



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: June 6, 2019 REPORT NO. PC-19-054

HEARING DATE: June 13, 2019

SUBJECT: SORRENTO VALLEY MARIJUANA OUTLET CUP, Process Three Appeal Decision

PROJECT NUMBER: [545299](#)

REFERENCE: [Report to the Hearing Officer No. HO-18-071](#)

OWNER/APPLICANT: Helf Sorrento, LLC, Owner / Sean St. Peter, Applicant

SUMMARY

Issue: Should the Planning Commission approve or deny the appeal of the Hearing Officer's decision to approve a Conditional Use Permit and Coastal Development Permit to allow the operation of a Marijuana Outlet located at 10150 Sorrento Valley Road, within the Torrey Pines Community Plan area?

Staff Recommendation: DENY the appeal and affirm the Hearing Officer's decision to APPROVE Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348.

Community Planning Group Recommendation: On June 14, 2018, the Torrey Pines Community Planning Board (TPCPB) voted 5-1-1 to recommend approval of the project subject to TPCPB reviewing the CEQA determination by DSD.

Environmental Review: Negative Declaration No. 545299 was prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines and adopted by the Hearing Officer on September 19, 2018. An appeal of the CEQA determination was previously made and on April 16, 2019, the City Council denied the CEQA appeal and approved Negative Declaration No. 545299, dated March 20, 2019, [Resolution No. R-312385](#). The scope of the subject hearing only includes the project, and not the environmental determination.

Fiscal Impact Statement: None. All staff costs associated with the processing of this project are recovered by a deposit account funded by the applicant.

Code Enforcement Impact: There is an active Code Enforcement case (CED# 0503370) on the subject property unrelated to the subject application. Code Enforcement staff is working with the property manager in resolving the issues of the violations on the property.

Housing Impact Statement: The project site is in the IL-3-1 Zone which allows a range of light industrial, office and commercial activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting non-industrial uses. Residential housing is not allowed in the IL-3-1 Zone; therefore, the project would not impact the housing supply within the City of San Diego.

BACKGROUND

The proposed Sorrento Valley Marijuana Outlet project (Project) is a request for a Conditional Use Permit (CUP) pursuant to [San Diego Municipal Code \(SDMC\) Section 126.0303](#) to operate a Marijuana Outlet (MO) in a 3,475 square-foot tenant space within an existing three-story, 50,284 square-foot building located at 10150 Sorrento Valley Road, Suite 110. The Project also requires a Coastal Development Permit (CDP) pursuant to [SDMC Section 126.0704\(a\)\(3\)](#) due to the intensification of use resulting from the proposed change in use from office to retail. The 12.04-acre developed Project site is located in the IL-3-1 Zone of the Torrey Pines Community Plan (TPCP) and Coastal Overlay Zone (Appealable and Non-Appealable). Additionally, the site is within the MCAS Miramar Land Use Compatibility Overlay Zone (Airport Influence Area – Review Area 1 and Accident Potential Zone 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Coastal and Campus), Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway), and the Transit Priority Area. The site is identified as Prime Industrial Lands in the Economic Prosperity Element of the General Plan, and designated Industrial by the TPCP. The Project site was developed in 1979 and includes a one-story building at 10110 Sorrento Valley Road, a one-story building at 10130 Sorrento Valley Road, and a three-story building at 10150 Sorrento Valley Road.

Outlets must comply with SDMC Section 141.0504(a) (1), which requires a 1,000-foot separation from resource and population-based city parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools. In addition, there is a minimum distance requirement of 100 feet from all residentially zoned properties. City staff has reviewed the 100 and 1,000-foot radius map and 100 and 1,000-foot spreadsheet provided by the applicant identifying all the existing uses. The proposed Outlet complies with the aforementioned separation requirements.

The [Report to the Hearing Officer No. HO-18-071](#) (Attachment 1) contains the Project background, analysis and necessary draft findings with a staff recommendation of approval. On September 19, 2018, the Hearing Officer approved the Project. Thereafter, and prior to City Council action relative to the appeal of the environmental determination, the applicant modified the Project scope to reduce the floor area of the proposed MO from 3,980 square feet to 3,475 square feet. The revised Project plans have been reviewed by City staff and included in this report (Attachment 5). The Negative Declaration was revised to reflect the square footage reduction. The recirculated Negative Declaration No. 545299, dated March 20, 2019, was approved by the City Council on April 16, 2019, [Resolution No. R-312385](#).

PROJECT APPEAL DISCUSSION

On October 3, 2018, SVRMC, LLC c/o Heather Riley, filed an appeal of the Hearing Officer's decision. The following are the appeal issues and responses by City staff:

Appeal Issue as Stated by the appellant, SVRMC, LLC c/o Heather Riley:

"The project should not have been approved. The applicant, who is the primary tenant of the subject building and the two adjacent buildings, has made significant changes to the interior and exterior of the property to benefit his future business. The CUP should not have been approved until the grading issue was properly investigated. The same day the Hearing Officer improperly approved the CUP (September 19, 2018), a code enforcement investigation was opened for this site (Case No. 0503370). A copy of the Request for Investigation with more detail is attached to this application. In light of the pending investigation into the unpermitted work at this site, the CUP should not be issued because the project will be detrimental to the public health, safety and welfare and more importantly, the project does not comply with the requirements of the Land Development Code."

Staff Responses: A Code Enforcement case (CED # 0503370) was opened on September 19, 2018 in response to a complaint of unpermitted building improvements to the property. On November 28, 2018, Code Enforcement staff issued a Civil Penalty Notice and Order for violations to the Landscape Regulation and an Electrical Permit. The property manager is working with Code Enforcement and City staff in obtaining the ministerial permits to resolve the issues. The Code Enforcement case is being resolved independently and not associated with this subject application.

The Project is a request for a CUP and CDP to allow the operation of a Marijuana Outlet in a 3,475-square-foot tenant space, Suite 110, within an existing three-story, 50,284 square-foot building located at 10150 Sorrento Valley Road. The subject building is one of three buildings located on the 12.04-acre site. The Project has been conditioned to require the Owner/Permittee obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official, prior to commencing operations. City staff has reviewed the Project and has determined that the Project is in conformance with all applicable regulations and policies of the Land Development Code and the TPCP.

As stated in Finding No. 2 of the Resolution (Attachment 3), the proposed Outlet will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large. Furthermore, construction of the Project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through construction review and building inspections. The proposed Project will be required to comply with the development conditions as described in the CUP No. 1927100 and CDP No. 2173348.

CONCLUSION

City staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The proposed Project is consistent with the recommended land use and development standards in effect for this site, including the minimum separation requirements, and no deviations are required to approve the Project. Staff has prepared draft findings (Attachment 3) to support the proposed development and draft conditions of approval (Attachment 4). Staff is recommending the Planning Commission deny the appeal and approve the Project as presented.

ALTERNATIVES

1. Deny the appeal and uphold the Hearing Officer's decision to approve Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348, with modifications.
2. Approve the appeal, reverse the Hearing Officer's decision, and deny Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348, if the findings to approve the Project cannot be affirmed.

Respectfully submitted,

PJ FitzGerald
Assistant Deputy Director
Development Services Department



Firouzeh Tirandazi
Development Project Manager
Development Services Department

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Attachments:

1. Hearing Officer Report HO-18-071
2. SVRMC, LLC, c/o Heather Riley Appeal
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Project Plans



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 12, 2018 REPORT NO. HO-18-071

HEARING DATE: September 19, 2018

SUBJECT: Sorrento Valley MO CUP, Process Three Decision

PROJECT NUMBER: [545299](#)

OWNER/APPLICANT: Helf Sorrento, LLC, Owner/Sean St. Peter, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Marijuana Outlet located at 10150 Sorrento Valley Road, Suite 110, within the Torrey Pines Community Plan area?

Staff Recommendation:

1. Adopt Negative Declaration No. 545299; and
2. Approve Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348.

Community Planning Group Recommendation: On June 14, 2018, the Torrey Pines Community Planning Board voted 5-1-1 to recommend approval subject to TPCPB reviewing the CEQA determination by DSD (Attachment 9).

Environmental Review: A Negative Declaration No. 545299 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. No significant impacts were identified, and no mitigation is required.

BACKGROUND

In 1996, the people of the State of California passed Proposition 215, the Compassionate Use Act, which allows the use of marijuana for medical purposes when recommended by a physician and exempts the patient and the primary caregiver from criminal prosecution. In 2004, Senate Bill 420, the Medical Marijuana Program Act (MMP) became law. The MMP requires the California Department of Public Health (DPH) to establish and maintain a program for the voluntary registration of qualified medical marijuana patients and their primary caregivers through a

statewide identification card system, sets possession guidelines for cardholders, and recognizes a qualified right to collective and cooperative cultivation of medical marijuana. In 2008, the California Attorney General established guidelines for Medical Marijuana Collective Operations and allowed cities to adopt and enforce laws consistent with the MMP.

On March 25, 2014, the City of San Diego adopted Ordinance No. O-20356 to implement regulations for Medical Marijuana Consumer Cooperatives (MMCCs), which allowed MMCCs with the approval of a Conditional Use Permit (CUP), and limited MMCCs to four per Council District for a total of 36 MMCCs City-wide. A total of 15 MMCCs have been approved to date.

On November 2016, the people of the State of California approved Proposition 64, the Adult Use of Marijuana Act (AUMA). The AUMA allows adults 21 years of age or older to legally grow, possess, and use cannabis for non-medicinal purposes, with certain restrictions. The California State Legislature passed Senate Bill 94 (Chapter 27) on June 2017 that integrated Medical Cannabis Regulation and Safety Act (MCRSA) with AUMA to create the Medicinal and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA) contained in Division 10 of the California Business and Professions Code (§26000 et seq.). Under MAUCRSA, a single regulatory system governs the medical and adult-use cannabis industry in California.

A local jurisdiction may adopt and enforce local ordinances that regulate land use requirements as it deems necessary to reduce potential impacts associated with marijuana use. On February 22, 2017, Ordinance No. O-20793 was approved, which included amendments to the Land Development Code and the Local Coastal Program, replacing the MMCC use with a new retail sales use, Marijuana Outlet (Outlet). The Ordinance became effective in areas of the City of San Diego outside of the Coastal Overlay Zone on April 12, 2017, and within the Coastal Overlay Zone on October 12, 2017.

An Outlet may be allowed with the approval of a Process Three, CUP, provided each Council District is limited to four Outlets. An Outlet allows the sale of both medicinal and recreational marijuana, and subject to State licensing requirements. A total of five Outlets have been approved to date, with one in Council District 1 and four in Council District 7. The 14 previously approved MMCCs are allowed to operate as Outlets for the remaining term of the CUP without an amendment pursuant to Ordinance No. O-20793, and would be allowed the retail sale of marijuana upon obtaining the required State license.

The project's application was deemed complete on May 1, 2017, prior to the effective date of the Outlet regulations in the Coastal Overlay Zone, and was reviewed and processed as a MMCC. The applicant requested to change the application from a MMCC, which allowed only the sale of medicinal marijuana, to an Outlet, which allows the sale of retail and medicinal marijuana. Consequently, staff reviewed the project as an Outlet.

The project is a request for a CUP to operate an Outlet in an existing 3,980 square-foot tenant space, located on the first floor of an existing 50,284 square-foot, three-story building. The 12.04-acre developed project site is located at 10150 Sorrento Valley Road, Suite 110, in the IL-3-1 Zone of the Torrey Pines Community Plan (TPCP) and Coastal Overlay Zone (Appealable and Non-Appealable) (Attachment 1). Additionally, the site is within the MCAS Miramar Land Use Compatibility Overlay Zone (Airport Influence Area – Review Area 1 and Accident Potential Zone 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, Prime Industrial Lands, Parking Impact Overlay Zone

(Coastal and Campus), Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway), and Transit Priority Area. The site is designated Industrial by the TCPC (Attachment 2).

The property site was developed in 1979 and includes a one-story building at 10110 Sorrento Valley Road, a one-story building at 10130 Sorrento Valley Road, and a three-story building at 10150 Sorrento Valley Road (Attachment 3). The southern portion of the parcel is separated by railroad tracks. The Outlet is located in an existing three-story, multi-tenant building and will include a tenant space of a 2,360 square-foot minimum within the 50,284 square-foot building to be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone that does not require additional parking or result in an intensification of use on the premises, and the three-story building cannot be converted to a stand-alone retail building.

The project site contains Environmentally Sensitive Lands (ESL) of Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway) and is located within the Coastal Overlay Zone. The project has been determined to be exempt from the Environmentally Sensitive Lands (ESL) regulations of Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway) pursuant to San Diego Municipal Code (SDMC) Sections 143.0110 (b)(4) and (c)(1), because there is no addition or modification to the existing development, other than proposed interior tenant improvements. The project requires a Coastal Development Permit pursuant to SDMC 126.0704 (a)(3) because the proposed project is changing the use from office to retail sales. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

DISCUSSION

Project Description:

The proposed Outlet is allowed in the IL-3-1 Zone of the TPCP with a CUP pursuant to SDMC Section 141.0504. The proposed Outlet, located at 10150 Sorrento Valley Road, Suite 110, is proposing interior improvements that include an entry, reception, administrative offices and facility, and sales area totaling 3,980 square-feet in Gross Floor Area of an existing tenant space. In addition, a tenant space of a 2,360 square-foot minimum, within 10150 Sorrento Valley Road, is to be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone that does not require additional parking or result in an intensification of use on the premises. The three-story building cannot be converted to a stand-alone retail building throughout the duration of the CUP as conditioned (Condition No.14 of Attachment 5). The proposed tenant improvements would comply with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, and would be reviewed for conformance during the construction permit application phase. Public improvements would include the reconstruction of the three existing driveways to current City Standards.

The Outlet is required to have and proposes 20 off-street parking spaces. For the total site, the parking required is 375 spaces and the total parking spaces proposed is 482. An access analysis was prepared to evaluate whether there would be any significant impacts to transportation/circulation in

the area due to the project. The access analysis dated June 28, 2018 concluded the project would not result in any significant traffic impacts and no mitigation is required.

General Plan and Community Plan Consistency:

The project site is designated for Industrial by the TPCP. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet would be located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,980 square-feet in an existing 50,284 square-foot building. The project's CUP has been conditioned that the 50,284 square-foot building cannot be converted to a stand-alone retail building throughout the duration of the CUP, and a minimum of 2,360 square-feet of tenant space within the 50,284 square-foot building will be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require additional parking or result in an intensification of use on the premises (Condition No. 14 of Attachment 5). Thus, the proposed Outlet is a compatible use at this location with a Conditional Use Permit and is consistent with the TPCP land use policies.

Separation Requirements:

The SDMC allows the operation of Outlets in specific land use zones of the City and provides regulations for Marijuana Outlets. One of the criteria of the SDMC is the minimum separation requirements between an Outlet and other specified uses. SDMC Section 141.0504 (a) requires a 1,000-foot separation from resource and population-based city parks, other marijuana outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools. In addition, there is a minimum distance requirement of 100 feet from all residentially zoned properties. City staff has reviewed the 100/1,000-foot radius map (Attachment 7) and 100/1,000-foot spreadsheet (Attachment 8) provided

by the applicant identifying all the existing uses. The proposed Outlet complies with the minimum separation requirements between uses.

Operational and Security Requirements:

The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504 (b) through (m), which are incorporated as conditions in the CUP (Attachment 5). These include prohibition of consultation by medical professionals on-site, prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC), provision of interior and exterior lighting, operable cameras, alarms, and a security guard, restriction of hours of operation to between 7:00 am and 9:00 pm daily, maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours, and restriction of signage to business name, two-colors signs, and alphabetic characters. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The applicant has also voluntarily agreed to the following additional security conditions in order to improve the safety of customers and the surrounding neighborhood and also to prevent any potential adverse impacts on the community:

- The provision of operable surveillance cameras and a metal detector;
- Use of cameras with a recording device that maintains records for a minimum of 30 days;
- Two security guards must be on the premises during business hours, and at least one security guard must be on the premises 24 hours a day, seven days a week;
- Installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees; and
- Installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, and vault room.

Conclusion

City staff has reviewed the Conditional Use Permit application for an Outlet at this location and determined the project is consistent with the land use and development standards in effect for this site. The project is not requesting and does not require any deviation or variance from the applicable regulations and policy documents. Staff has provided draft findings (Attachment 4) to support the proposed project and draft conditions of approval (Attachment 5). Staff is recommending the Hearing Officer approve the project as presented.

ALTERNATIVES

1. Adopt Negative Declaration No. 545299, approve Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348, with modifications.
2. Do not adopt Negative Declaration No. 545299, deny Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Cherlyn Cac
Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution (ND)
7. 100/1,000-foot Radius Map
8. 100/1,000-foot Radius Spreadsheet
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans

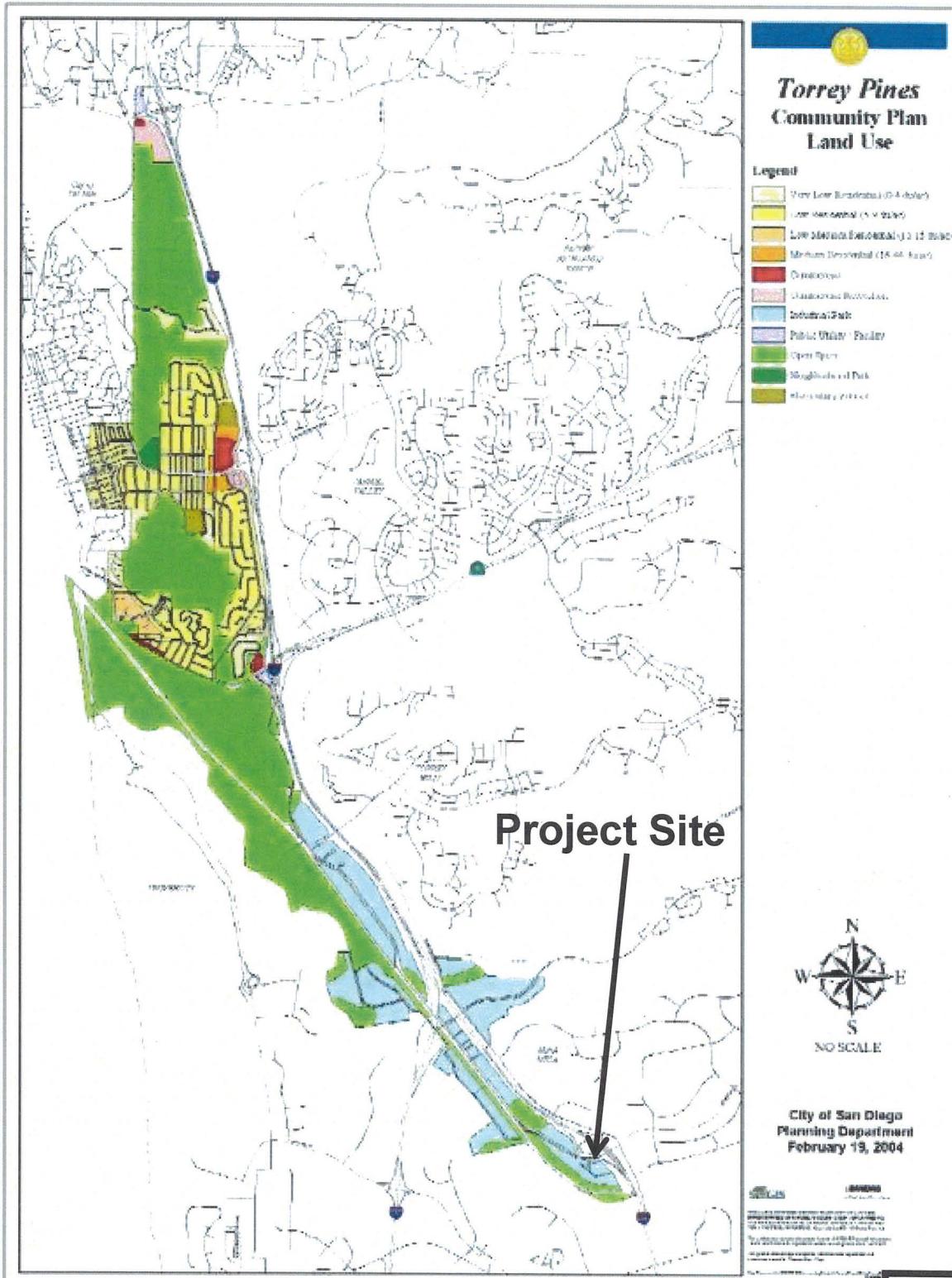


Project Location

Sorrento Valley MO CUP / 10150 Sorrento Valley Road, Suite 110

PROJECT NO. 545299

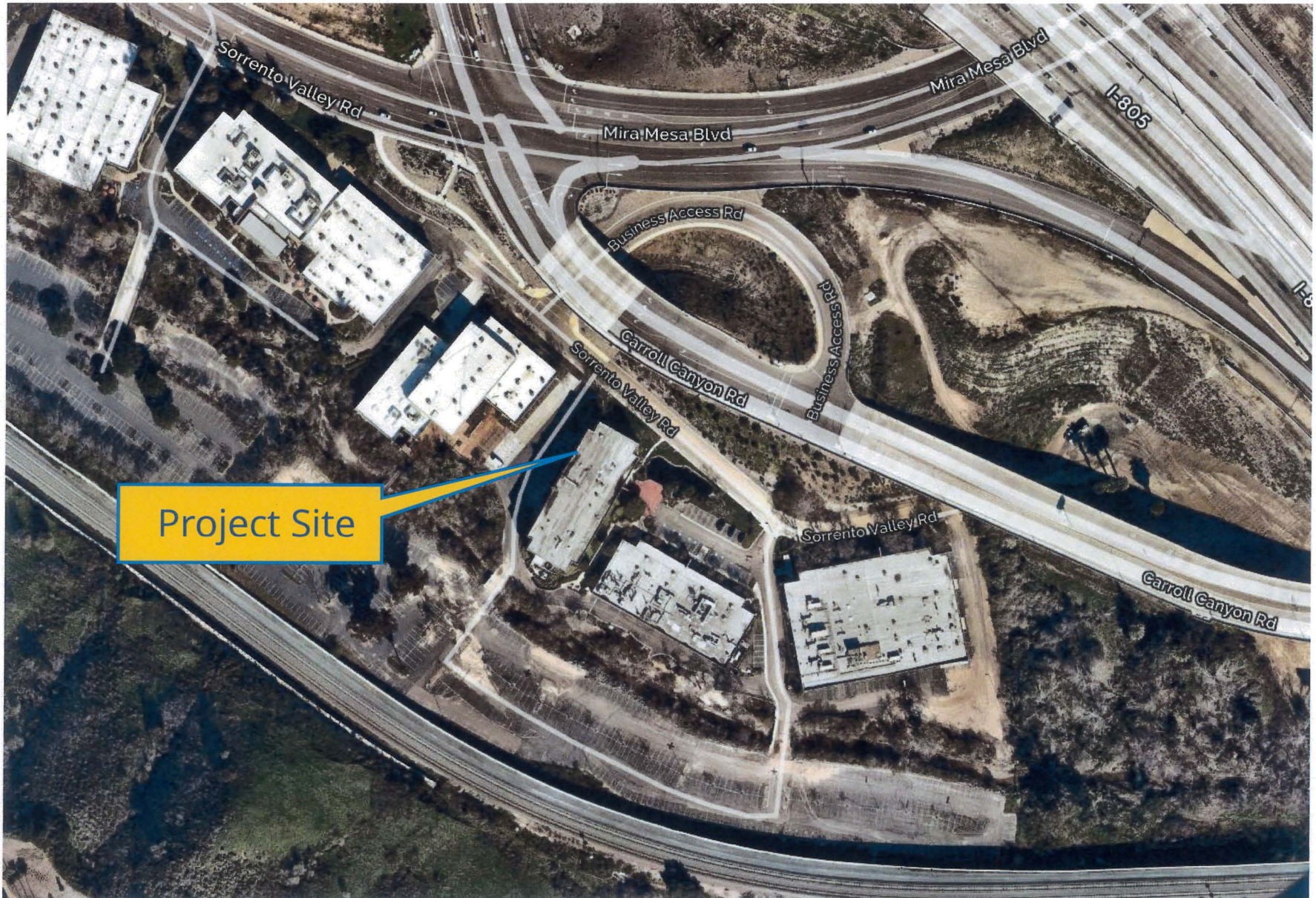




Land Use Map

Sorrento Valley MO CUP / 10150 Sorrento Valley Road
PROJECT NO. 545299





Project Site



Aerial Photo

Sorrento Valley MO CUP / 10150 Sorrento Valley Road, Suite 110
PROJECT NO. 545299



HEARING OFFICER RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 1927100 AND
COASTAL DEVELOPMENT PERMIT NO. 2173348
SORRENTO VALLEY MO CUP - PROJECT NO. 545299

WHEREAS, HELF SORRENTO, LLC, a California Limited Liability Company, Owner, and SEAN ST. PETER, an Individual, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Outlet in a 3,980-square-foot tenant space, Suite 110, on the first floor of an existing 50,284-square-foot, three-story building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1927100 and 2173348), on portions of a 12.04 acre site;

WHEREAS, the project site is located at 10150 Sorrento Valley Road, Suite 110, in the IL-3-1 Zone, Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Land Use Compatibility Overlay Zone (Airport Influence Area – Review Area 1 and Accident Potential Zone 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway), and Transit Priority Area within the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as Acre Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of Official Records of the San Diego County Recorder's Office;

WHEREAS, on September 19, 2018, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 1927100 and Coastal Development No. 2173348:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes a Conditional Use Permit (CUP) to allow the operation of a Marijuana Outlet (Outlet) in an existing 3,980-square-foot tenant space, Suite 110, on the first floor of an existing 50,284-square-foot, three-story building. The developed 12.04-acre project site is located at 10150 Sorrento Valley Road in the IL-3-1 zone of the Torrey Pines Community Plan (TPCP).

The Torrey Pines Community Plan designates the site as Industrial Element. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to San Diego Municipal Code (SDMC) Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet would be located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,980 square-feet in an existing 50,284 square-foot building. The project's CUP is conditioned that the 50,284 square-foot building cannot be converted to a stand-alone retail building throughout the duration of the CUP, and a minimum of a 2,360 square-foot tenant space within the 50,284 square-foot building will be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require

additional parking or result in an intensification of use on the premises. Thus, the proposed Outlet is a compatible use at this location with a Conditional Use Permit and is consistent with the TPCP land use policies.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed Outlet at 10150 Sorrento Valley Road, Suite 110, is an existing 3,980-square-foot tenant space located on the first floor of an existing 50,284-square-foot building. The project proposes interior improvements to an existing tenant space, including entry, reception, administrative offices and facility, and sales area. The proposed development will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large.

Approval of the CUP would allow the sale of marijuana to be conditioned in order to prevent potential adverse impacts on the community. The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504 (b) through (m), which have also been incorporated as conditions in the CUP, including prohibiting consultation by medical professionals on-site, prohibiting the use of specified vending machines except by a responsible person (as defined by the SDMC), provision of interior and exterior lighting, alarms, restriction of hours of operation to between 7:00 am and 9:00 pm daily, maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours, and restriction of signage to business name, two-color signs, and alphabetic characters.

In addition to the above, the CUP includes additional security conditions to improve the safety of the building and surrounding neighborhood, including the provision of operable surveillance cameras and a metal detector, use of cameras with a recording device that maintains records for a minimum of 30 days, two security guards during business hours with one security guard present on the premises 24 hours a day, seven days a week, installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees, and installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area, and vault room. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

Furthermore, construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through construction review and building inspections.

Outlets require compliance with San Diego Municipal Code (SDMC) Section 141.0504 (a), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. Outlets also require a

minimum distance requirement of 100 feet from a residential zone. The proposed Outlet complies with the separation requirements between uses set forth in SDMC Section 141.0504 (a).

The proposed project will be required to comply with the development conditions as described in the CUP No. 1927100 and Coastal Development Permit (CDP) No. 2173348. The CUP No. 1927100 and CDP No. 2173348 will be valid for five years and may be revoked if the Owner or Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety, and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in CUP No. 1927100 and CDP No. 2173348. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety, and welfare. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the operation of an Outlet within an existing 3,980-square-foot tenant space located on the first floor of an existing 50,284-square-foot building at 10150 Sorrento Valley Road, Suite 110. The site was developed in 1979. The developed 12.04-acre site is located in the IL-3-1 zone and an Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The project has been determined to be exempt from the Environmentally Sensitive Lands (ESL) regulations of the Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway) pursuant to San Diego Municipal Code (SDMC) Sections 143.0110 (b)(4) and (c)(1), because there is no addition or modification to the existing development, other than interior tenant improvements proposed. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505 (c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Outlets require compliance with SDMC Section 141.0504 (a), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. Outlets also require a minimum distance requirement of 100 feet from a residential zone. The proposed Outlet complies with the separation requirements between uses set forth in SDMC Section 141.0504 (a). The proposed Outlet is subject to specific operations requirements for security, as referenced in CUP No. 1927100 and CDP No. 2173348, in lighting, security cameras, alarms, and security guards. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The project is required and conditioned to retain a minimum of a 2,360 square-foot tenant space within the 50,284 square-foot building that will be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone that does not require additional parking or result in an intensification of use on the premises, and the 50,284 square-foot building cannot be converted to a stand-alone retail building during the term of the CUP.

The CUP for the project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with all the relevant regulations of the SDMC for an Outlet. No variance or deviations are requested as part of this application, nor are any required to approve the CUP. Therefore, the proposed development will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project proposes a CUP to allow the operation of an Outlet in an existing 3,980-square-foot tenant space, Suite 110, on the first floor of an existing 50,284-square-foot, three-story building. The developed 12.04-acre project site is located at 10150 Sorrento Valley Road in the IL-3-1 zone of the Torrey Pines Community Plan (TPCP).

The Torrey Pines Community Plan designates the site as Industrial Element. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. The IL Zones permit a range of uses, including non-industrial uses in some instances. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet would be located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,980 square-feet in an existing 50,284 square-foot building. The project's CUP and is conditioned that the 50,284 square-foot building cannot be converted to a stand-alone

retail building throughout the duration of the CUP, and a minimum of a 2,360 square-foot tenant space within the 50,284 square-foot building will be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require additional parking or result in an intensification of use on the premises.

Outlets require compliance with San Diego Municipal Code (SDMC) Section 141.0504 (a), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. Outlets also require a minimum distance requirement of 100 feet from a residential zone. The proposed Outlet complies with the separation requirements between uses set forth in SDMC Section 1141.0504 (a). The proposed Outlet is subject to specific operations requirements for security, as referenced in CUP No. 1927100 and CDP No. 2173348, in lighting, security cameras, alarms, and security guards. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed Outlet is consistent with all land development regulations relevant for the site and the use. No deviations are required or requested to approve the Conditional Use Permit. The proposed Outlet is classified as retail sales use for this location with a Conditional Use Permit. Therefore, based on all the facts cited above and conditions of approval, the proposed Outlet is an appropriate use at the proposed location.

B. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public review to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed Outlet at 10150 Sorrento Valley Road, Suite 110, is an existing 3,980-square-foot tenant space located on the first floor of an existing 50,284-square-foot building. The project site is located approximately 2.6 miles from the Pacific Ocean. The project is proposed within an existing developed site and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the Torrey Pines Community Plan and Local Coastal Land Use Plan. The proposed project meets all the development standards required by the underlying zone. Therefore, the project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Torrey Pines Community Plan and Local Coastal Program Land Use Plan.

b. The proposed coastal development will not adversely affect Environmentally Sensitive Lands.

The proposed Outlet at 10150 Sorrento Valley Road, Suite 110, is an existing 3,980-square-foot tenant space located on the first floor of an existing 50,284-square-foot building. The project site contains Environmentally Sensitive Lands (ESL) of Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway). The project has been determined to be exempt from the permit requirements of the ESL regulations pursuant to San Diego Municipal Code (SDMC) Sections 143.0110(b)(4) and (c)(1), because no encroachment into the environmentally sensitive lands is proposed and the development is limited to interior modifications that does not increase the footprint of an existing building, and will not encroach into the environmentally sensitive lands during or after construction. The project proposes a Conditional Use Permit to operate an Outlet in one of the existing tenant spaces of an existing building. Therefore, the proposed development will not adversely affect Environmentally Sensitive Lands.

c. The coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes a CUP to allow the operation of an Outlet in an existing 3,980-square-foot tenant space, Suite 110, on the first floor of an existing 50,284-square-foot, three-story building. The developed 12.04-acre project site is located at 10150 Sorrento Valley Road in the IL-3-1 zone of the Torrey Pines Community Plan (TPCP). The project site is located approximately 2.6 miles from the Pacific Ocean. The project is proposed within an existing developed site and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the Torrey Pines Community Plan and Local Coastal Land Use Plan.

The Torrey Pines Community Plan designates the site as Industrial Element and is zoned IL-3-1. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. The IL Zones permit a range of uses, including non-industrial uses in some instances. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet is located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,980 square-feet in an existing 50,284 square-foot building. The project's CUP is conditioned that the 50,284 square-foot building cannot be converted to a stand-alone retail building throughout the duration of the CUP, and a minimum of a 2,360 square-foot tenant space within the 50,284 square-foot building will be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require additional parking or result in an intensification of use on the premises. The proposed Outlet does not increase the footprint of the existing building. The project is not requesting, nor does it require any deviations or variances from the regulations and policy documents and is consistent with the recommended land use and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of California Coastal Act.

The proposed Outlet at 10150 Sorrento Valley Road, Suite 110, is an existing 3,980-square-foot tenant space located on the first floor of an existing 50,284-square-foot building. The project site is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The public access to the water, public recreation facilities, or public parking would not be adversely affected by the approval of this coastal development because the development is located on private property. Therefore, this coastal development is in compliance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

terms and conditions as set forth in Permit Nos. 1927100 and 2173348, a copy of which is attached hereto and made a part hereof.

Cherlyn Cac
Development Project Manager
Development Services

Adopted on: September 19, 2018

IO#: 24007232

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007232

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1927100 AND
COASTAL DEVELOPMENT PERMIT NO. 2173348
SORRENTO VALLEY MARIJUANA OUTLET CUP PROJECT NO. 545299
HEARING OFFICER

This Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348 ("Permit") is granted by the Hearing Officer of the City of San Diego to Helf Sorrento, LLC, a California Limited Liability Company, Owner, and Sean St. Peter, an Individual, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305 and 126.0708. The 12.04 acre site is located at 10150 Sorrento Valley Road, Suite 110 in the IL-3-1 Zone and Coastal Overlay Zone (Appealable and Non-Appealable) within the Torrey Pines Community Plan area. The project site is legally described as: Acre Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of Official Records of the San Diego County Recorder's Office.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate a Marijuana Outlet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 19, 2018, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Outlet in a 3,980 square-foot tenant space, located on the first floor of an existing 50,284 square-foot, three-story building at 10150 Sorrento Valley Road, Suite 110;
- b. Off-street parking; and
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 3, 2021.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. This Permit and corresponding use of this site shall expire on October 3, 2023. The Owner/Permittee may request that the expiration date be extended in accordance with SDMC Section 141.0504(n).
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
 - c. A Marijuana Outlet Permit issued by the Development Services Department is approved in accordance with SDMC Section 42.1504.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. The Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to the issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

PLANNING/DESIGN REQUIREMENTS:

13. The 50,284 square-foot building shall not be converted into a stand-alone retail building during the term of the CUP. A minimum of 2,360 square-feet of tenant space within the 50,284 square-foot building shall be reserved for occupancy by a non-retail commercial use that does not require additional parking or result in an intensification of use on the premises.

14. The sale of marijuana shall be prohibited without a valid license from the State authorizing such activity.

15. The Marijuana Outlet must comply with Chapter 4, Article 2, Division 15 of the San Diego Municipal Code, including obtaining a Marijuana Outlet Permit, and Background Checks and Reporting Convictions.

16. Consultations by medical professionals shall not be a permitted accessory use at this Marijuana Outlet.

17. Deliveries shall be permitted as an accessory use to and from 10150 Sorrento Valley Road, Suite 110. Each delivery person shall be employed by the Owner or Permittee, the successor, or the person using the property at 10150 Sorrento Valley Road, Suite 110, that is subject to this Permit.

18. The Owner/Permittee shall provide lighting to illuminate the interior of the Marijuana Outlet, façade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.

19. The Owner/Permittee shall install and maintain operable security cameras and a metal detector for security to the satisfaction of Development Services Department. The security cameras shall have and use a recording device that maintains the recordings for a minimum of 30 days. This Marijuana Outlet shall also include alarms and two security guards. The security guards shall be licensed by the State of California. Two security guards must be on the premises during business hours. At least one security guard must be on the premises 24 hours a day, seven days a week. The security guards should only be engaged in activities related to providing security for the Marijuana Outlet, except on an incidental basis.

20. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.

21. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.

22. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Ground signs shall not be pole signs. A primary sign shall be posted on the outside of the Marijuana Outlet and shall only

contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.

23. The Owner/Permittee shall post and maintain a sign showing the name and emergency contact phone number of an operator or manager in a location visible from outside the Marijuana Outlet in font size at least two inches in height.

24. The Marijuana Outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.

25. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in the SDMC Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.

26. The Owner/Permittee shall maintain the Marijuana Outlet, adjacent public sidewalks, and areas under the control of the Owner/Permittee, free of litter and graffiti at all times.

27. The Owner/Permittee shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

28. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of eliminating excessive or offensive odors causing discomfort or annoyance to any reasonable person of normal sensitivities standing outside of the structural envelope of this Marijuana Outlet facility in compliance with SDMC Section 142.0710.

29. Medical marijuana, recreational marijuana, or marijuana products, in any form, shall not be consumed anywhere within the property.

30. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

LANDSCAPE REQUIREMENTS:

31. Prior to the issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall provide for additional trees in the right-of-way to achieve a minimum rate of one canopy tree per 30-linear-feet of street frontage, excluding curb cuts. Plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including right-of-way, unless long-term maintenance of said landscaping shall be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed, and litter free condition at all times consistent with the City of San Diego Landscape Regulations and Standards.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

ENGINEERING REQUIREMENTS:

34. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of three (3) non-standard driveways adjacent to the site on Sorrento Valley Road Right-of-Way with current City Standards, satisfactory to the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 19, 2018 and Resolution Number (to be determined).

Permit Type/PTS Approval No.: Conditional Use Permit No. 1927100 and

Coastal Development Permit No. 2173348

Date of Approval: September 19, 2018

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Cherlyn Cac
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Helf Sorrento, LLC, a California
Limited Liability Company**
Owner

By _____
Name:
Title:

Sean St. Peter, an Individual
Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R- _____

ADOPTED ON September 19, 2018

WHEREAS, on May 1, 2017, Sean St. Peter submitted an application to Development Services Department for a Conditional Use Permit for the Sorrento Valley MO CUP (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on September 19, 2018; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Hearing Officer considered the issues discussed in Negative Declaration No. 545299 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

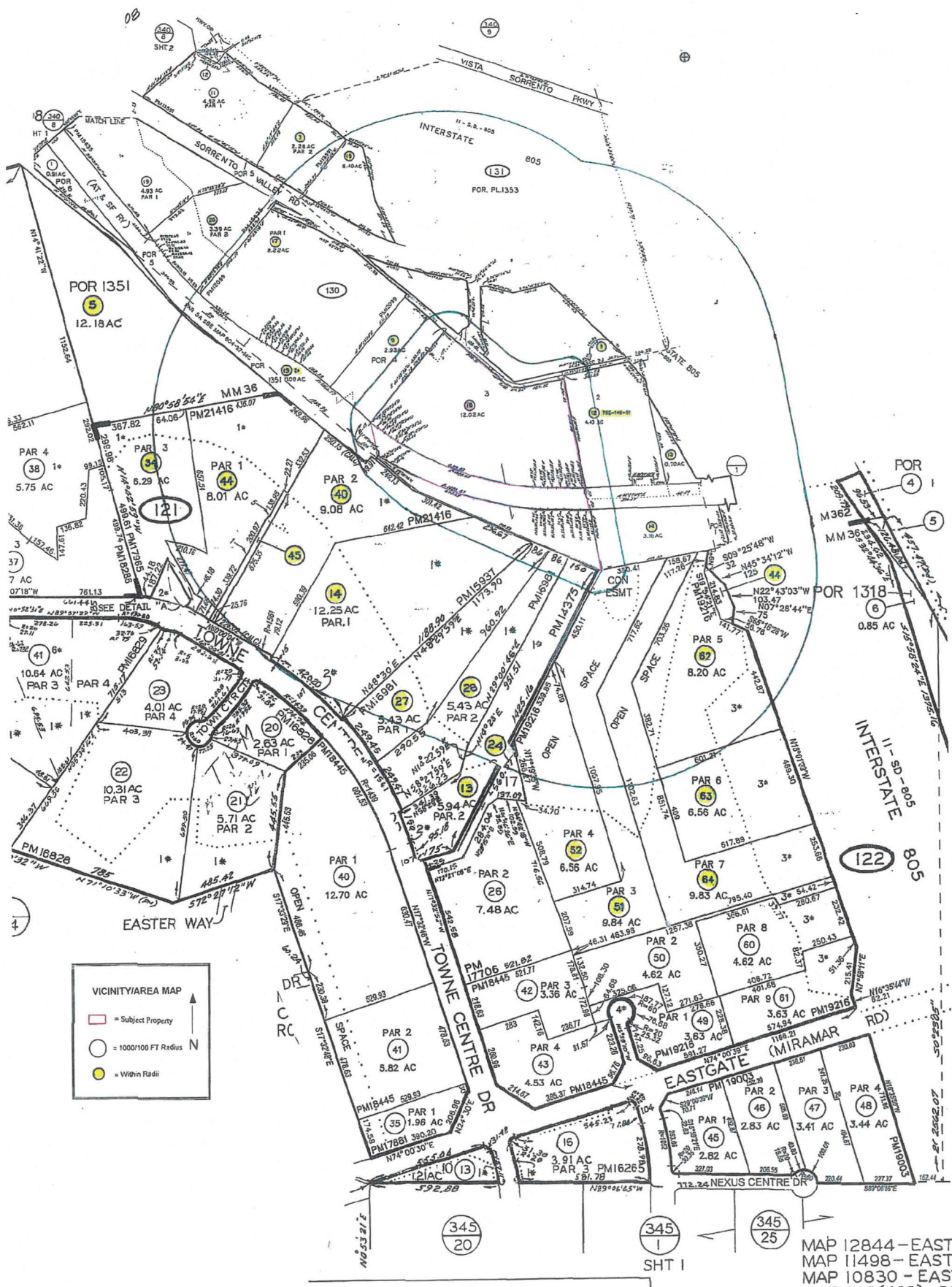
BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the DEVELOPMENT SERVICES DEPARTMENT, 1222 FIRST AVENUE, SAN DIEGO, CA 92101.

BE IT FURTHER RESOLVED, that DEVELOPMENT SERVICES STAFF is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: Cherlyn Cac, Development Project Manager

By: _____
Cherlyn Cac
Development Project Manager



MAP 12844 - EAST
 MAP 11498 - EAST
 MAP 10830 - EAST

SUMMARY OF PARCELS

APN: 343-130-16 1000FT MMCC POINTS OF INTEREST SEARCH

Index	Use Description	Site Address	City	State	Zip	Parcel Number	Owner/Business Name
1	GOV	PUBLIC AGENCY	SAN DIEGO	CA	92121	343-121-05-00	CITY OF SAN DIEGO
2	STORES, RETAIL OUTLET	9655 TOWNE CENTRE DR	SAN DIEGO	CA	92121	343-121-13-00	CLINICOMP, INTL.
3	STORES, RETAIL OUTLET	9775 TOWNE CENTRE DR	SAN DIEGO	CA	92121	343-121-14-00	B M R TOWNE CENTRE COURT
4	LIGHT INDUSTRIAL	9689 TOWNE CENTRE DR	SAN DIEGO	CA	92121	343-121-27-00	QUARTUS ENGINEERING
5	VACANT INDUSTRIAL	VACANT/PARKING LOT	SAN DIEGO	CA	92121	343-121-28-00	EASTGATE INVESTMENT LLC 99%
6	LIGHT INDUSTRIAL	9791 TOWNE CENTRE DR	SAN DIEGO	CA	92121	343-121-34-00	LYTX
7	VACANT INDUSTRIAL	VACANT/NEW CONSTRUCTION	SAN DIEGO	CA	92121	343-121-40-00	TOWNE CENTRE DRIVE LLC
8	LIGHT INDUSTRIAL	9785 TOWNE CENTRE DR	SAN DIEGO	CA	92121	343-121-44-00	LYTX
9	VACANT INDUSTRIAL	VACANT/DRIVEWAY	SAN DIEGO	CA	92121	343-121-45-00	IRVINE EASTGATE OFFICE II LLC
10	GOV	9657 TOWNE CENTRE DR	SAN DIEGO	CA	92121	343-122-24-00	CITY OF SAN DIEGO
11	VACANT INDUSTRIAL	VACANT/NEW CONSTRUCTION	SAN DIEGO	CA	92121	343-122-44-00	EASTGATE SUMMIT HOLDINGS LLC
12	STORES, RETAIL OUTLET	4810 EASTGATE MALL	SAN DIEGO	CA	92121	343-122-51-00	ICCON WIRELESS
13	LIGHT INDUSTRIAL	4820 EASTGATE MALL STE 100	SAN DIEGO	CA	92121	343-122-52-00	PLAZA HOME MORTGAGE
14	LIGHT INDUSTRIAL	4820 EASTGATE MALL STE 200	SAN DIEGO	CA	92121	343-122-52-00	KRATOS DEFENSE & SECURITY SOLUTIONS INC.
15	STORES, RETAIL OUTLET	4850 EASTGATE MALL	SAN DIEGO	CA	92121	343-122-62-00	EASTGATE SUMMIT HOLDINGS LLC
16	STORES, RETAIL OUTLET	4840 EASTGATE MALL	SAN DIEGO	CA	92121	343-122-63-00	GIFTS.COM/PROVIDE COMMERCE INC.
17	STORES, RETAIL OUTLET	4830 EASTGATE MALL	SAN DIEGO	CA	92121	343-122-64-00	GIFTS.COM/PROVIDE COMMERCE INC.
18	LIGHT INDUSTRIAL	10170 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	343-130-09-00	SCRIPPS CLINIC
19	VACANT INDUSTRIAL	10050 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	343-130-12-00	CITY OF SAN DIEGO
20	GOV	PUBLIC AGENCY	SAN DIEGO	CA	92121	343-130-13-00	CITY OF SAN DIEGO
21	VACANT MISCELLANEOUS	VACANT/UNIMPROVED LAND	SAN DIEGO	CA	92121	343-130-14-00	MANSOUR, MARCEL M & ADIL SO33.33
22	GOV	PUBLIC AGENCY	SAN DIEGO	CA	92121	343-130-15-00	SAN DIEGO METROPOLITAN TRANSIT D
23	LIGHT INDUSTRIAL	10110 SORRENTO VALLEY RD STE A	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
24	LIGHT INDUSTRIAL	10110 SORRENTO VALLEY RD STE B	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
25	LIGHT INDUSTRIAL	10110 SORRENTO VALLEY RD STE C	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
26	LIGHT INDUSTRIAL	10130 SORRENTO VALLEY RD STE A	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
27	LIGHT INDUSTRIAL	10130 SORRENTO VALLEY RD STE B	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
28	LIGHT INDUSTRIAL	10130 SORRENTO VALLEY RD STE C	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
29	LIGHT INDUSTRIAL	10130 SORRENTO VALLEY RD STE D	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
30	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 100	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
31	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 101	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
32	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 200	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
33	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 223	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
34	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 225	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
35	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 248	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
36	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 250	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
37	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 273	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
38	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 275	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
39	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 298	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
40	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 300	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
41	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 320	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
42	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 321	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
43	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 330	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
44	LIGHT INDUSTRIAL	10150 SORRENTO VALLEY RD STE 340	SAN DIEGO	CA	92121	343-130-16-00	SCRIPPS CLINIC
45	STORES, RETAIL OUTLET	10220 SORRENTO VALLEY RD STE 100	SAN DIEGO	CA	92121	343-130-17-00	SEA DISTRIBUTION CENTER
46	STORES, RETAIL OUTLET	10220 SORRENTO VALLEY RD STE 150	SAN DIEGO	CA	92121	343-130-17-00	WEBSense INC.
47	STORES, RETAIL OUTLET	10260 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	343-130-17-00	WEBSense
48	STORES, RETAIL OUTLET	10240 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	343-130-17-00	WEBSense
49	LIGHT INDUSTRIAL	10350 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	343-130-20-00	TEAL ELECTRONICS CORP.
50	WAREHOUSE, STORAGE	10345 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	343-131-07-00	SAN DIEGO SELF STORAGE
51	GOV	PUBLIC AGENCY	SAN DIEGO	CA	92121	343-131-09-00	CITY OF SAN DIEGO
52	GOV	PUBLIC AGENCY	SAN DIEGO	CA	92121	343-131-10-00	CITY OF SAN DIEGO
53	INDUSTRIAL MISCELLANEOUS	VACANT	SAN DIEGO	CA	92121	760-146-45-00	LAMAR ADVERTISING COMPANY 259
54	GOV/PARKING LOT	PUBLIC AGENCY	SAN DIEGO	CA	92121	760-146-51-00	CITY OF SAN DIEGO

SUMMARY OF PARCELS

APN: 343-130-16 100FT MMCC RESIDENTIAL SEARCH

Index	Parcel Number	Occupant	Site Address	City	State	Zip	Use Code Description
1	343-121-13-00	OCCUPANT	9655 TOWNE CENTRE DR	SAN DIEGO	CA	92121	STORES, RETAIL OUTLET
2	343-121-14-00	OCCUPANT	9775 TOWNE CENTRE DR	SAN DIEGO	CA	92121	STORES, RETAIL OUTLET
3	343-121-27-00	OCCUPANT	9689 TOWNE CENTRE DR	SAN DIEGO	CA	92121	LIGHT INDUSTRIAL
4	343-121-28-00	OCCUPANT	TOWNE CENTRE DR	SAN DIEGO	CA	92121	VACANT INDUSTRIAL
5	343-121-40-00	OCCUPANT	TOWNE CENTER DR	SAN DIEGO	CA	92121	VACANT INDUSTRIAL
6	343-122-51-00	OCCUPANT	4810 EASTGATE MALL	SAN DIEGO	CA	92121	STORES, RETAIL OUTLET
7	343-130-09-00	OCCUPANT	10170 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	LIGHT INDUSTRIAL
8	343-130-12-00	OCCUPANT	10050 SORRENTO VALLEY RD	SAN DIEGO	CA	92121	VACANT INDUSTRIAL
9	343-130-14-00	OCCUPANT	SORRENTO VALLEY RD	SAN DIEGO	CA	92121	VACANT MISCELLANEOUS
10	343-130-15-00	OCCUPANT	PUBLIC AGENCY	SAN DIEGO	CA	92121	GOV
11	343-130-16-00	OCCUPANT	10110 SORRENTO VALLEY RD 10150	SAN DIEGO	CA	92121	LIGHT INDUSTRIAL
12	343-131-09-00	OCCUPANT	PUBLIC AGENCY	SAN DIEGO	CA	92121	GOV
13	760-146-45-00	OCCUPANT	SORRENTO VALLEY RD	SAN DIEGO	CA	92121	INDUSTRIAL MISCELLANEOUS
14	760-146-51-00	OCCUPANT	PUBLIC AGENCY	SAN DIEGO	CA	92121	PARKING LOT, PARKING STRUCTURE

*NO RESIDENTIAL PROPERTIES OR ZONES FOUND.



Board

www.torreypinescommunity.org

BOARD MEMBERS: Dennis Ridz, Chair; Dee Rich, Vice Chair; Patti Ashton, Treasurer; Wayne Cox, Secretary; Jake Mumma; Susan Lyon (absent); Barbara Cerny (absent); Pat Whitt (absent); Troy Van Horst; Mike Hastings; Samson Gavranian; Brad Remy (absent); Sheryl Adams (absent): Eight attendees.

**Torrey Pines Committee Planning Board MONTHLY MEETING, Minutes
THURSDAY, June 14, 2018 at 7:00 PM**

Del Mar Hills Academy, 14085 Mango Drive, Del Mar CA 92014

NOTE: Times assigned for each item are approximate. Agenda items/order are subject to modification at beginning of meeting at the discretion of the Chair. Any item may be pulled from Consent Agenda and added to a future Board agenda by request. To request an agenda in alternative format - sign language, oral interpreter or Assistive Listening Devices (ALDs) - please contact the Planning Department at (619) 236-6879 five (5) working days prior to the meeting to insure availability.

CALL TO ORDER: 7:07 P.M. Opening delayed until quorum (7) was met.

INTRODUCTIONS:

1. The Chair announced that Steve Hadley, representing District 1 Councilwoman Barbara Bry, would be attending but was delayed.

Officer Phillips, SDPD, absent.

A. NON-AGENDA PUBLIC COMMENT:

1. Estela de Llanos, Chris Tyler, Libby Hellmann, Jennifer Hill, Jenny Galan, Michelle Crosby and Jeff Harasha from the audience spoke regarding DMUSD's plans for the Del Mar Hills Academy. An additional group in the audience did not speak but were at the meeting because of this subject. There were no representatives from DMUSD to provide proper responses to the questions being raised, however. Correspondingly, the Chair suggested that he attempt to bring representatives from DMUSD to a meeting at DMHA on Thursday, June 21. The audience felt the meeting needed to be held before a June 27 school district meeting and a July 9 meeting to formalize bond wording.
2. Steve Hadley issued a written statement from the Councilwoman regarding DMUSD's plans for DMHA. That statement is attached and should be considered an integral part of these Minutes.

B. GENERAL ANNOUNCEMENTS:

1. The City Council will hold a hearing on the Marijuana Outlet application for 10715 Sorrento Valley Rd. on Monday, June 18 at 2:00 P.M.
2. Senator Toni Atkins is scheduled to speak at the next TPCPB meeting, July 12.

C. MODIFICATIONS TO THE AGENDA: None. The Agenda was approved 8-0.

D. ACTION TO APPROVE MAY TPCPB MINUTES: The Minutes were approved 8-0.

E. REPORT OF THE TREASURER: There is \$767 currently in the TPCPB account.

BRIEFING, INFORMATION, QUESTION & ANSWER (non-action):

Notice of Right to Appeal—Environmental Determination Rules:

1. Planning Boards must appeal what they consider a wrongful determination within 10 days of the issuance by DSD of an approved Environmental Determination. However, it is possible the Board will not hear a presentation of the application before expiration of that 10 days.
2. It was moved, seconded, and passed 7-0 that the Chair was authorized to mark the box for appeal when these timing issues existed. The thinking was that upon hearing the application, the TPCPB would then determine if the authorization would continue to be challenged or be approved. DSD will be informed, accordingly, on each such application.

ACTION ITEMS:

1. La Amatista Vacation Notice: The San Diego Planning Commission is scheduled to meet July 19 regarding this property. However, Mike Hastings moved that a systemic approach, starting with questions and responses by all of the affected property owners, first be sought. Mario, the applicant, was asked by the Chair if he wanted to receive a list of the questions. He non-verbally waved "No." The motion passed 7-0.
2. The Chair sought permission to send a letter to the City Council that details additional perceptions he has developed concerning the Medical Marijuana Outlet application at 10715 Sorrento Valley Rd. that they will be considering on June 18. The proposed letter had been electronically messaged to each TPCPB Board Member a week previous. The motion passed 7-0.
3. An application for a Marijuana Outlet and Marijuana Production Facility (DSD application numbers 545299, 585348 and 585358), located at 10150 Sorrento Valley Rd., made a presentation. Discussion:
 - a. This applicant would only use a portion of the 50,000 square foot building. Wayne mentioned that if we were to use the Mira Mesa Planning Board rules for marijuana businesses, this applicant would likely be disqualified because the majority of the building space will be occupied by non-marijuana related businesses.
 - b. This is a preferred business neighborhood for this kind of business because it is easily accessed from the freeway and is otherwise out of site for those people who oppose this type of business.
 - c. Should a vote be taken before an environmental report has been approved by DSD?
 - d. Applicant has been cooperative with TPCPB, has been engaged in the application at this site since January, 2017 (an extensive period of time compared to the New Leaf application at 10170 S. V. Rd. next door).
 - e. Troy moved that the application be approved subject to TPCPB reviewing the CEQA determination by DSD. The motion was passed 5 Yes, 1 Abstention (Dec), and 1 No (Wayne).

At 9:00 P.M. a motion to extend the meeting by 30 minutes passed 7-0.

4. The missing Developer Impact Fees (aprox. \$350,000) were discussed. The money seems to have been reallocated in the accounting for a CalTrans storm water project. Patti and Troy recalled hearing in a meeting regarding that project that the subject money would remain uncommitted. Steve Hadley said minutes from that meeting would be helpful. Patti said she will provide them to the Chair.

OFFICIALS INFORMATION REPORTS:

1. Steve Hadley distributed The Bry Report. Discussion quickly centered around "Working with the Community to Promote Safe Pedestrian Crossings." Dee pointed out that the missing DIF money was directly ear-marked to support a comprehensive Del Mar Heights "master plan" which required that the community, via a Task Force, explore multi-options for 'calming traffic' along the Del Mar Heights transportation corridor.
2. Steve also distributed a flyer about our park system. He asked that our citizens participate in some of the event dates on that flyer. "This area needs parks and that is the way to get attention to that fact," he said. A Master Plan for parks is being developed through these meetings. The last such plan dates to 1956.

The Chair adjourned the meeting at 9:28.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: LG SORRENTO Project No. For City Use Only: 545299

Project Address: 10110-30-50 SORRENTO VALLEY ROAD, SAN DIEGO CA

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title:

10110-30-50 Sorrento Valley Road SD

Project No. (For City Use Only)

545299

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation () Limited Liability (X) or- () General) What State? Corporate Identification No. Partnership (X)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached () Yes () No

Corporate/Partnership Name (type or print): HELP Sorrento LLC
Owner (X) Tenant/Lessee ()
Street Address: 1333 Camino Del Rio S.
City/State/Zip: San Diego CA 92108
Phone No: 619-297-3900 Fax No:
Name of Corporate Officer/Partner (type or print): FRANK M. GOLOBERG
Title (type or print): MANAGING MEMBER
Signature: [Signature] Date: 3.2.17

Corporate/Partnership Name (type or print): LL Sorrento
Owner () Tenant/Lessee (X)
Street Address: 4231 BOLBOA AVE #162
City/State/Zip: San Diego CA 92108
Phone No: 619-618-8139 Fax No:
Name of Corporate Officer/Partner (type or print): SAN ST. PETER
Title (type or print): DIRECTOR
Signature: [Signature] Date: 3.1.17

Corporate/Partnership Name (type or print):
Owner () Tenant/Lessee ()
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Corporate/Partnership Name (type or print):
Owner () Tenant/Lessee ()
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Corporate/Partnership Name (type or print):
Owner () Tenant/Lessee ()
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Corporate/Partnership Name (type or print):
Owner () Tenant/Lessee ()
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

DATE: 12.20.17
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



Members of the American Institute of Architects

rad Architects, Inc.
1901 Broadway, Suite 410
San Diego, California 92101
(619) 591-2000

**SORRENTO VALLEY
MARIJUANA OUTLET - CUP 3**
10150 SORRENTO VALLEY ROAD, SUITE 110
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
ISSUE DATE: 12.20.17



REVISIONS:

SHEET TITLE:

PROJECT INFORMATION

SHEET NO:

P1.0

SORRENTO VALLEY MARIJUANA OUTLET

10150 SORRENTO VALLEY ROAD, SUITE 110 SAN DIEGO, CALIFORNIA 92121

INDEX OF DRAWINGS

SHEET	DESCRIPTION
ARCHITECTURAL	
P1.0	PROJECT INFORMATION
P1.1	FINANCIAL NOTES & CHECKLIST
P2.0A	DOGS ALTA SURVEY FOR REFERENCE ONLY
P2.1A	DEMO & EXISTING SITE PLAN
P2.1B	PROPOSED SITE PLAN & PARKING
P2.1C	EXISTING SITE FLOODWAYS
P2.2	ACCESSIBILITY SIGNAGE
P3.0	1ST FLOOR DESCRIPTIVE PLAN
P3.1	2ND & 3RD FLOOR
P4.0	LINE OF SIGHT IMAGES

PROJECT DIRECTORY

OWNER: HELF SORRENTO LLC
1333 CANNON DEL RIO SOUTH
SAN DIEGO, CA 92108
CONTACT: ANNE O'SULLIVAN
PHONE: 619.293.3900
EMAIL: anns@helpsportsmanagement.com

ARCHITECT: RAD ARCHITECTS INC
1284 UNIVERSITY AVENUE #37
SAN DIEGO, CA 92101
CONTACT: CARIN BAILEY
TEL: 619.591.2154
EMAIL: carin@rad-architects.com

TENANT: SORRENTO VALLEY MARIJUANA OUTLET
4211 BALBOA AVE #12
SAN DIEGO, CA 92117
CONTACT: SEAN ET. PETER
PHONE: 619.614.8179
EMAIL: sean@svomarijuana.com

CITY OF SD/REG: DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE SUITE 301
SAN DIEGO, CA 92101-4101
TEL: 619.444.5000

PROJECT SUMMARY

PROJECT SUMMARY: THE PROPOSED PROJECT IS A MARIJUANA OUTLET, CUP 3. THE ZONE IS IL-3-1. BUILDING WAS BUILT IN 1979.

SCOPE OF WORK: TENANT IMPROVEMENTS INCLUDING WALLS FOR NEW OFFICES, SECURED, VALLET RESISTANT GLASS AND WALLS AT RECEPTION ROOM AND COMMON AREAS, AND CONVERTING EXISTING OFFICE INTO SECURED VAULT.

MAJOR SITEWORK TO INCLUDE: DRIVEWAY IMPROVEMENTS, MODIFICATIONS TO PARKING STRIPING, ADDITIONAL MOTORCYCLE / HANDICAP PARKING.

APPLICABLE CODES: ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING THE LATEST EDITIONS OF THE FOLLOWING:

- BUILDING: 2016 CALIFORNIA BUILDING CODE
- MECHANICAL: 2016 CALIFORNIA MECHANICAL
- PLUMBING: 2016 CALIFORNIA PLUMBING CODE
- ELECTRICAL: 2016 CALIFORNIA ELECTRICAL CODE
- FIRE: 2016 CALIFORNIA FIRE CODE, CITY MUNICIPAL CODES & APPLICABLE FIRE LIFE SAFETY CODES.
- ENERGY: 2016 CALIFORNIA ENERGY CODE
- GREEN: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- ACCESSIBILITY: AMERICANS WITH DISABILITIES ACT (FEDERAL, STATE & LOCAL), REQUIREMENTS NOTED IN CHAPTER 11 OF THE 2016 CALIFORNIA BUILDING CODE

PARCEL ID#: 343-130-16-00

LOT NO.: 3 **MAP NO.:** 435

PROPERTY DESCRIPTION: PARCELS, ZONE: A-C-CAM
ACREAGE = 12.84 X 43.572 = 544.624 SF

GEOLOGIC HAZARD CATEGORY: 21 & 31

ZONING: IL-3-1 ZONE, TORREY PINES COMMUNITY PLAN AREA

USE: MARIJUANA OUTLET

LAND USE: INDUSTRIAL

OVERLAY ZONES: THE PROJECT IS WITHIN THE COASTAL ZONE BOUNDARY. AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCA), MARIJUANA, AIRPORT ROSE CONTIGUOUS (MCA) MARIJUANA 60-65 (MCA), AIRPORT INFLUENCE AREA-REVIEW AREA 1, FAA PART 77 NOTICING AREA, AIRPORTS SAFETY ZONE (MCA), MARIJUANA ACCESSIBLE POTENTIAL ZONE 2), COASTAL OVERLAY ZONE (NON-APPEALABLE), VERY HIGH FIRE HAZARD SEVERITY ZONE, PARKING IMPACT OVERLAY ZONE (COASTAL AND CAMPUS), PRIME INDUSTRIAL LANDS, TRANSIT PRIORITY AREA. (LEGAL DESCRIPTION: LOT NO. 3, MAP NO. 435), SPECIAL FLOOD HAZARD AREA (100 YEAR FLOODWAY AND 100 YEAR FLOODPLAIN), AND COASTAL HEIGHT LIMITATION OVERLAY ZONE.

PROPOSED FUTURE USE: OFFICE / FLEX SPACE

PERMIT: FOR THE TENANT IMPROVEMENT OF EXISTING INDUSTRIAL SPACE FOR A NEW MARIJUANA OUTLET OF 3,890 SQUARE FEET. THE 12.84 ACRE SITE IS LOCATED AT 10150 SORRENTO VALLEY ROAD IN THE COASTAL (APPLICABLE) NONAPPEALABLE OVERLAY ZONE IN THE IL-3-1-BASE ZONE OF THE TORREY PINES COMMUNITY PLAN AREA WITHIN COUNTY DISTRICT 1.

DISCRETIONARY PERMITS: NONE DISCRETIONARY PERMIT ARE ON FILE AT CITY.

EXEMPTIONS: NONE

BUILDING DATA: OLD TENANT OCCUPANCY: (B) BUSINESS - OFFICES (SCRPPS)
NEW TENANT OCCUPANCY: (B) BUSINESS - SORRENTO VALLEY MARIJUANA OUTLET
TYPE: V8
FULLY SPRINKLERED: NO
GROSS TENANT AREA: 3,890 SQUARE FEET
TOTAL BUILDING AREA: 50,234 SQUARE FEET
ACTUAL BUILDING HEIGHT: 30'-0" TO TOP OF DECK, THREE STORES
ALLOWABLE HEIGHT: 30'

CONSTRUCTION RATINGS: TENANT SEPARATION: NON-RATED BETWEEN SORRENTO VALLEY MARIJUANA OUTLET & ADJACENT OFFICE
COLUMN: NON-RATED
INTERIOR BEARING WALLS: NON-RATED
INTERIOR NON-BEARING WALLS: NON-RATED
BEAMS, GIRDERS, TRUSSES: NON-RATED
FLOOR CONSTRUCTION: NON-RATED
ROOF/CEILING CONSTRUCTION: NON-RATED

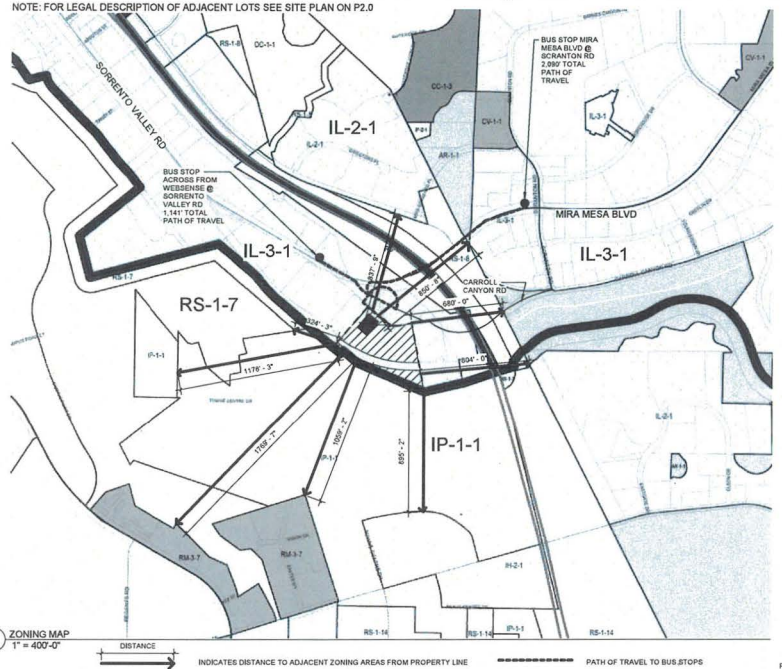
FAA SELF CERTIFICATION

I, CARIN BAILEY, DO HEREBY CERTIFY THAT THE STRUCTURES, OR MODIFICATION TO EXISTING STRUCTURES SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 71.15(a) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

EXHIBITS

- EXHIBIT A - APPLICANT CORRESPONDENCE
- EXHIBIT B - MARIJUANA OUTLET RADIUS MAP
- EXHIBIT C - PHOTO PACKAGE
- EXHIBIT D - NOTICING PACKAGE
- EXHIBIT E - STORM WATER APPLICATION
- EXHIBIT F - CAP CHECKLIST
- EXHIBIT G - SANGIS MAP

CITY OF SD PROJECT NUMBER: 545299



NEW OCCUPANCY: (B) BUSINESS SORRENTO VALLEY MARIJUANA OUTLET

OCCUPANT LOAD CALCS FOR SORRENTO VALLEY MARIJUANA OUTLET

OCCUPANCY	OCCUPANCY LOAD FACTOR	AREA	LOAD
ENTRY SALES AREA	60	494	8
MAIN SALES AREA	60	2323	39
OFFICES & HALLWAYS	100	420	4
STORAGE & VAULT	300	169	1
TOTAL			53
REQUIRED EXITS			2

EGRESS WIDTH PER SECTION 1005, ALL COMPLETE
BACK DOOR: 35' X 2' 0" - (E) DOOR = 7'2"
FRONT ENTRY: 35' X 2' 0" - (E) DOORS = 7'2"

PLUMBING FIXTURE CALCULATIONS

BASED ON 2016 UPC CHAPTER 4

1ST FLOOR SQUARE FOOTAGE	16,331 SQ. FT.
1ST FLOOR OCCUPANT LOAD	50.FT./200 = 27.2 = 41 EACH
1ST FLOOR MALE OCCUPANTS	41
1ST FLOOR FEMALE OCCUPANTS	41
SUITE 110 TOTAL SQUARE FOOTAGE	3,890 SQ. FT.
SUITE 110 TOTAL OCCUPANT LOAD	50.FT./200 = 20.2 = 10 EACH
SUITE 110 MALE OCCUPANTS	10
SUITE 110 FEMALE OCCUPANTS	10

FEMALE FIXTURES:

REQUIRED	PROVIDED	
WATER CLOSETS	1-1/50	5
LAVATORIES	1-1/50	2

MALE FIXTURES:

REQUIRED	PROVIDED	
WATER CLOSETS	1-1/50	2
URINALS	1-1/75	2
LAVATORIES	0	0

UNSEX TOILET:

REQUIRED	PROVIDED	
WATER CLOSET	0	0
URINALS	0	0
LAVATORIES	0	0

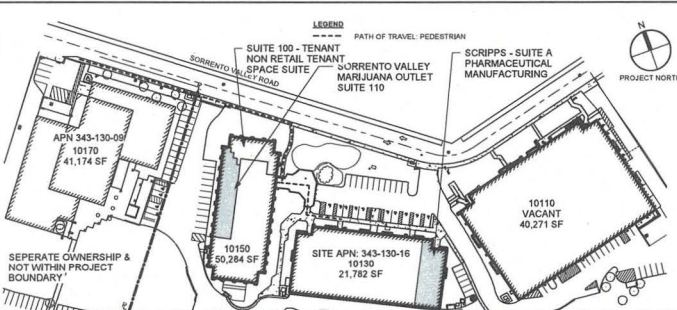
DRINKING FOUNTAIN:

REQUIRED	PROVIDED
1-1/50	1

WOP SINK:

REQUIRED	PROVIDED
1	1

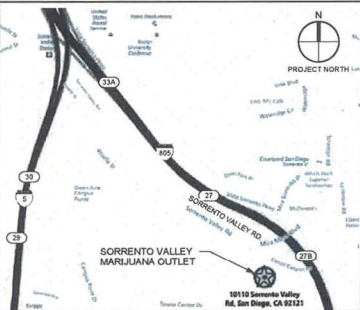
SITE MAP



INDUSTRIAL ZONE IL-3-1 FAR

TOTAL EXISTING BUILDING SF	
10110	VACANT 40,271
10130	SCRPPS 3,891
	VACANT 17,867
TOTAL	51,768
10150	SUITE 100 2,343
	MARIJUANA OUTLET 2,390
	VACANT 52,941
TOTAL	52,334
FAR = BUILDING SF / PARCEL SF	112,337 SF / 524,624 SF = 0.214
FAR = 21.4% ± 25%	

SITE LOCATION



DATE 12.20.17
PERNO 002
DRAWN STAFF
CHECKED GS



ARCHITECTS OF RECORD FOR DEVELOPMENT
rd architects, inc.
10150 Sorrento Valley Road, Suite 110
San Diego, CA 92121
(619) 571-1100

SORRENTO VALLEY
MARIJUANA OUTLET - CUP 3
10150 SORRENTO VALLEY ROAD, SUITE 110
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY THOSE SETS
STAMPED CONSTRUCTION SET, HEREIN
SUBMITTAL SET
ISSUE DATE: 12.20.17



REVISIONS:

Table with 2 columns: No., Description. The table is currently empty.

SHEET TITLE
**FINDINGS NOTES &
CHECKLIST**

SHEET NO
P1.1

STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST

Page 1 of 4 - City of San Diego - Development Services Department - Storm Water Requirements, Applicability Checklist. PART B: Storm Water Requirements. PART C: Storm Water Requirements. PART D: Storm Water Requirements. PART E: Storm Water Requirements. Includes various checklist items with checkboxes.

Page 2 of 4 - City of San Diego - Development Services Department - Storm Water Requirements, Applicability Checklist. PART B: Storm Water Requirements. PART C: Storm Water Requirements. PART D: Storm Water Requirements. PART E: Storm Water Requirements. Includes various checklist items with checkboxes.

Page 3 of 4 - City of San Diego - Development Services Department - Storm Water Requirements, Applicability Checklist. PART B: Storm Water Requirements. PART C: Storm Water Requirements. PART D: Storm Water Requirements. PART E: Storm Water Requirements. Includes various checklist items with checkboxes.

CONDITIONS FOR CONDITIONAL USE PERMIT APPROVAL PER SDMC 141.0504

- 1. PREVIEW 6) THE CITY SHALL CONDUCT A BACKGROUND CHECK ON ALL RESPONSIBLE PERSONS AND THE MARIJUANA OUTLET SHALL PROVIDE A LIST TO CITY OF RESPONSIBLE PERSONS (RPP) INCLUDING SORRENTO VALLEY DEVELOPMENT, SORRENTO VALLEY DEVELOPMENT, SORRENTO VALLEY DEVELOPMENT ACCOUNTANT, THE MARIJUANA OUTLET PERMIT IS VALID FOR ONE YEAR, APPLICATIONS SHOULD BE SUBMITTED TO THE MARIJUANA OUTLET PERMIT OFFICE WITHIN 30 DAYS OF THE EXPIRATION DATE.
- 2. PREVIEW 7) ALL PERSONS TRANSPORTING MARIJUANA IN CONNECTION WITH THE PROPOSED MARIJUANA OUTLET SHALL DO SO IN ACCORDANCE WITH STATE LAW.
- 3. PREVIEW 8) ALL CHAIRS AND ALL CANNABIS PRODUCTS PACKAGING AND LABELING SHALL BE STORED IN A SECURE AREA AND ALL CANNABIS PRODUCTS SHALL BE STORED IN A SECURE AREA AND ALL CANNABIS PRODUCTS SHALL BE STORED IN A SECURE AREA.
- 4. PREVIEW 9) ALL MARIJUANA OUTLET SHALL BE SECURED TO LARGE PRODUCTS FOR POTENCY AND THE CITY OF SAN DIEGO MAY AT ANY TIME HAVE MARIJUANA TESTED FOR RESIDUES, INCLUDING MARIJUANA AND OTHER SUBSTANCES THAT ARE NOT PERMITTED BY THE CITY OF SAN DIEGO. THE CITY OF SAN DIEGO SHALL HAVE THE RIGHT TO CONSUME MARIJUANA PRODUCTS FOR POTENCY AND THE CITY OF SAN DIEGO MAY AT ANY TIME HAVE MARIJUANA TESTED FOR RESIDUES, INCLUDING MARIJUANA AND OTHER SUBSTANCES THAT ARE NOT PERMITTED BY THE CITY OF SAN DIEGO.
- 5. PREVIEW 10) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 6. PREVIEW 11) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 7. PREVIEW 12) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 8. PREVIEW 13) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 9. PREVIEW 14) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 10. PREVIEW 15) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 11. PREVIEW 16) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 12. PREVIEW 17) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 13. PREVIEW 18) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 14. PREVIEW 19) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.
- 15. PREVIEW 20) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO THE MARIJUANA OUTLET AND SHOULD NOT BE ENGAGED IN ANY OTHER ACTIVITIES.

REVISIONS:

Table with 2 columns: No., Description. The table is currently empty.

ATTACHMENT 11

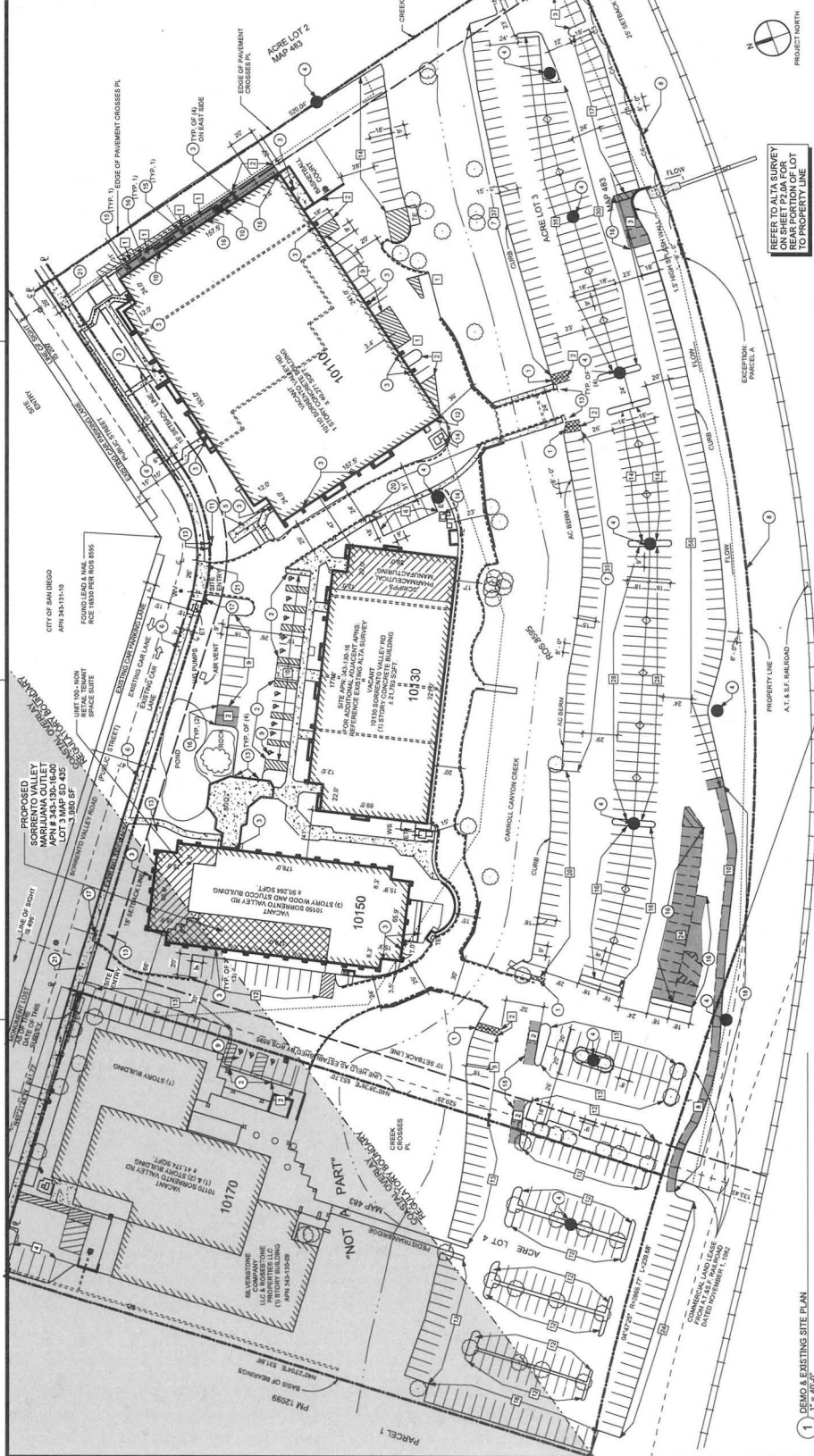
DATE 12.20.17
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 Tel: 619.594.1500

SORRENTO VALLEY
MARIJUANA OUTLET - CUP 3
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SAN DIEGO
 PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
SUBMITTAL SET
 ISSUE DATE: 12.20.17



1 DEMO & EXISTING SITE PLAN

SITE PLAN LEGEND

- (S) BUILDING LIGHT
- (B) BUILDING LIGHT
- (L) LIGHT POLE
- (P) PARKING STALLS
- (C) COMPACT STALLS
- (M) METAL TANK
- (R) PHARMACEUTICAL
- (O) OTHER
- (T) TRUCK
- (B) BIKEWALK
- (M) MARJUANANA OUTLET
- (D) DRIVEWAY
- (L) LIGHT
- (P) PARKING STALLS
- (C) COMPACT STALLS
- (M) METAL TANK
- (R) PHARMACEUTICAL
- (O) OTHER
- (T) TRUCK
- (B) BIKEWALK
- (M) MARJUANANA OUTLET

SITE PLAN KEYNOTES

1. HATCHED PARKING STALLS
2. HATCHED PARKING STALLS
3. HATCHED PARKING STALLS
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20. HATCHED PARKING STALLS
21. HATCHED PARKING STALLS

SITE PLAN GENERAL NOTES

- TRANSIT STOPS - SEE ZONING MAP ON P. 3
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET
- FIRE HYDRANTS - SEE SITE PLAN DRAWING FOR LOCATIONS

USAINS BUS STATIONANCE PROPOSED AS PART OF THIS PROJECT

SITE PLAN KEYNOTES

1. HATCHED PARKING STALLS
2. HATCHED PARKING STALLS
3. HATCHED PARKING STALLS
4. HATCHED PARKING STALLS
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20. HATCHED PARKING STALLS
21. HATCHED PARKING STALLS

SITE PLAN GENERAL NOTES

- TRANSIT STOPS - SEE ZONING MAP ON P. 3
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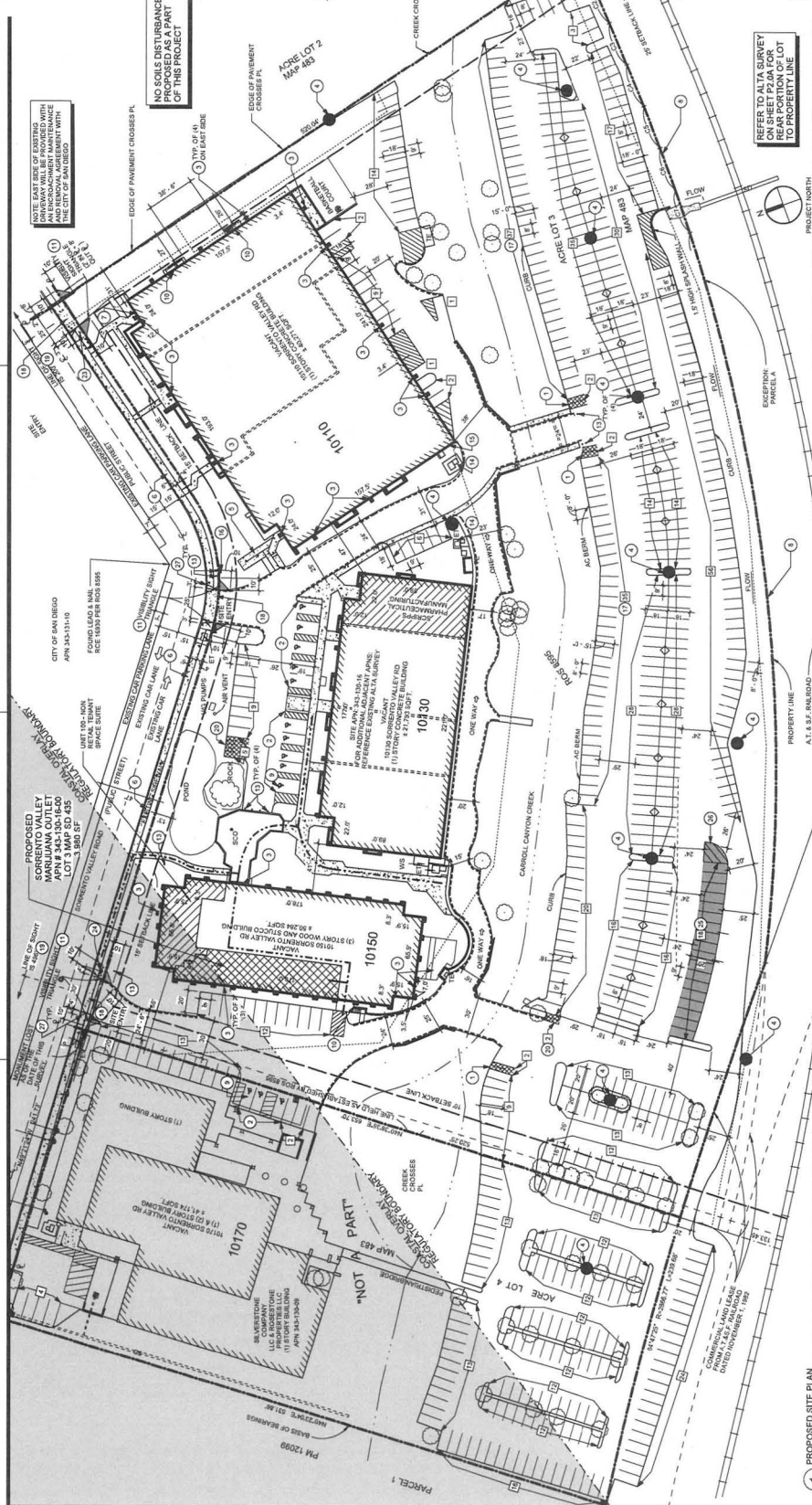
DATE: 12.20.17
JOB NO. 002
DRAWN: STAFF
CHECKED: GJ



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100 W. Broadway, Suite 210
San Diego, CA 92101
Tel: (619) 591-1011

SORENTO VALLEY
MARIJUANA OUTLET - CUP 3
10150 SORRENTO VALLEY ROAD, SUITE 110
SAN DIEGO, CA 92121

SUBMITTAL SET
ISSUE DATE: 12.20.17



NOTE: CURB SIDE OF SIDEWALK
UNITS SHALL BE PROVIDED WITH
AND REMOVAL AGREEMENT WITH
THE CITY OF SAN DIEGO

NO SOILS DISTURBANCE
SHALL BE PART
OF THIS PROJECT

REFER TO ALTA SURVEY
ON SHEET P2.1A FOR
EXISTING UTILITY LINES AND LOT
TO PROPERTY LINE.

SITE PLAN KEYNOTES

- 1. TRACT INDICATES 15 MOTORCYCLE PARKING SPACES (WITH PARKING COMPARTMENTS)
- 2. INDICATED 20 PARKING SPACES
- 3. SEE EXTERIOR BUILDING LIGHTS
- 4. SEE EXTERIOR BUILDING LIGHTS
- 5. SEE EXTERIOR BUILDING LIGHTS
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- 24. SEE EXTERIOR BUILDING LIGHTS
- 25. SEE EXTERIOR BUILDING LIGHTS
- 26. SEE EXTERIOR BUILDING LIGHTS
- 27. SEE EXTERIOR BUILDING LIGHTS
- 28. SEE EXTERIOR BUILDING LIGHTS

USES EXISTING / PROPOSED / FUTURE

- 10110 - 3071 AD - VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE)
- 10130 - 7170 SF - VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE)
- 10150 - 3071 AD - VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE)
- 10170 - 10170 SF - VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE)

SITE PLAN GENERAL NOTES

- A. TRAM STOP - SEE ZONING MAP ON P. 9
- B. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET AND APPROXIMATELY 10 FEET FROM THE PROPERTY LINE PER THIS POLICY PLAN (CUP 3) 9.1.4
- C. FIRE HYDRANTS - SEE SITE PLAN DRAWING FOR LOCATIONS

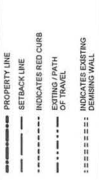
REQUIRED PARKING IL-3-1

REQUIRED PARKING IL-3-1	
EXISTING BUILDING 10170	17
EXISTING BUILDING 10150	17
EXISTING BUILDING 10130	17
EXISTING BUILDING 10110	17
TOTAL REQUIRED PARKING	68

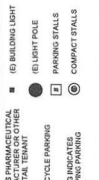
EXISTING BUILDING 10170 PARKING

EXISTING BUILDING 10170 PARKING	
EXISTING BUILDING 10170	17
EXISTING BUILDING 10150	17
EXISTING BUILDING 10130	17
EXISTING BUILDING 10110	17
TOTAL EXISTING PARKING	68

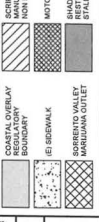
SITE PLAN LEGEND



USES EXISTING / PROPOSED / FUTURE



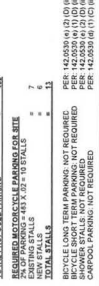
SITE PLAN LEGEND



REQUIRED PARKING IL-3-1



EXISTING BUILDING 10170 PARKING



PROPOSED SITE PLAN & PARKING
SHEET NO. P2.1B

ATTACHMENT 11

DATE: 12/20/17
 DRAWING NO.:
 DRAWING STAFF:
 CHECKED: CB



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 San Diego, California 92161
 (619) 444-1000

FOR FLOODWAY ONLY
SORRENTO VALLEY
 MARIJUANA OUTLET - CUP 3
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

CONTRACTOR SHALL VERIFY ALL UTILITIES AND
 UNDEGROUND CONDITIONS PRIOR TO ANY
 UNPAVED CONSTRUCTION SET HEREIN

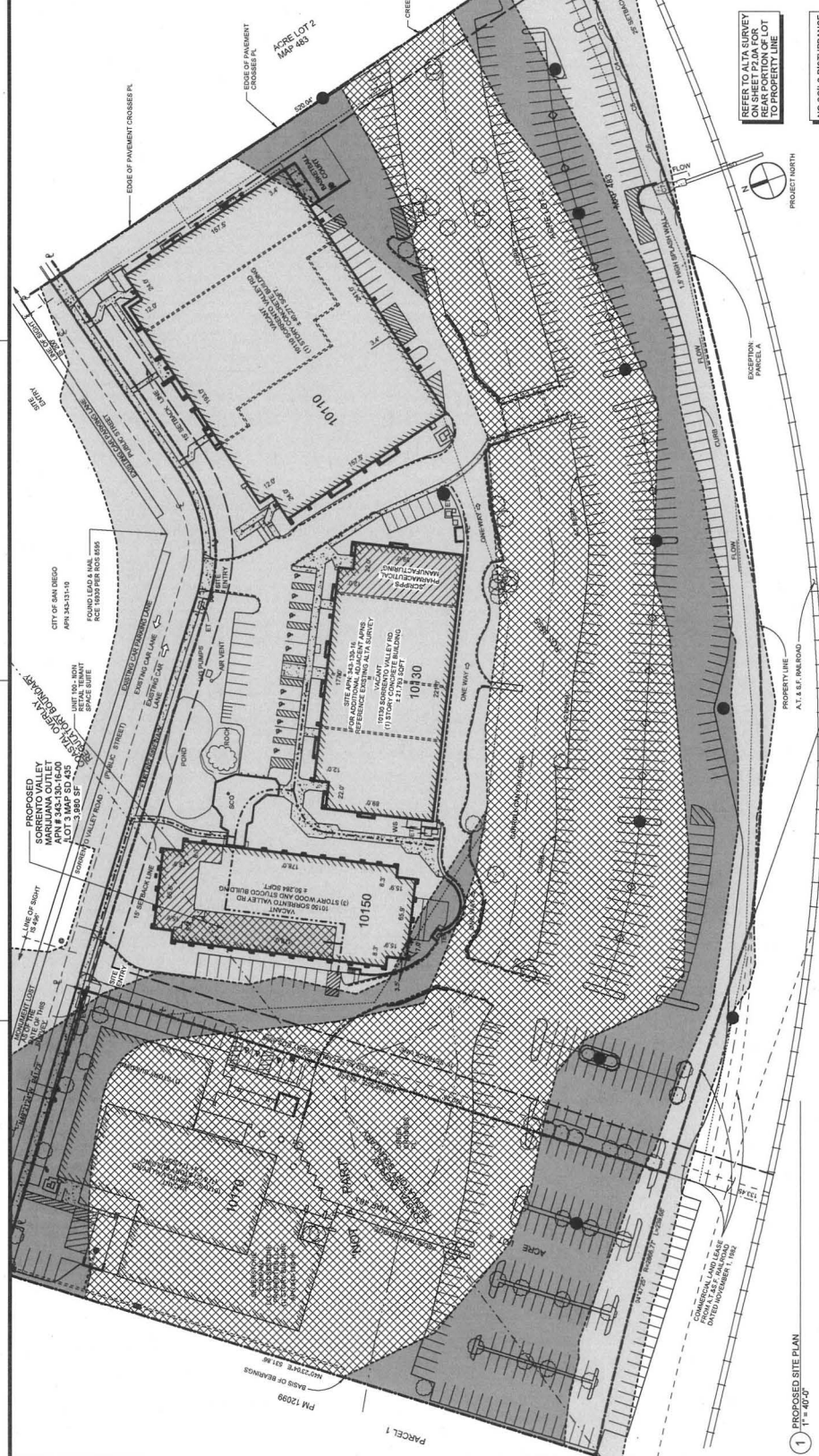
SUBMITTAL SET
 ISSUE DATE: 12/21/17



REVISIONS

REFER TO ALTA SURVEY
 ON SHEET P2.0A FOR
 PROPERTY BOUNDARIES AND LOT
 TO PROPERTY LINE

NO SOILS DISTURBANCE
 PROPOSED AS A PART
 OF THIS PROJECT



SITE PLAN LEGEND

[Cross-hatch pattern]	FLOODWAY
[Diagonal lines /]	SORRENTO VALLEY MARIJUANA OUTLET
[Diagonal lines \]	SCSPPS PHARMACEUTICAL
[Stippled pattern]	NON-RETAIL TENANT
[Dotted pattern]	BIOWALK
[Horizontal lines]	1% ANNUAL CHANCE FLOOD HAZARD
[Vertical lines]	5% ANNUAL CHANCE FLOOD HAZARD

1 PROPOSED SITE PLAN
 1" = 40'±

SHEET TITLE:
EXISTING SITE FLOODWAYS

SHEET NO:
P2.1C

DATE: 12/20/17
 JOB NO: 002
 DRAWN: STAFF
 CHECKED: CB



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SORRENTO VALLEY
 MARIJUANA OUTLET - CUP 3
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
 STAMPED: CONSTRUCTION PERMITS, AGENCY

SUBMITTAL SET
 ISSUE DATE: 12/20/17



REVISIONS:

SHEET TITLE
 1ST FLOOR DESCRIPTIVE
 PLAN
 SHEET NO:
 P3.0

GENERAL NOTES

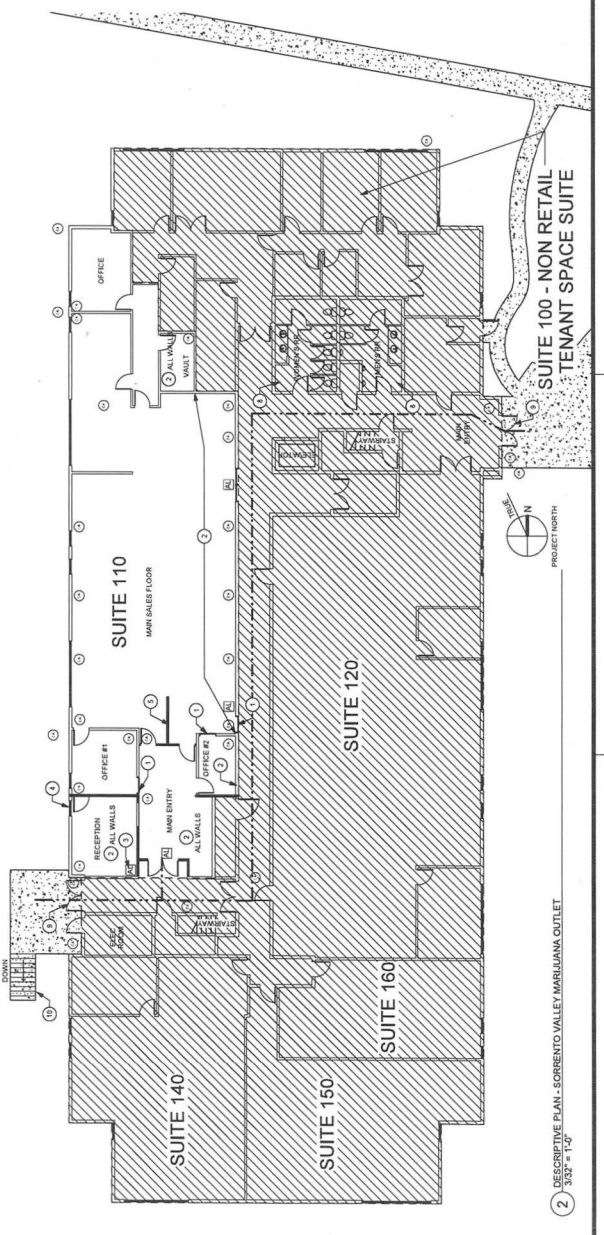
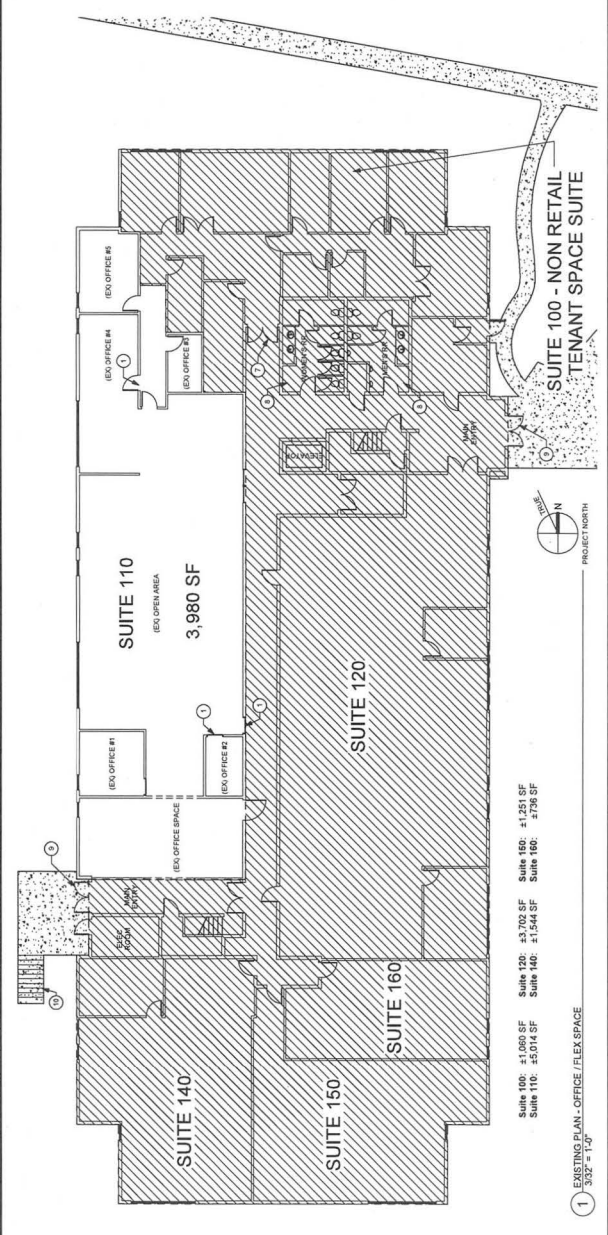
- A. FOR ALL EXISTING DIMENSIONS NOT SHOWN, SEE EXISTING ARCHITECTURAL DRAWINGS.
 - B. OWNER / CONTRACTOR TO FIELD VERIFY ALL NECESSARY EXISTING DIMENSIONS.
 - C. CONTRACTOR TO VERIFY ALL EXACT DIMENSIONS OF CONCRETE FROM AREA PRIOR TO REMOVAL POSSIBLE REUSE OF MATERIAL.
 - D. CONTRACTOR TO CAREFULLY PROTECT EXISTING STUDIOS, WORK WINDOW BILLS ETC. FOR POSSIBLE REUSE OF MATERIAL.
 - E. CONTRACTOR TO MAINTAIN ALL DAMAGED OR UNREPAIRABLE MATERIAL TO THE CITY/COUNTY.
 - F. CONTRACTOR TO REPORT ON GAS OFF ALL NECESSARY VENTILATION, SEWER AND WATER PIPES.
- MANDATORY GREENE TAGS:
 FOLLOWING AT LEAST ON HIGH EFFICIENCY FEATURE SHALL BE INSTALLED IN EACH BATHROOM, ALL GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS. LIGHTING FIXTURES AND SWITCHES INSTALLED SHALL DEMONSTRATE ALL LIGHTING IS HIGH EFFICIENCY AND CONTROLLED BY A VACUANT SENSOR.

WALL LEGEND

- INDICATES EXISTING PARTITIONS AND EXTERIOR WALLS TO REMAIN
- INDICATES EXISTING WINDOWS
- INDICATES NEW EXTERIOR WALLS
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES LOCATION OF CAMERAS
- INDICATES LOCATION OF ALARMS
- # CONCRETE SIDEWALK
- REGISTERED PATH OF TRAVEL

KEYNOTES

1. (E) DOOR TO BE SHUT & LOCKED BY PLACE NOT FOR USE.
2. (E) REMOVE ALL EXISTING WALLS. INSTALL A COMBINATION OF FULL RESISTANT ARMOR PANELS OR SOLID DRATED MASONRY BLOCK WALLS DESIGNED TO RESIST 100 MPH WINDS. THE RECEPTION AREA, IT CORRIDOR AND WAIT OTHER TENANT AND WAIT ROOM.
3. PROVIDE CONTINUOUS BULLET PROOF STEEL PLATE OVER INTERIOR SIDE OF EXISTING WINDOW.
4. FUTURE RENOVATE PER CITY OF SAN DIEGO STANDARDS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
7. (E) DOOR ENTRY / EXIT
8. (E) DOOR ENTRY / EXIT
9. (E) DOOR ENTRY / EXIT
10. (E) DOOR ENTRY / EXIT



DATE: 12.20.17
 JOB NO: 002
 DRAWN: STAFF
 CHECKED: CB



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 San Diego, California 92101
 (619) 592-9900

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 MARIJUANA OUTLET - CUP 3**
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
 & STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
 ISSUE DATE: 12.20.17

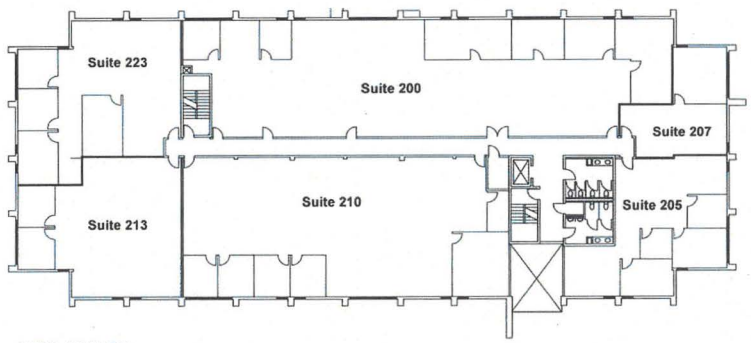


REVISIONS:

SHEET TITLE:
2ND & 3RD FLOOR

SHEET NO:
P3.1

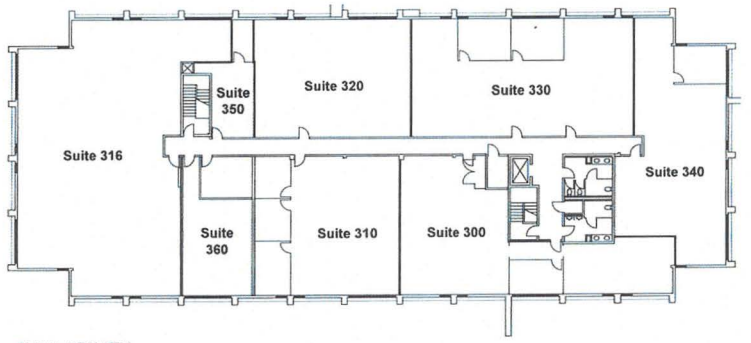
FOR REFERENCE ONLY



AVAILABILITY

Suite 200	±5,312 RSF	Suite 210	±4,339 RSF
Suite 205	±1,638 RSF	Suite 213	±1,917 RSF
Suite 207	±837 RSF	Suite 223	±2,179 RSF

1 10150 SORRENTO VALLEY RD FL - 2
 1/16" = 1'-0"



AVAILABILITY

Suite 300	±2,262 RSF	Suite 330	±2,638 RSF
Suite 310	±1,965 RSF	Suite 340	±2,176 RSF
Suite 316	±4,270 RSF	Suite 350	±454 RSF
Suite 320	±1,795 RSF	Suite 360	±753 RSF

2 10150 SORRENTO VALLEY RD FL - 3
 1/16" = 1'-0"

DATE: 12.20.17
 JOB NO: 002
 DRAWN: STAFF
 CHECKED: CB



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 1306 University Ave., #110
 San Diego, California 92103
 (619) 591-3121

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 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

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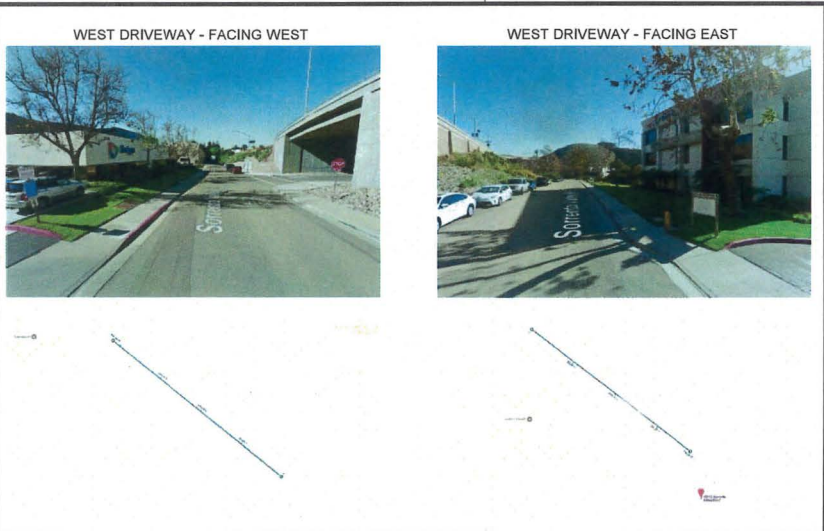
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 ISSUE DATE: 12.20.17



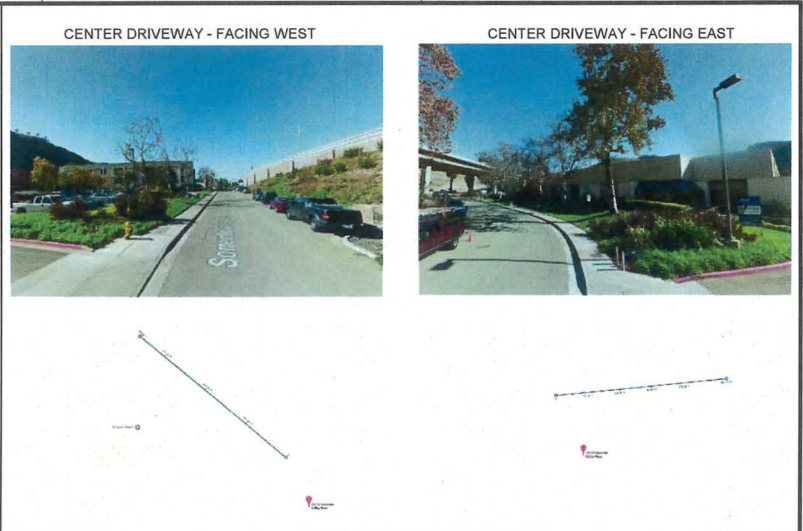
REVISIONS:

SHEET TITLE:
LINE OF SIGHT IMAGES

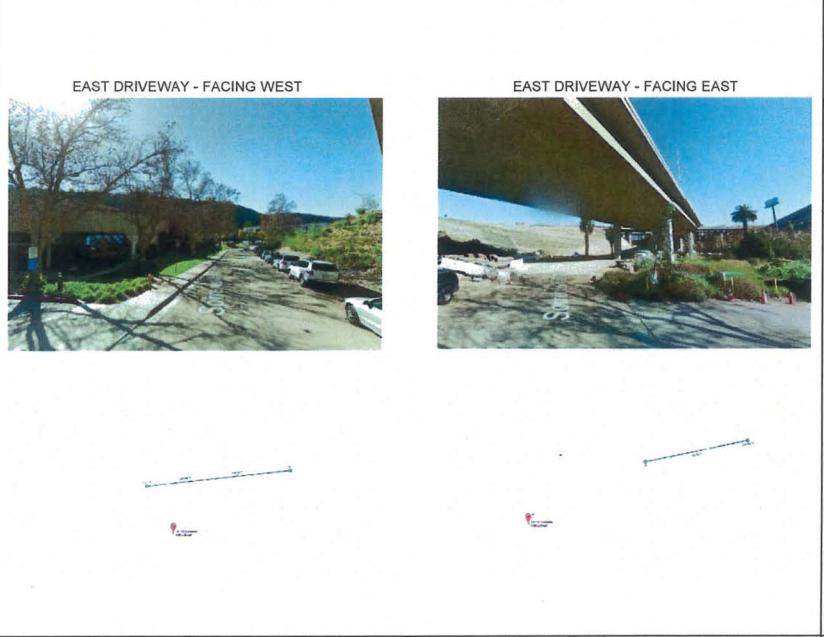
SHEET NO:
P4.0



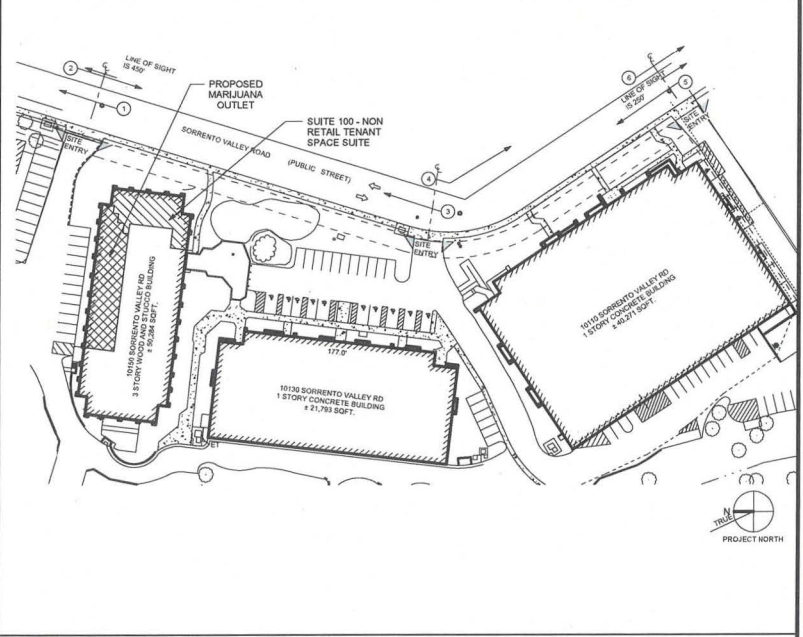
WEST DRIVEWAY: ① ②




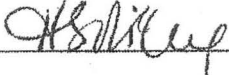
CENTER DRIVEWAY: ③ ④



EAST DRIVEWAY: ⑤ ⑥



KEY PLAN N.T.S.

	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	Development Permit/ Environmental Determination Appeal Application	FORM DS-3031 November 2017
<p align="center">In order to assure your appeal application is successfully accepted and processed, you must read and understand Information Bulletin 505, "Development Permits/Environmental Determination Appeal Procedure."</p>			
1. Type of Appeal: <input checked="" type="checkbox"/> Appeal of the Project <input type="checkbox"/> Appeal of the Environmental Determination			
2. Appellant: Please check one <input type="checkbox"/> Applicant <input type="checkbox"/> Officially recognized Planning Committee <input checked="" type="checkbox"/> "Interested Person" <small>(Per M.C. Sec. 113.0103)</small>			
Name: SVRMC, LLC c/o Heather Riley		E-mail: hriley@allenmatkins.com	
Address: 600 West Broadway, 27th Floor	City: San Diego	State: CA	Zip Code: Telephone: 92101 619-233-1155
3. Project Name: Sorrento Valley MO CUP			
4. Project Information Permit/Environmental Determination & Permit/Document No.: Date of Decision/Determination City Project Manager: Project Number 545299 09/19/18 Cherlyn Cac			
Decision(Describe the permit/approval decision): A conditional use permit (CUP) was approved by the Hearing Officer for a marijuana outlet (MO) at 10150 Sorrento Valley Road, Suite 110 within the Torrey Pines Community Plan area.			
5. Ground for Appeal(Please check all that apply): <input checked="" type="checkbox"/> Factual Error <input type="checkbox"/> New Information <input checked="" type="checkbox"/> Conflict with other matters <input type="checkbox"/> City-wide Significance (Process Four decisions only) <input checked="" type="checkbox"/> Findings Not Supported			
Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)			
<p>The project should not have been approved. The applicant, who is the primary tenant of the subject building and the two adjacent buildings, has made significant changes to the interior and exterior of the property to benefit his future business. The CUP should not have been approved until the grading issue was properly investigated. The same day the Hearing Officer improperly approved the CUP (September 19, 2018), a code enforcement investigation was opened for this site (Case No. 0503370). A copy of the Request for Investigation with more detail is attached to this application. In light of the pending investigation into the unpermitted work at the site, the CUP should not be issued because the project will be detrimental to the public health, safety and welfare and more importantly, the project does not comply with the requirements of the Land Development Code.</p>			
<p align="center">RECEIVED OCT 03 2018 DEVELOPMENT SERVICES</p>			
6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.			
Signature: 		Date: 10/3/18	
<p align="center"><i>Note: Faxed appeals are not accepted.</i></p>			



THE CITY OF
SAN DIEGO
 CODE ENFORCEMENT DIVISION
 DEVELOPMENT SERVICES DEPARTMENT
REQUEST FOR INVESTIGATION

ATTACHMENT 2

FOR OFFICE USE ONLY

DATE _____

BY _____

CED # _____

10150 Sorrento Valley Road		92121	
VIOLATION ADDRESS	APT. #	ZIP CODE	CROSS STREET
HELF Sorrento LLC Sean St. Peter			619-297-3900
OWNER	AGENT/MANAGER/RESPONSIBLE PARTY	TENANT/LESSEE	PHONE NUMBER
1333 Camino Del Rio South	San Diego	CA	92108
ADDRESS	CITY	STATE	ZIP CODE

Check the appropriate box if you believe the violation includes (provide details below):

- Dangerous/Unstable structures
 Inadequate barriers for pools/spas
 Leaking sewage
 Live, exposed electrical wires
 Uninhabitable living conditions

ALLEGED VIOLATION DETAILS:

Please see attached letter, dated August 9, 2018, to Morgan Dresser, City of San Diego Development Services Department. In particular, we are concerned that the applicant has removed trees, rocks and land formations from the project site without a permit. The photos attached to the August 9 letter as Exhibit A document the unpermitted work.

IS THIS RESIDENTIAL PROPERTY?
 SINGLE FAMILY
 DUPLEX
 MULTIFAMILY
 IS THIS A RENTAL PROPERTY?
 YES
 NO
 IS THERE ANY DRUG ACTIVITY AT THE SITE?
 YES
 NO
 ARE THERE LOOSE PETS AT THE SITE?
 YES
 NO

NOISE ONLY:

NOISE OCCURS
 EVERY DAY
 DAYTIME (7 A.M. TO 7 P.M.)
 5 TO 15 MINUTES.
 ONCE OR TWICE A WEEK
 EVENING (7 P.M. TO 10 P.M.)
 15 TO 30 MINUTES.
 ON WEEKENDS
 NIGHT (10 P.M. TO 7 A.M.)
 MORE THAN 30 MINUTES.

NAME: Heather Riley ADDRESS: 600 West Broadway, 27th Floor, San Diego, CA 92101

DAYTIME PHONE NUMBER: 619-233-1155 LANGUAGE SPOKEN: English

EMAIL ADDRESS: hriley@allenmatkins.com DATE: 09/18/18

ADDITIONAL INFORMATION (please include required additional supporter contact information for noise complaints here):

PLEASE REFER TO www.sandiego.gov/ced FOR FURTHER INFORMATION AND FORMS.

Allen Matkins

Allen Matkins Leck Gamble Mallory & Natsis LLP
Attorneys at Law
One America Plaza
600 West Broadway, 27th Floor | San Diego, CA 92101-0903
Telephone: 619.233.1155 | Facsimile: 619.233.1158
www.allenmatkins.com

Heather S. Riley
E-mail: hriley@allenmatkins.com
Direct Dial: 619.235.1564 File Number: 999903-14000/SD874104.01

Via Electronic Mail

August 9, 2018

Morgan Dresser
City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

**Re: Comments on the Draft Negative Declaration for the Sorrento Valley MO
(Project No.: 545299)**

Dear Ms. Dresser:

Thank you for the opportunity to provide comments on the Draft Negative Declaration ("ND") for the Sorrento Valley Marijuana Outlet ("MO"), Project No. 545299 ("Project"). This comment letter is submitted on behalf of my client, SVRMC, LLC ("SVRMC"). As you may know, SVRMC is processing an application for MO San Diego Releaf, Project No. 575936 on the parcel immediately adjacent to the Project. As such, SVRMC has an interest in ensuring that the City of San Diego ("City") reviews all pending MO applications in a fair and equitable manner. Towards that end, please add my name to the Project's interested persons list and notify me of any and all future Project actions.

CEQA OVERVIEW

The California Environmental Quality Act ("CEQA") mandates that discretionary projects undergo an environmental review to determine whether the activity in question will result in a significant impact on the environment. "With certain limited exceptions, a public agency must prepare an [environmental impact report ("EIR")] whenever substantial evidence supports a fair argument that a proposed project may have a significant effect on the environment. Significant effect on the environment means a substantial, or potentially substantial, adverse physical change in the environment." (*Protect Niles v. City of Fremont* (July 16, 2018, A151645) ___ Cal.App.5th ___ [p. 7].)

"If there is substantial evidence in the whole record supporting a fair argument that a project may have a significant non mitigatable effect on the environment, the lead agency shall prepare an EIR, even though it may also be presented with other substantial evidence that the project will not

Allen Matkins Leck Gamble Mallory & Natsis LLP
Attorneys at Law

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have a significant effect." (*Ibid.*) Importantly, "[m]ay means a reasonable possibility." (*Id.* at p. 8.) In effect, the "fair argument standard is a low threshold test for requiring the preparation of an EIR. . . . Review is de novo, with a preference for resolving doubts in favor of environmental review." (*Ibid.*; *emphasis in original.*)

A ND may be appropriate when an agency determines that a proposed project would not have a significant effect on the environment. (Pub. Res. Code § 21080(c).) However, if there is substantial evidence in the record that the project may have a significant effect on the environment, an EIR is required. (Pub. Res. Code § 21080(d).) "Substantial evidence means enough relevant information and reasonable inferences from this information that a fair argument can be made to support a conclusion, even though other conclusions might also be reached." (*Protect Niles, supra*, at p. 8.)

In light of the above legal direction, we believe that our comments constitute substantial evidence to support a fair argument that the Project may have a significant effect on the environment. We therefore urge the City to press pause on the Project's entitlement process until the issues below can be addressed in an EIR.

SUBSTANTIVE AND PROCEDURAL COMMENTS

As an initial matter, it is important to point out that the "Public Notice of a Draft Negative Declaration" ("Notice") and the associated ND contain errors that violate the requirements of CEQA. First, the Notice states that it "was published in the San Diego Daily Transcript and distributed on December 21, 2017." The inaccurate date undermines the adequacy of the review period, such that a new Notice, with a new review period, must be distributed.

Second, the Notice refers to the Project indicated above. However, the "Subject" of the ND identifies the Project as "Sorrento Valley MMCC." Because the Project applicant is not processing a medical marijuana consumer cooperative, that error must be corrected and an accurate Draft ND should be released for review.

Next, the ND incorrectly describes the Project. Although the ND states that "[t]here is no grading proposed for the project," it is my understanding that the applicant has prematurely removed trees, rocks and land formations from the Project site ahead of permit issuance. Attached to this letter as Exhibit A are two site photographs. The first was submitted by the Project applicant and the second was taken on June 22, 2018. As can be clearly seen, the photos do not match and the Project's environmental baseline is not static.

From a CEQA perspective, the Project Description error, which represents a significant change in the Existing Setting, also may be considered a potentially significant aesthetic impact since the Project arguably has degraded the existing visual character of the site.

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Attorneys at Law

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In fact, the inaccurate Project Description is further compromised by the fact that the applicant is relying on an outdated survey from 2006. A comparison of the 12-year old survey with the existing conditions on the ground today shows a number of inaccuracies in the layout and location of the existing parking. In fact, it appears from a review of the 2006 survey that the parking count may be off by as many as 20 parking spaces. Since the ND's Project Description states that the "minimum parking required for the site is 375 parking stalls, of which 20 are required for the MO," it is incumbent that the City resolve this issue so that the Project will have a stable and finite project description on which the decisionmakers and the public can rely.

The ND concludes that the Project will not result in any land use and planning impacts. However, the Project as proposed does not comply with the 2016 California Building Code ("CBC") or the San Diego Municipal Code ("SDMC"), and as a result, there is a fair argument that the Project would conflict with an "applicable land use plan, policy, or regulation of an agency with jurisdiction over the project."

For example, the Project's existing pedestrian walkway does not comply with Section 11B-403.5.1 of the CBC, which was adopted by the City and incorporated into the SDMC. (SDMC § 145.0103(a).) Specifically, the existing walkway is too narrow and the slope in the direction of travel, as well as the cross slope, are greater than the allowable maximum.

In addition, the Project fails to provide an accessible parking space outside of the facility's main entrance in contradiction of the requirement in Section 11B-208.3 of the CBC. Although the CBC requires that an accessible parking space be provided on the shortest accessible path from the space to the building entrance, the Project relies on accessible spaces that are at a remove from the facility and are not substantially equivalent according to CBC section 11B-208.3.1(2).

Moreover, the Project does not provide the necessary number of street trees required by the City's Landscape Regulations. (*See, e.g.*, SDMC § 142.0409.) In sum, there is a reasonable possibility that the Project will cause a significant land use impact.

Finally, the ND relies on an erroneous traffic analysis to determine that the Project would not cause a transportation/traffic impact. Specifically, the Darnell & Associates analysis, dated June 28, 2018 ("Report"), relies on traffic counts from March and April of 2018 that may not provide an accurate overview of traffic in the area. Our concern over the adequacy of the traffic counts is compounded by the fact that the Report estimated traffic volumes on Carroll Canyon Road and relied on outdated Highway Capacity Manual methodology.

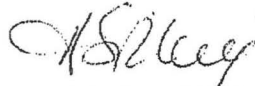
Furthermore, we also believe that the Report's cumulative project review must be updated because it utilized a "list of projects" approach that improperly included two nearby proposed MOs in its analysis. Under current City law and policy, neither of those MOs can be approved if the Project is approved, so the Report must be revised to provide an accurate near-term cumulative analysis.

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Attorneys at Law

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Thank you again for the opportunity to comment on the Project's ND. We look forward to working with the City on this and other matters in the future.

Very truly yours,

A handwritten signature in black ink, appearing to read "H. Riley", written in a cursive style.

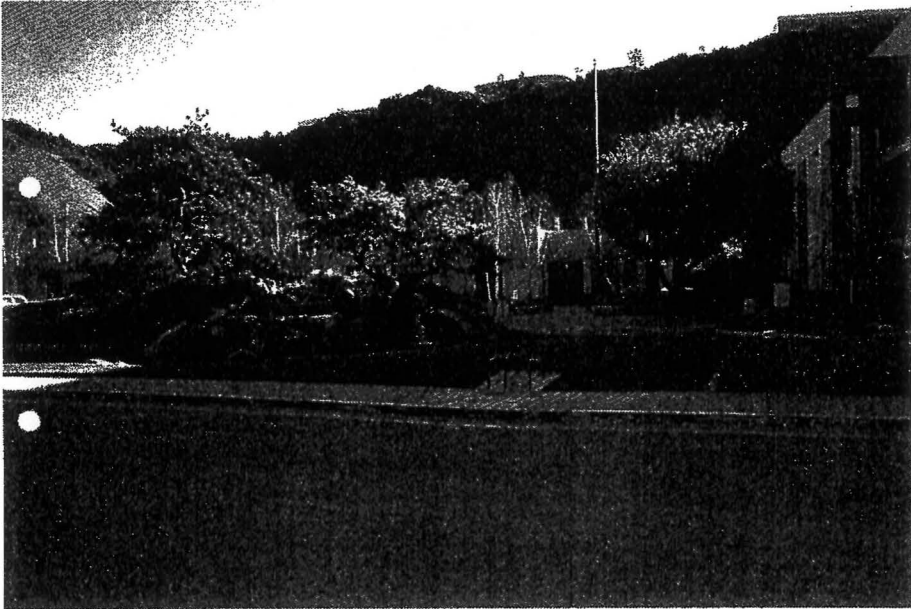
Heather S. Riley

HSR:ptl

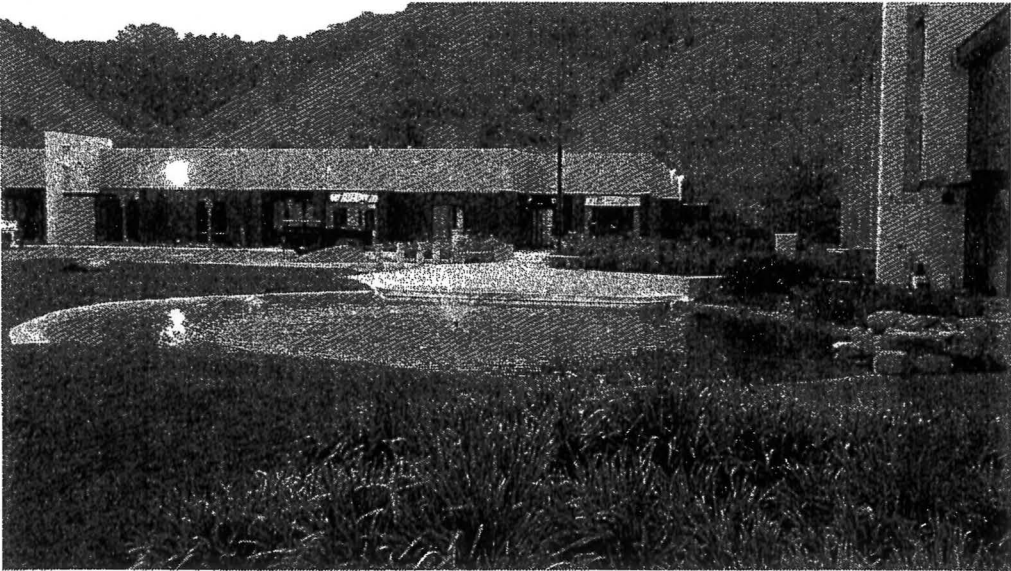
EXHIBIT "A"

TECHNE
DESIGN | DEVELOPMENT

Applicant Photograph 35



Current Existing Conditions on 06.22.18



PLANNING COMMISSION RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 1927100
COASTAL DEVELOPMENT PERMIT NO. 2173348
SORRENTO VALLEY MO CUP - PROJECT NO. 545299

WHEREAS, HELF SORRENTO, LLC, a California Limited Liability Company, Owner, and SEAN ST. PETER, an Individual, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Outlet in a 3,475 square-foot tenant space, Suite 110, on the first floor of an existing 50,284 square-foot, three-story building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1927100 and 2173348), on portions of a 12.04-acre site;

WHEREAS, the project site is located at 10150 Sorrento Valley Road, Suite 110, in the IL-3-1 Zone, Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Land Use Compatibility Overlay Zone (Airport Influence Area – Review Area 1 and Accident Potential Zone 2), Federal Aviation Administration (FAA) Part 77 Noticing Area, Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway), and Transit Priority Area within the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of Official Records of the San Diego County Recorder's Office;

WHEREAS, on September 19, 2018, the Hearing Officer of the City of San Diego adopted Negative Declaration No. 545299, and approved Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 3, 2019, SVRMC, LLC c/o Heather Riley filed an Environmental Determination Appeal Application (Environmental Appeal) and a Development Permit Appeal Application (Project Appeal);

WHEREAS, thereafter the Applicant reduced the square footage of the proposed project from 3,980 square feet to 3,475 square feet and submitted revised plans to the City; and

WHEREAS the Negative Declaration was revised to reflect the square footage reduction, and the analysis of the project with the reduction determined there would not be any significant impacts and no mitigation is required;

WHEREAS, on April 16, 2019, the City Council denied the Environmental Appeal and approved the recirculated Negative Declaration No. 545299, dated March 20, 2019, pursuant to Resolution No. R-312385;

WHEREAS, on June 13, 2019, the Planning Commission of the City of San Diego considered the Project Appeal, and Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348 pursuant to the Land Development Code of the City of San Diego, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it denies the Project Appeal and adopts the following findings with respect to Conditional Use Permit No. 1927100 and Coastal Development No. 2173348:

That the Planning Commission adopts the following written Findings, dated June 13, 2019.

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]**1. Findings for all Conditional Use Permits:****a. The proposed development will not adversely affect the applicable land use plan.**

The project is a request for a Conditional Use Permit (CUP) and Coastal Development Permit (CDP) to allow the operation of a Marijuana Outlet (Outlet) in an existing 3,475 square-foot tenant space on the first floor of an existing 50,284 square-foot, three-story building. The developed 12.04-acre project site is located at 10150 Sorrento Valley Road, Suite 110, in the IL-3-1 zone of the Torrey Pines Community Plan (TPCP).

The TPCP designates the site as Industrial Element. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. Pursuant to San Diego Municipal Code (SDMC) Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet would be located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,475 square feet in an existing 50,284 square-foot building. The project's CUP is conditioned that the 50,284 square-foot building cannot be converted to a stand-alone retail building throughout the duration of the CUP, and is required to maintain for lease and occupancy no less than a 2,568 square-foot tenant space within the 50,284 square-foot building for a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require additional parking or result in an intensification of use on the premises. Therefore, the proposed Outlet is a compatible use at this location with a Conditional Use Permit and is consistent with the TPCP land use policies.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes the operation of an Outlet within a 3,475 square-foot tenant space located on the first floor of an existing 50,284 square-foot building at 10150 Sorrento Valley Road, Suite 110. The project proposes interior improvements to an existing tenant space, including entry, reception, administrative offices and facility, and sales area. The proposed development will not be detrimental to the public's health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large.

Approval of the CUP would allow the sale of marijuana to be conditioned in order to prevent potential adverse impacts on the community. The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504 (b) through (m), which have also been incorporated as conditions in the CUP, including prohibiting consultation by medical professionals on-site, prohibiting the use of specified vending machines except by a responsible person (as defined by the SDMC), provision of interior and exterior lighting, alarms, restriction of hours of operation to between 7:00 am and 9:00 pm daily, maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours, and restriction of signage to business name, two-color signs, and alphabetic characters.

In addition to the above, the CUP includes additional security conditions to improve the safety of the building and surrounding neighborhood, including the provision of operable surveillance cameras and a metal detector, use of cameras with a recording device that maintains records for a minimum of 30 days, two security guards during business hours with one security guard present on the premises 24 hours a day, seven days a week, installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees, and installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in common areas with other tenants, reception area, and vault room. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

Furthermore, construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through construction review and building inspections.

Outlets require compliance with SDMC Section 141.0504 (a), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. Outlets also require a minimum distance requirement of 100 feet from a residential zone. The proposed Outlet complies with the separation requirements between uses set forth in SDMC Section 141.0504 (a).

The proposed project will be required to comply with the development conditions as described in the CUP No. 1927100 and CDP No. 2173348. The CUP No. 1927100 and CDP No. 2173348 will be valid for five years and may be revoked if the Owner or Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety, and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in CUP No. 1927100 and CDP No. 2173348. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety, and welfare. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the operation of an Outlet within an existing 3,475 square-foot tenant space located on the first floor of an existing 50,284 square-foot building at 10150 Sorrento Valley Road, Suite 110. The site was developed in 1979. The developed 12.04-acre site is located in the IL-3-1 zone and an Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The project has been determined to be exempt from the Environmentally Sensitive Lands (ESL) regulations of the Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway) pursuant to SDMC Sections 143.0110 (b)(4) and (c)(1), because there is no addition or modification to the existing development, other than interior tenant improvements proposed. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505 (c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Outlets require compliance with SDMC Section 141.0504 (a), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. Outlets also require a minimum distance requirement of 100 feet from a residential zone. The proposed Outlet complies with the separation requirements between uses set forth in SDMC Section 141.0504 (a). The proposed Outlet is subject to specific operations requirements for security, as referenced in CUP No. 1927100 and CDP No. 2173348, in lighting, security cameras, alarms, and security guards. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The project is required and conditioned to retain a minimum 2,568 square-foot tenant space within the 50,284 square-foot building for lease and occupancy by a non-retail commercial use permitted by right in the IL-3-1 Zone, that does not require additional parking or result in an intensification of use on the premises. Furthermore, the project is conditioned such that the 50,284 square-foot building cannot be converted to a stand-alone retail building during the term of the CUP.

The CUP for the project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with all the relevant regulations of the SDMC for an Outlet. No variance or deviations are requested as part of this application, nor are any required to approve the CUP. Therefore, the proposed development will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project proposes the operation of an Outlet within an existing 3,475 square-foot tenant space located on the first floor of an existing 50,284 square-foot building at 10150 Sorrento Valley Road, Suite 110. The site was developed in 1979. The 12.04-acre project site is in the IL-3-1 zone of the TPCP.

The project site is designated Industrial per the TPCP. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. The IL Zones permit a range of uses, including non-industrial uses in some instances. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet would be located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,475 square feet in an existing 50,284 square-foot building. The project's CUP is conditioned that the 50,284 square-foot building cannot be converted to a stand-alone retail building throughout the duration of the CUP, and that a minimum 2,568 square-foot tenant space within the 50,284 square-foot building will be leased and occupied by a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require additional parking or result in an intensification of use on the premises.

Outlets require compliance with SDMC Section 141.0504 (a), which require a 1,000-foot separation, measured between property lines from, resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. Outlets also require a minimum distance requirement of 100 feet from a residential zone. The proposed Outlet complies with the separation requirements between uses set forth in SDMC Section 1141.0504 (a). The proposed Outlet is subject to specific operational requirements for security, as referenced in CUP No. 1927100 and CDP No. 2173348, including lighting, security cameras, alarms, and security guards. Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed Outlet is consistent with all land development regulations relevant for the site and the use. No deviations are required or requested to approve the Conditional Use Permit. The proposed Outlet is classified as retail sales use for this location with a Conditional Use Permit. Therefore, based on all the facts cited above and conditions of approval, the proposed Outlet is an appropriate use at the proposed location.

B. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public review to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the operation of an Outlet within a 3,475 square-foot tenant space within an existing 50,284 square-foot building located at 10150 Sorrento Valley Road, Suite 110. The project site is located approximately 2.6 miles from the Pacific Ocean. The project is proposed within an existing developed site and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the TPCP and Local Coastal Land Use Plan. The proposed project meets all the development standards required by the underlying zone. Therefore, the project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the TPCP and Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect Environmentally Sensitive Lands.**

The project proposes the operation of an Outlet within a 3,475 square-foot tenant space within an existing 50,284 square-foot building located at 10150 Sorrento Valley Road, Suite 110. The project site contains Environmentally Sensitive Lands (ESL) in the form of Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway). The project has been determined to be exempt from the permit requirements of the ESL regulations pursuant to SDMC Sections 143.0110(b)(4) and (c)(1), because no encroachment into the environmentally sensitive lands is proposed and the development is limited to interior

modifications that does not increase the footprint of an existing building, and will not encroach into the environmentally sensitive lands during or after construction. The project requests a CUP and CDP to operate an Outlet in a tenant suite within an existing building. Therefore, the proposed development will not adversely affect Environmentally Sensitive Lands.

c. The coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project requests a CUP and CDP to allow the operation of an Outlet in an existing 3,475 square-foot tenant space, Suite 110, on the first floor of an existing 50,284-square-foot, three-story building. The developed 12.04-acre project site is located at 10150 Sorrento Valley Road in the IL-3-1 zone of the TPCP. The project site is located approximately 2.6 miles from the Pacific Ocean. The project is proposed within an existing developed site and will not encroach upon any existing or proposed physical access to the coast. The site does not contain a public view as identified within the TPCP and Local Coastal Land Use Plan.

The project site is designated Industrial by the TPCP and is zoned IL-3-1. TPCP land use in Sorrento Valley is generally implemented by the IL-3-1 Zone, which is an industrial zone that allows industrial, retail, and commercial uses. The IL Zones permit a range of uses, including non-industrial uses in some instances. Pursuant to SDMC Section 131.0622, retail sales and commercial services are permitted uses in the IL-3-1 Zone. The proposed Outlet is allowed in the IL-3-1 Zone with a CUP pursuant to SDMC Sections 131.0622 and 141.0504. The site is within the Industrial Employment General Plan land use category per the Land Use and Street System Map (Figure LU-2). The Sorrento Valley industrial area, including this site, is identified as Prime Industrial Lands (PIL) by the General Plan. A General Plan goal for identifying PIL is to protect valuable employment land for base sector industries important to the region's economy. An Outlet is not considered a base sector employment. The General Plan allows development or redevelopment of individual properties pursuant to the development regulations and permitted uses of the existing zone and community plan designation provided a site is not critical to base sector employment. The project site is not critical to achieving the City's base sector employment goal. General Plan policies also specifically restrict sensitive receptor land uses such as residential and public assembly in PIL. An Outlet is not a sensitive receptor land use.

Furthermore, the TPCP contains a policy that states development of freestanding retail commercial uses in industrially designated areas shall be restricted to those uses that serve only the immediate Sorrento Valley industrial area. Due to the limited amount of Marijuana Outlets permitted in each Council District and the use is restricted to a few zones with a CUP, the proposed Outlet would serve the community. Therefore, the proposed Outlet is located in an existing developed property containing three commercial/industrial buildings, and the proposed Outlet would occupy a tenant space of 3,475 square feet in an existing 50,284 square-foot building. The project's permit is conditioned that the 50,284 square-foot building cannot be converted to a stand-alone

retail building throughout the duration of the permit, and requiring a minimum 2,568 square-foot tenant space within the 50,284 square-foot building for lease and occupancy by a non-retail commercial use permitted by right in the IL-3-1 Zone, which does not require additional parking or result in an intensification of use on the premises. The proposed Outlet does not increase the footprint of the existing building. The project is not requesting, nor does it require any deviations or variances from the regulations and policy documents and is consistent with the recommended land use and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of California Coastal Act.

The project requests a CUP and CDP to allow the operation of an Outlet in an existing 3,475 square-foot tenant space on the first floor of an existing 50,284 square-foot, three-story building located at 10150 Sorrento Valley Road, Suite 110. The project is proposed on private property on a site that is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The public access to the water, public recreation facilities, or public parking would not be adversely affected by the approval of this coastal development. Therefore, this coastal development is in compliance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that the Appeal is denied, the decision of the Hearing Officer is affirmed, and based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348, is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1927100 and 2173348, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: June 13, 2019

IO#: 24007232

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007232

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1927100
COASTAL DEVELOPMENT PERMIT NO. 2173348
SORRENTO VALLEY MARIJUANA OUTLET CUP - PROJECT NO. 545299
PLANNING COMMISSION

This Conditional Use Permit No. 1927100 and Coastal Development Permit No. 2173348 ("Permit") is granted by the Planning Commission of the City of San Diego to Helf Sorrento, LLC, a California Limited Liability Company, Owner, and Sean St. Peter, an Individual, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305 and 126.0708. The 12.04-acre site is located at 10150 Sorrento Valley Road in the IL-3-1 Zone and Coastal Overlay Zone (Appealable and Non-Appealable) within the Torrey Pines Community Plan area. The project site is legally described as Acre Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of Official Records of the San Diego County Recorder's Office.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate a Marijuana Outlet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 13, 2019, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Outlet in a 3,475 square-foot tenant space located on the first floor of an existing 50,284 square-foot, three-story building, at 10150 Sorrento Valley Road, Suite 110;
- b. Off-street parking; and
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 13, 2022.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. This Permit and corresponding use of this site shall expire on June 13, 2024. The Owner/Permittee may request that the expiration date be extended in accordance with SDMC Section 141.0504(n).
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
 - c. A Marijuana Outlet Permit issued by the Development Services Department is approved in accordance with SDMC Section 42.1504.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

BUILDING OFFICIAL REQUIREMENTS:

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

PLANNING/DESIGN REQUIREMENTS:

13. The 50,284 square-foot building shall not be converted into a stand-alone retail building during the term of this Permit. A minimum of 2,568 square feet of tenant space within the 50,284

square-foot building shall be reserved and maintained for occupancy by a non-retail commercial use that is permitted by right in the IL-3-1 Zone, and does not require additional parking or result in an intensification of use on the premises.

14. The sale of marijuana shall be prohibited without a valid license from the State authorizing such activity.

15. The Marijuana Outlet must comply with Chapter 4, Article 2, Division 15 of the San Diego Municipal Code, including obtaining a Marijuana Outlet Permit, and Background Checks and Reporting Convictions.

16. Consultations by medical professionals shall not be a permitted accessory use at this Marijuana Outlet.

17. Deliveries shall be permitted as an accessory use to and from 10150 Sorrento Valley Road, Suite 110. Each delivery person shall be employed by the Owner or Permittee, the successor, or the person using the property at 10150 Sorrento Valley Road, Suite 110, that is subject to this Permit.

18. The Owner/Permittee shall provide lighting to illuminate the interior of the Marijuana Outlet, façade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.

19. The Owner/Permittee shall install and maintain operable security cameras and a metal detector for security to the satisfaction of Development Services Department. The security cameras shall have and use a recording device that maintains the recordings for a minimum of 30 days. This Marijuana Outlet shall also include alarms and two security guards. The security guards shall be licensed by the State of California. Two security guards must be on the premises during business hours. At least one security guard must be on the premises 24 hours a day, seven days a week. The security guards should only be engaged in activities related to providing security for the Marijuana Outlet, except on an incidental basis.

20. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.

21. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.

22. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Ground signs shall not be pole signs. A primary sign shall be posted on the outside of the Marijuana Outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.

23. The Owner/Permittee shall post and maintain a sign showing the name and emergency contact phone number of an operator or manager in a location visible from outside the Marijuana Outlet in font size at least two inches in height.
24. The Marijuana Outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
25. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in the SDMC Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.
26. The Owner/Permittee shall maintain the Marijuana Outlet, adjacent public sidewalks, and areas under the control of the Owner/Permittee, free of litter and graffiti at all times.
27. The Owner/Permittee shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
28. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of eliminating excessive or offensive odors causing discomfort or annoyance to any reasonable person of normal sensitivities standing outside of the structural envelope of this Marijuana Outlet facility in compliance with SDMC Section 142.0710.
29. Medical marijuana, recreational marijuana, or marijuana products, in any form, shall not be consumed anywhere within the property.
30. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

LANDSCAPE REQUIREMENTS:

31. Prior to the issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall provide for additional trees in the right-of-way to achieve a minimum rate of one canopy tree per 30 linear-feet of street frontage, excluding curb cuts. Plans shall show, label, and dimension a 40 square feet area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including right-of-way, unless long-term maintenance of said landscaping shall be the responsibility of a Landscape Maintenance District or other approved

entity. All required landscape shall be maintained in a disease, weed, and litter free condition at all times consistent with the City of San Diego Landscape Regulations and Standards.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

ENGINEERING REQUIREMENTS:

34. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of three (3) non-standard driveways adjacent to the site on Sorrento Valley Road right-of-way with current City Standards, satisfactory to the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section [34.0103 \(b\)](#), taxable activities include but are not limited to, transporting, manufacturing, cultivating, packaging, or retail sales of cannabis and any ancillary products in the City. For additional information, contact the Office of the City Treasurer at 619-615-1580.

APPROVED by the Planning Commission of the City of San Diego on June 13, 2019 by Resolution No. XXXX.

Permit Type/PTS Approval No.: Conditional Use Permit No. 1927100
Coastal Development Permit No. 2173348
Date of Approval: June 13, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Limited Liability Company

Helf Sorrento, LLC,
a California

Owner

By _____

Name:

Title:

Sean St. Peter, an Individual
Permittee

By _____

Name:

Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



The City of San Diego

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

ATTACHMENT 5

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title

LG SORRENTO

Project No. For City Use Only

545299

Project Address:

10110-30-50 SORRENTO VALLEY ROAD, SAN DIEGO CA

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title:

10110-30-50 Sorrento Valley Road SD

Project No. (For City Use Only) 545299

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____

Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):

HELI Sorrento LLC

Owner Tenant/Lessee

Street Address: 1333 CAMINO DEL RIO S.

City/State/Zip: SAN DIEGO CA 92108

Phone No: 619-297-3900 Fax No:

Name of Corporate Officer/Partner (type or print): FRANK M. GOLOBERG

Title (type or print): MANAGING MEMBER

Signature: Frank M. Goloberg Date: 3-2-17

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

LI Sorrento

Owner Tenant/Lessee

Street Address: 4231 BOULBOA AVE #162

City/State/Zip: SAN DIEGO CA 92108

Phone No: 619-618-8139 Fax No:

Name of Corporate Officer/Partner (type or print): SAN ST PETER

Title (type or print): DIRECTOR

Signature: [Signature] Date: 3-1-17

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Ownership Disclosure Exhibit

Address: 10110 Sorrento Valley Blvd, San Diego Ca 92121

Owners: Goldberg Family Trust 49%

Solomon Family Trust 49%

Managing Partner: Frank Goldberg

DATE: 12.17.18
 JOB NO: 002
 DRAWN: STAFF
 CHECKED: CB



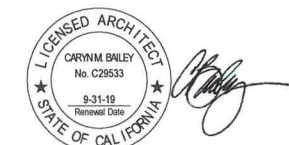
Members of the American Institute of Architects

rAd Architects, Inc.
 1286 University Ave #137
 San Diego, California 92103
 (619) 991-8194

**SORRENTO VALLEY
 MARIJUANA OUTLET - CUP 3**
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
 STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
 ISSUE DATE: 12.17.18



REVISIONS:

DATE	BY	DESCRIPTION
12.10.18	16	CITY COMMENTS

SHEET TITLE:

PROJECT INFORMATION

SHEET NO:

P1.0

SORRENTO VALLEY MARIJUANA OUTLET

10150 SORRENTO VALLEY ROAD, SUITE 110 SAN DIEGO, CALIFORNIA 92121

INDEX OF DRAWINGS

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ARCHITECTURAL	
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P1.1	FINDINGS NOTES & CHECKLIST
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P2.1A	DEMO & EXISTING SITE PLAN
P2.1B	PROPOSED SITE PLAN & PARKING
P2.1C	EXISTING SITE FLOODWAYS
P2.2	ACCESSIBILITY SIGNAGE
P3.0	1ST FLOOR DESCRIPTIVE PLAN
P3.1	2ND & 3RD FLOOR
P4.0	LINE OF SIGHT IMAGES

PROJECT DIRECTORY

OWNER: HELF SORRENTO LLC 1333 CAMINO DEL RIO SOUTH SAN DIEGO, CA 92108 CONTACT: ANNE O'SULLIVAN PHONE: 619.297.3900 EMAIL: anne@seaproperlymanagement.com	ARCHITECT: RAD ARCHITECTS INC 1286 UNIVERSITY AVENUE #137 SAN DIEGO, CA 92103 TEL: 619.991.8194 CONTACT: CARYN BAILEY EMAIL: cbailey@rad-architects.com
TENANT: SORRENTO VALLEY MARIJUANA OUTLET 4231 BALBOA AVE #162 SAN DIEGO, CA 92117 CONTACT: SEAN ST. PETER PHONE: 619.618.8139 EMAIL: sean_stpeter@yahoo.com	CITY OF SAN DIEGO: DEVELOPMENT SERVICES DEPARTMENT 1222 FIRST AVENUE MS 301 SAN DIEGO, CA 92101-4101 TEL: 619.446.5000

PROJECT SUMMARY

PROJECT SUMMARY: THE PROPOSED PROJECT IS A MARIJUANA OUTLET, CUP3. THE ZONE IS IL-3-1. BUILDING WAS BUILT IN 1979.

SCOPE OF WORK: TENANT IMPROVEMENTS INCLUDE: WALLS FOR NEW OFFICES, SECURED BULLET RESISTANT GLASS AND WALLS AT RECEPTION ROOM AND COMMON AREAS, AND CONVERTING EXISTING OFFICE INTO SECURED VAULT.

MINOR SITEWORK TO INCLUDE: DRIVEWAY IMPROVEMENTS, MODIFICATIONS TO PARKING STRIPING, ADDITIONAL MOTORCYCLE / HANDICAP PARKING.

APPLICABLE CODES: ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING THE LATEST EDITIONS OF THE FOLLOWING:

BUILDING:	2016 CALIFORNIA BUILDING CODE
MECHANICAL:	2016 CALIFORNIA MECHANICAL PLUMBING CODE
ELECTRICAL:	2016 CALIFORNIA ELECTRICAL CODE
FIRE:	2016 CALIFORNIA FIRE CODE, CITY MUNICIPAL CODES & APPLICABLE FIRE / LIFE SAFETY CODES.
ENERGY:	2016 CALIFORNIA ENERGY CODE
GREEN ACCESSIBILITY:	2016 CALIFORNIA GREEN BUILDING STANDARDS CODE AMERICANS WITH DISABILITIES ACT (FEDERAL, STATE & LOCAL), REQUIREMENTS NOTED IN CHAPTER 11 OF THE 2016 CALIFORNIA BUILDING CODE

PARCEL ID#: 343-130-16-00
PROPERTY DESCRIPTION: LOT NO: 3 MAP NO: 435 PARCEL ZONE: A - CAM ACREAGE = 12.04 X 43,572 = 524,624 SF

GEOLOGIC HAZARD CATEGORY: 21 & 31
ZONING: IL-3-1 ZONE, TORREY PINES COMMUNITY PLAN AREA
USE: MARIJUANA OUTLET
LAND USE: INDUSTRIAL

OVERLAY ZONES: THE PROJECT IS WITHIN THE COASTAL ZONE BOUNDARY, AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCAS MIRAMAR), ALUCP NOISE CONTOURS (MCAS MIRAMAR 60-65 CNEL), AIRPORT INFLUENCE AREA-REVIEW AREA 1, FAA PART 77 NOTICING AREA, AIRPORT SAFETY ZONE (MCAS MIRAMAR ACCIDENT POTENTIAL ZONE 2), COASTAL OVERLAY ZONE (NON-APPEALABLE), VERY HIGH FIRE HAZARD SEVERITY ZONE, PARKING IMPACT OVERLAY ZONE (COASTAL AND CAMPUS), PRIME INDUSTRIAL LANDS, TRANSIT PRIORITY AREA. (LEGAL DESCRIPTION: LOT NO. 3, MAP NO. 435), SPECIAL FLOOD HAZARD AREA (100 YEAR FLOODWAY AND 100 YEAR FLOODPLAIN), AND COASTAL HEIGHT LIMITATION OVERLAY ZONE

PROPOSED FUTURE USE: OFFICE / FLEX SPACE

DISCRETIONARY PERMITS: NO DISCRETIONARY PERMIT ARE ON FILE AT CITY.

EXEMPTIONS: NONE

BUILDING DATA: OLD TENANT OCCUPANCY: (B) BUSINESS - OFFICES (SCRIPPS) NEW TENANT OCCUPANCY: (B) BUSINESS - SORRENTO VALLEY MARIJUANA OUTLET

CONSTRUCTION RATINGS: TYPE OF CONSTRUCTION: FULLY SPRINKLERED: NO GROSS TENANT AREA: 18,475 SQUARE FEET TOTAL BUILDING AREA: 50,284 SQUARE FEET ACTUAL BUILDING HEIGHT: 36'-0" TO TOP OF DECK, THREE STORIES ALLOWABLE HEIGHT: 30'

TENANT SEPARATION: NON-RATED BETWEEN SORRENTO VALLEY MARIJUANA OUTLET & ADJACENT OFFICES

COLUMNS: INTERIOR BEARING WALLS: NON-RATED INTERIOR NON-BEARING WALLS: NON-RATED BEAMS, GIRDERS, TRUSSES: NON-RATED FLOOR CONSTRUCTION: NON-RATED ROOF / CEILING CONSTRUCTION: NON-RATED

FAA SELF CERTIFICATION

I CARYN BAILEY DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

EXHIBITS

- EXHIBIT A - APPLICANT CORRESPONDENCE
- EXHIBIT B - MARIJUANA OUTLET RADIUS MAP
- EXHIBIT C - PHOTO PACKAGE
- EXHIBIT D - NOTICING PACKAGE
- EXHIBIT E - STORM WATER APPLICABILITY
- EXHIBIT F - CAP CHECKLIST
- EXHIBIT G - SANGIS MAP

CITY OF SD PROJECT NUMBER: 545299

NEW OCCUPANCY: (M) MERCANTILE SORRENTO VALLEY MARIJUANA OUTLET

OCCUPANT LOAD CALCS FOR SORRENTO VALLEY MARIJUANA OUTLET

OCCUPANCY	OCCUPANCY LOAD FACTOR	AREA	LOAD
ENTRY SALES AREA	60	545	10
MAIN SALES AREA	60	2439	41
OFFICES & HALLWAYS	100	275	3
STORAGE & VAULT	300	216	1
TOTAL		3475	55
REQUIRED EXITS			2

EGRESS WIDTH PER SECTION 1005. ALL COMPLY
 BACK DOOR: 27 X 2 = 5.4" - (E) DOOR = 72"
 FRONT ENTRY: 28 X 2 = 5.6" - (E) DOORS = 72"

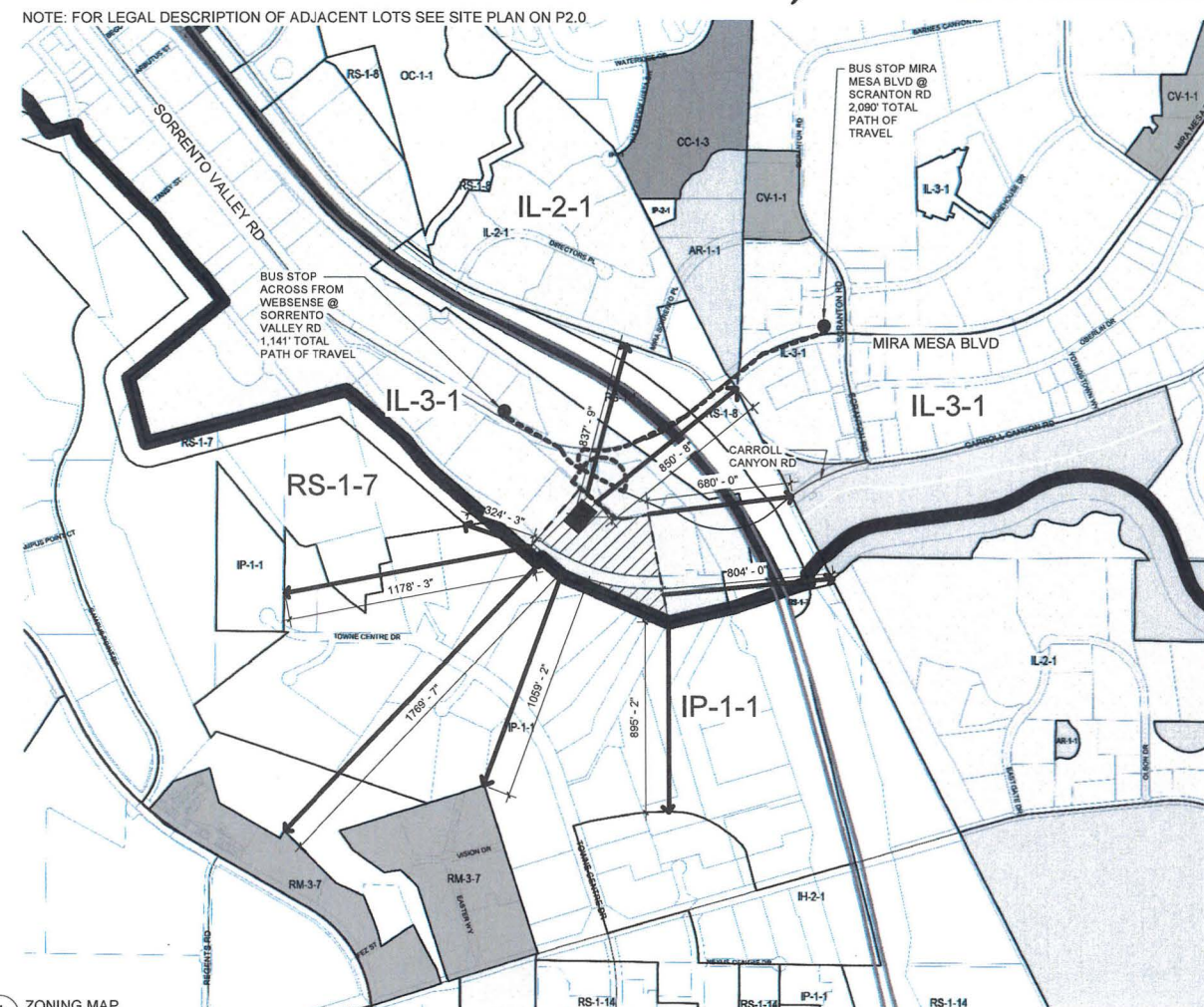
PLUMBING FIXTURE CALCULATIONS

BASED ON 2016 CPC CHAPTER 4

1ST FLOOR SQUARE FOOTAGE: 16,351 SQ. FT.
 1ST FLOOR OCCUPANT LOAD: SQ.FT. / 200 = 82 / 2 = 41 EACH

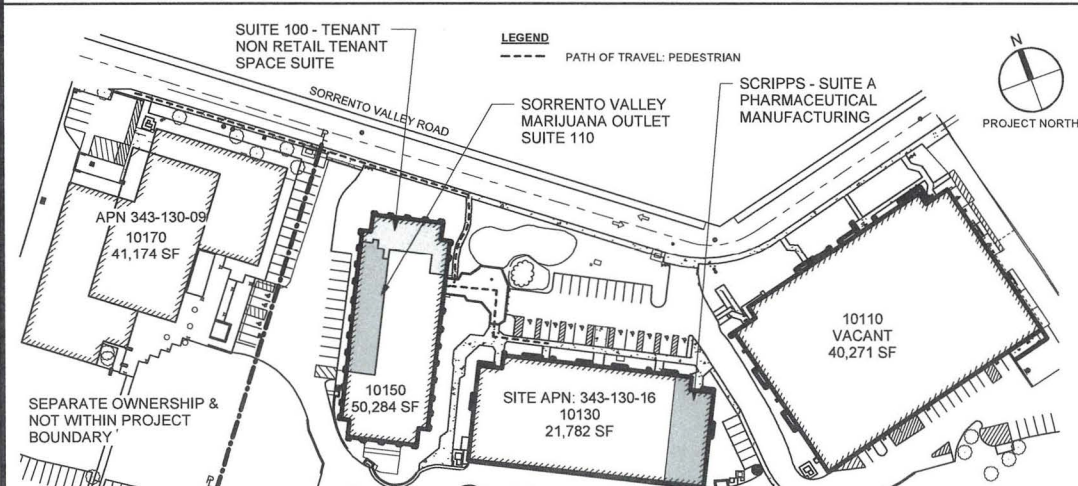
1ST FLOOR MALE OCCUPANTS: 41
 1ST FLOOR FEMALE OCCUPANTS: 41
 SUITE 110 TOTAL SQUARE FOOTAGE: 3,475 SQ. FT.
 SUITE 110 TOTAL OCCUPANT LOAD: SQ.FT. / 200 = 20 / 2 = 10 EACH

FEMALE FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1: 1-15	5
LAVATORIES:	1: 1-50	2
MALE FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1: 1-50	2
URINALS:	1: 1-100	3
LAVATORIES:	1: 1-75	2
UNISEX TOILET	REQUIRED:	PROVIDED:
WATER CLOSETS:	0	0
URINALS:	0	0
LAVATORIES:	0	0
DRINKING FOUNTAIN	REQUIRED:	PROVIDED:
	1: 150	1
MOP SINK	REQUIRED:	PROVIDED:
	1	1



1 ZONING MAP 1" = 400'-0"
 DISTANCE INDICATES DISTANCE TO ADJACENT ZONING AREAS FROM PROPERTY LINE
 PATH OF TRAVEL TO BUS STOPS
 PROJECT NORTH

SITE MAP

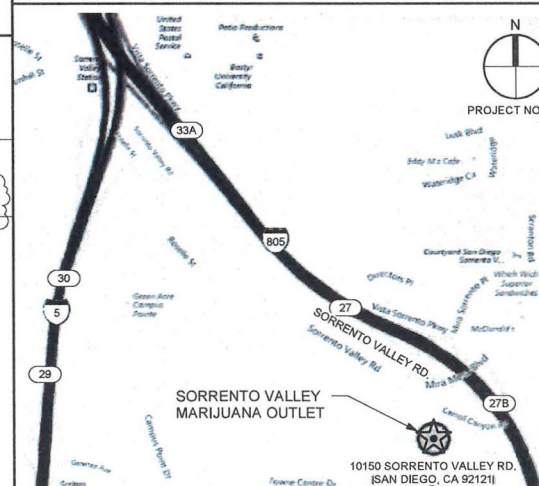


INDUSTRIAL ZONE SITE LOCATION

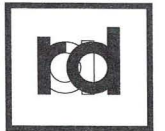
IL-3-1 FAR

TOTAL EXISTING BUILDING SF:	
10110	VACANT 40,271
10130	SCRIPPS 3,981
	VACANT 17,802
	TOTAL 21,793
10150	SUITE 100 MARIJUANA OUTLET 2,393
	VACANT 3,475
	TOTAL 44,446
	TOTAL 50,284
	TOTAL 112,337

FAR = BUILDING SF / PARCEL SF
 112,337 SF / 524,624 SF = 0.214
 FAR = 21.4% < 25%



DATE: 12.17.18
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



Members of the American Institute of Architects

rAd Architects, Inc.
1286 University Ave #137
San Diego, California 92103
(619) 991-8194

SORRENTO VALLEY
MARIJUANA OUTLET - CUP 3
10150 SORRENTO VALLEY ROAD, SUITE 110
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
ISSUE DATE: 12.17.18



REVISIONS:

SHEET TITLE:
**FINDINGS NOTES &
CHECKLIST**

SHEET NO:

P1.1

STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST

Page 4 of 4 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,000 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). Discharging directly to includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No

8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No

9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5033, 5014, 5541, 5322-5324, or 7526-7528. Yes No

10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants past construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sq ft of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.

2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.

3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.

4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydro-modification plus management.

Name of Owner or Agent (Please Print): _____ Title: _____
Signature: _____ Date: 3.29.17

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PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs. If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" was checked for all questions in Part D, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
• Are designed and constructed with permeable pavement or surface in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; next question

2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt. PDP requirements apply

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F.
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project."

1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No

3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the food development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No

4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No

5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

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PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality". The City has aligned the local definitions of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section 2

1. ASBS
a. Projects located in the ASRS watershed.

2. High Priority
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.

3. Medium Priority
a. Projects 1 acre or more but not subject to an ASRS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.

4. Low Priority
a. Projects requiring a Water Pollution Control Plan but not subject to ASRS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements."
If "no" is checked for all of the numbers in Part C continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No

3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grading, overlay, and pothole repair). Yes No

City of San Diego
Development Services
1225 Park Ave., MS-302
San Diego, CA 92101
(619) 448-5000

**Storm Water Requirements
Applicability Checklist** FORM DS-560
February 2018

Project Address: 10150 SORRENTO VALLEY RD, SUITE 110 Project Number (for City Use Only):

SECTION 1. Construction Storm Water BMP Requirements:
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all project complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.
PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity that results in ground disturbance and contact with storm water runoff?
 Yes; WPCP required, skip 3-4 No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip 4 No; next question

4. Does the project only include the following Permit types listed below?
• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot hole, curb and gutter replacement, and retaining wall encroachments.
 Yes; no document required

Check one of the boxes to the right, and continue to PART B:
 If you checked "Yes" for question 1, a SWPPP IS REQUIRED. Continue to PART B.
 If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP IS REQUIRED. If the project footprint less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.
 If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.

More information on the City's construction CGP requirements as well as CGP requirements can be found at: www.sandagwater.com/permitsandlicensing.html
*Based on required paper. Visit our web site at www.sandagwater.com/permitsandlicensing-services
Upon request, this information is available in alternative formats for persons with disabilities. 760-567-3715.

CONDITIONS FOR CONDITIONAL USE PERMIT APPROVAL PER SDMC 141.0504

- (PREV NOTE 5) THE CITY SHALL CONDUCT A BACKGROUND CHECK ON ALL RESPONSIBLE PERSONS AND THE MARIJUANA OUTLET SHALL PROVIDE A LIST TO CITY OF RESPONSIBLE PERSONS UPON REQUEST. RESPONSIBLE PERSONS SHALL ENSURE ALL TRANSACTIONS ARE FULLY DOCUMENTED INCLUDING SOURCE OF MARIJUANA. UPON CITY REQUEST MARIJUANA OUTLET SHALL PROVIDE THE CITY AN AUDIT OF ITS OPERATIONS FOR THE PREVIOUS CALENDAR YEAR, CERTIFIED BY A PUBLIC ACCOUNTANT. THE MARIJUANA OUTLET PERMIT IS VALID FOR ONE YEAR; APPLICATIONS SHOULD BE FILED WITH THE CITY MANAGER.
 - (PREV NOTE 7) ALL PERSON TRANSPORTING MARIJUANA IN CONNECTION WITH THE PROPOSED MARIJUANA OUTLET SHALL DO SO IN ACCORDANCE WITH STATE LAW.
 - (PREV NOTE 8 & 9) CANNABIS AND ALL CANNABIS PRODUCTS PACKAGING AND LABELING SHALL COMPLY WITH ALL APPLICABLE PACKAGING AND LABELING REQUIREMENTS PER STATE OF CALIFORNIA; CITY OF SAN DIEGO PUBLIC HEALTH AND SAFETY; BUREAU OF CANNABIS CONTROL AND ANY OTHER APPLICABLE JURISDICTIONS.
 - (PREV NOTE 10) MARIJUANA OUTLET IS ENCOURAGED TO LABEL PRODUCTS FOR POTENCY AND THE CITY OF SAN DIEGO MAY AT ANY TIME HAVE MARIJUANA TESTED FOR PESTICIDES, MOLDS, MLDEW, AND/OR BACTERIA, AND MAKE SUCH TESTING RESULTS AVAILABLE TO CONSUMERS.
 - (PREV NOTE 12) SECURITY SHALL INCLUDE OPERABLE CAMERAS AND A METAL DETECTOR TO THE SATISFACTION OF DEVELOPMENT SERVICES DEPARTMENT. THIS MARIJUANA SHALL ALSO INCLUDE ALARMS AND TWO SECURITY GUARDS. THE SECURITY GUARD SHALL BE LICENSED BY THE STATE OF CALIFORNIA. TWO SECURITY GUARDS MUST BE ON THE PREMISES DURING BUSINESS HOURS. AT LEAST ONE SECURITY GUARD MUST BE ON THE PREMISES 24 HOURS A DAY, SEVEN DAYS A WEEK. THE SECURITY GUARDS SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE MARIJUANA OUTLET, EXCEPT ON AN INCIDENTAL BASIS. THE CAMERAS SHALL HAVE AND USE A RECORDING DEVICE THAT MAINTAINS THE RECORDS FOR A MINIMUM OF 30 DAYS.
 - (PREV NOTE 13) THE SECURITY GUARD SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS. THE CAMERAS SHALL HAVE AND USE A RECORDING DEVICE THAT MAINTAINS THE RECORDS FOR A MINIMUM OF 30 DAYS.
 - (PREV NOTE 14 & 15) THE OWNER/PERMITTEE SHALL INSTALL FULL HEIGHT BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT ALL WALLS ADJOINING COMMON AREAS AND OTHER TENANTS, AND VAULT ROOM.
 - (PREV NOTE 14 & 15) THE OWNER/PERMITTEE SHALL INSTALL FULL HEIGHT BULLET RESISTANT ARMOR PANELS GLASS, PLASTIC, OR LAMINATE SHIELD AT THE RECEPTION AREA.
 - (PREV NOTE 16) THE OWNER/PERMITTEE OR OPERATOR SHALL MAINTAIN THE MARIJUANA OUTLET, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE OWNER OR OPERATOR, FREE OF LITTER, AND GRAFFITI AT ALL TIMES. THE OWNER OR OPERATOR SHALL PROVIDE FOR DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED WITHIN 24 HOURS.
 - (PREV NOTE 17) THE OWNER/PERMITTEE OR OPERATOR SHALL POST ANTI-LOITERING SIGNS NEAR ALL ENTRANCES OF THE MARIJUANA OUTLET.
 - (PREV NOTE 22) IN ACCORDANCE WITH SDMC, SIGN PLANS SHALL BE REQUIRED ELEMENT OF THE SORRENTO VALLEY DEVELOPMENT PERMIT APPLICATION SUBMITTALS. SIGNAGE SHALL BE IN CONFORMANCE WITH LAND DEVELOPMENT CODE CHAPTER 12, ARTICLE 9, DIVISION 8 (SIGN PERMIT PROCEDURES AND CHAPTER 14, ARTICLE 2, DIVISION 12.
 - (PREV NOTE 23) MARIJUANA OUTLET SHALL NOT BE CONSUMED ANYWHERE WITHIN THE SITE UNLESS PERMITTED.
 - (PREV NOTE 24) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- SDMC §141.0504 MARIJUANA OUTLETS**
MARIJUANA OUTLETS THAT ARE CONSISTENT WITH THE REQUIREMENTS FOR RETAILER OR DISPENSARY LICENSE REQUIREMENTS IN THE CALIFORNIA BUSINESS AND PROFESSIONS CODE MAY BE PERMITTED WITH A CONDITIONAL USE PERMIT DECIDED IN ACCORDANCE WITH PROCESS THREE IN THE ZONES INDICATED WITH A "C" IN THE USE REGULATIONS TABLES IN CHAPTER 13, ARTICLE 1 (BASE ZONES), PROVIDED THAT NO MORE THAN FOUR MARIJUANA OUTLETS ARE PERMITTED IN EACH CITY COUNCIL DISTRICT. MARIJUANA OUTLETS ARE SUBJECT TO THE FOLLOWING REGULATIONS.
- MARIJUANA OUTLETS SHALL MAINTAIN THE MINIMUM SEPARATION BETWEEN USES, AS MEASURED BETWEEN PROPERTY LINES, IN ACCORDANCE WITH SECTION 113.0225.
 - LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE INTERIOR, FACADE, AND THE IMMEDIATE SURROUNDING AREA OF THE MARIJUANA OUTLET, INCLUDING ANY ACCESSORY USES, PARKING LOTS, AND ADJOINING SIDEWALKS. LIGHTING SHALL BE HOODED OR ORIENTED TO DEFLECT LIGHT AWAY FROM ADJACENT PROPERTIES.
 - SECURITY SHALL BE PROVIDED AT THE MARIJUANA OUTLET WHICH SHALL INCLUDE OPERABLE CAMERAS, ALARMS, AND A SECURITY GUARD. THE SECURITY GUARD SHALL BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENT ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARD SHALL ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS.
 - PRIMARY SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE MARIJUANA OUTLET AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, WHICH SHALL CONTAIN ONLY ALPHABETIC CHARACTERS, AND SHALL BE LIMITED TO TWO COLORS.
 - THE NAME AND EMERGENCY CONTACT PHONE NUMBER OF AN OPERATOR OR MANAGER SHALL BE POSTED IN A LOCATION VISIBLE FROM OUTSIDE THE MARIJUANA OUTLET IN CHARACTER SIZE AT LEAST TWO INCHES IN HEIGHT.
 - THE MARIJUANA OUTLET SHALL OPERATE ONLY BETWEEN THE HOURS OF 7:00 AM. AND 9:00 P.M., SEVEN DAYS A WEEK.
 - THE USE OF VENDING MACHINES WHICH ALLOW ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS EXCEPT BY A RESPONSIBLE PERSON, AS DEFINED IN SAN DIEGO MUNICIPAL CODE SECTION 42.1502 IS PROHIBITED. FOR PURPOSES OF THIS SECTION, A VENDING MACHINE IS ANY DEVICE WHICH ALLOWS ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS WITHOUT A HUMAN INTERMEDIARY.
 - MARIJUANA OUTLET MUST OBTAIN A PUBLIC SAFETY PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT PURSUANT TO CHAPTER 4, ARTICLE 2, DIVISION 15 OF THE SAN DIEGO MUNICIPAL CODE NO PERSONS UNDER THE AGE OF 18 SHALL BE PERMITTED INSIDE THE MARIJUANA OUTLET NOT EMPLOYED BY THE PROPOSED MARIJUANA OUTLET.
 - A CONDITIONAL USE PERMIT FOR A MARIJUANA OUTLET SHALL EXPIRE NO LATER THAN FIVE YEARS FROM THE DATE OF ISSUANCE.
 - DELIVERIES SHALL BE PERMITTED AS AN ACCESSORY USE ONLY FROM MARIJUANA OUTLETS WITH A VALID CONDITIONAL USE PERMIT UNLESS OTHERWISE ALLOWED PURSUANT TO THE COMPASSIONATE USE ACT OF 1996.
 - THE MARIJUANA OUTLET, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE MARIJUANA OUTLET, SHALL BE MAINTAINED FREE OF LITTER AND GRAFFITI AT ALL TIMES.
 - THE MARIJUANA OUTLET SHALL PROVIDE DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED FROM THE PREMISES WITHIN 24 HOURS.
 - CONSULTATIONS BY MEDICAL PROFESSIONALS SHALL NOT BE A PERMITTED ACCESSORY USE AT A MARIJUANA OUTLET.

LEGEND OF SYMBOLS

- Legend of symbols including: PL - INDICATES PROPERTY LINE, CL - INDICATES CENTER LINE, etc.

LEGEND OF ABBREVIATIONS

- Legend of abbreviations including: B/P - INDICATES BACKFLOW PREVENTER, D/W - INDICATES CURB INLET, etc.

MONUMENT NOTES

- Monument notes including: FOUND 3/4" IRON PIPE WITH TAG STAMPED RCE 16630 PER ROS 8595, etc.

EASEMENT NOTES

- Easement notes including: REFERS TO EXCEPTION NUMBER LISTED IN CHICAGO TITLE COMPANY'S COMMITMENT FOR TITLE INSURANCE, etc.

NOTES

- Notes including: THE BASIS FOR THIS MAP IS A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE COMPANY, etc.

AREAS

Table with columns: AREA, SQUARE FEET, ACRES. Includes entries for PORTION ACRE LOT 3 GROSS, PORTION ACRE LOT 3 PUBLIC STREET, etc.

ALTA / ACSM LAND TITLE SURVEY IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

LEGAL DESCRIPTION

LEGAL DESCRIPTION text including: A STRIP OF LAND 100 FEET IN WIDTH OVER AND ACROSS SAID LOT 3, LYING EQUALLY 50 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTER LINE OF THE RIGHT OF WAY OF THE ATORSON, TORPEKA AND SANTA FE RAILWAY, etc.

PARCEL B: AN IRREGULAR PIECE OR PARCEL OF LAND IN SAID LOT 3, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT, etc.

PARCEL C: A PORTION OF WAY 100 FEET WIDE, FOR BARRICADE PURPOSES, SAID RIGHT OF WAY BEING 50 FEET ON EACH SIDE OF THE CENTER LINE OF THE RAILROAD OF THE SOUTHERN CALIFORNIA RAILROAD COMPANY, etc.

SURVEYOR'S CERTIFICATE

SURVEYOR'S CERTIFICATE text including: STEPHEN R. HARRIKURST, A REGISTERED LAND SURVEYOR, LICENSE NO. 7355, IN AND FOR THE STATE OF CALIFORNIA, etc.

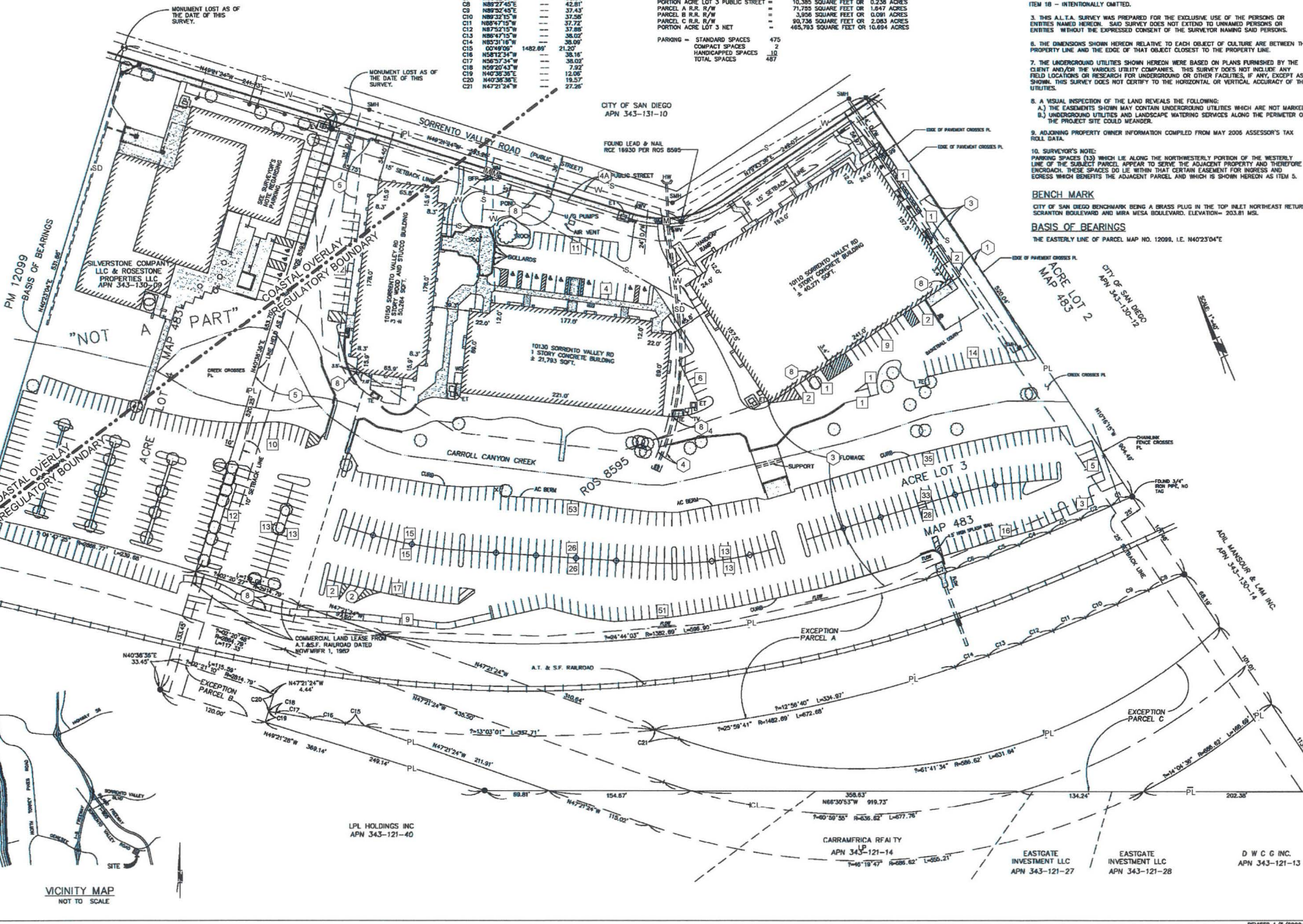
DATE: STEPHEN R. HARRIKURST, L.S. 7355

PREPARED FOR: PACIFIC SORRENTO TECHNOLOGY PARK, LLC 4350 LA JOLLA VILLAGE DRIVE #110 SAN DIEGO, CALIFORNIA 92122

PROJECT SITE: PACIFIC SORRENTO TECHNOLOGY PARK 10110, 10130 & 10150 SORRENTO VALLEY ROAD SAN DIEGO, CALIFORNIA

Project information including: SHEET PLANNING DESIGN CONSTRUCTION, RBF CONSULTING, 6795 CLAYMOUNT MEADOW BLDG. STE. 60 SAN DIEGO, CALIFORNIA 92124-9904

ZONING: THE ZONING IS IS-3-1 (LIGHT INDUSTRIAL) AS SHOWN ON THE PROPERTY PROFILE. ACCORDING TO TABLE 131-09C OF THE CITY OF SAN DIEGO MUNICIPAL CODE 131.06, THE MINIMUM FRONT SETBACK IS 15 FEET.



VICINITY MAP NOT TO SCALE

FOR REFERENCE ONLY

NOTE: ADDITIONAL ADJACENT PROPERTIES SEE NEIGHBORING LEGAL DESCRIPTION DETAIL 6 ON P2.0

SHEET TITLE: 2006 ALTA SURVEY FOR REFERENCE ONLY

SHEET NO: P2.0A

REVISIONS: 1/5/2000: CURB ISLAND, 1/5/2000: PARKING LOT REVISIONS, 6/13/2002: REVISED LEGAL DESCRIPTION AND SURVEYOR'S CERTIFICATE, 3/16/2006: REVISED TITLE REPORT, PARKING, SURVEYOR NAME

DATE: 12.17.18
 JOB NO: 002
 DRAWN: STAFF
 CHECKED: CB



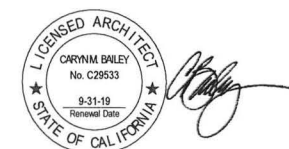
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**SORRENTO VALLEY
 MARIJUANA OUTLET - CUP 3
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121**

CONTRACTOR SHALL BUILD ONLY FROM SETS
 STAMPED "CONSTRUCTION SET" HEREIN

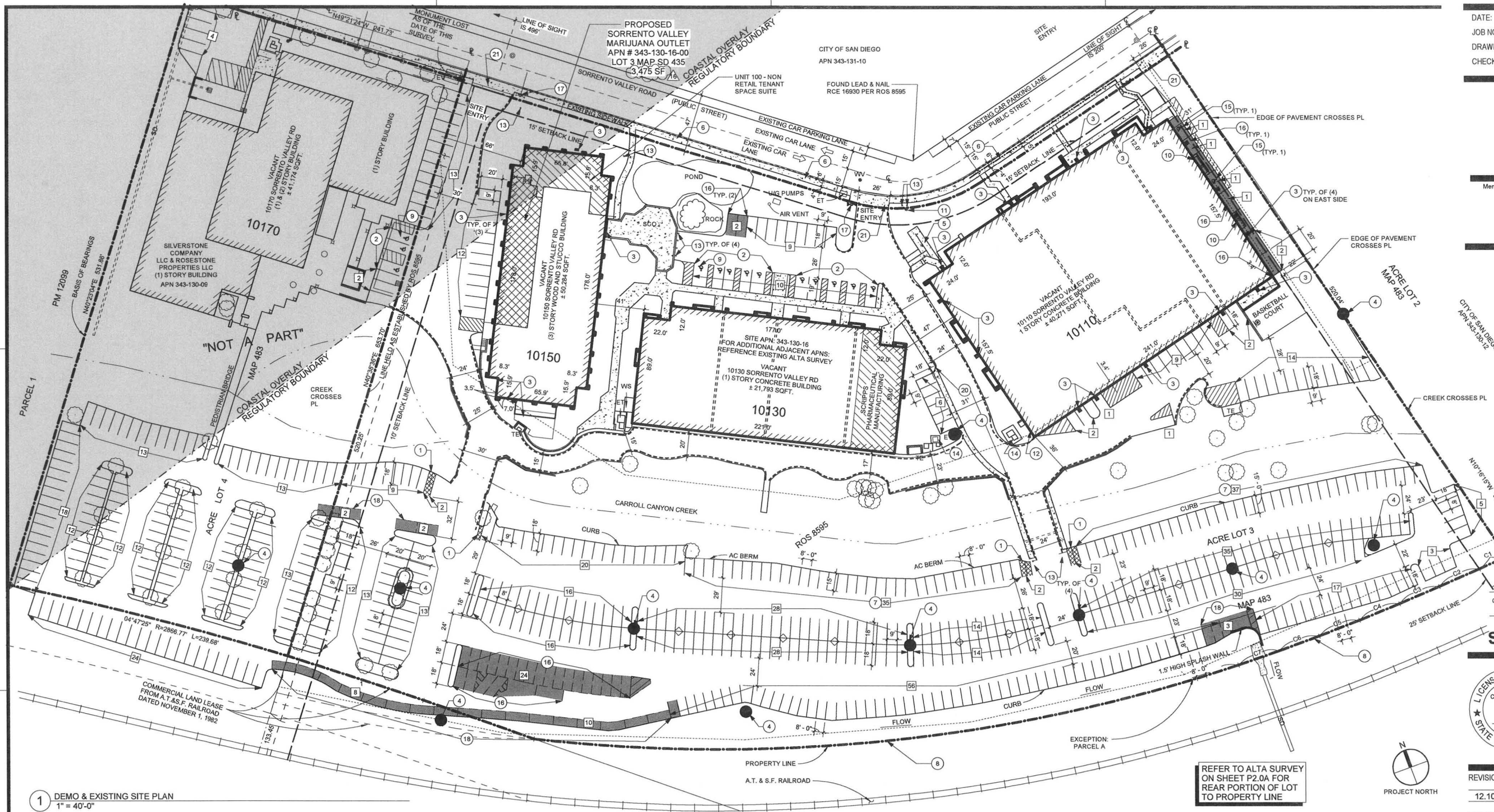
SUBMITTAL SET
 ISSUE DATE: 12.17.18



REVISIONS:
 12.10.18 16 CITY COMMENTS

SHEET TITLE:
DEMO & EXISTING SITE PLAN
 PLAN

SHEET NO:
P2.1A



1 DEMO & EXISTING SITE PLAN
 1" = 40'-0"

REFER TO ALTA SURVEY
 ON SHEET P2.0A FOR
 REAR PORTION OF LOT
 TO PROPERTY LINE

SITE PLAN LEGEND

- | | | | |
|-------------------------------------|--|--------------------|----------------------------------|
| COASTAL OVERLAY REGULATORY BOUNDARY | SCRIPPS PHARMACEUTICAL MANUFACTURER OR OTHER NON RETAIL TENANT | (E) BUILDING LIGHT | PROPERTY LINE |
| (E) SIDEWALK | MOTORCYCLE PARKING | (E) LIGHT POLE | SETBACK LINE |
| SORRENTO VALLEY MARIJUANA OUTLET | SHADING INDICATES RESTRIPING PARKING STALLS | # PARKING STALLS | INDICATES RED CURB |
| | | (E) COMPACT STALLS | EXISTING / PATH OF TRAVEL |
| | | | INDICATES EXISTING DEMISING WALL |

SITE PLAN KEYNOTES

- 1 GRAY HATCH INDICATES (E) MOTORCYCLE PARKING PAINTED WHITE WITH PARKING CONFIGURATION AS INDICATED
- 2 (E) HANDICAP PARKING STALL
- 3 (E) EXTERIOR BUILDING LIGHTS
- 4 (E) EXTERIOR PARKING LIGHTS
- 5 (E) HANDICAP RAMP FROM BUILDING
- 6 (E) PUBLIC SIDEWALK PEDESTRIAN PATH OF TRAVEL
- 7 (E) COMPACT PARKING STALLS
- 8 (E) RETAINING WALL AROUND PERIMETER OF SITE
- 9 (E) HANDICAP PARKING STALL VAN ACCESSIBLE
- 10 (E) EXTERIOR STAIRWAY TO REMAIN
- 11 (E) FIRE MAIN
- 12 (E) GAS METER TO REMAIN
- 13 (E) BOLLARDS TO REMAIN
- 14 (E) ELECTRICAL BOX
- 15 RESTRIPE EXISTING HANDICAP PARKING STALL. COORDINATE RELOCATION WITH PROJECT MANAGER
- 16 RESTRIPE EXISTING PARKING STALLS
- 17 (E) FIRE HYDRANT TO REMAIN
- 18 REMOVE STALL STRIPING BY PAINTING OVER EXISTING LINES WITH BLACK PAINT
- 19 NOT USED
- 20 (E) CONCRETE PAVING FLUSH WITH ASPHALT PAVING
- 21 RECONFIGURE DRIVEWAY PER CITY OF SAN DIEGO STANDARDS

SITE PLAN GENERAL NOTES

- A. TRANSIT STOPS - SEE ZONING MAP ON P1.0
- B. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- C. FIRE HYDRANTS - SEE SITE PLAN DRAWING FOR LOCATIONS

**NO SOILS DISTURBANCE
 PROPOSED AS A PART
 OF THIS PROJECT**

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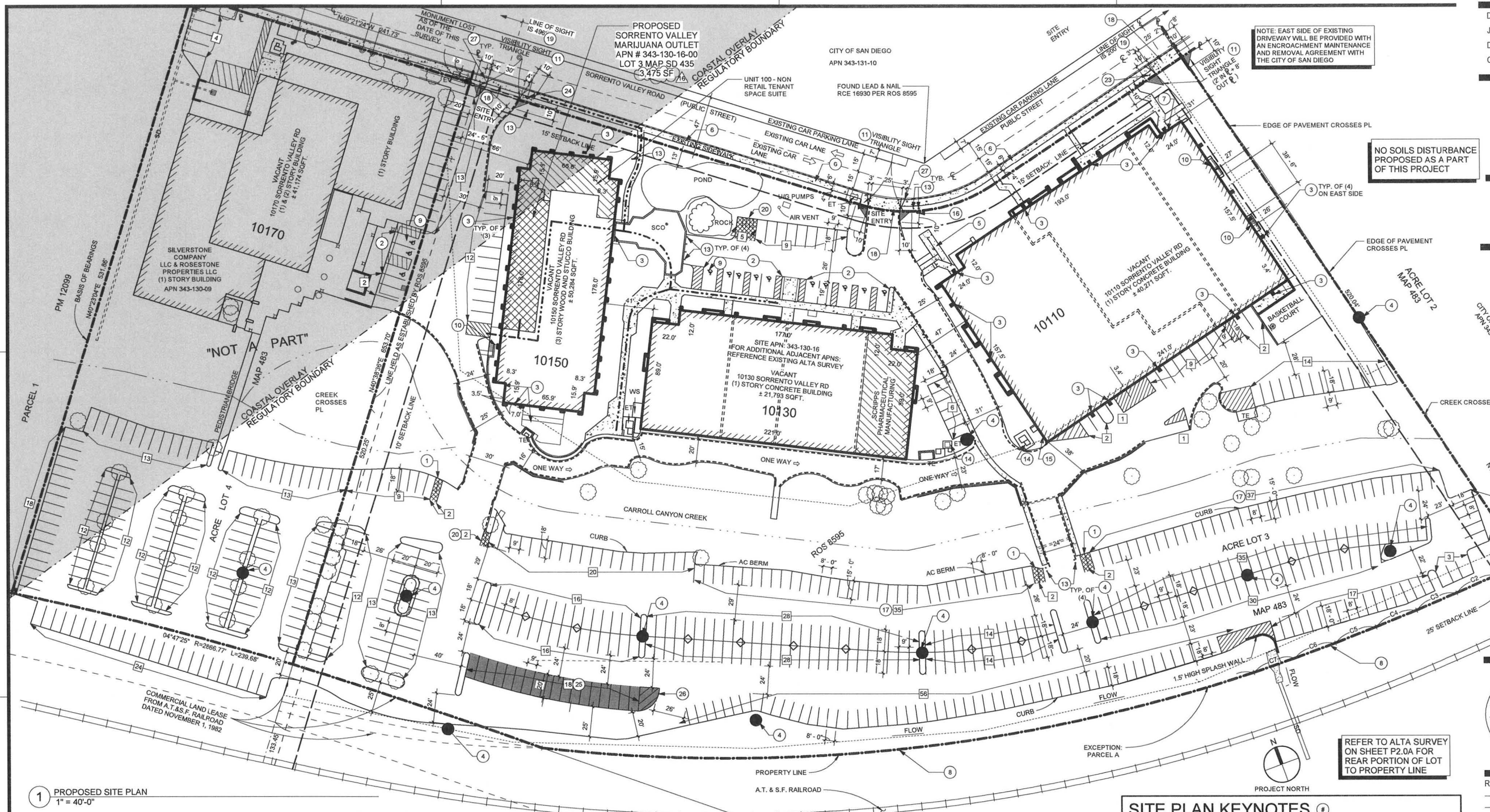
SUBMITTAL SET
 ISSUE DATE: 12.17.18



REVISIONS:
 12.10.18 16 CITY COMMENTS

SHEET TITLE:
**PROPOSED SITE PLAN &
 PARKING**

SHEET NO:
P2.1B



NOTE: EAST SIDE OF EXISTING DRIVEWAY WILL BE PROVIDED WITH AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WITH THE CITY OF SAN DIEGO

NO SOILS DISTURBANCE PROPOSED AS A PART OF THIS PROJECT

REFER TO ALTA SURVEY ON SHEET P2.0A FOR REAR PORTION OF LOT TO PROPERTY LINE

1 PROPOSED SITE PLAN
 1" = 40'-0"

EXISTING PARKING COUNT IL-3-1	
FOR BUILDINGS 10110, 10130, 10150	
EXISTING STANDARD STALLS	= 12
EXISTING ADA PARKING	= 10
10 STANDARD SPACES + 2 VAN SPACES	= 12
TOTAL EXISTING PARKING	= 513
MODIFIED PARKING SPACES	
EXISTING STANDARD STALLS TO BE REMOVED	= 501
STANDARD STALLS TO BE REMOVED	= 29
PROPOSED STANDARD STALLS	= 472
EXISTING ADA PARKING	
EXISTING STANDARD SPACES + 2 VAN SPACES	= 12
ADA PARKING SPACES TO BE REMOVED	= 2
PROPOSED ADA SPACES	= 10
REQUIRED ADA PARKING 478 X 0.02	= (9.56) 10
SITE IS PROVIDING 10 ADA STALLS COMPLIES WITH REQUIRED	
TOTAL PROPOSED PARKING	= 482
REQUIRED MOTORCYCLE PARKING FOR SITE	
2% OF PARKING = 483 X 0.02 = 10 STALLS	
EXISTING STALLS	= 7
NEW STALLS	= 6
TOTAL STALLS	= 13
BICYCLE LONG TERM PARKING: NOT REQUIRED	
BICYCLE SHORT TERM PARKING: NOT REQUIRED	
SHOWER STALLS: NOT REQUIRED	
CARPOOL PARKING: NOT REQUIRED	

REQUIRED PARKING IL-3-1	
SEE MAP AND PARKING RATIO TABLE 142-05G.	
SEE PREVIOUS APPROVED PROJECT:	
PROJECT APPROVAL NBR: M69828-29-30, ISSUED: 06/15/1979	
BUILDING 10110 (40,271 SF)	133 AUTOMOBILE PARKING SPACES
-VACANT (TO REMAIN):	
40,271 SF X 3.3 SPACES PER 1,000 SF =	132.89
TOTAL SPACES REQUIRED FOR BUILDING 10110:	133
BUILDING 10130 (21,793 SF)	69 AUTOMOBILE PARKING SPACES
-VACANT / TENANT - SCRIPPS (TO REMAIN):	
SCRIPPS 3,991 SF X 2.5 SPACES PER 1,000 SF =	9.97
NON RETAIL TENANT SPACE SUITE 100:	
2,383 SF X 3.3 SPACES PER 1,000 SF =	58.75
-VACANT (TO REMAIN)	
44,448 SF X 3.3 SPACES PER 1,000 SF =	146.58
TOTAL SPACES REQUIRED FOR BUILDING 10130:	69
BUILDING 10150 (50,284 SF)	172 AUTOMOBILE PARKING SPACES
-MARIJUANA OUTLET (PROPOSED):	
3,475 SF X 5.0 SPACES PER 1,000 SF =	17.38
NON RETAIL TENANT SPACE SUITE 100:	
2,383 SF X 3.3 SPACES PER 1,000 SF =	7.79
-VACANT (TO REMAIN)	
44,448 SF X 3.3 SPACES PER 1,000 SF =	146.58
TOTAL SPACES REQUIRED FOR BUILDING 10150:	172
TOTAL SPACES REQUIRED:	374 AUTOMOBILE PARKING SPACES
EXISTING BUILDING 10170 (41,174 SF)	
-VACANT (TO REMAIN)	
41,174 SF X 3.3 SPACES PER 1,000 SF =	135.87
EXISTING STANDARD STALLS	= 172
EXISTING ADA PARKING	= 3
TOTAL SPACES REQUIRED FOR BUILDING 10170:	136 AUTOMOBILE PARKING SPACES

SITE PLAN GENERAL NOTES

A. TRANSIT STOPS - SEE ZONING MAP ON P.1.0

B. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

C. FIRE HYDRANTS - SEE SITE PLAN DRAWING FOR LOCATIONS

NOTE:
 ADDITIONAL ADJACENT PROPERTIES SEE NEIGHBORING LEGAL DESCRIPTION DETAIL 6 ON P.2.2.

SITE PLAN LEGEND

	COASTAL OVERLAY REGULATORY BOUNDARY		SCRIPPS PHARMACEUTICAL MANUFACTURER OR OTHER NON RETAIL TENANT		(E) BUILDING LIGHT
	(E) SIDEWALK		MOTORCYCLE PARKING		(E) LIGHT POLE
	SORRENTO VALLEY MARIJUANA OUTLET		SHADING INDICATES RESTRIPIING PARKING STALLS		PARKING STALLS
	PROPERTY LINE		SETBACK LINE		EXITING / PATH OF TRAVEL
	INDICATES EXISTING DEMISING WALL		INDICATES RED CURB		COMPACT STALLS

USES EXISTING / PROPOSED / FUTURE

PARCEL ID#: 343-130-16-00

10110 - 40,271 SF SUITE A-D: VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE)

10130 - 21,793 SF SUITE A: SCRIPPS PHARM. (NON MINOR RELATED FACILITY) (EXISTING) - 3,991 SF SUITE B-D: VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE) - 17,802 SF

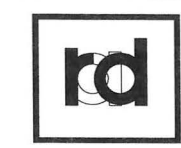
10150 - 50,284 SF SUITE 110: MARIJUANA OUTLET (PROPOSED) - 3,475 SF SUITE 100: NON RETAIL TENANT SPACE SUITE (OFFICE) - 2,383 SF REMAINING BLDG: VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE) 44,448 SF

PARCEL ID#: 343-130-09-00
 10170 - 41,174 SF (ADJACENT PROPERTY UNDER SEPARATE OWNERSHIP) VACANT (EXISTING) / OFFICE / FLEX (POSSIBLE FUTURE)

SITE PLAN KEYNOTES

- HATCH INDICATES (E) MOTORCYCLE PARKING PAINTED WHITE WITH PARKING CONFIGURATION AS INDICATED
- (E) HANDICAP PARKING STALL
- (E) EXTERIOR BUILDING LIGHTS
- (E) EXTERIOR PARKING LIGHTS
- (E) HANDICAP RAMP FROM BUILDING
- (E) PUBLIC SIDEWALK AND CURB, PEDESTRIAN PATH OF TRAVEL
- VERIFY ALL ADA SIGNAGE IS IN COMPLIANCE WITH DETAILS ON SHEET P2.2 AND ALL LOCAL AND STATE MUNICIPAL CODES
- (E) RETAINING WALL AROUND PERIMETER OF SITE
- (E) HANDICAP PARKING STALL, VAN ACCESSIBLE
- (E) EXTERIOR STAIRWAY TO REMAIN
- NO OBJECTS HIGHER THAN 36 INCHES WILL BE PROPOSED IN THE VISIBILITY AREAS
- NOT USED
- (E) BOLLARDS TO REMAIN
- (E) ELECTRICAL BOX
- (E) GAS METER TO REMAIN
- (E) FIRE MAIN
- (E) COMPACT PARKING STALLS
- (E) DRIVEWAY WILL BE MODIFIED TO MEET CURRENT CITY STANDARDS, SDMC SECTION 142.056(C) TABLE 142-05L
- SEE SHEET P4.0 FOR LINE OF SIGHT IMAGES
- (N) MOTORCYCLE SPACES, 3'-0" X 8'-0" TYP.
- NOT USED
- NOT USED
- (N) DO NOT ENTER SIGN
- (E) FIRE HYDRANT TO REMAIN
- (N) RESTRIPIED PARKING STALL
- (N) STRIPING
- TRANSITIONAL CROSS SLOPE / DRIVEWAY FLARE PER CITY OF SAN DIEGO STANDARDS
- (N) PLANTER CURB TO MATCH EXISTING

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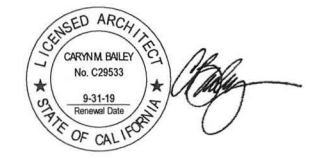


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FOR FLOODWAY ONLY
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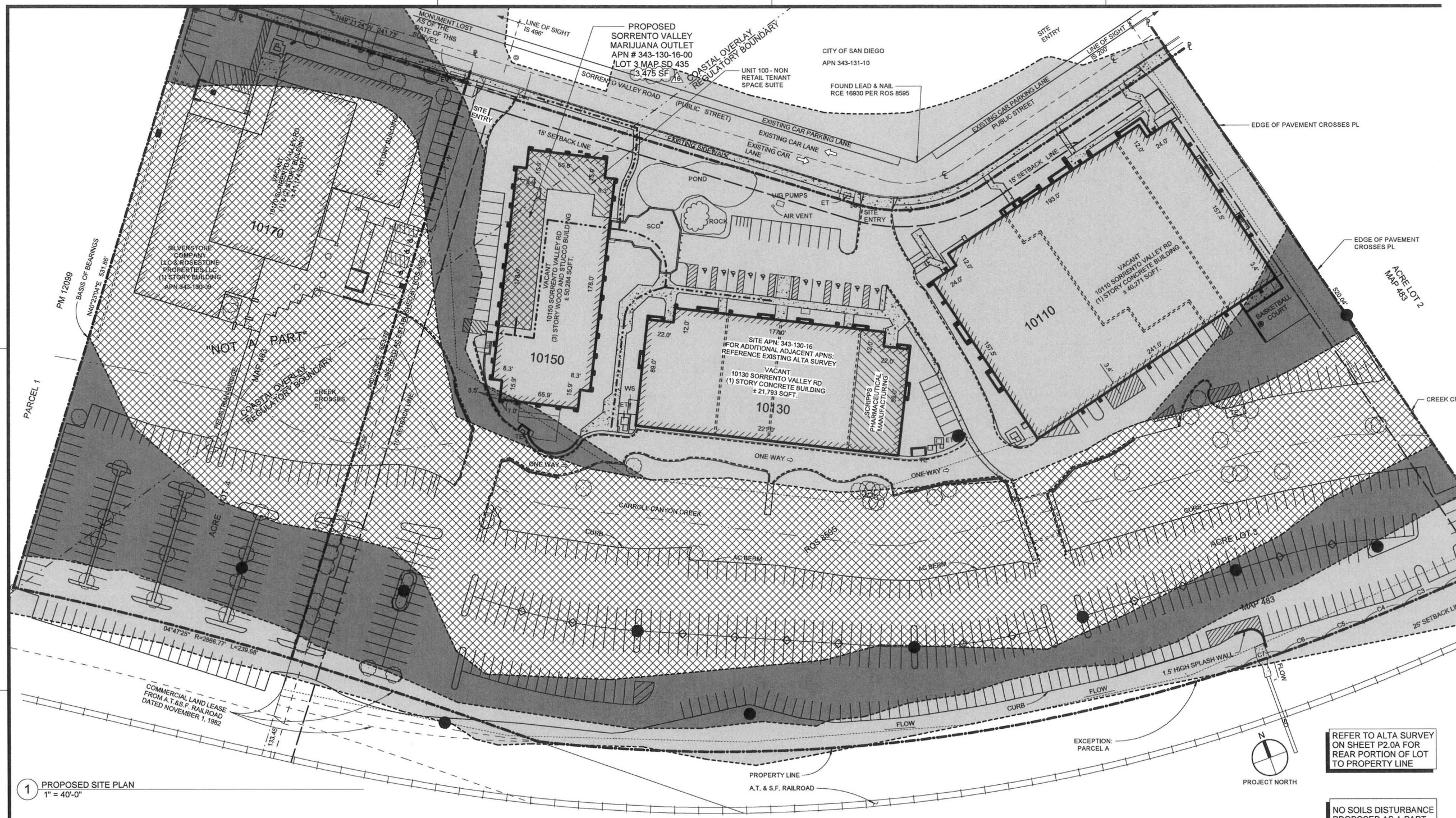
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REVISIONS:

12.10.18	16	CITY COMMENTS

SHEET TITLE:
EXISTING SITE FLOODWAYS
 SHEET NO:
P2.1C



1 PROPOSED SITE PLAN
 1" = 40'-0"

SITE PLAN LEGEND

	SORRENTO VALLEY MARIJUANA OUTLET		FLOODWAY
	SCRIPPS PHARMACEUTICAL MANUFACTURER OR OTHER NON RETAIL TENANT		1% ANNUAL CHANCE FLOOD HAZARD
	(E) SIDEWALK		0.2% ANNUAL CHANCE FLOOD HAZARD

REFER TO ALTA SURVEY ON SHEET P2.0A FOR REAR PORTION OF LOT TO PROPERTY LINE

NO SOILS DISTURBANCE PROPOSED AS A PART OF THIS PROJECT

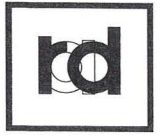


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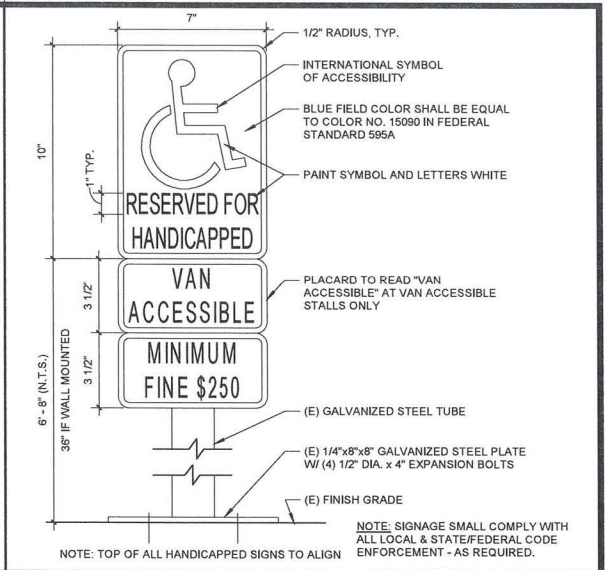


Table with 2 columns: REVISIONS, SHEET TITLE. The table is mostly empty with lines for revisions and the title 'ACCESSIBILITY SIGNAGE'.

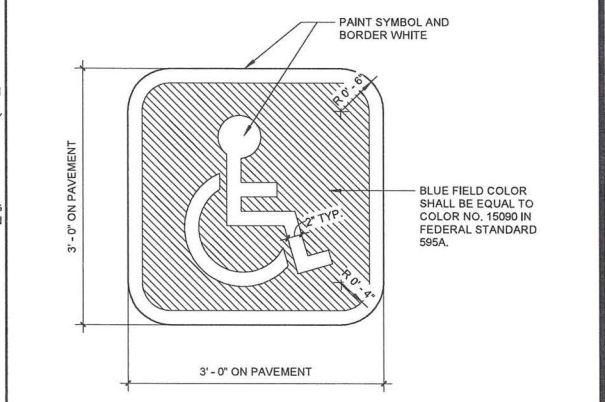
ACCESSIBILITY SIGNAGE

SHEET NO:

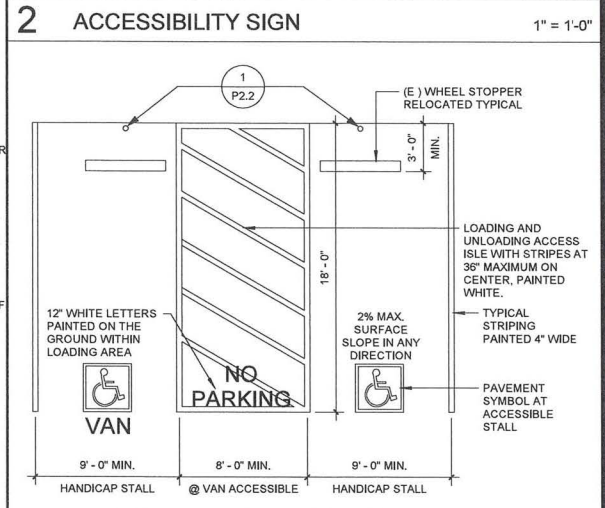
P2.2



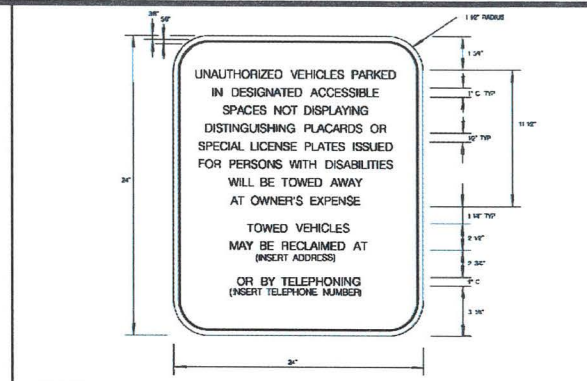
1 ACCESSIBLE PARKING SIGN 3" = 1'-0"



2 ACCESSIBILITY SIGN 1" = 1'-0"



3 TYPICAL PARKING STRIPING PLAN 3/16" = 1'-0"

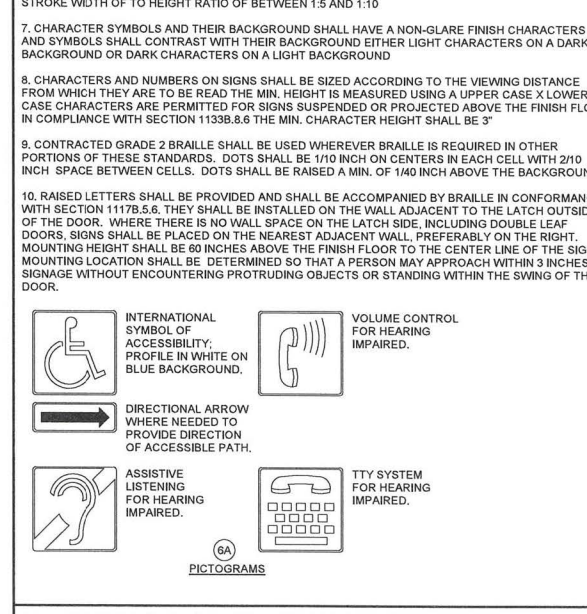


- NOTES:
1. AN ADDITIONAL SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES...
2. COLORS - THE SIGN HAS A WHITE REFLECTIVE BACKGROUND WITH NON-REFLECTIVE BLACK BORDER AND TEXT.
3. BLANK SPACES MUST BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN AT THE TIME OF FINAL INSPECTION.
4. POST MOUNTED SIGNS, SEE 1/P2.2
5. SIGN SHALL BE CONSTRUCTED OF A MINIMUM 1/16" THICK ALUMINUM.

4 ACCESSIBILITY TOW AWAY SIGN 3/8" = 1'-0"

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SPECIFICALLY REQUIRED IN THIS SECTION.
1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND...
2. ALL BUILDING AND FACILITY ENTRANCES THAT ARE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS.
3. WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES OF A BUILDING OR SITE RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION ANSI ACCESSIBILITY STANDARDS SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE THE DOOR...
4. WHEN SIGNS DIRECT TO OR GIVE INFORMATION ABOUT PERMANENT ROOMS AND FUNCTIONAL SPACES OF A BUILDING OR SITE THEY SHALL COMPLY WITH SECTIONS 1117B.5.2, 1117B.5.3, 1117B.5.4 MEANS OF EGRESS SIGNS AND IDENTIFICATION FOR VISUAL EXIT SIGNS, GRAPHICS ILLUMINATION, POWER SOURCE, TACTILE EXIT SIGNAGE, TACTILE STAIR LEVEL IDENTIFICATION AND SPECIAL EGRESS CONTROL DEVICES SHALL COMPLY WITH ANSI ACCESSIBILITY STANDARDS
5. WHEN RAISED CHARACTERS OR WHEN PICTOGRAM SYMBOLS ARE USED THEY SHALL CONFORM TO THE FOLLOWING:
A. CHARACTERS ON SIGNS SHALL BE RAISED OR RECESSED 1/32" MIN AND SHALL BE SANS SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE COMPLYING WITH SECTION 117B.5.6
B. RAISED CHARACTERS OR SYMBOLS SHALL BE A MIN. OF 5/8" HIGH AND A MAX OF 2" HIGH
C. PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MIN. OF 6" IN HEIGHT.
D. CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT BRAILLE SHOULD BE PLACED A MIN. OF 3/8" AND A MAXIMUM OF 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS FLUSH LEFT OR CENTERED WHEN TACTILE SIGN IS MULTI-LINED ALL BRAILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT

5 SIGNS & IDENTIFICATION

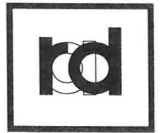


6 NEIGHBORING LEGAL DESCRIPTION NTS

APN # 343-130-16-00
LOT 3 (EX ST OP & RR RW)
APN # 760-146-4500
LOT 1351 11AC M/L IN LOTS 1 THRU 8
APN # 343-130-0900
LOT 4 (EX ST W/D & NWLY 417.04 FT THF) ALL L.Y. NELY OF RR R/W IN
APN # 343-131-1000
LOT 1355 R.4 AC M/L IN
APN # 343-131-0900
LOT 1355 PAR 2 J PER SCC 316395 IN
APN # 760-146-5100
RIGHT OF ENTRY PERMIT IN LOT 2 MAP 362
APN # 343-130-1300
LOT 2 DOC 73-75105 IN AC LOT 1 & IN AC
APN # 343-130-1400
AC LOT 2 (EX PAR 1 PER SCC 315169) ALL S OF RR R/W IN AC LOT 1 & IN
APN # 343-122-6200
PAR 5
APN # 343-122-6100
PAR 7
APN # 343-130-1400
AC LOT 2 (EX PAR 1 PER SCC 315169) ALL S OF RR R/W IN AC LOT 1 & IN
APN # 343-122-5100
PAR 3
APN # 343-121-1300
PAR 2
APN # 343-121-2800
PAR 2
APN # 343-121-2700
PAR 1
APN # 343-121-1400
PAR 1
APN # 343-121-4000
PAR 1

6. CHARACTERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH OF TO HEIGHT RATIO OF BETWEEN 1:5 AND 1:10
7. CHARACTER SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND
8. CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ THE MIN. HEIGHT IS MEASURED USING A UPPER CASE X LOWER CASE CHARACTERS ARE PERMITTED FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR IN COMPLIANCE WITH SECTION 1133B.8.6 THE MIN. CHARACTER HEIGHT SHALL BE 3"
9. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH ON CENTERS IN EACH CELL WITH 2/10 INCH SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MIN. OF 1/40 INCH ABOVE THE BACKGROUND.
10. RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6. THEY SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.

DATE: 12.17.18
 JOB NO: 002
 DRAWN: STAFF
 CHECKED: CB



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 San Diego, California 92103
 (619) 991-8194

**SORRENTO VALLEY
 MARIJUANA OUTLET - CUP 3**
 10150 SORRENTO VALLEY ROAD, SUITE 110
 SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
 STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
 ISSUE DATE: 12.17.18



REVISIONS:

12.10.18	16	CITY COMMENTS
12.17.18	17	CITY COMMENTS

SHEET TITLE:
**1ST FLOOR DESCRIPTIVE
 PLAN**

SHEET NO:
P3.0

GENERAL NOTES

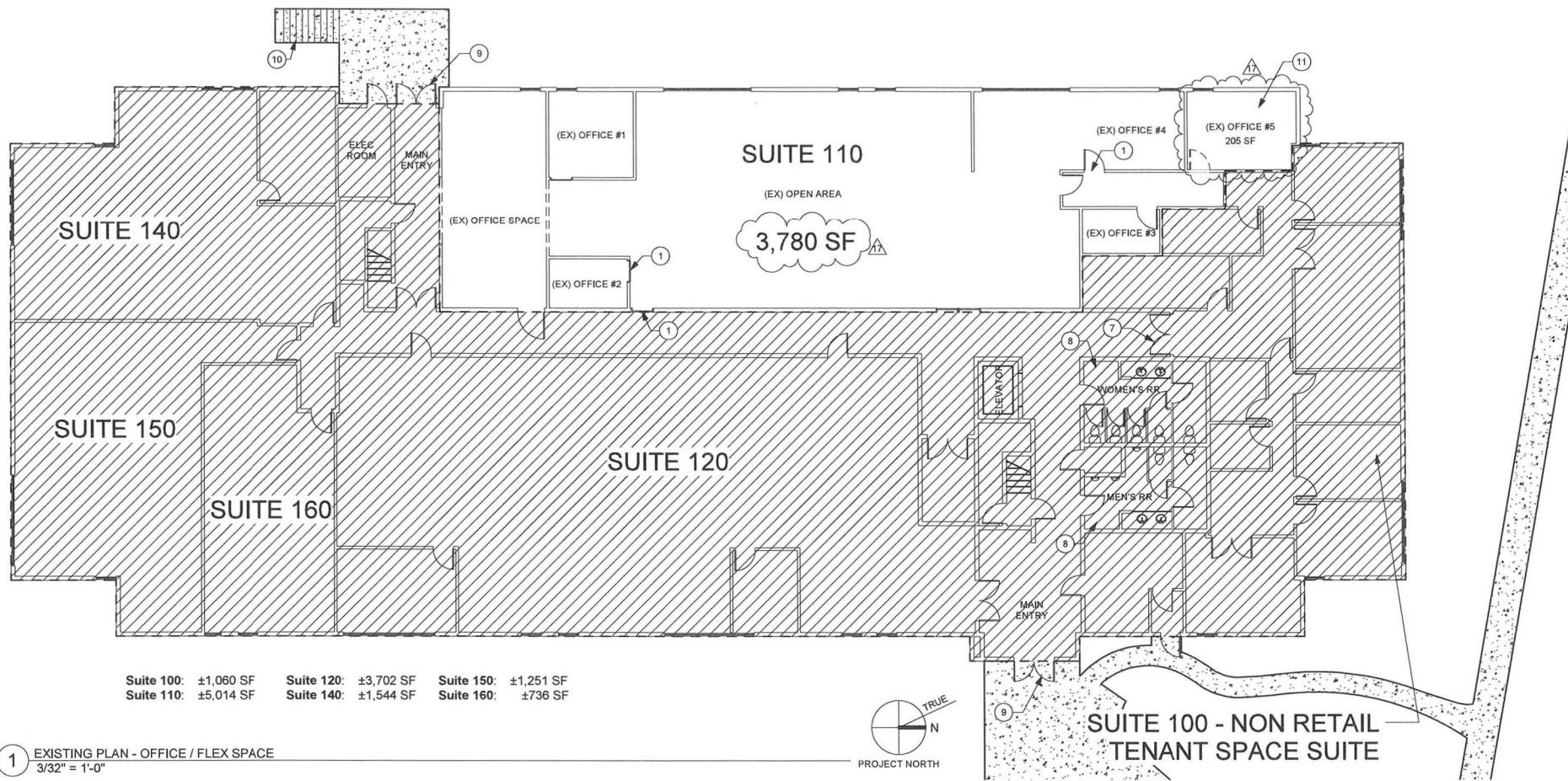
- A. FOR ALL EXISTING DIMENSIONS NOT SHOWN, SEE EXISTING ARCHITECTURAL DRAWINGS.
 - B. OWNER / CONTRACTOR TO FIELD VERIFY ALL NECESSARY EXISTING DIMENSIONS.
 - C. CONTRACTOR TO VERIFY ALL EXACT DIMENSIONS OF DEMOLITION AREA PRIOR TO REMOVAL.
 - D. CONTRACTOR TO CAREFULLY DEMOLISH EXISTING STUDS, HDRS, WINDOW SILLS, ETC. FOR POSSIBLE REUSE OF MATERIAL.
 - E. CONTRACTOR TO HAUL ALL DAMAGED OR UNUSABLE MATERIAL TO THE CITY / COUNTY APPROVED LOCATIONS.
 - F. CONTRACTOR TO REROUT OR CAP OFF ALL NECESSARY VENTILATION, SEWER AND WATER PIPES
- MANDATORY (CBEES 150.(K)):
 BATHROOMS: ALL LIGHTING FIXTURES AND SWITCHES INSTALLED SHALL DEMONSTRATE THE FOLLOWING: AT LEAST ON HIGH EFFICIENCY FIXTURE SHALL BE INSTALLED IN EACH BATHROOM. ALL OTHER BATHROOM LIGHTING SHALL BE HIGH EFFICIENCY OR CONTROLLED BY A VACANCY SENSOR. GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: LIGHTING FIXTURES AND SWITCHES INSTALLED SHALL DEMONSTRATE ALL LIGHTING IS HIGH EFFICIENCY AND CONTROLLED BY A VACANCY SENSOR.

WALL LEGEND

- INDICATES EXISTING PARTITIONS AND EXTERIOR WALLS TO REMAIN
- INDICATES EXISTING WINDOWS
- INDICATES NEW INTERIOR WALLS
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES LOCATION OF CAMERAS
- INDICATES LOCATION OF ALARMS
- (E) CONCRETE SIDEWALK
- PEDESTRIAN PATH OF TRAVEL

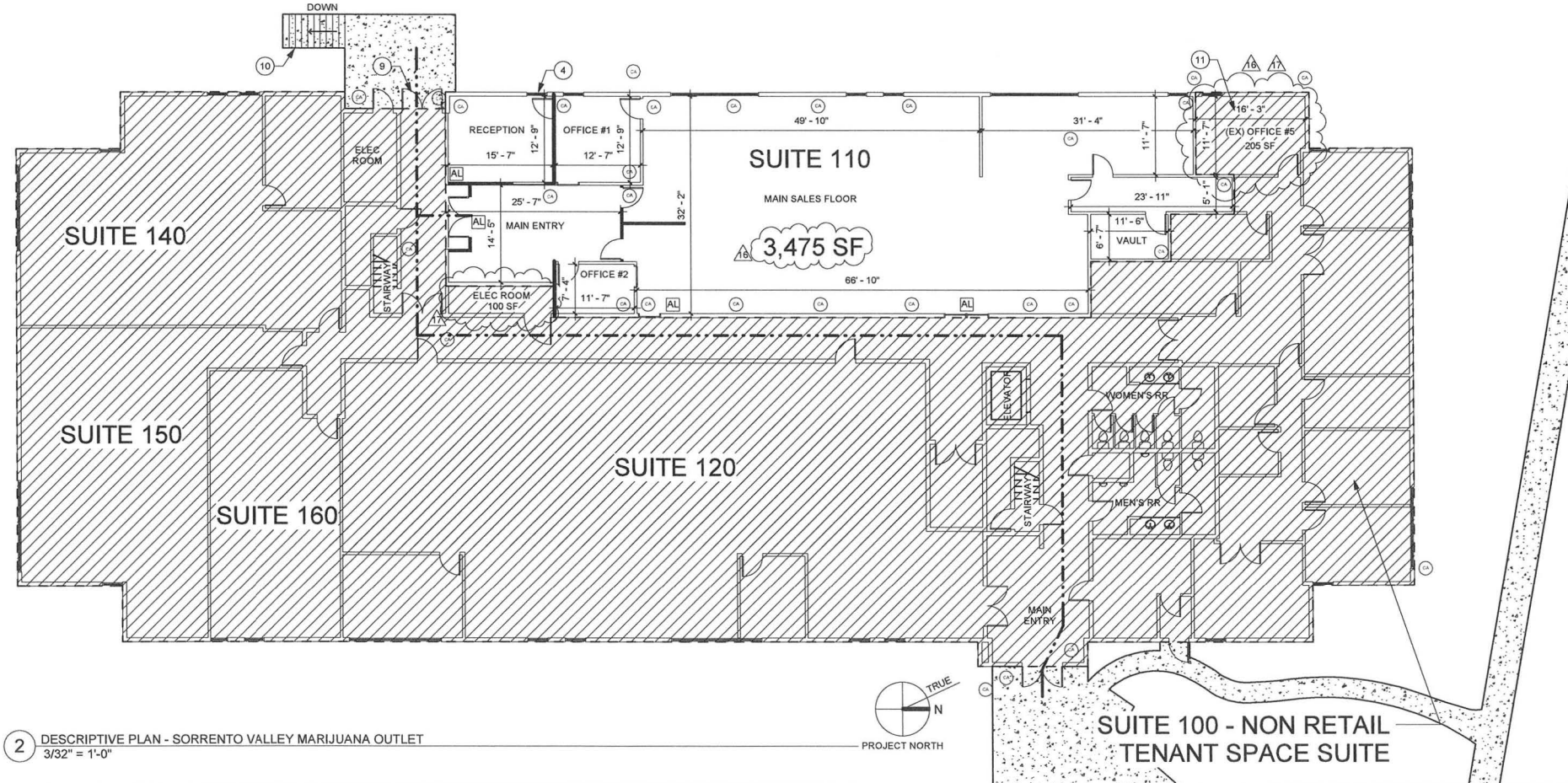
KEYNOTES

- | | |
|----|---|
| 1 | (E) DOOR TO BE SHUT & LOCKED IN PLACE NOT FOR USE. |
| 2 | RECEPTION & VAULT ROOMS & ALL COMMON WALLS - INSTALL A COMBINATION OF FULL HEIGHT BULLET RESISTANT GLASS, PLASTIC OR LAMINATE SHIELD AND BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS. DESIGNED BY A LICENSED PROFESSIONAL. AT THE RECEPTION AREA, IN COMMON AREAS WITH OTHER TENANTS AND VAULT ROOM. |
| 3 | HOLD UP ALARM SWITCH |
| 4 | PROVIDE CONTINUOUS BULLET PROOF STEEL PLATE OVER INTERIOR SIDE OF EXISTING WINDOW |
| 5 | 4' (N) PONY WALL |
| 6 | FUTURE SIGNAGE PER CITY OF SAN DIEGO STANDARDS |
| 7 | (E) DOOR EMERGENCY EXIT ONLY |
| 8 | (E) ADA COMPLIANT RESTROOMS PROVIDED BY LANDLORD |
| 9 | (E) DOOR ENTRY / EXIT |
| 10 | (E) STAIRS TO REMAIN |
| 11 | (E) OFFICE ROOM TO BE INCORPORATED INTO SUITE 100. |



Suite 100: ±1,060 SF Suite 120: ±3,702 SF Suite 150: ±1,251 SF
 Suite 110: ±5,014 SF Suite 140: ±1,544 SF Suite 160: ±736 SF

1 EXISTING PLAN - OFFICE / FLEX SPACE
 3/32" = 1'-0"



2 DESCRIPTIVE PLAN - SORRENTO VALLEY MARIJUANA OUTLET
 3/32" = 1'-0"



DATE: 12.17.18
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



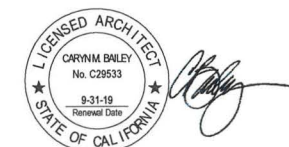
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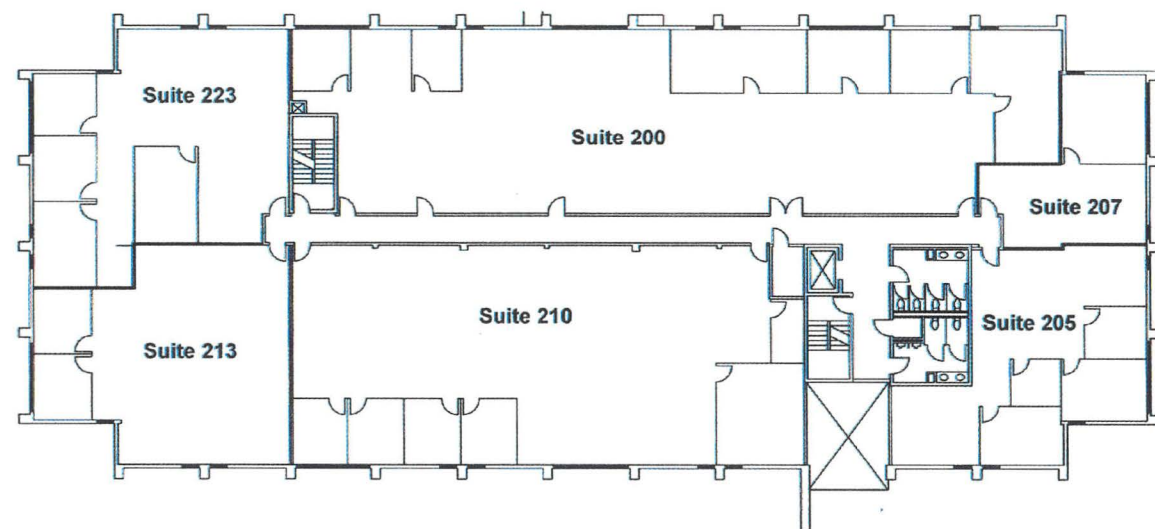


REVISIONS:

SHEET TITLE:
2ND & 3RD FLOOR

SHEET NO:
P3.1

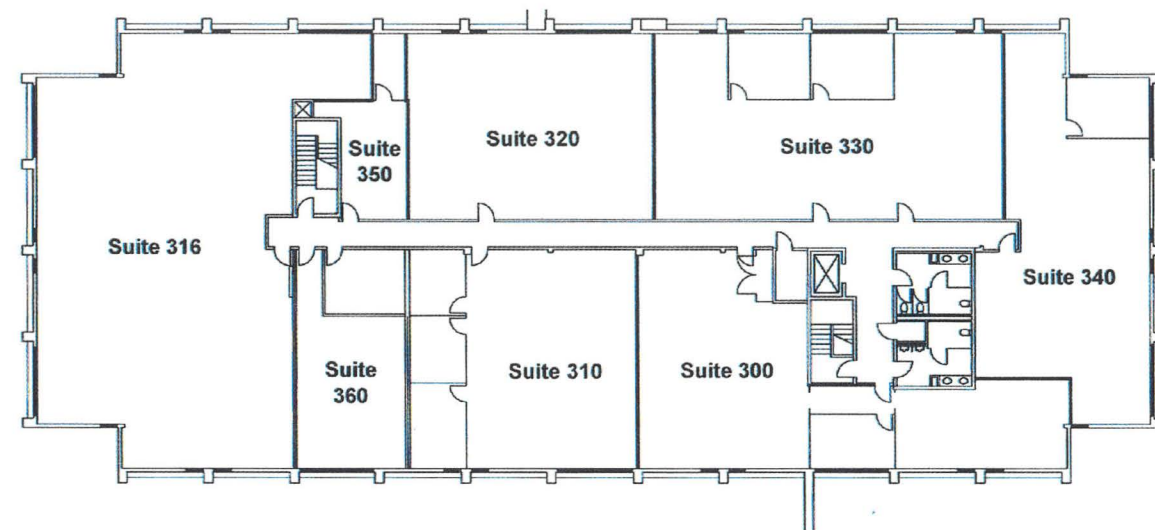
FOR REFERENCE ONLY



AVAILABILITY

Suite 200	±5,312 RSF	Suite 210	±4,339 RSF
Suite 205	±1,638 RSF	Suite 213	±1,917 RSF
Suite 207	±837 RSF	Suite 223	±2,179 RSF

1 10150 SORRENTO VALLEY RD FL - 2
1/16" = 1'-0"



AVAILABILITY

Suite 300	±2,262 RSF	Suite 330	±2,638 RSF
Suite 310	±1,965 RSF	Suite 340	±2,176 RSF
Suite 316	±4,270 RSF	Suite 350	±454 RSF
Suite 320	±1,795 RSF	Suite 360	±753 RSF

2 10150 SORRENTO VALLEY RD FL - 3
1/16" = 1'-0"

