



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 16, 2019 REPORT NO. PC-19-031

HEARING DATE: May 23, 2019

SUBJECT: SEABREEZE SENIOR LIVING, Process Five Decision

PROJECT NUMBER: [600824](#)

OWNER/APPLICANT: Bell Valley Holding Company, LP

SUMMARY

Issue: Should the Planning Commission recommend approval to the City Council of an application to demolish an equestrian facility and construct a two-story building with a Senior Residential Care Facility with 118 units and five, one-story duplex casitas (10 units) located 5720 Old Carmel Valley Road in the AR-1-1, CVPD-SF2 and CVPD-OS zones of the Carmel Valley Community Plan area?

Staff Recommendations:

1. Recommend the City Council Adopt Addendum No. 600824 to Environmental Impact Report DEP No. 35-0385/SCH No. 96021001/Mitigated Negative Declaration (MND) LDR No. 96-7919;
2. Recommend the City Council Approve General Plan/Community Plan Amendment No. 2123271;
3. Recommend the City Council Approve Conditional Use Permit No. 2123276;
4. Recommend the City Council Approve Site Development Permit No. 2123277;
8. Recommend the City Council Approve Planned Development Permit No. 2256375; and
9. Recommend the City Council Approve Easement Vacation No. 2123272;

Community Planning Group Recommendation: On October 25, 2018, the Carmel Valley Planning Board voted 9-0-0 to recommend approval of the project with no conditions (Attachment 11).

Environmental Review: Addendum No. No. 600824 to Environmental Impact Report DEP No. 35-0385/SCH No. 96021001/Mitigated Negative Declaration (MND) LDR No. 96-7919 prepared for the Seabreeze Farms project, has been prepared in accordance with the California Environmental Quality Act guidelines. Based upon a review of the current project, it has been determined that none of the situations described in Sections 15162 and 15164 of the State CEQA Guidelines apply. No changes in circumstance have occurred, and no new information of substantial importance has manifested, which would result in new significant or substantially increased adverse impacts as a result of the project.

Fiscal Impact Statement: No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project would convert land from a non-residential use to allow for additional housing. The Carmel Valley Community Plan designates the site primarily for use as an Equestrian Facility with a small portion designated as Open Space. The project is proposing a Community Plan Amendment to re-designate an 8.78-net-acre portion of the 10.12-gross-acre-site to Residential Care Facility. The Residential Care Facility designation would allow the proposed Senior Residential Care Facility of 128 residences for assisted living and memory care.

BACKGROUND

The 8.78-net-acre (10.12-gross-acre)-site is located at 5720 Old Carmel Valley Road, west of Carmel Valley Road, south of Del Mar Heights Road, and north of State Route (SR) 56, in the AR-1-1, CVPD-SF2 and CVPD-OS zones of the Carmel Valley Community Plan area. The project site is bounded by Del Mar Heights Road and Carmel Catholic High School on the north, residential development and State Route 56 on the south, the Seabreeze Farms residential development, Sycamore Ridge School and Carmel Valley Road to the east, and residential development and Seagrove Street to the west. (Attachment 2). The site is currently designated Equestrian Facility and Open Space within the Carmel Valley Community Plan/Carmel Valley Neighborhoods 4, 5, & 6 Precise Plan. The Precise Plan was adopted in 1990 and provides the specific design criteria for this project site.

Ingress and egress to the project site would be provided from Old Carmel Valley Road. Regional access to the project site is generally provided by SR-56 and Del Mar Heights Road. The topography of the project site includes a relatively flat development area (8.78 acres) with a westward downslope of approximately 1.34 acres that trends into Bell Canyon. The project site was previously graded and is currently developed with an equestrian facility, which includes stables, pastures, riding arenas, offices, and vehicular parking. Existing on-site vegetation within the proposed development area footprint consists mainly of non-native ornamental plants and disturbed areas with naturalized landscaping occurring at the westward slope. The project site's eastern border is characterized by a manufactured slope, which ranges from approximately 10 feet in height in the southern end of the slope to approximately 70 feet in height at the north end. The project site is located within a developed area served by existing public services and utilities.

DISCUSSION

Project Description:

The project requires a General Plan/Community Plan Amendment (CPA), a Conditional Use Permit (CUP), a Planned Development Permit (PDP), a Site Development Permit (SDP) and Easement Vacations (EV). The CPA would specifically amend the Carmel Valley Neighborhoods 4, 5, & 6 Precise Plan to re-designate the project site from the existing Equestrian Facility land use to Residential Care Facility land use. The CPA incorporates map and text changes to the Precise Plan reflecting the land use change (Attachment 9). The portion of the site designated as Open Space would remain Open Space. The CPA also constitutes an amendment to the General Plan as Community Plan/Precise Plan land use are components of the General Plan. CUP action provides for the development of a Residential Care Facility at the project site. The PDP action is required to allow a deviation to lot coverage at the project site (17.5 percent where 10 percent maximum is allowed). The SDP is required due to the presence of on- and off-site ESL (Steep Hillsides and Biological Resources) at the project site and for the processing of an amendment to the Carmel Valley Planned District (CVPD) Development Permit and Resource Protection Ordinance (RPO) Permit No. 96-7919.

The project proposes the redevelopment of an existing equestrian facility as a senior Residential Care Facility. The project would demolish the existing equestrian facility and construct a senior residential care facility providing 118 residences for assisted living and memory care in the main building and five, two-bedroom duplex casitas with kitchens (10 dwelling units) in its place. (See Attachment 13). A two-story main building (at approximately 118,342 square feet in area) would be located in the northern portion of the project site. This building would include assisted living units and memory care units. Five, single-story duplex casitas for independent living would be located in the southern portion of the project site, totaling approximately 17,260 square feet of interior area. Each duplex casita would include a two-bedroom/two-bathroom unit, one single-car garage, laundry facility space, kitchen, and outdoor space. The main building would include indoor residential amenities such as dining areas, activity rooms, a theater/chapel, fitness room, and/or beauty parlor and other resident-supportive amenities to serve residents of the facility. Outdoor residential amenities could include such features as a dining patio area, a large central open courtyard with additional outdoor courtyards on the perimeter of the main building, scenic overlooks, fitness pool, and internal walking trails.

Per recently adopted State law AB 3098, which went into effect on January 1, 2019, senior residential care facilities must implement additional measures for emergency preparedness. Some of the measures address internal operations of the facility relative to emergencies and disasters, such as: regular review and updates to the emergency and disaster plan, staff training regarding the emergency and disaster plan, conducting a drill for various emergency situations at least once quarterly for each shift, and various administrative-related actions (i.e., making the emergency and disaster plan available, upon request, for any responsible party for a resident, and having the emergency and disaster plan on-file at the facility and available for review by local emergency authorities). The project will comply with the requirements of this law. In addition, to address emergency situations, the project will include an emergency back-up generator on site. The generator would generally be located on the north side of the main building, proximate to the loading dock.

Additionally, the project would provide for a connection to the existing off-site regional trail system and improvements to a section of the trail that crosses the project site. This trail section would be improved with a natural soil material.

The project also includes a private shuttle service. It is anticipated that a 14- passenger van would serve the project and would operate primarily during daytime hours (generally between 9:00 AM and 5:00 PM) with occasional service provided outside this time period for special events/activities, as needed. The shuttle service would include regularly scheduled outings to local/regional events and activities such as concerts, sporting events, shopping, festivals, and church services. Shuttle arrangements can also be made for grocery shopping, doctor's visits, or other individual errands and activities.

Parking would be provided in a combination of individual garages (for duplex casita units) and surface parking (for the main building). A total of 92 parking spaces are proposed, 82 surface spaces [three of which would be designated carpool/zero emission parking, three electric vehicle charging stations (two ready for use), three accessible parking, two van accessible parking], two motorcycle parking, one loading space, and 10 parking spaces would be provided for the casitas (one garage space per unit). Three short-term bicycle parking spaces and three long-term bicycle parking spaces would also be provided. All parking would be provided on-site.

The project landscaping has been reviewed by City Landscape staff and would comply with all applicable City of San Diego Landscape ordinances and standards, including Sections 142.0403(b)5 and 142.0412(f) of the Land Development Code (LDC). Relevant landscape standards include street yard, remaining yard, and vehicular use area planting; revegetation/erosion control; street tree screening; water conservation calculation requirements; landscape and irrigation construction; landscape maintenance; and establishment of a Brush Management Program. Drainage would be directed into appropriate storm drain systems designated to carry surface runoff, which has been reviewed and accepted by City Engineering staff.

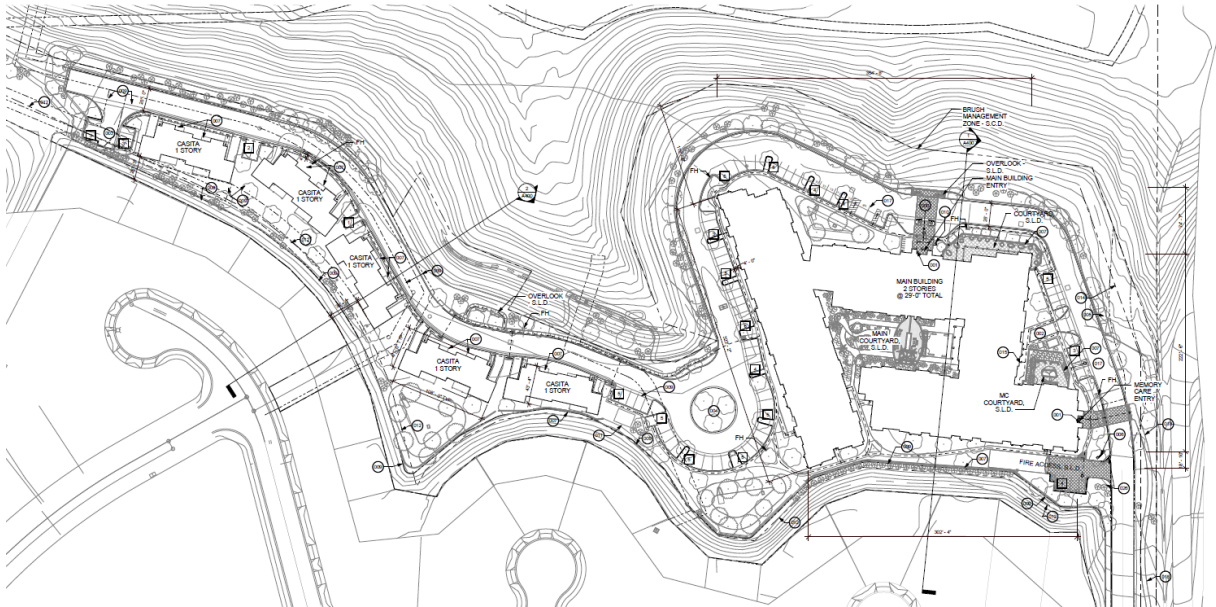
The project would require the grading of approximately 241,809 square feet of soil on-site and 8,621 square feet off-site. Earthwork would require 6,342 cubic yards of cut with a maximum depth of cut at eight feet and 11,683 cubic yards of fill with a maximum fill depth of seven feet. The maximum height of fill slopes would be 20 feet; the maximum height of cut slopes would be one foot.

Required Approvals:

Due to process consolidation, all actions are processed concurrently as a Process Five. Development of the proposed project requires:

- Process 5 Land Use Plan Amendment to amend the General Plan/Carmel Valley Community Plan to re-designate 8.78-net-acre (10.12-gross-acre)-site from Equestrian Facility to Residential Care Facility;
- Process 4 Planned Development Permit for a deviation to maximum Lot Coverage;
- Process 3 Site Development Permit for development on environmentally sensitive lands;

- Process 3 Conditional Use Permit to allow the Residential Care Facility in the AR-1-1 zone; and
- Process 2 Easement Vacation for the abandonment of Utility Access Easements.



Site Plan

General Plan / Community Plan Analysis:

The project site is subject to the recommendations of the citywide General Plan and the Carmel Valley Community Plan (Community Plan) and the Carmel Valley Neighborhoods 4, 5, & 6 Precise Plan (Precise Plan). General Plan policies are also implemented through community plan recommendations. The Precise Plan contains the community-specific detail, including more detailed land use designations, for review of development projects.

The proposed project, including the associated Community Plan Amendment (CPA), is consistent with the goals and policies of the General Plan and the Community Plan/Precise Plan. The project would advance the General Plan City of Villages Strategy mainly by providing housing and expanding housing choice within Carmel Valley and paying its proportional fair-share of public facilities costs through payment of impact fees for new development.

The Carmel Valley Community Plan encompasses 4,300-acres east of the I-5 freeway, south of the San Dieguito River Valley and north of Los Peñasquitos Canyon with a population of approximately 40,000 people. The Community Plan provides an overall planning and land use framework and defers to neighborhood plans for specific recommendations. The Precise Plan encompasses three neighborhoods of approximately 400 acres within the central portion of the community along the SR-56 freeway and generally built-out according to the plan. The site is within Neighborhood 4 which is primarily a residential neighborhood of single-family homes at the eastern edge of the community. The site was also part of a much larger development proposal approved in 1996 (and

constructed) that amended the plans to add 72-acres of agriculture / Prop A lands into the community to include 275 dwelling units, 8 acres of equestrian use and 25 acres of pastures, trails and open space.

The Precise Plan designates the flatter, developed portion of the site as “Equestrian Facility” and the slopes to the west as “Open Space.” This land use designation limits other uses as part of the previous plan amendment described above. The CPA would redesignate the equestrian facility to “Residential Care Facility” to allow the proposed use. The slopes would remain as open space. The proposed map and text changes to the Precise Plan also incorporate minimal clean-up items that were part of the previous amendment, including identification of pastures, trails and open space west of the development area.

The CPA would allow the site to be redeveloped from an equestrian facility to a residential care facility. While the equestrian facility is a notable community amenity, the Precise Plan contains no language specific to its preservation. Horse-keeping is a long-standing use from times when Carmel Valley and the surrounding areas were less developed. There are several other equestrian facilities within Carmel Valley and surrounding communities that continue to serve the equestrian community. The existing pastures, trails, and natural open space immediately adjacent to the development site would also not be affected by the CPA. The open space land use is retained within this area, and the CPA would add a note to the land use plan identifying these specific uses for preservation.

The project would accommodate the trail identified by the Precise Plan that crosses the site and improve this trail segment to City multi-use standards. Although identified by the plan as an equestrian trail, the easement would also accommodate pedestrians. Approval of the project would reduce equestrian use. For context, offsite trail segments described in the Precise Plan are in place except the segment within the adjacent high school site is partially constructed. The segment to the south under the SR-56 freeway could also improve surface conditions for horses by addition of an unpaved shoulder within the existing multi-use trail.

The conversion of the site to residential use, and specifically to a residential care facility, is supported by General Plan and Community Plan policies related to provision of housing and community housing diversity. The proposal would provide housing for San Diego’s increasing aging population and provide group housing for seniors in Carmel Valley as an alternative to individual dwelling units. The General Plan Housing Element identifies an increasing need for senior housing in an environment conducive to the specific needs of the senior population. The Community Plan also encourages a balance of housing types within the community as well as within individual neighborhoods. As described above, the project includes various onsite amenities to serve the needs of the senior population and would provide a private shuttle service to ensure access to facilities and services in the community.

A Residential Care Facility is a form of group housing where residents share facilities and services. The proposed facility would provide 118 residences in a two-story main building and 10 individual dwelling units in five one-story duplex casitas. Although the shared living arrangements and licensing requirements do not meet the definition of a dwelling unit, the 128 residences would equate to 15 dwelling units per acre which is within a multi-family density range common in this community. The proposed project is a more efficient use of the relatively narrow, irregular shaped site for housing than a conventional lot single-family development typical of the surrounding area.

The site is adjacent to two-story single-family residences, open space and a private high school with Mediterranean architecture. The conversion of the site to residential use is compatible with the predominantly residential neighborhood and achieves various design objectives of the General Plan and Community Plan. The project proposes traditional architecture and use of tile, stucco, and stone building materials compatible with surrounding development. The main building would be articulated with vertical and horizontal façade offsets and roofline projections to break-up the massing of the longer elevations. The facades would incorporate several materials including enhanced stone work to add visual interest.

The project is also designed to reduce the impact of building scale on views within adjacent canyon open space. Buildings would be set back from the canyon rim by approximately 50 feet for the two-story main building and 30 feet for the casitas. An approximately 150-foot separation between the two building types would allow views into the site. The duplex casitas are lower-profile single-story configurations located on the narrowest portion of the lot which would allow for views over the site from abutting residences.

Environmental Analysis:

The project is part of the Seabreeze Farms project. The Seabreeze Farms project was approved by the San Diego Planning Commission in 1996, with an amendment subsequently adopted by City Council in 1999. The Seabreeze Farms project area covers approximately 72 acres, generally bounded by SR 56 on the south, Old Carmel Valley Road on the east, Del Mar Heights Road to the north, and Carmel Knolls Road and Seagrove Street to the west in the Carmel Valley Community Plan area. The Seabreeze Farms EIR (DEP No. 35-0385, SCH No. 96021001) was certified by the San Diego City Council on July 30, 1996 via Resolution No. R-287703. MND LDR No. 96-7919 was also prepared for the project. Therefore, an Addendum has been prepared in accordance with Section 15164 of the CEQA State Guidelines.

After review of the Seabreeze Farms EIR (DEP No. 35-0385, SCH No. 96021001) and MND LDR No. 96-7919 it has been determined that proposed project would not result in any additional significant impacts nor would it result in an increase in the severity of impacts from that described in the previously certified EIR and adopted MND.

Project-Related Issues:

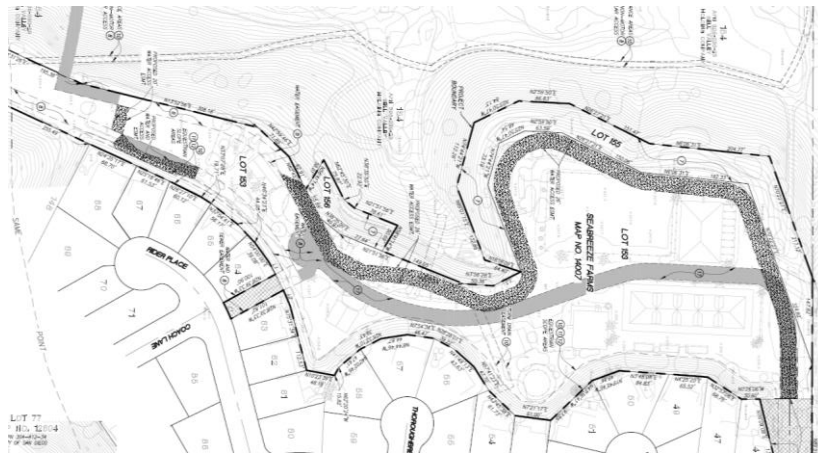
Deviation- The project proposes one deviation to the maximum allowable Lot Coverage of 10 Percent pursuant to SDMC Section: 131.0331 (Table 131-03C) and proposes Lot Coverage of 17.5 percent. The project was originally designed with a three-story main building. In response to concerns regarding views and neighborhood character, a two-story building was proposed, necessitating the requested deviation to Lot Coverage.

City staff has analyzed the proposed deviation and determined it to be consistent with the goals and recommendations of the General Plan and the Carmel Valley Community Plan, and that the use is allowed in the AR-1-1 zone. The project has been designed to address the physical environment and would not adversely impact the public's health or safety. The proposed project provides a needed health care service use development in accordance with development standards of the Carmel Valley Community Plan. The proposed development will assist in providing residential care units for seniors in the Carmel Valley area and the region. In addition, the increased lot coverage allows for

an overall lower scale of development and diffused density across the project site. To accommodate the required building program in a lower scale, the building footprint increased on the site. The proposed design results in a more desirable project than would be achieved if designed in strict conformance with the development regulations applicable to the AR-1-1 zone, as a lower profile project will result. The scale and massing of development allowed with the increased lot coverage is more in character with the surrounding community.

Easement Vacations -

The project proposes to vacate utility access easements on the site. The vacated areas will be used for the Residential Care Facility construction and new utility easements for water and sewer are proposed as shown in the plan below. The easement vacations would unencumber the site and provide housing and employment opportunities to the community. The overall 10.12-acre project site would be graded in preparation for the construction of the project. The project will improve site drainage, add a pedestrian trail that will connect to the existing regional trail system and provide three new trailheads. This added trail piece will connect to the existing trail that passes through the Cathedral Catholic High School to the north.



Vacated and Proposed Easements

Environmentally Sensitive Lands (ESL) -

The project requires a Site Development Permit (SDP) due to the presence of Environmentally Sensitive Lands (ESL) per section 143.0110(b) of the Land Development Code. However, an Addendum to the previously prepared Environmental Impact Report (EIR) DEP No. 35-0385/SCH No. 96021001 and Mitigated Negative Declaration (MND) has determined that the proposed project would not result in any additional significant impacts nor would it result in an increase in the severity of impacts from that described in the previously certified EIR and adopted MND.

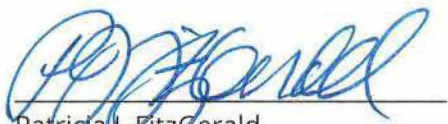
Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. With the approval of the one requested deviation, the project will meet all applicable regulations and policy documents, and staff supports the determination that with the proposed amendment, the project is consistent with the recommended land use plan, and development standards in effect for this site per the SDMC, the Carmel Valley Community Plan and the General Plan. Thus, Staff recommends that the Planning Commission recommend that the City Council approve the project as proposed.

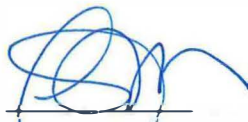
ALTERNATIVES

1. Recommend that the City Council Adopt Addendum No. 600824 to Environmental Impact Report DEP No. 35-0385/SCH No. 96021001/MND LDR No. 96-7919, Approve Community Plan Amendment No. 2123271, Approve Conditional Use Permit No. 2123276, Approve Site Development Permit No. 2123277, Approve Planned Development Permit No. 2256375, and Approve Easement Vacation No. 2123272 with modifications.
2. Recommend that the City Council Not Adopt Addendum No. 600824 to Environmental Impact Report DEP No. 35-0385/SCH No. 96021001/MND LDR No. 96-7919, Approve Community Plan Amendment No. 2123271, Approve Conditional Use Permit No. 2123276, Approve Site Development Permit No. 2123277, Approve Planned Development Permit No. 2256375, and Approve Easement Vacation No. 2123272, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Patricia J. Fitzgerald
Assistant Deputy Director
Development Services Department



For Morris E. Dye
Morris E. Dye
Development Project Manager
Development Services Department



Laura C. Black, AICP
Deputy Director
Planning Department

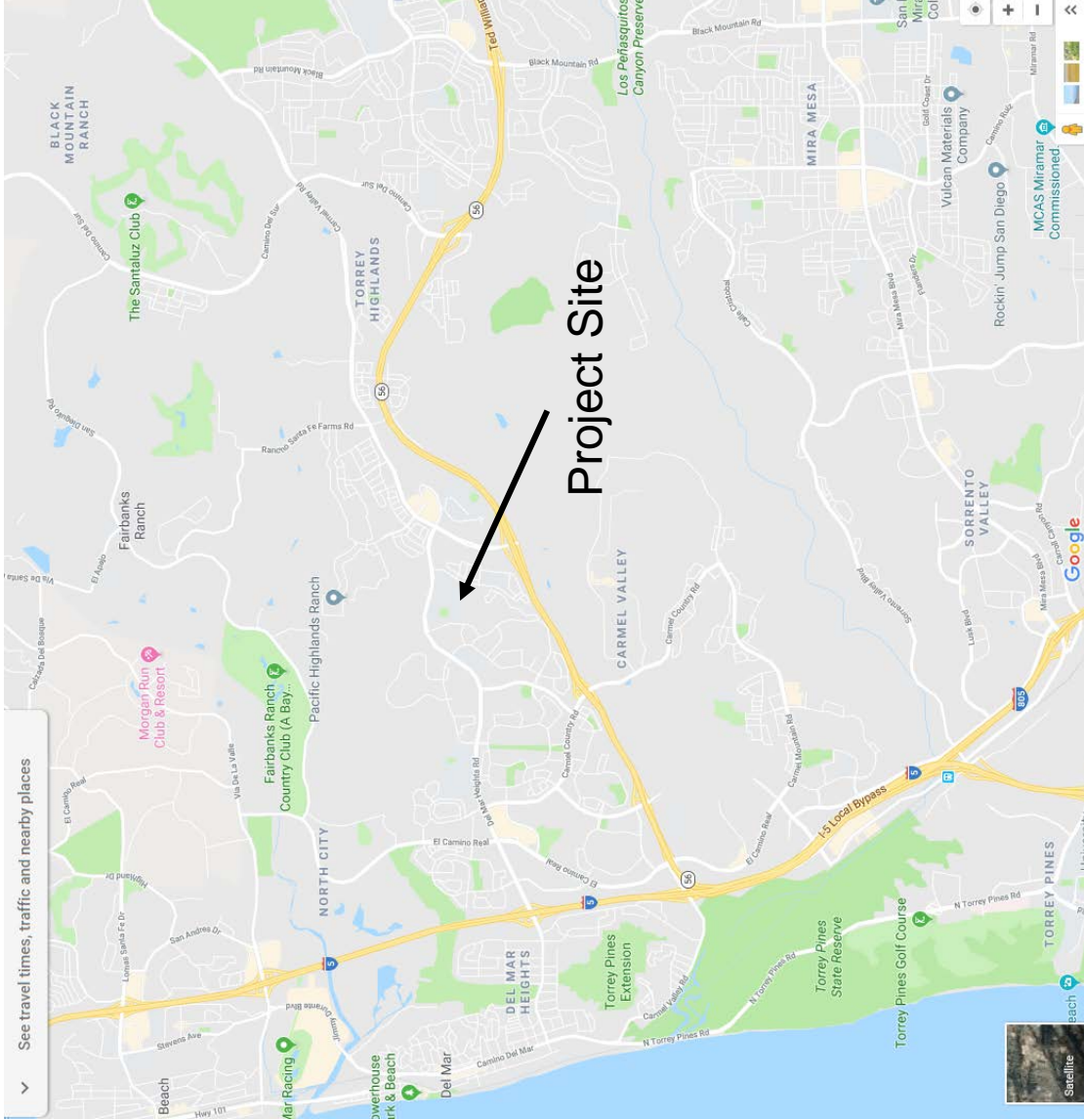
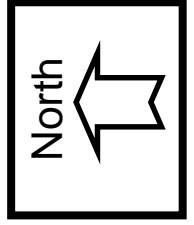
FITZGERALD/MED

Attachments:

1. Location Map
2. Aerial Photograph
3. Existing Land Use Designation
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution
7. Draft Easement Vacation Resolution with Findings
8. Draft Community Plan Amendment Resolution
9. Draft Community Plan Amendment
10. Planning Commission Initiation
11. Community Planning Group Recommendation

12. Ownership Disclosure Statement
13. Project Plans

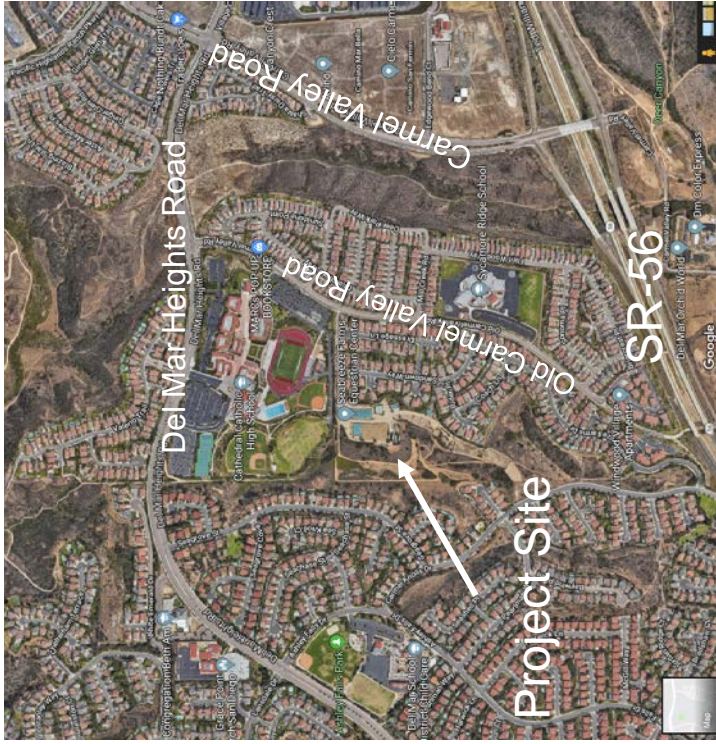
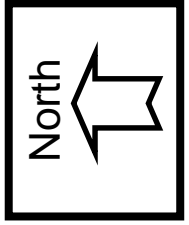
Internal Order No. 24007776



Project Location Map

Seabreeze Senior Living/ 5720 Old Carmel Valley Road
PROJECT NO. 600824

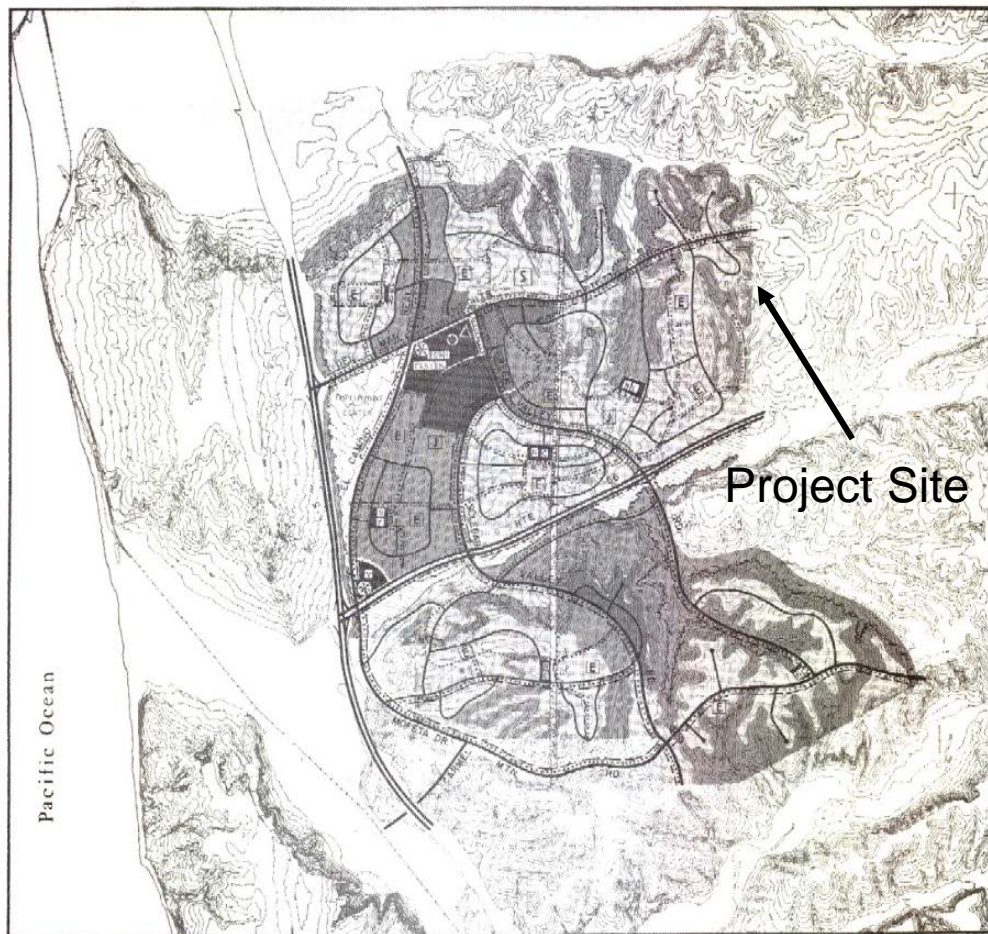




Aerial Photo

Seabreeze Senior Living/ 5720 Old Carmel Valley Road
PROJECT NO. 600824





NORTH CITY WEST

RESIDENTIAL

- VERY LOW DEN. 5 DU/AC.
- LOW DEN. 10 DU/AC.
- LOW MED. DEN. 20 DU/AC.
- MEDIUM DEN. 40 DU/AC.

COMMERCIAL

- ALL CATEGORIES N-NEIGHBORHOOD V-VISITOR

PUBLIC FACILITIES

- SCHOOLS E-ELEM. J-JR. S-SR.
- P-PARK N-NEIGHBORHOOD C-COMM.
- LIBRARY ▲ FIRE STATION

TRANSPORTATION

- FREEWAY
- MAJOR STREET
- COLLECTOR STREET

- BICYCLE PATH

- PEDESTRIAN
- * TRANSPORTATION TERMINAL

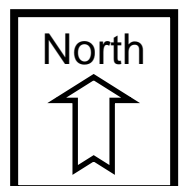
- OPEN SPACE
- FLOOD PLAIN

0 1,600 3,200 4,800 FEET



Land Use Map

Seabreeze Senior Living/ 5720 Old Carmel Valley Road
PROJECT NO. 600824



PLANNING COMMISSION RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 2123276
SITE DEVELOPMENT PERMIT NO. 2123277
PLANNED DEVELOPMENT PERMIT NO. 2256375
Seabreeze Senior Living PROJECT NO. 600824/MMRP

WHEREAS, Bell Valley Holding Company, LP, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an equestrian facility and construct a two-story building with a Senior Residential Care Facility in one, two-story building with 118 units and 118,342 square feet (SF), and five, one-story duplexes that total 17,260 SF, totaling 135,602 SF for the project (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval) for the associated Permit Nos. 2123276, 2123277 and 2256375 on portions of a 10.12-acre site;

WHEREAS, the project site is located at 5720 Old Carmel Valley Road in the AR-1-1, CVPD-SF2 and CVPD-OS zones of the Carmel Valley Community Plan area;

WHEREAS, the project site is legally described as: Lots 148 through 156, inclusive of Seabreeze Farms in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 14007, filed in the Office of the County Recorder of San Diego on July 21, 2000;

WHEREAS, on May 23, 2109, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 2179898/Site Development Permit No. 2123277/Planned Development Permit No. 2256375 and Easement Vacation No. 2123272 pursuant to the Land Development Code of the City of San Diego and recommended that the City Council of The City of San Diego approve Conditional Use Permit No. 2179898/Site Development Permit No. 2123277/Planned Development Permit No. 2256375 and Easement Vacation No. 2123272; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and NOW, THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2179898/Site Development Permit No. 2123277/Planned Development Permit No. 2256375:

A. PLANNED DEVELOPMENT PERMIT SDMC SECTION 126.0604

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Seabreeze Senior Living project would construct a senior residential care facility comprising up to 128 residences on the 8.78-net acre (10.12-gross acre) site currently occupied by the Seabreeze Farms equestrian facility. The surrounding area is comprised of predominantly single-family residences, multi-family housing and an adjacent high school. The proposed project is consistent with the underlying zone, as a residential care facility is a use allowed within the AR-1-1 zone with approval of a Conditional Use Permit.

The project requires a Community Plan Amendment to the Carmel Valley Neighborhoods 4, 5, and 6 Precise Plan to modify the land use designation on a portion of the site from Equestrian Facility to Residential Care Facility and to update the land map and text to reflect the land use change. The land use within the portion of the site currently designated as Open Space would not be modified. The change in land use would be consistent with the Precise Plan as the project proposes low intensity development that is residential in use and character.

Development within the surrounding community is low- to medium-density residential in character and varies from five dwelling Units per acre (du/ac) in adjacent single-family housing, to 15 du/ac in nearby multi-family housing, and 22 du/ac as multifamily housing further east of the project site. A 128-unit, multi-family

development on this site would result in an overall density of 15 du/ac, compatible to the density of residential developments in the surrounding neighborhoods. The proposed residential care facility has buildings that are similar in architecture and height to both the neighboring two-story single-family homes (proposed single-story casitas) and a multi-family housing development (proposed two-story main building) and much less imposing than the three- to four-story high school buildings adjacent to the east.

Massing of the main building will be articulated with offsetting planes to minimize the appearance of longer elevations, two-story architectural volumes, enhanced-stone work, vertical elements, and courtyards. The duplex casitas are low-profile single-story and sized smaller than the surrounding two-story single-family housing.

While the project would remove an existing equestrian facility, the Precise Plan does not specify the preservation of equestrian uses on the site and existing equestrian uses occur in areas immediately adjacent to the project site in the form of pastures, existing trails, and open space to the south and west of the site. Additionally, there are other equestrian uses located within the community and adjacent areas. In the Carmel Valley Community Plan area, The Riding Club, Carmel Valley Rancho and Ryckman Equestrian, and South Coast Equestrian facilities are located approximately 3.5 miles south of the project site. Approximately four to five miles northwest of the project site, the Rancho El Camino Equestrian and Flower Hill Farms facilities are located adjacent to Old El Camino Real, and Concord Equestrian Center and the San Diego Polo Fields are located along Via de la Valle. KDB Training Stable/Fairbanks Riding Club is located approximately five miles north of the project site within Fairbanks Ranch. Equestrian and nature trails occur south and northwest of the project site. Pasture land and trails exist immediately west of the project site. The project would not alter the existing trails and pasture land.

As the project would provide low intensity development that is residential in use and character, massing and architecture is similar to the surrounding neighborhood, and other equestrian facilities exist in the area, the development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project will improve on-site drainage and add a pedestrian trail connection to the existing regional trail system. The project will also provide three new trailheads that connect to the regional trail system. The project will dedicate three feet along the property frontage to provide a 10-foot curb-to-property-line distance on Old Carmel Valley Road and will also build a new 26-foot driveway to current City Standard. These improvements to drainage, the driveway and property frontage will provide increased public safety for pedestrians and the trail connections will serve to enhance public health. In addition, the project will remove and replace the existing contiguous sidewalk with non-contiguous sidewalk for the length of the project frontage. Given the project is a Senior Residential Care Facility, the proposal will

result in increased health care provided to the community and the public. The project will provide 104 assisted living units and 14 assisted living memory care units.

As these improvements will enhance public health, safety and welfare, the proposed development will not be detrimental to the public health, safety and welfare.

- c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The project site is primarily located within the AR-1-1 Zone. However, a small portion of the site that provides the project's access drive is within the CVPD-SF2 Zone, and a small undeveloped portion at the southern reach of the site lies within the CVPD-OS Zone. However, no development is proposed outside the AR-1-1 Zone where the proposed use is allowed.

Maximum allowed lot coverage for the site is 10 percent. The project proposes 76,902 square feet in building pad area on a 10.12-acre site resulting in a lot coverage of 17.6 percent. This exceedance is allowed with a Planned Development Permit (PDP) for which the project has applied.

The project will improve on-site drainage and add a pedestrian trail connection to the existing regional trail system. The project will also provide three new trailheads that connect to the regional trail system. The project will dedicate three feet along the property frontage to provide a 10-foot curb-to-property-line distance on Carmel Valley Road and will also build a new 26-foot driveway to current City Standard. In addition, the project will remove and replace the existing contiguous sidewalk with non-contiguous sidewalk for the length of the project frontage. Given the project is a Senior Residential Care Facility, the proposal will result in increased health care provided to the community and the public. The project will provide 104 assisted living units and 14 assisted living memory care units.

In addition, the increased lot coverage allows for an overall lower scale of development and diffused density across the project site. The project was originally designed with a three-story main building. In response to concerns regarding views and neighborhood character, a two-story building was proposed, necessitating the requested deviation to Lot Coverage. To accommodate the required building program in a lower scale, the building footprint increased on the site. The proposed design results in a more desirable project than would be achieved if designed in strict conformance with the development regulations applicable to the AR-1-1 zone, as a lower profile project will result. The scale and massing of development allowed with the increased lot coverage is more in character with the surrounding community.

The project has otherwise been designed to comply with the regulations of the Land Development Code (SDMC), including requirements for open space, grading, landscaping and all other requirements of the development criteria of the AR-1-1 Zone.

Therefore, the proposed development will comply with the regulations of the Land Development Code, including any proposed deviations pursuant to Section 126.0602.(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

B. Site Development Permit SDMC §126.0504

(1) Findings for all Site Development Permits

a. The proposed development will not adversely affect the applicable land use plan.

The Seabreeze Senior Living project would construct a senior residential care facility comprising up to 128 residences on the 8.78-net acre (10.12-gross acre) site currently occupied by the Seabreeze Farms equestrian facility. The surrounding area is comprised of predominantly single-family residences, multi-family housing and an adjacent high school. The proposed project is consistent with the underlying zone, as a residential care facility is a use allowed within the AR-1-1 zone with approval of a Conditional Use Permit.

The project requires a Community Plan Amendment to the Carmel Valley Neighborhoods 4, 5, and 6 Precise Plan to modify the land use designation on a portion of the site from Equestrian Facility to Residential Care Facility and to update the land map and text to reflect the land use change. The land use within the portion of the site currently designated as Open Space would not be modified. The change in land use would be consistent with the Precise Plan as the project proposes low intensity development that is residential in use and character.

Development within the surrounding community is low- to medium-density residential in character and varies from five dwelling Units per acre (du/ac) in adjacent single-family housing, to 15 du/ac in nearby multi-family housing, and 22 du/ac as multifamily housing further east of the project site. A 128-unit, multi-family development on this site would result in an overall density of 15 du/ac, compatible to the density of residential developments in the surrounding neighborhoods. The proposed residential care facility has buildings that are similar in architecture and height to both the neighboring two-story single-family homes (proposed single-story casitas) and a multi-family housing development (proposed two-story main building) and much less imposing than the three- to four-story high school buildings adjacent to the east.

Massing of the main building will be articulated with offsetting planes to minimize the appearance of longer elevations, two-story architectural volumes, enhanced-stone work, vertical elements, and courtyards. The duplex casitas are low-profile single-story and sized smaller than the surrounding two-story single-family housing.

While the project would remove an existing equestrian facility, the Precise Plan does not specify the preservation of equestrian uses on the site and existing equestrian uses occur in areas immediately adjacent to the project site in the form of pastures, existing trails, and open space to the south and west of the site. Additionally, there are other equestrian uses located within the community and adjacent areas. In the Carmel Valley Community Plan area, The Riding Club, Carmel Valley Rancho and Ryckman Equestrian, and South Coast Equestrian facilities are located approximately 3.5 miles south of the project site. Approximately four to five miles northwest of the project site, the Rancho El Camino Equestrian and Flower Hill Farms facilities are located adjacent to Old El Camino Real, and Concord Equestrian Center and the San Diego Polo Fields are located along Via de la Valle. KDB Training Stable/Fairbanks Riding Club is located approximately five miles north of the project site within Fairbanks Ranch. Equestrian and nature trails occur south and northwest of the project site. Pasture land and trails exist immediately west of the project site. The project would not alter the existing trails and pasture land.

In addition, the project requires a Site Development Permit (SDP) due to the presence of Environmentally Sensitive Lands (ESL) per section 143.0110(b) of the Land Development Code. However, an Addendum to the previously prepared Environmental Impact Report (EIR) DEP No. 35-0385/SCH No. 96021001 and Mitigated Negative Declaration (MND) has determined that the proposed project would not result in any additional significant impacts nor would it result in an increase in the severity of impacts from that described in the previously certified EIR and adopted MND.

As the project would provide low intensity development that is residential in use and character, massing and architecture is similar to the surrounding neighborhood, other equestrian facilities exist in the area, and no new environmental impacts are anticipated, the development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project will improve on-site drainage and add a pedestrian trail connection to the existing regional trail system. The project will also provide three new trailheads that connect to the regional trail system. The project will dedicate three feet along the property frontage to provide a 10-foot curb-to-property-line distance on Old Carmel Valley Road and will also build a new 26-foot driveway to current City Standard. These improvements to drainage, the driveway and property frontage will provide increased public safety for pedestrians and the trail connections will serve to

enhance public health. In addition, the project will remove and replace the existing contiguous sidewalk with non-contiguous sidewalk for the length of the project frontage. Given the project is a Senior Residential Care Facility, the proposal will result in increased health care provided to the community and the public. The project will provide 104 assisted living units and 14 assisted living memory care units.

As these improvements will enhance public health, safety and welfare, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is primarily located within the AR-1-1 Zone. However, a small portion of the site that provides the project's access drive is within the CVPD-SF2 Zone, and a small undeveloped portion at the southern reach of the site lies within the CVPD-OS Zone. However, no development is proposed outside the AR-1-1 Zone where the proposed use is allowed.

Maximum allowed lot coverage for the site is 10 percent. The project proposes 76,902 square feet in building pad area on a 10.12-acre site resulting in a lot coverage of 17.6 percent. This exceedance is allowed with a Planned Development Permit (PDP) for which the project has applied.

The project has otherwise been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for open space, grading, landscaping and all other requirements of the development criteria of the AR-1-1 Zone.

The project requires a Site Development Permit (SDP) due to the presence of Environmentally Sensitive Lands (ESL) per section 143.0110(b) of the Land Development Code. However, an Addendum to the previously prepared Environmental Impact Report (EIR) DEP No. 35-0385/SCH No. 96021001 and Mitigated Negative Declaration (MND) has determined that the proposed project would not result in any additional significant impacts nor would it result in an increase in the severity of impacts from that described in the previously certified EIR and adopted MND.

Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code

C. CONDITIONAL USE PERMIT SDMC Section 126.0305

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Seabreeze Senior Living project would construct a senior residential care facility comprising up to 128 residences on the 8.78-net acre (10.12-gross acre) site currently occupied by the Seabreeze Farms equestrian facility. The surrounding area is comprised of predominantly single-family residences, multi-family housing and an adjacent high school. The proposed project is consistent with the underlying zone, as a residential care facility is a use allowed within the AR-1-1 zone with approval of a Conditional Use Permit.

The project requires a Community Plan Amendment to the Carmel Valley Neighborhoods 4, 5, and 6 Precise Plan to modify the land use designation on a portion of the site from Equestrian Facility to Residential Care Facility and to update the land map and text to reflect the land use change. The land use within the portion of the site currently designated as Open Space would not be modified. The change in land use would be consistent with the Precise Plan as the project proposes low intensity development that is residential in use and character.

Development within the surrounding community is low- to medium-density residential in character and varies from five dwelling Units per acre (du/ac) in adjacent single-family housing, to 15 du/ac in nearby multi-family housing, and 22 du/ac as multifamily housing further east of the project site. A 128-unit, multi-family development on this site would result in an overall density of 15 du/ac, compatible to the density of residential developments in the surrounding neighborhoods. The proposed residential care facility has buildings that are similar in architecture and height to both the neighboring two-story single-family homes (proposed single-story casitas) and a multi-family housing development (proposed two-story main building) and much less imposing than the three- to four-story high school buildings adjacent to the east.

Massing of the main building will be articulated with offsetting planes to minimize the appearance of longer elevations, two-story architectural volumes, enhanced-stone work, vertical elements, and courtyards. The duplex casitas are low-profile single-story and sized smaller than the surrounding two-story single-family housing.

While the project would remove an existing equestrian facility, the Precise Plan does not specify the preservation of equestrian uses on the site and existing equestrian uses occur in areas immediately adjacent to the project site in the form of pastures, existing trails, and open space to the south and west of the site. Additionally, there are other equestrian uses located within the community and adjacent areas. In the Carmel Valley Community Plan area, The Riding Club, Carmel Valley Rancho and Ryckman Equestrian, and South Coast Equestrian facilities are located approximately 3.5 miles south of the project site. Approximately four to five miles northwest of the project site, the Rancho El Camino Equestrian and Flower Hill Farms facilities are located adjacent to Old El Camino Real, and Concord Equestrian Center and the San Diego Polo Fields are located along Via de la Valle. KDB Training Stable/Fairbanks

Riding Club is located approximately five miles north of the project site within Fairbanks Ranch. Equestrian and nature trails occur south and northwest of the project site. Pasture land and trails exist immediately west of the project site. The project would not alter the existing trails and pasture land.

As the project would provide low intensity development that is residential in use and character, massing and architecture is similar to the surrounding neighborhood, and other equestrian facilities exist in the area, the development would not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project will improve on-site drainage and add a pedestrian trail connection to the existing regional trail system. The project will also provide three new trailheads that connect to the regional trail system. The project will dedicate three feet along the property frontage to provide a 10-foot curb-to-property-line distance on Old Carmel Valley Road and will also build a new 26-foot driveway to current City Standard. These improvements to drainage, the driveway and property frontage will provide increased public safety for pedestrians and the trail connections will serve to enhance public health.

In addition, the project will remove and replace the existing contiguous sidewalk with non-contiguous sidewalk for the length of the project frontage. Given the project is a Senior Residential Care Facility, the proposal will result in increased health care provided to the community and the public. The project will provide 104 assisted living units and 14 assisted living memory care units.

As these improvements will enhance public health, safety and welfare, the proposed development will not be detrimental to the public health, safety and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is primarily located within the AR-1-1 Zone. However, a small portion of the site that provides the project's access drive is within the CVPD-SF2 Zone, and a small undeveloped portion at the southern reach of the site lies within the CVPD-OS Zone. However, no development is proposed outside the AR-1-1 Zone where the proposed use is allowed.

Maximum allowed lot coverage for the site is 10 percent. The project proposes 76,902 square feet in building pad area on a 10.02-acre site resulting in a lot coverage of 17.6 percent. This exceedance is allowed with a Planned Development Permit (PDP) for which the project has applied.

The project has otherwise been designed to comply with the regulations of the San Diego Municipal Code (SDMC), including requirements for open space, grading, landscaping and all other requirements of the development criteria of the AR-1-1 Zone.

Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 2256375, Conditional Use Permit No. 2123276/Site Development Permit No. 2123277 is hereby GRANTED by the City Council to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 2123276/2123277/2256375, a copy of which is attached hereto and made a part hereof, contingent upon the final passage of R-_____ approving amendments to the General Plan and Carmel Valley Community Plan.

APPROVED: MARA W. ELLIOTT, City Attorney

Deputy City Attorney

Insert Date
Or.Dept:DSD
Doc. No.: _____

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007776

SPACE ABOVE THIS LINE FOR RECORDER'S USE

PLANNED DEVELOPMENT PERMIT NO. 2256375/CONDITIONAL USE PERMIT NO. 2123276/SITE
DEVELOPMENT PERMIT NO. 2123277

SEABREEZE SENIOR LIVING PROJECT NO. 600824
CITY COUNCIL

This Planned Development Permit No. 2256375/Conditional Use Permit No. 2123276/Site Development Permit No. 2123277 is granted by the City Council of the City of San Diego to Bell Valley Holding Company, LP, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0602(b), 141.0312 and 143.0110(b). The 10.12-acre site is located at 5720 Old Carmel Valley Road in the AR-1-1 zone of the Carmel Valley Community Plan area. The project site is legally described as: Lots 148 through 156, inclusive of Seabreeze Farms in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 14007, filed in the Office of the County Recorder of San Diego on July 21, 2000.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an equestrian facility and construct a 128-unit residential care facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated _____ on file in the Development Services Department.

The project shall include:

- a. Demolish an equestrian facility and construct a 118,342-square-foot (SF), two-story building with a Senior Residential Care Facility in one, two-story building with 118 units and construct five, one-story duplexes that total 17,260 SF, totaling 135,602 SF for the project;
- b. One deviation to allow 17.5 percent lot coverage;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development is subject to approval by the City Engineer.
14. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
15. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
16. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.
17. Prior to the issuance of any construction permit, the owner/permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate an additional 3 feet on Old Carmel Valley Road to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 26 ft driveway per current City Standards, adjacent to the site on Old Carmel Valley Road to the satisfaction of the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to removal and replacement of the existing contiguous sidewalk with current City Standard non-contiguous sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Carmel Valley Road.

TRANSPORTATION REQUIREMENTS:

22. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with

requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

23. Prior to the issuance of the first certificate of occupancy, the Owner/Permittee must construct and maintain a private five-foot wide concrete sidewalk from the public right-of-way to the project's building entrance, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

25. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)5.

27. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition

or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

30. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

31. The Brush Management Program shall be based on a standard Zone One of 35-ft. in width and a Zone Two of 65-ft. in width, extending out from the structure towards the native/naturalized vegetation, consistent with §142.0412. Zone One shall range from 35-ft. to 79-ft. in width with a corresponding Zone Two of 0-ft. to 65-ft. in width, exercising Zone Two reduction options under §142.0412(f).

32. Prior to issuance of any Building Permits, a recorded easement shall be obtained from the adjacent property owner of Lots 154, 155, & 156 of Map No. 14007 (APN 305-030-23-00, 305-100-46-00, & 305-100-48-00) for the purposes of performing off-site Zone Two brush management. Said easement shall remain in effect until such a time as the adjacent lot is developed and the fuel-load no longer exists. In the event that an easement cannot be obtained, alternative compliance will be required.

33. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

34. Prior to issuance of any Building Permits, a complete Brush Management Plan shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Plan shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

35. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

36. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PUBLIC UTILITIES REQUIREMENTS:

37. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond the design and construction all public water and sewer facilities as required in the accepted water and sewer study for this project as shown on the approved Exhibit "A", in a manner satisfactory to the Public Utilities Director and the City Engineer.

38. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

39. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

40. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

41. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

PLANNING/DESIGN REQUIREMENTS:

42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

43. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

44. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on _____ and Approved Resolution
Number _____.

DRAFT

ATTACHMENT 5

Planned Development Permit No. 2256375

Conditional Use Permit No. 2123276

Site Development Permit No. 2123277

Date of Approval: _____

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Morris E, Dye
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Bell Valley Holding Company, LP
Owner/Permittee

By _____

Chad Harris
Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

CONDITIONAL USE PERMIT NO. 2123276
PLANNED DEVELOPMENT PERMIT NO. 2256375
SITE DEVELOPMENT PERMIT NO. 2123277
EASEMENT VACATION NO. 2123272
GENERAL PLAN/COMMUNITY PLAN AMENDMENT NO. 2123271
PROJECT NO. 600824

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Addendum to Environmental Impact Report No. 35-0385 and Mitigated Negative Declaration No. 96-7919 shall be made conditions of the Conditional Use Permit, Planned Development Permit, and Site Development Permit as may be further described below.

VI. MITIGATION MONITORING REPORTING PROGRAM (MMRP):

The project shall be required to comply with the applicable paleontological mitigation measure outlined within the Mitigation Monitoring and Reporting Program (MMRP) of the previously adopted MND (LDR No. 96-7919). This mitigation measure has been updated to reflect current standard City paleontological mitigation and monitoring requirements.

Air Quality

Prior to issuance of grading permits, the applicant shall submit to the City's Development Services Department a dust control plan that includes the following measures:

- Active grading sites shall be watered twice daily to reduce dust;
- All trucks hauling loose materials shall be covered and maintain at least two feet of free board;
- Soil stabilizers shall be utilized wherever necessary; and
- Material stockpiles shall be covered and/or watered.

Dust control measures shall achieve a minimum of 80 percent dust suppression and shall be identified on plans submitted for the building permits.

A. GENERAL REQUIREMENTS – PART I**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II

Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Paleontologist

Note:

Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) # 600824 and /or Environmental Document # 600824, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.).

Note:

Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. MONITORING EXHIBITS

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to Preconstruction Meeting
Paleontological Resources	Monitoring Report(s)	Monitoring Report
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Paleontological Resources

The following measures would be implemented to mitigate potential impacts to subsurface paleontological resources.

- I. Prior to Permit Issuance
 - A. Entitlements Plan Check
 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
 - B. Letters of Qualification have been submitted to ADD
 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.
- II. Prior to Start of Construction
 - A. Verification of Records Search
 1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to, a copy of a confirmation letter from the San Diego Natural History Museum, another institution or, if the search was conducted in-house, a letter of verification from the PI stating that the search was completed.
 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 - B. PI Shall Attend Precon Meetings
 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological monitoring program with the CM and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a

site-specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a relevant field condition occurs, such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the Consultant Site Visit Record (CSVr). The CSVr's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery of paleontological resources, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss the significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.

- b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
- c. If the resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
- d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVr and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,

ATTACHMENT 6

- a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
- b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit the revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

EASEMENT VACATION NO. 2123272

A RESOLUTION APPROVING EASEMENT VACATION NO. 2123272,
SEABREEZE SENIOR LIVING PTS 600824.

WHEREAS, San Diego Code section 125.1030(b) provides a procedure for vacation of
Easements by City staff designated by the City Manager; and

WHEREAS, Bell Valley Holding Company, LP filed an application to vacate Easements
(Easement Vacation No. 2123272), located at 5720 Old Carmel Valley Road in the AR-1-1, CVPD-SF2
and CVPD-OS zones of the Carmel Valley Community Plan area; and

WHEREAS, the Easements are legally described as: Parcel A – Being all of that certain Access
Easement for Water Facilities granted to the City of San Diego per Document recorded March 10,
2003 as Instrument No. 2003-0268368 of Official Records of the San Diego County Recorder's Office,
in the City of San Diego, County of San Diego, State of California; Parcels B, C and D – Being a portion
of that certain 20-foot-wide Water Easement granted to the City of San Diego in Lot 153 per Map of
Seabreeze Farms, in the City of San Diego, County of San Diego, State of California, according to Map
thereof No. 14007 filed in the Office of the San Diego County Recorder on July 21, 2000;

WHEREAS, it is proposed that Easement Vacation No. 2123272 be vacated; and

WHEREAS, the Easements have been superseded by abandonment or there are no other
public facilities located within the easements; and

WHEREAS, the Easements do not contain active public utility facilities that would be affected
by the vacation; and

ATTACHMENT 7

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Easement Vacation No. 2123272, the Council finds that:

(a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

The project is developing the property with a new Residential Care Facility. All the utilities servicing the new development will be private and located elsewhere on site. Therefore, the existing utilities within the easements are no longer needed to develop the property and there is no present or prospective use for the easements, either for the facility or purpose for which they were originally acquired, or for any other public use of a like nature that can be anticipating.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The property is being developed with a new Residential Care Facility. The existing utility lines are no longer needed to develop the property because they will be located elsewhere on site and will be abandoned, and there is no present or prospective use for the Public Service Easement. All utilities servicing the new development will be private and the proposed easement vacation will unencumber the site allowing for the Residential Care Facility. Therefore, the public will benefit through improved utilization of the land and no longer have to maintain the public easement.

(c) The vacation is consistent with any applicable land use plan.

The proposed easement vacation allows for the proposed development and the proposed land use change from Equestrian Facility to Residential Care Facility. The change in land use would be consistent with the Carmel Valley Neighborhoods 4, 5, and 6 Precise Plan as the project proposes low intensity development that is residential in use and character. The project would provide low intensity development that is residential in use and character, massing and architecture and is similar to the surrounding neighborhood. Therefore, the vacation is consistent with the applicable land use plan.

(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The public facilities within the easement will be abandoned. The easements to be vacated are no longer needed by the public for their original purpose. Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that the Public Service Easement located within the project boundaries as shown on project plans in connection with Project No. 600824 as more particularly

ATTACHMENT 7

described in the legal description marked as Exhibit "A," and shown on Drawing No. 40980-3-B marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the office of the County Recorder.

APPROVED: MARA W. ELLIOTT, City Attorney

By _____
[Attorney]
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
JO: 24007776
Drawing No. **[INSERT]** Drawing No.]
R-_____
Document120
Revised 8-15-12

(R-2019-)

RESOLUTION NUMBER R-_____

ADOPTED ON _____

A RESOLUTION APPROVING AN AMENDMENT TO THE GENERAL PLAN AND
THE CARMEL VALLEY COMMUNITY PLAN TO REDESIGNATE LAND LOCATED
AT 5720 OLD CARMEL VALLEY ROAD FROM EQUESTRIAN FACILITY TO
RESIDENTIAL CARE FACILITY

WHEREAS, Bell Valley Holding Company, LP, requested an amendment to the General Plan and the Carmel Valley Community Plan to redesignate land located at 5720 Old Carmel Valley Road, from Equestrian Facility to Residential Care Facility.

WHEREAS, the site is legally described as: Lots 148 through 156, inclusive of Seabreeze Farms in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 14007, filed in the Office of the County Recorder of San Diego on July 21, 2000; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because the matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implementing due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the General Plan and voted _ - _ under Resolution Number _____-PC to recommend City Council Approve the amendment; and

WHEREAS, an amendment to the Community Plan requires an amendment to the General Plan because the Community Plan is part of the Land Use Element of the General Plan; and

ATTACHMENT 8

WHEREAS, on _____, the City Council of the City of San Diego held a public hearing for the purpose of considering an amendment to the General Plan and the Carmel Valley Community Plan; and

WHEREAS, the Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, that it adopts the amendments to the General Plan and the Carmel Valley Community Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-_____.

APPROVED: MARA W. ELLIOTT, City Attorney, City Attorney

By _____

Deputy City Attorney

MJL:pev
INSERT Date
Or.Dept:DSD
R-2019- INSERT
Form=r-t.frm(61203wct)

Revised 2-19-16 PJF

CARMEL VALLEY

CARMEL DEL MAR

NEIGHBORHOODS

4, 5, & 6

PRECISE PLAN

Proposed Amendment for Seabreeze Senior Living

DRAFT: May 2019

On July 11, 1996, the Planning Commission of the City of San Diego (unanimously) approved an amendment to Neighborhood 4 (Resolution No. 2335-PC) which added a 72 acre area which includes 275 dwelling units, 8 acres of equestrian area and 25 acres of pasture, trails and open space.

On July 30, 1996, the City Council of the City of San Diego certified the Environmental Impact Report by Resolution No. R-287703 and adopted the Neighborhood 4 amendment on July 30, 1996 by Resolution No. R-287704.

On September 14, 1999, the City Council of the City of San Diego certified the Mitigated Negative Declaration by Resolution No. R-292173.

On XXX, 2019, the City Council of the City of San Diego approved Addendum to EIR No. 35-0385 and MND No. 96-7919 by Resolution No. R-XXXXXX, approved an Amendment to the Carmel Valley Community Plan and Carmel Valley Neighborhoods 4, 5, and 6 Precise Plan by Resolution No. R-XXXXXX, and adopted Planned Development Permit and Site Development Permit No. 600824 by Resolution No. R-XXXXXX.

I. INTRODUCTION

A. PURPOSE

This precise plan has been prepared in accordance with the requirements of the Carmel Valley Community Plan. The community plan requires the preparation of individual precise plans for each of the identified neighborhoods within Carmel Valley prior to the approval of tentative maps, zoning changes or grading plans for each neighborhood. The purpose of this precise plan is to provide guidelines for the development of Neighborhoods 4, 5 and 6 encompassing approximately 894 acres of Carmel Valley.

Companion documents to this precise plan include its accompanying environmental impact report, and the Carmel Valley Planned District Ordinance (PDO). The Carmel Valley Public Facilities Financing Plan and the School Facilities Master Plan are also applicable to this precise plan. When adopted, the precise plan and attendant documents will become the basis for reviewing tentative maps and other plans for development within the precise plan area. The Carmel Valley PDO and Urban Design Guidelines establish the procedures and standards for city review of land development, and maintenance of public facilities are governed by the Public Facilities Financing Plan. The methodology for the provision of schools is outlined in the School Facilities Master Plan.

This precise plan should not be considered a static document. It must be continually monitored to remain responsive to community-wide needs and should be amended, as appropriate, in consideration of changes in environmental, social, economic or market conditions.

B. LOCATION

The precise plan area, encompassing Neighborhoods 4, 5 and 6 of Carmel Valley, is located north of Carmel Valley Road within the central portion of the city of San Diego's Carmel Valley Community Planning Area. The property is bordered on the south by Carmel Valley Road and SR 56; on the west by El Camino Real; Interstate 5 (I-5) is located west of El Camino Real. The designated town center for Carmel Valley, and the designated first neighborhood of Carmel Valley, are located immediately north of the precise plan area. The eastern portion of the property is bordered by the northern extension of Carmel Valley Road. Figure 1 serves as the location and vicinity map of the property.

C. SETTING

Topographically, the precise plan area is characterized by gently rolling hills and valleys; a number of small canyon-like areas are located in the northeastern portion of the property. Elevations on the property range from approximately 40 feet above mean sea level (AMSL) to 350 AMSL. Carmel Creek, a tributary of Los Penasquitos Creek, is located south of Carmel Valley Road outside the boundaries of the precise plan area. It is the major drainage course for the property. Carmel Creek discharges into Los Penasquitos Lagoon, adjacent to Torrey Pines State Reserve.

D. PLANING BACKGROUND

Carmel Valley was first identified by the City of San Diego as an area for future growth and development in its Progress Guide and General Plan, adopted in 1967. On February 27, 1975, the San Diego City Council adopted the Carmel Valley Community Plan. Figure 2 depicts the community plan area and locates the precise plan area within the community plan boundaries. The community plan outlines the conceptual development of Carmel Valley and calls for the orderly development of residential, commercial, and industrial land uses and public facilities on 4,358 acres of land generating an estimated population of 40,961 housed in approximately 14,245 dwelling units.

In the Carmel Valley Community Plan, the City of San Diego identified the specific process by which development in the precise plan area should take place. The community divides Carmel Valley into separate precise plan development units (PDUs), as shown in Figure 2, and requires the adoption of a precise plan for each PDU prior to the approval of any subdivision maps, zoning changes, or grading plans. The community plan outlines specific information to be included in each precise plan as described below:

- The development unit precise plan must be in general conformance with the Carmel Valley Community Plan objectives and proposals in terms of overall density, neighborhood concept, major open space delineation and major and collector street pattern;
- Illustrate the complete circulation system, including local streets and transit, and further indicate how the system will relate to the total Carmel Valley circulation system;
- Illustrate a system of separate bicycle and pedestrian pathways linking the neighborhood center with the residential areas and open space system and also illustrate how these pathways can link to the town center;

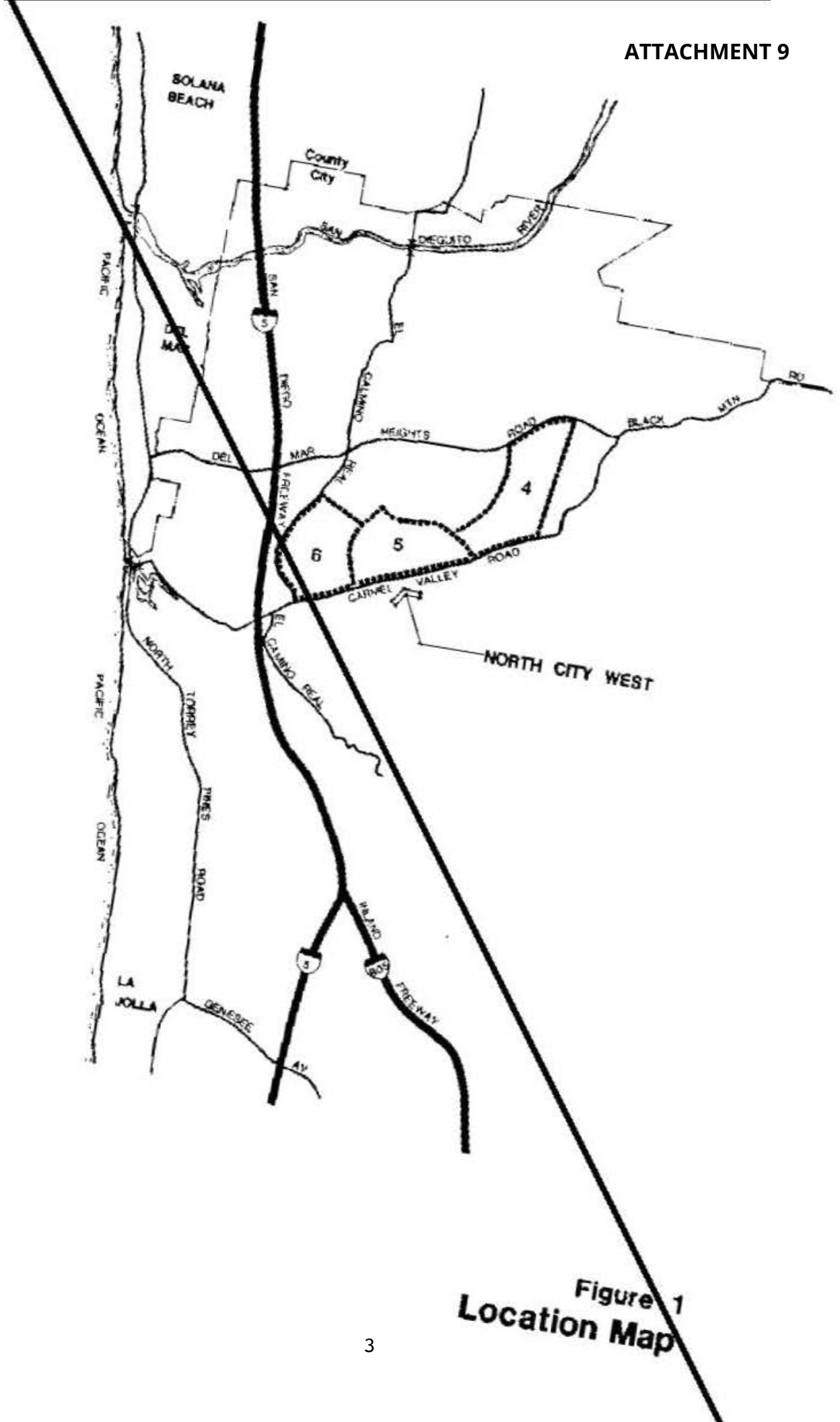


Figure 1
Location Map

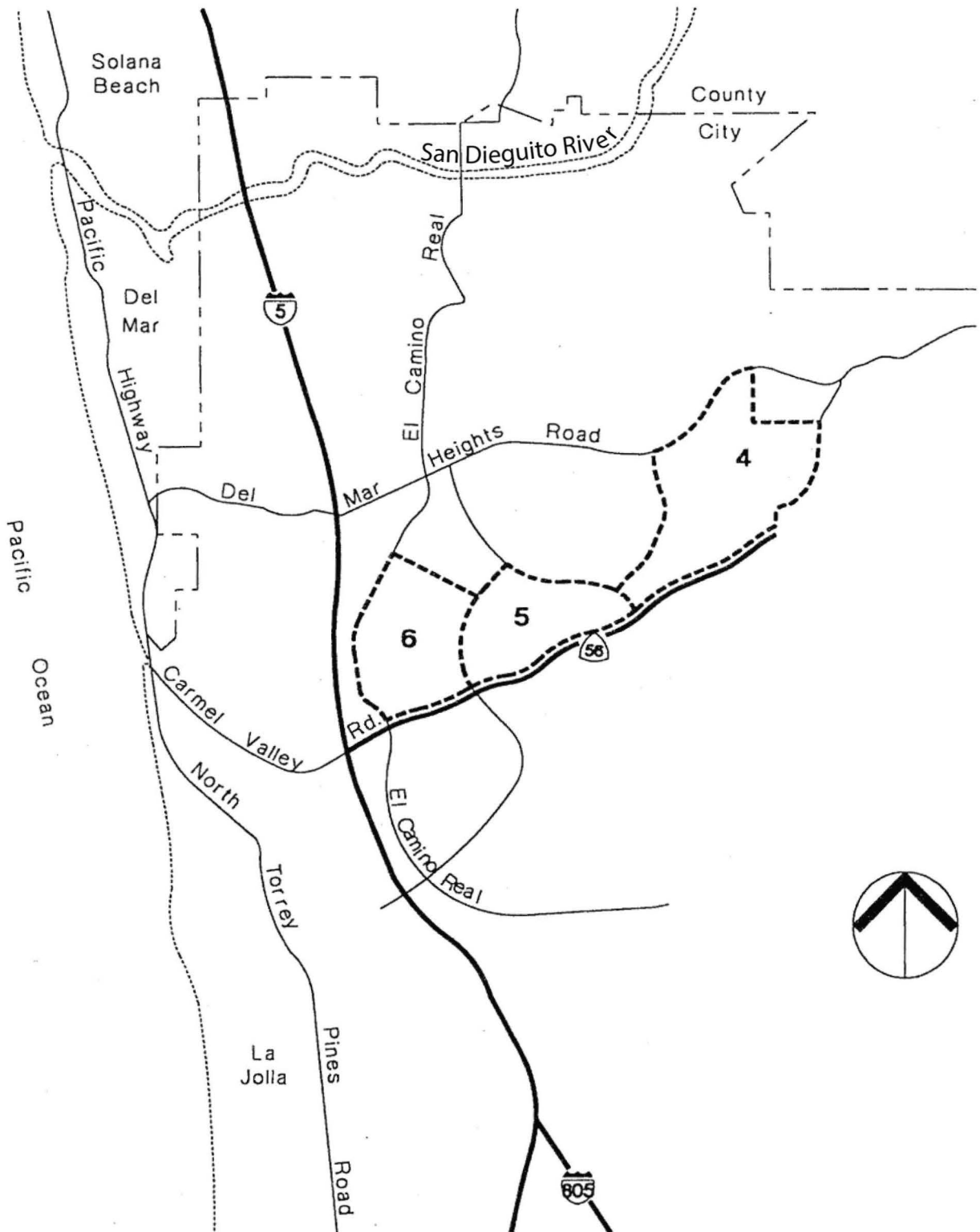
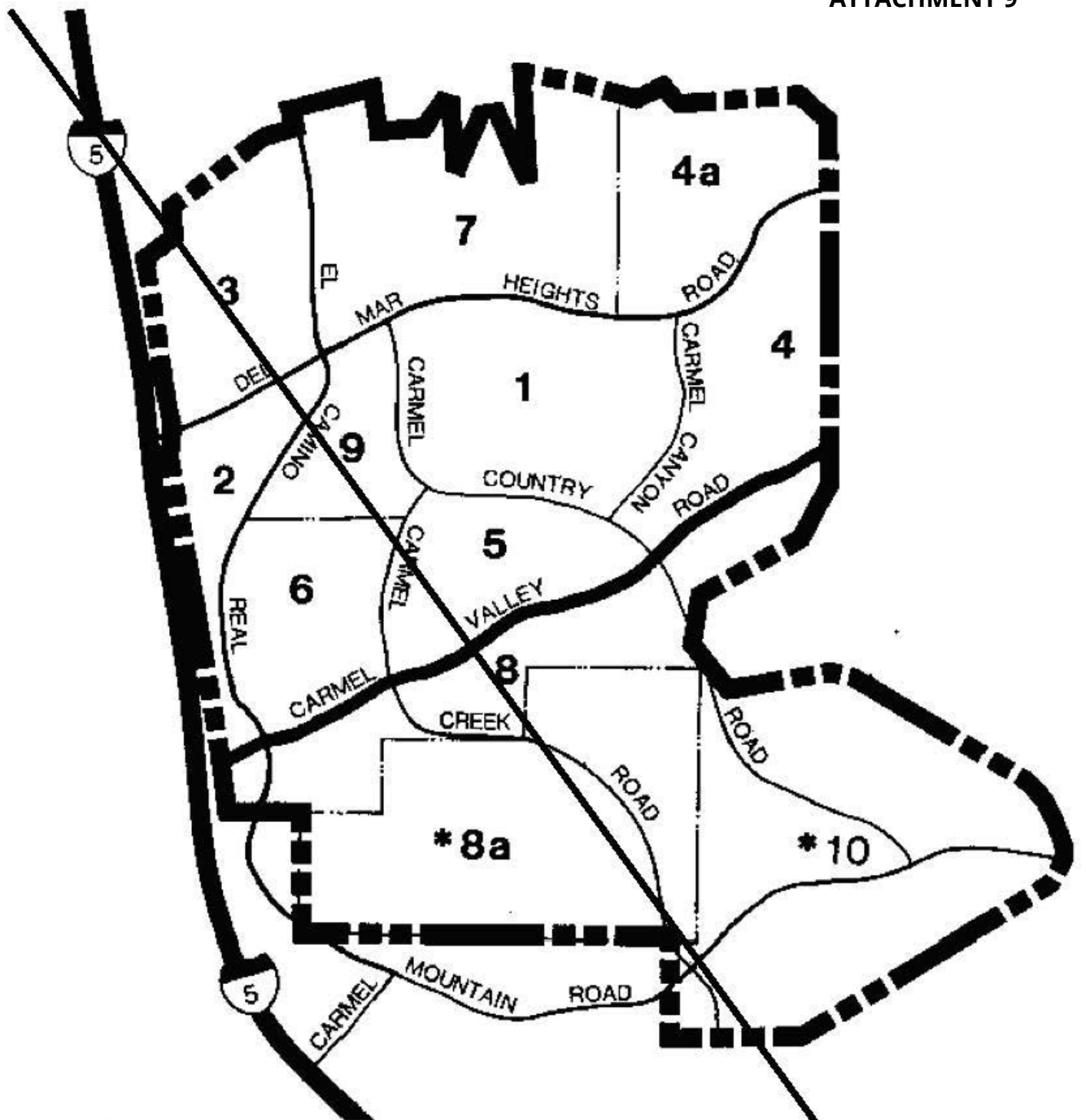


Figure 1
Location Map



* Units not yet adopted by City Council

Figure 2
Precise Plan
Development Units

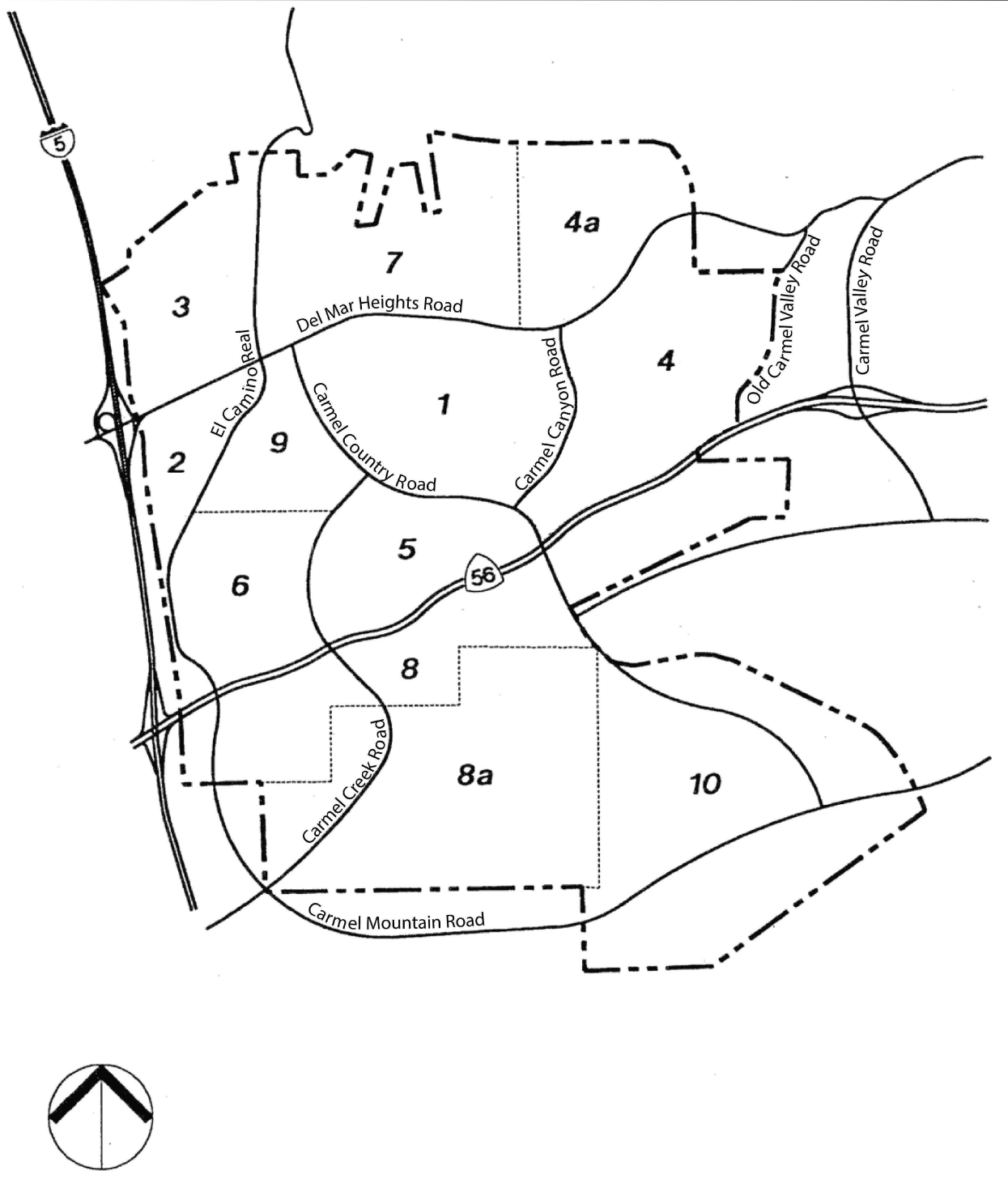


Figure 2
Precise Plan
Development Units

- Contain data describing the housing balance projected regarding the quantity and/or proportion of low and moderate income housing, as well as a plan describing efforts to be made to maintain an ethnic and racial balance;
- Contain a detailed design plan for the layout of the neighborhood center including shopping area and uses, neighborhood school and park; the city and local school district must agree to the sites and design of the facility;
- Illustrate the timing of necessary public facilities through the assessment district and fees approach to serve the development; and
- Contain an environmental impact statement.

Source: North City West Community Plan, 1975.

At the present time, precise plans for the ten PDUs within Carmel Valley have been prepared and adopted by the City of San Diego (illustrated in Figure 2). Each of these PDUs contains the required information and has been found to be in conformance with the Carmel Valley Community Plan.

The precise plan described in this document is a plan for three PDUs as shown on Figure 2. These three PDUs are referred to in this document as Neighborhoods 4, 5 and 6. Authorization to prepare a single precise plan covering all three PDUs was granted by the Planning Commission on December 11, 1981. On December 14, 1982, the City Council adopted the precise plan by Resolution #262226 and 270598 respectively.

On July 11, 1996, the Planning Commission of the City of San Diego (unanimously) approved an amendment to Neighborhood 4 (Resolution No. 2335-PC) which added a 72 acre area which includes 275 dwelling units, 8 acres of equestrian area and 25 acres of pastures, trails and open space.

On July 30, 1996, the City Council of the City of San Diego certified the Environmental Impact Report by Resolution No. R-287703 and adopted the Neighborhood 4 amendment on July 30, 1996 by Resolution No. R-287704.

On XX, the Planning Commission of the City of San Diego approved an amendment to Neighborhood 4 (Resolution No. XX), which the 8.78-acre equestrian area was redesignated as a senior living facility.

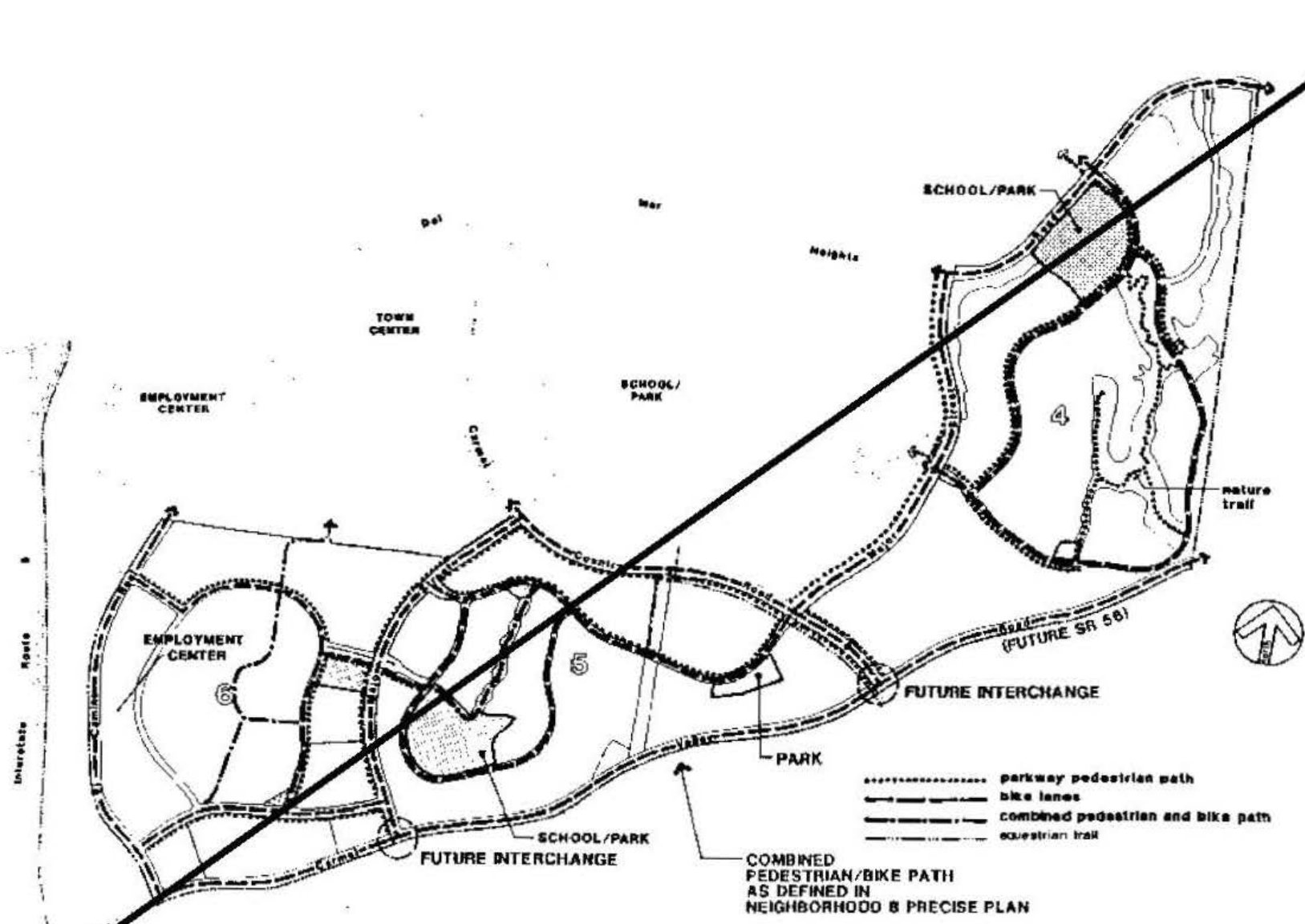


Figure 4
Neighborhood Concepts
(LINKAGES)

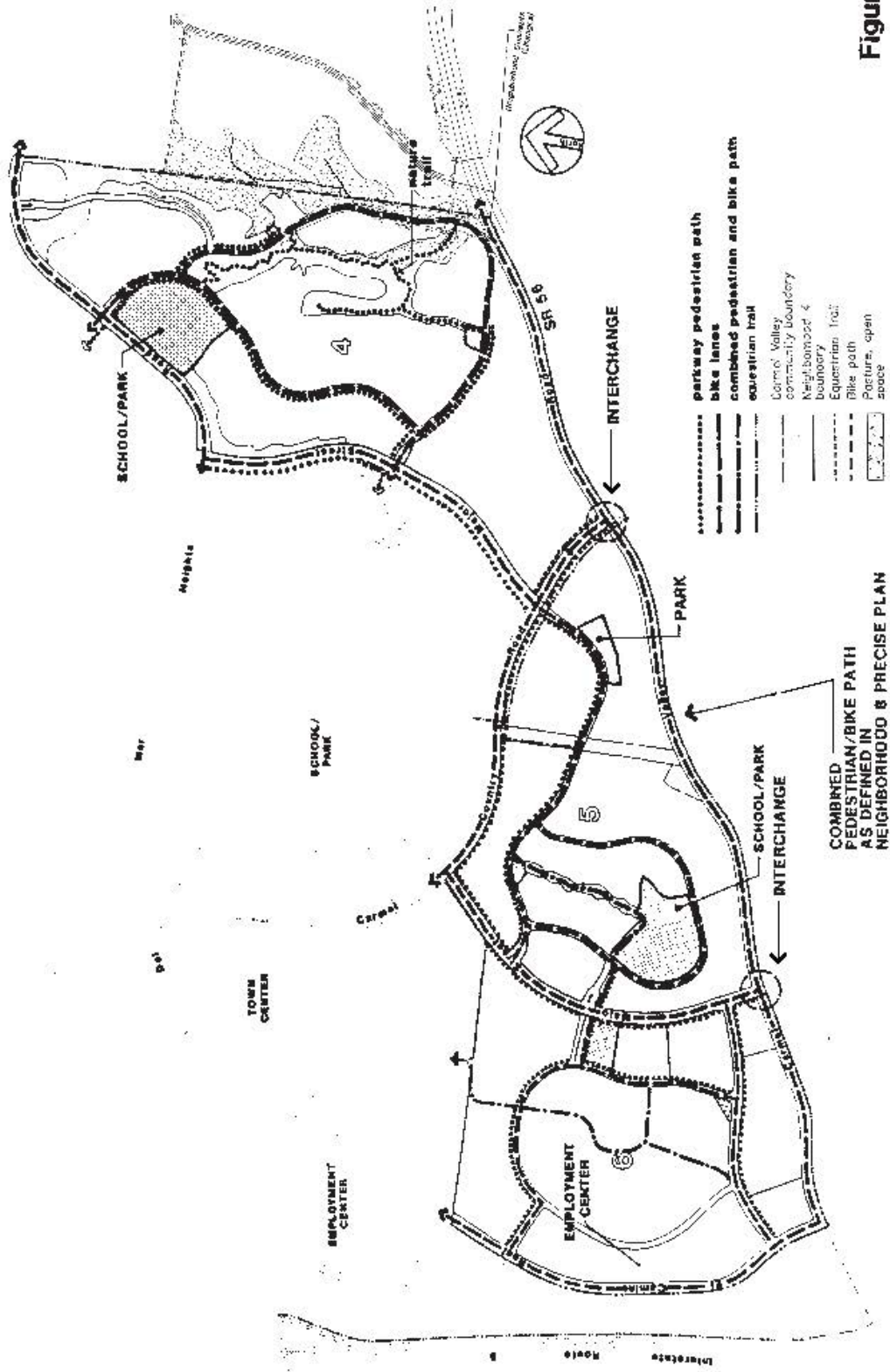


Figure 4
Neighborhood Concepts
(LINKAGES)

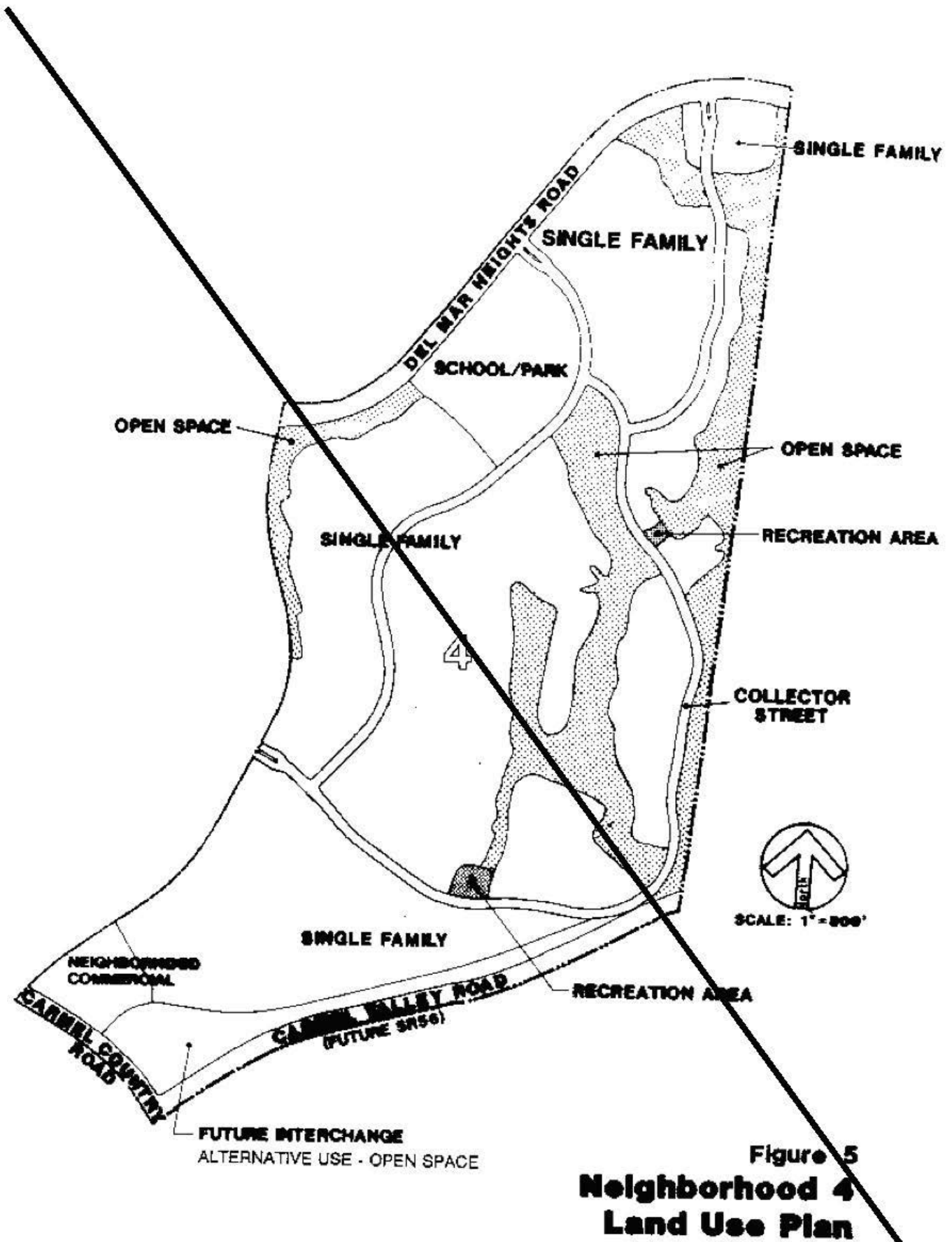
- Neighborhood facilities throughout the precise plan area such as schools, parks, and commercial centers will be linked by circulation elements, including roads, bikeways, pedestrian pathways, and open space easements.
- Neighborhood facilities will be centrally located to provide access to residents throughout the precise plan area.
- Neighborhood facilities will be buffered from surrounding residential areas by open space slopes, streets and paths but these facilities will still be accessible to residents.
- Neighborhoods will be designed to maximize views in residential areas and along the public collector loops.

C. RESIDENTIAL COMPONENT

1. Neighborhood 4

Neighborhood 4 is the largest and eastern most neighborhood within the precise plan area and contains the greatest amount of topographic relief. The northern portion of Neighborhood 4 is characterized by three mesa top areas which are divided by fairly steep south-trending canyons. Bell Valley is located in the southeastern portion of Neighborhood 4.

With a total of 409.87 acres, approximately 1203 dwelling units are proposed within Neighborhood 4, with a gross neighborhood density of 3.0 du's/acre and a net residential density of 4.8 du's/acre. The land uses proposed for Neighborhood 4 are shown in Figure 5 and 5a. Table 1 and 1A include land use acreage analyses of the neighborhood. All acreage is subject to minor modification during detailed engineering and design. Consequently, the dwelling unit calculations provided within this precise plan may be subject to some modification.



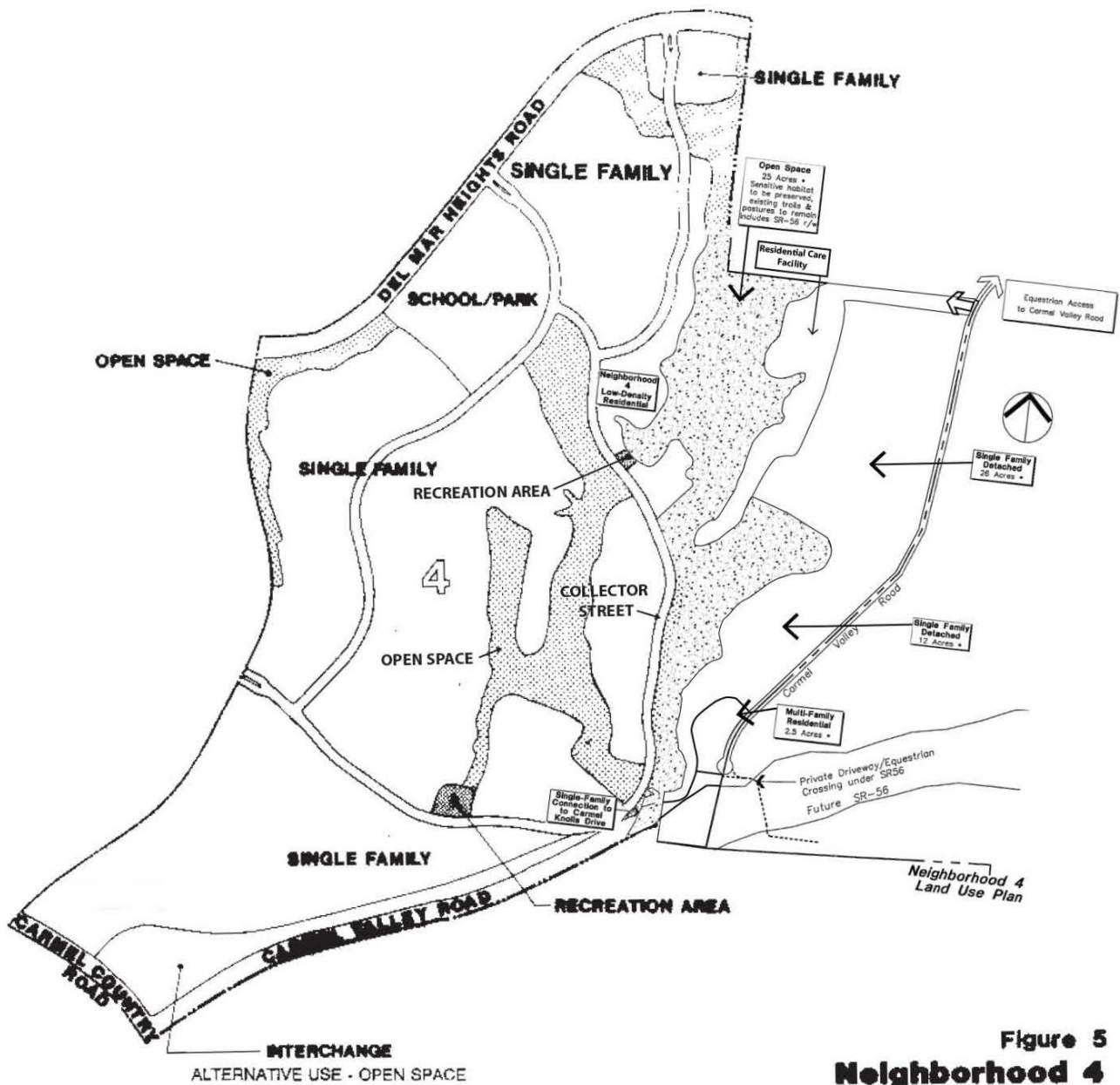


Figure 5
Neighborhood 4
Land Use Plan

TABLE 1

Neighborhood 4 Land Use

Proposed Land Use	Number of Lots	Total Acres
Single Family (SF-1)	951	215.02
Single Family (SF-2)	147	35.00
Small Lot Detached Residential (SF-3)	50	6.72
Multi-Family (MF-1)	38	4.00
Residential Care Facility	1	8.78
Open Space	14	49.44
Open Space, Pastures, Trails	1	25.00
*Recreation Centers	2	(1.80)
School/Park Site	1	16.10
Major Collector Streets		52.31
Equestrian	1	8.00
TOTALS	<u>1,203 DU's</u>	<u>410.57</u>

* Included within residential acreage.

Neighborhood 4 is oriented in a north-south direction, taking advantage of topography which falls toward Carmel Valley. The collector loop system of bikeway, pedestrian, and automobile circulation generally trends in a north-south direction. Several fringes of open space, as schematically outlines within the ~~North City West~~ Carmel Valley Community Plan, have been incorporated into the overall design of the neighborhood. A nature trail (see Figure 6) is proposed within these natural open space areas. Access to the neighborhood is ~~proposed~~ from Del Mar Heights Road, Carmel Country Road, and Carmel Canyon Road which connect to the loop collector system. This loop system, in turn, focuses upon the school/park site along Del Mar Heights Road and the commercial center within the Carmel Valley neighborhood and Neighborhood 4. The school/park site along Del Mar Heights Road, while at the northern end of Neighborhood 4, is actually centrally oriented to its service area since it must also serve the future neighborhood north of Del Mar Heights Road. The overall design of the collector system, with its attendant bikeways and pedestrian ways and the north-south trending open space system, facilitates easy access to the school/park site and reduces the effective distance between residential areas and this important neighborhood facility.

A total of 1,147 single-family detached dwelling units and 38 multi-family dwelling units are proposed which would tend to accommodate approximately 3,421 persons at a family size of 2.9 persons per dwelling unit for single-family dwelling units and 2.5 persons per dwelling unit for multi-family units. The higher end single-family product takes advantage of the higher elevation and views available of Black Mountain, across Carmel Valley North City, and the Pacific Ocean. ~~In the eastern portion of Neighborhood 4, 2 acres of multi-family are incorporated into the eastern portion of the equestrian center. This multi-family residential will provide housing for the equestrian workers, as well as creating a buffer between the Equestrian Center and Carmel Valley Road to the east. Larger "view lot" style homes are located to the north and west of the equestrian center. South of the equestrian use, the residential uses are characterized by smaller single-family detached homes with 2 acres of multi-family to create a range of housing types.~~ The eastern portion of Neighborhood 4 shall preserve the natural, undulating appearance of the existing landform. Design criteria for the housing layout shall emphasize variations in placement, form of structures and height so as to prevent a monolithic look from off-site.

2. Marine Corps Air Station Miramar

Neighborhood 4 is located west of the Julian departure corridor for Marine Corps Air Station (MCAS) Miramar. While development on the property is considered compatible with flight operations, some residents may experience concern over aircraft noise and overflight. Occupants will both see and hear military aircraft and will experience varying degrees of noise and vibration. The Marine Corps believes that enhanced awareness within affected areas would be an advantage to nearby communities.

F. DEVELOPMENT PHASING

Phasing of development within Neighborhoods 4, 5 and 6 is proposed to be directly related to the provision of the major street network and other infrastructure as set forth within the adopted Public Facilities Financing Plan for Carmel Valley. With this assurance that public facilities will be provided commensurate with the provision of housing, actual phasing of individual housing products can become a function of the marketplace.

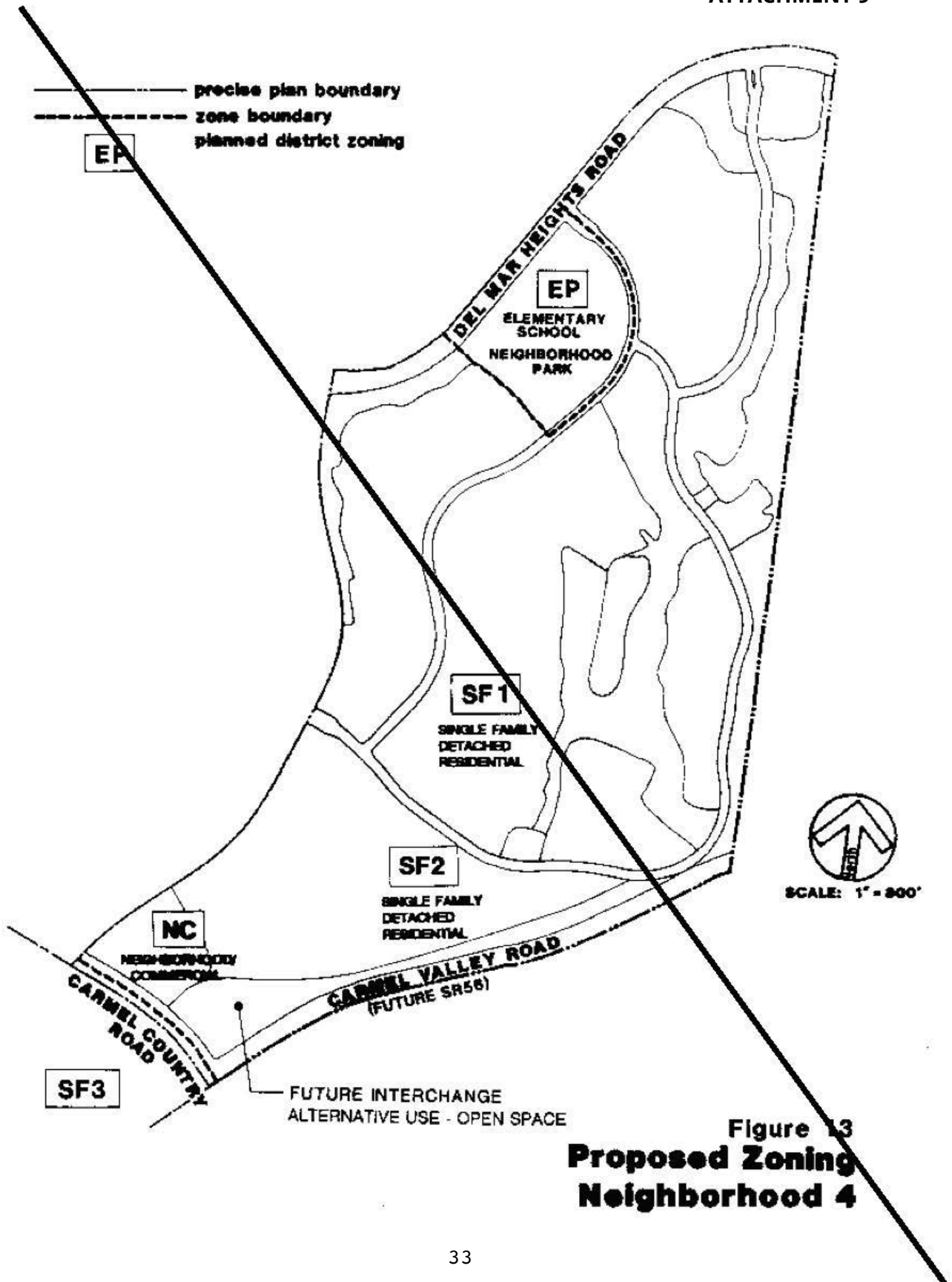
It is anticipated that development will begin within Neighborhood 6, more specifically lots 7, 8 and 9 and within units 1, 2 and 3 within Neighborhood 5. These specific areas are located with easy access from Carmel Valley Road, El Camino Real and the first major street inward from El Camino Real. A total of 5 major products can be marketed at one time throughout this phasing procedure. Sewer, water, road access and utilities can be provided with minimal offsite extension cost. This phasing sequence is also consistent with the philosophy of expanding development within Carmel Valley from west to east in order to take advantage of freeway and major street access with minimal cost.

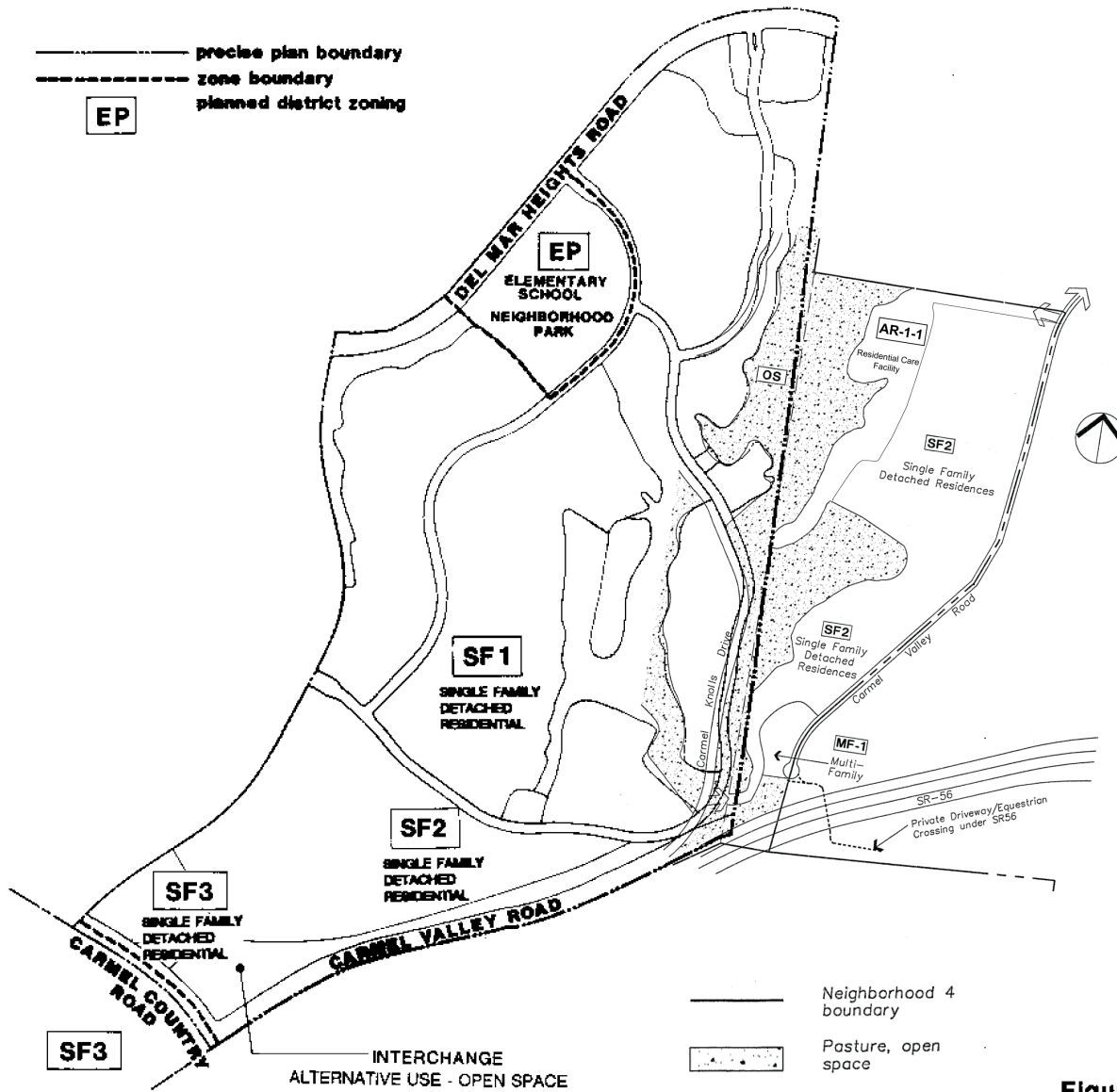
The designation of Carmel Valley Road as an official state route (SR-56), shall dictate future changes in right-of-way requirements for Carmel Valley Road. This, in turn, will necessitate concurrent revisions in land use, tentative maps, and development plans for Neighborhood 4 and 5. The precise plan takes these potential factors into account by initiating development within Phase 1 which is not adjacent to Carmel Valley Road.

After the first phase of development is well underway, expansion will radiate outward to encompass needed product types. Figure 12 illustrates the phasing plan. Figure 12A illustrates the phasing plan for the ~~eastern~~ western most portion of Neighborhood 4. ~~Full buildout of Phase 5 will require improvements to the circulation network, as shown in table 7.~~

G. ZONING IMPLEMENTATION

Adoption of the precise plan is but one step in the series needed to initiate development within the precise plan area. While the precise plan and attendant design element provide guidelines for the review of development plans and tentative maps, actual implementation depends upon the implementation mechanisms provided within the City Zoning Ordinance. For the implementation of the precise plan for Neighborhoods 4, 5 and 6, zoning is proposed as illustrated on Figures 13, ~~13A~~, 14 and 15 and as briefly described in Tables 5 and ~~5A~~.





**Figure 13
Proposed Zoning
Neighborhood 4**

Table 5

Zoning

Land Use Category	Zoning	Brief Description of Zone*
Single-Family Detached Neighborhood 4	SF1	Minimum lot size of 6,000 sq. ft.
Small Lot Attached & Detached Neighborhood 4 & 5	SF3	Minimum lot size of 3,000 sq. ft.
Single-Family Detached Neighborhood 4 & 5	SF2	Minimum lot size of 4,500 sq. ft.
Elementary School & Neighborhood Parks	EP	School & Park Use
Neighborhood Commercial Neighborhood 6	NC	Neighborhood & Visitor Commercial Uses
Visitor Commercial Neighborhood 6	VC	Visitor Commercial Uses
Low-Density Residential Neighborhood 4 & 6	MF1	Maximum Density to 15 units/acre
Medium-Density Residential Neighborhood 6	MF2	Maximum Density to 22 units/acre
Employment Center Neighborhood 6	ED	Minimum lot size of 40,000 sq. ft.
Tennis Club and Religious Facility	SP	Educational, recreational, institutional, public or quasi public uses
Equestrian Center	A-1	Stables & arena/boarding facilities
Park Site Neighborhood 5	OS	Open Space and public park use
Open Space Neighborhood 4	OS	Pasture/trails/open space
<u>Residential Care Facility</u>	<u>AR-1-1</u>	<u>Attached senior housing & facilities (with CUP)</u>

* See North City West Planned District Ordinance for further description of specific zone district regulations.

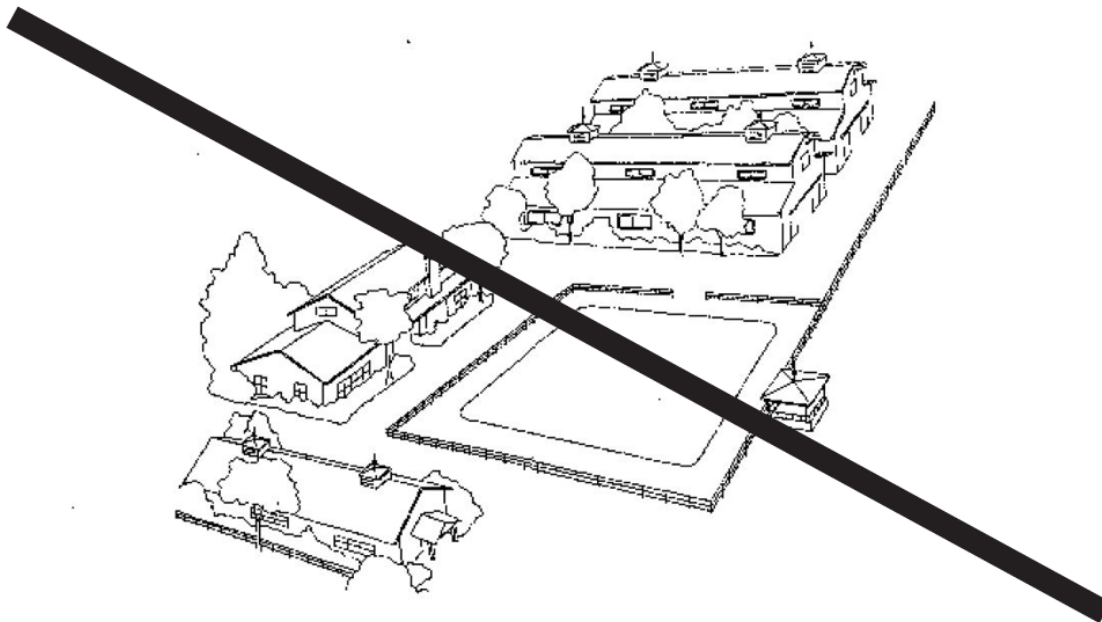
7. If solar units for hot water and/or space heating are not proposed to be included in the construction of residential units, the design of residential units will include "stubouts" to facilitate later addition of solar units.
8. Individual units will be designed to allow floor-through air circulation, which should be excellent within Carmel Valley.

I. DESIGN GUIDELINES

The conceptual design graphics presented in this document outline specific preliminary design guidelines for development within the precise plan area. The following Urban Design Element also applies.

J. ~~EQUESTRIAN COMPONENT~~

~~Located in the eastern portion of Neighborhood 4 is an 8-acre Equestrian Center, providing boarding and recreational horse activities. The center will be linked to existing trails in Bell Valley to the west and the North City Future Urbanizing Area to the east (Figure 4A). A horse crossing will be provided at Carmel Valley Road to access these trails and is depicted in 16A.~~



~~NEIGHBORHOOD 4 EQUESTRIAN CENTER~~

~~The Equestrian Center shall be sited to consider three major factors: topography, wind direction and proximity to trails and residential facilities.~~

~~The Equestrian Center site should afford protection from prevailing winds, while being downwind of residential uses. The site should take advantage of the natural amenities, such as views, without infringing on sensitive areas.~~

~~A Concept Landscape Plan is incorporated into the Urban Design Element with greater detail on landscape standards.~~

J. RESIDENTIAL CARE FACILITY COMPONENT

Located in the eastern portion of Neighborhood 4 is an 8.78-acre senior residential care facility, providing age-restricted housing in the form of a central building and several duplex villas. The facility also provides for on-site dining and activities for residents. The senior residential care facility is linked to the community via access from Old Carmel Valley Road.

Noise walls shall be 6' in height of block wall construction and shall be coordinated with the architectural design of individual developments. Noise walls shall incorporate one or more of the following design techniques or materials:

- Split fence construction.
- Slump stone.
- Masonry finish complementing architecture.
- Pilasters – if used, pilasters shall be a maximum of 20' apart.

6. Flag Poles, T.V. and Radio Aerials

- a. Flag poles should be located a minimum of 10 feet setback of the front and rear property line and within the same sideyard setback requirement of the building structure.
- b. Flag pole maximum height should be 30 feet from grade.
- c. Except for public buildings, flag poles should be lighted.
- d. Exterior T.V. and radio antennas should not be permitted.
- e. Satellite dishes are subject to the approval of the Director of Planning.

7. Solar Heating Collector Panels

Solar panels may be located on slope banks if screened from major streets and collector streets.

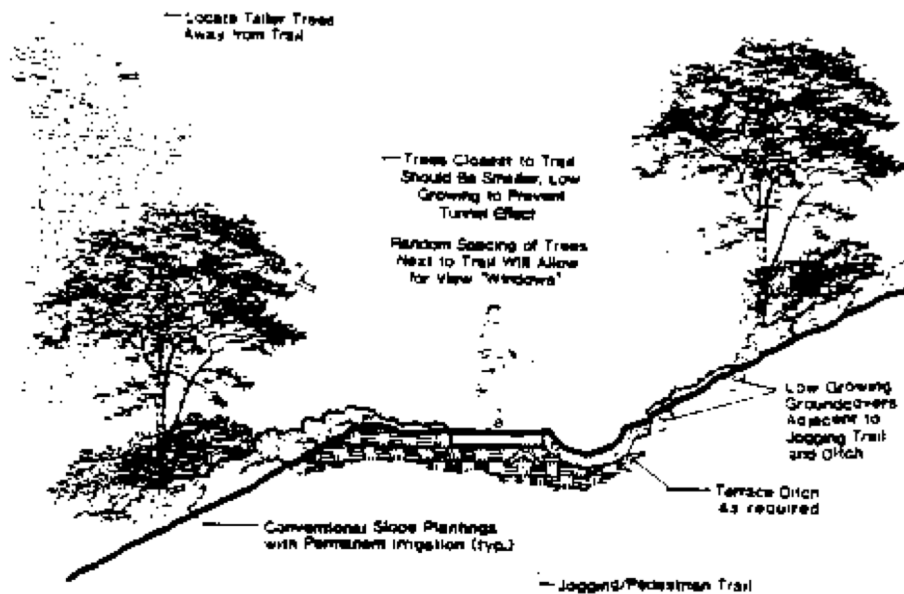
F. LANDFORM AND GRADING

The purpose of this section is to provide general criteria for grading within Carmel Del Mar. These criteria are intended to create a pleasant aesthetic environment by working together with landscape planting, circulation, and land use, as well as other elements of the total community. The concept drawings in this section are intended to show general conditions and are not keyed to specific locations. They are intended to serve as guidelines that can be used in evaluating proposed final grading plans.

Design of the Phase 5 portion of Neighborhood 4 is based on the concept that residential and equestrian uses can be both

compatible and mutually enhancing. The long term safety, enjoyability, and economic viability of equestrian ~~activities~~ trails should be ~~the driving force and the chief criterion~~ considered in any future decisions about neighborhood layout, character and landscape, as well as other design details.

system is composed of several elements, including the major open space areas located in the northeastern and southeastern portions of the precise plan area and the interior slopes which will be generated by creating the building pads. These slopes will be landscaped to provide erosion control as well as visual separation between building pads. Another element of the developed open space system is the landscape right-of-way and building setback areas along the streets. The streetscape will create much of the project's character as a dominant visual element which extends through all areas.



Typical Pedestrian Path on Slopes

NO SCALE See Figure 4 for Location of Pedestrian Paths

Within the open space of the eastern most portion of Neighborhood 4, also known as Phase 5, a system of equestrian trails is proposed. The proposed system is based upon the existing unimproved trails and flow throughout the disturbed areas of the pasture, trails and open space area as shown in Figure 17A. Those portions of sensitive habitat not impacted by brush management within this area will be preserved as open space. The Equestrian Center will have direct access to the pastures via the trail system. An equestrian street crossing will be provided on Carmel Valley Road (Figure 17A) providing an opportunity to connect to a future trail system in Subarea III.

The trail system is intended to provide an important segment of the continuous north-south trail system from Penasquitos Canyon Preserve via the proposed trail between Carmel Valley Neighborhood's 8A and 10, and the Shaw Ridge and Shaw Valley

Trails in the NCFUA Subarea 5, and CVREP, through Phase 5 of Neighborhood 4, to Gonzalez Canyon and the San Dieguito River Valley. Successful implementation of this trail system will require that the construction of SR-56 immediately south of the Phase 5 area incorporate an underpass to extend the trail through as yet undeveloped property immediately to the north of the Phase 5 area. It is expected that the ~~permanent presence of the equestrian center and the~~ provision of the internal Phase 5 segment of the trail will provide impetus for working out the segments of the trail immediately south and north of the Phase 5 area.

The goal of the trail system is not only to connect destinations, but also to allow and encourage enjoyable journeys. The advantage of multiple points of access to the trail system, both within and outside of the phase 5 area, is that they create trail loops, so people need not return the way they came, and so people with limited time or physical abilities can enjoy a trail walk or ride.

The Phase 5 portion of the major north-south trail will provide loop alternatives and ready access for residents of Carmel Valley to the large open space systems in Penasquitos Canyon, the North City Future Urbanizing Area, and the San Dieguito River Valley.

The last major element of the open space system is the existing SDG&E power easement area. Figure 8 illustrates in concept form how a portion of this easement may serve as a primary pedestrian link tying the school/park site to the proposed Tennis Club directly to the south of Carmel Country Road.

While providing for recreational use within the easement, it is necessary to provide for vehicular access to the power lines for cleaning of insulators and line maintenance. Landscaping should be designed to screen power poles, maintenance vehicle access, etc. Care should be taken to not call attention to undesirable elements.

Where recreational uses are to be accommodated within the easement, the landscape palette shall conform to the recommended plant list for recreational open space shown on the Master Plant List. When no use other than a pedestrian path is proposed, landscaping shall utilize a combination of native and naturalized plants as specified in the plant list for restored open space shown on the Master Plant List.

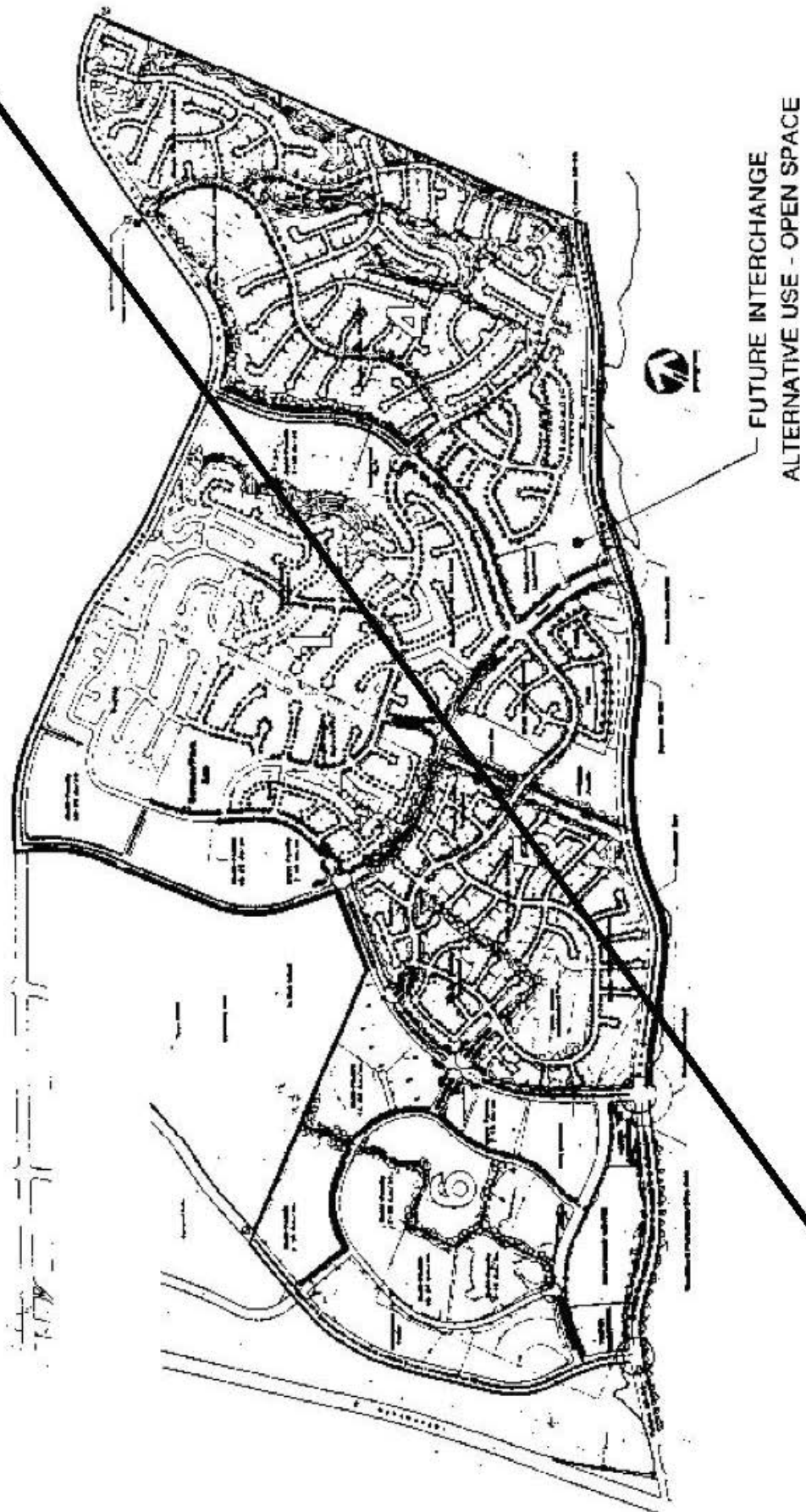
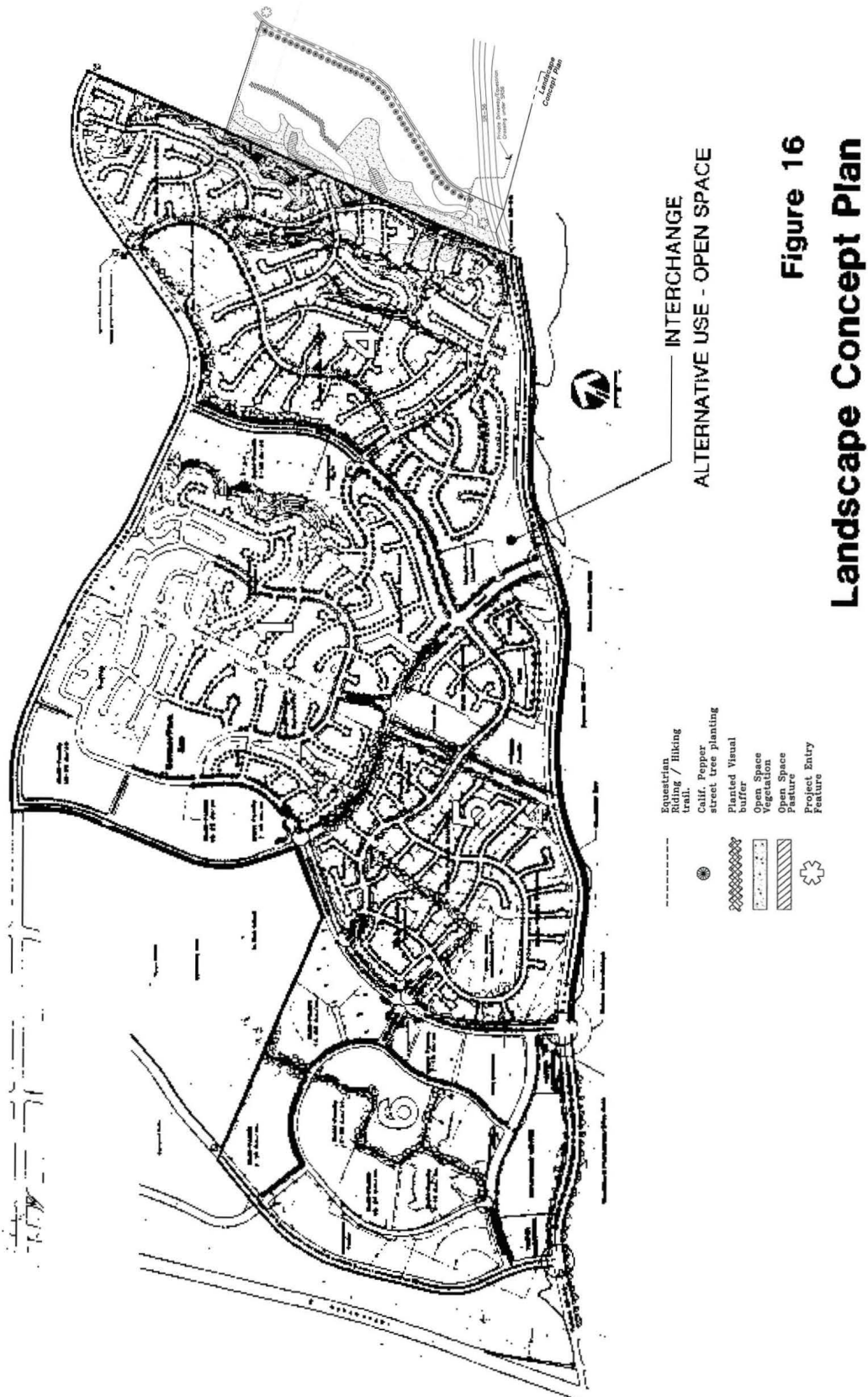


Figure 16
Landscape Concept Plan



Rear & Side Yards: 5 gallons, 35%
15 gallons, 30%
24" box, 35%

Parking Areas: 15 gallon if upright
24" box if canopy form

Spacing:

Rear & Side Yards: 1 tree/400 sq. feet
Parking Areas: 1 tree/5 parking stalls

(11) Equestrian Areas

- (a) Within the eastern most portion of Neighborhood 4, ~~near the Equestrian Center~~, street trees shall include California Pepper Tree (*Schinus molle*).
- (b) Open space vegetation shall consist of native and drought tolerant shrubs and groundcovers consistent with the existing coastal sage scrub and chaparral vegetation communities including, but not limited to: Wild Lilac (*Ceanothus* sp.), Lemonadeberry (*Rhus integrifolia*), Toyon (*Heteromoles arbutifolia*), Rockrose (*Cistus* hybrids).
- (c) Open space pasture shall occur only in disturbed areas and shall be revegetated with grasses. Open space pasture areas shall be fenced from open space vegetation areas to prevent disturbances.

(12) Brush Management

- (a) Where feasible emphasis shall be placed on incorporating existing and proposed trails that will incorporated into brush management zones 2 & 3. See Figure 16.1.
- (b) In order to minimize the visual impacts of brush management and to retain the natural look of the existing slopes, brush management zones will incorporate undulating foliage mass to reinforce the native textures, color and form.

- (c) In areas with limited room for brush management, landscape walls will be incorporated. Please see Figure 16.2

b. Site Specific Guidelines and Regulations

All or part of the guidelines and regulations may be applicable to the precise site plan for any given development.

(1) Streetscape Setback Area

- (a) The entire area between street curb and the setback line should be landscaped except for vehicular access driveways or pedestrian, bicycle or equestrian paved routes.
- (b) Undulating free-form berms and lawn should be utilized wherever possible.
- (c) Planting and grading should create a variety of depths.
- (d) Trees should conform to the Master Landscape Plan and Plant List.
- (e) Tree to landscape Area Ratio. There should be one tree for every 400 square feet of landscape setback area (minimum).
- (f) Tree Planting Pattern
 - Streetscape Setback Trees. Trees should be informally grouped in a "naturalistic" fashion.

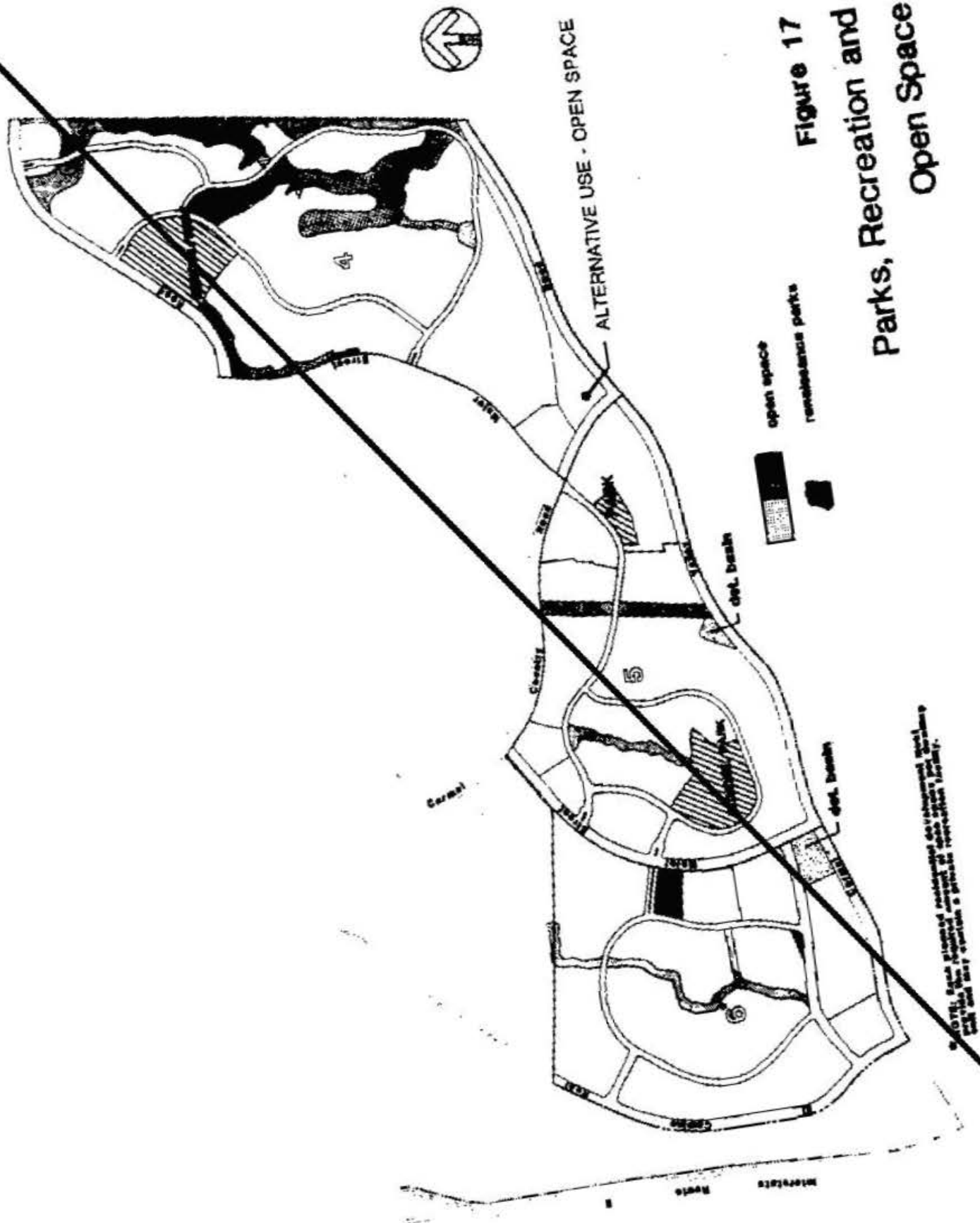
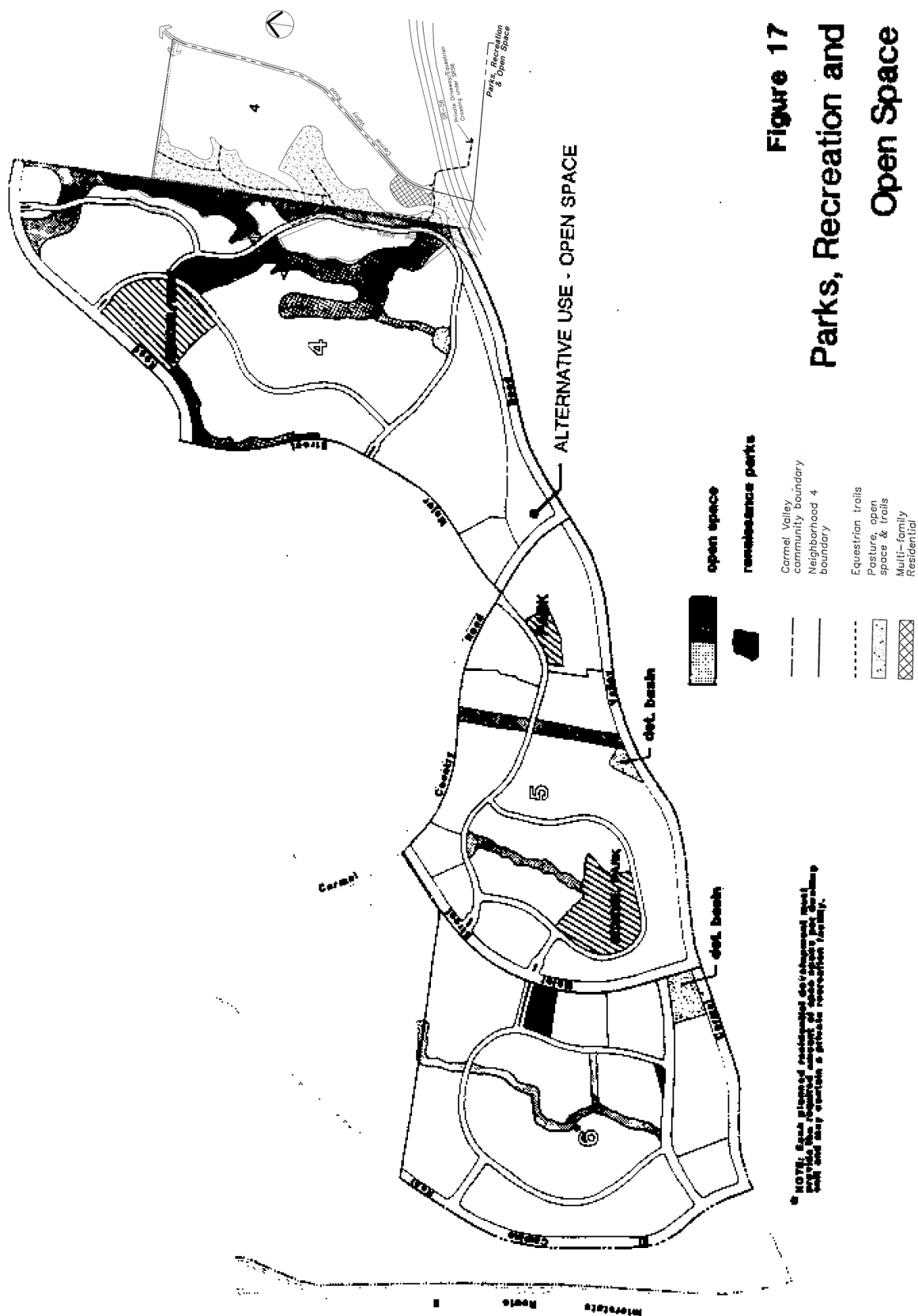


Figure 17
Parks, Recreation and
Open Space

NOTE: Area planned for future development and use. This area is not shown on the map and may contain a park or recreation facility.



3. Natural Areas

Most of the natural open space in the precise plan area will be located within Neighborhood 4. These provide a north-south linkage throughout this neighborhood and focus upon the school/park complex proposed along Del Mar Heights Road. This open space basically consists of rather steep canyon slopes which exist within the area. Figure 6 (previously discussed) illustrates a typical cross-section of these natural open space areas. A nature trail is proposed linking through the natural open space area within Neighborhood 4. ~~This trail system branches eastward in the neighborhood to incorporate the Equestrian Center.~~ Approximately 25 acres of pastures, trails and open space will be maintained in the eastern portion of the neighborhood. The natural areas in Neighborhood 4 will have access to the natural areas in Subarea III to the east via an equestrian crossing and trail on Carmel Valley Road, depicted in Figure 17A. All open space and trails within the project will be privately owned and maintained by either a Homeowners Association, or other City-approved entity.

4. SDG&E Easement

the 150-foot wide SDG&E easement in Neighborhood 5 will provide an additional open area amenity within the precise plan boundaries. The easement will be landscaped, contain a pedestrian walkway and bikeway and will serve as an additional open area for residents of Neighborhoods 4, 5 and 6. The easement will serve as a visual buffer between various land uses within the development and provide linkage through the Carmel Valley neighborhood.

Vehicular access must be maintained for the entire length of the easement to permit maintenance vehicles to serve the power lines within the easement. Figure 8, within the land use chapter of this plan, reflects the design treatment planned for the SDG&E easement.

5. Manufactured Open Space Linkages

Neighborhood 5 and 6 contain major manufactured open space linkages to provide access between neighborhood facilities. They serve to provide pleasant pedestrian and bicycle access without conflicting with automobile traffic and provide a major neighborhood identity feature. Typical illustration of a manufactured open space link is provided in Figure 22.

VI. CIRCULATION ELEMENT

A. ACCESS/EXTERNAL ROAD SYSTEM

Regional access to the Carmel Valley Community Plan Area is provided by two freeway interchanges, the Interstate 5 (I-5)/Del Mar Heights Road interchange and the I-5/Carmel Valley Road interchange. I-5 is presently constructed as an eight-lane freeway adjacent to the precise plan area. Surface streets which provide access to the community plan area include El Camino Real and Carmel Valley Road which provide east/west access in the southcentral portion of the community plan area. Both of the freeway interchanges and all of the surface roads described above will provide access to development within Neighborhoods 4, 5 and 6.

Certain improvements will be made to the external road system in conjunction with the development of Carmel Valley. These improvements have been outlined in the Public Facilities Financing Plan. Del Mar Heights Road is eventually expected to be constructed as a six-lane facility. El Camino Real will be constructed as a six-lane facility to accommodate driveway access to adjacent Employment Center property. The ultimate configuration of these external roads and their relationship to the remainder of the major and neighborhood street system within the precise plan area is shown in Figure 24. Improvement of this system will ultimately be required in conjunction with the development of Neighborhoods 4, 5 and 6.

Of specific concern is the alignment and design treatment of Carmel Valley Road which will be constructed as the State Route 56 Freeway. Figure 26 illustrates the design treatment for this facility. At the time that SR-56 is completed as a four-lane expressway, the remnant portion of Carmel Valley Road will have a cul-de-sac to the north of SR-56. The eastern portion of Neighborhood 4, which includes residential and equestrian uses, will gain access to the community to the west via a connection to Carmel Knolls Drive. This two lane collector will provide access to SR-56 via Carmel Knolls Rd. to Carmel Country Road. These access points are important in relieving any possible additional impacts to Del Mar Heights Road. ~~Direct access to the Equestrian Center will be served by Carmel Valley Road and Del Mar Heights Road.~~ Figure 24A illustrates the circulation and access points for the eastern portion of Neighborhood 4. ~~Table 7 outlines the transportation improvements that are required for incremental development phases.~~

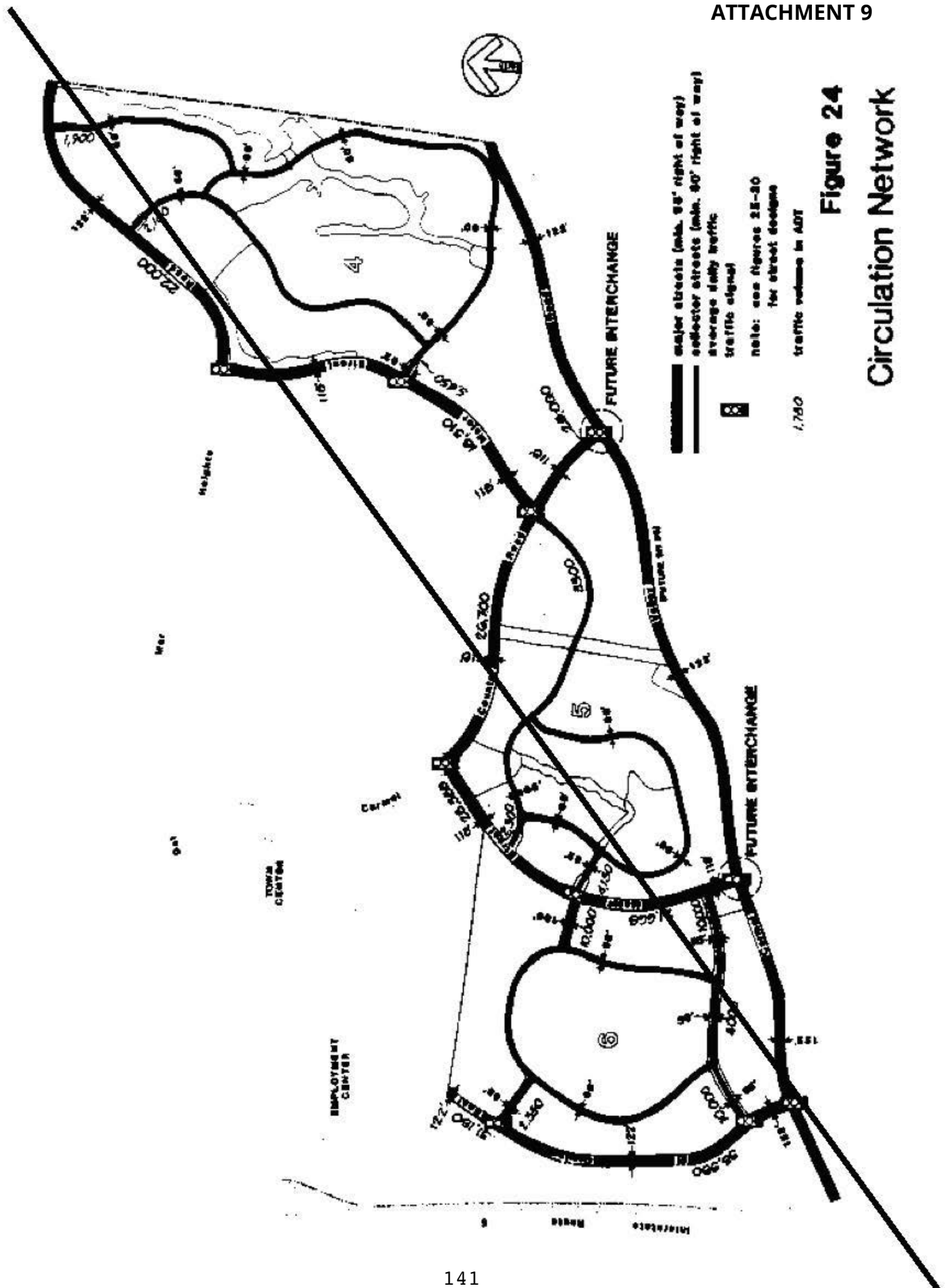


Figure 24
Circulation Network

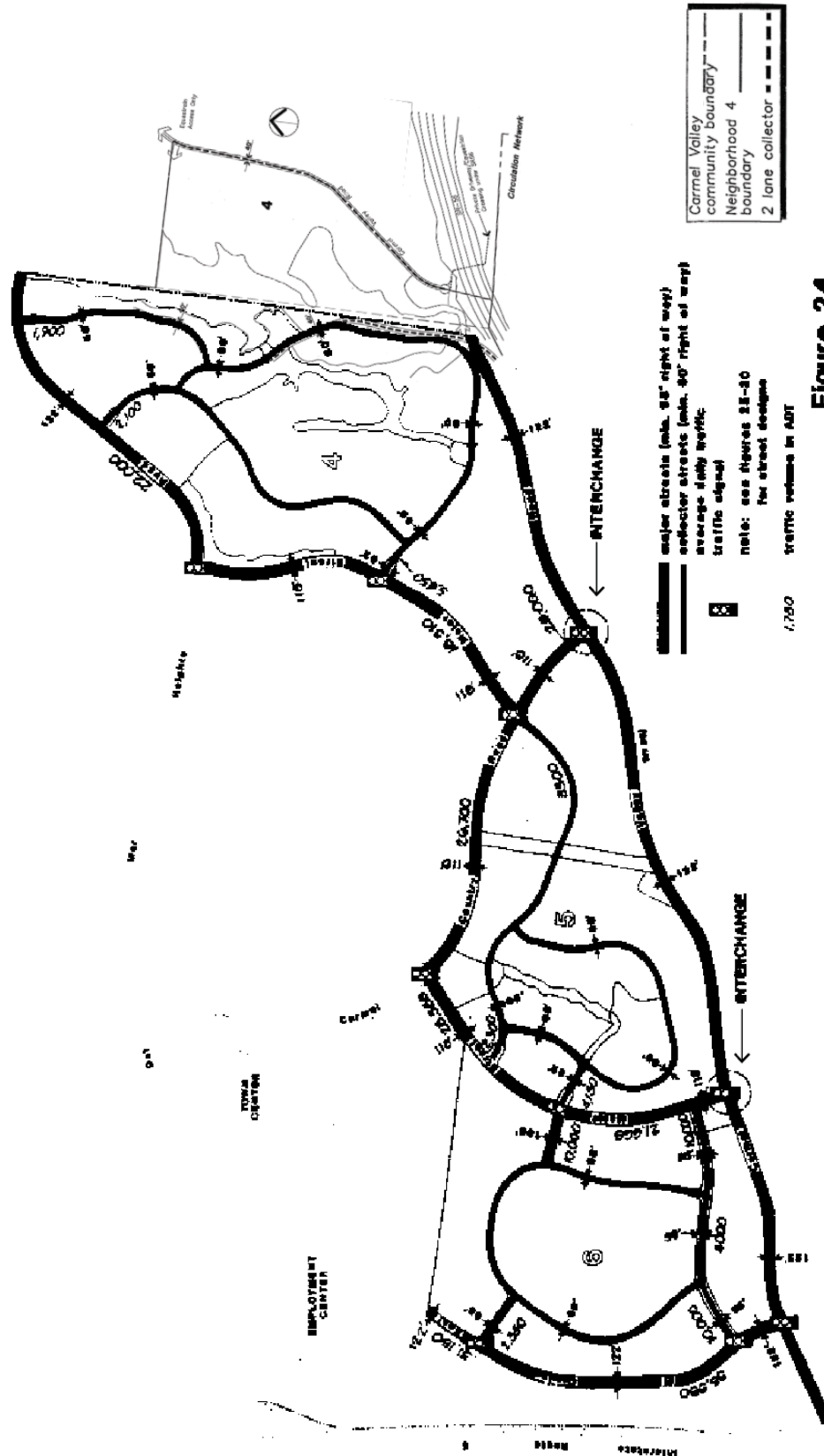


Figure 24
Circulation Network

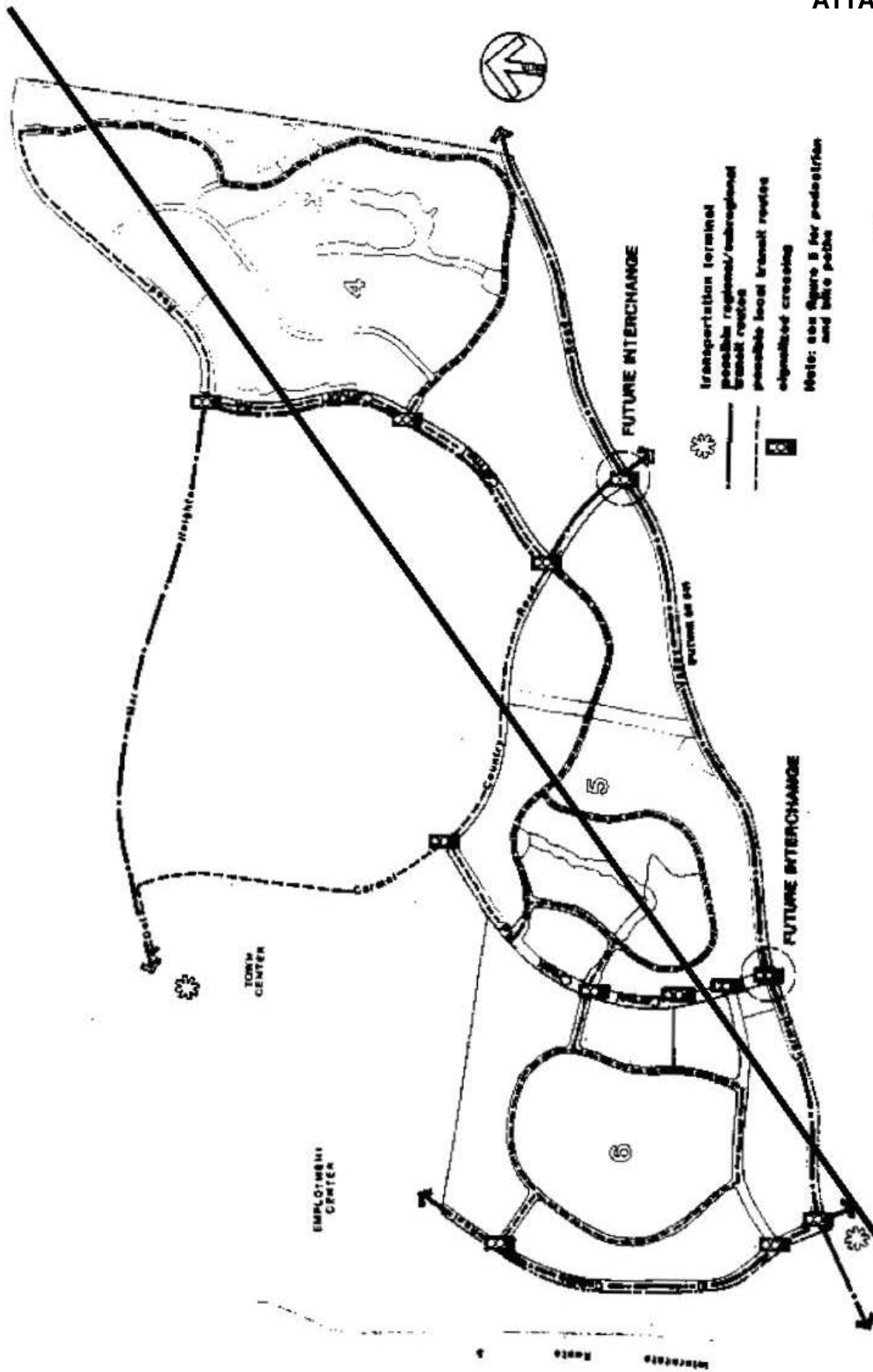
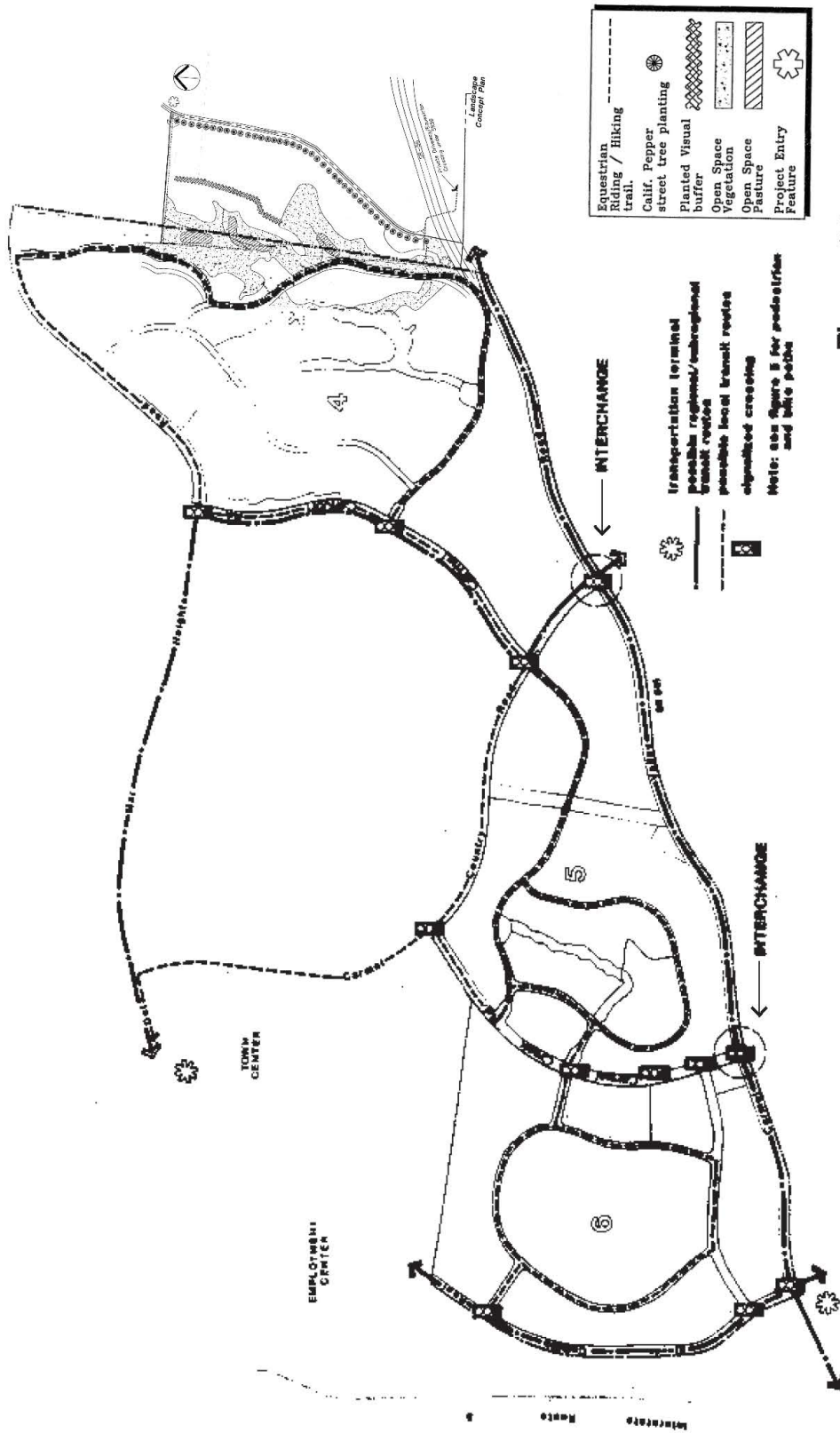


Figure 31
Alternative
Transportation Modes



- Special school crosswalks outlined with standard yellow painted lines in accordance with the Manual of Uniform Traffic Control Devices and located to the satisfaction of the City traffic engineer, on suggested routes to and from school.
- A special meandering walkway along specific collector streets and major streets where feasible, linking elements of each neighborhood together.
- A nature trail walkway system within Neighborhood 4.
- A pedestrian walkway system incorporated within easements and manufactured open spaces within Neighborhoods 5 and 6.

4. EQUESTRIAN TRAILS

The 1975 Plan for Equestrian Trails and Facilities suggested that the El Camino Real trail (No. 5) would extend from the western end of San Clemente Canyon northerly to the Guajome Regional Park north of Vista. Seven of the fifteen miles of trail within the City of San Diego would be located on publicly-owned land or utility easements, and the other eight miles would lie within areas proposed for open space acquisition. A portion of this trail system lies within Neighborhood 5 of Carmel Valley and was originally envisioned to utilize the SDG&E easement. However, since 1975, Carmel Valley Road has been designated as a future freeway with a grade elevation precluding the construction of a horse crossing at the point where the easement meets the future freeway. In order to accommodate this horse trail, it is proposed to bring its alignment next to Carmel Country Road to allow the horses to cross the future freeway by utilizing the future Carmel Country Road overpass. This alignment is illustrated in Figure 4.

~~The 8 acre equestrian center of Neighborhood 4 will have access to the trails in Neighborhood 4. Also, e~~Every effort will be made to connect the proposed trail system planned for the areas to the south, north and east, via:

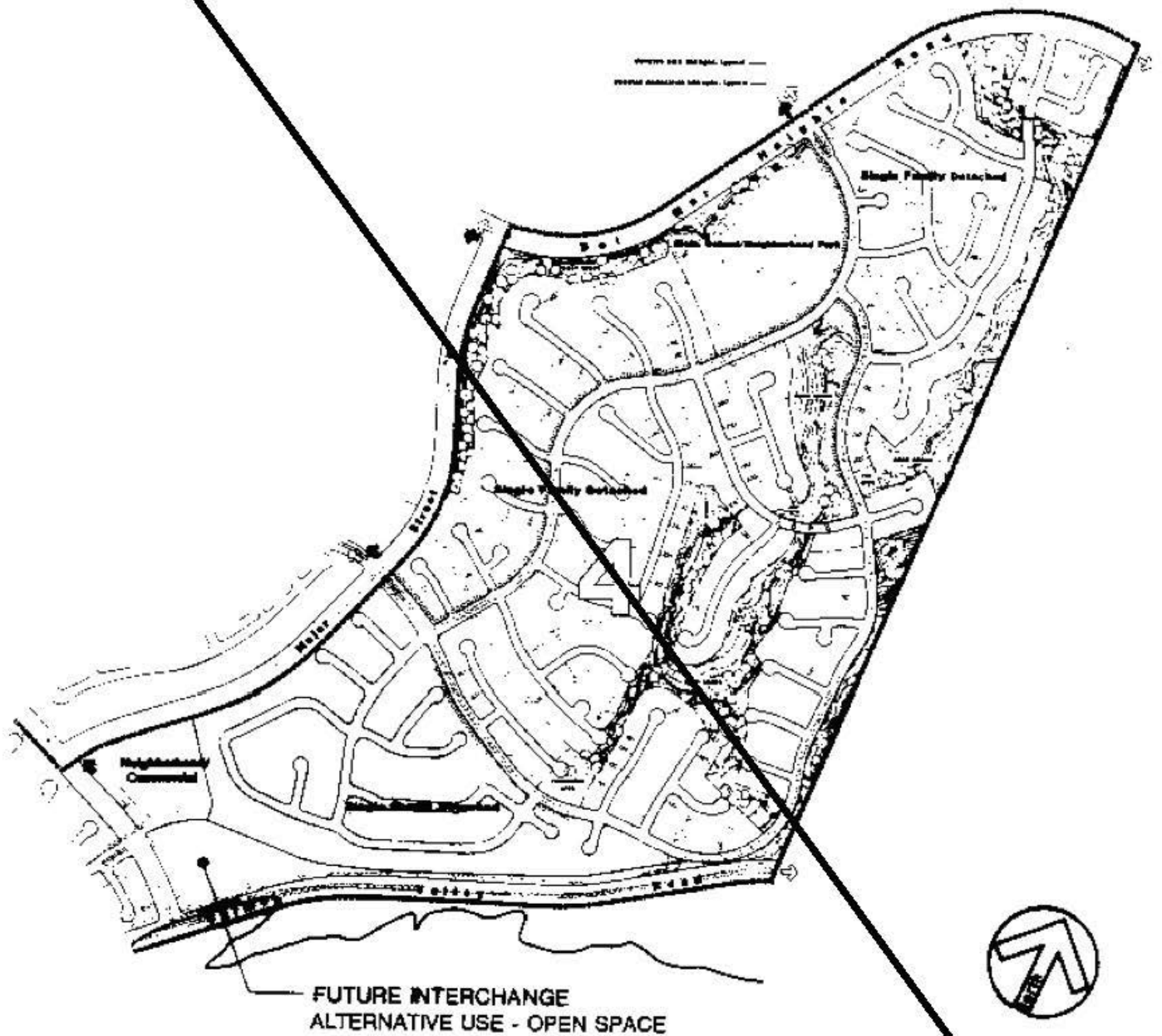
- The connection north from the northern boundary of the phase 5 area to the San Dieguito River Park
- The connection east to the proposed trail system in the NCFUA Subarea III, Subarea IV and onto the regional trail system
- The connection south to the Penasquitos Preserve.

Design standards contained within the 1975 Plan for Equestrian Trails and Facilities suggest that ten feet should be the designated trail width and where fencing is desirable or mandatory, the distance between the parallel fences should be fifteen feet. Accordingly, a fifteen foot distance is proposed for the horse trail adjacent to Carmel Valley Road and Carmel Country Road southeasterly of the SDG&E easement within Neighborhood 5. A total of twenty feet dedication behind the curb on the southerly side of Carmel Country Road is proposed. The first five feet would be taken up by a contiguous five foot pedestrian sidewalk. A rail fence would be constructed, leaving 15' between the rail fence and the rear property line walls of abutting property for the equestrian trail. Maintenance of the Equestrian Trail will be accomplished by the Carmel Valley Lighting and Open Space Maintenance District.

LEGEND

oooooooooooo Parkway Pedestrian Path

oooooooooooo Bike Lanes



NORTH CITY WEST CARMEL VALLEY PRECISE PLAN NEIGHBORHOOD 4

LAND USE SUMMARY

Item	Acres	#Dwelling Units	Estimated Population
NEIGHBORHOOD #4			
Multi-Family	4.00	38.00	95.00
Single Family Detached	250.02	1147.00	3326.00
Residential Care Facility	8.78		
Open Space	74.44		
*Recreation Center	(1.80)		
Elementary School/Park Site	16.10		
Major and Collector Streets	50.59		
Equestrian	8.00		
Totals	410.65	1185.00	3421.00

NEIGHBORHOOD #5

Single Family Detached	125.59	663.00	1923.00
Duplex (Paired Single Family)	29.52	234.00	585.00
*Open Space	(10.74)		
*Detention Basin	(1.44)		
Elementary School/Park Site	18.18		
Tennis Club	10.77		
Religious Facility	15.02		
Major and Collector Streets	43.57		
Totals	242.65	897.00	2508.00

NEIGHBORHOOD #6

Lot 9 (13-22 du/ac)	10.75	192.00	355.00
Lots 7,8,10 (7-15 du/ac)	52.66	550.00	1018.00
Lot 6 (7-15 du/ac)	10.40	100.00	185.00
Lots 11, 12 (13-22 du/ac)	25.98	422.00	781.00
Lot 13 (7-15 du/ac)	37.03	518.00	958.00
*Renaissance Parks	(3.87)		
*Open Space	(60.97)		
*Detention basin	(1.90)		
Employment Center	52.54		
Visitor Commercial	9.59		
Retail Commercial 13.10			
Major and Collector Streets	29.41		
Totals	241.46	1782.00	3297.00
Total Planning Area	893.98	3864.00	9226.00

ACREAGE SUMMARY

Land Use	Acres	% of Planning Area
Residential	552.67	61.8%
Open Space (Neighborhood 4)	74.44	8.3%
*Detention Basins (3.34)	(0.8%)	
*Open Space (Neighborhood 5)	(10.74)	(1.2%)
*Open Space (Neighborhood 6)	(60.97)	(1.2%)
Elementary School/Park Site	34.28	3.8%
Employment Center	52.54	5.9%
Visitor Commercial 9.59	1.1%	
Retail Commercial 8.10	0.9%	
Major and Collector Streets	123.57	13.8%
*Renaissance Parks	(3.87)	(0.6%)
Religious Facility 15.02	1.7%	
Tennis Club	10.77	1.2%
Residential Care Facility	8.78	0.9%
Equestrian	8.00	0.9%
Totals	894.76	99.4%**

* included within residential acreage

**Total does not equal 100% because of rounding

Table 7
Seabreeze Farms Transportation Mitigation

Seabreeze Farms Transportation Mitigation				
Table 7				
Improvement Number	Facility	Location	Required Improvement Description	Responsible Party
1	South Connection	Southwest of project to Carmel Knolls Drive.	Construct 2 lane residential street.	SB
2	Traffic Signal	Seagrove / Del Mar Heights Road	When warranted	SB
3	Carmel Valley Rd.	Del Mar Heights Rd. to the future cul-de-sac	Improve and widen roadway and intersection to 40'.	SB (a)
4	Del Mar Heights Rd.	Carmel Valley Rd./Camino Santa Fe to Carmel Valley community boundary.	Build the ultimate roadway	Others (b)
<p>Note: "Responsible party" shown in table are preliminary. A process of determining exact fair-share contributions to needed improvements shall be completed during the development phase.</p> <p>a) Seabreeze Farms is responsible for the cost of half-width improvements along the project frontage and fair share for off-site improvements.</p> <p>b) Seabreeze Farms is responsible for fair share contribution for the Del Mar Heights Road improvements.</p>				
SB = Seabreeze Farms				

P:\PROJECTS\060650.S\060655.08\EXCEL\5508TEL.XLS

PLANNING COMMISSION RESOLUTION NO. 4893-PC

INITIATING AN AMENDMENT TO THE
CARMEL VALLEY COMMUNITY PLAN AND NORTH CITY WEST CARMEL DEL
MAR NEIGHBORHOODS 3, 5, & 6 PRECISE PLAN TO
REDESIGNATE AN EIGHT ACRE SITE FROM EQUESTRIAN FACILITY TO SENIOR
LIVING FACILITY

WHEREAS, on September 21, 2017, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering a request to initiate an amendment to the Carmel Valley Community Plan and North City West Carmel Del Mar Neighborhoods 3, 5, & 6 Precise Plan; and

WHEREAS, the proposed amendment would change the land use designation of an eight acre parcel, from Equestrian Facility to Senior Living Facility; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, and written documents presented for this project, and had considered the oral presentations given at the public hearing; NOW, THEREFORE:

BE IT RESOLVED by the Planning Commission of the City of San Diego, that the initiation of a plan amendment in no way confers adoption of a plan amendment, that neither staff nor the Planning Commission is committed to recommend in favor or denial of the proposed amendment, and the City Council is not committed to adopt or deny the proposed amendment; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Diego determines that the proposed plan amendment meets the three criteria for initiation as described in section LU-D.10 of the Land Use Element of the General Plan:

- a) The amendment request appears to be consistent with the goals and policies of the General Plan and community plan and any community plan specific amendment criteria
- b) The proposed amendment provides additional public benefit to the community as compared to the existing land use designation, density/intensity range, plan policy or site design
- c) Public facilities appear to be available to serve the proposed increase in density/intensity, or their provision will be addressed as a component of the amendment process

The following issues have been identified with the initiation request. These plan amendment issues, as well as others that have been and/or may be identified, will be analyzed and evaluated through the community plan amendment review process:

- Appropriate land use designation and intensity for the site
- Extent of transit services to be offered by the applicant and connections to the existing transit network
- Extent of equestrian trails to be provided and maintained
- Sustainable design features

- Neighborhood interface including compatibility with community character, massing, impacts on canyon views, and transportation elements such as pedestrian and vehicular access and circulation
- Adequate on-site amenities to serve the senior population



Naomi Siodmok
Associate Planner
Planning Department

Approved on September 21, 2017

Vote: 7-0-0

PTS No. 559300

cc. Legislative Recorder, Development Services Department

CARMEL VALLEY COMMUNITY PLANNING BOARD

Meeting Minutes

7 pm, Thursday, October 25, 2018

Carmel Valley Library, Community Room
3919 Townsgate Dr., San Diego, CA 92130

Board Member	Representing	Present	Absent	Absence (Board Year)
1. Ken Farinsky	CV Voting District 1	x		1
2. Barry Schultz, Vice Chair	CV Voting District 2	x		2
3. Steve Davison	CV Voting District 3	x		2
4. Debbie Lokanc	CV Voting District 4	x		0
5. Frisco White, Chair	CV Voting District 5	x		0
6. VACANT	CV Voting District 6			
7. Annie Glenn	CV/ PHR Business	x		2
8. Allen Kashani, Secretary	CV Developer	x		1
9. VACANT	CV Property Owner			
10. Nate Smith	CV Property Owner			1
11. VACANT	PHR D1			
12. Stella Rogers	PHR D2	x		1
13. Vic Wintriss	Fairbanks Country Club/Via de la Valle/North City Subarea 2	x		2

A. CALL TO ORDER AND ATTENDANCE

B. APPROVAL OF MINUTES - September 27, 2018

September 27 Meeting:

Minutes were recorded as amended.

C. CONSENT AGENDA

- Report of Vacancy:** Accept the Secretary's Report of Vacancy for Carmel Valley Property Owner seat held by Nate Smith for having missed 3 consecutive meetings during the fiscal period.
 - Applicant - Allen Kashani, Secretary

Allen motioned to approve Consent Agenda. 2nd: Barry. Approved 9-0-0

D. PUBLIC COMMUNICATION - Speakers are limited to topics not listed on the agenda. Presentations are limited to 2 minutes or less.

Mariana, a fifth-grade student, asked the Board to vote yes to install stop signs, as requested in Action Item 6, so she may feel safe walking to school.

Ken Farinsky stated that Pacific Highlands Ranch Recreation Center will be opening an advisory council with public meetings to be announced.

E. ANNOUNCEMENTS - San Diego Police Department, Officer Trevor Philips

None.

F. WRITTEN COMMUNICATIONS

None.

G. COMMUNITY PLANNER REPORT - Nathan Causman (CV/PHR/NCFUA Sub 2) and Lesley Henegar (Fairbanks CC/Via de la Valle), City of San Diego

None.

H. COUNCIL DISTRICT 1 REPORT - Steve Hadley, Office of Councilmember Barbara Bry

Steve Hadley reported that tree removing and pruning at Carmel Mission Park is set to begin in mid-November and is estimated to last six weeks. Steve stated that removed trees will be turned into mulch and reused in the park. Steve stated the process will be noisy and start at 7:00 a.m. each morning. Steve stated that trees and bushes will be planted at Carmel Mission Park. Ken Farinsky reminded the community that trees are planted by city staff in the maintenance assessment district and are not planted by SDG&E. Ken reminded the community that the MAD subcommittee will be choosing which trees will be planted.

Two residents shared their concern about dogs in city parks.

I. MAYOR'S REPORT - Francis Barraza, Office of Mayor Faulconer

None.

J. COUNTY SUPERVISOR'S REPORT - Corrine Busta, Office of Supervisor Kristin Gaspar

None.

K. STATE ASSEMBLY REPORT - Bob Knudsen Office of Assemblymember Brian Maienschein

None.

L. STATE SENATE REPORT - Chevelle Newell-Tate, Office of State Senator Toni Atkins
None.

M. US CONGRESS - Kiera Galloway, Office of US Congressman Scott Peters

None.

N. INFORMATION AGENDA:

1. **Hacienda Del Mar:** Project update and request to be forwarded to the Design and Planning Subcommittee.
•Applicant - Milan Capital Management

The applicant stated that they submitted a comprehensive submittal with updated site plans and architecture on July 13, 2018 and it is currently being reviewed by city staff. The applicant stated that a cycle 14 letter is expected next week. The applicant stated that they will receive input and start resolving issues; afterward, they will begin working on the environmental impact report.

2. **Del Mar Union School District:** Update of current high importance issue of School Facilities and Capital Improvement Planning and Educational Priorities for DMUSD.
•Applicant - Holly McClurg, Superintendent

Holly McClurg stated that the district has decided through many community meetings to build a new neighborhood school in eastern Pacific Highlands Ranch. The school board passed a resolution to put Measure MM on the ballot to build a new school. Stella Rogers asked what would happen if the measure does not pass. Holly responded that it would be necessary for the school board to evaluate how it deals with student growth. A possible solution includes using portables to increase the number of classrooms.

Holly stated that schools in the district were in need of modernization; however, the funds were not available.

Karen Dubey asked if it would be possible to change school start times. Holly responded that changing school times would have a ripple effect.

O. ACTION AGENDA:

1. **Bylaw Revision:** Direct Chair to submit to City of San Diego's for approval the revision of Article III, Section 2 (2nd Paragraph) to change that Property Owners may be either in CV or PHR.
•Applicant - Chair

Allen motioned to move Bylaw Revision to Consent Agenda. 2nd: Barry. Approved 9-0-0

2. **Consideration of Stop Sign Installations Recommended in the 2018 PHR Livability Report and Subsequent Community Requests:** Consider clarification of board action that the stop signs at Lopelia Meadows and Silver Brush Creek would be immediately requested by the board and that other stop signs will be considered individually at a later date prior to Council Office requesting those installations.
 - Applicant - Chair

Item combined with Item 6.

3. **Del Mar Highlands Signage:** Presentation by Jones Sign for Neighborhood Use Permit.
 - Applicants - Kathy Corvin, Jones Sign & Don Armstrong, DMH

Item continued to January.

4. **Seabreeze Senior Living:** Consider the redevelopment of the existing Seabreeze Farms Equestrian Center into a fully licensed residential care facility for the elderly (RCFE) with adjacent independent senior cottages.
 - Applicant - Ryan Leong & Rim Rivard, SRM Development

Ryan Leong stated that the site is 10 acres and located off Carmel Valley Road. Ryan stated that the average occupancy of Carmel Valley senior housing is 97%. Ryan indicated that unmet demand is 300+ units. Ryan stated the project is meant to meet needs for independent, assisted, and memory care. Ryan stated that the percentage of residents owning vehicles is <25% with the project providing shuttles and transportation services for residents. Ryan highlighted the results of community outreach efforts. Ryan stated that the next steps include preparing the environmental document and attending a public hearing with the Planning Commission. Ryan stated the density of the project will increase to 8.7 units per acre in order to offset the addition of affordable housing on site; this results in an increase from 40 units to 65 units. Andrew stated that vegetation will provide a shield for nearby neighbors.

Debbie Lokanc stated that she appreciated the over embellishment of landscaping and consideration of the community's input. Ken Farinsky stated that enhanced pavement increases noise and advised to keep enhanced pavement to a minimum. A resident shared concerns of emergency responders reaching the facility. Ryan responded that the plan has passed a fire inspection. A resident asked if the facility provides enough parking for visitors at guest peak hours. Ryan answered that the facility provides more parking than is required for a facility of this size. A second resident asked what the capacity of the facility is. Ryan responded that at full capacity the facility could house 145 residents.

Allen motioned to Approve Seabreeze Senior Living Facility as Presented, conditional that the Board shall review any changes and also be provided an opportunity to review any changes to the precise plan. 2nd: Debbie. Approved 9-0-0

5. **Verizon Blazing Star:** Neighborhood Use Permit (Process 2) for the installation of a WCF located at 13385 Highlands Place in the CC-1-3 zone. Project consists of (12) panel antennas oriented in 3 sectors of 4 antennas/sector. The antennas are architecturally integrated and concealed behind FRP screening painted and textured to match the existing exterior building façade. Associated equipment is located behind the rooftop parapet walls on the upper level of the parking garage without impact to parking spaces.
 - Applicant - Kerrigan Diehl, Plancom, Inc. 6.

Kerrigan Diehl stated that the location of the project is at the former village loop in a new residential complex.

Debbie Lokanc asked if it would be possible for Verizon to add new antennas. Kerrigan stated that it would be possible with a new use permit. Debbie Lokanc provided the contact information for Donald Campbell who can provide information about cell towers. Phone: (202) 418-2405. Email: donald.campbell@fcc.gov

Allen motioned to Support Verizon Blazing Star as shown on the document sheets with black vinyl-coated chain link. 2nd: Ken. Approved 8-1-0

6. **Stop Signs:** Consider the installation of multiple stop signs in the PHR neighborhoods of Olvera, Almeria, Watermark and PHR East.
 - Applicant - Bruce Cameron & Kurt Knutson

Bruce Cameron presented on requested traffic solutions in the Olvera, Almeria, and Watermark neighborhoods. Barry Schultz asked why Pacific Highlands Ranch and the City are refusing to approve the stop signs. Steve Hadley indicated that Pardee Homes is currently in possession of the streets until the City accepts the streets. Allen Kashani noted that Pardee is in the process of turning over the streets. Steve stated that there is wide support in the community to install stop signs and traffic calming measures in the neighborhood.

Allen Kashani asked if the stop signs are being requested to reduce cut-through congestion, or for pedestrian safety. Allen noted that at Portico cut-through traffic diverted from Carmel Valley Road congestion created safety concerns in the Portico neighborhood, which stop signs did not deter, and that eventually a temporary barrier administered approximately between 7:30-8:00AM on school days became necessary – though Portico is a private street neighborhood. Melissa Strauss from the public responded indicating that the purpose of the request was for safety.

Barry Schultz asked if the traffic measures were solely a request due to peak times. Bruce answered that a majority of the stop signs are requested due to safety concerns as a result of elevation and blind turns. Barry stated that vehiclists who ignore stops signs will continue to ignore stop signs. Ken Farinsky responded that stop signs will encourage vehiclists to stop and/or slow down as opposed to an unmarked intersection. Vic Wintriss reminded the community that it is important to be mindful of stop signs as stops result in pollution and used fuel.

Chair White suggested that if no-right-turn signs are not possible, the community should consider placing stop signs at these intersections.

In addition to the original stop signs requested, the applicants for Olvera, Almeria, and Watermark requested:

- A stop sign on Pacific Highlands Ranch at Mariposa Drive and a traffic light study to be conducted at this intersection
- An all-way stop on Sagebrush Bend Way at Seafaring Way
- An all-way stop at the intersection of Golden Cypress Place and Silverbush Creek Street.
- A stop sign at Golden Cypress Place and Montez Villa Road.
- The removal of an all-way stop at Sagebrush Bend Way and Golden Larch Place from the original stop sign request document.

Kurt Knutson presented on possible traffic solutions in Pacific Highlands Ranch East. Kurt requested stop signs at three intersections. In addition to the original stop signs requested, the applicants for Pacific Highlands Ranch East requested:

- The City to evaluate traffic at Carmel Valley Road and Morado Trail

Two motions were created. The first motion was made for traffic solutions in the Olvera, Almeria, and Watermark neighborhoods. A second motion was made for traffic solutions in Pacific Highlands Ranch East.

Barry motioned to Approve Olvera, Almeria, and Watermark Items as listed including the request of a traffic light study addition to Item 1, a request for an all-way stop for Item 3, deleting Item 16, and the addition of Item 20: an all-way stop at Golden Cypress Place and Silverbush Creek Street. 2nd: Stella. Approved 8-1-0

Stella motioned to Approve the installation of stop signs TS-2, TS-3, and TS-4 and a request for the City to evaluate the intersection at Carmel Valley Road and Morado Trail in Pacific Highlands Ranch East. 2nd: Ken. Approved 8-1-0

7. PHR Village: Confirmation of prior Tower approval on Lot 26.

- Applicant - Greg Sorich, R & V Management

Greg Sorich, as the applicant, stated that the proposed tower is 35-feet high and the building is 10 feet by 10 feet. Greg stated that the tower was approved in Exhibit A in 2000. Greg stated that the style, stone, and design match the surrounding area. Dan stated the tower has water, electricity, and storage space for community events.

Karen Dubey stated that the tower looks like it has no use and suggested adding a clock. Greg stated that the tower will be owned by the City and they may be weary of adding a clock due to maintenance.

Annie motioned to Support Tower as Presented with the additional suggestion that no new trees will be planted to block the view corridor and the Tower will have enough electricity to support concerts. 2nd: Barry. Approved 8-1-0

P. SUBCOMMITTEE MEETING REPORTS AND ANNOUNCEMENTS

Subcommittee	Representative(s)	Report	Next Meeting
1. Design & Planning Subcommittee	Chair White, Jan Fuchs & Anne Harvey	No Report.	No Report.
2. CV FBA and PHR FBA Subcommittees	Chair White	No Report.	No Report.
3. CV MAD Subcommittee	Ken Farinsky	No Report.	Next meeting is November 6, 2018 at 4:30 p.m. at Carmel Valley Recreation Center.
4. CV MAD N10 Subcommittee	Donald Billings	No Report.	No Report.
5. PHR MAD Subcommittee	Stella Rogers	No Report.	No Report.
6. Bylaws, Policy & Procedures Subcommittee	Chair White	No Report.	No Report.
7. Open Space Subcommittee	TBD	No Report.	No Report.
8. CPC Subcommittee	Barry Schultz	Barry stated that the City is working on the Park Master Plan and soliciting comments. Barry encouraged the community to look over the plan and submit comments.	No Report.
9. Livability (Special)	Ken Farinsky/Chris Moore	No Report.	No Report.

Q. CHAIR'S REPORT

None.

R. OLD / ONGOING BUSINESS


None.

S. ADJOURNMENT

The Board adjourned at 10:51 p.m.

T. NEXT MEETING

Thursday, January 24, 2019
Carmel Valley Library, 7 p.m.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
---	---	--	--

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☒ Other Conditional Use Permit, Community Plan Amendment

Project Title: Seabreeze Senior Living

Project No. For City Use Only: 600 829

Project Address: 5720 Old Carmel Valley Road, San Diego, CA 92130

Specify Form of Ownership/Legal Status (please check):

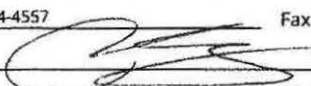
☐ Corporation ☒ Limited Liability -or- ☐ General - What State? WA Corporate Identification No. _____
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Bell Valley Holding Company, LP ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 5720 Old Carmel Valley Road
 City: San Diego State: CA Zip: 92130
 Phone No.: (760) 445-2633 Fax No.: _____ Email: chad@seabreezefarms.com
 Signature: _____ Date: 3/9/16
 Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Ryan Leong (SRM Carmel Valley, LP) ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 111 N Post, Suite 200
 City: Spokane State: WA Zip: 99201
 Phone No.: (509) 944-4557 Fax No.: _____ Email: ryan@srmdevelopment.com
 Signature:  Date: 3/9/18
 Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.



SEABREEZE FARMS SENIOR LIVING

5720 OLD CARMEL VALLEY ROAD
SAN DIEGO, CA 92130
PLANNING RESUBMITTAL 03.29.2019

brick

ARCHITECT
brick
1266 66th Street, Suite 1
Emeryville, CA 94608
510.516.0167
www.brickinc.com

CLIENT
SRM Carmel Valley, LP
111 N. Post St.
Spokane, WA 99201

BULLET POINT NARRATIVE:

Redevelopment of an existing equestrian facility as a senior Residential Care Facility, including demolition of the existing equestrian facility and construction of a 128-unit senior residential care facility. A two-story main building (approximately 118,342 square feet in size) would be located in the northern portion of the project site, providing 104 assisted living units and 14 assisted living memory care units. Five single-story duplex casitas would be located in the southern portion of the project site, totaling approximately 17,260 square feet. Each duplex would include two two-bedroom units. Indoor residential amenities include dining areas, activity rooms, a theater/chapel, fitness room, beauty parlor, and other resident-supportive amenities. Outdoor residential amenities would include a dining patio areas, a large central open courtyard with additional outdoor courtyards on the perimeter of the building, scenic overlooks, internal walking trails, and connection to the off-site regional trail. Access to the project site would remain via an improved full-width paved drive off existing Old Carmel Valley Road.

The project is consistent with the underlying AR-1-1 zoning and requires the following discretionary approvals:

- Conditional Use Permit to allow for a residential care facility.
- Site Development Permit due to the presence of adjacent off-site and onsite Environmentally Sensitive Lands (steep slopes and biological resources) and due to an amendment to Carmel Valley Planned District (CVPD) Development Permit and Resource Protection Ordinance (RPO) permit no. 96-7919.
- Planned Development Permit to allow for deviation to lot coverage (17.5 percent where 10% allowed).
- Amendment to the Carmel Valley Community Plan and North City West Carmel Del Mar Neighborhoods 4, 5 & 6 Precise Plan to change the existing land use designation from RA - Recreational Area Equestrian Facility to Residential Care Facility.

PROJECT TEAM:

PLANNING AND ENVIRONMENTAL:
KLR PLANNING - Karen L. Ruggels
P.O. BOX 882675
SAN DIEGO, CA 92168
karen@klrplanning.com
619.579.9505

LANDSCAPE AND CIVIL ENGINEER:
PROJECT DESIGN CONSULTANTS - Greg Shields
701 B STREET, SUITE 800 SAN DIEGO, CA 92168
greg@projectdesign.com
619-591-3366

ARCHITECT:
BRICK - MATHEW COMBRINK
1266 66TH STREET EMERYVILLE, CA 94608
MCOMBRINK@BRICK-INC.COM
510.488.8726

GEOTECHNICAL CONSULTANT:
GEOCON - Rod Mikesell
6980 Flanders Drive
San Diego, CA 92121
mikesell@geoconinc.com
(658) 558-6900

TRAFFIC ENGINEER:
UNSCOTT, LAW, & GREENSPAN ENGINEERS - John Boorman
4542 RUFFNER STREET, SUITE 100
SAN DIEGO, CA 92111
boorman@lgeengineers.com
(658) 300-8800 x236

AIR QUALITY CONSULTANT:
Birdseye Planning Group - Ryan Birdseye
1354 York Drive
Vista, CA 92084
vltra@earthlink.net

BIOLOGICAL RESOURCES CONSULTANT:
ALDEN ENVIRONMENTAL - Greg Mason
3245 UNIVERSITY AVE. #1188
SAN DIEGO, CA 92104
(619) 284-5815
gmason@aldenenv.com

NOISE CONSULTANT:
DBF - Jeff Fuller
3129 Tiger Run Court, Suite 202
Carlsbad, CA 92010
(619) 809-0712
jfuller@dbf-associates.com

STRUCTURAL ENGINEER:
DCI ENGINEERS - CRAIG CROWLEY - 509.227.6902

SANITARY SEWER ENGINEER:
DEXTER WILSON ENGINEERS - ANDREW OVEN - 760.438.4422

DEVELOPMENT SUMMARY

ASSESSOR PARCEL NUMBERS:	305-100-45 (8.78 acres) 305-100-46 (1.14 acres) 305-100-47 (0.2 acres)
LEGAL DESCRIPTION	REAL PROPERTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: LOTS 153, 155 AND 156 OF SEABREEZE FARMS IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 14007, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO ON JULY 21, 2000
OWNER:	SRM Carmel Valley, LP 111 N. Post St. Spokane, WA 99201
TYPE OF CONSTRUCTION:	MAIN BUILDING: TYPE VA CASITAS: TYPE VA
OCCUPANCIES:	B, R2.1 (A2, A3 ACCESSORY TO B OCCUPANCY)
ZONING DESIGNATION: OVERLAY ZONES:	AR-1-1, CVPD-SF2, CVPD-OS HIGH FIRE SEVERITY ZONE, ENVIRONMENTALLY SENSITIVE LANDS, SENSITIVE BIOLOGICAL RESOURCES AND STEEP SLOPES
EXISTING USE: PROPOSED USE:	EQUESTRIAN FACILITY RESIDENTIAL CARE FACILITY
GEOLOGICAL HAZARD CATEGORY:	BUILDING PAD AREA: CATEGORY 53 SLOPED AREA: CATEGORY 23
LANDSCAPE AREA:	104,948 SF
YEAR EXISTING STRUCTURES BUILT:	2002-2003
GROSS SITE SQUARE FOOTAGE:	10.12 ACRES
GROSS FLOOR AREA:	135,602 GSF

SHEET INDEX

GENERAL	
G000	COVER, DEVELOPMENT NARRATIVE, SHEET INDEX
G001	ADDITIONAL PROJECT DATA
CIVIL	
C1	COVER SHEET
C2	STREET DETAILS AND SECTIONS
C3	BMP DETAILS
C4	EXISTING CONDITIONS
C5	STEEP SLOPE ANALYSIS
C6	BIOLOGY MAP
C7	GRADING AND DRAINAGE PLAN
C8	GRADING AND DRAINAGE PLAN
C9	GRADING AND DRAINAGE PLAN
C10	WATER AND SEWER PLAN
C11	WATER AND SEWER PLAN
C12	WATER AND SEWER PLAN
C13	SITE CROSS SECTIONS
C14	FIRE ACCESS PLAN
C15	SITE PLAN ACCESSIBILITY, PARKING AND STRIPING
LANDSCAPE	
L-1	LANDSCAPE CONCEPT PLAN
L-2	LANDSCAPE CONCEPT ENLARGEMENTS
L-3	LANDSCAPE CONCEPT LEGEND
L-4	LANDSCAPE HYDROZONE PLAN
L-5	BRUSH MANAGEMENT PLAN
L-6	EXISTING TREE INVENTORY
L-7	PEDESTRIAN CIRCULATION EXHIBIT
ARCHITECTURAL	
A100	SITE PLAN
A101	GROUND FLOOR PLAN (MAIN BUILDING)
A102	SECOND FLOOR PLAN (MAIN BUILDING)
A103	ROOF PLAN (MAIN BUILDING)
A111	CASITA PLANS
A300	BUILDING ELEVATIONS (MAIN BUILDING)
A301	BUILDING ELEVATIONS (MAIN BUILDING)
A310	CASITA ELEVATIONS
A400	BUILDING SECTIONS
A500	ILLUSTRATIVE PERSPECTIVES

03.29.2019 planning resubmittal
01.25.2019 planning resubmittal
11.19.2018 planning resubmittal
11.02.2018 100% schematic design issue
09.29.2018 planning resubmittal
07.24.2018 planning resubmittal
03.07.2019 planning submission

rev date issue



5720 old carmel valley road
san diego, ca 92130
project number: 17-162
original drawing
preparation date: 03/22/18

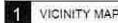
scale: as noted

PLANNING RESUB.

COVER,
DEVELOPMENT
NARRATIVE,
SHEET INDEX

G000

sheet no. 1 of 34



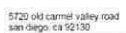
	AR-1-1 REQUIREMENT**	PROPOSED
MAX PERMITTED DENSITY:	1	*N/A
MIN LOT AREA:	10 ACRES	10.12 ACRES
MIN LOT DIMENSIONS: WIDTH STREET FRONTAGE LOT DEPTH	200' 200' 200'	1752' - 0" 52' - 6" 1202' - 8"
SETBACK REQUIREMENTS: FRONT SIDE REAR	25' 20' 25'	25' - 2" N/A 811' + 10"
MAX STRUCTURE HEIGHT:	30' *ADDITIONAL HEIGHT ALLOWED PER SEMC 131 (344) FOR EVERY ADDITIONAL 10' OF SETBACK, ADDITIONAL 1/2' OF HEIGHT ALLOWED	30'
MAX LOT COVERAGE:	10%	*17.5% (76,902 SF BUILDING PAD)
MIN FLOOR AREA:	APPLIES	N/A
REFUSE AND MATERIALS STORAGE:	APPLIES	COMPLIES
VISIBILITY AREA:	APPLIES	COMPLIES

UNIT BREAKDOWNS:

-- ALL UNITS HAVE MINIMUM 113 SF SLEEPING, 47 SF LIVING, 10 SF STORAGE PER RESIDENT --
-- ALL UNITS HAVE INTERIOR REFUSE AND RECYCLING AREA IN KITCHEN --

PROJECT INFORMATION

03/29/2019	planning resubmittal
01/25/2019	planning resubmittal
11/10/2018	planning resubmittal
11/02/2018	100% schematic design issue
09/28/2018	planning resubmittal
07/24/2018	planning resubmittal
03/07/2018	planning submission



project number: 17-162
original drawing
preparation date: 03/02/18

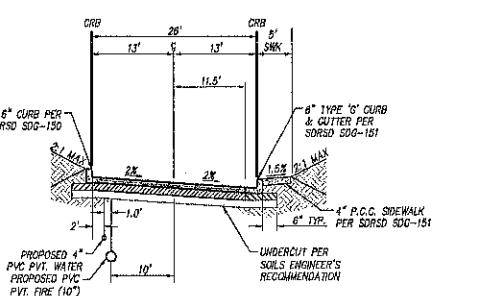
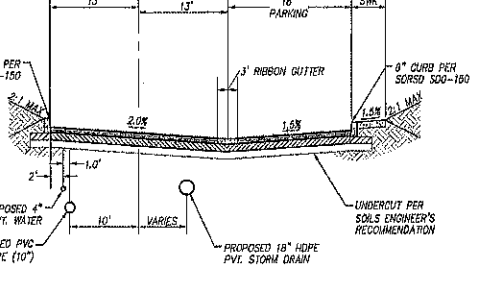
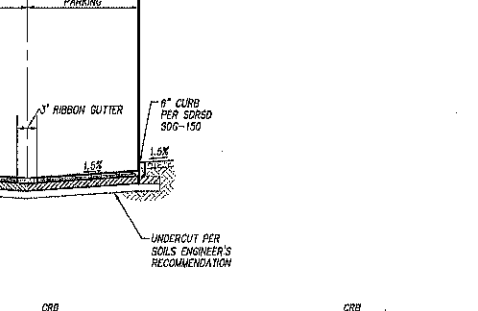
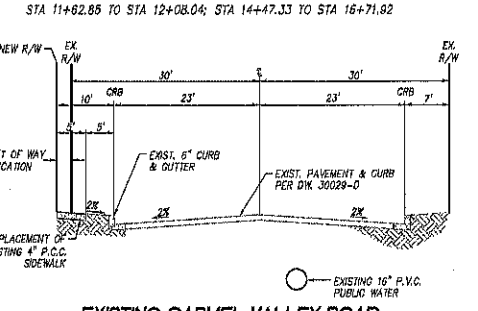
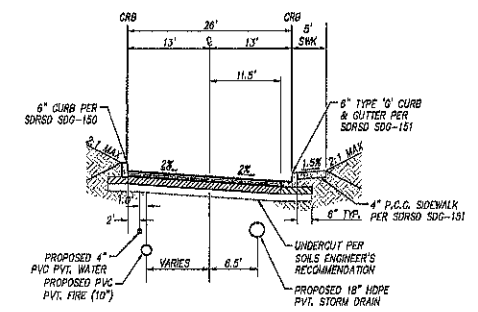
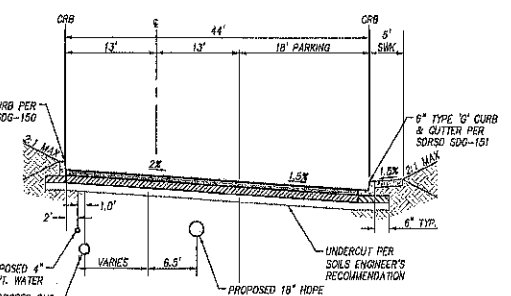
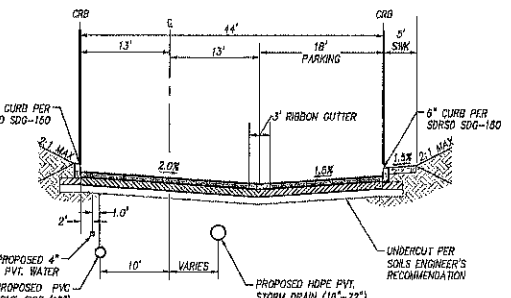
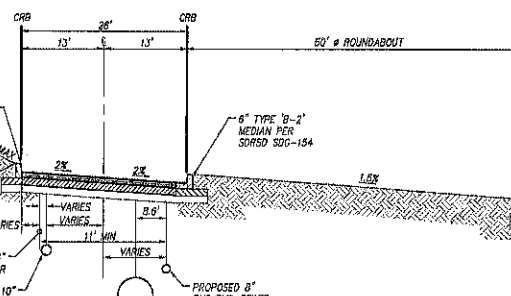
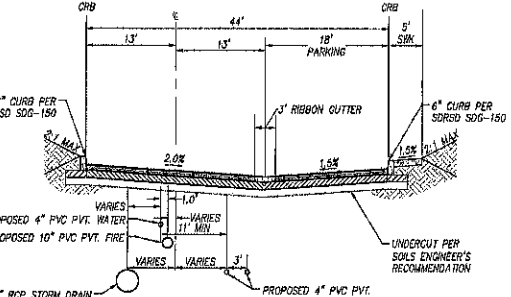
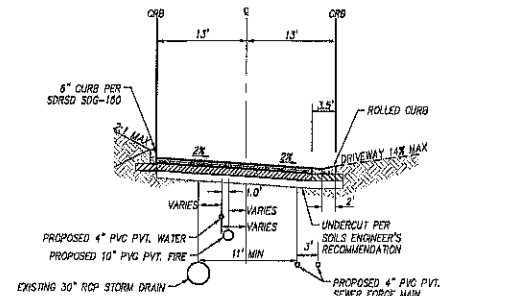
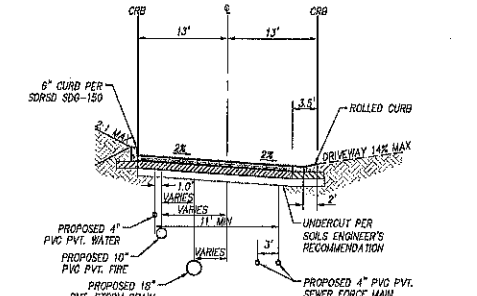
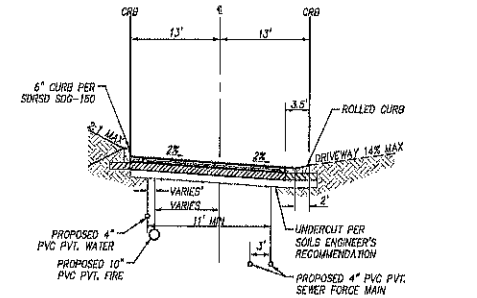
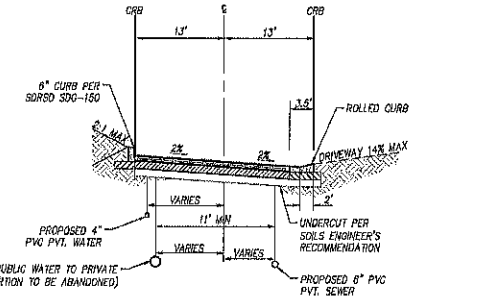
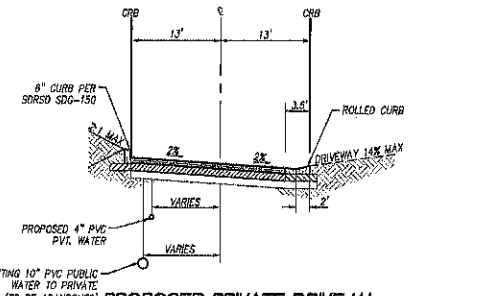
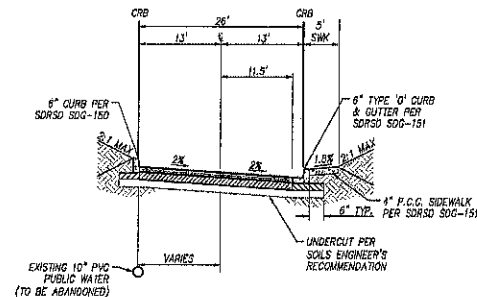
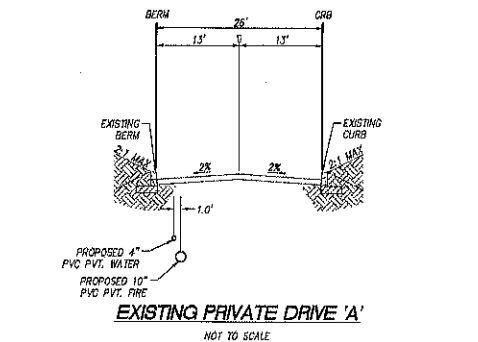
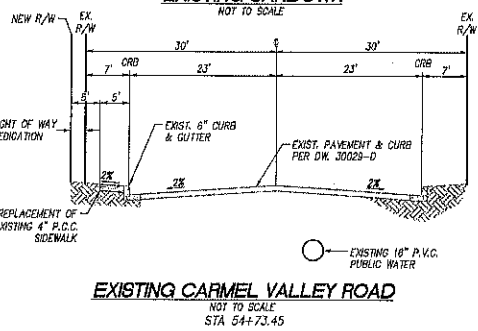
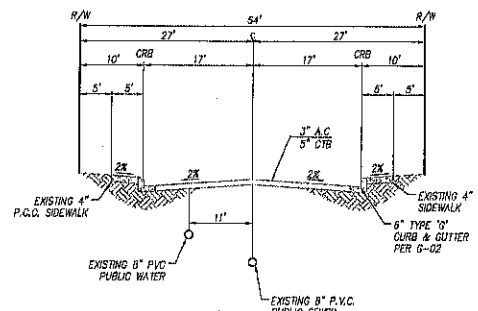
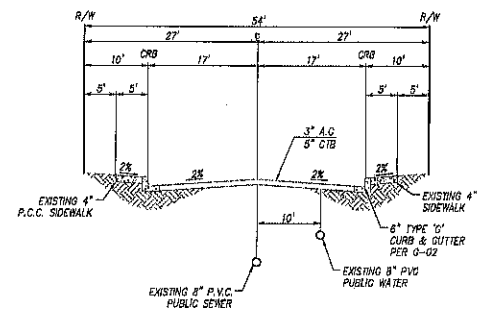
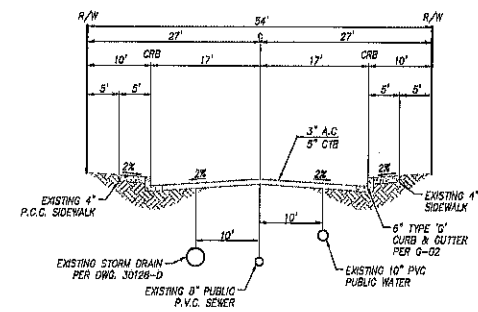
scale, as noted

ADDITIONAL PROJECT DATA

sheet no. 2 of 34

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



ARCHITECT
BRICK
1288 68th Street, Suite 1
New York, NY 10009
516.516.0467
www.brickinc.com

CLIENT
Seabreeze Senior Living

PROJECT DESIGN CONSULTANTS
Seabreeze Senior Living
20 E. 10th Street, Suite 100
Pittsburgh, PA 15203

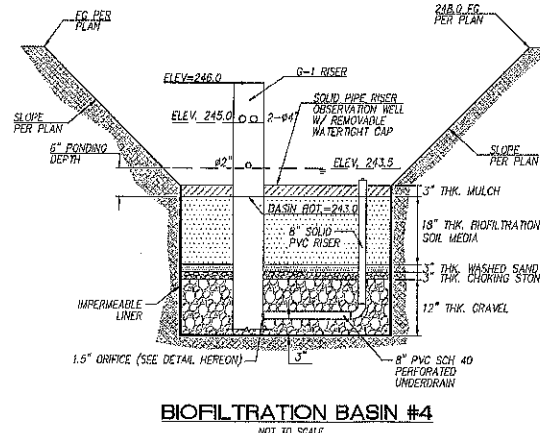
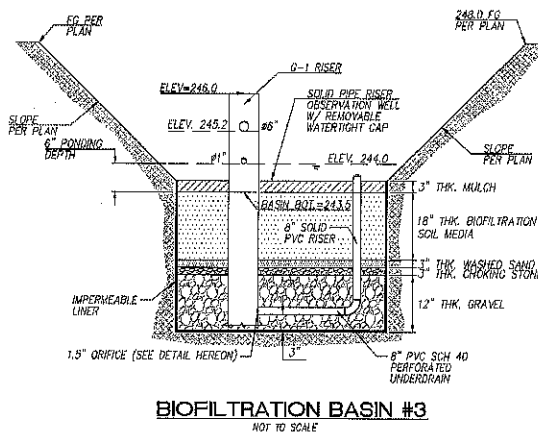
11.19.2018 PLANNING RESUBMITTAL
09.20.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.07.2018 PLANNING SUBMISSION



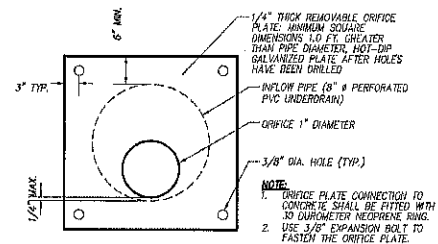
6720 old Carmel Valley Road
San Diego, CA 92120
project number: 4308
original drawing
preparation date: 02/17/18
scale: as noted

STREET DETAILS
AND SECTIONS

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



2. FOR PLANTING AND IRRIGATION, SEE LANDSCAPING PLAN SHEETS



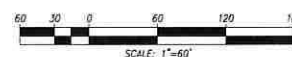
REMOVABLE ORIFICE RESTRICTOR PLATE DETAIL
FOR UNDERDRAIN
NOT TO SCALE

 Δ

sheet no. 5 of 34

Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the client of Brick Architecture and Interiors, Inc. and may not be used, reused, copied, or reproduced in any form without the express written consent of Brick Architecture and Interiors, Inc. File Name: 1-4-2018\cnp\01WC_Flows [Site Development]\V308_SDP_03.dwg, Date Last Saved: 7/23/2018 11:0:24 PM, Date Plotted Last: 11/19/2018 2:57:25 AM

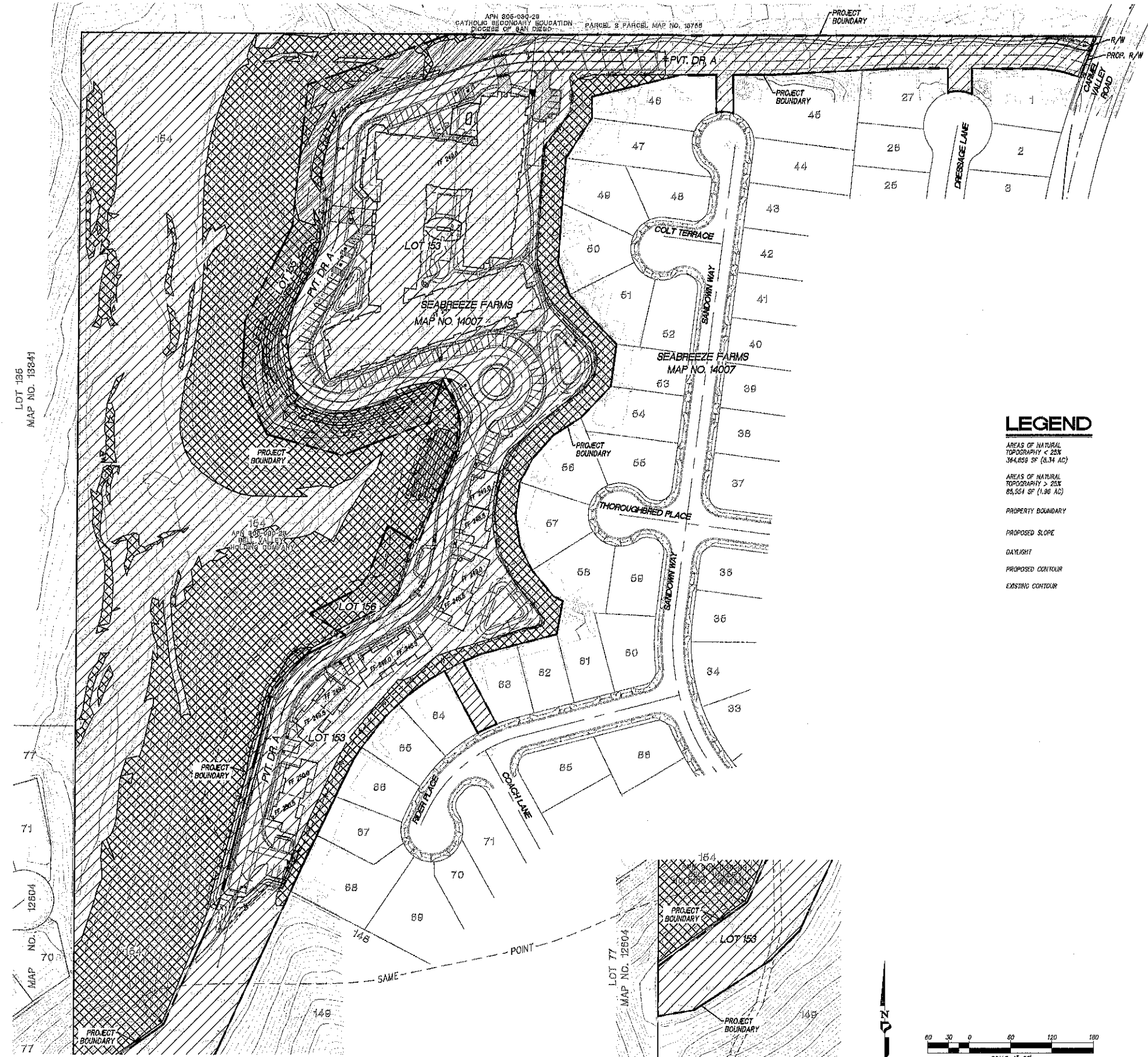
LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



sheet no. 6 of 34

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



LEGEND

AREAS OF NATURAL
TOPOGRAPHY < 25%
364,658 SF (8.34 AC)

AREAS OF NATURAL
TOPOGRAPHY > 25%
85,564 SF (1.96 AC)

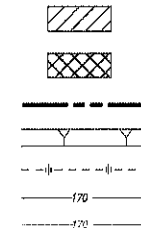
PROPERTY BOUNDARY

PROPOSED SLOPE

DAYLIGHT

PROPOSED CONTOUR

EXISTING CONTOUR



ARCHITECT
BRICK
1208 06th Street, Suite 1
San Diego, CA 92108
619.519.1187
www.brick-inc.com

CLIENT
Seabreeze Farms Senior Living

PROJECT DESIGN CONSULTANTS
THOMAS J. LEE & ASSOCIATES, INC.
301 E. Main, Suite 200
San Diego, CA 92101
619.594.1114

11.15.2018 PLANNING RESUBMITTAL
09.25.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.07.2018 PLANNING SUBMISSION

REV date issue



6720 Old Camino Valley Road
San Diego, CA 92130
project number: 4306
original drawing
preparation date: 03/07/18

scale: as noted
planning submittal

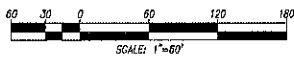
STEEP SLOPE
ANALYSIS

C-5

sheet no. 7 of 34

Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the client of Brick Architecture and Interiors, Inc. and may not be used, copied, or reproduced in any form without the express written consent of Brick Architecture and Interiors, Inc.
File Name: P:\4306\Drawings\Drawings\Site Development\4306_SDP_06.dwg, Date Last Saved: 9/27/2018 10:31:51 AM, Date Plotted: 11/19/2018 10:14:29 AM

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



CLIENT
senior citizens senior living



PROJECT DESIGN CONSULTANTS
 Building / Landscape / Architecture / Engineering / Surveying
 2010 N. Street, Suite 800 San Diego, CA 92101
 619.231.6471 Tel 619.231.0248 Fax

△

PROPERTY BOUNDARY
PROPOSED SLOPE
DAYLIGHT
PROPOSED CONTOUR
EXISTING CONTOUR

DIEGAN COASTAL SAGE SCRUB
DIEGAN COASTAL SAGE SCRUB - DISTURBED
DISTURBED LAND
MULE FAT SCRUB
SCRUB OAK CHAPARRAL
SOUTHERN MIXED CHAPARRAL
SOUTHERN WILLOW SCRUB
TAMARISK SCRUB
URBAN DEVELOPED

rev date 16/01/16

scale, as noted
planning submittal

BIOLOGY MAP

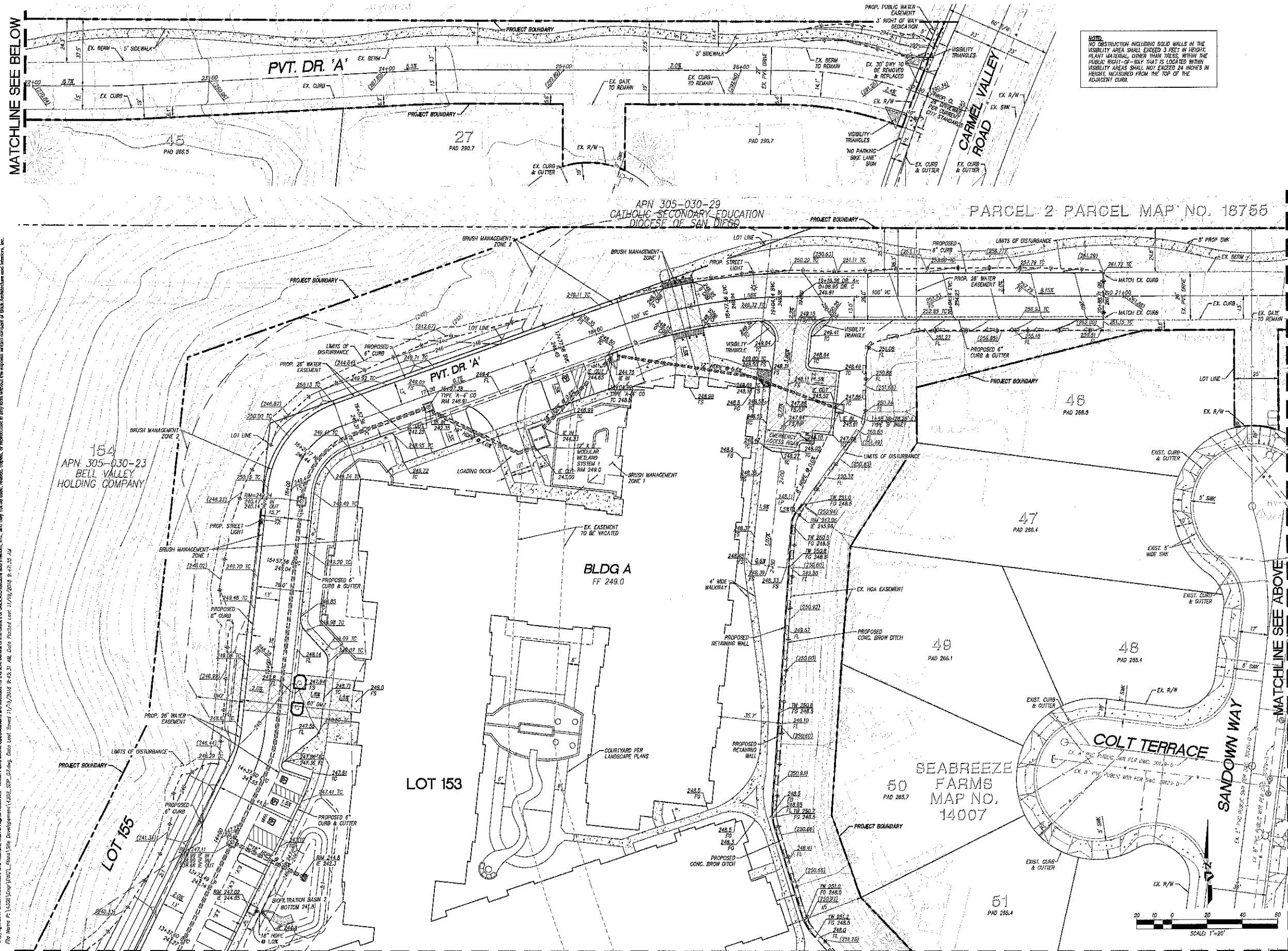
C-6

sheet no. 8 of 34

Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved - These Plans and/or Specifications are intended for the sole benefit of the client of Brick Architecture and Interiors, Inc., and may not be used, revised, copied, or reproduced in any form without the express written consent of Brick Architecture and Interiors, Inc.
 File Name: A-6000 [Emp 1018] Plans (Set) Good 6/7/2018 8:40:38 AM Date Printed: 11/19/2018 8:56:04 AM
 File Path: C:\Users\jshirley\Documents\A-6000_SCP_1018.dwg, Date of Good 6/7/2018 8:40:38 AM

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277

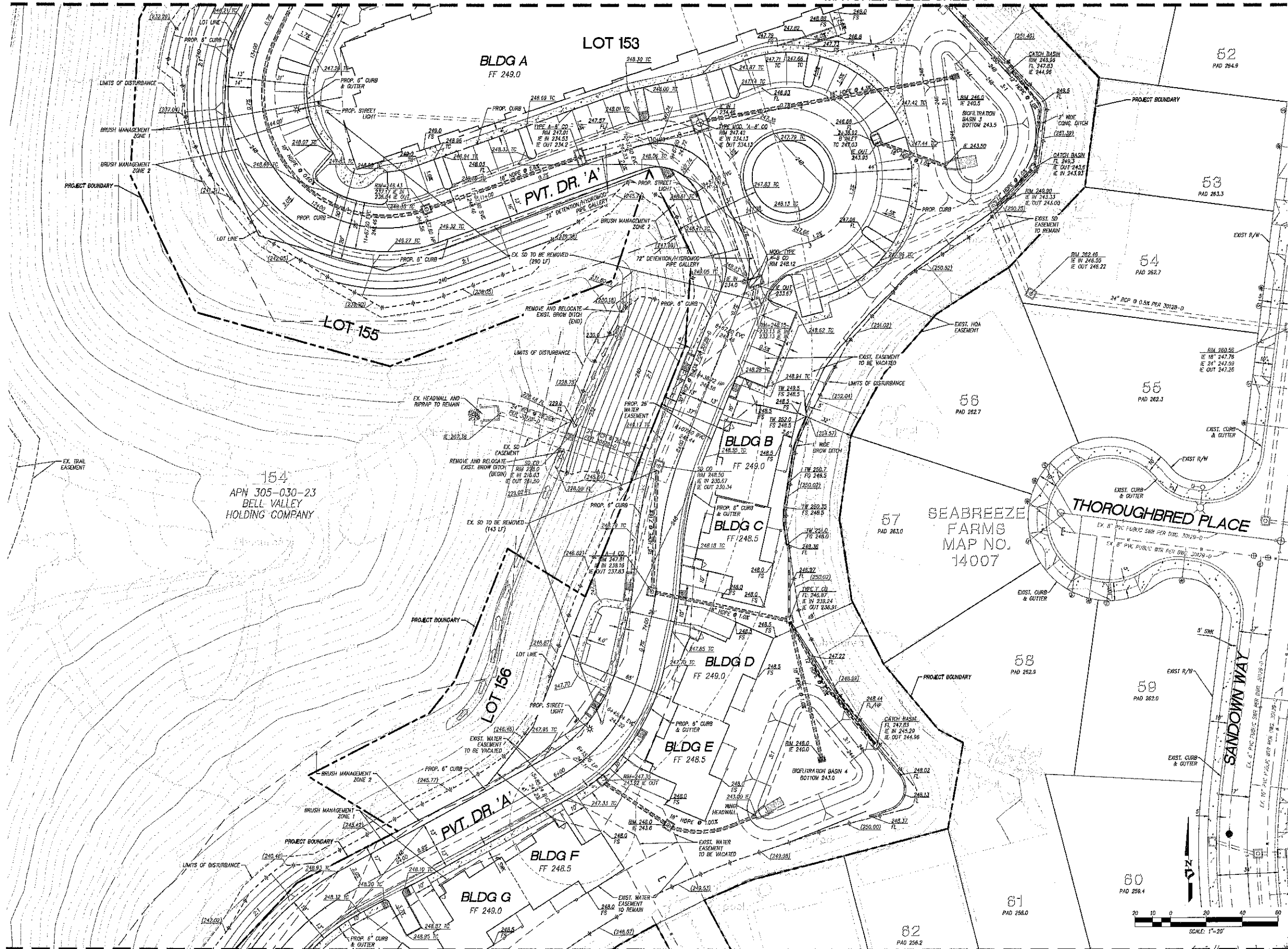


Copyright 2017 Black Architects and Engineers, Inc. All Rights Reserved. These Plans and Specifications are intended for the sole use of the client and are not to be used for any other purpose without the written consent of Black Architects and Engineers, Inc. The Plans are the property of Black Architects and Engineers, Inc. and are not to be used for any other purpose without the written consent of Black Architects and Engineers, Inc.

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277

MATCHLINE SEE SHEET 9



ARCHITECT
BRICK
1208 9th Street, Suite 1
San Diego, CA 92101
619.516.0167
www.brick-inc.com

CLIENT
Seabreeze Farms Senior Living

PROJECT DESIGN CONSULTANTS
Planning & Engineering
101 E Street, Suite 100
San Diego, CA 92101
619.516.0167

11.19.2018 PLANNING RESUBMITTAL
06.26.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.07.2018 PLANNING SUBMISSION

rev date issue



9120 Old Carmel Valley Road
San Diego, CA 92120
project number: 4396
original drawing
preparation date: 03/01/18

scale: as noted
planning submittal

GRADING AND
DRAINAGE PLAN

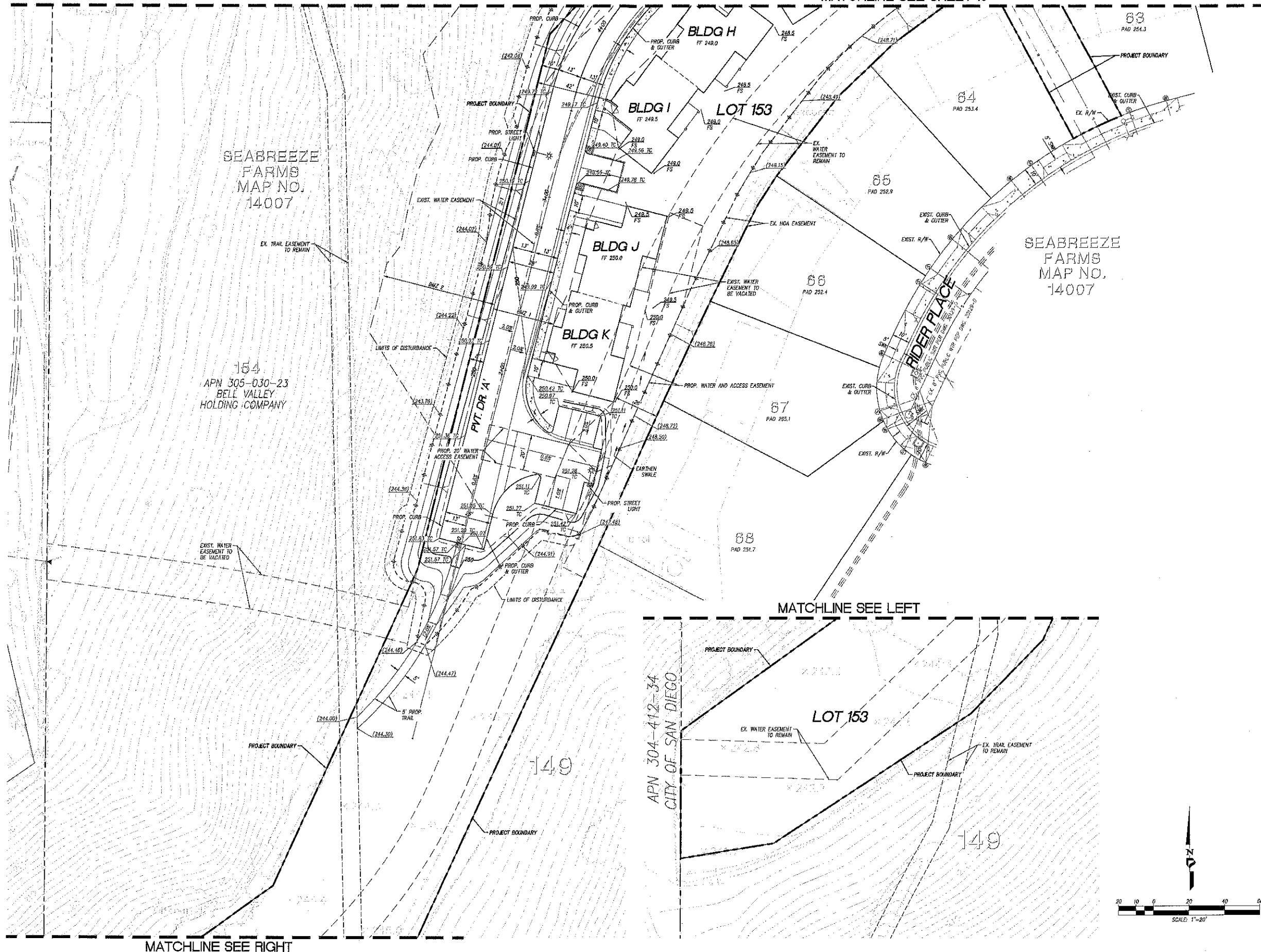
C-8

sheet no. 10 of 34

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277

MATCHLINE SEE SHEET 10



ARCHITECT
brick
1200 50th Street, Suite 1
San Diego, CA 92108
619.516.0107
www.brick-inc.com

CLIENT
Seabreeze Farms Senior Living

PROJECT DESIGN CONSULTANTS
Hawley & Associates, Inc. (Engineering & Survey)
2000 S. Street, Suite 100
San Diego, CA 92101
(619) 594-1100

11/19/2018 PLANNING RESUBMITTAL
06/28/2018 PLANNING RESUBMITTAL
07/24/2018 PLANNING RESUBMITTAL
03/07/2018 PLANNING SUBMISSION

REV date issue



6720 Old Carlsbad Valley Road
San Diego, CA 92130
project number: 4305
original drawing
revision date: 03/07/18

scale: as noted
planning submittal

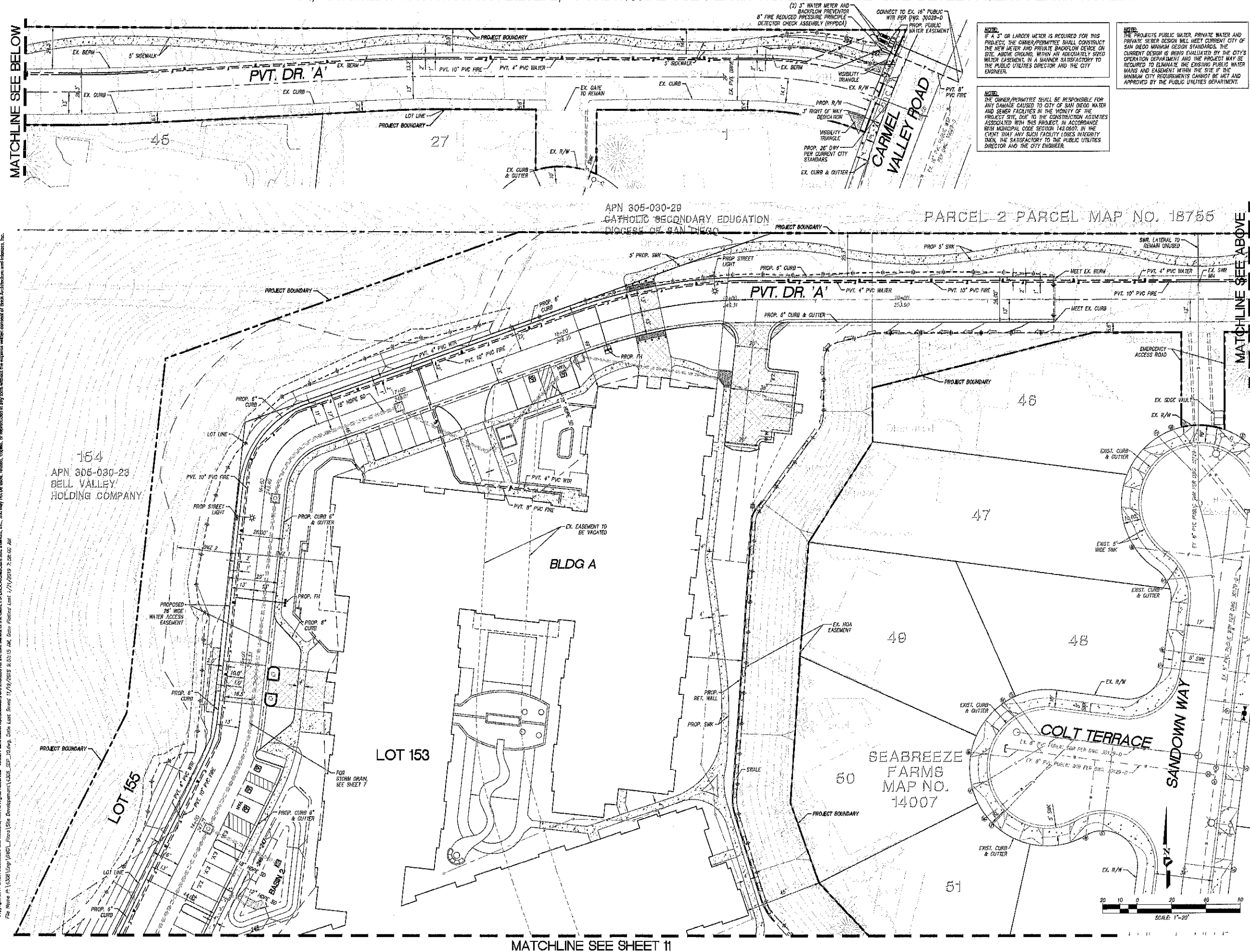
GRADING AND
DRAINAGE PLAN

C-9

sheet no. 11 of 34

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



ARCHITECT
brick.
1205 9th street, suite 1
san diego, ca 92101
619.210.1677
www.brick-inc.com

CLIENT
seabreeze farms senior living

PROJECT DESIGN CONSULTANTS
Planning & Landscape Architecture (Engineering & Survey)
100 E. Street, Suite 100
San Diego, CA 92101
619.210.1677

11.18.2018 PLANNING RESUBMITTAL
09.20.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.02.2018 PLANNING SUBMISSION

rev date issue

SEABREEZE SENIOR LIVING
No. 47055
Exp. 03-31-30
CIVIL
STATE OF CALIFORNIA

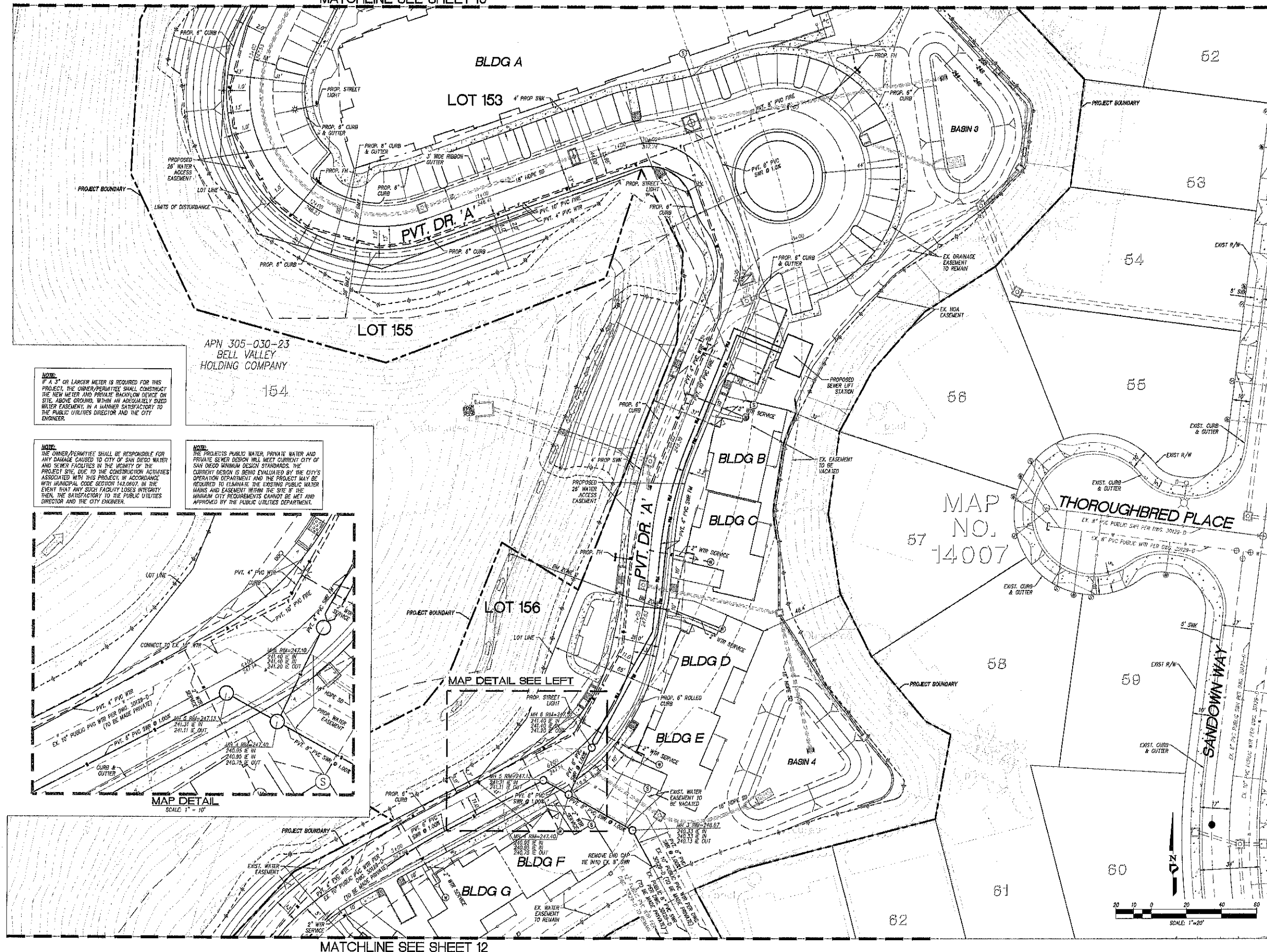
6720 old carmel valley road
san diego, ca 92130
project number: 4806
original drawing
preparation date: 03/01/18

scale: as noted
planning submittal

WATER AND
SEWER PLAN

C-10
sheet no. 12 of 34

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277
MATCHLINE SEE SHEET 10



ARCHITECT
bluck,
1255 60th Street, suite 1
Emeryville, ca 94606
510.510.0107
www.bluck-inc.com

CLIENT
sage breeze farms senior living

PROJECT DESIGN CONSULTANTS
 Highway | Seismic Analysis | Engineering | Design
 701 B Street, Suite 800 San Diego, CA 92101
 619.236.8471 Tel 619.234.0940 Fax

11.19.2018 PLANNING RESUBMITTAL
09.28.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.07.2018 PLANNING SUBMISSION

rev	date	issue
1	11/11/11	1



6720 Old Cannel Valley Road
San Diego, CA 92130

project number: 4309
original signature:

original drawing:
preparation date: 03/01/16

scale: as noted

planning submittal

WATER AND
SEWER PLAN

C-11

sheet no. 13 of 34

Copyright 2017 BlackArchitect and Interiors, Inc. All Rights Reserved - These Plans and/or Specifications are intended for the sole benefit of the clients of BlackArchitect and Interiors, Inc. The Name "BlackArchitect and Interiors, Inc." may not be used, reused, copied, or reproduced in any form without the express written consent of BlackArchitect and Interiors, Inc.

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277
MATCHLINE SEE SHEET 11

SEABREEZE FARMS
MAP NO. 14007

APN 305-030-23
BELL VALLEY
HOLDING COMPANY

MATCHLINE SEE LEFT

LOT 153

SECTION A-A
NOT TO SCALE

NOTE:
BUILDING FOOTING NOT TO ENCR OACH INTO
PROPOSED WATER EASEMENT

NOTE:
THE PROJECTS PUBLIC WATER, PRIVATE WATER AND PRIVATE SEWER DESIGN WILL MEET CURRENT CITY OF SAN DIEGO MINIMUM DESIGN STANDARDS. THE CURRENT DESIGN IS BEING EVALUATED BY THE CITY'S OPERATION DEPARTMENT AND THE PROJECT MAY BE REQUIRED TO ELIMINATE THE EXISTING PUBLIC WATER MAINS AND EASEMENT WITHIN THE SITE IF THE MINIMUM CITY REQUIREMENTS CANNOT BE MET AND APPROVED BY THE PUBLIC UTILITIES DEPARTMENT.

NOTE:
IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

NOTE:
THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO CITY OF SAN DIEGO WATER AND SEWER FACILITIES IN THE VICINITY OF THE PROJECT SITE, DUE TO THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT, IN ACCORDANCE WITH MUNICIPAL CODE SECTION 142.0607. IN THE EVENT THAT ANY SUCH FACILITY LOSES INTEGRITY THEN, THE SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

ARCHITECT
brick,
1288 86th street, suite 1
emeryville, ca 94608
510.516.0107
www.brick-inc.com

CLIENT
seabreeze farms senior living



PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying
 201 N. Street, Suite 600 San Diego, CA 92101
 619.233.5471 Tel 619.234.0048 Fax

11.19.2018 PLANNING RESUBMITTAL
09.20.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.07.2018 PLANNING SUBMISSION

rev	date	issue
-----	------	-------



5720 old cemet valley road

project number: 4308

original drawing
preparation date: 03/01/10

scale: as noted

planning submittal

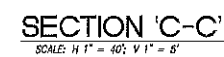
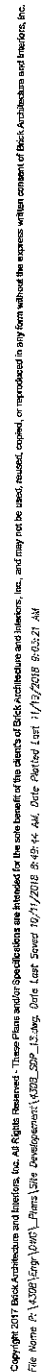
WATER AND
SEWER PLAN

C-12

sheet no. 14 of 34

Copyright 2017 Black Architecture and Interiors, Inc. All Rights Reserved. - These Plans and/or Specifications are intended for the sole benefit of the client of Black Architecture and Interiors, Inc., and may not be used, reused, copied, or reproduced in any form without the express written consent of Black Architecture and Interiors, Inc.
File Name: P:\2019\270\270106_Plan\3dla Development\4503_339_12.dwg, Date Last Saved: 1/22/2019 1:11:35 PM, Date Plotted Last: 1/22/2019 1:14:18 PM

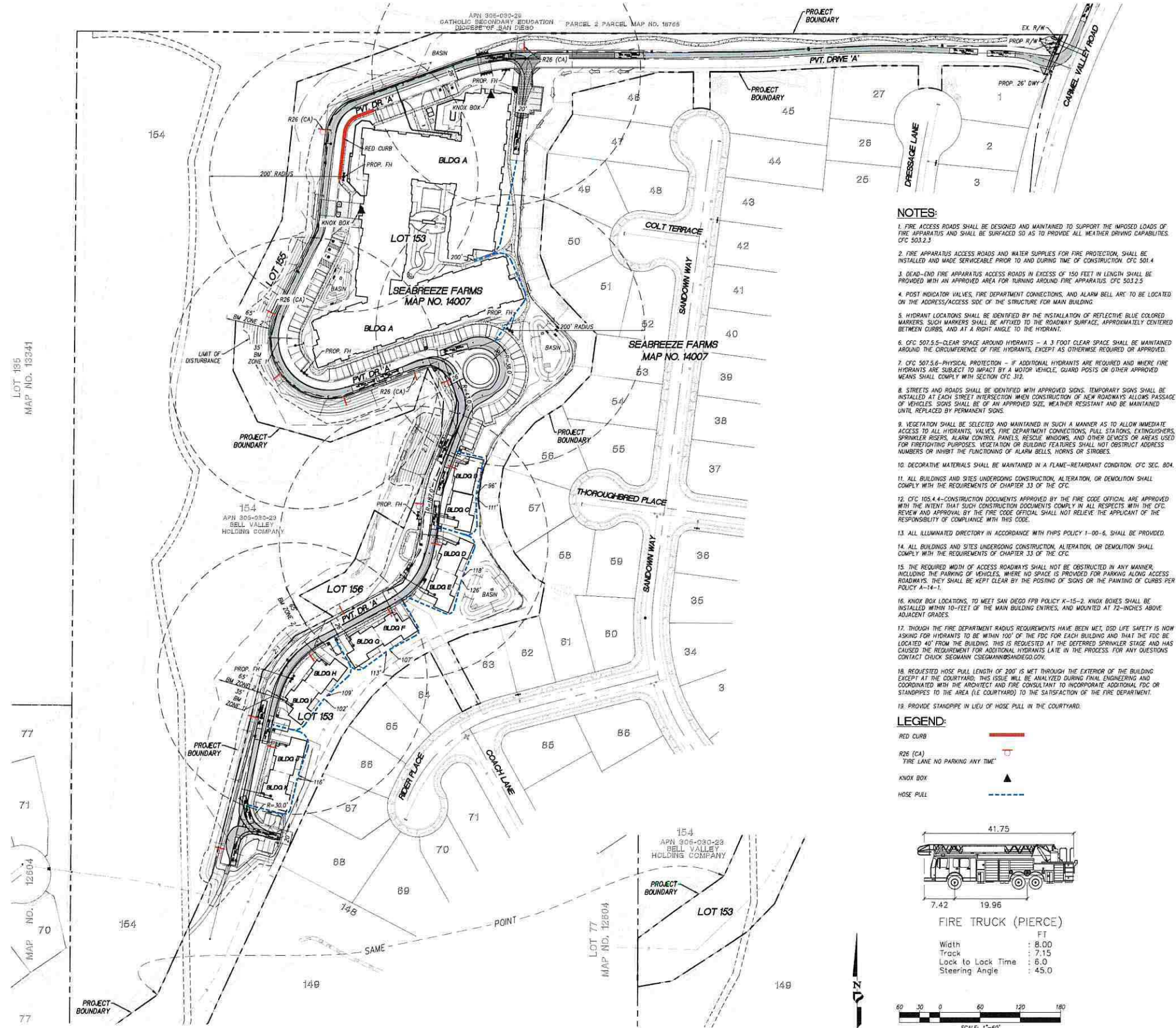
LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



sheet no. 15 of 34

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



ARCHITECT
brick
1299 66th street, suite 1
escondido, ca 94425
510.516.1617
www.brick-inc.com

CLIENT
seabreeze farms senior living

PROJECT DESIGN CONSULTANTS
10000 E. Highway 101, Suite 100
San Diego, CA 92118
P: 619.444.1111
F: 619.444.1112



11.19.2018 PLANNING RESUBMITTAL
09.20.2018 PLANNING RESUBMITTAL
07.24.2018 PLANNING RESUBMITTAL
03.07.2018 PLANNING SUBMISSION

REV 02/18 6500



5720 old camel valley road
san diego, ca 92110
project number: 4308
original drawing
preparation date 03/01/18

scale: as noted

planning submittal

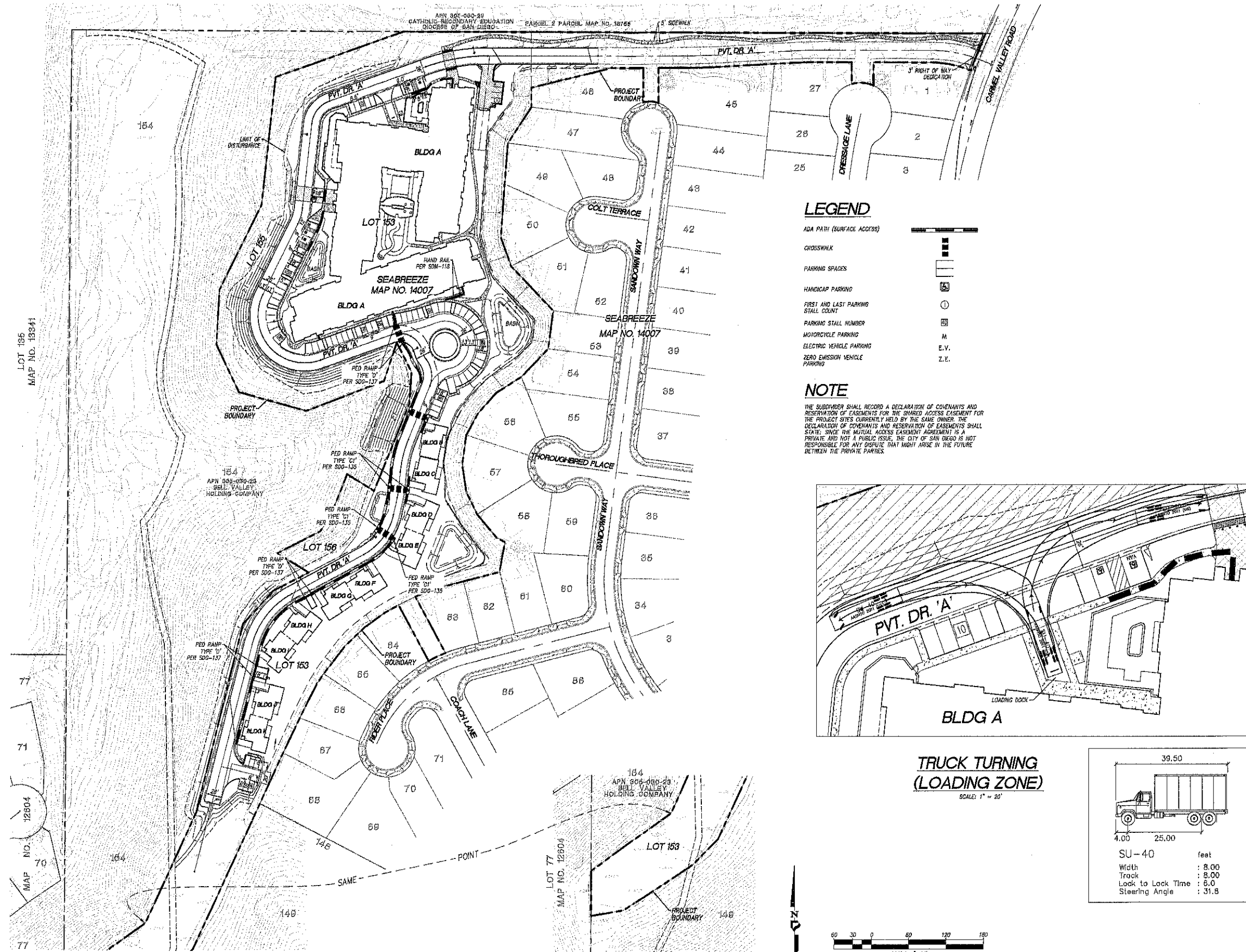
FIRE ACCESS
PLAN

C-14

sheet no. 16 of 34

SEABREEZE SENIOR LIVING

LAND USE PLAN NO. 2123271, EASEMENT VACATION NO. 2123272, CONDITIONAL USE PERMIT NO. 2123276 AND SITE DEVELOPMENT PERMIT NO. 2123277



ARCHITECT
brick
1269 80th Street, Suite 1
San Diego, CA 92108
619.591.6197
www.brick-inc.com

CLIENT
Seabreeze Senior Living

PROJECT DESIGN CONSULTANTS
Planning & Landscape Architecture, Engineering & Survey
101 E. River Street, Suite 200
San Diego, CA 92101
619.591.6197

11.19.2016 PLANNING RESUBMITTAL
03.20.2018 PLANNING RESUBMITTAL
07.24.2019 PLANNING RESUBMITTAL
03.07.2019 PLANNING SUBMISSION

rev date issue



5720 Old Carlsbad Valley Road
San Diego, CA 92120
project number: 4308
original drawing
preparation date: 03/01/18

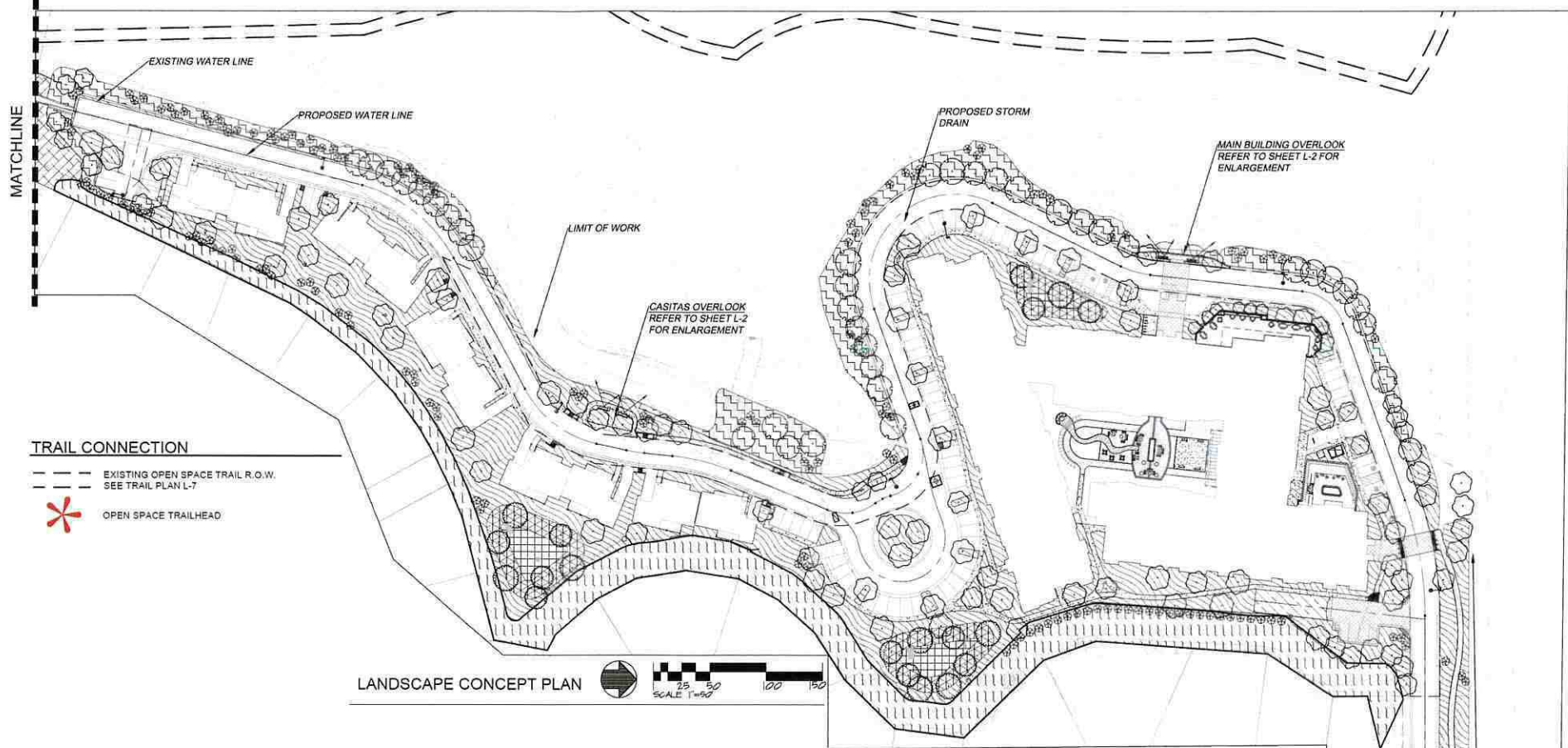
scale: as noted
planning submittal

SITE PLAN
ACCESSIBILITY,
PARKING AND
STRIPING

C-15

sheet no. 17 of 34

Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the client and are not to be used, copied, or reproduced in any form without the express written consent of Brick Architecture and Interiors, Inc. For more information, please contact: 1269 80th Street, Suite 1, San Diego, CA 92108. Date: 07/24/2019. Date Last Saved: 07/24/2019 9:45:15 AM. Date Printed: 07/24/2019 9:45:16 AM.



THE PRIMARY GOAL OF THE LANDSCAPE DESIGN IS TO BLEND AND COMPLEMENT THE EXISTING NATIVE PLANTING IN THE AREA. NATIVE LOW FUEL VOLUME SPECIES WILL BE USED TO RE-VEGETATE THE GRADED SLOPES. THE TREATMENT FOR THE INTERIOR SHALL PRIMARILY BE PARKWAY STREET TREES AND GROUND COVER, ORNAMENTAL IN NATURE, FIRE-RESISTANT, AND COMPLEMENT THE BUILDING ARCHITECTURE. THE COURTYARD AREAS WILL BE MIX OF ORNAMENTAL NATURALIZED MATERIAL AND LOW MAINTENANCE.

1. PLANT MATERIALS SPECIFIED FOR USE ON THIS PROJECT WILL BE FROM THE PALETTE OF PLANTS KNOWN TO PERFORM WELL IN THIS CLIMATIC ZONE AND AMENDED SOIL TYPE.
2. THE PALETTE OF LANDSCAPE PLANT MATERIALS WILL PROVIDE VARIATIONS OF FOLIAGE, BARK, AND FLOWER FORM, TEXTURE, AND COLOR. THESE VARIATIONS WILL BE USED TO BLEND IN WITH EXISTING SURROUNDING LANDSCAPE TREATMENTS ESPECIALLY AT PERIMETER SLOPES.

3. LANDSCAPE PLANTING AREAS WILL BE GRADED TO ASSURE POSITIVE SURFACE DRAINAGE.
4. ONSITE SOILS WILL BE AMENDED TO COMPLY WITH THE RECOMMENDATION OF A CERTIFIED SOILS TESTING LABORATORY.
5. ALL SLOPE ASPECTS 2:1 OR STEEPER SHALL RECEIVE JUTE MATTING (OR PER THE RECOMMENDATION BY THE GEO-TECHNICAL ENGINEER).

1. PERMANENT REVEGETATION - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL

2. TEMPORARY VEGETATION - GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. TEMPORARY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH THE VEGETATION.
3. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
4. INTERIM BINDER NOTE: GRADED, DISTURBED OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX AND INTERIM BINDER / FACILPIMER AS HEADED BETWEEN APRIL 2ND AND AUGUST 31ST FOR DUNE-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.

ALL REQUIRED COMMON LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS	25 FEET
SEWERS	10 FEET

STREET TREES SHALL HAVE A 40 S.F. ROOT ZONE AREA (10' FROM UNDERGROUND SEWER & 5' FROM UNDERGROUND WATER UTILITIES) OR IF CONFLICTS ARISE THE TREES SHALL BE LOCATED ON THE RESIDENTIAL LOT.

ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE.

PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND ON SHEET L-3. TEMPORARY IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.



ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.

NO IMPROVEMENTS, INCLUDING ENHANCED PAVING, IRRIGATION AND LANDSCAPING, SHALL BE INSTALLED IN OR OVER ANY EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.

PERMANENT MONUMENT SIGNAGE MAYBE PROPOSED BY THE DEVELOPER.

MINIMUM 24-INCH BOX SIZE STREET TREES SHALL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY. TREE PLANTING AREAS SHALL HAVE A MINIMUM 4' SQUARE FEET OF AIR-WATER, PERMEABLE AREA.

INSTALL ALL APPROVED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTION FORMS. COPIES OF THESE APPROVED DOCUMENTS MUST BE SUBMITTED TO THE CITY.

IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER/SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE CITY.

THREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WHICH WRAP AROUND THE ROOT BALL ARE NOT PERMITTED.

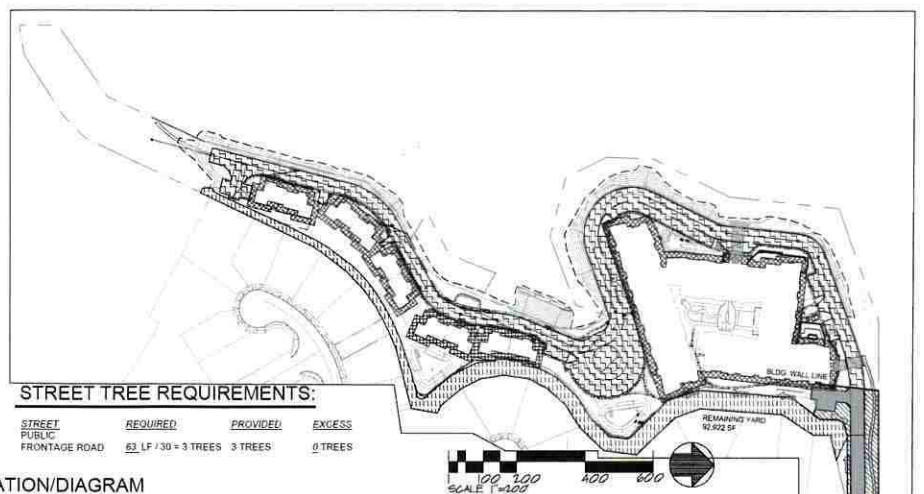
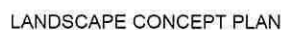
MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES.

EXISTING LANDSCAPE SOIL SHALL BE AUGMENTED WITH DROUGHT-TOLERANT, NATIVE AND NATURALIZED PLANT MATERIAL AND IRRIGATED WITH EXISTING IRRIGATION.

RE-VEGETATED SLOPES (TEMP. IRRIGATION)	58,874 SF
INTERIOR SITE AREAS (PERM. IRRIGATION)	70,499 SF
COURTYARD AREAS (PERM. IRRIGATION)	5,267 SF
WATER QUALITY BASIN (PERM. IRRIGATION)	8,774 SF

1. AN AUTOMATIC, ABOVE GRADE, TEMPORARY IRRIGATION SYSTEM WILL BE UTILIZED ON THESE SLOPES.

[illegible]

REMAINING YARD PER GITY (10' BAND EXTENDING AROUND THE FOOTPRINT OF THE BUILDING)		
PLANTING AREA REQUIRED	PLANTING AREA PROVIDED	EXCESS AREA PROVIDED
TOTAL AREA 33,422 SF x 30% = 10,026 SF	19,299 SF	9,243 SF
PLANTING POINTS REQUIRED	PLANTING POINTS PROVIDED	EXCESS POINTS PROVIDED
TOTAL AREA 33,422 SF x .05 = 1,671 POINTS	2,672 POINTS	1,001 POINTS



STREET YARD
47,434 SQ FT
LANDSCAPE AREAS - 23,927 S.F.

1 GAL SHRUBS @ Y.O.C. = 2,407 PTS
8 PROPOSED 24" BOX = 180 PTS
8 PROPOSED 15 GAL = 80 PTS
64 EXISTING (50PTS EA) = 3,200 PTS

REMAINING YARD (10' BAND EXTENDING AROUND THE FOOTPRINT OF THE BUILDING)
19,258 PLANTING AREA

1 GAL @ Y.O.C. = 2,472 PTS
10 TREES 24" BOX = 200 PTS

YUA INSIDE STREET YARD
23,507 SQ FT
YUA LANDSCAPE AREAS(S' OFFSET) 8,284 S.F

1 GAL SHRUBS @ Y.O.C. = 1,093 PTS
7 TREES 24" BOX = 140 PTS
30 TREES 36" BOX = 1,500 PTS

YUA OUTSIDE STREET YARD
TOTAL = 12,400 SQ FT
YUA LANDSCAPE AREAS - (S' OFFSET) 14,470 S.F


1 GAL SHRUBS @ Y.O.C. = 1,859 PTS
30 REVEG TREES 24" BOX = 600 PTS
10 REVEG TREES 36" BOX = 600 PTS
21 STI TREES 15 GAL = 2,110 PTS
1 STI TREES 24" BOX = 420 PTS

SEE NOTE #10

brick. ■

ARCHITECT
brick
1266 66th street, suite 1
emeryville, ca 94608
510.516.0167
www.brick-inc.com

CLIENT
seabreeze farms senior living



PROJECT DESIGN CONSULTANTS
Planning • Landscape Architecture • Engineering • Surveying
1718 Brookview, Suite 100 • Fort Lauderdale, FL 33305 • 954.575.1100
www.projectdesignconsultants.com

 $\overline{\Delta}$

SEABREEZE SENIORS LANDSCAPE CONCEPT PLAN

11.19.2018	PLANNING RESUBMITTAL #3
09.28.2019	PLANNING RESUBMITTAL #2
07.24.2018	PLANNING RESUBMITTAL #1
03.07.2018	PLANNING SUBMISSION

REV	DATE	ISSUE
-----	------	-------



EXPIRES 7/31/11

5720 old carmel valley road
san diego, ca 92130

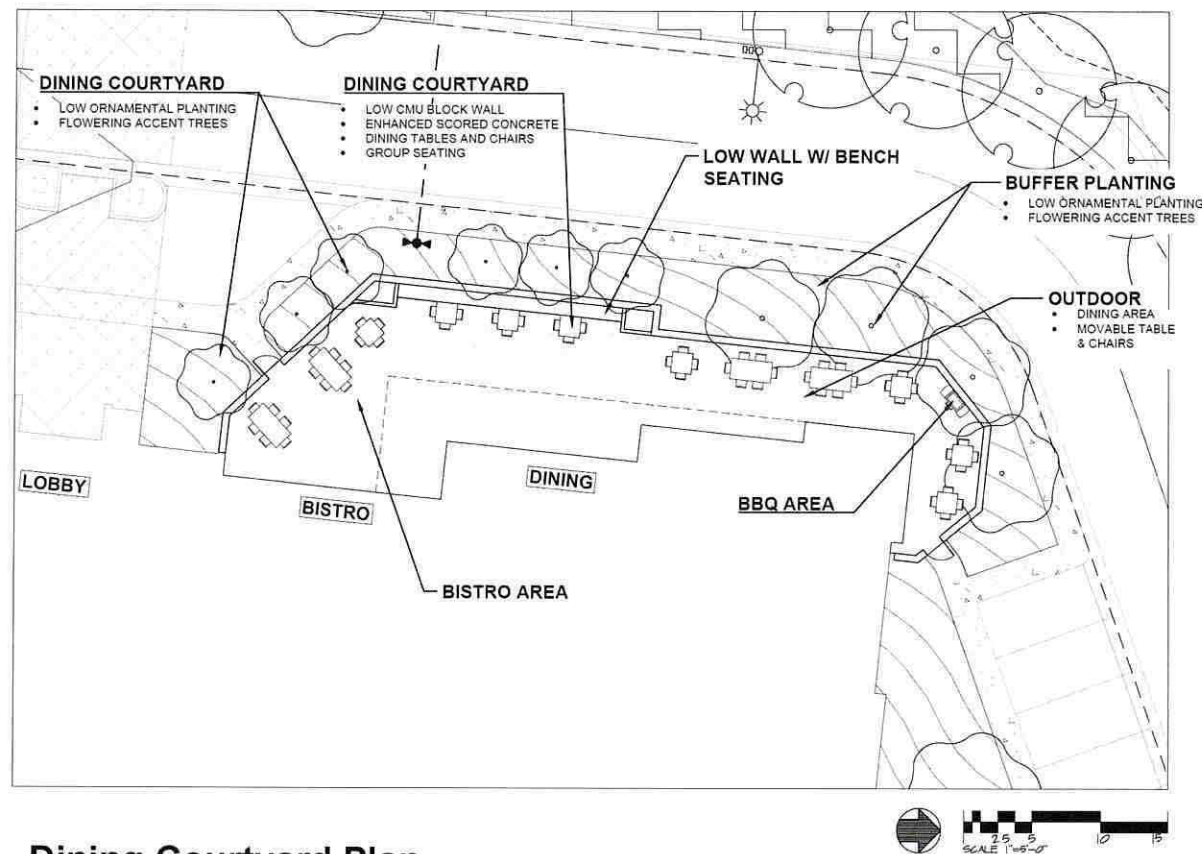
project number 4308
original drawing
preparation date 3/1/18

scale as noted
planning submittal

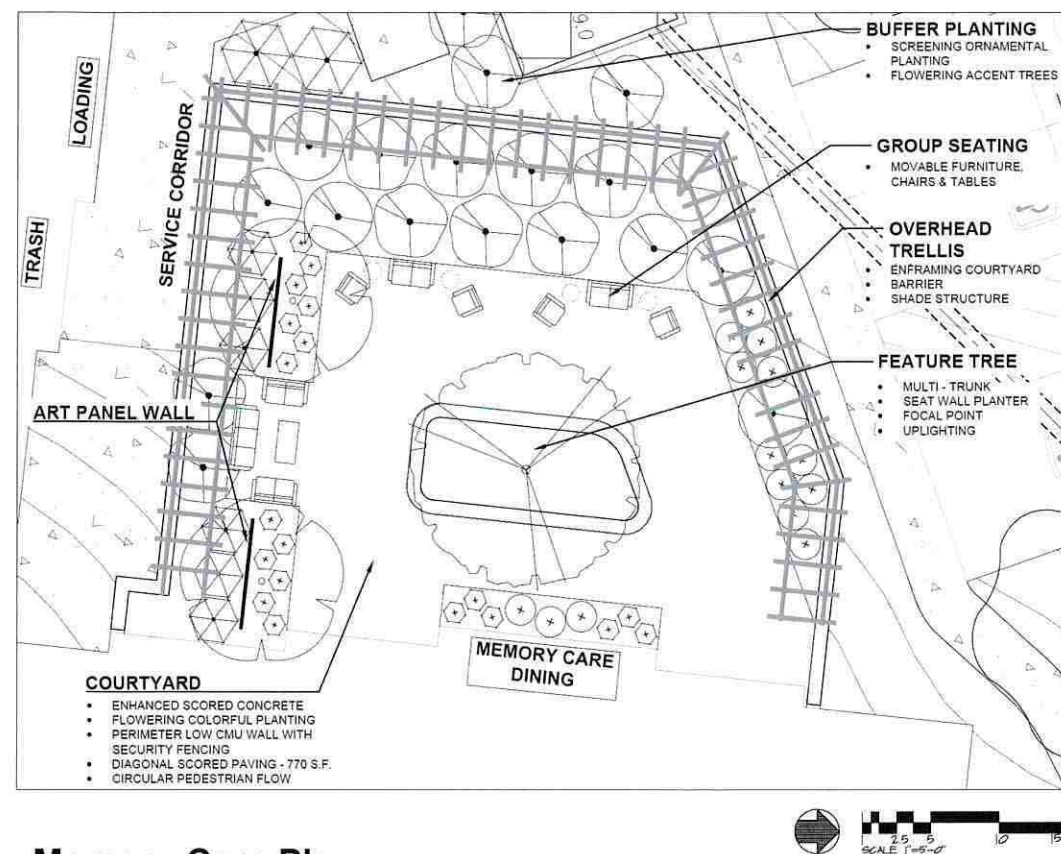
LANDSCAPE
CONCEPT PLAN

L-1

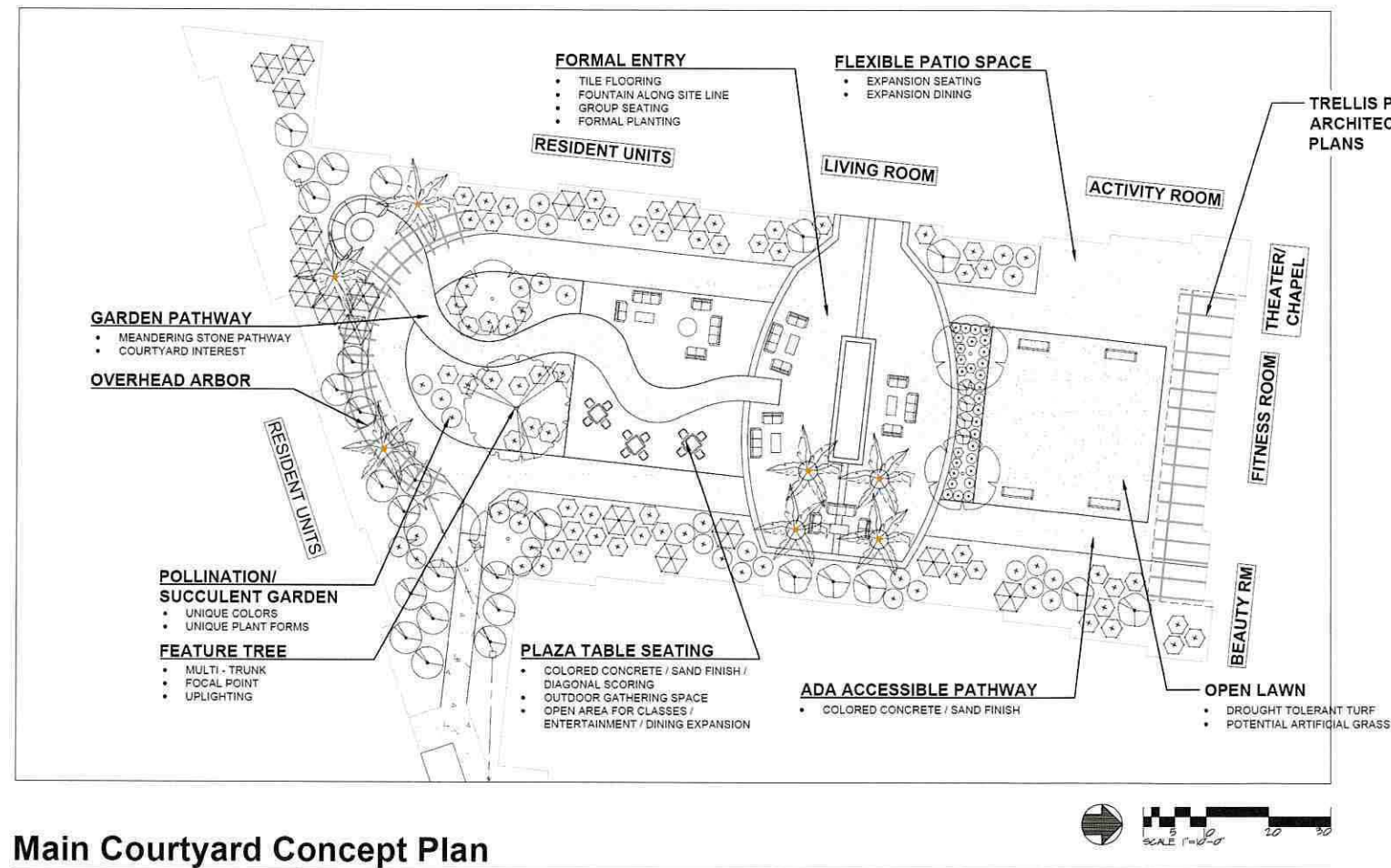
sheet no. 18 of 34



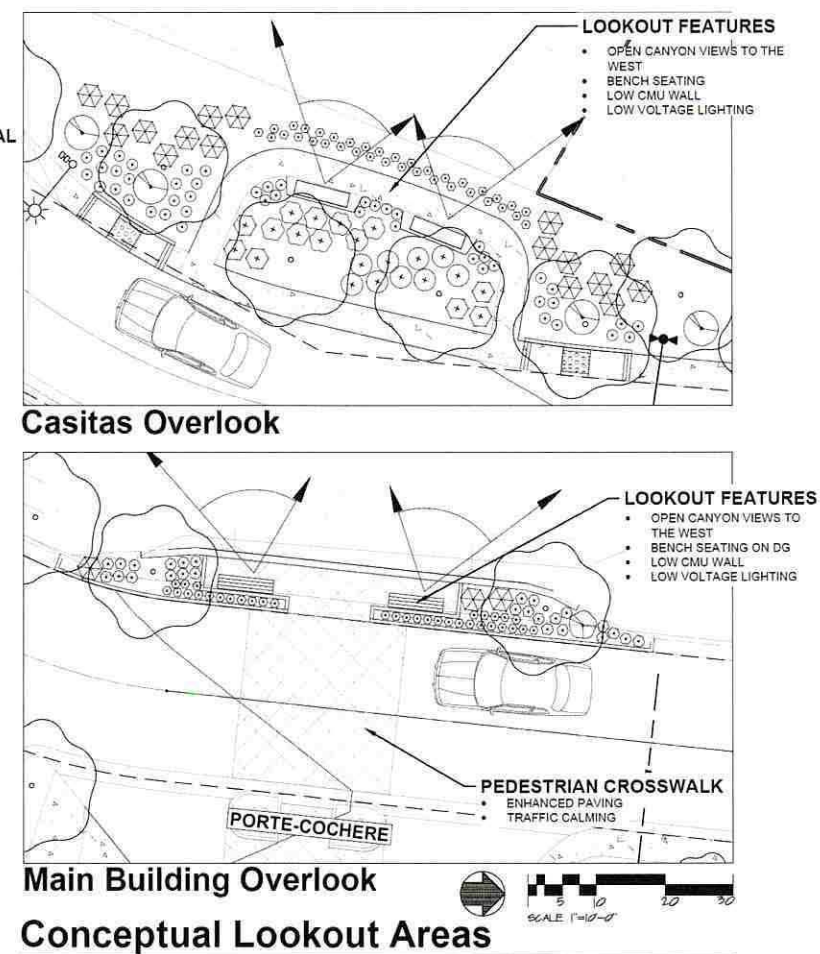
Dining Courtyard Plan



Memory Care Plan



Main Courtyard Concept Plan



Main Building Overlook
Conceptual Lookout Areas

REVEGETATION PLANTING LEGEND

NATURALIZED AND TRANSITIONAL AREAS ARE PROPOSED TO BE COMPATIBLE BLENDING INTO THE ADJACENT CANYON AREAS. THE PLANT MATERIAL WILL STABILIZE THE DISTURBED AREAS THROUGH THE USE OF PLANT MATERIAL WITH DEEP ROOTING TREES, SHRUBS, GROUND COVER AND HYDRO-SEED MIXES. SPECIES TO BE USED FOR RE-VEGETATION SHALL BE SELECTED FROM THIS PALETTE OR APPROVED EQUAL.

REVEGETATION TREES - OWNER MAINTAINED (TEMPORARILY IRRIGATED)

THE NATURALIZED STREETSCAPE AREAS ARE TO BE PLANTED WITH NATIVE OR NATURALIZED SPECIES TO BE SUSTAINABLE WITH MINIMAL SUPPLEMENTAL WATER. SELECTION TO BE IN CONFORMANCE WITH THE LANDSCAPE ORDINANCE AND STREET TREE SELECTION GUIDE.

NATURALIZED REVEGETATION TREES, EVERGREEN, ROUND HEAD, SHADE TREE - 25% 36" BOX OR LARGER, 75% 24" BOX

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HT & SPRD
PIRUS TORREYANA	TORREY PINE	TALL, UPRIGHT, GRAY-GREEN FOLIAGE	20'-40' x 15'-25'
PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	TWISTING TRUNK, SEASONAL COLOR	40'-80' x 30'-50'
QUERCUS AGRIFOLIA	COAST LIVE OAK	BROAD, SHADE TREE	25'-55' x 30'-50'
QUERCUS KELLOGGII	CALIFORNIA BLACK OAK	BROAD, SHADE TREE	25'-40' x 35'-40'

PERIMETER SLOPES (TEMPORARILY IRRIGATED)

THE PERIMETER SLOPE AREAS ARE TO BE PLANTED WITH CONTAINER MATERIAL IN CONFORMANCE WITH THE GRADING ORDINANCE AND BRUSH MANAGEMENT GUIDELINES. THE HYDRO-SEED WILL HAVE A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS REACHES 24" IN HEIGHT OR LESS.

OPEN SPACE ADJACENT FILL SLOPES-50% 1 GAL., 50% 5 GAL. (TEMP. IRRIGATION)

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HT & SPRD
ADOLPHIA CALIFORNICA	SPINESHRUB	FRAGRANT FLOWERS, EROSION CONTROL	4' x 6'
COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	EVERGREEN, WHITE ACCENT FLOWERS	5'-10' x 8'
ENCELIA CALIFORNICA	COAST SUNFLOWER	YELLOW ACCENT FLOWERS, FAST GROWER	1'-3' x 4'
ERIODICTYON TRICHOCALYX	SMOOTH LEAF YERBA SANTA	EVERGREEN, WHITE ACCENT FLOWERS	3'-5' x 3'-6'
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN-YARROW	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1'-3' x 1.5'
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1'-3' x 3'
GNAPHALUM CALIFORNICUM	CALIFORNIA PEARLY EVERLASTING	FRAGRANT EVERGREEN, WHITE FLOWERS	3' x 3'
HAZARDIA SQUARROSA	COMMON HAZARDIA	SHRUB, YELLOW FLOWERS	1'-2' x 2'-3'
HETEROMELES ARBUTIFOLIA	TOYON	LARGE EVERGREEN SHRUB, SHOWY RED BERRIES	8-15' x 15'
LOTUS SCOPARIUS	DEER WEED	FAST GROWING PERENNIAL, YELLOW FLOWERS	2'-3' x 3'
MALOSMA LAURINA	LAURAL SUMAC	EVERGREEN SHRUB, RAPID GROWTH	8-15' x 12'+
MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUBSHRUB, CRIMSON TO BRICK-RED FLOWERS	2' x 3'
NEMOPHILA MENZIESII	BABY BLUE EYES	ANNUAL, BLUE FLOWERS	1' x 1.5'
QUERCUS AGRIFOLIA	COAST LIVE OAK	EVERGREEN TREE, SPREADING CROWN	20-40' x 35'+
QUERCUS DUMOSA	NUTTALL'S SCRUB OAK	LARGE EVERGREEN SHRUB, GOOD SOIL BINDER	3-10' x 15'
RHUS INTEGRIFOLIA	LEMONADE BERRY	EVERGREEN SHRUB, SLOPE STABILIZER	5-15' x 10'+
SALVIA APIANA	WHITE SAGE	SUB SHRUB, AROMATIC WHITE LEAVES & FLOWERS	3-5' x 5'
SALVIA LEUCOPHYLLA	PURPLE SAGE	MEDIUM SHRUB, PINKISH PURPLE FLOWERS	3-4' x 4-6'

COASTAL SAGE SCRUB HYDROSEED MIX FOR SLOPES

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HT & SPRD	LB/AC	% PURITY/ GERMINATION RECOMMENDED
ARTEMESIA CALIFORNICA	COASTAL SAGEBRUSH	AROMATIC SHRUB, EROSION CONTROL, FAST GROWING	3-4' x 2-3'	2	15 / 50
ENCELIA CALIFORNICA	COAST SUNFLOWER	SUB-SHRUB, YELLOW FLOWERS, FAST GROWER	3' x 4'	4	40 / 60
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	PERENNIAL, PINK-WHITE FLOWERS, FAST GROWER	3-4' x 4'	6	10 / 65
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	HERBACEOUS SUB-SHRUB, ORANGE-YELLOW FLOWERS	2' x 3'	3	30 / 60
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, YELLOW FLOWERS, FAST GROWER	3' x 3'	1	98 / 75
LOTUS SCOPARIUS	DEERWEED	PERENNIAL, NUMEROUS YELLOW FLOWERS, FAST GROWER	2-3' x 3'	6	50 / 60
LUPINUS BICOLOR	PYGMY-LEAF LUPINE	SMALL ANNUAL, BLUE FLOWER, REVEGETATION	1' x 1.5'	4	98 / 80
LUPINUS NANUS	SKY LUPINE	SMALL ANNUAL, BLUE FLOWER, GROUND COVER	1.5' x 3'	4	98 / 85
MIMULUS AURANTIACUS PUNICEUS	RED MONKEYFLOWER	SUB-SHRUB, CRIMSON TO BRICK-RED FLOWERS	2' x 3'	2	2 / 55
NASSELLA PULCHRA	PURPLE NEEDLE GRASS	PERENNIAL BUNCHGRASS, PURPLE SEED HEADS	2' x 2'	8	90 / 60
SALVIA MELIPEKA	BLACK SAGE	SUB-SHRUB, AROMATIC, FLOWERS BLUE, LILAC OR WHITE	3-5' x 6'+	1	70 / 50

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER 100 S.F. OF DISTURBED AREA.

INTERIOR SITE-OWNER MAINTAINED (TEMPORARILY IRRIGATED)

THE INTERIOR SITE AREA IS TO BE PLANTED WITH A CALIFORNIA NATIVE WILDFLOWER MIX. A HARDY MIXTURE OF ANNUAL SPECIES WILL PROVIDE BRIGHT, SHOWY SPRING FLOWERS THAT WILL RESEED YEAR AFTER YEAR. SEASONAL MAINTENANCE WILL BE NEEDED ONCE ESTABLISHED.

CALIFORNIA NATIVE WILDFLOWER MIX

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	MATURE HT & SPRD	LB/AC	MIN % PLS*
ACHILLEA MILLEFOLIUM	WHITE YARROW	ATTRACTS WILDLIFE, SPRING FLOWERING, WHITE, FAST GROWING	1'-3' x 1'-3'	1.00	85
CLARKIA UNGUICULATA	ELEGANT CLARKIA	ANNUAL, ATTRACTS WILDLIFE, SPRING FLOWERING, RED	1'-5' x 1'-3'	1.50	83
COLLINSIA HETEROPHYLLA	CHINESE HOUSES	ANNUAL, SPRING FLOWERING, LAVENDER-WHITE	1'-5' x 1'-3'	1.00	83
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	SUB-SHRUB, ORANGE-YELLOW FLOWERS	1'-3' x 1'-3'	3.50	83
GILIA CAPITATA	GLOBE GILIA	ANNUAL, LONG BLOOMING SEASON, BLUE, LAVENDER, WHITE	1'-3' x 1'-3'	1.00	83
GILIA TRICOLOR	BIRD'S EYES	ANNUAL, LONG BLOOMING SEASON, BLUE, LAVENDER, WHITE	5'-1' x 1'	0.50	83
LASTHENIA CALIFORNICA	DWARF GOLDFIELDS	FAST GROWER, SPRING / WINTER FLOWERING, YELLOW	5'-1' x 1'	0.50	68
LAVIA PLATYGLOSSA	TIDYTIPS	ANNUAL, ATTRACTS BUTTERFLIES, YELLOW	1'-3' x 1.5'	0.50	77
LUPINUS MICROCARPUS DENSIFLORUS	GOLDEN LUPINE	ANNUAL, FAST GROWER, SPRING FLOWERING, WHITE, YELLOW	5'-1' x 1'	1.50	83
LUPINUS SUCCULENTUS	ARROYO LUPINE	ANNUAL, FAST GROWER, SPRING FLOWERING, BLUE	1'-3' x 1'-2'	2.00	83
MIMULUS AURANTIACUS	MONKEYFLOWER	PERENNIAL, SPRING FLOWERING, YELLOW	1'-3' x 1'-2'	1.00	3
NEMOPHILA MACULATA	FIVE SPOT	ANNUAL, SPRING FLOWERING, ATTRACTS INSECTS, WHITE	5'-1' x 1'	1.00	83
NEMOPHILA MENZIESII	BABY BLUE EYES	ANNUAL, SPRING FLOWERING, ATTRACTS INSECTS, BLUE	5'-1' x 1'	2.00	83
PHACELIA CAMPANULARIA	CALIFORNIA BLUEBELLS	ANNUAL, MOUNDING, FAST GROWER, BLUE, PURPLE	5'-1' x 1'	1.00	83
SISYRINCHIUM BELLUM	BLUE EYED GRASS	PERENNIAL, SPRING FLOWERING, BLUE-PURPLE	1'-3' x 1'-2'	2.00	78

NOTE: *MIN % PLS (PURE LIVE SEED) = SEED PURITY X GERMINATION RATE
SEED: 20 LBS PER ACRE

COURTYARDS AND ENTRY NODE AREAS

OWNER MAINTAINED (PERMANENTLY IRRIGATED)

THE COURTYARD AND ENTRY NODE AREAS ARE TO BE PLANTED WITH A MIX OF EVERGREEN AND SEASONALLY CHANGING SHADE TREES. ACCENT TREES ARE LOCATED AT INTERSECTIONS, SITE LINES AND RECREATION AREAS. COLORFUL SHRUBS WILL BE PROVIDED FOR INTEREST AT A PEDESTRIAN SCALE. PLANT DESIGN MAYBE SELECTED FROM THE FOLLOWING SPECIES OR APPROVED EQUAL.

CANOPY TREES - EVERGREEN ROUND HEAD, SHADE TREE - 50% 24" BOX OR LARGER 50% 15 GAL

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ARBUSUS MARINA	MARINA MADRONE	ROUNDED, UPRIGHT	35' x 30'
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	BRONZE GREEN FOLIAGE	20' x 20'
GEUERA PARVIFLORA	AUSTRALIAN WILLOW	WEeping, LOW CANOPY	25' x 25'
METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	SHOWY RED FLOWERS	30' x 30'
SCHIFFERIA ACTINOPHYLLA	QUEENSLAND UMBRELLA TREE	SHINY/GLOSSY FOLIAGE	35' x 25'

FLOWERING ACCENT TREES - DECIDUOUS / SEMI-DECIDUOUS - 50% 24" BOX OR LARGER 50% 15 GAL

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	YELLOW FLOWER	30' x 30'
CERCIS CANADENSIS	EASTERN REDBUD	SHOWY PINK FLOWER	30' x 30'
LAGERSTROEMIA INDICA	AFRICAN MYRTLE	FALL COLOR	25' x 25'
SPATHODEA CAMPANULATA	ORANGE-TULIP TREE	ORANGE-RED FLOWER	35' x 25'
TABEBUIA IMPETIGINOSA	PINK TRUMPET TREE	ROUNDED, PINK FLOWER	40' x 30'

PALM TREES - EVERGREEN - 100% 24" BOX OR LARGER

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ARCHONTOPHOENIX ALEXANDRAE	KING PALM	VERTICAL ACCENT	30' x 15'
BISMARCKIA NOBILIS	BISMARCK PALM	VERTICAL ACCENT	10' x 15'
PHOENIX DACTYLIFERA 'MEDJOL'	MEDJOL DATE PALM	VERTICAL ACCENT	35' x 15'
SYAGRUS ROMANZOFFIANA	QUEEN PALM	VERTICAL ACCENT	25' x 15'

LARGE / MEDIUM EVERGREEN SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ALYONIE HUEBELII	BLUE HYBISCUS	BLOOMS ALL YEAR	8' x 8'
ABUTILON HYBRIDUM	FLORING MAPLE	DISTINCTIVE FOLIAGE	10' x 10'
BUEDELIA DAVIDII	BUTTERFLY BUSH	FRAGRANT, SHOWY	10' x 5'
LAVATERA MARITIMA	TREE MALLOW	BLOOMS ALL YEAR	10' x 12'
PHORMIUM TENAX	NEW ZEALAND FLAX	ATTRACTIVE FOLIAGE	5' x 5'
PHOTINIA x FRASERI 'RED ROBIN'	FRASER PHOTINIA	ATTRACTIVE FOLIAGE	8' x 8'
PHAPLOLEPS INDICA	INDIA HAWTHORNE	WHITE TO PINK FLOWER	10' x 10'
STRELTITZIA NICOLAI	GIANT BIRD OF PARADISE	SHOWY FLOWER	20' x 10'
THEVETIA PERUVIANA	YELLOW OLEANDER	GLOSSY GREEN FOLIAGE	20' x 15'
XYLOSMA CONGESTUM	SHINY XYLOSMA	GLOSSY GREEN FOLIAGE	15' x 15'

SMALL / MEDIUM EVERGREEN FLOWERING SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
AGAPANTHUS AFRICANUS	LILY OF THE NILE	PURPLE FLOWERS	2' x 2'
ADONIS ATTENUATA	FOX TAIL AGAVE	ROSETTE FORM	4' x 4'
ASTER CHILENSIS	CALIFORNIA ASTER	LOW, SPREADING	1' x 1'
COROPHIS 'RUM PUNCH'	RUM PUNCH TICKSEED	COMPACT, MOUNDING	2' x 2'
CUPHEA HYSSOPIFOLIA	MEXICAN HEATHER	COMPACT, MOUNDING	3' x 3'
CUPHEA IGNEA	CIGAR PLANT	COMPACT, MOUNDING	2' x 2'
DIANELEA TASMANICA	TASMANIAN FLAX LILY	UPRIGHT, SPREADING	3' x 3'
DIETES VEGATA	FORTNIGHT LILY	UPRIGHT, SPREADING	2.5' x 2.5'
GREVILLEA 'NOELLI'	FINE TEXTURED	UPRIGHT, SPREADING	4' x 4'
HEMEROCALLIS 'YELLOW'	YELLOW DAYLILY	SHOWY FLOWER	1.5' x 1.5'
HEUCHERA HYBRID	CORAL BELLS	ATTRACTIVE FOLIAGE	1.5' x 1.5'
LAVANDULA OFFICINALIS	ENGLISH LAVENDER	FRAGRANT	3' x 3'
LIRIOPE MUSCARI	BIG BLUE LILYTURF	UPRIGHT, SPREADING	1.5' x 1.5'
PITTOSPORUM SPP.	COMPACT, MOUNDING	COMPACT, MOUNDING	5' x 5'
POLYGALA X DALLMANIANA	SWEET REA SHRUB	BLOOMS ALL YEAR	5' x 5'
ROSA 'ICEBURG'	WHITE ICEBURG ROSE	SHOWY FLOWER	8' x 6'
SCABIOSA COLUMBARIA	PINCUSHION FLOWER	SHOWY FLOWER	1.5' x 1.5'
STRELTITZIA REGINAE	BIRD OF PARADISE	SHOWY FLOWER	5' x 6'

GROUND COVERS - 65% 1-GALLON, 35% FLATS-3'-5' o.c.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
DYMONDIA MARGARETAE	SILVER CARPET	SPREADING	3' x 2'
PHLOX SUBULATA	CREeping PHLOX	SHOWY FLOWER	5' x 2'
SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	SPREADING	6' x 1'
THYMUS 'WOOLLY'	WOOLLY THYME	FRAGRANT	6' x 1.5'
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	FRAGRANT	2' x 2'

ORNAMENTAL GRASSES - 100% 1-GALLON

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	UPRIGHT, SPREADING	1' x 1'
CELOSIA	CANYON PRINCE WILD RYE	CLUMPING, WEEPING	5' x 5'
COSMOS BIPINNATUS	DWARF MAIDEN GRASS	UPRIGHT, SPREADING	3' x 3'
IMPATIENS SPP.	PINK MUHL'Y GRASS	UPRIGHT, SPREADING	2' x 2'
LOBELIA ERINUS	DEER GRASS	UPRIGHT, SPREADING	3' x 3'
PETUNIA HYBRIDA			
TROPAEOLUM SPP.			
VIOLA X WITTROCKIANA			
ZINNIA ELEGANS			

ANNUALS - 100% 1-GALLON

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
CALENDULA OFFICINALIS	POT MARIGOLD	FLOWERS ALL YEAR	2' x 2'
CELOSIA	COCKS COMB	SHOWY FLOWER	1.5' x 1.5'
COSMOS BIPINNATUS	COSMOS	SHOWY FLOWER	3' x 3'
IMPATIENS SPP.	IMPATIENS	BLANKET COLOR	1.5' x 1.5'
LOBELIA ERINUS	LOBELIA	ATTRACTS BUTTERFLIES	1' x 1'
PETUNIA HYBRIDA	PETUNIA	FLOWERS ALL YEAR	1' x 2'
TROPAEOLUM SPP.	DIASTURTIUM	SPREADING, EDEIBLE	1' x 1'
VIOLA X WITTROCKIANA	GARDEN PANSY	FLOWERS ALL YEAR	1' x 1'
ZINNIA ELEGANS	ZINNIA	SHOWY FLOWER	4' x 11'

VINES - 100% 5-GALLON

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
HARDENBERGIA VILACEA	HARDENBERGIA	CLIMBING	VINE TO 12'
LONICERA JAPONICA	HONEY-SUCKLE	CLIMBING, FRAGRANT	VINE TO 30'
SOLANUM JASMINOIDES	POTATO VINE	BLOOMS ALL YEAR	VINE TO 30'

ARTIFICIAL TURF AREA

ARTIFICIAL TURF PER OWNER

INTERIOR SITE-PRIVATELY MAINTAINED (PERMANENT IRRIGATION)

THE INTERIOR SITE AREAS ARE TO BE PLANTED WITH COLORFUL CONTAINER MATERIAL WITH DEEP ROOTING CHARACTERISTICS IN CONFORMANCE WITH THE GRADING ORDINANCE. DROUGHT TOLERANT NATIVE AND NATURALIZED SPECIES ARE USED PLANTED IN AN INFORMAL PATTERN. SEASONAL MAINTENANCE WILL BE NEEDED ONCE ESTABLISHED. PLANT DESIGN MAYBE SELECTED FROM THE FOLLOWING SPECIES OR APPROVED EQUAL.

SITE TREES - EVERGREEN & DECIDUOUS, SHADE TREE - 50% 24" BOX OR LARGER 50% 15 GAL

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ARBUSUS MARINA	MARINA MADRONE	ROUNDED, UPRIGHT	35' x 30'
CASSIA LEPTOPHYLLA	GOLDEN MEDALLION TREE	FLOWER, ORNAMENTAL	15' x 18'
CERCIS OCCIDENTALIS	WESTERN REDBUD	SCREENING, WILDLIFE	15' x 20'
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	BRONZE GREEN FOLIAGE	20' x 20'
GEUERA PARVIFLORA	AUSTRALIAN WILLOW	WEEPING, LOW CANOPY	35' x 30'
LAURUS NOBILIS	BAY LAUREL	SCREENING, HEDGE	30' x 25'
METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	SHOWY RED FLOWERS	30' x 30'
MORELLA CALIFORNICA	PACIFIC WAX MYRTLE	SCREENING, WILDLIFE	30' x 20'
OLEA EUROPAEA 'WILSONII'	WILSON FRUITLESS OLIVE	SCREEN, HEDGE	25' x 25'
PODOCARPUS GRACILIOR	FERN PODOCARPUS	SCREEN, HEDGE	40' x 25'
QUERCUS ILEX	CATALINA CHERRY	SCREEN, HEDGE	15' x 10'
RHUS LANCEA	HOLLY OAK	ROUNDED, SHADE TREE	40' x 40'
TIPUNA TIPU	AFRICAN LANCEA	SCREEN, UPRIGHT	25' x 30'
TRISTANIA LAURINA	TIPU TREE	YELLOW FLOWER	60' x 50'
	ELEGANT BRISBANE	ROUNDED, SHADE TREE	35' x 30'

LARGE SCREENING SHRUB

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ACACIA LONGIFOLIA	SYDNEY GOLDEN WATTLE	SCREENING	15' x 15'
CEANOTHUS 'RAY HARTMAN'	RAY HARTMAN CEANOTHUS	SCREENING	12' x 10'
HETEROMELES ARBUTIFOLIA	TOYON		
MALOSMA LAURINA	LAUREL SUMAC		

LARGE / MEDIUM EVERGREEN SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
CISTUS PURPUREUS	ORCHID ROCKROSE	SHOWY FLOWER	3' x 3'
DIETES VEGATA	FORTNIGHT LILY	UPRIGHT, SPREADING	2' x 3'
LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE	UPRIGHT, FINE TEXTURE	4' x 4'
PHORMIUM TENAX 'MAORI QUEEN'	FLAX	ATTRACTIVE FOLIAGE	3' x 3'
PITTOSPORUM SPP.	PITTOSPORUM	COMPACT, MOUNDING	3' x 3'
LIGUSTRUM JAPONICUM 'TEXANUM'	PRIVET	UPRIGHT, COMPACT	5' x 4'
XYLOSMA CONGESTUM	SHINEY XYLOSMA	GLOSSY GREEN FOLIAGE	6' x 6'

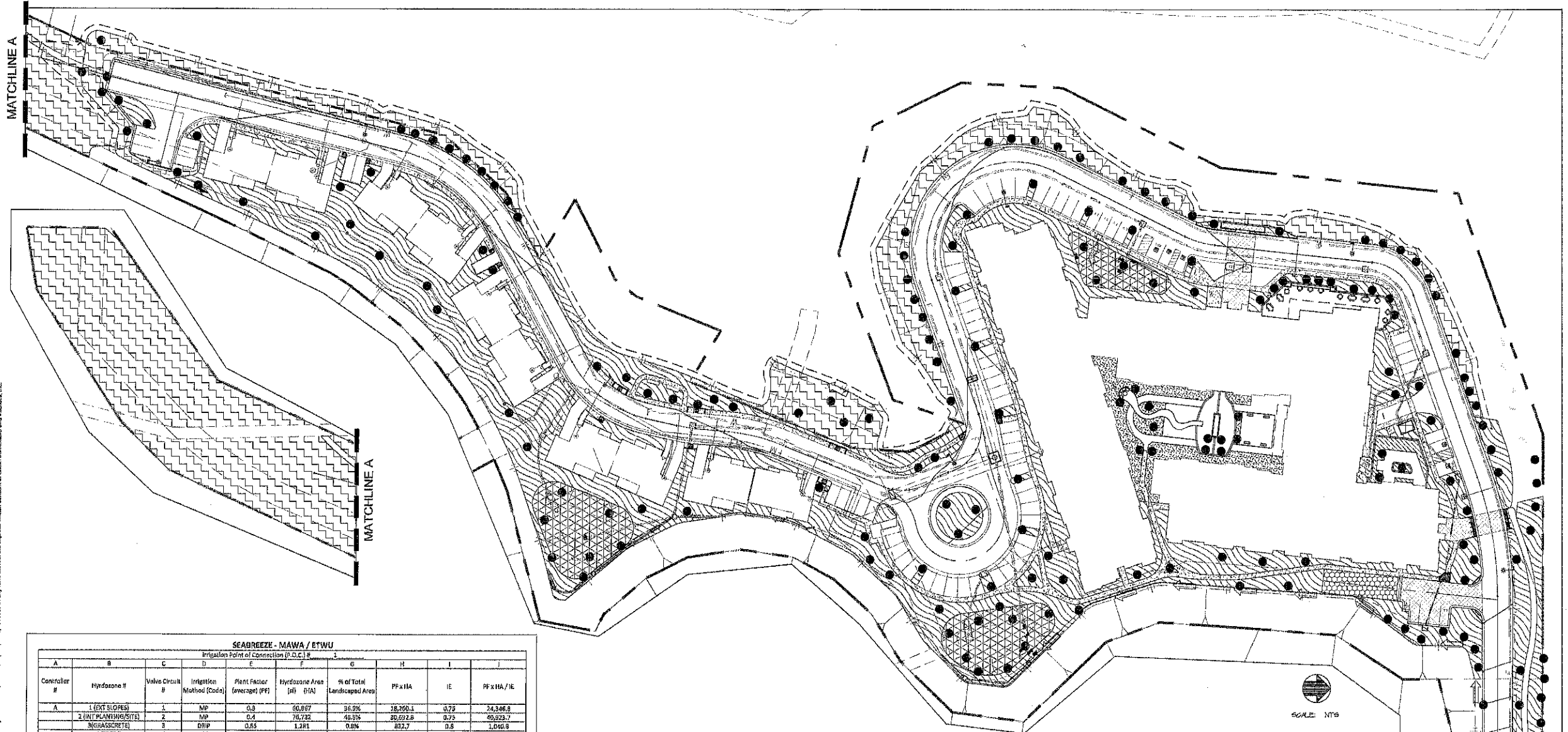
SMALL / MEDIUM EVERGREEN FLOWERING SHRUB - 80% 1-GALLON, 20% 5 GALLON-3'-5' o.c.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ABELIA GRANDIFLORA	GLOSSY ABELIA	ROUNDED, SPREADING	4' x 4'
CEANOTHUS SP.	WILD LILAC	SHOWY FLOWER	3' x 3'
HEMEROCALLIS HYBRIDA	DAYLILY	SHOWY FLOWER	1.5' x 1.5'
LEUCOPHYLLUM FRUITICOSUM	TEXAS RANGER	SILVER FOLIAGE	3' x 2'
RAPHIOLEPSIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	COMPACT, PINK FLOWER	2' x 2'

GROUND COVERS - 35% 1-GALLON, 65% FLATS-3'-5' o.c.

PLANT MATERIAL	COMMON NAME	FORM FUNCTION	SIZE
ACACIA REDOLENS 'LOW BOW'	PROSTRATE ACACIA	ROUNDED, SPREADING	2.5' x 5'
BACCHARIS PILULARIS 'TWIN PEAKS'	TWIN PEAKS BACCHARIS	COMPACT, SPREADING	3' x 7'
CALANDRINA SPETABILIS	ROCK PURSLANE	SHOWY FLOWER	1.5' x 3'
CEANOTHUS GRISEUS	SPREADING LILAC	COMPACT, SPREADING	1.5' x 7'
HORIZONTALIS 'YANKEE POINT'			
COTONEASTER HORIZONTALIS	COTONEASTER	EROSION CONTROL	2' x 3'
EPILOBIUM CANUM	CALIFORNIA FUCHSIA	SPREADING	1.

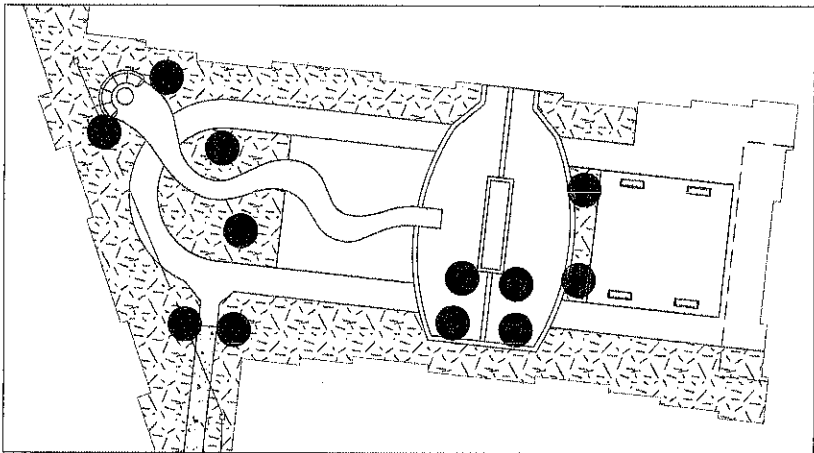
Copyright 2017 Brick Architecture and Planning, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the client of Brick Architecture and Planning, Inc. and may not be copied, reprinted, or reproduced in any form without the express written consent of Brick Architecture and Planning, Inc. The Client understands and acknowledges that the Client is not to be held responsible for any errors or omissions on these plans.



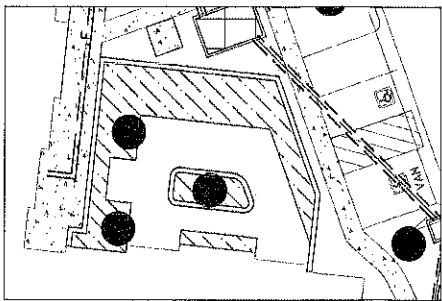
SEABREEZE - MAWA / ETWU									
Irrigation Point of Connection (P.O.C.) #									
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (Average) (PF)	Hydrozone Area (sq ft) (HA)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	1 (EXT SLOPES)	1	MP	0.8	60,887	36.8%	36,711.6	0.75	48,948.8
	2 (INT PLANTING SITE)	2	MP	0.4	76,732	46.5%	30,692.8	0.75	40,923.7
	3 (GRASSCARE)	3	DRIP	0.85	1,281	0.8%	1,088.9	0.8	1,361.1
	4 (TREES)	4	BUBBLER	0.5	9,540	5.8%	4,770.0	0.8	5,962.5
	5 (BASIN)	5	MP	0.8	11,140	6.8%	8,912.0	0.75	11,880.0
	6 (MEMORY COURTYARD)	6	DRIP	0.5	895	0.5%	447.5	0.8	559.4
	7 (MAIN COURTYARD)	7	DRIP	0.5	4,421	2.7%	2,210.5	0.8	2,763.1
			SLA	0	0	0.0%	0.0	1.0	0.0
TOTAL					164,975	100.0%	80,935.0		80,935.0

Maximum Applied Water Allowance (MAWA)	ETWU = 47.0
MAWA Formula: $[(Eto)(0.62)(0.55 \times LA) + (0.55 \times SLA)]$	LA = 164,935.0
Maximum Applied Water Allowance = 2,643,253.0 gallons per year	SLA = 0.0
Estimated Total Water Use (ETWU)	Percentage Allowance Used: 88.76%
ETWA Formula: $[(Eto)(0.62)(PF \times HA) + (E \times SLA)]$	MAWA - ETWU = (gallons) 296,678.3
ETWU Formula: $[(Eto)(0.62)(Total of Column J)]$	Efficiency = 0.86
Estimated Total Water Use = 2,346,574.6 gallons per year	

WATER EFFICIENT LANDSCAPE WORKSHEET



MAIN COURTYARD HYDROZONE PLAN - ENLARGEMENT

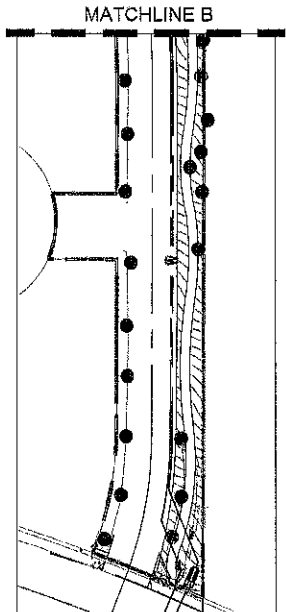


MEMORY CARE COURTYARD HYDROZONE PLAN - ENLARGEMENT

LANDSCAPE HYDROZONE PLAN

HYDROZONE	PLANT WATER USE TYPES
1	LOW
2	MEDIUM
3	MEDIUM
4	MEDIUM
6	LOW
8	MEDIUM
7	MEDIUM

- HYDROZONE 1 - (TEMPORARILY IRRIGATED) - REVEGETATION PLANTING: ROTATOR - 58,874 SF
- HYDROZONE 2 - INTERIOR SITE: MP ROTATOR - 70,499 SF
- HYDROZONE 3 - GRASSCARE: MP DRIP - 895 SF
- HYDROZONE 4 - TREES: BUBBLER - 9,540 SF
- HYDROZONE 5 - WATER QUALITY BASIN: MP ROTATOR - 8,774 SF
- HYDROZONE 6 - MEMORY CARE: DRIP - 743 SF
- HYDROZONE 7 - MAIN COURTYARD SHRUBS: DRIP - 4,524 SF



MATCHLINE B

SEABREEZE SENIORS
LANDSCAPE HYDROZONE PLAN

11.19.2018 PLANNING RESUBMITTAL #3
08.28.2018 PLANNING RESUBMITTAL #2
07.24.2018 PLANNING RESUBMITTAL #1
03.07.2018 PLANNING SUBMISSION



5720 old canal valley road
san diego, ca 92120
project number: 4808
original drawing
preparation date: 3/1/18

scale: as noted
planning submittal
LANDSCAPE
HYDROZONE
PLAN

L-4

BRUSH MANAGEMENT & FENCING PLAN

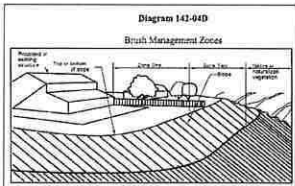


BRUSH MANAGEMENT:

(A) BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON THE FOLLOWING TYPES OF PREMISES:
 (1) PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION.
 (2) EXCEPT FOR WETLANDS, ENVIRONMENTALLY SENSITIVE LANDS THAT ARE WITHIN 100 FEET OF A STRUCTURE, UNLESS THE FIRE CHIEF DEEMS BRUSH MANAGEMENT NECESSARY IN WETLANDS IN ACCORDANCE WITH SECTION 142.0412 (I).
 WHERE BRUSH MANAGEMENT IN WETLANDS IS DEEMED NECESSARY BY THE FIRE CHIEF, THAT BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS SECTION 143.0110(C)(7).

(B) BRUSH MANAGEMENT ZONES WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING AN EFFECTIVE FIRE BREAK BETWEEN ALL STRUCTURES AND CONTIGUOUS AREA OF NATIVE OR NATURALIZED VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED "ZONE ONE" AND "ZONE TWO" AS SHOWN IN DIAGRAM 142-040.

DIAGRAM 142-040
BRUSH MANAGEMENT ZONES



(1) BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (HORIZONTAL FEET TO 1 VERTICAL FOOT) UNLESS THE PROPERTY THAT RECEIVED TENTATIVE MAP APPROVAL BEFORE NOVEMBER 15, 1989, HOWEVER, WITHIN THE COASTAL OVERLAY ZONE COASTAL DEVELOPMENT SHALL BE SUBJECT TO THE ENFORCEMENT LIMITATIONS SET FORTH IN SECTION 143.0142 (A)(4) OF THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS.

(2) BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND SHALL CONSIST OF THINNED, NATIVE OR NON-IRRIGATED VEGETATION.

(C) EXCEPT AS PROVIDED IN SECTION 142.0412 (F) OR 142.0412 (I), THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET AND SHALL MEET THAT SHOWN IN TABLE 142-041. BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASEMENT IS GRANTED BY AN ADJACENT PROPERTY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONE(S) ON THE ADJACENT PROPERTY IN PERPETUITY.

TABLE 142-041
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE ONE WIDTH	35 FT.
ZONE TWO WIDTH	65 FT.

*For as modified per Plan & Optional Zone One Reduction

(D) BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO'S MSCP SUBAREA PLAN.

(E) WHERE ZONE ONE WIDTH IS REQUIRED ADJACENT TO THE MHFA OR WITHIN THE COASTAL OVERLAY ZONE, ANY OF THE FOLLOWING MODIFICATIONS TO DEVELOPMENT REGULATIONS OF THE LAND DEVELOPMENT CODE OR STANDARDS IN THE LAND DEVELOPMENT MANUAL ARE PERMITTED TO ACCOMMODATE THE INCREASE IN WIDTH:

- THE REQUIRED FRONT YARD SETBACK OF THE BASE ZONE MAY BE REDUCED BY 5 FEET.
- A SIDEWALK MAY BE ELIMINATED FROM ONE SIDE OF THE PUBLIC RIGHT-OF-WAY AND THE MINIMUM REQUIRED PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED BY 5 FEET, OR
- THE OVERALL MINIMUM PAVEMENT AND PUBLIC RIGHT-OF-WAY WIDTH MAY BE REDUCED IN ACCORDANCE WITH THE STREET DESIGN STANDARDS OF THE LAND DEVELOPMENT MANUAL.

(F) THE ZONE TWO WIDTHS MAY BE DECREASED BY 1/2 FEET FOR EACH 1 FOOT OF INCREASE IN ZONE ONE WIDTH UP TO A MAXIMUM REDUCTION OF 30 FEET OF ZONE TWO WIDTH.

(3) ZONE ONE REQUIREMENTS

- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
- PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DWP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.

(5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:

- WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- (7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

(4) ZONE TWO REQUIREMENTS

- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE REDUCED TO A HEIGHT OF 6 INCHES. NON-NATIVE PLANTS SHALL BE REDUCED IN HEIGHT BEFORE NATIVE PLANTS ARE REDUCED IN HEIGHT.
- WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.

(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED, AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL, INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

- ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHFA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
- NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF NATIVE TREES AND TREE FORM SHRUB MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.

(C) ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.

(D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.

(E) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS AND CONTROLLING WEEDS.

(F) EXCEPT AS PROVIDED IN SECTION 142.0412 (I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-041 CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

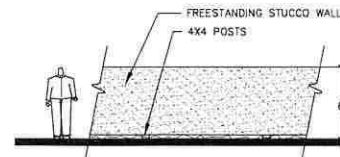
(I) THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:

- IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.0412 FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF ZONES ONE AND TWO;
- THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.0412, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL; AND
- THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.

(J) IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.

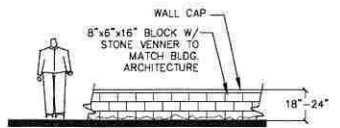
(K) FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.

(L) BRUSH MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.



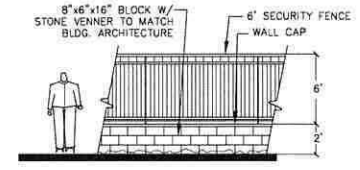
STUCCO FENCE

NTS SYMBOL ON PLAN



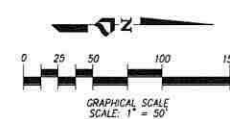
MASONRY LOW WALL

NTS SYMBOL ON PLAN



MASONRY LOW WALL W/ SECURITY FENCE

NTS SYMBOL ON PLAN



VISIBILITY TRIANGLE
NO FENCES OR SHRUBS
OVER 24" IN HEIGHT
ARE PERMITTED

ARCHITECT
brick
1266 66th street, suite 1
escondido, ca 92026
510 516 0167
www.brick-inc.com

CLIENT
seabreeze farms senior living

PROJECT DESIGN CONSULTANTS
Seabreeze Farms Senior Living
78 E. Hwy 163, San Diego, CA 92108

△

SEABREEZE SENIORS BRUSH MANAGEMENT PLAN

11.19.2018 PLANNING RESUBMITTAL #3
09.28.2018 PLANNING RESUBMITTAL #2
07.24.2018 PLANNING RESUBMITTAL #1
03.07.2018 PLANNING SUBMISSION

rev date issue



EXPIRES 7/31/19

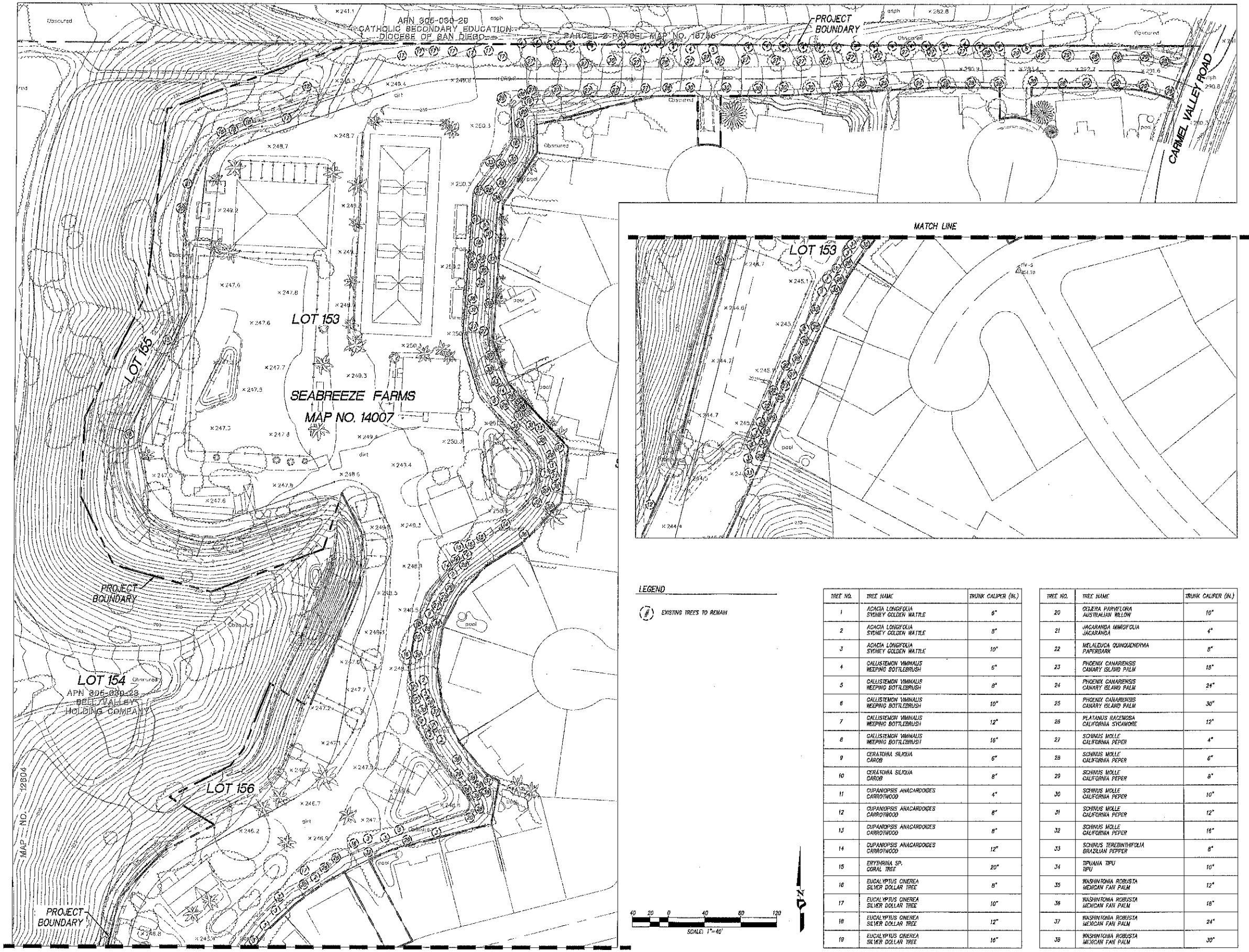
5720 old camel valley road
san diego, ca 92130
project number: 4308
original drawing
preparation date 3/1/18

scale: as noted
planning submittal

BRUSH
MANAGEMENT
PLAN

L-5

sheet no. 22 of 34

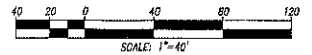


LEGEND

1 EXISTING TREES TO REMAIN

TREE NO.	TREE NAME	TRUNK CALIPER (IN.)
1	ACACIA LONGIFOLIA SYDNEY GOLDEN WATTLE	6"
2	ACACIA LONGIFOLIA SYDNEY GOLDEN WATTLE	8"
3	ACACIA LONGIFOLIA SYDNEY GOLDEN WATTLE	10"
4	CALLISTEMON VIMINALIS WEEPING BOTLEBRUSH	6"
5	CALLISTEMON VIMINALIS WEEPING BOTLEBRUSH	8"
6	CALLISTEMON VIMINALIS WEEPING BOTLEBRUSH	10"
7	CALLISTEMON VIMINALIS WEEPING BOTLEBRUSH	12"
8	CALLISTEMON VIMINALIS WEEPING BOTLEBRUSH	16"
9	CERATOPHA SILVIA CAROB	6"
10	CERATOPHA SILVIA CAROB	8"
11	CUPANOPSIS ANACARDIODES CARROTWOOD	4"
12	CUPANOPSIS ANACARDIODES CARROTWOOD	6"
13	CUPANOPSIS ANACARDIODES CARROTWOOD	8"
14	CUPANOPSIS ANACARDIODES CARROTWOOD	12"
15	ERYTHINA SP. CORAL TREE	20"
16	EUCALYPTUS CINEREA SILVER DOLLAR TREE	8"
17	EUCALYPTUS CINEREA SILVER DOLLAR TREE	10"
18	EUCALYPTUS CINEREA SILVER DOLLAR TREE	12"
19	EUCALYPTUS CINEREA SILVER DOLLAR TREE	16"

TREE NO.	TREE NAME	TRUNK CALIPER (IN.)
20	OLEA PARVIFLORA AUSTRALIAN WILLOW	10"
21	JACARANDA MINISFOLIA JACARANDA	4"
22	MELALEUCA QUINQUEFOLIA PAPERBARK	8"
23	PHOENIX CANARIENSIS CANARY ISLAND PALM	18"
24	PHOENIX CANARIENSIS CANARY ISLAND PALM	24"
25	PHOENIX CANARIENSIS CANARY ISLAND PALM	30"
26	PLATANUS RACEMOSA CALIFORNIA SYCAMORE	12"
27	SCHINUS MOLLE CALIFORNIA PEPPER	4"
28	SCHINUS MOLLE CALIFORNIA PEPPER	6"
29	SCHINUS MOLLE CALIFORNIA PEPPER	8"
30	SCHINUS MOLLE CALIFORNIA PEPPER	10"
31	SCHINUS MOLLE CALIFORNIA PEPPER	12"
32	SCHINUS MOLLE CALIFORNIA PEPPER	16"
33	SCHINUS TERZIBINTHIFOLIA BRAZILIAN PEPPER	8"
34	TRIPLEX TRIPLEX	10"
35	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	12"
36	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	18"
37	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	24"
38	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	30"



brick.

ARCHITECT
brick.
1286 6th St., Suite 1
Emeryville, CA 94608
510.510.0187
www.brick-inc.com

CLIENT
Seabreeze Farms Senior Living

PROJECT DESIGN CONSULTANTS
Seabreeze Farms Senior Living
1286 6th St., Suite 1
Emeryville, CA 94608
510.510.0187
www.brick-inc.com

SEABREEZE SENIORS
EXISTING TREE INVENTORY

11/18/2018 PLANNING RESUBMITTAL #3
09/28/2018 PLANNING RESUBMITTAL #2
07/24/2018 PLANNING RESUBMITTAL #1
03/07/2018 PLANNING SUBMISSION

rev date issue

SEABREEZE SENIORS
EXISTING TREE INVENTORY
EXP. 7/31/19

5720 Old Carmel Valley Road
San Diego, CA 92130
Project Number: 4308
Original Drawing:
Preparation Date: 3/1/18

scale: as noted

planning submittal
EXISTING TREE
INVENTORY

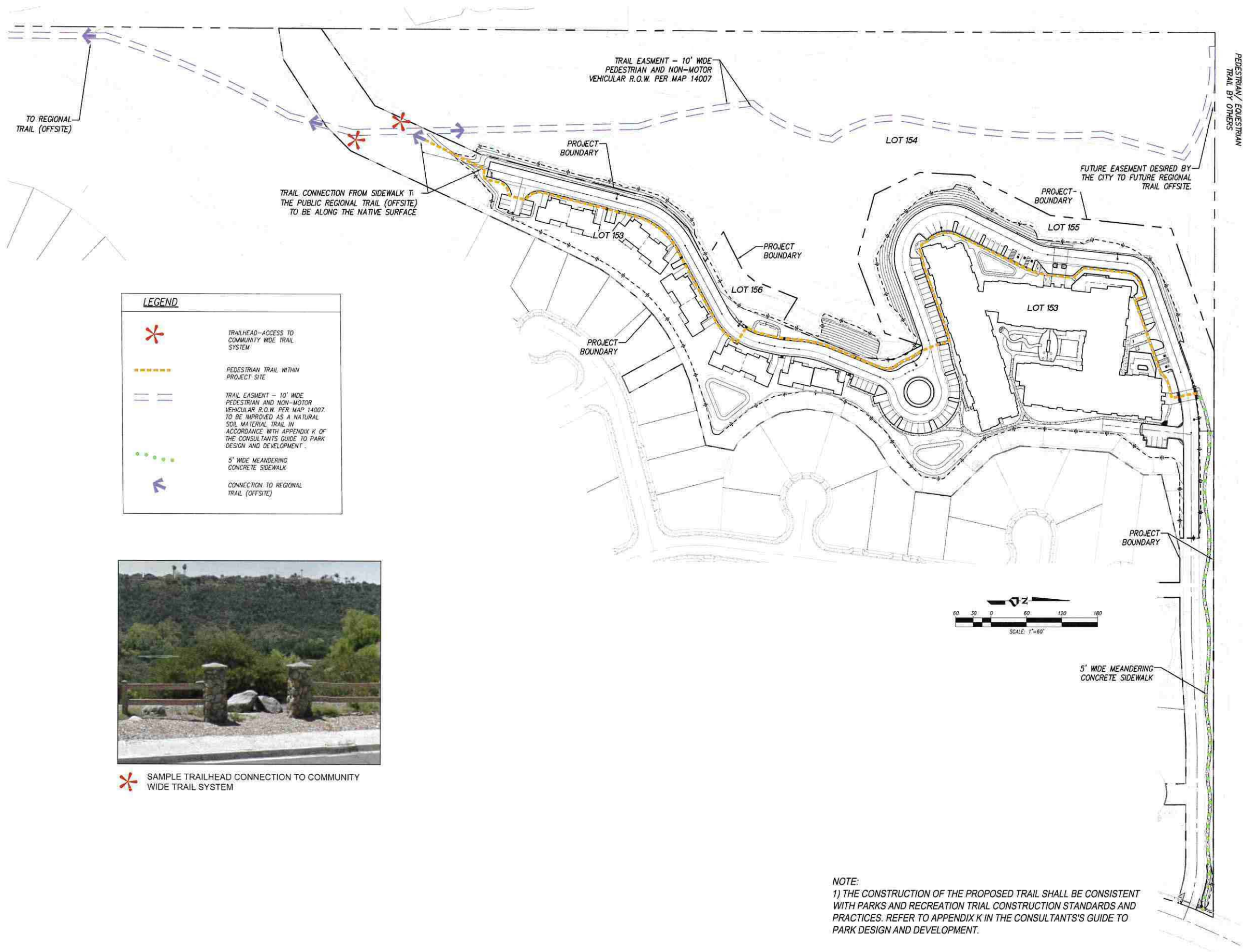
L-6

sheet no. 23 of 34

Copyright 2017 Brick Architecture and Design, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the client of Brick Architecture and Design, Inc. and may not be used, copied, or reproduced in any form without the express written consent of Brick Architecture and Design, Inc.

Seabreeze Farms Senior Living
1286 6th St., Suite 1
Emeryville, CA 94608
510.510.0187
www.brick-inc.com

Lost save by JON BECKER, File Name P:\4308\Landscapes\Conceptual\4308_1M EXISTING TREES.dwg, Date Lost Saved 11/15/2018 5:05 PM, Date Plotted Last 11/15/2018 11:51:15 AM

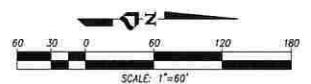


LEGEND

- Trailhead - Access to Community Wide Trail System
- Pedestrian Trail within Project Site
- Trail Easment - 10' Wide Pedestrian and Non-Motor Vehicular R.O.W. per Map 14007. To be improved as a natural soil material trail in accordance with Appendix K of the Consultants Guide to Park Design and Development.
- 5' Wide Meandering Concrete Sidewalk
- Connection to Regional Trail (Offsite)



SAMPLE TRAILHEAD CONNECTION TO COMMUNITY WIDE TRAIL SYSTEM



NOTE:
1) THE CONSTRUCTION OF THE PROPOSED TRAIL SHALL BE CONSISTENT WITH PARKS AND RECREATION TRIAL CONSTRUCTION STANDARDS AND PRACTICES. REFER TO APPENDIX K IN THE CONSULTANTS'S GUIDE TO PARK DESIGN AND DEVELOPMENT.

brick

ARCHITECT
brick
1269 60th Street, Suite 1
Emeryville, CA 94608
510.516.8167
www.brick-inc.com

CLIENT
Seabreeze Farms Senior Living

PROJECT DESIGN CONSULTANTS
Seabreeze Farms Senior Living

EXISTING OFF-SITE
PEDESTRIAN/ EQUESTRIAN
TRAIL BY OTHERS

SEABREEZE SENIORS
PEDESTRIAN CIRCULATION EXHIBIT

11.19.2018 PLANNING RESUBMITTAL #3
09.28.2018 PLANNING RESUBMITTAL #2
07.24.2018 PLANNING RESUBMITTAL #1
03.07.2018 PLANNING SUBMISSION

rev. date 05/09

REGISTERED LANDSCAPE ARCHITECT
JON BECKER
STATE OF CALIFORNIA
EXPIRES 7/31/19

5720 Old Camel Valley Road
San Diego, CA 92130
project number: 4308
original drawing
preparation date: 3/1/18
scale: as noted
planning submittal

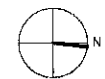
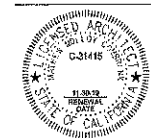
PEDESTRIAN
CIRCULATION
EXHIBIT

L-7

sheet no. 24 of 34

11.19.2018 planning resubmittal
11.02.2019 100% schematic
09.28.2019 design issue
07.24.2019 planning resubmittal
03.07.2019 planning submission

rev date issue



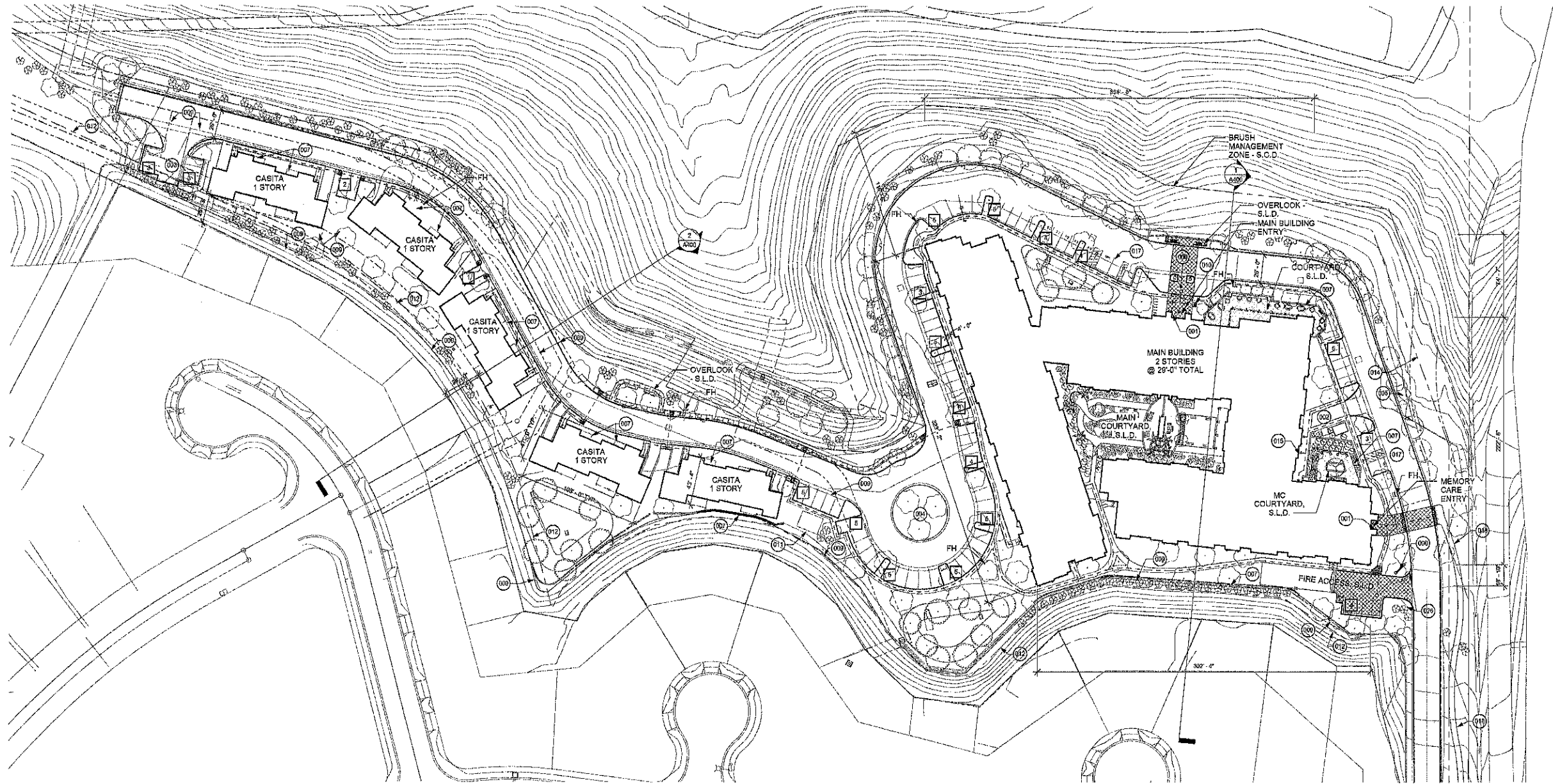
6720 Old Camel Valley Road
San Diego, CA 92130
project number: 17-162
original drawing
preparation date: 03/02/17

scale: as noted

PLANNING RESUB.
SITE PLAN

A100

sheet no. 25 of 34



1" = 40'-0"

1 SITE PLAN

REFUSE/RECYCLING STORAGE AREAS

REFUSE AND RECYCLING ROOM INTERIOR TO BUILDING SPACE. SIZE AND LOCATION REQUIREMENTS TO COMPLY WITH SAN DIEGO MUNICIPAL CODE SECTIONS 142.0810, 142.0830. SEE TABLE BELOW FOR AREA REQUIREMENTS.

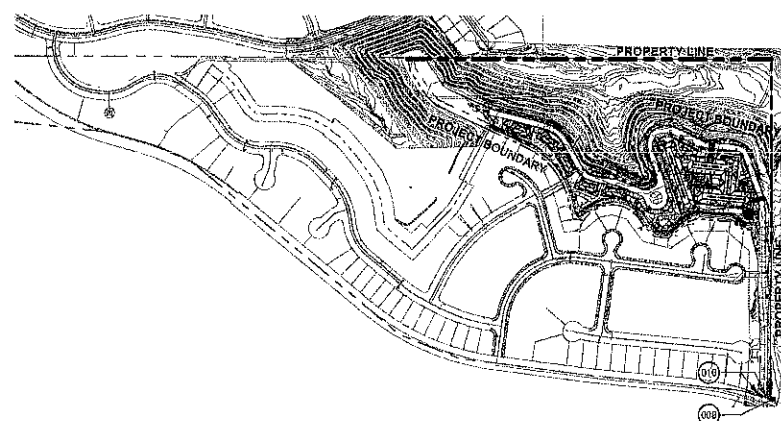
REFUSE AND RECYCLING AREA REQUIREMENTS PER SAN DIEGO MUNICIPAL CODE SECTION 142.0820 AND 142.0830:

RESIDENTIAL REFUSE AND RECYCLING ROOM REQUIREMENTS:
UNITS: 114
AREA REQUIRED: 384 SF

NON-RESIDENTIAL REFUSE AND RECYCLING ROOM REQUIREMENTS:
NON-RESIDENTIAL COMMON AREAS: 22,930 SF
AREA REQUIRED: 60 SF

TOTAL RESIDENTIAL AND NON-RESIDENTIAL
AREAS REQUIRED: 480 SF (COMBINED)

AREA PROVIDED: 536 SF
(MAIN REFUSE AND RECYCLING COLLECTION ROOM (LEVEL 1))

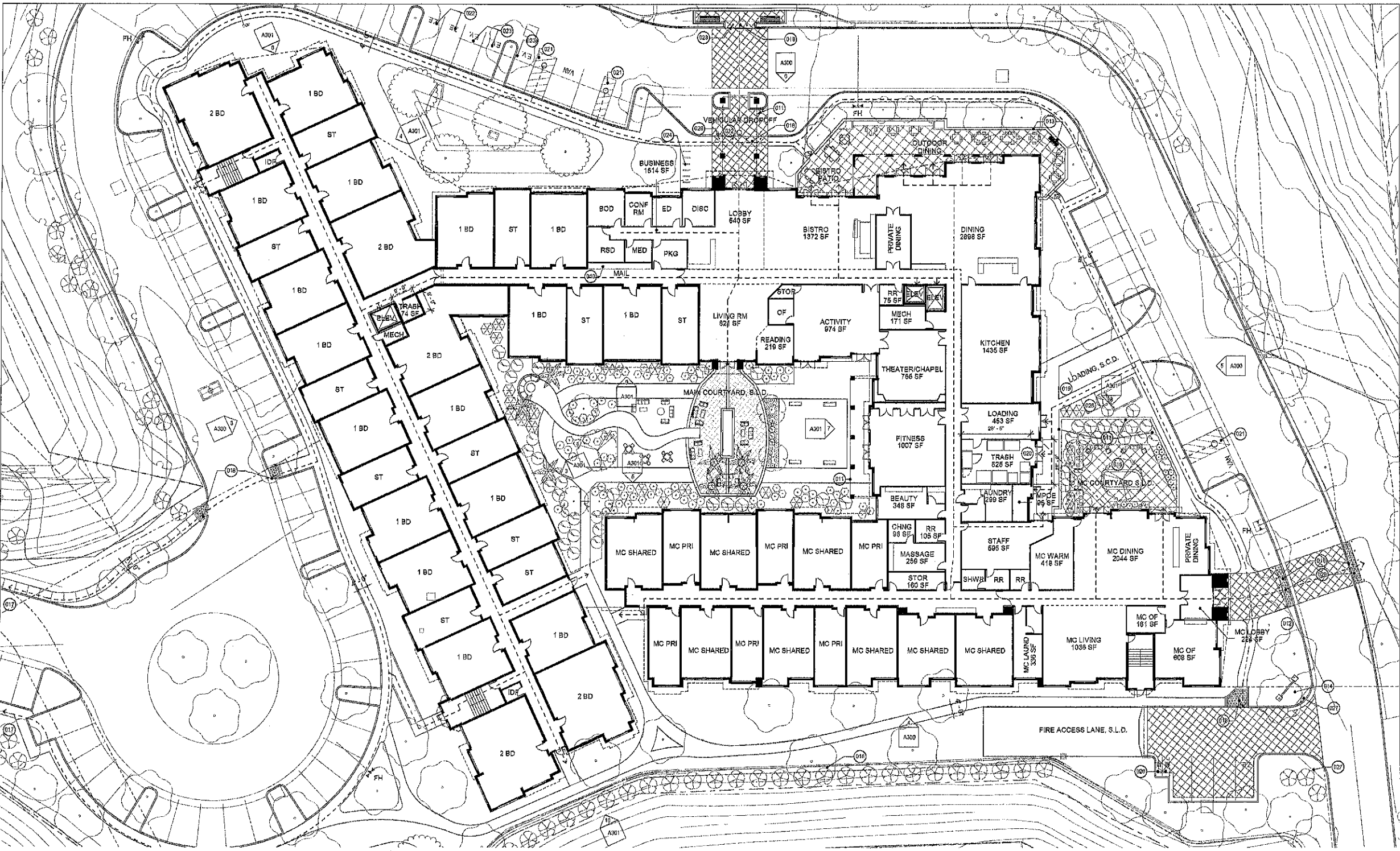


2 KEY PLAN

1" = 300'-0"

2 SITE PLAN LEGEND

- | | |
|--|---|
| 000 ACCESSIBLE PASSENGER DROPOFF, 12' X 36' | 010 25' TALL INTERNAL HALLYARD FLAGPOLE WITH TWO LIGHTS AT ENTRANCE. |
| 001 KNOX BOX LOCATIONS TO MEET SAN DIEGO FFPB POLICY K-15-2. KNOX BOXES SHALL BE INSTALLED WITHIN 10' OF THE MAIN BUILDING ENTRIES, AND MOUNTED AT 72" ABOVE THE ADJACENT GRADE. | 011 SEWER LIFT STATION, BELOW GROUND WITH SITE FENCING, S.C.D. |
| 002 12' WIDE X 45' LONG LOADING, S.C.D. AREA PER CDC SECTION 142.0101. SEE CIVIL DRAWINGS FOR TRUCK TURNING RADII AND DIAGRAM | 012 25' FRONT SETBACK LINE |
| 003 FIRE TRUCK TURNAROUND, S.C.D. | 013 25' REAR SETBACK LINE |
| 004 LANDSCAPED ROUNDABOUT, S.C.D., S.L.D. | 014 20' SIDE SETBACK LINE |
| 005 SERVICE ACCESS ROAD, S.C.D. | 015 EXTERIOR DOOR TO INTERIOR REFUSE & RECYCLING ROOM |
| 006 MONUMENT SIGNAGE | 016 VISIBILITY TRIANGLES, S.C.D. |
| 007 SITE WALL, S.C.D. | 017 ACCESSIBLE PARKING, S.C.D. AND SHEETS 0001 AND A101 FOR PARKING CALCULATIONS AND LOCATIONS. |
| 008 BUILDING ADDRESS LOCATION, S.C.D. | 018 NEW 5' - 0" WIDE CONCRETE PATHWAY TO PUBLIC RIGHT OF WAY (OLD CARMEL VALLEY ROAD), S.C.D. |
| 009 EASEMENT LINE (HOA, WATER, SEWER, S.C.D.) | |
| 2 PARKING SPACE COUNT (IN ROW) | |
| PROPERTY LINE | |
| SETBACK LINE | |
| EASEMENT LINE | |
| ACCESSIBLE PATH OF TRAVEL | |



1 GROUND FLOOR PLAN (MAIN BUILDING)

1/16" = 1'-0"

- | | |
|--|---|
| <p>010 WALL MOUNTED RESIDENT MAILBOXES</p> <p>011 WOOD TRELLIS ABOVE</p> <p>012 COVERED VEHICULAR DROPOFF, INCLUDING SLOPED WALK (5% SLOPE) FROM VEHICLE DROPOFF TO SIDEWALK LEVEL</p> <p>013 LOW HEIGHT STONE WALLS, S.L.D.</p> <p>014 MONUMENT SIGNAGE, S.L.D.</p> <p>015 8' HIGH METAL SECURITY FENCE, PAINTED DARK BRONZE</p> <p>016 RETAINING WALL, S.C.D.</p> <p>017 ACCESSIBLE PATHWAY TO OTHER BUILDINGS ONSITE, SEE DWG 1/A100</p> <p>018 CURB RAMP WITH TACTILE DOMES.</p> <p>019 12' WIDE X 46' LONG LOADING, S.C.D. AREA PER ODC SECTION 142.0101. SEE CIVIL DRAWINGS FOR TRUCK TURNING RADI AND DIAGRAM</p> <p>020 EXTERIOR DOOR TO INTERIOR REFUSE & RECYCLING ROOM</p> <p>021 ADA STRIPING</p> <p>022 CLEAN AIR/ VANPOOL/ EV STALLS. STRIPING, DIMENSION, AND LOCATION REQUIREMENTS PER SDMC SECTION 142.0530(2)</p> <p>023 ELECTRIC VEHICLE CHARGING STALLS. LOCATION, DIMENSIONS, SIGNAGE AND ELECTRICAL REQUIREMENTS PER 2016 CALGREEN SECTION 4.108.4</p> <p>024 ACCESSIBLE ELECTRIC VEHICLE CHARGING STALL PER 2016 CALGREEN SECTION 4.108.4.2.2</p> <p>025 SHORT TERM BICYCLE PARKING, PER SDMC SECTION 142.0530(1)</p> <p>026 LONG TERM BICYCLE PARKING, PER SDMC SECTION 142.0530(2)</p> <p>027 MOTORCYCLE PARKING STALLS, PER SDMC SECTION 142.0520(g)</p> <p>028 VISIBILITY TRIANGLES, S.C.D.</p> <p>029 TRAFFIC BOLLARDS, S.C.D.</p> | <p>019 12' WIDE X 46' LONG LOADING, S.C.D. AREA PER ODC SECTION 142.0101. SEE CIVIL DRAWINGS FOR TRUCK TURNING RADI AND DIAGRAM</p> <p>020 EXTERIOR DOOR TO INTERIOR REFUSE & RECYCLING ROOM</p> <p>021 ADA STRIPING</p> <p>022 CLEAN AIR/ VANPOOL/ EV STALLS. STRIPING, DIMENSION, AND LOCATION REQUIREMENTS PER SDMC SECTION 142.0530(2)</p> <p>023 ELECTRIC VEHICLE CHARGING STALLS. LOCATION, DIMENSIONS, SIGNAGE AND ELECTRICAL REQUIREMENTS PER 2016 CALGREEN SECTION 4.108.4</p> <p>024 ACCESSIBLE ELECTRIC VEHICLE CHARGING STALL PER 2016 CALGREEN SECTION 4.108.4.2.2</p> <p>025 SHORT TERM BICYCLE PARKING, PER SDMC SECTION 142.0530(1)</p> <p>026 LONG TERM BICYCLE PARKING, PER SDMC SECTION 142.0530(2)</p> <p>027 MOTORCYCLE PARKING STALLS, PER SDMC SECTION 142.0520(g)</p> <p>028 VISIBILITY TRIANGLES, S.C.D.</p> <p>029 TRAFFIC BOLLARDS, S.C.D.</p> |
|--|---|

2 GROUND FLOOR PLAN LEGEND

brick

ARCHITECT
brick
1208 68th Street, Suite 1
Emeryville, CA 94608
510.515.0157
www.brick-inc.com

CLIENT
SRM Carmel Valley, LP
111 N. Post St.
Spokane, WA 99201

11.10.2015 planning resubmit
11.02.2016 100% schematic design issue
03.29.2016 planning resubmit
07.24.2016 planning resubmit
03.07.2016 planning submission

rev date issue



5720 old carmel valley road
San Diego, CA 92120
project number: 17-162
original drawing
preparation date: 03/02/16

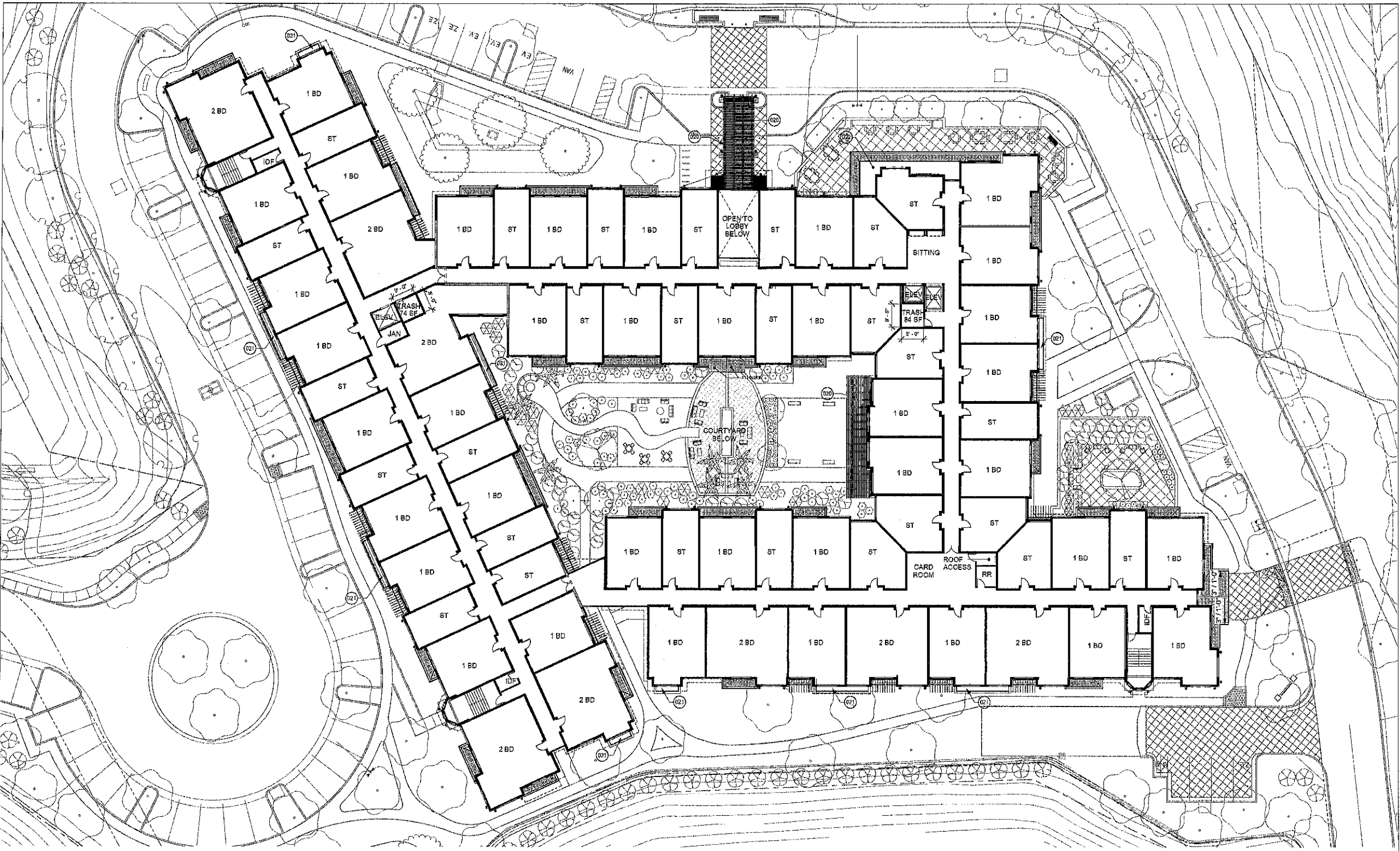
scale: as noted

PLANNING RESUB.

GROUND FLOOR
PLAN (MAIN
BUILDING)

A101

sheet no. 26 of 34



1 SECOND FLOOR PLAN (MAIN BUILDING)

1/16" = 1'-0"

- 020 WOOD AND STEEL TRELLIS BELOW
- 021 JULIET BALCONY (NON-OCCUPIABLE)
- 022 UNOCCUPIED ROOF DECK
- 023 NOT USED
- 024 NOT USED
- 025 VEHICULAR DRIVEWAY BELOW

2-HOUR FIRE WALL

2 SECOND FLOOR PLAN LEGEND

brick

ARCHITECT
brick
1255 60th Street, Suite 1
Emeryville, CA 94608
510.510.0197
www.brick-inc.com

CLIENT
SRM Capital Valley, LP
111 N. Post St.
Spokane, WA 99201

11.10.2018 planning resubmital
11.02.2018 100% schematic
11.02.2018 design issue
09.24.2018 planning resubmital
07.24.2018 planning resubmital
03.07.2018 planning submission

REV DATE 2/24/19



5720 Old Cannell Valley Road
San Diego, CA 92130
project number: 17-162
original drawing
preparation date: 03/02/19

scale: as noted

PLANNING RESUB.

SECOND FLOOR
PLAN (MAIN
BUILDING)

A102

sheet no. 27 of 34

ARCHITECT
brick
1255 68th street, suite 1
emeryville, ca 94608
510.516.0187
www.brick-bnc.com

CLIENT
SRM Carmel Valley, LP
111 N. First St.
Spokane, WA 99201

11.10.2018 planning resubmittal
100% schematic
11.02.2018 design issue
00.28.2018 planning resubmittal
07.24.2018 planning resubmittal
03.07.2018 planning submission

rev date issue

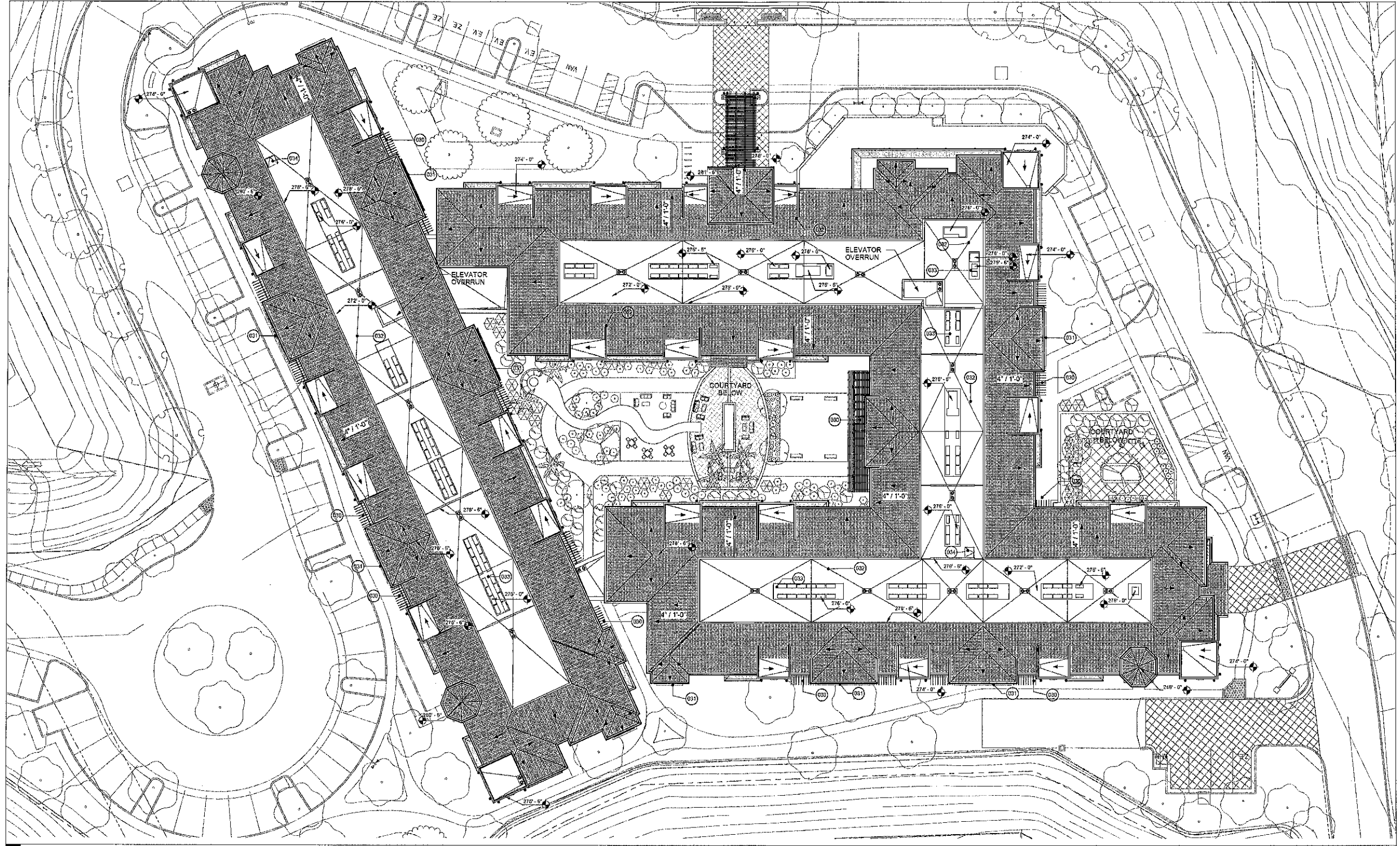


6720 old carmel valley road
san diego, ca 92120
project number: 17-162
original drawing
preparation date: 03/02/18

scale: as noted
PLANNING RESUB.
ROOF PLAN
(MAIN BUILDING)

A103

sheet no. 28 of 34



1 ROOF PLAN (MAIN BUILDING)

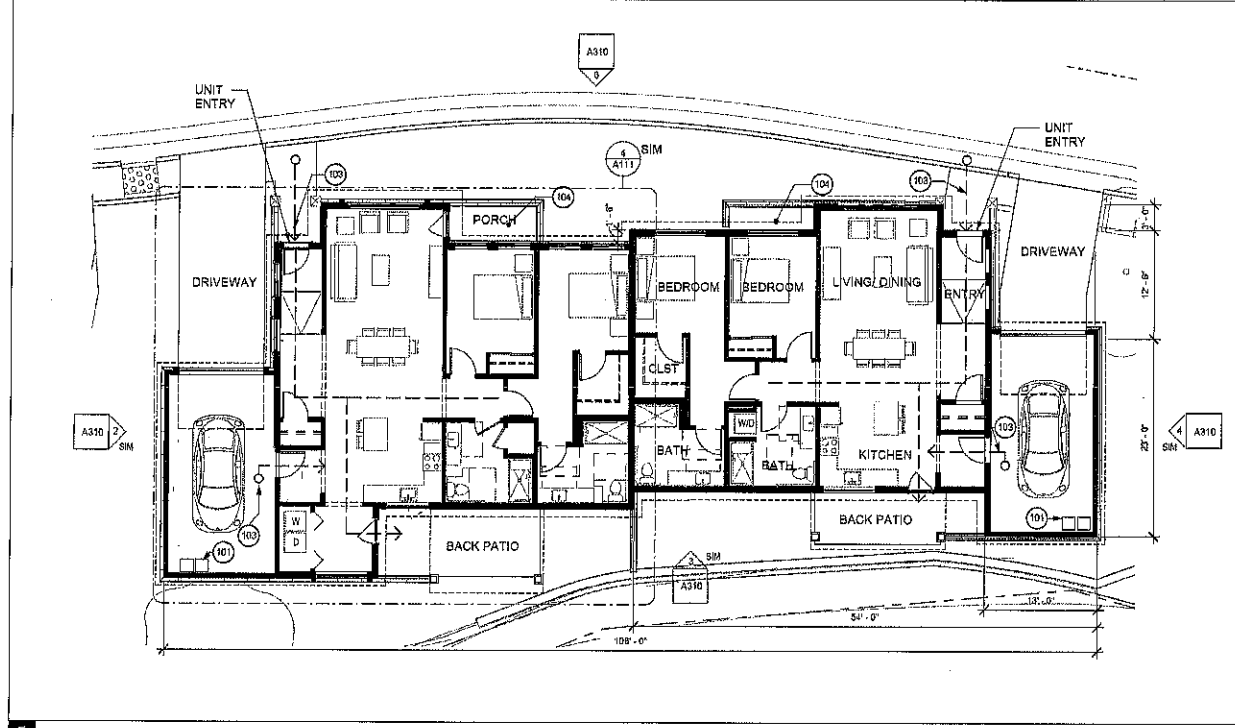
1/16" = 1'-0"

- 030 WOOD TRELLIS BELOW
 - 031 JULIET BALCONY BELOW, TYP
 - 032 ROOF RIDGE, TYP
 - 033 ROOF EQUIPMENT AREA. EQUIPMENT SCREENED BY HIPPED ROOF. MAX T.O. EQUIPMENT @ 277' - 11 1/2".
NOTE: MANSARD ROOFS WILL SCREEN ROOF MOUNTED EQUIPMENT, SO NO ROOF SCREENING IS SHOWN.
 - 034 ROOF ACCESS HATCH TO SECOND FLOOR
- 03 ROOF DRAIN
- SINGLE PLY ROOFING
1/2:12 SLOPE, TYP.
- SPANISH-STYLE METAL TILE ROOF.
DOWNSPOUTS AND GUTTERS, TYP.
4:10 SLOPE, TYP.

2 ROOF PLAN LEGEND

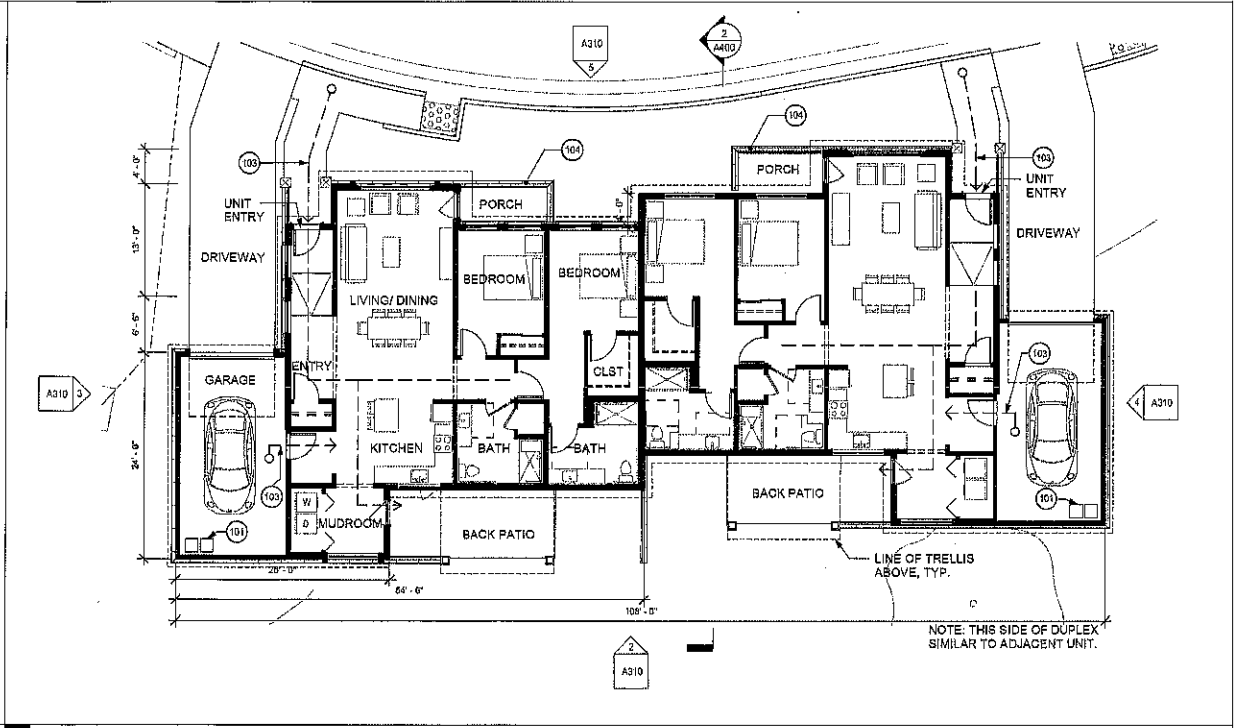
Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are prepared for the sole benefit of the clients of Brick Architecture and Interiors, Inc., and may not be used, reused, copied, or reproduced in any form without the expressed written consent of Brick Architecture and Interiors, Inc. The Client and/or documents are the property of Brick Architecture and Interiors, Inc. and shall remain confidential.

Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are prepared for the sole benefit of the client of Brick Architecture and Interiors, Inc., and may not be used, revised, copied, or reproduced in any form without the expressed written consent of Brick Architecture and Interiors, Inc. file: C:\Users\brack\Documents\17-152\17-152.dwg



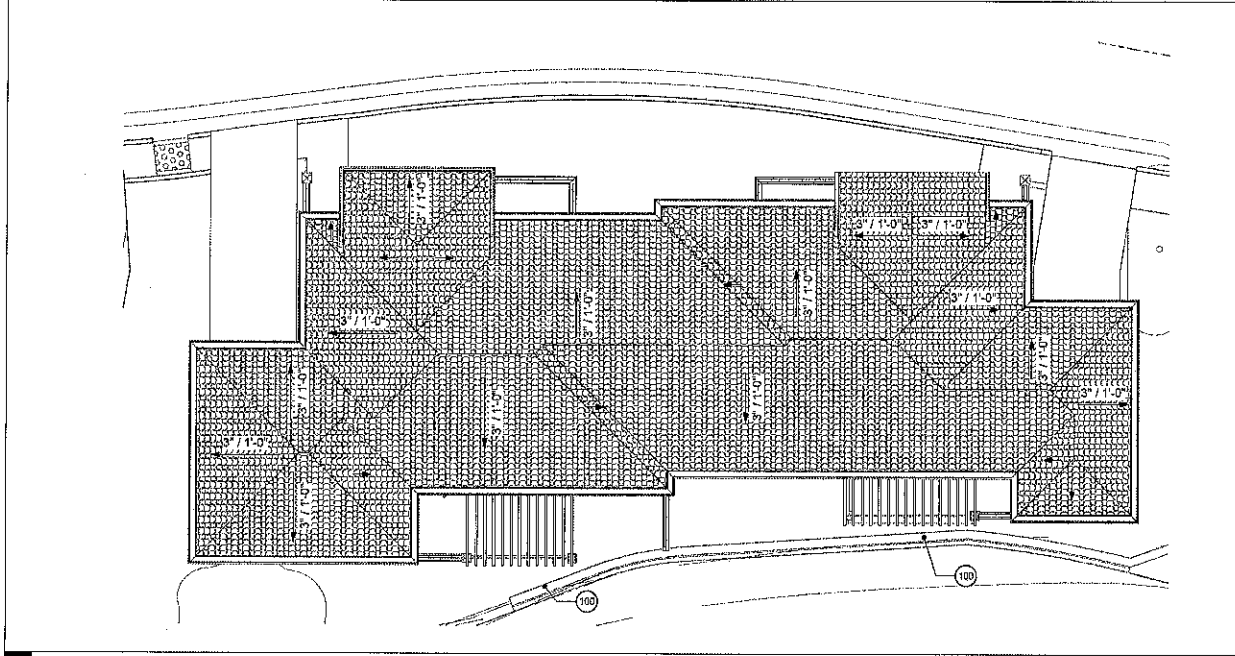
5 FLOOR PLAN (NORTH CASITA)

1/8" = 1'-0"



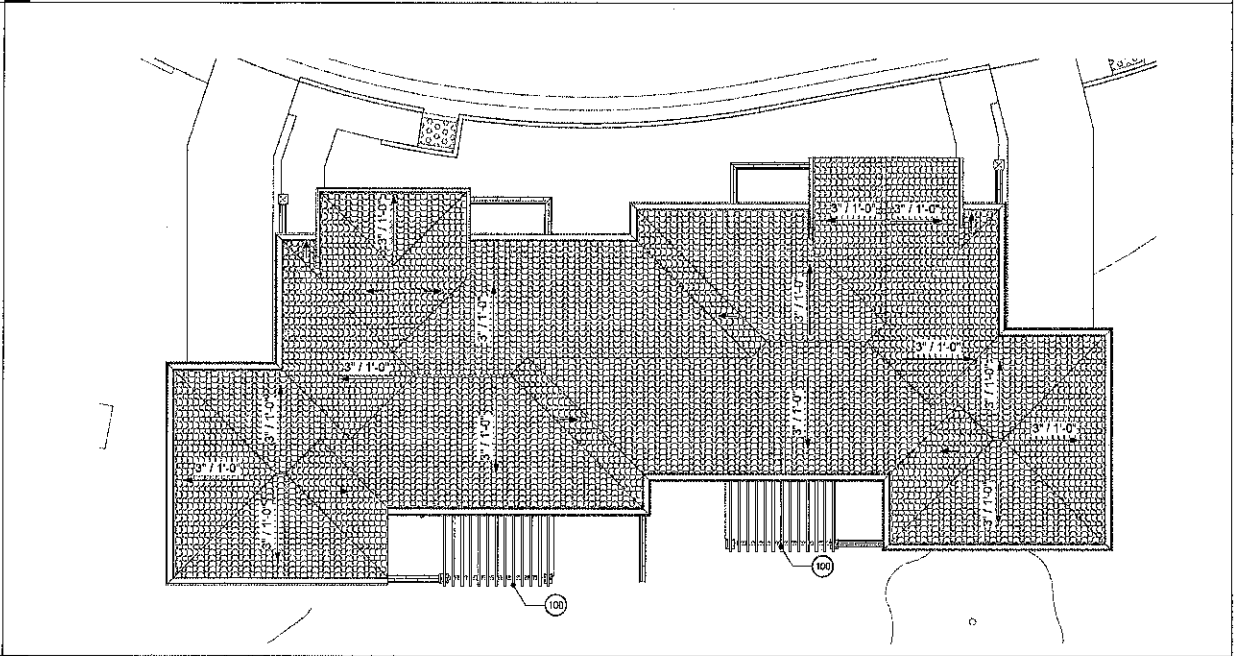
4 FLOOR PLAN (CASITA, TYPICAL)

1/8" = 1'-0"



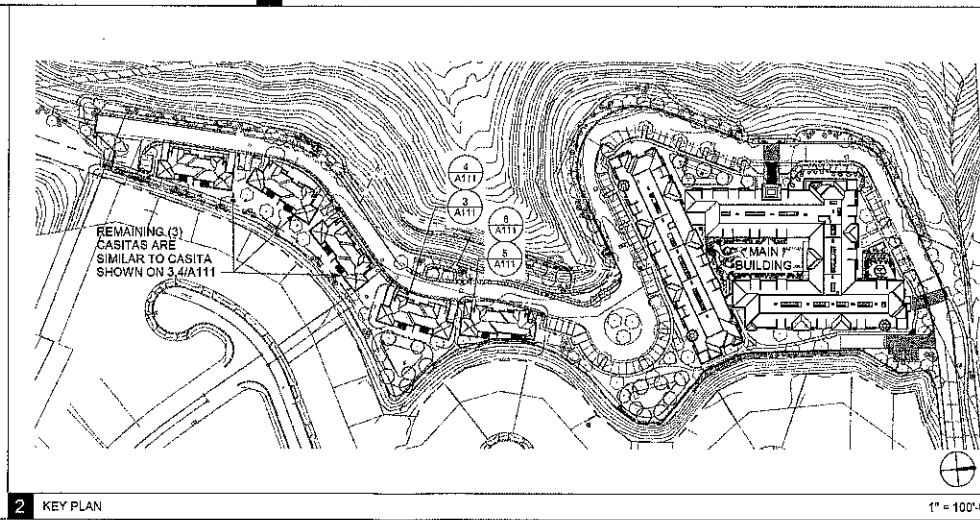
6 ROOF PLAN (NORTH CASITA)

1/8" = 1'-0"



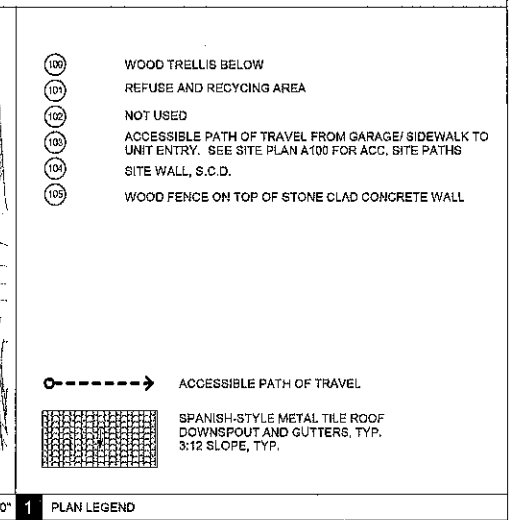
3 ROOF PLAN (CASITA, TYPICAL)

1/8" = 1'-0"



2 KEY PLAN

1" = 100'-0"



1 PLAN LEGEND

brick.

ARCHITECT
1288 6th Street, Suite 1
San Diego, CA 92101
www.brickinc.com
CLIENT
SRM Connel Valley, LP
111 N. Post St.
Stockton, CA 95201

11.18.2015 planning resubmit
11.02.2016 design issue
09.28.2016 planning resubmit
07.24.2016 planning resubmit
05.07.2016 planning submission

rev date issue



5720 old canal valley road
san diego, ca 92130
project number: 17-152
original drawing
preparation date: 03/02/18

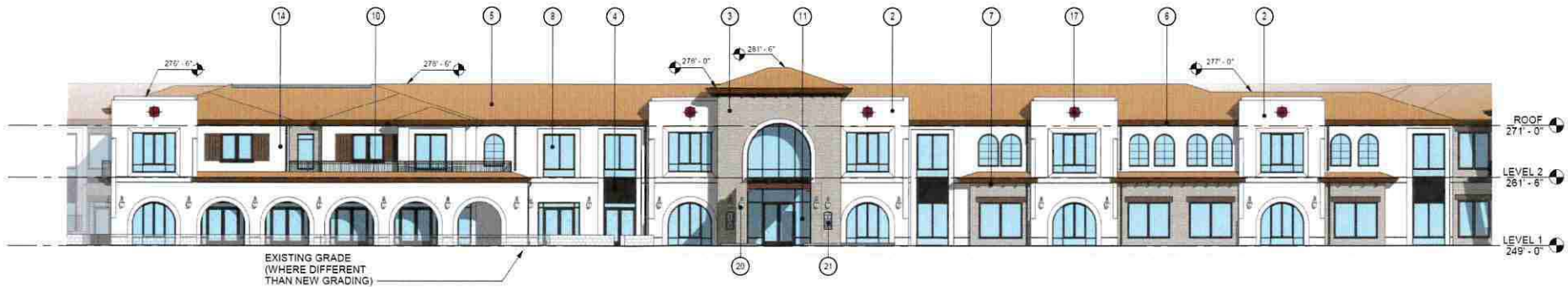
scale: as noted
PLANNING RESUB.
CASITA PLANS

A111
sheet no. 29 of 34

Copyright 2017 brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the client of brick Architecture and Interiors, Inc. and may not be used, copied, or reproduced in any form without the expressed written consent of brick Architecture and Interiors, Inc.

6 WEST ELEVATION - PORTE COCHERE (MAIN BUILDING)

3/32" = 1'-0"



5 NORTH ELEVATION - MC ENTRY (MAIN BUILDING)

3/32" = 1'-0"



4 EAST ELEVATION - NEIGHBOR SIDE (MAIN BUILDING)

3/32" = 1'-0"



3 SOUTH ELEVATION (MAIN BUILDING)

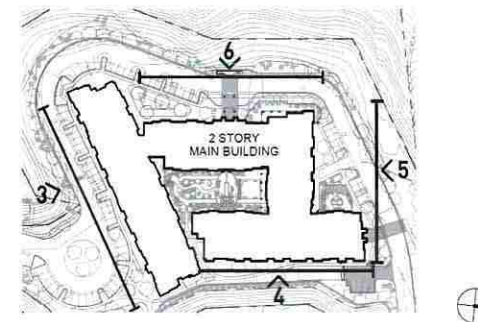
3/32" = 1'-0"



- | | | |
|---|---|--|
| 1 PRECAST GFRC LINTEL | 7 WOOD TRIM RAFTER TAIL EXTENSIONS | 14 DARK GREY STUCCO, INTEGRAL COLOR, HEAVY SAND FINISH |
| 2 LT. BEIGE STUCCO, INTEGRAL COLOR, LIGHT SAND FINISH | 8 1" INSULATED GLAZING | 15 ROLL UP GARAGE DOOR, PAINTED DARK WOOD TONE |
| 3 DRY STACKED LIMESTONE WALL FINISH | 9 2X12 CEDAR WOOD TRELLIS | 16 3' X 8' DARK WOOD-TONED MOLDED ENTRY DOOR |
| 4 METAL PANEL, PAINTED DARK BRONZE FINISH | 10 METAL RAILING, PAINTED DARK BRONZE | 17 DECORATIVE TILE AND WROUGHT-IRON MEDALLION |
| 5 SPANISH-STYLE METAL TILE ROOF, SOFFIT PANEL PAINTED TO MATCH GUTTER | 11 STOREFRONT WITH INSULATED GLAZING, DARK BRONZE ANODIZED FINISH | 18 REVEAL, PAINTED TO MATCH WALL |
| 6 GUTTER, PAINTED METAL DARK BRONZE FINISH | 12 DARK BRONZE ANODIZED PORCH LIGHT | 19 JULIET BALCONY |
| | 13 DRY STACKED LIMESTONE SITEWALLS, S.L.D. | 20 WROUGHT-IRON AND CLEAR GLASS LANTERN |
| | | 21 DECORATIVE WROUGHT-IRON RECESSED ALCOVE |

2 MATERIAL LEGEND

1 KEY PLAN (MAIN BUILDING)



1" = 100'-0"

brick.

ARCHITECT
brick
1250 60th Street, Suite 1
Emeryville, CA 94608
510.516.0187
www.brick-inc.com
CLIENT
SRAT Carmel Valley, LP
1111 N. Post St.
Spokane, WA 99201

11/15/2018 planning resubmit
100% schematic
11/02/2018 design intent
09/28/2018 planning resubmit
07/24/2018 planning resubmit
03/07/2018 planning submission

rev date issue



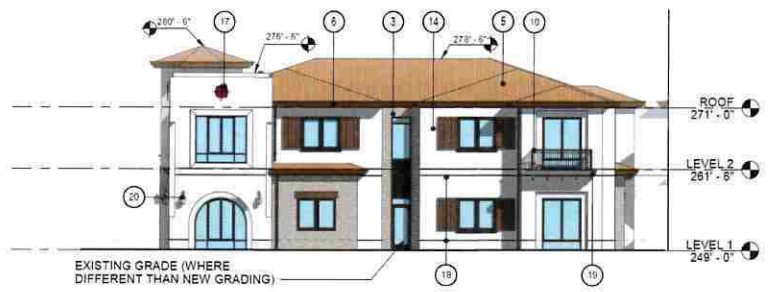
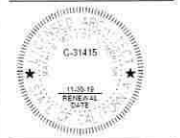
5720 Old Carmel Valley Road
San Diego, CA 92130
project number 17-162
original drawing
preparation date 03/02/18

scale as noted

PLANNING RESUB.
BUILDING
ELEVATIONS
(MAIN BUILDING)

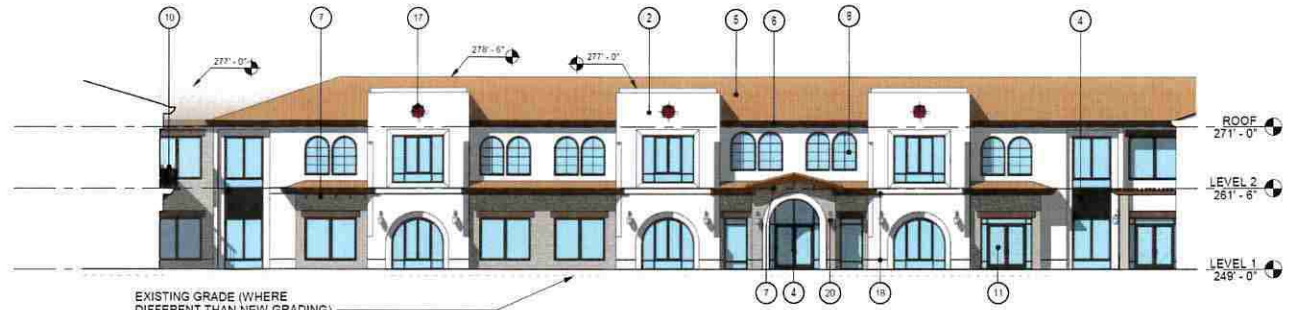
A300

sheet no. 30 of 34



10 EAST ELEVATION - END VIEW (MAIN BUILDING)

3/32" = 1'-0"



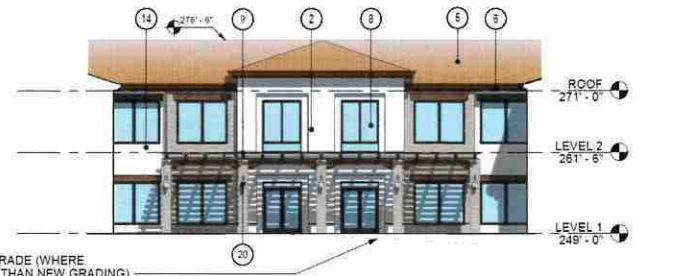
9 EAST ELEVATION - COURTYARD (MAIN BUILDING)

3/32" = 1'-0"



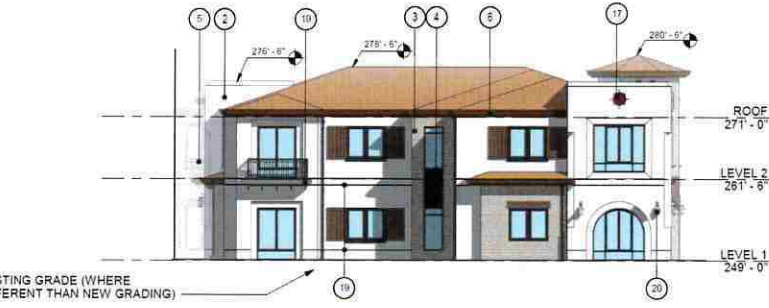
8 WEST ELEVATION - MC COURTYARD (MAIN BUILDING)

3/32" = 1'-0"



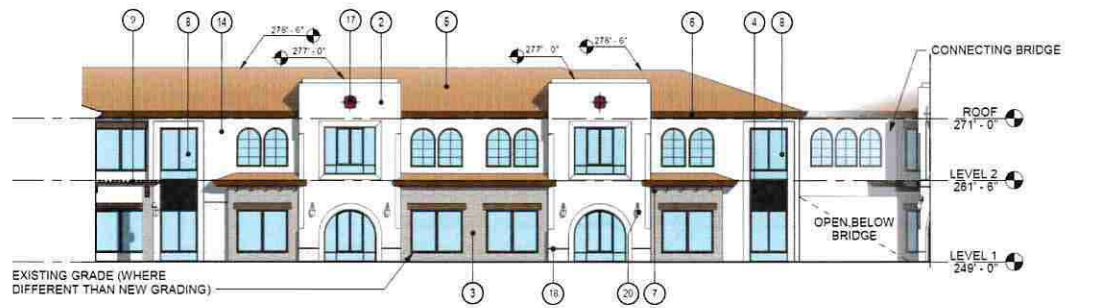
7 SOUTH ELEVATION - COURTYARD (MAIN BUILDING)

3/32" = 1'-0"



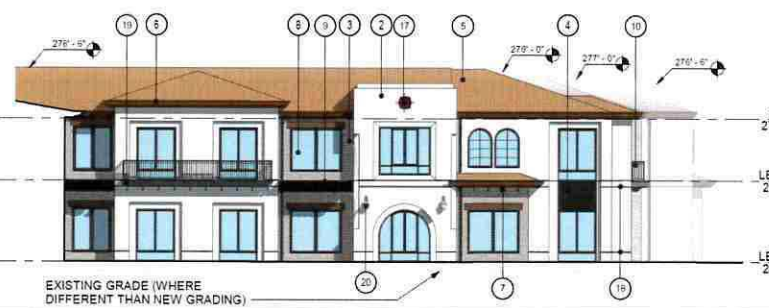
6 WEST ELEVATION - END VIEW (MAIN BUILDING)

3/32" = 1'-0"



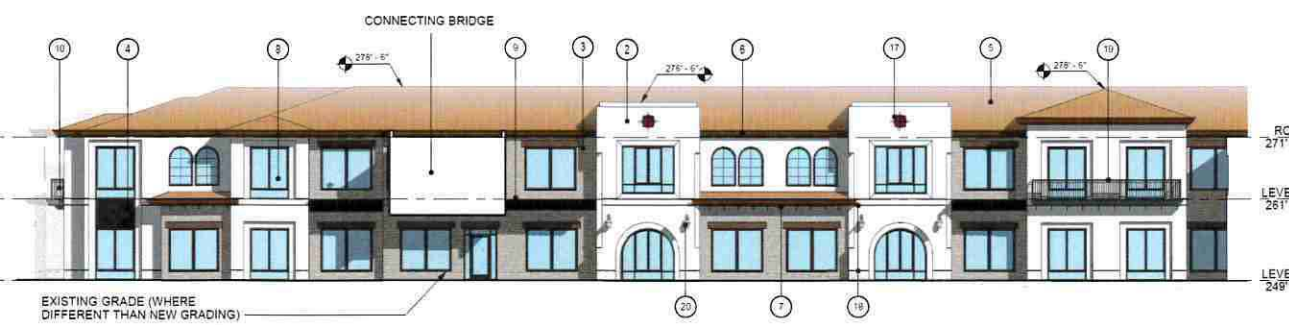
5 WEST ELEVATION - COURTYARD (MAIN BUILDING)

3/32" = 1'-0"



4 SOUTH ELEVATION - PORTE COCHERE SIDE (MAIN BUILDING)

3/32" = 1'-0"

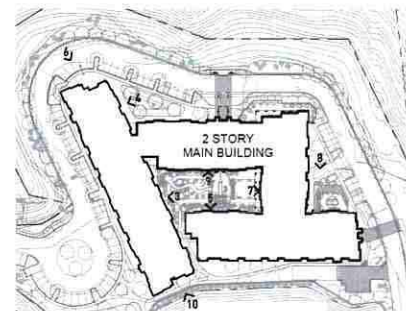


3 NORTH ELEVATION - COURTYARD (MAIN BUILDING)

3/32" = 1'-0"

- | | | |
|---|---|--|
| 1 PRECAST GFRG LINTEL | 7 WOOD TRIM RAFTER TAIL EXTENSIONS | 14 DARK GREY STUCCO, INTEGRAL COLOR, HEAVY SAND FINISH |
| 2 LT. BEIGE STUCCO, INTEGRAL COLOR, LIGHT SAND FINISH | 8 1" INSULATED GLAZING | 15 ROLL UP GARAGE DOOR, PAINTED DARK WOOD TONE |
| 3 DRY STACKED LIMESTONE WALL FINISH | 9 2X12 CEDAR WOOD TRELLIS | 16 3' X 8' DARK WOOD-TONED MOLDED ENTRY DOOR |
| 4 METAL PANEL, PAINTED DARK BRONZE FINISH | 10 METAL RAILING, PAINTED DARK BRONZE | 17 DECORATIVE TILE AND WROUGHT-IRON MEDALLION |
| 5 SPANISH-STYLE METAL TILE ROOF, SOFFIT PANEL PAINTED TO MATCH GUTTER | 11 STOREFRONT WITH INSULATED GLAZING, DARK BRONZE ANODIZED FINISH | 18 REVEAL, PAINTED TO MATCH WALL |
| 6 GUTTER, PAINTED METAL DARK BRONZE FINISH | 12 DARK BRONZE ANODIZED PORCH LIGHT | 19 JULIET BALCONY |
| | 13 DRY STACKED LIMESTONE SITEWALLS, S.L.D. | 20 WROUGHT-IRON AND CLEAR GLASS LANTERN |
| | | 21 DECORATIVE WROUGHT-IRON RECESSED ALCOVE |

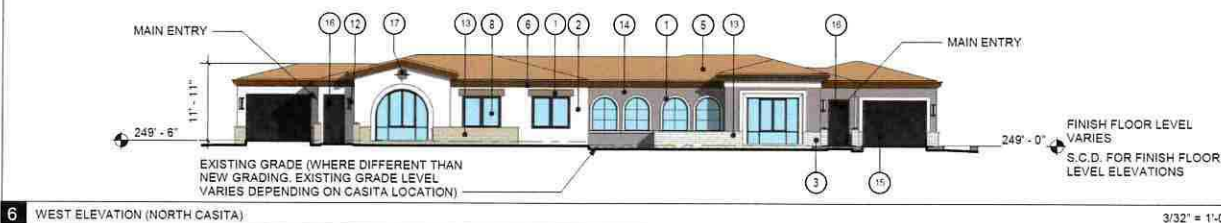
2 MATERIAL LEGEND



1 KEY PLAN (MAIN BUILDING)

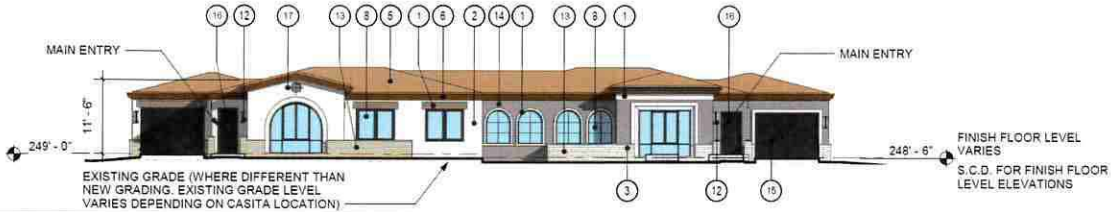
1" = 100'-0"

Copyright 2017 brick architecture and interiors, inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the clients of brick architecture and interiors, inc. and may not be used, copied, or reproduced in any form without the expressed written consent of brick architecture and interiors, inc. C:\Users\andrew\Documents\17104_2720_carmel_valley_22111101.dwg



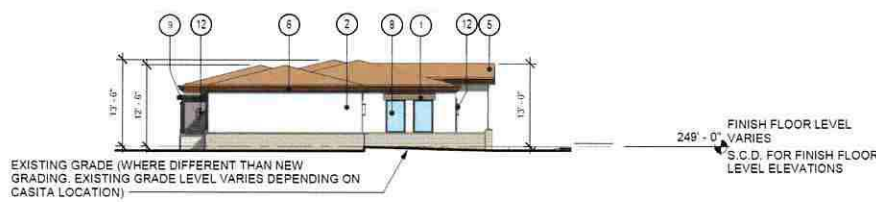
6 WEST ELEVATION (NORTH CASITA)

3/32" = 1'-0"



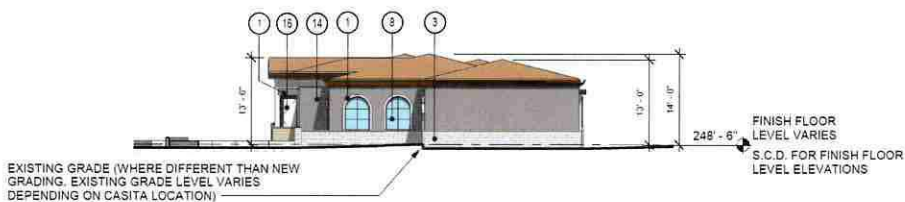
5 WEST ELEVATION - CASITA

3/32" = 1'-0"



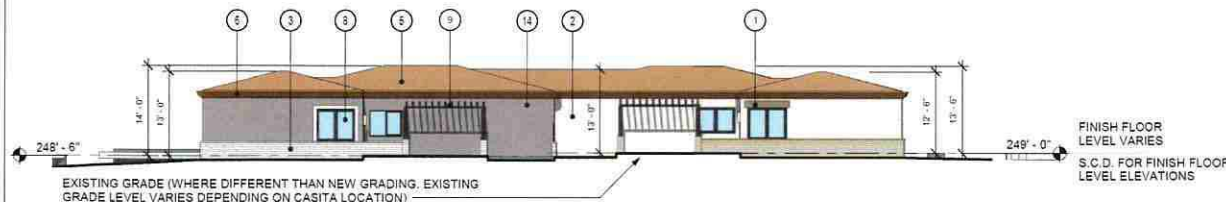
4 NORTH ELEVATION - CASITA

3/32" = 1'-0"



3 SOUTH ELEVATION - CASITA

3/32" = 1'-0"



2 EAST ELEVATION - CASITA

3/32" = 1'-0"



7 KEY PLAN

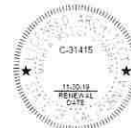
- | | | |
|---|---|--|
| 1 PRECAST GFRG LINTEL | 7 WOOD TRIM RAFTER TAIL EXTENSIONS | 14 DARK GREY STUCCO, INTEGRAL COLOR, HEAVY SAND FINISH |
| 2 LT. BEIGE STUCCO, INTEGRAL COLOR, LIGHT SAND FINISH | 8 1" INSULATED GLAZING | 15 ROLL UP GARAGE DOOR, PAINTED DARK WOOD TONE |
| 3 DRY STACKED LIMESTONE WALL FINISH | 9 2X12 CEDAR WOOD TRELLIS | 16 3' X 8' DARK WOOD-TONED MOLDED ENTRY DOOR |
| 4 METAL PANEL, PAINTED DARK BRONZE FINISH | 10 METAL RAILING, PAINTED DARK BRONZE | 17 DECORATIVE TILE AND WROUGHT-IRON MEDALLION |
| 5 SPANISH-STYLE METAL TILE ROOF, SOFFIT PANEL PAINTED TO MATCH GUTTER | 11 STOREFRONT WITH INSULATED GLAZING, DARK BRONZE ANODIZED FINISH | 18 REVEAL, PAINTED TO MATCH WALL |
| 6 GUTTER, PAINTED METAL DARK BRONZE FINISH | 12 DARK BRONZE ANODIZED PORCH LIGHT | 19 JULIET BALCONY |
| | 13 DRY STACKED LIMESTONE SITEWALLS, S.L.D. | 20 WROUGHT-IRON AND CLEAR GLASS LANTERN |
| | | 21 DECORATIVE WROUGHT-IRON RECESSED ALCOVE |

1 KEYNOTE LEGEND

ARCHITECT
brick
1206 60th Street, Suite 1
Emeryville, CA 94608
510.516.0107
www.brick-inc.com
CLIENT
SRM Carmel Valley, LP
1111 N. First St
Spokane, WA 99201

11/10/2018 planning resubmit
100% schematic
11/02/2018 design issue
09/28/2018 planning resubmit
07/24/2018 planning resubmit
03/07/2018 planning submission

rev date issue

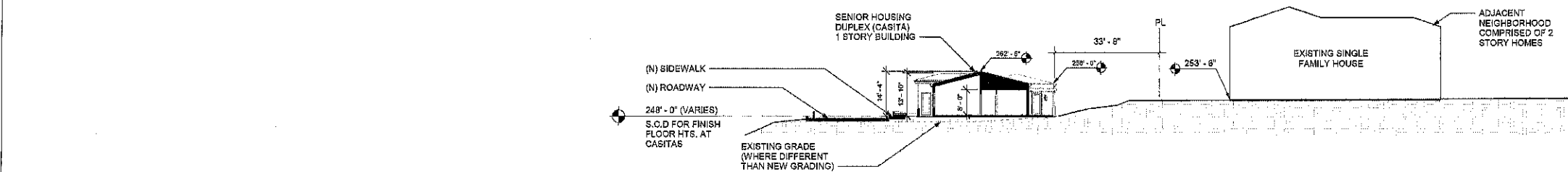


5720 old carmel valley road
san diego, ca 92130
project number: 17-162
original drawing
preparation date: 03/02/18

scale: as noted

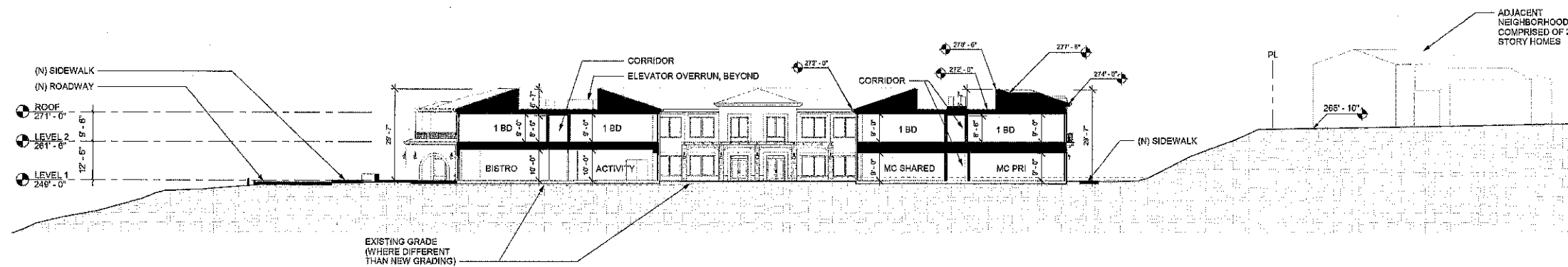
PLANNING RESUB.
CASITA
ELEVATIONS

Copyright 2017 Brick Architecture and Interiors, Inc. All Rights Reserved. These Plans and/or Specifications are intended for the sole benefit of the clients of Brick Architecture and Interiors, Inc. and may not be used, reused, copied, or reproduced in any form without the expressed written consent of Brick Architecture and Interiors, Inc. All other uses are prohibited.



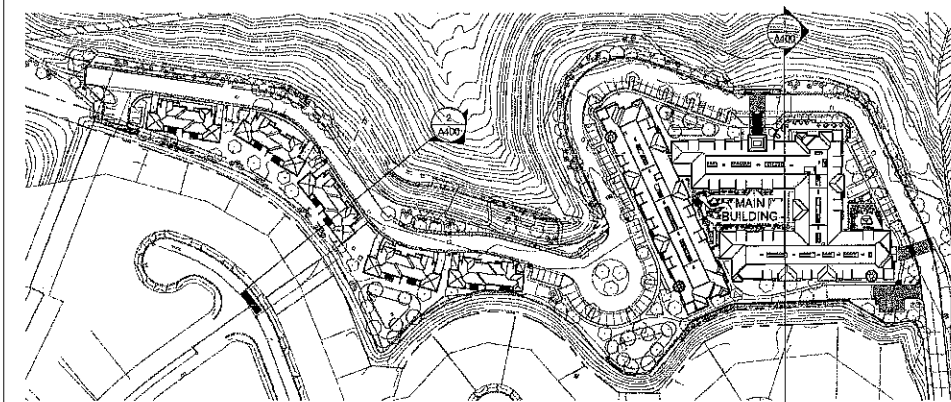
2 BUILDING SECTION (CASITA)

1/16" = 1'-0"



1 BUILDING SECTION (MAIN BUILDING) - NORTH

1/16" = 1'-0"



3 KEY PLAN

1" = 100'-0"

brick

ARCHITECT
brick
1266 60th Street, Suite 1
San Diego, CA 92120
619.594.0167
www.brick-inc.com

CLIENT
8800 Carmel Valley Road, LP
1511 N. Post St.
Spokane, WA 99201

11.19.2018 planning resubmittal
11.02.2018 100% schematic
09.26.2018 design issue
07.24.2018 planning resubmittal
03.07.2018 planning submission

rev date issue



6720 Old Carmel Valley Road
San Diego, CA 92120

project number: 17-192
original drawing
preparation date: 03/02/18

scale: as noted

PLANNING RESUB.
BUILDING
SECTIONS

A400

sheet no. 33 of 34



5 NORTH EAST VIEW - APPROACH FROM STREET



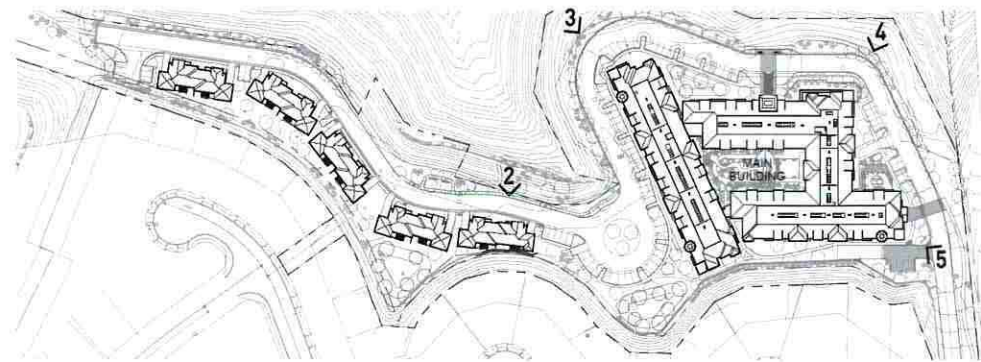
4 NORTH WEST VIEW - DINING



3 SOUTH WEST VIEW - MAIN BUILDING



2 WEST VIEW - CASITA



1 KEY PLAN

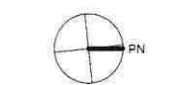
1" = 100'-0"

brick.

ARCHITECT
brick
1200 66th street, suite 1
emeryville, ca 94608
510 516 0187
www.brickinc.com
CLIENT
SRM Carmel Valley, LP
1111 N. First St
Spokane, WA 99201

11.16.2019 planning resubmittal
11.02.2019 100% schematic
09.26.2019 design issue
07.24.2019 planning resubmittal
03.07.2019 planning submission

rev date issue



6720 old camel valley road
san diego, ca 92130
project number: 17-162
original drawing
preparation date: 03/02/19

scale: as noted
PLANNING RESUB.
ILLUSTRATIVE
PERSPECTIVES

A500

sheet no. 34 of 34