



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 30, 2019 REPORT NO. PC-19-051

HEARING DATE: June 6, 2019

SUBJECT: CROWN CASTLE UNIVERSITY, Process Four Decision

PROJECT NUMBER: [577364](#)

OWNER: City of San Diego

APPLICANT: Crown Castle

SUMMARY:

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 6046 Hughes Street in the Mid-City: Eastern Community Planning Area?

Staff Recommendation: Approve Conditional Use Permit (CUP) No. 2285351, Planned Development Permit (PDP) No. 2285352, and Neighborhood Development Permit (NDP) 2285918

Community Planning Group Recommendation: On April 17, 2019, the Eastern Community Planning Group approved the project 10-1-1 with no conditions. (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15302 (Replacement or Reconstruction) of the CEQA State Guidelines (Attachment 8). This project is not pending an appeal of the Environmental Determination. The Environmental Exemption Determination for this project was made on May 6, 2019, and the opportunity to appeal that determination ended May 20, 2019.

Fiscal Impact Statement: Crown Castle is the Financially Responsible Party and is responsible for costs associated with the processing of this permit application.

BACKGROUND

Crown Castle University is an application for a CUP, NDP, and PDP for a WCF located on City property (Water Tank) at 6046 Hughes Street in the OR-1-1 (Open Space-Residential) zone within the Eastern Area of the Mid-City Communities Plan. The site is designated for School within the Mid-City

Communities Plan. Surrounding uses include multiple dwelling units to the north, west, and southwest, Darnall School to the south, and single dwelling units to the east (Attachments 1-3).

[Council Policy 600-43](#) assigns preference levels to WCFs proposed on different land uses. As a property in an open space zone, this project is in the Preference 4 category. Such projects require a Process Four Conditional Use Permit approval per [SDMC 141.0420\(f\)\(3\)](#), with the Planning Commission as the decision maker. This project also seeks a height deviation to allow a 65-foot-tall faux tree where the OR-1-1 zone's height limit is 30 feet. This also requires a Process Four Planning Commission decision pursuant to [SDMC 126.0602\(b\)\(1\)](#). A Process Two Neighborhood Development is required to allow an equipment area larger than 250 square feet per [SDMC 141.0420\(g\)\(3\)](#), with the three permits consolidated for processing.

The proposed project is a new permit for a previously-permitted facility. The site was first permitted as a monopole in 1994 (Conditional Use Permit 94-0280). This permit expired in 2004. In 2007, Project No. 55447 (which expired August 30, 2017) was approved by the Planning Commission. This permit allowed the monopole to be replaced with a 65-foot-tall faux eucalyptus tree. The current application was submitted October 5, 2017.

DISCUSSION

Project Description:

The Crown Castle University project proposes to allow eight existing AT&T antennas to remain in place on a previously-permitted 65-foot-tall faux eucalyptus tree, along with associated tree-mounted equipment and an existing 360-square-foot equipment room. The project will re-branch the existing faux tree (Attachment 11). A PDP is required to deviate from the OR-1-1 zone height limit of 30 feet. An NDP is required to permit an equipment room larger than 250 square feet, allowing the existing equipment room to remain.

The purpose of a PDP is *"to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations."* The existing water tank is approximately 125 feet tall. The property also contains several mature eucalyptus trees that match or exceed the height of the proposed faux eucalyptus tree. This property is a desirable location for WCFs as it is near to major roads and residential areas. The height deviation is requested to allow the carrier to remain in their previously-permitted location, which allows the carrier to be screened by the existing water tank and trees. A PDP will allow the applicant the continued flexibility to reduce visual impacts by integrating a WCF in a way that complements the landscaping of the site, and which is screened from view from typical vantage points.

Community and General Plan Analysis:

The Mid-City Communities Plan addresses WCFs in the "Utilities" Section on pages 117-118. The goal of this section is "To provide adequate and reliable utility service while ensuring that public utilities facilities are not disruptive to the community." One of the recommendations to achieve this goal is

to "Use all available means to conceal communication antennas from view," and another is to "Co-locate public utility infrastructure to the maximum extent possible." By co-locating with the water tank and other existing wireless providers at a site where existing site characteristics screen the proposed WCF from view with landscaping and structures, the project supports the goals and recommendations of the Community Plan.

In addition to the Mid-City Communities Plan, the City's General Plan addresses WCFs in the [Urban Design Element](#) (UD-A.15). The visual impact of WCFs should be minimized by concealing them in existing structures, or using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

The proposed project screens antennas from view using a faux tree that complements existing mature trees onsite, and which is screened by the existing water tank. This meets the intent of UD-A.15. Therefore, the project meets the objectives of both the Community Plan and the General Plan.

Project Related Issues:

The project site is highly desirable for WCFs because it is located on a hill directly above the desired coverage area. This facility has operated at this site for approximately 25 years. The increased height requested by this application enables the continued integration of a WCF into an existing site without the need for additional building massing, additional standalone structures on the property, or multiple WCFs at other locations. The WCF will be camouflaged by existing mature trees to the maximum extent feasible.

Conclusion:

Based on its design, the project complies with the WCF Regulations ([SDMC 141.0420](#)). Staff has prepared draft findings in the affirmative to approve the PDP and recommends approval of CUP No. 228535, PDP No. 2285352 and NDP No. 2285918 (Attachment 6).

ALTERNATIVES

1. Approve CUP No. 2285351, PDP No. 2285352 and NDP No. 2285918 with modifications.
2. Deny CUP No. 2285351, PDP No. 2285352 and NDP No. 2285918, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director



Travis Cleveland
Development Project Manager

Development Services Department

Development Services Department

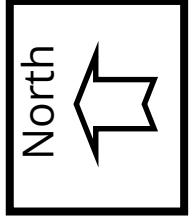
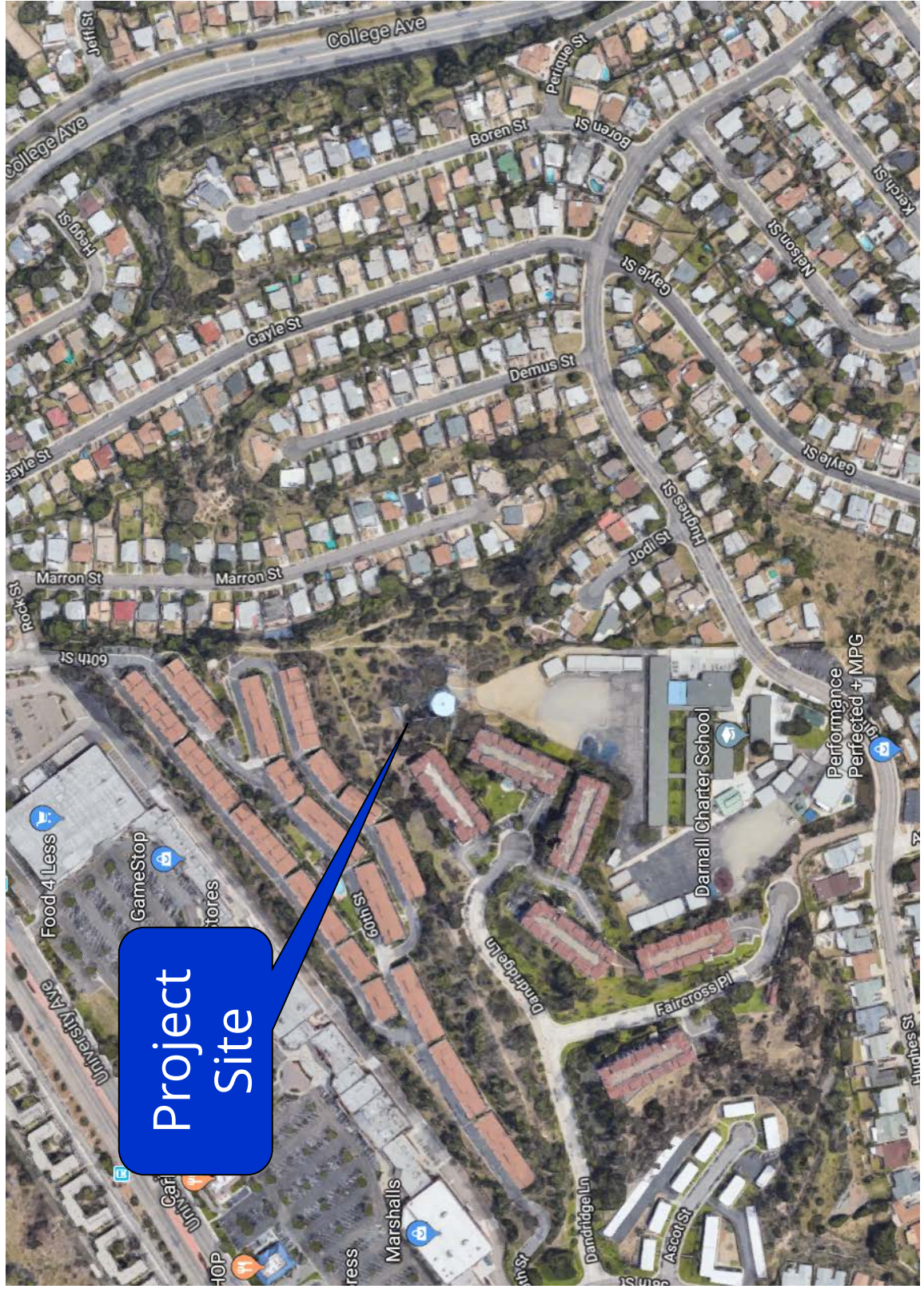
FITZGERALD/TAC

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Photo Survey
10. Community Planning Group Recommendation
11. Photosimulations
12. Project Plans

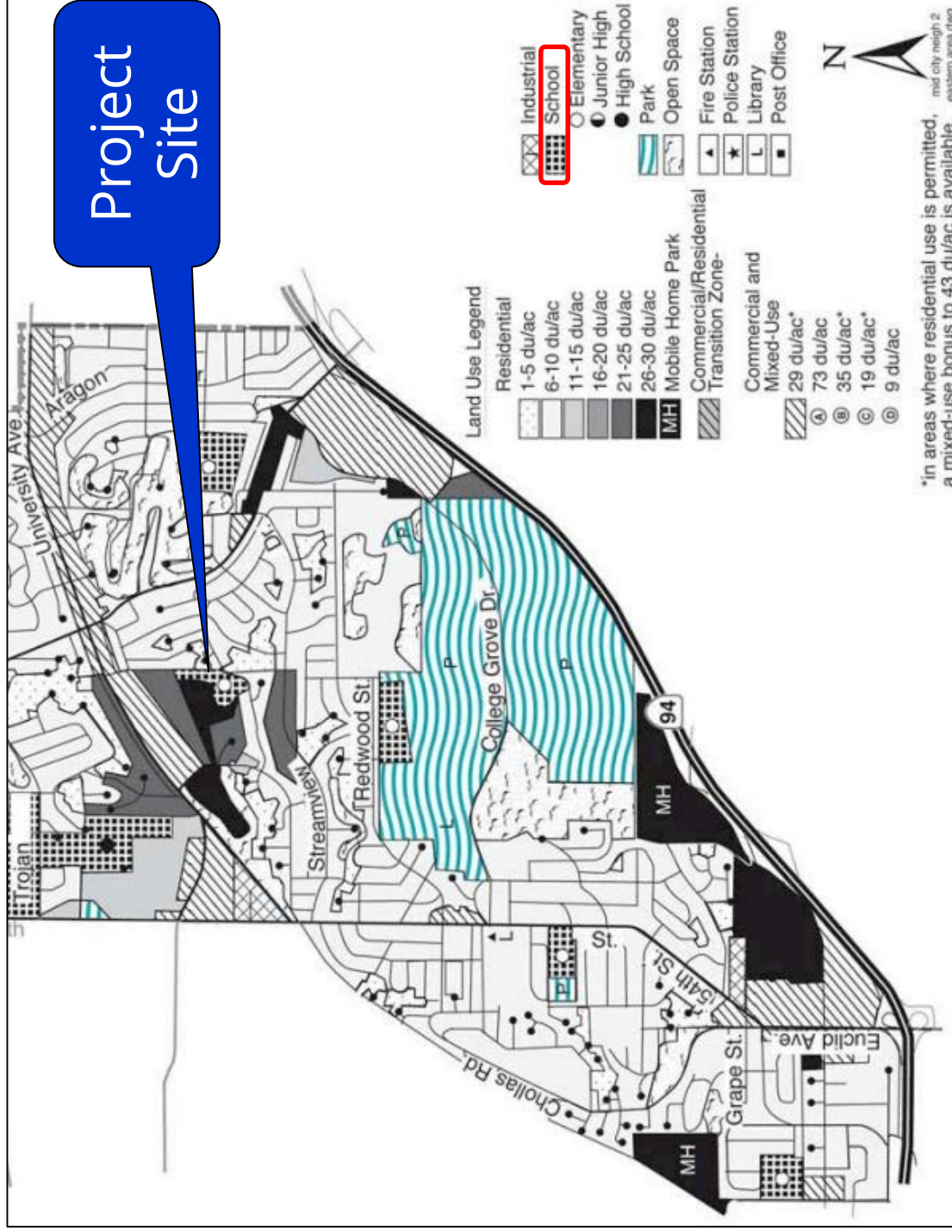


Aerial Photo



Crown Castle University, Project No. 577364
6046 Hughes Street

Community Plan

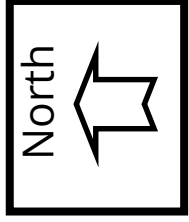
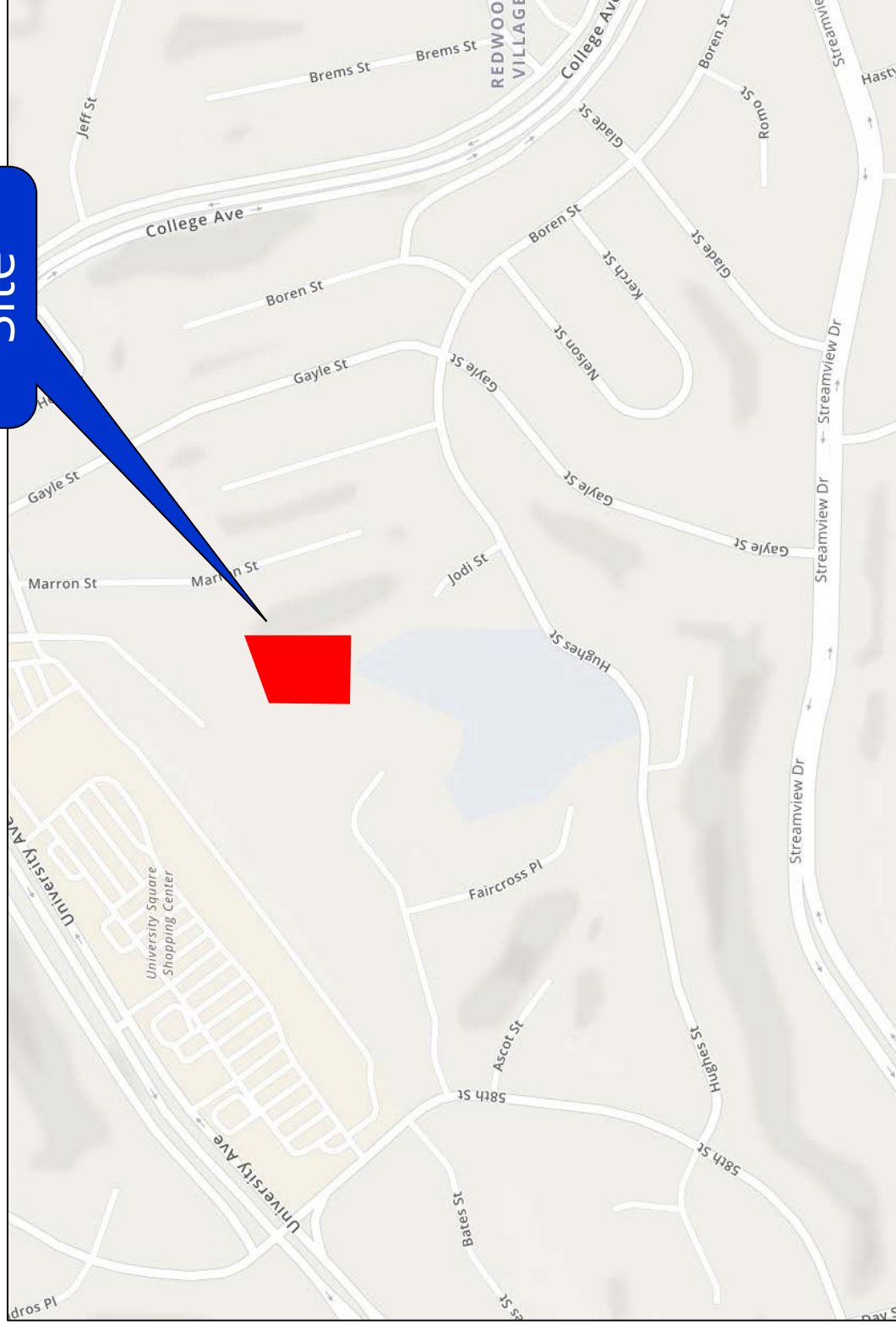


Crown Castle University, Project No. 577364
6046 Hughes Street



Project Location Map

Project Site



Crown Castle University, Project No. 577364
6046 Hughes Street

PROJECT DATA SHEET		
PROJECT NAME:	Crown Castle University	
PROJECT DESCRIPTION:	65-foot-tall faux eucalyptus tree housing eight antennas (four measuring 92.8" x 14.4" x 7.3", two measuring 96.6" x 11.9" x 7.1", and two measuring 98.8" x 11.8" x 6.8"), two Tower-Mounted Amplifiers (TMAs), twelve Remote Radio Units (RRUs), and associated equipment, with the tree to be re-branched as part of the project, and a 173-square-foot equipment room.	
COMMUNITY PLAN AREA:	Eastern Area of the Mid-City Communities Plan	
DISCRETIONARY ACTIONS:	Conditional Use Permit (CUP), Planned Development Permit (PDP), and Neighborhood Development Permit (NDP)	
COMMUNITY PLAN LAND USE DESIGNATION:	School	
<p style="text-align: center;">ZONING INFORMATION:</p> <p style="text-align: center;">ZONE: OR-1-1</p> <p style="text-align: center;">LOT SIZE: 1.2 acres</p> <p style="text-align: center;">HEIGHT LIMIT: 30 feet</p> <p style="text-align: center;">EXISTING HEIGHT: 65 feet</p> <p style="text-align: center;">PROPOSED HEIGHT: 60 feet</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, 21-25 du/ac; OR-1-1	Multiple Dwelling Units
SOUTH:	School and Residential 26-30 du/ac; RS-1-7 and RM-2-5	Darnall Charter School and Multiple Dwelling Units
EAST:	Residential 6-10 du/ac; OR-1-1 and RS-1-7	Single Dwelling Units
WEST:	Residential 26-30 du/ac and Residential, 21-25 du/ac; RM-2-5 and RM-1-3	Multiple Dwelling Units
DEVIATION REQUESTED:	Allow a 65-foot-tall faux tree where 30 feet is the height limit of the zone.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	At their April 17, 2019 meeting, the Eastern Community Planning Group approved the project 10-1-1 with no conditions.	

PLANNING COMMISSION
RESOLUTION NO. XXXX-PC
CONDITIONAL USE PERMIT NO. 2285351
PLANNED DEVELOPMENT PERMIT NO. 2285352
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2285918
CROWN CASTLE UNIVERSITY
PROJECT NO. 577364

WHEREAS CITY OF SAN DIEGO, Owner, and NCWPCS MPL 34 – YEAR SITES TOWER HOLDING LLC (also known as Crown Castle), Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permits, Conditional Use Permit (CUP) No. 2285351, Planned Development Permit (PDP) No. 2285352, and Neighborhood Development Permit (NDP) 2285918), on portions of a 1.2-acre site;

WHEREAS, the project site is located at 6046 Hughes Street in the OR-1-1 zone, within the Eastern Area of the Mid-City Communities Plan;

WHEREAS, the project site is legally described as: Portions of Lot 24 & 25 of Waterville Heights according to the map thereof No. 748, filed April 22, 1893 in the Office of the Recorder of San Diego County, California, lying within the boundaries of land conveyed to the San Diego Unified School District by deed recorded February 7, 1952 in Book 4365, Page 428, Official Records in said County Recorder's office;

WHEREAS, on June 6, 2019, the Planning Commission of the City of San Diego considered Conditional Use Permit (CUP) No. 2285351 and Planned Development Permit (PDP) No. 2285352, and Neighborhood Development Permit (NDP) 2285918, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 6, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated June 6, 2019.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

- 1. The proposed development will not adversely affect the applicable land use plan.**

The Mid-City Community Plan addresses WCFs in the “Utilities” Section on pages 117-118. The goal of this section is “To provide adequate and reliable utility service while ensuring that public utilities facilities are not disruptive to the community.” One of the recommendations to achieve this goal is to “Use all available means to conceal communication antennas from view,” and another is to “Co-locate public utility infrastructure to the maximum extent possible.”

In addition to the Mid-City Communities Plan, the City's General Plan addresses WCFs in the Urban Design Element (UD-A.15). The visual impact of WCFs should be minimized by concealing them in existing structures, or using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

This project consists of a 65-foot-tall faux eucalyptus tree supporting eight panel antennas, two Tower Mounted Amplifiers (TMAs), and twelve Remote Radio Units (RRUs). The associated equipment is located in a 360-square-foot equipment room.

A Conditional Use Permit (CUP) is required per SDMC 141.0420(f)(3) to allow a WCF in an open space zone. A Planned Development Permit (PDP) is also required per SDMC 126.0602(b)(1) to allow a height deviation of 65 feet where 30 feet is permitted by the OR-1-1 zone. A Process Two Neighborhood Development (NDP) is required to allow an equipment area larger than 250 square feet per SDMC 141.0420(g)(3).

The existing water tank is approximately 125 feet tall, and serves to screen the WCF from the rear. The property also contains several mature eucalyptus trees that match or exceed the height of the proposed faux eucalyptus tree. These trees integrate the WCF into the front of the site, providing a backdrop from the sides and front.

The tree is part of a previously-permitted WCF with an expired permit. The proposed project will re-branch the tree to provide a fuller structure and more realistic color, and will also screen all antennas with antenna “socks” made of radio frequency transparent materials.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the design and location requirements of the Community Plan and the General Plan. The proposed WCF will not adversely affect the applicable land use plan or the City's General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project is located at 6046 Hughes Street in the Eastern Area of the Mid-City Communities Plan. It consists of a 65-foot-tall faux eucalyptus tree supporting eight panel antennas, two Tower Mounted Amplifiers (TMAs), and twelve Remote Radio Units (RRUs). The associated equipment is located in a 360-square-foot equipment room.

The project was determined to be exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). The conditions of approval for the project will require compliance with

several operational constraints and development controls intended to assure the continued public health, safety and welfare. Certain of these conditions were based on input received during the public review process. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared, which concluded that the project will be in compliance with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

A Conditional Use Permit (CUP) is required per SDMC 141.0420(f)(3) to allow a WCF in an open space zone. The purpose of the CUP, as stated in SDMC 126.0301, is to establish a review process for the development of uses that may be desirable under appropriate circumstances, but are not permitted by right in the applicable zone. The intent is to review these uses on a case-by-case basis to determine whether and under what conditions the use may be approved at a given site.

The project represents a use that could be considered to have a negative impact on the neighborhood if certain performance and appearance issues aren't addressed. However, the proposed project is integrated into a setting of existing landscaping and a water tank, all of which screen the WCF from offsite vantage points. The project will also re-branch the existing tree, and will be subject to several performance and appearance-related permit conditions designed to address neighborhood concerns.

The project is located in the OR-1-1 zone. The project meets all applicable requirements of this zone, except that it seeks a PDP for a height deviation pursuant to SDMC 126.0602(b)(1). This deviation is allowed by the Land Development Code if findings can be made. These findings are discussed under "**Planned Development Permit Approval**" below.

The project, in proposing an equipment area larger than 250 square feet, requires an NDP to allow an equipment area larger than 250 square feet per SDMC 141.0420(g)(3). These findings are discussed under "**Neighborhood Development Permit Approval**" below.

In addition to the CUP, PDP, and NDP Regulations, the WCF Regulations (SDMC 141.0420) contain design requirements for WCFs, which include the requirement to utilize the smallest, least visually intrusive antennas, components and other necessary equipment and to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The project proposes a faux tree and equipment area that will integrate with existing landscaping and structures at the site, meeting these requirements. Because the project meets the design requirements of SDMC 141.0420 and findings can be made in the affirmative for all permits required by this project, the project and all deviations will comply with the applicable regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The project site contains existing, mature eucalyptus trees beside and behind the proposed faux eucalyptus. The tree will be re-branched to refresh the look of the faux foliage and to increase concealment of the antennas and associated components. This setting makes the proposed location ideal for a faux tree to integrate into the site. The WCF is further screened from view by an existing water tank.

In addition to landscaping and re-branching, the conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Because the project design and permit conditions address approval and operational concerns, the proposed use is appropriate at the proposed location.

Planned Development Permit Approval - Section §126.0605(a)

1. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding No. 1 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

Please see CUP Finding No. 2 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project is located in the OR-1-1 zone. The project meets all applicable requirements of this zone, except that it seeks a PDP for a height deviation pursuant to SDMC 126.0602(b)(1). The requested deviation is to allow a project height of 65 feet where 30 feet is otherwise required.

The purpose of a PDP, as stated in SDMC 126.0601, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations.

The subject property is located in the OR-1-1 zone (Open Space-Residential), which has a 30-foot height limit. However, the parcel is not used as a residence or as open space. It contains a 125-foot-tall water tank and several mature eucalyptus trees. The site is located on a hill, sitting above the surrounding area. This elevation difference makes it an ideal location for a WCF to reach the surrounding community, and the existing landscape and structures on the site make it an ideal location for a WCF that can integrate into the setting. By allowing a height deviation to 65 feet, the proposed faux tree blends into the site in a way that makes it difficult to detect from typical public vantage points. To require a faux tree to observe the height limit would call attention to it by making it a different size than the existing trees.

In addition to the PDP, the project requires a CUP pursuant to SDMC 141.0420(e)(1) because it is proposed on a property containing a non-residential use in a residential zone with antennas located within 100 feet of the property line of an adjacent residential use. This conditional use is allowed by the Land Development Code if findings can be made. These findings are discussed under **"Conditional Use Permit Approval"** above.

The project, in proposing a faux tree and equipment area that will integrate with existing and proposed landscaping at the site, meets the requirements of the Municipal Code. The requested deviation provides the applicant the flexibility to integrate it with nearby existing and trees. Because the project meets the design requirements of SDMC 141.0420 and findings can be made in the affirmative for all permits required by this project, the project and all deviations will comply with the applicable regulations of the Land Development Code.

Neighborhood Development Permit Approval – Section §126.0404

1. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding No. 1 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

Please see CUP Finding No. 2 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Please see CUP Finding No. 3 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CUP No. 2285351, PDP No. 2285352 and NDP No. 2285918, are hereby GRANTED by the Planning Commission to the referenced Permittee, in the form, exhibits, terms and conditions as set forth in CUP No. 2285351 and PDP No. 2285352, a copy of which is attached hereto and made a part hereof.

Travis Cleveland
Development Project Manager
Development Services

Adopted on: June 6, 2019

IO#: 12003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2285351
PLANNED DEVELOPMENT PERMIT NO. 2285352
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2285918

CROWN CASTLE UNIVERSITY
PLANNING COMMISSION

This Conditional Use Permit (CUP) No. 2285351, Planned Development Permit (PDP) No. 2285352, and Neighborhood Development Permit (NDP) 2285918 is granted by the Planning Commission of the City of San Diego to the CITY OF SAN DIEGO, Owner, and NCWPCS MPL 34 – YEAR SITES TOWER HOLDING LLC (also known as Crown Castle), Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0303, 126.0402, 126.0602, and 141.0420. The 1.2-acre site is located at 6046 Hughes Street in the OR-1-1 zone within the Eastern Area of the Mid-City Communities Plan. The project site is legally described as:

Portions of Lot 24 & 25 of Waterville Heights according to the map thereof No. 748, filed April 22, 1893 in the Office of the Recorder of San Diego County, California, lying within the boundaries of land conveyed to the San Diego Unified School District by deed recorded February 7, 1952 in Book 4365, Page 428, Official Records in said County Recorder's office.

Subject to the terms and conditions set forth in this Permit, permission is granted to Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 6, 2019, on file in the Development Services Department.

The project shall include:

- a. 65-foot-tall faux eucalyptus tree housing eight antennas (four measuring 92.8" x 14.4" x 7.3", two measuring 96.6" x 11.9" x 7.1", and two measuring 98.8" x 11.8" x 6.8"), two Tower-Mounted Amplifiers (TMAs), twelve Remote Radio Units (RRUs), and associated equipment, with the tree to be re-branched as part of the project;
- b. A deviation to the 30-foot height limit of the OR-1-1 zone, allowing the project to be 65 feet tall;

- c. A 360-square-foot equipment room;
- d. Landscaping (planting, irrigation and landscape related improvements); and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 20, 2022.
2. This permit and corresponding use of this site shall **expire on June 20, 2029**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.
 8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
 9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
 10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
 11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
 12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to

this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

LANDSCAPE REQUIREMENTS:

14. Prior to issuance of any building permit, the Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

15. The Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed for the installation or operation of the wireless communication facility, the Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

17. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

18. No overhead cabling is permitted.

19. The WCF shall conform to the approved construction plans.

20. Photo simulations shall be printed in color on the construction plans.

21. The improvements allowed by this discretionary permit (including, but not limited to, re-branching the faux tree) will require a building permit to implement. They may not be installed without one, in whole or in part.

22. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Permittee shall be responsible for complying with all State and Federal regulations.
23. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.
24. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
25. All equipment, including transformers, emergency generators, and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
26. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
27. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.
28. All proposed hand-holes shall be covered with bark material to match the monoeucalyptus trunk to the satisfaction of the Development Services Department.
29. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
30. All branches at the antenna level shall extend a minimum of 24-inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department.
31. Starting branch height shall be no higher than 10-feet, as illustrated on the stamped, approved Exhibit "A."
32. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
33. RF socks fully covering the front and back of the antennas (and any other components) shall be used.
34. A Building Permit will be required for re-branching the tree. The applicant shall provide color samples of branches and bark prior to Building Permit issuance. This is to ensure that the proposed components integrate with the surrounding landscape. Staff will pre-approve the color sample prior

to Building Permit issuance. The exact samples shall be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. Prior to Final Approval of Construction, any damages caused to the City of San Diego water and sewer facilities in the vicinity of the project site, which are due to the activities associated with this project, shall be repaired or reconstructed in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with Municipal Code section 142.0607.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5407 to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on June 6, 2019 and [Approved Resolution Number].

ATTACHMENT 6

Conditional Use Permit (CUP) No. 2285351, Planned Development Permit (PDP) No. 2285352, and
Neighborhood Development Permit (NDP) 2285918
Date of Approval: June 6, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Travis Cleveland
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

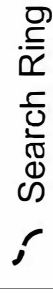
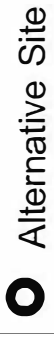
**NCWPCS MPL 34 - Year Sites Tower Holdings
LLC (also known as Crown Castle)**
Permittee

By _____
NAME
TITLE

City of San Diego
Owner

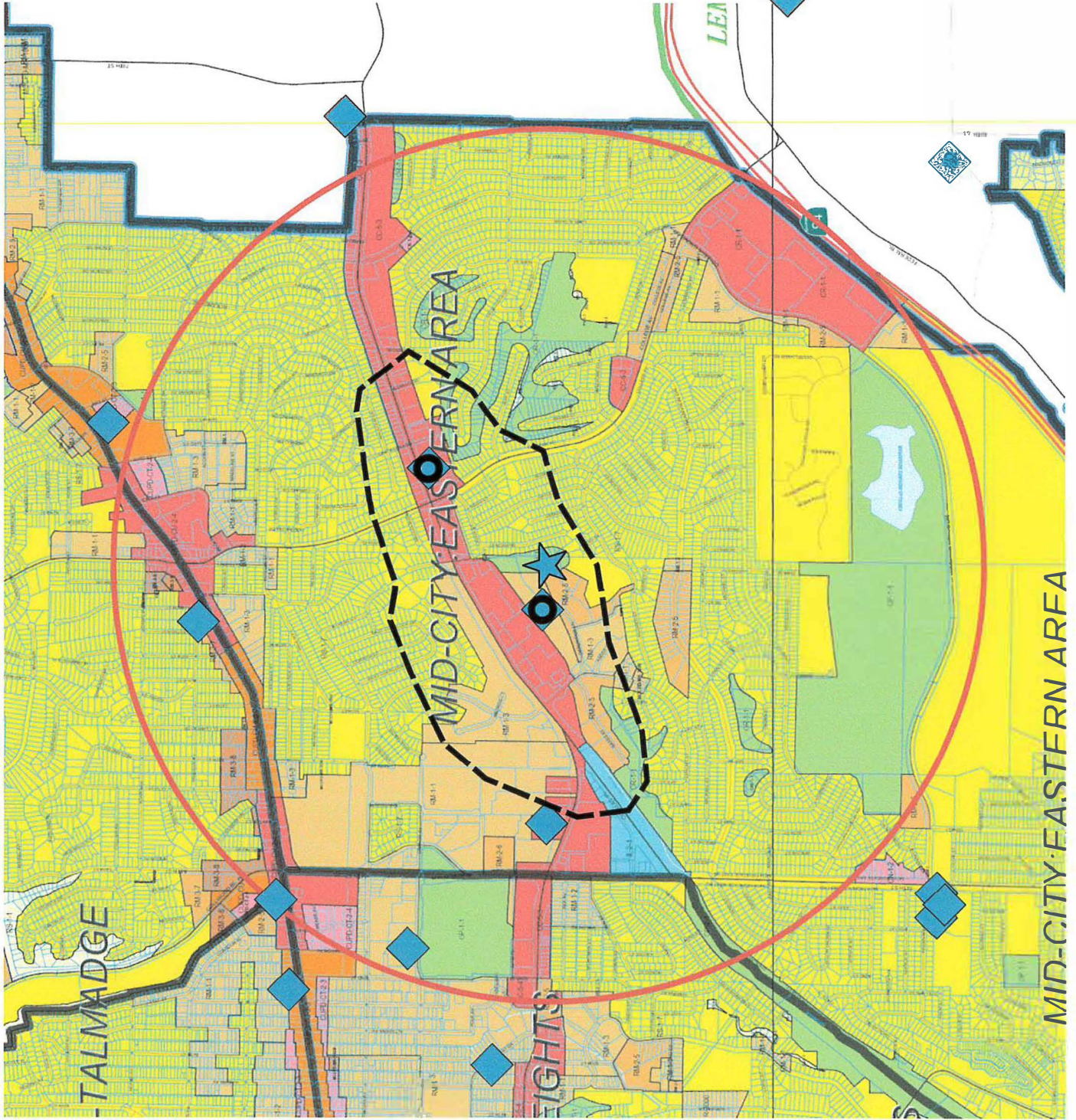
By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

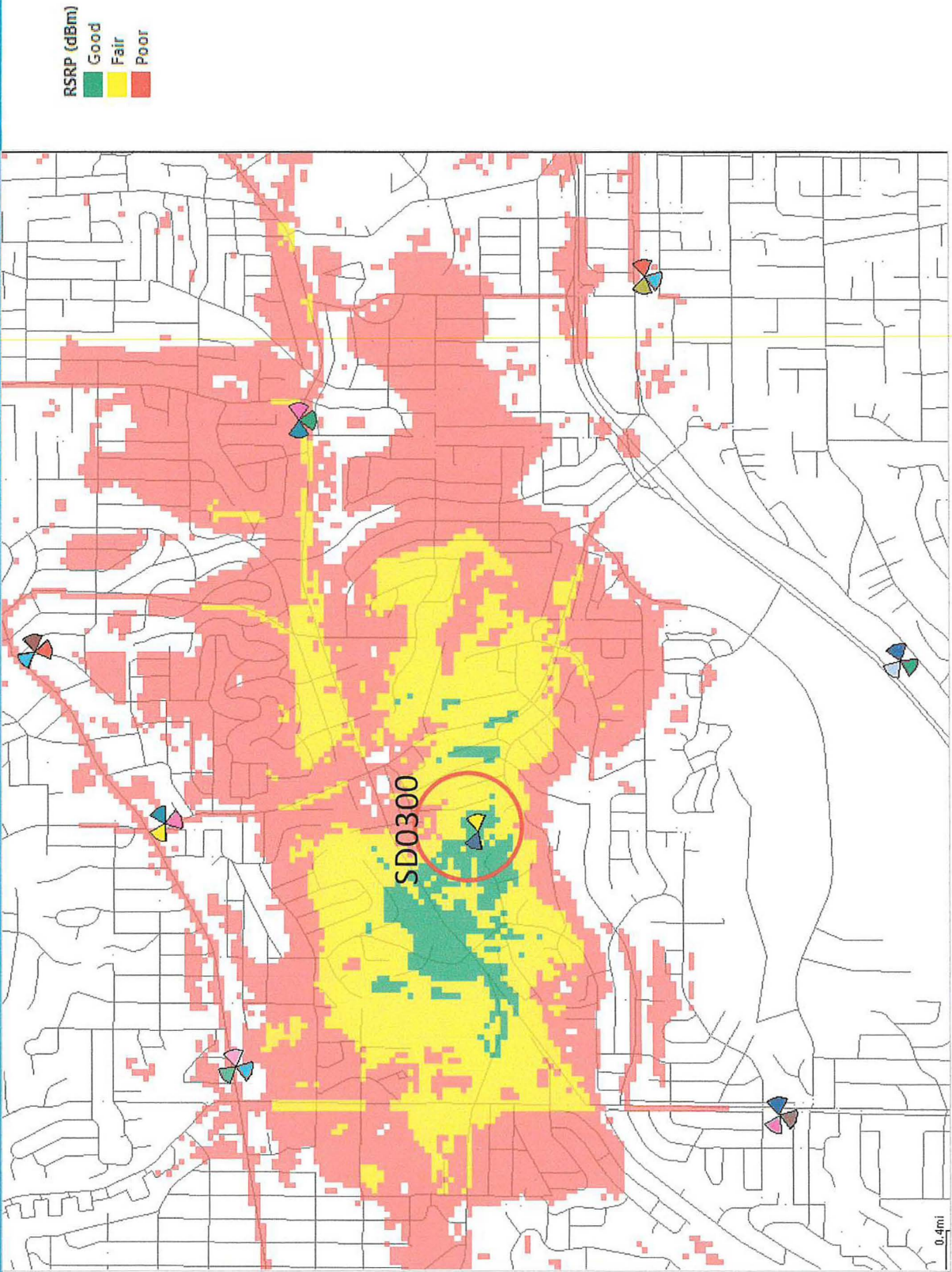


ZONE_NAME

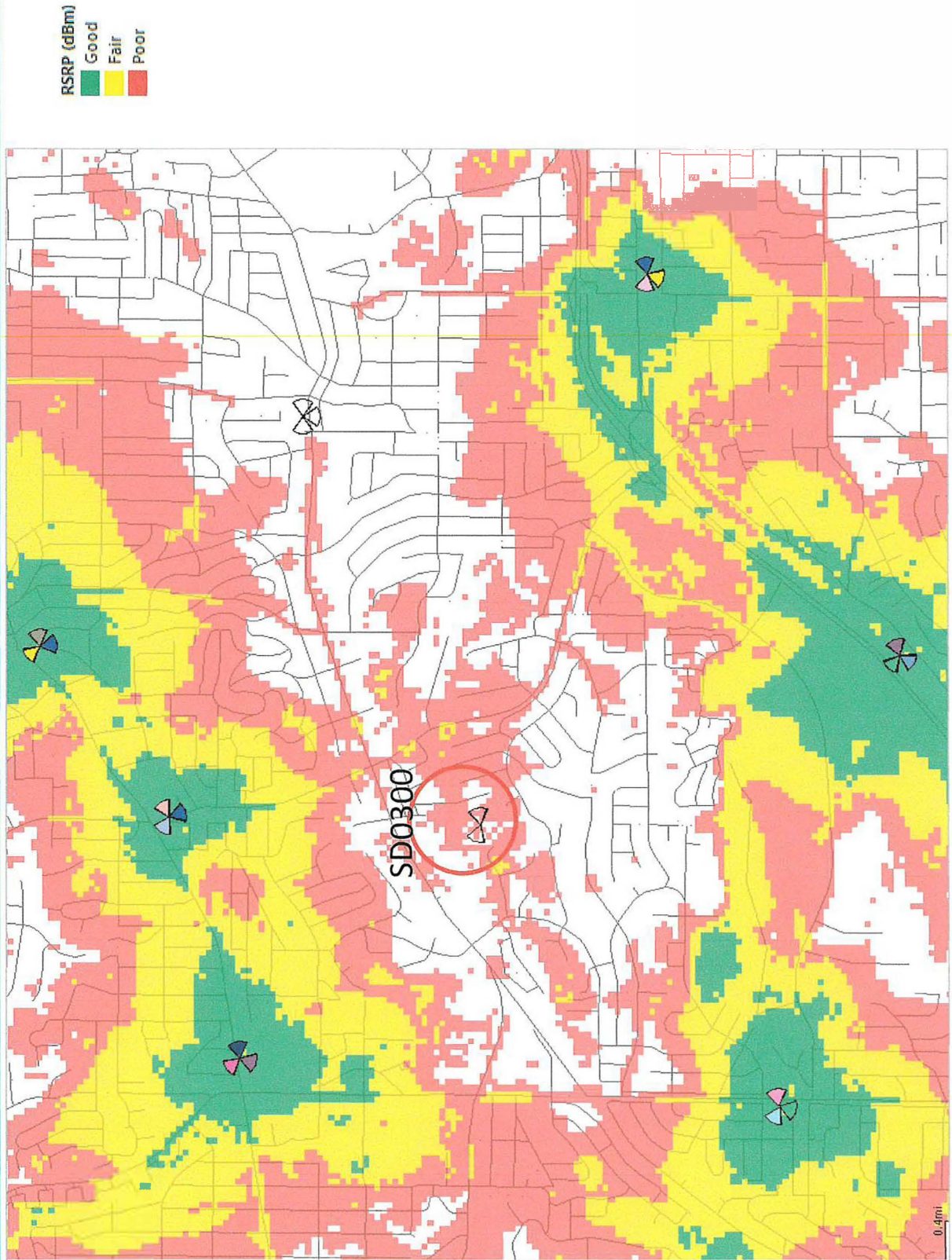
CC-1-3	OC-1-1
CC-2-1	OP-1-1
CC-2-3	OP-2-1
CC-3-4	OR-1-1
CC-3-6	RM-1-1
CC-4-5	RM-1-2
CC-5-3	RM-1-3
CN-1-1	RM-2-5
CN-1-2	RM-3-7
CN-1-3	RM-4-1C
CN-1-4	RS-1-1
CO-1-2	RS-1-2
CO-2-1	RS-1-3
CR-1-1	RS-1-4
IL-2-1	RS-1-6
IL-3-1	RS-1-7



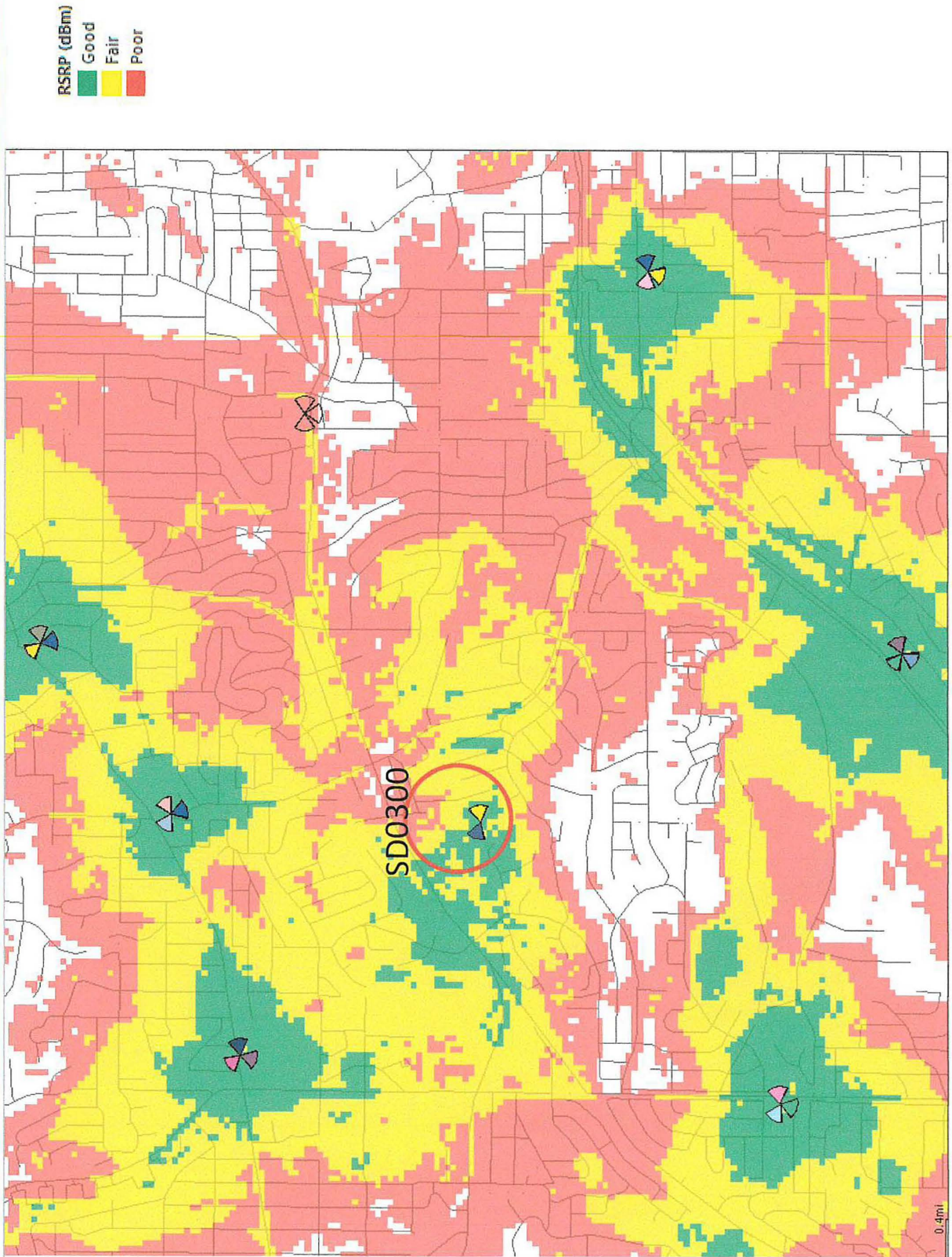
CAL00300 Coverage



Coverage Without CAL00300



Coverage With CAL00300



NOTICE OF EXEMPTION**ATTACHMENT 8***(Check one or both)*

TO: ☒ RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 577364

Project Title: Crown Castle University

PROJECT LOCATION-SPECIFIC: The project is located at 6046 Hughes Street, San Diego, CA 92115

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: A Conditional Use Permit (CUP) and Planned Development Permit (PDP) application to modify an existing Wireless Communication Facility (WCF). The proposed project is a new permit for a previously-permitted facility. The site was first permitted as a monopole in 1994 (Conditional Use Permit 94-0280). The Crown Castle University project proposes to allow eight existing AT&T antennas to remain in place on a previously-permitted 65-foot-tall faux eucalyptus tree, along with associated tree-mounted equipment and an existing 173-square-foot equipment room. The PDP is required to deviate from the OR-1-1 zone height limit of 30 feet. The project will re-branch the existing faux tree, but the height of the monopole would not increase. The project is located on City of San Diego's Public Utilities Department property at 6046 Hughes Street in the OR-1-1 zone. The WCF is unmanned and there will be a technician who visits the site only as required for routine maintenance.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Mark Linman, 11316 Rolling Hills Drive, San Diego CA 92020.
(619) 997-8288

EXEMPT STATUS: (CHECK ONE)


- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)).
- ☒ CATEGORICAL EXEMPTION: Section 15301 (Existing Facilities)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project is modifying the existing facility without expanding the use of the WCF. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKITELEPHONE: 619 446-5324IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

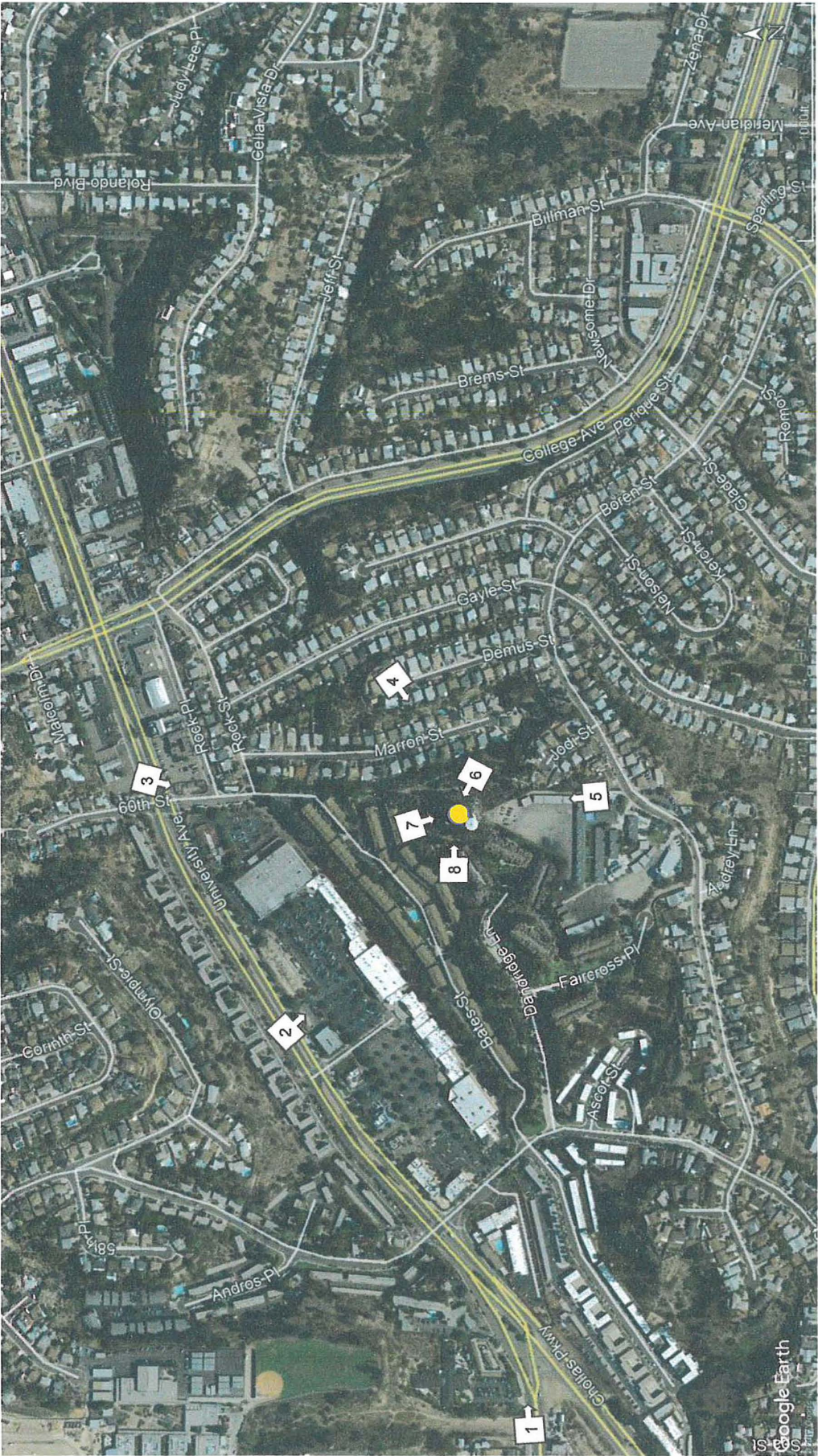
 / SIGNOR PLANNOR
SIGNATURE/TITLE
CHECK ONE:

5/20/2019

DATE

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



Crown Castle – University
Photo Location Map
6056 Hughes Street
San Diego, CA 92115



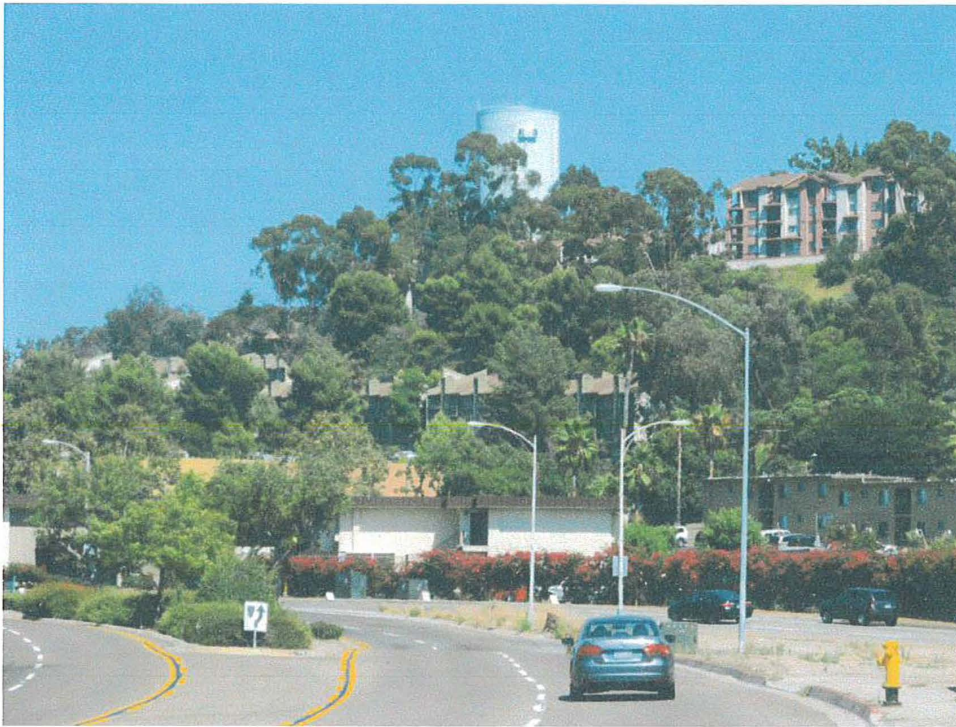


Photo 1. View from West.

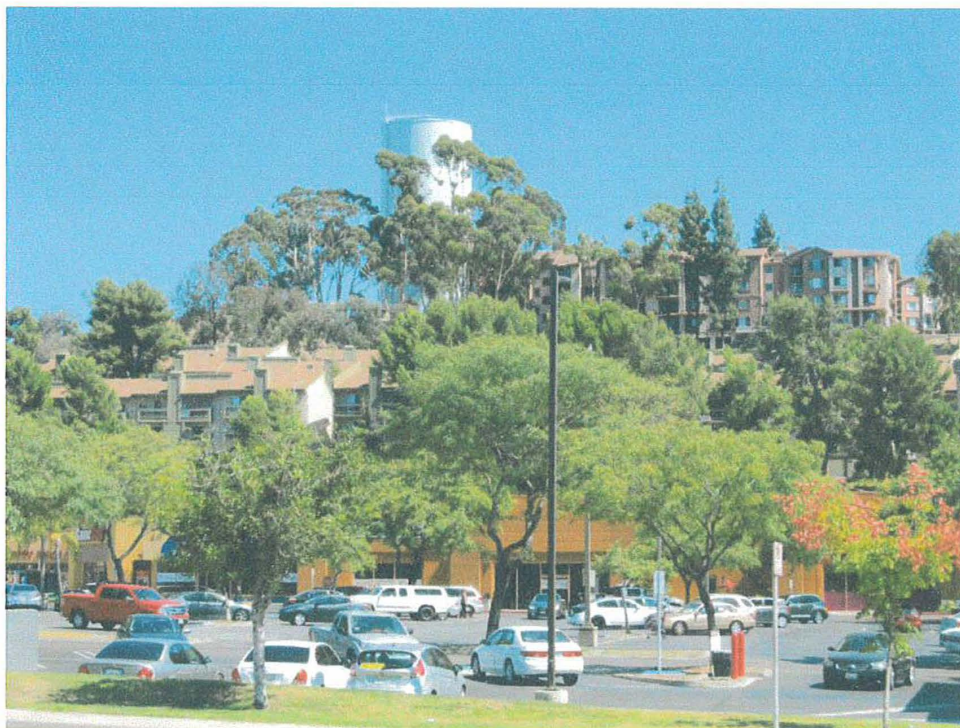


Photo 2. View from North.



Photo 3. View from Northeast.



Photo 4. View from East.



Photo 5. View from South.

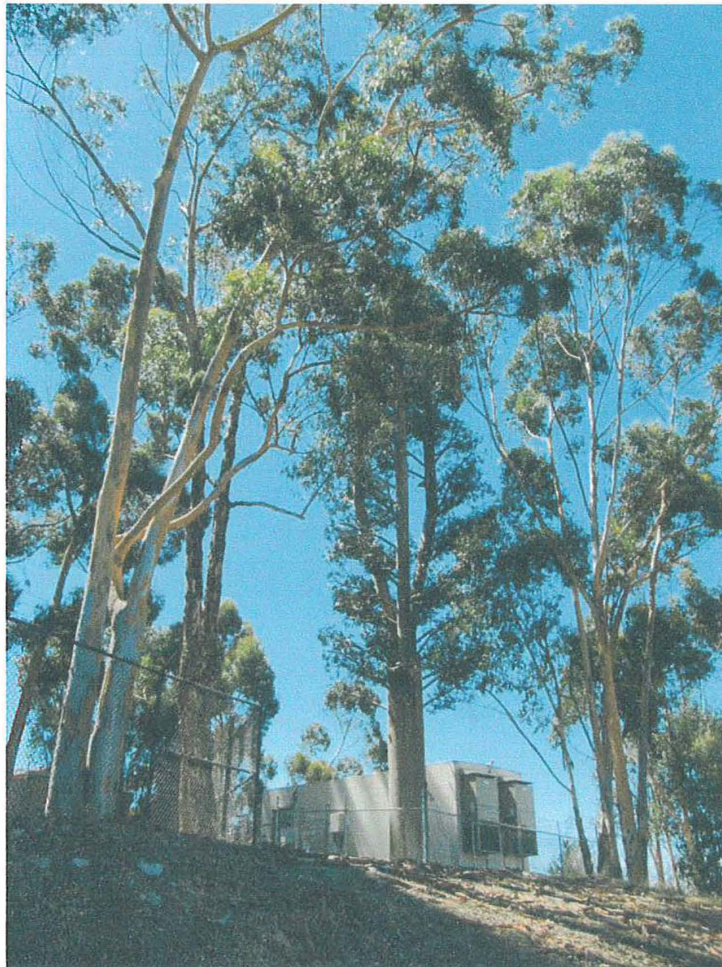


Photo 6. View from Southeast.



Photo 7. View from North.



Photo 8. View from Northeast.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

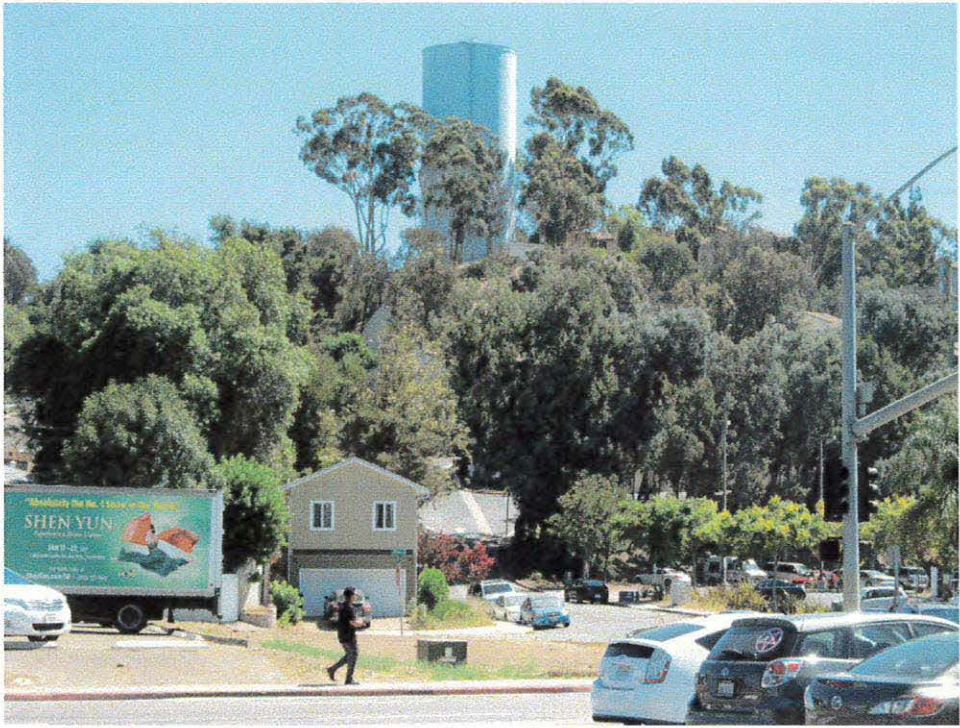
Project Name: Crown Castle University CUP		Project Number: 577364		Distribution Date:	
Project Scope/Location: MID-CITY: EASTERN: Process Four - Conditional Use Permit and Planned Development Permit to remove/replace 2 antennas, remove 4 RRUs, install 8 new RRUs, remove 2 TMAs, and ancillary equipment and cabling on a previously-permitted faux tree. Public Utilities Department property at 6046 Hughes Street in the OR-1-1 zone within Council District 4.					
Applicant Name: Crown Castle (Mark Linman)			Applicant Phone Number: 619-997-8288		
Project Manager: Travis Cleveland	Phone Number: (619) 446-5407	Fax Number: (619) 321-3200	E-mail Address: tcleveland@sandiego.gov		
Project Issues (To be completed by Community Planning Committee for initial review): None found. Project approved as presented					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Crown Castle University CUP		Project Number: 577364 4		Distribution Date:	
Project Scope/Location: MID-CITY: EASTERN: Process Four - Conditional Use Permit and Planned Development Permit to remove/replace 2 antennas, remove 4 RRUs, install 2 new RRUs, remove 2 TMAs, and ancillary equipment and cabling on a previously-permitted faux tree. Public Utilities Department property at 6046 Hughes Street in the R-1-1 zone within Council District 4.					
Applicant Name: Crown Castle (Mark Linman)				Applicant Phone Number: 619-997-8288	
Project Manager: Travis Cleveland		Phone Number: (619) 446-5407		Fax Number: (619) 321-3200	
E-mail Address: tcleveland@sandiego.gov					
Committee Recommendations (To be completed for Initial Review): None approved as presented					
<input checked="" type="checkbox"/> Vote to Approve		Members Yes 10		Members No 1	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes 10		Members No 1	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes 10		Members No 1	
<input type="checkbox"/> Vote to Deny		Members Yes 10		Members No 1	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS:					
NAME: Linda J Gooley				TITLE: Chair	
SIGNATURE: <i>Linda J Gooley</i>				DATE: 4/17/2019	
<u>Attach Additional Pages If Necessary.</u>				Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



Existing View

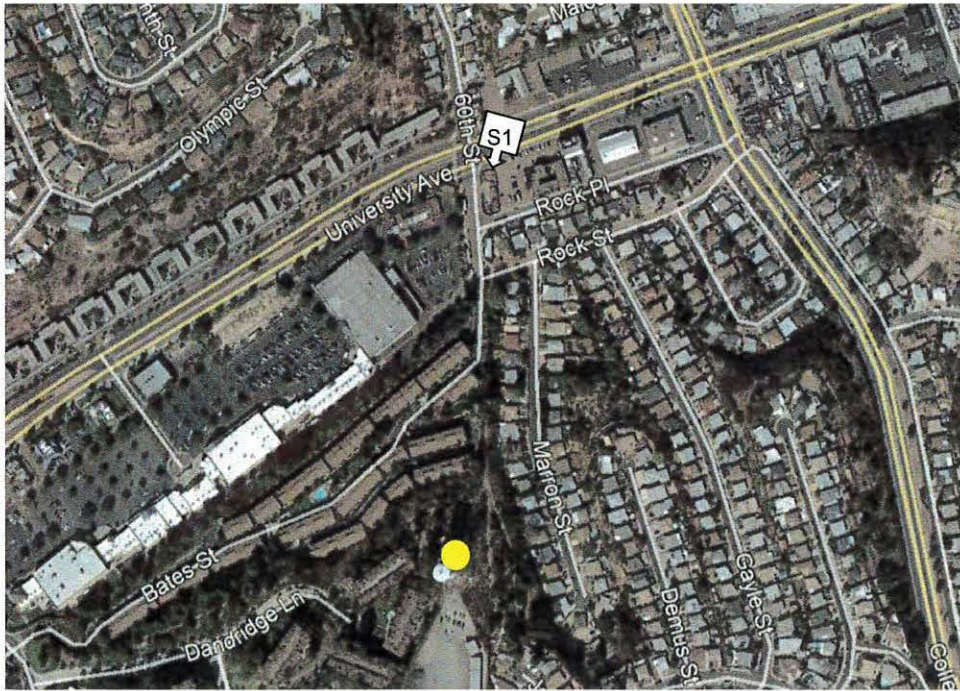
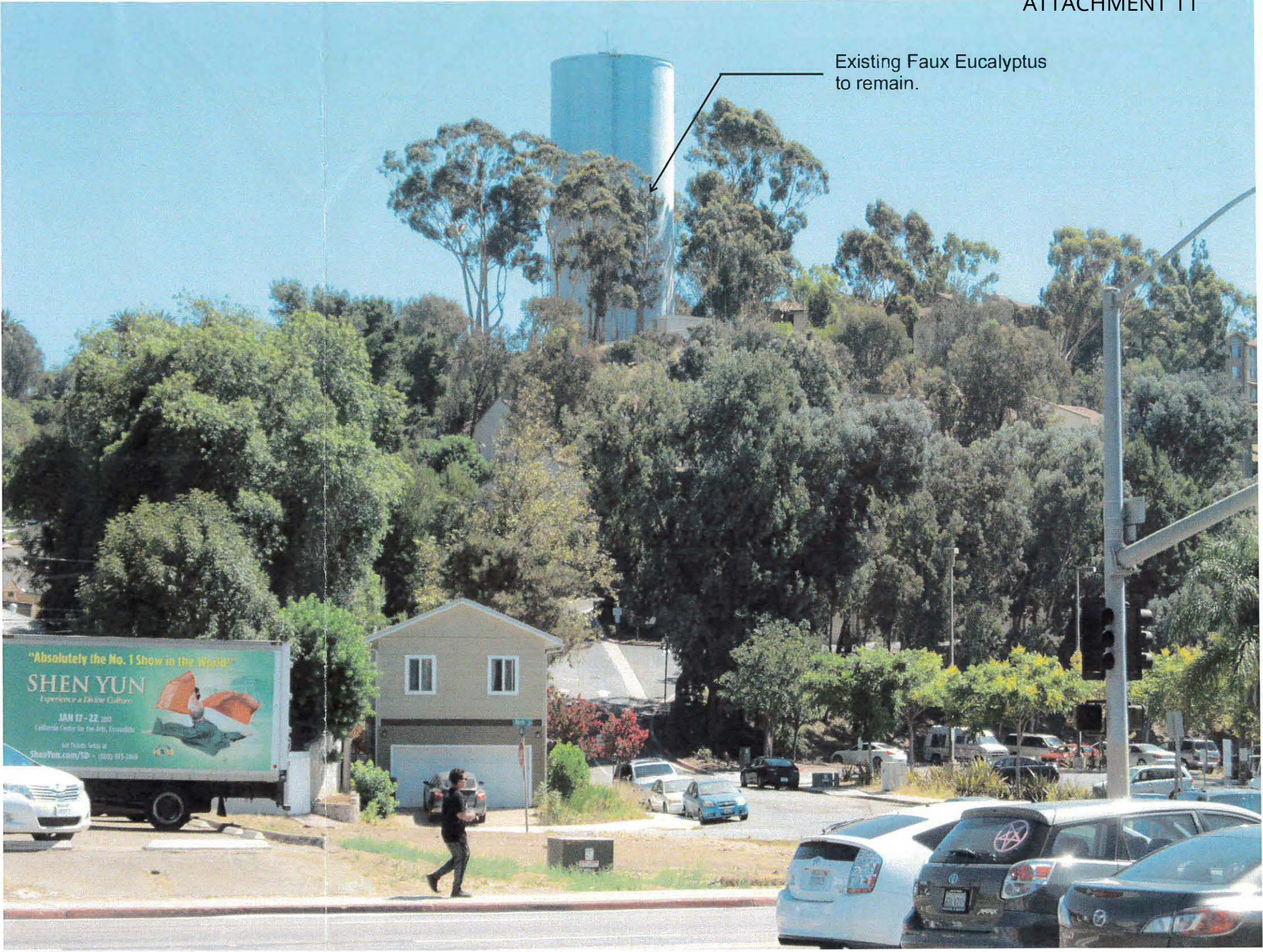
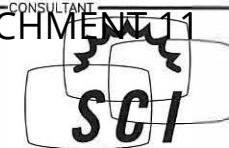


Photo Location



Existing Faux Eucalyptus
to remain.

Proposed View. No proposed changes to the existing facility.



SOLAR COMMUNICATIONS
INTERNATIONAL, INC.
8885 RIO SAN DIEGO DR.
Suite 207, San Diego, CA 92108
Tel: (619) 243-2750; Fax: (619) 243-2749
www.RFTransparent.com

COPYRIGHT 2006 SOLAR COMMUNICATIONS INTERNATIONAL, INC.
THESE MATERIALS ARE PROTECTED BY UNITED STATES COPYRIGHT LAW AND
MAY NOT BE REPRODUCED, DISTRIBUTED, TRANSMITTED, DISPLAYED, OR
PUBLISHED WITHOUT THE PRIOR WRITTEN PERMISSION OF SOLAR
COMMUNICATIONS INTERNATIONAL, INC. YOU MAY NOT ALTER OR REMOVE ANY
TRADEMARK, COPYRIGHT OR OTHER NOTICE FROM COPIES OF THIS CONTENT.

CLIENT

PROJECT
65'-0" MONOEUCALYPTUS

LOCATION
**UNIVERSITY AVENUE
NORTH OF DARNALI SCHOOL
SAN DIEGO, CA 92115**

ISSUED FOR
PRODUCTION

DW'N BY CK'D BY DATE
MAQ LEM 18JAN18

REVISIONS			
REV.	CHANGES	DATE	BY
A	ADJUST BRANCHES	07JUN18	MAQ

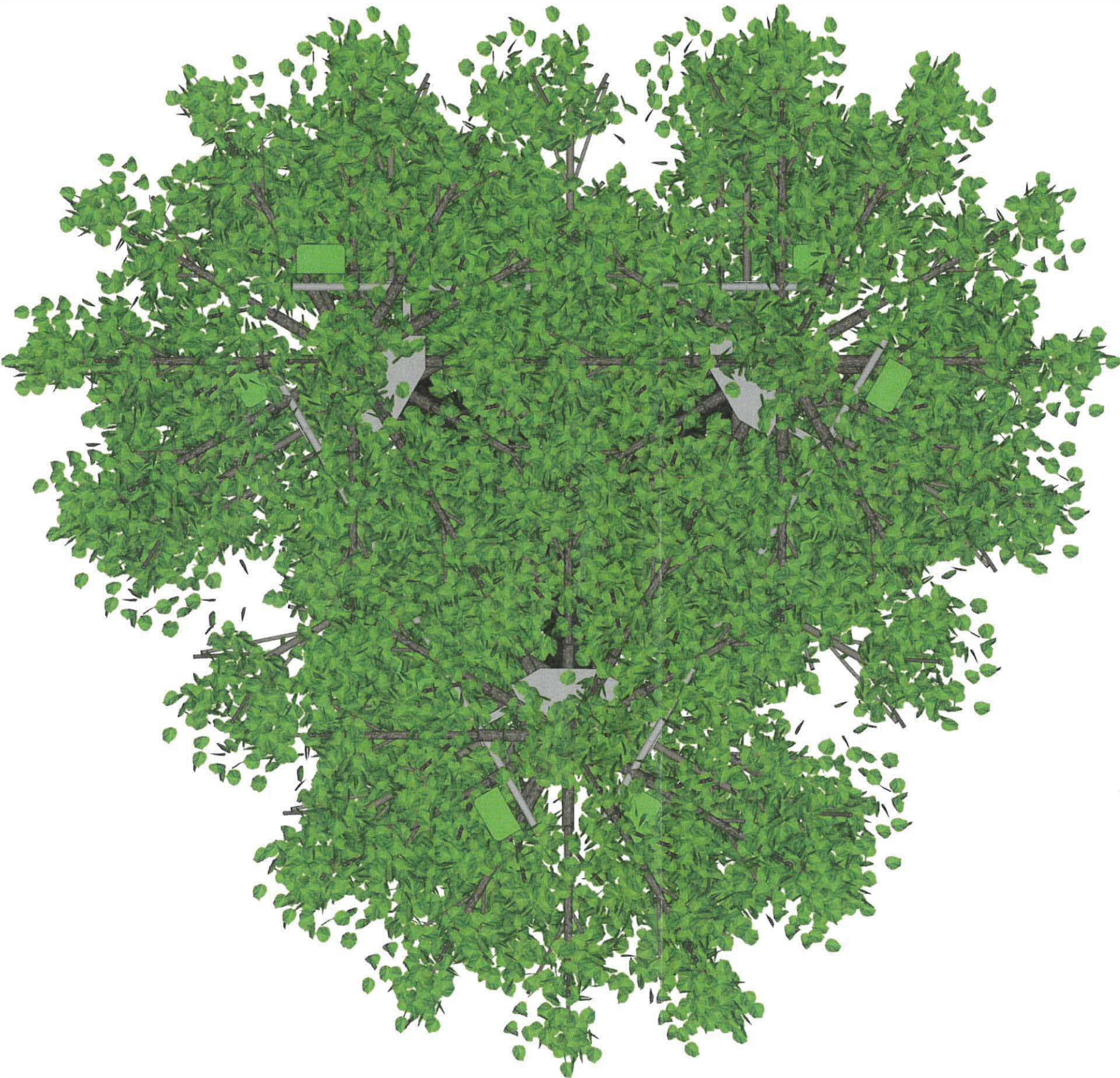
ENGINEER SEAL

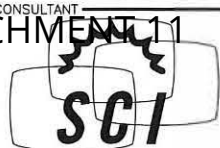
SHEET TITLE
**PLAN
VIEW**

WSC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER
1





SOLAR COMMUNICATIONS
INTERNATIONAL, INC.

8885 RIO SAN DIEGO DR.

Suite 207, San Diego, CA 92108

Tel: (619) 243-2750; Fax: (619) 243-2749

www.RFTtransparent.com

COPYRIGHT 2008 SOLAR COMMUNICATIONS INTERNATIONAL, INC.
THESE MATERIALS ARE PROTECTED BY UNITED STATES COPYRIGHT LAW AND
MAY NOT BE REPRODUCED, DISTRIBUTED, TRANSMITTED, DISPLAYED, OR
PUBLISHED WITHOUT THE PRIOR WRITTEN PERMISSION OF SOLAR
COMMUNICATIONS INTERNATIONAL, INC. YOU MAY NOT ALTER OR REMOVE ANY
TRADEMARK, COPYRIGHT OR OTHER NOTICE FROM COPIES OF THIS CONTENT.

CLIENT

PROJECT

65'-0" MONOEUCALYPTUS

LOCATION

UNIVERSITY AVENUE

NORTH OF DARNALI SCHOOL
SAN DIEGO, CA 92115

ISSUED FOR

PRODUCTION

DW'N BY CK'D BY DATE

MAQ LEM 18JAN18

REVISIONS

REV.	CHANGES	DATE	BY
A	ADJUST BRANCHES	07JUN18	MAQ

ENGINEER SEAL

SHEET TITLE

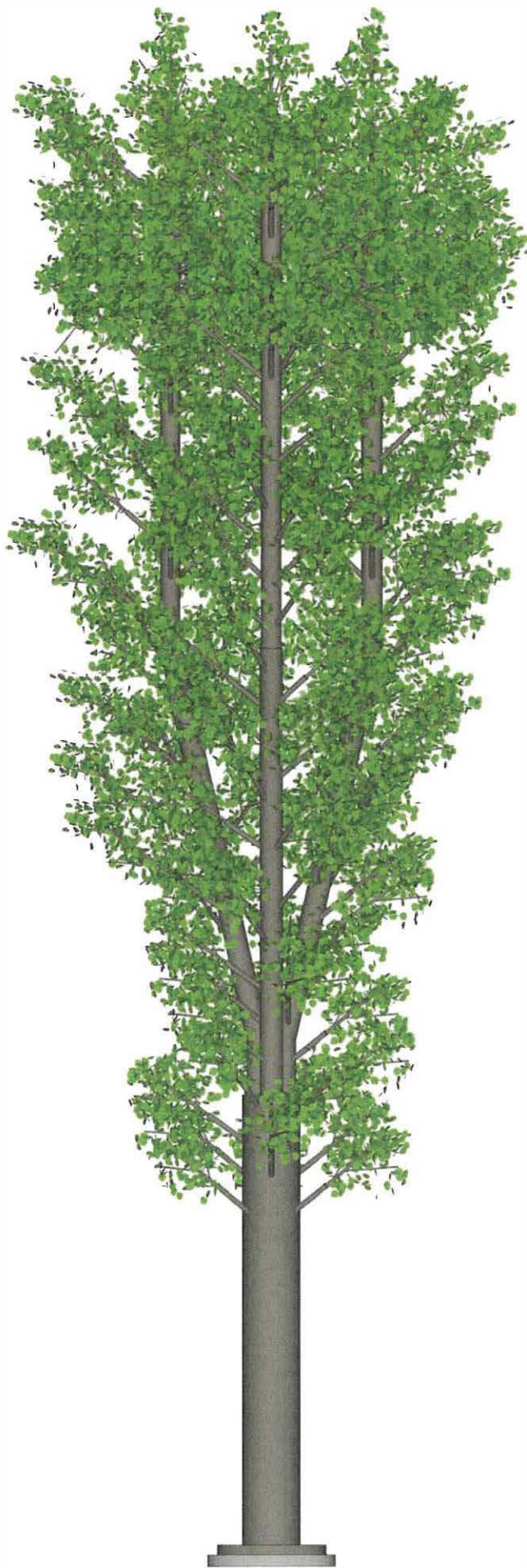
ELEVATION &
ISOMETRIC VIEW

WSC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

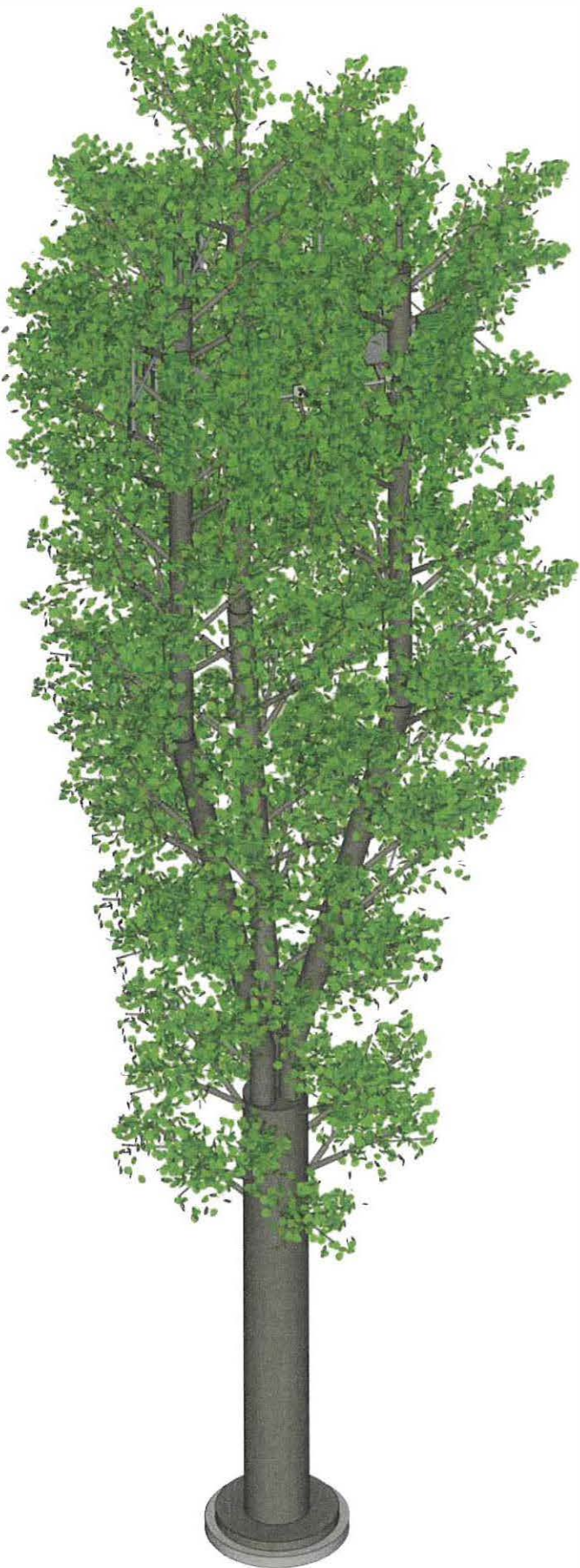
2



ELEVATION VIEW (N)

SCALE:
NONE

1



ISOMETRIC VIEW (N)

SCALE:
NONE

2



CONDITIONAL USE PERMIT
816130 - UNIVERSITY AVE.
6046 HUGHES STREET
SAN DIEGO, CA 92115

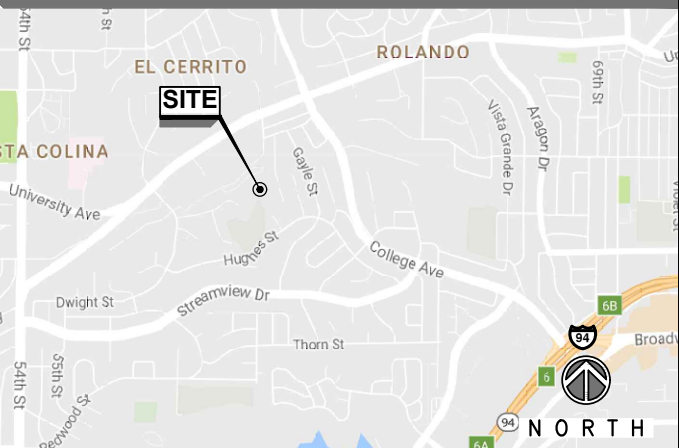
FA CODE: 10085149
USID: 13830
PACE NUMBER: MRSDL016877

LATITUDE: 32° 44' 54.99996" N
LONGITUDE: -117° 4' 0.99984" W
ELEVATION: 470' AMSL

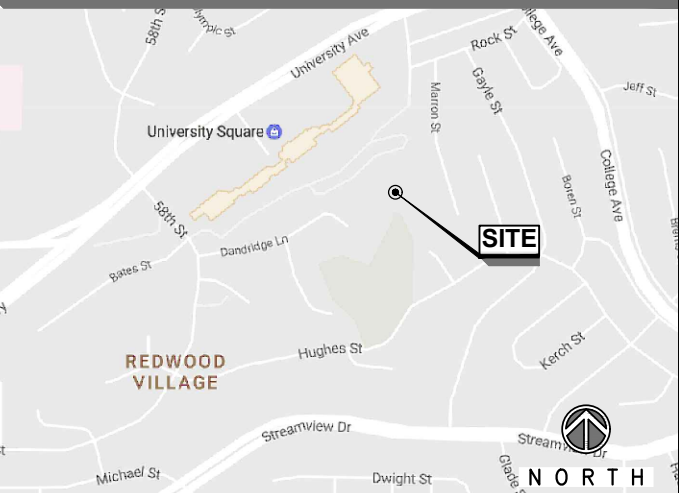
DRAWING INDEX

- T-1: TITLE SHEET
- GN-1: GENERAL NOTES
- A-1: OVERALL SITE PLAN
- A-2: ENLARGED SITE PLAN & ENLARGED EQUIPMENT PLAN
- A-3: EXISTING SOUTH ELEVATION
- A-4: EXISTING NORTH ELEVATION
- A-5: EXISTING EAST ELEVATION
- A-6: EXISTING WEST ELEVATION
- A-7: ANTENNA PLAN & SCHEDULE
- A-8: EQUIPMENT DETAILS
- L-1: EXISTING LANDSCAPE PLAN

VICINITY MAP



LOCATION MAP



APPROVALS

AT&T QUALITY MGR	DATE	AT&T PM	DATE
AT&T RF	DATE	AT&T OPS	DATE
AT&T SAQ	DATE	MD7 PM	DATE
B&V ENG	DATE	PROPERTY OWNER	DATE

ATTACHMENT 12



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY: CHECKED BY:

JB SN

REV. DATE: ISSUED FOR:

0 10/15/2018 C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

PROJECT TEAM

WIRELESS PROVIDER: NAME: AT&T ADDRESS: 5738 PACIFIC CENTER BLVD SAN DIEGO, CA 92121	RF ENGINEER: NAME: AT&T CONTACT: JORGE MELCHIOR EMAIL: CS450G@ATT.COM PHONE: (858) 762-2161
APPLICANT AGENT: NAME: LAND USE AND DEVELOPMENT CONSULTING ADDRESS: 11316 ROLLING HILLS DRIVE EL CAJON, CA 92020 CONTACT: MARK J. LINMAN PHONE: (619) 997-8288 EMAIL: MJLINMAN@COX.NET	CONSTRUCTION MANAGER NAME: BLACK & VEATCH ADDRESS: 10089 WILLOW CREEK RD #350, SAN DIEGO, CA 92131 CONTACT: PJ PUTICH PHONE: (216) 965-7809 EMAIL: PUTICHP@BV.COM
ARCHITECT: NAME: MD7, LLC ADDRESS: 11824 JOLLYVILLE RD. SUITE 302 AUSTIN, TX 78759 CONTACT: SANJIV NARIANI PHONE: (512) 366-3747 EMAIL: SNARIANI@MD7.COM	APPLICANT NAME: CROWN CASTLE ADDRESS: 6671 S. LAS VEGAS BLVD. BLDG D SUITE 210 OFFICE 277 LAS VEGAS, NV 89119
PROPERTY OWNER NAME: CITY OF SAN DIEGO ADDRESS: 1200 THIRD AVENUE, STE A700 MS51A SAN DIEGO, CA 92101	

DESIGN CRITERIA / CODE ANALYSIS

CALIFORNIA STATE CODE COMPLIANCE: ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES: <ul style="list-style-type: none">- INTERNATIONAL BUILDING CODE (IBC) 2017- NATIONAL ELECTRIC CODE (NEC) 2017 (CURRENT LOCAL AMENDMENTS)- INTERNATIONAL FIRE CODE (IFC) 2017- ANSI/EIA-222	
PROPERTY INFORMATION: JURISDICTION: CITY OF SAN DIEGO COUNTY: SAN DIEGO COUNTY ZONING: OR-1-1 SITE TYPE: OUTDOOR STRUCTURE TYPE: 60'-0" MONOEUCALYPTUS OCCUPANCY: U (UNMANNED TELECOMMUNICATIONS CELL SITE) CONSTRUCTION TYPE: V-B LEASE AREA: ±1158.33 SQ.FT. PARCEL SIZE: 1.20 ACRES PARCEL NUMBER(S): 472-470-08-00 SITE OWNER NAME: CROWN CASTLE SITE OWNER SITE NAME: 10085149_SD0300-UNIVERSITY AVE. SITE OWNER SITE NUMBER: L816130 PACE NUMBER: MRSDL016877 POWER COMPANY: SDG&E TELEPHONE COMPANY: AT&T LEGAL DESCRIPTION: 1.20 AC M/L IN LOT 25 & IN LOT 24 TR 0748	
ACCESSIBILITY REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS IS NOT REQUIRED IN ACCORDANCE WITH CALIFORNIA ADMINISTRATIVE STATE CODE PART 2, TITLE 24, CHAPTER 118, DIVISION 4.	

PROJECT SUMMARY / SCOPE OF WORK

APPLICATION FOR CONDITIONAL USE PERMIT AND PLANNED DEVELOPMENT PERMIT	
THE CONTINUED USE AND OPERATION OF A PREVIOUSLY APPROVED WIRELESS COMMUNICATIONS FACILITY CONSISTING OF A 65-FOOT TALL MONO-EUCALYPTUS SUPPORTING ONE CARRIER WITH TWO SECTORS OF 4 ANTENNAS EACH, A 360-SQUARE FOOT EQUIPMENT ENCLOSURE WITH RELATED EQUIPMENT AND IMPROVEMENTS. A FULL REBRANCHING OF THE EXISTING MONO-EUCALYPTUS IS PROPOSED. NO ADDITIONAL LANDSCAPING IS PROPOSED.	
FAA & FCC REQUIREMENTS:	THIS FACILITY SHALL MEET OR EXCEED ALL FAA AND FCC REQUIREMENTS
CONSTRUCTION REQUIREMENTS:	ALL WORK MUST CONFORM TO JURISDICTION AND CARRIERS CONSTRUCTION INSTALLATION STANDARDS AND PROCEDURES

DRAWING SYMBOLS

	ELEVATION NUMBER SHEET NUMBER FOR ELEVATION		REVISION
	DETAIL NUMBER SHEET NUMBER FOR DETAIL		REFER: ELECTRICAL FOR ADDITIONAL SYMBOLS

CONFIDENTIAL AND EMERGENCY

NOT FOR DISCLOSURE OUTSIDE AT&T WITHOUT WRITTEN PERMISSION.

DRIVING DIRECTIONS

FROM CLIENT'S OFFICE, 5738 PACIFIC CENTER BLVD SAN DIEGO, CA 92121	
1. GET ON I-805 S FROM LUSK BLVD AND MIRA MESA BLVD 5 MIN (2.2 MI)	
2. FOLLOW I-805 S AND I-8 E TO COLLEGE AVE. TAKE EXIT 10 FROM I-8 E 12 MIN (13.3 MI)	
3. CONTINUE ON COLLEGE AVE. DRIVE TO HUGHES ST 9 MIN (2.5 MI) 6046 HUGHES ST SAN DIEGO, CA 92115	

SITE INFORMATION:

SITE NAME:
CONDITIONAL USE PERMIT 816130 UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

- GENERAL NOTES:
- A. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE. THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT AND LABOR DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN.
- B. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT THROUGH INSPECTION OF THE JOB SITE, DRAWINGS AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK. ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED AND CLARIFICATION SHALL BE OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST FOR SAME BEING BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERROR OCCURS OR CONDITIONS NOT COVERED IN THE DRAWINGS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- C. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- D. CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- E. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- F. ALL WORK PERFORMED ON PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- G. THE STRUCTURAL COMPONENTS OF THIS PROJECT ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
- H. DRAWINGS ASSUME THE EXISTING BUILDING TO BE IN COMPLIANCE WITH CODE REQUIREMENTS. ANY VIOLATIONS OF CODES IN EXISTING BUILDING DISCOVERED DURING THE COURSE OF CONSTRUCTION WILL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE BUILDING OWNER OR THEIR REPRESENTATIVES.
- I. CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- J. DETAILS ARE USUALLY KEYED ONCE ON THE DRAWINGS AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS INCLUDED HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.
- K. DIMENSIONS ARE FROM FINISH FACE TO FACE. (UNLESS NOTED OTHERWISE)
- L. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION AND UPON COMPLETION OF WORK. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY. IN ADDITION THE CONTRACTOR SHALL FOLLOW ALL SAFETY REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION OVER HIS WORK.
- M. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A CLEAN AND SAFE CONDITION, INCLUDING PROPER REMOVAL OF WASTE MATERIAL. WASTE MATERIAL SHALL NOT BE STORED WITHIN OR NEAR THE BUILDING. DUMPSTERS PROVIDED FOR THE DISPOSAL OF WASTE MATERIAL SHALL BE REMOVED AWAY FROM THE BUILDING BUT MAY BE STORED ON SITE DAILY. PROTECT EXISTING ASPHALT PARKING SURFACE AND REPAIR AT NO EXPENSE TO THE BUILDING OWNER ANY DAMAGE CAUSE BY THE USE OF THE DUMPSTERS.
- N. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE THE CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- O. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT SPECIAL INSPECTOR, AS REQUIRED, PER SECTION 1704 OF THE INTERNATIONAL BUILDING CODE (IBC).
- P. CONTRACTOR SHALL GUARANTEE IN WRITING ALL LABOR, MATERIALS, AND WORKMANSHIP INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER EXCEPT AS MODIFIED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- Q. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL COMBUSTIBLE FLUIDS, INCLUDING PAINTS, PRIMERS, SEALERS, SOLVENTS AND ADHESIVES, COMPLY AND ARE BEING USED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS. CONTRACTOR SHALL PROVIDE STORAGE FOR SUCH MATERIALS AWAY FROM THE BUILDING. USE OF THE BUILDING FOR SUCH STORAGE IS PROHIBITED.
- R. CONTRACTOR TO HAVE ALL EASEMENTS AND UNDER GROUND UTILITIES LOCATED AND MARKED PRIOR TO COMMENCING SITE WORK.
- S. ELECTRICAL, MECHANICAL AND PLUMBING PERMITS SHALL BE THE RESPONSIBILITY OF THEIR RELATIVE SUB-CONTRACTORS.
- T. OWNER SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHALL. CONTRACTOR TO INSTALL.
- U. CONTRACTOR SHALL COORDINATE ALL WORK WITH PROPERTY OWNER REPRESENTATIVE INCLUDING BUT NOT LIMITED TO SCHEDULE, PROCEDURES, SECURITY, AND CONSTRUCTING LOADING AND UNLOADING.
- V. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE JURISDICTION'S CURRENT ADOPTED VERSION OF INTERNATIONAL BUILDING CODE (IBC), (IPC), (IMC) AND NEC.

- W. SEAL ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLY WITH U.L. LISTED OR F.M. APPROVED MATERIALS TO MAINTAIN RATING INTEGRITY OF ASSEMBLY.
- X. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. THIS WILL BE DONE AFTER THE SITE HAS BEEN AWARDED THE FINAL INSPECTION. TWO COPIES OF REDLINED DRAWINGS WILL BE PROVIDED TO CLIENT / PROJECT MANAGER.

STEEL (UNLESS NOTED OTHERWISE):

- INCLUDES STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS, THREADED STRUCTURAL FASTENERS, ANTENNA SUPPORT ASSEMBLIES, GRATING, STEEL PLATFORMS, AND PEDESTAL SUPPORTS.
 - FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, STEEL CONSTRUCTION MANUAL, THIRTEENTH EDITION.
 - PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE.
- | | |
|-------------------------------------|-------------------------------|
| A. STRUCTURAL STEEL MEMBER SHALL BE | ASTM A572 GRADE 50 FY=50 KSI. |
| B. STRUCTURAL TUBING SHALL BE | ASTM A500 GRADE B FY=46 KSI. |
| C. PIPE SHALL BE | ASTM A53 GRADE B FY=35 KSI. |
| D. BOLTS, NUTS, WASHERS SHALL BE | ASTM A325 F1852 |
| E. ANCHOR BOLTS SHALL BE | ASTM A325 F1852 OR A490 |
- ALLOW FOR ERECTION LOAD. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.
 - NO UNAUTHORIZED WELDING SHALL BE PERFORMED ON TELECOMMUNICATION CLIENT TOWERS. ALL OTHER WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY AWS 01.11 STRUCTURAL STEEL WELDING CODE. STEEL WELD ELECTRODES SHALL BE 370XX.
 - DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
 - AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACE S NOT SHOP PRIMED OR GALVANIZED WITH ZINK RICH PAINT INCLUDING ALL EXISTING OR NEW AREAS.
 - PROVIDE FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS, AND BOLT/NUT TORQUE.

ELECTRICAL (UNLESS NOTED OTHERWISE):

- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING, FILING, AND FEES IN CONJUNCTION WITH THE PROJECT.
- ALL LABOR AND MATERIAL SHALL CONFORM TO ALL LOCAL, STATE, AND NATIONAL CODES, RULES, REGULATIONS AND STANDARDS.
- ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.
- ALL WORK SHALL BE DONE BY QUALIFIED AND EXPERIENCED JOURNEYMEN AND PERFORMED IN A WORKMANLIKE MANNER AND SHALL PROCEED IN AN ORDERLY MANNER SO AS NOT TO HOLD UP THE PROGRESS OF THE PROJECT.
- THOROUGHLY TEST ALL LINES, FEEDERS, EQUIPMENT, AND DEVICES WITH MAXIMUM LOADS TO ASSURE PROPER OPERATION.
- CONDUITS AND FITTINGS FOR OUTSIDE APPLICATIONS SHALL BE RIGID OR NON-METALLIC UNLESS OTHERWISE NOTED.
- ALL WIRES SHALL BE COPPER; USE OF ALUMINUM CONDUCTORS WILL NOT BE PERMITTED. SEE ELECTRICAL PLANS FOR SIZING AND LOCATIONS. USE PROPER SIZE CONNECTORS PER LOCAL, STATE, AND NATIONAL CODES.
- CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES.
- PROVIDE PULL BOXES WHERE SHOWN AND WHERE REQUIRED BY CODES AND UTILITY COMPANIES.
- ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.
- ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC. ALL SWEEPS OR BENDS, AND ABOVE-GROUND CONDUITS SHALL BE RIGID GALVANIZED STEEL OR PVC SCHEDULE 80. ALL CONDUITS NOT TERMINATING INTO A CLOSED AREA MUST BE SEALED TO PREVENT ENTRY OF ANY MOISTURE OR FOREIGN OBJECTS. ALL CONDUIT RISERS TO INCLUDE SLIP TYPE EXPANSION JOINT.

GROUNDING (UNLESS NOTED OTHERWISE):

- THE GROUNDING SYSTEM CONNECTIONS SHALL BE MADE WITH EXOTHERMIC WELDS AND/OR MECHANICAL TWO-LUG COMPRESSION CONNECTORS AS INDICATED ON PLANS. USE ONLY STAINLESS STEEL SCREWS, BOLTS WASHERS, AND NUTS FOR FASTENING.
- CLEAN SURFACES THOROUGHLY BEFORE APPLYING GROUND LUGS OR CLAMPS. IF SURFACE IS COATED, THE COATING MUST BE REMOVED DOWN TO THE BARE METAL. AFTER THE COATING HAS BEEN REMOVED, APPLY A NON-CORROSIVE APPROVED COMPOUND TO THE CLEANED SURFACE AND INSTALL LUGS OR CLAMPS. WHERE GALVANIZING IS REMOVED FROM METAL, IT SHALL BE PAINTED OR TOUCHED UP WITH COLD GALVANIZING PAINT SUCH AS GLAVMOX OR EQUAL.
- ALL CLAMPS, SLEEVES, AND SUPPORTS USED TO SUPPORT OR CHANNEL THE GROUNDING SYSTEM CONDUCTORS AND PVC CONDUITS SHALL BE PVC TYPE NON-CONDUCTIVE. DO NOT USE METAL BRACKETS OR SUPPORTS THAT WOULD FORM A COMPLETE RING AROUND ANY GROUNDING CONDUCTOR.
- ALL GROUNDING CONNECTIONS SHALL BE COATED WITH T&B KOPR SHIELD ANTI-CORROSIVE AGENT. NO SUBSTITUTIONS ARE PERMITTED. VERIFY THE PRODUCT WITH TELECOMMUNICATION CLIENT PRIOR TO USAGE.

PRODUCTS

2.1 GENERAL (UNLESS NOTED OTHERWISE):

- A. GENERAL REQUIREMENTS: ALL MATERIALS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH CONTRACT DOCUMENTS AND STANDARD PRODUCTS OF THE VARIOUS MANUFACTURERS, WITH ALL MATERIALS AND EQUIPMENT TO BE NEW, CLEAN, UNDAMAGED, AND FREE OF DEFECTS AND CORROSION.

- B. ACCEPTABLE PRODUCTS: THE PRODUCT OF A SPECIFIED OR APPROVED MANUFACTURER WILL BE ACCEPTABLE ONLY WHEN THE PRODUCT COMPLIES WITH OR IS MODIFIED AS NECESSARY TO COMPLY WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- C. COMMON ITEMS: WHERE MORE THAN ONE OF ANY SPECIFIC ITEM IS REQUIRED, ALL SHALL BE OF THE SAME TYPE AND MANUFACTURER.
- D. UL LISTING: ALL MATERIALS AND EQUIPMENT SHALL BE UNDERWRITERS LABORATORIES (UL) LISTED AND LABELED, WHERE UL STANDARDS AND LISTINGS EXIST FOR SUCH MATERIALS OR EQUIPMENT.

ATTACHMENT 12



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY: CHECKED BY:

JB SN

REV.	DATE:	ISSUED FOR:
0	10/15/2018	C.U.P

© All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

**CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.**

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

GN-1



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY: CHECKED BY:

JB SN

REV. DATE: ISSUED FOR:

0 10/15/2018 C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

A-1

KEYED NOTES

- 1 EXISTING AT&T SHELTER
- 2 EXISTING BUILDING
- 3 EXISTING CHAIN LINK FENCE
- 4 EXISTING APPROXIMATE PROPERTY LINE
- 5 EXISTING STORM DRAIN
- 6 EXISTING LANDSCAPE (TYP.)
- 7 EXISTING TREE
- 8 EXISTING WATER TOWER
- 9 EXISTING VERIZON SHELTER
- 10 EXISTING T-MOBILE SHELTER
- 11 15' FRONT SETBACK
- 12 8' SIDE SETBACK
- 13 31.3' SIDE SETBACK
- 14 63.34' REAR SETBACK

GENERAL NOTES

THIS IS NOT A SITE SURVEY:
ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTHS ARE APPROXIMATE. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.

UNDERGROUND UTILITIES:
EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.

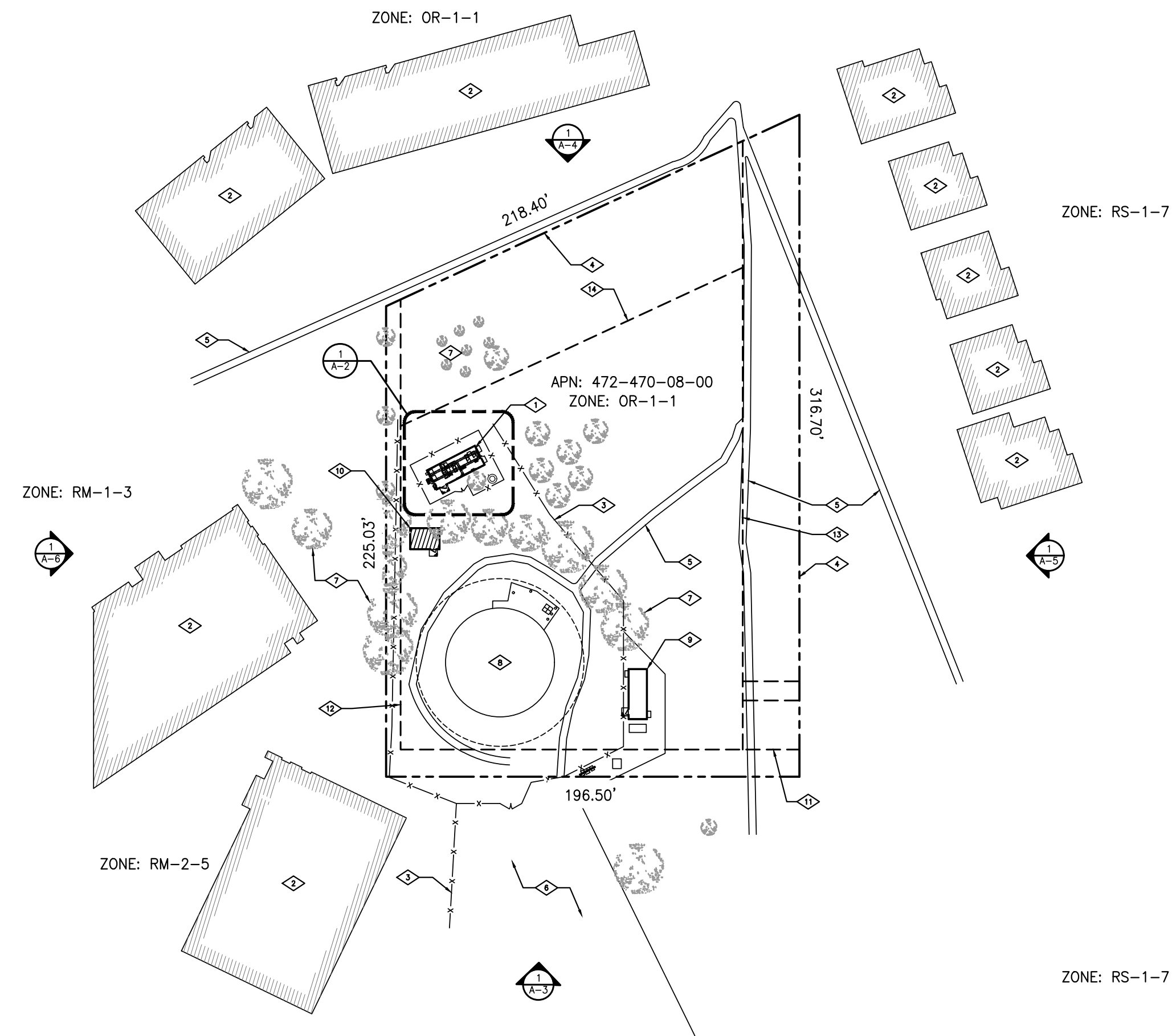
- CONTRACTOR NOTES:
- CONTRACTOR SHALL REPAIR ALL DAMAGE RESULTING FROM CONSTRUCTION BACK TO PRE-CONSTRUCTION CONDITION AT COMPLETION OF WORK.
 - CONTRACTOR SHALL COORDINATE SITE ACCESS TIMES AND EQUIPMENT STAGING LOCATIONS WITH LANDLORD.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING SETBACK
- x-x-x-x- EXISTING FENCE LINE
- ⊗ LIGHT STANDARD
- ⊠ UTILITY BOX
- ⊙ UTILITY POLE
- ⌋ POLE GUY WIRE
- ⊞ GAS METER
- ⊞ TELEPHONE RISER
- ⊙ FIRE HYDRANT
- ⊙ FIRE STAND PIPE
- ⊙ CATCH BASIN
- ⌋ SIGN
- ⊙ BOLLARD
- 234.21 SPOT ELEVATION
- ⊕ EXISTING EUCALYPTUS TREE

NOTES

- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT. THIS IS AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.
- THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
- THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO CITY OF SAN DIEGO WATER AND SEWER FACILITIES IN THE VICINITY OF THE PROJECT SITE, DUE TO THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT, IN ACCORDANCE WITH SDMC 142.0607. IN THE EVENT THAT ANY SUCH FACILITY LOSES INTEGRITY THEN, THE OWNER/PERMITEE SHALL REPAIR OR RECONSTRUCT ANY DAMAGED PUBLIC WATER AND SEWER FACILITY IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.



1 OVERALL SITE PLAN
24"x36" SCALE: 1" = 30'-0"
11"x17" SCALE: 1" = 60'-0"
30' 15' 0' 30'





PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY: CHECKED BY:

JB SN

REV. DATE: ISSUED FOR:

0 10/15/2018 C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

ENLARGED SITE PLAN &
ENLARGED EQUIPMENT PLAN

SHEET NUMBER:

A-2

KEYED NOTES

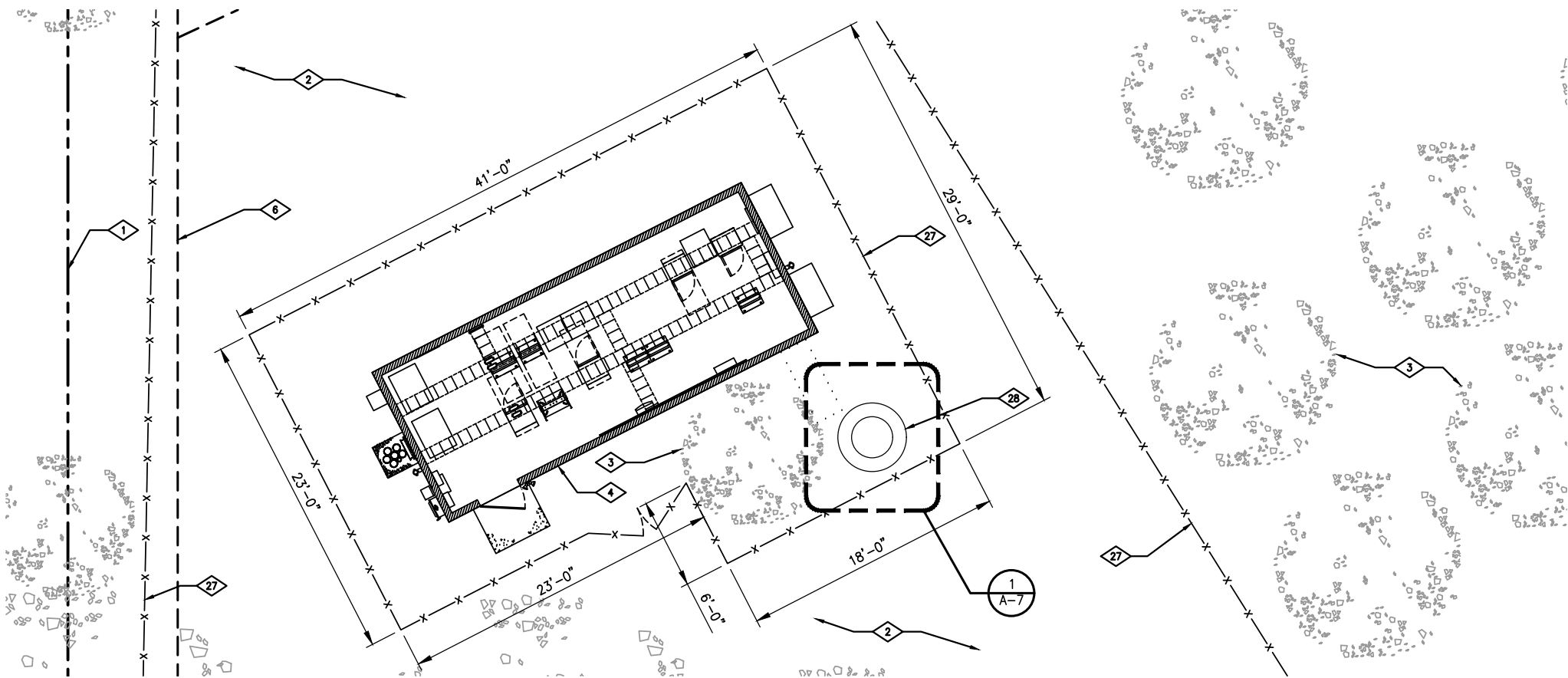
- 1 EXISTING APPROXIMATE PROPERTY LINE
- 2 EXISTING LANDSCAPE (TYP.)
- 3 EXISTING TREE
- 4 EXISTING AT&T EQUIPMENT SHELTER
- 5 EXISTING CONDUIT STUBS
- 6 8' SIDE SETBACK
- 7 EXISTING EQUIPMENT RACK
- 8 EXISTING BATTERY
- 9 EXISTING DIPLEXERS
- 10 EXISTING GROUND BUSS BAR
- 11 EXISTING FIF RACK
- 12 EXISTING LTE RACK W/ DC CONVERTER
- 13 EXISTING GSM
- 14 EXISTING HCHC MCPA
- 15 EXISTING HVAC
- 16 EXISTING HVAC CONTROL
- 17 EXISTING DEMARC BOX
- 18 EXISTING TELCO BOARD
- 19 EXISTING CIENA BOX
- 20 EXISTING ARGUS PLANT
- 21 EXISTING UMTS CABINET
- 22 EXISTING AT&T AC PANEL
- 23 EXISTING TRANSFER SWITCH
- 24 EXISTING DISCONNECT
- 25 EXISTING MICRIN GENERATOR INTERFACE
- 26 EXISTING GPS ANTENNA
- 27 EXISTING CHAIN LINK FENCE
- 28 EXISTING MONO-EUCALYPTUS

GENERAL NOTES

THIS IS NOT A SITE SURVEY.
ALL PROPERTY BOUNDARIES, ORIENTATION OF TRUE NORTH AND STREET HALF-WIDTHS ARE APPROXIMATE. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.

UNDERGROUND UTILITIES:
EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN. CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.

- CONTRACTOR NOTES:
- CONTRACTOR SHALL REPAIR ALL DAMAGE RESULTING FROM CONSTRUCTION BACK TO PRE-CONSTRUCTION CONDITION AT COMPLETION OF WORK.
 - CONTRACTOR SHALL COORDINATE SITE ACCESS TIMES AND EQUIPMENT STAGING LOCATIONS WITH LANDLORD.

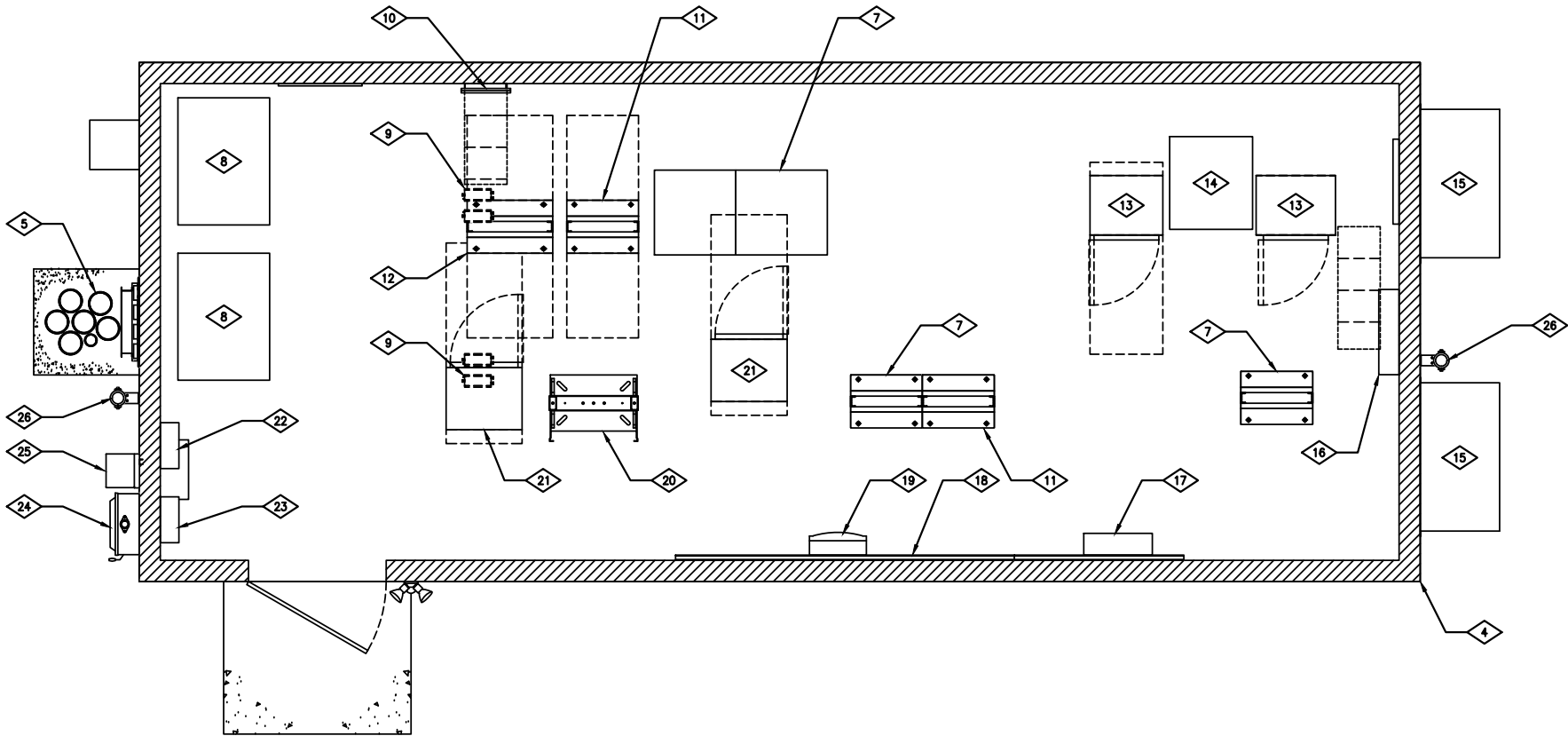


1 ENLARGED SITE PLAN

24"x36" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"



NORTH



2 ENLARGED EQUIPMENT PLAN

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



NORTH



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY:

JB

CHECKED BY:

SN

REV.

0

DATE:

10/15/2018

ISSUED FOR:

C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

KEYED NOTES

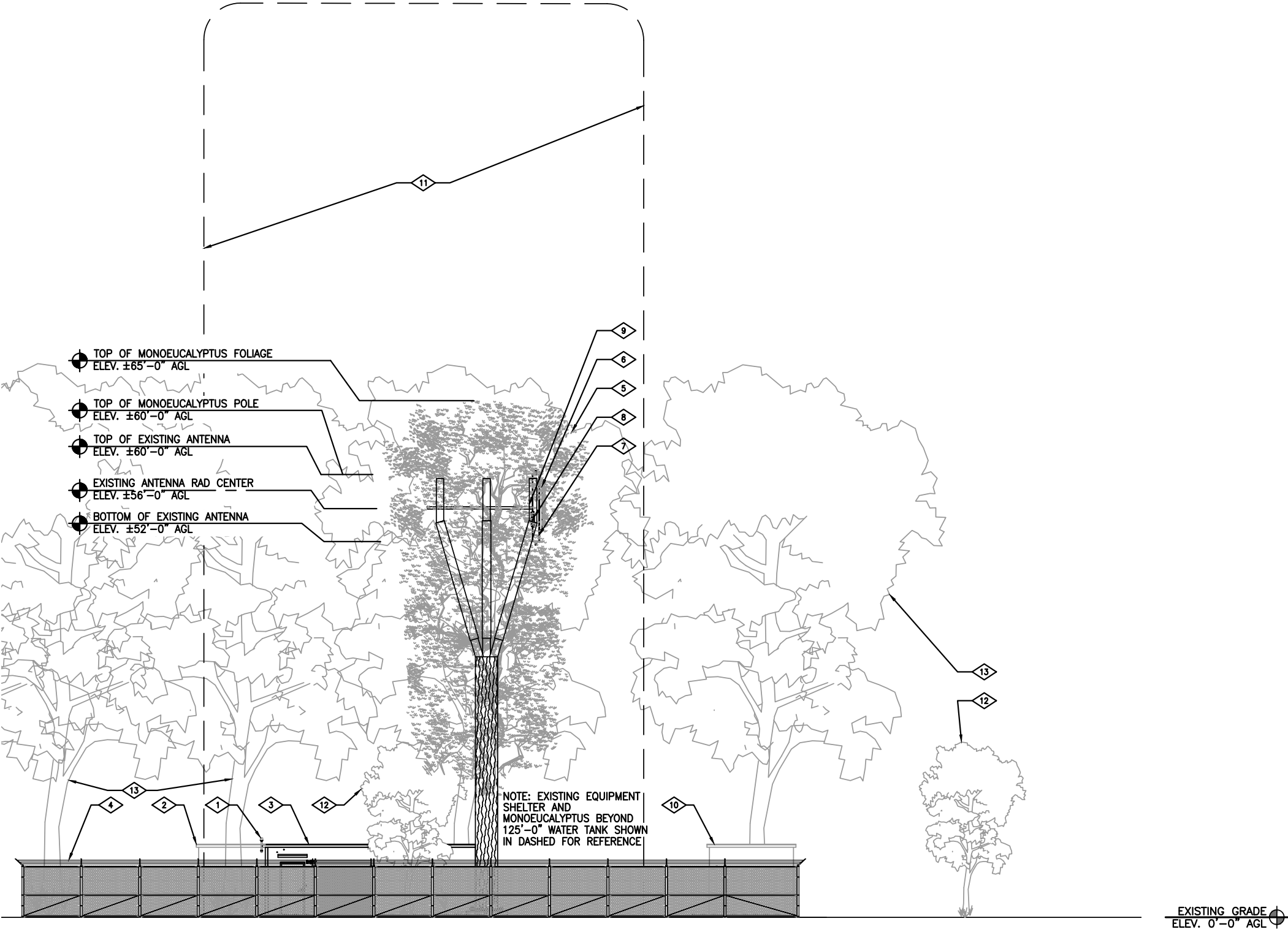
- 1 EXISTING GPS ANTENNA
- 2 EXISTING T-MOBILE EQUIPMENT SHELTER
- 3 EXISTING AT&T SHELTER
- 4 EXISTING CHAIN LINK FENCE
- 5 EXISTING STEALTH MONO-EUCALYPTUS
- 6 EXISTING RRU'S
- 7 EXISTING ANTENNA
- 8 EXISTING TMA
- 9 EXISTING DC6 (TYP.)
- 10 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 11 EXISTING 125'-0" WATER TANK
- 12 EXISTING (2) 12'-0" EUCALYPTUS TREE
- 13 EXISTING (4) 75'-0" EUCALYPTUS TREE

GENERAL NOTES

- THIS DRAWING IS FOR COORDINATION PURPOSES ONLY.
- DIRECTION OF ANTENNAS AND LOCATION OF EQUIPMENT BEHIND ANTENNAS MAY BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
- REFER TO TOWER STRUCTURAL (BY OTHERS) FOR THE STRUCTURAL ADEQUACY OF THE TOWER WITH LESSEE'S EQUIPMENT.
- FOR ANTENNA AND TOWER EQUIPMENT DETAILS, REFERENCE MANUFACTURER AND TOWER STRUCTURAL (BY OTHERS).
- FOR TRANSMISSION CABLE ATTACHMENT AND ROUTING REFERENCE MANUFACTURER (BY OTHERS).
- INSTALLERS TO VERIFY LATEST RF DATA SHEET & PLUMBING / WIRING DIAGRAMS, PRIOR TO INSTALLATION.

NOTES

- A FULL REBRANCHING OF THE EXISTING MONO-EUCALYPTUS IS PROPOSED

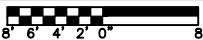


EXISTING GRADE
ELEV. 0'-0" AGL

1
A-3

EXISTING SOUTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"



SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

EXISTING SOUTH
ELEVATION

SHEET NUMBER:

A-3



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY:

JB

CHECKED BY:

SN

REV.

0

DATE:

10/15/2018

ISSUED FOR:

C.U.P

© All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

EXISTING NORTH
ELEVATION

SHEET NUMBER:

A-4

KEYED NOTES

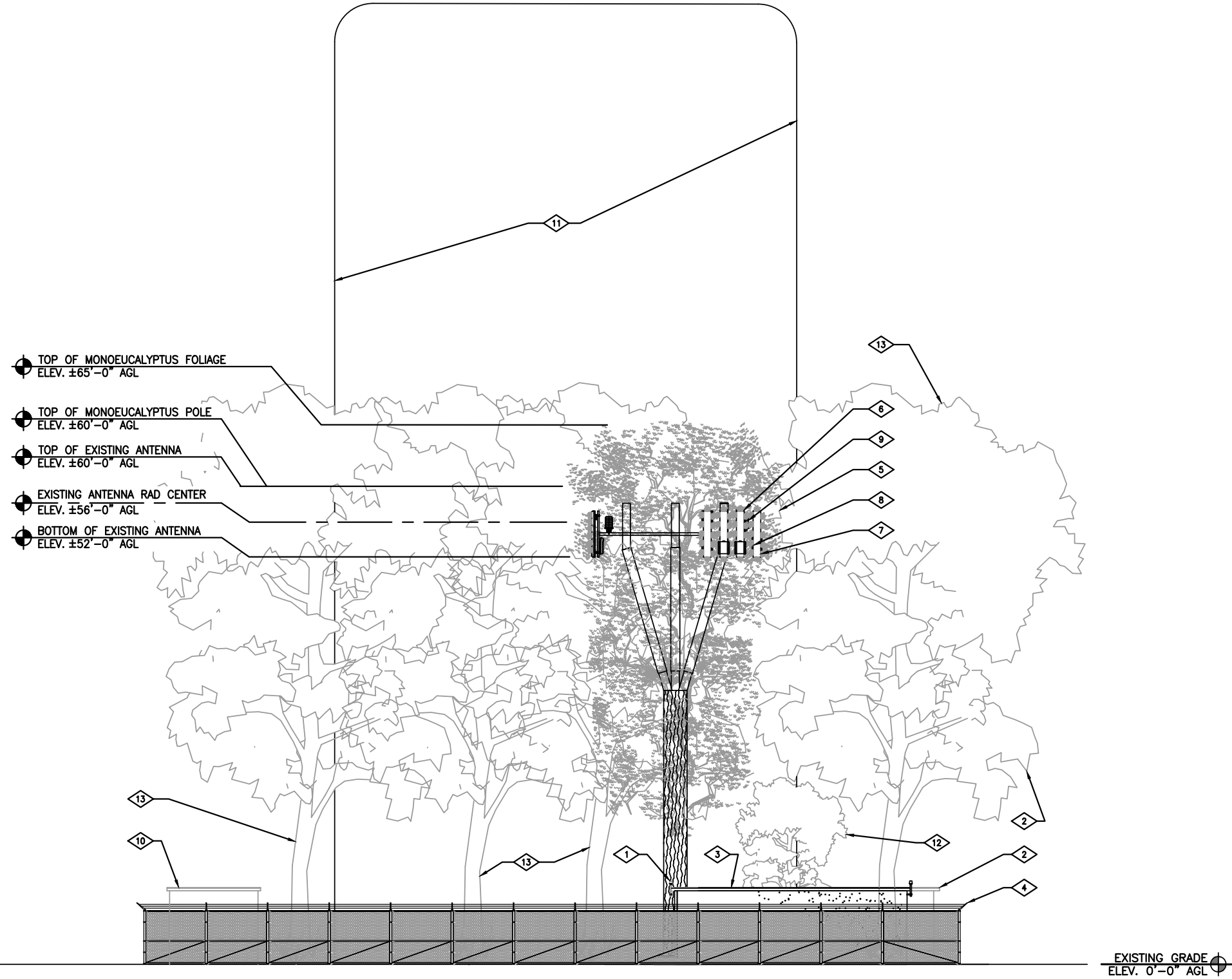
- 1 EXISTING GPS ANTENNA
- 2 EXISTING T-MOBILE EQUIPMENT SHELTER
- 3 EXISTING AT&T SHELTER
- 4 EXISTING CHAIN LINK FENCE
- 5 EXISTING STEALTH MONO-EUCALYPTUS
- 6 EXISTING RRU'S
- 7 EXISTING ANTENNA
- 8 EXISTING TMA
- 9 EXISTING DC6 (TYP.)
- 10 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 11 EXISTING 125'-0" WATER TANK
- 12 EXISTING 12'-0" EUCALYPTUS TREE
- 13 EXISTING (4) 75'-0" EUCALYPTUS TREE

GENERAL NOTES

- THIS DRAWING IS FOR COORDINATION PURPOSES ONLY.
- DIRECTION OF ANTENNAS AND LOCATION OF EQUIPMENT BEHIND ANTENNAS MAY BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
- REFER TO TOWER STRUCTURAL (BY OTHERS) FOR THE STRUCTURAL ADEQUACY OF THE TOWER WITH LESSEE'S EQUIPMENT.
- FOR ANTENNA AND TOWER EQUIPMENT DETAILS, REFERENCE MANUFACTURER AND TOWER STRUCTURAL (BY OTHERS).
- FOR TRANSMISSION CABLE ATTACHMENT AND ROUTING REFERENCE MANUFACTURER (BY OTHERS).
- INSTALLERS TO VERIFY LATEST RF DATA SHEET & PLUMBING / WIRING DIAGRAMS, PRIOR TO INSTALLATION.

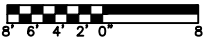
NOTES

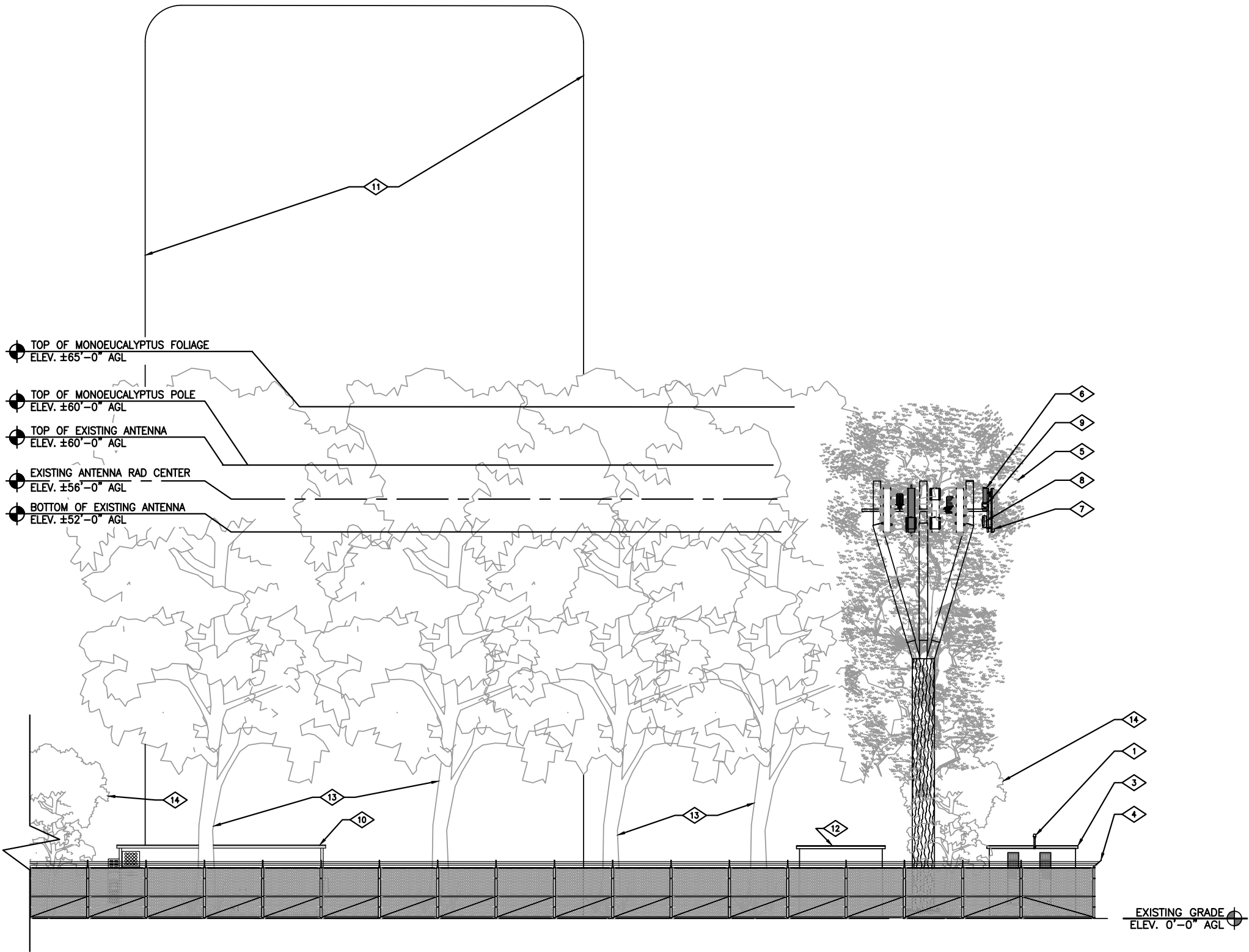
- A FULL REBRANCHING OF THE EXISTING MONO-EUCALYPTUS IS PROPOSED



1
A-4
EXISTING NORTH ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"





1
A-5
EXISTING EAST ELEVATION
24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

KEYED NOTES

- 1 EXISTING GPS ANTENNA
- 2 EXISTING TREE
- 3 EXISTING AT&T SHELTER
- 4 EXISTING CHAIN LINK FENCE
- 5 EXISTING STEALTH MONO-EUCALYPTUS
- 6 EXISTING RRU'S
- 7 EXISTING ANTENNA
- 8 EXISTING TMA
- 9 EXISTING DC6 (TYP.)
- 10 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 11 EXISTING 125'-0" WATER TANK
- 12 EXISTING T-MOBILE EQUIPMENT SHELTER
- 13 EXISTING (4) 75'-0" EUCALYPTUS TREE
- 14 EXISTING (2) 12'-0" EUCALYPTUS TREE

GENERAL NOTES

1. THIS DRAWING IS FOR COORDINATION PURPOSES ONLY.
2. DIRECTION OF ANTENNAS AND LOCATION OF EQUIPMENT BEHIND ANTENNAS MAY BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
3. REFER TO TOWER STRUCTURAL (BY OTHERS) FOR THE STRUCTURAL ADEQUACY OF THE TOWER WITH LESSEE'S EQUIPMENT.
4. FOR ANTENNA AND TOWER EQUIPMENT DETAILS, REFERENCE MANUFACTURER AND TOWER STRUCTURAL (BY OTHERS).
5. FOR TRANSMISSION CABLE ATTACHMENT AND ROUTING REFERENCE MANUFACTURER (BY OTHERS).
6. INSTALLERS TO VERIFY LATEST RF DATA SHEET & PLUMBING / WIRING DIAGRAMS, PRIOR TO INSTALLATION.

NOTES

1. A FULL REBRANCHING OF THE EXISTING MONO-EUCALYPTUS IS PROPOSED



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY:

JB

CHECKED BY:

SN

REV.

0

DATE:

10/15/2018

ISSUED FOR:

C.U.P

© All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

EXISTING EAST
ELEVATION

SHEET NUMBER:

A-5



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY:

JB

CHECKED BY:

SN

REV.

0

DATE:

10/15/2018

ISSUED FOR:

C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

EXISTING WEST
ELEVATION

SHEET NUMBER:

A-6

KEYED NOTES

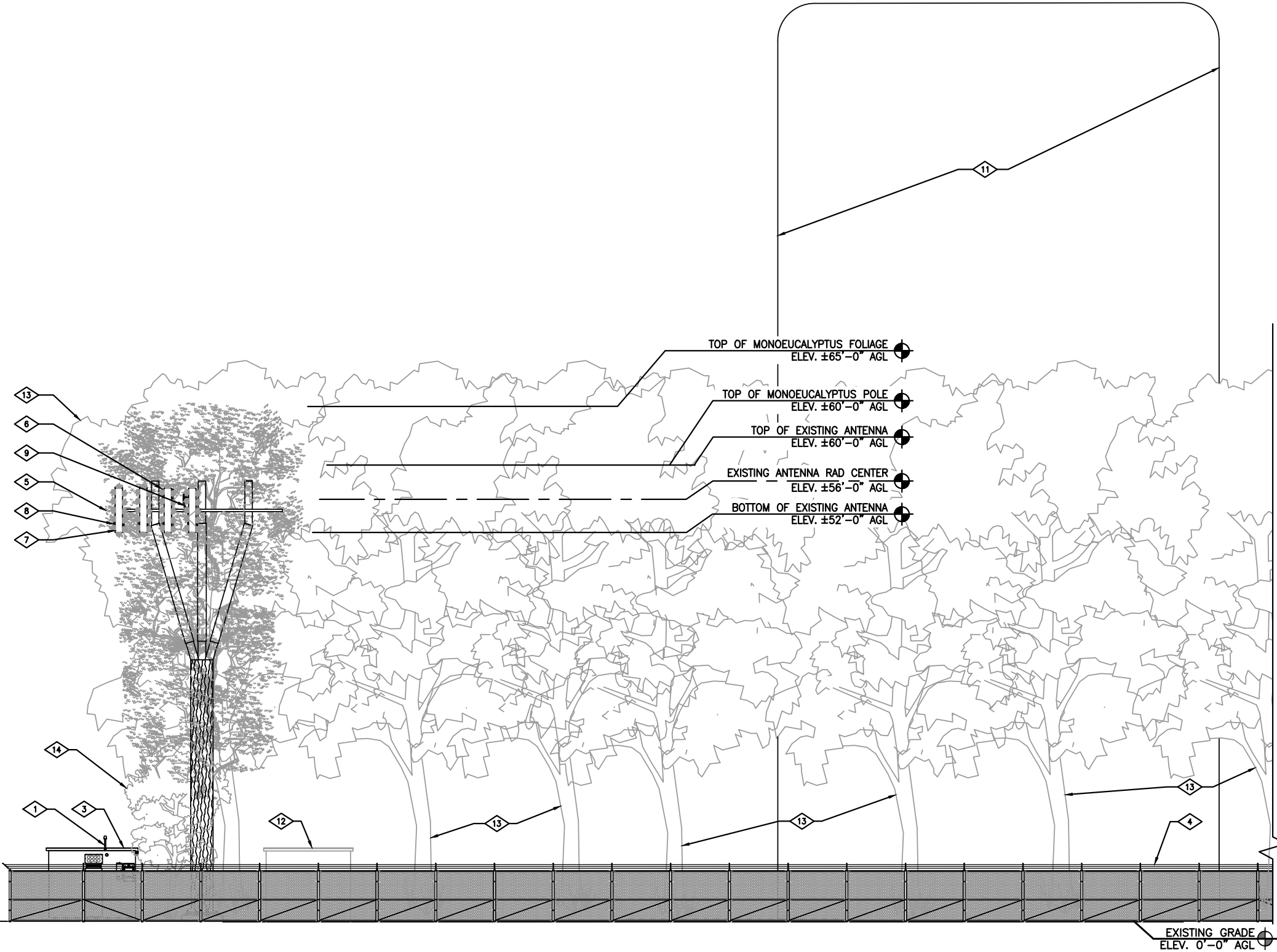
- 1 EXISTING GPS ANTENNA
- 2 EXISTING COAX ENTRY PORT
- 3 EXISTING AT&T SHELTER
- 4 EXISTING CHAIN LINK FENCE
- 5 EXISTING STEALTH MONO-EUCALYPTUS
- 6 EXISTING RRU'S
- 7 EXISTING ANTENNA
- 8 EXISTING TMA
- 9 EXISTING DC6 (TYP.)
- 10 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 11 EXISTING 125'-0" WATER TANK
- 12 EXISTING T-MOBILE EQUIPMENT SHELTER
- 13 EXISTING (7) 75'-0" EUCALYPTUS TREE
- 14 EXISTING 12'-0" EUCALYPTUS TREE

GENERAL NOTES

- THIS DRAWING IS FOR COORDINATION PURPOSES ONLY.
- DIRECTION OF ANTENNAS AND LOCATION OF EQUIPMENT BEHIND ANTENNAS MAY BE ADJUSTED TO MEET SYSTEM REQUIREMENTS.
- REFER TO TOWER STRUCTURAL (BY OTHERS) FOR THE STRUCTURAL ADEQUACY OF THE TOWER WITH LESSEE'S EQUIPMENT.
- FOR ANTENNA AND TOWER EQUIPMENT DETAILS, REFERENCE MANUFACTURER AND TOWER STRUCTURAL (BY OTHERS).
- FOR TRANSMISSION CABLE ATTACHMENT AND ROUTING REFERENCE MANUFACTURER (BY OTHERS).
- INSTALLERS TO VERIFY LATEST RF DATA SHEET & PLUMBING / WIRING DIAGRAMS, PRIOR TO INSTALLATION.

NOTES

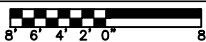
- A FULL REBRANCHING OF THE EXISTING MONO-EUCALYPTUS IS PROPOSED

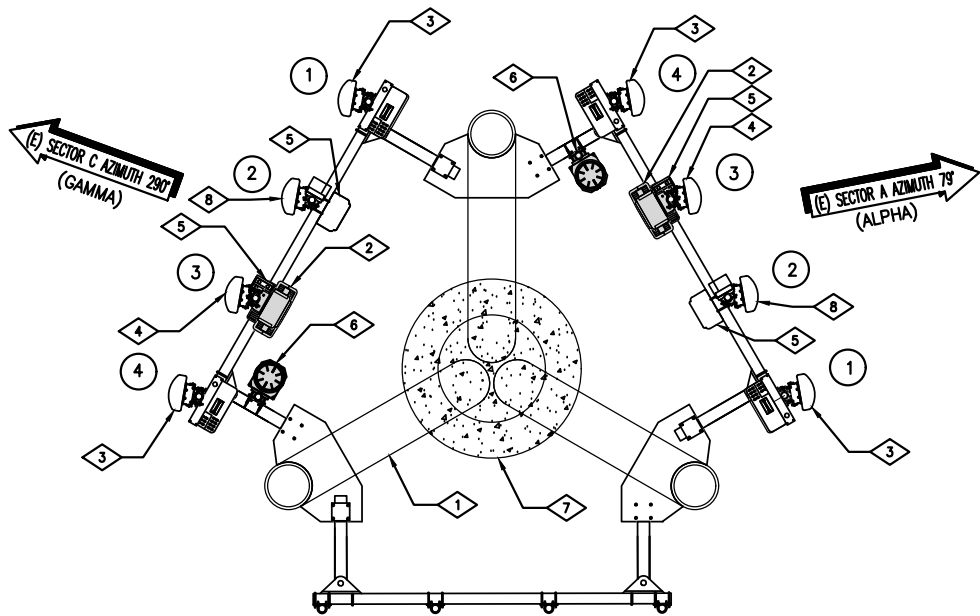


1
A-6

EXISTING WEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
11"x17" SCALE: 1/16" = 1'-0"





NOTE: CONFIRM WITH CURRENT/FINAL RFDS.

EXISTING ANTENNA PLAN

24"x36" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"

NORTH

NOT USED

NORTH

KEYED NOTES

- 1 EXISTING LEG-MOUNTED SECTOR MOUNT
- 2 EXISTING RRU
- 3 EXISTING LTE ANTENNA
- 4 EXISTING UMTS ANTENNA
- 5 EXISTING TMA
- 6 EXISTING DC6 (TYP.)
- 7 EXISTING STEALTH MONOEUCALYPTUS
- 8 EXISTING LTE/UMTS ANTENNA



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY: CHECKED BY:

JB SN

REV. DATE: ISSUED FOR:

0 10/15/2018 C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

ANTENNA SCHEDULE

ALPHA SECTOR

ANTENNA POSITION	ANTENNA TECHNOLOGY		MANUFACTURER		MODEL #		RAD CENTER HEIGHT (MATCH EXISTING HEIGHT)		AZIMUTH		FEEDERS		TMA/FILTER		RRU	
	EXISTING	FINAL	EXISTING	FINAL	EXISTING	FINAL	EXISTING	FINAL	EXISTING	FINAL	CABLE TYPE	APPROXIMATE LENGTH	EXISTING	FINAL	EXISTING	FINAL
#1	LTE	LTE	CCI	CCI	HPA-65R-BUU-H8-K	HPA-65R-BUU-H8-K	56'-0"	56'-0"	79°	79°	(1) FIBER (4) COAX 7/8" (2) COAX 7/8"	60'-0"	--	--	RRUS-11 RRUS-12+RRUS-A2	RRUS-11 RRUS-12+RRUS-A2
#2	GSM/LTE	GSM/LTE	COMMSCOPE	COMMSCOPE	SBNHH-1D65C	SBNHH-1D65C	56'-0"	56'-0"	79°	79°		60'-0"	(1) KRY-112 75/1	(1) KRY-112 75/1	RRUS-11+RRUS-A2	RRUS-11+RRUS-A2
#3	UMTS	UMTS	KATHREIN	KATHREIN	80010766	80010766	56'-0"	56'-0"	79°	79°		60'-0"	(1) ERICSSON TMA	(1) ERICSSON TMA	--	--
#4	LTE	LTE	COMMSCOPE	COMMSCOPE	SBNHH-1D65C	SBNHH-1D65C	56'-0"	56'-0"	79°	79°		60'-0"	--	--	RRUS-32	RRUS-32

GAMMA SECTOR

#1	LTE	LTE	CCI	CCI	HPA-65R-BUU-H8-K	HPA-65R-BUU-H8-K	56'-0"	56'-0"	290°	290°	(1) FIBER (4) COAX 7/8" (2) COAX 7/8"	60'-0"	--	--	RRUS-11 RRUS-12+RRUS-A2	RRUS-11 RRUS-12+RRUS-A2
#2	GSM/LTE	GSM/LTE	COMMSCOPE	COMMSCOPE	SBNHH-1D65C	SBNHH-1D65C	56'-0"	56'-0"	290°	290°		60'-0"	(1) KRY-112 75/1	(1) KRY-112 75/1	--	--
#3	UMTS	UMTS	KATHREIN	KATHREIN	80010766	80010766	56'-0"	56'-0"	290°	290°		60'-0"	(1) ERICSSON TMA	(1) ERICSSON TMA	RRUS-11+RRUS-A2	RRUS-11+RRUS-A2
#4	LTE	LTE	COMMSCOPE	COMMSCOPE	SBNHH-1D65C	SBNHH-1D65C	56'-0"	56'-0"	290°	290°		60'-0"	--	--	RRUS-32	RRUS-32

BETA SECTOR

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

ANTENNA PLANS &
SCHEDULE

SHEET NUMBER:

A-7



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY:

CHECKED BY:

JB

SN

REV.

DATE:

ISSUED FOR:

0

10/15/2018

C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE
PERMIT
816130
UNIVERSITY AVE.

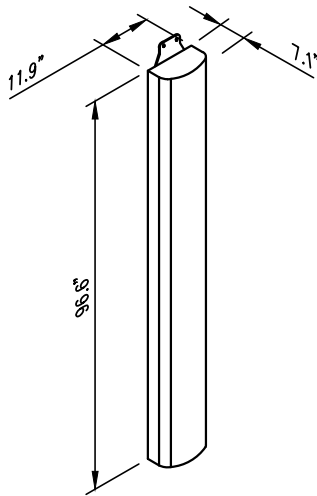
6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

A-8



ISOMETRIC
VIEW



PLAN
VIEW

SIZE AND WEIGHT TABLE

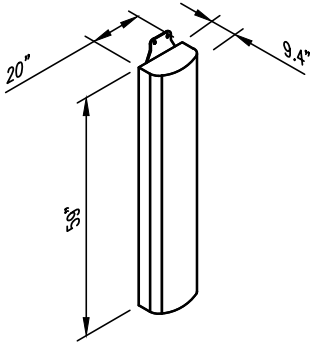
MANUFACTURER	MODEL	WIDTH	DEPTH	HEIGHT	WEIGHT (W/O MOUNTING CLAMP)
ANDREW/COMMSCOPE	SENHH-1D65C	11.9"	7.1"	96.6"	49.8 LBS

ANDREW/COMMSCOPE MULTIBAND PANEL ANTENNA

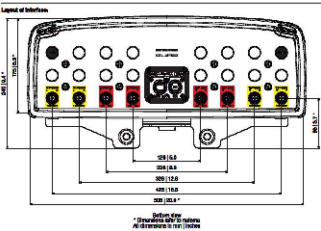
NOTE:
INSTALL PER MANUFACTURER'S SPECIFICATIONS.

1
A-8
ANTENNA DETAIL

NOT TO SCALE



ISOMETRIC
VIEW



PLAN
VIEW

SIZE AND WEIGHT TABLE

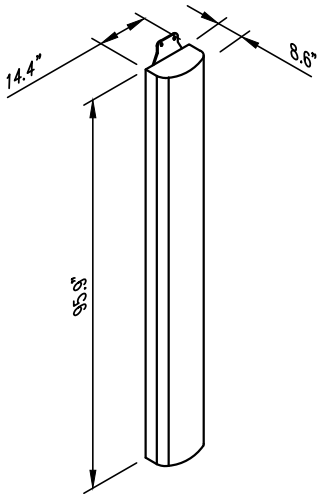
MANUFACTURER	MODEL	WIDTH	DEPTH	HEIGHT	WEIGHT (W/O MOUNTING CLAMP)
KATHREIN	800-109766	20"	6.9"	95"	114.6 LBS

KATHREIN MULTIBAND PANEL ANTENNA

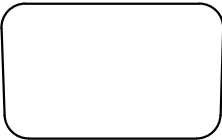
NOTE:
INSTALL PER MANUFACTURER'S SPECIFICATIONS.

2
A-8
ANTENNA DETAIL

NOT TO SCALE



ISOMETRIC
VIEW



PLAN
VIEW

SIZE AND WEIGHT TABLE

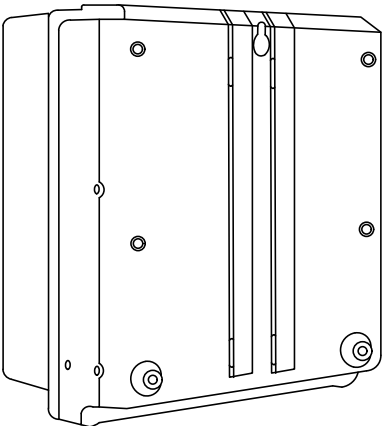
MANUFACTURER	MODEL	WIDTH	DEPTH	HEIGHT	WEIGHT (W/O MOUNTING CLAMP)
CCI	HPA-65R-BUUU-H8-K	14.4"	8.6"	95.9"	66.1 LBS

CCI MULTIBAND PANEL ANTENNA

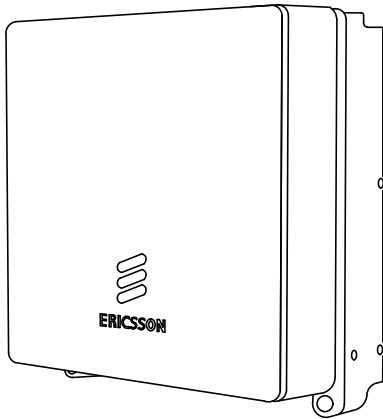
NOTE:
INSTALL PER MANUFACTURER'S SPECIFICATIONS.

3
A-8
ANTENNA DETAIL

NOT TO SCALE



BACK ISOMETRIC VIEW



FRONT ISOMETRIC VIEW

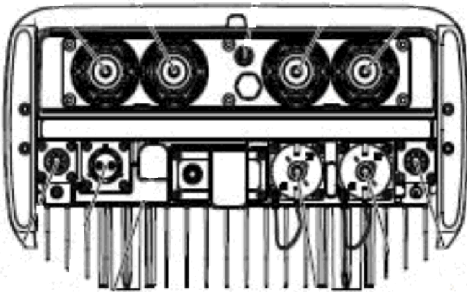
SIZE AND WEIGHT TABLE

RRU	WIDTH	DEPTH	HEIGHT	WEIGHT W/O BRACKET
RRUS 11	13.2"	7.3	15.0"	50.7 LBS.

NOTE: DIMENSIONS INCLUDE MOUNTING BRACKET,
SOLAR SHIELD AND CONNECTORS.

MINIMUM CLEARANCE TABLE

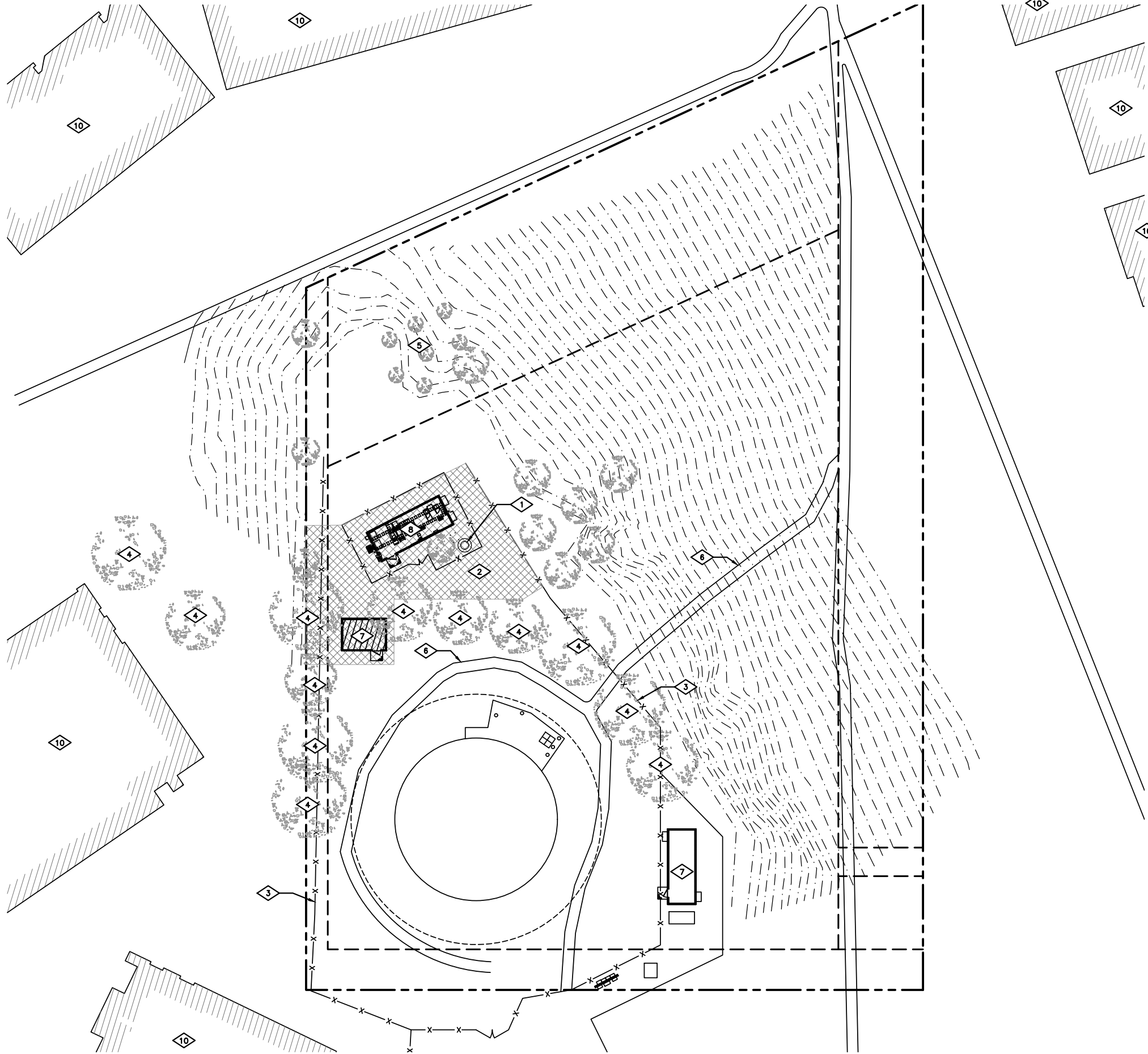
MOUNTING TYPE	CLEARANCES (INCHES)	COMMENTS
HORIZONTAL	7.87"	FOR SIDE BY SIDE MOUNTING
BACKPLATE	7.87"	SEPARATION REQUIRED FOR ANTENNA BACKPLATE TO RADIO
VERTICAL OUTDOOR	15.748"	SEPARATION REQUIRED
VERTICAL INDOOR	15.748"	SEPARATION REQUIRED



BOTTOM VIEW

4
A-8
ERICSSON RRUS 11

NOT TO SCALE



1
L-1

EXISTING LANDSCAPE PLAN

24"x36" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"



KEYED NOTES

- 1 EXISTING STEALTH MONOEUCALYPTUS
- 2 EXISTING GRAVEL SURFACE
- 3 EXISTING CHAIN LINK FENCE
- 4 EXISTING 75'-0" EUCALYPTUS TREE
- 5 EXISTING 12'-0" EUCALYPTUS TREE
- 6 EXISTING CONCRETE STORM DRAIN
- 7 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER
- 8 EXISTING AT&T EQUIPMENT SHELTER
- 9 EXISTING T-MOBILE EQUIPMENT SHELTER
- 10 EXISTING BUILDING

GENERAL NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS."
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - A. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - B. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - C. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - D. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE."
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE."

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING SETBACK
-x-x-x-x-	EXISTING FENCE LINE
---	EXISTING CONTOUR LINE
---	EXISTING WATER TANK EASEMENT
[Hatched Box]	EXISTING 10 MIL. BLACK ABS WEED BARRIER UNDER 3" LAYER OF 3/4" GRAVEL
---	EXISTING CONCRETE STORM DRAIN

TREE LEGEND

NOTES:	SYMBOL	NAME	MATURE HEIGHT AND WITH AND MATURITY
EXISTING EUCALYPTUS	[Tree Symbol]	EUCALYPTUS GLOBULES	VARIES
REPLACE DAMAGED GROUND COVER @ 12" O.C.		HYPERICUM CALYCINUM (AARONS BEARD)	

ATTACHMENT 12



PLANS PREPARED BY:



Md7, LLC
11824 Jollyville Road
Suite 302
Austin, Texas 78759
512-366-3747

Md7 PROJECT NUMBER:

L816130

DRAWN BY: CHECKED BY:

JB SN

REV. DATE: ISSUED FOR:

0 10/15/2018 C.U.P

All drawings and written material contained herein may not be duplicated, used or disclosed without the written consent of the architect.

SITE INFORMATION:

SITE NAME:

CONDITIONAL USE PERMIT
816130
UNIVERSITY AVE.

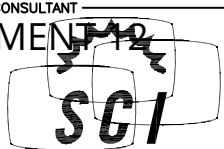
6046 HUGHES STREET
SAN DIEGO, CA 92115

SHEET TITLE:

EXISTING LANDSCAPE PLAN

SHEET NUMBER:

L-1



SOLAR COMMUNICATIONS
INTERNATIONAL, INC.
8885 RIO SAN DIEGO DR.
Suite 207, San Diego, CA 92108
Tel: (619) 243-2750; Fax: (619) 243-2749
www.RFTransparent.com

COPYRIGHT 2008 SOLAR COMMUNICATIONS INTERNATIONAL, INC. THESE MATERIALS ARE PROTECTED BY UNITED STATES COPYRIGHT LAW AND MAY NOT BE REPRODUCED, DISTRIBUTED, TRANSMITTED, DISPLAYED, OR PUBLISHED WITHOUT THE PRIOR WRITTEN PERMISSION OF SOLAR COMMUNICATIONS INTERNATIONAL, INC. YOU MAY NOT ALTER OR REMOVE ANY TRADEMARK, COPYRIGHT OR OTHER NOTICE FROM COPIES OF THIS CONTENT.

CLIENT

PROJECT

65'-0" MONOEUCALYPTUS

LOCATION

UNIVERSITY AVENUE
816130

NORTH OF DARNALI SCHOOL
SAN DIEGO, CA 92115

ISSUED FOR

PRODUCTION

DW'N BY CK'D BY DATE

MAQ LEM 07JUN18

REVISIONS

REV.	CHANGES	DATE	BY
A	ADJUST BRANCHES	07JUN18	LEM

ENGINEER SEAL

SHEET TITLE

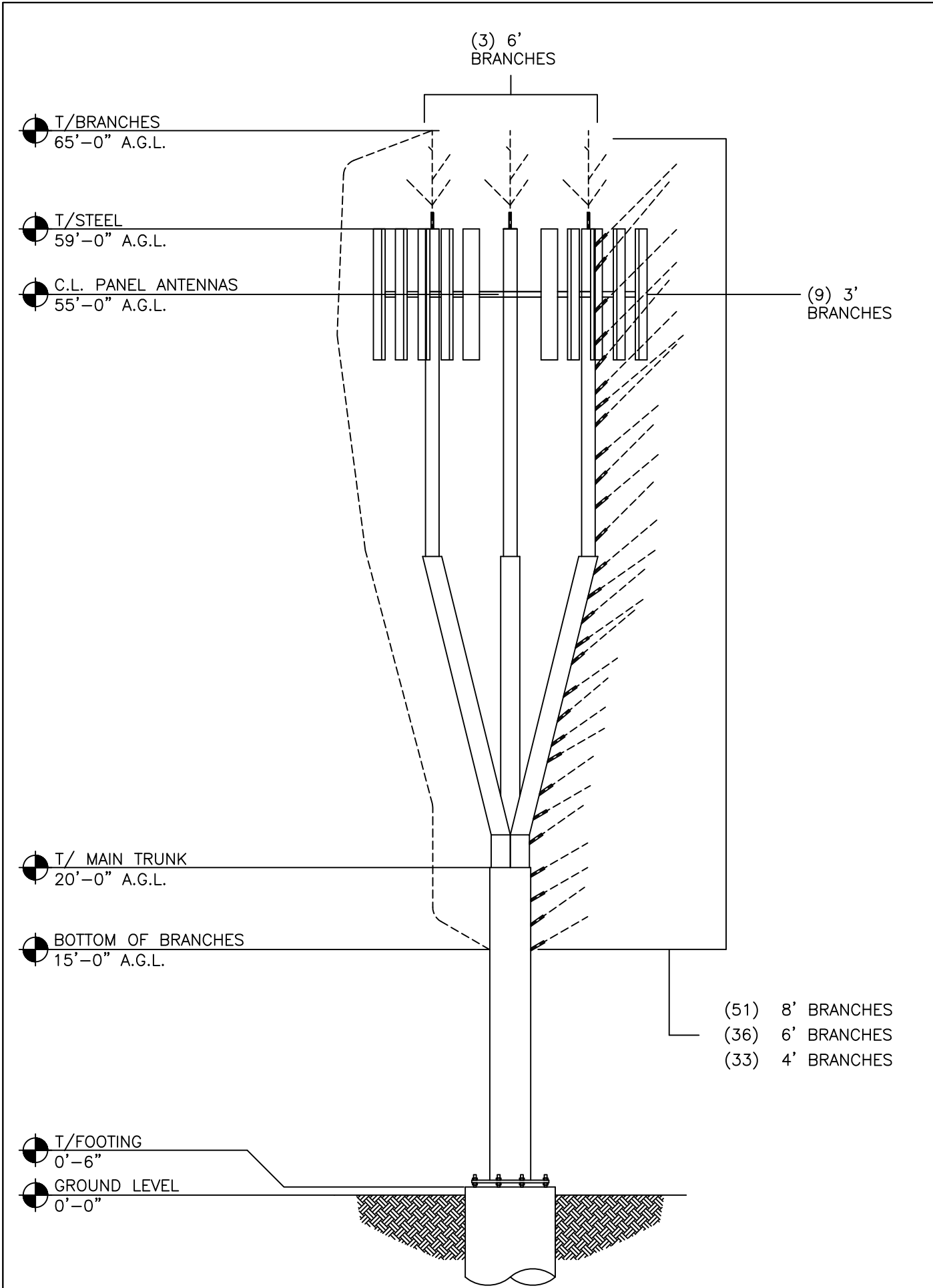
ELEVATION
VIEW

WSC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

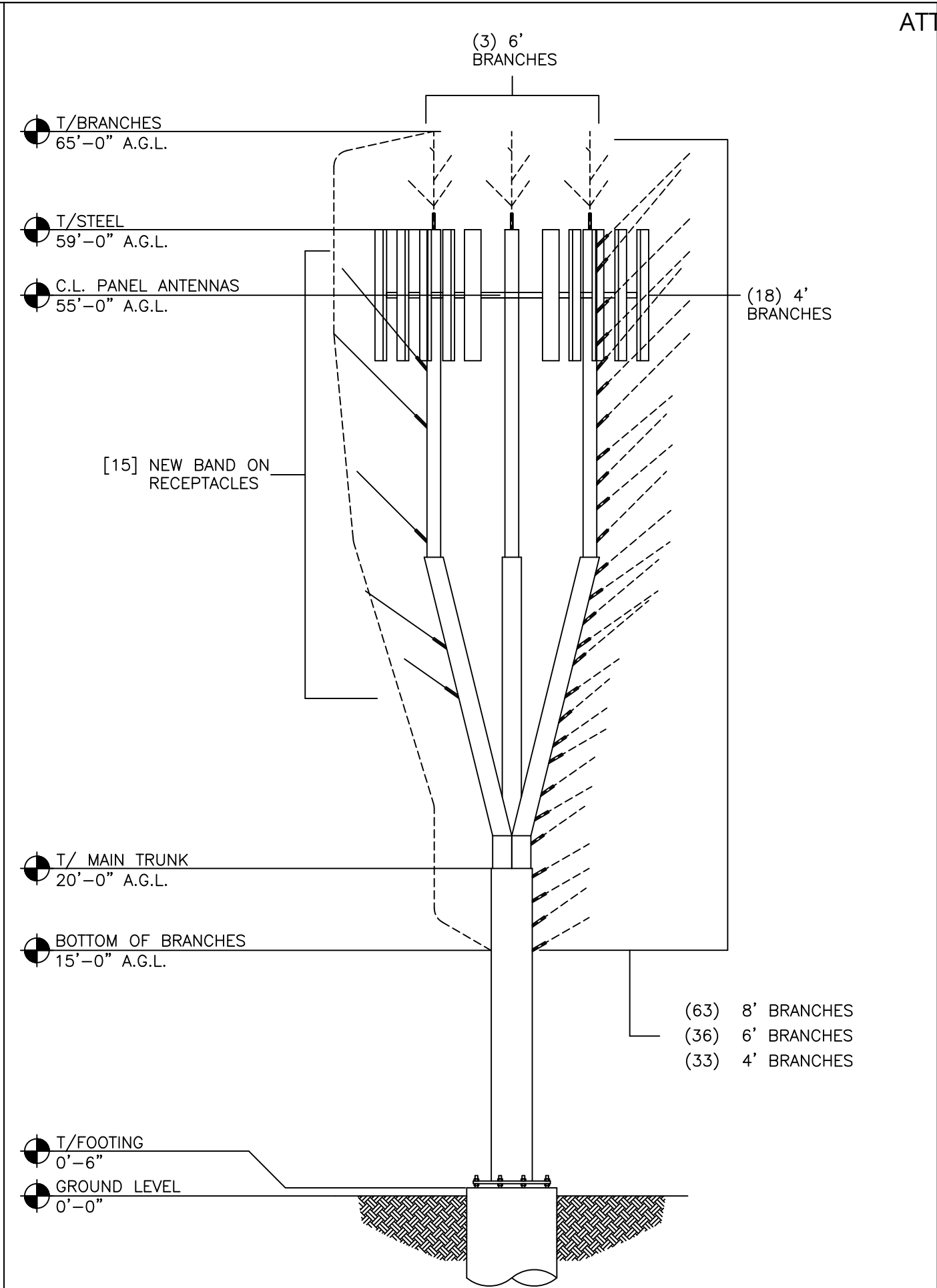
RF-1



(E) MONOEUC STRUCTURAL ELEVATION VIEW

SCALE:
NONE

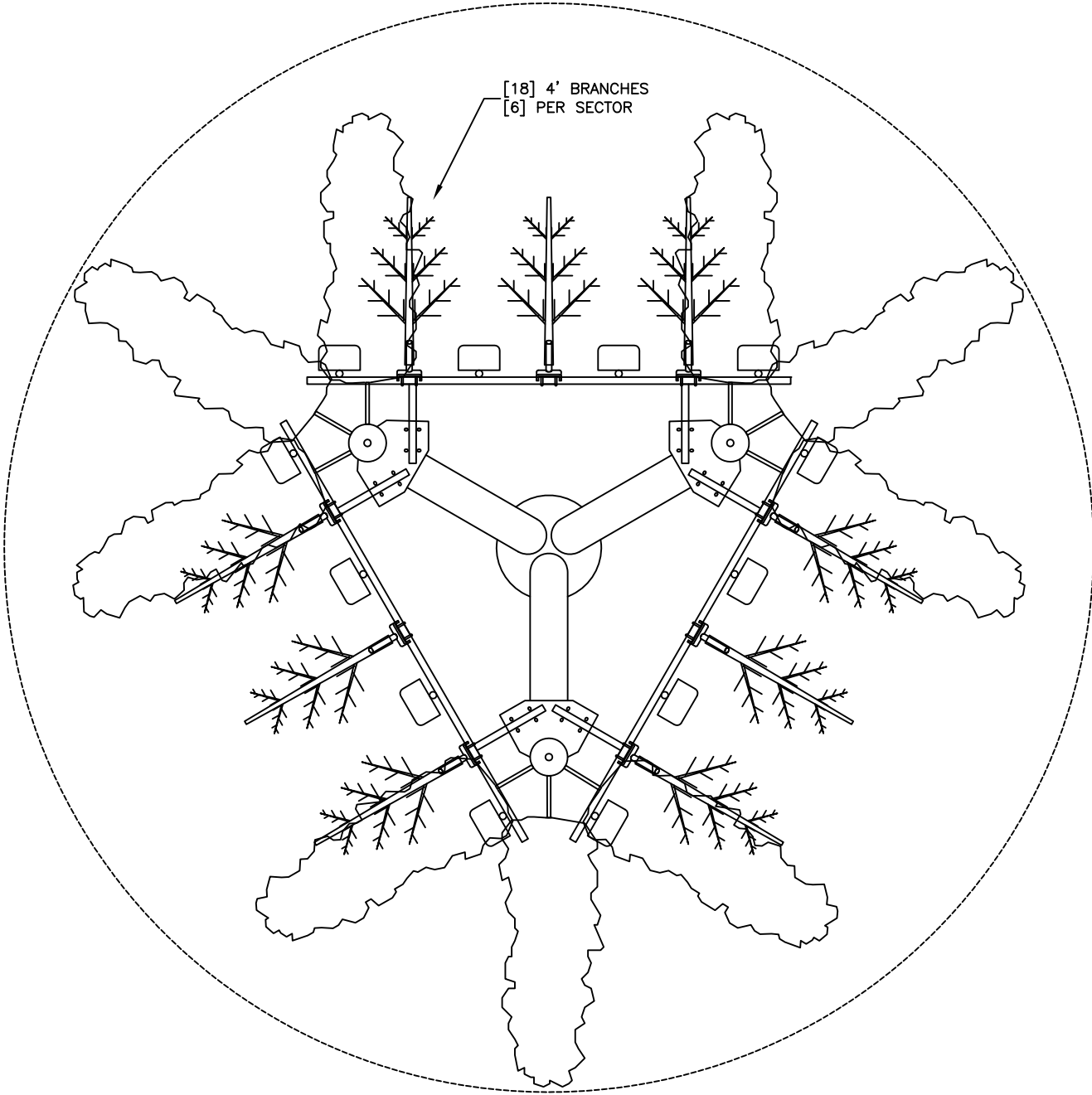
1



(N) MONOEUC STRUCTURAL ELEVATION VIEW

SCALE:
NONE

2



EXISTING ANTENNA PLAN VIEW AT 55'-0" AGL

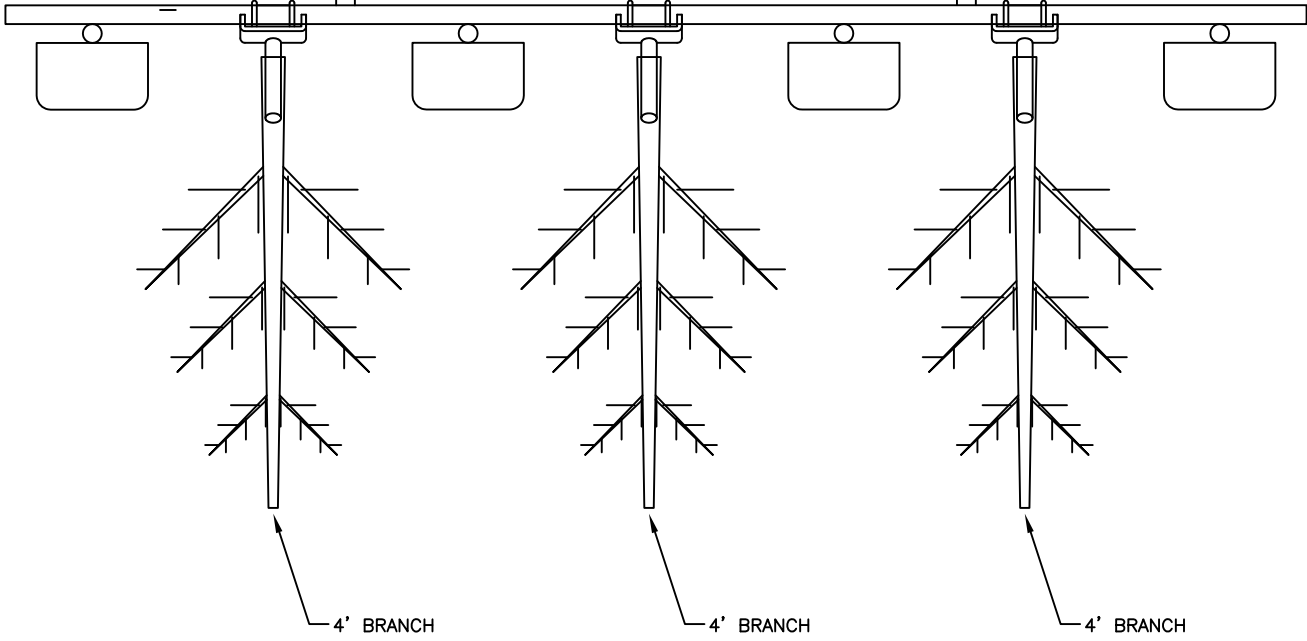
SCALE:
NONE

1

ENLARGE 4' ANTENNA BRANCH MOUNTING DETAIL VIEW

SCALE:
NONE

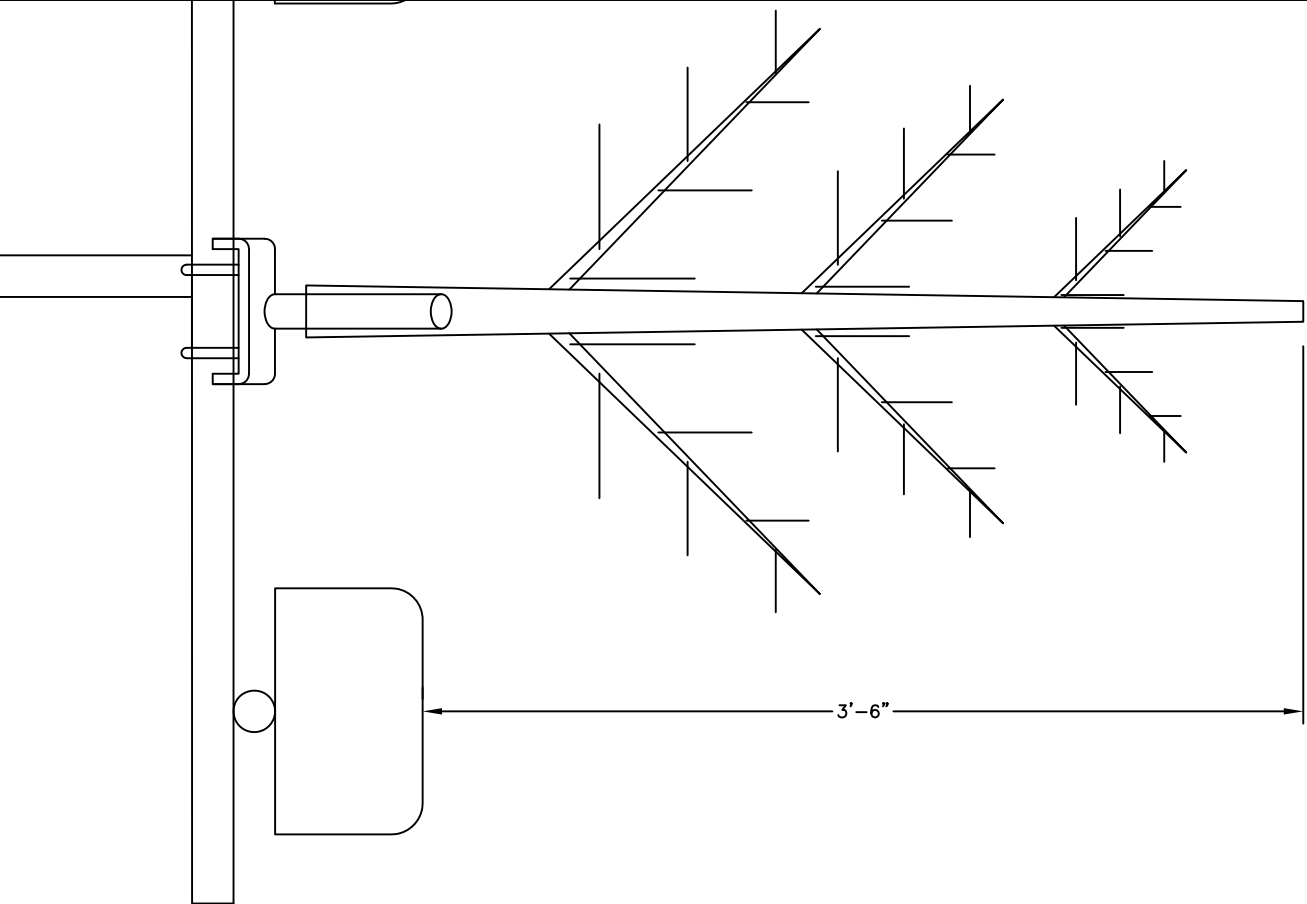
3



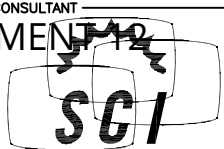
ENLARGE ANTENNA PLAN VIEW

SCALE:
NONE

2



ATTACHMENT 12



SOLAR COMMUNICATIONS
INTERNATIONAL, INC.
8885 RIO SAN DIEGO DR.
Suite 207, San Diego, CA 92108
Tel: (619) 243-2750; Fax: (619) 243-2749
www.RFTransparent.com

COPYRIGHT 2008 SOLAR COMMUNICATIONS INTERNATIONAL, INC. THESE MATERIALS ARE PROTECTED BY UNITED STATES COPYRIGHT LAW AND MAY NOT BE REPRODUCED, DISTRIBUTED, TRANSMITTED, DISPLAYED, OR PUBLISHED WITHOUT THE PRIOR WRITTEN PERMISSION OF SOLAR COMMUNICATIONS INTERNATIONAL, INC. YOU MAY NOT ALTER OR REMOVE ANY TRADEMARK, COPYRIGHT OR OTHER NOTICE FROM COPIES OF THIS CONTENT.

CLIENT

PROJECT

65'-0" MONOEUCALYPTUS

LOCATION

UNIVERSITY AVENUE
816130

NORTH OF DARNALI SCHOOL
SAN DIEGO, CA 92115

ISSUED FOR

PRODUCTION

DW'N BY CK'D BY DATE

MAQ LEM 07JUN18

REVISIONS

REV.	CHANGES	DATE	BY
A	ADJUST BRANCHES	07JUN18	LEM

ENGINEER SEAL

SHEET TITLE

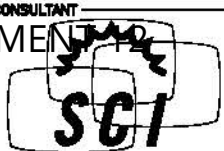
PLAN & DETAIL
VIEW

WSC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

RF-2



SOLAR COMMUNICATIONS
INTERNATIONAL, INC.
6545 EDO SAN DIEGO DR.
Suite 207, San Diego, CA 92108
Tel: (619) 543-8700; Fax: (619) 543-8748
www.SCITransparent.com

SCIENTIFIC AND SOLAR COMMUNICATIONS INTERNATIONAL, INC.
MAKES NO WARRANTY OR GUARANTEE OF ANY KIND FOR THE USE OF ANY OF THE INFORMATION, DATA, OR MATERIALS CONTAINED HEREIN FOR ANY PURPOSES, INCLUDING, BUT NOT LIMITED TO, THE DESIGN, CONSTRUCTION, OR OPERATION OF ANY SYSTEM, OR FOR ANY OTHER PURPOSE. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY, OR FOR ANY LOSS OF PROFITS OR REVENUE, OR FOR ANY OTHER LOSS, ARISING OUT OF OR FROM THE USE OF THE INFORMATION, DATA, OR MATERIALS CONTAINED HEREIN.

CLIENT

PROJECT

65'-0" MONOEUCALYPTUS

LOCATION

UNIVERSITY AVENUE
816130
NORTH OF DARNALI SCHOOL
SAN DIEGO, CA 92115

ISSUED FOR

PRODUCTION

DWN BY: CK'D BY: DATE

MAQ LEM 07JUN18

REVISIONS

REV.	CHANGES	DATE	BY
A	ADJUST BRANCHES	07JUN18	LEM

ENGINEER SEAL

SHEET TITLE

BRANCH
LAYOUT

WSC PROJECT NUMBER

DRAWING NUMBER

PAGE NUMBER

RF-3

UNIVERSITY AVENUE (EXISTING)
SCI Branch Receptacle Fab Sheet -12/11/10

Upper Trunk-A,B & C

level	branch	Quantity	Recep	Height AGL	1	2	3	4	5	6	7	8	9	10	11	12
Clock Settings																
TOP CAP	6'	1	-		[1] MOUNT FOR 6' TOP CROWN											
23	8'	3	C	58'-0"			45			45				45		
22	8'	3	B	56'-6"				50				50				50
	3'			55'-0"	RAD CENTER OF TOP HAT FOR (12) PANEL ANTENNAS 55'-0" WITH (9) 3' BRANCHES											
21	8'	3	A	54'-0"		45				45				45		
20	8'	2	L	52'-0"	50				50							
19	8'	2	K	50'-6"			45				45					
18	8'	2	J	49'-0"				40				40				
17	8'	2	I	47'-0"		45				45						
16	6'	2	L	45'-0"	40				40							
15	6'	2	K	43'-6"			45				45					
14	6'	2	J	42'-0"				40				40				
13	6'	1	E	40'-0"		45										
12	6'	1	H	38'-0"	40											
11	6'	1	G	36'-6"			35									
10	6'	1	F	35'-0"				40								
9	6'	1	E	33'-6"		35										
8	6'	1	H	32'-6"	40											
7	4'	1	G	30'-6"			35									
6	4'	1	F	29'-0"				40								
5	4'	1	E	27'-6"		35										
4	4'	1	H	26'-6"	30											
3	4'	1	G	24'-6"			35									
2	4'	1	F	23'-0"				30								
1	4'	1	E	21'-6"		35										
Total		37														

MainTrunk

level	branch	Quantity	Recep	Height AGL	1	2	3	4	5	6	7	8	9	10	11	12
4	4'	3	D	19'-6"	35				35				35			
3	4'	3	C	18'-0"			30				30				30	
2	4'	3	B	16'-6"				35				35				35
1	4'	3	A	15'-0"		30				30				30		
Total		12														

Total 123

Receptacles

8'	61
6'	39
4'	33
3'	9
Total	132

Branches

UNIVERSITY AVENUE (NEW) Rev-A
SCI Branch Receptacle Fab Sheet -06/07/18

Upper Trunk-A,B & C

level	branch	Quantity	Recep	Height AGL	1	2	3	4	5	6	7	8	9	10	11	12
Clock Settings																
TOP CAP	6'	1	-		[1] MOUNT FOR 6' TOP CROWN											
23	8'	3	C	58'-0"			45			45				45		
22	8'	3	B	56'-6"				50				50				50
	4'			55'-0"	RAD CENTER OF TOP HAT FOR (12) PANEL ANTENNAS 55'-0" WITH (18) 4' BRANCHES											
21	8'	3	A	54'-0"		45				45				45		
20	8'	2	L	52'-0"	50				50							
19	8'	3	N	50'-6"			45				45					45
18	8'	2	J	49'-0"				40				40				
17	8'	2	E	47'-0"		45								45		
16	6'	2	L	45'-0"	40				40							
15	6'	2	K	43'-6"			45				45					
14	6'	2	J	42'-0"				40				40				
13	6'	2	M	40'-0"		45									45	
12	6'	1	H	38'-0"	40											
11	6'	1	G	36'-6"			35									
10	6'	1	F	35'-0"				40								
9	6'	2	E	33'-6"		35								35		
8	6'	1	H	32'-6"	40											
7	4'	2	G	30'-6"			35								35	
6	4'	1	F	29'-0"				40								
5	4'	1	E	27'-6"		35										
4	4'	1	H	26'-6"	30											
3	4'	1	G	24'-6"			35									
2	4'	1	F	23'-0"				30								
1	4'	1	E	21'-6"		35										
Total		41														

MainTrunk

level	branch	Quantity	Recep	Height AGL	1	2	3	4	5	6	7	8	9	10	11	12
4	4'	3	D	19'-6"	35				35				35			
3	4'	3	C	18'-0"			30				30				30	
2	4'	3	B	16'-6"				35				35				35
1	4'	3	A	15'-0"		30				30				30		
Total		12														

Total 135

Receptacles

8'	63
6'	39
4'	51
Total	153

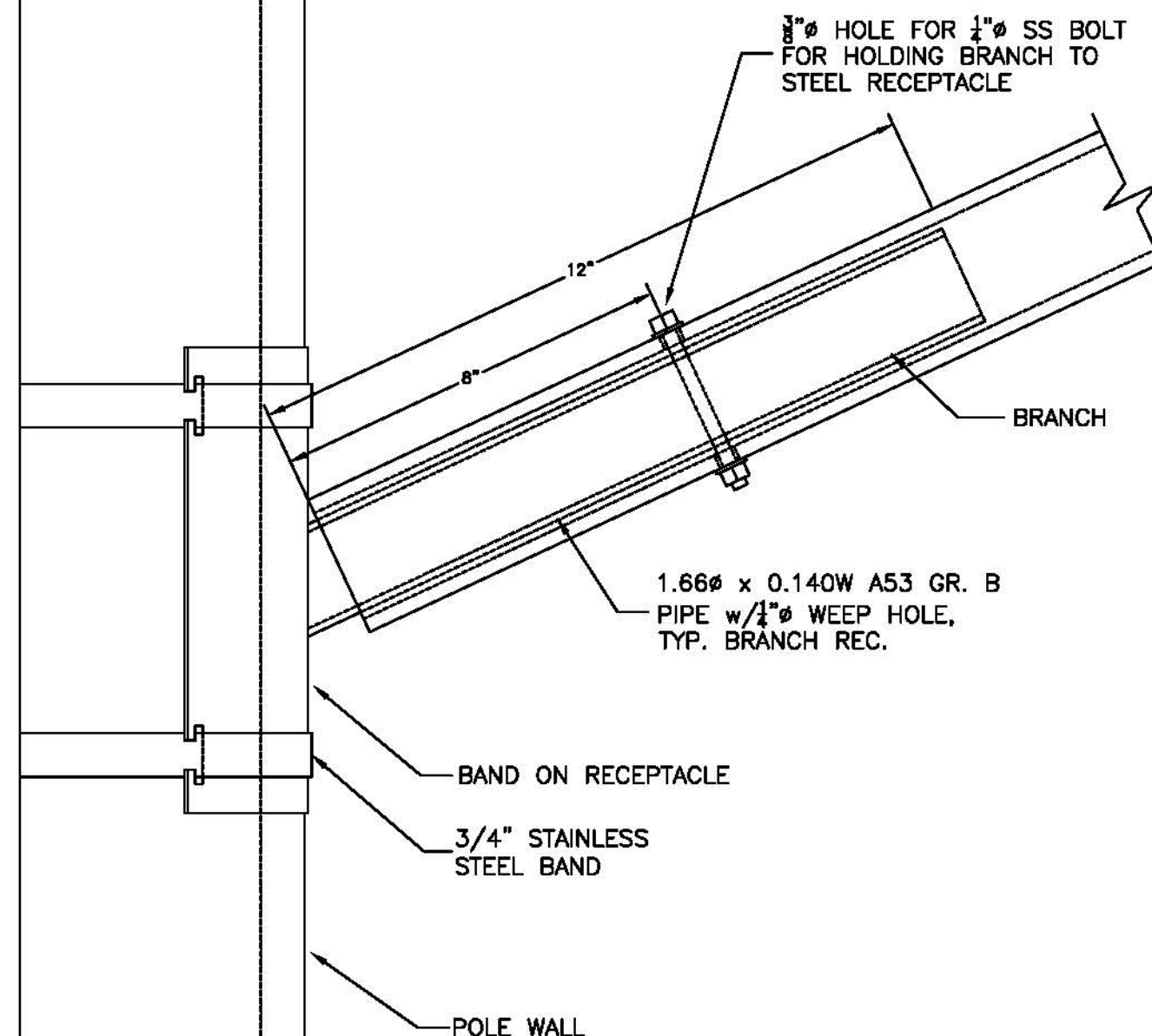
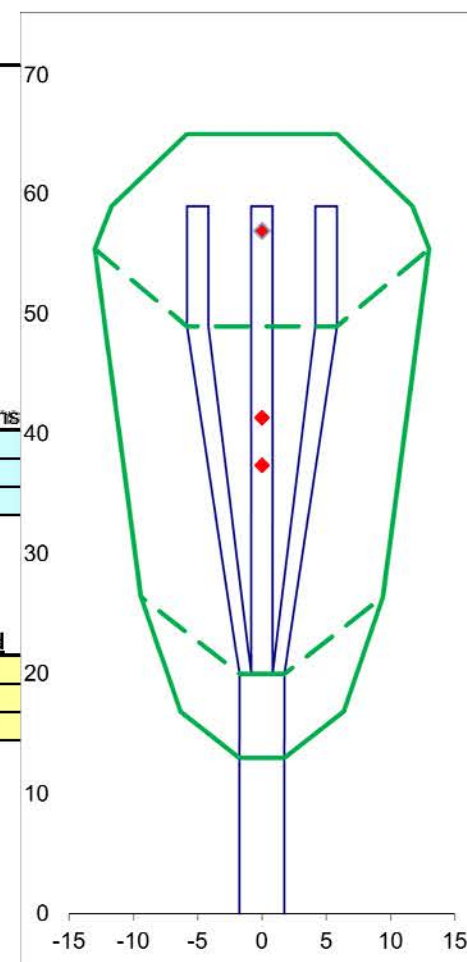
Branches

8' New Branch



PROJECT: University Avenue

Elevations				
Top of Branches	65	ft		
Top of Upper Trunks	59	ft		
Bend in Upper Trunks	49	ft		
Transition to Lower Trunk	20	ft		
Bottom of Branches	13	ft		
Number of Upper Trunks	3			
Dimensions				
Target Branch Density	3.4	branches/ft		
Type	Number	Unit Weight	Weight (lbs)	
6' Top Crown	3	5	15	
4' Antenna Branches	18	15	270	Proportions
4' Branches	33	20	660	10%
6' Branches	36	24	864	50%
10' Branches	63	26	1638	40%
		Σ	3447	
Number of Branches	132			
Resulting Branch Density	3.33	branches/ft	NG	
Loads	Length	Weight	Area	Centroid
Branches (Tapered Section)		2019.0	600.6	37.4
Branches (Top Section)		1057.2	314.5	56.9
Branches (Total)		3447.0	1025.4	41.4
Wind Area Reduction	0.606			



ATTACHMENT #2



SOLAR COMMUNICATIONS
INTERNATIONAL, INC.

8885 KEO SAN DIEGO DR.
Suite 307, San Diego, CA 92108

Tel: (619) 543-8760; Fax: (619) 543-8760
www.SITransparent.com

— **CLIENT**

PROJECT

65'-0" MONOEUCALYPTUS

LOCATION

**UNIVERSITY AVENUE
816130**

NORTH OF DARNALI SCHOOL
SAN DIEGO, CA 92115

ISSN 0731-1724

PRODUCTION

_____ DRAWN BY _____

MAQ LEM 07JUN18

REVISIONS

[illegible]

—ENGINEER SEAL

SHEET TITLE

SHEET TITLE
**EPA VALUES &
BAND ON DETAIL**

WSEC PROJECT NUMBER

—DRAWING NUMBER

PAGE NUMBER

RF-4

SCALE:
NONE

1	BAND ON RECEPTACLE DETAIL VIEW
---	--------------------------------

SCALE:
NONE

1	2
---	---