



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: June 6, 2019 REPORT NO. PC-19-043
HEARING DATE: June 13, 2019
SUBJECT: 5251 CHELSEA STREET CDP, Process Three Decision Appeal
PROJECT NUMBER: [609389](#)
REFERENCE: [Report to Hearing Officer HO-19-024](#)
OWNER/APPLICANT: Maurice Rizzuto, Owner/Michael Morton, Applicant

SUMMARY

Issue: Should the Planning Commission uphold or deny an appeal of the Hearing Officer's approval of a Coastal Development Permit for a remodel and addition to an existing two-story, single-family residence for a total of approximately 4,332 square feet of construction at 5251 Chelsea Street within the La Jolla Community Plan area?

Staff Recommendation: Deny the appeal and uphold the Hearing Officer's decision to approve Coastal Development Permit No. 2154471.

Community Planning Group Recommendation: On October 31, 2018, the La Jolla Community Planning Association voted 12-2-1 to recommend denial of the project.

Environmental Review: The proposed project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. The environmental exemption determination for this project was made on November 30, 2018, and the opportunity to appeal the determination ended on December 14, 2018. There were no appeals to the environmental determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of the project are paid from the deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The proposed project is a remodel and addition to an existing two-story, single-family residence at 5251 Chelsea Street within the La Jolla Community Plan area. There will be no net gain or loss to the housing stock as a result of the project.

BACKGROUND

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. In addition, the project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). The surrounding properties are fully developed and consists of a well-established residential neighborhood.

The 0.17-acre site is designated for low-density residential uses (5-9 DU/AC) and is in the RS-1-7 Zone (Single Family Zone), the Coastal Overlay Zone (Appealable Area), the Coastal Height Limitation, the Parking Impact (Coastal and Beach Impact Areas) Zone, the Residential Tandem Parking Overlay Zone, and the Transit Priority Area. Per Section [126.0702](#) of the San Diego Municipal Code (SDMC), a Coastal Development Permit (CDP) is required for all coastal development of a premises within the Coastal Overlay Zone. In addition, projects within the appealable area of the Coastal Overlay Zone require a Process 3 decision, per SDMC Section [126.0702\(b\)](#).

The project proposes a partial demolition, remodel, and addition to the existing 3,661-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction. The scope of work includes remodeling a two-car garage, and adding a new roof deck, a roof mounted solar photo voltaic (PV) system, a pool, site walls, gates, fences, and hardscape. On March 6, 2019, the Hearing Officer approved the project as proposed. The Hearing Officer Report No. HO-19-024 (Attachment 1) contains the project background, analysis, and draft findings with a staff recommendation of approval. In addition, the Project Data Sheet (Attachment 2) contains the project land use designation and zoning information.

PROJECT APPEAL DISCUSSION

On March 20, 2019, an appeal (Attachment 7) was filed by Robert Steck, President of the La Jolla Community Planning Association (LJCPA) citing factual error, conflict with other matters, and findings not supported. The appeal letter stated that on October 31, 2018, the La Jolla Community Planning Association (LJCPA) voted 12-2-1 to recommend denial of the project. The LJCPA determined that “findings could not be made for the CDP because the project does not meet the intent of the Community Plan with respect to vertical articulation on the sides of the house.” The following discussion includes the appeal issues as stated by the appellant, followed by staff responses.

Appeal Issue 1: “The proposed structure presents a cuboidal rectangular profile from Chelsea Street unlike any structure on that street. [The] proposed structure does not use diagonal or off-setting planes, or building articulations. The roof lines are flat, while almost all the other roofs are hipped or sloping roofs. Therefore, the structure does not provide the transition to the older structures on Chelsea Street.”

Staff Response: The architectural character along Chelsea Street adjacent to the project site is diverse. There are older and newer one- and two-story residences, including residences with varying facades and front yard setbacks. In addition, there are different types of roof tops (Attachment 4) in the neighborhood, including hipped, sloping, and flat roofs. The design

(Attachment 3) of the home steps back from the street, incorporates side yard building articulation and off-setting plans, including recessed entrances and windows, and changes in building materials. At the ground floor, the proposed home steps back more than the adjacent property to the south. At the second floor, the facade steps back a similar distance as the adjacent property to the north. Therefore, the structure provides a transition between the older and newer structures on Chelsea Street. In addition, the project was designed to comply with all of the development standards required by the underlying RS-1-7 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. There are no deviations or variances necessary or requested for the project.

Appeal Issue 2: "The facade does exceeds one story but does not slope or set back as required. Instead the structure presents a cuboidal rectangular profile from Chelsea Street."

Staff Response: The project complies with all of the development standards required by the underlying RS-1-7 Zone, including height, density, building setbacks, floor area ratio, and lot coverage. There are no deviations or variances necessary or requested for the project. The La Jolla Community Plan recommends, not requires as specified in the appeal issue, that second-story facades slope or set back from the ground level. The design of the home steps back from the street, incorporates side yard building articulation and off-setting plans, and sets back approximately 8 feet 6 inches from the first floor facade to the rooftop deck glass guardrail. Also, see Staff Response to Appeal Issue 1.

Conclusion:

Staff has reviewed the appeal, and has determined that all appeal issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, staff recommends that the Planning Commission deny the appeal and uphold the Hearing Officer's decision to approve Coastal Development Permit No. 2154471 for the project.


ALTERNATIVES

1. Deny the appeal and uphold the Hearing Officer's decision to approve Coastal Development Permit No. 2154471, with modifications.
2. Approve the appeal and deny Coastal Development Permit No. 2154471, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Xavier Del Valle
Development Project Manager
Development Services Department

Attachments:

1. Hearing Officer Report
2. Project Data Sheet
3. Project Renderings
4. Adjacent Residences – Flat Rooftops
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Copy of Appeal

Rev 07/15/15 pzf

Attachment 1
Hearing Officer Report

5251 Chelsea Street CDP
Project No. 609389
June 13, 2019



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 27, 2019 REPORT NO. HO-19-024
HEARING DATE: March 6, 2019
SUBJECT: 5251 CHELSEA STREET CDP, Process Three Decision
PROJECT NUMBER: [609389](#)
OWNER/APPLICANT: Maurice Rizzuto, Owner/Michael Morton, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve a remodel and addition to an existing two-story, single-family dwelling residence for a total of approximately 4,332 square feet of construction at 5251 Chelsea Street within the La Jolla Community Plan area?

Staff Recommendation:

APPROVE Coastal Development Permit No. 2154471

Community Planning Group Recommendation: On October 31, 2018, the La Jolla Community Planning Association voted 12-2-1 to recommend denial of the project (Attachment 8).

Environmental Review: The proposed project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The environmental exemption determination for this project was made on November 30, 2018, and the opportunity to appeal the determination ended on December 14, 2018. There were no appeals to the environmental determination.

BACKGROUND

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area (Attachment 1). In addition, the project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). The surrounding properties are fully developed and consists of a well-established residential neighborhood (Attachment 3).

The 0.17-acre site is located within the RS-1-7 Zone (Single Family Zone), Coastal Overlay Zone (Appealable), Coastal Height Limitation, Parking Impact (Coastal and Beach Impact Areas) Zone, Residential Tandem Parking, Transit Area, Transit Priority Area, and the Residential Tandem Parking Overlay Zones. Per Section [126.0702](#) of the San Diego Municipal Code (SDMC), a Coastal Development Permit (CDP) is required for all coastal development of a premises within the Coastal Overlay Zone. In addition, projects within the appealable area of the Coastal Overlay Zone require a Process 3 decision, per SDMC Section [126.0702\(b\)](#).

DISCUSSION

The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

On October 31, 2018, the La Jolla Community Planning Association (LJCPA) voted 12-2-1 to recommend denial of the project. The LJCPA determined that "findings could not be made for the CDP because the project does not meet the Community Plan regarding vertical articulation." The LJCPA did not provide specifics to staff regarding how vertical articulation could be enhanced for the project.

Per the Community Plan, transitions in scale between new and older structures should create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements. In addition, the Community Plan specifies that one of the more critical issues associated with the single-family dwelling unit is the relationship between bulk and scale of infill development to existing single family dwelling units.

The project has been designed in compliance with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. The relationship between the bulk and scale of the project with the adjacent single-family residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the design and building materials of the project is consistent with the varied architecture, design and character of the surrounding single-family development.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an

increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The project will result in less than 50 percent of the floor area of the structures before the addition. There were no appeals to the environmental determination.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan, and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration. Staff recommends that the Hearing Officer approve Coastal Development Permit No. 2154471 for the project.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2154471 with modifications.
2. Deny Coastal Development Permit No. 2154471 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Xavier Del Valle, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. NORA Environmental Determination
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



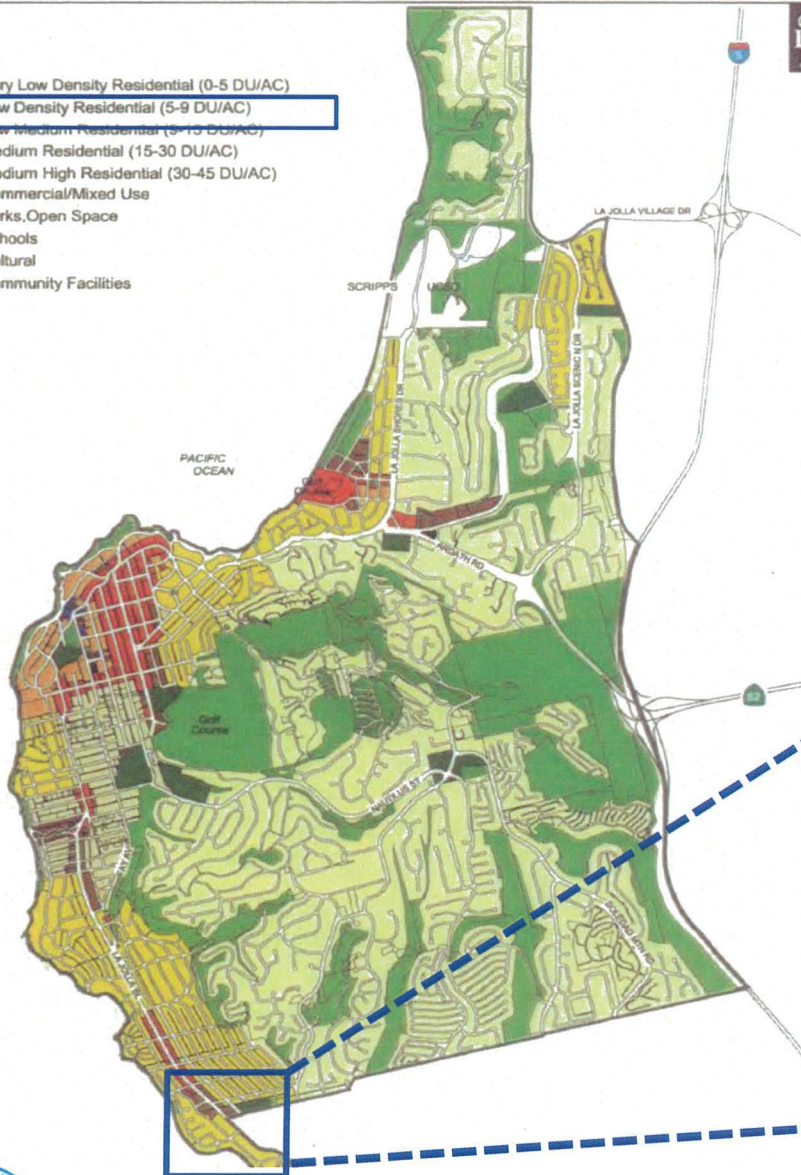
Project Location Map

5251 Chelsea Street CDP
 Project No. 609389 – 5251 Chelsea Street

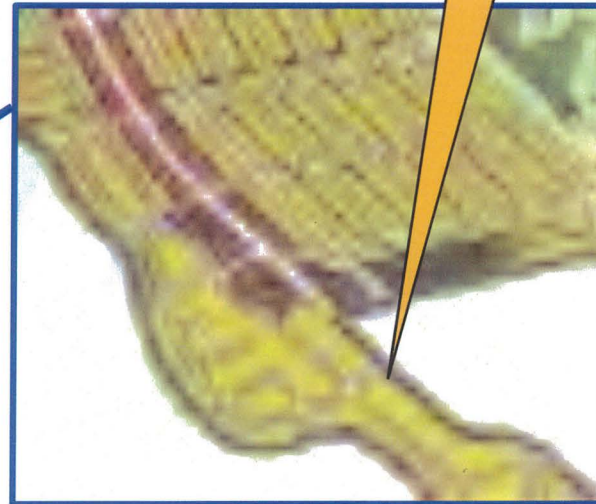


Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities



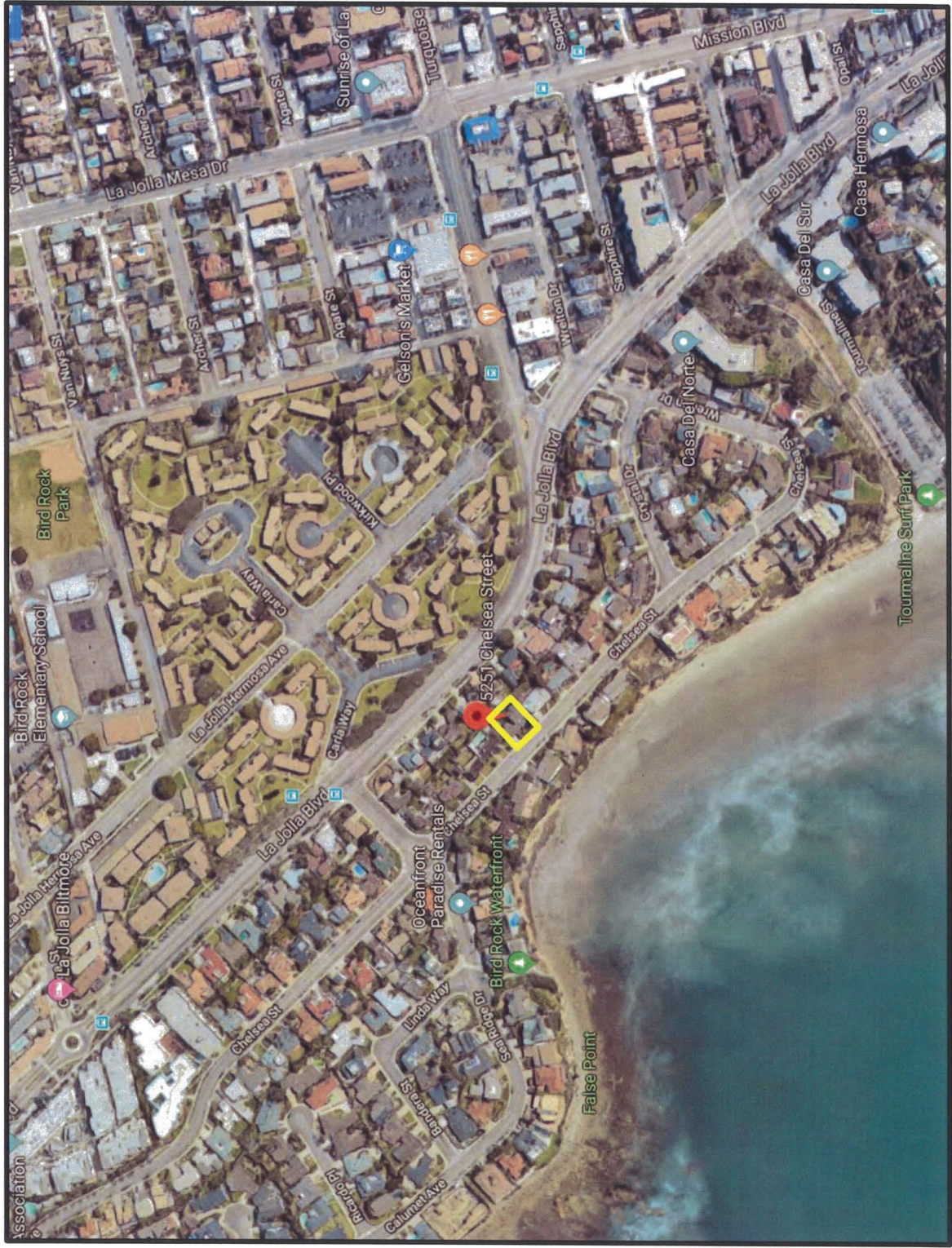
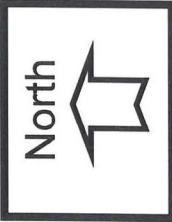
Project Site



Land Use Map

5251 Chelsea Street CDP
Project No. 609389 - 5251 Chelsea Street





Aerial Photograph

5251 Chelsea Street CDP
Project No. 609389 - 5251 Chelsea Street



HEARING OFFICER
RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2154471
5251 CHELSEA STREET – PROJECT NO. 609389

WHEREAS, MAURICE RIZZUTO, Owner/Permittee, filed an application with the City of San Diego for a permit for a remodel and addition to an existing two-story single dwelling unit for a total 4,332 square feet as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2154471, on portions of a 0.17-acre site;

WHEREAS, the project site is located at 5251 Chelsea Street in the RS-1-7 Base Zone within the Coastal Overlay Zone (Appealable) of the La Jolla Community Plan area; and

WHEREAS, the project site is legally described as: Lot 22 in Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County on December 23, 1948.

WHEREAS, on November 30, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (e)(1) Existing Facilities and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on March 6, 2018, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2154471 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2154471:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands; and**

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within the La Jolla Community Plan area. The project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a

new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located within an urbanized area and does not contain any sensitive biological resources or environmentally sensitive lands. Nor is the project site located within a coastal bluff, beach, or special flood area. The project conforms with all the applicable provisions of the San Diego Municipal Code (SDMC) and the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, there are no deviations or variances necessary or requested.

An environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. Based on the environmental determination, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within a low density residential (5-9 DU/AC) area in the La Jolla Community Plan area. The project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

Per the La Community Plan (page 68), one of the more critical issues associated with the single-family dwelling unit is the relationship between bulk and scale of infill development to existing single family dwelling units. The relationship between the bulk and scale of the project with the adjacent single-family residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. The design and building

materials of the project is also consistent with the varied architecture, design and character of the surrounding single-family development.

The project has been designed in compliance with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2154471 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2154471, a copy of which is attached hereto and made a part hereof.

ATTACHMENT 4

Xavier Del Valle
Development Project Manager
Development Services

Adopted on: March 6, 2019

IO#: 24007893

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007893

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2154471
5251 CHELSEA STREET PROJECT NO. 609389

This Coastal Development Permit No. 2154471 is granted by the Hearing Officer of the City of San Diego to Maurice Rizzuto, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.17-acre site is located at 5251 Chelsea Street in the RS-1-7 zone of the La Jolla Community Planning Area. The project site is legally described as: Lot 22 in Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County on December 23, 1948.

Subject to the terms and conditions set forth in this Permit, permission is granted to Maurice Rizzuto, Owner/Permittee owner for a remodel and addition to an existing two-story single dwelling unit. The project shall include:

- a. A remodel and addition to an existing two-story single family residence for a total of 4,332-square foot; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 20, 2022.

ATTACHMENT 5

2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s)

back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 6.65 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the sidewalk underdrains in the Chelsea Street Right-of-Way.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC into the construction plans or specifications.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

19. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

PLANNING/DESIGN REQUIREMENTS:

20. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

ATTACHMENT 5

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 6, 2019 and Approved Resolution Number _____.

DRAFT

ATTACHMENT 5

Coastal Development Permit No. 2154471
Date of Approval: March 6, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Maurice Rizzuto
Owner/Permittee

By _____
Maurice Rizzuto

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: November 30, 2018

**NOTICE OF RIGHT TO APPEAL
ENVIRONMENTAL DETERMINATION
DEVELOPMENT SERVICES DEPARTMENT**

SAP No. 24007893

PROJECT NAME / NUMBER: 5251 CHELSEA ST CDP / 609389
COMMUNITY PLAN AREA: LAJOLLA
COUNCIL DISTRICT: 1
LOCATION: 5251 Chelsea Street, San Diego CA, 92037

PROJECT DESCRIPTION: A Coastal Development Permit (CDP) for the remodel and addition to an existing two-story single dwelling unit for a total of approximately 4,332 square feet located at 5251 Chelsea Street. The 0.17-acre site is located in the RS-1-7 base zone within the Coastal (Appealable) Overlay Zone within the La Jolla Community Plan Area, Council District 1.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Development Services Department

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301(e)(1) Existing Facilities.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15301(e)(1) Existing Facilities. 15301(e) includes the additions to existing structures provided that the addition will not result in an increase of more than: (1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less.

DEVELOPMENT PROJECT MANAGER: Xavier Del Valle
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 557-7941 / xdelvalle@sandiego.gov

On November 30, 2018 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice December 14, 2018. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

POSTED IN THE OFFICE OF DSD
Posted NOV 30 2018 *mu*
Removed DEC 19 2018
Posted by *myralee*



La Jolla Community Planning Association

October 31, 2018

To: Cecilia Ponce

cc. *Michael Morton*

Subject: La Jolla Community Planning Association Vote

RE: 5251 Chelsea Street

On October 4, 2018 at the Regular Meeting of the La Jolla Community Planning Association (LICPA) Trustees reviewed **5251 Chelsea Street** as an Action Item on Full Review.

Coastal Development Permit for the remodel and addition to an existing 2-story single dwelling unit for a total of approximately 4,332 square feet of construction located at 5251 Chelsea Street. The 0.17 acre site is located in the RS-1-7 base zone within the Coastal (Appealable) Overlay Zone of the La Jolla Community Planning Area, Council District 1.

The LICPA made the following motion **NOT** to recommend approval of this project:

Findings **CANNOT** be made for the CDP because this project does not meet the Community Plan regarding vertical articulation. **Vote: 12-2-1.**

Sincerely,

Bob Steck, President

La Jolla Community Planning Association

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="text-align: center;">Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: Chelsea Residence - Remodel and addition **Project No. For City Use Only:** _____

Project Address: 5251 Chelsea Ave La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? CA Corporate Identification No. 201726310057
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: 5251 Chelsea Street, La Jolla LLC Owner Tenant/Lessee Successor Agency

Street Address: 5251 Chelsea Street

City: La Jolla State: CA Zip: 92037

Phone No.: 858-688-1646 Fax No.: _____ Email: mauricerizzuto@gmail.com

Signature: Maurice Rizzuto Maurice Rizzuto (Managing Member) Date: 05/31/2018

Cesar Mora Cesar Mora (Managing Member) 05/31/2018

Applicant

Name of Individual: Michael R. Morton Marengo Morton Architects Owner Tenant/Lessee Successor Agency

Street Address: 7724 Girard Ave, SUITE 200

City: La Jolla State: ca Zip: 92037

Phone No.: 619-857-8144 / 858-451-3768 Fax No.: 858-451-3768 Email: m-morton@pacbell.net

Signature: Michael R. Morton AIA. Date: 05/31/2018

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

Attachment 9
Project Plans

5251 Chelsea Street CDP
Project No. 609389
March 6, 2019

FIRE DEPARTMENT NOTES

GENERAL PLAN PROVISIONS

- 1. Building undergoing construction, alteration, or demolition shall be in accordance with CFC Chapter 33. (CFC 3301.1)
2. Provide fire protection for the building during construction in accordance with California Title 19 and CFC, chapter 9.
3. Building shall comply with the 2013 CFC Article 81 for high pile combustible stock.
4. Storage, dispensing or use of any flammable or combustible liquids, flammable gases, and hazardous chemical shall comply with the California Fire Code regulations.

BUILDING INTERIOR FIRE PROTECTION PROVISIONS

- 5. Provide and install a minimum of one 2A 10BC classification fire extinguisher within 75' travel distance for each 3,000 sq. ft. or portion thereof on each floor.
6. Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort.
7. Contractor to secure all permits required by the fire department from the fire prevention bureau prior to occupying this building.
8. Interior finish shall comply with codes as follows: (CBC Chapter 8), wall and finish materials shall not to exceed flame spread classifications per (CBC Section 803.1).
9. All penetrations of fire resistive wall assemblies must be protected per (CBC Section 712).

BUILDING EMERGENCY SIGNAGE PROVISIONS

- 12. Exit signs and illumination (egress identification) shall be provided per (CBC Section 1011). Exit signs must be internally illuminated.
13. Address shall be provided for all new and existing building in a position as to be plainly visible and legible from the street or road fronting the property.
14. Provide 'Knock Box' as required per local fire department codes.

BUILDING FIRE SUPPRESSION SYSTEM PROVISIONS

- 15. This building (s / is) not equipped with an approved automatic sprinkler system. Submit design -building plans for modification and upgrades indicating fire department approval to Architect/Owner prior to installations.
16. Fire sprinkler heads shall be centered in ceiling tiles and soffits.
17. Plans for all fixed fire protection equipment such as standpipes, sprinkler systems, site utilities (detector check, Fire Dept. Connection, etc.), and fire alarm systems must be submitted by the installing contractor to, and approved by, the Fire Prevention Bureau, owner's insurance organization, and architect before this equipment is installed.

FIRE DEPARTMENT REQUIREMENTS

- 21. A fire sprinkler system, if required (as noted on SHEET #T-1), will be supplied and installed at contractor's sole cost and expense.
22. Life safety systems (i.e. smoke alarms and fire detection systems) are the responsibility of the landlord.
23. Emergency fire devices: where required by the Fire Department, (contractor to verify prior to bid) contractor shall provide design-build (including all city & fire dept. Approvals) visual emergency warning systems where audible emergency warning systems are required.
24. Accessibility requirements for emergency Fire Devices:
a) Install fire alarm pull devices and equipment @48" A.F.F. to center line or highest operable part.

REQUIREMENTS FOR PORTABLE FIRE EXTINGUISHERS:

- a) At least one fire extinguisher with a minimum rating of 2-A-10-BC shall be provided within 75 feet maximum travel distance for each 6,000 square feet or portion thereof on each floor.
b) At least one fire extinguisher with a minimum rating of 4A20BC shall be provided outside of each mechanical, electrical or boiler room.
c) A sodium bicarbonate or potassium bicarbonate dry-chemical type portable fire extinguisher having a minimum rating of 10b shall be installed within 30 feet of commercial food heat-processing equipment.

FIRE DEPARTMENT NOTES, cont.

FIRE EXTINGUISHING SYSTEMS:

- a) Complete plans and specifications for fire-extinguishing systems, including automatic sprinklers and wet and dry standpipes; halon systems and other special types of automatic fire-extinguishing systems, basement pipe inlets; and other fire-protection systems and appurtenances thereto shall be submitted to Fire and Life Safety for review and approval prior to installation.
b) Fire-extinguishing systems shall be installed in accordance with CFC 903.
c) All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is 20 or more.

FIRE ALARM SYSTEMS

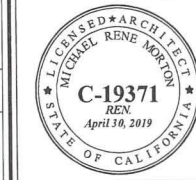
- a) Complete plans and specifications for fire alarm systems shall be submitted to Fire and Life Safety for review and approval prior to installation.
b) Installation of fire alarm systems shall be in accordance with CFC 907.
c) An approved audible sprinkler flow alarm shall be provided on the exterior of the building in an approved location.
d) Approved automatic fire extinguishing systems shall be provided for the protection of commercial-type cooking equipment.

GREEN BUILDING CODE REQUIREMENTS

- 1. Storm water pollution prevention. For projects which disturb less than one acre of land shall prevent the pollution of storm water runoff from the structure activities through one or more of the following measures.
2. Low-emitting, fuel-efficient and carpool/van pool parking. Fuel-efficient vehicle parking will be provided in accordance with CGC Section 5.106.5.2.
3. Light Pollution reduction. Exterior light pollution must comply with Section 5.106.1.
4. Grading and Paving. The site grading or a drainage system will manage all surface water flows to keep water from entering buildings.



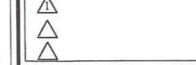
Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claudia Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block.

CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

REVISIONS
A Concept Design 11/01/2017
B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response Cycle 2 - 7/27/2018
E Coastal Permit Set - 10/15/2018



PHASE COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

DESIGNER'S RESPONSIBILITY AND LIABILITY
I hereby certify that I am a duly licensed Architect in the State of California and that I have prepared the above-mentioned drawings in accordance with the provisions of the State Building Code and the State Architectural Code. I am not responsible for any errors or omissions in these drawings unless they are manifestly apparent and are the result of my negligence, active fraud, or willful misconduct.

SHEET TITLE
FIRE NOTES
GREEN NOTES
T-1.3
SHEET 3 OF 33

City of San Diego Development Services CURB TO PROPERTY FORM DS-689

Application form for curb to property analysis. Fields include Applicant Name, Property Address, and Date. Includes a note: 'NOTE: ONLY ONE PROPERTY ADDRESS PER REQUEST WILL BE PROCESSED'.



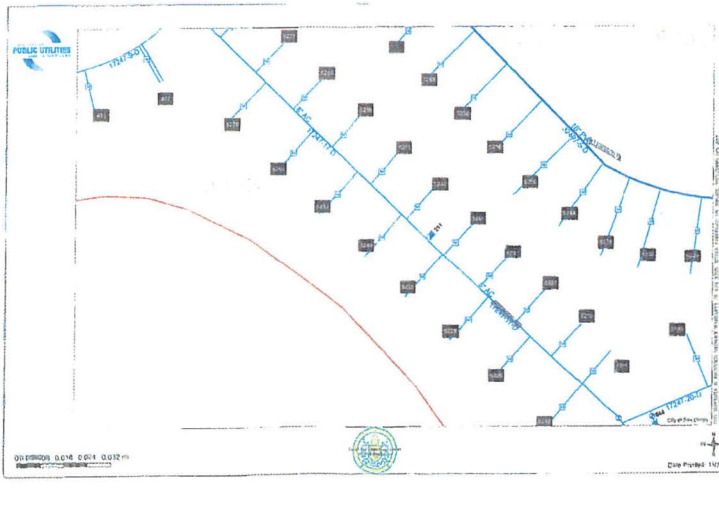
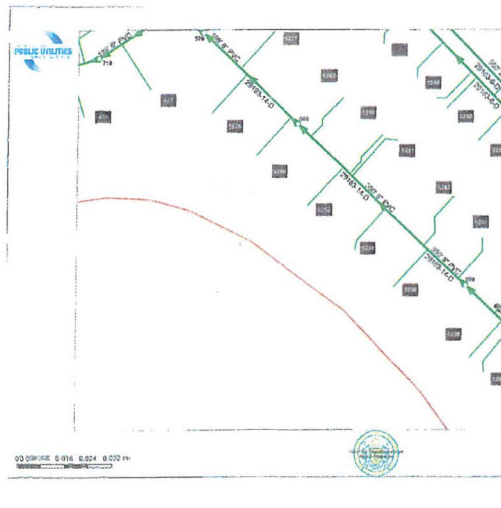
Parcel Information Report Form DS-302

Parcel Information Report form for 5251 Chelsea St. Includes sections for Geographic Hazards, Base Zones, Coastal Height Limitation Overlay Zone, and Community Plans.

Parcel Information Form DS-302

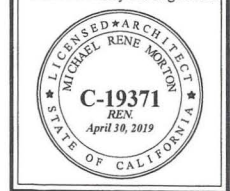
Detailed parcel information form for 5251 Chelsea St, including zoning information (M-10) and various overlay zones.

Parcel Information Form DS-302 for 5251 Chelsea St. Includes project information, owner details, and various checklist items related to the parcel and zoning.





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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

REVISIONS
 A Concept Design 11/01/2017
 B Schematic Design 12/19/2017
 C Coastal Phase 05/31/2018
 D Coastal Response-Cycle 2-7/27/2018
 E Coastal Permit Set - 10/15/2018



PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

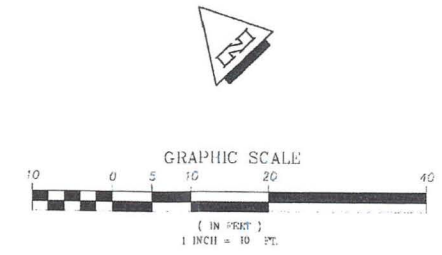
DRAWN BY MRM / FG / JS

DATE 11-21-2018

Marengo Morton Architects, Inc. is providing this agreement with certain parts, materials, reports, documents or other information recorded on or transmitted in electronic media including but not necessarily limited to "CAD documents" as subject to reasonable alteration, either intentional or unintentional, due to, among other causes, transmission, alteration, or other errors. Accordingly, all such documents are provided in the paper format for reference only and shall not be used as a record document. Any reliance thereon is deemed to be unreasonable and unwarranted. The agreed and stamped seal along with the wet signature of the Architect of Record and the Architect's Instruments of Service and seal are the only true contract documents of record.

SHEET TITLE
 EXISTING SITE TOPOGRAPHIC PLAN

TOPO-1
 SHEET 4 OF 33



LEGEND:

- INDICATES WATER METER
- INDICATES PROPERTY LINE
- INDICATES BUILDING OVERHANG
- INDICATES WOOD FENCE
- INDICATES WALL
- W INDICATES WATER LINE
- S INDICATES SEWER LINE
- CS INDICATES CONCRETE SURFACE
- LS INDICATES LANDSCAPE AREA
- S.C.O. INDICATES SEWER CLEAN OUT

LEGAL DESCRIPTION:

LOT 22 IN BLOCK 3 OF PACIFIC RIVIERA VILLAS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 23, 1948.

BASIS OF ELEVATION:

NORTHWEST CORNER PLUG ARCHER STREET AND LA JOLLA BOULEVARD ELEVATION = 75.391 M.S.L. N.G.V.D. 1929 (111)

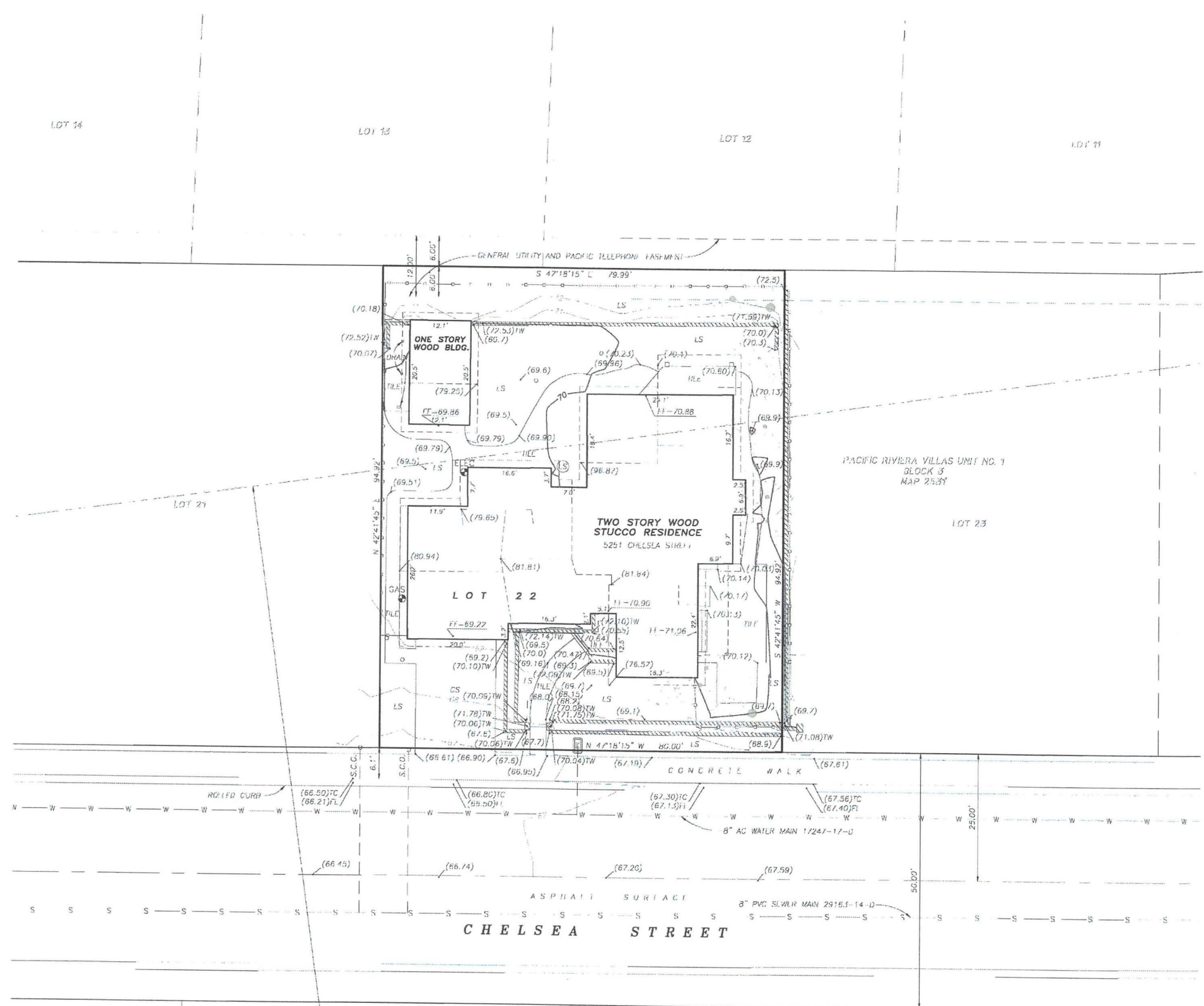


Robert J. Bateman
 ROBERT J. BATEMAN, P.L.S. 7046

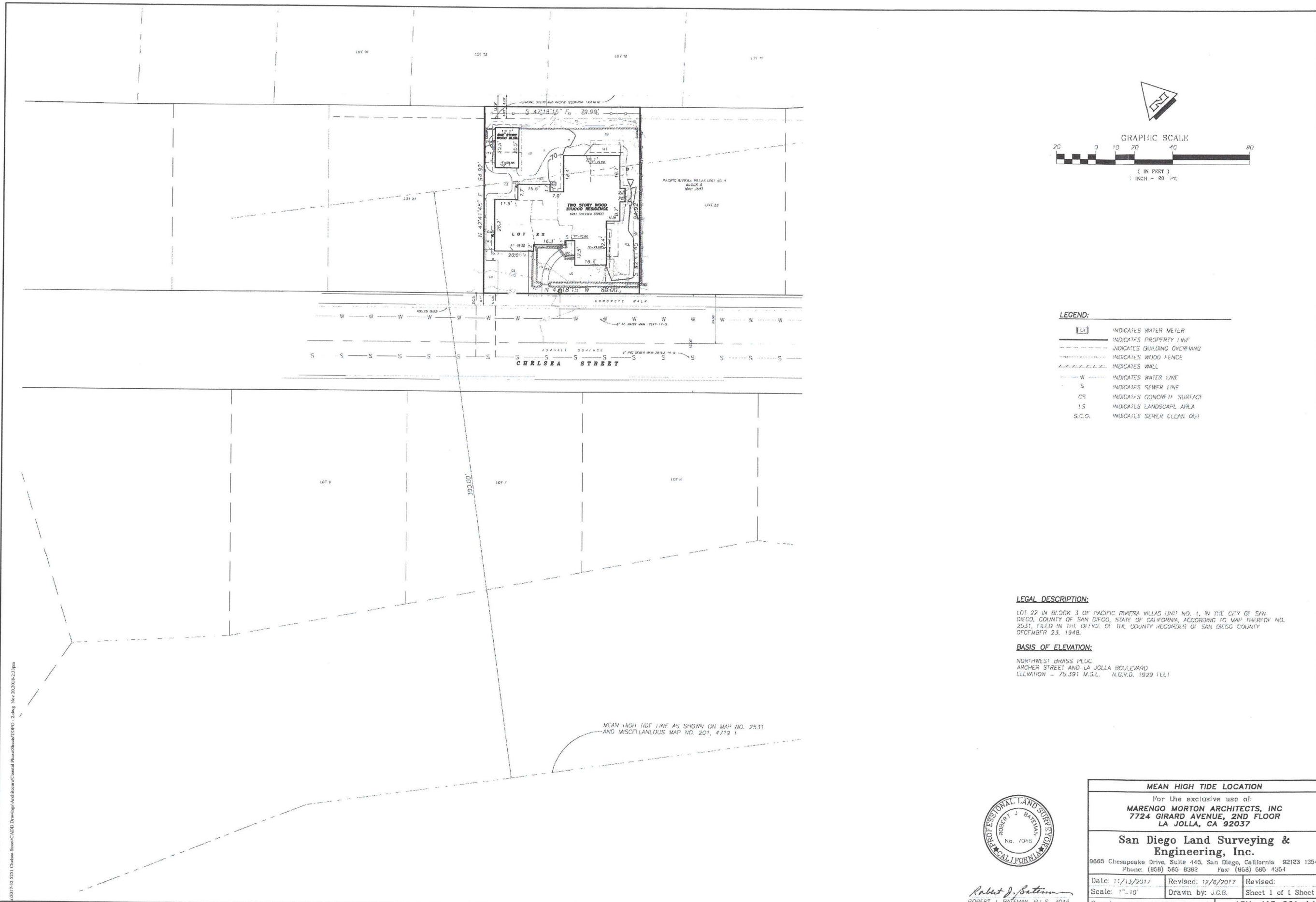
TOPOGRAPHY SURVEY
 For the exclusive use of:
MARENGO MORTON ARCHITECTS, INC
 7724 GIRARD AVENUE, 2ND FLOOR
 LA JOLLA, CA 92037

San Diego Land Surveying & Engineering, Inc.
 9665 Chesapeake Drive, Suite 445, San Diego, California 92121-1354
 Phone: (858) 565-8382 Fax: (858) 565-4154

Date: 11/13/2017	Revised: 12/5/2017	Revised:
Scale: 1"=10'	Drawn by: J.C.G.	Sheet 1 of 1 Sheet
Drawing: Chelsea St 5251 Topography		APN: 415-061-14



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CHELSEA REMODEL
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 D Coastal Response - Cycle 2 - 7/27/2018
 E Coastal Permit Set - 10/15/2018



PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11-21-2018

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SHEET TITLE
 EXISTING SITE
 TOPOGRAPHIC
 PLAN

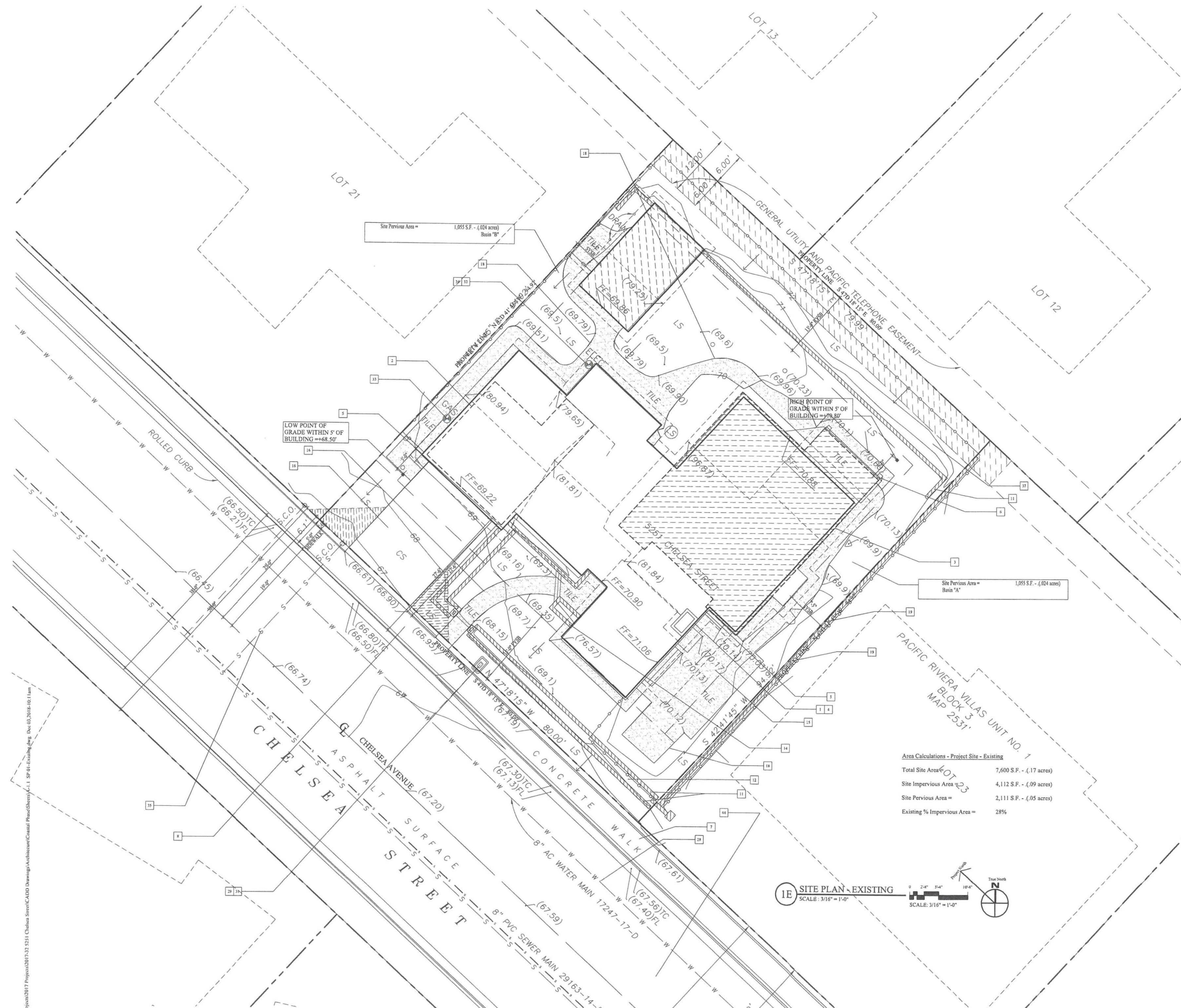
TOPO-2
 SHEET 5 OF 33



Robert J. Bateman
 ROBERT J. BATEMAN, P.L.S. 7046

MEAN HIGH TIDE LOCATION		
For the exclusive use of:		
MARENGO MORTON ARCHITECTS, INC 7724 GIRARD AVENUE, 2ND FLOOR LA JOLLA, CA 92037		
San Diego Land Surveying & Engineering, Inc.		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123 1354 Phone: (858) 565 8362 Fax: (858) 565 4364		
Date: 11/15/2017	Revised: 12/6/2017	Revised:
Scale: 1"=10'	Drawn by: J.G.B.	Sheet 1 of 1 Sheet
Drawing: Chelsea St 5251 Topography		APN: 415-061-14

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SITE LEGEND

RESIDENTIAL

- OUTLINE OF EXISTING TWO STORY RESIDENCE - FIRST FLOOR OUTLINE - See Sheet A-2.1
- OUTLINE OF EXISTING RESIDENCE - SECOND FLOOR HABITABLE AREA - See Sheet A-2.2
- EXISTING DETACHED ACCESSORY UNIT - ONE STORY
- OUTLINE OF EXISTING GARAGE AREA - FIRST FLOOR - See Sheet A-2.1
- OUTLINE OF PROPOSED NEW FIRST /SECOND FLOOR ADDITION AREA - See Proposed Site Plan - A-1.2
- AREA OF EXISTING CONCRETE HARDSCAPE
- AREA OF VISIBILITY TRIANGLE - AT DRIVEWAY
- OUTLINE OF EXISTING UTILITY EASEMENT AREA -
- SITE DRAINAGE PATTERN
- LANDSCAPE AREA

SITE PLAN NOTES - EXISTING

A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.

B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.

C. The Contractor or subcontractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.

D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.

E. Coordinate with other tenants the temporary shutoff of any site utilities, including but not limited to

F. The Architect does not possess any plans or knowledge on the original building, structural, electrical or mechanical system.

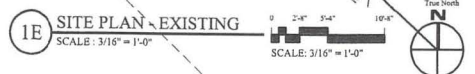
G. For Proposed Enlarged Work refer to sheet A-2.1

SITE PLAN KEYNOTES - EXISTING

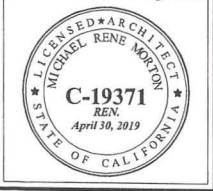
- STRUCTURES**
1. Outline of Existing Two Story Residence (1st floor) - See Sheet A-2.1, 2.2 & 2.3 - To Be Remodeled
 2. Outline of Existing One Story Garage - See Sheet A-2.2 - To Be Remodeled
 3. Outline of Existing Second Story Habitable Area - See Sheet A-2.2 - To Be Remodeled
 4. Outline of Existing First Story Habitable Area - See Sheet A-2.1 - To Be Remodeled
 5. Outline of Existing Raised Balcony - See Sheet A-2.2 - To Be Remodeled
 6. Outline of Existing Balcony Columns - See Sheet A-2.1 - To Be Remodeled
- SITE IMPROVEMENTS**
7. Existing Concrete Sidewalk - To Remain
 8. Existing Curb Cut for Driveway - To Be Remodeled
 9. Existing Concrete Curb - To Remain
 10. Existing Site Walkway - To Be Removed and Replaced
 11. Existing Site Wall - To Be Remodeled
 12. Existing Planters - To Be Remodeled
 13. Existing Site Stairs - To Be Remodeled
 14. Existing Site CMU Wall - To Be Removed
 15. Existing Wood Trellis - To Be Removed
 16. Existing Site Driveway Hardscape - To Be Remodeled
 17. Existing Outline of Structure Above - To Be Remodeled
 18. Existing Site Concrete Hardscape - To Be Removed and Replaced
 19. Existing CMU Site Wall - To Remain and Re-faced
 20. Existing Mail Box - To Be Replaced with New
 21. Existing Site Balcony Access Stair - To Be Replaced with New
 22. Not Used
 23. Not Used
 24. Not Used
 25. Not Used
 26. Not Used
 27. Not Used
- SITE UTILITIES**
28. Existing Water Main Line - 8 inch (Verify Location) - To Remain
 29. Existing Water Main Backflow Preventer - To Remain
 30. Existing Water Shut Off Valve - To Remain
 31. Existing Water Meter (3/4" - Meter-verify size) - To Remain
 32. Existing Electric Meter - 200 Amp Service - To Be Removed and Replaced
 33. Existing Gas Meter - To Remain
 34. Existing Telephone Service Box - To Be Removed and Replaced
 35. Existing 4 Inch Sewer Lateral (V.I.F.) - To Remain
 36. Not Used
- SITE LANDSCAPE**
37. Existing Irrigated Landscape Area - To Be Removed and Replaced
 38. Existing Planted Hedge - To Remain
 39. Existing Site Shrubs - To Be Removed & Replaced
 40. Existing Trees - To Be Selectively Removed
 41. Existing Trees - To Be Laced and Trimmed
 42. Not Used
- OFF-SITE ITEMS**
43. Existing Standard Fire Hydrant - 30 feet to south-west
 44. Existing Concrete Paved Street
 45. Not Used

Area Calculations - Project Site - Existing

Total Site Area	7,600 S.F. - (.17 acres)
Site Impervious Area	4,112 S.F. - (.09 acres)
Site Pervious Area	2,111 S.F. - (.05 acres)
Existing % Impervious Area	28%



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CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

- REVISIONS
- A Concept Design 11/01/2017
 - B Schematic Design 12/19/2017
 - C Coastal Phase 05/31/2018
 - D Coastal Response-Cycle 2 -7/27/2018
 - E Coastal Permit Set - 10/15/2018



PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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SHEET TITLE
SITE PLAN
EXISTING
A-1.1
SHEET 6 OF 33

S:\Projects\2017\Projects\2017-32 Chelsea Street\CADD\Drawings\Architectural\Phase\Sheet\A-1.1_SitePlan_Existing.dwg Doc: 03/20/18 10:11:11am

POOL AND SPA NOTES

- Whenever a building permit is issued for the REMODEL or MODIFICATION of a SINGLE-FAMILY HOME with an existing swimming pool, toddler pool, or spa, the permit shall require that the suction outlet of the existing swimming pool, toddler pool, or spa be upgraded so as to be equipped with an anti-entrapment cover meeting current standard of the American Society for Testing and Materials (ASTM) or the American Society of Mechanical Engineers (ASME).
- POOL AND SPA BARRIERS AND GATES (New or Existing)**
Barriers and gates shall apply to any outdoor swimming pool. An outdoor swimming pool means any structure intended for swimming or recreational bathing that can contain water over 18 inches in depth and is not totally contained within a residential structure and surrounded on all four sides by walls of the structure. This includes in-ground, above ground and on-ground swimming pools, hot tub and spa.
An outdoor swimming pool shall be provided with a barrier, meaning a fence, wall, building wall, or combination thereof, that completely surrounds the swimming pool, obstructs access to the swimming pool, and complies with the following:
a) The top of the barrier shall be at least 60 inches above grade, described as elevation of the surface of the ground. The grade shall be measured on the side of the barrier that faces away from the swimming pool and shall be constructed to withstand the forces contained in the Building Code.
b) The maximum vertical clearance between grade and the bottom of the barrier shall be 4 inches, measured to a hard surface such as concrete, or 2 inches, measured to earth. This measurement shall be taken on the side of the barrier that faces away from the swimming pool. Where the top of the swimming pool is above grade, such as an aboveground pool, the barrier may be the pool's structure itself, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches.
c) Openings in the barrier shall not allow passage of a 4-inch-diameter sphere.
d) Solid barriers that do not have openings, such as masonry or stone walls, shall not contain indentations or protrusions except for tooled masonry joints.
e) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches, the horizontal members shall be located on the swimming pool side of the fence.
f) Spacing between vertical members shall not exceed 2 inches in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 2 inches in width.
g) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches or more, spacing between vertical members shall not exceed 4 inches. Where there are decorative cutouts within vertical members, spacing (cutouts) shall not exceed 2 inches in width.
h) Maximum mesh size for chain link fences shall be a 2-inch square. The wire shall 11-12 gauge minimum.
i) Where the barrier is composed of diagonal members, the maximum opening shall be no more than 2 inches.
j) Access gates shall comply and shall be equipped to accommodate a locking device no less than 60 inches above grade. Pedestrian-access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall be equipped with a locking device.
k) Hot tubs and spas located outdoors and not exceeding 64 square feet of water surface may have rigid locking safety covers that comply with (ASTM) Standard F1346-91 in lieu of the barrier.
l) Outdoor swimming pools may have a manually or power-operated safety pool cover that complies with all of the performance standards of (ASTM) F1346-91 in lieu of the barrier.
m) When the house forms part of the swimming pool barrier and the house wall has door openings that lead directly into the pool yard area, one of the following door safety features must be provided:
1) The pool area must be isolated from the house by an additional barrier as described in this section.
2) The pool must be equipped with an approved safety cover.
3) The residence must have exit alarms on all doors leading from the house directly to the pool yard area. All doors leading to the pool yard area must have self-closing, self-latching door hardware with a release mechanism located no less than 54 inches above the door.

ADDITIONAL SITE NOTES:

- Property Address: 5251 Chelsea Street, La Jolla, CA 92037
- Assessor's Parcel #: 415-0614-00
- Legal Description: Lot 24 in block 3 of Pacific Villas Unit No. 1 in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2531, filed in the Office of County Recorder of San Diego County on December 23, 1948. Commonly known as 5251 Chelsea Street.
- The proposed project and Site Plan is proposed as a Site/LID (Low Impact Development) design and Source Control BMP's on the plan view are located on Sheet A-1.5.
- Provide building address numbers, visible and legible from the street or road fronting the property per SIPS Policy P-00-6 (UFC 901.4.4).
- Show locations of all existing hydrants, within 600', on site plan. (UFC903.2).
- Fire Sprinkler Notes**
Water meters for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.
After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement.
- Owner Signature:**
9. A backflow preventer is required for all new single-family dwellings where fire sprinklers are provided as part of a combined domestic/fire sprinkler system.
10. Reduced Pressure Principle Assembly (RP) per City of San Diego Regional Standard Drawing WR-01 (up to 2") or WR-02 (over 2"). It needs to be as close as possible to the point where the service crosses the property line or easement line. It can be in the nearest softscape or next to the building, whichever is closer. It may not be located inside a building.

SITE LEGEND

- OUTLINE OF EXISTING TWO STORY RESIDENCE - FIRST FLOOR OUTLINE - See Sheet A-2.1
- OUTLINE OF EXISTING RESIDENCE - SECOND FLOOR HABITABLE AREA - See Sheet A-2.2
- OUTLINE OF REMODELED GARAGE AREA - FIRST FLOOR - See Sheet A-2.5
- OUTLINE OF PROPOSED NEW FIRST FLOOR ADDITION AREA - See Proposed Floor Plan - A-2.3
- OUTLINE OF PROPOSED NEW SECOND FLOOR ADDITION AREA - See Proposed Site Plan - A-2.4
- AREA OF PROPOSED SECOND FLOOR BALCONY
- OUTLINE OF PROPOSED NEW HARDSCAPE AREA
- OUTLINE OF PROPOSED NEW PERMEABLE STONE / PEBBLE AREA
- AREA OF VISIBILITY TRIANGLE - AT DRIVEWAY
- OUTLINE OF EXISTING UTILITY EASEMENT AREA -
- ROOF OR DECK DRAIN DISCHARGE SITE DRAINAGE PATTERN
- PROPOSED LANDSCAPE AREA - See Sheet L-1
- AREA DRAIN - 18 or 9 inch Square Catch Basin - NDS - Green top

SITE PLAN NOTES - PROPOSED

- The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
- Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- The Contractor or subcontractor shall notify the Architect if any conflicts or discrepancy occur between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawings until written or verbal instructions are issued by the Architect office.
- Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- Coordinate with other tenants the temporary shutoff of any site utilities, including but not limited to
- The Architect does not possess any plans or knowledge on the original building, structural, electrical or mechanical system.
- For Proposed Enlarged Work refer to sheet A-2.1

SITE PLAN KEYNOTES - PROPOSED

- STRUCTURES**
- Outline of Remodeled Two Story Residence - See Sheet A-2.4, A-2.5
 - Outline of Remodeled One Story Garage - See Sheet A-2.4
 - Outline of Remodeled Second Story Habitable Area - See Sheet A-2.5
 - Outline of New First Story Habitable Addition Area - See Sheet A-2.4
 - Outline of New Second Floor Addition Area - See Sheet A-2.5
 - Outline of New Second Floor Balcony - See Sheet A-2.4
- SITE IMPROVEMENTS**
- Existing Concrete Sidewalk - To Remain
 - Existing Curb Cut for Driveway - To Remain
 - Existing Concrete Curb - To Remain
 - New Site Walkway - See Detail
 - Remodeled Site Wall - See Detail
 - Remodeled Planters - See Landscape plan
 - New Site Stairs - See Detail
 - New Site Wall - See Detail
 - New Roof Overhang - See New Roof Plan - See Sheet A-2.4
 - New Site Driveway Hardscape - See Hardscape Plan
 - Remodeled Outline of Structure Above - See Floor and Roof Plans
 - New Site Concrete Hardscape - See Hardscape Plan
 - Existing CMU Site Wall - New Finish - See Detail
 - New Mail Box - See Detail
 - New Site Hardscape Area - See Sheet A-2.4
 - New First Floor Patio Area - See Sheet A-2.4
 - New Second Floor Terrace Area - See Sheet A-2.5
 - New Refuse and Recycle Area - See Sheet A-2.4
 - New Pool and Spa Area - See Sheet A-2.4
 - New Pool Equipment Area - See Sheet A-2.4
 - New Site Fence and Gate - See Sheet A-2.4
- SITE UTILITIES**
- Existing Water Main Line - 1 inch (Verify Location) - To Remain
 - Existing Water Main Backflow Preventer - To Remain
 - Existing Water Shut Off Valve - To Remain
 - Existing Water Meter (1" - Meter-verify size) - To Remain
 - New Electric Meter - 200 Amp Service - New Location
 - Existing Gas Meter - To Remain
 - New Telephone Service Box - New Location
 - Existing 4 Inch Sewer Lateral (V.I.F.) - To Remain
 - New AC Unit
- SITE LANDSCAPE**
- Remodeled Irrigated Landscape Area - To Be Re-Planted
 - Existing Planted Hedge - To Remain - Trimmed and Shaped
 - New Site Shrubs - Install per Landscape Plan
 - New Trees - Install per Landscape Plan
 - Existing Trees - To Be Laced and Trimmed
 - New Turf Area - See Landscape Plan
- OFF-SITE ITEMS**
- Existing Standard Fire Hydrant - 30 feet to south-west
 - Existing Concrete Paved Street
 - Not Used



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CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

REVISIONS

A	Concept Design	11/01/2017
B	Schematic Design	12/19/2017
C	Coastal Phase	05/31/2018
D	Coastal Response - Cycle 2	7/27/2018
E	Coastal Permit Set	10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

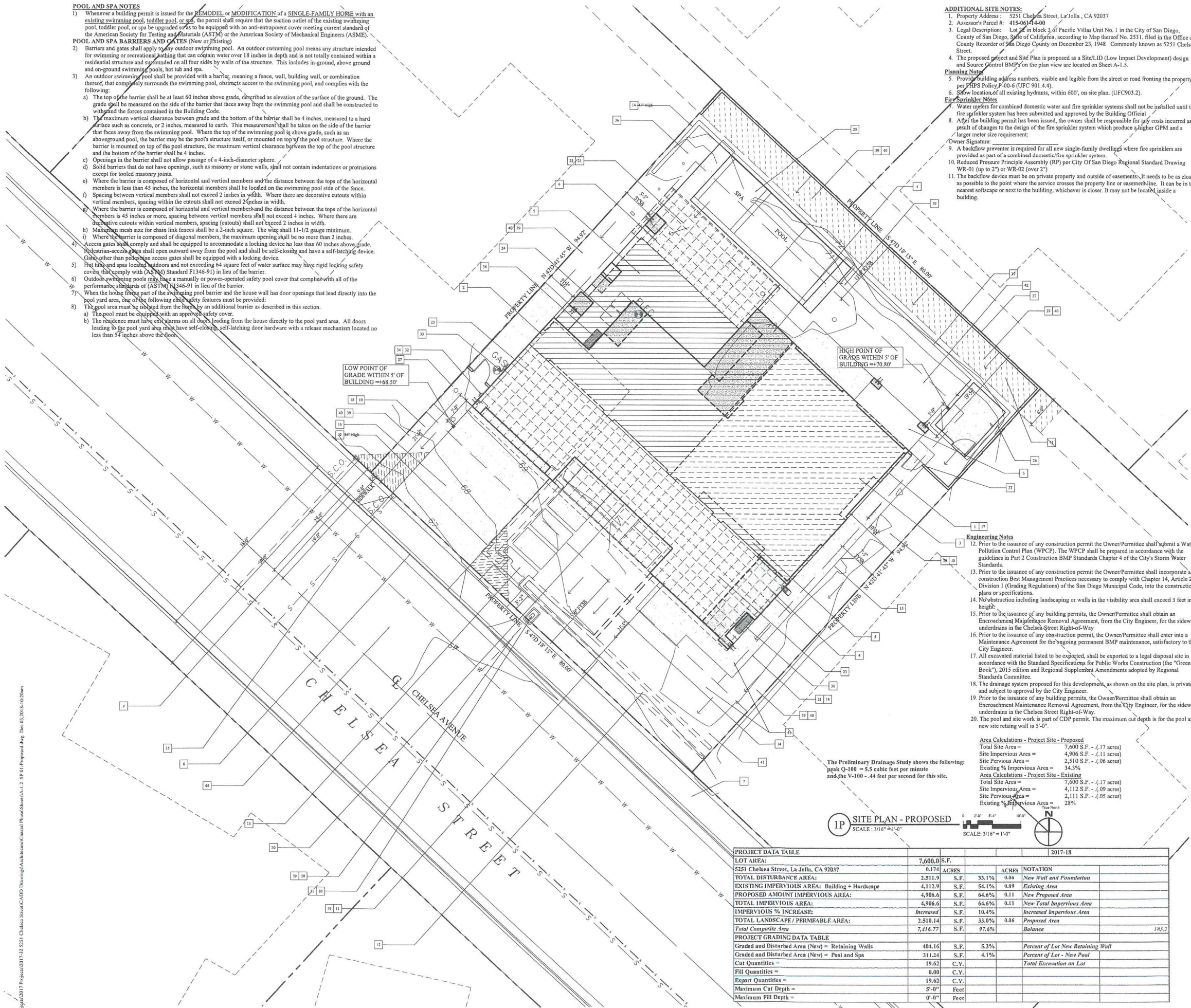
REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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SHEET TITLE
SITE PLAN
PROPOSED
A-1.2
SHEET 7 OF 33



SITE PLAN - PROPOSED
SCALE: 3/16" = 1'-0"

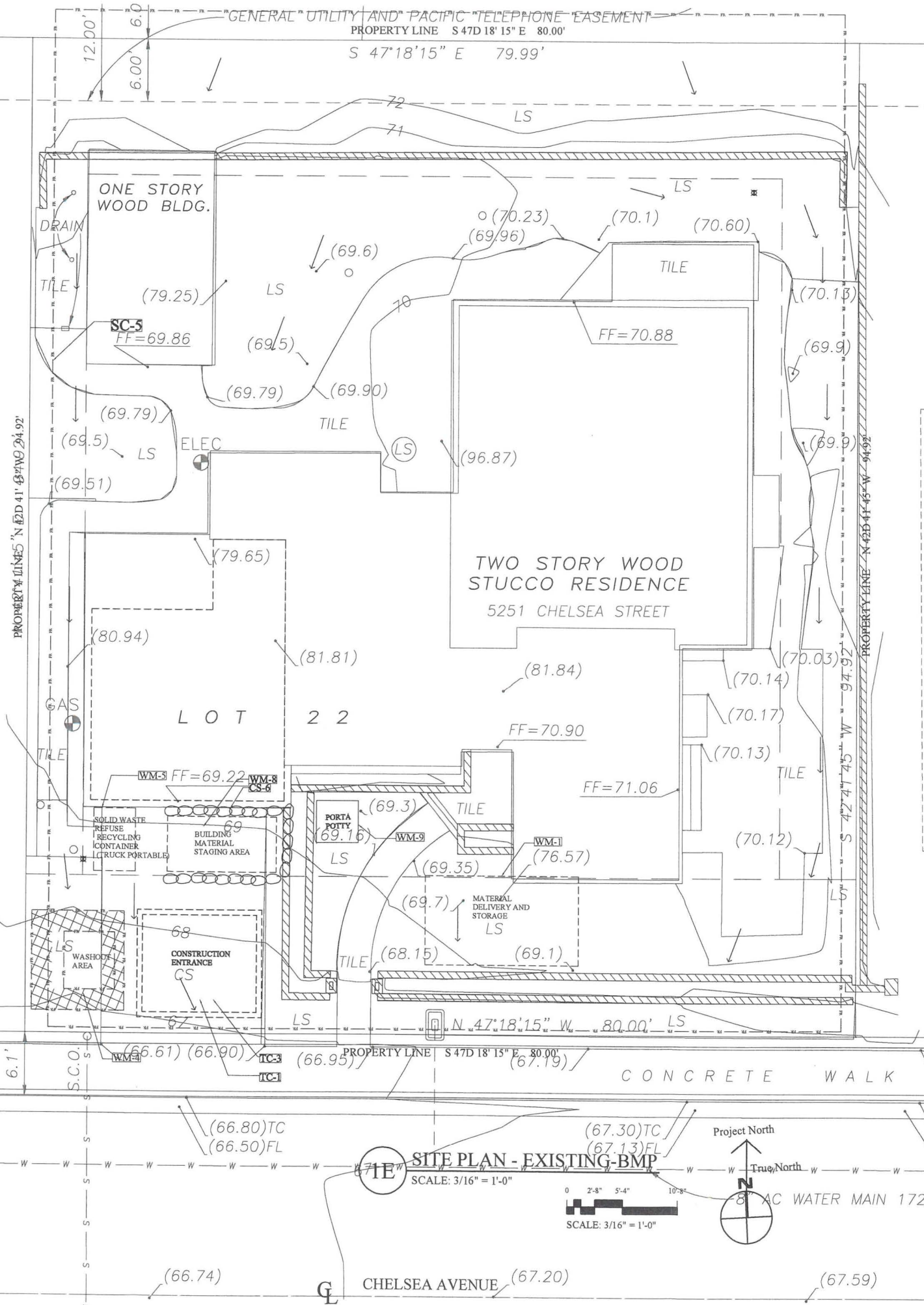
PROJECT DATA TABLE		2017-18	
LOT AREA:	7,600.0 S.F.		
5251 Chelsea Street, La Jolla, CA 92037	0.174 ACRES		
TOTAL DISTURBANCE AREA:	2,511.9 S.F.	33.1%	0.08
EXISTING IMPERVIOUS AREA: Building + Hardscape	4,112.9 S.F.	54.1%	0.09
PROPOSED AMOUNT IMPERVIOUS AREA:	4,906.6 S.F.	64.6%	0.11
TOTAL IMPERVIOUS AREA:	4,906.6 S.F.	64.6%	0.11
IMPERVIOUS % INCREASE:	Increased	10.4%	Increased Impervious Area
TOTAL LANDSCAPE / PERMEABLE AREA:	2,510.14 S.F.	33.0%	0.06
Total Composite Area	7,416.77 S.F.	97.6%	Balance
PROJECT GRADING DATA TABLE			
Graded and Disturbed Area (New) = Retaining Walls	404.16 S.F.	5.3%	Percent of Lot New Retaining Wall
Graded and Disturbed Area (New) = Pool and Spa	311.24 S.F.	4.1%	Percent of Lot - New Pool
Cut Quantities =	19.62 C.Y.		Total Excavation on Lot
Fill Quantities =	0.00 C.Y.		
Export Quantities =	19.62 C.Y.		
Maximum Cut Depth =	5'-0" Feet		
Maximum Fill Depth =	0'-0" Feet		

Storm Water Requirements Applicable Checklist

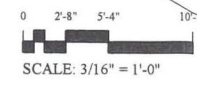
Requirement	Compliance
1.1.1	Yes
1.1.2	Yes
1.1.3	Yes
1.1.4	Yes
1.1.5	Yes
1.1.6	Yes
1.1.7	Yes
1.1.8	Yes
1.1.9	Yes
1.1.10	Yes
1.1.11	Yes
1.1.12	Yes
1.1.13	Yes
1.1.14	Yes
1.1.15	Yes
1.1.16	Yes
1.1.17	Yes
1.1.18	Yes
1.1.19	Yes
1.1.20	Yes
1.1.21	Yes
1.1.22	Yes
1.1.23	Yes
1.1.24	Yes
1.1.25	Yes
1.1.26	Yes
1.1.27	Yes
1.1.28	Yes
1.1.29	Yes
1.1.30	Yes
1.1.31	Yes
1.1.32	Yes
1.1.33	Yes
1.1.34	Yes
1.1.35	Yes
1.1.36	Yes
1.1.37	Yes
1.1.38	Yes
1.1.39	Yes
1.1.40	Yes
1.1.41	Yes
1.1.42	Yes
1.1.43	Yes
1.1.44	Yes
1.1.45	Yes
1.1.46	Yes
1.1.47	Yes
1.1.48	Yes
1.1.49	Yes
1.1.50	Yes

Site Grading BMP Checklist for Proposed Project

Requirement	Compliance
1.2.1	Yes
1.2.2	Yes
1.2.3	Yes
1.2.4	Yes
1.2.5	Yes
1.2.6	Yes
1.2.7	Yes
1.2.8	Yes
1.2.9	Yes
1.2.10	Yes
1.2.11	Yes
1.2.12	Yes
1.2.13	Yes
1.2.14	Yes
1.2.15	Yes
1.2.16	Yes
1.2.17	Yes
1.2.18	Yes
1.2.19	Yes
1.2.20	Yes
1.2.21	Yes
1.2.22	Yes
1.2.23	Yes
1.2.24	Yes
1.2.25	Yes
1.2.26	Yes
1.2.27	Yes
1.2.28	Yes
1.2.29	Yes
1.2.30	Yes
1.2.31	Yes
1.2.32	Yes
1.2.33	Yes
1.2.34	Yes
1.2.35	Yes
1.2.36	Yes
1.2.37	Yes
1.2.38	Yes
1.2.39	Yes
1.2.40	Yes
1.2.41	Yes
1.2.42	Yes
1.2.43	Yes
1.2.44	Yes
1.2.45	Yes
1.2.46	Yes
1.2.47	Yes
1.2.48	Yes
1.2.49	Yes
1.2.50	Yes



SITE PLAN - EXISTING-BMP
 SCALE: 3/16" = 1'-0"



Storm Water Requirements Applicable Checklist

SECTION 1: CONSTRUCTION BMP REQUIREMENTS

SECTION 2: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 3: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 4: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 5: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 6: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 7: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 8: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 9: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 10: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 11: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 12: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 13: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 14: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 15: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 16: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 17: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 18: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 19: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 20: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 21: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 22: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 23: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 24: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 25: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 26: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 27: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 28: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 29: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 30: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 31: PERMANENT STORM WATER BMP REQUIREMENTS

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SECTION 34: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 35: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 36: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 37: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 38: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 39: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 40: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 41: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 42: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 43: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 44: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 45: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 46: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 47: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 48: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 49: PERMANENT STORM WATER BMP REQUIREMENTS

SECTION 50: PERMANENT STORM WATER BMP REQUIREMENTS

SITE AND BMP LEGEND

[Symbol]	OUTLINE OF EXISTING ONE STORY STRUCTURE	1
[Symbol]	OUTLINE OF EXISTING STRUCTURE - TO BE DEMOLISHED AND REMODELED	2
[Symbol]	AREA OF PROPOSED RESIDENCE	3
[Symbol]	OUTLINE OF PROPOSED ADDITION AREA	
[Symbol]	AREA OF PROPOSED NEW HARDSCAPE SURFACE	
[Symbol]	OUTLINE OF PROPOSED NEW CONCRETE HARDSCAPE - NONE	
[Symbol]	AREA OF VISIBILITY TRIANGLE	
[Symbol]	NEW SITE WALL	
[Symbol]	NEW LANDSCAPE AREA	
[Symbol]	RAISED PLANTER AREA	
[Symbol]	I.O.W. (TOP OF WALL SPOT ELEVATION)	
[Symbol]	B.O.W. (BOTTOM OF WALL SPOT ELEVATION)	
[Symbol]	LINEAR DECK DRAIN	
[Symbol]	ROUND LANDSCAPE AREA DRAIN	
[Symbol]	LANDSCAPE TRENCH DRAIN	
[Symbol]	SITE SUB-SURFACE DRAIN PIPING - PVC - 4" or 6" DIA. SLOPED 1% PER 12"	
[Symbol]	SUB-SURFACE DRAIN PIPING - PVC - 4" PERFORATED	
[Symbol]	SITE DRAINAGE PATTERN / SLOPE	
[Symbol]	4" DIAMETER X 8' DEEP FLOW WELL (FOR COLLECTION OF SITE STORM WATER FOR BELOW GRADE PERCOLATION IN SOIL)	
[Symbol]	DRAIN LINE DAYLIGHT LOCATION WITH PEA GRAVEL ENERGY DISSIPATER	
[Symbol]	EXISTING CONTOURS	
[Symbol]	PROPOSED CONTOURS	
[Symbol]	SILT FENCE (SC-1)	
[Symbol]	FIBER ROLLS (CS-5)	
[Symbol]	GRAVEL BAGS (CS-6), (CS-8)	
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE (TC-1)	
[Symbol]	ENTRANCE/EXIT TIRE WASH (TC-3)	
[Symbol]	WASHOUT AREA/CONCRETE WASTE MANAGEMENT (MW-8)	
[Symbol]	WM-1 MATERIAL DELIVERY AND STORAGE	
[Symbol]	WM-4 SPILL PREVENTION AND CONTROL	
[Symbol]	WM-8 CONCRETE WASTE MANAGEMENT	
[Symbol]	AREA DRAIN - 24, 18, or 9 inch Square Catch Basin - NDS - Green top	
[Symbol]	USED	
[Symbol]	NOT USED	

- SITE DRAINAGE AND GRADING NOTES**
- See Site Disturbance Table on Sheet A-1.5
 - Amount of disturbance area
 - Most Impervious areas
 - New Total Impervious areas
 - New Total Non-Impervious areas
 - For proposed finish grades for the entire site and proposed contour lines - See Sheet A-1.3 - *Changes* See Sheet A-1.2 and 4-D on Grading Set
 - Area of Soil Disturbance - See Sheet A-1.2 - *New Addition*
 - Proposed drainage area and spot elevations - See Sheet A-1.3
 - Proposed Swales, Drain Inlets, or drainage system used to convey storm water through the site - See Sheet A-1.3 - *No Changes Developed Site*
 - Roof Drains, Deck Drains, Landscape, and hardscape drain locations. For Discharge Area of site storm Drain system - See sheet A-1.3
 - For storm water runoff from New Impervious area for roughing, treatment, and discharge a/ connection to site storm drain system - See Sheet A-1.3 - *See New Landscape Areas on sheet L-1*
 - For Site Cross Sections - See Sheets A-6.1 to A-6.5
 - For Site Existing and Proposed Contours - See Sheet A-6.1 to A-6.5 - *Changes* - See Sheet A-1.2 and 4-D on Grading set
 - For Building Sections and Elevations - See Sheets A-5.1 to A-6.5

STORM WATER QUALITY NOTES

CONSTRUCTION BMP'S

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

Notes below represent key minimum requirements for construction BMP's.

- The contractor shall be responsible for cleanup of all silt and mud on adjacent streets, due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
- All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

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CHELSEA REMODEL
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REVISIONS

A	Concept Design	11/01/2017
B	Schematic Design	12/19/2017
C	Costal Phase	05/31/2018
D	Coastal Response - Cycle 2	-7/27/2018

PHASE
 COASTAL PHASE

PROJECT NO.
 2017-32

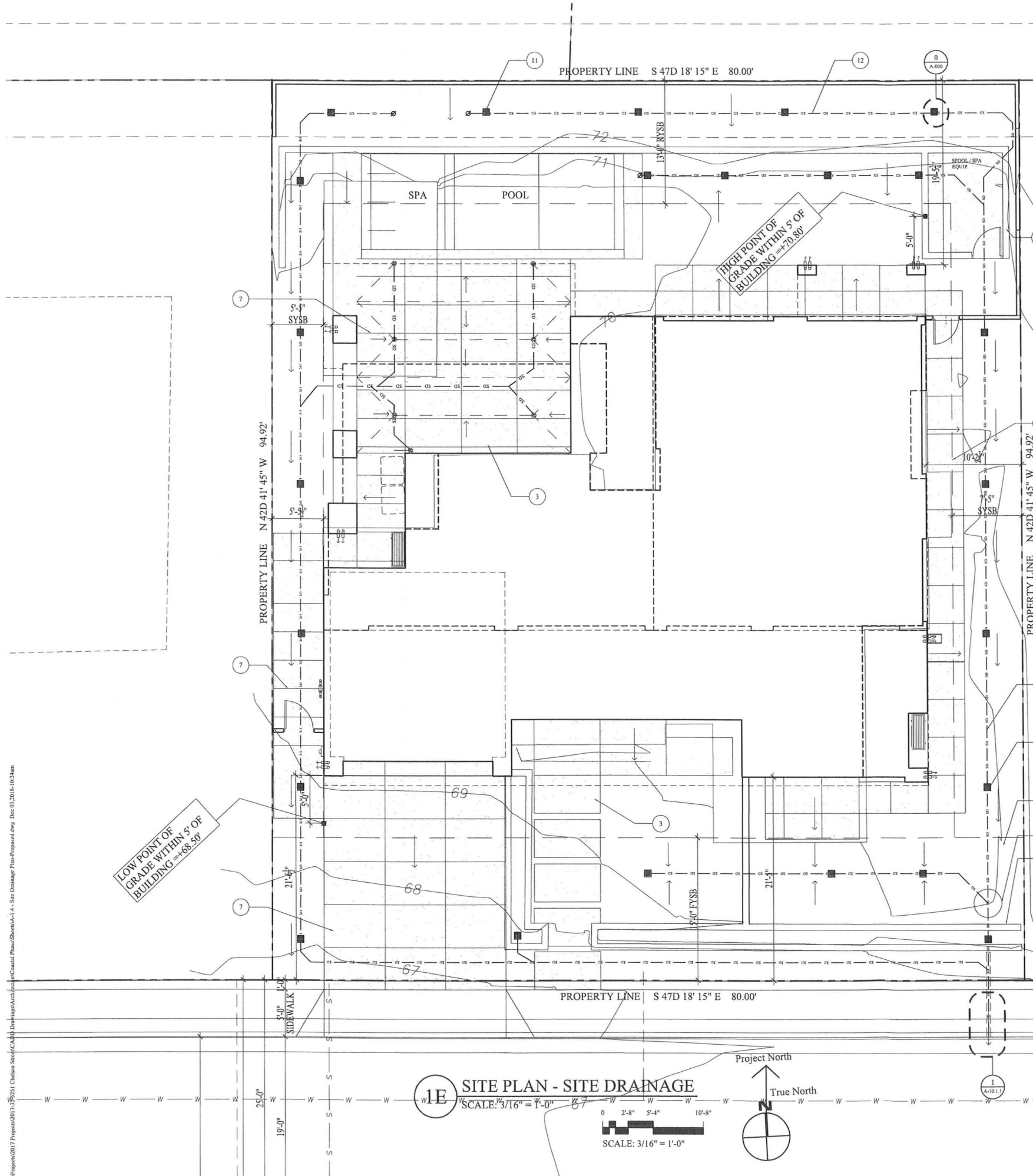
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 MRM

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DATE
 08-10-2018

SHEET TITLE
 SITE PLAN
 EXISTING BMP PLAN

A-1.3
 SHEET 8 OF 34



LANDSCAPE IMPERVIOUS CALCULATIONS

NO.	DESCRIPTION	AREA (S.F.)	% IMPERVIOUS	PERMEABLE AREA (S.F.)	
1	TOTAL AREA	7,608.9 S.F.			
2	2551 Chelsea Street, La Jolla, CA 92037	0.17 ACRES			
3	TOTAL DISTURBANCE AREA	191.7 S.F.	2.5%		
4	EXISTING IMPERVIOUS AREA	4,115.4 S.F.	54.1%		
5	PROPOSED AMOUNT IMPERVIOUS AREA	5,082.3 S.F.	66.8%		
6	TOTAL IMPERVIOUS AREA	5,652.3 S.F.	74.3%		
7	IMPERVIOUS % INCREASE		Decrease	Decrease	
8	TOTAL LANDSCAPE PERMEABLE AREA	2,547.1 S.F.	33.5%		
9	Total Composite Area	7,608.9 S.F.	100.0%	0.0 S.F.	
10	Hardscape Areas - Non-Permeable	Existing	New	Total	
11	Hardscape Area - Front Driveway Area (A-1)	164-1	336.8 S.F.	459.8 S.F.	624.6 S.F.
12	Hardscape Area - Entry Walkway Area (A-2) West	164-2	121.8 S.F.	244.8 S.F.	366.6 S.F.
13	Hardscape Area - South Side Yard Area (B-1) South	169-1	471.7 S.F.	310.00 S.F.	781.7 S.F.
14	Hardscape Area - Rear Yard & Planter Area (C-1 & C-2) East	16C-1	87.9 S.F.	920.36 S.F.	1,008.26 S.F.
15	Hardscape Area - North Side Yard Area (D-1) West	16D-1	471.7 S.F.	172.79 S.F.	644.49 S.F.
16	Hardscape Area - Rear Pool Area (F-1) East	16D-1	0.0 S.F.	263.95 S.F.	263.95 S.F.
17	Hardscape Area - Misc. Wall Area	16D-2	0.0 S.F.	245.10 S.F.	245.10 S.F.
18	Area of New Total Site Hardscape - Non-Permeable	Existing	New	Total	
19	Building Areas - Non-Permeable	Existing	New	Total	
20	Two Story Existing Structure	2317.9 S.F.	2,433.78 S.F.	2,433.7 S.F.	
21	Accessory Structure	293.5 S.F.	0.0 S.F.	0.0 S.F.	
22	Total Structure Area on Site	2,611.4 S.F.	2,433.7 S.F.	2,433.7 S.F.	
23	Landscaping Areas	Existing	New	Total	
(A)	Landscaping Area - Front Yard (A-1, A-2, A-3, A-4)	947.6 S.F.	909.21 S.F.	909.21 S.F.	
(B)	Landscaping Area - South Side Yard (B-1)	271.8 S.F.	387.23 S.F.	387.23 S.F.	
(C)	Landscaping Area - Rear Yard (C-1, C-2)	1,295.5 S.F.	1,810.6 S.F.	1,810.6 S.F.	
(D)	Landscaping Area - North Side Yard (D-1, D-2)	85.0 S.F.	235.35 S.F.	235.35 S.F.	
	Area of New Total Landscape	2,602.9 S.F.	2,547.1 S.F.	2,547.65 S.F.	

POOL AND SPA NOTES

- Whenever a building permit is issued for the REMODEL or MODIFICATION of a SINGLE FAMILY HOME with an existing swimming pool, toddler pool, or spa, the permit shall require that the existing swimming pool, toddler pool, or spa be upgraded so as to be equipped with an anti-entrapment cover meeting current standards of the American Society of Testing and Materials (ASTM) or the American Society of Mechanical Engineers (ASME).
- POOL BARRIERS AND GATES**
Barriers and gates shall apply to any outdoor swimming pool. An outdoor swimming pool means any structure intended for swimming or recreational bathing that can contain water over 18 inches in depth and is not totally contained within a residential structure and surrounded on all four sides by walls of the structure. This includes in-ground, above ground and on-ground swimming pools, hot tub and spas.
An outdoor swimming pool shall be provided with a barrier, meaning a fence, wall, building wall, or combination thereof, that completely surrounds the swimming pool, obstructs access to the swimming pool, and complies with the following:
a) The top of the barrier shall be at least 60 inches above grade, described as elevation of the surface of the ground. The grade shall be measured on the side of the barrier that faces away from the swimming pool and shall be constructed to withstand the forces contained in the Building Code.
b) The maximum vertical clearance between grade and the bottom of the barrier shall be 4 inches, measured to a hard surface such as concrete, or 2 inches, measured to earth. This measurement shall be taken on the side of the barrier that faces away from the swimming pool. Where the top of the swimming pool is above grade, such as an aboveground pool, the barrier may be the pool's structure itself, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches.
c) Openings in the barrier shall not allow passage of a 4-inch-diameter sphere.
d) Solid barriers that do not have openings, such as masonry or stone walls, shall not contain indentations or protrusions except for tooling masonry joints.
e) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches, the horizontal members shall be located on the swimming pool side of the fence.
f) Spacing between vertical members shall not exceed 2 inches in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 2 inches in width.
g) Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches or more, spacing between vertical members, spacing (cutouts) shall not exceed 2 inches in width.
h) Maximum mesh size for chain link fences shall be a 2-inch square. The wire shall 11-1/2 gauge minimum.
i) Where the barrier is composed of diagonal members, the maximum opening shall be no more than 2 inches.
j) Access gates shall comply and shall be equipped to accommodate a locking device no less than 60 inches above grade. Pedestrian-access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall be equipped with a locking device.
k) Hot tubs and spas located outdoors and not exceeding 64 square feet of water surface may have rigid locking safety covers that comply with (ASTM) Standard F1346-91 in lieu of the barrier.
l) Outdoor swimming pools may have a manually or power-operated safety pool cover that complies with all of the performance standards of (ASTM) F1346-91 in lieu of the barrier.
m) When the house forms part of the swimming pool barrier and the house wall has door openings that lead directly into the pool yard area, one of the following child safety features must be provided:
a) The pool area must be isolated from the home by an additional barrier as described in this section.
b) The pool must be equipped with an approved safety cover.
c) The residence must have exit alarms on all doors leading from the house directly to the pool yard area.
d) All doors leading to the pool yard area must have self-closing, self-latching door hardware with a release mechanism located no less than 54 inches above the floor.

HARDSCAPE LEGEND

- NEW SITE WALL - SEE PLAN FOR TYPE
- NEW CONCRETE HARDSCAPE
- NEW STONE / TILE HARDSCAPE
- NEW STONE FLATWORK
- NEW LANDSCAPE AREA
- RAISED LANDSCAPE / PLANTER AREA
- NEW PERMEABLE GRAVEL AREA
- T.O.W. ELEV. +000.00' T.O.W. (TOP OF WALL SPOT ELEVATION)
- B.O.W. ELEV. +000.00' B.O.W. (BOTTOM OF WALL SPOT ELEVATION)
- LINEAR DECK DRAIN
- ROUND LANDSCAPE AREA DRAIN
- LINEAR LANDSCAPE OR TRENCH DRAIN
- SITE SUBTERRANEAN DRAINAGE LINE - 3" DIA. PVC LINE, SLOPED 1/4" PER 12"
- CLEANOUT
- DIRECTION OF FLOW - DRAINAGE
- DIRECTION OF SLOPE (GRADE)
- 3' DIAMETER X 7' DEEP FLOW WELL (FOR COLLECTION OF SITE STORM WATER FOR BELOW GRADE PERCOLATION IN SOIL)
- DRAIN LINE DAYLIGHT LOCATION WITH GRAVEL ENERGY DISSIPATER
- 90.0' EXISTING CONTOURS
- 91.0' PROPOSED CONTOURS
-
-
- AREA DRAIN - 24, 18, or 9 inch Square Catch Basin - NDS Green top USED NOT USED

HARDSCAPE NOTES

- Written dimension shall take precedence over scaled dimensions and shall be verified on the site. The Architect shall be notified immediately when any discrepancy is found. Do to proceed with work in question until directions are issued by the Architect.
- Typical Concrete Slab:** 5" thick concrete slab, 2500 P.S.I. concrete at 28 days, with #3 at 18 inches on center each way centered in slab. Four slab on 2" sand bed. Provide weakened plane joints at 20'-0" O.C. maximum and expansion joints as shown or required.
- Verify finish level of concrete slabs where indicated to receive stone / tile finish. Verify thickness of stone / tile and setting bed.
- For hardscape slabs adjacent to doorways dowel hardscape to building slab with #3 dowels @ 18", O.C. extending 18" both ways.
- All concrete slabs shall slope away from structure a minimum of 2% (1/4" per foot).
- Site Stairs shall have a 6" riser and a 12" tread. Unless noted otherwise on plans.
- Concrete finish texture shall be - Medium "Sand" Finish, unless noted otherwise on plans.
- Also refer to Project Specifications for additional notes and requirements - SP-1, SP-2 & SP-3.
- See sheet A-2.3& A-2.4 for Proposed Floor Plans
- E.J. Indicates expansion joint per detail 7/A-10.1
- K.T.J. Indicates tooled joint per detail 7/A-10.1
- L. For Gate Schedule see sheet 8.2

HARDSCAPE KEYNOTES

- New Hardscape w/ Stone/Tile Finish:** Provide an \$8 / SF allowance for stone/tile material. Provide a crack isolation membrane above slab on grade. Provide a 4" thick concrete slab base per notes. At hardscape over basement, provide a waterproof membrane per Balcony Notes.
- Exposed Aggregate Concrete Slab w/ Integral Color:** Integral color by Davis Colors #5447 "Mesa Bluff" with exposed "pea" gravel finish. Slab shall be per note #3. Provide a sample of proposed aggregate, color and texture to Architect for approval prior to pour.
- Integral Color Concrete Slab -** 5" thick 2,500 P.S.I. concrete minimum #4 rebar at 18" o.c. each way at center of slab. Unless noted otherwise finish with medium broom finish. Integral color by Davis Colors #5447 "Mesa Bluff" Sand Bed - Provide a 2-inch sand bed under new hardscape were poured over soil. Verify that sub-grade is compacted to 90%.
- Landscaping Area -** See Landscape sheet for area to be landscaped - (AL-10.1)
- Site Walls -** See Architectural and Structural Details
- Weakened Plane Joint (Tooled Joint - TJ)**
- Expansion Joint (Saw Cut or Expansion Joint with 1/4" felt separator - EJ)**
- Balcony Drain:** Thunderbird Drains or Equal - Adjustable Deck Drain - BDCD3NH-3" - No-Hub Adjustable Tile Deck Drain w/ 5" x 5" Square Nickel Bronze Grate
- Site Hardscape Drain:** By Thunderbird Drains or Equal - Deck Drain - A-SRN-ORB - 6" Round Oil Rubbed Bronze Grate for BDK Series Drains - A-SQ-ORB - 6" x 6" Square Oil Rubbed Bronze Grate for BDK Series Drains
- Landscaping Area -** 4 - Inch Round Grates - NDS - For Turf Area - Green top
6 - Inch Atrium Grates - NDS - For Shrub Areas - Green top
- Flow Well -** By NDS - Model FWAS24WH - 29" x (2) part site storm water management system (A) flow well with sump pump - (B) flow well with gravity drain to street curb - Connect to site storm drain system.
- Storm Water Catch Basin:** 9" square - NDS - Catch Basin - Part of Site drain system (Model 1882) with standard (green) plastic grate, connect with pipe drainage system.
- In-Grated Site Drainage System:** 6" diameter PVC schedule 40 drain pipe with 1/8" per foot slope. Layout per plan
- Permeable gravel bed -** 4" deep - 3/4" gravel over 2" bed. Provide color and size sample for approval by Architect.
- Grass Crete Traffic Surface as a Concrete curb -** Grass pave 2 - Fire Lane/Driving Area - Installed Per Manufacturer's Recommendation



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D Coastal Response - Cycle 2 - 7/27/2018
E Coastal Permit Set - 10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

SHEET TITLE
SITE DRAINAGE PLAN
PROPOSED

A-1.4
SHEET 9 OF 33

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PROPERTY LINE S 47D 18' 15" E 80.00'

HARDSCAPE LEGEND

RESIDENTIAL

- NEW SITE WALL - SEE PLAN FOR TYPE
- NEW CONCRETE HARDSCAPE
- NEW STONE / TILE HARDSCAPE
- NEW STONE FLATWORK
- NEW LANDSCAPE AREA
- RAISED LANDSCAPE / PLANTER AREA
- NEW PERMEABLE GRAVEL AREA

T.O.W. ELEV. +000.00' T.O.W. (TOP OF WALL SPOT ELEVATION)

B.O.W. ELEV. +000.00' B.O.W. (BOTTOM OF WALL SPOT ELEVATION)

- LINEAR DECK DRAIN
- ROUND LANDSCAPE AREA DRAIN 3
A-18.1.7
- LINEAR LANDSCAPE OR TRENCH DRAIN
- SITE SUBTERRANEAN DRAINAGE LINE - 3" DIA. PVC LINE, SLOPED 1/8" PER 12"
- CLEANOUT
- DIRECTION OF FLOW - DRAINAGE
- DIRECTION OF SLOPE (GRADE)
- 3" DIAMETER X 4" DEEP FLOW WELL (FOR COLLECTION OF SITE STORM WATER FOR BELOW GRADE PERCOLATION IN SOIL)
- DRAIN LINE DAYLIGHT LOCATION WITH GRAVEL ENERGY DISSIPATOR
- 90.0' EXISTING CONTOURS
- 91.0' PROPOSED CONTOURS
- SITE DRAIN PIPING - PVC - 4" or 6" DIA.
- SUB-SURFACE DRAIN PIPING - PVC - 4" PERFORATED
- AREA DRAIN - 24,18, or 9 inch Square Catch Basin - NDS - Green top USED NOT USED

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PHASE
COASTAL PHASE

PROJECT NO. 2017-32

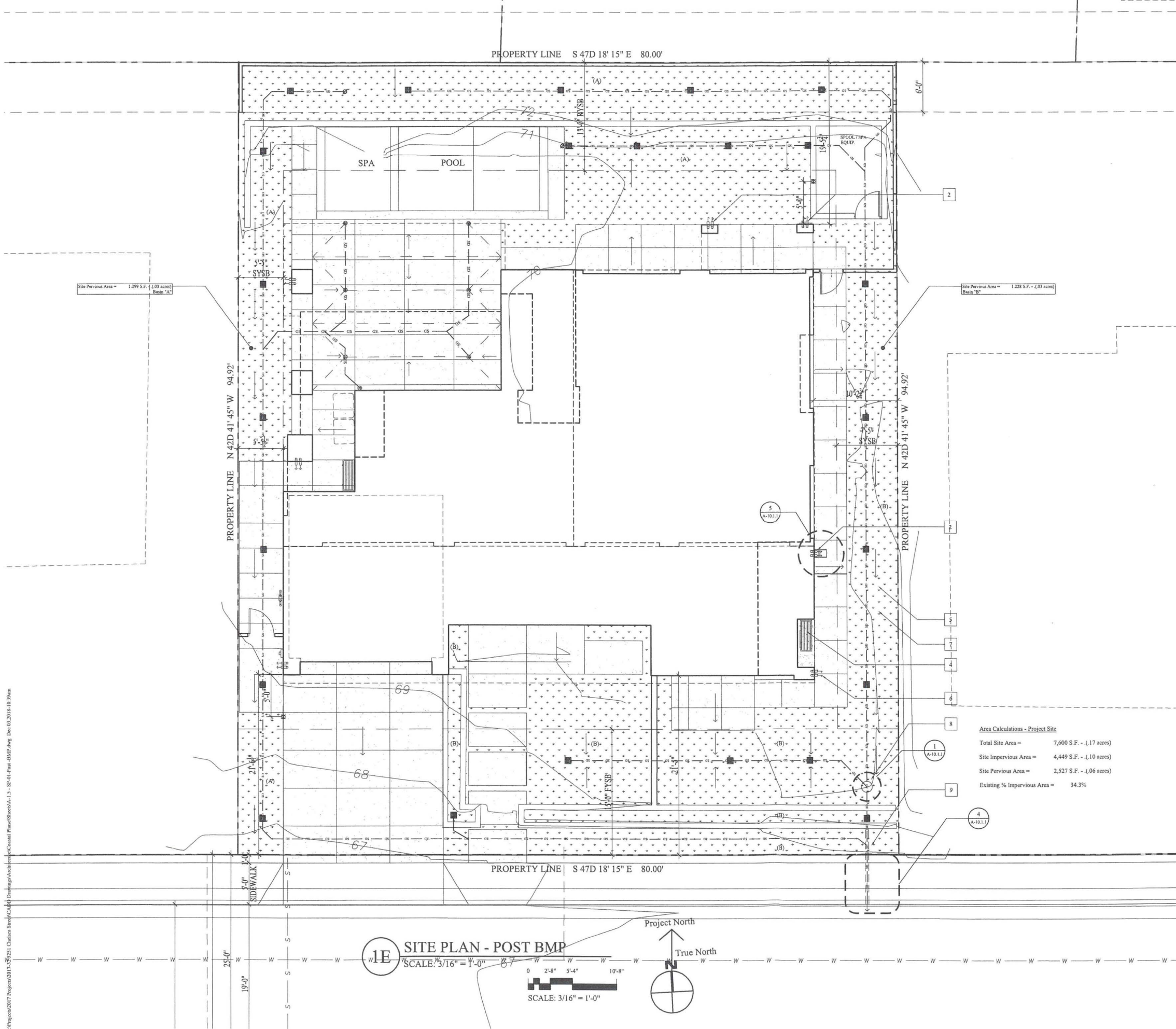
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DATE 11 - 21 - 2018

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SHEET TITLE
POST BMP PROPOSED
A-1.5
SHEET 10 OF 33



Area Calculations - Project Site

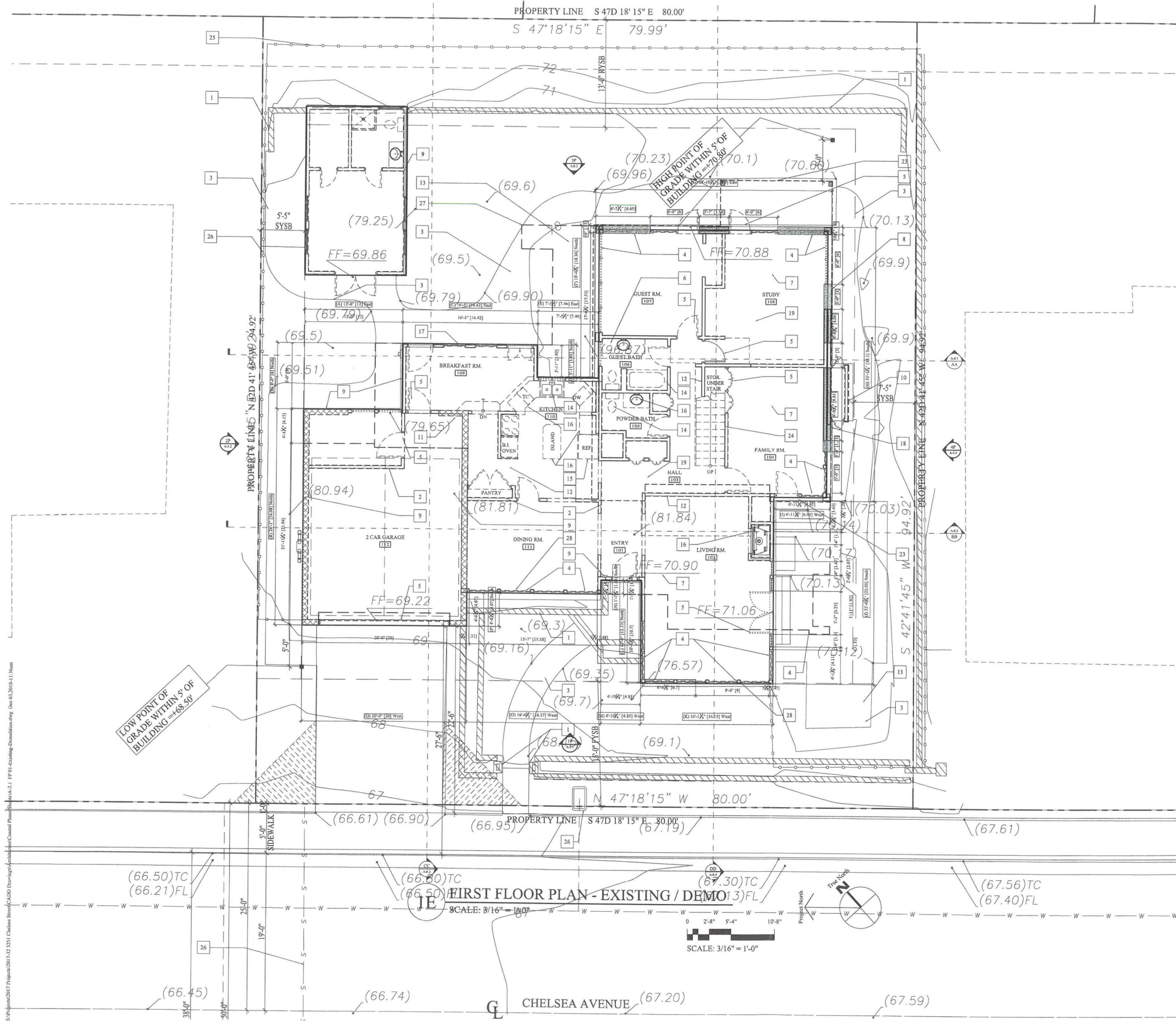
Total Site Area =	7,600 S.F. - (.17 acres)
Site Impervious Area =	4,449 S.F. - (.10 acres)
Site Permeous Area =	2,527 S.F. - (.06 acres)
Existing % Impervious Area =	34.3%

1E SITE PLAN - POST BMP
SCALE: 3/16" = 1'-0"

Project North
True North

SCALE: 3/16" = 1'-0"

S:\Projects\2017 Projects\017 Chelsea Street\CAD\Drawings\Architectural\Coastal Phase\Sheets\A-1.5 - Site Plan - Post-BMP.dwg, Dec 01, 2018 10:39am



DEMOLITION LEGEND Residential / Multi-Family

	EXISTING EXTERIOR WALL - TO REMAIN
	EXISTING MASONRY WALL - TO REMAIN
	EXISTING WALL - TO BE REMOVED
	EXISTING WALL TO REMAIN, OPENING TO BE INFILLED
	DIMENSION OF - WALLS TO BE REMOVED
	DIMENSION OF - WALLS TO REMAIN
	PERIMETER OF NEW PROPOSED WALLS
	OTHER ITEMS TO BE REMOVED

- DEMOLITION KEYNOTES**
- Demolish and completely remove Existing CMU Site Wall (s) - for Recycling
 - Demolish and completely remove Existing Interior Framed Wall (s) - for Recycling
 - Demolish and completely remove Existing Concrete Hardscap (s) - for Recycling
 - Carefully remove existing doors - for Recycling
 - Carefully removed existing windows - for Recycling
 - Demolish and completely remove existing cabinetry - for Recycling
 - Demolish and completely remove existing flooring, tile or carpet - for Recycling
 - Cut Concrete and remove for new sub-floor access area (30" wide)
 - Carefully remove Existing Exterior Wall (s) as shown - for Recycling
 - Remove existing FAU- Recycle unit - for Recycling
 - Remove existing Water Heater - Recycle unit
 - Demolish and strip all interior gypsum board, stucco, - for Recycling
 - Completely remove all existing landscaping & roots in area of addition and 4 feet around perimeter of existing structures. Remove all existing landscaping - for Recycling
 - Remove existing plumbing fixture - for Recycling
 - Remove existing appliance - for Recycling
 - Demolish and completely remove existing fireplace - for Recycling
 - Demolish and completely remove existing roofing, sheathing and roof framing, - for Recycling
 - Remaining exterior walls are to be braced to remain standing.
 - Inspect existing concrete foundation, floor framing and support pier and framing.
 - Tag and Expose all Water lines, Sewer lines, Gas lines and site drainage line - At Site.
 - Tag and Expose all existing Electrical, Phone lines and TV cable - At Site
 - Relocation or temporary pole for existing electric meter and sub panel for a temporary electrical power.
 - Cut openings in existing wall framing for new openings.
 - Demolish and remove existing stairs - for Recycling
 - Relocate existing fence to new location 6 inches inside of rear property line
 - Protect existing side yard fences - To Remain
 - Outline of proposed addition - See proposed floor plan for layout.
 - Demolish and remove existing foundation and portion of existing structure - See proposed plans for new layout
 - As needed, tag cut and cap all water lines, sewer lines, gas lines, drainage and irrigation lines. Tag, cut and remove all existing electrical, phone lines and TV cable from existing structure.

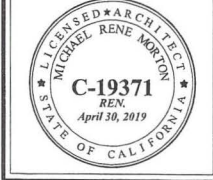
- COASTAL DEMOLITION NOTES**
- All demolished items and materials to be removed from site and safely disposed of in accordance with applicable laws & regulations, unless specified otherwise by owner.
 - This is a Coastal Project. No exterior walls to be demolished other than those specified on this sheet without prior written instruction from architect.

- DEMOLITION GENERAL NOTES**
- Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
 - Contact Dig Alert (1-800-227-2600) to verify the location of all existing utilities located on the project site or vicinity affected by the project activities prior to the start of any demolition.
 - Contractor shall verify layout of existing structure, property boundaries, location of site utilities (underground and overhead), and field conditions as shown on the plans prior to demolition.
 - Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored. Verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
 - All demolition material shall be transported off site and properly disposed of at city-approved locations by the contractor.
 - Contractor to verify Dumpster location with owner before demolition commences.
 - Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
 - Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
 - When demolition is complete, the site shall be swept clean and be prepared to receive new work.
 - Should any portion of the structure being removed produce unstable or unsafe conditions, the contractor shall provide temporary shoring and bracing.
 - If soils report not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered test or reports, or other additional issues caused by lack of information from those documents.
 - All demolition work shall include provision for material separation for City Approved construction debris recycling program. It is the contractor's responsibility to obtain "ticket" from debris hauler to verify that "recycled" content will be documented for City recycling program.
 - REFER TO SHEETS A-1.1, A-2.1, A-2.2 AND A-4.1 FOR ADDITIONAL DEMOLITION

- SPECIAL FRAMING DEMOLITION NOTES FOR COASTAL EXEMPTION**
- At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
 - The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall).
 - Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
 - The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption).
 - Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
 - The "existing walls" are those walls, which were in existence on March 17, 1990 (the date of when the ordinance adding the 50% provision became effective). Any walls added after that date will not count towards the required 50% for any remodel.
 - Reinforcement in the form of sistering members (studs and plates) is permitted.
 - Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4).
 - Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
 - Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
 - Window may either be replaced or reduced in area or dimension or they may be covered over (filled in), provided that the existing studs and headers be retained in their original position.
 - Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward.
 - Add construction notes at window and doors identifying whether these elements are existing to remain; to be filled in; to be filled in with smaller opening; to be enlarged; to be shifted; to be replaced with new window/door of the same size, etc.



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D	Coastal Response - Cycle 2	-7/27/2018
E	Coastal Permit Set	-10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11-21-2018

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, certain information. This project information that data, facts, specifications, reports, documents, and other information recorded on or transmitted in electronic media (including but not necessarily limited to "CAD documents") are subject to non-disclosure, either contractual or non-contractual, due to the nature of the project, information, information, and/or other reasons. This information is provided to you as a record document. Any reliance thereon is not warranted and is at your own risk. The signed and stamped hard copies with the seal and signature of the Architect of Record are the Architect's documents of record and are the only true contract documents of record.

SHEET TITLE
DEMOLITION PLAN EXISTING

A-2.1
 SHEET 11 OF 33

S:\Projects\2017\12\21\Chelsea Street\CADD\Drawings\Architect\Coastal Phase\Sheet\A-2.1 - FP 01-Existing-Demolitions.dwg Doc: 03/30/18-11:36am

PROPERTY LINE S 47D 18' 15" E 80.00'

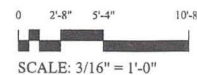
PROPERTY LINE N 42D 41' 45" W 94.92'

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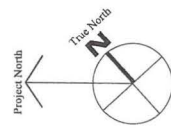
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2E SECOND FLOOR PLAN - EXISTING / DEMO

SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"



CHELSEA AVENUE

DEMOLITION LEGEND Residential / Multi-Family	
	EXISTING EXTERIOR WALL - TO REMAIN
	EXISTING MASONRY WALL - TO REMAIN
	EXISTING WALL - TO BE REMOVED
	EXISTING WALL TO REMAIN. OPENING TO BE FILLED
	DIMENSION OF - WALLS TO BE REMOVED
	DIMENSION OF - WALLS TO REMAIN
	PERIMETER OF NEW PROPOSED WALLS
	OTHER ITEMS TO BE REMOVED

- #### DEMOLITION KEYNOTES
- Demolish and completely remove Existing CMU Site Wall (s) - for Recycling
 - Demolish and complete remove Existing Exterior Framed Wall (s) - for Recycling
 - Demolish and complete remove Existing Concrete Hardscape (s) - for Recycling
 - Carefully remove existing windows - for Recycling
 - Carefully remove existing doors - for Recycling
 - Demolish and completely remove existing cabinetry - for Recycling
 - Demolish and completely remove existing flooring, tile or carpet - for Recycling
 - Cut Concrete and remove for new sub-floor access area (30" wide)
 - Carefully remove Existing Exterior Wall (s) as shown - for Recycling
 - Remove existing FAU- Recycle unit - for Recycling
 - Remove existing Water Heater - Recycle unit
 - Demolish and strip all interior gypsum board, stucco, - for Recycling
 - Completely remove all existing landscaping & roots in area of addition and 4 feet around perimeter of existing structures. Remove all existing landscaping - for Recycling
 - Remove existing plumbing fixture - for Recycling
 - Remove existing appliance - for Recycling
 - Demolish and completely remove existing fireplace - for Recycling
 - Demolish and completely remove existing roofing, sheathing and roof framing - for Recycling
 - Remaining exterior walls are to be braced to remain standing.
 - Inspect existing concrete foundation, floor framing and support pier and framing.
 - Tag and Expose all Water lines, Sewer lines, Gas lines and site drainage line - At Site.
 - Tag and Expose all existing Electrical, Phone lines and TV cable - At Site.
 - Relocation or temporary pole for existing electric meter and sub panel for a temporary electrical power.
 - Cut openings in existing wall framing for new openings.
 - Demolish and remove existing stairs - for Recycling
 - Relocate existing fence to new location 6 inches inside of rear property line
 - Practise existing site yard fences - To Remain
 - Outline of proposed addition - See proposed floor plan for layout.
 - Demolish and remove existing foundation and portion of existing structure - See proposed plans for new layout
 - As needed, tag cut and cap all water lines, sewer lines, gas lines, drainage and irrigation lines. Tag, cut and remove all existing electrical, phone lines and TV cable from existing structure.

- #### COASTAL DEMOLITION NOTES
- All demolished items and materials to be removed from site and safely disposed of in accordance with applicable laws & regulations, unless specified otherwise by owner.
 - This is a Coastal Project. No exterior walls to be demolished other than those specified on this sheet without prior written instruction from architect.

- #### DEMOLITION GENERAL NOTES
- Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
 - Contact Dig Alert (1-800-227-2600) to verify the location of all existing utilities located on the project site or vicinity affected by the project activities prior to the start of any demolition.
 - Contractor shall verify layout of existing structure, property boundaries, location of site utilities (underground and overhead), and field conditions as shown on the plans prior to demolition.
 - Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored. Verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
 - All demolition material shall be transported off site and properly disposed of at city-approved locations by the contractor.
 - Contractor to verify Dumpster location with owner before demolition commences.
 - Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
 - Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
 - When demolition is complete, the site shall be swept clean and be prepared to receive new work.
 - Should any portion of the structure being removed produce unstable or unsafe conditions, the contractor shall provide temporary shoring and bracing.
 - If soils report not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered test or reports, or other additional issues caused by lack of information from those documents.
 - All demolition work shall include provision for material separation for City Approved construction debris recycling program. It is the contractor's responsibility to obtain "ticket" from debris hauler to verify that "recycled" content will be documented for City recycling program.
 - REFER TO SHEETS A-1.1, A-2.1, A-2.2 AND A-4.1 FOR ADDITIONAL DEMOLITION

- #### SPECIAL FRAMING DEMOLITION NOTES FOR COASTAL EXEMPTION
- At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
 - The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall).
 - Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
 - The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption).
 - Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
 - The "existing walls" are those walls, which were in existence on March 17, 1990 (the date of when the ordinance adding the 50% provision became effective). Any walls added after that date will not count towards the required 50% for any remodels.
 - Reinforcement in the form of sintering members (studs and plates) is permitted.
 - Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4).
 - Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
 - Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
 - Window may either be replaced or reduced in area or dimension or they may be covered over (filled in), provided that the existing studs and headers be retained in their original position.
 - Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward.
 - Add construction notes at window and doors identifying whether these elements are existing to remain; to be filled in; to be filled in with smaller opening; to be enlarged; to be shifted; to be replaced with new window/door of the same size; etc.



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All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

- #### REVISIONS
- A Concept Design 11/01/2017
 - B Schematic Design 12/19/2017
 - C Coastal Phase 05/31/2018
 - D Coastal Response - Cycle 2 - 7/27/2018
 - E Coastal Permit Set - 10/15/2018



PHASE COASTAL PHASE

PROJECT NO. 2017-32

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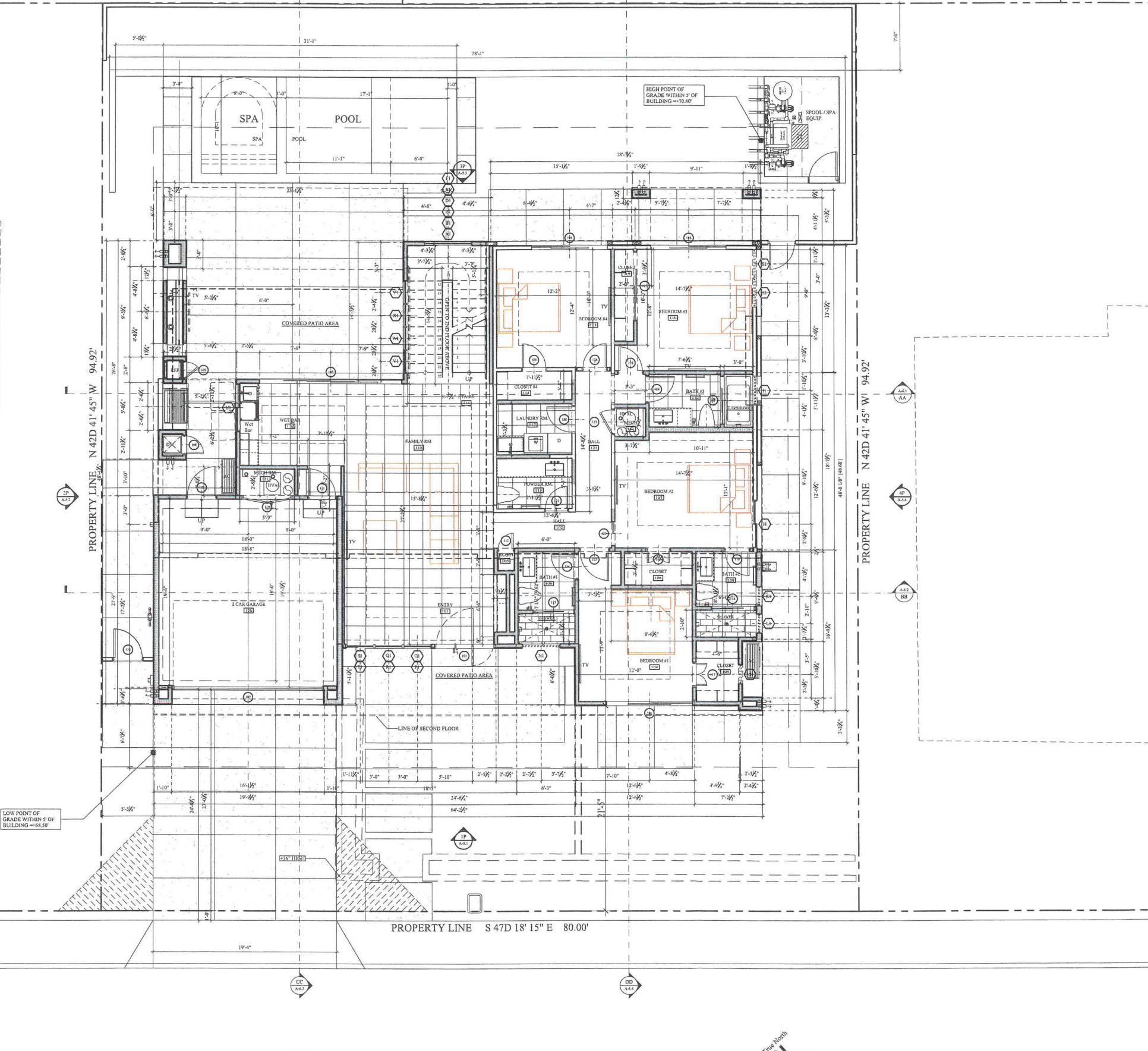
DATE 11 - 21 - 2018

Marengo Morton Architects, Inc. is providing, by agreement with the client, professional design services. The parties agree that this agreement, including all attachments, shall constitute the entire agreement between the parties. This agreement shall be governed by the laws of the State of California. The client and architect agree that the architect's liability shall be limited to the amount of the fee for the services provided. The architect and client agree that the architect's liability shall not be limited to the amount of the fee for the services provided. The architect and client agree that the architect's liability shall not be limited to the amount of the fee for the services provided.

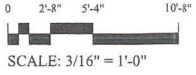
SHEET TITLE
DEMOLITION PLAN
EXISTING
A-2.2
SHEET 12 OF 33

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PROPERTY LINE S 47D 18' 15" E 80.00'



1E FIRST FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"



CHELSEA AVENUE

FLOOR PLAN LEGEND

- EXISTING 2 x 4 WOOD STUD WALLS - To Remain Were Shown on Plan
- EXISTING 2 x 6 WOOD STUD WALLS - To Remain Were Shown on Plan
- EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
- EXISTING MASONRY WALLS - TO REMAIN
- NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
- NEW WALL: 2 X 6 WOOD STUD WALL @ 16" O.C. - or as called out on plans
- NEW MASONRY WALL - SEE ARCHITECTURAL DETAILS OR STRUCTURAL PLANS FOR THICKNESS AND TYPE.
- STRUCTURAL STEEL POST OR COLUMN. SEE STRUCTURAL PLAN FOR ITEM.
- ONE HOUR CONSTRUCTION PERM. W/ 5/8" TYPE "X" GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO), SEE DETAIL 7-A-10.2.2
- EXISTING / NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON SHEET A-8.1
- EXISTING / NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON SHEET A-8.1
- SMOKE DETECTOR, CARBON MONOXIDE SENSOR - PERM. W/ 7/8" EXTERIOR PLASTER (STUCCO) BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- LANDSCAPE AREAS

FLOOR PLAN LEGEND NOTES

- NEW DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- NEW POCKET DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB FROM ADJACENT WALL UNLESS OTHERWISE NOTED

- FLOOR PLAN DIMENSIONS**
- A. EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD/FOUNDATION FACE OR BLOCK /STEM WALL FACE. UNLESS NOTED OTHERWISE (U.N.O.)
 - B. INTERIOR WALL DIMENSIONS TO CENTERLINE OF WALL STUD (O.N.O.)
 - C. CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.
 - D. EXISTING WALLS MEASURED TO FINISH FACE OF WALL MATERIAL (U.N.O.)
 - E. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

PLAN LAYOUT
These plans reflect as accurately as possible the as-built conditions on the site. Small dimensional variation may exist in some locations (generally less than 1 inch). If variations to these plans are encountered greater than this, please notify the Architect. Concealed and /or hidden structural, electrical plumbing or mechanical items may be encountered.

FLOOR PLAN KEYNOTES

- 1. PARKING SPACE: 9'-0" x 19'-0" parking space outline - dashed
- 2. APPLIANCE: See Appliance Schedule - A-2.2
- 3. OUTLINE OF EQUIPMENT: Existing Revised, See Sheet A-4.2
- 4. BALCONY - TILED: See Balcony Notes and Details
- 5. NEW CABINETRY: See Interior Elevations - A-7.1
- 6. EXTERIOR HARDSCAPE: See Site / Landscape Plan - A-1.2
- 7. ELECTRICAL SERVICE: New Service Meter - See AE-11.1
- 8. FIREPLACE: See Equipment Unit List - A-8.2
- 9. FORCED AIR UNIT: See Mechanical Plan - AM-13.1
- 10. GUARDRAIL: +42" High Minimum, See Detail 7/A10.8.1
- 11. GAS METER: See Electrical Plan - AE-11.1
- 12. HANGING POLE & SHELF: Chrome pole & Escutcheon, Melamine shelf
- 13. LINE OF BALCONY ABOVE: See Second Floor Plan - A-2.4
- 14. LINE OF SOFFIT ABOVE: See Reflected Ceiling Plan - A-3.1
- 15. SITE GATE: See Site / Landscape Plan - A-1.4
- 16. PLUMBING FIXTURE: See Plumbing Schedule - A-8.2
- 17. SITE STAIRS: See Site Plan A-1.3 or Floor Plan A-2.3
- 18. STAIR HANDRAIL: 1-1/2" Diameter min. see Detail 6-10.8.1
- 19. SITE WALL: See Site / Landscape Plan - A-1.2
- 20. UPPER CABINETS: See - Interior Elevation Sheet A-7.1
- 21. WATER HEATER UNIT: See Mechanical Notes and Schedule - AM-12.1
- 22. TILE/STONE FLOORING: See Floor Plan Schedule - 2.5
- 23. SITE STAIR AND WALKWAY: See First Floor Plan - See Detail 5/A-10.8.1
- 24. TRELLIS: See Floor Plan - See Detail 5/A-10.1.4
- 25. LINE OF DRAPERY POCKET: See Sheet - A-3.1
- 26. NEW COUNTERTOP: See Interior Elevation - Sheet 10.7.1 Series

FLOOR PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of the Architect. Do not proceed with work until written or verbal instructions are issued by the Architect's office.
- E. Refer to Site Plan for Site and Utility Information See Sheet A-1.2
- F. For Door and Windows See Schedules On Sheet 8.1
- G. For Interior Finish See Schedule On Sheet 8.1
- H. For Electrical and Electrical Fixtures See Sheet AE-11.1
- I. For Demolition See Sheet A-2.1
- J. For Plumbing, Appliance and other Fixtures See Schedule on Sheet A-8.2
- K. WALL INSULATION: R-13 Batt Insulation At All Exterior 2 X 4 Walls. R-19 @ 2 x 6 walls
R-13 Batt Insulation at all accessible interior walls for sound control
R-19 Batt Insulation at 2 X 12 Raised Floor & none @ concrete floor.
R-19 Batt Insulation at Roof or Attic Areas
R-5.0 Insulation Wrap on All New Supply and Return Ducts.
- L. PIPING INSULATION THICKNESS REQUIRED (in inches)
Domestic hot water (above 105°F) 1.0 to 1.5 Inches
Cooling system refrigerant suction, chilled water and brine lines 0.75 to 1.0 Inches
HVAC DUCTS: See Mechanical Notes on Sheet ME-13.1
- M. HVAC Equipment: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
- N. WATER HEATER: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
- O. SMOKE DETECTORS: Single or multiple -station smoke alarms shall be installed and maintained on the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms, in each room used for sleeping purposes, in access points to reach sleeping areas & in each story within a dwelling unit, include basement, but not including crawl space and uninhabitable attics. Provide smoke alarms at the locations, specified on the electrical plans, or floor plans. Detector shall have an alarm audible in all sleeping areas of the unit. (CBC Section 907.2.10.1.2)
- P. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms shall emit an s signal when the batteries area low. Wiring shall be permanent and without a disconnecting switch other than as required for over current protection. Where more than one smoke alarm is required to be installed, the smoke alarms shall be interconnected in such a manner, that the activation of one alarm will activate all the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening door closed. (CBC section 907.2.10.1.3)
- Q. Carbon Monoxide alarms, interconnected and hard-wired with battery back-up are required in dwelling units within which fuel-burning appliances are installed or that have attached garages. Carbon Monoxide alarms are required at the following locations: 1) Outside each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s). 2) On every level of a dwelling unit including basements. (See R315.3)
- R. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GMP and a larger meter size requirement.



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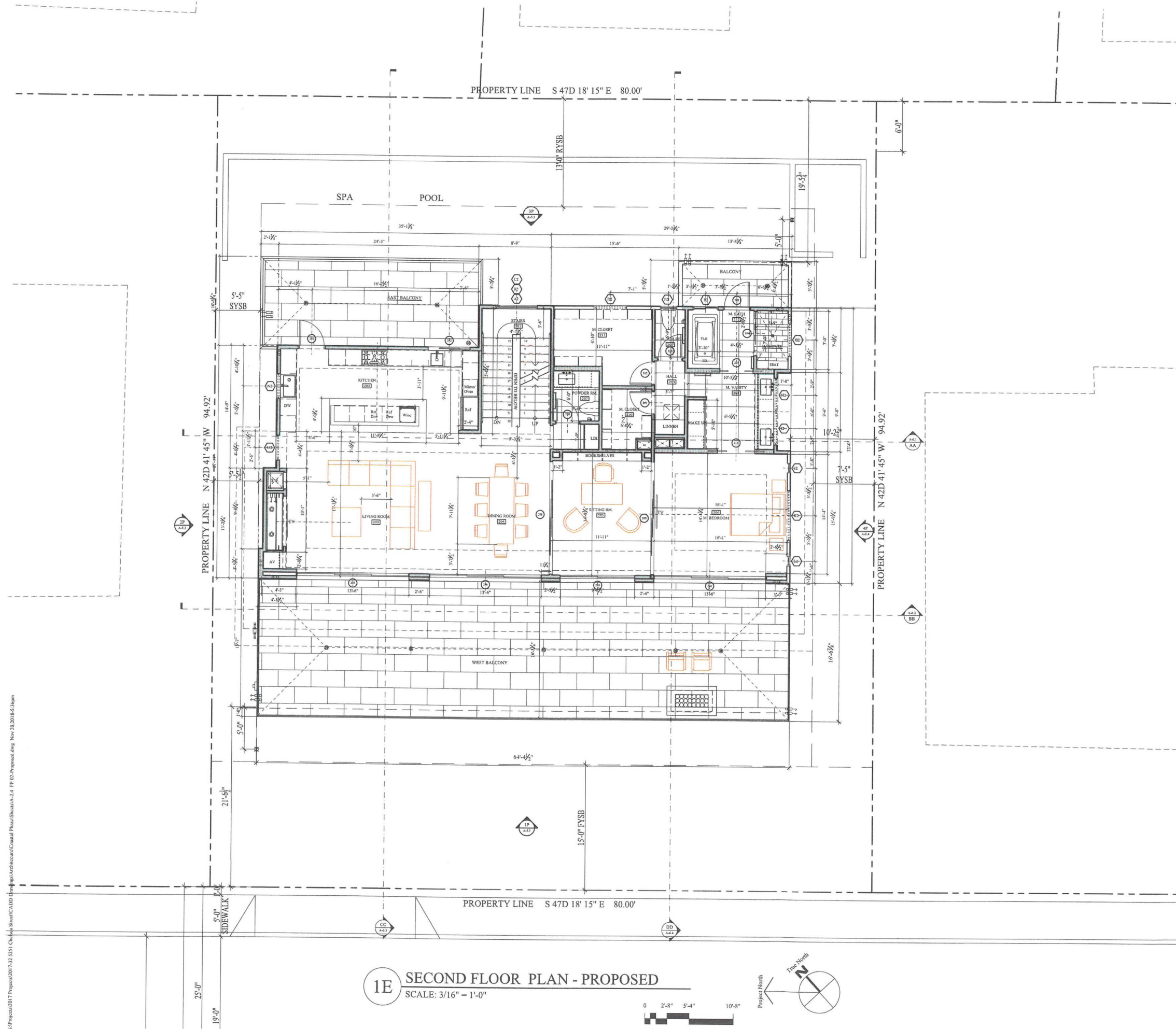
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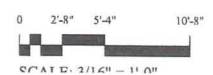
SHEET TITLE
FIRST FLOOR PLAN
PROPOSED

A-2.3
SHEET 13 OF 33

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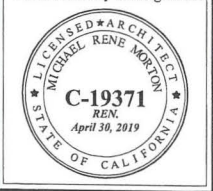
1E SECOND FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"



FLOOR PLAN LEGEND	
	EXISTING 2 x 4 WOOD STUD WALLS - To Remain Were Shown on Plans
	EXISTING 2 x 6 WOOD STUD WALLS - To Remain Were Shown on Plans Note: The majority of the exterior walls are 2 x 4 stud walls w/6 x 6 posts
	EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
	EXISTING MASONRY WALLS - TO REMAIN
	NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
	NEW WALL: 2 X 6 WOOD STUD WALL @ 16" O.C. - or as called out on plans
	NEW MASONRY WALL - SEE ARCHITECTURAL DETAILS OR STRUCTURAL PLANS FOR THICKNESS AND TYPE
	STRUCTURAL STEEL POST OR COLUMN - SEE STRUCTURAL PLAN FOR ITEM
	ONE HOUR CONSTRUCTION 2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO), SEE DETAIL 7-A-10.2.2
	EXISTING / NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON SHEET A-8.1
	EXISTING / NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON SHEET A-8.1
	SMOKE DETECTOR, CARBON MONOXIDE SENSOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
	LS LANDSCAPE AREAS
FLOOR PLAN LEGEND NOTES	
	NEW DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	NEW POCKET DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB FROM ADJACENT WALL UNLESS OTHERWISE NOTED
FLOOR PLAN DIMENSIONS	
A.	EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD/FOUNDATION FACE OR BLOCK /STEM WALL FACE. UNLESS NOTED OTHERWISE (U.N.O.)
B.	INTERIOR WALL DIMENSIONS TO CENTERLINE OF WALL STUD (O.N.O.)
C.	CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.
D.	EXISTING WALLS MEASURED TO FINISH FACE OF WALL MATERIAL (U.N.O.)
E.	FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.
PLAN LAYOUT	
These plans reflect as accurately as possible the as-built conditions on the site. Small dimensional variation may exist in some locations (generally less than 1 inch). If variations to these plans are encountered greater than this, please notify the Architect. Concealed and/or hidden structural, electrical plumbing or mechanical items may be encountered.	
FLOOR PLAN KEYNOTES	
1.	PARKING SPACE: 9'-0" x 19'-0" parking space outline - dashed
2.	APPLIANCE: See Appliance Schedule - A-8.2
3.	OUTLINE OF EQUIPMENT: Existing Revised, See Sheet A-4.2
4.	BALCONY - TILED: See Balcony Notes and Details
5.	NEW CABINETRY: See Interior Elevations - A-7.1
6.	EXTERIOR HARDSCAPE: See Site / Hardscape Plan - A-1.2
7.	ELECTRICAL SERVICE: New Service Meter - See AE-11.1
8.	FIREPLACE: See Equipment Unit List - A-8.2
9.	FORCED AIR UNIT: See Mechanical Plan - AM-13.1
10.	GUARDRAIL: 42" High Minimum. See Detail 7/A10.8.1
11.	GAS METER: See Electrical Plan - AE-11.1
12.	HANGING POLE & SHELF: Chrome pole & Escutcheon, Melamine shelf
13.	LINE OF BALCONY ABOVE: See Second Floor Plan - A-2.4
14.	LINE OF SOFFIT ABOVE: See Reflected Ceiling Plan - A-3.1
15.	SITE GATE: See Site / Hardscape Plan - A-1.4
16.	PLUMBING FIXTURE: See Plumbing Schedule - A-8.2
17.	SITE STAIRS: See Site Plan A-1.3 or Floor Plan A-2.3
18.	STAIR HANDRAIL: 1-1/2" Diameter min. see Detail 6/10.8.1
19.	SITE WALL: See Site / Hardscape Plan - A-1.2
20.	UPPER CABINETS: See - Interior Elevation Sheet A-7.1
21.	WATER HEATER UNIT: See Mechanical Notes and Schedule - AM-12.1
22.	TILE/STONE FLOORING: See Floor Plan Schedule - 2.5
23.	SITE STAIR AND WALKWAY: See First Floor Plan - See Detail 5/A-10.8.1
24.	TRELLIS: See Floor Plan - See Detail 5/A-10.1.4
25.	LINE OF DRAPERY POCKET: See Sheet - A-3.1
26.	NEW COUNTERTOP: See Interior Elevation - Sheet 10.7.1 Series
FLOOR PLAN NOTES	
A.	The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
B.	Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
C.	The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
D.	Any discrepancies with this drawing affecting project layout shall be brought to the attention of the Architect. Do not proceed with work until written or verbal instructions are issued by the Architect's office.
E.	Refer to Site Plan for Site and Utility Information. See Sheet A-1.2
F.	For Door and Windows See Schedules On Sheet 8.1
G.	For Interior Finish See Schedule On Sheet 8.1
H.	For Electrical and Electrical Fixtures See Sheet AE-11.1
I.	For Demolition See Sheet A-2.1
J.	For Plumbing, Appliance and other Fixtures See Schedule on Sheet A-8.2
K.	WALL INSULATION: R-13 Batt Insulation At All Exterior 2 X 4 Walls. R-19 @ 2 x 6 walls R-13 Batt Insulation at all accessible interior walls for sound control. R-19 Batt Insulation at 2 X 12 Raised Floor & none @ concrete floors. R-19 Batt Insulation at Roof or Attic Areas R-6.0 Insulation Wrap on All New Supply and Return Ducts.
L.	PIPING INSULATION THICKNESS REQUIRED (in inches) Cooling system refrigerant suction, chilled water and brine lines 0.75 to 1.0 inches Domestic hot water (above 105°F) 1.0 to 1.5 inches
M.	HVAC DUCTS: See Mechanical Notes on Sheet ME-13.1
N.	HVAC Equipment: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
O.	WATER HEATER: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
P.	SMOKE DETECTORS: Single or multiple-station smoke alarms shall be installed and maintained on the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms, in each room used for sleeping purposes, in access points to reach sleeping areas, in each story within a dwelling unit, include basement, but not including crawl space and uninhabitable attics. Provide smoke alarms at the locations, specified on the electrical plans, or floor plans. Detector shall have an alarm audible in all sleeping areas of the unit. (CBC Section 907.2.10.1.2)
Q.	In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for over current protection.
R.	Where more than one smoke alarm is required to be installed, the smoke alarms shall be interconnected in such a manner, that the activation of one alarm will activate all the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening door closed. (CBC section 907.2.10.3)
S.	Carbon Monoxide alarms, interconnected and hard-wired with battery back-up are required in dwelling units within which fuel-burning appliances are installed or that have attached garages. Carbon Monoxide alarms are required at the following locations: 1) Outside each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s); 2) On every level of a dwelling unit including basements. (See R313.3)
T.	After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GMP and a larger meter size requirement.
Owner signature: _____	



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CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

REVISIONS
A Concept Design 11/01/2017
B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response-Cycle 2 -7/27/2018
E Coastal Permit Set - 10/15/2018



PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

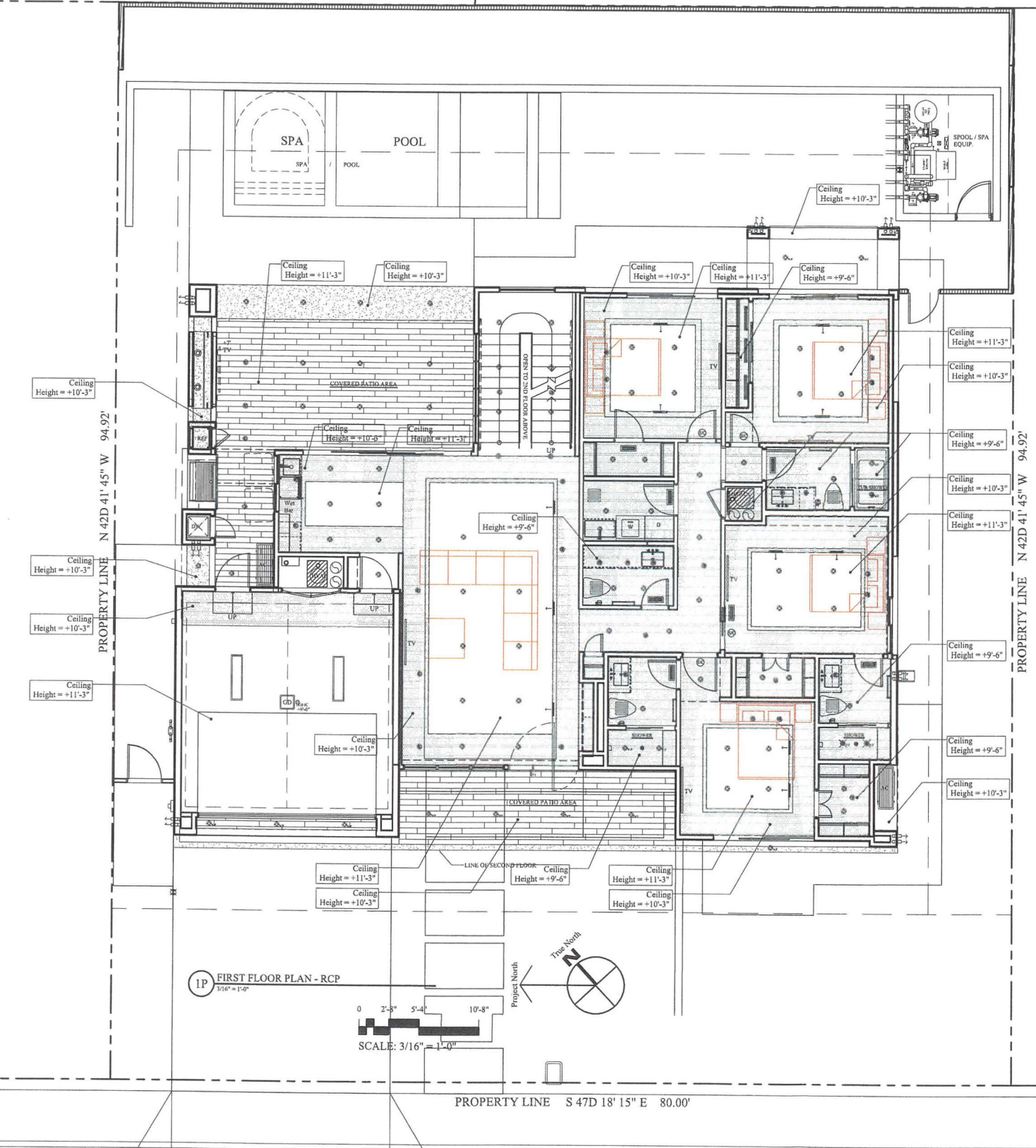
DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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SHEET TITLE
SECOND FLOOR PLAN
PROPOSED
A-2.4
SHEET 14 OF 33

PROPERTY LINE S 47D 18' 15" E 80.00'

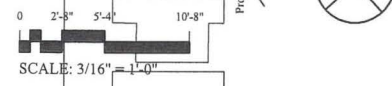


PROPERTY LINE N 42D 41' 45" W 94.92'

PROPERTY LINE N 42D 41' 45" W 94.92'

PROPERTY LINE S 47D 18' 15" E 80.00'

1P FIRST FLOOR PLAN - RCP
3/16" = 1'-0"



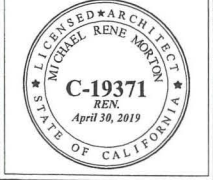
- SUNSHADE NOTES:**
- Sunshade System LUTRON - Or Equal
110 Volt outlet for power
a) Lutron Customer services / quotes: 1-800-446-1503, email: shadinginfo@lutron.com
b) Type - Lutron, Sivoia Roller 100 system - (1) Single or (2) Double Roller system
c) Length - per plan
2) Shade Type 1A - Single Roller - with Sheer Shade Fabric - (5)
a) Single roller system with Aluminum fascia cover, provide 110 Volt outlet for power
 - Shade Type 2B - Double Roller - Blackout Fabric with Sheer Shade Fabric - (4 & 5)
a) Double roller system with Aluminum fascia cover, provide 110 Volt outlet for power
 - Fabric - BLACKOUT
a) Manufacturer: LUTRON
b) Type - Blackout
c) Name: Value Premiere
d) Fabric P/N: BP-P64-0
e) Opennes Factor: 0%
f) Usable Roll Width: 92 in
g) Railroad able: Yes
h) Color: Sand
 - Fabric - SHEER SHADE
a) Manufacturer: LUTRON
b) Type: Sheer Shade
c) Name: Value Select 2
d) Fabric P/N: VS2-201-8
e) Opennes Factor: 3%
f) Usable Roll Width: 98 in
g) Railroad able: Yes
h) Color: Pearl
 - Cover - Aluminum Fascia cover - "White" - Prime and paint to match wall color
 - Provide separate wall control switch for each shade & door

- REFLECTED CEILING LEGEND RESIDENTIAL**
- DROPPED CEILING OR SOFFIT AREA - SEE DETAIL FOR FRAMING
 - FRAMED GYPSUM CEILING SYSTEM REFER TO DETAIL FOR 1/2" GYPSUM BOARD
 - FRAMED PLASTER CEILING SYSTEM REFER TO DETAIL
 - WOOD CEILING SOFFIT
 - STRUCTURAL BEARING WALL
 - ONE - HOUR RATED NON-STRUCTURAL PARTITION WALL
 - NON-RATED NON-STRUCTURAL PARTITION WALL
 - STRUCTURAL STEEL POST OR COLUMN. SEE STRUCTURAL PLAN FOR ITEM.
 - WINDOW UNIT - SEE WINDOW SCHEDULE
 - DOOR UNIT - SEE DOOR SCHEDULE
 - PORTABLE FIRE EXTINGUISHER CABINET
 - EXIT SIGN (DIRECTIONAL)
 - EMERGENCY LIGHT W/ BATTERY BACKUP
 - FIRE ALARM PULL STATION
 - FIRE ALARM - ENUNCIATOR, BELL OR ALARM STATION
 - 2' X 4' RECESSED FLUORESCENT NIGHT LIGHT FIXTURE
 - 2' X 4' RECESSED FLUORESCENT LIGHT FIXTURE
 - 2' X 4' RECESSED FLUORESCENT EMERGENCY LIGHT FIXTURE
 - 1' X 4' RECESSED FLUORESCENT LIGHT FIXTURE
 - 1' X 4' RECESSED FLUORESCENT EMERGENCY LIGHT FIXTURE
 - 2' X 2' RECESSED FLUORESCENT LIGHT FIXTURE
 - 2' X 2' RECESSED FLUORESCENT NIGHT LIGHT FIXTURE
 - 2' X 2' RECESSED FLUORESCENT EMERGENCY LIGHT FIXTURE
 - ROOF EAVE VENT
 - STUCCO SOFFIT DRIP EDGE
 - SMOKE DETECTOR / CARBON MONOXIDE SENSOR
 - 4" SMALL RECESSED EYEBALL-20" AWAY FROM WALL
 - 5" RECESSED EYEBALL-20" AWAY FROM WALL
 - MULTI AIM UNITE - 3 LED PROJECTOR
 - WALL MOUNTED LIGHT (Fluorescent or LED Fixture)
 - WALL MOUNTED LIGHT
 - 4" SMALL RECESSED DOWN LIGHT
 - 5" RECESSED DOWN LIGHT
 - PENDENT LIGHT FIXTURE
 - RECESSED DOWN LIGHT (WATER PROOF)
 - EXTERIOR LED OR SPECED RECESSED DOWN LIGHT
 - CEILING MOUNTED FAN (OR COVER PLATE)
 - 1' X 1' CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
 - 1' X 4' CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
 - 2' X 4' CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
 - ATTIC ACCESS OPENING
 - EXISTING FIXTURE
 - EXHAUST FAN - 5 AIR CHANGES PER HOUR
 - CEILING MOUNTED LIGHT (Chandelier or Pendant Fixture)
 - CEILING MOUNTED DRAPERY - Lutroa or Equal - See Drapery Notes
 - 2' X 2' RETURN AIR REGISTER
 - 2' X 2' SUPPLY AIR REGISTER
 - SKYLIGHT OPENING
 - CEILING MOUNTED RETURN AIR GRILL
 - CEILING MOUNTED SUPPLY AIR REGISTER (10 X14)
 - CEILING MOUNTED SUPPLY AIR GRILLE (4" x 14")
 - CEILING MOUNTED GARAGE DOOR OPENER
 - CEILING MOUNTED SPEAKER
 - AUTOMATIC SPRINKLER HEAD - Viking concealed pop-down type
 - HOSE BIBB (WATER) 1/2 INCH
 - GAS OUTLET

- RCP NOTES RESIDENTIAL**
- REFLECTED CEILING NOTES:**
- All ceiling heights shown are from top of floor slab (T.O.S.) or floor sheathing (TOFS) to bottom of ceiling joist.
 - All dimension and ceiling heights shall be field verified.
 - This plan is for general reference only, refer to other plans for complete information.
 - For complete finish information see sheet A-8.1
 - For electrical information see sheets AE-11.1 and AE-11.2
 - For mechanical information see sheets AM-13.1
- REFLECTED CEILING KEYNOTES:**
- New Exterior Stucco - Per Exterior Finish Notes
 - Stucco Expansion Joint - See Detail
 - Vinyl Edge Drip - Per Exterior Finish Notes
 - Wood Soffit - Per Exterior Finish Notes
 - Vented Soffit Screed - Per Exterior Finish Notes
 - Light Fixture - see Electrical Fixture Schedule
 - Open Wood Screen - See Detail



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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

- REVISIONS**
- Concept Design 11/01/2017
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 - Coastal Response - Cycle 2 - 7/27/2018
 - Coastal Permit Set - 10/15/2018

PHASE COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY: MRM

DRAWN BY: MRM / FG / JS

DATE 11 - 21 - 2018

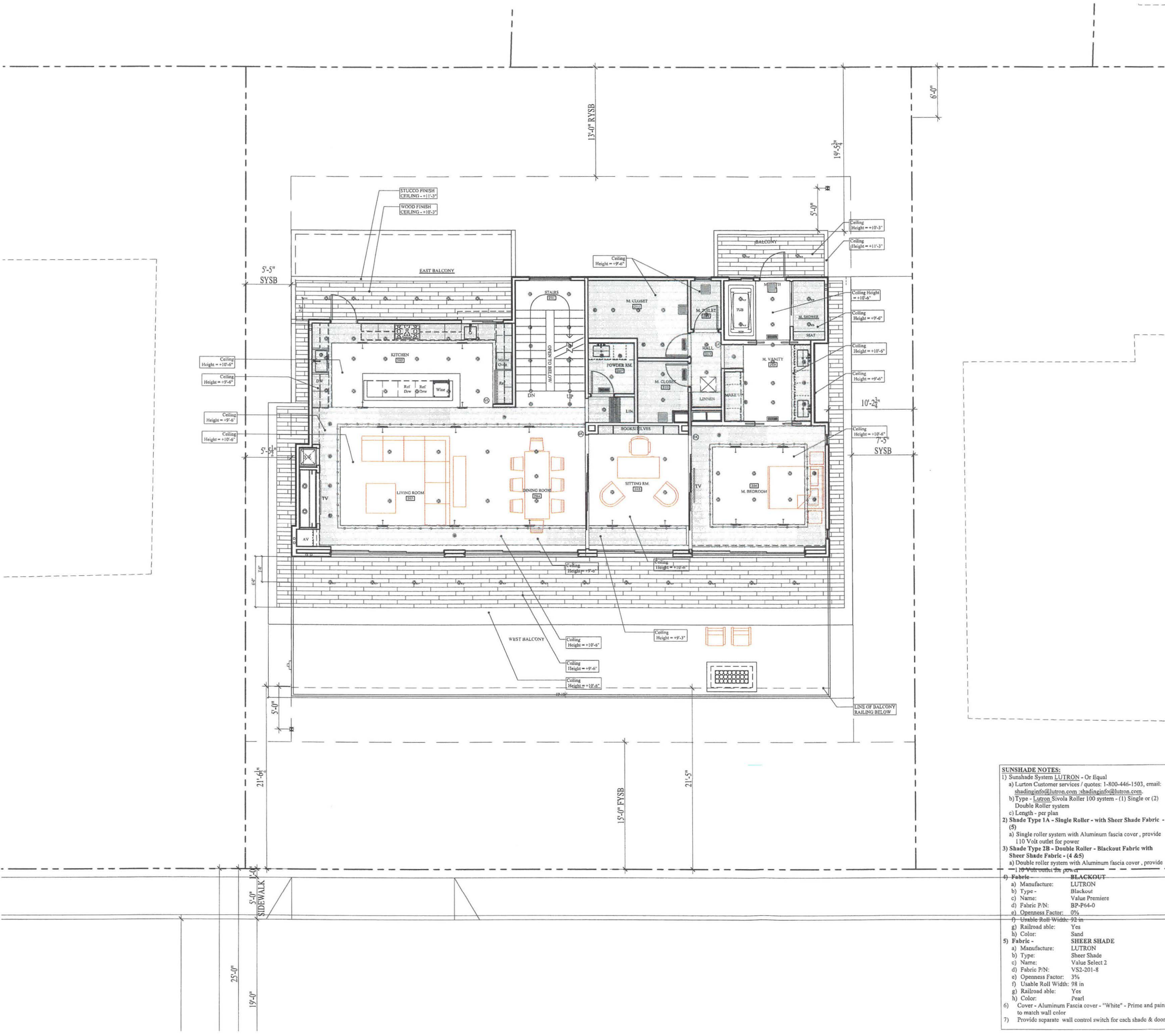
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SHEET TITLE RCP PLAN- FIRST FLOOR PROPOSED

A-3.1 SHEET 15 OF 33

S:\Projects\2017 Projects\2017-32-3251 Chelsea Street\Architectural\Coastal Phase\Sheet\A-3.1 - RCP.rvt RCP-Proposed.dwg Nov 21, 2018 9:59am

S:\Projects\2017\Projects\2017-32-251 Chelsea Street\CADD Drawings\Architectural\Ceiling Plan\Sheet A-3.2 - RCP.dwg RCP-Prepared.dwg Nov 21, 2018 8:10:00am



SUNSHADE NOTES:
 1) Sunshade System LUTRON - Or Equal
 a) Lutron Customer services / quotes: 1-800-446-1503, email: shadinginfo@lutron.com; shadinginfo@lutron.com
 b) Type - Lutron Sivoia Roller 100 system - (1) Single or (2) Double Roller system
 c) Length - per plan
 2) Shade Type 1A - Single Roller - with Sheer Shade Fabric - (5)
 a) Single roller system with Aluminum fascia cover, provide 110 Volt outlet for power
 3) Shade Type 2B - Double Roller - Blackout Fabric with Sheer Shade Fabric - (4 & 5)
 a) Double roller system with Aluminum fascia cover, provide 110 Volt outlet for power
 4) Fabric - **BLACKOUT**
 a) Manufacturer: LUTRON
 b) Type - Blackout
 c) Name: Value Premiere
 d) Fabric P/N: BP-P64-0
 e) Openness Factor: 0%
 f) Usable Roll Width: 92 in
 g) Railroad able: Yes
 h) Color: Sand
 5) Fabric - **SHEER SHADE**
 a) Manufacturer: LUTRON
 b) Type: Sheer Shade
 c) Name: Value Select 2
 d) Fabric P/N: VS2-201-8
 e) Openness Factor: 3%
 f) Usable Roll Width: 98 in
 g) Railroad able: Yes
 h) Color: Pearl
 6) Cover - Aluminum Fascia cover - "White" - Prime and paint to match wall color
 7) Provide separate wall control switch for each shade & door

REFLECTED CEILING LEGEND RESIDENTIAL	
	DROPPED CEILING OR SOFFIT AREA - SEE DETAIL FOR FRAMING
	FRAMED GYPSUM CEILING SYSTEM REFER TO DETAIL FOR 1/2" GYPSUM BOARD
	FRAMED PLASTER CEILING SYSTEM REFER TO DETAIL
	WOOD CEILING SOFFIT
	STRUCTURAL BEARING WALL
	ONE-HOUR RATED NON-STRUCTURAL PARTITION WALL
	NON-RATED NON-STRUCTURAL PARTITION WALL
	STRUCTURAL STEEL POST OR COLUMN. SEE STRUCTURAL PLAN FOR ITEM.
	WINDOW UNIT - SEE WINDOW SCHEDULE
	DOOR UNIT - SEE DOOR SCHEDULE
	PORTABLE FIRE EXTINGUISHER CABINET
	EXIT SIGN (DIRECTIONAL)
	EMERGENCY LIGHT W/ BATTERY BACKUP
	FIRE ALARM PULL STATION
	FIRE ALARM - ENUNCIATOR, BELL OR ALARM STATION
	2' X 4' RECESSED FLUORESCENT NIGHT LIGHT FIXTURE
	2' X 4' RECESSED FLUORESCENT LIGHT FIXTURE
	2' X 4' RECESSED FLUORESCENT EMERGENCY LIGHT FIXTURE
	1' X 4' RECESSED FLUORESCENT LIGHT FIXTURE
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	2' X 2' RECESSED FLUORESCENT LIGHT FIXTURE
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	ROOF EAVE VENT
	STUCCO SOFFIT DRIP EDGE
	SMOKE DETECTOR / CARBON MONOXIDE SENSOR
	4" SMALL RECESSED EYEBALL-20" AWAY FROM WALL
	5" RECESSED EYEBALL-20" AWAY FROM WALL
	MULTI AIM UNIT - 3 LED PROJECTOR
	WALL MOUNTED LIGHT (Fluorescent or LED Fixture)
	WALL MOUNTED LIGHT
	4" SMALL RECESSED DOWN LIGHT
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	PENDANT LIGHT FIXTURE
	RECESSED DOWN LIGHT (WATER PROOF)
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	CEILING MOUNTED FAN (OR COVER PLATE)
	1' X 1' CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
	1' X 4' CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
	2' X 4' CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
	ATTIC ACCESS OPENING
	EXISTING FIXTURE
	EXHAUST FAN - 5 AIR CHANGES PER HOUR
	CEILING MOUNTED LIGHT (Chandelier or Pendant Fixture)
	CEILING MOUNTED DRAPERY - Lutron or Equal - See Drapery Note
	2' X 2' RETURN AIR REGISTER
	2' X 2' SUPPLY AIR REGISTER
	SKYLIGHT OPENING
	CEILING MOUNTED RETURN AIR GRILLE
	CEILING MOUNTED SUPPLY AIR REGISTER (10 X 14)
	CEILING MOUNTED SUPPLY AIR GRILLE (4 X 14)
	CEILING MOUNTED GARAGE DOOR OPENER
	CEILING MOUNTED SPEAKER
	AUTOMATIC SPRINKLER HEAD - Viking concealed pop-down type
	HOSE BIBB (WATER) 1/2 INCH
	GAS OUTLET

RCP NOTES RESIDENTIAL
 REFLECTED CEILING NOTES:
 A. All ceiling heights shown are from top of floor slab (T.O.S.) or floor sheathing (TOFS) to bottom of ceiling joint.
 B. All dimension and ceiling heights shall be field verified.
 C. This plan is for general reference only, refer to other plans for complete information.
 D. For complete finish information see sheet A-8.1
 E. For electrical information see sheets AE-11.1 and AE-11.2
 F. For mechanical information see sheets AM-13.1
REFLECTED CEILING KEYNOTES:
 1) New Exterior Stucco - Per Exterior Finish Notes
 2) Stucco Expansion Joint - See Detail
 3) Vinyl Edge Drip - Per Exterior Finish Notes
 4) Wood Soffit - Per Exterior Finish Notes
 5) Vented Soffit Screenshot - Per Exterior Finish Notes
 6) Light Fixture - see Electrical Fixture Schedule
 7) Open Wood Screen - See Detail



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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

REVISIONS	
A	Concept Design 11/01/2017
B	Schematic Design 12/19/2017
C	Coastal Phase 05/31/2018
D	Coastal Response - Cycle 2 - 7/27/2018
E	Coastal Permit Set - 10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

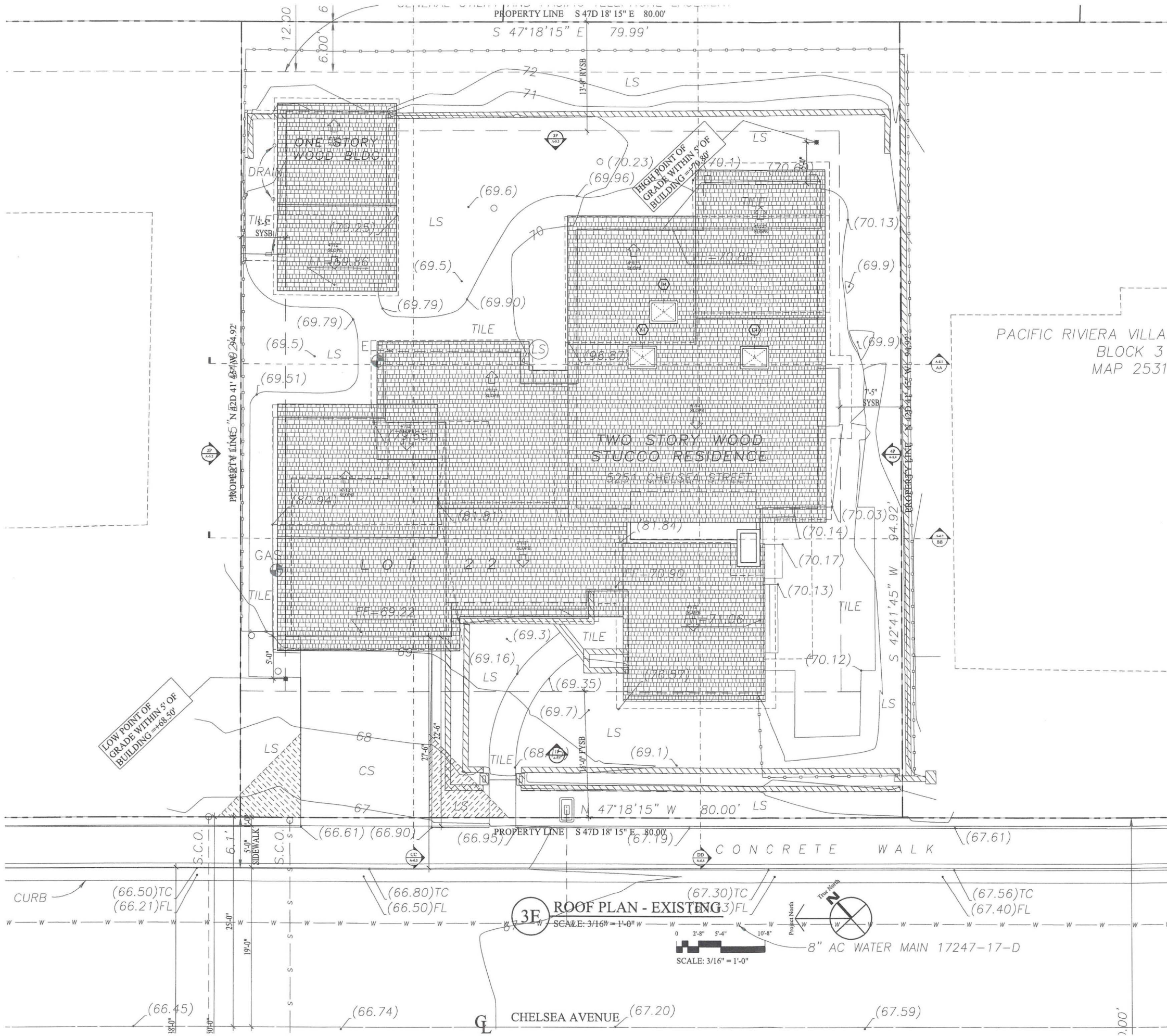
REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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SHEET TITLE
RCP PLAN- FIRST FLOOR PROPOSED
A-3.2
 SHEET 16 OF 33



ROOF PLAN LEGEND

Residential

- ROOF SLOPE (SEE PITCH SHOWN ON PLAN)
- ROOF CRICKET
- ROOF DRAIN (RD)
- ROOF OR DECK SCUPPER
- OUTLINE OF WALLS BELOW
- SKYLIGHT
- CHIMNEY
- PLUMBING VENT OR MISC. "B" VENT
- ROOF TOP DORMER VENT
- ROOF EAVE VENT
- BALCONY DECK DRAIN (DD)
- BALCONY DECK OVERFLOW DRAIN (ODD)
- AREA OF NEW ROOFING - SEE ROOF NOTES
- AREA OF NEW ROOF CRICKET - SEE NOTES
- ROOF TOP MECHANICAL UNIT

- ### ROOF PLAN KEYNOTES
- ROOFING KEYNOTES:**
1. Sloped Roof - Existing Asphalt Shingles - To Be Removed
 2. Roof Overhang - Existing - To Be Removed
 3. Mechanical Vents - Existing - To Be Removed
 4. Roof Edge Drip, Metal Flashing, and Counter Flashing - Existing - To Be Removed
 5. Plumbing Vent - Existing - To Be Removed
 6. Roof Cricket - Existing - To Be Removed
 7. Parapet, Stucco Surface - Existing - To Be Removed
 8. Roof Deck - Existing - To Be Removed
 9. Drain and Overflow - Existing - To Be Removed
 10. Roof Vents - Existing - To Be Removed
 11. Spiral Stair - Existing - To Be Removed
 12. Skylights - Existing - To Be Removed
 13. Chimney - Existing - To Be Removed
- Other Roof Notes:**
- A. All demolished items and materials to be removed from site and safely disposed of in accordance with applicable laws & regulations, unless specified otherwise by owner.
 - B. Roofing and Roof Structure to be completely removed and recycled.

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 Michael Morton AIA
 Claude Anthony Marengo DASA

LICENSED ARCHITECT
 MICHAEL RENE MORTON
 C-19371
 REN.
 April 30, 2019
 STATE OF CALIFORNIA

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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

REVISIONS

A	Concept Design	11/01/2017
B	Schematic Design	12/19/2017
C	Coastal Phase	05/31/2018
D	Coastal Response - Cycle 2	-7/27/2018
E	Coastal Permit Set	-10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11-21-2018

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SHEET TITLE
 EXISTING
 ROOF PLAN

A-4.1
 SHEET 17 OF 33

S:\Project\2017 Project\2017-32-251 Chelsea Street\CA\DD Drawings\Architect\Coastal Phase\Sheet\A-4.1 Roof Plan-Existing.dwg, Dec 01, 2018, 12:23pm

PROPERTY LINE S 47D 18' 15" E 80.00'

BALCONY & DECK NOTES

- Items Listed in Order of Application Starting from Rough Framing:
1. Deck Sheathing: 3/4" INDEX 48/24 CDX Tongue and Groove plywood (min. or per structural)
a. 10d at 6" O.C. edge and boundary nailing
b. 10d at 12" O.C. field nailing
c. Nails shall be galvanized ring shank or stainless-steel nails
d. Sloped as shown on plan
2. Surface Preparation: Wood surfaces shall be clean, dry, and free of sharp protrusions, dust and voids. Repair all areas as needed before applying membrane. All exposed metal surfaces that will be in contact with waterproof membrane are to be clean and free of all paints, oils, rust and any other contaminants.
3. Counter-slopes: Area of crickets and counter sloped to allow drainage to deck drains and scuppers shall be sloped 1/4" per 12" (minimum) with G-26 (latex-cement) flooring underlayment by Crossfield Products Corp.
4. Deck Railing System: Per drawings and details. To be approved by owner.
5. Metal Flashing and Counter Flashing: All exterior flashing to be 16 oz. copper or 24-gauge stainless steel unless otherwise noted. All exposed copper shall have a mill finish. Hem all exposed edges.
6. Mortar Bed: 3.5# self-furred expanded metal lath reinforced mortar bed, 3/4" minimum to 1-1/2" maximum thickness. Slope mortar bed to drain - per plan. Mortar bed is dependent on stone thickness.
7. Deck Drain and Overflow: Deck drain and deck overflow drain shall be by Thunderbird Products Adjustable Deck Drain (BDCD42NH-SQ) 2" no hub with 5" square grate. Provide separate drain for deck drain and deck overflow drain lines. (U.N.O.) Provide 2" I.D. ABS drain line from deck to foundations. Discharge deck drain line as shown on site/floor plan. (U.N.O.)
8. Deck Surface Waterproofing: Waterproofing system shall be "Dex-o Tex Weatherwear" by Crossfield Products Inc. I.C.B.O. ESR# 1757 - Class "A" Roof System. Extend a continuous membrane a minimum of 6" above edges of balcony. Install in strict accordance with manufacturer's specifications by a manufacturer's certified installer. General Contractor shall follow manufacturer's specification.
9. Water Test: After membrane is installed plug all scuppers and drains and flood test deck with a min. of 1" of water for 24 hours.
10. Thin Set: "Ultrastrong" by MAPEI. An ultra-premium, normal-setting, polymer-modified, high-performance full-contact mortar, following manufacturer's instructions.
11. Tile Veneer: "BIANCO AL CONTRA TRAVERTINI" - 12" x 24" Matt (Non-slip) finish (IRG1224112) by Irls from Versa Tile (858) 586-1446. Provide sample for Architect approval. Install per manufacturer's instructions. Complies with Adhered veneer per CBC section 1405.9. Install per manufacturer's instructions. Grout - Color to be selected by Architect and approved by owner.
12. Penetrating sealer: For natural stone and grout. "Enviroseal Double 7" by HYDROZOO INC. or equal Telephone 1-(800) 422-1902. Penetrating, non-staining, non-coloring, or de-hardening, water repellent sealer to be applied on all stone and grout surfaces. Prior to application a sample application to a stone and grout shall be done and approved by Architect. Apply per manufacturer's specifications; sealer shall be re-applied every 2 years maximum.
13. Sealant: At perimeter of balcony, joints, gaps, and other locations requiring sealant. Manufactured by Dow Corning Corporation, telephone (510) 490-0650.
a. One-part, silicone building sealant: Dow Corning #790-ultra low modulus, Silicone Sealant, for high movement joints.
b. One-part, silicone glazing and waterproofing sealant: Dow Corning #795 - medium modulus, Silicone Building Sealant.

- BALCONY LEGEND
RD - ROOF DRAIN
ORD - OVERFLOW ROOF DRAIN
SCUP - SCUPPER
DD - DECK DRAIN
ODD - OVERFLOW DECK DRAIN
TP - TOP OF PARAPET

ROOF PLAN LEGEND

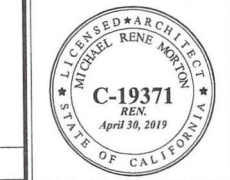
- ROOF SLOPE (SEE PITCH SHOWN ON PLAN)
ROOF CRICKET
ROOF DRAIN & OVERFLOW DRAIN COMBINATION (RD)
ROOF OR DECK SCUPPER
OUTLINE OF WALLS BELOW
SKYLIGHT UNIT
CHIMNEY & SPARK ARRESTOR
PLUMBING VENT OR MISC. "B" VENT
ROOF TOP DORMER VENT
ROOF EAVE VENT
BALCONY DECK DRAIN (DD)
BALCONY DECK OVERFLOW DRAIN (ODD)
AREA OF NEW ROOFING - SEE ROOF NOTES
AREA OF NEW ROOF CRICKET - SEE NOTES
ROOF TOP MECHANICAL UNIT
ROOF MOUNTED PHOTO VOLTAIC PANEL UNIT

ROOF PLAN KEYNOTES

- 1. New Roofing - Slope 1/4 in 12" as shown on plan. System shall be a double diaphragm system with 5" CD plywood on top layer to create roof slope (or architect approved equal).
2. Roofing Sheathing System: Roofing system shall conform to UL580-Class 90 wind uplift rated - Provide 5/8" CDX or equal, minimum roof sheathing. Roofing system shall have a minimum 10-year labor and material warranty.
3. Roofing Sheathing Overlay: 1/4" thick Carlisle/Georgia Pacific - Dens-Deck. UL 790 for class "A" rating. Install per manufacturer's instructions.
4. Roofing Underlayment - 3:12 or less slopes: "Ice and Water Shield" by W.R. Grace, ESR-1677, or "Winter Guard HT" by Certain Teed Corp. or "Weather Watch" by GAF (or architect approved equal). Install per manufacturer's instructions. Install (1 layer) #40 fiberglass reinforced felt sheet over roof membrane.
5. Roofing Underlayment - 3:12 or greater slope (2) Layers of "Diamond Deck" by CertainTeed Roofing or "Deck-Armor" by GAF (or architect approved equal) Roofing Underlayment, Classified by UL to be a suitable underlayment for use in any UL Class A fire rated shingle system equivalent to #40 fiberglass reinforced felt underlayment sheet. Install per manufacturer's instructions.
6. Roof Edge Drip, Metal Flashing, and Counter Flashing: All exterior flashing to be 16 OZ. Copper unless otherwise noted. Solder or seal all seams. Hem all exposed edges.
7. Metal Drip Edge System: Material - 16 OZ. Copper or Stainless Steel. All panel seams shall have a field-applied sealant. All metal shall have a factory-applied mill finish. Roofing system installed by a certified roofing contractor. Roofing system shall conform to UL580-Class 90 wind uplift rated - Provide 5/8" minimum roof sheathing. Roofing system shall have a minimum 10-year labor and material warranty.
8. Plumbing Vent: ABS plastic with 16 OZ. Copper sheet metal primary, secondary flashing and storm collar per notes, sealed to vent. Combine vents in attic for one roof penetration.
9. Roof Cricket: To be prefabricated foam type or fabricated from 5/8" thick plywood. See Detail.
10. Parapet, Transitions and other Horizontal Stucco Surface Waterproofing: Membrane waterproofing shall be JIFFY SEAL 140/60 by Proteclo Wrap. Extend membrane a minimum of 6" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. ESR-1677.
11. Roof Drain and Overflow: Roof drain and roof overflow drain shall be TPO-RD3NH - 3 inch no hub roof drain and TPO-RD2NH - 2" no hub roof overflow drain, by Thunderbird Products with 10" ABS dome strainer (verify) with 16 oz copper base, with TOP coating. Telephone (800) 658-2473 Provide separate drain roof overflow drain lines. Provide 3" I.D. ABS drain line and 2" I.D. overflow from roof to foundations. (U.N.O.) - Alternate units RDCBHZNH - 3 inch no hub roof drain & overflow and RDCBHZNH - 2" no hub roof drain & overflow
12. Other Vents: Attic ventilation openings shall be covered with corrosion-resistant (copper) metal mesh with mesh openings of 1/2-inch in dimension.
13. New Eave Vents: by AMICO Vinyl Soffit Screeds - model 3" soffit screed AMSVS300-780 for 3 inch wide vented, continuous eave vent were shown on eave. Where eave vents are installed, insulation shall not block the free flow of air. A minimum of 1" of space shall be provided between the insulation and the roof sheathing. Vents shall be painted to match adjacent surfaces.
14. Exhaust Vent: All exposed components shall be 16 OZ. Copper or Stainless Steel with mill finish. See Detail.
15. Skylight: See USA - See door and window schedule and notes.
16. Single Ply Roofing System: By Carlisle - Sure-Weld Reinforced TPO Membrane mechanically fastened and Adhered Roofing System. Provide a 1/4" per foot minimum roof slope. Install per manufacturer's instruction install with 1/2" thick Plywood Roof Sheathing. Provide roofing underlayment, and 1/4" thick sheathing overlay of Carlisle/Georgia Pacific "Dens-Deck". Color of membrane to be "Grey", with an option for a custom color coating. Roofing system shall be a UL class "A" rated ESR-1463 and have a minimum 10-year labor and material warranty. Per specification Division 07050, Section F.
17. Stucco: New 7/8" thick Exterior Plaster (Stucco): Finish coat to be hand applied. Finish texture to be Synergy Fine "Texture" finish. Color to be Expo Stucco "Ivory" #52. Prior to application contractor, to submit a 4' X 4' sample panel of the stucco color and texture finish for Architect and Owner's approval. Color coat shall be by Synergy - Texture finish - color #3046.
18. Trellis Members: Option (A) Aluminum - US Aluminum FF-600 series tubular framing - 2" x 6" or (4" x 8" if available) - dark bronze anodized finish. Provide sample for architect approval. Option (B) Wood - 6 x 12 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
19. Mechanical Vents - Shall be Stainless Steel - mill finish, set in sealant and sealed. Other Roof Notes:
A. The roofing shall be reviewed with architect and contractor prior to completion of perimeter flashing.
B. Roof pitch shall be adequate in all areas to avoid "ponding"
C. Conduit for future Photovoltaic system shall be installed to access roof and to electrical system.



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CHELSEA REMODEL
5251 Chelsea Street
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- REVISIONS
A Concept Design 1/01/2017
B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response-Cycle 2 -7/27/2018
E Coastal Permit Set - 10/15/2018



PHASE COASTAL PHASE

PROJECT NO. 2017-32

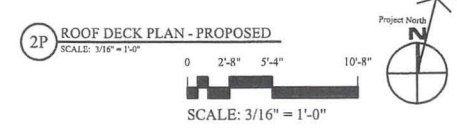
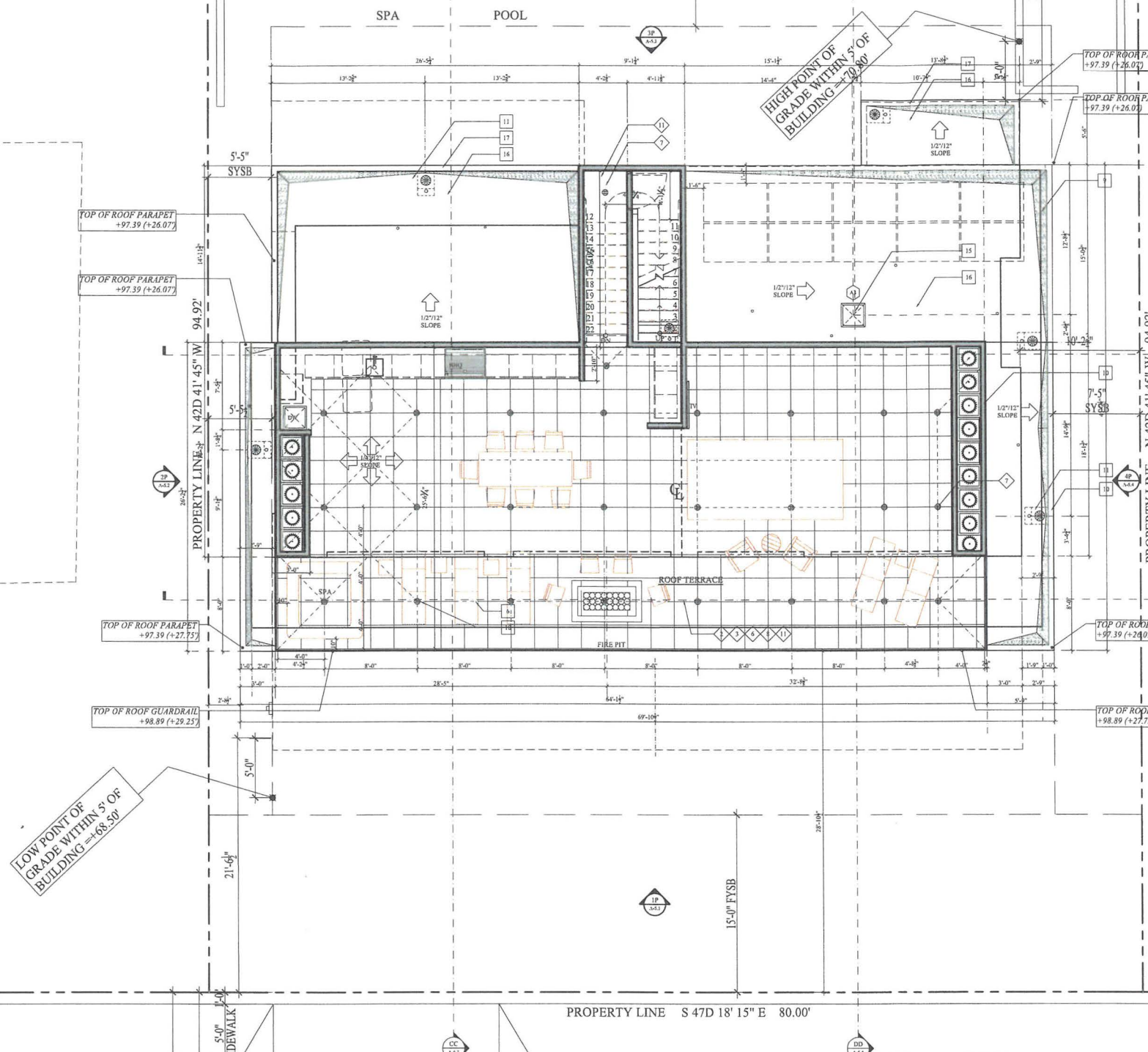
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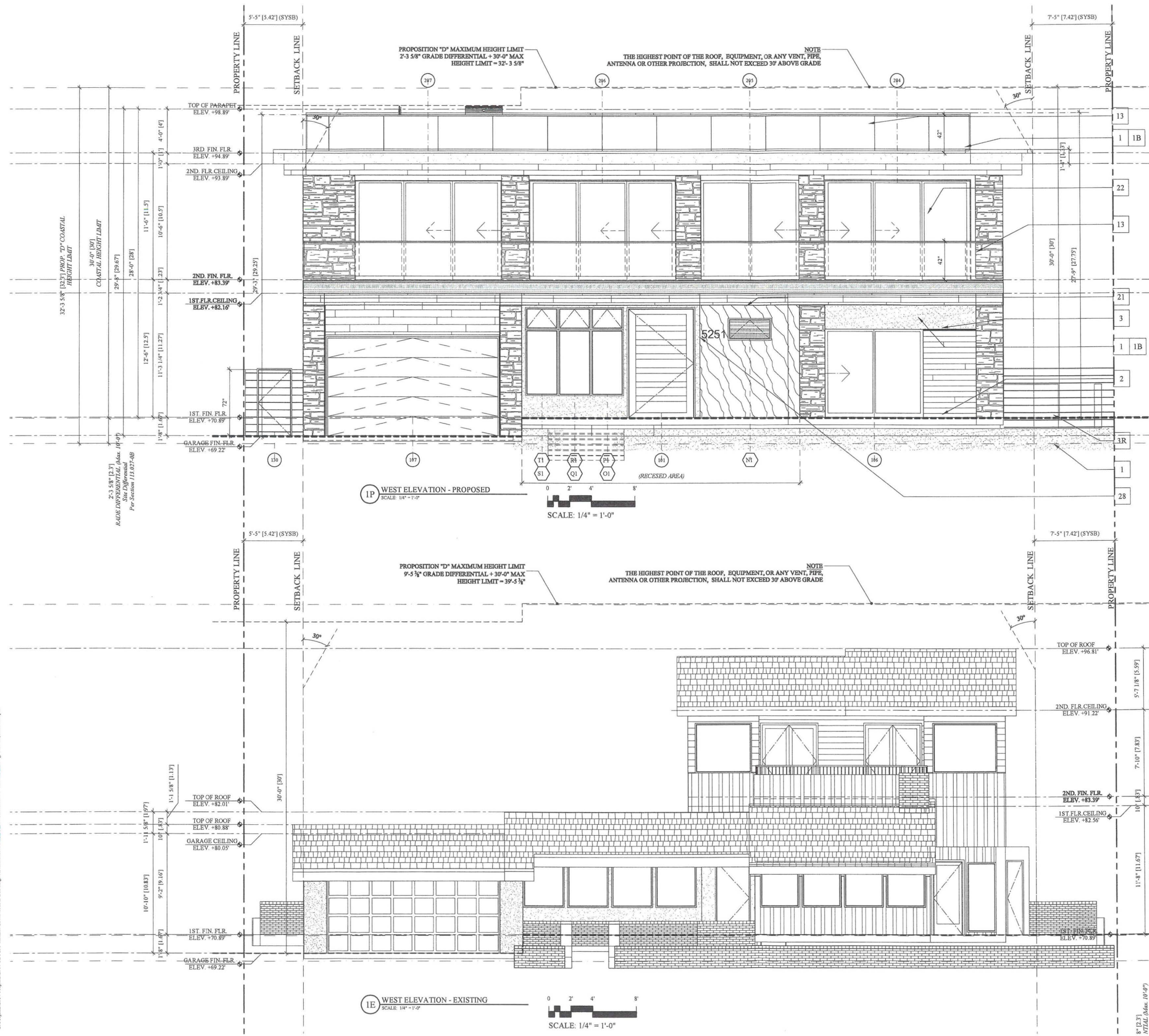
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SHEET TITLE
ROOF DECK PLAN
PROPOSED
A-4.2
SHEET 18 OF 33



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CHELSEA AVENUE

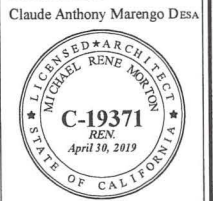


EXTERIOR ELEVATION FINISH KEYNOTES

- EXTERIOR FINISH KEYNOTES**
- Stucco: New 7/8" thick Exterior Plaster (Stucco). Finish coat to be hand applied. Finish texture to be Sand Finish or Synergy Fine "Texture" finish. Color (A) to be Esso Stucco "Eggshell" #87, Color (B) to be Esso Stucco "Bassista" #224. Prior to application contractor, to submit a 4' X 4' sample panel of the stucco color and texture finish for Architect and Owner's approval. Color coat shall be by Synergy - Texture finish - Color (A) #258 and Color (B) #122.
 - Weatherproof Building Wraps: Two layers of 60-minute grade "D" building paper install per manufacturer's specifications. One layer of "Tyvek" house wrap by DuPont, Under One layer Fortifiber Corp. "Super Jumbo-Tex". Use "JIFFY SEAL" 140/60 at all corners and horizontal surfaces under building paper. Unless detailed otherwise.
 - Stucco Screed: Weep screed AMFWS-425-780 at balcony use #4AMFWS-238-780, exterior grade vinyl, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Telephone 1 (800) 859-5363. Install per manufacturer's specifications. Install 4" above finish grade or 2" above finish paving. At "J" termination, use AM66-EZ-780 reveal, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Tel. (800) 859-5363. Install per manufacturer's specifications.
 - Stucco Reveal: 3/4" reveal and 3/4" ground by AMICO - Model # AMSR500-750-prime and Paint - Beige to match stucco
 - The Veneer-"A": Stone Veneer - New veneer "Country Ledgestone" style -Veneer Stone-by Heral Provide sample for Architects approval. Install per manufacturer's instructions. Provide sample for Architects approval. Install per manufacturer's instructions. Complies to Adhered veneer per CBC section 1405.9
 - The Veneer-"B": "Rovere Reveal" - 6" x 48" Ancient (AN) finish (TMM01E24) by Ariziana from Vena Tile (55) 896-1446. Provide sample for Architects approval. Install per manufacturer's instructions. Complies to Adhered veneer per CBC section 1405.9
 - Wood & Door Trim: 2 x 4 Clear Cedar or MDX. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. All exposed wood shall be primed and painted, per paint specifications. (verify)
 - Exterior Wood Siding - 1 x 7.25 Lap Siding - Smooth Finish- with 6 inch exposure: James Hard Cementitious Siding. Hard Trim 5/4 x 3.5" smooth. Trim Pieces at corners and other intersections. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. Abnerite: 2 x 10 Bevel Siding with 6" exposure. Grade: Tight knot Douglas Fir, Ro-Seven, unless noted otherwise on drawing, seasoned, hand selected for appearance.
 - Exterior Metal Fascia System: Material - 16 OZ. Copper or Dark Bronze Anodized Aluminum. All panel seams shall have a field-applied sealant. All metal shall have a factory-applied finish. Fascia System shall be installed by a certified roofing contractor. System shall conform to UL580-Class 90 wind uplift rated - Provide 5/8" minimum sheathing. System shall have a minimum 10-year labor and material warranty.
 - Exterior Wood Truss Members: 6 x 12, 6 x 10 or 4 x 8 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 - Ornamental Columnar: MDX or 3/4" Exterior Grade Finish Plywood, primed painted and sealed. To be fabricated and framed per detail.
 - Painted: Exposed Wood / Siding / Trim shall receive Primer & Two Coats of Paint color. Color to match existing and sample provided by architect. Dunn Edwards Paint Semi Gloss - (4) Four exterior colors) Provide sample for Owner & Architects approval prior to application.
- EXTERIOR ORNAMENT**
- Guardrail: Cable Rail and Design Rail System by Feeney Architectural Products. They shall be fabricated per details. Minimum height shall be 42 inches and spacing between pickets shall be no greater than 4". Guardrail shall be factory finished in "Silver". (See detail for alternate)
 - Handrail System: All components shall be by CRL - finish shall be Brushed Stainless Steel. See details. Install with screws and fittings per manufacturers specifications.
- ROOFING**
- Roofing: Asphalt Roofing - See Roofing notes.
 - Roofing: Standing Seam Metal Roofing - See Roofing notes.
 - Chimney Shroud: Copper - See Roof Notes
 - Roof Vents: See Roof Notes
 - Roof Edge Vents: See Roof Notes
 - Truss Members: Wood - 6 x 12 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 - Fireplace / Exhaust: Stainless Steel - See Unit detail and manufacturer's clearance instructions.
- FENESTRATION**
- Window System: New Units, See Window Schedule and Notes.
 - Doors: New Units, See Door Schedule and Notes.
 - Garage Door: New Unit See Door Schedule and Notes
 - Head Flashing: All exterior door and windows to have 16 oz. Copper head flashing unless otherwise noted. All exposed copper shall have mill finish. Hem all exposed edges.
- ELECTRICAL/MECHANICAL**
- Light Fixture: See electrical fixture schedule and notes
 - Air Conditioner(s): Screened with landscaping. See Mechanical Plan.
 - Dryer Vent / Wall meter: Shall be fabricated from 16 oz copper or 24-gauge stainless steel sheet metal or approved equal. See detail. Provide a woven wire insect screen stop. See Mechanical Plan
- SPECIALTIES**
- New House Numbers: 5" High Cast Aluminum - Helvetica house numbers by Grinnell. 1-(800)-538-8377 with "Dark Bronze" finish. Blind mounting with stud bolts.
- UTILITIES**
- Electric Service Panel / Meter: Verify location with SDG&E, Prime and paint to match stucco color.
 - Gas Meter: Verify location with SDG&E, Prime and paint to match stucco color.
 - Telephone / Cable Box: Verify location with Utility, Prime and paint to match stucco color.
- SITE**
- Existing Grade: See Site Notes
 - Proposed Finish Grade: See Site/ Hardscape Plan
 - New Site Wall: See Site Hardscape Plan
 - Existing Site Wall: See Site Plan for location and information
 - New Finish Hardscape Level: See Hardscape plan for more information
 - New Site Fencing: New wood fencing per detail
 - Site Gates: Per Door schedule or detail - finish per detail
- EXTERIOR ELEVATION GENERAL NOTES**
- ELEVATION LINES SHOWN ARE FROM TOP OF SLAB (TOSL) OR TOP OF STRUCTURAL SHEATHING DIAPHRAGM (TOSS).
 - ALL ELEVATIONS SHOWN ARE REFERENCED TO THE TOPOGRAPHIC SURVEY SHOWN ON SHEET TOPO-1. BENCH MARK OF ELEVATIONS, CITY BENCH MARK.
 - ALL BUILDING AND SITE ELEVATION LINES SHOWN ARE CROSS REFERENCED TO THE SITE PLAN SHOWN ON SHEET TO-A-1.2
 - SEE SHEET A-6.1 FOR BUILDING SECTIONS
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.
 - FLUE: Chimney or Exhaust Flue: Shall be at least two feet higher than all portion of the roof within 10' of the flue.
 - WINDOW AND DOOR HEIGHT: See Exterior Elevations
 - (T) TEMPERED GLAZING: See Window and Door Schedule & Notes



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CHELSEA REMODEL
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REVISIONS

A	Concept Design	11/01/2017
B	Schematic Design	12/19/2017
C	Coastal Phase	05/31/2018
D	Coastal Response - Cycle 2	7/27/2018
E	Coastal Permit Set	10/15/2018

PHASE
 COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

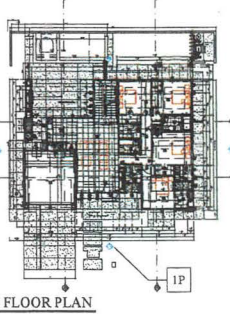
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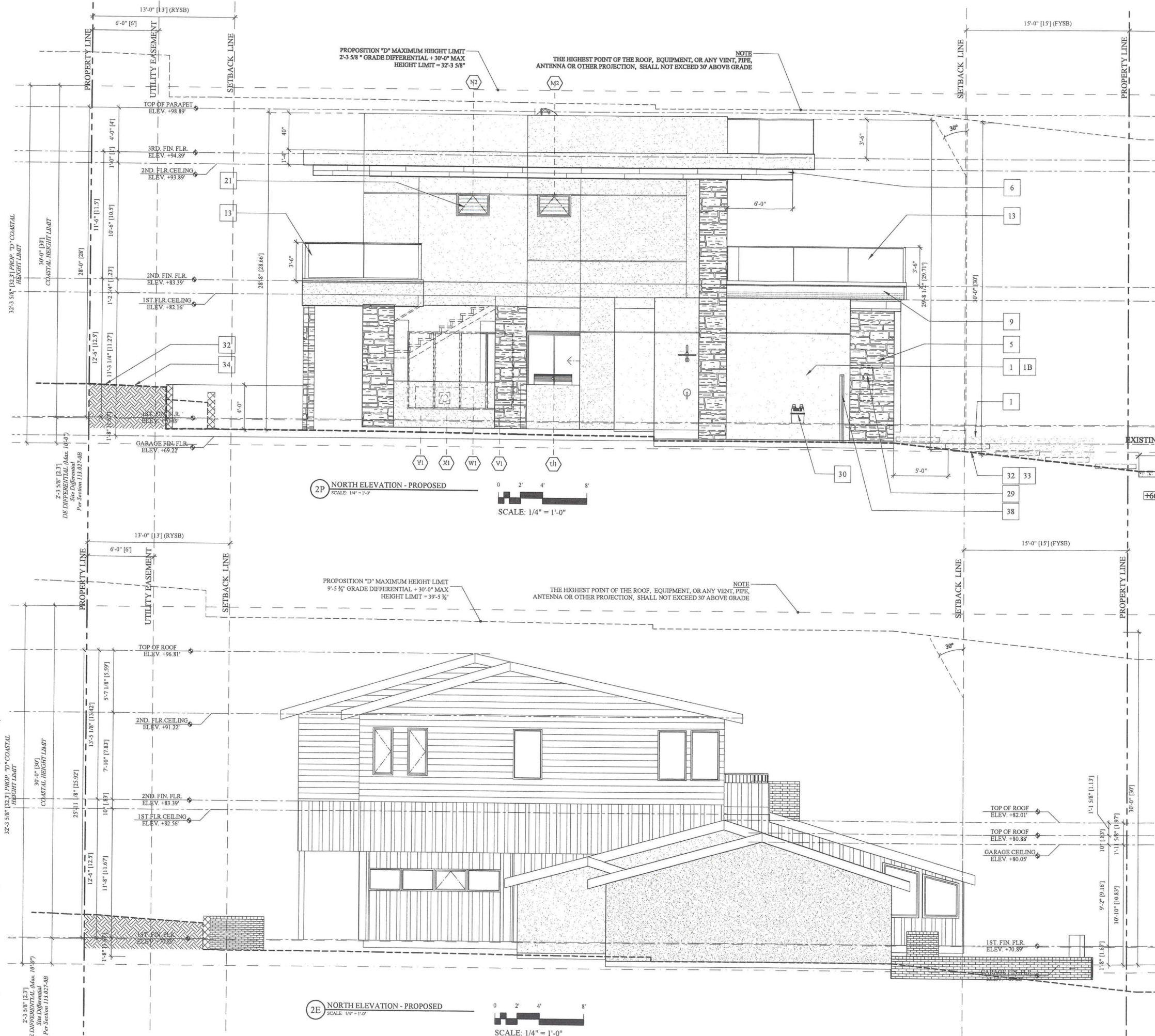
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SHEET TITLE
 EXTERIOR ELEVATION PROPOSED

A-5.1
 SHEET 19 OF 33



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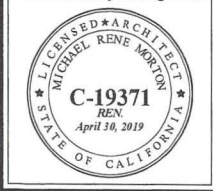


EXTERIOR ELEVATION FINISH KEYNOTES

- EXTERIOR FINISH KEYNOTES**
1. Stucco: New 7/8" thick Exterior Plaster (Stucco): Finish coat to be hand applied. Finish texture to be Sand Finish or Synergy Fine "Texture" finish. Color (A) to be Expo Stucco "Eggshell" #97, Color (B) to be Expo Stucco "Benavento" #224. Prior to application contractor, to submit a 4" x 4" sample panel of the stucco color and texture finish for Architect and Owner's approval. Color coat shall be by Synergy - Texture finish - Color (A) #258 and Color (B) #122.
 2. Weatherproof Building Wrap: Two layers of 60-minute grade "D" building paper install per manufacturer's specifications. One layer of "Tyvek" house wrap by DuPont. Under One Layer Fertilizer Corp. "Super Jumbo-Tec". Use "TIEY SEAL" 14060 at all corners and horizontal surfaces under building paper. Unless detailed otherwise.
 3. Stucco Screed: Weep screed# AMFWS-425-780 at balcony use #AMFWSP-238-780, exterior grade vinyl, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Telephone 1 (800) 859-5363. Install per manufacturer's specifications. Install 4" above finish grade or 2" above finish paving. 4" x 1" termination, use AM66-EZ-780.
 4. Stucco Expansion Screed: Type "M" - AMCIM-780, exterior grade vinyl, 3/16" reveal, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Tel. (800) 859-5363. Install per manufacturer's specifications.
 5. Stucco Reveal: 3/4" reveal and 3/4" ground by AMICO - Model # AMS900-750-prime and Paint - Beige to match stucco.
 6. The Veneer-"A": Stone Veneer - New veneer "Country Ledgestone" style -Veneer Stone - by Berni Provide sample for Architect's approval. Install per manufacturer's instructions. Provide sample for Architect's approval. Install per manufacturer's instructions. Complies to Adhered veneer per CBC section 1405.9.
 7. The Veneer-"B": "Ravens Reale" - 6" x 4" Ancient (AN) finish (TNM01H24) by Arletta from Versa Tile (838) 586-1446. Provide sample for Architect's approval. Install per manufacturer's instructions. Complies to Adhered veneer per CBC section 1405.9.
 8. Wood & Door Trim: 2 x 4 Clear Cedar or MDX. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. All exposed wood shall be primed and painted, per paint specifications. (verify)
 9. Exterior Wood Siding - 1 x 7.25 Lap Siding - Smooth Finish - with 6 inch exposure: James Hardie Cementitious Siding. HardTrim 5/4 x 3.5" smooth, Trim Pieces at corners and other intersections - Per Detail. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. Alternate: 2 x 10 Bevel Siding with 6" exposure. Grade: Tight knot Douglas Fir, Re-Sawn, unless noted otherwise on drawings, seasoned, hand selected for appearance.
 10. Exterior Metal Fascia System: Material - 16 OZ. Copper or Dark Bronze Anodized Aluminum. All panel seams shall have a field-applied sealant. All metal shall have a factory-applied finish. Fascia system shall be installed by a certified roofing contractor. System shall conform to UL580 Class 90 wind uplift rating. Provide 5/8" minimum sheathing. System shall have a minimum 10-year labor and material warranty.
 11. Exterior Wood Trellis Member: 6 x 12, 6 x 10 or 4 x 8 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 12. Ornamental Columns: MDX or 3/4" Exterior Grade Finish Plywood, primed painted and sealed. To be fabricated and framed per detail.
 13. Paints: Exposed Wood / Siding / Trim shall receive Primer & Two Coats of Paint color. Color to match existing and sample approved by architect. Dunn Edwards Paint - Semi Gloss - (4) Four exterior colors) Provide sample for Owner & Architect's approval prior to application.
 14. Guardrails: Cable Rail and Design Rail System by Feeney Architectural Products. They shall be fabricated per details. Minimum height shall be 42 inches and spacing between pickets shall be no greater than 4". Guardrail shall be factory finished in "Silver". (See detail for alternate)
 15. Handrails: All components shall be by CRL - finish shall be Brushed Stainless Steel. See details. Install with screws and fittings per manufacturer specifications.
 16. Roofing: Asphalt Roofing - See Roofing notes.
 17. Metal Roofing / Standing Seam Metal Roofing - See Roofing notes.
 18. Chimney Shrouds: Copper - See Roof Notes
 19. Roof Vents: See Roof Notes
 20. Roof Eave Vents: See Roof Notes
 21. Truss Members: Wood - 6 x 12 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 22. Fireplaces / Exhaust: Stainless Steel - See Unit detail and manufactures clearance instructions.
 23. Window System: New Units, See Window Schedule and Notes.
 24. Doors: New Units, See Door Schedule and Notes.
 25. Garage Doors: New Unit See Door Schedule and Notes
 26. Head Flashing: All exterior door and windows to have 16 oz. Copper head flashing unless otherwise noted. All exposed copper shall have mill finish. Hem all exposed edges.
 27. Electrical/Mechanical: See electrical fixture schedule and notes
 28. Air Conditioner(s): Screened with landscaping. See Mechanical Plan.
 29. Dryer Vent / Wall Vents: Shall be fabricated from 16 oz. copper or 24-gauge stainless steel sheet metal or approved equal. See detail. Provide a woven wire insect screen stop See Mechanical Plan.
 30. New House Numbers: 5" High Cast Aluminum - Helvetica house numbers by Gemini Inc. 1-(800)-538-8377 with "Dark Bronze" finish. Blind mounting with stud bolts.
 31. Electric Service Panel / Meter: Verify location with SDG&E, Prime and paint to match stucco color
 32. Gas Meter: Verify location with SDG&E, Prime and paint to match stucco color
 33. Telephone / Cable Box: Verify location with Utility, Prime and paint to match stucco color.
 34. Existing Grade: See Site Notes
 35. Proposed Finish Grade: See Site/ Hardscape Plan
 36. New Site Wall: See Site Hardscape Plan
 37. Existing Site Wall: See Site Plan for location and information
 38. New Finish Hardscape Level: See Hardscape plan for more information
 39. New Site Fencing: New wood fencing per detail
 40. Site Gates: Per Door schedule or detail - finish per detail
 41. EXTERIOR ELEVATION GENERAL NOTES
 42. ELEVATION LINES SHOWN ARE FROM TOP OF SLAB (TOSL) OR TOP OF STRUCTURAL SHRATHING/DIAPHRAGM (TOSS).
 43. ALL ELEVATIONS SHOWN ARE REFERENCED TO THE TOPOGRAPHIC SURVEY SHOWN ON SHEET TOPO-1. BENCH MARK OF ELEVATIONS, CITY BENCH MARK
 44. ALL BUILDING AND SITE ELEVATION LINES SHOWN ARE CROSS REFERENCED TO THE SITE PLAN SHOWN ON SHEET TO-A-1.2
 45. SEE SHEET A-5.1 FOR BUILDING SECTIONS
 46. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.
 47. FLUB: Chimney or Exhaust Flue: Shall be at least two feet higher than all portion of the roof within 10' of the flue.
 48. WINDOW AND DOOR HEIGHT: See Exterior Elevations
 49. (T) TEMPERED GLAZING: See Window and Door Schedule & Notes



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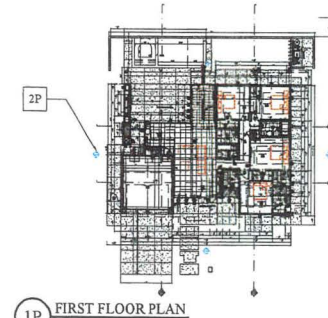
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DATE 11-21-2018

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SHEET TITLE
 EXTERIOR ELEVATION
 PROPOSED

A-5.2
 SHEET 20 OF 33





EXTERIOR ELEVATION FINISH KEYNOTES

- EXTERIOR FINISH KEYNOTES**
- Stucco: New 7/8" thick Exterior Plaster (Stucco). Finish coat to be hand applied. Finish texture to be Sand Finish or Synergy Fine "Tasteful" finish. Color (A) to be Expo Stucco "Eggshell" #87, Color (B) to be Expo Stucco "Benavento" #224. Prior to application contractor, to submit a 4' X 4' sample panel of the stucco color and texture finish for Architect and Owner's approval. Color coat shall be by Synergy - Texture finish - Color (A) #255 and Color (B) #112.
 - Weatherproof Building Wrap: Two layers of 60-minute grade "D" building paper install per manufacturer's specifications. One layer of "Tyvek" house wrap by DuPont, Under One layer Fortifiber Corp. "Super Jumbo-Tex". Use "JEFFY SEAL" 140/60 at all corners and horizontal surfaces under building paper. Unless detailed otherwise.
 - Stucco Sereads: Weep screed AMFWS-425-780 at balcony use #AMFWS-238-780, exterior grade vinyl, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Telephone 1 (800) 859-5363. Install per manufacturer's specifications. Install 4" above finish grade or 2" above finish paving. At "T" termination, use AM66-EZ-780 Stucco Expansion Screed, Type "M" - AMCO-780, exterior grade vinyl, 3/16" reveal, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Tel. (800) 859-5363. Install per manufacturer's specifications.
 - Stucco Reveal: 3/4" reveal and 3/4" ground by AMICO - Model # AMSR500-750-prime and Paint - Beige to match stucco
 - The Veneser-"A": Stone Veneser - New veneser "Country Ledgestone" style -Veneser Stone -by Boral Provide sample for Architects approval. Install per manufacturer's instructions. Provide sample for Architects approval. Install per manufacturer's instructions. Complies to Adhered veneer per CBC section 1405.3
 - The Veneser-"B": "Revere Reel" - 6" x 48" Ancient (AN) finish (TNDMH24) by Arlesite from Versa Tile (858) 586-1446. Provide sample for Architects approval. Install per manufacturer's instructions. Complies to Adhered veneer per CBC section 1405.3
 - Wood & Door Trim: 2 x 4 Clear Cedar or MDX. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. All exposed wood shall be primed and painted, per paint specifications. (verify)
 - Exterior Wood Siding - 1 x 7.25 Lap Siding - Smooth Finish - with 6 inch exposure: James Harrell Construction Siding - HardTrim 5/4 x 3.5" smooth, Trim Pieces at corners and other intersections - Per Detail. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvaniz. Alternate: 2 x 10 Bevel Siding with 6" exposure, Grade: Tight knot Douglas Fir, Re-Sawn, unless noted otherwise on drawings, seasoned, hand selected for appearance.
 - Exterior Metal Panels System: Material - 16 OZ. Copper or Dark Bronze Anodized Aluminum. All panel seams shall have a field-applied sealant. All metal shall have a factory-applied finish. Fascia System shall be installed by a certified roofing contractor. System shall conform to UL580-Class 90 wind uplift rated - Provide 5/8" minimum sheathing. System shall have a minimum 10-year labor and material warranty.
 - Exterior Wood Trellis Member: 6 x 12, 6 x 10 or 4 x 8 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 - Ornamental Columns: MDX or 3/4" Exterior Grade Finish Plywood, primed painted and sealed. To be fabricated and framed per detail.
 - Painted: Exposed Wood / Siding / Trim shall receive Primer & Two Coats of Paint color. Color to match existing and sample approved by architect. Dunn Edwards Paint Semi-Gloss - (6) Four exterior colors) Provide sample for Owner & Architects approval prior to application.
- EXTERIOR ORNAMENT**
- Guardrail: Cable Rail and Design Rail System by Feeney Architectural Products. They shall be fabricated per detail. Minimum height shall be 42 inches and spacing between pickets shall be no greater than 4". Guardrail shall be factory finished in "Silver". (See detail for Alternate)
 - Handrail System: All components shall be by CHL. - finish shall be Brushed Stainless Steel. See details. Install with screws and fittings per manufacturer specifications.
- ROOFING**
- (a) Roofing: Asphalt Roofing - See Roofing notes.
 - (b) Metal Roofing: Standing Seam Metal Roofing - See Roofing notes.
 - Chimney Shrouds: Copper - See Roof Notes
 - Roof Vents: See Roof Notes
 - Roof Eave Vents: See Roof Notes
 - Trellis Members: Wood - 6 x 12 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 - Firplace / Exhaust: Stainless Steel - See Unit detail and manufactures clearance instructions.
- FENESTRATION**
- Window System: New Units, See Window Schedule and Notes.
 - Doors: New Units, See Door Schedule and Notes.
 - Garage Door: New Unit See Door Schedule and Notes
 - Head Flashing: All exterior door and windows to have 16 oz. Copper head flashing unless otherwise noted. All exposed copper shall have mill finish. If not all exposed edges.
- ELECTRICAL/MECHANICAL**
- Light Fixture: See electrical fixture schedule and notes
 - Air Conditioner(s): Screened with landscaping, See Mechanical Plan.
 - Dryer Vent / Wall Vents: Shall be fabricated from 16 oz. copper or 24-gauge stainless steel sheet metal or approved equal. See detail. Provide a woven wire insect screen stop See Mechanical Plan
- SPECIALTIES**
- New House Numbers: 5" High Cast Aluminum - Helvetica house numbers by Gemini Inc. 1-(800)-538-8377 with "Dark Bronze" finish. Blind mounting with stud bolts.
- UTILITIES**
- Electric Service Panel / Meter: Verify location with SDG&E, Prime and paint to match stucco color
 - Gas Meter: Verify location with SDG&E, Prime and paint to match stucco color
 - Telephone / Cable Box: Verify location with Utility, Prime and paint to match stucco color.
- SITE**
- Existing Grade: See Site Notes
 - Proposed Finish Grade: See Site/ Hardscape Plan
 - New Site Wall: See Site Hardscape Plan
 - Existing Site Wall: See Site Plan for location and information
 - New Finish Hardscape Level: See Hardscape plan for more information
 - New Site Fencing: New wood fencing per detail
 - Site Gates: Per Door schedule or detail - finish per detail
- EXTERIOR ELEVATION GENERAL NOTES**
- ELEVATION LINES SHOWN ARE FROM TOP OF SLAB (TOSL) OR TOP OF STRUCTURAL SHEATHING/DIAPHRAGM (TOSS).
 - ALL ELEVATIONS SHOWN ARE REFERENCED TO THE TOPOGRAPHIC SURVEY SHOWN ON SHEET TOPO-1. BENCH MARK OF ELEVATIONS, CITY BENCHMARK
 - ALL BUILDING AND SITE ELEVATION LINES SHOWN ARE CROSS REFERENCED TO THE SITE PLAN SHOWN ON SHEET A-1.2
 - SEE SHEET A-6.1 FOR BUILDING SECTIONS
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.
 - FLUR: Chimney or Exhaust Flue: Shall be at least two feet higher than all portion of the roof within 10' of the flue.
 - WINDOW AND DOOR HEIGHT: See Exterior Elevations
 - (T) TEMPERED GLAZING: See Window and Door Schedule & Notes



Marengo Morton Architects
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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

REVISIONS

A	Concept Design	11/01/2017
B	Schematic Design	12/19/2017
C	Coastal Phase	05/31/2018
D	Coastal Response - Cycle 2	-7/27/2018
E	Coastal Permit Set	-10/15/2018

PHASE
 COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

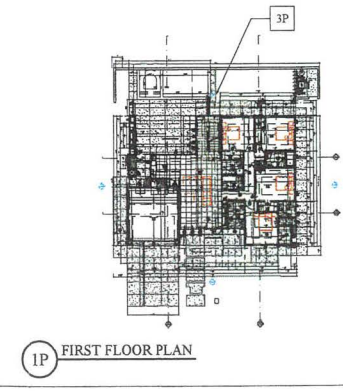
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DATE 11 - 21 - 2018

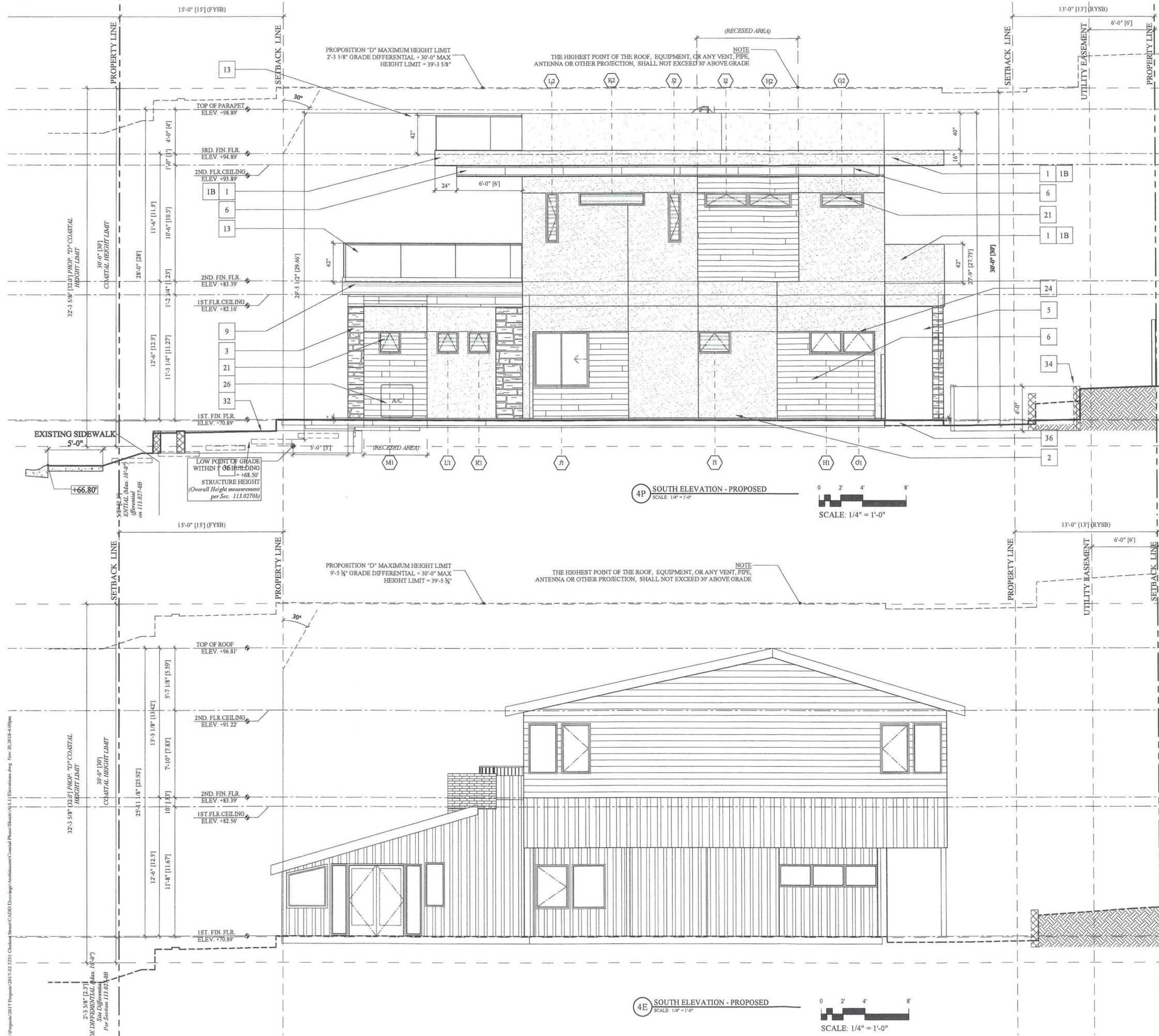
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SHEET TITLE
 EXTERIOR ELEVATION
 PROPOSED

A-5.3
 SHEET 21 OF 33



1P FIRST FLOOR PLAN



EXTERIOR ELEVATION FINISH KEYNOTES

- EXTERIOR FINISH KEYNOTES**
- Stucco: New 7/8" thick Exterior Plaster (Stucco): Finish coat to be hand applied. Finish texture to be Sand Finish or Synergy Fine "Textured" finish. Color (A) to be Expo Stucco "Eggshell" #57, Color (B) to be Expo Stucco "Benavento" #224. Prior to application contractor to submit a 4' X 4' sample panel of the stucco color and texture finish for Architect and Owner's approval. Color coat shall be by Synergy - Texture finish - Color (A) #258 and Color (B) #122.
 - Weatherproof Building Wrap: Two layers of 60-minute grade "D" building paper install per manufacturer's specifications. One layer of "Tyvek" house wrap by DuPont, Under One Layer Fortifiber Corp. "Super Jumbo-Tex". Use "JIFFY SEAL" 14060 at all corners and horizontal surfaces under building paper. Unless detailed otherwise.
 - Stucco Screed: Wren screed# AMFWP-3-42-760 at balcony use #AMFWP-238-780, exterior grade vinyl, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Telephone 1 (800) 859-5363. Install per manufacturer's specifications. Install 4" above finish grade or 2" above finish paving. A 1" termination, use AM66-82-780 Stucco Expansion Screed: Type "M" - AMCM-780, exterior grade vinyl, 3/16" reveal, 7/8" ground, exterior grade white vinyl, by AMICO or approved equal. Tel. (800) 859-5363. Install per manufacturer's specifications.
 - Stucco Reveal: 3/4" reveal and 3/4" ground by AMICO - Model # AMSR500-750-prime and Paint - Beige to match stucco
 - The Venues "A": Stone Venues - New venues "Country Lodgestone" style - Venues Stone - by Beral Provide sample for Architects approval. Install per manufacturer's instructions. Provide sample for Architects approval. Install per manufacturer's instructions. Complies Adhered veneer per CBC section 1405.9
 - The Venues "B": "Revers Enakle" - 6" x 48" Ancient (AN) finish (TMM01H24) by Arlotena from Versa Tile (858) 586-1446. Provide sample for Architects approval. Install per manufacturer's instructions. Complies Adhered veneer per CBC section 1405.9
 - Wood & Door Trims: 2 x 4 Clear Cedar or MDX. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. All exposed wood shall be primed and painted, per paint specifications. (verify)
 - Exterior Wood Siding - 1 x 7.25 Lap Siding - Smooth Finish - with 6 inch exposure: James Hardie Cementitious Siding. Hand Trim 5/4 x 3.5" smooth, Trim Pieces at corners and other intersections - Per Detail. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. Alternate: 2 x 10 Bevel Siding with 6" exposure, Grade: Tight knot Douglas Fir, Re-Sawn, unless noted otherwise on drawings, seasoned, hand selected for appearance.
 - Exterior Metal Fascia Systems: Material - 16 OZ. Copper or Dark Bronze Anodized Aluminum. All panels shall have a field-applied sealant. All metal shall have a factory-applied finish. Fascia System shall be installed by a certified roofing contractor. System shall conform to UL580-Class 90 wind uplift rated - Provide 5/8" minimum sheathing. System shall have a minimum 10-year labor and material warranty.
 - Exterior Wood Trellis Member: 6 x 12, 6 x 10 or 4 x 8 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 - Ornamental Columns: MDX or 3/4" Exterior Grade Finish Plywood, primed painted and sealed. To be fabricated and framed per detail.
 - Painted: Exposed Wood / Siding / Trim shall receive Primer & Two Coats of Paint color. Color to match existing and sample approved by architect. Dunn Edwards Paint Seal Gloss - (4) Four exterior colors) Provide sample for Owner & Architects approval prior to application.
- EXTERIOR ORNAMENT**
- Guardrails: Cable Rail and Design Rail System by Feeney Architectural Products. They shall be fabricated per detail. Hand Trim 5/4 x 3.5" smooth, Trim Pieces at corners and other intersections - Per Detail. Finish siding per notes. Fasteners shall be Stainless Steel or Hot Dipped Galvanized. Alternate: 2 x 10 Bevel Siding with 6" exposure, Grade: Tight knot Douglas Fir, Re-Sawn, unless noted otherwise on drawings, seasoned, hand selected for appearance.
 - Handrail System: All components shall be by CRL - finish shall be Brushed Stainless Steel. See details. Install with screws and fittings per manufacturer specifications.
- ROOFING**
- Asphalt Roofing - See Roofing notes.
 - Metal Roofing: Standing Seam Metal Roofing - See Roofing notes.
 - Chimney Shroud: Copper - See Roof Notes
 - Roof Vents: See Roof Notes
 - Roof Eave Vents: See Roof Notes
 - Trellis Members: Wood - 6 x 12 - Grade: Tight knot Douglas Fir, S4S, seasoned, hand selected for appearance shape per elevations, with eased edges. Stain and seal with full body stain verify stain color with architect. Fasteners shall be Stainless Steel. Provide copper flashing collar.
 - Fireplace / Exhaust: Stainless Steel - See Unit detail and manufacturer clearance instructions.
- FENESTRATION**
- Window Systems: New Units, See Window Schedule and Notes.
 - Doors: New Units, See Door Schedule and Notes.
 - Garage Door: New Unit See Door Schedule and Notes
 - Head Flashing: All exterior door and windows to have 16 oz. copper head flashing unless otherwise noted. All exposed copper shall have mill finish. Hem all exposed edges.
- ELECTRICAL / MECHANICAL**
- Light Fixture: See electrical fixture schedule and notes
 - Air Conditioner(s): Screened with landscaping. See Mechanical Plan.
 - Dryer Vent / Wall Vents: Shall be fabricated from 16 oz. copper or 24-gauge stainless steel sheet metal or approved equal. See detail. Provide a woven wire insect screen stop. See Mechanical Plan
- SPECIALTIES**
- New House Numbers: 5" High Cast Aluminum - Helvetica house numbers by Gemini Inc. 1-(800)-538-8377 with "Dark Bronze" finish. Blind mounting with stud bolts.
- UTILITIES**
- Electric Service Panel / Meter: Verify location with SDG&E, Prime and paint to match stucco color
 - Gas Meter: Verify location with SDG&E, Prime and paint to match stucco color
 - Telephone / Cable Box: Verify location with Utility, Prime and paint to match stucco color.
- SITE**
- Existing Grade: See Site Notes
 - Proposed Finish Grade: See Site/ Landscape Plan
 - New Site Wall: See Site Landscape Plan
 - Existing Site Wall: See Site Plan for location and information
 - New Finish Landscape Level: See Landscape plan for more information
 - New Site Fencing: New wood fencing per detail
 - New Site Gates: Per Door schedule or detail - finish per detail
- EXTERIOR ELEVATION GENERAL NOTES**
- ELEVATION LINES SHOWN ARE FROM TOP OF SLAB (TOSL) OR TOP OF STRUCTURAL SHEATHING / DIAPHRAGM (TOSS).
 - ALL ELEVATIONS SHOWN ARE REFERENCED TO THE TOPOGRAPHIC SURVEY SHOWN ON SHEET TOPO-1. BENCH MARK OF ELEVATIONS, CITY BENCH MARK
 - ALL BUILDING AND SITE ELEVATION LINES SHOWN ARE CROSS REFERENCED TO THE SITE PLAN SHOWN ON SHEET TO-A-1.2
 - SEE SHEET A-6.1 FOR BUILDING SECTIONS
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.
 - FLUE: Chimney or Exhaust Flue: Shall be at least two feet higher than all portion of the roof within 10' of the flue.
 - WINDOW AND DOOR HEIGHT: See Exterior Elevations
 - (T) TEMPERED GLAZING: See Window and Door Schedule & Notes



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B	Schematic Design 12/19/2017
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D	Coastal Response Cycle 2 - 7/27/2018
E	Coastal Permit Set - 10/15/2018

PHASE
 COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

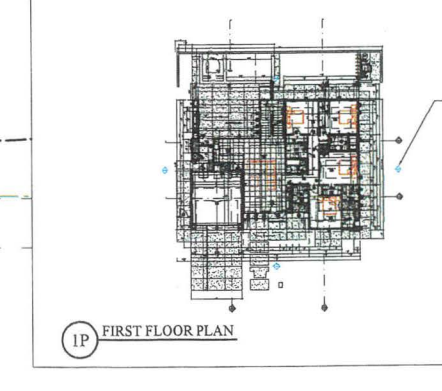
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DATE 11 - 21 - 2018

SHEET TITLE
 EXTERIOR ELEVATION PROPOSED

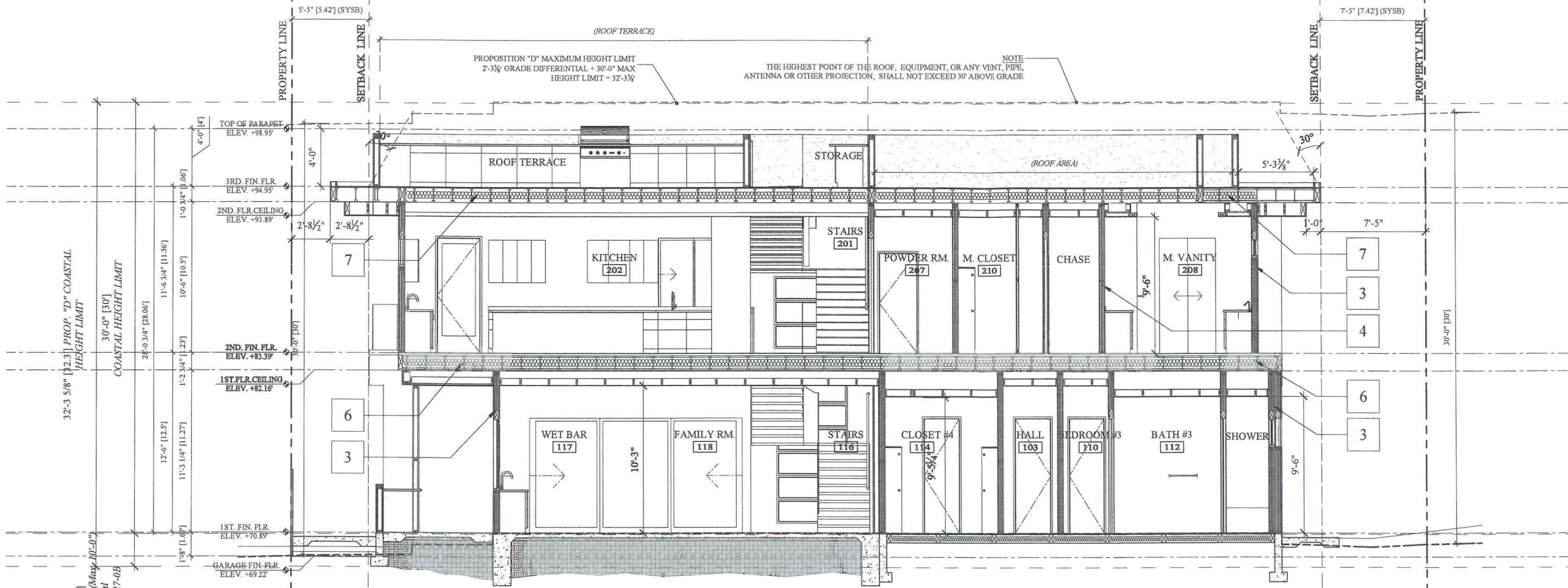
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SHEET 22 OF 33

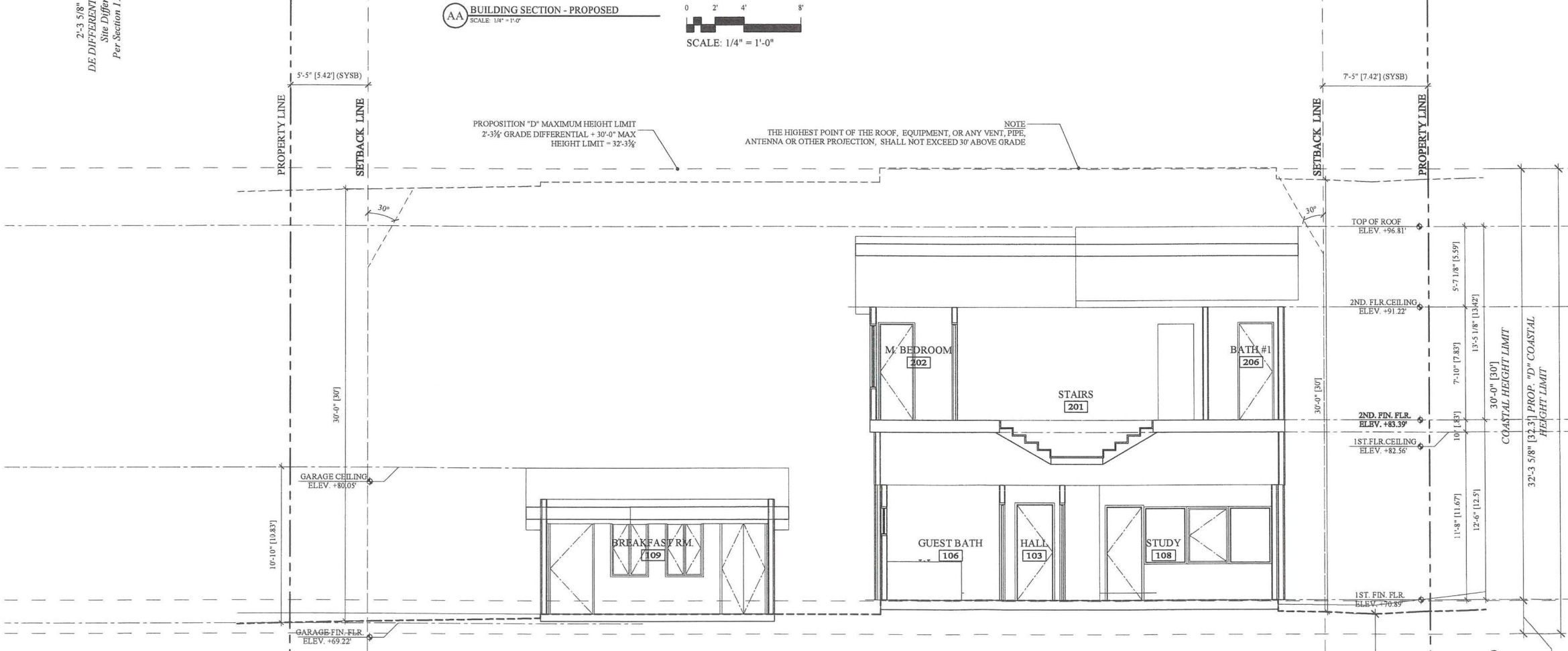


4P FIRST FLOOR PLAN

S:\Projects\2017\Projects\2017-32_251 Chelsea Street CAD\Drawings\Architectural\Coastal Phase\Sheets\A-5.1 Elevations.dwg Nov 20 2018 4:09pm



AA BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



AA BUILDING SECTION - EXISTING
SCALE: 1/4" = 1'-0"

SECTION NOTES

- A. ELEVATIONS CALL OUTS SHOWN ARE FROM TOP OF STRUCTURAL SLAB (TOS) OR TOP OF STRUCTURAL FLOOR SHEATHING DIAPHRAGM (TOSS).
- B. ELEVATIONS SHOWN ON THIS SHEET CROSS-REFERENCED TO ELEVATIONS SHOWN ON SITE PLAN ON SHEET A-1.2 OR FLOOR PLAN.
- C. SEE SHEET A-5.1 TO 5.4 FOR EXTERIOR ELEVATIONS AND FOR EXTERIOR FINISH NOTES.
- D. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.

DIMENSIONS

- A. EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD / FOUNDATION FACE OF CONCRETE / BLOCK / STEM WALL FACE. UNLESS NOTED OTHERWISE (U.N.O).
- B. INTERIOR WALL DIMENSIONS TO CENTERLINE OF STUD (U.N.O).
- C. CLEARANCE OR CLR. DIMENSIONS ARE TO FACE OF FINISH MATERIALS. (U.N.O)
- D. EXISTING OR REMODEL WALLS ARE MEASURED TO FINISH FACE OR WALL MATERIAL OR SURFACE. (U.N.O)

SECTION KEYNOTES

- 1. R-19 BATT INSULATION - AT 2 X 6 EXTERIOR WALLS AND/OR WALLS OF CONDITIONED SPACE AND WALLS SEPARATING LIVING / GARAGE.
- 2. PROVIDE R-19 BATT INSULATION - AT ALL INTERIOR 2X4 WALLS OR R-13 @ 2 X 4 WALLS FOR SOUND INSULATION.
- 3. R-15 BATT INSULATION - AT 2 X 4 EXTERIOR WALLS AND/OR WALLS OF CONDITIONED SPACE.
- 4. PROVIDE R-15 BATT INSULATION - AT ALL INTERIOR 2X4 WALLS FOR SOUND INSULATION.
- 5. R-30 BATT INSULATION - AT CEILINGS AND ROOF ATTIC AREAS AS SHOWN.
- 6. R-19 BATT INSULATION - AT FRAMED FLOORS AND RAISED FLOORS.
- 7. R-30 BATT INSULATION - AT ROOF PLenum AND RAISED FLOOR AREAS.
- 8. PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILING TAPED AND MUDDER (1-HOUR RATED WALLS & CEILINGS) (CBC Sec. 406.1.4)

General Section Notes

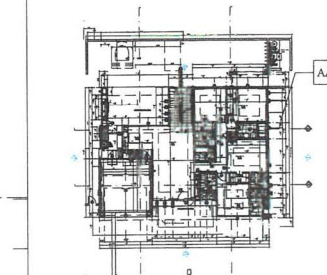
- General Section Notes**
1. This building section is for general information only.
 2. Refer to Structural Engineering drawings for additional information.
 3. It is the responsibility of the General Contractor to ensure the proposed structure is laid out and built in accordance with these sections and applicable codes and regulations.
 4. Within dimensions walls have precedence over scaled dimensions and shall be verified on the job site. On site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
 5. The Contractor or Sub-Contractor shall notify the architect in and conflicts or discrepancy occur between this information on this plan and actual field conditions.
 6. Any discrepancy with this drawing affecting the project layout shall be brought to the attention of the architect. Do not proceed with work in question until written or verbal instructions are issued by the architect.

- Building Height:**
7. A Pre-construction meeting is required for building with building height within one foot of the maximum height allowed in the coastal height limit overlay zone (Proposition D) (attention to height issues issues will be added to the list in inspection).
 8. The Pre-Construction Inspection must be schedule and cleared by the Field Inspector before and subsequent inspection can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the inspection Serviced Office at (858)492-5070 if you have any questions pertaining to the Pre-Construction Inspections.

- Guards and Glass Handrails:**
9. Guard shall be location along open-sided walking surfaces including stairs, ramps and landing, that are location more than 30 inches measured vertically to the floor or grade below at any point within 36 inches horizontally to the edge of the open side.
 10. Handrail and Guard Design Loads: handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds, applied to in any direction at any point along the top, and have attachment device and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.8.1.1)
 11. Glass material in handrails and guards: Glass used as a handrail assembly or a guard sections shall be constructed of either single fully tempered glass, laminated full tempered glass or laminated heat-strengthened glass. Glazing in railing in fill panels shall be of an approved safety glazing material that conforms to the provisions of Section 2406.1.1 (C.B.C.) for all Glazing types, the minimum nominal thickness shall be 1/2 inch (1/2 shall be used). Full temper glass and laminated glass shall comply with Category II of C.P.S.C. 16 CFR 1201, listing in Chapter 25 (Sec. 2407.1 - C.B.C.)
 12. Glass balustrade support: Each handrail or guard section shall be supported by a minimum of three (3) glass balustrade or shall be otherwise supported to remain in place should on balustrade panel fail. Glass balustrade shall not be installed with an attached handrail or guard.
 13. Glass Panel design loads: the glass panel in handrails and guards and, their support system, shall be designed to withstand the loads specified in section 1607.7. A safety factor of four (4) shall be used. Provide structural calculations to justify design of support and connections.

- Other Plan Notes:**
14. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be construction of minimum No. 26 gauge sheet steel or other approved material and shall have no opening in the garage.
 15. Garage floor surface shall be of approved non-combustible material and the area of the floor used for parking of automobiles and other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
 16. Clothes dryer in a closet: when a closet is designed for the installation of a clothes dryer, a minimum opening of 100 square inches for makeup air shall be provide in the door or by other approved means.

KEY PLAN



1P FIRST FLOOR PLAN



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Michael Morton AIA
Claudia Anthony Marengo D ES A



CHelsea REMODEL
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PHASE

COASTAL PHASE

PROJECT NO. 2017-32

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SHEET TITLE
BUILDING SECTION
PROPOSED

A-6.1
SHEET 23 OF 33



SECTION NOTES

- A. ELEVATIONS CALL OUTS SHOWN ARE FROM TOP OF STRUCTURAL SLAB (TOS) OR TOP OF STRUCTURAL FLOOR SHEATHING DIAPHRAGM (TOSS).
- B. ELEVATIONS SHOWN ON THIS SHEET CROSS-REFERENCED TO ELEVATIONS SHOWN ON SITE PLAN ON SHEET A-1.2 OR FLOOR PLAN.
- C. SEE SHEET A-5.1 TO 5.4 FOR EXTERIOR ELEVATIONS AND FOR EXTERIOR FINISH NOTES.
- D. SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.

DIMENSIONS

- A. EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD / FOUNDATION FACE OF CONCRETE / BLOCK / STEM WALL FACE, UNLESS NOTED OTHERWISE (U.N.O.)
- B. INTERIOR WALL DIMENSIONS TO CENTERLINE OF STUD (U.N.O.)
- C. CLEARANCE OR CLR. DIMENSIONS ARE TO FACE OF FINISH MATERIALS. (U.N.O.)
- D. EXISTING OR REMODEL WALLS ARE MEASURED TO FINISH FACE OR WALL MATERIAL OR SURFACE. (U.N.O.)
- E. FOR ADDITIONAL PROJECT INFORMATION - SEE ADDITIONAL SHEETS

SECTION KEYNOTES

- 1. R-19 BATT INSULATION - AT 2 X 6 EXTERIOR WALLS AND/OR WALLS OF CONDITIONED SPACE AND WALLS SEPARATING LIVING / GARAGE.
- 2. PROVIDE R-19 BATT INSULATION - AT ALL INTERIOR 2X6 WALLS OR R-13 @ 2 x 4 WALLS FOR SOUND INSULATION.
- 3. R-15 BATT INSULATION - AT 2 X 4 EXTERIOR WALLS AND/OR WALLS OF CONDITIONED SPACE.
- 4. PROVIDE R-15 BATT INSULATION - AT ALL INTERIOR 2X4 WALLS FOR SOUND INSULATION.
- 5. R-30 BATT INSULATION - AT CEILING AND ROOF ATTIC AREAS AS SHOWN.
- 6. R-19 BATT INSULATION - AT FRAMED FLOORS AND RAISED FLOORS.
- 7. R-30 BATT INSULATION - AT ROOF PLENUM AND RAISED FLOOR AREAS.
- 8. PROVIDE CONTINUOUS 5/8" TYPE "X" GYPSUM BOARD AT WALLS AND CEILING TAPED AND MUDDED (1-HOUR RATED WALLS & CEILING) (CBC Sec. 406.1.4)

General Section Notes

- General Section Notes**
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 2. Refer to Structural Engineering drawings for additional information.
 3. It is the responsibility of the General Contractor to ensure the proposed structure is built and built in accordance with these sections and applicable codes and regulations.
 4. Written dimensions will take precedence over scaled dimensions and shall be verified on the job site. On site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
 5. The Contractor or Sub-Contractor shall notify the architect in and contact or discrepancy occur between this information on this plan and actual field conditions.
 6. Any discrepancies with this drawing affecting the project layout shall be brought to the attention of the architect. Do not proceed with work in question until written or verbal instructions are issued by the architect.

Building Height:

7. A Pre-construction meeting is required for building with building height within one foot of the maximum height allowed in the coastal height limit overlay zone (Proposition D) (attention to height issues will be added the tier in its imposition).
8. The Pre-Construction Inspection must be scheduled and closed by the Field Inspector before and subsequent inspection can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services Office at (858)492-5070 if you have any questions pertaining to the Pre-Construction Inspection.

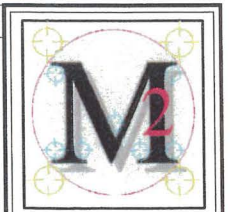
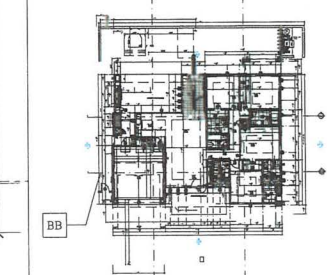
Guards and Glass Handrails:

9. Guard shall be located along open-sided walking surfaces including stairs, ramps and landings, that are located more than 30 inches measured vertically to the floor or grade below at any point within 36 inches horizontally to the edge of the open side.
10. Handrail and Guard Design Loads: handrail assembly and guards shall be able to resist a single concentrated load of 200 pounds applied in any direction at any point along the top, and have attachment device and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.8.1.1)
11. Glass material in handrails and guards: Glass used as a handrail assembly or a guard section shall be constructed of either single fully tempered glass, laminated full tempered glass or laminated heat-strengthened glass. Glazing in railing in fill panels shall be of an approved safety glazing material that conforms to the provisions of Section 2406.1.1 (C.B.C.) for all Glazing types, the minimum nominal thickness shall be 1/2 inch (1/2 shall be used). Full temper glass and laminated glass shall comply with Category II of C.P.S.C. 16 CFR 1201, Listing in Chapter 25 (Sec. 2407.1 - C.B.C.)
12. Glass balusters support: Each handrail or guard section shall be supported by a minimum of three (3) glass balusters or shall be otherwise supported to remain in place should a baluster fail. Glass balusters shall not be installed with an attached handrail or guard.
13. Glass Panel design loads: the glass panel in handrails and guards and their support system, shall be designed to withstand the loads specified in section 1607.7. A safety factor of four (4) shall be used. Provide structural calculations to justify design of support and connections.

Other Plan Notes:

14. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be construction of minimum No. 26 gauge sheet steel or other approved material and shall have no opening in the garage.
15. Garage floor surfaces shall be of approved non-combustible material and the area of the floor used for parking of automobiles and other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
16. Clothes dryer in a closet: when a closet is designed for the installation of a clothes dryer, a minimum opening of 100 square inches for makeup air shall be provided in the door or by other approved means.

KEY PLAN



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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

REVISIONS
 A Concept Design 11/01/2017
 B Schematic Design 12/19/2017
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 D Coastal Response - Cycle 2 - 7/27/2018
 E Coastal Permit Set - 10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

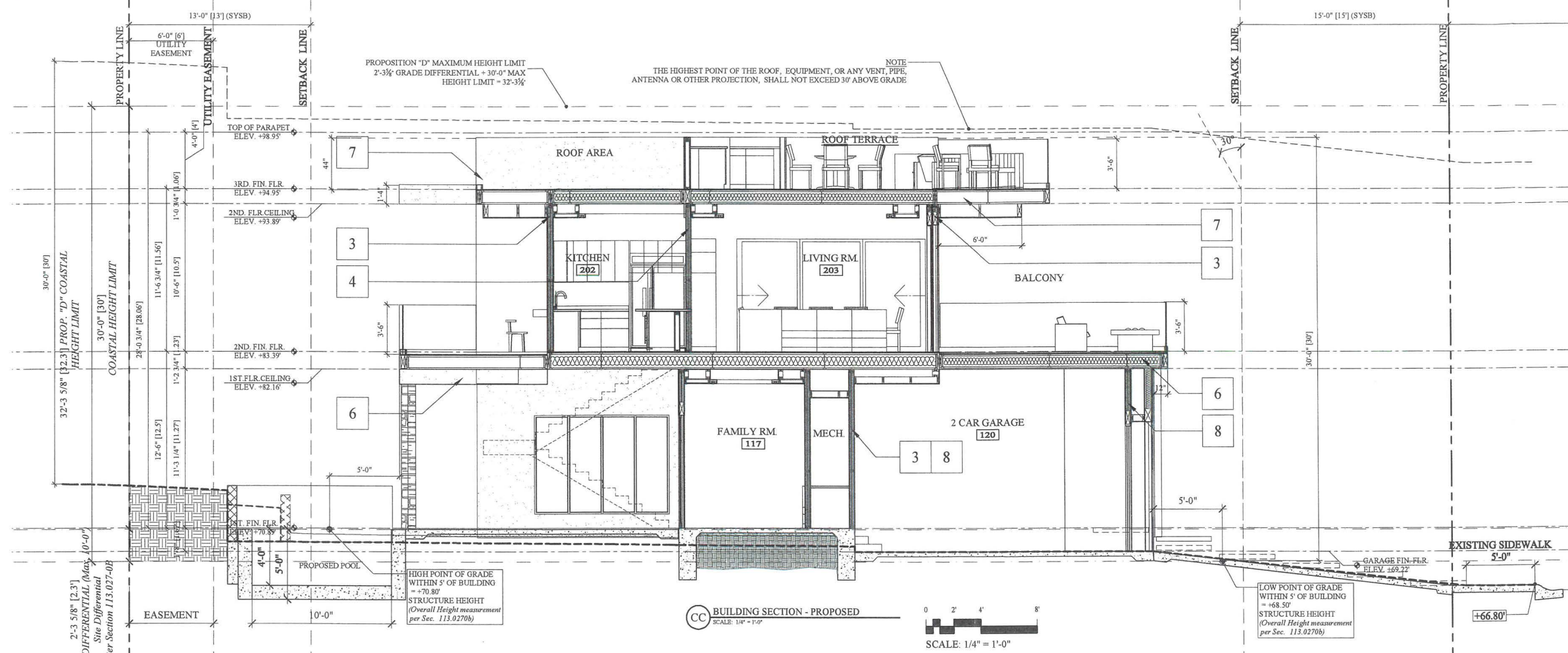
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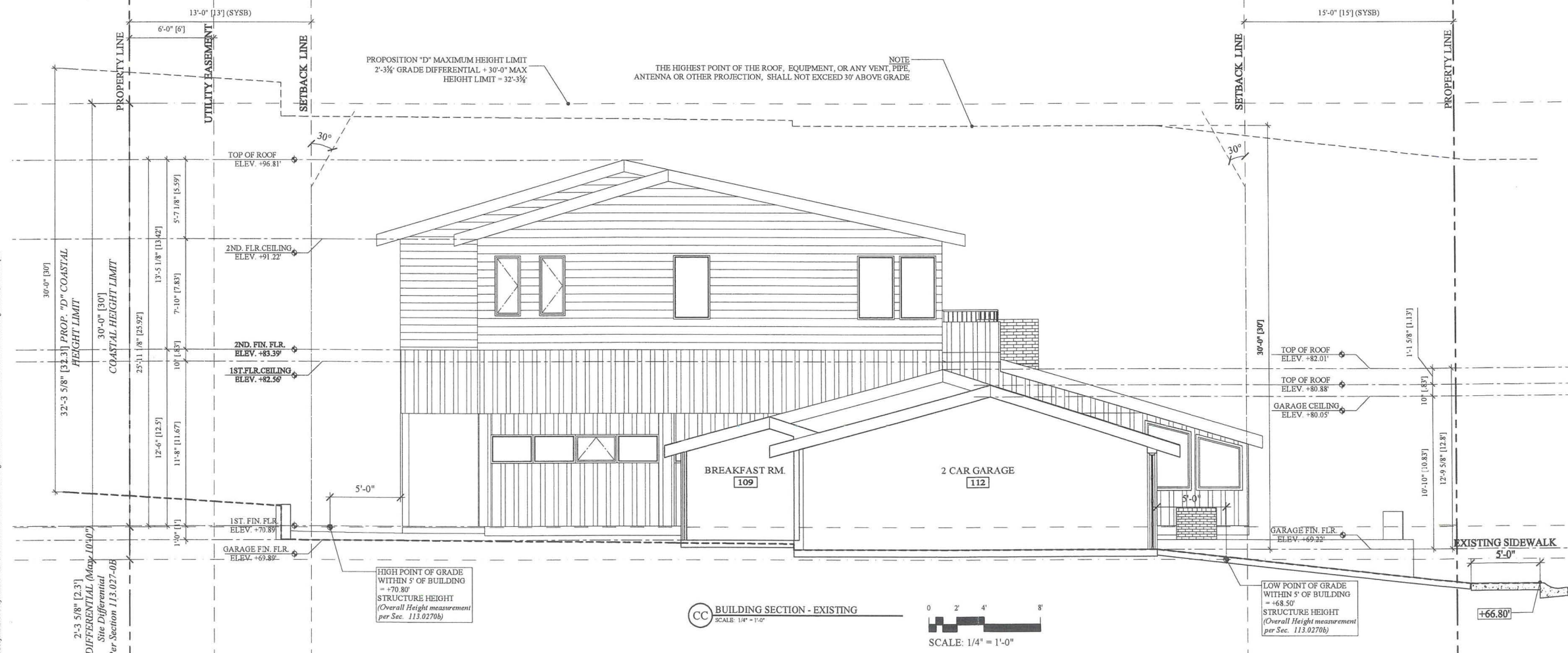
DATE 11-21-2018

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SHEET TITLE
 BUILDING SECTION
 PROPOSED
A-6.2
 SHEET 24 OF 33



CC BUILDING SECTION - PROPOSED
SCALE: 1/4" = 1'-0"



CC BUILDING SECTION - EXISTING
SCALE: 1/4" = 1'-0"

SECTION NOTES

- ELEVATIONS CALL OUTS SHOWN ARE FROM TOP OF STRUCTURAL SLAB (TOS) OR TOP OF STRUCTURAL FLOOR SHEATHING DIAPHRAGM (TOS).
- ELEVATIONS SHOWN ON THIS SHEET CROSS-REFERENCED TO ELEVATIONS SHOWN ON SITE PLAN ON SHEET A-1.2 OR FLOOR PLAN.
- SEE SHEET A-5.1 TO 5.4 FOR EXTERIOR ELEVATIONS AND FOR EXTERIOR FINISH NOTES.
- SEE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS OR MATERIALS.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD / FOUNDATION FACE OF CONCRETE / BLOCK / STEM WALL FACE. UNLESS NOTED OTHERWISE (U.N.C.)
- INTERIOR WALL DIMENSIONS TO CENTERLINE OF STUD (U.N.C.)
- CLEARANCE OR CLR. DIMENSIONS ARE TO FACE OF FINISH MATERIALS (U.N.C.)
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B. FOR ADDITIONAL PROJECT INFORMATION - SEE ADDITIONAL SHEETS

SECTION KEYNOTES

- R-19 BATT INSULATION - AT 2 X 6 EXTERIOR WALLS, AND/OR WALLS OF CONDITIONED SPACE AND WALLS SEPARATING LIVING / GARAGE.
- PROVIDE R-19 BATT INSULATION - AT ALL INTERIOR 2X6 WALLS OR R-13 @ 2 x 4 WALLS FOR SOUND INSULATION.
- R-15 BATT INSULATION - AT 2 X 4 EXTERIOR WALLS AND/OR WALLS OF CONDITIONED SPACE.
- PROVIDE R-5 BATT INSULATION - AT ALL INTERIOR 2X4 WALLS FOR SOUND INSULATION.
- R-30 BATT INSULATION - AT CEILINGS AND ROOF ATTIC AREAS AS SHOWN.
- R-19 BATT INSULATION - AT FRAMED FLOORS AND RAISED FLOORS.
- R-30 BATT INSULATION - AT ROOF PLENUM AND RAISED FLOOR AREAS.
- PROVIDE CONTINUOUS 5/8" TYPE 'X' GYPSUM BOARD AT WALLS AND CEILING TAPED AND MUDDERED (1-HOUR RATED WALLS & CEILINGS) (CBC Sec. 406.1.4)

General Section Notes

- This building section is for general information only.
- Refer to Structural Engineering drawings for additional information.
- It is the responsibility of the Owner/Contractor to ensure that the proposed structure is laid out and built in accordance with these sections and applicable codes and regulations.
- Written dimensions will take precedence over scaled dimensions and shall be verified on the job site. On site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- The Contractor or Sub-Contractor shall notify the architect in writing of any conflicts or discrepancy occur between this information on this plan and actual field conditions.
- Any discrepancies with this drawing affecting the project layout shall be brought to the attention of the architect. Do not proceed with work in question until written or verbal instructions are issued by the architect.

Building Height:

- A Pre-construction meeting is required for building with building height within one foot of the maximum height allowed in the coastal height limit overlay zone (Proposition 13) (attention to height issues will be added the tier in inspections).
- The Pre-Construction Inspection must be scheduled and cleared by the Field Inspector before and subsequent inspection can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services Office at (858)492-5070 if you have any questions pertaining to the Pre-Construction Inspections.

Guards and Glass Handrails:

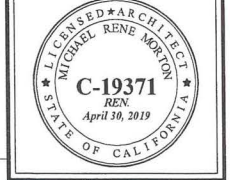
- Guards shall be located along open-sided walking surfaces including stairs, ramps and landing, that are located more than 30 inches measured vertically to the floor or grade below at any point within 36 inches horizontally to the edge of the open side.
- Handrail and Guard Design Loads: handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds, applied to in any direction at any point along the top, and have attachment devices and supporting structures to transfer this loading to appropriate structural elements of the building. (CBC 1607.8.1.1)
- Glass material in handrails and guards: Glass used as a handrail assembly or a guard section shall be constructed of either single fully tempered glass, laminated full tempered glass or laminated heat-strengthened glass. Glazing in railing in fill panels shall be of an approved safety glazing material that conforms to the provisions of Section 2406.1.1 (C.B.C.) for all Glazing types, the minimum nominal thickness shall be 1/2 inch (1/2 shall be used). Full temper glass and laminated glass shall comply with Category II of C.P.S.C. 16 CFR 1201, listing in Chapter 25 (Sec. 2407.1 - C.B.C.)
- Glass balustrade support: Each handrail or guard section shall be supported by a minimum of three (3) glass balustrades or shall be otherwise supported to remain in place should on balustrade panel fall. Glass balustrades shall not be installed with an attached handrail or guard.
- Glass Panel design loads: the glass panel in handrails and guards and their support system, shall be designed to withstand the loads specified in section 1607.7. A safety factor of four (4) shall be used. Provide structural calculations to justify design of support and connections.

Other Plan Notes:

- Doors in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be construction of minimum No. 26 gauge sheet steel or other approved material and shall have no opening in the garage.
- Garage floor surfaces shall be of approved non-combustible material and the area of the floor used for parking of automobiles and other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- Clothes dryer in a closet when a closet is designed for the installation of a clothes dryer, a minimum opening of 100 square inches for makeup air shall be provide in the door or by other approved means.



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CHelsea REMODEL
5251 Chelsea Street
La Jolla, CA 92037

REVISIONS

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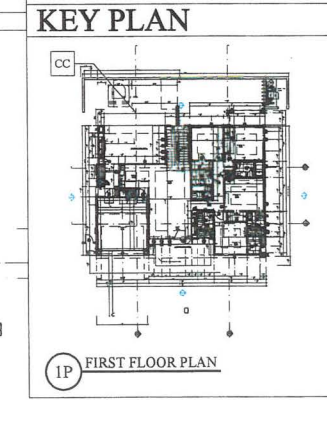
PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11-21-2018



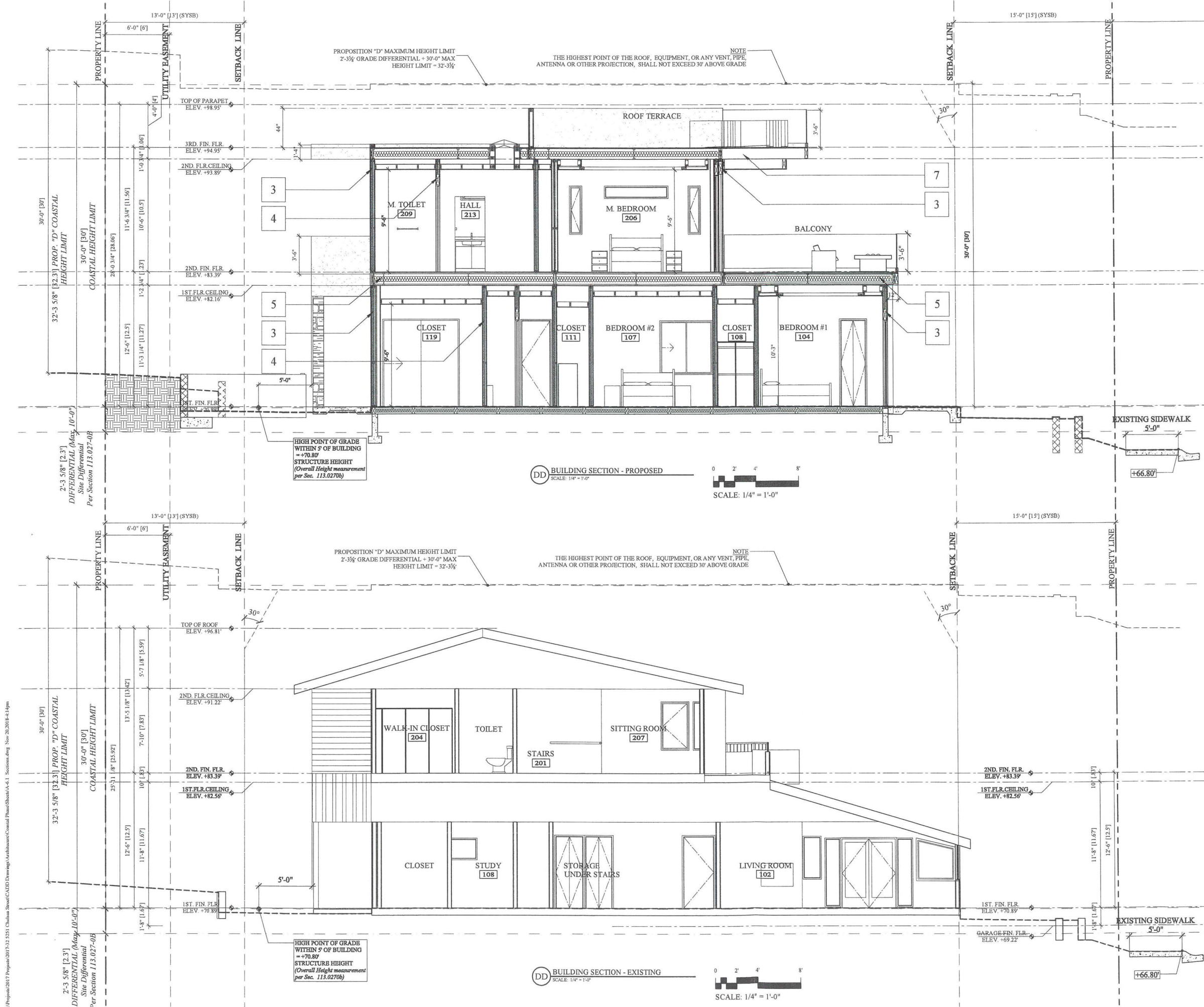
KEY PLAN

1P FIRST FLOOR PLAN

BUILDING SECTION PROPOSED

A-6.3

SHEET 25 OF 33



SECTION NOTES

- ELEVATIONS CALL OUTS SHOWN ARE FROM TOP OF STRUCTURAL SLAB (TOS) OR TOP OF STRUCTURAL FLOOR SHEATHING DIAPHRAGM (TOS).
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- R-30 BATT INSULATION - AT CEILING AND ROOF ATTIC AREAS AS SHOWN.
- R-19 BATT INSULATION - AT RAISED FLOORS AND RAISED FLOOR AREAS.
- R-30 BATT INSULATION - AT ROOF PLENUM AND RAISED FLOOR AREAS.
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Building Height

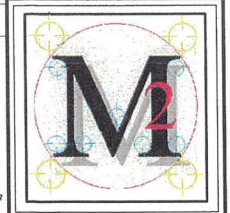
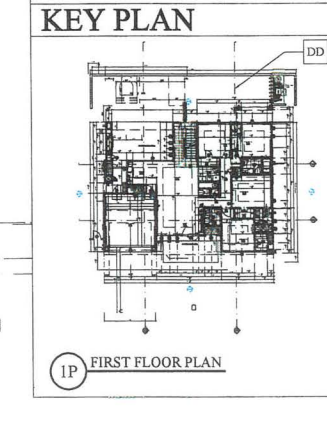
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Handrails and Glass Handrails:

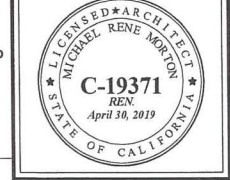
- Guard shall be located along open-sided walking surfaces including stairs, ramps and landing, that are location more than 30 inches measured vertically to the floor or grade below at any point within 36 inches horizontally to the edge of the open side.
- Handrail and Guard Design Loads' handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds, applied in any direction at any point along the top, and have structural members and supporting structure to transfer this loading to appropriate structural elements of the building. (CBC 1607.8.1.1)
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- Glass balustrade support: Each handrail or guard section shall be supported by a minimum of three (3) glass balustrade or shall be otherwise supported to remain in place should an balustrade panel fail. Glass balustrade shall not be installed with an attached handrail or guard.
- Glass Panels design loads: the glass panel in handrails and guards and, their support systems, shall be designed to withstand the loads specified in section 1607.7. A safety factor of four (4) shall be used. Provide structural calculations to justify design of support and connections.

Other Plan Notes

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CHELSEA REMODEL
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REVISIONS

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PHASE
 COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

SHEET TITLE
 BUILDING SECTION
 PROPOSED

A-6.4
 SHEET 26 OF 33

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FRONT ELEVATION



VIEW FROM SOUTH



VIEW FROM SOUTH EAST



VIEW FROM NORTH EAST



VIEW FROM NORTH WEST

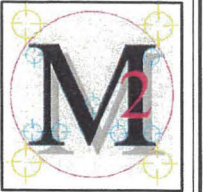


VIEW FROM WEST

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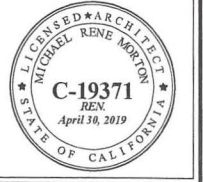
1 PERSPECTIVE RENDERINGS
SCALE: NONE

Note:
THESE RENDERINGS REPRESENT THE OVERALL DESIGN INTENT AND DO NOT REFLECT THE CURRENT DETAILED PLANS, SECTIONS AND ELEVATIONS. THESE SHOULD ONLY BE REFERENCED FOR GENERAL SITE INTENT, CONTEXT AND SCALE.



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PROJECT NO. 2017-32

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DATE 11 - 21 - 2018

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SHEET TITLE
PROPOSED
EXTERIOR
RENDERINGS

A-9.1

SHEET 27 OF 33



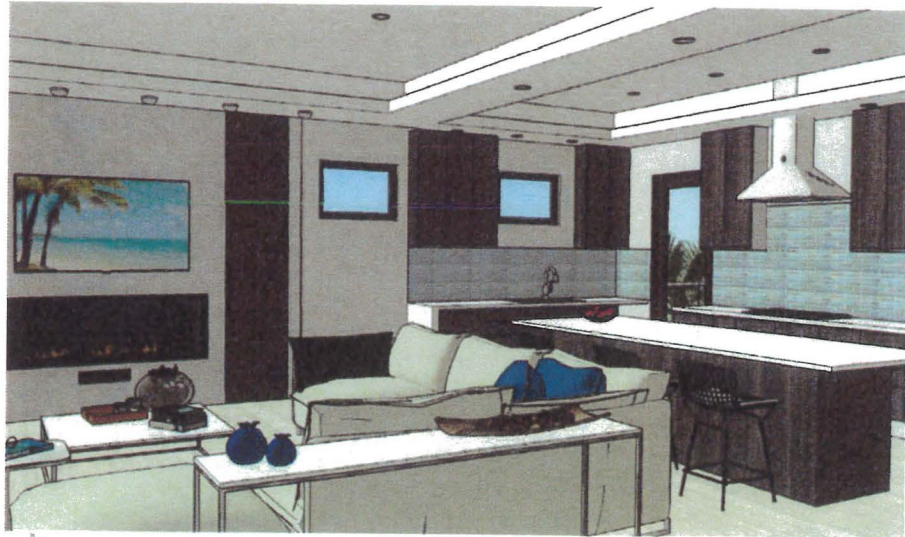
STREET AERIAL VIEW



VIEW FROM EAST



VIEW FROM NORTH



INTERIOR OF KITCHEN



INTERIOR OF LIVING



INTERIOR OF DINNING

S:\Projects\2017\Projects\2017-251 Chelsea Street\CAJDR\Drawings\Interior\Coastal Phase\Sheet A-9.2 - Render

1 PERSPECTIVE RENDERINGS
SCALE: NONE

Note:
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CHELSEA REMODEL

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PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

Marengo Morton Architects, Inc. is providing its services to you under a contract for professional architectural services. The project is subject to the terms, conditions and specifications set forth in the contract documents. The project is subject to the terms, conditions and specifications set forth in the contract documents. The project is subject to the terms, conditions and specifications set forth in the contract documents. The project is subject to the terms, conditions and specifications set forth in the contract documents.

SHEET TITLE
PROPOSED
EXTERIOR
RENDERINGS

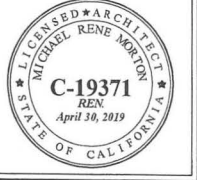
A-9.2

SHEET 28 OF 33

PROPOSED PROJECT SITE



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CHELSEA REMODEL
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- A Concept Design 11/01/2017
 - B Schematic Design 12/19/2017
 - C Coastal Phase 05/31/2018
 - D Coastal Response - Cycle 2 - 7/27/2018
 - E Coastal Permit Set - 10/15/2018



PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

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SHEET TITLE
STREET VIEW
NEIGHBORHOOD CONTEXT

A-9.3

SHEET 29 OF 33

NEIGHBORHOOD CONTEXT

PROPOSED PROJECT SITE



PROPOSED PROJECT SITE



5281 5271 5260 5259 5251 5247 5241 5233 5227 5219 5211

S:\Projects\2017 Projects\2017-32-5251 Chelsea Street\CADD Drawings\Architect\Coastal Phase\Sheet A

NEIGHBORHOOD CONTEXT



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CHELSEA REMODEL

5251 Chelsea Street
La Jolla, CA 92037

REVISIONS
A Concept Design 11/01/2017
B Schematic Design 12/19/2017
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D Coastal Response - Cycle 2 - 7/27/2018
E Coastal Permit Set - 10/15/2018



PHASE
COASTAL PHASE

PROJECT NO. 2017-32

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SHEET TITLE
STREET VIEW
NEIGHBORHOOD CONTEXT

A-9.4

SHEET 30 OF 33

PROPOSED PROJECT SITE



NEIGHBORHOOD CONTEXT



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CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

- REVISIONS
- A Concept Design 11/01/2017
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PHASE
COASTAL PHASE

PROJECT NO. 2017-32

REVIEWED BY MRM

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DATE 11 - 21 - 2018

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SHEET TITLE
COASTAL AERIAL
NEIGHBORHOOD CONTEXT

A-9.5

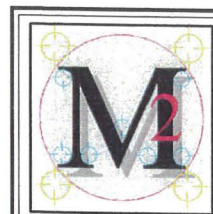
SHEET 31 OF 33

PROPOSED PROJECT SITE

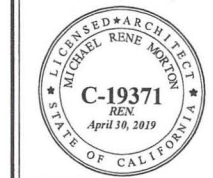


Note:
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PROPOSED NEIGHBORHOOD CONTEXT



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CHelsea REMODEL

5251 Chelsea Street
 La Jolla, CA 92037

- REVISIONS
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PHASE
COASTAL PHASE

PROJECT NO. 2017-32

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SHEET TITLE
 COASTAL
 PROPOSED CONTEXT

A-9.6
 SHEET 32 OF 33



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CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

REVISIONS
A Concept Design 11/01/2017
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PHASE
COASTAL PHASE

PROJECT NO. 2017-32

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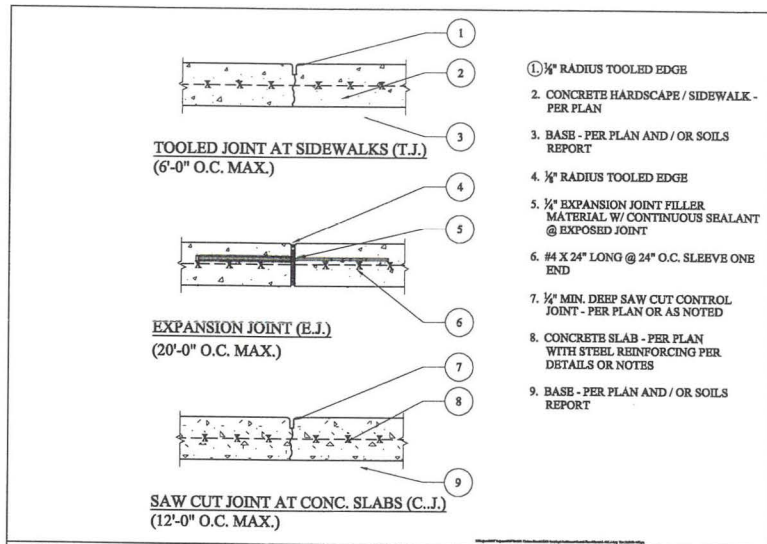
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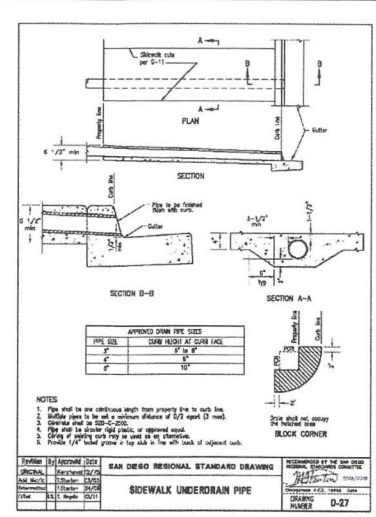
SHEET TITLE
COASTAL
PROPOSED CONTEXT

A-9.6b
SHEET 32 OF 33

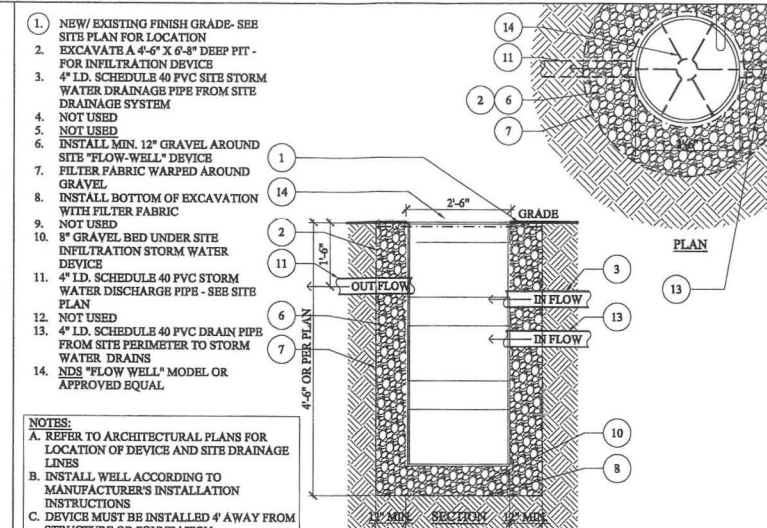
PROPOSED RENDERINGS



- 1/4" RADIUS TOOLED EDGE
- CONCRETE HARDSCAPE / SIDEWALK - PER PLAN
- BASE - PER PLAN AND / OR SOILS REPORT
- 1/4" RADIUS TOOLED EDGE
- 1/2" EXPANSION JOINT FILLER MATERIAL W/ CONTINUOUS SEALANT @ EXPOSED JOINT
- 84 X 24" LONG @ 24" O.C. SLEEVE ONE END
- 1/2" MIN. DEEP SAW CUT CONTROL JOINT - PER PLAN OR AS NOTED
- CONCRETE SLAB - PER PLAN WITH STEEL REINFORCING PER DETAILS OR NOTES
- BASE - PER PLAN AND / OR SOILS REPORT

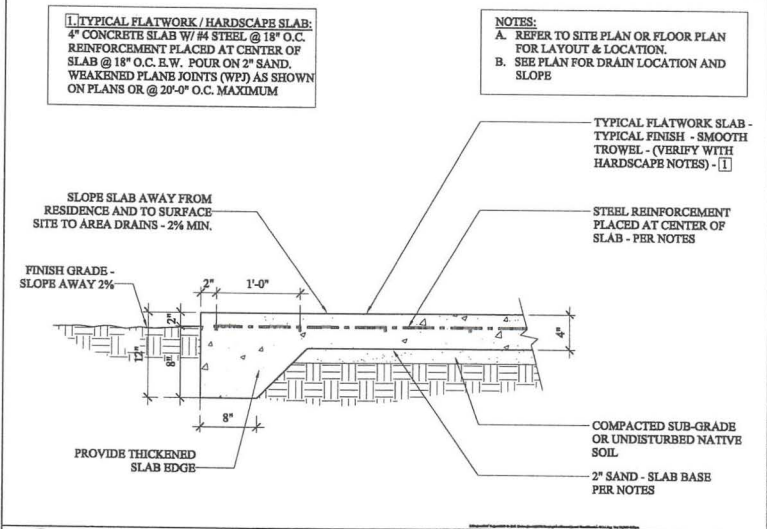


4
A-10.1.1
STD. SIDEWALK UNDERDRAIN PIPE DETAIL.
SCALE: AS NOTED

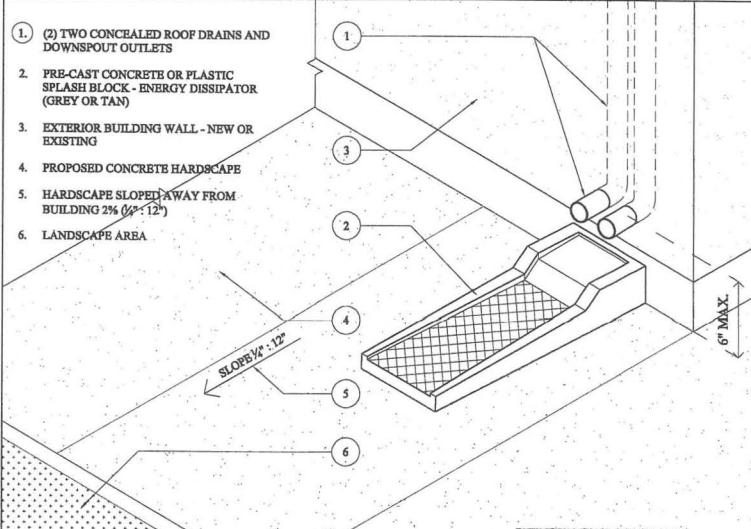


1
A-10.1.1
SITE STORM WATER INFILTRATION DETAIL
SCALE: 1/2" = 1'-0"

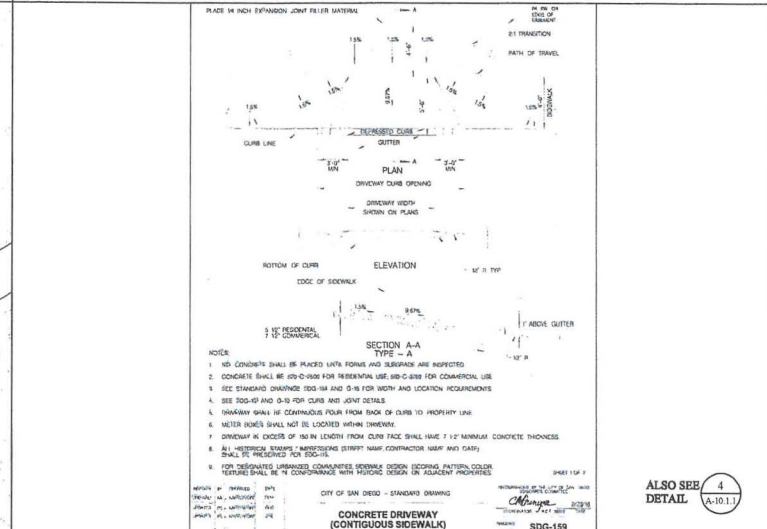
7
A-10.1.1
CONCRETE CONTROL JOINTS
SCALE: 1 1/2" = 1'-0"



8
A-10.1.1
FLATWORK / HARDSCAPE SLAB DETAIL
SCALE: 1" = 1'-0"



5
A-10.1.1
DOWNSPOUT OUTLET/ENERGY DISSIPATOR
SCALE: 1" = 1'-0"



2
A-10.1.1
STD. CONCRETE DRIVEWAY
SCALE: AS NOTED



3
A-10.1.1
BACKFLOW PREVENTION DEVICE
SCALE: NOT TO SCALE (1" = 1'-0")

9
A-10.1.1

6
A-10.1.1

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April 30, 2019
STATE OF CALIFORNIA

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CHELSEA REMODEL
5251 Chelsea Street
La Jolla, CA 92037

REVISIONS

A	Concept Design	11/01/2017
B	Schematic Design	12/19/2017
C	Coastal Phase	05/31/2018
D	Coastal Response - Cycle 2	-7/27/2018
E	Coastal Permit Set	10/15/2018

PHASE
COASTAL PHASE

PROJECT NO. 2017-32

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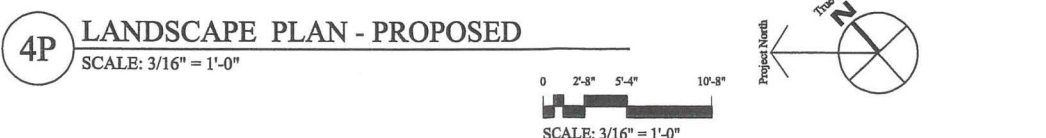
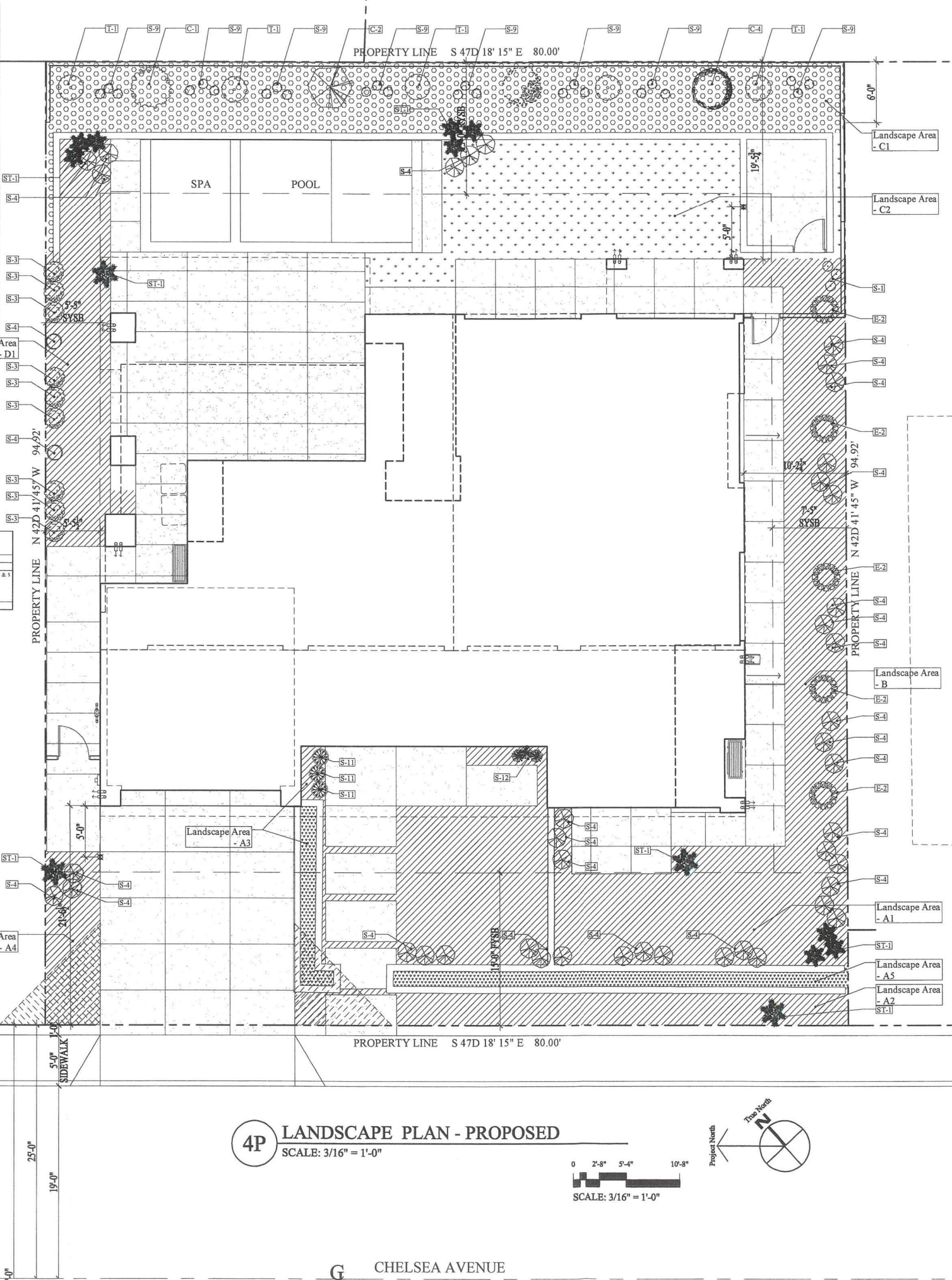
DATE 11 - 21 - 2018

SHEET TITLE
DETAILS

A-10.1.1
SHEET 33 OF 33

SYM	SYMBOL	BOTANICAL NAME	COMMON NAME	HT. SPRD. SIZE	SIZE	QTY	REMARKS
ST-1		Aschrotophorus Alexandr	King Palm Single Trunk	8' BTTL	3	3	Single trunk (3-matching)
T-1		Olea s. 'Wilson'	Wilson Olive Tree 12' - 12"	36" hgt	5	5	Multi-trunk (2-matching)
T-2		Aschrotophorus Alexandr	King Palm Multi-Trunk	8' RTH	3	3	Single trunk (3-matching)
BH-1		Brachyotum	Brachyotum	40' tall	3	3	5' brown trunk
P-5		Aschrotophorus Alexandr	King Palm Multi-Trunk	40' tall	3	3	5' brown trunk
E-1		Bougainvillea brasiliensis	Purple Bougainvillea	5 gal	3	3	Trellis, espalier to wall or fence
E-2		Canavalia s. 'Sargol'	Kaiser San Canavalia	5 gal	1	1	Trellis, espalier to wall or fence
D-1		Dwarf Citrus / Pine	Dwarf Citrus / Pine	15 gal	1	1	
C-1		Citrus spp.	Dwarf Valencia Orange	15 gal	1	1	
C-2		Citrus spp.	Dwarf Blood Lime	15 gal	1	1	
C-3		Citrus spp.	Dwarf Satsuma Mandarin	15 gal	1	1	
C-4		Citrus spp.	Dwarf Navel Orange	15 gal	1	1	
S-1		Cyperus s. 'Tay Tower'	Tay Tower Italian Cypress	15 gal	3	3	Shrub Planting
L-1		Lantana s. 'Gold Glow'	Gold Glow Lantana	5 gal	9	9	Plant form, standard
P-1		Phormium tenax	NEW ZEALAND FLAX	5 gal	1	1	Screen Planting
S-5		Myrica s. 'Compacta'	Compact Myrtle	5 gal	1	1	
S-6		Raphidophyllum s. 'Pinkie'	Pinkie India Hawthorn	5 gal	1	1	
S-7		Rapidois s. 'Ramon Newby'	Ramon Newby Rapidois	5 gal	1	1	Matching
S-8		Sansevieria s. 'Meringe Light'	Blad of Paradise	15 gal	1	1	
S-9		Zamia furfuracea	Candlestick Palm	14" pot	1	1	
GC-1		Ophiopogon japonicus	Mondo Grass	Flatbed			Shaded Entry Beds, rooftop p/4' x 3" c.
GC-2		Trachypogon americanus	Asian Jasmine	1 gal			Planted at 12" on center spacing
GC-3		Trachypogon americanus	Star Jasmine	1 gal			Planted at 18" on center spacing
GC-4		Zoysia tenuifolia	Platinum Zoysia Grass	Sodded			Front Walkway margins, Sid. cur and bed
GC-5		Zoysia tenuifolia	Platinum Zoysia Grass	Sodded			Driveway paving margins w/ Grasscrete, Sid. cur and bed continuation

1 LOT AREA:	7,600.0 S.F.	
2 TOTAL AREA:	817 ACRES	
3 MINIMUM LANDSCAPE COVERAGE:	2,280.0 S.F.	30.0%
4 ACTUAL LANDSCAPE COVERAGE:	2,510.2 S.F.	33.0%
5 Landscape Area:	2,510.2 S.F.	33.0%
(A) Landscaping Area - Front Yard Landscape Area	947.8 S.F.	936.66 S.F. Area A+1,3,3.1 & 5
(B) Landscaping Area - South Side Yard Area	271.8 S.F.	386.82 S.F. Area B
(C) Landscaping Area - Rear Yard & Raised Planter Area	1,295.6 S.F.	924.45 S.F. Area C
(D) Landscaping Area - North Side Yard Area	85.0 S.F.	262.23 S.F. Area D
Area of New Total Landscape	2,602.0 S.F.	2,510.16 S.F.



LANDSCAPE LEGEND

PALMS	SHRUBS
WINDMILL PALM 12" pot - 1.5' tall (E1)	TAY TOWER ITALIAN CYPRESS 6" pot - 6" tall (E1)
KENIA PALM 12" pot - 1.5' tall (E2)	LAVANDER 12" pot (E1)
MEDITERRANEAN PALM 12" pot - 1.5' tall (E2)	GLORY TREE 12" pot (E1)
PIYUN DATE PALM 12" pot - 1.5' tall (E2)	NEW ZEALAND FLAX 12" pot (E1)
KNOX PALM 12" pot - 1.5' tall (E2)	MYRTUS C. COMPACTA 12" pot (E1)
MILLY-TRUNK 12" pot - 1.5' tall (E2)	RAPIHOLYPIS TUCKER 12" pot (E1)
QUEEN PALM 12" pot - 1.5' tall (E2)	GIANT BIRD OF PARADISE 12" pot (E1)
BIRD OF PARADISE 12" pot - 1.5' tall (E2)	MORNING LIGHT COUNTRY 12" pot (E1)
TREE SPECIES	ELPHANT EARS 12" pot (E1)
WILSON OLIVE TREE 12" pot - 1.5' tall (E1)	CARDUOIDEA PALM 12" pot (E1)
ORNAMENTAL PEAR 12" pot - 1.5' tall (E1)	BLABANUS 12" pot (E1)
ALABANUS 12" pot - 1.5' tall (E1)	ALGERIAN MYRTLE 12" pot (E1)
ITALIAN SYDNEY PINE 12" pot - 1.5' tall (E1)	ALPICO PINE 12" pot (E1)
ALPICO PINE 12" pot - 1.5' tall (E1)	MYOPORUM 12" pot (E1)
MYOPORUM 12" pot - 1.5' tall (E1)	CANARY ISLAND PINE 12" pot (E1)
CANARY ISLAND PINE 12" pot - 1.5' tall (E1)	MONTEREY PINE 12" pot (E1)
MONTEREY PINE 12" pot - 1.5' tall (E1)	DWARF VALERIAN 12" pot (E1)
DWARF VALERIAN 12" pot - 1.5' tall (E1)	DWARF BEARS EARS 12" pot (E1)
DWARF BEARS EARS 12" pot - 1.5' tall (E1)	CITRUS SPP. 12" pot (E1)
CITRUS SPP. 12" pot - 1.5' tall (E1)	

LANDSCAPE & IRRIGATION NOTES:

- All landscape and irrigation shall conform to the standards of the City of San Diego Landscape Ordinance, the La Jolla Community Plan and the city-wide landscape regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related city and regional standards.
- All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence [LDC 1510.0304(c)].
- All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material [LDC 1510.0304(b)].
- All of the landscape to meet the landscape requirements shall be installed as required by the San Diego Landscape Ordinance [LDC 1510.0304(b)].
- All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or removal of trees is not permitted unless specifically noted in this permit.
- The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards, and the City of San Diego Department within 30 days of damage or Final Inspection.
- If any required landscape (including existing or new plantings, landscape, landscape fixtures, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department.
- Long term maintenance: all required landscape areas shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit. All landscape and irrigation in the public right of way shall also be maintained by the owner.
- Tree root barriers shall be installed where trees are placed within 5' of public improvements including walks, curbs or street pavement.
- Tree grass ground street trees shall be a minimum of 40 S.F. with a minimum 5' inside dimension.
- All required planting areas shall be covered with mulch to a minimum depth of 2", excluding trees planted with groundcover. All exposed soil areas without vegetation shall also be mulched to this minimum depth.
- Minimum tree separation distance:
a. Traffic signals (stop sign) 20 feet
b. Underground utility lines 10 feet
c. Above ground utility structures 10 feet
d. Driveway (entire) 10 feet
e. Street intersections 25 feet
f. Sewer lines 10 feet
- Prior to issuance of any building permits, a complete set of landscaping and irrigation plans shall be submitted to the City of San Diego for approval. The landscaping and irrigation plans shall be in conformance with the requirements of the San Diego Landscape Ordinance, the La Jolla Community Plan and the landscape guidelines of the land development manual.
- All required landscaped areas shall be permanently irrigated and maintained in accordance with the landscape guidelines of the land development manual.
- An automatic, water-efficient irrigation system shall be provided to establish and maintain landscaping.
- Landscape and irrigation maintenance is the responsibility of the owner.
- Minimum tree/improvement separation distance: traffic signals / stop signs - 20 feet; underground utility lines - 5 feet; above ground utility structures - 10 feet; driveways - 10 feet.
- All landscape and irrigation shall conform to the standards of the city-wide landscape regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related city and regional standards.
- Long term maintenance: all required landscape areas shall be maintained in a healthy growing condition. Landscape areas shall be free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

General Landscaping Notes or Requirements:

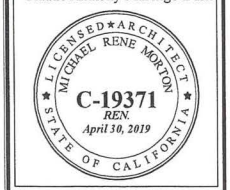
- Install all irrigation components in conformance with current City of San Diego requirements and current A.P.W.A. Standards Plans.
- The Contractor shall bring any discrepancies found or encountered in the plans or in the actual field conditions to the attention of the landscape architect immediately and receive written direction prior to proceeding further with the work in question.
- Install all sprinkler risers with double swing joint assemblies utilizing Manflex or Orbit Swing Elbow Joint and a minimum 3/4" long PVC sch. 80 nipple arm. Use Teflon tape on all threaded pipe connections.
- Install all control valves in new green plastic valve boxes as manufactured by NDS or equal.
- Refer to the Irrigation Notes for additional project requirements.
- Shut Off Valve: Before commencing, contractor shall verify the location of all utilities at least two (2) working days prior to excavation by calling Underground Service Alert @ 1-800-227-2600. Contractor shall request the mark-out of underground utilities including but not limited to gas, electric, telephone, water, sewer, lighting, television. Contractor shall be responsible to locate and verify exact location of utilities following mark-out.
- Backflow Preventer Location: Contractor to install backflow preventer adjacent building wall 18" above finish grade in side yard area. Contractor shall obtain owner's approval of location prior to commencing work.
- Pressure Regulating Valve Location: Contractor to install pressure regulating valve immediately downstream of backflow preventer assembly 18" above finish grade.
- Master Valve Location: Contractor to install master valve downstream of proposed backflow preventer and pressure regulating valve in yard area (see plan).
- Rain Sensor Location: Contractor to install rain sensor on upper roof edge (per plan). Contractor shall obtain owner's approval for sensor location prior to installation.
- Drinking Domestic Water Meter Location: Existing water meter located in right of way in concrete base.
- Extra Control Valve: Contractor shall pull two (2) extra valves #14 wires from the irrigation controller to last remote-control valve and coil wire neatly in valve box.
- Irrigation Point of Connection: Irrigation contractor to install Copper Tee (line size) per plan in existing potable water service pipe per plan 18" above finish grade. Install brass ball valve immediately downstream of Tee prior to backflow preventer.

LANDSCAPE DESIGNER STATEMENT:

- The landscape design intent of this plan is to create a multiple planar landscape areas that reinforce and complement the project architecture. The Architecture creates multiple volumes and valleys and multiple edge conditions and limitations areas that will be softened with landscape screening elements. The perimeter landscaping is meant to create dramatic silhouettes and by the use of large specimen plantings to create a focal point in the small or confined spatial volumes.
- The landscape species selection to represent a semi-tropical plant palette of deep green and broad leaf plants. Large potted plantings and small site plantings of vines and creeping vine material to soften the wall or pool area, smaller ground covering material and shrubs will punctuate the specimen plantings.
- Plant selection will be semi-tropical and drought resistant plantings; if native species are available, they may be substituted. Irrigation will carefully design to be water efficient as possible. Small plant areas, specimen plants and large potted plants will be drip or micro-irrigated. The entire system will be time-managed.



Marengo Morton Architects
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 Second Floor
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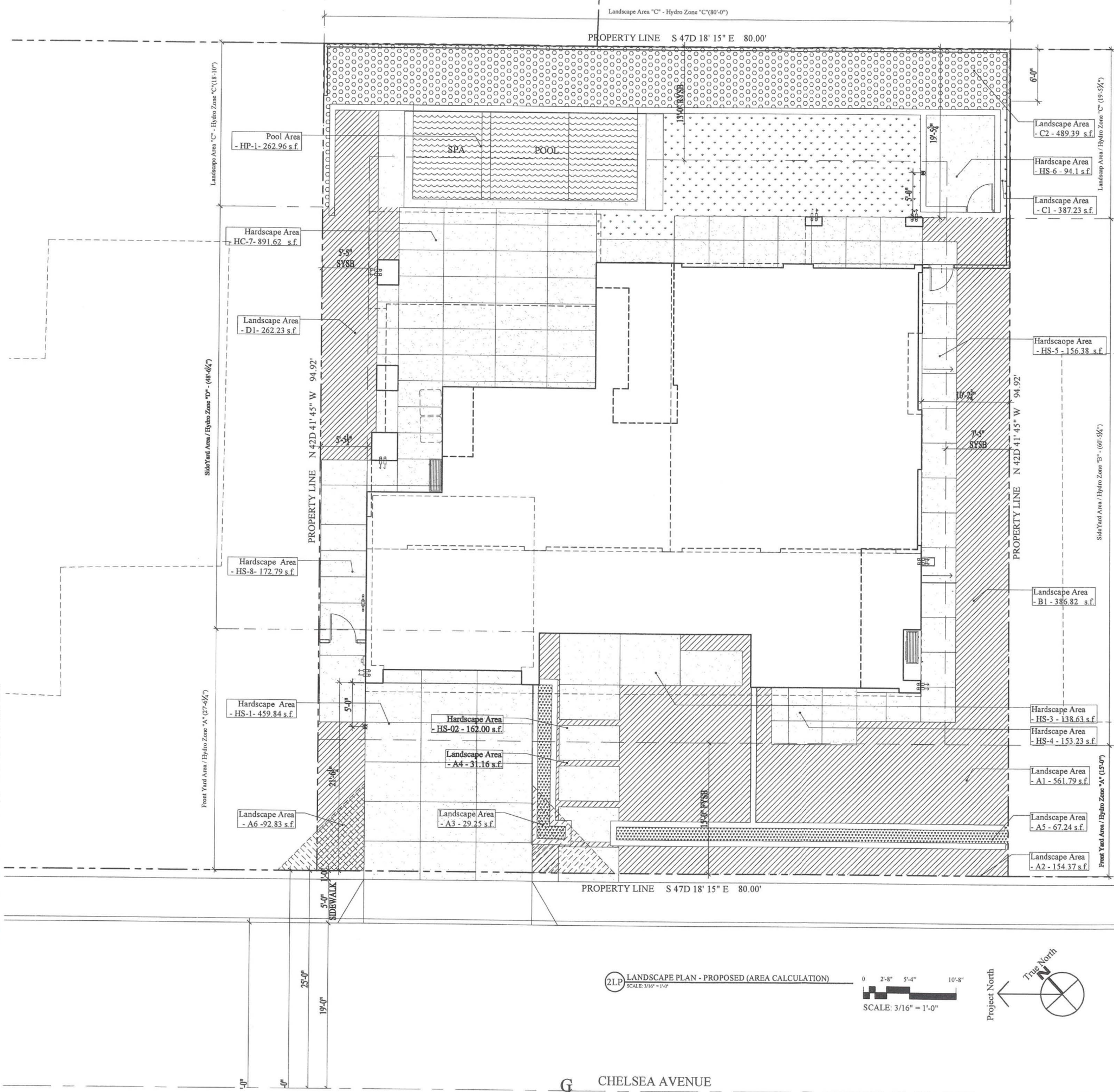
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CHELSEA REMODEL
 5251 Chelsea Street
 La Jolla, CA 92037

REVISIONS
A Concept Design 11/01/2017
B Schematic Design 12/19/2017
C Coastal Phase 05/31/2018
D Coastal Response - Cycle 2 - 7/27/2018
E Coastal Permit Set - 10/15/2018

PHASE
COASTAL PHASE
 PROJECT NO 2017-32
 REVIEWED BY MRM
 DRAWN BY MRM / FG / JS
 DATE 11 - 21 - 2018

AL-1.1
 SHEET 33 OF 33
 TITLE
 SITE PLAN
 PROPOSED
 LANDSCAPE



LANDSCAPE AREA DIAGRAM LEGEND

- LANDSCAPE & HARDSCAPE AREAS**
- Landscape Area - Proposed - OC-3 - Proposed For Landscape Regulations - SDMC
- Landscape Area - Ground Cover - OC-3 - Proposed For Landscape Regulations - SDMC
- Landscape Area - Ground Cover - OC-1 - Proposed For Landscape Regulations - SDMC
- TURF BLOCK
Five Department driving surface
with 1" thick Class 2 Base
- Hardscape Area - Proposed For Landscape Regulations - SDMC
- Terrace Area - Proposed For Landscape Regulations - SDMC
- Pool & Spa Area - Proposed For Landscape Regulations - SDMC
- Outline of New Structures - Proposed For La Jolla Shores PDO

LANDSCAPE CALCULATIONS				2017-22	
1	LOT AREA:	7,600.0 S.F.			
2		0.17 ACRES			
3	MINIMUM LANDSCAPE COVERAGE:	2,280.0 S.F.	30.0%		
4	ACTUAL LANDSCAPE COVERAGE:	2,510.2 S.F.	33.0%	230.2 Balance	
5. Landscape Areas		Existing	New	Total	
(A)	Landscape Area - Front Yard Landscape Area	A1+A2+A3 947.6 S.F.	936.66 S.F.	Area A-12.3.4 & 5	
(B)	Landscape Area - South Side Yard Area	273.8 S.F.	386.82	Area B	
(C)	Landscape Area - Rear Yard & Raked Plaster Area	1,295.6 S.F.	924.45	Area C	
(D)	Landscape Area - North Side Yard Area	85.0 S.F.	262.23	Area D	
Area of New Total Landscape		2,602.0 S.F.	2,510.16 S.F.		

HARDSCAPE AREA CALCULATIONS				2017-22	
1	LOT AREA:	7,600.0 S.F.			
2		0.17 ACRES			
3	HARDSCAPE COVERAGE MAXIMUM:	2,280.0 S.F.	30.0%	See Item per PG-2.7	
4	ACTUAL HARDSCAPE COVERAGE:	2,511.9 S.F.	33.1%	231.9 Balance	
5. Hardscape Areas		Existing	New	Total	
HS-1	Hardscape Area - Front Driveway Area (A-1-2-3) West	18-1	336.4 S.F.	737.50	Area HS-1
HS-2	Hardscape Area - Fatty Walkway Area (HS-4) West	18-4	121.0 S.F.	153.25	Area HS-4
HS-3	Hardscape Area - North Side Yard Area (HS-5) North	18-5	471.7 S.F.	172.79	Area HS-5
HS-6	Hardscape Area - South Side Yard Area (HS-5) South	18-5	87.0 S.F.	156.36	Area HS-6
HS-7	Hardscape Area - Rear Yard Area (HS-7) North	18-7	809.82	809.82	Area HS-7
HS-8	Hardscape Area - Rear Yard Pool Area (HS-8) North	18-8	0.0 S.F.	311.24	Area HS-8
HS-6	Hardscape Area - Rear Yard Pool Area (HS-8) South	18-8	471.7 S.F.	94.17	Area HS-8
Area of New Total Hardscape		1,488.3 S.F.	2,211.93 S.F.		

- USE LEGEND:**
 USED IN THIS PROJECT
 NOT USED IN THIS PROJECT
- LANDSCAPE NOTES:**
- All Landscape and Irrigation shall comply with the City of San Diego's Land Development Manual, Landscape Standards, the La Jolla Shores Planned District Ordinance, and all other City and Regional Standards.
 - In the Single-Family Zone, all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual [LDC 1510.0304(h) (1)].
 - All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence [LDC 1510.0304(h) (2)].
 - All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material [LDC 1510.0304(h) (3)].
 - All of the landscape to meet the 30% area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance [LDC 1510.0304(h)] prior to final inspection.
 - Any modifications or changes to the "Landscape Plan" and existing or proposed plant material, as shown on the Approved Exhibit "A," Landscape Development Plan, is permitted provided the resulting landscape meets the minimum area requirement of the La Jolla Shores Planned District Ordinance [LDC 1510.0304(h)].
 - All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
 - The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards.
 - If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

- General Landscape Notes or Requirements**
- Long Term Maintenance:** All required landscape areas shall be maintained by The Property Owner. All landscape and irrigation in the public right of way shall also be maintained by The Property Owner. Maintenance: All required landscape areas shall be maintained by Manchester Class LTD - The Property Owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
 - Tree root barriers shall be installed where trees are placed within 5' of public improvements including walks, curbs or street pavement.
 - All required planting areas shall be covered with mulch to a minimum depth of 2", excluding areas planted with groundcover. All exposed soil areas without vegetation shall also be mulched to this minimum depth.
- Minimum tree separation distance:
- a. Traffic Signals (stop sign) 20 feet
 - b. Underground Utility Lines 5 feet
 - c. Above Ground Utility Structures 10 feet
 - d. Driveway (curbs) 10 feet
 - e. Street Intersections 25 feet
 - f. Sewer Lines 10 feet
- All required landscape areas shall be permanently irrigated and maintained in accordance with the landscape guidelines of the land development manual.
 - An automatic, water-efficient irrigation system shall be provided to establish and maintain landscaping.
- LANDSCAPE DESIGNER STATEMENT:**
- The landscape design intent of this plan is to create a multiple planter landscape trays that reinforce and complement the project architecture. The Architect creates multiple volumes and valleys and multiple edge conditions and transition zones that will be softened with landscape screening elements. The perimeter landscaping is meant to create dramatic silhouettes and by the use of large specimen planting to create a focus point in the small or confined special volumes.
 - The landscape species chosen represent a Semi-Tropical plant palette of deep green and broad leaf plants. Large potted planting and small slit planting of vines and creeping vine material to soften the wall or pool area container will punctuate the smaller planting area.
 - Plant selection will be Semi-tropical and drought resistant plantings; if native species are available, they may be substituted.
 - Irrigation will carefully design to be water efficient as possible. Small plant areas, specimen plants and large potted plants will be drip or micro-irrigated. The entire system will be time managed.



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PHASE
COASTAL PHASE

PROJECT NO. 2017-32

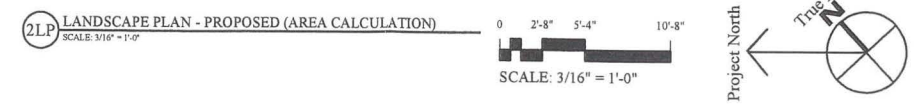
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DRAWN BY MRM / FG / JS

DATE 11 - 21 - 2018

Margeno Morton Architects, Inc. is providing, by agreement with certain parties, materials and information. The parties hereto agree that data, specifications, reports, drawings or other information provided in or transmitted as electronic media (including but not necessarily limited to "CAD" documents) is not subject to automatic alteration, either intentional or unintentional, due to, among other causes, transmission, corruption, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties hereto as a record document. Any alteration to the original hard copy will be the responsibility of the Architect or Record on the Architect's Electronic Documents and are not the responsibility of the Architect.

SHEET TITLE
 SITE PLAN
 PROPOSED
 LANDSCAPE AREAS
AL-1.2
 SHEET 34 OF 33



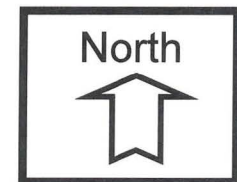
PROJECT DATA SHEET		
PROJECT NAME:	5251 CHELSEA STREET CDP (609389)	
PROJECT DESCRIPTION:	A partial demolition, remodel, and addition to the existing 3,661-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction. The scope of work includes remodeling a two-car garage, and adding a new roof deck, a roof mounted solar photo voltaic (PV) system, a pool, site walls, gates, fences, and hardscape.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low-density residential uses (5-9 DU/AC)	
RS-1-7 ZONING INFORMATION:		
	<u>REQUIREMENTS</u>	<u>PROPOSED PROJECT</u>
HEIGHT LIMIT:	30'	29'-8"
LOT SIZE:	0.17 acres	
FLOOR AREA RATIO:	0.57 (4,332-sf maximum)	0.57 (4,318-sf proposed)
FRONT SETBACK:	15'-0" (min standard)	21'-6"
SIDE SETBACK:	5'-5"	5'-5"
SIDE SETBACK:	7'-5"	10'-2"
REAR SETBACK:	13'-0"	19'-5"
PARKING:	2	2
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low-Density Residential; RS-1-7	Single Family Residential
SOUTH:	Low-Density Residential; RS-1-7	Single Family Residential
EAST:	Low-Density Residential; RS-1-7	Single Family Residential
WEST:	Low-Density Residential; RS-1-7	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 31, 2018, the La Jolla Community Planning Association (LJCPA) voted 12-2-1 to recommend denial of the project. The LJCPA determined that "findings could not be made for the CDP because the project does not meet the intent of the Community Plan with respect to vertical articulation on the sides of the house."	

PROPOSED PROJECT SITE



Project Renderings

5251 Chelsea Street CDP
Project No. 609389 – 5251 Chelsea Street





STREET AERIAL VIEW



VIEW FROM EAST



VIEW FROM NORTH



Project Renderings

5251 Chelsea Street CDP
Project No. 609389 - 5251 Chelsea Street





FRONT ELEVATION



VIEW FROM SOUTH



VIEW FROM SOUTH EAST



VIEW FROM NORTH EAST



VIEW FROM NORTH WEST

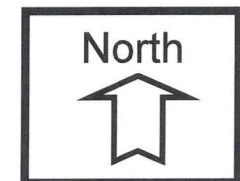


VIEW FROM WEST



Project Renderings

5251 Chelsea Street CDP
Project No. 609389 – 5251 Chelsea Street





5219 Chelsea Street

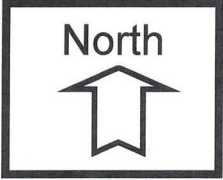


5184 Chelsea Street



Adjacent Residences – Flat Rooftops

5251 Chelsea Street CDP
Project No. 609389 – 5251 Chelsea Street



PLANNING COMMISSION RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2154471
5251 CHELSEA STREET – PROJECT NO. 609389

WHEREAS, MAURICE RIZZUTO, Owner/Permittee, filed an application with the City of San Diego for a permit for a remodel and addition to an existing two-story single dwelling unit for a total 4,332 square feet as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2154471, on portions of a 0.17-acre site;

WHEREAS, the project site is located at 5251 Chelsea Street in the RS-1-7 Base Zone within the Coastal Overlay Zone (Appealable) of the La Jolla Community Plan area; and

WHEREAS, the project site is legally described as: Lot 22 in Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County on December 23, 1948.

WHEREAS, on November 30, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (e)(1) Existing Facilities and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on June 13, 2019, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 2154471 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2154471:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands; and**

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within the La Jolla Community Plan area. The project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a

new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located within an urbanized area and does not contain any sensitive biological resources or environmentally sensitive lands. Nor is the project site located within a coastal bluff, beach, or special flood area. The project conforms with all the applicable provisions of the San Diego Municipal Code (SDMC) and the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). In addition, there are no deviations or variances necessary or requested.

An environmental review determined the project to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(1) Existing Facilities. Section 15301(e) specifies that additions to existing structures can be exempt from CEQA provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. Based on the environmental determination, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within a low density residential (5-9 DU/AC) area in the La Jolla Community Plan area. The project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not encroach upon any existing physical way legally used by the public or any proposed public access way identified in the Community Plan.

Per the Community Plan (page 68), one of the more critical issues associated with the single-family dwelling unit is the relationship between bulk and scale of infill development to existing single family dwelling units. The relationship between the bulk and scale of the project with the adjacent single-family residential development is considered appropriate since the project was designed to comply with all of the development standards required by the underlying RS-1-7 zone, including height, density, building setbacks, floor area ratio, and lot coverage. The design and building

materials of the project is also consistent with the varied architecture, design and character of the surrounding single-family development.

The project has been designed in compliance with all the applicable provisions of the Community Plan and the San Diego Municipal Code, and there are no deviations or variances necessary or requested. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 5251 Chelsea Street, and is currently developed with a single-family residence within an urbanized area in the La Jolla Community Plan area. The proposed project includes a partial demolition, remodel, and addition to the existing 3,660.9-square-foot two-story single-family residence for a total of approximately 4,332 square feet of construction on 0.17-acre. The scope of work includes a remodeled two car garage, a new roof deck, a roof mounted Solar Photo Voltaic (PV) system, a new pool, site walls, gates, fences, and hardscape.

The project site is located just east of the First Public Roadway (Chelsea Street) and within 300 feet of the mean high tideline (Pacific Ocean coastline). There is no public view from the project site, as identified in the La Jolla Community Plan and Local Coastal Land Use Plan (Community Plan). The view corridor ends at the back of the property offering the public no coastal view. In addition, no coastal access from the project site is identified by the Community Plan. The project will be developed entirely within private property, and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2154471 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2154471, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on: June 13, 2019

IO#: 24007893

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007893

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2154471
5251 CHELSEA STREET PROJECT NO. 609389

This Coastal Development Permit No. 2154471 is granted by the Planning Commission of the City of San Diego to Maurice Rizzuto, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.17-acre site is located at 5251 Chelsea Street in the RS-1-7 zone of the La Jolla Community Planning Area. The project site is legally described as: Lot 22 in Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County on December 23, 1948.

Subject to the terms and conditions set forth in this Permit, permission is granted to Maurice Rizzuto, Owner/Permittee owner for a remodel and addition to an existing two-story single dwelling unit. The project shall include:

- a. A remodel and addition to an existing two-story single family residence for a total of 4,332-square foot; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 27, 2022.

ATTACHMENT 6

2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s)

back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 6.65 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for the sidewalk underdrains in the Chelsea Street right-of-way.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC into the construction plans or specifications.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

GEOLOGY REQUIREMENTS:

19. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

PLANNING/DESIGN REQUIREMENTS:

20. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the San Diego Municipal Code (SDMC). All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

ATTACHMENT 6

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on June 13, 2019 and Approved Resolution Number _____.

DRAFT

ATTACHMENT 6

Coastal Development Permit No. 2154471

Date of Approval: June 13, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager


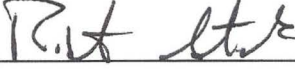
**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Maurice Rizzuto
Owner/Permittee

By _____
Maurice Rizzuto

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	Development Permit/ Environmental Determination Appeal Application	FORM DS-3031		
November 2017					
<p align="center">In order to assure your appeal application is successfully accepted and processed, you must read and understand Information Bulletin 505, "Development Permits/Environmental Determination Appeal Procedure."</p>					
1. Type of Appeal:	<input checked="" type="checkbox"/> Appeal of the Project <input type="checkbox"/> Appeal of the Environmental Determination				
2. Appellant:	<i>Please check one</i> <input type="checkbox"/> Applicant <input checked="" type="checkbox"/> Officially recognized Planning Committee <input type="checkbox"/> "Interested Person" <small>(Per M.C. Sec. 113.0103)</small>				
Name:	La Jolla Community Planning Association		E-mail:	info@LajollaCPA.org	
Address:	City:	State:	Zip Code:	Telephone:	
PO Box 829	La Jolla	CA	92038	858-456-7900	
3. Project Name:					
5251 Chelsea Street CDP, Process Three					
4. Project Information					
Permit/Environmental Determination & Permit/Document No.:		Date of Decision/Determination	City Project Manager:		
DSD Project # 609389, CDP Permit # 2154471		March 6, 2019	Xavier Del Valle		
Decision(Describe the permit/approval decision):					
A remodel and addition to an existing two-story, single family dwelling residence for a total of 4,332 sq ft of construction at 5251 Chelsea Street.					
5. Ground for Appeal(Please check all that apply):					
<input checked="" type="checkbox"/> Factual Error <input checked="" type="checkbox"/> Conflict with other matters <input checked="" type="checkbox"/> Findings Not Supported		<input type="checkbox"/> New Information <input type="checkbox"/> City-wide Significance (Process Four decisions only)			
Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)					
<p><i>See Attached</i></p>					
6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.					
Signature:				Date:	3/20/19
Note: Faxed appeals are not accepted.					

Attachment to DS-3031

La Jolla Community Planning Association Appeal of the 5251 Chelsea St CDP

On 4 October 2018 the La Jolla Community Planning Association voted to deny the 5251 Chelsea St. CDP with the following Motion and vote.

“Motion: that findings cannot be made because it (the Project) does not meet the intent of the LA Jolla Community Plan with respect to the vertical articulation on the sides of the house. (Gordon/Merten) 12-2-1 the **Motion Carries.**

(Please see “e.” below in underlined in yellow high light.)

The La Jolla Community Plan and Local Coastal Program Land Use Plan, August 2004, provides that:

On Page 70

2. Community Character

In order to promote development compatible with the existing residential scale:

- a. The City should apply the development recommendations that are contained in this plan to all properties in La Jolla in order avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures.

(The proposed structure presents a cuboidal rectangular profile from Chelsea St. unlike any other structure on that street.)

On Page 76

2. Community Character

- a. In order to maintain and enhance the existing neighborhood character and ambiance, and to promote good design and visual harmony in the transitions between new and existing structures, preserve the following elements:
- c. In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements.

(Again, this proposed structure does not use diagonal or off-setting planes, or building articulations. The roof lines are flat, while almost all the other roofs are hipped or sloping roofs. Therefore the structure does not provide transition to the older structures on Chelsea St.)

- e. In order to address transitions between the bulk and scale of new and older development in residential areas, maintain the existing 30-foot height limit of the single dwelling unit zones and Proposition D. Structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit, in order to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air.

(The façade does exceed one story but does not slope or set back as required. Instead the structure presents a cuboidal rectangular profile from Chelsea St.)

La Jolla Community Planning Association
Appeal of 5251 Chelsea St. CDP. DSD # 609389, CDP # 2154471

This project does not comply with the La Jolla Community Plan and Local Coastal Program Land Use Plan. Rather it is in conflict with three major requirements of the La Jolla Community Plan.