



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: June 20, 2019 REPORT NO. PC-19-057

HEARING DATE: June 27, 2019

SUBJECT: MPF 10110 Sorrento Valley, Process Three Decision

PROJECT NUMBER: [585348](#)

REFERENCE: [Report to the Hearing Officer No. HO-19-037](#)

OWNER/APPLICANT: Helf Sorrento, LLC, Owner and Sean St. Peter, Applicant

SUMMARY

Issue: Should the Planning Commission deny or approve the appeals of the Hearing Officer's decision to approve the operation of a Marijuana Production Facility within an existing building located at 10110 Sorrento Valley Road within the Torrey Pines Community Plan area?

Staff Recommendation: DENY the appeals and affirm the Hearing Officer's decision to APPROVE Conditional Use Permit No. 2196094.

Community Planning Group Recommendation: On October 11, 2018, the Torrey Pines Community Planning Board voted 12-0-0 to recommend approval of the project with no conditions (Report No. HO-19-037, Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15301, Existing Facilities. An appeal of the CEQA determination was previously made and scheduled for City Council on January 14, 2019. Prior to the City Council hearing, the appellant submitted a written request to withdraw the appeal and pursuant to San Diego Municipal Code Section 112.0520(d), no appeal hearing was conducted. However, the project site is located partially within the Coastal Overlay Zone. Ordinance [O-20863](#), amending the appeal process and appeal withdrawal regulations, is not in effect within the Coastal Overlay Zone. Therefore, the City Council considered the CEQA appeal and denied the appeal on March 12, 2019, [Resolution No. R-312260](#). The scope of the subject hearing only includes the project, and not the environmental determination.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account funded by the applicant.

Code Enforcement Impact: None with this application.

Housing Impact Statement: The project is an industrial development located in the industrial light, IL-3-1 Zone of the Torrey Pines Community Plan. The site is designated Industrial within the Torrey Pines Community Plan, and intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses. Therefore, the project would not impact the housing supply within the City of San Diego.

BACKGROUND

The proposed MPF 10110 Sorrento Valley (Project) is a request for a Conditional Use Permit (CUP) pursuant to [San Diego Municipal Code \(SDMC\) Section 126.0303](#) to operate a Marijuana Production Facility (MPF) within existing one-story, 40,271-square-foot building located at 10110 Sorrento Valley Road. The 12.04-acre Project site is in the IL-3-1 Zone within the Torrey Pines Community Plan area. The Project site is also located in the Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Airport Land Use Compatibility Overlay Zone (Airport Influence Area - Review Area 1, Accident Potential Zone 2, Noise 60-65 CNEL), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Campus and Coastal), Special Flood Hazard Area (100-year Floodplain and 100-year Floodway), Transit Priority Area, and designated as Prime Industrial Land in the Economic Prosperity Element of the General Plan. The building constructed in 1979 is one of three buildings located on the site and was previously occupied by Attenuon, LLC (a biopharmaceutical company), Scripps Healthcare, and Optimer Pharmaceuticals, Inc.

The Project proposes tenant improvements to accommodate operations, including demolition and installation of wall partitions, lighting, security cameras and system, and finishes throughout and associated mechanical, electrical, and plumbing improvements. No exterior building alterations would occur. Operations include storage, packaging, labeling and distribution of cannabis products to State of California licensed outlets. Proposed exterior site improvements include the reconstruction of three existing driveways, adjacent to the site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, and restriping of certain parking stalls.

The Report to the Hearing Officer No. HO-19-037 (Attachment 1) contains the Project background, analysis and necessary draft findings with a staff recommendation of approval. On April 3, 2019, the Hearing Officer approved the Project.

PROJECT APPEAL DISCUSSION

Two appeals of the Hearing Officer's decision were filed. The first was filed on April 16, 2019, by Catharine Brown (Attachment 2). The second appeal was filed on April 17, 2019, by Khoa Nguyen (Attachment 3).

The appellants' Project appeal issues are provided below along with City staff responses:

Catharine Brown Appeal Issue 1: "The Hearing Officer's decision to grant the MPF conflicts with the relevant land use plan, City Council Policy, and the Municipal Code."

Staff Response: The appellant has not provided any evidence as to how the Hearing Officer's decision on the subject CUP application conflicts with the land use plan, City Council policy, or the Municipal Code.

As detailed in the Report to the Hearing Officer No. HO-19-037, the Project site is designated Prime Industrial Land in the Prosperity Element, and Industrial Employment by the Land Use and Community Planning Element, of the General Plan. The General Plan identifies a citywide shortage of land suitable for manufacturing activities and a need to protect manufacturing land from non-manufacturing uses. Furthermore, the Project site is designated Industrial within the Torrey Pines Community Plan. The Industrial designation is intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses. The IL Zones are intended to permit a range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 Zone allows a mix of light industrial, office, and commercial uses. Properties to the north, east, and west are also zoned IL-3-1. Properties to the south are zoned IP-1-1 (Industrial Park), which allows research and development and limited manufacturing uses. All surrounding properties are designated Industrial by the Torrey Pines Community Plan and developed with mix of industrial, commercial, and office uses. The proposed MPF, classified as an industrial use, is consistent with the underlying zone and land use designation. Furthermore, the proposed MPF complies with all development regulations of the IL-3-1 Zone and no deviations are requested.

MPFs also require compliance with [SDMC section 141.1004](#), which restricts the maximum number of MPFs to forty City-wide, and requires a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPFs also have a minimum distance requirement of 100 feet from a residential zone. The proposed MPF complies with the separation requirements as set forth in SDMC section 141.1004 (a). City Staff has reviewed the Project and concluded the Project is in conformance with all applicable City Council policies, land use plan, and regulations of the Land Development Code.

Catharine Brown Appeal Issue 2: "The Hearing Officer's decision to grant the MPF is not supported by the information provided to the Hearing Officer."

Staff Response: On April 3, 2019, the Hearing Officer considered CUP No. 2196094, pursuant to the Land Development Code, and adopted the required findings, as set forth in San Diego Municipal Code Section 126.0305, to approve the CUP. The appellant has not provided any evidence as to how the Hearing Officer's decision to grant the MPF is not supported by the information provided to the Hearing Officer.

Catharine Brown Appeal Issue 3: "The Hearing Officer's decision to grant the MPF should be denied based on new information that could not be submitted with reasonable effort or due diligence prior to the time of the decision."

Staff Response: City Staff cannot respond to this appeal issue as the appellant has not identified any new information not available at the time of the decision.

Khoa Nguyen Appeal Issue: “The Hearing Officer's stated finding to approve is not supported by the information that was provided to the Hearing Officer. It is widely known that Marijuana Production Facilities produce strong odors. The applicant has not sufficiently demonstrated that their marijuana production facility will not produce odors that will be detrimental to surrounding businesses and to the public.”

Staff Response: The Project's CUP contains various conditions related to San Diego Municipal Code Chapter 14, Article 2, Division 7: Off-Site Development Impact Regulations, which include: requiring the Owner/Permittee to provide an odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility; requiring the continued use of this MPF, subject to the regulations of the City and any other applicable governmental agency; and stating that the issuance of the Permit by the City of San Diego does not authorize the Owner/Permittee for the Permit to violate any Federal, State or City laws, ordinances, regulations or policies.

In addition, the Municipal Code regulates air contaminants. Specifically, [SDMC Section 142.0710](#), Air Contaminant Regulations, states air contaminants including smoke, charred paper, dust, soot, grime, carbon, noxious acids, toxic fumes, gases, odors, and particulate matter, or any emissions that endanger human health, cause damage to vegetation or property, or cause soiling shall not be permitted to emanate beyond the boundaries of the premises upon which the use emitting the contaminants is located. Nuisance complaints for non-compliance will be investigated by the City and/or other regulatory agencies, including, but not limited to, the California Department of Public Health and the Air Pollution Control District.

Conclusion:

City staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The design of the proposed Project complies with all development regulations of the IL-3-1 Zone and no deviations are required to approve the Project. Staff has provided draft findings (Attachment 4) to support the proposed development and draft conditions of approval (Attachment 5). Staff is recommending the Planning Commission deny the appeals, affirm the Hearing Officer's decision, and approve the Project as presented.

ALTERNATIVES

1. Deny the appeals, affirm the Hearing Officer's decision, and approve Conditional Use Permit No. 2196094, with modifications.
2. Uphold the appeals, reverse the Hearing Officer's decision, and deny Conditional Use Permit No. 2196094, if the findings required to approve the Project cannot be affirmed.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Firouzeh Tirandazi
Development Project Manager
Development Services Department

LOWE/FT

Attachments:

1. Report to the Hearing Officer No. HO-19-037
2. Catharine Brown Appeal
3. Khoa Nguyen Appeal
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 26, 2019 REPORT NO. HO-19-037

HEARING DATE: April 3, 2019

SUBJECT: MPF 10110 SORRENTO VALLEY, Process Three Decision

PROJECT NUMBER: [585348](#)

OWNER/APPLICANT: Helf Sorrento, LLC., Owner and Sean St. Peter, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Marijuana Production Facility located at 10110 Sorrento Valley Road in the IL-3-1 Zone of the Torrey Pines Community Plan area?

Staff Recommendation: Approve or Deny Conditional Use Permit No. 2196094.

Community Planning Group Recommendation: On October 11, 2018, the Torrey Pines Community Planning Board voted 12-0-0 to recommend approval of the project with no conditions (Attachment 7).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Section 15301, Existing Facilities (Attachment 6). An appeal of the CEQA determination was previously made and scheduled for City Council on January 14, 2019. Prior to the City Council hearing, the appellant submitted a written request to withdraw the appeal and pursuant to San Diego Municipal Code Section 112.0520(d), no appeal hearing was conducted. However, the project site is located partially within the Coastal Overlay Zone. Ordinance [O-20863](#), amending the appeal process and appeal withdrawal regulations, is not in effect within the Coastal Overlay Zone. Therefore, the City Council considered the CEQA appeal and denied the appeal on March 12, 2019. The scope of the subject hearing only includes the project, and not the environmental determination.

BACKGROUND

The project is a request for a Conditional Use Permit pursuant to [San Diego Municipal Code \(SDMC\) Section 126.0303](#) to operate a Marijuana Production Facility (MPF) within an existing one-story, 40,271-square-foot building located at 10110 Sorrento Valley Road (Attachment 1). The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan area. The project site is also located in the Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Airport

Land Use Compatibility Overlay Zone (Airport Influence Area - Review Area 1, Accident Potential Zone 2, Noise 60-65 CNEL), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Campus and Coastal), Special Flood Hazard Area (100-year Floodplain and 100-year Floodway), Transit Priority Area, and designated as Prime Industrial Land in the Economic Prosperity Element of the General Plan. The building constructed in 1979 is one of three buildings located on the site and was previously occupied by Attenuon, LLC (a biopharmaceutical company), Scripps Healthcare, and Optimer Pharmaceuticals, Inc. The southern portion of the project site is separated by railroad tracks (Attachment 3).

The project site is designated Prime Industrial Land in the Prosperity Element, and Industrial Employment by the Land Use and Community Planning Element, of the General Plan. The General Plan identifies a citywide shortage of land suitable for manufacturing activities and a need to protect manufacturing land from non-manufacturing uses. The project site is designated Industrial within the Torrey Pines Community Plan (Attachment 2). The Industrial designation is intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses. The IL Zones are intended to permit a range of uses, including nonindustrial uses in some instances. Specifically, the IL-3-1 Zone allows a mix of light industrial, office, and commercial uses. Properties to the north, east, and west are also zoned IL-3-1. Properties to the south are zoned IP-1-1 (Industrial Park), which allows research and development and limited manufacturing uses. All surrounding properties are designated Industrial by the Torrey Pines Community Plan and developed with mix of industrial, commercial, and office uses. The proposed MPF, classified as an industrial use, is consistent with the underlying zone and land use designation.

The project site contains Environmentally Sensitive Lands (ESL) in the form of Special Flood Hazard Area (100 Year Floodplain and 100 Year Floodway) and is located within the Coastal Overlay Zone. No addition or modification to the existing development, other than interior tenant improvements, is proposed. The project has been determined to be exempt from the permit requirements of the ESL regulations pursuant to [SDMC Sections 143.0110\(b\)\(4\) and \(c\)\(1\)](#). The proposed MPF use does not trigger additional parking and is therefore not considered an intensification of use. Therefore, a Coastal Development Permit is not required pursuant to [SDMC Section 126.0704\(a\)](#). Additionally, the proposed MPF is exempt from the Airport Land Use Compatibility Overlay Zone regulations pursuant to [SDMC Section 132.1505\(c\)\(1\) and \(2\)](#) as: 1) the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure, and 2) the proposed change in non-residential occupancy would not require an increase in the number of parking spaces pursuant to Chapter 14, Article 2, and Division 5.

MPFs are restricted to forty City-wide, within light and heavy industrial zones. As of the published date of this report, 30 CUP applications for MPFs have been approved. Nine additional CUP applications for MPFs have been approved by the Hearing Officer; however, the decisions of the Hearing Officer on these applications have been appealed to the Planning Commission. The appeals to Planning Commission are currently in process.

MPFs require compliance with [SDMC Section 141.1004](#), which require a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPFs also require a minimum distance of 100 feet from a residential zone. Security

requirements include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPFs must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

DISCUSSION

Project Description:

The project proposes to operate a MPF within an existing 40,271 square-foot, one story building located at 10110 Sorrento Valley Road. The project proposes tenant improvements to accommodate operations, including demolition and installation of wall partitions, lighting, security cameras and system, and finishes throughout and associated mechanical, electrical, and plumbing improvements. No exterior building alterations would occur. Operations include storage, packaging, labeling and distribution of cannabis products to State of California licensed outlets. Proposed exterior site improvements include the reconstruction of three existing driveways, adjacent to site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, and restriping of certain parking stalls.

The proposed MPF is subject to specific operational and security requirements as set forth in SDMC Section 141.1004. Furthermore, the proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official (Attachment 5, Condition No. 12). The facility is also subject to State of California statutes and regulations.

Conclusion:

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The project complies with all development regulations of the IL-3-1 Zone and no deviations are requested. City staff has provided draft findings (Attachment 4) to support the proposed development and draft conditions of approval (Attachment 5). Staff is recommending the Hearing Officer approve the Project as presented. However, in the event that the Hearing Officer has already approved one of the four CUP applications for a MPF scheduled for a Hearing Officer decision on April 3, 2019, City staff then recommends that the Hearing Officer deny this application as no more than 40 MPFs are allowed City-wide pursuant to SDMC Section 141.1004.

ALTERNATIVES

1. Approve Conditional Use Permit No. 2196094, with modifications.
2. Deny Conditional Use Permit No. 2196094, if the findings required to approve the project cannot be affirmed.

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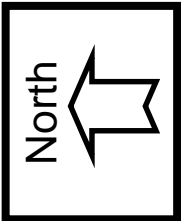
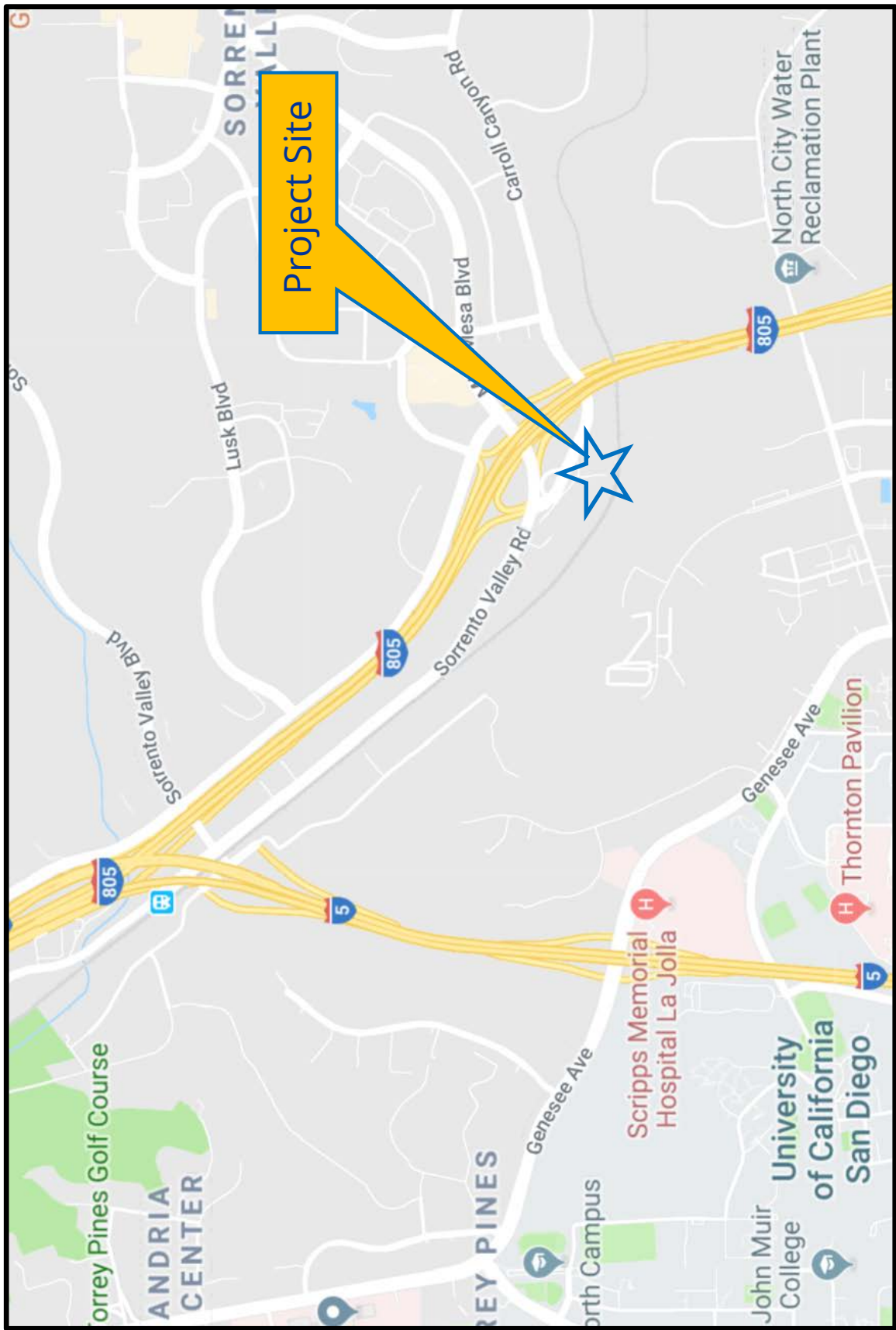
Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Firouzeh Tirandazi", is written over a horizontal line.

Firouzeh Tirandazi, Development Project Manager

Attachments:

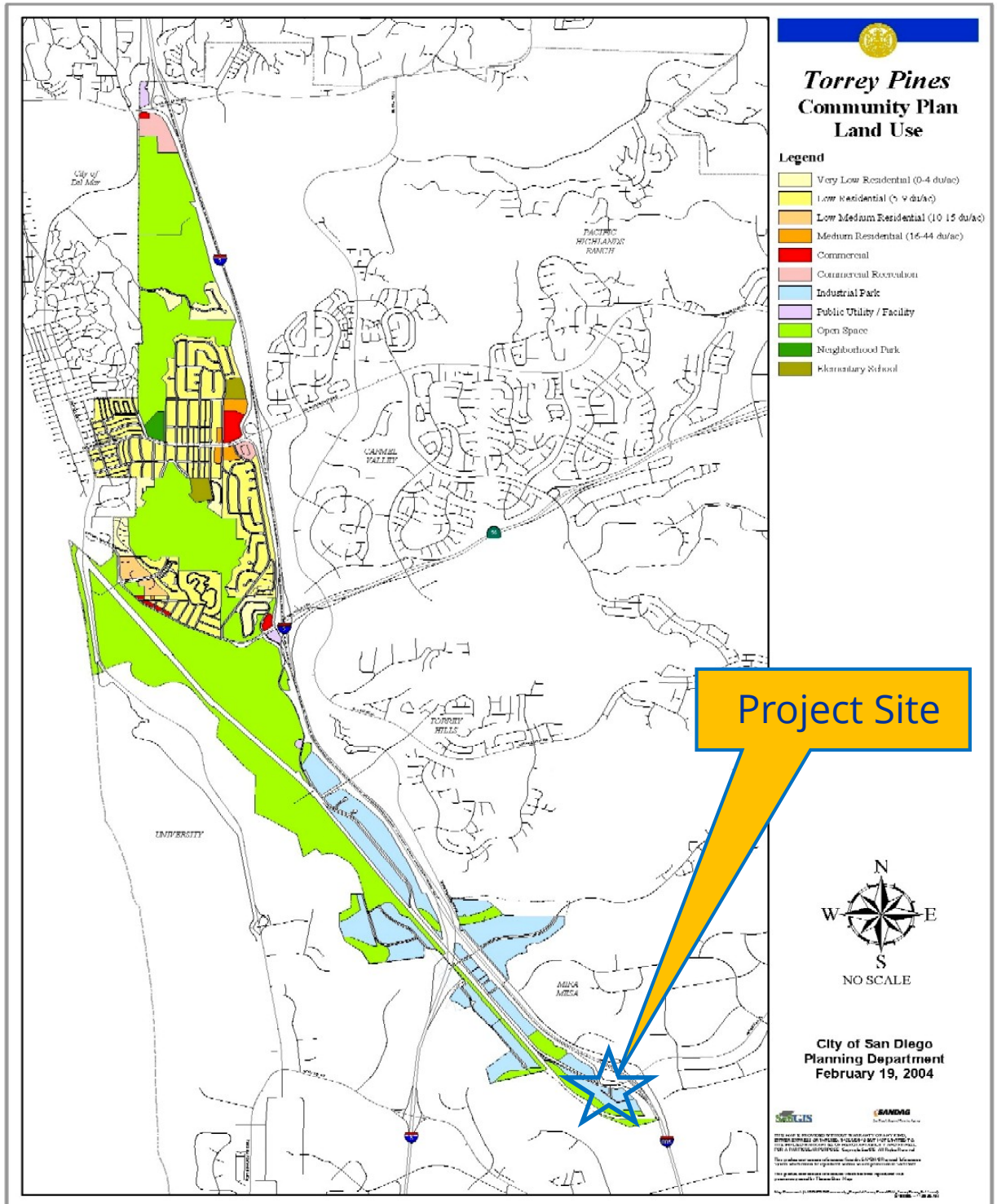
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

MPF 10110 Sorrento Valley / 10110 Sorrento Valley Road
PROJECT NO. 585348



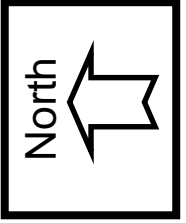


Land Use Map

MPF 10110 Sorrento Valley / 10110 Sorrento Valley Road
PROJECT NO. 585348

North





Aerial Photo

MPF 10110 Sorrento Valley / 10110 Sorrento Valley Road

PROJECT NO. 585348



HEARING OFFICER RESOLUTION NO. HO-XXXX
CONDITIONAL USE PERMIT NO. 2196094
MPF 10110 SORRENTO VALLEY - PROJECT NO. 585348

WHEREAS, HELF SORRENTO, LLC., a California Limited Liability Company, Owner, and SEAN ST. PETER, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Production Facility in an existing one-story, 40,271 square-foot building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2196094 on portions of a 12.04-acre site;

WHEREAS, the project site is located at 10110 Sorrento Valley Road, in the IL-3-1 Zone of the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of official Records of the San Diego County Recorder's Office;

WHEREAS, on October 29, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and the Environmental Determination was appealed to City Council, and withdrawn on January 14, 2019;

Whereas, the appeal hearing was nevertheless required to be held because part of the Project is within the Coastal Overlay Zone, and the City Council heard and denied the appeal on March 12, 2019, pursuant to Resolution No. 312260;

WHEREAS, on April 3, 2019, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 2196094 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego that it adopts the following findings with respect to Conditional Use Permit No. 2196094:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project is a request for a Conditional Use Permit to operate a Marijuana Production Facility (MPF) within an existing 40,271 square-foot, one story building located at 10110 Sorrento Valley Road. The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan area. The project site is also located in the Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Airport Land Use Compatibility Overlay Zone (Airport Influence Area - Review Area 1, Accident Potential Zone 2, Noise 60-65 CNEL), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Campus and Coastal), Special Flood Hazard Area (100-year Floodplain and 100-year Floodway), Transit Priority Area, and designated as Prime Industrial Land in the Economic Prosperity Element of the General Plan.

The project site is designated Prime Industrial Land in the Prosperity Element, and Industrial Employment by the Land Use and Community Planning Element, of the General Plan. The General Plan identifies a citywide shortage of land suitable for manufacturing activities and a need to protect manufacturing land from non-manufacturing uses. The project site is designated Industrial per the Torrey Pines Community Plan. The Industrial designation is intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The MPF is proposed within an existing 40,271 square-foot, one story building. The project proposes tenant improvements to accommodate operations, including demolition and installation of wall partitions, lighting, security cameras and system, and finishes throughout and associated mechanical, electrical, and plumbing improvements.

The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Proposed exterior site improvements include the reconstruction of three existing driveways, adjacent to site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, and restriping of certain parking stalls.

MPFs are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC) section 141.1004, which require a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPFs also have a minimum distance requirement of 100 feet from a residential zone. The proposed MPF complies with the separation requirements as set forth in SDMC section 141.1004 (a).

The proposed MPF is subject to specific operational requirements as set forth in SDMC section 141.1004, including security requirements, such as lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPFs must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed project will be required to comply with the development conditions as described in the Conditional Use Permit No. 2196094. The Conditional Use Permit No. 2196094 will be valid for five years and may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in the Conditional Use Permit No. 2196094. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed project is a request for a Conditional Use Permit to operate a MPF within an existing one-story, 40,271 square-foot building constructed in 1979. The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan area. The project proposes tenant improvements to accommodate operations, including demolition and installation of wall partitions, lighting, security cameras and system, and finishes throughout and associated mechanical, electrical, and plumbing improvements. Operations include storage, packaging, labeling and distribution of cannabis products to State of California licensed outlets. Proposed exterior site improvements include the

reconstruction of three existing driveways, adjacent to site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, and restriping of certain parking stalls.

MPFs are allowed in the IL-3-1 Zone with a Conditional Use Permit. The proposed use requires compliance with SDMC section 141.1004 and Chapter 4, Article 2, Division 15. SDMC section 141.1004 requires a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. Security requirements, expressed as conditions in the Permit, include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours.

The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. Therefore, the proposed MPF will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The MPF is proposed within an existing one-story, 40,271 square-foot building located at 10110 Sorrento Valley Road. The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan. The project site is designated Prime Industrial Land in the Prosperity Element, and Industrial Employment by the Land Use and Community Planning Element, of the General Plan. The General Plan identifies a citywide shortage of land suitable for manufacturing activities and a need to protect manufacturing land from non-manufacturing uses. The project site is designated Industrial per the Torrey Pines Community Plan. The Industrial designation is intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses

The IL Zones are intended to permit a range of uses, including non-industrial uses in some instances. The purpose and intent of the IL-3-1 Zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. Specifically, the IL-3-1 Zone allows a mix of light industrial, office, and commercial uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. The proposed project is consistent with the Industrial designation of the Torrey Pines Community Plan. Therefore, the proposed MPF is an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 2196094 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2196094, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: April 3, 2019

IO#: 24007556

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007556

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2196094
MPF 10110 SORRENTO VALLEY - PROJECT NO. 585348
HEARING OFFICER

This Conditional Use Permit No. 2196094 is granted by the Hearing Officer of the City of San Diego to Helf Sorrento, LLC., a California Limited Liability Company, Owner, and Sean St. Peter, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 12.04-acre project site is located at 10110 Sorrento Valley Road in the IL-3-1 Zone, Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Airport Land Use Compatibility Overlay Zone (Airport Influence Area - Review Area 1, Accident Potential Zone 2, Noise 60-65 CNEL), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Campus and Coastal), Special Flood Hazard Area (100-year Floodplain and 100-year Floodway), Transit Priority Area, and Prime Industrial Lands within the Torrey Pines Community Plan area. The project site is legally described as: Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of official Records of the San Diego County Recorder's Office.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a Marijuana Production Facility within an existing one-story building, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 3, 2019, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Production Facility within an existing one-story, 40,271-square-foot building;
- b. The Marijuana Production Facility operations shall only include the storage, packaging, labeling and distribution of cannabis products to State of California licensed outlets, consistent with the requirements of State of California statutes and California Departments of Food and Agriculture, Consumer Affairs and Public Health regulations;
- b. Off-street parking; and

- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 18, 2022.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on April 18, 2024. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

BUILDING OFFICIAL REQUIREMENT:

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the three existing driveways, adjacent to site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for the East driveway, encroaching in the public water and sewer easements, adjacent to site on Sorrento Valley Road.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

17. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
18. All operations shall be conducted indoors within a secured structure. All equipment and storage shall also be located within a secure structure.
19. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
20. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
21. The name and emergency contact phone number of an operator or manager shall be posted outside the Marijuana Production Facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The Permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a Marijuana Production Facility shall limit signage on the exterior of the of the property visible from the public right-of-way to the address.

22. A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
23. The retail sale of marijuana and marijuana products shall only be conducted by a Marijuana Outlet in accordance with Section 141.0504. A Marijuana Production Facility is prohibited from providing marijuana and marijuana products to any person other than another Marijuana Production Facility, a testing lab, or a Marijuana Outlet.
24. The Marijuana Production Facility, adjacent public sidewalks, and areas under the control of the Marijuana Production Facility shall be maintained free of litter and graffiti at all times.
25. The Marijuana Production Facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
26. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section 34.0103 (b), taxable activities include but are not limited to, transporting, manufacturing, cultivating, packaging, or retail sales of cannabis and any ancillary products in the City. For additional information, contact the Office of the City Treasurer at (619) 615-1580.

APPROVED by the Hearing Officer of the City of San Diego on April 3, 2019 and Resolution No. HO-XXXX.

Permit Type/PTS Approval No.: Conditional Use Permit No. 2196094

Date of Approval: April 3, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Helf Sorrento, LLC.
(A California Limited Liability Company)
Owner

By _____
Frank M. Goldberg
Managing Member

Sean St. Peter
Permittee

By _____
Sean St. Peter, Director

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

☐ Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: MPF 10110 Sorrento Valley / 585348

SCH No.: N/A

Project Location-Specific: 10110 Sorrento Valley Road, San Diego, CA 92121

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project is requesting a Conditional Use Permit (CUP) for a Marijuana Production Facility (MPF) to operate within an existing 40,271-square-foot building located at 10110 Sorrento Valley Road. The project proposes tenant improvements and operations would include packaging, storage, and distribution of cannabis products to State of California licensed outlets. No cultivation, manufacturing, or retail sales are proposed. The 12.04-acre site is designated Industrial per the Torrey Pines Community Plan and is subject to the IL-3-1 zone requirements. The project is also subject to the Coastal Overlay Zone (Non-Appealable and Appealable), Prime Industrial Lands, Parking Impact Overlay Zone (Coastal and Campus), FEMA Floodways & Floodplains, FAA Part 77 Noticing Area for MCAS Miramar (570' AMSL), Airport Influence Area - MCAS Miramar Review Area 1, ALUCP Noise for MCAS Miramar 60-65 CNEL, Airport Land Use Compatibility Overlay Zone for MCAS Miramar, MCAS Miramar Accident PZ-2, and Council District 1.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Sean St. Peter

4231 Balboa Avenue
 San Diego CA, 92117
 (619) 618-8139

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: CEQA State Guidelines Section 15301, Existing Facilities

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, as included in the Project Description of this notice, is not an expansion of use as all operations will be contained within the existing building. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.


Lead Agency Contact Person: Rachael Lindquist

Telephone: (619) 446-5129

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA


Signature/Title

CHRIS TRACY, AICP
SENIOR PLANNER

11/14/18
Date

Check One:

- (X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Board


www.torreypinescommunity.org

BOARD MEMBERS: Dennis Ridz, Chair; Dee Rich, Vice Chair; Patti Ashton, Treasurer (absent); Wayne Cox, Recording Secretary; Jake Mumma (absent); Susan Lyon; Barbara Cerny; Pat Whitt; Troy Van Horst (absent); Mike Hastings (absent); Samson Gavranian (absent); Brad Remy (absent); Sheryl Adams: Seven attendees.

Torrey Pines Community Planning Board MONTHLY MEETING, Minutes

THURSDAY, October 11, 2018 at 7:00 PM

Del Mar Hills Academy, 14085 Mango Drive, Del Mar CA 92014

NOTE: Times assigned for each item are approximate. Agenda items/order are subject to modification at beginning of meeting at the discretion of the Chair. Any item may be pulled from Consent Agenda and added to a future Board agenda by request. To request an agenda in alternative format - sign language, oral interpreter or Assistive Listening Devices (ALDs) - please contact the Planning Department at (619) 236-6879 five (5) working days prior to the meeting to insure availability.

CALL TO ORDER: 7:00 P.M. Dennis Ridz, Chair:

INTRODUCTIONS:

1. Officer Terry Phillips, SDPD, North West Station, called to inform that he would be absent.
2. Justine Murray, representing D-1 City Councilwoman Barbara Bry, called to inform that she was ill but Steve Hadley would attempt to attend at the end of the meeting.
3. Javier Gomez, representing State Assemblyman Todd Gloria, updated us on the Assemblyman's activities.
4. Chevelle Tate, representing California Senate Pro Tempore Toni Adkins, distributed and discussed the October issue of Toni Times. : a. Del Mar Heights Rd. Ad Hoc Committee; and b. Scheduling board meetings.

A. NON-AGENDA PUBLIC COMMENT (Summarized Subjects):

1. Liz Shores: a. Priority of marijuana applications over community safety issues; b. First amendment rights; and c). Agenda Organization.
2. Libby Hellmann (with hand-out): a. Running for DMUSD Board; and b. Facilities Task Force.
3. Dianna Scheffler (with hand-out): a. Del Mar Heights Rd. Ad Hoc Committee; and b. Scheduling TPCPB meetings.
4. Marybeth Norgren (with hand-out): a. Priority of marijuana applications over community issues; and b. Hazardous waste storage.

B. GENERAL ANNOUNCEMENTS: The Chair announced that the Project Review Committee (PRC) had met on Thursday, October 4, but lacked a quorum and therefore no votes were taken. Discussed the Capital Improvements Priorities (CPI) list requested by Councilwoman Bry. The subject is on the Agenda

C. APPROVAL OF THE AGENDA: Approved 12-0.

D. APPROVAL OF THE SEPTEMBER MINUTES (Distributed on-line).
Approved 12-0

E. REPORT BY TREASURER: None.

F. REPORT BY VICE CHAIR: None.

G. BRIEFING, INFORMATION, QUESTIONS 7 ANSWER (non-action):

1. MO application for 10150 Sorrento Valley Rd., and approved at the September TPCPB meeting, was approved by the Hearing Officer.
2. MPF application for 10170 Sorrento Valley Rd., and approved at the September TPCPB meeting, was approved by the Hearing Officer
3. TPCPB elections will be held in March, 2019. Four positions will be open.

H. ACTION ITEMS:

1. Stainwise, Marijuana Outlet (MO) #559038 at 11189 Sorrento Valley Rd., Ste. 103.
 - a. Gina Austin (with hand-out), Presented.
 - b. Art Palkowitz (attorney), and Mike Gallis, DMUSD, spoke in opposition. Two hand-outs: 1. Letter from Dr. McClurg, DMUSD Superintendent; and 2. CC&Rs for Sorrento Condominium Association.
 - c. Judy Strang: Project lacks CEQA approval.
 - d. Mike Hastings, TPCPB: CEQA complication at this site.
 - e. Application was **opposed 9-3**.
2. Marijuana Production Facility (MPF) #585348 and #58358, at 10110 Sorrento Valley Rd.
 - a. Sean St. Peter, Presented. Application is for distribution, packaging and offices. No production or grow operations.
 - b. Judi Strang: Project lacks CEQA approval.
 - c. Application was **approved 12-0**.
3. Community Planning Committee does not currently have a TPCPB member attending.
 - a. Brad Penny was approved by acclamation to be the TPCPB representative.

- b. Susan Lyon volunteered to be the First Alternate.
- c. Sheryl Adams volunteered to be the Second Alternate.
- 4. ~~Releaf~~. Marijuana Outlet (MO) # 575936 at 10170 Sorrento Valley Rd.
 - a. Abhay Schweitzer, presented. Distributed a set of drawings from Techne Design. Property owner is ~~CIRE~~ Equity.
 - b. Dennis Ridtz: Another approved MO exists within less than 1000 feet.
 - c. Application was **opposed 7-4-1**.
- 5. A motion to extend the meeting by 15 minutes **passed 12-0**.
- 6. Capital Improvement Program (CIP):
 - a. TPCPB October 11th letter to Councilwoman Bry was distributed.
 - b. Steve Hadley agreed to get a list of general cost estimates for each of the 7 potential projects before the next PKC meeting (November 6).
- I. **Adjournment:** 9:20.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other

Project Title

LG SORRENTO

Project No. For City Use Only

585348

Project Address:

10110-30-50 SORRENTO VALLEY ROAD, SAN DIEGO CA
SUITE # 100

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☒ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (5-05)

Project Title: <u>10110-30-50 Sorrento Valley Road</u>		Project No. (For City Use Only)	
Part II - To be completed when property is held by a corporation or partnership			
Legal Status (please check):			
<input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General What State? _____ Corporate Identification No. _____ <input checked="" type="checkbox"/> Partnership			
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input type="checkbox"/> Yes <input type="checkbox"/> No			
Corporate/Partnership Name (type or print): <u>HELP SORRENTO LLL</u>		Corporate/Partnership Name (type or print): <u>LC SORRENTO</u>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee		<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Tenant/Lessee	
Street Address: <u>1333 CAMINO DE RIO S.</u>		Street Address: <u>4231 BOLBOA AVE #162</u>	
City/State/Zip: <u>SAN DIEGO CA 92108</u>		City/State/Zip: <u>SAN DIEGO CA 92108</u>	
Phone No: <u>619-297-3900</u> Fax No: _____		Phone No: <u>619-618-8139</u> Fax No: _____	
Name of Corporate Officer/Partner (type or print): <u>FRANK M. GOLDBERG</u>		Name of Corporate Officer/Partner (type or print): <u>SEAN ST. PETER</u>	
Title (type or print): <u>MANAGING MEMBER</u>		Title (type or print): <u>DIRECTOR</u>	
Signature: <u>[Signature]</u> Date: <u>3-2-17</u>		Signature: <u>[Signature]</u> Date: <u>3-1-17</u>	
Corporate/Partnership Name (type or print): _____		Corporate/Partnership Name (type or print): _____	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee		<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address: _____		Street Address: _____	
City/State/Zip: _____		City/State/Zip: _____	
Phone No: _____ Fax No: _____		Phone No: _____ Fax No: _____	
Name of Corporate Officer/Partner (type or print): _____		Name of Corporate Officer/Partner (type or print): _____	
Title (type or print): _____		Title (type or print): _____	
Signature: _____ Date: _____		Signature: _____ Date: _____	
Corporate/Partnership Name (type or print): _____		Corporate/Partnership Name (type or print): _____	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee		<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address: _____		Street Address: _____	
City/State/Zip: _____		City/State/Zip: _____	
Phone No: _____ Fax No: _____		Phone No: _____ Fax No: _____	
Name of Corporate Officer/Partner (type or print): _____		Name of Corporate Officer/Partner (type or print): _____	
Title (type or print): _____		Title (type or print): _____	
Signature: _____ Date: _____		Signature: _____ Date: _____	

Ownership Disclosure Exhibit

Address: 10110 Sorrento Valley Blvd, San Diego Ca 92121

Owners: Goldberg Family Trust 49%

Solomon Family Trust 49%

Managing Partner: Frank Goldberg

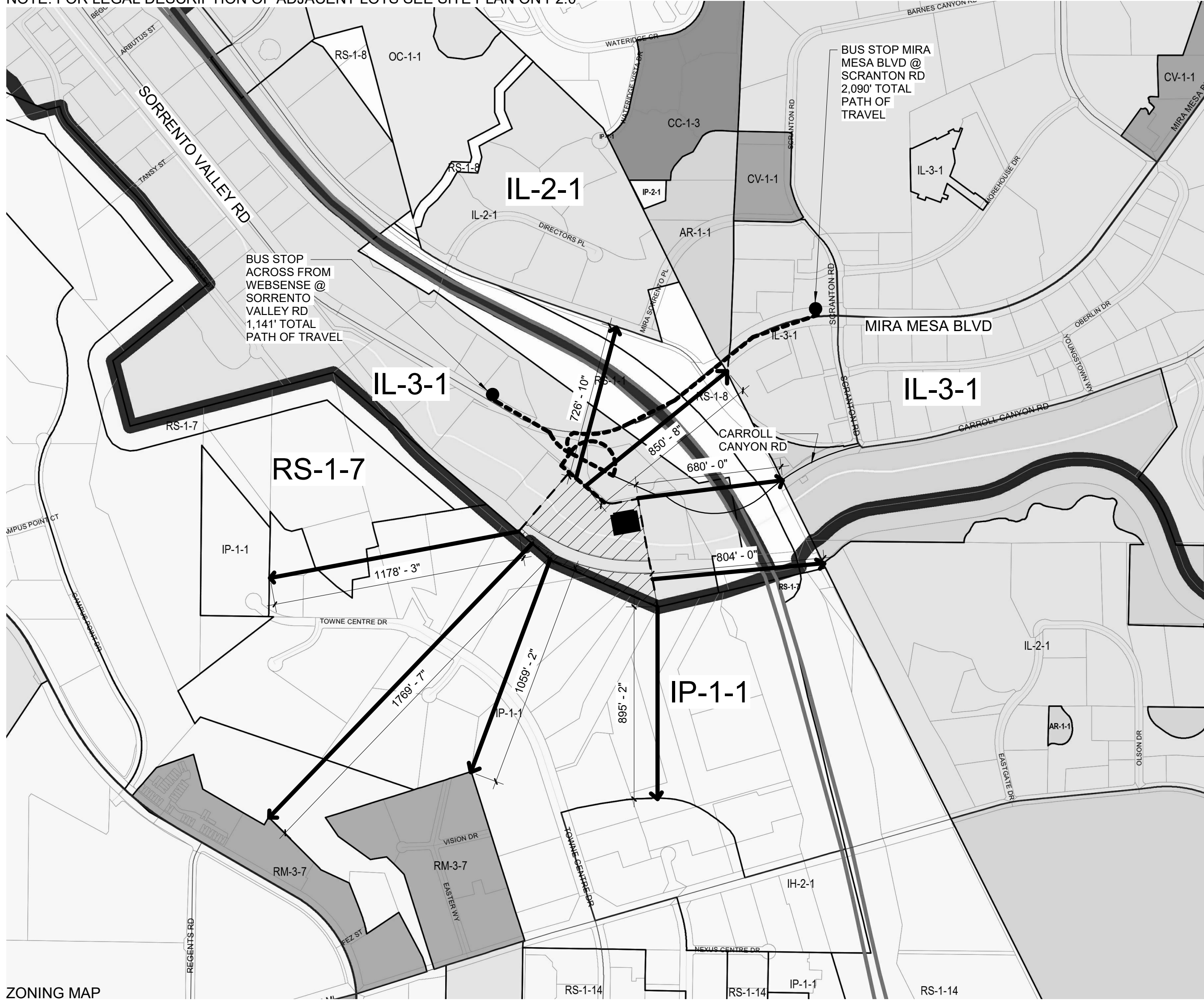
SORRENTO VALLEY MPF - 02

10110 SORRENTO VALLEY ROAD

SAN DIEGO, CALIFORNIA 92121

THIS PROJECT PROPOSES NO SOIL DISTURBANCE AND NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES (BMPs).

NOTE: FOR LEGAL DESCRIPTION OF ADJACENT LOTS SEE SITE PLAN ON P2.0



1 ZONING MAP
1" = 400'-0"

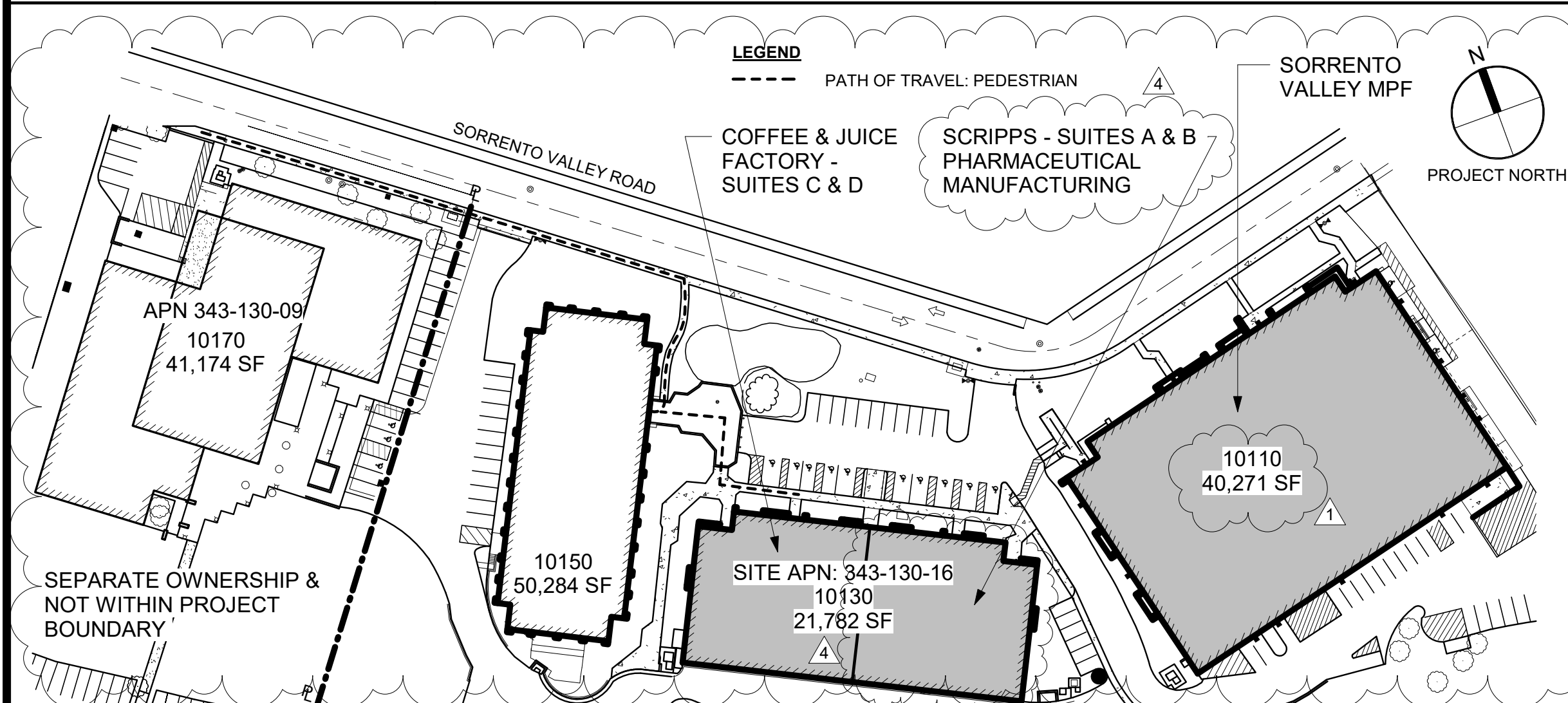


INDICATES DISTANCE TO ADJACENT ZONING AREAS FROM PROPERTY LINE

----- PATH OF TRAVEL TO BUS STOPS

PROJECT NORTH

SITE MAP



INDUSTRIAL ZONE IL-3-1 FAR

TOTAL EXISTING BUILDING SF:

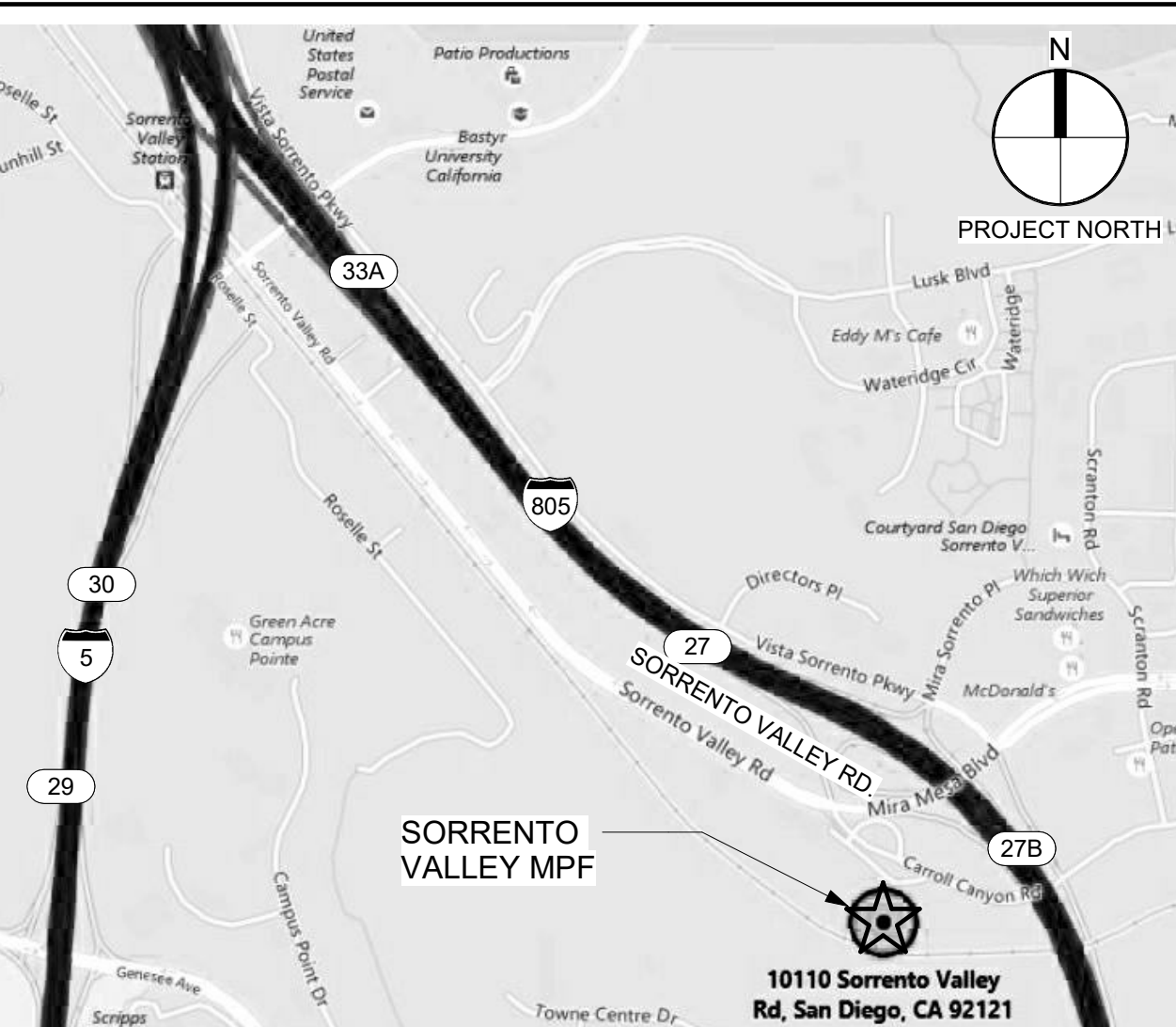
MPF	40,271
SCRIPPS COFFEE & JUICE FACTORY	10,850
TOTAL	21,793
VACANT	50,284
TOTAL	112,337

FAR = BUILDING SF / PARCEL SF

112,337 SF / 524,624 SF = 0.214

FAR = 21.4% < 25%

SITE LOCATION



NEW OCCUPANCY: (F-1) MODERATE HAZARD FACTORY INDUSTRIAL SORRENTO VALLEY MPF

OCCUPANT LOAD CALCULATIONS FOR SORRENTO VALLEY MPF

OCCUPANCY	OCCUPANCY LOAD FACTOR	AREA	LOAD
DISTRIBUTION	100	40,271	403
TOTAL			403
REQUIRED EXITS			2

EGRESS WIDTH PER SECTION 1005: ALL COMPLY
FRONT ENTRY: 201 X 2 = 40.2' - (E) DOORS = 72"
BACK ENTRY: 202 X 2 = 40.4' - (N) DOORS = 72"

NOTE: THIS FACILITY WILL BE USED FOR DISTRIBUTION ONLY. PRODUCTION
AND MANUFACTURING WILL NOT TAKE PLACE AT THIS FACILITY

NOTE: SEE ADDITIONAL BREAKDOWN ON SHEET P3.1

PLUMBING FIXTURE CALCULATIONS

BASED ON 2016 CPC CHAPTER 4

FLOOR SQUARE FOOTAGE:	40,271 SQ. FT.
FLOOR OCCUPANT LOAD:	SQ. FT. / 200 = 202 / 2 = 101 EACH
FLOOR FEMALE OCCUPANTS:	101
FLOOR MALE OCCUPANTS:	101

FEMALE FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1: 1-15	9
LAVATORIES:	1: 1-50	6
MALE FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1: 1-50	6
URINALS:	1: 1-100	4
LAVATORIES:	1: 1-75	5
UNISEX TOILET	REQUIRED:	PROVIDED:
WATER CLOSETS:	0	2
URINALS:	0	0
LAVATORIES:	0	2
DRINKING FOUNTAIN	REQUIRED:	PROVIDED:
	1: 150	2
MOP SINK	REQUIRED:	PROVIDED:
	1	1

INDEX OF DRAWINGS

SHEET	DESCRIPTION	DELTA	1	2	3	4	5	6	7	8	9	10	11
ARCHITECTURAL													
P1.0	PROJECT INFORMATION		*	*	*	*							
P1.1	FINDINGS NOTES		*	*									
P2.0A	2006 ALTA SURVEY FOR REFERENCE ONLY												
P2.1A	DEMO & EXISTING SITE PLAN		*	*	*								
P2.1B	PROPOSED SITE PLAN & PARKING		*	*	*								
P2.1C	EXISTING SITE FLOODWAYS		*	*	*								
P2.1D	BRUSH MANAGEMENT DEVELOPMENT PLAN		*	*	*								
P2.2	ACCESSIBILITY SIGNAGE												
P3.0	1ST FLOOR EXISTING & DEMO PLAN		*	*									
P3.1	1ST FLOOR DESCRIPTIVE PLAN		*	*									
P4.0	LINE OF SIGHT IMAGES		*	*	*								

PROJECT DIRECTORY

OWNER:	HELIX SORRENTO LLC 1333 CAMINO DEL RIO SOUTH SAN DIEGO, CA 92108 CONTACT: ANNE O'SULLIVAN PHONE: 619.237.3900 EMAIL: anne@seapropertymanagement.com	ARCHITECT:	RAD ARCHITECTS INC 1286 UNIVERSITY AVENUE #137 SAN DIEGO, CA 92103 TEL: 619.991.8184 CONTACT: CARYN BAILEY EMAIL: cbailey@rad-architects.com
TENANT:	SORRENTO VALLEY MPF 4231 BALBOA AVE #162 SAN DIEGO, CA 92117 CONTACT: SEAN ST. PETER PHONE: 619.618.8139 EMAIL: sean_stpeter@yahoo.com	CITY OF SAN DIEGO:	DEVELOPMENT SERVICES DEPARTMENT 1222 FIRST AVENUE MS 301 SAN DIEGO, CA 92101-4101 TEL: 619.446.5000

PROJECT SUMMARY

PROJECT SUMMARY:	THE PROPOSED PROJECT IS A MPF, CUP3. THE ZONE IS IL-3-1. BUILDING WAS BUILT IN 1979
SCOPE OF WORK:	EXISTING WALLS AND RESTROOMS TO REMAIN. MINOR DEMOLITION TO OCCUPY REMOVING DOORS AND WALLS TO COMBINE (3) EXISTING SUITES INTO (1) SUITE. THIS FACILITY WILL BE USED FOR PACKAGING, LABELING & DISTRIBUTION OF CANNABIS. NO PRODUCTION OR MANUFACTURING WILL TAKE PLACE AT THIS FACILITY
APPLICABLE CODES:	ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING THE LATEST EDITIONS OF THE FOLLOWING: BUILDING: 2016 CALIFORNIA BUILDING CODE MECHANICAL: 2016 CALIFORNIA MECHANICAL PLUMBING: 2016 CALIFORNIA PLUMBING CODE ELECTRICAL: 2016 CALIFORNIA ELECTRICAL CODE FIRE: 2016 CALIFORNIA FIRE CODE, CITY MUNICIPAL CODES & APPLICABLE FIRE / LIFE SAFETY CODES. ENERGY: 2016 CALIFORNIA ENERGY CODE GREEN: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE ACCESSIBILITY: AMERICANS WITH DISABILITIES ACT (FEDERAL, STATE & LOCAL), REQUIREMENTS NOTED IN CHAPTER 11 OF THE 2016 CALIFORNIA BUILDING CODE
PARCEL ID#:	343-130-16-00
PROPERTY DESCRIPTION:	LOT NO: 3 MAP NO: 435 PARCEL ZONE: A - CAM ACREAGE = 12.04 X 43.572 = 524,624 SF 21 & 31
GEOLOGIC HAZARD CATEGORY:	IL-3-1 ZONE, TORREY PINES COMMUNITY PLAN AREA
ZONING:	MARIJUANA PRODUCTION FACILITY
USE:	INDUSTRIAL
LAND USE:	OVERLAY ZONES INCLUDE: COASTAL OVERLAY ZONE (NON-APPEALABLE AND APPEALABLE), PRIME INDUSTRIAL LANDS, PARKING IMPACT OVERLAY ZONE (COASTAL AND CAMPUS), FEMA FLOODWAYS & FLOODPLAINS, FAA PART 77 NOTICING AREA FOR MCAS MIRAMAR (570), AIRPORT INFLUENCE AREA FOR MCAS MIRAMAR REVIEW AREA 1, ALLCP NOISE FOR MCAS MIRAMAR 60-65 ONEL, AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE FOR MCAS MIRAMAR, MCAS MIRAMAR ACCIDENT PZ-2, MHPA, AND MSCP - SOUTHERN SYCAMORE- ALDER RIPARIAN WOODLAND.
OVERLAY ZONES:	MARIJUANA PRODUCTION FACILITY
PROPOSED FUTURE USE:	FOR THE TENANT IMPROVEMENT OF EXISTING INDUSTRIAL SPACE FOR A NEW MARIJUANA PRODUCTION FACILITY (MPF) OF 40,271 SQUARE FEET. THE 12.04 ACRE SITE IS LOCATED AT 10110 SORRENTO VALLEY ROAD IN THE COASTAL (APPEALABLE/NONAPPEALABLE) OVERLAY ZONE IN THE IL-3-1, BASE ZONE OF THE TORREY PINES COMMUNITY PLAN AREA WITHIN COUNCIL DISTRICT 1.
ENVIRONMENTALLY SENSITIVE LANDS:	FEMA FLOODWAYS & FLOOD PLAINS, SENSITIVE VEGETATION, MHPA & MSCP VEGETATION IN THE FORM OF SOUTHERN SYCAMORE - ALDER RIPARIAN WOODLAND.
DISCRETIONARY PERMITS:	NO DISCRETIONARY PERMIT ARE ON FILE AT CITY.
EXEMPTIONS:	NONE
BUILDING DATA:	OLD TENANT OCCUPANCY: (B) BUSINESS - OFFICES (SCRIPPS). NEW TENANT OCCUPANCY: (F-1) MODERATE HAZARD FACTORY INDUSTRIAL SORRENTO VALLEY MPF. TYPE OF CONSTRUCTION: TYPE VB FULLY SPRINKLERED: NO GROSS TENANT AREA: 40,271 SQUARE FEET TOTAL BUILDING AREA: 40,271 SQUARE FEET ACTUAL BUILDING HEIGHT: 20'-0" TO TOP OF DECK ALLOWABLE HEIGHT: 30'
CONSTRUCTION RATINGS:	TENANT SEPARATION: NON-RATED COLUMNS: NON-RATED INTERIOR BEARING WALLS: NON-RATED INTERIOR NON-BEARING WALLS: NON-RATED BEAMS, GIRDERS, TRUSSES: NON-RATED FLOOR CONSTRUCTION: NON-RATED ROOF / CEILING CONSTRUCTION: NON-RATED

FAA SELF CERTIFICATION

I CARYN BAILEY DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO
EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION
ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(A) OF TITLE 14 OF THE CODE OF FEDERAL
REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

EXHIBITS

EXHIBIT A - APPLICANT CORRESPONDENCE	EXHIBIT E - STORM WATER APPLICABILITY
EXHIBIT B - MPF RADIUS MAP	EXHIBIT F - CAP CHECKLIST
EXHIBIT C - PHOTO PACKAGE	EXHIBIT G - SANGIS MAP
EXHIBIT D - NOTICING PACKAGE	

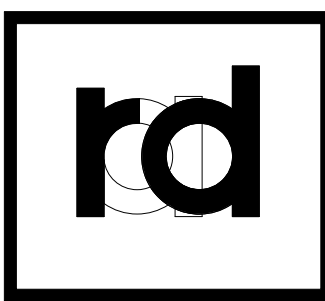
CITY OF SD PROJECT NUMBER: 585348

DATE: 10.08.18

JOB NO: 002

DRAWN: STAFF

CHECKED: CB



Members of the American Institute of Architects

rad Architects, Inc.

1286 University Ave. #137
San Diego, California 92103
(p) 619.991-8184

SORRENTO VALLEY
MPF 02 - CUP 3
10110 SORRENTO VALLEY ROAD
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET

ISSUE DATE: 10.08.18



REVISIONS:

08.20.18	1	1ST RND CITY CMTS
09.20.18	2	2ND RND CITY CMTS
10.08.18	3	3RD RND CITY CMTS
10.15.18	4	4TH RND CITY CMTS

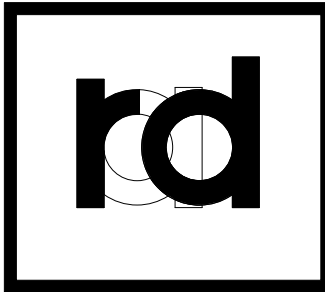
SHEET TITLE:

PROJECT INFORMATION

SHEET NO:

P1.0

DATE: 10.08.18
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



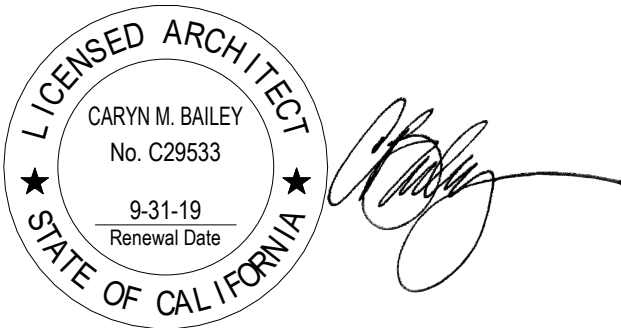
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SORRENTO VALLEY
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10110 SORRENTO VALLEY ROAD
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
ISSUE DATE: 10.08.18



REVISIONS:

08.20.18	1	1ST RND CITY CMTS
10.08.18	3	3RD RND CITY CMTS

SHEET TITLE:

FINDINGS NOTES

SHEET NO:

P1.1

FINDINGS FOR CONDITIONAL USE PERMIT APPROVAL

- ALL OPERATIONS SHALL BE CONDUCTED INDOORS WITHIN A SECURED STRUCTURE. ALL EQUIPMENT AND STORAGE SHALL BE ALSO LOCATED WITHIN A SECURE STRUCTURE.
- LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE IMMEDIATE SURROUNDING AREA OF THE FACILITY, INCLUDING PARKING LOTS AND ADJOINING SIDEWALKS. LIGHTING SHALL BE HOODED OR ORIENTED SO AS TO DEFLECT LIGHT AWAY FROM ADJACENT PROPERTIES.
- SECURITY SHALL INCLUDE OPERABLE CAMERAS, ALARMS, AND A SECURITY GUARD. THE SECURITY GUARD SHALL BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENT ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARD SHALL ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS.
- THE NAME AND EMERGENCY CONTACT PHONE NUMBER OF AN OPERATOR OR MANAGER SHALL BE POSTED OUTSIDE THE MARIJUANA PRODUCTION FACILITY IN A LOCATION VISIBLE TO THE PUBLIC FROM THE PUBLIC RIGHT-OF-WAY IN CHARACTER SIZE AT LEAST TWO INCHES IN HEIGHT. THE PERMITTEE SHALL PROVIDE THIS CONTACT INFORMATION TO THE SAN DIEGO POLICE DEPARTMENT. THE OPERATOR OR MANAGER SHALL ALSO BE AVAILABLE 24 HOURS A DAY TO ADDRESS PUBLIC NUISANCE COMPLAINTS AND INTERACT WITH LOCAL, STATE, AND FEDERAL LAW ENFORCEMENT AUTHORITIES. OTHER THAN THE CONTACT INFORMATION, A MARIJUANA PRODUCTION FACILITY SHALL LIMIT SIGNAGE ON THE EXTERIOR OF THE PROPERTY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY TO THE ADDRESS.
- A PERMIT SHALL BE OBTAINED AS REQUIRED PURSUANT TO CHAPTER 4, ARTICLE 2, DIVISION 15.
- A CONDITIONAL USE PERMIT FOR A MARIJUANA PRODUCTION FACILITY SHALL EXPIRE NO LATER THAN FIVE (5) YEARS FROM THE DATE OF ISSUANCE.
- THE SALE OF MARIJUANA AND MARIJUANA PRODUCTS SHALL ONLY BE CONDUCTED BY A MARIJUANA OUTLET IN ACCORDANCE WITH SECTION 141.0504. A MARIJUANA PRODUCTION FACILITY IS PROHIBITED FROM PROVIDING MARIJUANA AND MARIJUANA PRODUCTS TO ANY PERSON OTHER THAN ANOTHER MARIJUANA PRODUCTION FACILITY, A TESTING LAB, OR A MARIJUANA OUTLET.
- THE MARIJUANA PRODUCTION FACILITY, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE MARIJUANA PRODUCTION FACILITY SHALL BE MAINTAINED FREE OF LITTER AND GRAFFITI AT ALL TIMES.
- THE MARIJUANA PRODUCTION FACILITY SHALL PROVIDE DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED FROM THE PREMISES WITHIN 24 HOURS.

FOR REFERENCE ONLY

ALTA / ACSM
LAND TITLE SURVEY
IN THE CITY OF SAN DIEGO
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

LEGAL DESCRIPTION

ACRE LOT 3 OF THE SORRENTO LANDS AND TOWNSHIP, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 483, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, FEBRUARY 9, 1986, EXCEPTING THEREFROM THOSE PORTIONS THEREOF DESCRIBED AS FOLLOWS:

PARCEL A:
A STRIP OF LAND 100 FEET IN WIDTH OVER AND ACROSS SAID LOT 3, LYING EQUALLY 50 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTER LINE OF THE RIGHT OF WAY OF THE ATCHISON, TOPEKA AND SANTA FE RAILWAY, AS DESCRIBED IN DEED RECORDED AUGUST 17, 1926 IN BOOK 1248, PAGE 241 OF DEEDS.

BEGINNING AT A POINT ON THE EASTERLY LINE OF SAID LOT 3, DISTANT SOUTHERLY 570.78 FEET FROM THE NORTHEAST CORNER OF SAID LOT, THENCE WESTERLY ALONG A CURVE OF 6358.84 FOOT RADIUS CURVE, CONCAVE NORTHERLY 34.0 FEET; THENCE TANGENT TO SAID CURVE AT SAID POINT OF BEGINNING FORMS AN ANGLE OF 80°24'23" TO THE NORTHWEST WITH SAID EASTERLY LINE; THENCE WESTERLY ALONG A CURVE OF 4239.90 FOOT RADIUS CURVE NORTHERLY 37 FEET; THENCE WESTERLY ALONG A CURVE OF 3179.94 FOOT RADIUS CURVE NORTHERLY 37 FEET; THENCE WESTERLY ALONG A CURVE OF 2543.96 FOOT RADIUS CURVE NORTHERLY 37 FEET; THENCE WESTERLY ALONG A CURVE OF 211.97 FOOT RADIUS CURVE, CONCAVE NORTHERLY 37 FEET; THENCE WESTERLY ALONG A CURVE OF 1801.13 FOOT RADIUS CURVE NORTHERLY 37 FEET; THENCE WESTERLY ALONG A CURVE OF 1580.0 FOOT RADIUS CURVE NORTHERLY 37 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 1432.698 FOOT RADIUS CURVE NORTHEASTERLY 650.0 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 1590.0 FOOT RADIUS CURVE NORTHEASTERLY 37 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 1817.13 FOOT RADIUS CURVE NORTHEASTERLY 37 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 2119.97 FOOT RADIUS CURVE NORTHEASTERLY 37 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 2543.96 FOOT RADIUS CURVE NORTHEASTERLY 37 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 3179.94 FOOT RADIUS CURVE NORTHEASTERLY 37 FEET; THENCE NORTHWESTERLY ALONG A CURVE OF 4239.90 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY 34.0 FEET OF A POINT OF BEGINNING ON THE NORTHWESTERLY LINE OF SAID LOT 3, DISTANCE NORTHEASTERLY 52.50 FEET FROM THE MOST WESTERLY CORNER OF SAID LOT.

PARCEL B:
AN IRREGULAR PIECE OR PARCEL OF LAND IN SAID LOT 3, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT, THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT, 120 FEET; THENCE NORTHEASTERLY AT RIGHT ANGLES TO SAID SOUTHWESTERLY LINE 14 FEET, MORE OR LESS TO THE SOUTHWESTERLY LINE OF ABOVE DESCRIBED 100 FOOT STRIP; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE TO THE NORTHWESTERLY LINE OF SAID LOT; THENCE SOUTHWESTERLY ALONG SAID NORTHWESTERLY LINE TO POINT OF BEGINNING.

PARCEL C:
A RIGHT OF WAY 100 FEET WIDE, FOR RAILROAD PURPOSES, SAID RIGHT OF WAY BEING 50 FEET ON EACH SIDE OF THE CENTER LINE OF THE LOCATION SIDE OF THE RAILROAD OF THE SOUTHERN CALIFORNIA RAILROAD COMPANY, NOW THE ATCHISON, TOPEKA AND SANTA FE RAILWAY COMPANY, AS AWARDED TO SAID RAILWAY COMPANY BY DECREE OF CONDEMNATION MADE BY THE SUPERIOR COURT OF THE STATE OF CALIFORNIA, IN AND FOR SAN DIEGO COUNTY, MAY 1981, A CERTIFIED COPY OF WHICH DECREE WAS RECORDED IN BOOK 38, PAGE 438 OF DEEDS.
(APN 343-130-16)

SURVEYOR'S CERTIFICATE

STEPHEN R. HAWKHURST, A REGISTERED LAND SURVEYOR, LICENSE NO. 7355, IN AND FOR THE STATE OF CALIFORNIA, AND LEGALLY ADJUDICATED TO BE A TRUE AND ACCURATE SURVEY MADE BY ME ON MARCH 10, 2008 OF THE LAND THEREIN PARTICULARLY DESCRIBED: 2. THE SURVEY AND THE INFORMATION, COURSES AND DISTANCES SHOWN THEREON ARE ACCURATE. 3. THE TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME. 4. THE LAND DESCRIBED IN THE SURVEY IS THE SAME AND AS DESCRIBED IN THE TITLE INSURANCE COMMITMENT DESCRIBED BELOW. 5. THE AREA OF THE SUBJECT PROPERTY AND THE SIZE, LOCATION AND TYPE OF BUILDINGS AND IMPROVEMENTS AND ANY OTHER MATTERS SITUATED ON THE SUBJECT PROPERTY ARE AS SHOWN AND ALL BUILDINGS AND IMPROVEMENTS ARE WITHIN THE BOUNDARY LINES AND APPLICABLE SET-BACK LINES OF THE PROPERTY (UNLESS OTHERWISE NOTED). 6. THE UNDERSIGNED IS NOT AWARE OF ANY VIOLATIONS OF ZONING ORDINANCES, RESTRICTIONS OR OTHER RULES AND REGULATIONS WITH REFERENCE TO THE LOCATION OF SAID BUILDINGS AND IMPROVEMENTS. 7. THERE ARE NO APPARENT EASEMENTS OR USES AFFECTING THIS PROPERTY APPEARING FROM A CAREFUL PHYSICAL INSPECTION OF THE SAME, OTHER THAN THOSE SHOWN AND DEPicted ON THE SURVEY. 8. THERE ARE NO ENCROACHMENTS ON THE ADJOINING PROPERTIES, STREETS, OR ALLEYS BY ANY OF SAID BUILDINGS, STRUCTURES AND IMPROVEMENTS, OTHER THAN AS SHOWN ON THE SURVEY. 9. THERE ARE NO PARTY WALLS OR VISIBLE ENCROACHMENTS ON SAID DESCRIBED PROPERTY BY STREETS, ALLEYS OR ENCLOSURES, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PROPERTY, EXCEPT AS SHOWN ON THE SURVEY. 10. THE UTILITY SERVICES REQUIRED FOR THE OPERATION OF THE PREMISES EITHER ENTER THE PREMISES THROUGH ADJOINING PUBLIC STREETS, OR THE SURVEY SHOWS THE POINT OF ENTRY AND LOCATION OF ANY UTILITIES THAT PASS THROUGH OR ARE LOCATED ON THE ADJOINING LAND. 11. THE SURVEY SHOWS THE LOCATION AND DIRECTION OF ALL VISIBLE ABOVE GROUND STORM DRAINING SYSTEMS FOR THE COLLECTION AND DISPOSAL OF SURFACE DRAINAGE. 12. ANY VISIBLE ABOVE GROUND EVIDENCE OF DISCHARGE INTO STREAMS, RIVERS OR OTHER CONVEYANCE SYSTEM IS SHOWN ON THE SURVEY. 13. THE PARCEL(S) DESCRIBED IN THIS SURVEY IS LOCATED WITHIN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARDOUS AREA BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT AND LIES WITHIN ZONE "A" AREA DESIGNATED AS SPECIAL FLOOD HAZARD AREAS INUNDAED BY 100 YEAR FLOOD AND ZONE "X" AREA OF 500 YEAR FLOOD; AREAS OF 100 YEAR FLOOD WITH AVERAGE DEPTH OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL 06072F1339 F, EFFECTIVE DATE LINE 19, 1997. 14. THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREET KNOWN AS SORRENTO VALLEY ROAD. 15. EXCEPT AS SHOWN ON THIS SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS. 16. THE BOUNDARY OF THE SUBJECT PROPERTY SHOWN HEREON, WHICH IS ESTABLISHED FROM MONUMENTS FOUND ON THE GROUND, FORMS A MATHEMATICALLY CLOSED FIGURE. THE UNDERSIGNED HAS RECEIVED AND EXAMINED A COPY OF CHICAGO TITLE COMPANY'S COMMITMENT NO. 603030244-LTS, DATED MAY 15, 2006, AND THE LOCATION OF ANY MATTER SHOWN THEREON, TO THE EXTENT IT CAN BE LOCATED HAS BEEN SHOWN ON THIS SURVEY WITH THE APPROPRIATE RECORDING REFERENCE. THIS SURVEY IS MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 2, 3, 4, 6 (SETBACKS ONLY), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13 AND 14 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DATE: _____
STEPHEN R. HAWKHURST, L.S. 7355
APN 343-130-14
STATE OF CALIFORNIA

PREPARED FOR:
PACIFIC SORRENTO TECHNOLOGY PARK, LLC

4350 LA JOLLA VILLAGE DRIVE #410
SAN DIEGO, CALIFORNIA 92122

PROJECT SITE:
PACIFIC SORRENTO TECHNOLOGY PARK

10110, 10130 & 10150 SORRENTO VALLEY ROAD
SAN DIEGO, CALIFORNIA

SPIEKER PROPERTIES LP
APN 343-122-38

RBF
CONSULTING

PLANNING ■ DESIGN ■ CONSTRUCTION
9755 CLAREMONT MESA BOULEVARD, STE 100
SAN DIEGO, CALIFORNIA 92124-0804
656.614.5000 • FAX 656.614.5001 • www.RBF.com

REVISED 1/5/2006: CURB ISLAND
6/3/2002: PARKING LOT REVISIONS
6/13/2002: REVISED LEGAL DESCRIPTION AND SURVEYOR'S CERTIFICATE
3/10/2006: REVISED TITLE REPORT, PARKING, SURVEYOR NAME

SHEET

SHEET TITLE:

2006 ALTA SURVEY FOR
REFERENCE ONLY

SHEET NO:

P2.0A

LEGEND OF SYMBOLS

- PL INDICATES PROPERTY LINE
- CL INDICATES CENTER LINE
- INDICATES DIRECTION OF FLOWAGE OF WATER
- INDICATES 100 YEAR FLOOD PLAIN LINE AS DIGITIZED FROM FEMA MAP
- INDICATES 500 YEAR FLOOD PLAIN LINE AS DIGITIZED FROM FEMA MAP
- INDICATES CONCRETE
- INDICATES CONCRETE BLOCK WALL
- INDICATES SEWER LINE
- INDICATES WATER LINE
- INDICATES STORM DRAIN
- INDICATES HANDICAPPED PARKING STALL
- INDICATES STANDARD PARKING STALL
- INDICATES COMPACT PARKING STALL
- INDICATES WATER METER
- INDICATES WATER VALVE
- INDICATES CATCH BASIN
- INDICATES STREET LIGHT
- INDICATES CHAIN LINK FENCE
- INDICATES FIRE HYDRANT

ZONING

THE ZONING IS IL-3-1 (LIGHT INDUSTRIAL) AS SHOWN ON THE PROPERTY PROFILE. ACCORDING TO TABLE 131-065 OF THE CITY OF SAN DIEGO MUNICIPAL CODE 131.06: THE MINIMUM FRONT SETBACK IS 15 FEET. THE MINIMUM SIDE SETBACK IS 10 FEET. THE MINIMUM REAR SETBACK IS 0 FEET. ACCORDING TO TABLE 142-050 OF THE CITY OF SAN DIEGO MUNICIPAL CODE 131.06: THE PARKING RATIO IS 5.0 SPACES PER 1000 SQUARE FEET OF FLOOR AREA. THERE ARE NO HEIGHT LIMITS FOR STRUCTURES IN THE INDUSTRIAL ZONES EXCEPT AS LIMITED BY THE REGULATIONS IN CHAPTER 13, ARTICLE 2 (OVERLAY ZONES) OF THE MUNICIPAL CODE.

LEGEND OF ABBREVIATIONS

- BFP INDICATES BACKFLOW PREVENTER
- O/W INDICATES CURB INLET
- ET INDICATES DRIVEWAY
- EV INDICATES ELECTRIC TRANSFORMER
- INDICATES ELECTRIC VAULT
- INDICATES FIRE STANDARD PIPES
- HW INDICATES HEAD WALL
- SCD INDICATES SEWER CLEANOUT
- STD INDICATES SEWER MANHOLE
- INDICATES STANDARD
- SMH INDICATES TRASH ENCLOSURE
- TV INDICATES TELEPHONE VAULT
- INDICATES UNDERGROUND
- VB INDICATES VALVE BOX
- INDICATES WATER VACUUM BREAKER
- WM INDICATES WATER MANHOLE
- WSH INDICATES WOOD SHED

MONUMENT NOTES

- FOUND 3/4" IRON PIPE WITH TAG STAMPED RCE 16930 PER ROS 8595, UNLESS OTHERWISE NOTED
- FOUND 1" IRON PIPE WITH TAG STAMPED LS 2416 PER ROS 3079 AND 8595
- FOUND 3/4" IRON PIPE WITH DISC STAMPED LS 4512, NO RECORD
- FOUND 3/4" IRON PIPE WITH DISC STAMPED LS 4512 PER FM 12099

EASEMENTS NOTES

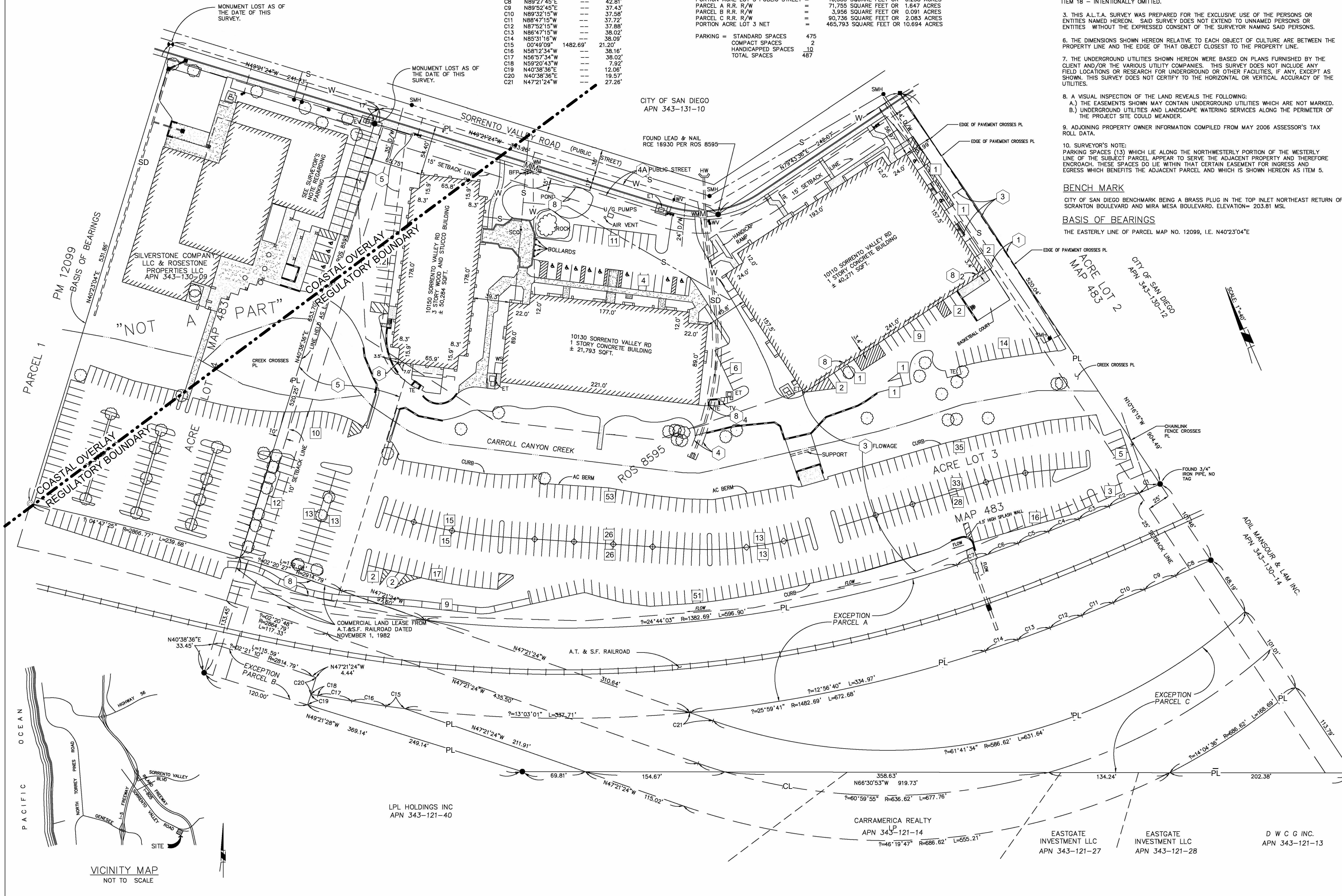
- REFERS TO EXCEPTION NUMBER LISTED IN CHICAGO TITLE COMPANY'S COMMITMENT FOR TITLE INSURANCE, ORDER NUMBER 603030244-LTS, DATED MAY 15, 2006, WHICH WAS USED IN THE PREPARATION OF THIS SURVEY.
- A 20' WIDE EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR A PUBLIC SEWER RECORDED MAY 21, 1970, AS FILE NO. 88214, O.R.
- A 10' WIDE EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR A NATURAL FLOWAGE OF WATER RECORDED SEPTEMBER 25, 1980, AS FILE/PAGE NO. 80-312569, O.R.
- A 10' WIDE EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR A STORM DRAIN RECORDED SEPTEMBER 25, 1980, AS FILE/PAGE NO. 80-312569, O.R.
- A 10' WIDE EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR PUBLIC STREET RECORDED SEPTEMBER 25, 1980, AS FILE/PAGE NO. 312569, O.R.
- AN EASEMENT GRANTED TO THE RANCHO SORRENTO III FOR INGRESS/EGRESS RECORDED MAY 20, 1983, AS FILE/PAGE NO. 83-167007, O.R.
- ANY RIGHTS, INTEREST, OR CLAIMS WHICH MAY EXIST OR ARISE BY THE FOLLOWING FACTS SHOWN ON A SURVEY PLAT ENTITLED "ALTA/ACSM LAND TITLE SURVEY JOB NOS. 25100761 AND 25102070" DATED MAY 3, 2002 AND LAST REVISED MAY 11, 2006 PREPARED BY RBF CONSULTING:

- 1. THE FACT THAT A PORTION OF PARKING LOT TO THE SOUTH ENCLOSED ON THE ADJACENT PROPERTY TO THE SOUTH, (8 SPACES - NOT INCLUDED IN OVERALL PARKING COUNT)
- 2. THE FACT THAT A PORTION OF THE BUILDINGS LOCATED AT 10150 SORRENTO VALLEY ROAD AND 10110 SORRENTO VALLEY ROAD ENDOACH ON THE EASEMENT SHOWN HEREIN AS ITEM 3.
- 3. THE FACT THAT A POND IS LOCATED WITHIN THE SETBACK AREA.
- 4. THE FACT THAT A TRASH ENCLOSURE ENDOACHES ONTO THE EASEMENT SHOWN HEREIN AS ITEM 4.
- 5. THE FACT THAT UNDERGROUND UTILITIES SHOWN HEREON WERE BASED ON PLANS FURNISHED BY THE CLIENT AND/OR THE VARIOUS UTILITY COMPANIES. THIS SURVEY DOES NOT INCLUDE ANY FIELD LOCATIONS OR RESEARCH FOR UNDERGROUND OR OTHER FACILITIES, UNLESS EXCEPT AS SHOWN.
- 6. THE FACT THAT CARROLL CANYON CREEK FLOWS THROUGH SAID LAND.
- 7. A VISUAL INSPECTION OF THE LAND REVEALS THE FOLLOWING:
 - 1.) THE EASEMENTS SHOWN MAY CONTAIN UNDERGROUND UTILITIES WHICH ARE NOT MARKED.
 - 2.) UNDERGROUND UTILITIES AND LANDSCAPE WATERING SERVICES ALONG THE PERIMETER OF THE PROJECT SITE COULD MEANDER.

AREAS

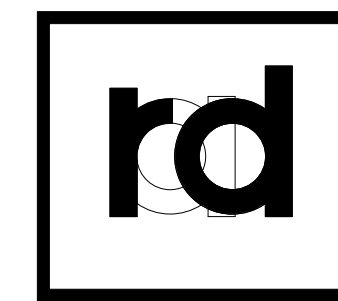
PORTION ACRE LOT 3 GROSS = 642,625 SQUARE FEET OR 14.753 ACRES
PORTION ACRE LOT 3 PUBLIC STREET = 10,385 SQUARE FEET OR 0.238 ACRES
PARCEL A R.R. R/W = 71,755 SQUARE FEET OR 1.647 ACRES
PARCEL B R.R. R/W = 3,956 SQUARE FEET OR 0.091 ACRES
PARCEL C R.R. R/W = 90,336 SQUARE FEET OR 2.083 ACRES
PORTION ACRE LOT 3 NET = 465,793 SQUARE FEET OR 10.694 ACRES

PARKING = STANDARD SPACES 475
COMPACT SPACES 2
HANDICAPPED SPACES 10
TOTAL SPACES 487



H:\DATA\25102070\CADD\MAPS\ALTA\2070AL01-5-24-06.DWG SHAWKHURST 6/17/06 7:39 am

DATE: 10.08.18
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



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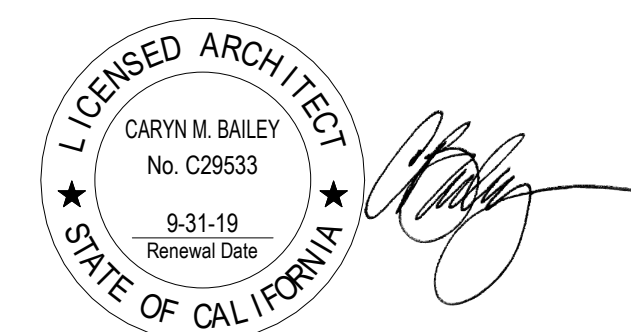
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SORRENTO VALLEY
MPF 02 - CUP 3
10110 SORRENTO VALLEY ROAD
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
ISSUE DATE: 10.08.18



REVISIONS:

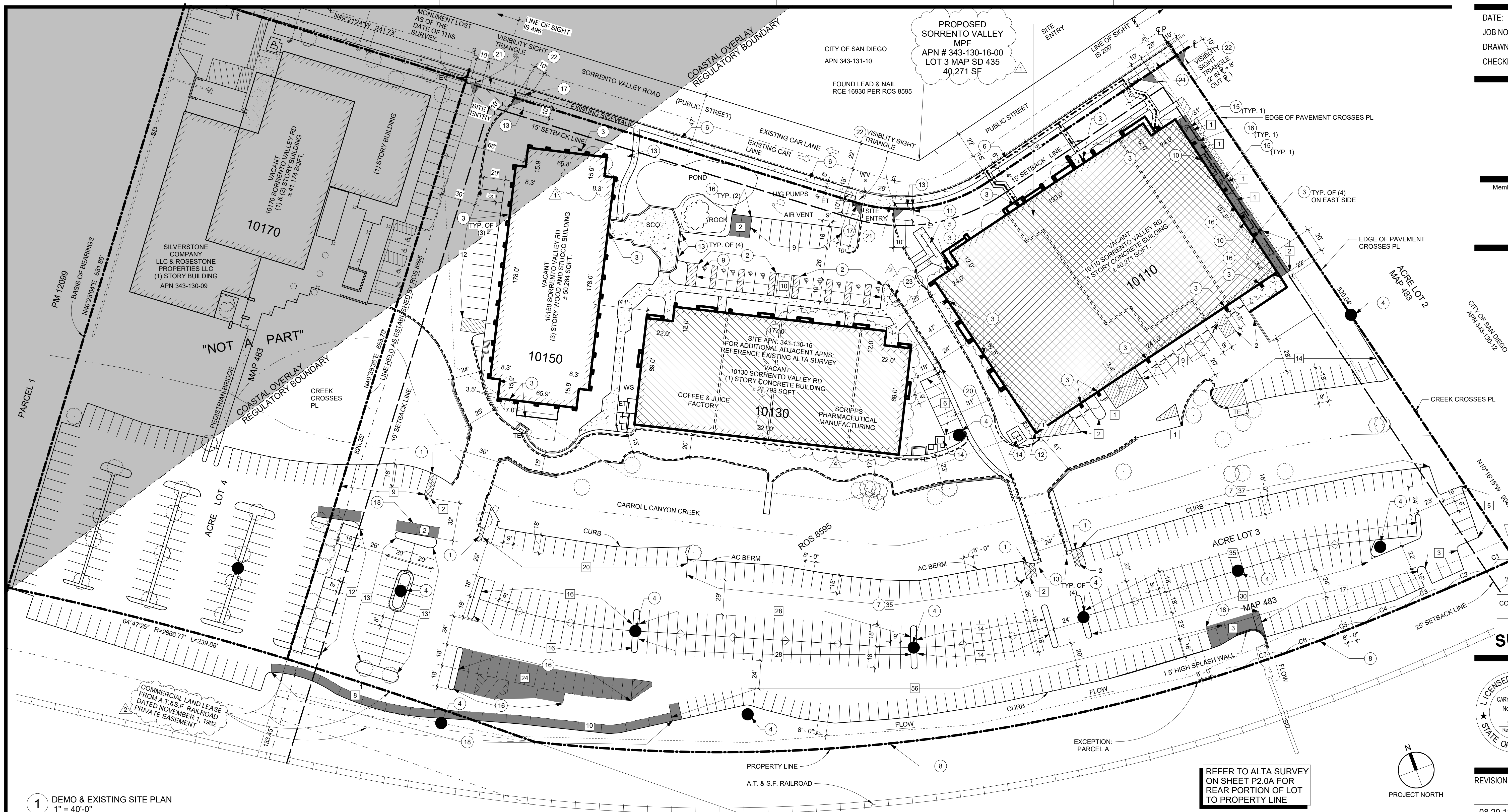
08.20.18	1	1ST RND CITY CMTS
09.20.18	2	2ND RND CITY CMTS
10.15.18	4	4TH RND CITY CMTS

SHEET TITLE:

DEMO & EXISTING SITE
PLAN

SHEET NO:

P2.1A



1 DEMO & EXISTING SITE PLAN
1" = 40'-0"

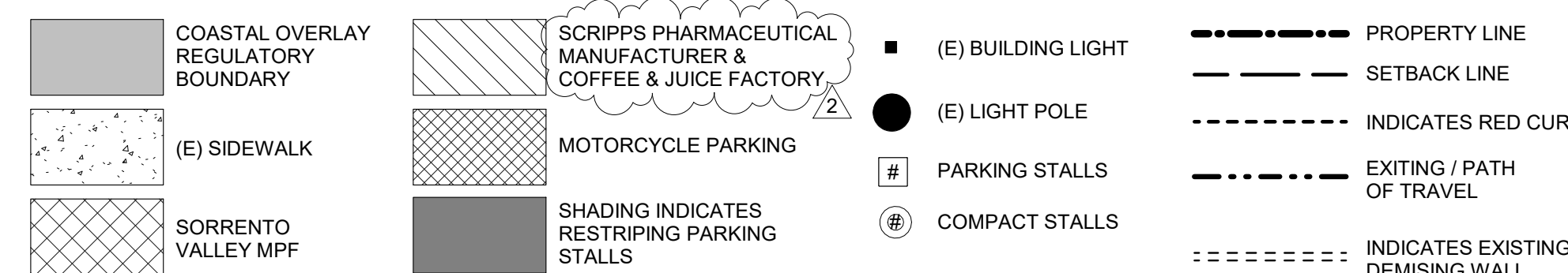
EXISTING PARKING COUNT IL-3-1

FOR BUILDINGS 10110, 10130, 10150

PROJECT APPROVAL NBR: M69828-29-30; ISSUED: 06/15/1979
TOTAL OF COMPACT SPACES: 72 SPACES

EXISTING PARKING SPACES	=	501
EXISTING STANDARD STALLS	=	12
EXISTING ADA PARKING	=	12
10 STANDARD SPACES + 2 VAN SPACES	=	513
TOTAL EXISTING PARKING	=	513

SITE PLAN LEGEND



SITE PLAN KEYNOTES #

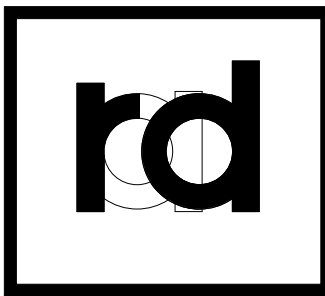
- GRAY HATCH INDICATES (E) MOTORCYCLE PARKING PAINTED WHITE WITH PARKING CONFIGURATION AS INDICATED
- (E) HANDICAP PARKING STALL
- (E) EXTERIOR BUILDING LIGHTS
- (E) EXTERIOR PARKING LIGHTS
- HANDICAP RAMP FROM BUILDING
- PUBLIC SIDEWALK, PEDESTRIAN PATH OF TRAVEL
- COMPACT PARKING STALLS
- RETAINING WALL AROUND PERIMETER OF SITE
- HANDICAP PARKING STALL, VAN ACCESSIBLE
- EXTERIOR STAIRWAY TO REMAIN
- FIRE MAIN
- GAS METER TO REMAIN
- BOLLARDS TO REMAIN
- ELECTRICAL BOX
- RESTRIPE EXISTING HANDICAP PARKING STALL. COORDINATE RELOCATION WITH PROJECT MANAGER
- RESTRIPE EXISTING PARKING STALLS
- FIRE HYDRANT TO REMAIN
- REMOVE STALL STRIPING BY PAINTING OVER EXISTING LINES WITH BLACK PAINT
- NOT USED
- CONCRETE PAVING FLUSH WITH ASPHALT PAVING
- DEMO DRIVEWAY AND REPLACE WITH NEW DRIVEWAY PER CITY OF SAN DIEGO STANDARDS
- NO OBJECTS HIGHER THAN 36 INCHES WILL BE PROPOSED IN THE VISIBILITY AREAS
- DEMO EXISTING SIDEWALK AND PROVIDE NEW CURB RAMP PER CITY OF SAN DIEGO STANDARDS

SITE PLAN GENERAL NOTES

- A. TRANSIT STOPS - SEE ZONING MAP ON P.10
- B. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- C. FIRE HYDRANTS - SEE SITE PLAN DRAWING FOR LOCATIONS

THIS PROJECT PROPOSES NO SOIL DISTURBANCE AND NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES (BMPs).

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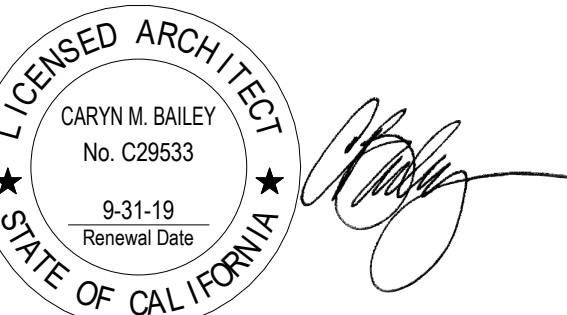
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REVISIONS:

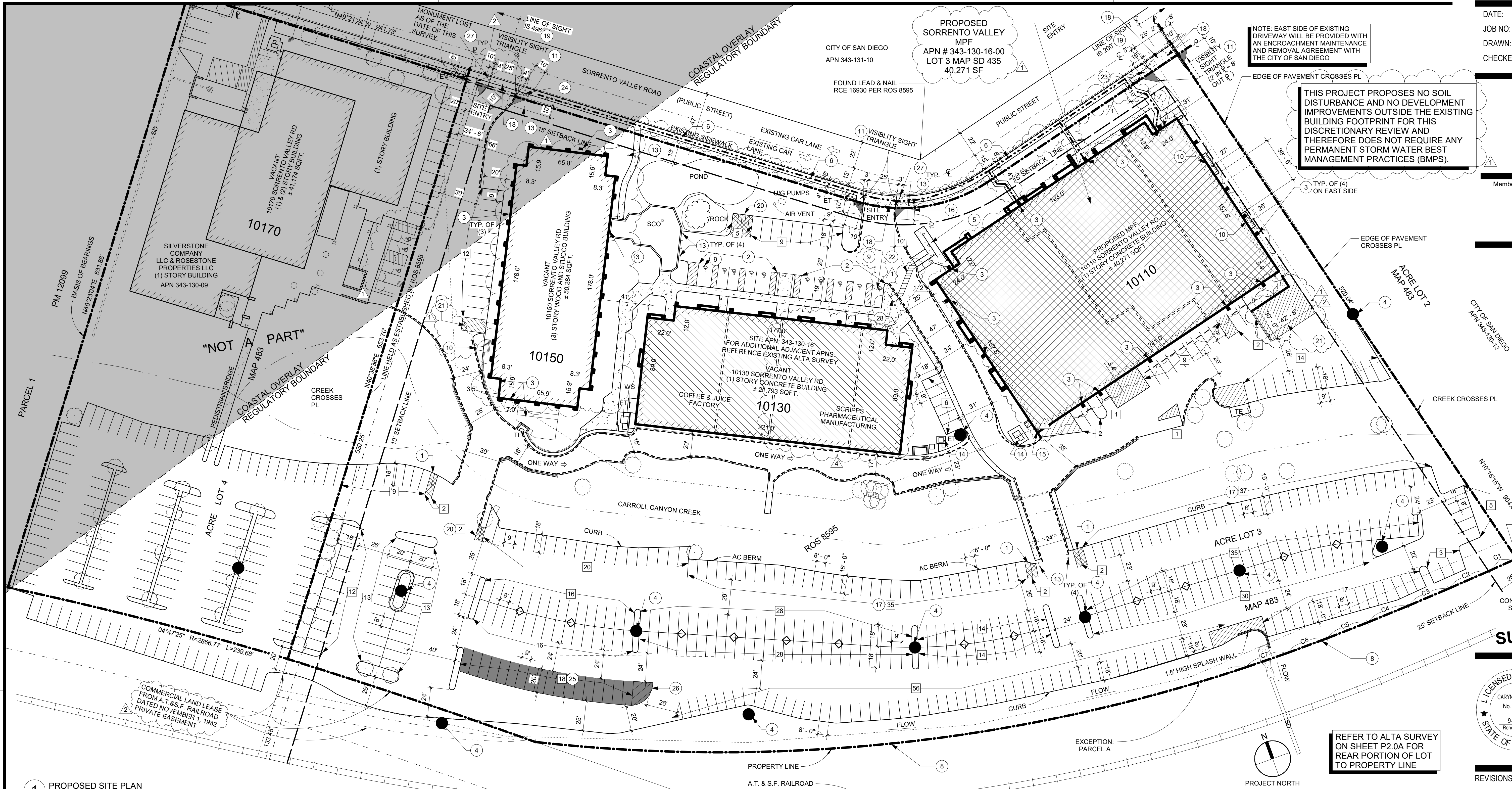
08.20.18	1	1ST RND CITY CMTS
09.20.18	2	2ND RND CITY CMTS
10.15.18	4	4TH RND CITY CMTS

SHEET TITLE:

**PROPOSED SITE PLAN &
PARKING**

SHEET NO:

P2.1B



1 PROPOSED SITE PLAN
1" = 40'-0"

REQUIRED PARKING IL-3-1

SEE MAP AND PARKING RATIO TABLE 142-05G.
SEE PREVIOUS APPROVED PERMITTED PROJECT.
PROJECT APPROVAL NBR: M69828-29-30; ISSUED: 06/15/1979
TOTAL OF COMPACT SPACES: 72 SPACES

BUILDING 10110 (40,271 SF)	1	AUTOMOBILE PARKING SPACES
-LOADING SPACE		
-MPF (PROPOSED):		
40,271 SF X 2.5 SPACES PER 1,000 SF =	100.68	AUTOMOBILE PARKING SPACES
TOTAL SPACES REQUIRED FOR BUILDING 10110:	102	AUTOMOBILE PARKING SPACES

BUILDING 10130 (21,793 SF)		
SCRIPPS 10,850 SF X 2.5 SPACES PER 1,000 SF =	27.13	AUTOMOBILE PARKING SPACES
COFFEE & JUICE FACTORY		
10,943 SF X 2.5 SPACES PER 1,000 SF =	27.36	AUTOMOBILE PARKING SPACES
TOTAL SPACES REQUIRED FOR BUILDING 10130:	55	AUTOMOBILE PARKING SPACES

BUILDING 10150 (50,284 SF)		
-VACANT (TO REMAIN):		
50,284 SF X 3.3 SPACES PER 1,000 SF =	166	AUTOMOBILE PARKING SPACES
TOTAL SPACES REQUIRED FOR BUILDING 10150:	166	AUTOMOBILE PARKING SPACES

TOTAL SPACES REQUIRED: 323 AUTOMOBILE PARKING SPACES

MODIFIED PARKING SPACES
EXISTING STANDARD STALLS = 501
STANDARD STALLS TO BE REMOVED = 29
PROPOSED STANDARD STALLS = 472

EXISTING ADA PARKING	=	12
10 STANDARD SPACES + 2 VAN SPACES		
ADA PARKING SPACES TO BE REMOVED	=	2
PROPOSED ADA SPACES	=	10
REQUIRED ADA PARKING (9 REQUIRED)	=	10 PROVIDED
SITE IS PROVIDING 10 ADA STALLS COMPLIES WITH REQUIRED		

LOADING SPACE	=	1
TOTAL PROPOSED PARKING	=	483
REQUIRED MOTORCYCLE PARKING FOR SITE		
2% OF PARKING = 483 X .02 = 10 STALLS		
EXISTING STALLS	=	7
NEW STALLS	=	6
TOTAL STALLS	=	13

BICYCLE LONG TERM PARKING: NOT REQUIRED
BICYCLE SHORT TERM PARKING: NOT REQUIRED
SHOWER STALLS: NOT REQUIRED
CARPOOL PARKING: NOT REQUIRED
ELECTRICAL VEHICLE: NOT REQUIRED

PER: 142.0530 (e) (2) (D) (ii)
PER: 142.0530 (e) (1) (D) (ii)
PER: 142.0530 (e) (2) (D) (ii)
PER: 142.0530 (d) (1) (C) (ii)
PER: 142.0530 (d) (1) (C) (ii)

TOTAL POTENTIAL PARKING IL-3-1

SEE MAP AND PARKING RATIO TABLE 142-05G.
SEE PREVIOUS APPROVED PERMITTED PROJECT.
PROJECT APPROVAL NBR: M69828-29-30; ISSUED: 06/15/1979
TOTAL OF COMPACT SPACES: 72 SPACES

BUILDING 10110 (40,271 SF)	1	AUTOMOBILE PARKING SPACES
-LOADING SPACE		
-MPF (PROPOSED):		
40,271 SF X 2.5 SPACES PER 1,000 SF =	100.68	AUTOMOBILE PARKING SPACES
TOTAL SPACES REQUIRED FOR BUILDING 10110:	102	AUTOMOBILE PARKING SPACES

BUILDING 10130 (21,793 SF)		
SCRIPPS 10,850 SF X 2.5 SPACES PER 1,000 SF =	27.13	AUTOMOBILE PARKING SPACES
COFFEE & JUICE FACTORY		
10,943 SF X 2.5 SPACES PER 1,000 SF =	27.36	AUTOMOBILE PARKING SPACES
TOTAL SPACES REQUIRED FOR BUILDING 10130:	55	AUTOMOBILE PARKING SPACES

BUILDING 10150 (50,284 SF)		
VACANT 42,602 SF X 3.3 SPACES PER 1,000 SF =	140.58	AUTOMOBILE PARKING SPACES
MO 3980 SF X 5.0 SPACES PER 1,000 SF =	19.9	AUTOMOBILE PARKING SPACES
MPF 3702 SF X 2.5 SPACES PER 1,000 SF =	9.26	AUTOMOBILE PARKING SPACES
TOTAL SPACES REQUIRED FOR BUILDING 10150:	170	AUTOMOBILE PARKING SPACES

TOTAL SPACES REQUIRED: 327 AUTOMOBILE PARKING SPACES

NOTE: ADDITIONAL ADJACENT PROPERTIES, SEE NEIGHBORING
LEGAL DESCRIPTION DETAIL 6 ON P2.2

SITE PLAN GENERAL NOTES

- A. TRANSIT STOPS - SEE ZONING MAP ON P1.0
B. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
C. FIRE HYDRANTS - SEE SITE PLAN DRAWING FOR LOCATIONS

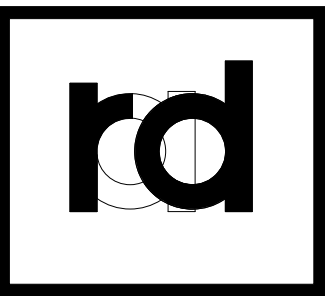
SITE PLAN LEGEND

(E) BUILDING LIGHT	PROPERTY LINE
(E) LIGHT POLE	SETBACK LINE
PARKING STALLS	INDICATES RED CURB
COMPACT STALLS	EXITING / PATH OF TRAVEL
	INDICATES EXISTING DEMISING WALL
	SCRIPPS PHARMACEUTICAL MANUFACTURER & COFFEE & JUICE FACTORY
	MOTORCYCLE PARKING
	SHADING INDICATES RESTRIPTED PARKING STALLS

SITE PLAN KEYNOTES #

- HATCH INDICATES (E) MOTORCYCLE PARKING PAINTED WHITE WITH PARKING CONFIGURATION AS INDICATED
- (E) HANDICAP PARKING STALL
- (E) EXTERIOR BUILDING LIGHTS
- (E) EXTERIOR PARKING LIGHTS
- (E) HANDICAP RAMP FROM BUILDING
- (E) PUBLIC SIDEWALK AND CURB, PEDESTRIAN PATH OF TRAVEL
- VERIFY ALL ADA SIGNAGE IS IN COMPLIANCE WITH DETAILS ON SHEET P2.2 AND ALL LOCAL AND STATE MUNICIPAL CODES
- (E) RETAINING WALL AROUND PERIMETER OF SITE
- (E) HANDICAP PARKING STALL, VAN ACCESSIBLE PER DETAILS ON P2.2
- (E) EXTERIOR STAIRWAY TO REMAIN
- NO OBJECTS HIGHER THAN 36 INCHES WILL BE PROPOSED IN THE VISIBILITY AREAS
- NOT USED
- (E) BOLLARDS TO REMAIN
- (E) ELECTRICAL BOX
- (E) GAS METER TO REMAIN
- (E) FIRE MAIN
- (E) COMPACT PARKING STALLS
- NEW DRIVEWAY TO MEET CURRENT CITY STANDARDS, SDMC SECTION 142.0560(C) TABLE 142-05L
- SEE SHEET P4.0 FOR LINE OF SIGHT IMAGES
- (N) MOTORCYCLE SPACES, 3'-0" X 8'-0" TYP.
- EXISTING LOADING / UNLOADING / DELIVERY AREA.
- STRIP NEW 4'-0" WIDE PATH OF TRAVEL
- (N) DO NOT ENTER SIGN
- (E) FIRE HYDRANT TO REMAIN
- (N) RESTRIPTED PARKING STALL
- (N) STRIPING
- TRANSITIONAL CROSS SLOPE / DRIVEWAY FLARE PER CITY OF SAN DIEGO STANDARDS
- (N) CURB RAMP PER CITY OF SAN DIEGO STANDARDS

DATE: 10.08.18
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REVISIONS:

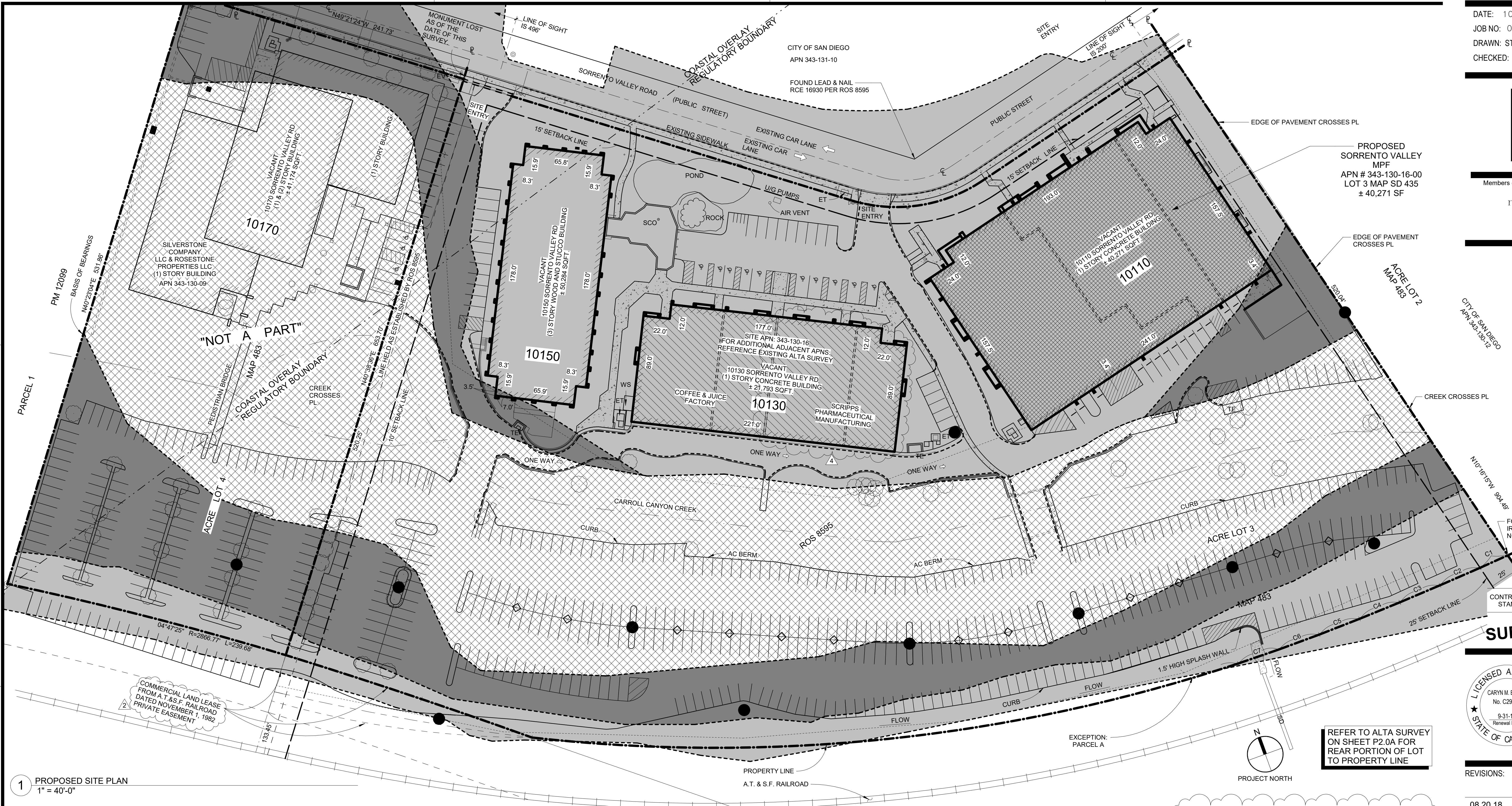
08.20.18	1	1ST RND CITY CMTS
09.20.18	2	2ND RND CITY CMTS
10.15.18	4	4TH RND CITY CMTS

SHEET TITLE:

EXISTING SITE
FLOODWAYS

SHEET NO:

P2.1C

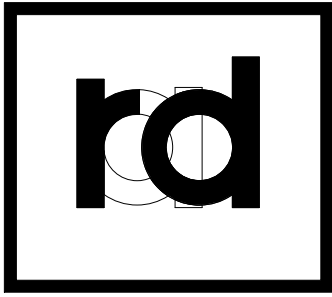


1 PROPOSED SITE PLAN
1" = 40'-0"

THIS PROJECT PROPOSES NO SOIL DISTURBANCE AND NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES (BMPS).

SITE PLAN LEGEND	
	SORRENTO VALLEY MPF
	SCRIPPS PHARMACEUTICAL MANUFACTURER & COFFEE & JUICE FACTORY
	(E) SIDEWALK
	FLOODWAY
	1% ANNUAL CHANCE FLOOD HAZARD
	0.2% ANNUAL CHANCE FLOOD HAZARD

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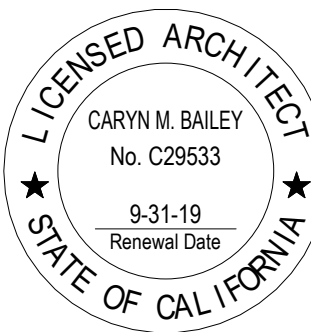
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ISSUE DATE: 10.08.18



REVISIONS:

SHEET TITLE:

ACCESSIBILITY SIGNAGE

SHEET NO:

P2.2

APN # 343-130-16-00
LOT 3 (EX ST OP & RR RW)

APN # 760-146-4500
LOT 1351 11AC M/L IN LOTS 1 THRU 8

APN # 343-130-0900
LOT 4 (EX ST W/D & NWLY 417.04 FT THF) ALL LY NELY OF RR R/W IN

APN # 343-131-1000
LOT 1353 8.4 AC M/L IN

APN # 343-131-0900
LOT 1353 PAR 2 J PER SCC 316395 IN

APN # 760-146-5100
RIGHT OF ENTRY PERMIT IN LOT 2 MAP 362

APN # 343-130-1300
LOT 2 DOC 73-75105 IN AC LOT 1 & IN AC

APN# 343-130-1400
AC LOT 2 (EX PAR 1 PER SCC 315169) ALL S OF RR R/W IN AC LOT 1 & IN

APN # 343-122-6200
PAR 5

APN # 343-122-6400
PAR 7

APN # 343-130-1400
AC LOT 2 (EX PAR 1 PER SCC 315169) ALL S OF RR R/W IN AC LOT 1 & IN

APN # 343-122-5100
PAR 3

APN # 343-121-1300
PAR 2

APN # 343-121-2800
PAR 2

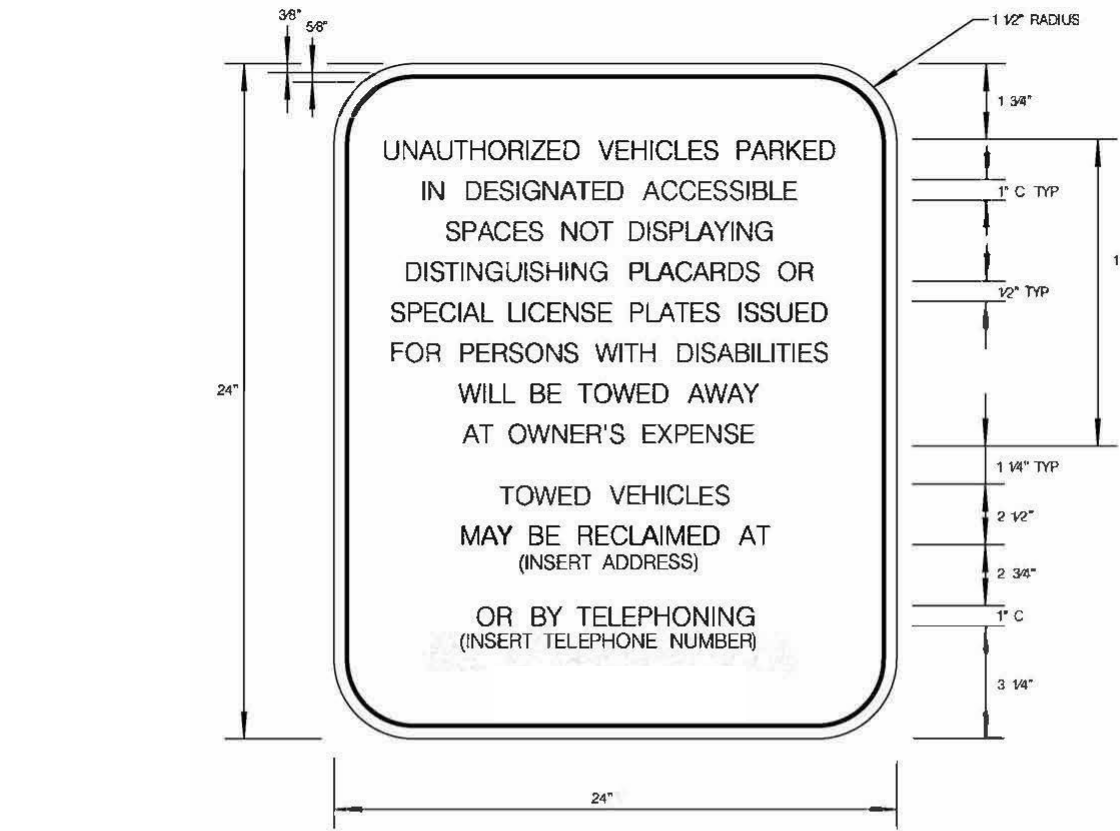
APN # 343-121-2700
PAR 1

APN # 343-121-1400
PAR 1

APN # 343-121-4000
PAR 1

6 NEIGHBORING LEGAL DESCRIPTION

NTS



- NOTES:
1. AN ADDITIONAL SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY TO ANO VISIBLE FROM EACH STALL OR SPACE.
 2. COLORS - THE SIGN HAS A WHITE REFLECTIVE BACKGROUND WITH NON-REFLECTIVE BLACK BORDER AND TEXT.
 3. BLANK SPACES MUST BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN AT THE TIME OF FINAL INSPECTION.
 4. POST MOUNTED SIGNS, SEE 1/P2.2
 5. SIGN SHALL BE CONSTRUCTED OF A MINIMUM 1/16\"/>

4 ACCESSIBILITY TOW AWAY SIGN

3/8\"/>

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SPECIFICALLY REQUIRED IN THIS SECTION.

1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR 15090 IN FEDERAL STANDARD 595B.
2. ALL BUILDING AND FACILITY ENTRANCES THAT ARE ACCESSIBLE TO AND USEABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS.
3. WHEN PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES OF A BUILDING OF SITE RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION ANSI ACCESSIBILITY STANDARDS SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60\"/>
4. WHEN SIGNS DIRECT TO OR GIVE INFORMATION ABOUT PERMANENT ROOMS AND FUNCTIONAL SPACES OF A BUILDING OR SITE THEY SHALL COMPLY WITH SECTIONS 1117B.5.2, 1117B.5.3, 1117B.5.4 MEANS OF EGRESS SIGNS AND IDENTIFICATION FOR VISUAL EXIT SIGNS, GRAPHICS ILLUMINATION, POWER SOURCE, TACTILE EXIT SIGNAGE, TACTILE STAIR LEVEL IDENTIFICATION AND SPECIAL EGRESS CONTROL DEVICES SHALL COMPLY WITH ANSI ACCESSIBILITY STANDARDS
5. WHEN RAISED CHARACTERS OR WHEN PICTOGRAM SYMBOLS ARE USED THEY SHALL CONFORM TO THE FOLLOWING:
 - A. CHARACTERS ON SIGNS SHALL BE RAISED OR RECESSED 1/32\"/>
 - B. RAISED CHARACTERS OR SYMBOLS SHALL BE A MIN. OF 5/8\"/>
 - C. PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MIN. OF 6\"/>
 - D. CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT BRAILLE SHOULD BE PLACED A MIN. OF 3/8\"/>

6. CHARACTERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH OF TO HEIGHT RATIO OF BETWEEN 1:5 AND 1:10

7. CHARACTER SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND

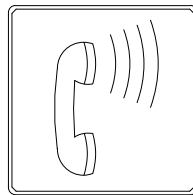
8. CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ THE MIN. HEIGHT IS MEASURED USING A UPPER CASE X LOWER CASE CHARACTERS ARE PERMITTED FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR IN COMPLIANCE WITH SECTION 1133B.8.6 THE MIN. CHARACTER HEIGHT SHALL BE 3\"/>

9. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH ON CENTERS IN EACH CELL WITH 2/10 INCH SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MIN. OF 1/40 INCH ABOVE THE BACKGROUND.

10. RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6. THEY SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT SHALL BE 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.



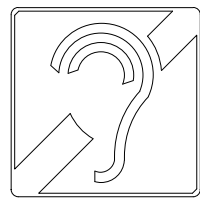
INTERNATIONAL SYMBOL OF ACCESSIBILITY: PROFILE IN WHITE ON BLUE BACKGROUND.



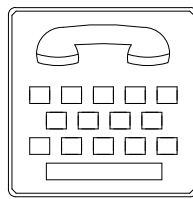
VOLUME CONTROL FOR HEARING IMPAIRED.



DIRECTIONAL ARROW WHERE NEEDED TO PROVIDE DIRECTION OF ACCESSIBLE PATH.



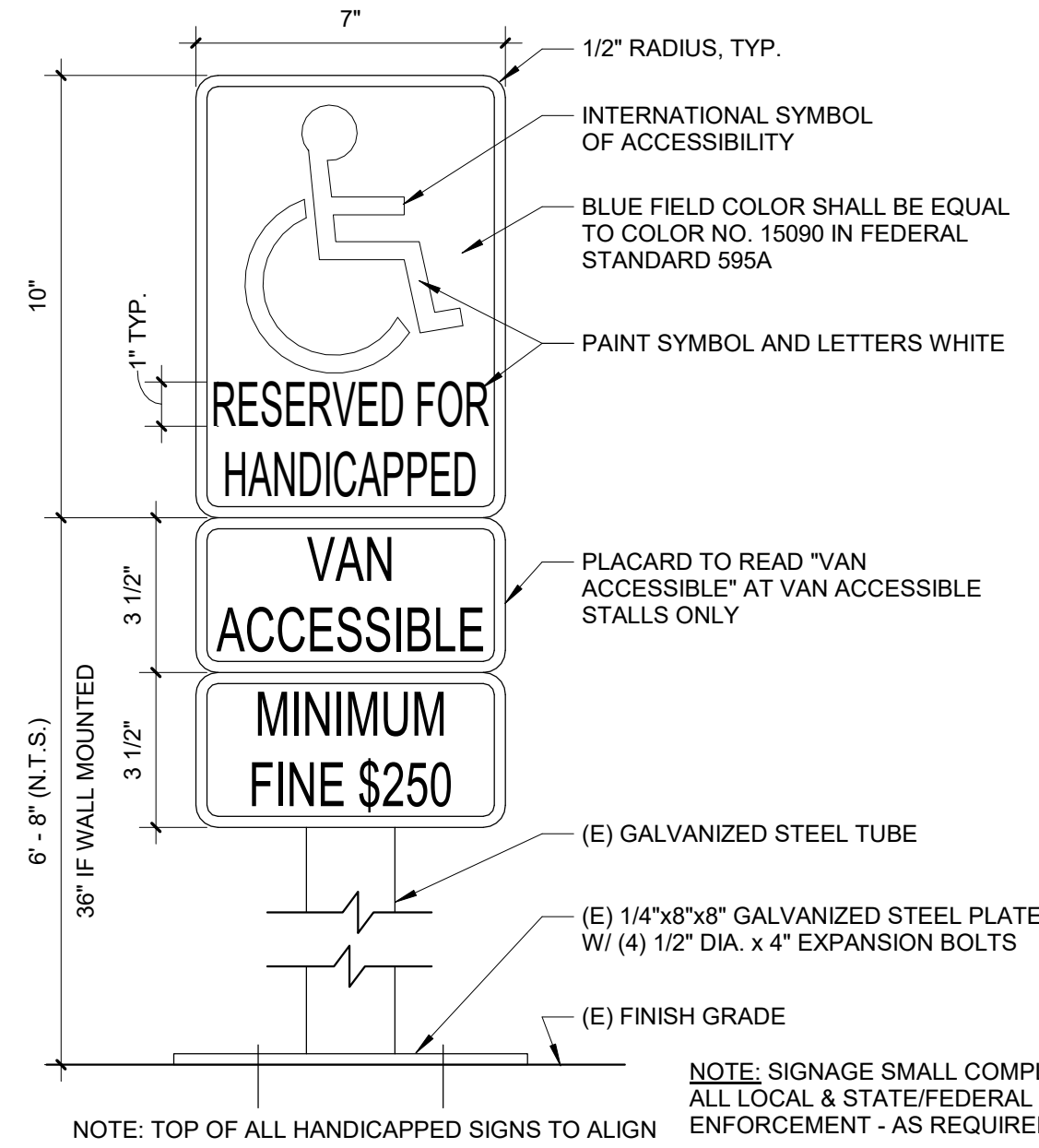
ASSISTIVE LISTENING FOR HEARING IMPAIRED.



TTY SYSTEM FOR HEARING IMPAIRED.

(6A)
PICTOGRAMS

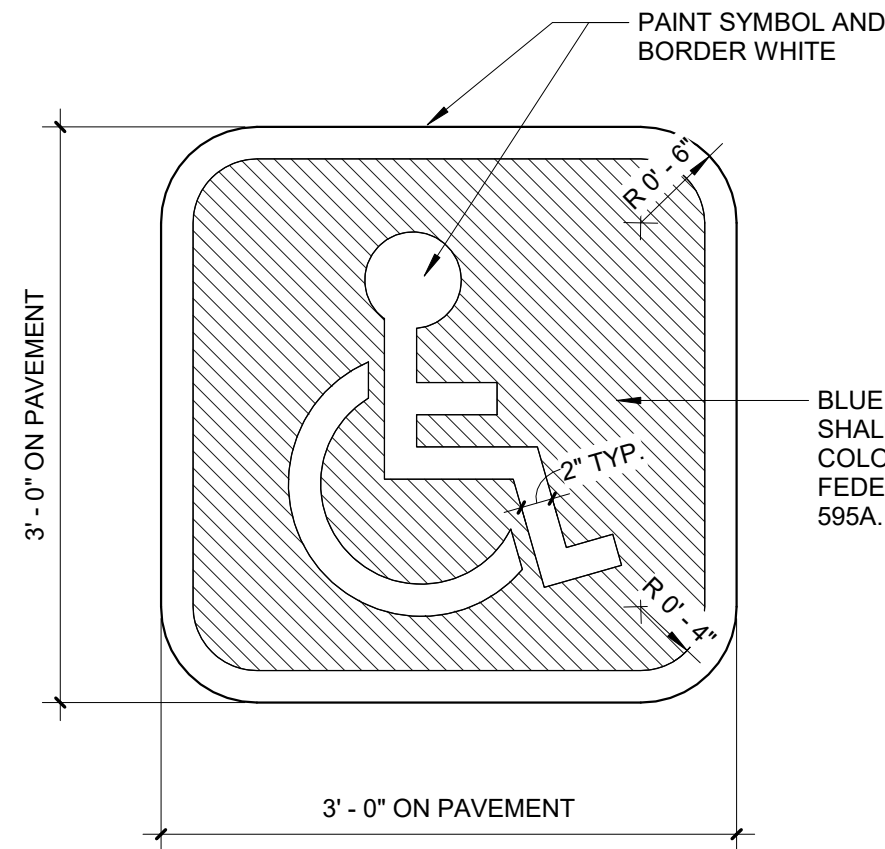
5 SIGNS & IDENTIFICATION



NOTE: SIGNAGE SHALL COMPLY WITH ALL LOCAL & STATE/FEDERAL CODE ENFORCEMENT - AS REQUIRED.

1 ACCESSIBLE PARKING SIGN

3\"/>



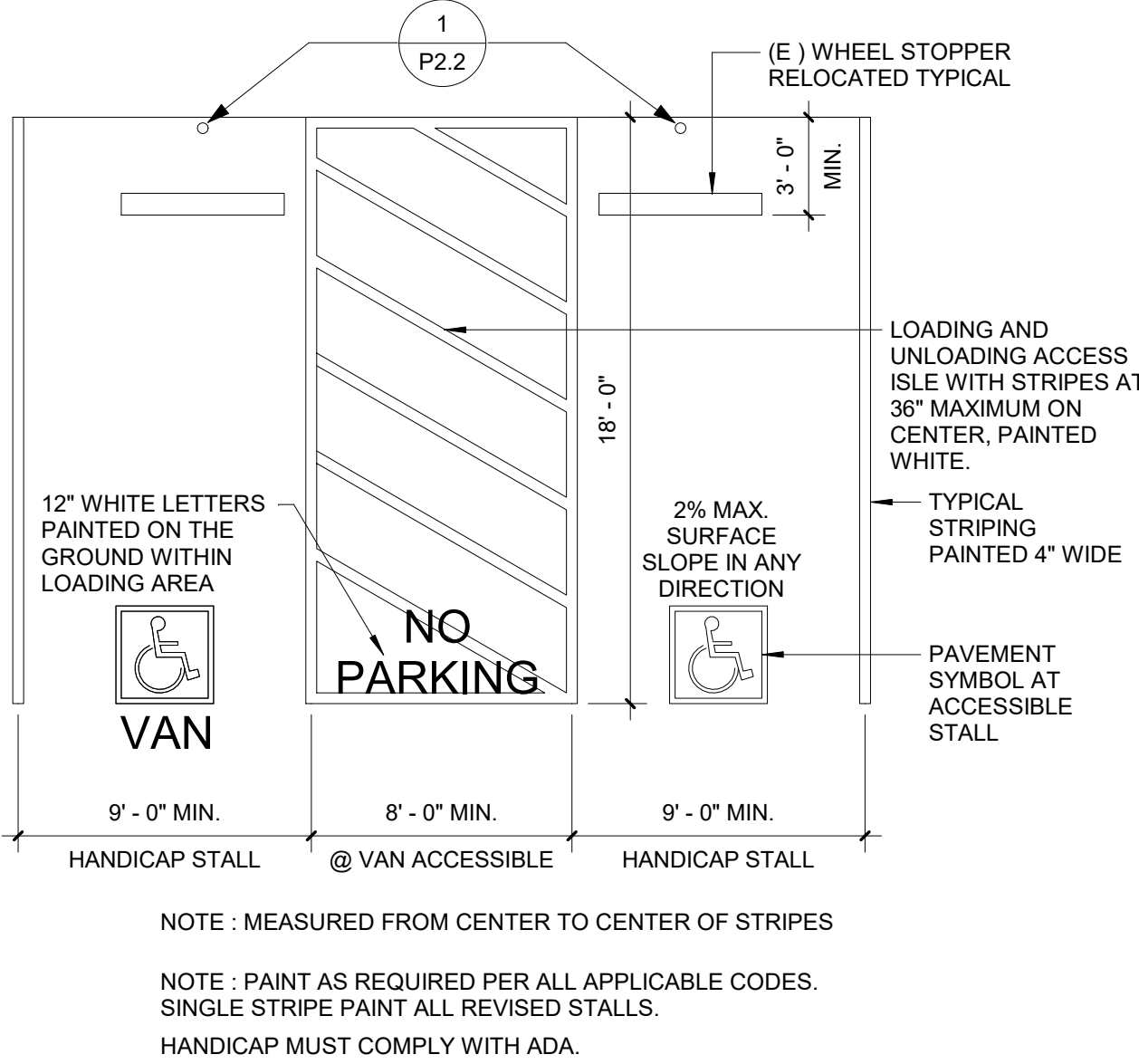
CENTER SYMBOL IN EACH HANDICAP STALL

HANDICAPPED SIGNAGE SHALL COMPLY WITH SECTION 1107 CALIFORNIA BUILDING CODE

SYMBOL SHALL BE LOCATED SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PARKED IN THE SPACE

2 ACCESSIBILITY SIGN

1\"/>



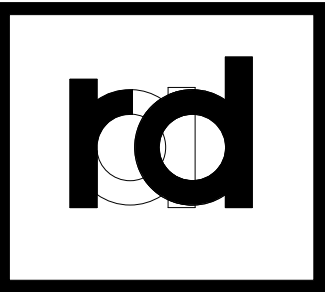
NOTE : MEASURED FROM CENTER TO CENTER OF STRIPES

NOTE : PAINT AS REQUIRED PER ALL APPLICABLE CODES. SINGLE STRIPE PAINT ALL REVISED STALLS. HANDICAP MUST COMPLY WITH ADA.

3 TYPICAL PARKING STRIPING PLAN

3/16\"/>

DATE: 10.08.18
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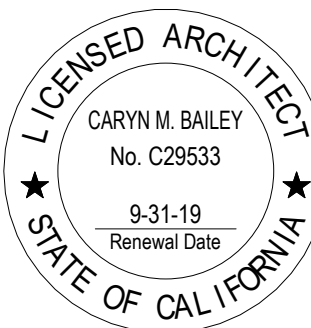
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MPF 02 - CUP 3
10110 SORRENTO VALLEY ROAD
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
ISSUE DATE: 10.08.18



REVISIONS:

08.20.18	1	1ST RND CITY CMTS
09.20.18	2	2ND RND CITY CMTS

SHEET TITLE:

1ST FLOOR EXISTING &
DEMO PLAN

SHEET NO:

P3.0

GENERAL NOTES

- A. FOR ALL EXISTING DIMENSIONS NOT SHOWN, SEE EXISTING ARCHITECTURAL DRAWINGS.
- B. OWNER / CONTRACTOR TO FIELD VERIFY ALL NECESSARY EXISTING DIMENSIONS.
- C. CONTRACTOR TO VERIFY ALL EXACT DIMENSIONS OF DEMOLITION AREA PRIOR TO REMOVAL.
- D. CONTRACTOR TO CAREFULLY DEMOLISH EXISTING STUDS, HDRS, WINDOW SILLS, ETC. FOR POSSIBLE REUSE OF MATERIAL.
- E. CONTRACTOR TO HAUL ALL DAMAGED OR UNUSABLE MATERIAL TO THE CITY / COUNTY APPROVED LOCATIONS.
- F. CONTRACTOR TO REROUT OR CAP OFF ALL NECESSARY VENTILATION, SEWER AND WATER PIPES

MANDATORY (CBEES 150.0(K)):
BATHROOMS: ALL LIGHTING FIXTURES AND SWITCHES INSTALLED SHALL DEMONSTRATE THE FOLLOWING: AT LEAST ON HIGH EFFICIENCY FIXTURE SHALL BE INSTALLED IN EACH BATHROOM. ALL OTHER BATHROOM LIGHTING SHALL BE HIGH EFFICIENCY OR CONTROLLED BY A VACANCY SENSOR. GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: LIGHTING FIXTURES AND SWITCHES INSTALLED SHALL DEMONSTRATE ALL LIGHTING IS HIGH EFFICIENCY AND CONTROLLED BY A VACANCY SENSOR.

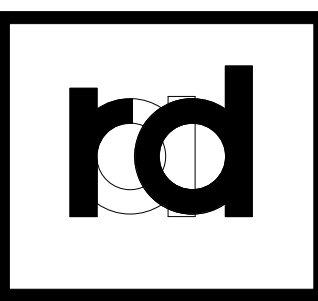
WALL LEGEND

- INDICATES EXISTING PARTITIONS AND EXTERIOR WALLS TO REMAIN
- INDICATES EXISTING WINDOWS
- INDICATES EXISTING WALLS TO BE REMOVED
- (E) CONCRETE SIDEWALK
- PEDESTRIAN PATH OF TRAVEL

1 EXISTING / DEMO PLAN
3/32" = 1'-0"

PROJECT NORTH

DATE: 10.08.18
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



Members of the American Institute of Architects

rAd Architects, Inc.

1286 University Ave. #137
San Diego, California 92103
(619) 591-8194

SORRENTO VALLEY
MPF 02 - CUP 3
10110 SORRENTO VALLEY ROAD
SAN DIEGO, CA 92121

CONTRACTOR SHALL BUILD ONLY FROM SETS
STAMPED "CONSTRUCTION SET" HEREIN

SUBMITTAL SET
ISSUE DATE: 10.08.18



REVISIONS:

08.20.18 1 1ST RND CITY CMTS
09.20.18 2 2ND RND CITY CMTS

SHEET TITLE:

1ST FLOOR DESCRIPTIVE
PLAN

SHEET NO:

P3.1

GENERAL NOTES

- A. FOR ALL EXISTING DIMENSIONS NOT SHOWN, SEE EXISTING ARCHITECTURAL DRAWINGS.
- B. OWNER / CONTRACTOR TO FIELD VERIFY ALL NECESSARY EXISTING DIMENSIONS.
- C. CONTRACTOR TO VERIFY ALL EXACT DIMENSIONS OF DEMOLITION AREA PRIOR TO REMOVAL.
- D. CONTRACTOR TO CAREFULLY DEMOLISH EXISTING STUDS, HDRS, WINDOW SILLS, ETC. FOR POSSIBLE REUSE OF MATERIAL.
- E. CONTRACTOR TO HAUL ALL DAMAGED OR UNUSABLE MATERIAL TO THE CITY / COUNTY APPROVED LOCATIONS.
- F. CONTRACTOR TO REROUT OR CAP OFF ALL NECESSARY VENTILATION, SEWER AND WATER PIPES

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WALL LEGEND

- INDICATES EXISTING PARTITIONS AND EXTERIOR WALLS TO REMAIN
- INDICATES EXISTING WINDOWS
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES LOCATION OF CAMERAS
- INDICATES LOCATION OF ALARMS
- INDICATES LOCATION OF SECURED ENTRANCE / EXIT
- INDICATES LOCATION OF SECURITY GUARD
- INDICATES LOCATION OF EMERGENCY CONTACT SIGNS PER CONDITIONS
- INDICATES LOCATION OF ODOR SUPPRESSION SYSTEM
- (E) CONCRETE SIDEWALK
- PEDESTRIAN PATH OF TRAVEL

FLOOR PLAN LEGEND

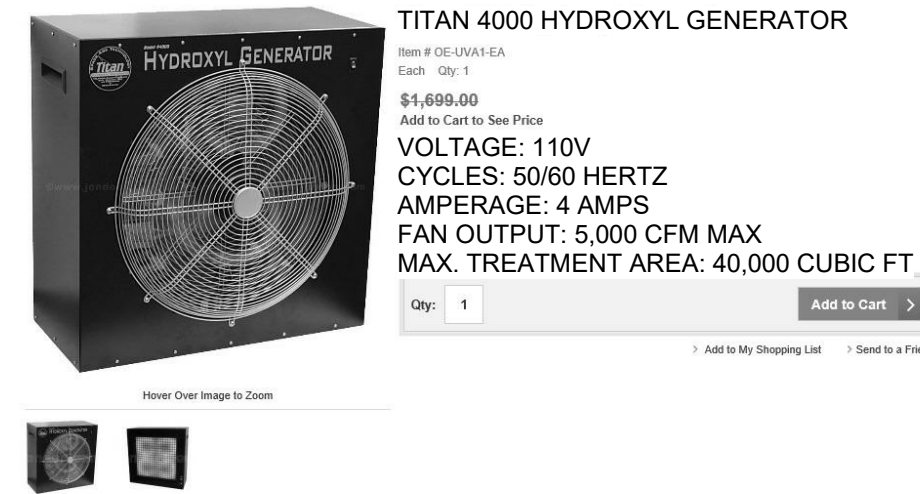
- BREAK ROOM
- DISTRIBUTION
- STORAGE
- PACKAGING & LABELING
- OFFICES

SPECIFIC USE INFORMATION

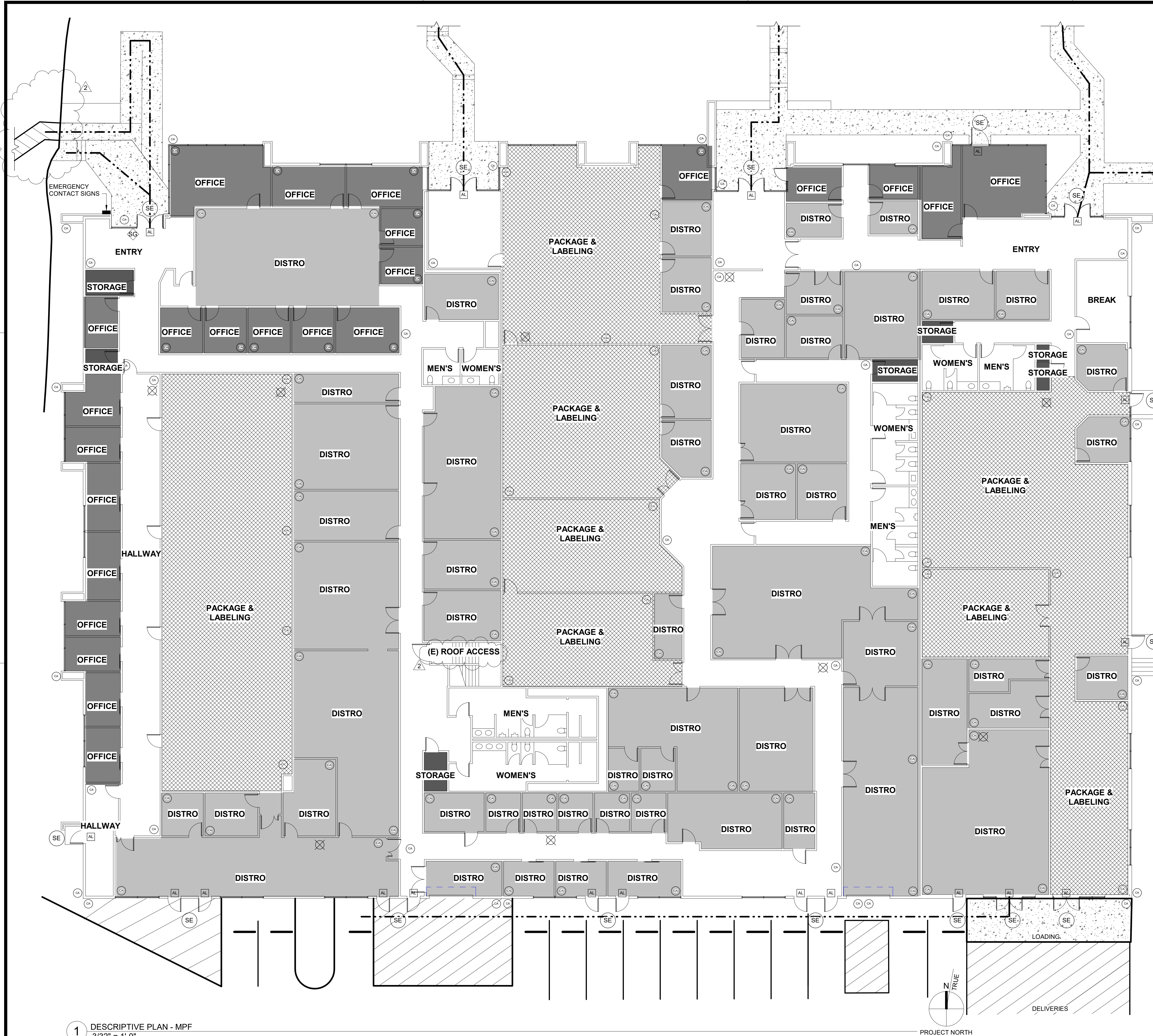
USE SQUARE FOOTAGES	
PRODUCTION:	0 SF
MANUFACTURING:	0 SF
DISTRIBUTION:	15,317 SF
DISTRIBUTION - STORAGE AND DISTRIBUTION OF CANNABIS PRODUCTS, NO HIGH PILE	15,317 SF
PACKAGING & LABELING - PACKAGING AND LABELING OF CANNABIS PRODUCTS	11,043 SF
STORAGE - STORAGE OF OFFICE, JANITORIAL AND RESTROOM SUPPLIES	272 SF
OFFICES - OFFICE DUTIES	3,210 SF
MEN'S / WOMEN'S - MEN'S & WOMEN'S RESTROOMS	
BREAK - BREAK ROOM FOR EMPLOYEE BREAKS	
TOTAL DISTRIBUTION:	29,842 SF

USE INFORMATION	
HOURS OF OPERATION:	9:00 AM TO 9:00 PM
# OF EMPLOYEES:	MAX 100
# OF SHIFTS:	2
DELIVERIES:	8 DELIVERIES PER DAY
TYPES OF DELIVERY:	PRODUCT & PACKAGING DELIVERED BY CARGO VAN OR DELIVERY VEHICLES (IE UPS & FEDEX)

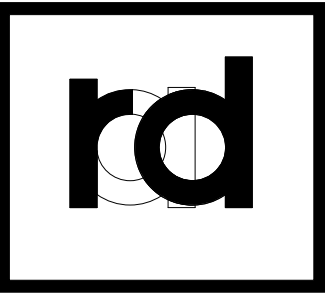
ODOR SUPPRESSION SYSTEM
HYDROXIL GENERATOR
TITAN 4000 OR EQUAL
COVERAGE: 40,000 CU.FT. / 5,000 SF



PRODUCT INFORMATION:
THE TITAN 4000 HYDROXYL GENERATOR IS PERFECT FOR USE ON BIG RESTORATION JOBS AFFECTED BY SEVERE ODORS. IT PRODUCES NO OZONE, AND IS SAFE FOR USE IN OCCUPIED AREAS. THE TITAN 4000 TREATS UP TO 40,000 CUBIC FEET.



DATE: 10.08.18
JOB NO: 002
DRAWN: STAFF
CHECKED: CB



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REVISIONS:

08.20.18	1	1ST RND CITY CMTS
10.15.18	4	4TH RND CITY CMTS

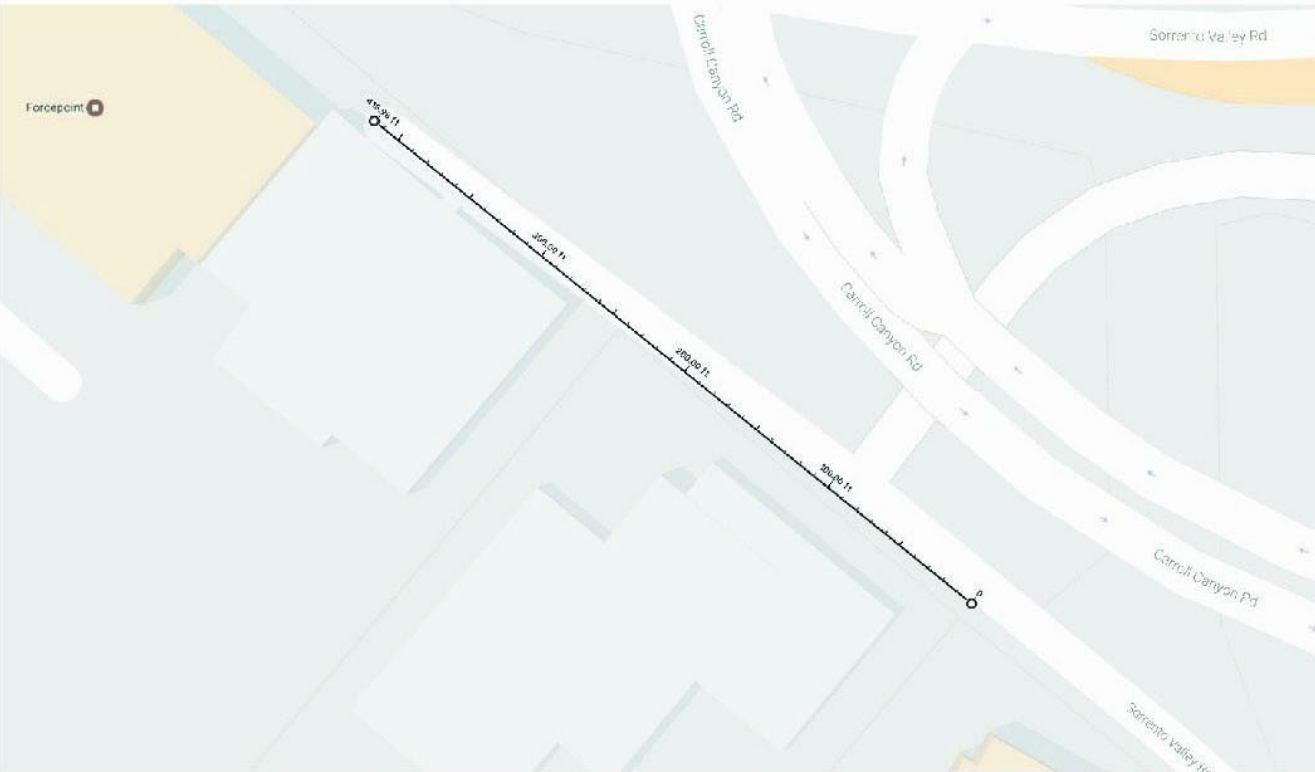
SHEET TITLE:

LINE OF SIGHT IMAGES

SHEET NO:

P4.0

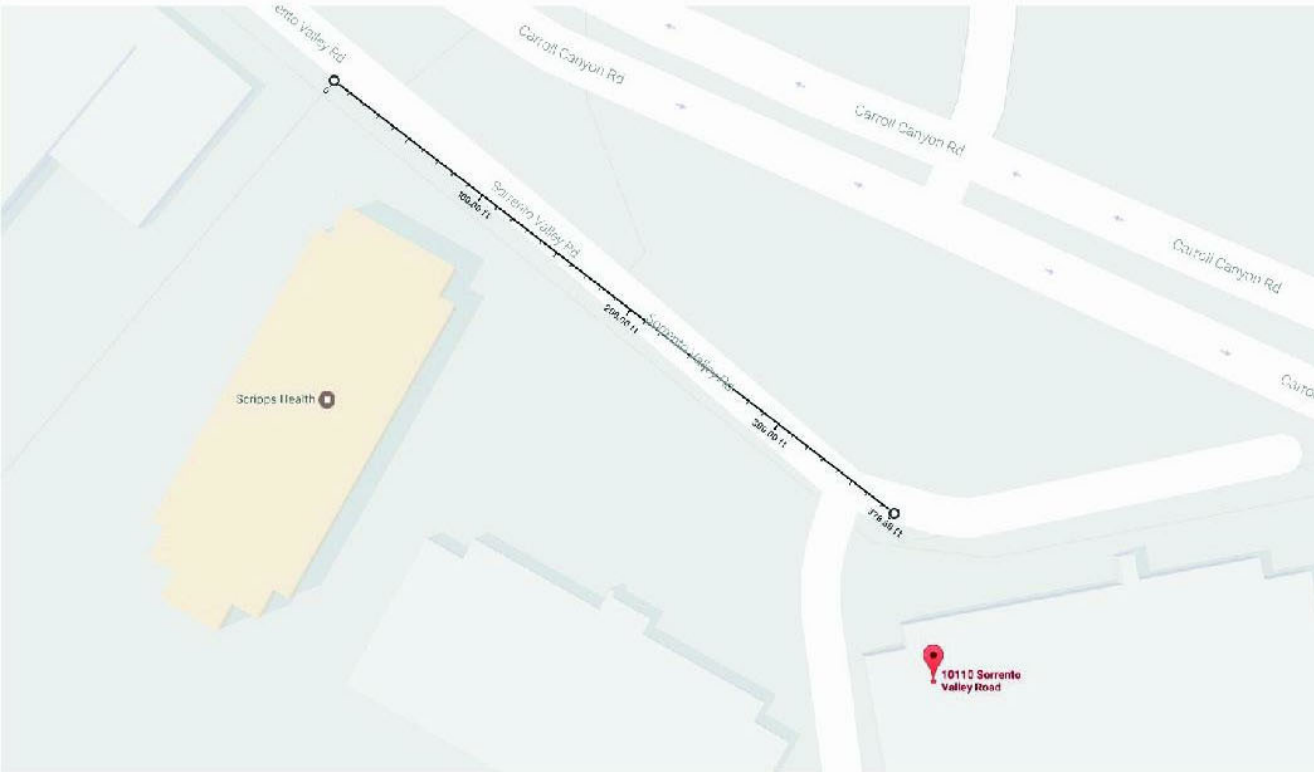
WEST DRIVEWAY - FACING WEST



WEST DRIVEWAY:

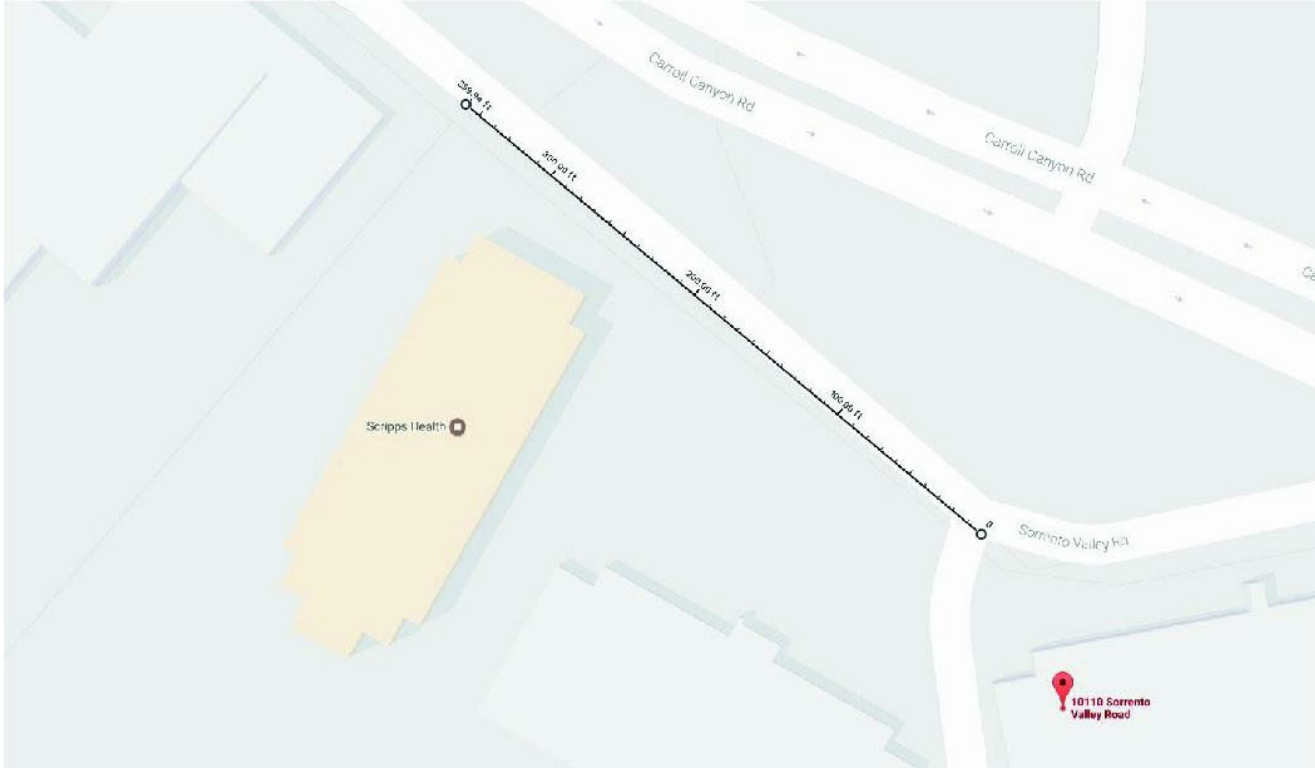
1

WEST DRIVEWAY - FACING EAST



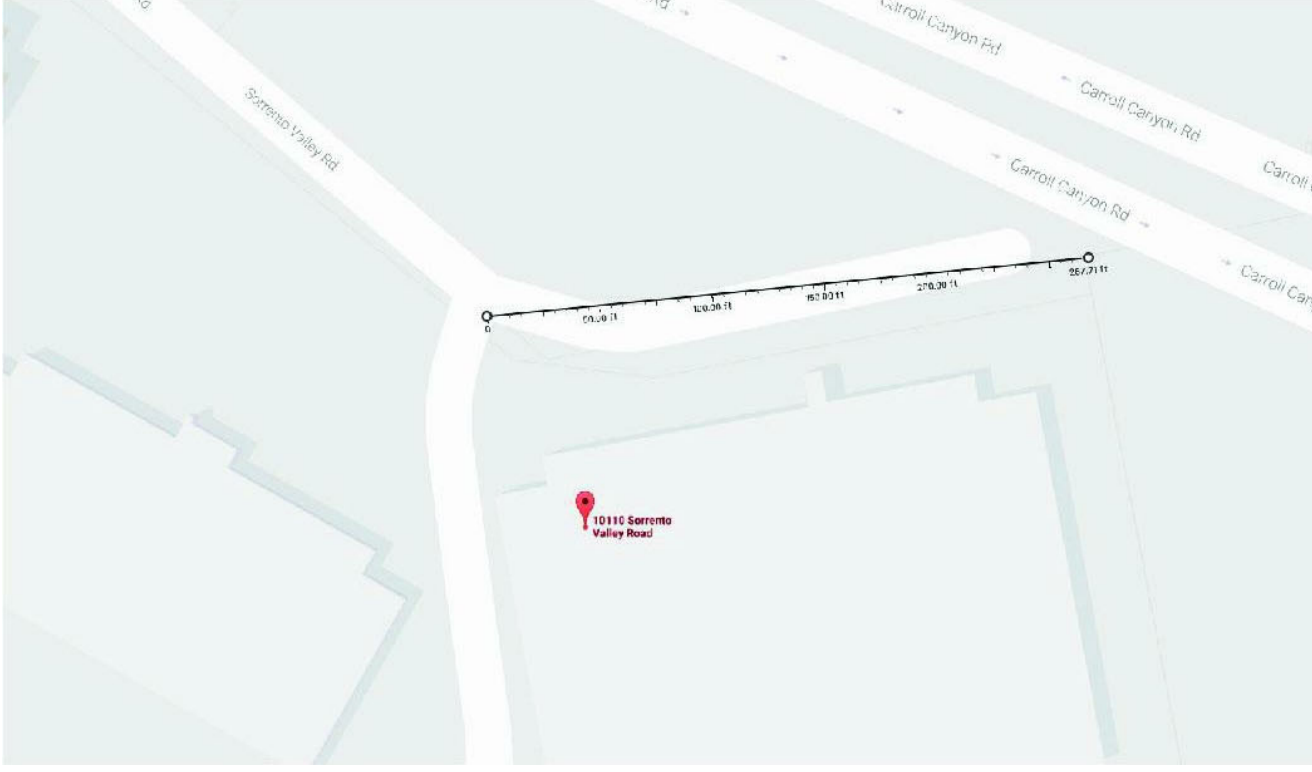
2

CENTER DRIVEWAY - FACING WEST



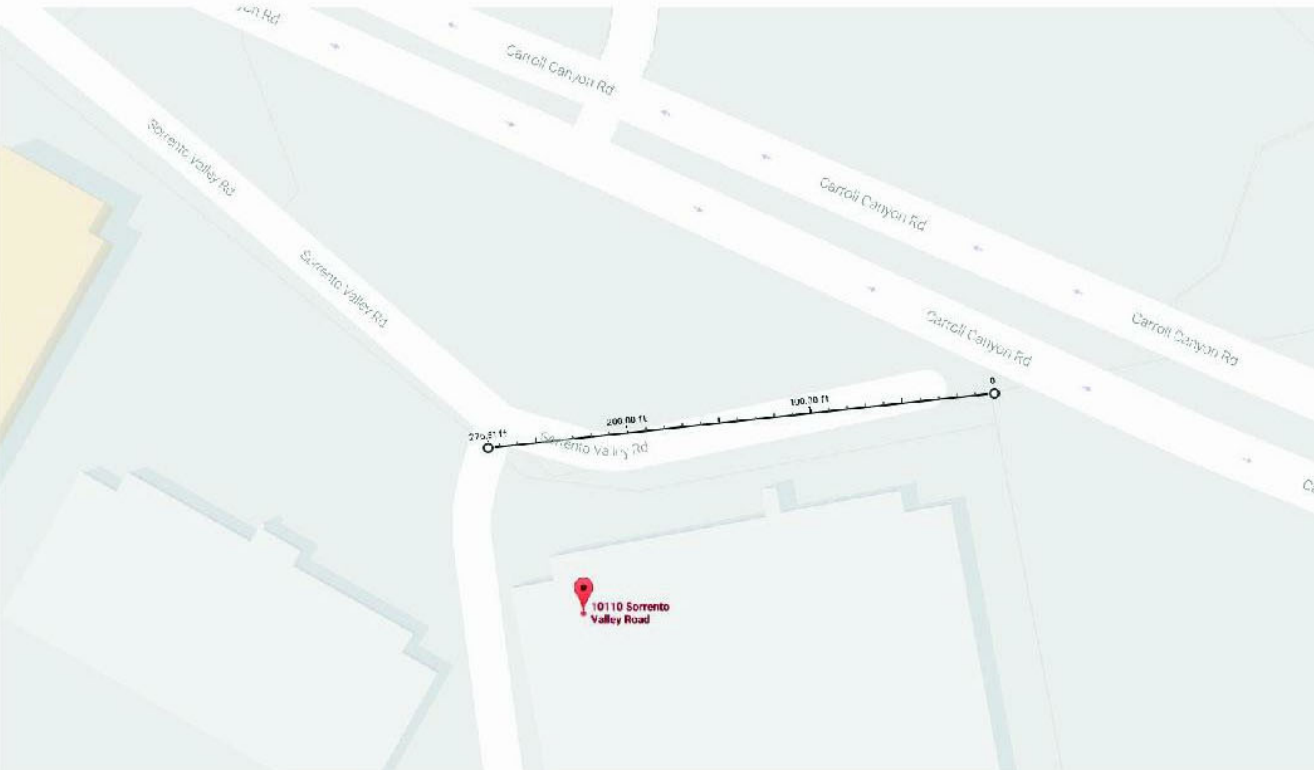
3

CENTER DRIVEWAY - FACING EAST



4

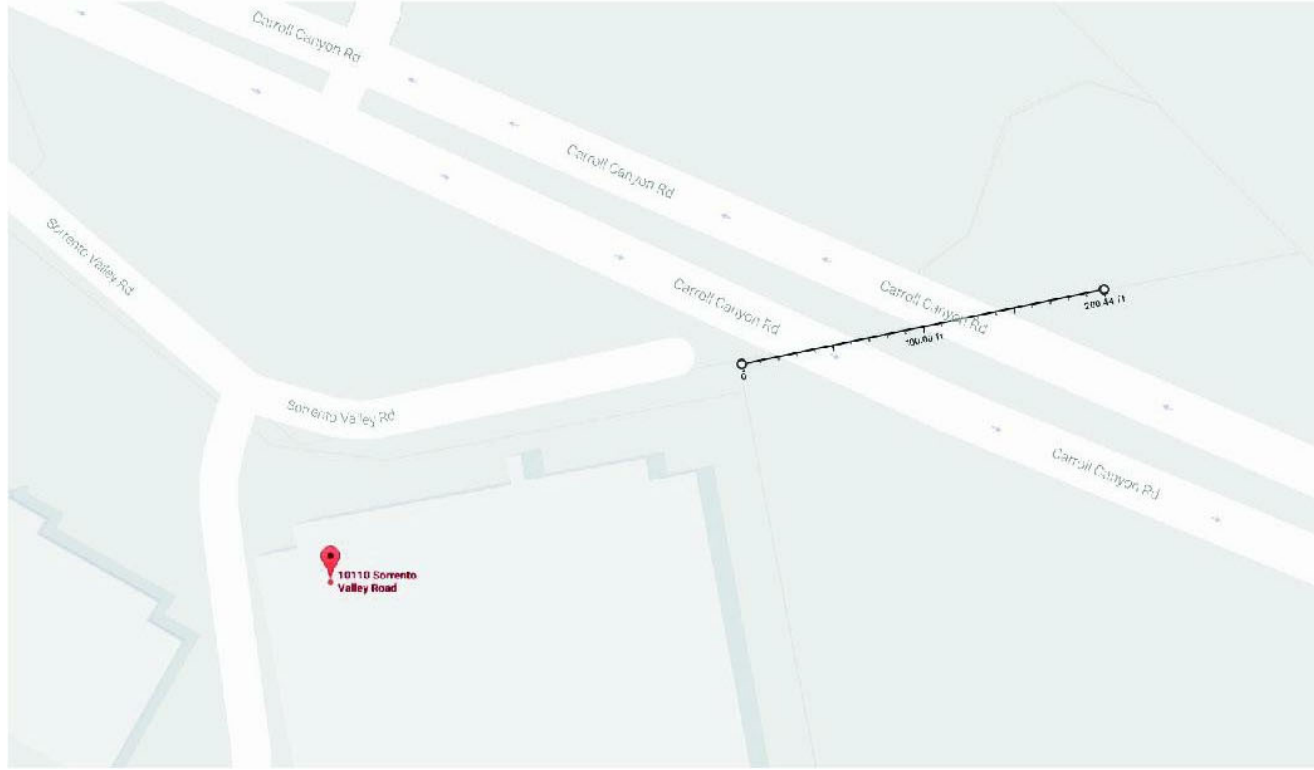
EAST DRIVEWAY - FACING WEST



EAST DRIVEWAY:

5

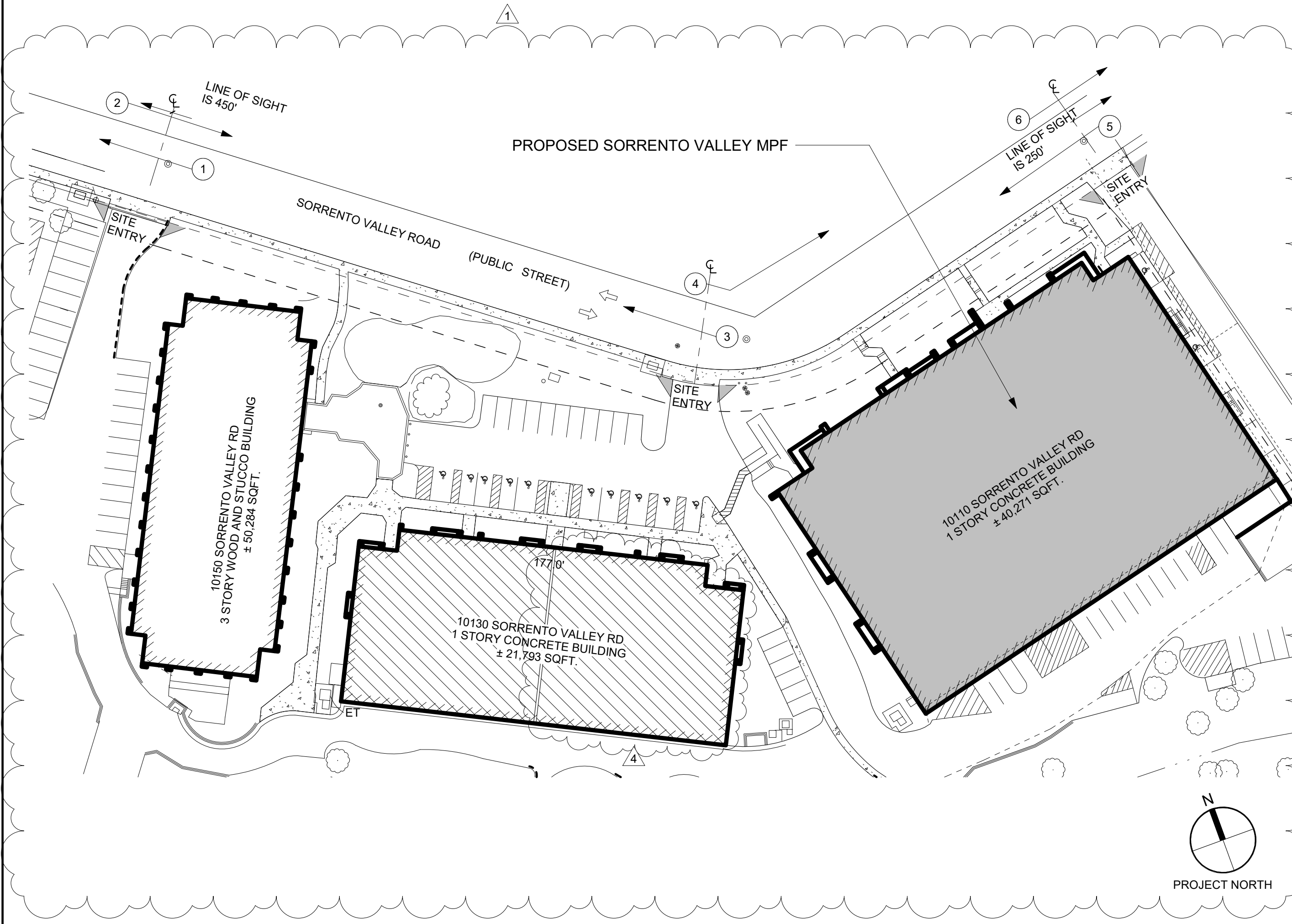
EAST DRIVEWAY - FACING EAST



6

CENTER DRIVEWAY:

3



KEY PLAN

N.T.S.

Development Permit/ Environmental Determination Appeal Application

November 2017

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-3032 (11-17)

**Development Permit/
Environmental Determination
Appeal Application**

November 2017

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Upon request, this information is available in alternative formats for persons with disabilities.
DS-3032 (11-17)

MPF 10110 SORRENTO VALLEY ROAD - PROJECT NO. 585348

DESCRIPTION OF GROUNDS FOR APPEAL:

Findings Not Supported. The Hearing Officer's stated finding to approve is not supported by the information that was provided to the Hearing Officer. It is widely known that Marijuana Production Facilities produce strong odors. The applicant has not sufficiently demonstrated that their marijuana production facility will not produce odors that will be detrimental to surrounding businesses and to the public.

PLANNING COMMISSION RESOLUTION NO. PC-XXXX
CONDITIONAL USE PERMIT NO. 2196094
MPF 10110 SORRENTO VALLEY - PROJECT NO. 585348

WHEREAS, HELF SORRENTO, LLC, a California Limited Liability Company, Owner, and SEAN ST. PETER, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Production Facility within an existing one-story, 40,271 square-foot building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2196094) on portions of a 12.04-acre site;

WHEREAS, the project site is located at 10110 Sorrento Valley Road, in the IL-3-1 Zone of the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as Acre Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of official Records of the San Diego County Recorder's Office;

WHEREAS, on October 29, 2018, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 and the Environmental Determination was appealed to City Council, and withdrawn on January 14, 2019;

Whereas, the appeal hearing was nevertheless required to be held because part of the Project is within the Coastal Overlay Zone, and the City Council heard and denied the appeal on March 12, 2019, pursuant to Resolution No. 312260;

WHEREAS, on April 3, 2019, the Hearing Officer of the City of San Diego approved Conditional Use Permit No. 2196094 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on April 16, 2019 and April 17, 2019 appeals of the Hearing Officer's decision to approve Conditional Use Permit No. 2196094 were filed by Catharine Brown and Khoa Nguyen, respectively (Appeals);

WHEREAS, on June 27, 2019, the Planning Commission considered the Appeals and Conditional Use Permit No. 2196094 pursuant to the Land Development Code of the City of San Diego, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission denies the Appeals, affirms the Hearing Officer's decision, and adopts the following written findings, dated June 27, 2019:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project is a request for a Conditional Use Permit to operate a Marijuana Production Facility (MPF) within an existing 40,271 square-foot, one-story building located at 10110 Sorrento Valley Road. The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan area. The project site is also located in the Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Airport Land Use Compatibility Overlay Zone (Airport Influence Area - Review Area 1, Accident Potential Zone 2, Noise 60-65 CNEL), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Campus and Coastal), Special Flood Hazard Area (100-year Floodplain and 100-year Floodway), Transit Priority Area, and designated as Prime Industrial Land in the Economic Prosperity Element of the General Plan.

The project site is designated Prime Industrial Land in the Prosperity Element, and Industrial Employment by the Land Use and Community Planning Element, of the General Plan. The General Plan identifies a City-wide shortage of land suitable for manufacturing activities and a need to protect manufacturing land from non-manufacturing uses. The project site is designated Industrial per the Torrey Pines Community Plan. The Industrial designation is intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with the community plan, and therefore will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The MPF is proposed within an existing 40,271 square-foot, one-story building. The project proposes tenant improvements to accommodate operations, including demolition and installation of wall partitions, lighting, security cameras and system, and finishes throughout and associated mechanical, electrical, and plumbing improvements. The proposed improvements would require the Owner/Permittee to obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official. Proposed exterior site improvements include the reconstruction of three existing driveways, adjacent to the site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, and restriping of certain parking stalls.

MPFs are restricted to forty City-wide, within light and heavy industrial zones. MPF's require compliance with San Diego Municipal Code (SDMC) section 141.1004, which require a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. MPFs also have a minimum distance requirement of 100 feet from a residential zone. The proposed MPF complies with the separation requirements as set forth in SDMC section 141.1004 (a).

The proposed MPF is subject to specific operational requirements as set forth in SDMC section 141.1004, including security requirements, such as lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours. MPFs must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The proposed project will be required to comply with the development conditions as described in the Conditional Use Permit No. 2196094. The Conditional Use Permit No. 2196094 will be valid for five years and may be revoked if the Owner/Permittee violates the terms, conditions, lawful requirements, or provisions of the Permit.

The proposed development will not be detrimental to the public's health, safety and welfare in that the discretionary permit controlling the use of this site contains specific regulatory conditions of approval, as referenced in the Conditional Use Permit No. 2196094. The referenced regulations and conditions have been determined as necessary to avoid adverse impact upon the health, safety and general welfare of persons patronizing, residing or working within the surrounding area. Therefore, the proposed MPF will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed project is a request for a Conditional Use Permit to operate a MPF within an existing one-story, 40,271 square-foot building constructed in 1979. The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan area. The project proposes tenant improvements to accommodate operations, including demolition and installation of wall partitions, lighting, security cameras and system, and finishes throughout and associated mechanical, electrical, and plumbing improvements. Operations include storage, packaging, labeling and distribution of cannabis products to State of California licensed outlets. Proposed exterior site improvements include the reconstruction of three existing driveways, adjacent to the site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, and restriping of certain parking stalls.

MPFs are allowed in the IL-3-1 Zone with a Conditional Use Permit. The proposed use requires compliance with SDMC section 141.1004 and Chapter 4, Article 2, Division 15. SDMC section 141.1004 requires a 1,000-foot separation, measured between property lines, from resource and population-based City parks, churches, child care centers, playgrounds, City libraries, minor-oriented facilities, residential care facilities, and schools. There is also a minimum distance requirement of 100 feet from a residential zone. Security requirements, expressed as conditions in the Permit, include interior and exterior lighting, security cameras, alarms and a security guard. The security guard must be licensed by the State of California and be present on the premises during business hours.

The proposed MPF is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. Therefore, the proposed MPF will comply with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The MPF is proposed within an existing one-story, 40,271 square-foot building located at 10110 Sorrento Valley Road. The 12.04-acre project site is in the IL-3-1 Zone within the Torrey Pines Community Plan. The project site is designated Prime Industrial Land in the Prosperity Element, and Industrial Employment by the Land Use and Community Planning Element, of the General Plan. The General Plan identifies a City-wide shortage of land suitable for manufacturing activities and a need to protect manufacturing land

from non-manufacturing uses. The project site is designated Industrial per the Torrey Pines Community Plan. The Industrial designation is intended for manufacturing, research and development, laboratories, offices, industrial services, incubator industry and business uses, and support commercial and retail uses

The IL Zones are intended to permit a range of uses, including non-industrial uses in some instances. The purpose and intent of the IL-3-1 Zone is to accommodate a range of industrial and manufacturing activities in designated areas to promote balanced land use and provide flexibility in the design of new and redeveloped industrial projects, while assuring high quality development and protecting land for industrial uses and limiting nonindustrial uses. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. Specifically, the IL-3-1 Zone allows a mix of light industrial, office, and commercial uses.

The proposed MPF, classified as an industrial use, is a compatible use for this location with a Conditional Use Permit and is consistent with all land development regulations relevant for the site and the use and no deviations are requested or required. The proposed project is consistent with the Industrial designation of the Torrey Pines Community Plan. Therefore, the proposed MPF is an appropriate use at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that the Appeals are denied, the Hearing Officer decision is affirmed, and that based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 2196094 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2196094, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: June 27, 2019

IO#: 24007556

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007556

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2196094
MPF 10110 SORRENTO VALLEY - PROJECT NO. 585348
PLANNING COMMISSION

This Conditional Use Permit No. 2196094 is granted by the Planning Commission of the City of San Diego to Helf Sorrento, LLC, a California Limited Liability Company, Owner, and Sean St. Peter, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 12.04-acre project site is located at 10110 Sorrento Valley Road in the IL-3-1 Zone, Coastal Overlay Zone (Appealable and Non-Appealable), MCAS Miramar Airport Land Use Compatibility Overlay Zone (Airport Influence Area - Review Area 1, Accident Potential Zone 2, Noise 60-65 CNEL), Federal Aviation Administration (FAA) Part 77 Noticing Area, Parking Impact Overlay Zone (Campus and Coastal), Special Flood Hazard Area (100-year Floodplain and 100-year Floodway), Transit Priority Area, and Prime Industrial Lands within the Torrey Pines Community Plan area. The project site is legally described as: Acre Lot 3 of the Sorrento Lands and Townsite, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 483, filed in the Office of the County Recorder of San Diego County, February 9, 1888, more particularly described in Grant Deed Recorded June 12, 2016, as Document No. 2006-0413147, of official Records of the San Diego County Recorder's Office.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a Marijuana Production Facility within an existing one-story building, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 27, 2019, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Production Facility within an existing one-story, 40,271-square-foot building;
- b. The Marijuana Production Facility operations shall only include the storage, packaging, labeling and distribution of cannabis products to State of California licensed outlets, consistent with the requirements of State of California statutes and California Departments of Food and Agriculture, Public Health, and Bureau of Cannabis Control regulations;

- b. Off-street parking; and
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 27, 2022.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on June 27, 2024. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

BUILDING OFFICIAL REQUIREMENT:

12. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall obtain a change of use/occupancy building permit consistent with all California Codes and Regulations in effect at the time of building permit, satisfactory to the Building Official.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the three existing driveways, adjacent to the site on Sorrento Valley Road, with current City Standard 25-foot wide driveways, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, from the City Engineer, for the East driveway, encroaching in the public water and sewer easements, adjacent to site on Sorrento Valley Road.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

17. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
18. All operations shall be conducted indoors within a secured structure. All equipment and storage shall also be located within a secured structure.
19. Lighting shall be provided to illuminate the immediate surrounding area of the facility, including parking lots and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
20. Security shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.
21. The name and emergency contact phone number of an operator or manager shall be posted outside the Marijuana Production Facility in a location visible to the public from the public right-of-way in character size at least two inches in height. The Permittee shall provide this contact information to the San Diego Police Department. The operator or manager shall also be available 24 hours a day to address public nuisance complaints and interact with local, state, and federal law enforcement authorities. Other than the contact information, a Marijuana Production Facility shall limit signage on the exterior of the of the property visible from the public right-of-way to the address.

22. A permit shall be obtained as required pursuant to Chapter 4, Article 2, Division 15.
23. The retail sale of marijuana and marijuana products shall only be conducted by a Marijuana Outlet in accordance with Section 141.0504. A Marijuana Production Facility is prohibited from providing marijuana and marijuana products to any person other than another Marijuana Production Facility, a testing lab, or a Marijuana Outlet.
24. The Marijuana Production Facility, adjacent public sidewalks, and areas under the control of the Marijuana Production Facility shall be maintained free of litter and graffiti at all times.
25. The Marijuana Production Facility shall provide daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.
26. The Owner/Permittee shall provide a sufficient odor absorbing ventilation and exhaust system capable of minimizing excessive or offensive odors emanating outside of the permitted facility, to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section [34.0103 \(b\)](#), taxable activities include but are not limited to, transporting, manufacturing, cultivating, packaging, or retail sales of cannabis and any ancillary products in the City. For additional information, contact the Office of the City Treasurer at (619) 615-1580.

APPROVED by the Planning Commission of the City of San Diego on June 27, 2019 and Resolution No. PC-XXXX.

ATTACHMENT 5

Permit Type/PTS Approval No.: Conditional Use Permit No. 2196094

Date of Approval: June 27, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Helf Sorrento, LLC.
(A California Limited Liability Company)
Owner

By _____
Frank M. Goldberg
Managing Member

Sean St. Peter
Permittee

By _____
Sean St. Peter

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**