



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: September 19, 2019 REPORT NO. PC-19-081

HEARING DATE: September 26, 2019

SUBJECT: VERIZON – RB VILLAGE. Process Four Decision

PROJECT NUMBER: [632762](#)

OWNER/APPLICANT: Rancho Bernardo Presbyterian Church/ Verizon Wireless (VAW) LLC,
d/b/a Verizon Wireless

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility located at 17010 Pomerado Road within the Rancho Bernardo Community Planning area?

Staff Recommendation: **Approve** Conditional Use Permit (CUP) No. 2277542 and Planned Development Permit (PDP) No. 2277544.

Community Planning Group Recommendation: On August 22, 2019, the Rancho Bernardo Community Planning Board voted 11-0-0 to recommend approval of the Verizon RB Village project.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 26, 2019 and the opportunity to appeal that determination ended August 9, 2019.

Fiscal Impact Statement: The applicant paid a flat fee for this project.

BACKGROUND

Verizon RB Village is an application for a CUP and PDP for a Wireless Communication Facility (WCF) in the RS-1-14 (Residential – Single Unit) zone of the Rancho Bernardo Community Plan area (Attachments 1 and 3). On November 2, 2004, Verizon was approved for six antennas within a 71-foot-tall church spire and associated outdoor equipment within a 250-square-foot fenced enclosure located at the Rancho Bernardo Presbyterian Church at 17010 Pomerado Road.

Pursuant to San Diego Municipal Code (SDMC) Section 141.0420(e)(1), WCFs on non-residential buildings within residential zones require a CUP, Process Three. This corresponds with [Council Policy](#)

[600-43](#), which assigns preference levels to WCFs in different land use categories. This project is in the Preference 3 category. Verizon is also requesting a PDP, Process Four, per [SDMC 126.0602\(b\)\(1\)](#) to deviate from the RS-1-14 height limit of 35 feet. The two permits are consolidated for processing.

The project site is designated Institutional in the [Rancho Bernardo Community Plan](#) (Attachment 2). Surrounding land uses include single-unit residential to the north and west, multi-unit residential to the east and the RB Swim and Tennis Club and a commercial use to the south (Attachments 1-3).

DISCUSSION

Project Description:

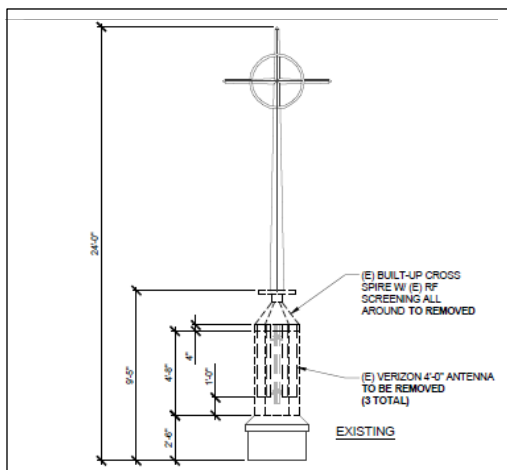
Verizon proposes to modify an existing rooftop spire, which consists of a base, a canister and a cross. The canister at the base of the spire currently conceals three 4-foot antennas. Verizon is proposing to enlarge the canister so that it will conceal three 6-foot antennas. Changing technology has resulted in larger antennas over time. The base and canister are currently 9 feet, 5 inches tall and the cross is 14 feet, 7 inches tall. The proposal is to enlarge the canister to 11 feet, 9 inches (a 28-inch increase) and reduce the height of the cross to 12 feet, 3 inches (a 28-inch decrease). The overall height of the church spire at 71 feet will be maintained. Verizon is also proposing to modify



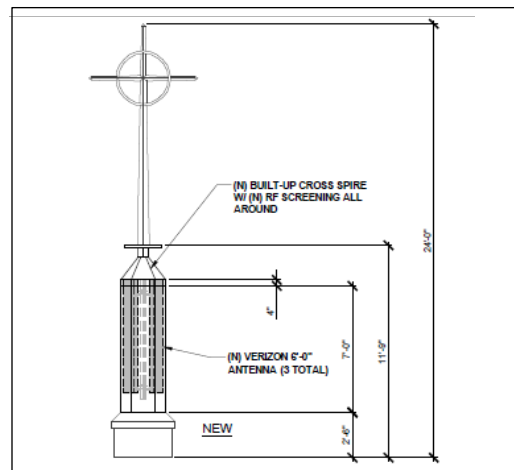
Before (Photo Simulation)



After (Photo Simulation)



Before (Elevation View)



After (Elevation View)

some of the associated components in the equipment area, which is fully screened by a decorative lattice fence and landscaping.

The height limit in the RS-1-14 zone is 35 feet. The church was constructed with a 2-foot, 4-inch base topped by a 21-foot, 8-inch-tall cross on top of the sanctuary, which resulted in an overall church spire height of 71 feet. In 2004, Verizon was approved for a WCF consisting of 6 antennas and associated outdoor equipment behind a decorative fence and landscaping. The project modified the spire so that the base included a canister to conceal the antennas, with a smaller cross. The project did not increase the height of the building. Only three of the six approved antennas were installed. The permit for the WCF expired November 2, 2014.

This project is in the Preference Three category per Council Policy 600-43. Verizon's technical information illustrates that there are two nearby Preference One commercial uses, both of which are low profile buildings that are approximately 15-20 feet lower in elevation. This would result in the need for additional Verizon sites to attain the same coverage that the current location provides.

The intent of a PDP is to "to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations." This project would not be modifying the existing height. It would maintain it. The proportions of the spire structure will change but the overall design will not change. There will be no visual impacts associated with the proposed project, and the PDP will allow Verizon to retain one existing, integrated site instead of creating multiple new sites to achieve the same coverage.

Community Plan Analysis:

The Rancho Bernardo Community Plan does not address WCFs. The City's General Plan addresses WCFs in the Urban Design Element (UD-A.15). The visual impact of WCFs should be minimized by concealing them in existing structures or using camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures.

The proposed spire redesign continues to conceal Verizon's antennas. The minor modifications to the equipment will continue to be concealed behind a decorative fence with landscaping. Additional height is not requested with this project; the spire will remain at 71 feet. The proportions of the spire will be modified to include a bigger canister concealing the antennas and a shorter cross on top of the canister. This meets the intent of UD-A.15. Therefore, the project meets the objectives of both the Community Plan and the General Plan.

Conclusion:

Except for the height deviation, the Verizon RB Village project is consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations for the RS-1-14 zone and the WCF Regulations, Section 141.0420. Staff recommends approval of CUP No. 2277542 and PDP No. 2277544.

ALTERNATIVES

1. Approve CUP No. 2262277542 and PDP No. 2277544 with modifications.
2. Deny CUP No. 2277542 and PDP No. 2277544 if the Planning Commission makes findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



PJ Fitzgerald
Assistant Deputy Director
Development Services Department



Karen Lynch
Development Project Manager
Development Services Department

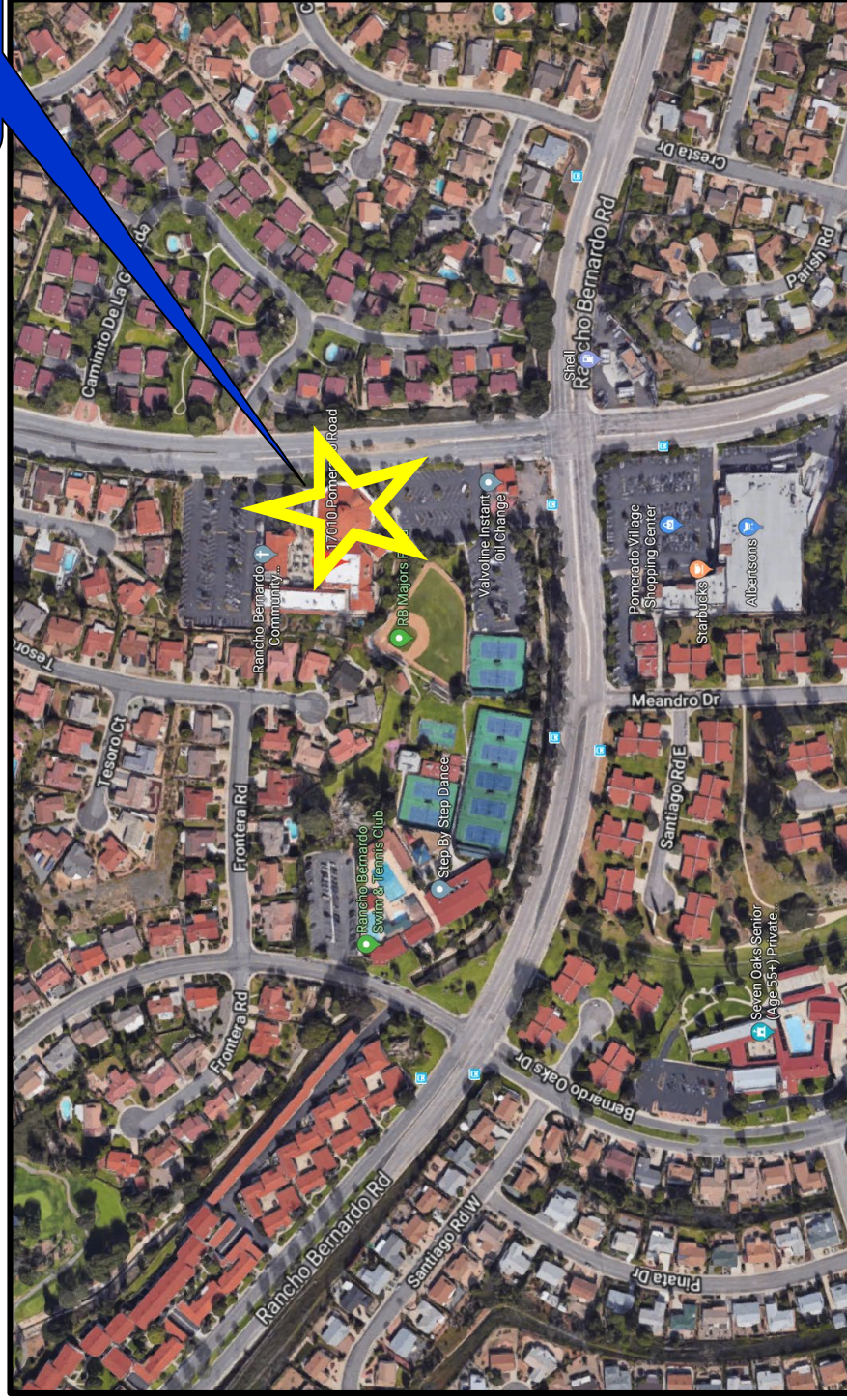
FITZGERALD/KAL

Attachments:

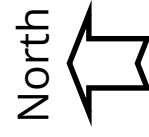
1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Coverage Maps
9. Community Planning Group Recommendation (To be provided under separate cover)
10. Ownership Disclosure Statement
11. Photo Survey
12. Photo Simulations
13. Project Plans

Aerial Photo

Project Site

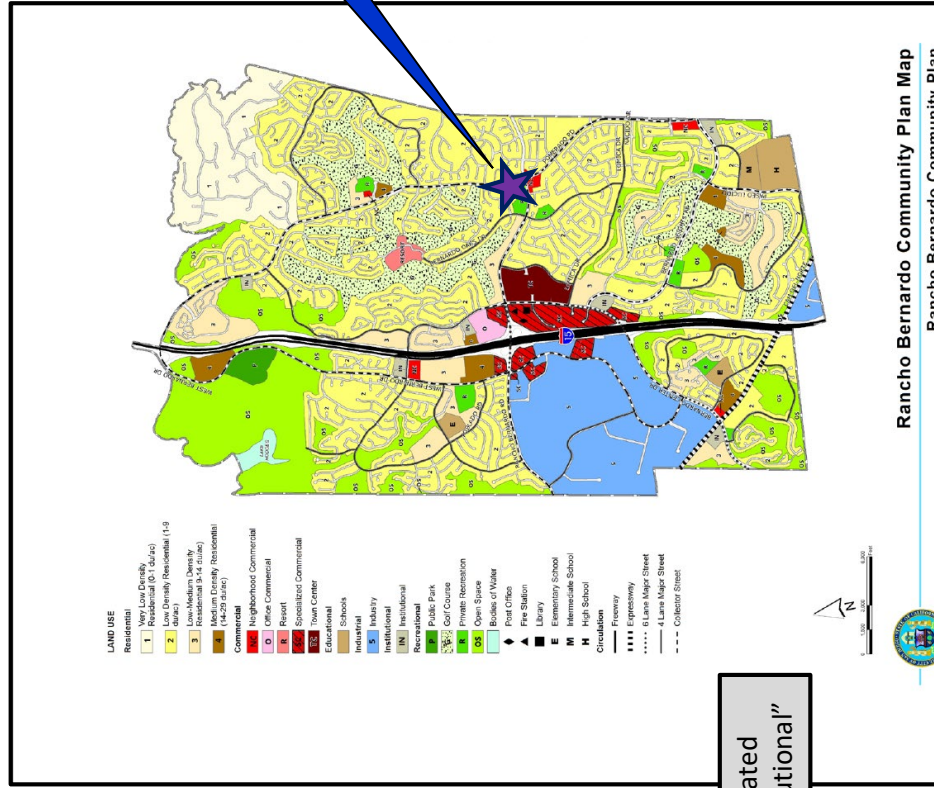


Verizon - RB Village (Rancho Bernardo Community)
1710 Pomerado Road, San Diego, CA 92128

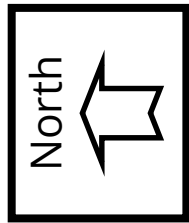


Community Plan

Project Site



Designated
"Institutional"

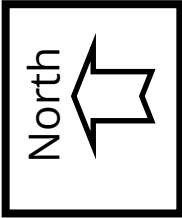
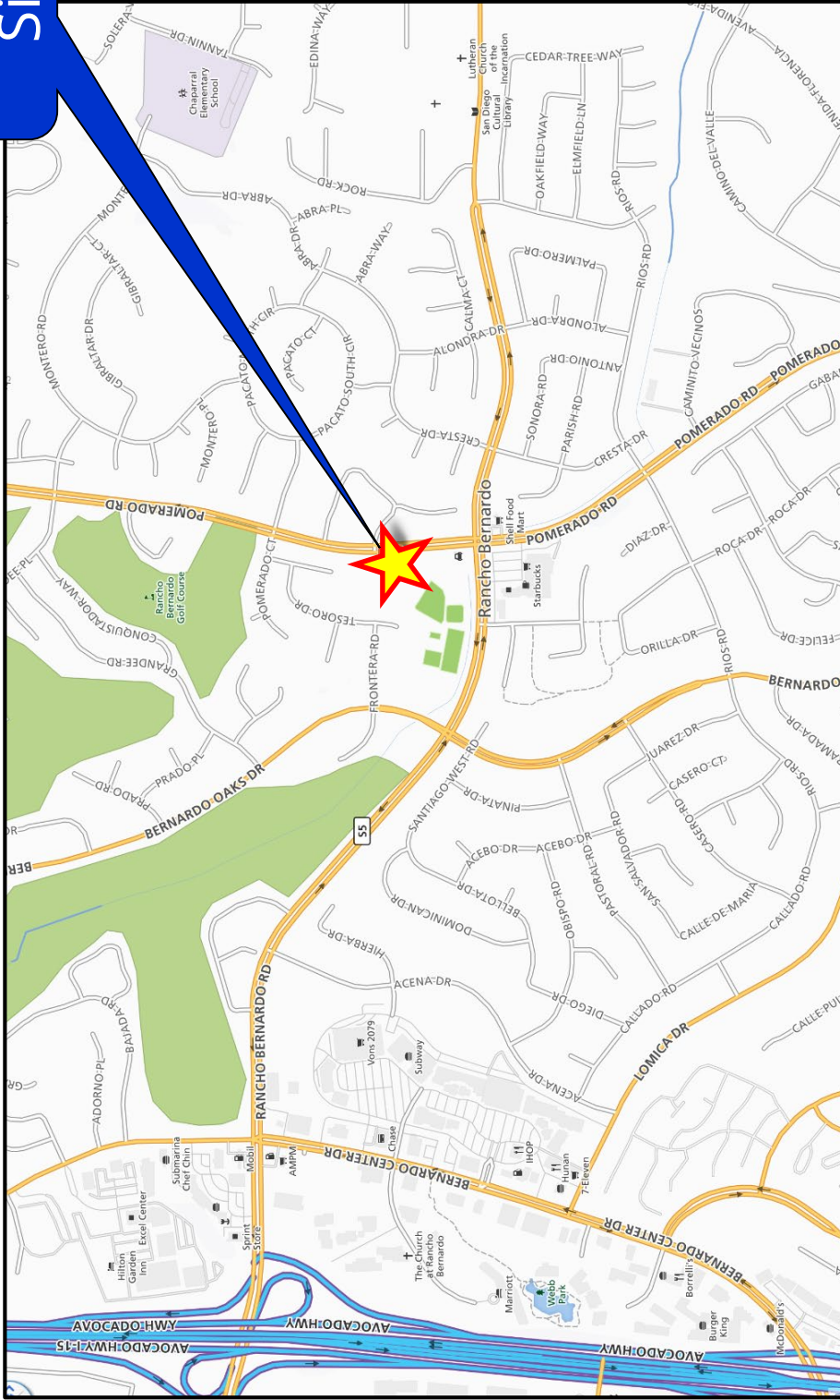


Verizon – RB Village (Rancho Bernardo Community)
17010 Pomerado Road, San Diego, CA 92128



Project Location Map

Project Site



Verizon RB Village (Rancho Bernardo Community)
17010 Pomerado Road, San Diego, CA 92128

PROJECT DATA SHEET		
PROJECT NAME:	Verizon RB Village	
PROJECT DESCRIPTION:	An existing Wireless Communication Facility (WCF) consisting three antennas concealed within a modified church spire and associated equipment located within a 250-square-foot equipment area.	
COMMUNITY PLAN AREA:	Rancho Bernardo	
DISCRETIONARY ACTIONS:	Conditional Use Permit/Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Institutional	
ZONING INFORMATION: ZONE: RS-1-14 (Residential-Single Unit) HEIGHT LIMIT: 45 feet FRONT SETBACK: 15 feet SIDE SETBACK: 4 feet STREETSIDE SETBACK: N/A REAR SETBACK: 10 feet		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; RS-1-14	Single-Unit Residential
SOUTH:	Private Recreation; RS-1-14	Recreation
EAST:	Low Density Residential; RS-1-14	Multi-Unit Residential
WEST:	Low Density Residential; RS-1-14	Single-Unit Residential
DEVIATION REQUESTED:	RS-1-14 allows a maximum height of 45 feet. Verizon is requesting 71 feet which is the current height of the church spire.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 15, 2019, the Rancho Bernardo Community Planning Board voted 11-0-0 to recommend approval of the project with no conditions.	

PLANNING COMMISSION
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 2277542
PLANNED DEVELOPMENT PERMIT NO. 2277544
VERIZON RB VILLAGE - PROJECT NO. 632762

WHEREAS, RANCHO BERNARDO PRESBYTERIAN CHURCH, Owner, and VERIZON WIRELESS (VAW) LLC, D/B/A VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 2277542 and 2277544) on portions of a 3.54-acre site;

WHEREAS, the project site is located at 17010 Pomerado Road in the RS-1-14 zone of the Rancho Bernardo Community Plan area;

WHEREAS, the project site is legally described as: Lot 1 of Rancho Bernardo Presbyterian Church, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5809, filed in the Office of the County Recorder of San Diego County, August 6, 1965;

WHEREAS, on July 26, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 26, 2019, the Planning Commission of the City of San Diego considered Conditional Use Permit (CUP) No. 2277542 and Planned Development Permit (PDP) No. 2277544 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to CUP No. 2277542 and PDP No. 2277544:

A. CONDITIONAL USE PERMIT SDMC Section 126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The Rancho Bernardo Community Plan does not specifically address Wireless Communication Facilities (WCFs), however, the City of San Diego's General Plan Urban Design Element (Policy UD-A.15) requires that the visual impact of Wireless Communication Facilities (WCFs) be minimized by concealing them in existing structures or using screening techniques to hide or blend them into the surrounding area. The policy also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The height limit in the RS-1-14 zone is 35 feet. The church was constructed with a 2-foot, 4-inch base topped by a 21-foot, 8-inch-tall cross on top of the sanctuary, which resulted in an overall church spire height of 71 feet. In 2004, Verizon was approved for a WCF consisting of 6 antennas and associated outdoor equipment behind a decorative fence and landscaping. The project modified the spire so that the base included a canister to conceal the antennas, with a smaller cross. The project did not increase the height of the building. Only three of the six approved antennas were installed. The permit for the WCF expired November 2, 2014.

The current project proposes to modify the church spire to allow larger antennas. The existing base and canister are 9 feet, 5 inches tall and the cross is 14 feet, 7 inches tall. The proposal is to enlarge the canister to 11 feet, 9 inches (a 28-inch increase) and reduce the height of the cross to 12 feet, 3 inches (a 28-inch decrease). The height of the church spire will remain at 71 feet. Verizon is also proposing to modify some of the associated components in the equipment area, which is fully screened by a decorative lattice fence and landscaping.

The proposed modification will not change the overall appearance of the church as the new spire design is like the existing one, but with different proportions. All antennas will remain concealed resulting in a WCF design that complies with Land Development Code Section 141.0420 (Wireless Communication Facilities), which will minimize any potential visual impacts as required by the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan or the City's General Plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The project is located on a church within a residential zone at 17010 Pomerado Road in the Rancho Bernardo Community Plan area. It consists of the removal of the existing church spire and replacement with one that is similarly designed but has different proportions. The height of the spire will not change from the existing 71 feet approved when the church was first constructed in the early 1990's. Associated existing equipment will remain on the south side of the church within a decorative lattice fence enclosure screened with landscaping.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunications Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency - Electromagnetic Energy Compliance Report was prepared by Dtech Communications, which concluded that the project will comply with FCC standards for RF emissions with certain mitigation measures, such as posted signage and restricted access to the roof top. As a result, the project would not result in any significant health or safety risks to the surrounding area related to matters within the City's jurisdiction. Therefore, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

With the exception of height, the project complies with all applicable development regulations, including the RS-1-14 development regulations of the Land Development Code (LDC) and the City of San Diego Wireless Communication Facilities Section 141.0420. Rancho Bernardo Presbyterian Church was built in the early 1990's with the spire at 71 feet. Verizon obtained a Conditional Use Permit in 2004 to modify the spire for the installation of their antennas. The project modified the spire's two-foot base, added a canister to conceal the antennas and reduced the size of the cross. This project and the one prior to it have maintained the height of the spire at 71 feet. The design remains the same although the proportions, base/canister height compared to the cross height, are being modified. The antennas will remain completely concealed.

The existing use of the property is a church and as such, a Conditional Use Permit is required pursuant to LDC Section 141.0420(e)(1). The proposed replacement antennas will continue to be concealed within a taller canister and a smaller cross will be installed. The overall design aesthetic and height will remain the same. The equipment located on the south side of the church will remain screened by a decorative lattice fence and landscape. Therefore, the design is consistent with LDC Sections 141.0420(g)(1) and 141.0420(g)(2). All other aspects of the project comply with the development regulations. Therefore, the project complies with the applicable regulations of the LDC.

4. The proposed use is appropriate at the proposed location.

Land Development Code (LDC) Section 141.0420 permits Wireless Communication Facilities (WCFs) on premises containing a non-residential use in a residential zone with a Conditional Use Permit (CUP). The project is existing; originally approved in 2004. Verizon is proposing to conceal the antennas in a new taller canister designed similarly to the existing one. Neither the overall design aesthetic nor the overall height of 71 feet will change with this project. The existing associated equipment is located on the south side of the church enclosed behind a decorative lattice structure.

The surrounding area is predominantly residential with a private recreation club located to the southwest and commercial uses located directly south across Rancho Bernardo Road. Those properties are low scale in height and approximately 15-20 feet lower in elevation which would require Verizon to either install a significantly taller WCF or install several additional sites within the area in order to maintain their coverage. Since Verizon already has a lease with the church, they decided to remain on the church and modify the spire to accommodate their larger antennas. The WCF is completely integrated into the church setting and is an appropriate use at this location.

B. PLANNED DEVELOPMENT PERMIT SDMC Section 126.0605

1. The proposed development will not adversely affect the applicable land use plan.

Please see CUP Finding No. 1 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

Please see CUP Finding No. 2 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by

reference, the proposed development the proposed development will not be detrimental to the public health, safety, and welfare.

3. **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

Please see CUP Finding No. 3 above for facts supporting this Finding. For the reasons described in that Finding, which are hereby incorporated into this Finding by reference, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CUP No. 2277542 and PDP No. 2277544 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2277542 and 2277544, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: September 26, 2019

IO#: 11003679

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11003679

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2277542
PLANNED DEVELOPMENT PERMIT NO. 2277544
VERIZON RB VILLAGE PROJECT NO. 632762
PLANNING COMMISSION

This Conditional Use Permit No. 2277542 and Planned Development Permit No. 2277544 is granted by the Planning Commission of the City of San Diego to Rancho Bernardo Presbyterian Church, Owner, and Verizon Wireless (VAW) LLC, d/b/a Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0602 and 126.0303. The 3.54-acre site is located at 17010 Pomerado Road in the RS-1-14 zone of the Rancho Bernardo Community Plan area. The project site is legally described as: Lot 1 of Rancho Bernardo Presbyterian Church, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5809, filed in the Office of the County Recorder of San Diego County, August 6, 1965.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 26, 2019, on file in the Development Services Department.

The project shall include:

- a. Removal of the church spire and replacement with a new spire that will conceal three panel antennas measuring 72" x 13.8" x 8.2".
- b. A 250-square-foot fenced equipment enclosure containing associated equipment including six Remote Radio Units (RRU) and 18 diplexers;
- c. A deviation to the RS-1-14 height limit of 35 feet to allow the spire to continue to be 71 feet tall;
- d. Landscaping (planting, irrigation and landscape related improvements); and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 9, 2022.
2. This permit and corresponding use of this site shall **expire on October 9, 2031**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix G of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

15. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

16. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 60 days of permit approval, applications must be made for all required construction permits. Within 90 days of application, all required construction permits must be issued. Within 90 days of permit issuance, final inspection must be obtained.

17. The WCF shall conform to the approved construction plans.

18. Photo simulations shall be printed in color on the construction plans.

19. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

20. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

21. Antennas and associated components, such as, but not limited to, remote radio units (RRUs), surge suppressors, etc., shall not exceed the height of any existing or proposed screen walls.

22. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.

23. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

24. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
25. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
26. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.
27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) XXX-XXXX to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 26, 2019 by Resolution No. XXXXXXXXXX.

ATTACHMENT 6

Permit Type/PTS Approval No.: CUP No. 2277542/PDP No. 2277544
Date of Approval: September 26, 2019

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Verizon Wireless
Permittee

By _____
NAME:
TITLE:

Rancho Bernardo Presbyterian Church
Owner

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION**ATTACHMENT 7**

(Check one or both)

TO: ☒ RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 632762

Project Title: Verizon RB Village

PROJECT LOCATION-SPECIFIC: The project is located at 17010 Pomerado Road, San Diego, CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

Description of nature and Purpose of the Project: A Conditional Use Permit (CUP) and Planned Development Permit (PDP) application to modify an existing Wireless Communication Facility (WCF). The proposed project is a new permit for a previously-permitted facility. The WCF consists of a 250-square-foot equipment area and 3 panel antennas concealed within the church spire located. This project proposes to modify the spire to allow larger antennas, however, there will be no height increase. All equipment additions and modifications will take place within the equipment area located on the south side of the church. The project is located at 17010 Pomerado Road in the RS-1-14 Zone. The WCF is unmanned and there are technicians that visits the site only as required for routine maintenance.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Verizon Wireless- Joann Stoddard, 2851 Camino de Rio South, San Diego California, 92108. (619) 857-7277.

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c)..
- ☒ CATEGORICAL EXEMPTION: Section 15301 (Existing Facilities)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project is modifying the existing facility without expanding the use of the WCF. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Jeff Szymanski / SENIOR PLANNER
SIGNATURE/TITLE
CHECK ONE:

8/29/2019
DATE

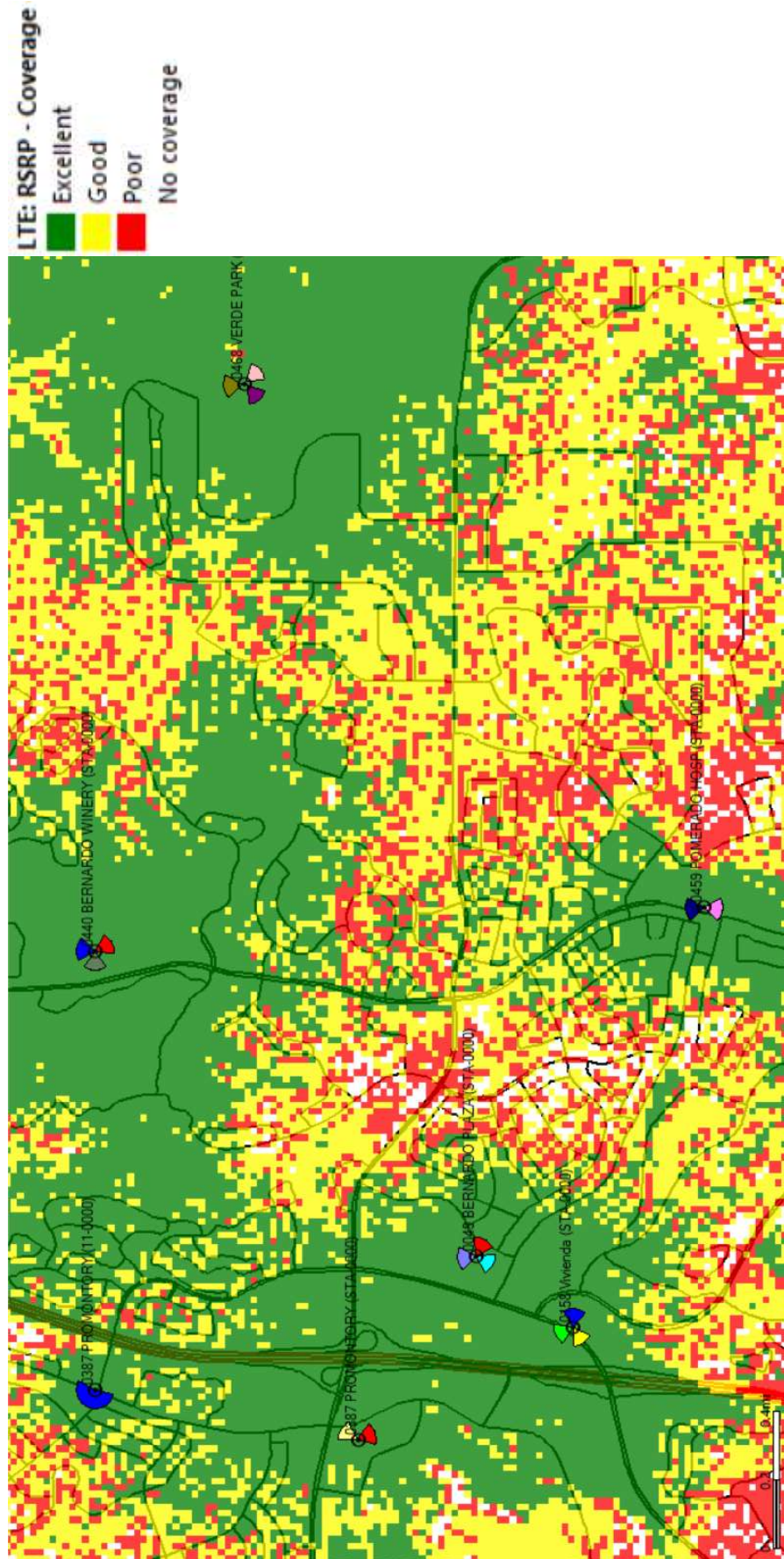
(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

RB Village

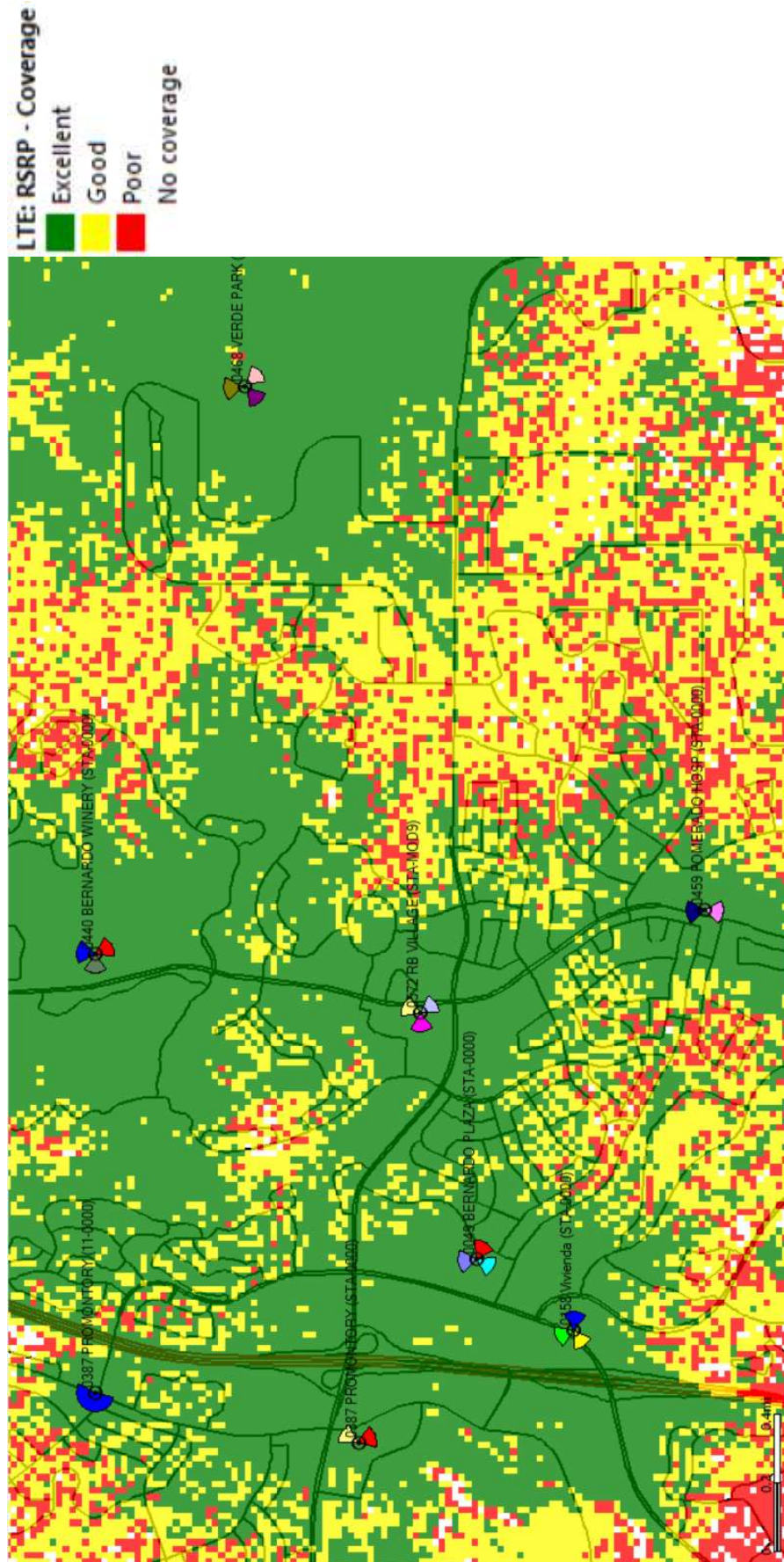
Coverage Plots

Coverage without RB Village



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

Coverage with RB Village



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
---	---	--	--

Approval Type: Check appropriate box for type of approval(s) requested: ☒ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title: RB Village **Project No. For City Use Only:** _____
Project Address: 17010 Pomerado Road, San Diego, CA 92128

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Rancho Bernardo Presbyterian Church ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 17010 Pomerado Road
 City: San Diego State: CA Zip: 92128
 Phone No.: 858-487-0811 Fax No.: _____ Email: frances@rbc.org
 Signature: [Signature] Date: 2/21/19
 Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Verizon Wireless, c/o Technology Associates EC ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency
 Street Address: 7117 SW Beveland St, Suite 101
 City: Tigard State: OR Zip: 97223
 Phone No.: 503-421-2258 Fax No.: _____ Email: paul.slotemaker@taec.net
 Signature: [Signature] Date: 2/17/19
 Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

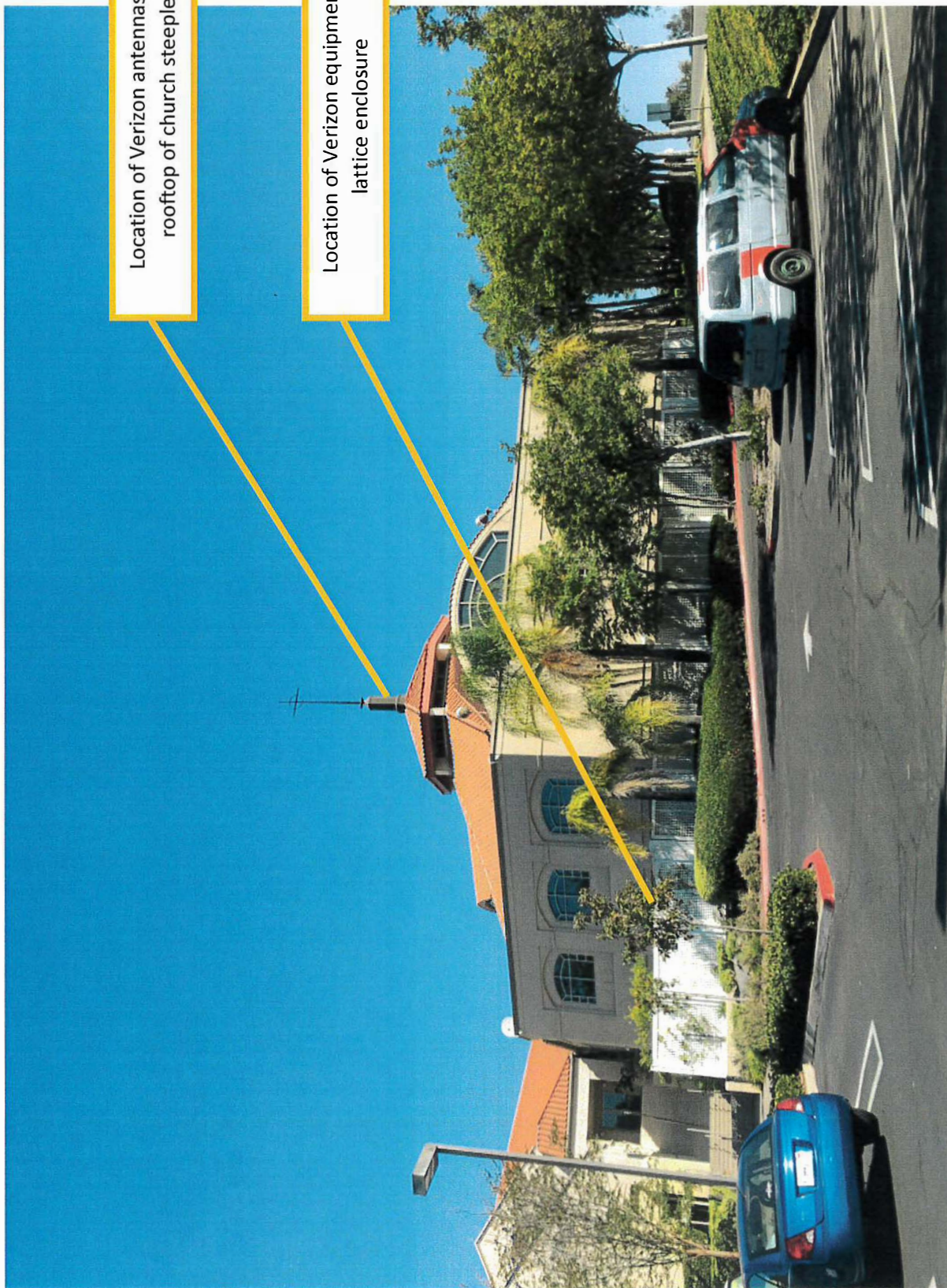
View looking North East toward site



Location of Verizon antennas on
rooftop of church steeple

Location of Verizon equipment in
lattice enclosure

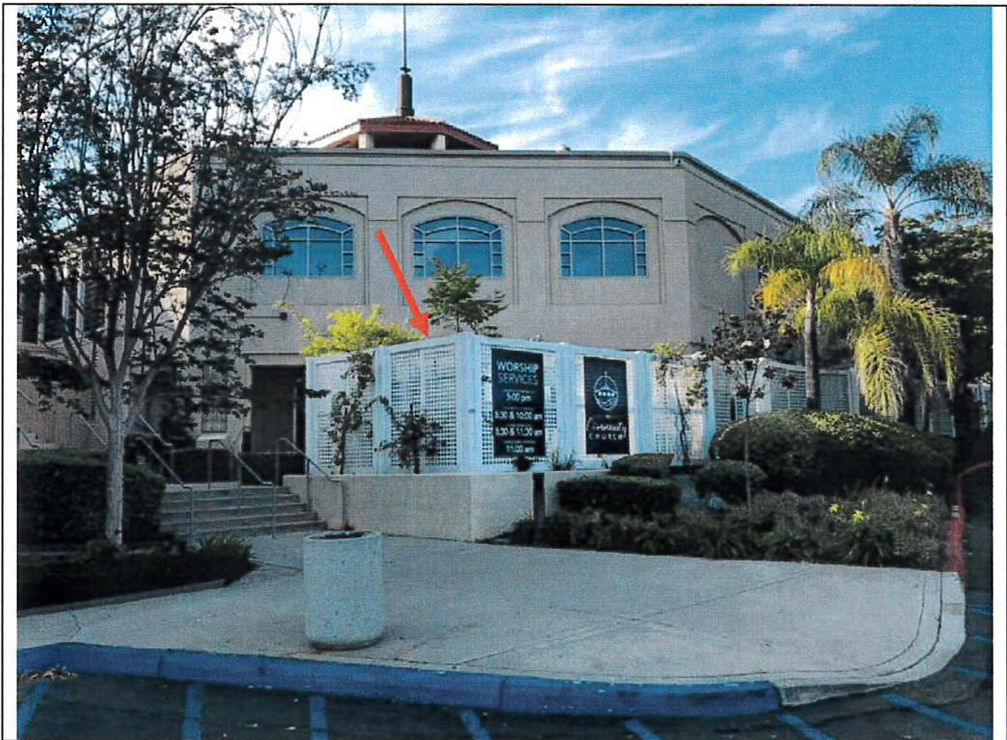
View looking North toward site



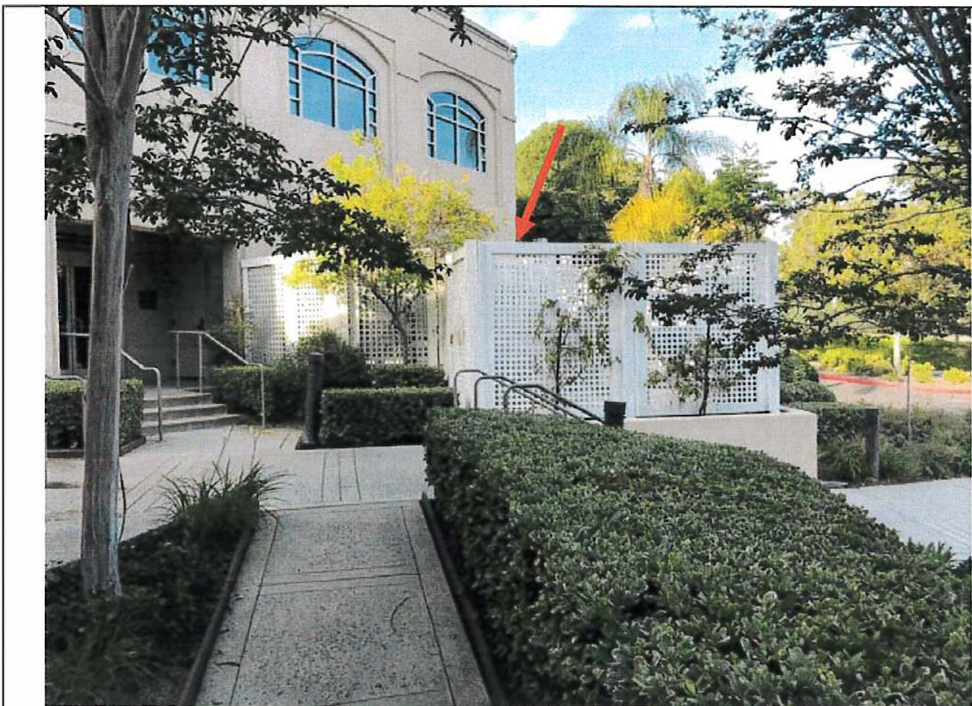
Location of Verizon antennas on
rooftop of church steeple

Location of Verizon equipment in
lattice enclosure

Project No. 632762
Verizon Wireless – RB Village – Ground Equipment Photos



1. Looking North at Verizon's fenced equipment area



2. Looking East at Verizon's fenced equipment area

Project No. 632762

Verizon Wireless – RB Village – Ground Equipment Photos



7. Looking west toward Verizon's equipment area from the driveway off Pomerado Road. The church's fenced equipment area blocks the view of the Verizon's equipment.



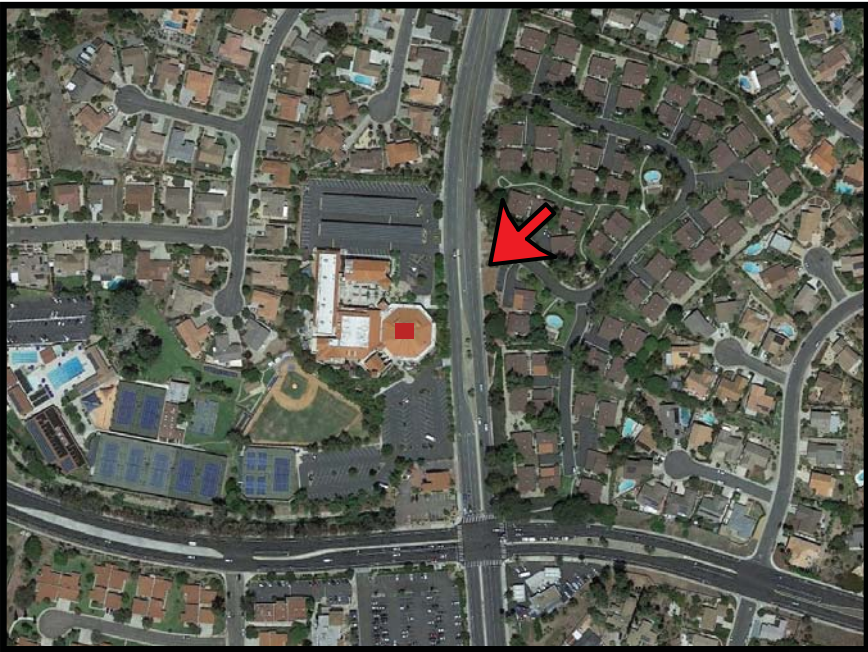
8. Looking west towards Verizon's fenced equipment area from the driveway. The church's fenced equipment is in the foreground. Verizon's fenced equipment is beyond.


RB VILLAGE

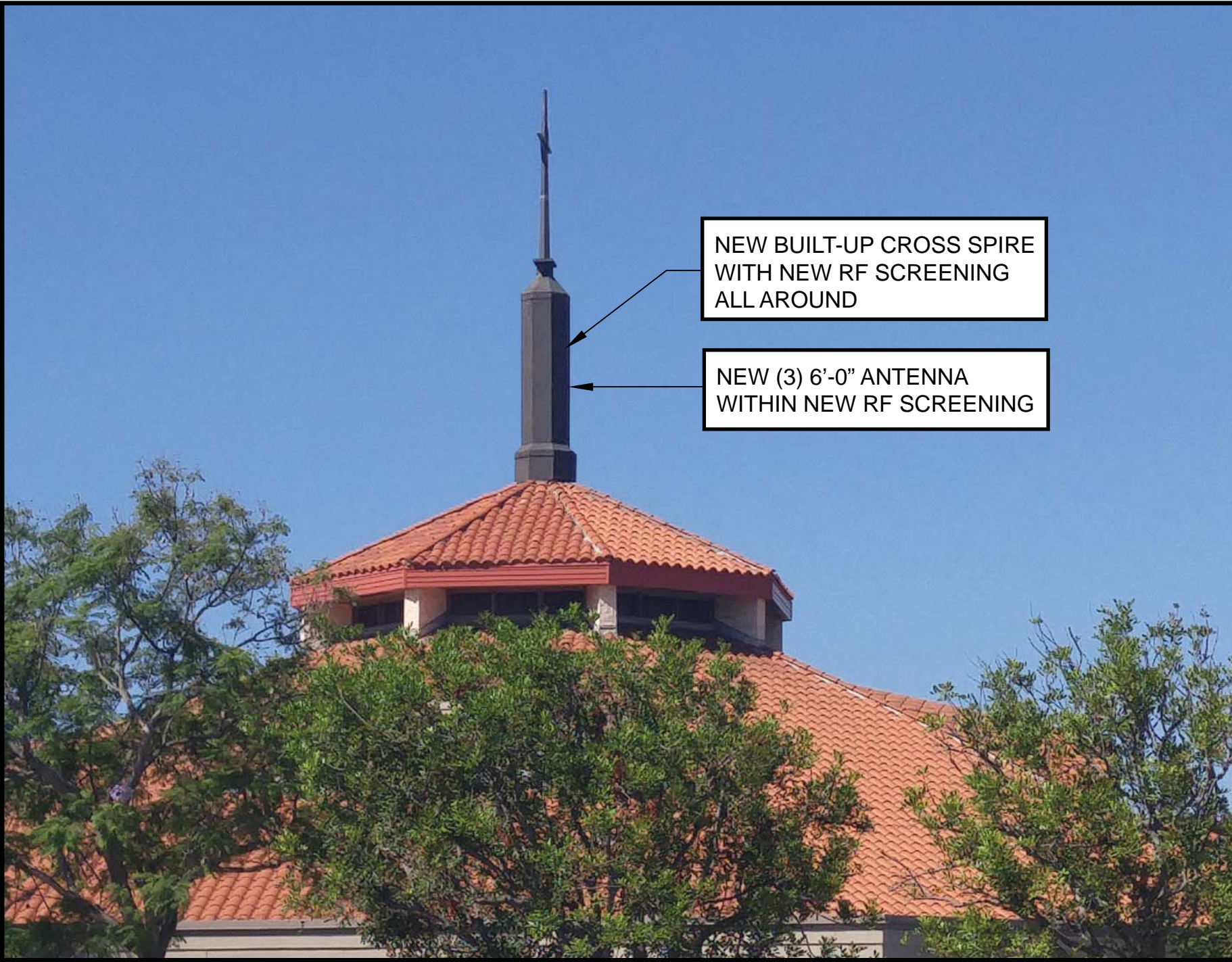
17010 POMERADO ROAD
SAN DIEGO, CA 92128



EXISTING VIEW LOOKING SOUTHWEST



SITE LOCATION 



PROPOSED VIEW LOOKING SOUTHWEST

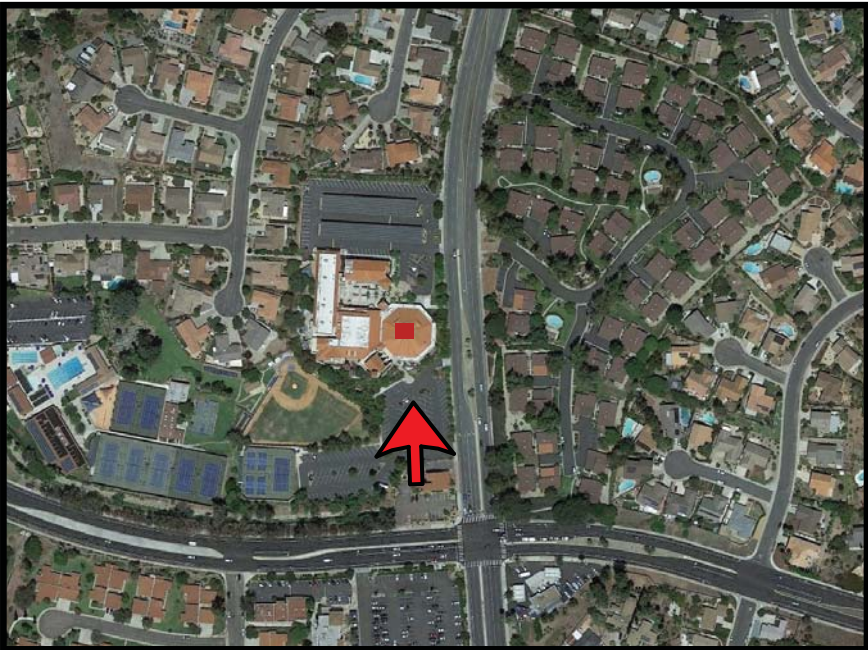
RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128



EXISTING

VIEW LOOKING NORTH



SITE LOCATION



PROPOSED

VIEW LOOKING NORTH

Technology Associates

G	07/17/2019	90% CX (JX COMMENTS)	ED
F	04/11/2019	90% CX (JX COMMENTS)	ED
E	11/06/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	09/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.
REV	DATE	DESCRIPTION	BY

T-1

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

SHEET INDEX



CALL AT LEAST TWO WORKING
DAYS BEFORE YOU DIG

PCS / AWS-3 / 850 ADD LTE



LOCAL MAP

1. TAKE I-5 SOUTH.
2. MERGE ONTO HWY 78 EAST.
3. MERGE ONTO I-15 SOUTH.
4. TAKE EXIT 26 - WEST BERNARDO DR. / POMERADO DR.
5. TURN RIGHT ONTO POMERADO DR.
6. ARRIVE AT 17010 POMERADO DR.
7. SITE IS LOCATED ONTO TOP OF (E) CHURCH CROSS SPIRE

CONTACT INFORMATION

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GENERAL NOTES

1. THIS FACILITY IS EXEMPT FROM HANDICAP REQUIREMENTS PER 2016 CBC SECTION 11B-203.5. THIS FACILITY IS NON-OCCUPIABLE SPACE AND ENTERED ONLY BY SERVICE PERSONNEL. THIS SPACE IS NOT FOR HUMAN OCCUPANCY.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO SUBMITTING BIDS, AND PROCEEDING WITH ANY WORK.
3. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION. INCLUDING BUT NOT LIMITED BY DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT.
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK. CONTACT USA DIG ALERT @ 800-227-2800
5. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO PROPOSED OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
6. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDA, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT DRAWINGS TO THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT AT THE CONCLUSION OF THE PROJECT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.
9. ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST C.B.C. AND ALL OTHER GOVERNING CODES, INCLUDING THE CALIFORNIA ADMINISTRATIVE CODES TITLE 8, 19, AND 24. THE MOST RESTRICTIVE CODE SHALL GOVERN.
10. THE CONTRACTOR AND SUBCONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS INCLUDING ALL OSHA REQUIREMENTS.
11. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
12. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR AUTHORIZED AGENT. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.
14. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES.
15. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
16. THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL WITH U.L. APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
17. PROPOSED CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
18. THE CONTRACTOR IS TO PROVIDE PORTABLE FIRE EXTINGUISHERS HAVING A MINIMUM 2A:10-B:C RATING WITHIN 75FT. OF TRAVEL TO ALL PORTIONS OF THE CONSTRUCTION AREA. (2016 CFC SECTION 906-1-1 & 7 AND SECTION 906.3.1)
19. MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR APPROVING THE RESULTS.
20. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
21. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
22. BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING AND CONSTRUCTION EFFORT AS MANDATED BY THE GOVERNING AGENCY.
23. ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT SHALL BE NOTIFIED FOR CLARIFICATIONS.
24. SITE CONTRACTOR TO CALL DIG ALERT (1-800-227-2600) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
25. ALL FACILITIES TO BE INSTALLED ARE UNMANNED. NO (E) PARKING SPACES WILL BE USED OR REMOVED BY THIS PROJECT.
26. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH THE CITY'S MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
27. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
28. THIS PROJECT PROPOSES NO DEVELOPEMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
29. THIS IS ROOFTOP INSTALLATION ON AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.
30. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

STORM WATER QUALITY NOTES CONSTRUCTION BMPs:

- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.
- NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.
1. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

GENERAL FIRE NOTES:

1. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE IN ACCORDANCE WITH 2016 CFC CHAPTER 33 AND ALL GOVERNING CODES.
2. ADDRESS SHALL BE PROVIDED FOR ALL PROPOSED AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (2016 CFC SECTION 505.1)
3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. (2016 CFC SECTION 807.3)
4. PORTABLE FIRE EXTINGUISHERS: AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. (2016 CFC SECTION 906.1.1 & 7 AND SECTION 906.3.1)

ABBREVIATION

DEFINITION

A.B.	ANCHOR BOLT
ABV.	ABOVE
ACCA	ANTENNA CABLE COVER ASSEMBLY
ADD'L	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANT.	ANTENNA
APPRX.	APPROXIMATE(LY)
ARCH.	ARCHITECT(URAL)
AWG.	AMERICAN WIRE GAUGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
BTOW.	BARE TINNED COPPER WIRE
B.O.F.	BOTTOM OF FOOTING
B/U	BACK-UP CABINET
CAB.	CABINET
CANT.	CANTILEVER(ED)
C.I.P.	CAST IN PLACE
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION(OR)
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
J	PENNY (NAILS)
DBL	DOUBLE
DEPT.	DEPARTMENT
D.F.	DOUGLAS FIR
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING(S)
DWL.	DOWEL(S)
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMT.	ELECTRICAL METALLIC TUBING
E.N.	EDGE NAIL
ENG.	ENGINEER
EQ.	EQUAL
EXP.	EXPANSION
(E)	EXISTING
EXT.	EXTERIOR

ABBREVIATION

DEFINITION

FAB.	FABRICATION(OR)
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISHED
FLR.	FLOOR
FDN.	FOUNDATION
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.S.	FINISH SURFACE
FT.(')	FOOT(FEET)
FTG.	FOOTING
G.	GROWTH (CABINET)
GA.	GAUGE
GI.	GALVANIZE(D)
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER
GL.B.(GLU-LAM)	GLUE LAMINATED BEAM
GPS	GLOBAL POSITIONING SYSTEM
GRND.	GROUND
HDR.	HEADER
HGR.	HANGER
HT.	HEIGHT
ICGB.	ISOLATED COPPER GROUND BUS
IN.(')	INCH(ES)
INT.	INTERIOR
LB.(#)	POUND(S)
L.B.	LAG BOLTS
L.F.	LINEAR FEET (FOOT)
L.	LONG(ITUDINAL)
MAS.	MASONRY
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
(N)	NEW
NO.(#)	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
(P)	PROPOSED
P/C	PRECAST CONCRETE
P.CS	PERSONAL COMMUNICATION SERVICES
PLY.	PLYWOOD
PPC	POWER PROTECTION CABINET
PRC	PRIMARY RADIO CABINET
P.S.F.	POUNDS PER SQUARE FOOT

ABBREVIATION

DEFINITION

P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PWR.	POWER (CABINET)
QTY.	QUANTITY
RAD.(R)	RADIUS
REF.	REFERENCE
REINF.	REINFORCEMENT(ING)
REQD.	REQUIRED
RGS.	RIGID GALVANIZED STEEL
RRU.	RADIO REMOTE UNIT
SCH.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION(S)
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRU.C.	STRUCTURAL
TEMP.	TEMPORARY
THK.	THICK(NESS)
TMA	TOWER MOUNTED AMPLIFIER
T.N.	TOE NAIL
T.O.A.	TOP OF ANTENNA
T.O.C.	TOP OF CURB
T.O.F.	TOP OF FOUNDATION
T.O.P.	TOP OF PLATE (PARAPET)
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.G.	UNDER GROUND
U.L.	UNDERWRITERS LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W	WIDE(WIDTH)
W/	WITH
WD	WOOD
W.P.	WEATHERPROOF
WT.	WEIGHT
℄	CENTERLINE
℄	PLATE

ABBREVIATIONS

 PROPOSED ANTENNA

 EXISTING ANTENNA

 GROUND ROD

 GROUND BUS BAR

 MECHANICAL GRND. CONN.

 CADWELD

 GROUND ACCESS WELL

 ELECTRIC BOX


 TELEPHONE BOX

 LIGHT POLE

 FND. MONUMENT

 SPOT ELEVATION

 SET POINT

 REVISION

 GRID REFERENCE

 DETAIL REFERENCE

 ELEVATION REFERENCE

 SECTION REFERENCE

 GROUT OR PLASTER


 (E) BRICK

 (E) MASONRY

 CONCRETE


 EARTH

 GRAVEL

 PLYWOOD

 SAND

 WOOD CONT.

 WOOD BLOCKING

 STEEL


 CENTERLINE

 PROPERTY/LEASE LINE

 MATCH LINE


 WORK POINT

 GROUND CONDUCTOR

 TELEPHONE CONDUIT

 ELECTRICAL CONDUIT (POWER)

 COAXIAL CABLE


 FIBER


 POWER AND FIBER

 OVERHEAD SERVICE CONDUCTORS

 CHAIN LINK FENCING

 WOOD FENCE

 OVERHEAD POWER LINE

 BURIED POWER LINE

 OVERHEAD TELEPHONE LINE

 BURIED TELEPHONE LINE

 BURIED WATER LINE

 BURIED SANITARY SEWER

 BURIED STORM DRAIN

verizon

15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618

Technology Associates

SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (JX COMMENTS)	ED
F	04/11/2019	90% CX (JX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

GENERAL
NOTES

SHEET NUMBER

T-2



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

G	07/17/2019	90% CX (JK COMMENTS)	ED
F	04/11/2019	90% CX (JK COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	05/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.
REV	DATE	DESCRIPTION	BY

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1

DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF
A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS,
AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF
CONSTRUCTION. TAEC DOES NOT GUARANTEE THE ACCURACY
OF SAID PROPERTY LINES, EASEMENTS, ROADS AND SETBACKS.

NOTES:

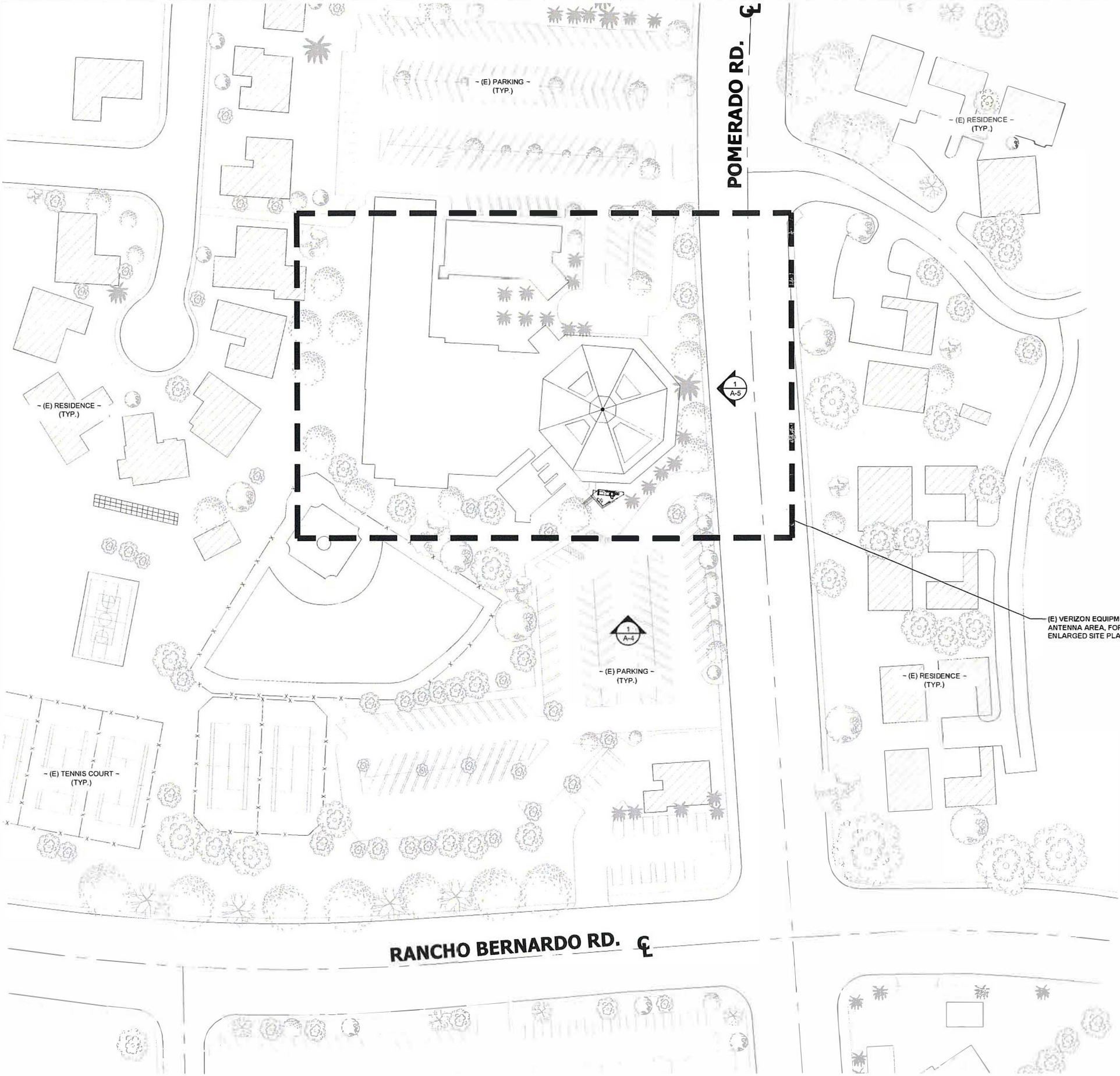
1. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS
OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS
DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE
ANY PERMANENT STORM WATER BEST MANAGEMENT
PRACTICES.
2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY
THIS PROJECT.
3. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC
RIGHT-OF-WAY.
4. PRIOR OF THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE
PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN
(WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH
THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER
STANDARDS.

GRADING DATA TABLE

IMPORT QUANTITY:	0 C.Y.
EXPORT QUANTITY:	0 C.Y.

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

SITE PLAN



50' 0 25' 50' SCALE: 1" = 50'-0" (24x36)
(OR) 1/2" = 50'-0" (11x17)



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (JX COMMENTS)	ED
F	04/11/2019	90% CX (JX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	06/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/08/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

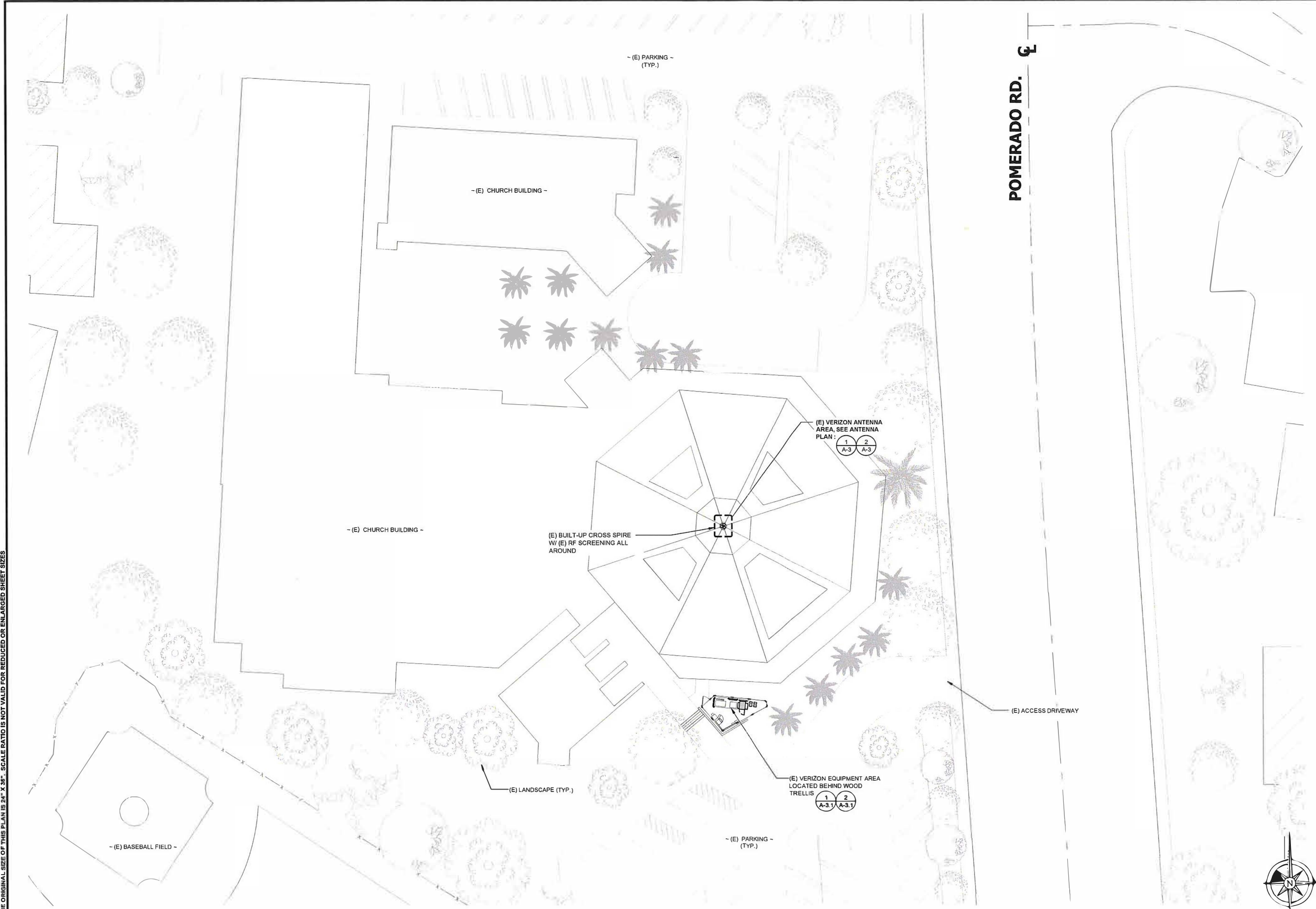
ENLARGED
SITE PLAN

SHEET NUMBER

A-2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

ENLARGED SITE PLAN



POMERADO RD.

20' 0 10' 20' SCALE: 1" = 20'-0" (24x36)
(OR) 1/2" = 20'-0" (11x17)



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (LX COMMENTS)	ED
F	04/11/2019	90% CX (LX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

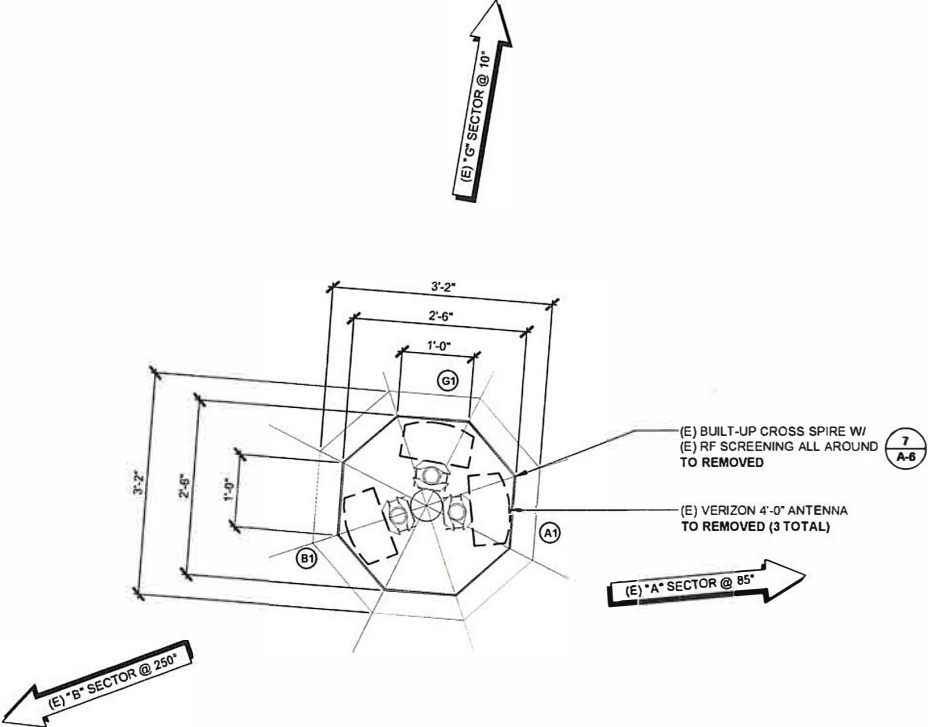
ROOF TOP

SHEET TITLE

ANTENNA
PLANS

SHEET NUMBER

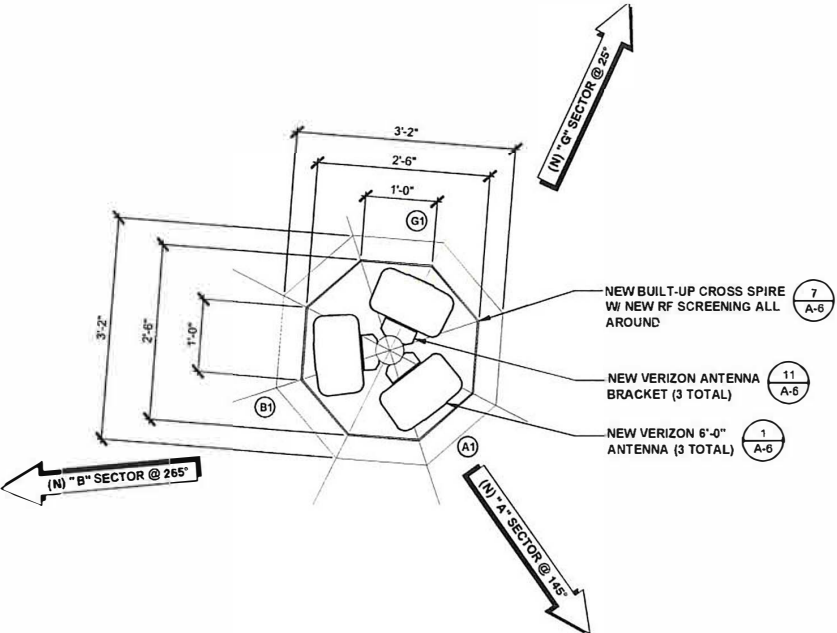
A-3



ANTENNA PLAN (EXISTING)

0 3" 6" 1' SCALE: 3/4" = 1'-0" (24x36)
(OR) 3/8" = 1'-0" (11x17) 1

- NOTE:
- VZ SHALL VERIFY & APPROVE ALL ANTENNA TYPES & ANTENNA LOCATIONS PRIOR TO THEIR INSTALLATION.
 - THE CAPACITY OF THE (E) MOUNT AND (E) CHURCH BUILDING TO SUPPORT PROPOSED LOADS IS TO BE DETERMINED PRIOR TO INSTALLATION.



ANTENNA PLAN (FINAL)

0 3" 6" 1' SCALE: 3/4" = 1'-0" (24x36)
(OR) 3/8" = 1'-0" (11x17) 2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

G	07/17/2018	90% CX (JX COMMENTS)	ED
F	04/11/2018	90% CX (JX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.
REV	DATE	DESCRIPTION	BY

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

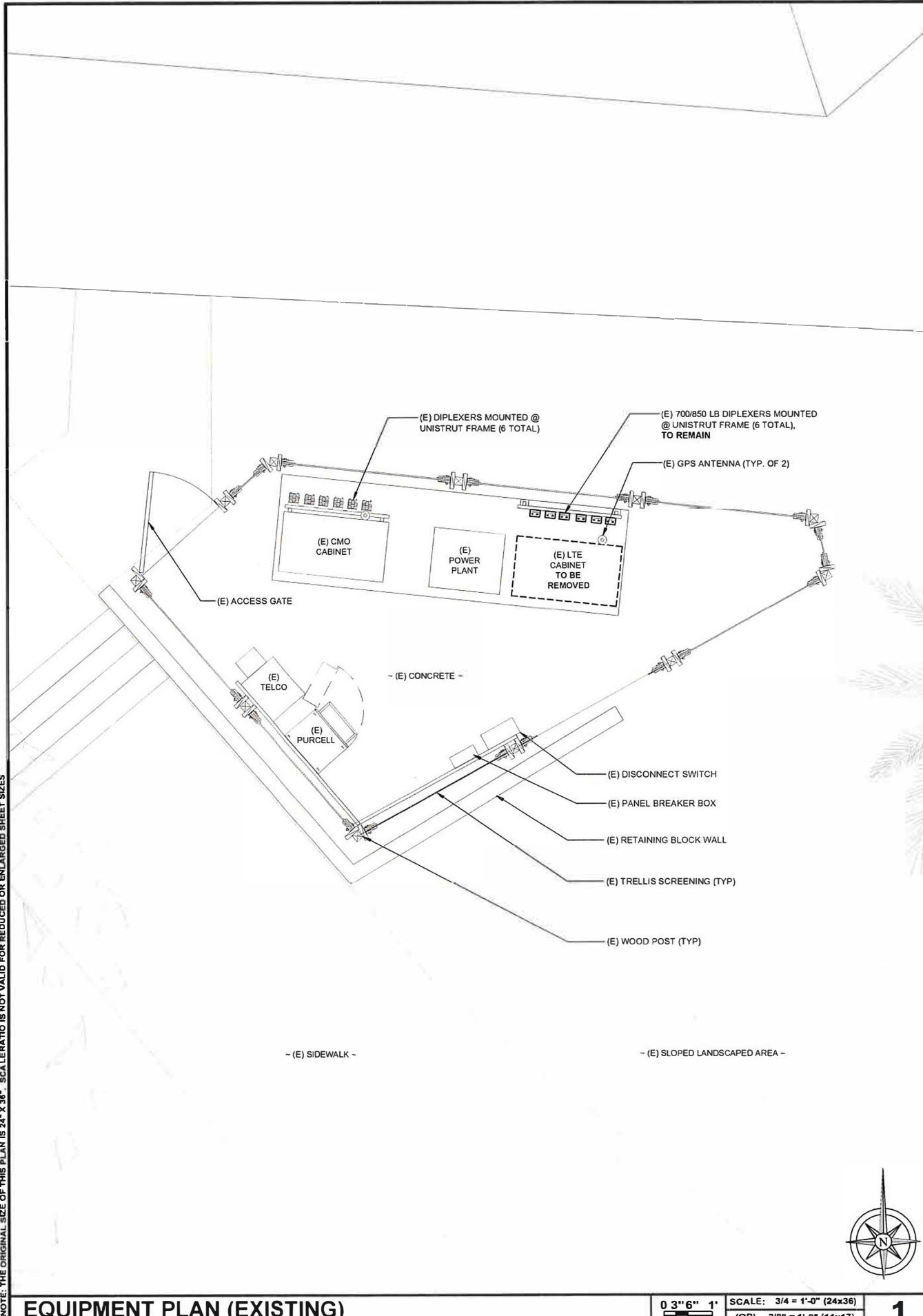
SHEET TITLE

EQUIPMENT
PLANS

SHEET NUMBER

A-3.1

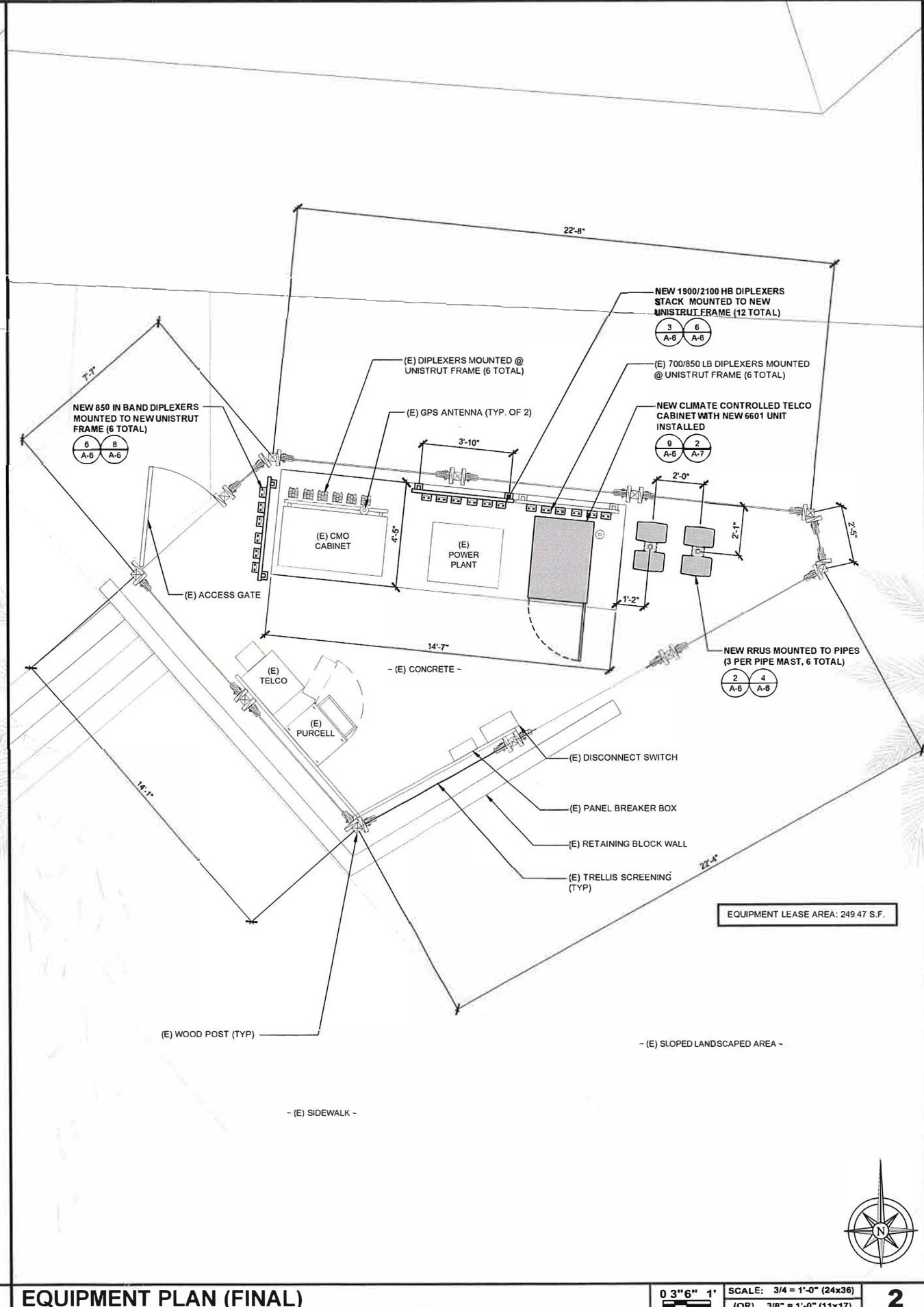
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALAR RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



EQUIPMENT PLAN (EXISTING)

0 3" 6" 1" SCALE: 3/4" = 1'-0" (24x36)
(OR) 3/8" = 1'-0" (11x17)

1



EQUIPMENT PLAN (FINAL)

0 3" 6" 1" SCALE: 3/4" = 1'-0" (24x36)
(OR) 3/8" = 1'-0" (11x17)

2



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (JK COMMENTS)	ED
F	04/11/2019	90% CX (JK COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/08/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-4

TOP OF (E) CROSS SPIRE
ELEV. 71'-0" AGL

CENTERLINE OF (E) VZ ANTENNAS
ELEV. 52'-8" AGL

TOP OF (E) ROOF
ELEV. 47'-0" AGL

(E) VERIZON EQUIPMENT AREA
LOCATED BEHIND WOOD
TRELLIS

FINISH GRADE
ELEV. 0'-0" REF

(E) METAL CROSS
TO REMAIN

(E) BUILT-UP CROSS
SPIRE W/ (E) RF
SCREENING ALL
AROUND TO REMOVED

(E) VERIZON 4'-0"
ANTENNA TO REMOVED
(3 TOTAL)

(E) CHURCH BUILDING

SOUTH ELEVATION (EXISTING)

0 3' 6' 11' SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

1

TOP OF (E) CROSS SPIRE
ELEV. 71'-0" AGL

CENTERLINE OF (N) VZ ANTENNAS
ELEV. 53'-8" AGL

TOP OF (E) ROOF
ELEV. 47'-0" AGL

(E) VERIZON EQUIPMENT AREA
LOCATED BEHIND WOOD
TRELLIS

FINISH GRADE
ELEV. 0'-0" REF

(E) METAL CROSS

NEW BUILT-UP CROSS SPIRE
W/ NEW RF SCREENING ALL
AROUND

NEW VERIZON 6'-0"
ANTENNA (3 TOTAL)

(E) CHURCH BUILDING

SOUTH ELEVATION (FINAL)

0 3' 6' 11' SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

verizon

15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618

Technology Associates

SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (JX COMMENTS)	ED
F	04/11/2019	90% CX (JX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	08/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-5

TOP OF (E) CROSS SPIRE
ELEV. 71'-0" AGL

CENTERLINE OF (E) VZ ANTENNAS
ELEV. 52'-6" AGL

TOP OF (E) ROOF
ELEV. 47'-0" AGL

FINISH GRADE
ELEV. 0'-0" REF

(E) METAL CROSS
TO REMAIN

(E) BUILT-UP CROSS
SPIRE W/ (E) RF
SCREENING ALL
AROUND TO REMOVED

(E) VERIZON 4'-0"
ANTENNA TO REMOVED
(3 TOTAL)

(E) CHURCH BUILDING

EAST ELEVATION (EXISTING)

0 3' 6' 11" SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

1

TOP OF (E) CROSS SPIRE
ELEV. 71'-0" AGL

CENTERLINE OF (N) VZ ANTENNAS
ELEV. 53'-8" AGL

TOP OF (E) ROOF
ELEV. 47'-0" AGL

FINISH GRADE
ELEV. 0'-0" REF

(E) METAL CROSS

NEW BUILT-UP CROSS SPIRE
W/ NEW RF SCREENING ALL
AROUND

NEW VERIZON 6'-0"
ANTENNA (3 TOTAL)

(E) CHURCH BUILDING

EAST ELEVATION (FINAL)

0 3' 6' 11" SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2018	90% CX (LX COMMENTS)	ED
F	04/11/2018	90% CX (LX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

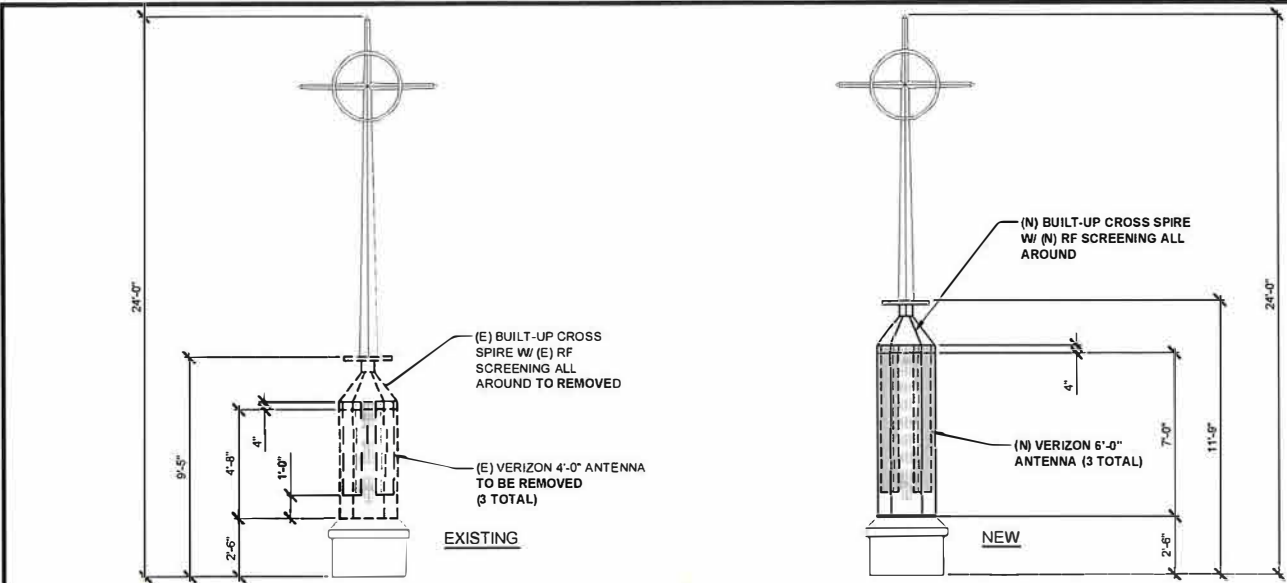
17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

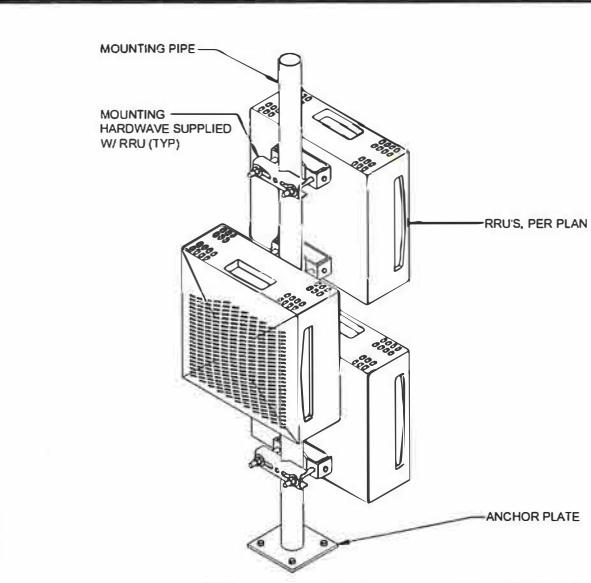
DETAILS

S HERUMB ER
A-6



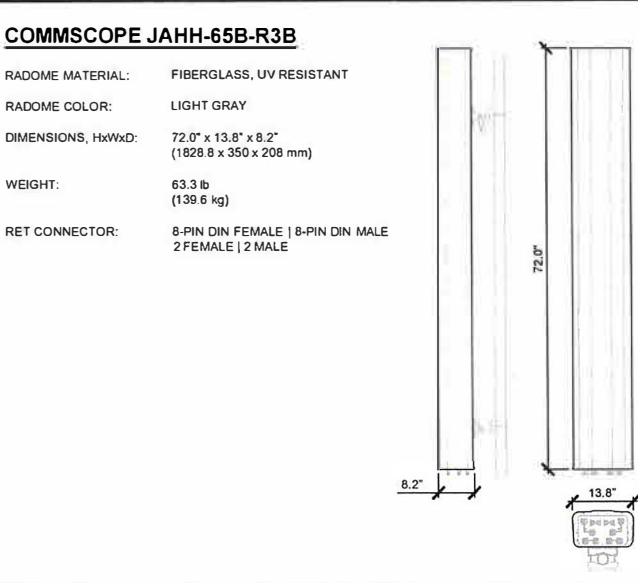
BUILT-UP CROSS SPIRE

SCALE
N.T.S. 7



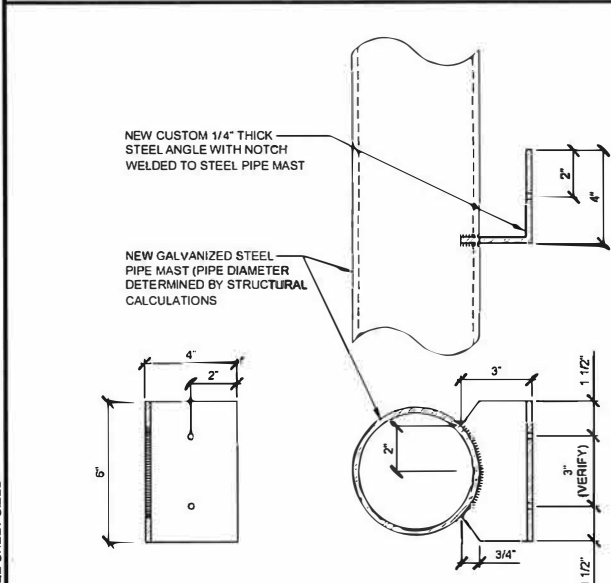
RRUS MOUNTING

SCALE
N.T.S. 4



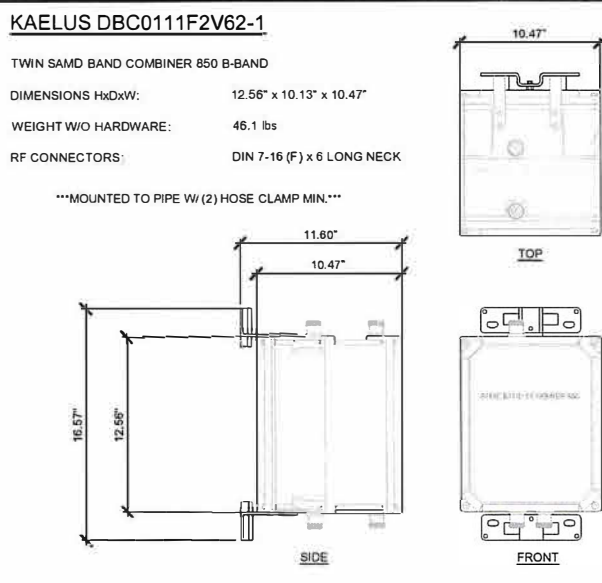
ANTENNA SPECIFICATIONS

SCALE
N.T.S. 1



MOUNTING BRACKET DETAIL

SCALE
N.T.S. 11



DIPLEXER SPECIFICATIONS

SCALE
N.T.S. 8

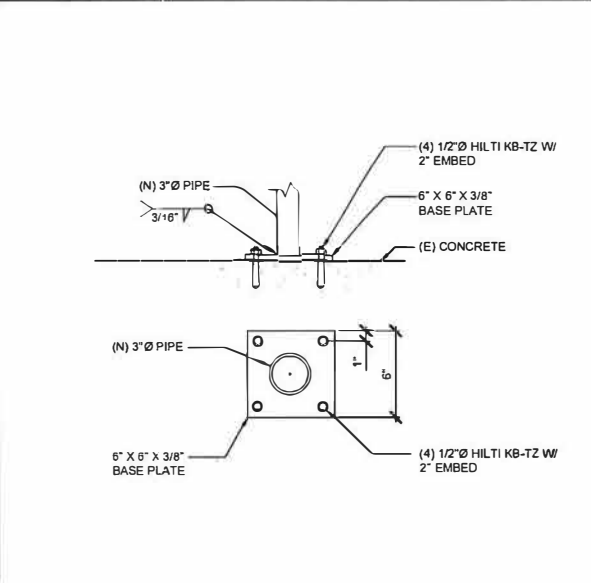
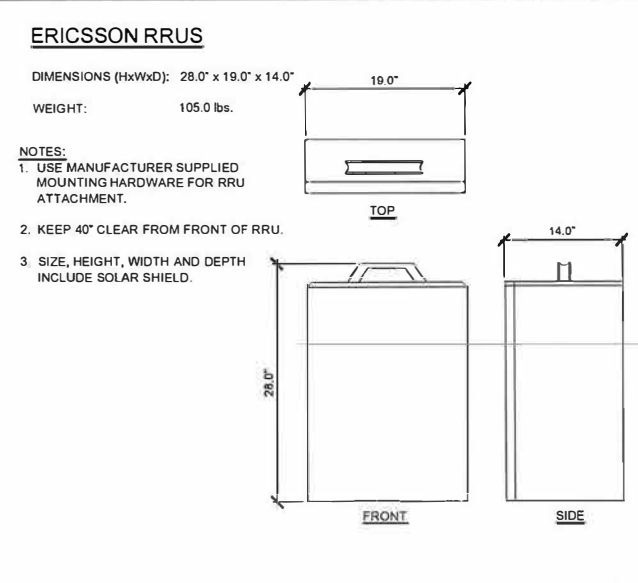


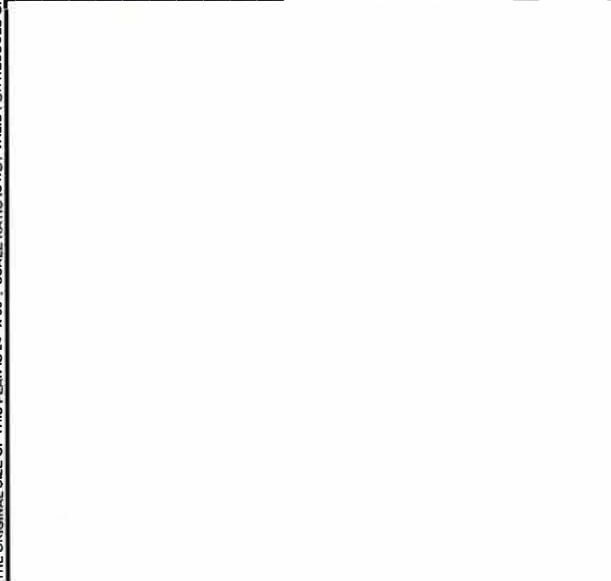
PLATE CONNECTION

SCALE
N.T.S. 5



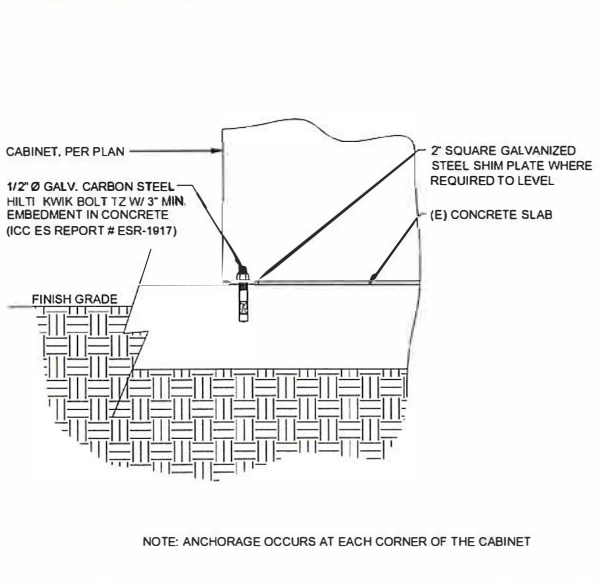
RRUS SPECIFICATIONS

SCALE
N.T.S. 2



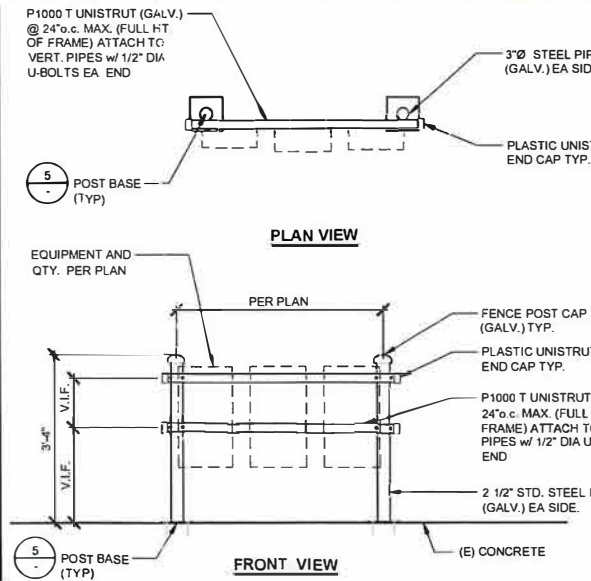
NOT USED

SCALE
N.T.S. 12



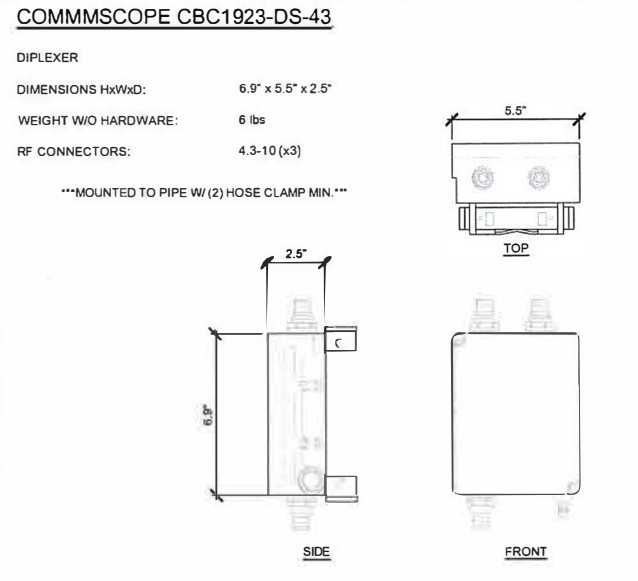
CABINET ANCHOR DETAIL

SCALE
N.T.S. 9



UNISTRUT FRAME

SCALE
N.T.S. 6



DIPLEXER SPECIFICATIONS

SCALE
N.T.S. 3

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (JX COMMENTS)	ED
F	04/11/2019	90% CX (JX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

DETAILS

SHEET NUMBER

A-7



Specifications

Model	Macro Power Equipment Cabinet
Construction	Aluminum enclosure
Dimensions (W x H x D)	30 x 72 x 41 in. (806 x 1828 x 957mm)
Weight (empty)	Depth with HEX: 40 in. (1016mm) with dual Air Con: 45 in. (1136mm) with HEX: 36 in. (914mm) with dual Air Con: 37 in. (940mm)
Internal rack dimension	Total Equipment space: 23" x 6RU Equipment rack: 18" x 26RU
Mounting options	Post mount, plate option
Finish	Polyester Powder Paint (Tan)
Safety	UL Listed, IEC / EN 60950
Environment	-40°C to +45°C (40°F to 113°F) with ac load
Operating temperature	Designed to GR-487
Protection class	< 65dB(A)
Humidity (relative)	Equipment: 95%, non-condensing (Max.)
Thermal management	
Cooling	Heat Exchanger 3000W or Air conditioner (2) 1850W dual mode with Direct Air Cooling (DAC) DAC can be used for backup or as economizer
Heating	Forced air heating (2) 1000W DC heaters with low voltage shut off
Equipment	All conduit holes are covered with plugs (8) 3" conduit holes on both sides and top (7) 1.25" conduit holes on both sides and top (2) 2" conduit holes on right side for external AC load center entry (4) 3" conduit holes in floor, additional removable face plate behind rack Doors: (1) 3-point latching, 5/16" nut driver, tool pad locking capability Hatch: (2) 3-point latching, 5/16" nut driver tool, pad locking capability 10 position ground bar 4 Lifting Tabs Field removable doors (left and right) Onion Touch controller for environmental controls DC powered heaters (2) 1000W (optional) Door intrusion alarm LED lights front and rear GFCI receptacles Alarm termination blocks: 30 pair 68 type block (3 blocks of 10 pair) 25 pair Phoenix terminal block Ground Bar: 22 position 1/4" x 5/8" spacing 2 hole lugs (1) Thermal Probe
Cable Entry	
Latching	
Primary ground	
Lifting Ears	
Standard equipment	
Ordering information	
Cabinet	ESQF018-EC001 72" 30 ga. 60 in. Ckt. 38RU-3200WDC HEX Coated Equipment Enclosure, Front Door, Rear Panel, 72" Single Door, Ckt. 38 RU-1800WDC HEX Coated Equipment Enclosure with rear panel and heater (2) 1000W
Delta Power System	ESAA003-HCU37 600A mva. 7RU 23" 20 bullet breakers
Reducers	ESRB050C-FA DPR2000 54V 56A 2500W 96% efficient
Controller (Spine)	TPS102028A-APM-M Orion TOUCH Controller

All specifications are subject to change without prior notice.

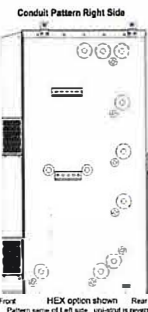
Delta Group Website:
www.deltaww.com
Product Website:
www.deltapowersolutions.com

United States of America & Canada
Delta Greentech (USA) Corp.
2825 E. Plano Parkway
Plano, TX (Texas) 75082
dgsales@delatw.com
877-DELTA-08 (877-335-8208)

Central America
Delta Electronics International Mexico,
S.A. de C.V.
Via Gustavo Baz No. 2160
Col. Industrial La Loma Tlaliesparta
CP 54060, Edo de Mexico

South America
Delta Greentech (Brasil) S.A.
Rua Iapevo, 26 - 3 andar - Bela Vista
01332-000 - São Paulo - SP - Brasil

EN_v0.1 JT 011018



Macro Power & Equipment Cabinet

Product Features

Compact design for power and equipment:

- 38RU total, 26RU @ 19" 13RU @ 23"
- 600A @ -48V power system
- Front and Rear Access
- Reversible Door Swing

Cooling options:

- ORION Touch Screen control manages cooling and heating
- Hybrid Air Conditioner with direct air cooling backup / economizer
- Heat Exchanger
- Forced air heater

Corrosion resistant aluminum construction
Powder coated high glass finish
GR-487 approved



NOT USED

SCALE
N.T.S.

10

NOT USED

SCALE
N.T.S.

7

NOT USED

SCALE
N.T.S.

11

NOT USED

SCALE
N.T.S.

8

TELCO CABINET SPECIFICATIONS

SCALE
N.T.S.

2

NOT USED

SCALE
N.T.S.

12

NOT USED

SCALE
N.T.S.

9

NOT USED

SCALE
N.T.S.

6

NOT USED

SCALE
N.T.S.

3

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (LX COMMENTS)	ED
F	04/11/2019	90% CX (LX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/23/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

SHEET TITLE

GROUNDING
PLANS

SHEET NUMBER

G-1

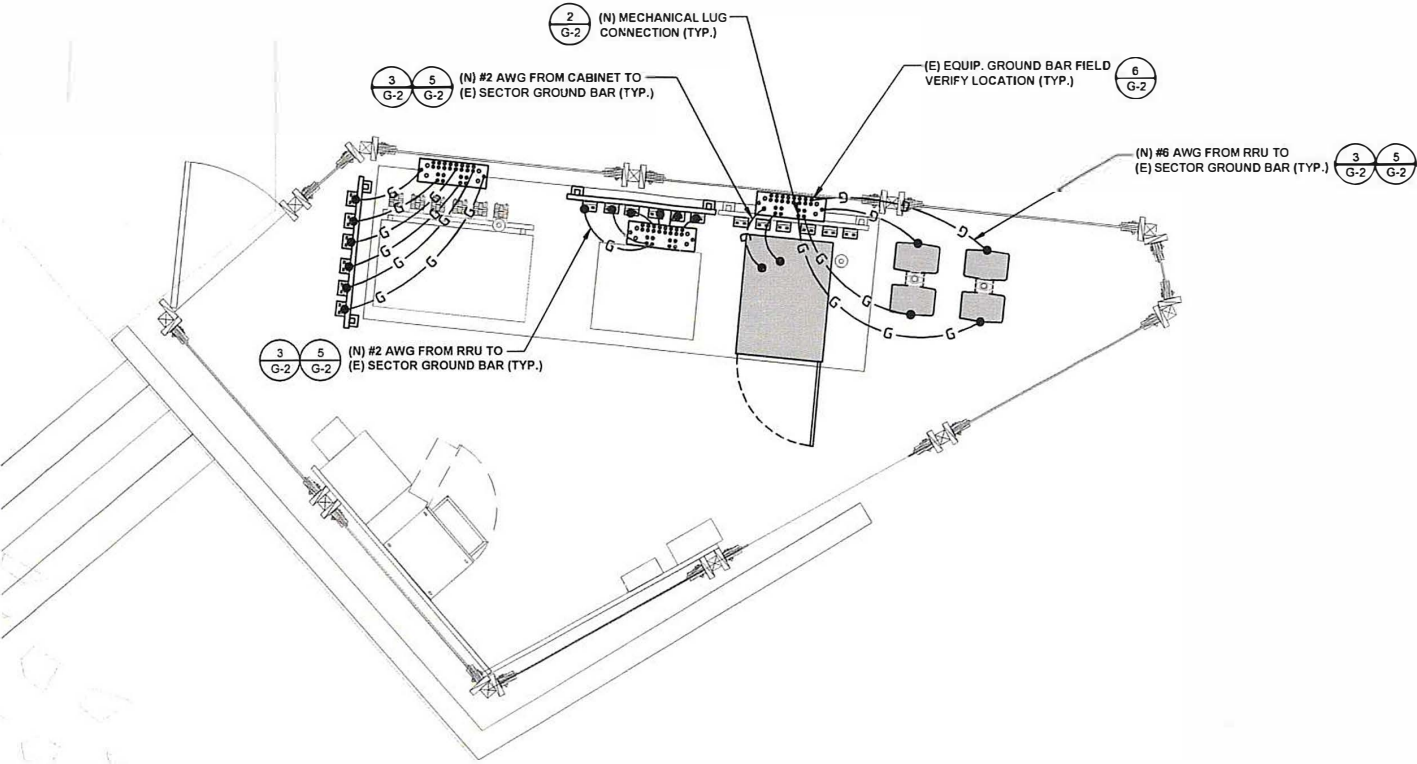
ELECTRICAL GROUNDING SPECIFICATIONS

- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE CURRENTLY IN EFFECT FOR THE AUTHORITY HAVING JURISDICTION.
- ALL GROUNDING DEVICES SHALL BE U.L. LISTED FOR THEIR INTENDED USE.
- GROUND WIRES SHALL BE TINNED #2 AWG BARE SOLID COPPER UNLESS OTHERWISE NOTED.
- CONNECTIONS OF ALL GROUND WIRES TO THE GROUND RING SHALL BE EXOTHERMIC (CAD-WELDED), UNLESS OTHERWISE NOTED, AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND VZW WIRELESS BROADBAND STANDARDS.
- GROUNDING CONDUCTORS SHALL BE ROUTED ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. WHEN REQUIRED, GROUND LEADS SHALL BE BENT TO A MINIMUM OF 8" RADIUS.
- WHERE GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO THE GROUND RING, INSTALL WIRE IN 3/4" HEAVY WALL LIQUID TIGHT FLEXIBLE CONDUIT FROM CONNECTION POINT TO 5" BELOW GRADE AND SEAL THE TOP WITH SILICONE SEALANT.
- ALL GROUND BARS SHALL BE TINNED, 1/4" COPPER, SECTOR BARS 2", COLLECTOR AND MGB BARS 4", OF SUFFICIENT LENGTH TO ACCOMMODATE ALL REQUIRED CONNECTIONS WITHOUT DOUBLING LUGS, AND EACH INSTALLED WITH ISOLATORS. WHEN CONNECTING GROUND BARS (WITHIN 10 FEET OF GRADE) DIRECTLY TO THE GROUND RING, 2 EA #2 SOLID DOWNLEADS SHALL BE CAD-WELDED TO THE GROUND BAR, 1 AT EACH OPPOSITE BOTTOM CORNER, AND EACH SHALL RUN IN 3/4" HEAVY WALL LIQUID TIGHT FLEXIBLE CONDUIT FROM GROUND BAR DOWN TO THE GROUND RING. WHEN CONNECTING SECTOR GROUND BARS, DAISY-CHAIN THE GROUND BARS AND RUN 1 EA #2 AWG STRANDED COPPER WIRE WITH THWN INSULATION FROM THE MIDDLE GROUND BAR TO THE GROUND RING AND CAD-WELD TO THE RING.
- WHEN ATTACHING STRANDED GROUND LEADS TO THE GROUND BARS, 2 HOLE COMPRESSION LUGS SHALL BE USED, PROTECT WITH WEATHERPROOF HEAT SHRINK, AND WITH A THIN COAT OF "KOPR SHIELD" OR EQUIVALENT PROPERLY APPLIED AND ATTACHED ONLY WITH STAINLESS STEEL HARDWARE.
- WHEN GROUNDING EQUIPMENT ENCLOSURES, PANELS, FRAMES, AND OTHER METAL APPARATUS, A #6 AWG STRANDED COPPER WIRE WITH THWN INSULATION SHALL BE ATTACHED UTILIZING A 2 HOLE COMPRESSION TYPE LUG, PROTECTED WITH WEATHERPROOF HEAT A CLEAN AND CORROSION FREE METALLIC SURFACE UTILIZING STAINLESS STEEL SELF-TAPPING SCREWS AS NOTED IN NOTE 10 BELOW.
- PREPARE ALL BONDING SURFACES FOR GROUND CONNECTIONS BY REMOVING ANY AND ALL PAINT AND CORROSION TO SHINY METAL. FOLLOWING CAD-WELDED CONNECTIONS TO NON-COPPER SURFACES, APPLY ONE COAT OF ANY ANTI-OXIDIZING PAINT. "COLD GALV" OR EQUIVALENT.
- GROUND RODS SHALL BE COPPER-CLAD STEEL 5/8"x10", SPACED NO LESS THAN 10' ON CENTER.
- ALL GROUND SYSTEM CONDUCTORS AND CONDUITS SHALL BE SECURED UTILIZING ONLY NONMETALLIC, NON-CONDUCTIVE, UV RATED CLAMPS, BRACKET, AND OR SUPPORTS.
- WHEN REQUIRED, THE CONTRACTOR SHALL ENGAGE THE SERVICES OF AN INDEPENDENT TESTING FIRM TO VERIFY, UTILIZING A MEGGER TEST, THAT THE RESISTANCE TO EARTH OF THE (N) GROUND SYSTEM IS EQUAL TO OR LESS THAN 5 (OHMS). A COPY OF THE COMPLETE TESTING REPORT SHALL BE PROVIDED TO THE VZW REPRESENTATIVE.
- ALL MATERIALS AND HARDWARE SHALL BE INSTALLED IN A WORKMAN-LIKE MANNER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND DEFINED IN NFPA-70 AND APPROVED BY A.H.J.

LEGEND	
■	EXOTHERMIC CONNECTION
●	MECHANICAL CONNECTION
⎓	EQUIPMENT GROUND BAR
⎓	ANTENNA GROUND BAR (AS REQUIRED)
—	#2 AWG GROUND LEAD (AS REQUIRED)

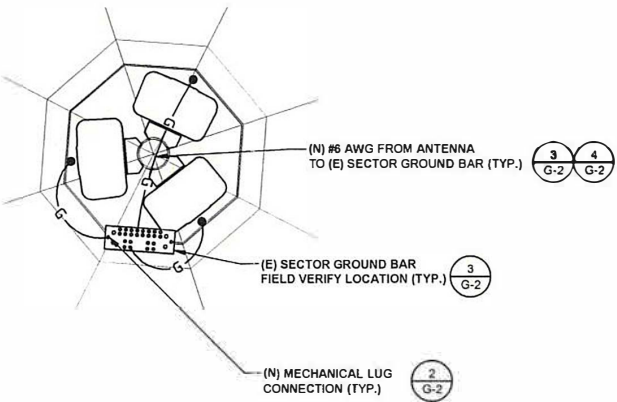
NOTE:

- CONTRACTOR TO REPLACE ALL MISSING GROUND BARS AND GROUNDING CONNECTIONS AS REQUIRED.
- (N) MOUNTING PIPE(S) INSTALLED FOR MODIFICATION SHALL HAVE AN EXOTHERMIC WELD THAT LEADS TO THE (E) SECTOR GROUND BAR. A MECHANICAL LUG CONNECTION SHALL OCCUR AT (E) SECTOR GROUND BAR.



SCALE
N.T.S. 1

EQUIPMENT AREA GROUNDING PLAN



SCALE
N.T.S. 2

ANTENNA GROUNDING PLAN

NOTES & LEGEND

3

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" x 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618



SAN DIEGO MARKET OFFICE
2851 CAMINO DEL RIO SOUTH, STE. 200
SAN DIEGO, CA 92108

REV	DATE	DESCRIPTION	BY
G	07/17/2019	90% CX (JX COMMENTS)	ED
F	04/11/2018	90% CX (JX COMMENTS)	ED
E	11/08/2018	90% CX (DRM COMMENTS)	GS
D	10/22/2018	90% CX (NEW RFDS)	ED
C	08/03/2018	90% CX (DRM COMMENTS)	SV
B	06/07/2018	90% CX (NEW RFDS)	J.R.
A	12/06/2017	90% CONSTRUCTION	J.R.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

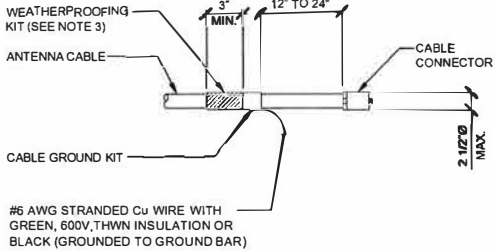
RB VILLAGE

17010 POMERADO ROAD
SAN DIEGO, CA 92128

ROOF TOP

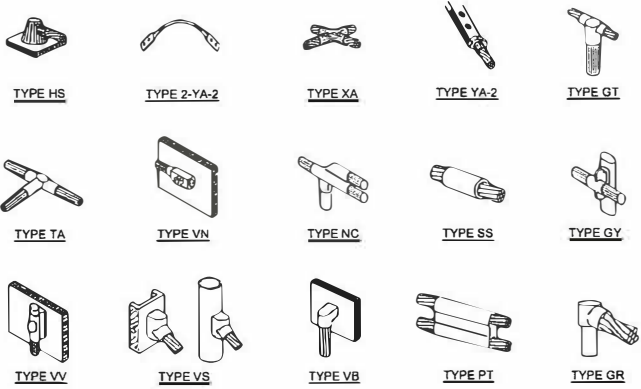
SHEET TITLE
**GROUNDING
DETAILS**

SHEET NUMBER
G-2



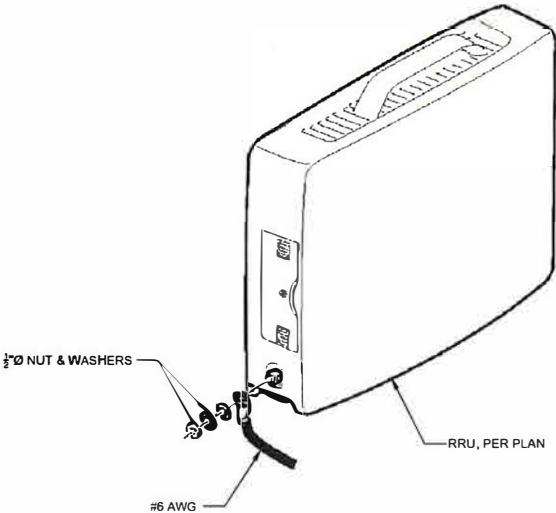
ANTENNA AND/OR GPS CABLE
CONNECTION

- NOTES:
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
 - GROUNDING KIT TYPE SHALL BE APPROVED BY VZW PRIOR TO INSTALLATION
 - WEATHERPROOFING SHALL INCORPORATE PPC WEATHERPROOFING TAPE KIT, COLD SHRINK SHALL NOT BE USED.



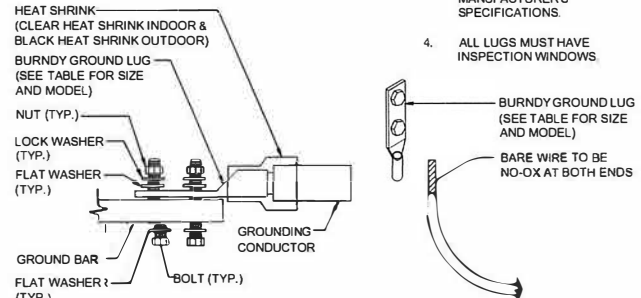
NOTE:
ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

CABLE GROUNDING



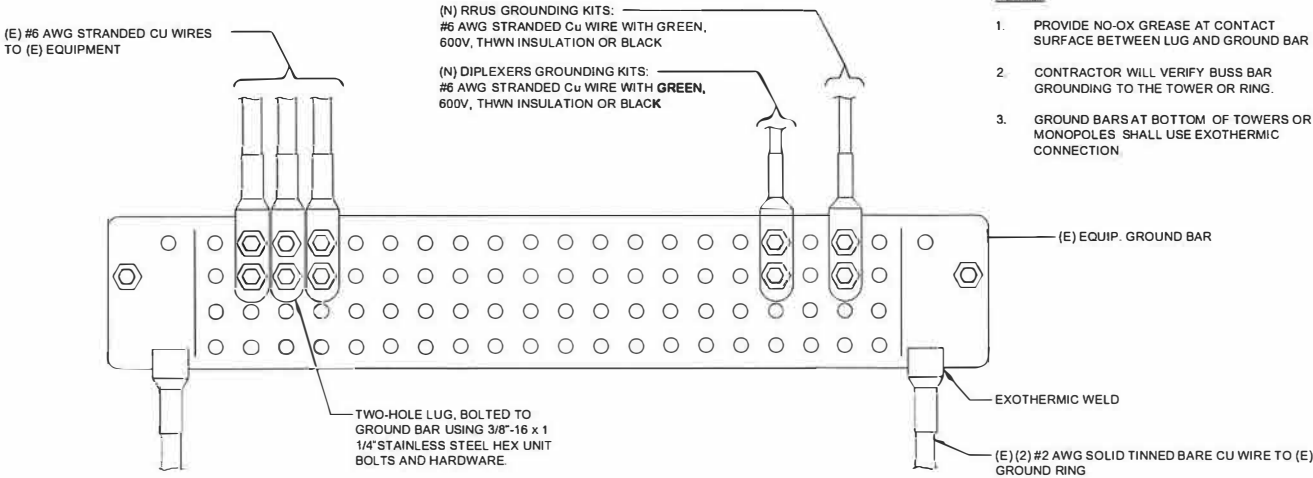
EXOTHERMIC WELDING

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT

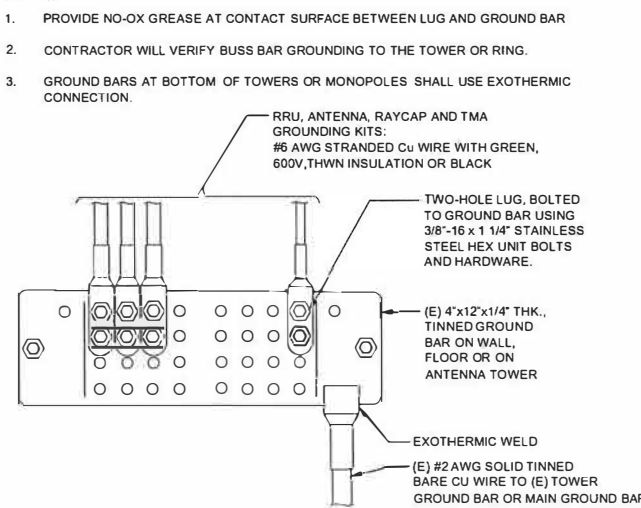


- NOTES:
- ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER, LOCK WASHER AND NUT.
 - COPPER SHIELD, ANTIOX, CR NO-OX OR EQUIVALENT SHALL BE PLACE WHERE ALL DISSIMILAR METALS CONNECT.
 - ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - ALL LUGS MUST HAVE INSPECTION WINDOWS.

RRU GROUNDING



MECHANICAL LUG



- NOTES:
- PROVIDE NO-OX GREASE AT CONTACT SURFACE BETWEEN LUG AND GROUND BAR
 - CONTRACTOR WILL VERIFY BUSS BAR GROUNDING TO THE TOWER OR RING.
 - GROUND BARS AT BOTTOM OF TOWERS OR MONOPOLES SHALL USE EXOTHERMIC CONNECTION.

EQUIP. GROUND BAR

SECTOR GROUND BAR

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES