECT. THESE MEASURES WILL BE ADDRESSED IN THE PROJECT'S SWPPP AND STORM WATER QUALITY MANAGEMENT CONTROL PLAN (SWQMP).
- ALL PROPOSED ONSITE STORM DRAIN FACILITIES SHALL BE PRIVATE.
- PRIVATE STORM DRAINS LOCATED WITHIN THE PUBLIC RIGHT OF WAY IS SUBJECT TO APPROVAL BY THE CITY ENGINEER WITH THE ISSUANCE OF AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA).

GENERAL NOTES:

- FOR PROJECT UTILITIES, SEE SHEET C2.0.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

GENERAL NOTES (CONT.):

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL NOT EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN THE VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- ROOF, DECK AND BALCONY DRAINAGE DESIGN AND DISCHARGE SHALL BE DESIGNED DURING THE MINISTERIAL PHASE OF THE PROJECT.

FLOOD HAZARD INFORMATION

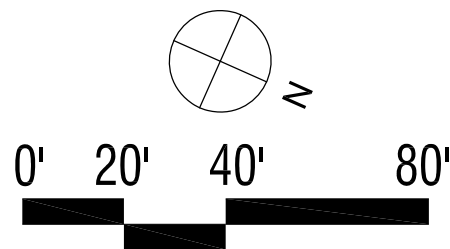
- FLOOD ZONE DESIGNATION: "AE" (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD).
- PANEL: 1618 OF 2375
- MAP NO.: 06073C1618C
- DATE OF MAP: MAY 16, 2012
- BASE FLOOD ELEVATION: 38.8± M.S.L. (NAVD88)
- ALL AREAS LOWER THAN THE BASE FLOOD ELEVATION PLUS 2 FEET IS SUBJECT TO INUNDATION. THIS PROJECT SHALL COMPLY WITH SECTION 143.0145 AND 143.0146 OF THE MUNICIPAL CODE FOR DEVELOPMENT IN THE FLOOD HAZARD AREA.
-
-

TOPOGRAPHIC INFORMATION

- SOURCE: TOPOGRAPHIC INFORMATION COMPILED FROM AERIAL PHOTOGRAMMETRY
- DATE OF AERIAL PHOTOS: MAY 18, 2017.
- PREPARED BY: SAN-LO AERIAL SURVEYS
- DATE: MEAN SEA LEVEL (NAVD 88)

BENCH MARK

NBP CAMINO DEL RIO NORTH AND CAMINO DE LA SIESTA PER CITY OF SAN DIEGO VERTICAL CONTROL BENCH BOOK, PAGE 132
ELEVATION: 31.399' M.S.L. (NGVD 29)
33.48' M.S.L. (NAVD 88) MEASURED

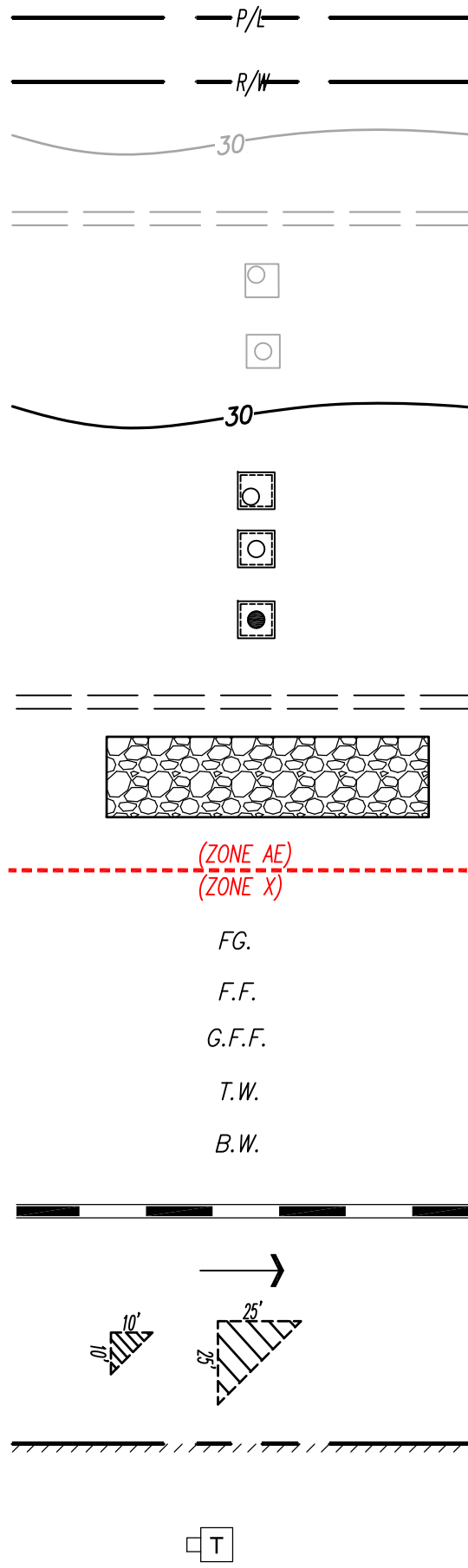


LEGEND

- PROPERTY BOUNDARY
RIGHT OF WAY
EXISTING CONTOURS
EXISTING STORM DRAIN
EXISTING CURB INLET
EXISTING CLEAN OUT
PROPOSED CONTOURS
PROPOSED CURB INLET (SDD-116)
PROPOSED CLEAN OUT (SDD-115)
PRE-TREATMENT/BYPASS STRUCTURE (PRIVATE)
PROPOSED STORM DRAIN (SDD-110)
INFILTRATION AREA
FLOOD HAZARD LIMITS
FINISHED GRADE
FINISHED FLOOR
GARAGE FINISHED FLOOR
TOP OF WALL ELEVATION
FINISHED GRADE AT BOTTOM OF WALL
PROPOSED RETAINING/PLANTER WALL
DIRECTION OF OVERLAND FLOW
SITE VISIBILITY AREA (SEE GENERAL NOTE NO. 4)
VEHICULAR ACCESS RIGHTS TO BE RELINQUISHED (CAMINO DE LA REINA)
PROPOSED ELECTRIC TRANSFORMER

STD. DWG.

**ATTACHMENT 13
Project Plans
Page 37 of 38**



LEGAL DESCRIPTION:

PARCELS 1 AND 2 OF PARCEL MAP NO. 17806, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 30, 1996.

VICINITY MAP
NO SCALE

LEC JOB NUMBER MV 2103-0817

PLANNED DEVELOPMENT/SITE DEVELOPMENT PERMIT - SHEET 37 OF 38

PREPARED BY:
NAME:
LEPPERT ENGINEERING CORPORATION

ADDRESS:
5190 GOVERNOR DRIVE, S-205
SAN DIEGO, CA 92122

PHONE #:
(858) 597-2001

PROJECT ADDRESS:
588 CAMINO DEL RIO NORTH
SAN DIEGO, CA 92108

PROJECT NAME:
WITT MISSION VALLEY

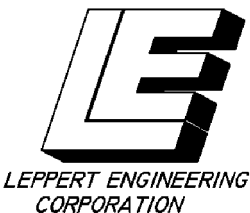
SHEET TITLE:
CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISION 14:
REVISION 13:
REVISION 12:
REVISION 11:
REVISION 10:
REVISION 9:
REVISION 8:
REVISION 7:
REVISION 6:
REVISION 5:
REVISION 4:
REVISION 3:
REVISION 2:
REVISION 1:
ORIGINAL DATE:

06/04/2018
04/08/2018
03/07/2018
11/16/2017
09/11/2017
07/31/2017

C1.0

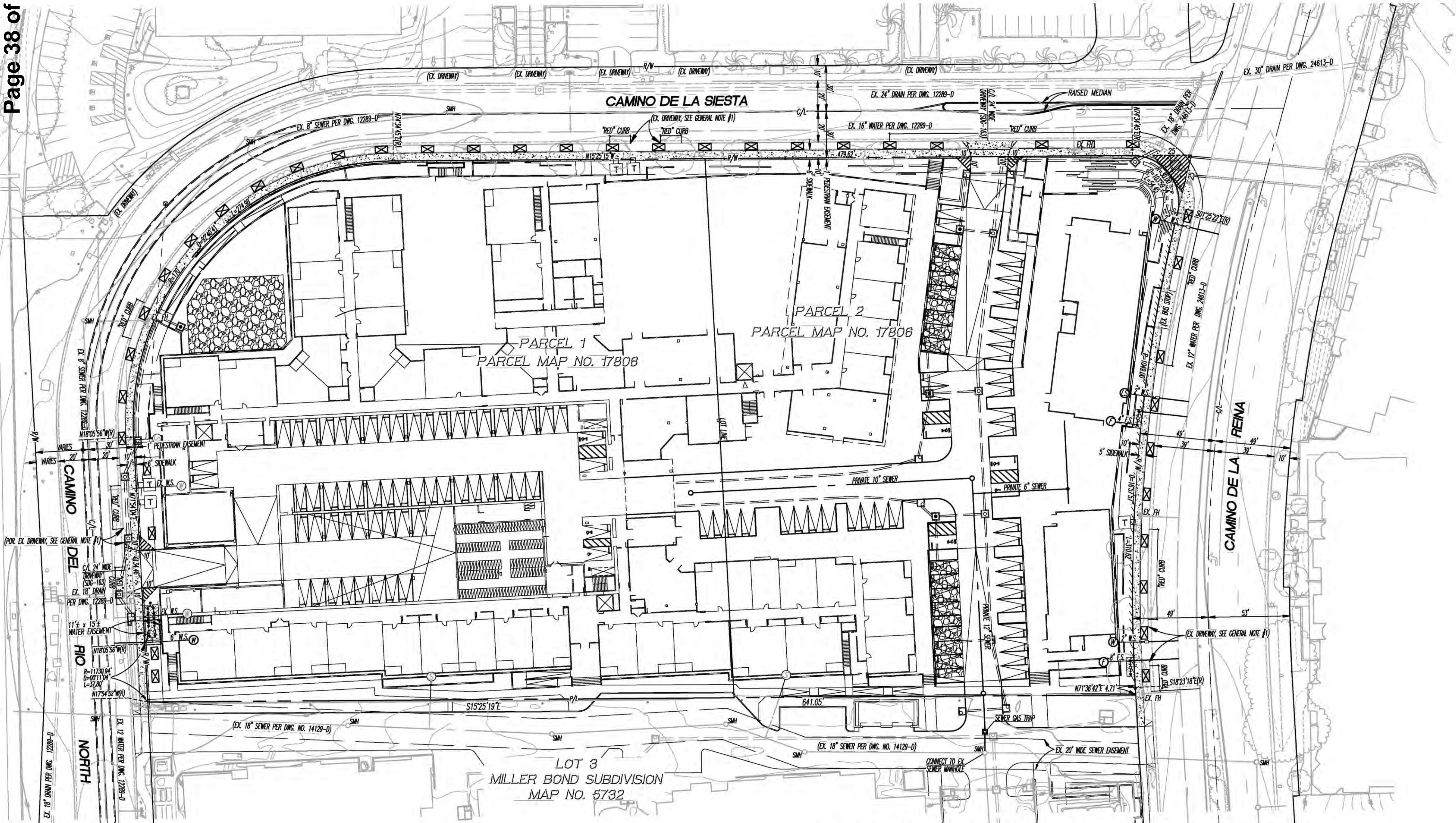
WITT MISSION VALLEY
MISSION VALLEY, CA



DIN / CAL 4, INC.
TCA# 2017-030



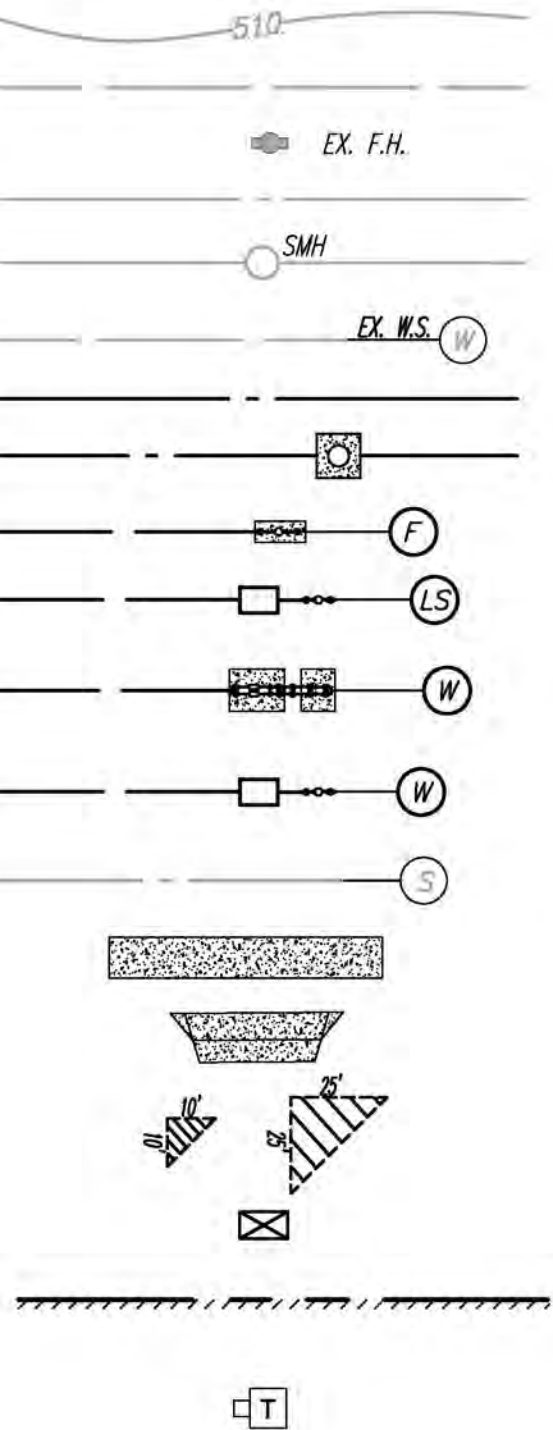
NAD 83: 1858-6279 NAD 27: 218-1719 PROJECT # 562674



LEGEND

- PROPERTY BOUNDARY
- RIGHT OF WAY
- EXISTING CONTOURS
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- EXISTING WATER SERVICE (TO BE ABANDONED)
- PROPOSED PRIVATE SEWER MAIN
- PRIVATE SEWER GAS TRAP (SEE DETAIL)
- PROPOSED FIRE SERVICE AND BACKFLOW
- PROPOSED 2" LANDSCAPE SERVICE WATER METER & BACKFLOW
- PROPOSED 6" WATER SERVICE, ABOVE GROUND DUAL WATER METER & BACKFLOW
- PROPOSED 2" WATER SERVICE, WATER METER & BACKFLOW
- EXISTING SEWER LATERAL (TO BE ABANDONED)
- P.C.C. SIDEWALK
- CONCRETE DRIVEWAY
- SITE VISIBILITY AREA (SEE GENERAL NOTE NO. 4)
- TREE ROOT ZONE
- VEHICULAR ACCESS RIGHTS TO BE RELINQUISHED (CAMINO DE LA REINA)
- PROPOSED ELECTRIC TRANSFORMER

STD. DWG.



GENERAL NOTE:

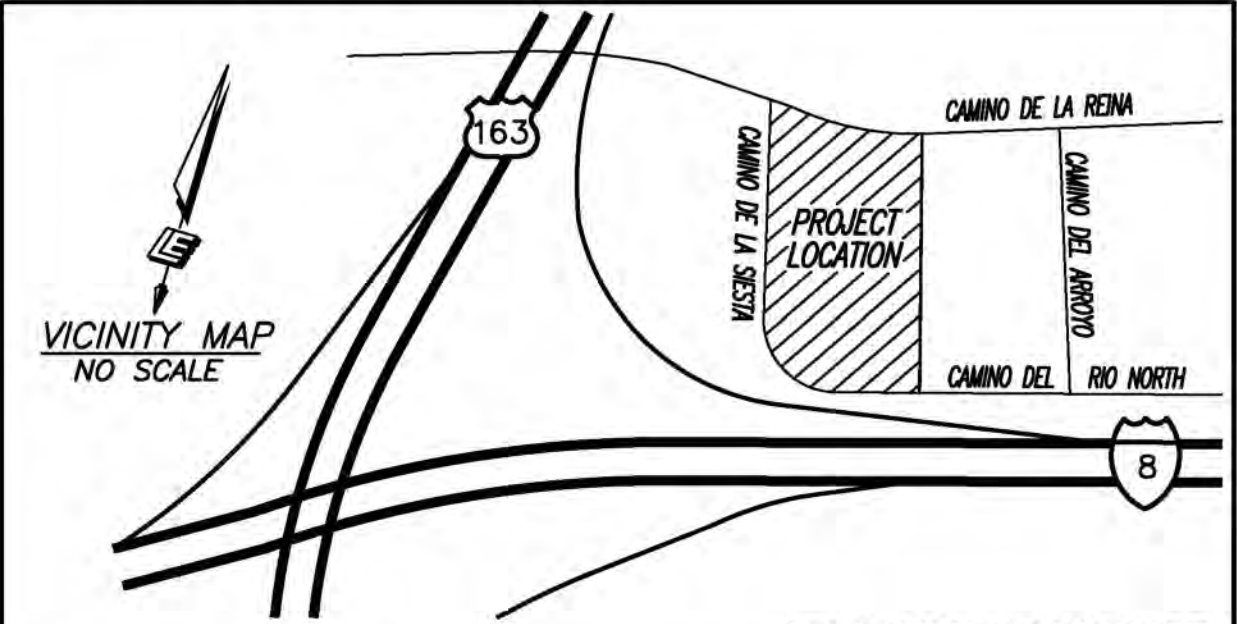
- UN-USED EXISTING DRIVEWAY OPENINGS SHALL BE CLOSED WITH CURRENT STANDARD CURB, GUTTER AND SIDEWALK, TO THE SATISFACTION OF THE CITY ENGINEER.
- DAMAGED CURB ALONG THE PROPERTY FRONTAGE SHALL BE RECONSTRUCTED WITH NEW CURB AND GUTTER PER THE CURRENT CITY STANDARDS, TO THE SATISFACTION OF THE CITY ENGINEER.
- CONSTRUCT NEW SIDEWALK ALONG THE PROPERTY FRONTAGE, MAINTAINING THE EXISTING SIDEWALK SCORING PATTERN AND PRESERVING THE CONTRACTOR'S STAMP, TO THE SATISFACTION OF THE CITY ENGINEER.
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL NOT EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN THE VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- MINIMUM TREE SEPARATION DISTANCE:
 - TRAFFIC SIGNALS/STOP SIGNS: 20 FEET.
 - UNDERGROUND UTILITY LINES: 5 FEET (10 FEET FOR SEWER)
 - ABOVE GROUND UTILITY STRUCTURES: 10 FEET.
 - DRIVEWAY (ENTRIES): 10 FEET.
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS): 25 FEET.
- FOR STORM DRAIN IMPROVEMENTS, SEE SHEET C1.0.

SEWER AND WATER NOTES:

- ALL NEW ON-SITE SEWER MAINS AND LATERALS SHALL BE PRIVATE.
- IF A 3" OR LARGER WATER METER IS REQUIRED FOR THIS PROJECT, THE DEVELOPER SHALL CONSTRUCT THE NEW METER WITHIN AN ADEQUATELY SIZED EASEMENT ABOVE GROUND. THE PRIVATE BACKFLOW SHALL BE PLACED BEHIND THE RIGHT OF WAY LINE ON PRIVATE PROPERTY, ALL TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.

LEGAL DESCRIPTION:

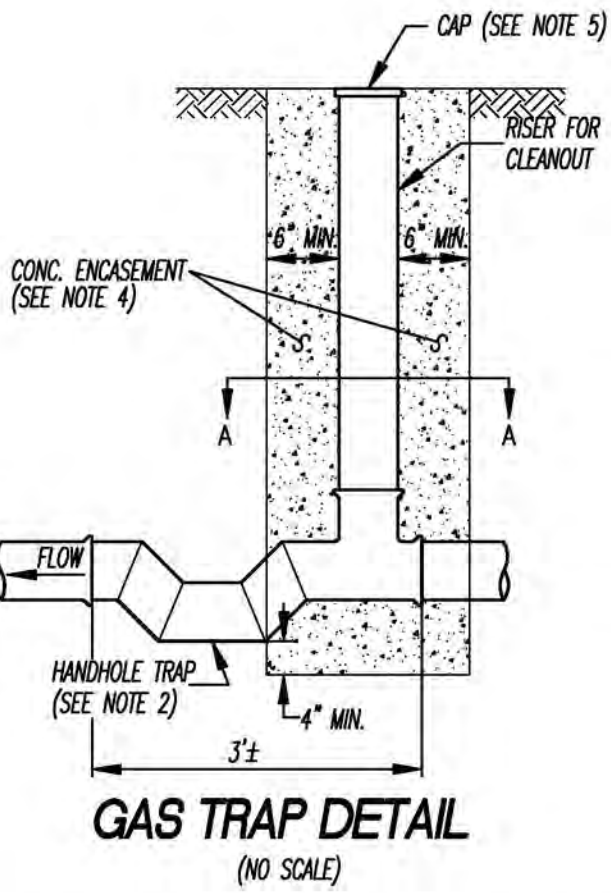
PARCELS 1 AND 2 OF PARCEL MAP NO. 17806, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 30, 1996.



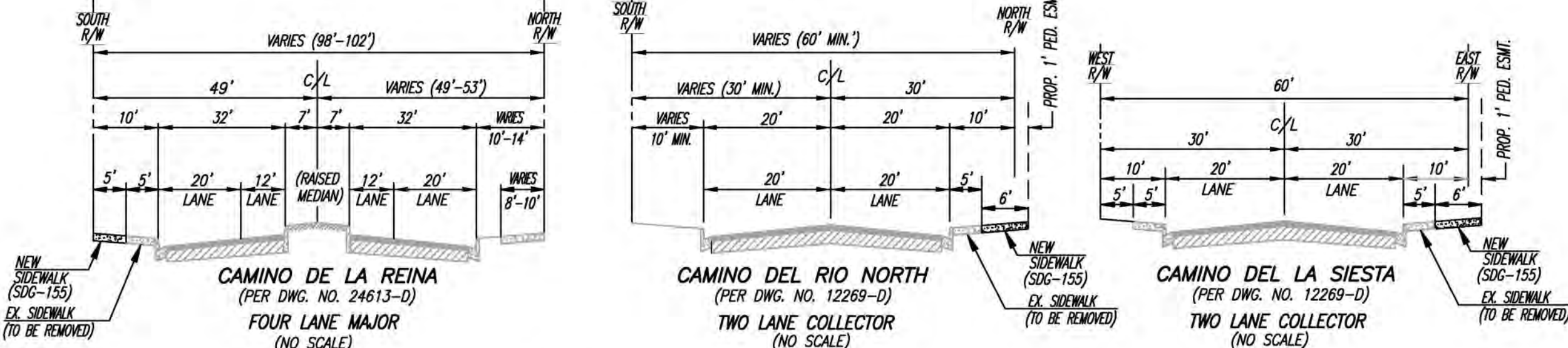
LEC JOB NUMBER MV 2103-08.17
PLANNED DEVELOPMENT/SITE DEVELOPMENT PERMIT - SHEET 38 OF 38

PREPARED BY:
NAME:
LEPPERT ENGINEERING CORPORATION
ADDRESS:
5190 GOVERNOR DRIVE, S-205
SAN DIEGO, CA 92122
PHONE #:
(858) 597-2001
PROJECT ADDRESS:
588 CAMINO DEL RIO NORTH
SAN DIEGO, CA 92108
PROJECT NAME:
WITT MISSION VALLEY
SHEET TITLE:
CONCEPTUAL IMPROVEMENT/UTILITY PLAN

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	06/04/2018
REVISION 4:	04/08/2018
REVISION 3:	03/07/2018
REVISION 2:	11/16/2017
REVISION 1:	09/11/2017
ORIGINAL DATE:	07/31/2017



- NOTES:
- EXCEPT AS OTHERWISE INDICATED HEREON OR ON THE PROJECT PLANS, CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PORTIONS OF STANDARD PLAN, HOUSE CONNECTION SEWERS AND HOUSE CONNECTION REMODELING.
 - THE HANDHOLE TRAP MAY BE FABRICATED OF MITERED SECTION AS SHOWN HEREON, OR OF A SINGLE UNIT WITH CURVED SEGMENTS.
 - PLAIN END PIPE MAY BE USED IN LIEU OF BELL (SOCKET) AND SPIGOT FITTED PIPE PROVIDED APPROVED COUPLINGS ARE USED.
 - THE CONCRETE ENCASEMENT AROUND THE RISER ABOVE THE TOP OF THE HOUSE CONNECTION TEE MAY BE CIRCULAR OR RECTANGULAR IN CROSS SECTION. FROM THE BOTTOM OF THE ENCASEMENT TO THE TOP OF THE HOUSE CONNECTION TEE, THE ENCASEMENT SHALL BE RECTANGULAR IN CROSS SECTION. ENCASEMENT SHALL BE CLASS 400-C-2000 CONCRETE.
 - THE RISER SHALL BE SEALED WITH A CAP AND 1 INCH THICK TYPE "T" MORTAR AROUND THE CIRCUMFERENCE OF THE CAP.
 - THE HANDHOLE TRAP SHALL BE BEDDED IN THE SAME MANNER AS THE HOUSE CONNECTION SEWER.



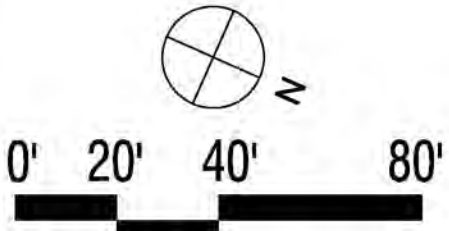
WITT MISSION VALLEY
MISSION VALLEY, CA



DIN / CAL 4, INC.
TCA# 2017-030

BENCH MARK

NBP CAMINO DEL RIO NORTH AND CAMINO DE LA SIESTA PER CITY OF SAN DIEGO VERTICAL CONTROL BENCH BOOK, PAGE 132
ELEVATION: 31.39' M.S.L. (NGVD 29)
33.48' M.S.L. (NAVD 88) MEASURED



NAD 83: 1858-6279 NAD 27: 218-1719 PROJECT # 562674

C2.0