



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: April 4, 2022 REPORT NO. PC-22-016

HEARING DATE: April 21, 2022

SUBJECT: Salk Institute Substantial Conformance Review (SCR), Process Two Appeal

PROJECT NUMBER: [687543](#)

OWNER/APPLICANT: The Salk Institute for Biological Studies (The Salk Institute), Owner and Camille Passon, Latitude 33 Engineering, Applicant

### SUMMARY

Issue: Should the Planning Commission grant or deny an appeal of the Development Service Department's decision on a Substantial Conformance Review (SCR) for proposed revisions to the original Project No. 44675; Coastal Development Permit (CDP) No. 126996; Site Development Permit (SDP) No. 127002, Master Planned Development Permit (MPDP) No. 561577, Multiple Habitat Planning Area (MHPA) Boundary Line Adjustment, Vesting Tentative Map (VTM) No. 369518, and Easement Abandonment 130269, an Amendment to CDP/Hillside Resource Protection (HRP)/Conditional Use Permit (CUP) 90-1140, located at 10010 North Torrey Pines Road within the University Community Plan (Project)?

Staff Recommendation: DENY the appeal and AFFIRM the Development Services Department decision of Substantial Conformance [SCR No. [2554139](#)] to the original Project No. 44675; CDP, SDP, MPDP, MHPA Boundary Line Adjustment, VTM, and Easement Abandonment, an Amendment to CDP/HRP/CUP 90-1140.

Community Planning Group Recommendation: On July 13, 2021, the University Community Planning Group reviewed the project as an informational item, a vote was not taken.

Environmental Review: On October 21, 2008 the San Diego City Council certified Environmental Impact Report (EIR) No. 44675 SCH No. 2004111049, prepared for the Salk Institute Master Plan Project No. 44675 per Resolution No. R-304289. Based upon review of the current Project, including the proposed modifications, there are no substantial changes in circumstances, no new information, and no project changes that would warrant additional environmental review. Pursuant to CEQA Section 15378(c) the term "project" refers to the activity which is being approved and which may be subject to several discretionary approvals by governmental agencies. The term "project" does not mean each separate governmental

approval; therefore, this action is not a separate project for the purpose of CEQA review pursuant to CEQA Guidelines Section 15378(c).

Fiscal Impact Statement: None, the Project is a Flat Fee account paid by the applicant.

Code Enforcement Impact: None associated with this application.

Housing Impact Statement: None associated with this application.

## BACKGROUND

The Salk Institute for Biological Studies (Salk Institute) SCR Project site is located at 10010 North Torrey Pines Road, west of North Torrey Pines Road, south of Torrey Pines Scenic Drive, north of Salk Institute Road and east of the Pacific Ocean coast (Attachment 1). The 3.09-acre site in the RS-1-14 and RS-1-7 zones and is designated for Industrial/Scientific Research Land Use within the University Community Plan (UCP) and North City Local Coastal Program area (Attachment 2). The Project site is also located within the Coastal (Appealable) Overlay, Coastal Height Limit Overlay, Community Plan Implementation (Type A) Overlay, Parking Impact Overlay (Coastal, Beach, and Campus Impact), Fire Brush Management, and First Public Roadway Overlay Zones.

The Project site is developed with five existing buildings totaling 289,800 square feet (SF) of gross floor area (GFA) for a Scientific Research and Development Facility. The surrounding properties include the University of California, San Diego campus to the east, The Estancia hotel and residential development to the south, Torrey Pines State Reserve and the Pacific Ocean to the west and the Sanford Consortium for Regenerative Medicine (University of California, San Diego) to the north.

The original Salk Institute was approved by Planning Commission on March 3, 1961 under CUP No. 3841, with the first buildings completed in 1965. The Salk Institute has expanded since the approval of the original CUP, through seven amendments the most recent amendment approving the addition of the East Torrey Pines building and associated improvements under Project No. 44675, approved by City Council on October 21, 2008. On February 27, 1991, the City designated the Salk Institute as a Local Designated Historic Resource identified as Site No. 304 in the Register of Historic Landmarks for the City of San Diego on the basis of its association with Louis Kahn and Jonas Salk for its "architectural significance." In August 2005, the California State Historical Resources Commission (SHRC) concurred with neighbors of the Institute (La Jolla Farms Homeowners and Friends of Salk Canyon) who nominated the Salk Institute for listing on the National Register of Historic Places (NRHP). As of this date the Salk Institute is not on the National Register of Historic Places.

In 2008, the City Council approved the Salk Institute Project No. 44675; CDP No. 126996; SDP No. 127002, MPDP No. 561577, MHPA Boundary Line Adjustment, VTM No. 369518, and Easement Abandonment 130269, an Amendment to CDP/HRP/CUP 90-1140. On October 21, 2008, the San Diego City Council certified EIR No. 44675 SCH No. 2004111049, prepared for the Salk Institute Master Plan Project No. 44675 per Resolution No. R-304289. The approvals represented a phased expansion of the Salk Institute to allow certain facilities to move forward ministerially as well as



providing detailed “Exhibit A” development design guidelines and development standards (Attachment 8).

On June 4, 2021, the applicant submitted a Substantial Conformance Review for proposed project revisions to the East Torrey Pines Building, including the underground parking garage, landscaping, passenger drop off area, and site access from North Torrey Pines Road.

## DISCUSSION

The Original Project proposal approved under Project No. 44675 was for a phased expansion of the Salk Institute to include: (i) demolition of two buildings, the single story West Building (20,000 SF) and the Accessory Building (9,000 SF) totaling 29,000 SF; (ii) construction of the Torrey East Building (94,200 SF); (iii) the future development of the North Peninsula Underground Parking Facility (578 Parking Spaces), Greenhouses (4,000 SF), and the Salk Community Center (117,000 SF) for an overall total of 476,000 SF of building area; and (iv) 1,086 overall parking spaces.

The proposed project under the SCR includes the following modifications to the previously approved permit and “Exhibit A” design documents

- BUILDING MODIFICATIONS
  - Square Footage: The East Torrey Pines Building (formerly Torrey East Building) footprint and GFA have increased from 94,200 SF to 97,140 SF. The proposed increase of 2,940 SF of GFA will be deducted from the allowable development area for the future Salk Community Center which will be reduced in GFA from 117,000 SF to 114,060 SF. This balancing of GFA will ensure that the previously approved overall total GFA of the site is maintained at 476,000 SF.
  - Building Elevations: The East Torrey Pines Building elevations have been modified to include less glazing and more wood to improve the aesthetics of the building’s exterior as viewed from its “Front Door” along North Torrey Pines Road. This updated architectural design better references the materials palette of the original Salk Institute building, maintains the spirit and intent of the original drawings, and is consistent with the previously approved Design Guidelines which are part of the “Exhibit A” design documents.
  - Roof: Originally, the roof was identified as a “cool roof” on the “Exhibit A” drawings. A green (vegetated) roof with solar photovoltaic (PV) panels is now proposed to better correspond with the existing Salk Institute buildings which already have solar panels. This design refinement is consistent with the City’s Climate Action Plan and the greenhouse gas reduction strategies contained in that policy document. It also helps implement the California Green Building Standards Code and still functions as a cool roof by reducing the “heat island effect.” This is a positive enhancement to the project that furthers both the Institute’s and City’s sustainable building objectives.

- BUILDING ACCESS

- Passenger Drop-Off/Valet: A passenger drop-off/valet area has been introduced on the south side of the site from Salk Institute Road. This modification includes a public sidewalk along the frontage as well as a private sidewalk which wraps around the drop-off/valet area on Salk Institute property. This designated drop-off/valet area provides an arrival option for employees and visitors, particularly during special events.
- East Entry with Water Feature: A central pedestrian access has been added that connects the east side of the proposed building to the sidewalk along North Torrey Pines Road. An accessible ramp descending to the building would lead to a plaza and water feature. The applicant proposes a water feature that would rely on reclaimed or recycled water consistent with the Salk Institute's and City's sustainability goals. Two existing eucalyptus trees on the east side of the building site will be removed to accommodate this building entrance.

- UNDERGROUND PARKING MODIFICATIONS

- Mechanical Equipment and Loading Dock/Spaces: The mechanical equipment, loading dock, and loading spaces originally proposed along the building's south elevation are relocated below grade inside the underground parking structure. To accommodate this, the horizontal footprint of the underground parking structure has been expanded. The originally approved equipment will no longer be visible from Salk Institute Road with this proposed design modification.
- East Torrey Pines Building Underground Parking (Mechanized Parking System): The project was originally approved for two floors of underground parking at the East Torrey Pines Building for 486 parking spaces. Fully mechanized, automated parking is proposed in combination with traditional single bay parking. The proposed modifications reduce the parking count within this structure to 442 parking spaces. The original project contained more parking spaces than required and the proposed 442 parking spaces within the East Torrey Pines Building underground parking shall be deficient by 4 parking spaces and the deficient spaces will be provided on another portion of the site.
- North Peninsula Underground Parking Structure: To maintain the overall minimum required parking for the site, the number of parking spaces within the North Peninsula Underground Parking Structure shall be increased from 578 parking spaces to 582 parking spaces. This will ensure the site meets the minimum required parking spaces for the site. The proposed changes will result in an overall reduction in the previously approved parking for the site from 1,086 parking spaces to 1,046 parking spaces.

- Ramps: Both the northern and southern vehicular ramps have been relocated west of their original locations. The revised southern ramp overlaps with the original layout for the relocated greenhouses. To reserve space for the greenhouses, their future location will be shifted to the north as illustrated on the attached plans.
- LANDSCAPING
  - Chinese Fringe Trees: The SCR proposal relocates as many trees that are healthy enough to withstand being uprooted and boxed as part of the construction activities. The healthy trees will be placed at a focal point on the south end of the site, where the passenger drop-off/valet area is located; whereas the previous approved exhibit showed the trees being relocated to the west side of the East Torrey Pines building. The relocated trees will be supplemented with plantings of new Chinese Fringe trees. Their relocation is intended to satisfy the requirement to preserve and relocate the healthiest of the trees into the new landscape.
  - Landscape Palette: The landscape palette for the proposed modifications have been expanded to include more drought tolerant species, consistent with the Salk Institute's and the City's sustainability objectives, as well as the California Green Building Code. SCR guidelines identify that the replacement of landscape materials with drought tolerant plants may be allowed in conformance with the Landscape Regulations of the San Diego Municipal Code (Chapter 14, Article 2, Division 4).

The Development Services Department performed a Substantial Conformance Review in accordance with San Diego Municipal Code section [126.0112](#) and determined the proposed revisions are in substantial conformance with the objectives, standards, guidelines, and conditions for the approved Project. On January 3, 2022, the Development Services Department of the City of San Diego issued a Notice of Decision for the Substantial Conformance Review of the Project, with the appeal period ending on January 18, 2022 (Attachment 4).

On January 17, 2022, Charles Kaminski (Appellant) filed an appeal of the January 3, 2022 decision by Development Service Department. The grounds for appeal were identified as "New Information, Conflict with other matters, and Findings Not Supported" (Attachment 5).

#### Legal Standard for Appeal of Department of Development Services Decision

Pursuant to SDMC section [112.0504](#) an appeal of a Process Two decision may only be granted with evidence supporting one of the following findings:

- (1) Factual Error. The statements or evidence relied upon by the decision maker when approving, conditionally approving, or denying a permit, map, or other matter were inaccurate;
- (2) New Information. New information is available to the applicant or the interested person that was not available through that person's reasonable efforts or due diligence at the time of the

decision;

- (3) Findings Not Supported. The decision maker's stated findings to approve, conditionally approve, or deny the permit, map, or other matter are not supported by the information provided to the decision maker; or
- (4) Conflicts. The decision to approve, conditionally approve, or deny the permit, map, or other matter is in conflict with a land use plan, a City Council policy, or the Municipal Code.

The Planning Commission can only deny the appeal and uphold approval of the project if none of the above findings are supported by sufficient evidence. Conversely, the Planning Commission can grant the appeal and deny approval of the project if it finds one of the above findings is supported by sufficient evidence.

#### PROJECT APPEAL DISCUSSION

The Appellant's appeal issues are identified below along with City staff's evaluation and responses.

**Appeal Issue No. 1:** *"The basis for this appeal is the insufficient and inadequate oversight review under the ministerial Process 2 for Substantial Conformance Review (SCR) by only the Historic Resources Board (HRB) staff."*

**City Staff Response:** San Diego Municipal Code section [126.0112](#) establishes the review process for proposed modifications to a development permit. It provides that a proposed modification to an approved development permit may be submitted to the City Manager to determine if the revision is in substantial conformance with the approved permit. If the revision is determined to be in substantial conformance with the approved permit, the revision shall not require an amendment to the development permit. Substantial conformance is defined by San Diego Municipal Code section [113.0103](#) as "a revision to a development that was approved through a permit or tentative map [that] complies with the objectives, standards, guidelines, and conditions for that permit or tentative map." In compliance with the process established by the San Diego Municipal Code, staff conducted a comprehensive review of the proposed Project and concluded that the proposed modifications are in substantial conformance with the Permit and the "Exhibit A" documents approved by City Council on October 21, 2008. Furthermore, Staff acknowledged that the previously approved discretionary permit found that the proposed project was not consistent with the Secretary of the Interior's Standards due to impacts to historic spatial arrangements (loss of east parking lot) and the removal of the Chinese Fringe trees.

The previously approved permit mitigation for impacts to Historical Resources (Built Environment) included:

- 1. The relocation of healthy Chinese Fringe trees from the parking lot to a new location in close proximity to their original placement.
- 2. The landscape concept plan will restore as much of the Salk Institute's original perimeter plantings as possible.

3. The final design for the Torrey East Building shall feature a ground-level, two-story transparent atrium space designed to permit limited visibility along the same axis as the courtyard of the original laboratory building.

Additionally, because the 2008 Master Plan project was not consistent with the Secretary of the Interior's Standards, a Site Development Permit (SDP) for the Substantial Alteration of a Historical Resource was processed. The Historical Resources Board reviewed and then recommended approval of the Master Plan and SDP following a noticed public hearing. The City Council then determined after a noticed public hearing the Project met the required findings, granted the SDP, and approved the Master Plan.

Staff found the Project consistent with the U.S. Secretary of the Interior's Standards and the mitigation from the previously approved permit. Furthermore, the previously approved Design Guidelines, "Exhibit A" outline in the Permit Implementation section the following:

"Should City Staff not find the proposed building or grading permit application for a future project to be consistent with these Design Guidelines and the Development Permits, an application for an amendment to the applicable Development Permit and the Campus Master Plan, or shall modify the permit applications so that the City Staff can find them in conformance with the Design Guidelines and Development Permits."

The substantial conformance review was conducted in accordance with the process for reviewing proposed modifications to an approved development permit as outlined in San Diego Municipal Code section [126.0112](#). A thorough review was conducted by staff to determine whether the proposed modifications substantially conform to the approved project. The substantial conformance review process outlined in the San Diego Municipal Code does not contemplate or require any additional oversight if it is determined that the proposed modification substantially conform with the proposed project; however, the San Diego Municipal Code does provide an appeal process to challenge staff's decision for this review, as has been utilized here. There are certain grounds laid out in the San Diego Municipal Code Section [112.0504](#) for appealing a decision (factual error, new information, findings not supporting, and conflicts). This appeal issue does not fall within those grounds. As such, staff disagrees that a finding can be made to uphold the appeal on this ground.

**Appeal Issue No. 2:** *"The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces and spatial relationships that characterize a property will be avoided."*

**City Staff Response:** The Appellant is stating language from the Secretary of the Interior's Standards for the treatment of historic properties, specifically Standard 2 from the Standards for Rehabilitation. The 2008 Master Plan was determined to be not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, specifically standard 2 ([standard 2](#)) and standard 9 ([standard 9](#)) from the Standards for Rehabilitation, and a Site Development Permit (SDP) for the Substantial Alteration of a Historical Resource was processed for impacts to historic landscaping and spatial relationships in the east

parking lot. The City was able to make the findings associated with the SDP and the City Council approved the SDP and the Master Plan after a noticed public hearing.

The SCR was conducted in accordance with the process for reviewing proposed modifications to an approved development permit as outlined in San Diego Municipal Code section [126.0112](#). The previously approved SDP specifically addressed issues related to standard 2. Staff concluded the proposed modifications conform to the design intent of the previously approved East Torrey Building; consistent with the Design Guidelines and the mitigation from the previously approved permit. As such, staff disagrees that a finding can be made to uphold the appeal on this ground.

**Appeal Issue No. 3:** *“New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property.”*

**City Staff Response:** The Appellant is stating language from the Secretary of the Interior’s Standards for the treatment of historic properties, specifically Standard 9 from the Standards for Rehabilitation. The 2008 Master Plan was determined to be not consistent with the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, specifically standard 2 and standard 9 from the Standards for Rehabilitation, and a SDP for the Substantial Alteration of a Historical Resource was processed for impacts to historic landscaping and spatial relationships in the east parking lot. The City was able to make the findings associated with the SDP and the City Council approved the SDP and the Master Plan after a noticed public hearing.

The SCR was conducted in accordance with the process for reviewing proposed modifications to an approved development permit as outlined in San Diego Municipal Code section [126.0112](#). The previously approved SDP specifically addressed issues related to standard 9. Staff concluded the SCR for the proposed modifications, conform to the design intent of the previously approved East Torrey Building; consistent with the Design Guidelines and the mitigation from the previously approved permit. As such, staff disagrees that a finding can be made to uphold the appeal on this ground.

**Appeal Issue No. 4:** *“Minimum necessary to afford relief. The intervening 13 years since approval is sufficient time for the applicant and their architectural team to remove this impact to the Standards by removing the glass enclosed atrium, bridge connection between the two wings and the roof over the atrium as these components are not critical to the Salk Institute’s mission of research and these elements do not affect the laboratory function of research. The Salk Institute design of the Torrey East Building should not be the minimum necessary to afford relief. The images the applicant uses of the Torrey East Building from Torrey Pines Road portray an artist’s image through the building to depict the view to support the ‘minimal’ impact. If constructed as depicted the view will be blocked by the glass walls and the bridge crossing.” Additionally, the appellant quoted a letter addressed to the Development Services Department from Bruce Coons, Executive Director of Save Our Heritage Organisation (SOHO) in which Bruce Coons stated “SOHO continues to oppose the closed glass atrium design of the Torrey Pines East Building and maintains this should be two separate buildings with an open-air plaza,... This open-air plaza would maintain the character defining axis of the site.”*

**City Staff Response:** The SCR was conducted in accordance with the process for reviewing

proposed modifications to an approved development permit as outlined in San Diego Municipal Code section [126.0112](#). The Appellant's issue raised here relates to the previously approved SDP and not to modifications reviewed under this SCR. The atrium, bridge connection, and the roof are all components of the previously approved East Torrey Building. The components of the previously approved East Torrey Building were considered under the 2008 Master Plan, which were determined to be not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and a SDP for the Substantial Alteration of a Historical Resource was processed for impacts to historic landscaping and spatial relationships in the east parking lot. The City was able to make the findings associated with the SDP and the City Council approved the SDP and the Master Plan after a noticed public hearing. City Council approved mitigation measures that were designed to permit limited visibility along the same axis as the courtyard of the original laboratory building which included a ground-level, two-story transparent atrium space, in accordance with the Architectural Design Guidelines that were approved as a part of the Project.

Staff concluded the SCR for the proposed modifications, conform to the design intent of the previously approved East Torrey Building; consistent with the Design Guidelines and the mitigation from the previously approved permit. As such, staff disagrees that a finding can be made to uphold the appeal on this ground.

**Appeal Issue No. 5:** *["§143.0201 Article 3: Supplemental Development Regulations Division 2: Historical Resources Regulations; Purpose of Historical Resources Regulations; The purpose of these regulations is to protect, preserve and, where damaged, restore the historical resources of San Diego, which include historical buildings, historical structures or historical objects, important archaeological sites, historical districts, historical landscapes, and traditional cultural properties. These regulations are intended to assure that development occurs in a manner that protects the overall quality of historical resources."](#)*

*["§143.0213 Procedures and Regulations for Project-Specific Land Use Plan](#)  
The project-specific land use plan shall indicate how individual subsequent developments within the plan area will conform to the Historical Resources Regulations  
1. adversely affect the special character or special historical, architectural, archaeological, or cultural value of the resource when all feasible measures to protect and preserve the historical resource are included in the development proposal consistent with the Secretary of Interior's Standards and Guidelines."*

*"Kahn deliberately designed the Salk arrangement to have open space flow through the historic courtyard and through the entire east-west axis. In 1995, both Dr. Salk and his architects finally understood the need for an open axial relationship between the original structures and the design for the completed East Building. They removed the atrium and opened the vista. In the 13 years since the Master Plan was approved, Salk and its architects have made no effort on the proposed design for the Torrey East Building to meet a more than '...minimal mitigation...'; required for such a historically designated world-renowned masterpiece of universal significance."*

**City Staff Response:** The SCR was conducted in accordance with the process for reviewing proposed modifications to an approved development permit as outlined in San Diego Municipal

Code section [126.0112](#). The Appellant's issue relates to the previously approved SDP. The atrium, bridge connection, and the roof are components of the previously approved East Torrey Building. The components of the previously approved East Torrey Building were considered under the 2008 Master Plan, which were determined to be not consistent with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and a SDP for the Substantial Alteration of a Historical Resource was processed for impacts to historic landscaping and spatial relationships in the east parking lot. The City was able to make the findings associated with the SDP and the City Council approved the SDP and the Master Plan after a noticed public hearing. City Council approved mitigation measures that were designed to permit limited visibility along the same axis as the courtyard of the original laboratory building which included a ground-level, two-story transparent atrium space, in accordance with the Architectural Design Guidelines that were approved as a part of the Project.

Staff concluded the SCR for the proposed modifications conform to the design intent of the previously approved East Torrey Building; consistent with the Design Guidelines and the mitigation from the previously approved permit. As such, staff disagrees that a finding can be made to uphold the appeal on this ground.

**Appeal Issue No. 6:** *"In effect, the original 1995 design for the completed East Building that Dr. Salk later rejected and whose architects revised has returned with atrium, bridge, and roof for this new Torrey East Building along North Torrey Pines Road. The supposed mitigation of the axial blockage by use of glass walls that open is completely unnecessary. This atrium component of the proposed laboratory design does nothing to inhibit the function of the Salk's primary mission of research. The wings, like the 1995 East Building can stand on their own without this atrium space."*

**City Staff Response:** See the response to Appeal Issue No. 4 and 5.

**Appeal Issue No. 7:** *"The historical integrity of the site that the vista and axial quality be open east to west and west to east to the public realm will be forever broken."*

**City Staff Response:** See the response to Appeal Issue No. 4 and 5. Additionally, it should be noted that the vista along the east west axis and the spatial relationship was previously reviewed and addressed under the original permit.

**Appeal Issue No. 8:** *"As designed, the Torrey East Building, even though conceptually approved in 2008, is still not in compliance with Rehabilitation Standard 9. The intervening 13 years is sufficient enough time for the Salk and its architects to modify the 2008 concept and create a design that meets the standard. Elimination of the enclosed atrium, bridge and roof moves compliance further along without compromising Salk's need for additional laboratory functions."*

**City Staff Response:** See the response to Appeal Issue No. 4 and 5.

**Appeal Issue No. 9:** *"Development affecting designated historical resources or historical districts shall provide full mitigation for the impact to the resource, in accordance with the Historical Resources*



*Guidelines of the Land Development Manual, as a condition of approval. ‘...full mitigation...’ not minimal mitigation”*

**City Staff Response:** The Appellant’s issue relates to the previously approved SDP. The atrium, bridge connection, and the roof are components of the previously approved East Torrey Building. The components of the previously approved East Torrey Building were considered under the 2008 Master Plan, which were determined to be not consistent with the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and a SDP for the Substantial Alteration of a Historical Resource was processed for impacts to historic landscaping and spatial relationships in the east parking lot. The City was able to make the findings associated with the SDP and the City Council approved the SDP and the Master Plan after a noticed public hearing

The mitigation associated with the impacts to the designated historical resource were part of the 2008 permit which were approved by City Council on October 21, 2008. City Council approved mitigation measures that were designed to permit limited visibility along the same axis as the courtyard of the original laboratory building which included a ground-level, two-story transparent atrium space, in accordance with the Architectural Design Guidelines that were approved as a part of the Project.

Staff concluded the SCR for the proposed modifications conform to the design intent of the previously approved East Torrey Building; consistent with the Design Guidelines and the mitigation from the previously approved permit. As such, staff disagrees that a finding can be made to uphold the appeal on this ground.

**Appeal Issue No. 10:** *“The basis for this appeal is the insufficient and inadequate oversight review under the ministerial Process 2 for Substantial Conformance by only the Historic Resources Board (HRB) staff.”*

**City Staff Response:** See the response to Appeal Issue No. 1. Furthermore, Staff found the proposed modifications to the project consistent with the U.S. Secretary of the Interior’s Standards and the mitigation from the permit previously approved by City Council on October 21, 2008.

**Appeal Issue No. 11:** *“The Salk Institute for Biological Studies is a world renowned and acknowledged architectural masterpiece. Because this City of San Diego designated historic resource is considered the most important modern historic resource in San Diego and due to its eligibility for National Register, review should have been undertaken by staff in conjunction with the Design Assistance Committee (DAC) of the HRB along with final presentation to the full Historic Resources Board for discussion as well as public comment..”*

**City Staff Response:** See the response to Appeal Issue No. 1. Furthermore, Staff found the proposed modifications to the project consistent with the U.S. Secretary of the Interior’s Standards and the mitigation from the permit previously approved by City Council on October 21, 2008; and consistent with the Permit Implementation section of the approved Project Design Guidelines. The Design Assistance Subcommittee (DAS) of the Historical Resources Board is advisory and does not make official decisions regarding consistency with the U.S. Secretary of the Interior’s Standards or conformance to previously approved permits. Historical Resources staff determined the proposed

modifications comply with the objectives, standards, guidelines, and conditions for the permits for the Project.

**Appeal Issue No. 12:** *“The intent of this appeal is not to block additional functions to the Salk Institute site. Additions will be necessary to further the vision of both Salk and Kahn. But how one approaches to implement those visions should take into account the axial intent of the entire complex. The Torrey East Building with its enclosed atrium, bridge and roof does not. With the removal of these components the linkage of the continent to the courtyard, ocean, sky, and air can be maintained and meet Standard 9.”*

**City Staff Response:** See the response to Appeal Issue No. 4 and 5.

#### CONCLUSION:

City staff has reviewed the proposed Project, analyzed the appeal issues, and determined that the Project is in substantial conformance with the Design Guidelines, Development Plans and Permit approved by City Council on October 21, 2008, and the regulations of the Land Development Code and Community Plan. Staff followed the substantial conformance process outlined in San Diego Municipal Code section 126.0112. All information was disclosed and shared to Interested Parties during the review and decision process. The Project complies with the development standards required by Land Development Code and is in substantial conformance to the original Project No. 44675; CDP No. 126996; SDP No. 127002, MPDP No. 561577, MHPA Boundary Line Adjustment, VTM No. 369518, and Easement Abandonment 130269, an Amendment to CDP/HRP/CUP 90-1140. The appellant did not provide sufficient evidence to support any of the four findings that are grounds for appeal. Therefore, City staff recommends that the Planning Commission deny the appeal and affirm the January 3, 2022, Development Services Department decision of Substantial Conformance to the original Project No. 44675; CDP No. 126996, SDP No. 127002, MPDP No. 561577, MHPA Boundary Line Adjustment, VTM No. 369518 and CUP No. 90-1140.

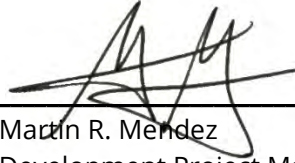
#### ALTERNATIVES

1. Deny the appeal and modify the Development Services Department decision of substantial conformance to the original Project No. 44675; CDP No. 126996; SDP No. 127002, MPDP No. 561577, MHPA Boundary Line Adjustment, VTM No. 369518, and Easement Abandonment 130269, an Amendment to CDP/HRP/CUP 90-1140, Substantial Conformance Review No. [2554139](#).
2. Grant the appeal and reverse the Development Services Department decision of substantial conformance to the original Project No. 44675; CDP No. 126996; SDP No. 127002, MPDP No. 561577, MHPA Boundary Line Adjustment, VTM No. 369518, and Easement Abandonment 130269, an Amendment to CDP/HRP/CUP 90-1140, Substantial Conformance Review No. [2554139](#) in accordance with [Section 112.0504](#).

Respectfully submitted,



Renee Mezo  
Assistant Deputy Director  
Development Services Department



Martin R. Mendez  
Development Project Manager  
Development Services Department

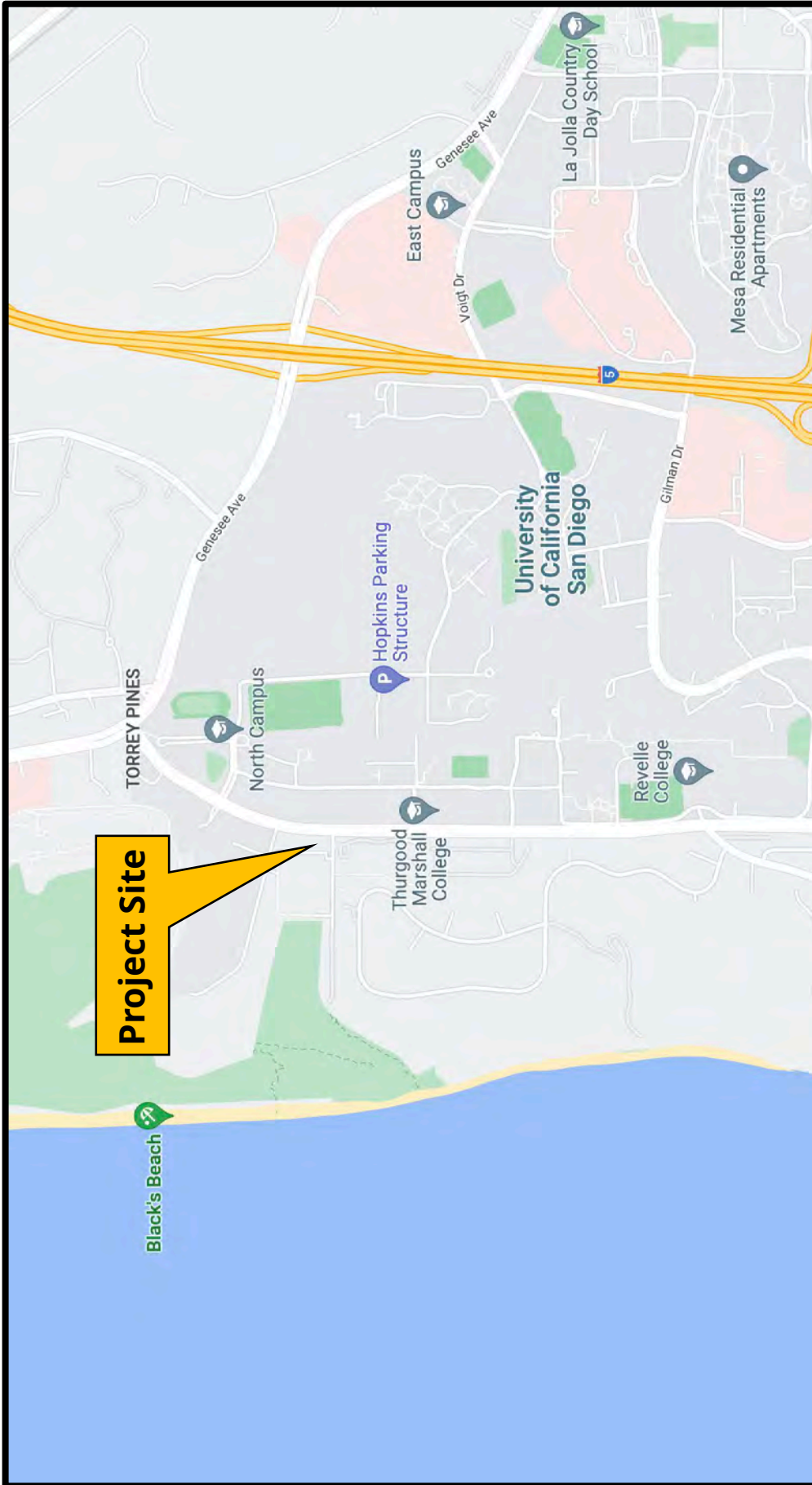
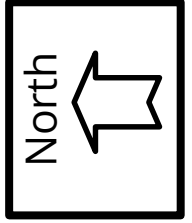
Attachments:

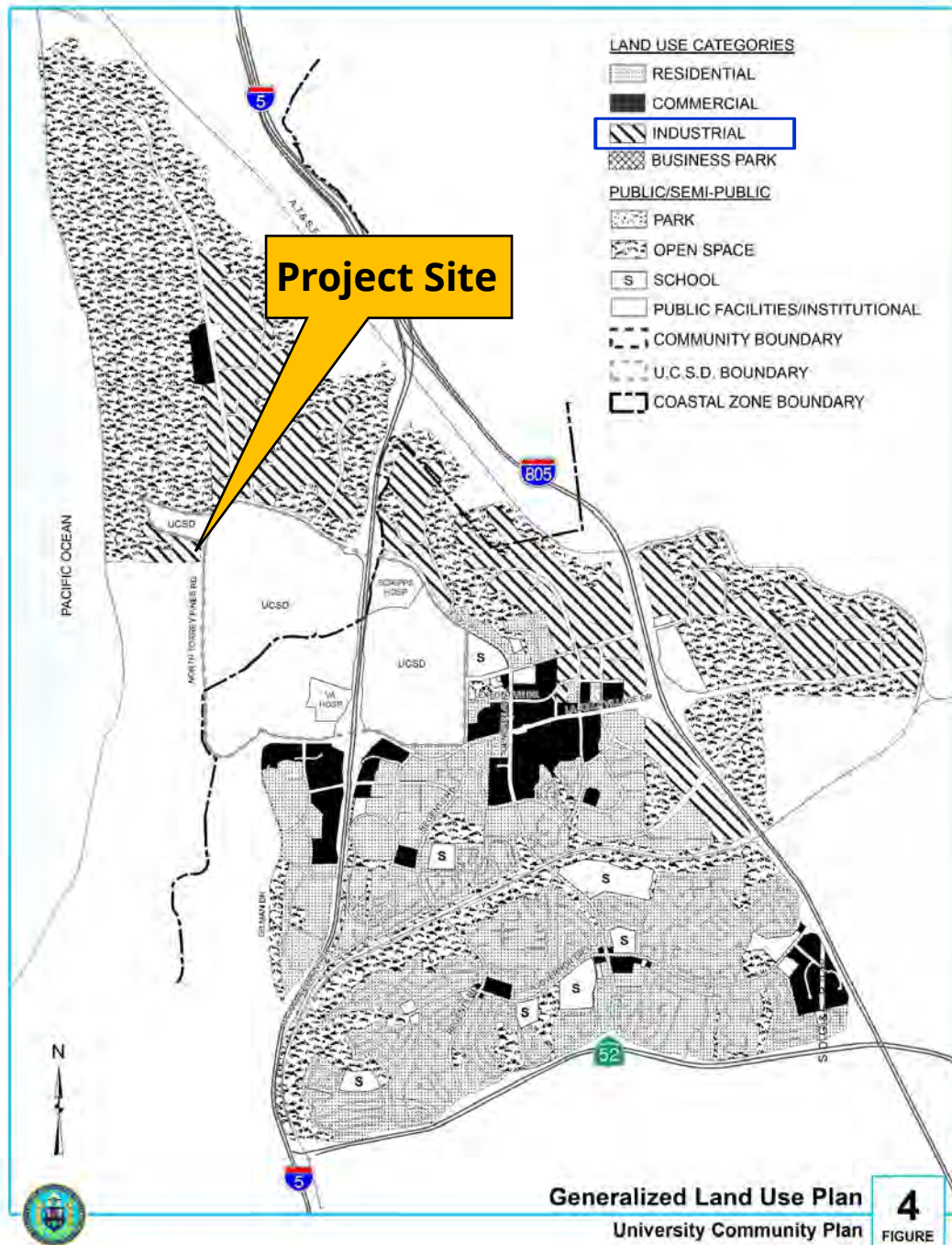
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Process Two, Notice of Decision
5. Appeal Application
6. Original Permit with Conditions
7. Original Permit Resolution with Findings
8. Original Permit Exhibit "A"
9. Ownership Disclosure Statement
10. SCR Project Plans
11. Applicant Appeal Response
12. Applicant Letter to Planning Commission



## Project Location Map

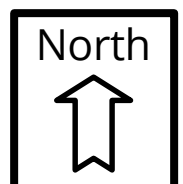
Salk Institute SCR/ 10010 North Torrey Pines Road  
PROJECT NO. 687543



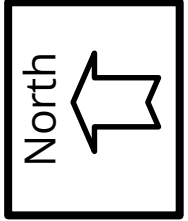


## Community Land Use Map

Salk Institute SCR/ 10010 North Torrey Pines Road  
PROJECT NO. 687543







## Project Location Map

Salk Institute SCR/ 10010 North Torrey Pines Road  
PROJECT NO. 687543





THE CITY OF SAN DIEGO

DATE OF NOTICE: January 3, 2022

# NOTICE OF DECISION

## DEVELOPMENT SERVICES DEPARTMENT

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PROJECT NO:	687543
PROJECT NAME:	<u>SALK INSTITUTE SCR</u>
PROJECT TYPE:	SUBSTANTIAL CONFORMANCE REVIEW (SCR), PROCESS TWO
APPLICANT:	CAMILLE PASSON, LATITUDE 33 PLANNING & ENGINEERING
COMMUNITY PLAN AREA:	UNIVERSITY
COUNCIL DISTRICT:	1
CITY PROJECT MANAGER:	Martin R. Mendez, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5309, <a href="mailto:mrmendez@san Diego.gov">mrmendez@san Diego.gov</a>

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On January 3, 2022, Development Services Department APPROVED an application for Process 2 Substantial Conformance Review (SCR) to confirm that proposed project refinements align with the previously approved Coastal Development Permit No. 126996, Site Development Permit No. 127002, Master Planned Development Permit No. 561577, Vesting Tentative Map No. 369518, and Conditional Use Permit No. 90-1140. The modifications include an increase of 2,940-square-feet to the Torrey Pines East Building; modifications to the building elevations; addition of a passenger drop-off area on the south side of the project site; modifications to pedestrian access entryways; relocation of mechanical equipment areas, loading dock, and loading spaces; parking garage modifications; and associated revisions to landscape and site improvements. The 3.09-acre site is located at 10010 North Torrey Pines Road in the RS-1-14 and RS-1-7, Coastal Zone (Appealable), Coastal Height Limit Overlay Zone, First Public Roadway, Geological Hazard 51 and 53, Community Plan Implementation Overlay Zone (Type A), Fire Brush Management, Parking Impact Overlay Zone (Coastal, Beach, and Campus Impact), Council District 1. The property is legally described as Portion of Parcel 1 of Parcel Map No. 14013, in the City of San Diego, County of San Diego, State of California. This development is within the Coastal Overlay zone and the application was filed on June 4, 2021.

If you have any questions about this project, the decision, or wish to receive a copy of the resolution approving or denying the project, contact the City Project Manager above.

The decision by Development Services Department staff can be appealed to the **Planning Commission** no later than ten (10) business days after the decision date. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the Planning Commission must be filed by email or US mail as follows:

- 1) Appeals filed via E-mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained here](#). Send the completed appeal form by email to

## ATTACHMENT 4

[PlanningCommission@sandiego.gov](mailto:PlanningCommission@sandiego.gov). Your email appeal will be acknowledged within 24 hours. You must separately mail the appeal fee by check payable to the City Treasurer to: Planning Commission/Appeal, MS 501, 1222 First Avenue, 5<sup>th</sup> Floor, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked within 5 business days of the date the appeal is filed.

- 2) Appeals filed via US Mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained here](#). Send the completed appeal form by US Mail to Planning Commission/Appeal, MS 501, 1222 First Avenue, 5<sup>th</sup> Floor, San Diego, CA 92101. Appeals filed by US Mail must be USPS postmarked by the appeal deadline to be considered valid. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The final decision by the City of San Diego is appealable to the California Coastal Commission in accordance with Land Development Code Section 126.0710(a). Appeals to the Coastal Commission must be filed with the Coastal Commission at 7575 Metropolitan Drive, Suite 103, San Diego, CA 92108. Phone: (619) 767-2370. Appeals must be filed within 10 business days of the Coastal Commission receiving a notice of final action from the City. Please do not e-mail appeals as they will not be accepted. If you want to receive a Notice of Final Action, you must submit a written request to the City Project Manager listed above.

This activity is within the scope of Environmental Impact Report LDR No. 44675, Certified on October 21, 2008. The activity is adequately addressed in the Environmental Impact Report LDR No. 44675, Project No. 44675, Coastal Development Permit No. 126996, Site Development Permit No. 127002, Master Planned Development Permit No. 561577, Multiple Habitat Planning Area Boundary Line Adjustment and Vesting Tentative Map No. 369518, and there is no change in circumstance, additional information, or project changes to warrant additional environmental review. Pursuant to CEQA Section 15378(c) the term "project" refers to the activity which is being approved and which may be subject to several discretionary approvals by governmental agencies. The term "project" does not mean each separate governmental approval; therefore, this action is not a separate project for the purpose of CEQA review pursuant to CEQA Guidelines Section 15378(c).

This information will be made available in alternative formats upon request.

Internal Order No.: 11004543

cc: Chris Nielsen, Chair, University (via email)  
Katie Witherspoon, Community Planner, Planning Department (via email)



The City of  
**SAN DIEGO**

**Development Services Department**  
Martin R. Mendez / Project No 687543  
1222 First Ave., MS 501  
San Diego, California 92101-4140

RETURN SERVICE REQUESTED

# Development Permit/ Environmental Determination Appeal Application

November 2017

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development\\_services](http://www.sandiego.gov/development_services).  
Upon request, this information is available in alternative formats for persons with disabilities.  
DS-3032 (11-17)

## An American Acropolis

The Los Angeles Times, May 1993, quoting J. Spencer Lake, San Diego architect:

***“Salk Institute for Biological Studies...a work of poetry about to be interrupted. Many have compared it to the Acropolis in Greece...”***

The Louis Kahn-Dr. Jonas Salk collaboratively designed Salk Institute for Biological Studies (Salk, Institute, Salk Institute) was designated as City of San Diego Historic Site No. 304 in February 1991. In 2005, the California State Office of Historic Preservation, California State Historical Resources Commission formally determined the entire site of the Salk Institute eligible for listing in the National Register of Historic Places.

**The basis for this appeal is the insufficient and inadequate oversight review under the ministerial Process 2 for Substantial Conformance Review (SCR) by only the Historic Resources Board (HRB) staff.**

The Salk Institute for Biological Studies is a world renowned and acknowledged architectural masterpiece. Because this City of San Diego designated historic resource is considered the most important modern historic resource in San Diego, recognized for its significance internationally, and due to its entire site determined by the State Historical Resources Commission as eligible for the National Register, review of the proposed changes should have been undertaken by staff in conjunction with the Design Assistance Committee (DAC) of the Historic Resources Board (HRB) along with final presentation to the full Historic Resources Board for their discussion and public comment. The SCR process does not prevent the HRB staff from engaging with the DAC and the full HRB to review and vet the proposed changes to the 2006 concept design reviewed by these same bodies.

The revisions to the initially approved concept design have changed sufficiently to require a fully vetted and review process by the Historic Resources Board. The intervening 13 years since City Council approval in 2008 (15 years since HRB review) is sufficient time for the applicant and their architectural team to remove the “minimal” impact to the Standards by removing the glass enclosed atrium, bridge connection between the two wings and the roof over the atrium of the Torrey East Building as these components are not critical to the Salk institute’s mission of research and these elements do not affect the laboratory function of research.

The architectural renderings the applicant uses to illustrate the changes to the 13-year old concept design of the Torrey East Building from Torrey Pines Road portray an artist’s image through the building to depict the view to support the “minimal” impact. If constructed as depicted, the important axial east-west view to the courtyard, sky and ocean beyond will be blocked by the glass walls and the bridge crossing.

In 2006, the HRB staff recommendations to the Historic Resources Board stated “...*the design of the Torrey East Building is not consistent with the Standards, with respect to the adjacent, historically designated .... Kahn designed Salk Institute based on the 1991 City of San Diego designation...and the proposed listing at the national level.*”

At that time, 15 years ago, the proposed Master Plan and components were reviewed by the HRB Design Assistance Committee and the full Historic Resources Board unlike the current conformance review which had no Design Assistance Committee review or presentation to the full Historic Resources Board given this extremely important and internationally recognized designated resource.

**Standard 2: ‘The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces and spatial relationships that characterize a property will be avoided.’**

*“...the current design of the Torrey East Building, does not maintain current views from the North Torrey Pines Road sidewalk through the site to the courtyard and horizon beyond. This change in views alters the public’s perception of spatial relationships of the historic buildings, courtyard and negative space currently afforded at the site. Therefore, the current design of the Torrey East Building is not consistent with this Standard...”*

**Standard 9: “New additions, exterior alterations or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property...”**

At that time, HRB staff found “...*the proposed East Torrey Building...will alter the historic spatial relationships that are part of the character defining features of the National Register-eligible property. ... does not maintain current views from the North Torrey Pines sidewalk through the site to the courtyard and horizon view beyond. This change in views alters the public’s perception of spatial relationships of the historic buildings, courtyard and negative space currently afforded at the site...not consistent...*”

A mitigation measure proposed as part of the approval in 2008 for the Master Plan by the City Council “...*Final design of the Torrey East Building shall feature a ground-level, two-story transparent atrium space designed to permit limited visibility along the same axis as the courtyard of the original laboratory building. Therefore, the project deviations are the minimum necessary to afford relief.* “

***“...Minimum necessary to afford relief.”***

**The intervening 13 years since approval is sufficient time for the applicant and their architectural team to remove this impact to the Standards by removing the glass enclosed atrium, bridge connection between the two wings and the roof over the atrium as these components are not critical to the Salk institute’s mission of research and these elements do not affect the laboratory function of**

research. The Salk Institute design of the Torrey East Building should not be the minimum necessary to afford relief.

The images the applicant uses of the Torrey East Building from Torrey Pines Road portray an artist's image through the building to depict the view to support the "minimal" impact. If constructed as depicted the view will be blocked by the glass walls and the bridge crossing.

Bruce Coons, Executive Director of Save Our Heritage Organisation (SOHO), in a July 2021 letter to the Development Services Department, Historic Resources:

*"SOHO continues to oppose the closed glass atrium design of the Torrey Pines East Building and maintains this should be two separate buildings with an open-air plaza, ... This open-air plaza would maintain the character defining axis of the site."*

### **§143.0201 Article 3: Supplemental Development Regulations Division 2: Historical Resources Regulations**

#### **Purpose of Historical Resources Regulations**

The purpose of these regulations is to protect, preserve and, where damaged, restore the *historical resources* of San Diego, which include *historical buildings, historical structures or historical objects, important archaeological sites, historical districts, historical landscapes, and traditional cultural properties*. These regulations are intended to assure that *development* occurs in a manner that protects the overall quality of *historical resources*.

#### **143.0213 Procedures and Regulations for Project-Specific Land Use Plan**

The project-specific *land use plan* shall indicate how individual subsequent *developments* within the plan area will conform to the *historical resources* regulations

1. adversely affect the special character or special historical, architectural, archaeological, or cultural value of the resource when all feasible measures to protect and preserve the *historical resource* are included in the *development* proposal consistent with the Secretary of Interior's Standards and Guidelines.

**Kahn deliberately designed the Salk arrangement to have open space flow through the historic courtyard and through the entire east-west axis.**

In 1995, both Dr. Salk and his architects finally understood the need for an open axial relationship between the original structures and the design for the completed East Building. They removed the atrium and opened the vista. In the 13 years since the Master Plan was approved, Salk and its architects have made no effort on the proposed design for the Torrey East Building to meet a more than *"...minimal mitigation..."* required for such a historically designated world-renowned masterpiece of universal significance.

**In effect, the original 1995 design for the completed East Building that Dr. Salk later rejected and whose architects revised has returned with atrium, bridge and roof for this new Torrey East Building along North Torrey Pines Road.**

The supposed mitigation of the axial blockage by use of glass walls that open is completely unnecessary. This atrium component of the proposed laboratory design does nothing to inhibit the function of the Salk's primary mission of research. The wings, like the 1995 East Building can stand on their own without this atrium space.

**The historical integrity of the site that the vista and axial quality be open east to west and west to east to the public realm will be forever broken.**

Comments from 1996 and 2007 are totally appropriate for the current design of the Torrey East Building:

It was both Dr. Salk's and Architect Louis Kahn's "...Salk's view that the whole complex, new and old sections, should be seen as one thing, with one continuous axis of open space through the middle." (Vincent Scully, 1996).

*"This 300-foot-long uninterrupted two-story structure along the entire east side of the site.... This massive building would effectively seal the site off from the public and forever negate Kahn's inspired design narrative of 'sky', 'light,' and 'air.' (Vonn Marie May, 2007)*

The 1995 addition that originally was proposed and now rears its head in the Torrey East Building would certainly meet Vincent Scully's comments "...The sitting of the added building literally blocked and largely destroyed the ...major achievement on the coast of California, which was to seem to draw the whole continent behind it through its court and to release it to the Pacific."

Even the 2006 Page & Turnbull, Inc. Historic Resources Technical Report prepared for their client the Salk Institute states, "*The Torrey East Building will greatly alter spatial relationships that originally characterized the East mesa.*" Although the proposed East Torrey Pines building will have a "...transparent atrium on axis with the Center Court of the 1965 Laboratory Complex..., the report states that its design only may "potentially...allow visitors to obtain glimpses..."

***"...only may "potentially...allow visitors to obtain glimpses..."***

Rehabilitation Standard 9 is not meet. This Standard states: "*New additions, .... will not destroy ...spatial relationships that characterize the property. The new work ...shall protect the integrity of the property and its environment.*"

The Salk is a designated as a City landmark as well as a property that has been determined to be eligible for listing in the National Register.

**As designed, the Torrey East Building, even though conceptually approved in 2008, is still not in compliance with Rehabilitation Standard 9. The intervening 13 years is sufficient enough time for the Salk and its architects to modify the 2008 concept and create a design that meets the standard. Elimination of the enclosed atrium, bridge and roof moves compliance further along without compromising Salk's need for additional laboratory functions.**

In a September 2006 Historical Resources Board [HRB] Meeting, the board determined that the proposed project would not be consistent with two of the Rehabilitation Standards due to impacts to historic landscaping and spatial relationships in the east parking lot.

**• Development affecting designated historical resources or historical districts shall provide full mitigation for the impact to the resource, in accordance with the Historical Resources Guidelines of the Land Development Manual, as a condition of approval.**

**“...full mitigation...” not minimal mitigation.**

The Master Plan for the Salk Institute was approved through a discretionary permitting process in 2008. A basic conceptual design of the Torrey East Building was included and analyzed as a part of the Master Plan.

*“Construction of the building was determined to be not consistent with the Secretary of the Interior's Standards and a Site Development Permit was required to process the Master Plan. During the Environmental review, an EIR was prepared to analyze the proposed Master Plan and its impacts. In order to mitigate for the construction of the building; which was determined to have an impact on Salk's historically significant spatial relationships and landscape; ..., and the new Torrey East Building will feature a two-story atrium building that will permit limited visibility along the same axis as the courtyard of the original lab buildings...”*

HRB staff justifies its sole review as part of the substantial conformance review:

*“The previous Master Plan permit (2008) was reviewed and approved by the Historical Resources Board, Planning Commission and City Council. The applicant is currently proposing to implement construction of the design as previously approved with minor modifications to the design of the Torrey East Building. The modifications triggered the Substantial Conformance Review that was recently reviewed by Historical Resources staff... The project was processed ministerial....”*

The applicant and its design team will offer that the glass walls of the atrium open. That being the case, there is no need for the glass walls and if effect these walls will glare at the most pivotal time: the equinoxes when the sun sets directly on the axis of the site.

**The basis for this appeal is the insufficient and inadequate oversight review under the ministerial Process 2 for Substantial Conformance by only the Historic Resources Board (HRB) staff.**

**The Salk Institute for Biological Studies is a world renowned and acknowledged architectural masterpiece. Because this City of San Diego designated historic resource is considered the most important modern historic resource in San Diego and due to its eligibility for National Register, review should have been undertaken by staff in conjunction with the Design Assistance Committee (DAC) of the HRB along with final presentation to the full Historic Resources Board for discussion as well as public comment.**

Comments at the time of the National Register listing for the Salk Institute:

Vincent Scully in 2005:

*"The sitting of the added building (1995 East Building) literally blocked and largely destroyed the group's major achievement on the coast of California which was to seem to draw the whole continent behind it through its court and release it to the pacific. In doing so Kahn created one of the, most compelling American and especially Californian metaphors, one which should not be further compromised."*

David de Long in 2005:

*"That original site has already been compromised by the unfortunate addition which obscured the visual axis from the point of arrival to the Pacific beyond."*

The intent of this appeal is not to block additional functions to the Salk Institute site. Additions will be necessary to further the vision of both Salk and Kahn. But how one approaches to implement those visions should take into account the axial intent of the entire complex. The Torrey East Building with its enclosed atrium, bridge and roof does not.

**With the removal of these components the linkage of the continent to the courtyard, ocean, sky, and air can be maintained and meet Standard 9.**

Michael Rubin 2005

*"If anything were built within that view field it would instantly become a new focus and thus obscure the poignant line where ocean meets sky."*

***"Our greatest responsibility is to be good ancestors."* Jonas Salk**

**I urge the Planning Commission to accept and hear the appeal and have the applicant and its architectural team revise the design eliminating the atrium, bridge connection and roof over the atrium.**

**Charles Kaminski  
Architect**

**Consultant to advisor of the 1991 City of San Diego Historic Designation Report  
Consultant to the preparers of the 2005 California National Register Application**

**PO Box 2729  
La Jolla, CA 92038**



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
CITY CLERK  
MAIL STATION 2A

THE ORIGINAL OF THIS DOCUMENT  
WAS RECORDED ON JAN 14, 2009  
DOCUMENT NUMBER 2009-0017222  
DAVID L. BUTLER, COUNTY RECORDER  
SAN DIEGO COUNTY RECORDER'S OFFICE  
TIME: 11:59 AM

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-3122

COASTAL DEVELOPMENT PERMIT NO. 126996/  
SITE DEVELOPMENT PERMIT NO. 127002/  
MASTER PLANNED DEVELOPMENT PERMIT NO. 561577/  
MHPA BOUNDARY LINE ADJUSTMENT  
**SALK INSTITUTE [MMRP]**  
AMENDMENT TO COASTAL DEVELOPMENT PERMIT [CDP]/HILLSIDE RESOURCE  
PROTECTION [HRP]/ CONDITIONAL USE PERMIT [CUP] No. 90-1140  
**CITY COUNCIL**

This Coastal Development Permit No. 126996/Site Development Permit No. 127002/Master Planned Development Permit No. 561577/Multiple Habitat Planning Area [MHPA] Boundary Line Adjustment, (Amendment to CDP/HRP/CUP No. 90-1140), is granted by the City Council of the City of San Diego to the Salk Institute For Biological Studies, a California Nonprofit Public Benefit Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0708, 126.0504, 126.0604 and 125.1040. The 26.34-acre site is located at 10010 North Torrey Pines Road in the RS-1-7 zone, Coastal Overlay (Appealable), Coastal Height Limit Overlay, and Community Plan Implementation Overlay (Area A - CPIOZ-A) Zones within the University Community Plan area. The project site is legally described as Portion of Parcel 1 of Parcel Map No. 14013.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of Laboratory and Research and Development, for a total build out of 476,000 square feet, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated **OCT 21 2008**, including Design Guidelines dated June 27, 2008, on file in the Development Services Department.

The project shall include:

- a. Demolition of West Buildings (20,000 square-feet) and Accessory Building (9,000 square-feet);
- b. Construction of the Torrey East Laboratory Building (94,200 square-feet), Salk Community Center Building (117,000 square-feet), North Peninsula Underground Parking Facility, and Greenhouses (4,000 square-feet);
- c. Deviation from the 30-foot height limit in the RS-1-7 residential zone (SDMC Table 131-04D and SDMC section 131.0444(b) for the Salk Community Center Building. This building, and all others proposed in the Master Plan will comply with the City's Coastal Height Limit Overlay Zone requirements within SDMC section 132.0505.
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking; and
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

#### **STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.

4. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
5. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.
9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
10. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

13. This permit incorporates CDP/HRP/CUP No. 90-1140; which amended CUP No. 3841.

14. This Permit may be developed in phases. Each phase shall be constructed consistent with the conditions and exhibits approved for each respective phase per the approved Design Guidelines dated June 27, 2008 and approved Exhibit "A" dated OCT 21 2008.

#### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

15. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program [MMRP]. These MMRP conditions are incorporated into the permit by reference or authorization for the project.

16. The mitigation measures specified in the MMRP, and outlined in Environmental Impact Report [EIR] No. 44675, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

17. The Owner/Permittee shall comply with the MMRP as specified in EIR No. 44675, satisfactory to the City Manager and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

- Biological Resources
- Historical Resources (Designated Site)
- Historical Resources (Archaeology)
- Noise
- Paleontological Resources
- Traffic

18. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

#### **ENGINEERING REQUIREMENTS:**

19. The Master Planned Development Permit, Site Development Permit and Coastal Development Permit shall comply with the conditions of Vesting Tentative Map No. 369518.

20. The Owner/Permittee shall construct City standard sidewalk on Torrey Pines Scenic Drive, from the most westerly lot boundary to meet the existing sidewalk. All work shall be completed and accepted by the City Engineer, prior to building occupancy of the Community Center Building.

21. The Owner/Permittee shall replace the damaged curb and uplifted sidewalk on North Torrey Pines Road. All work shall be completed and accepted by the City Engineer, prior to building occupancy of the Torrey East Building.

22. The Owner/Permittee shall replace the existing pedestrian ramps with new City standard pedestrian ramps with truncated domes, at the southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, at the northwest corner of Salk Institute Road and North Torrey Pines Road. All work shall be completed and accepted by the City Engineer, prior to building occupancy of the Torrey East Building.

23. The Owner/Permittee shall replace the existing pedestrian ramp with City standard pedestrian ramp with truncated domes, at the terminus of Salk Institute Road. All work shall be completed and accepted by the City Engineer, prior to building occupancy of the Greenhouses.



24. The Owner/Permittee shall close all non-utilized driveways, on Torrey Pines Scenic Drive and Salk Institute Road, with City standard curb, gutter and sidewalk. All work shall be completed and accepted by the City Engineer, prior to building occupancy of the building adjacent to the proposed improvements.

25. The Owner/Permittee shall install three 30-foot wide City standard driveways on Torrey Pines Scenic Drive and one 30-foot wide standard driveway on Salk Institute Road. All work shall be completed and accepted by the City Engineer, prior to building occupancy of the building adjacent to the proposed improvements.

26. The Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for private storm drain systems, curb-outlets, retaining walls, landscape and irrigation locate in the public right-of-way and easements.

27. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMP's] maintenance.

28. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMP's necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

29. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post-construction BMP's on the final construction drawings, in accordance with the approved Water Quality Technical Report.

30. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

31. The Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

32. This project proposes to export 250,000 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the processing and sale of the export material. All such activities require a separate Conditional Use Permit.

33. Development of this project shall comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CA S0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan [SWPPP] and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent [NOI] shall be filed with the SWRCB.

34. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99-08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 99-08 DWQ.

**LANDSCAPE REQUIREMENTS:**

35. Prior to issuance of any construction permits, landscape construction documents for the revegetation and hydro-seeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A."

36. The Owner/Permittee shall monitor of the relocation of the Chinese fringe trees by a landscape architect to assure proper treatment. The health of the transplanted trees shall be monitored periodically by a landscape architect and any necessary remedial measures shall be taken to assure successful relocation of these historic trees. All other landscape treatment considered mitigation for historic resources shall be similarly monitored and success assured to the satisfaction of the Historical Resources Board staff.

37. Installation of slope planting and erosion control including seeding of all disturbed land (slopes and pads) consistent with the approved landscape and grading plans is considered to be in the public interest. The Owner/Permittee shall initiate such measures as soon as the grading and disturbance has been completed. Such erosion control/slope planting and the associated irrigation systems (temporary and/or permanent) and appurtenances shall be installed in accordance with the approved plans and the Land Development Manual: Landscape Standards.

38. Prior to issuance of any construction permits for public right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

39. Prior to issuance of any grading permits, complete landscape construction documents, including an automatic permanent irrigation system, shall be submitted to the City Manager for approval. The plans shall be in substantial conformance to Exhibit "A."

40. Prior to the issuance of any construction permits, the Owner/Permittee shall complete a Maintenance Assessment District Agreement form for early confirmation.

41. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit

"A", Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

42. Prior to issuance of any construction permits for buildings (including shell), complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC section 142.0403(b)5.

43. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

44. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

45. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within thirty days of damage or Certificate of Occupancy or a Final Landscape Inspection.

46. Prior to issuance of any construction permit for parking structures or for landscape proposed above a structure, the Owner/Permittee shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation.

47. The Owner/Permittee shall be responsible for the installation and maintenance of all landscape improvements consistent with the Land Development Code: Landscape Regulations and the Land Development Manual: Landscape Standards. Invasive species are prohibited from being planted adjacent to any canyon, water course, wet land or native habitats within the city limits of San Diego. Invasive plants are those which rapidly self propagate by air born seeds or trailing as noted in section 1.3 of the Landscape Standards.

#### **BRUSH MANAGEMENT PROGRAM REQUIREMENTS:**

48. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" Brush Management Plan.

49. The Brush Management Program shall consist of two zones consistent with the Brush Management regulations of the Land Development Code section 142.0412 as follows for



PROPOSED BUILDINGS: 30' Zone One and 20-30' Zone Two shall be planted and maintained per Exhibit "A," Brush Management Program, sheet L-5.

50. Brush Management for existing buildings is provided under previously recorded agreement 1992-0533322 O.R. on file with the County Recorder of San Diego California and reproduced on Exhibit "A."

51. Prior to issuance of any construction permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

52. Prior to issuance of any construction permits, a complete set of brush management construction documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial Conformance with Exhibit "A" and shall comply with SDMC section 55.0101, Land Development Code section 142.0412, and the Land Development Manual - Landscape Standards.

53. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) are not permitted, while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and the Development Services Department approval.

54. The Owner/Permittee shall be responsible to schedule an on-site, pre-construction meeting with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program.

55. In Zones One and Two, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Staff and Environmental Staff in the Development Services Department.

56. Prior to final inspection and the issuance of any Certificate of Occupancy for any building, the approved Brush Management Program shall be implemented.

57. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

#### **PLANNING/DESIGN REQUIREMENTS:**

58. No fewer than 1,046 off-street automobile parking spaces (1,086 automobile spaces provided), including twenty-one accessible spaces (twenty-six accessible spaces provided) and 143 carpool spaces (150 carpool spaces provided), shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Additionally, thirty-nine motorcycle spaces and twenty-five bicycle spaces (with shower and locker facilities), shall also be provided. All on-site parking stalls and drive aisle shall comply at all times with the SDMC, and shall not be converted and/or utilized for any other purpose.

59. Any sculpture or other standing design element shall be prohibited at the west side of the proposed Torrey East Building.

60. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

61. All signs associated with this development shall be consistent with sign criteria established by the Sign Program dated January 17, 1995, provided as Appendix 10 within the Design Guidelines, dated June 27, 2008.

62. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

### **TRANSPORTATION REQUIREMENTS**

63. The Owner/Permittee shall provide and maintain a Transportation Demand Management Plan. The Owner/Permittee shall provide an employee private shuttle service between the project and the regional transportation centers, and provide transit pass subsidies for the employees. The Owner/Permittee shall provide a kiosk or bulletin board displays information on transit uses, carpooling, and other forms of ridesharing.

64. The Owner/Permittee shall provide a fair-share contribution toward the construction of the interchange at Genesee Avenue and I-5 interchange, for total fair-share of \$353,000.

65. The Owner/Permittee shall provide a Rideshare Information kiosk or bulletin board that displays information on transit use, carpooling, and other forms of ridesharing, as indicated on Exhibit "A," satisfactory to the City Engineer.

66. A minimum of five off-street loading spaces (six spaces shown) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all off-street loading space dimensions shall be in compliance with requirements of SDMC section 142.1010, and shall not be converted and/or utilized for any other purpose.

### **WASTEWATER REQUIREMENTS:**

67. Prior to the issuance of any construction permits, the Owner/Permittee shall vacate onsite public sewer easements, satisfactory to the City of San Diego Director of Public Utilities.

68. Prior to submittal of public improvement drawings, including grading plans, the Owner/Permittee shall provide a hydrology study that shows the waste from the private onsite pump station/main is less than 4 hours old.

69. All onsite sewer facilities that serve the Salk Institute shall be private.
70. No trees or shrubs exceeding 3 feet in height at maturity shall be installed within 10 feet of any public sewer facilities.
71. The Owner/Permittee shall design and construct any proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.
72. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Plumbing Code.

**WATER REQUIREMENTS:**

73. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway along North Torrey Pines Road, and the disconnection at the water main of all existing unused services adjacent to the site, in a manner satisfactory to the Director of Public Utilities and the City Engineer. All new on-site water facilities shall be private.
74. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of a new irrigation water service(s) in a manner satisfactory to the Director of Public Utilities and the City Engineer. All private on-site irrigation systems shall be designed to utilize reclaimed water. The system shall be designed to allow the conversion from potable to reclaimed water service and avoid any cross connection between the two systems.
75. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each existing and proposed water service (domestic, fire, and irrigation), in a manner satisfactory to the Water Department Director, the City Engineer, and the Cross Connection Supervisor in the Customer Support Division of the Water Department.
76. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.
77. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities shall be modified at final engineering to comply with standards.
78. Prior to the issuance of any construction permits, the Owner/Permittee shall process encroachment maintenance and removal agreements for all acceptable encroachments, including but not limited to, structures, enhanced paving, private utilities or landscaping, proposed to be

located within the public rights-of-way adjacent to the project. No structures or landscaping of any kind shall be installed in or over any vehicular access roadway.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the City Council of the City of San Diego on OCT 21 2008,  
Resolution No. ~~304291~~

Coastal Development Permit No. 126996  
Site Development Permit No. 127002  
Master Planned Development Permit No. 561577  
MHPA Boundary Line Adjustment  
Date of Approval: October 21, 2008

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT



Laura C. Black, AICP  
TITLE: Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**THE SALK INSTITUTE  
FOR BIOLOGICAL STUDIES**

Owner/Permittee

By



Garry Van Gerpen  
Vice President of Scientific Services

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California

County of San Diego

On Jan. 9, 2009 before me Maribel A. Martinez, Notary Public  
Date Here Insert Name and Title of the Officer  
 personally appeared Rauna C. Black  
Name(s) of Signer(s)



who proved to me on the basis of satisfactory evidence to be the person~~(s)~~ whose name~~(s)~~ is/~~are~~ subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in his/~~her/their~~ authorized capacity~~(ies)~~, and that by his/~~her/their~~ signature~~(s)~~ on the instrument the person~~(s)~~, or the entity upon behalf of which the person~~(s)~~ acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Maribel A. Martinez  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

**Description of Attached Document**

Title or Type of Document: Salk Institute. Pts # 44670

Document Date: October 21, 2008 Number of Pages: 163

Signer(s) Other Than Named Above: \_\_\_\_\_

**Capacity(ies) Claimed by Signer(s)**

Signer's Name: Rauna C. Black

- ☒ Individual  
☐ Corporate Officer — Title(s): \_\_\_\_\_  
☐ Partner — ☐ Limited ☐ General  
☐ Attorney in Fact  
☐ Trustee  
☐ Guardian or Conservator  
☐ Other: \_\_\_\_\_

RIGHT THUMBPRINT  
OF SIGNER  
Top of thumb here

Signer Is Representing: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

- ☐ Individual  
☐ Corporate Officer — Title(s): \_\_\_\_\_  
☐ Partner — ☐ Limited ☐ General  
☐ Attorney in Fact  
☐ Trustee  
☐ Guardian or Conservator  
☐ Other: \_\_\_\_\_

RIGHT THUMBPRINT  
OF SIGNER  
Top of thumb here

Signer Is Representing: \_\_\_\_\_

**ORIGINAL**

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California

County of San DiegoOn 1-06-09 before me, Storme Lee Lanegan, Notary Public  
Date Here Insert Name and Title of the Officer  
personally appeared Garry Eugene Van Gerpen  
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she~~they executed the same in his/~~her~~their authorized capacity(ies), and that by his/~~her~~their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

  
Signature of Notary Public

Place Notary Seal Above

**OPTIONAL**

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

**Description of Attached Document**Title or Type of Document: City Use PermitDocument Date: 10-21-08 Number of Pages: 13Signer(s) Other Than Named Above: no other signers**Capacity(ies) Claimed by Signer(s)**Signer's Name: Garry Eugene Van Gerpen Signer's Name: \_\_\_\_\_

- ☐ Individual  
☒ Corporate Officer — Title(s): VP  
☐ Partner — ☐ Limited ☐ General  
☐ Attorney in Fact  
☐ Trustee  
☐ Guardian or Conservator  
☐ Other: \_\_\_\_\_

RIGHT THUMBPRINT  
OF SIGNER  
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- ☐ Individual  
☐ Corporate Officer — Title(s): \_\_\_\_\_  
☐ Partner — ☐ Limited ☐ General  
☐ Attorney in Fact  
☐ Trustee  
☐ Guardian or Conservator  
☐ Other: \_\_\_\_\_

RIGHT THUMBPRINT  
OF SIGNER  
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Signer Is Representing: \_\_\_\_\_

Salk Institute

Signer Is Representing: \_\_\_\_\_

**ORIGINAL**

RESOLUTION NUMBER R- 304291DATE OF FINAL PASSAGE OCT 21 2008

10/21

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO GRANTING COASTAL DEVELOPMENT PERMIT NO. 126996, SITE DEVELOPMENT PERMIT NO. 127002, MASTER PLANNED DEVELOPMENT PERMIT NO. 561577, MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT, AND AMENDMENT TO COASTAL DEVELOPMENT/ HILLSIDE RESOURCE PROTECTION/CONDITIONAL USE PERMIT NO. 90-1140 FOR THE SALK INSTITUTE PROJECT.

WHEREAS, the Salk Institute for Biological Studies, a California non-profit public benefit corporation, Owner/Permittee, filed an application with the City of San Diego for a coastal development permit/site development permit, master planned development permit, Multi-Habitat Planning Area [MHPA] boundary line adjustment, and amendment to Coastal Development Permit/Hillside Resource Protection [HRP]/Conditional Use Permit [CUP] No.90-1140 for the Salk Institute Project to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet on portions of a 26.34-acre site, located at 10010 North Torrey Pines Road and legally described as Portion of Parcel 1 of Parcel Map No.14013, in the University Community Plan [UCP] area, in the R-S-1-7 zone, Coastal Overlay (Appealable), Coastal Height Limit Overlay, and Community Plan Implementation Overlay (Area A – CPIOZ-A) Zones; and

WHEREAS, on September 4, 2008, the Planning Commission of the City of San Diego considered Coastal Development Permit [CDP] No.126996, Site Development Permit [SDP] No.127002, Master Planned Development Permit [MPDP] No. 561577/MHPA boundary

JILL GREGG

MEET



line adjustment, and amendment to CDP/HRP/CUP No. 90-1140, pursuant to the Land Development Code of the City of San Diego and pursuant to Resolution No.4445-PC voted to recommend to the City Council the approval of the Permits; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter required the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on OCT 21 2008, testimony having been heard, evidence having been submitted and the City Council having fully considered the matter and being fully advised concerning same; NOW, THEREFORE,

BE IT RESOLVED by the Council of the City of San Diego, that it adopts the following findings, with respect to CDP No. 126996/SDP No. 127002/MPDP No. 561577/MHPA boundary line adjustment, and amendment to CDP/HRP/CUP No. 90-1140:

**A. COASTAL DEVELOPMENT PERMIT FINDINGS - SAN DIEGO MUNICIPAL CODE [SDMC] SECTION 126.0708**

**1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The proposed development does not encroach on any existing physical access way that is legally used by the public or any proposed public access way identified in the Local Coastal Program land use plan.

The proposed location of buildings on the project site would prevent blockage of the public view corridors identified in the UCP. While the proposed Salk Community Center

Building would encroach into certain long-range views of the ocean and the La Jolla coastline from Torrey Pines Scenic Drive, the proposed Community Center Building would not encroach into any designated view corridor within the UCP. Furthermore, the proposed project would enhance public views by removing visual clutter caused by the existing parking lot and lighting and would create a substantial view corridor atop the proposed underground parking garage. The proposed development creating this view corridor would be consistent with local and regional land use documents protecting views, including the UCP, the North City Local Coastal Program land use plan, and the City's General Plan. Therefore, the proposed development will enhance and protect public views to and along the ocean.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The project would require a conservation easement to encumber the entire south mesa of the project site to ensure that the Institute doesn't expand development into this area of the campus. This easement will minimize potential impacts to environmentally sensitive lands.

The proposed development would impact 0.08 acres of sensitive on-site vegetation, including 0.03 acres of maritime succulent scrub (Tier I), and 0.05 acres of Diegan coastal sage scrub (Tier II). In addition, impacts to 8.9 acres of non-sensitive, disturbed habitat would be less than significant according to the City's Multiple Species Conservation Program [MSCP] and the Biology Guidelines. The project would also conform to the MSCP Guidelines with regard to land use adjacency requirements. The proposed MHPA boundary line adjustment would result in dedication of a larger on-site biological open space easement than required to offset habitat removal. The proposed MHPA dedication area (Proposed Lot 3) contains sensitive native habitats. All direct impacts to sensitive species would be mitigated in accordance with the City's Biology Guidelines and the MSCP. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact any City wetlands or their buffers. As such, the proposed buildings are sited in appropriate locations, best physically suited for development and will not adversely impact environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The proposed project is located in the Torrey Pines Subarea of the UCP, and is designated for Scientific Research uses. The Development Intensity Element of the UCP allows up to 500,000 square feet of scientific research facilities to be developed on this site. The proposed project is consistent with the use and intensity. The site is currently developed with 289,800 square-feet of scientific research facilities. The proposed development conforms to the University Community Plan and North City Local Coastal Program land use plan. The project

would implement the land use plans by expanding the Institute's scientific research facilities in a manner that balances the sensitive natural and historic resources with the Institute's expanding research needs. Therefore, the project is in conformity with the certified coastal program land use plan.

4. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The western property line of the Salk Institute site is approximately 1200 feet from the Pacific Ocean shoreline. The first public roadway adjacent to this property is North Torrey Pines Road. The first public roadway from the Pacific Ocean is North Torrey Pines Road. There will be no impacts to public parking because the development would provide the required off-street parking spaces. The project is surrounded by development to the east and south, with city owned park land to the north of the project site. The proposed coastal development conforms to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. SITE DEVELOPMENT PERMIT FINDINGS – SDMC SECTION 126.0504:**

**1. Findings for all Site Developments**

a. **The proposed development will not adversely affect the applicable land use plan.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The proposed project is located in the Torrey Pines Subarea of the UCP, and is designated for scientific research uses. The Development Intensity Element of the UCP allows up to 500,000 square feet of scientific research facilities to be developed on this site. The proposed project is consistent with the use and intensity. The site is currently developed with 289,800 square-feet of scientific research facilities. Since the Salk Institute was founded, there have been changes in the scientific research field, including new technologies, shifting demographics of the scientists to a younger and more gender-mixed population, and increases in the number of employees and support staff. The proposed project addresses the current inadequacies of the existing scientific research and support space at the Institute and the changing demographics and needs of the Institute scientists and employees, and accommodates new and emerging research technologies. Therefore, the project will not adversely affect the adopted land use plan.

b. **The proposed development will not be detrimental to the public health, safety, and welfare.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre

site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the University Community Plan and the North City Local Coastal Program. The proposed development has been designed and will be constructed to meet all applicable zoning, building, fire, and other regulations as imposed by the City of San Diego, the State of California, and all federal agencies. An Environmental Impact Report [EIR] has been prepared for the project in accordance with the California Environmental Quality Act [CEQA]. A Mitigation, Monitoring, and Reporting Program [MMRP] has been incorporated into the permit conditions and will address the following environmental issues: Biological Resources, Historical Resources (Designated Site), Historical Resources (Archaeology), Noise, Paleontological Resources, and Traffic. As such, the proposed development will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the applicable regulations of the Land Development Code.** The proposed project is to demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The proposed development will provide scientific research facilities as designated within the UCP. Further, the proposed development is consistent with the scale of the existing buildings on the project site and is designed to minimize visual impacts by maintaining the spatial relationship between the buildings within the entire campus. The proposed development is architecturally consistent in terms of style and materials with the existing buildings on site and also with the surrounding development and the adjoining community.

The proposed development has been designed to comply with the Land Development Code, including requirements for zoning, setbacks, floor area ratio, street design, open space, grading, landscaping, parking, and all other development criteria, as allowed through a Planned Development Permit. Development of the Salk Community Center will require a deviation from the 30 foot height restriction of the residential base zone RS-1-7, although the entire project meets the height restrictions of the Coastal Height Limit Overlay Zone. Upon the approval of such deviation, the project will fully comply with the regulations of the Land Development Code.

## **2. Supplemental Site Development Permit Findings – Environmentally Sensitive Lands**

**a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The project would require a conservation easement to encumber the entire south mesa of the project site to ensure that the Institute doesn't expand development into this

area of the campus. This easement will minimize potential impacts to environmentally sensitive lands.

The proposed development would impact 0.08 acres of sensitive on-site vegetation, including 0.03 acres of maritime succulent scrub (Tier I), and 0.05 acres of Diegan coastal sage scrub (Tier II). In addition, impacts to 8.9 acres of non-sensitive, disturbed habitat would be less than significant according to the City's MSCP and the Biology Guidelines. The project would also conform to the MSCP Guidelines with regard to land use adjacency requirements. The proposed MHPA boundary line adjustment would result in dedication of a larger on-site biological open space easement than required to offset habitat removal. The proposed MHPA dedication area (Proposed Lot 3) contains sensitive native habitats. All direct impacts to sensitive species would be mitigated in accordance with the City's Biology Guidelines and the MSCP. The proposed project impacts to habitat would be less than significant and none of the project features would directly impact any City wetlands or their buffers. As such, the proposed buildings are sited in appropriate locations, best physically suited for development

**b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The project includes a conservation easement encumbering the entire south mesa of the project site to ensure that the Institute doesn't expand development into this area of the campus. This easement minimizes impacts to environmentally sensitive lands and natural land forms that might result from the proposed development. The proposed buildings are sited in an appropriate location that will not result in undue risk from geologic and erosional forces, flood hazards or fire hazards.

**c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The project includes a conservation easement encumbering the entire south mesa of the project site to ensure that the Institute doesn't expand development into this area of the campus. This easement minimizes impacts to environmentally sensitive lands and natural land forms that might result from the proposed development. The proposed easement would allow more existing native habitat to remain on site. The site is located adjacent to the existing MHPA, and an MHPA boundary line adjustment is proposed to allow dedication of 1.27 acres of additional property into the MHPA to offset habitat impacts within the MHPA. In addition to increasing the size of the MHPA, this additional land area will help to prevent adverse edge effects on the adjacent MHPA areas. As

such, the proposed buildings are sited in an appropriate location that will least impact adjacent environmentally sensitive lands.

**d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. A MHPA boundary adjustment and conservation easement is proposed conserve sensitive biological resources. The adjustment will increase the size of the MHPA by 1.27 acres. The MHPA boundary line adjustment would improve the overall habitat function, wildlife movement, preserve configuration, and management of the MHPA. The project would avoid or minimize all direct and indirect impacts to the MHPA through conformance to the City's MHPA Land Use Adjacency Guidelines. As such, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan.

**e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. [BMPs] that will be implemented both pre- and post-construction. The BMPs include, but are not limited to, on-site vegetated drainage swales and detention/desiltation basins to reduce surface water runoff and velocities, which will ensure water runoff will not increase downstream siltation or overall water runoff from the project that could cause beach sand erosion. As such, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. All mitigation measures identified within the EIR have been incorporated into the permit conditions for the proposed development.

The proposed development's mitigation measures reduce the impact of the proposed project to below a level of significance in all areas except traffic, the impacts to which are considered to be cumulatively significant and unmitigable. With respect to traffic, the project applicant has agreed to mitigation that otherwise would be appropriate to reduce the project's impact to a level less than significant. However, because the I-5/Genesee interchange project is

not formally funded, the City is not able to make this conclusion with regard to cumulative impacts. As such, all mitigation reasonably related to and calculated to alleviate negative impacts created by the proposed development has been incorporated into the permit conditions for the proposed development.

**3. Supplemental Site Development Permit Findings – Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource**

**a. There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource or historical district.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The proposed project is located in the Torrey Pines Subarea of the UCP, and is designated for Scientific Research uses. The Development Intensity Element of the UCP allows this site to develop up to 500,000 square feet of scientific research facilities. The proposed project is consistent with the use and intensity. The site is bound by single family residences to the south, Open Space to the north, the Pacific Ocean to the west and the University of Southern California – San Diego [UCSD] Campus to the east.

The Salk Institute was originally constructed in the early to mid-1960s and opened in 1965. Currently, approximately 18.4 acres of the site are developed with approximately 289,800 square-feet of scientific, research, and support facilities. The entire Salk Institute property has been determined to be eligible for the National Register of Historic Places [NRHP]. In August 2005, the California State Historical Resources Commission [SHRC] concurred with neighbors of the Institute (La Jolla Farms Homeowners and Friends of Salk Canyon) who nominated the Institute for listing on the NRHP. On February 27, 1991, the San Diego Historic Sites Board voted to include the Salk Institute as Historic Site No. 304 in the San Diego Historical Resources Register on the basis of its association with Louis Kahn and Jonas Salk and for its “architectural significance.”

The Secretary of the Interior’s Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings [Rehabilitation Standards] provide guidance for reviewing proposed work to historic properties. The proposed project is consistent with Rehabilitation Standards 1, 3 through 8 and 10, but would not be entirely consistent with Rehabilitation Standards 2 and 9. In a September 2006 Historical Resources Board [HRB] Meeting, the board determined that the proposed project would not be consistent with two of the Rehabilitation Standards due to impacts to historic landscaping and spatial relationships in the east parking lot.

A MMRP has been established to reduce potential historical resource impacts related to spatial relationships and the east parking lot landscaping, associated with Rehabilitation Standards 2 and 9. Proposed mitigation consists of carefully removing all healthy Chinese Fringe trees within the existing east parking lot and replanting the trees as part of the landscaping for the proposed Torrey East Building. The landscape concept plan shall restore as much of the

Institute's original perimeter plantings as possible. Final design of the Torrey East Building shall feature a ground-level, two-story transparent atrium space designed to permit limited visibility along the same axis as the courtyard of the original laboratory building. The proposed mitigation would minimize potential impacts to the historical resources on the site.

**b. The deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource have been provided by the applicant.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The proposed project is located in the Torrey Pines Subarea of the University Community Plan, and is designated for Scientific Research uses. The Development Intensity Element of the UCP allows this site to develop up to 500,000 square feet of scientific research facilities. The proposed project is consistent with the use and intensity. The site is bound by single family residences to the south, open space to the north, the Pacific Ocean to the west and the University of Southern California – San Diego (UCSD) Campus to the east.

An MMRP has been established to reduce potential historical resource impacts related to spatial relationships and the east parking lot landscaping, associated with Rehabilitation Standards 2 and 9. Proposed mitigation consists of carefully removing all healthy Chinese Fringe trees within the existing east parking lot and replanting the trees as part of the landscaping for the proposed Torrey East Building. The landscape concept plan shall restore as much of the Institute's original perimeter plantings as possible. Final design of the Torrey East Building shall feature a ground-level, two-story transparent atrium space designed to permit limited visibility along the same axis as the courtyard of the original laboratory building. Therefore, the project deviations are the minimum necessary to afford relief. The proposed project mitigation measures incorporate all feasible measures to reduce potential impacts to historical resources resulting from change in spatial relationships and the east parking lot landscaping.

**c. The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, "economic hardship" means there is no reasonable beneficial use of a property and it is not feasible to derive a reasonable economic return from the property.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the University Community Plan and the North City Local Coastal Program. The proposed project is located in the Torrey Pines Subarea of the UCP, and is designated for scientific research uses. The Development Intensity Element of the UCP allows this site to develop up to 500,000 square feet of scientific research facilities. The proposed project conforms to the limits on use and intensity. The site is bound by single-family residences to the south, Open Space to the north, the Pacific Ocean to the west and the University of Southern California – San Diego (UCSD) Campus to the east.



The UCP allocates a total of 500,000 square-feet of scientific research uses to the project site. The site is currently developed with 289,800 square-feet of scientific research uses. Since the Salk Institute was founded, there have been changes in the scientific research field, including new technologies, the shifting demographics of the scientists to a younger and more gender-mixed population, and increases in needed employees and support staff. The proposed project addresses the current inadequacies of the existing scientific research and support space at the Institute and the changing demographics and needs of the Institute scientists and employees, and provides for the accommodation of new and emerging research technologies. If the Institute were not allowed to expand as proposed in this project, it would serve as an economic hardship to the Institute.

**C. PLANNED DEVELOPMENT PERMIT FINDINGS – SDMC SECTION 126.0604**

**1. The proposed development will not adversely affect the Applicable land use plan.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The proposed project is located in the Torrey Pines Subarea of the University Community Plan, and is designated for Scientific Research uses. The Development Intensity Element of the University Community Plan identifies that this site is able to develop up to 500,000 square feet of Scientific Research uses. The proposed project is consistent with the use and intensity. The University Community Plan [UCP] allocates a total of 500,000 square-feet of Scientific Research uses to the project site. The site is currently developed with 289,800 square-feet of Scientific Research uses. Since the Salk Institute was founded, there have been changes in the scientific research field, including the introduction of new technologies, the shifting demographics of the scientists themselves toward a younger and more gender-mixed population, and increases in the number of employees and support staff. The proposed project addresses the current inadequacies of the existing scientific research and support space at the Institute and the changing demographics and needs of the Institute scientists and employees, and provides for the accommodation of new and emerging research technologies. Therefore, the project will not adversely affect the adopted land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The proposed development has been designed and will be constructed to meet all applicable zoning codes, building, fire and other regulations applicable to this type of development as imposed by the City of San Diego, the State of California and all federal agencies. An EIR has been prepared for the project in accordance with CEQA. An MMRP has been incorporated into the permit conditions and will be implemented to address the following environmental issues: Biological Resources, Historical Resources (Designated Site), Historical

Resources (Archaeology), Noise, Paleontological Resources, and Traffic. As such, the proposed development will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The proposed development will provide expanded scientific research facilities as is designated within the UCP. Further, the proposed development is consistent with the existing scale of the current buildings on the project site and is designed to minimize visual impacts by maintaining the spatial relationship between the buildings within the entire campus. The proposed development is architecturally consistent in terms of style and materials with the existing buildings on site and also with the surrounding development and the adjoining community.

The proposed development has been designed to comply with the Land Development Code, including requirements for zoning, setbacks, floor area ratio, street design, open space, grading, landscaping, parking, and all other development criteria requirements, as allowed through a Planned Development Permit. Implementation of the Salk project will require a deviation from the height restrictions of the base residential use zone RS-1-7 for the Salk Community Center, although the entire project is consistent with the Coastal Height Limit Overlay Zone. Upon the approval of such deviation, the project will fully comply with the regulations of the Land Development Code.

**4. The proposed development, when considered as a whole, will be beneficial to the community.** The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The project site is designated scientific research within the UCP. The project area was developed in the 1960's through Conditional Use Permit No. 3841, which has been through several amendments to bring the site to its current configuration of buildings on the campus.

The proposed project would provide public benefits to the City of San Diego by realizing the preservation and dedication of land into the MHPA. The Salk project has been designed and will be developed in accordance with the UCP and the North City Local Coastal Program land use plan to assure that the theme, architectural character, development considerations, and functional concepts of the Plans are implemented. The proposed project would also be consistent with the General Plan. All new development areas have been sited in response to a range of environmental considerations including sensitive landforms, steep slopes, and sensitive biological habitats. The proposed development provides landscaping plans, architectural and landscape design guidelines to ensure creation of an aesthetically pleasing project that

complements the existing landscape and permanent structures on site, respects the site's historical integrity and landscape with high design standards and enhances publicly accessible views in the project area.

The proposed development will provide additional laboratory, research, and design facilities on the Salk Institute campus as are necessary to continue their research. Since the Salk Institute was founded, there have been changes in the scientific research field, including new technologies, shifting demographics of the scientists to a younger and more gender-mixed population, and increases in needed employees and support staff. The proposed project addresses the current inadequacies of the existing scientific research and support space at the Institute and the changing demographics and needs of the Institute scientists and employees, and provides for the accommodation of new and emerging research technologies. As such, the proposed uses are appropriate at the proposed location and the proposed development will be beneficial to the entire community.

**5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The proposed project would demolish 29,000 square feet of existing buildings and construct an additional 215,200 square feet of laboratory, research, and development facilities, for a total build out of 476,000 square feet of development on portions of a 26.34-acre site. The project site is located at 10010 North Torrey Pines Road, southwest corner of North Torrey Pines Road and Torrey Pines Scenic Drive, within the UCP and the North City Local Coastal Program. The project is requesting a deviation from the 30-foot height limit in the RS-1-7 residential zone (SDMC Table 131-04D and SDMC section 131.0444(b) for the Salk Community Center Building. Strict adherence to this section of the Municipal Code would not be consistent with the existing buildings on the site that are part of the Historical Designation as Site No. 304 by the Historical Resources Board.

The proposed expansion of the Salk Institute campus is designed to meet the goals envisioned by Jonas Salk and Louis Kahn's original Master Plan. The original plan included space for administrative offices, meeting rooms, an auditorium, and dining facilities, all of which will be provided for by the proposed Salk Community Center Building. However, the proposed Salk Community Center Building requires a deviation from the height restrictions in the RS-1-7 zone, this deviation is necessary to accomplish the project goals and realize the vision of the Kahn/Salk Master Plan, and allow the public benefits of the project.

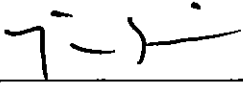
As an historically designated site, the proposed development is subject to specific design criteria that would be unable to be met with strict adherence to the height limit of the RS-1-7 zone under the SDMC. However, all buildings proposed in the Master Plan will comply with the City's Coastal Height Limit Overlay Zone requirements. The new Master Plan will minimize its visual impact to the maximum extent feasible and will be designed in conformance with applicable development regulations and the UCP. The UCP designates the project site for scientific research use. The proposed project is consistent with this land use recommendation and development standards in effect for the subject property pursuant to the adopted UCP.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, Coastal Development Permit No. 126996/Site Development Permit No. 127002/Master Planned Development Permit No. 561577/Multiple Habitat Planning Area (MHPA) boundary line adjustment, and amendment to Coastal Development /Hillside Resource Protection/Conditional Use Permit No. 90-1140 is granted to the Salk Institute for Biological Studies, a California non-profit public benefit corporation, Owner/Permittee, under the terms, and conditions set forth in the attached permit which is made a part of this resolution.

APPROVED: MICHAEL J. AGUIRRE, City Attorney

By

  
Nina M. Fain  
Deputy City Attorney

NMF:mm  
10/02/08  
Or.Dept:DSD  
R-2007-325  
MMS#6729

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Page 13 of 13

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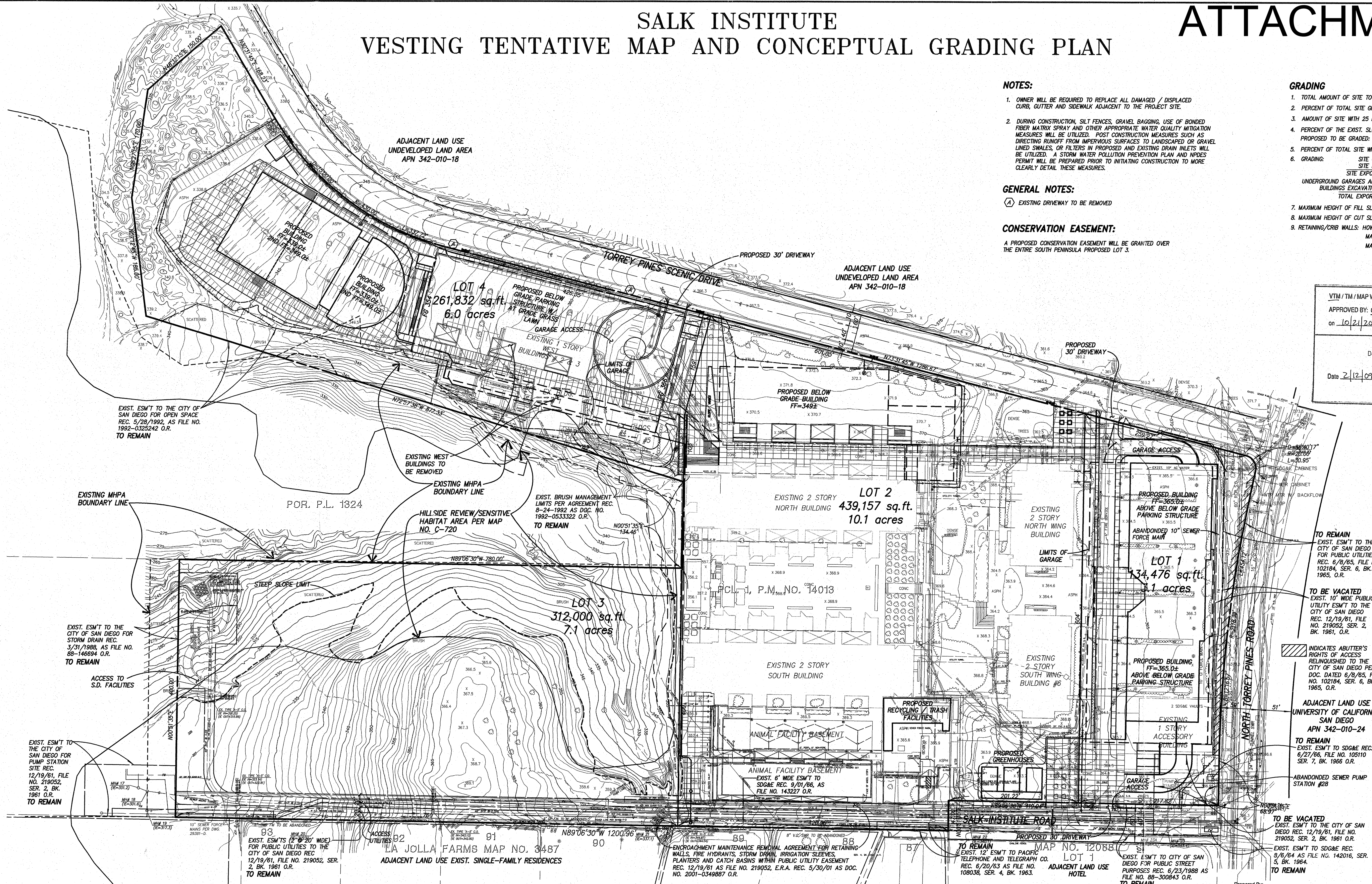






# SALK INSTITUTE VESTING TENTATIVE MAP AND CONCEPTUAL GRADING PLAN

# ATTACHMENT 8



## NOTES:

- OWNER WILL BE REQUIRED TO REPLACE ALL DAMAGED / DISPLACED CURB, GUTTER AND SIDEWALK ADJACENT TO THE PROJECT SITE.
- DURING CONSTRUCTION, SILT FENCES, GRAVEL BAGGING, USE OF BONDED FIBER MATRIX SPRAY AND OTHER APPROPRIATE WATER QUALITY MITIGATION MEASURES WILL BE UTILIZED. POST CONSTRUCTION MEASURES SUCH AS DIRECTING RUNOFF FROM IMPERVIOUS SURFACES TO LANDSCAPED OR GRAVEL LINED SWALES, OR FILTERS IN PROPOSED AND EXISTING DRAIN INLETS WILL BE UTILIZED. A STORM WATER POLLUTION PREVENTION PLAN AND MPM'S PERMIT WILL BE PREPARED PRIOR TO INITIATING CONSTRUCTION TO MORE CLEARLY DETAIL THESE MEASURES.

## GENERAL NOTES:

- (A) EXISTING DRIVEWAY TO BE REMOVED

## CONSERVATION EASEMENT:

A PROPOSED CONSERVATION EASEMENT WILL BE GRANTED OVER THE ENTIRE SOUTH PENINSULA PROPOSED LOT 3.

## GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 9.0 AC.
- PERCENT OF TOTAL SITE GRADED: 34%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 2.79 AC.
- PERCENT OF THE EXIST. SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 0 %
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 11 %
- GRADING:
  - SITE CUT: 20,000 CUBIC YARDS.
  - SITE FILL: 2,300 CUBIC YARDS.
  - SITE EXPORT: 17,700 CUBIC YARDS.
- UNDERGROUND GARAGES AND BUILDINGS EXCAVATION: 200,000 CUBIC YARDS.
- TOTAL EXPORT: 217,700 CUBIC YARDS.
- MAXIMUM HEIGHT OF FILL SLOPE(S): 8 FEET 2:1 SLOPE RATIO.
- MAXIMUM HEIGHT OF CUT SLOPE(S): 8 FEET 2:1 SLOPE RATIO
- RETAINING/CRIB WALLS: HOW MANY: 12
  - MAXIMUM LENGTH: 1,500 FEET.
  - MAXIMUM HEIGHT: 15 FEET.

VTM / TM / MAP Waiver No. 369518  
APPROVED BY: City Council / Planning Commission / Hearing Officer  
on 10/21/2008  
Development Services Department  
Date 2/12/09 By [Signature]  
Development Project Manager

TO REMAIN  
EXIST. ESM'T TO THE CITY OF SAN DIEGO FOR PUBLIC UTILITIES REC. 6/8/65, FILE NO. 102184, SER. 6, BK. 1965, O.R.

TO BE VACATED  
EXIST. 10' WIDE PUBLIC UTILITY ESM'T TO THE CITY OF SAN DIEGO REC. 12/19/61, FILE NO. 219052, SER. 2, BK. 1961, O.R.

INDICATES ABUTTER'S RIGHTS OF ACCESS RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. DATED 6/8/65, FILE NO. 102184, SER. 6, BK. 1965, O.R.

ADJACENT LAND USE UNIVERSITY OF CALIFORNIA SAN DIEGO APN 342-010-24

TO REMAIN  
EXIST. ESM'T TO SDG&E REC. 6/27/66, FILE NO. 105110 SER. 7, BK. 1966 O.R.

TO BE VACATED  
EXIST. ESM'T TO THE CITY OF SAN DIEGO REC. 12/19/61, FILE NO. 219052, SER. 2, BK. 1961 O.R.

EXIST. ESM'T TO SDG&E REC. 9/6/64 AS FILE NO. 142016, SER. 5, BK. 1964 TO REMAIN

Prepared By:	Latitude 33 Planning & Engineering	Revision 14:	
Name:		Revision 13:	
Address:	4933 PARAMOUNT DR. 2ND FLOOR SAN DIEGO, CA 92123	Revision 12:	
Phone #:	858 751-0633	Revision 11:	
Fax #:	858 751-0634	Revision 10:	
Project Address:		Revision 9:	
	10010 NORTH TORREY PINES ROAD	Revision 8:	
	LA JOLLA, CALIFORNIA 92037	Revision 7:	
Project Name:		Revision 6:	
	THE SALK INSTITUTE	Revision 5:	
	VESTING TENTATIVE	Revision 4:	6-27-08
	MAP	Revision 3:	3-03-08
		Revision 2:	4-13-07
		Revision 1:	1-19-07
Sheet Title:	VESTING TENTATIVE PARCEL MAP & CONCEPTUAL GRADING PLAN	Original Date:	6-26-06
		Sheet Count:	2 of 2
		DEP#	

## LEGEND

- BOUNDARY LINE  
RIGHT OF WAY LINE  
EXISTING MHPA BOUNDARY LINE  
EXISTING SPOT ELEVATIONS  
EXISTING CONTOUR  
EXISTING SANITARY SEWER & MANHOLE  
EXISTING WATER MAIN  
EXISTING FIRE HYDRANT ASSEMBLY  
EXISTING GATE VALVE  
EXISTING STORM DRAIN  
EXISTING STORM DRAIN CLEANOUT  
EXISTING UNDERGROUND DRY UTILITIES  
EXISTING CHAIN LINK FENCE  
EXISTING RETAINING WALL  
EXISTING LIGHT STANDARD  
EXISTING CURB & GUTTER  
EXISTING BROW DITCH  
EXISTING DIRECTION OF SURFACE FLOW

- FINISH CONTOUR  
FINISH GRADE SPOT ELEVATION  
CUT/FILL SLOPES (2:1 MAX.)  
STORM DRAIN PIPE (PRIVATE)  
STORM DRAIN STRUCTURE (PRIVATE)  
6" STANDARD CURB (PRIVATE)  
PVC SEWER MAIN (PRIVATE)  
SEWER FORCE MAIN (PRIVATE)  
SEWER MANHOLE (PRIVATE)  
SEWER CLEANOUT (PRIVATE)  
PVC WATER MAIN  
FIRE HYDRANT ASSEMBLY  
SEWER LATERAL (PRIVATE)  
WATER LATERAL (PRIVATE)  
RETAINING WALL  
DAYLIGHT - LIMITS OF CONSTRUCTION



# THE SALK INSTITUTE FOR BIOLOGICAL STUDIES

## COASTAL DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT

### LA JOLLA, CALIFORNIA

ATTACHMENT 8

**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

**nbbj**  
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Fax: 415-733-2700

**Latitude 33**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

**The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

**Stamp**  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

PROJECT DESCRIPTION	SYMBOLS	OWNER & PROPERTY INFORMATION	PROJECT TEAM																																																																											
<p>The Salk Institute is embarking on an effort to update its Campus Master Plan, created by Jonas Salk and Louis Kahn and approved in 1961. This is the first update to the 1961 Master Plan, and it will provide a plan to guide campus development over the next 30-40 years. Over the four decades since the original Master Plan was approved, scientific needs have continually evolved. The Master Plan update will allow the Institute to respond to the changing needs of science and plan for the scientific and support facilities that are needed in order to attract the top scientists of the world.</p> <p>The goals of the Master Plan update are:</p> <ul style="list-style-type: none"><li>Modest growth of 15% of research programs, laboratory space and related staff</li><li>Flexible facilities to house emerging technologies and specialized equipment</li><li>Centralized facilities on campus to house all Institute support departments and personnel</li><li>Additional and improved support services for Institute staff</li><li>Campus-wide improvements to the physical environment</li><li>Removal of all temporary buildings</li></ul> <p>Proposed facilities in the Master Plan update include:</p> <ul style="list-style-type: none"><li>Core Facility to house specialized equipment and Laboratories</li><li>Salk Community Center housing administration, meeting rooms, dining facilities, etc.</li><li>Greenhouse Facility</li><li>Torrey East Building</li><li>Underground Parking (majority)</li></ul> <p>The application is for a Coastal Development Permit, Planned Development Permit and Site Development Permit as an amendment to previously approved CDP/HRP/CUP 90-1140, CUP 85-0589, CUP 3841, and Sewer Easement Abandonment, and will accommodate the Institute's build-out of the property in conformance with the University City Community Plan, Land Use Table 3 which allocates 500,000 square feet of scientific research space to the property.</p>	<p><b>SYMBOLS</b></p> <p>DETAIL NUMBER A8.05 SHEET NUMBER</p> <p>ELEVATION A3.01</p> <p>WALL SECTION / DETAIL INDICATOR A3.02</p> <p>ENLARGED DETAIL INDICATOR A8.03</p> <p>ROOM TITLE 133</p> <p>CEILING HEIGHT +12'-0"</p> <p>ROOF ELEVATION +373.5'</p> <p>ELEVATION AT LOCATION (ELEVATION AND SECTION VIEW) T.O. WALL +370.6'</p> <p>SINK</p> <p>VEHICLE ROUTE</p> <p>ACCESSIBLE PEDESTRIAN ROUTE</p> <p>FIRE HYDRANT</p>	<p>OWNER: THE SALK INSTITUTE FOR BIOLOGICAL STUDIES 10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037 TEL: (858) 453-4100 FAX: (858) 453-6729</p> <p>DR. RICHARD MURPHY, PRESIDENT BETH ALTON, VICE PRESIDENT OF HUMAN RESOURCES GARRY VAN GERPEN, DIRECTOR OF FACILITIES</p> <p>LEGAL DESCRIPTION: PORTION OF PARCEL 1 OF PM NO. 14013, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.</p> <p>ASSESSOR'S PARCEL NUMBER: 342-010-38</p> <p>ZONING INFORMATION: EXISTING ZONE RS-1-7; COASTAL OVERLAY ZONE; COASTAL HEIGHT LIMIT OVERLAY ZONE AND COMMUNITY PLAN IMPLEMENTATION OVERLAY (AREA A)</p> <p>TYPE OF CONSTRUCTION: TYPE 1, FIRE RATED, FULLY SPRINKLERED</p> <p>OCCUPANCY CLASSIFICATION: B (EXISTING AND PROPOSED); S-3 AND S-4 (PROPOSED UNDERGROUND PARKING STRUCTURES)</p> <p>EXISTING STRUCTURES: ORIGINAL BUILDINGS, TEMPORARY BUILDINGS, ASSESSORY BUILDING (1965) CANCER RESEARCH FACILITY EXPANSION (1978) EAST BUILDING (1965) NORTH PARKING EXPANSION (2000) SALK ANIMAL FACILITY BASEMENT (2001)</p>	<p>ARCHITECT: NBBJ 130 SUTTER ST, 2ND FLOOR SAN FRANCISCO, CA 94104 TEL: (415) 981-1100 FAX: (415) 733-2700 JACK MACALLISTER, FAIA, DESIGN CONSULTANT DAVID RINEHART, FAIA, DESIGN CONSULTANT LILIAN ASPERIN-CLYMAN, PROJECT MANAGER</p> <p>CIVIL ENGINEERING: LATITUDE 33 ENGINEERING AND PLANNING 4933 PARAMOUNT DR. SECOND FLOOR SAN DIEGO, CALIFORNIA 92123 TEL: (858) 751-0633 FAX: (858) 751-0634</p> <p>LANDSCAPE ARCHITECT: THE OFFICE OF JAMES BURNETT 415 SOUTH CEDROS, SUITE 260 SOLANA BEACH, CALIFORNIA, 92075 TEL: (858) 793-6970 FAX: (858) 793-6905</p> <p>JIM BURNETT, PRESIDENT KYLE FIDDELKE, VICE PRESIDENT</p> <p>ENVIRONMENTAL PLANNING: HELIX ENVIRONMENTAL PLANNING, INC. 8100 LA MESA BOULEVARD, SUITE 150 LA MESA, CALIFORNIA, 91941 TEL: (619) 462-0552 FAX: (619) 462-1515</p> <p>DAVID CLAYCOMB, PRESIDENT KIM BARANEK, SENIOR PROJECT MANAGER</p> <p>LAND USE ATTORNEY: SHEPPARD MULLIN 12544 HIGH BLUFF DRIVE, SUITE 300 SAN DIEGO, CALIFORNIA 92130 TEL: (858) 720-8908 FAX: (858) 847-4850</p> <p>RAFAEL MULENBORN, JOHN PONDER, LAND USE ATTORNEYS</p> <p>GRAPHIC DESIGNER: DEBORAH NICHOLS DESIGN 488 JACKSON STREET SAN FRANCISCO, CALIFORNIA 94111 TEL: (415) 788-0768 FAX: (415) 788-0767</p> <p>CODE ANALYSIS: DAVIS DAVIS ARCHITECTS 3601 FIFTH AVENUE SAN DIEGO, CA 92103 TEL: (619) 298-1533 FAX: (619) 298-8128</p>																																																																											
<p><b>DEVELOPMENT SUMMARY</b></p> <table><thead><tr><th colspan="2">GROSS SQUARE FOOTAGE INVENTORY (REFERENCE A1.0)</th></tr></thead><tbody><tr><td>EXISTING</td><td></td></tr><tr><td>Building:</td><td>Gross Floor Area:</td></tr><tr><td>NORTH BUILDING (1)</td><td>73,000 sf</td></tr><tr><td>SOUTH BUILDING (1)</td><td>85,000 sf</td></tr><tr><td>EAST BUILDING</td><td>102,800 sf</td></tr><tr><td>(NORTH AND SOUTH WINGS) (1)</td><td></td></tr><tr><td>WEST BUILDING (1)</td><td>20,000 sf</td></tr><tr><td>ACCESSORY BUILDING (1)</td><td>9,000 sf</td></tr><tr><td>SALK ANIMAL FACILITY BASEMENT (2)</td><td>0 sf</td></tr><tr><td>Total:</td><td>289,800 sf</td></tr><tr><td>EXISTING BUILDINGS TO BE DEMOLISHED</td><td></td></tr><tr><td>WEST BUILDINGS (17)</td><td>20,000</td></tr><tr><td>ACCESSORY BUILDINGS (17)</td><td>9,000</td></tr><tr><td>NET TOTAL EXISTING BUILDING GROSS FLOOR AREA: (19)</td><td>260,800 s.f.</td></tr><tr><td>Existing Parking</td><td>604</td></tr><tr><td>Parking Required (1)</td><td>580</td></tr><tr><td>PROPOSED</td><td></td></tr><tr><td>NORTH LAWN CORE FACILITY (3), (7)</td><td>0 sf</td></tr><tr><td>STORAGE (3), (7)</td><td>0 sf</td></tr><tr><td>-</td><td>0 sf</td></tr><tr><td>-</td><td>0 sf</td></tr><tr><td>TORREY EAST BUILDING (5), (7)</td><td>94,200 sf</td></tr><tr><td>(NORTH AND SOUTH WINGS)</td><td></td></tr><tr><td>SALK COMMUNITY CENTER (5), (6), (7), (8), (9), (10)</td><td>117,000 sf</td></tr><tr><td>NORTH PENINSULA UNDERGROUND PARKING (3), (5), (7)</td><td>0 sf</td></tr><tr><td>GREENHOUSES</td><td>4,000 sf</td></tr><tr><td>Total:</td><td>215,200 sf</td></tr><tr><td>TOTAL PROPOSED GROSS FLOOR AREA: (19)</td><td>476,000 sf</td></tr><tr><td>Proposed Underground Parking (1), (12), (15), (16)</td><td></td></tr><tr><td>North Peninsula Underground Parking Structure:</td><td>578 (75 carpool spaces)</td></tr><tr><td>Torrey East Underground Parking Structure:</td><td>486 (75 carpool spaces)</td></tr><tr><td>Total:</td><td>1,064 spaces (21 accessible - 3 of these are van accessible)</td></tr><tr><td>Existing Parking (Surface) (1)</td><td>22 spaces (2 accessible - 2 of these are van accessible)</td></tr><tr><td>TOTAL PARKING PROVIDED:</td><td>1,086 spaces</td></tr><tr><td>Parking Required (1), (17)</td><td>1,046 spaces</td></tr><tr><td>Proposed Motorcycle Parking (13)</td><td>25 (existing)</td></tr><tr><td>Proposed Motorcycle Parking (14)</td><td>39 spaces</td></tr></tbody></table> <p>General Note: The square footages of the proposed buildings and uses within each building listed in this table are provided to illustrate an example of how the project could be built out to the 500,000 square feet of scientific research density. Building square footages may vary, and respective use of each building may vary depending on the Institute's needs. However, the 500,000 square feet total will not be exceeded.</p> <p>Footnotes: (1) Per CDP 90-1140 (Amended CUP 3841), 290,000 SF @ 1SP/500SF = 580 Parking Spaces (2) Per City of San Diego Municipal Code Sections 101.0101.25 and 101.0101.68* as noted on Animal Facility Substantial Conformance Review, dated May 8, 1998. (*References updated in recent LDC published editions). (3) Per LDC, Section 113.0234. (4) Not used. (5) Per City of San Diego Municipal Code Sections 113.0261, Underground Parking Structures and Basements. (6) Per City of San Diego Municipal Code Sections 113.0231, Determining Proposed Grade (7) Per City of San Diego Municipal Code Sections 113.0234, Calculating Gross Floor Area (8) Per City of San Diego Municipal Code Sections 113.0228, Determining Existing Grade (9) Per City of San Diego Municipal Code Sections 113.0270, Measuring Structure Height (10) Per City of San Diego Building Newsletter 2-2, January 1996, Determination of Building Height, Proposition "D" (11) Per City of San Diego Municipal Code, Chapter 14 General Regulations - Article 2: General Development Regulations; Division 5: Parking Regulations (12) Per City of San Diego Municipal Code Section 142.0530 (d), Carpool Spaces (13) Per City of San Diego Municipal Code Section 142.0530 (e), Bicycle Facilities (14) Per City of San Diego Municipal Code Section 142.0530 (g), Motorcycle Parking (15) Per California Disabled Accessibility Guidebook Section 1129.B.1 (5) (a), Number of Standard Accessible parking spaces (16) Per California Disabled Accessibility Guidebook Section 1129.B.4.2 (5) (b), Number of Van Accessible parking spaces (17) Temporary buildings to be demolished. (18) Not used.</p>	GROSS SQUARE FOOTAGE INVENTORY (REFERENCE A1.0)		EXISTING		Building:	Gross Floor Area:	NORTH BUILDING (1)	73,000 sf	SOUTH BUILDING (1)	85,000 sf	EAST BUILDING	102,800 sf	(NORTH AND SOUTH WINGS) (1)		WEST BUILDING (1)	20,000 sf	ACCESSORY BUILDING (1)	9,000 sf	SALK ANIMAL FACILITY BASEMENT (2)	0 sf	Total:	289,800 sf	EXISTING BUILDINGS TO BE DEMOLISHED		WEST BUILDINGS (17)	20,000	ACCESSORY BUILDINGS (17)	9,000	NET TOTAL EXISTING BUILDING GROSS FLOOR AREA: (19)	260,800 s.f.	Existing Parking	604	Parking Required (1)	580	PROPOSED		NORTH LAWN CORE FACILITY (3), (7)	0 sf	STORAGE (3), (7)	0 sf	-	0 sf	-	0 sf	TORREY EAST BUILDING (5), (7)	94,200 sf	(NORTH AND SOUTH WINGS)		SALK COMMUNITY CENTER (5), (6), (7), (8), (9), (10)	117,000 sf	NORTH PENINSULA UNDERGROUND PARKING (3), (5), (7)	0 sf	GREENHOUSES	4,000 sf	Total:	215,200 sf	TOTAL PROPOSED GROSS FLOOR AREA: (19)	476,000 sf	Proposed Underground Parking (1), (12), (15), (16)		North Peninsula Underground Parking Structure:	578 (75 carpool spaces)	Torrey East Underground Parking Structure:	486 (75 carpool spaces)	Total:	1,064 spaces (21 accessible - 3 of these are van accessible)	Existing Parking (Surface) (1)	22 spaces (2 accessible - 2 of these are van accessible)	TOTAL PARKING PROVIDED:	1,086 spaces	Parking Required (1), (17)	1,046 spaces	Proposed Motorcycle Parking (13)	25 (existing)	Proposed Motorcycle Parking (14)	39 spaces	<p><b>DRAWING LIST</b></p> <p>GENERAL A.0 COVER, DRAWING INDEX, SYMBOLS, ABBREVIATIONS, AND LOCATION MAP</p> <p>ARCHITECTURAL A.1.0 SITE PLAN A.1.1 VEHICLE AND PEDESTRIAN CIRCULATION PLAN A.1.2 ROOF PLAN A.2.0 UNDERGROUND PARKING PLANS A.3.0 SITE SECTIONS A.3.1 CORE FACILITY SITE SECTIONS AND BUILDING ELEVATIONS A.3.2 NOT USED A.3.3 TORREY EAST BUILDING ELEVATIONS A.4.1 FLOOR PLAN - CORE FACILITY A.4.1.1 ROOF PLAN - CORE FACILITY A.4.2 NOT USED A.4.2.1 NOT USED A.4.3 FLOOR PLANS - TORREY EAST BUILDING</p> <p>CIVIL C.1 EXISTING CONDITIONS AND TOPOGRAPHIC MAP C.2 PRELIMINARY GRADING &amp; UTILITY PLAN, SHEET INDEX AND FIRE HYDRANT LAYOUT C.3 SOUTH PENINSULA - NO DEVELOPMENT PROPOSED C.4 PRELIMINARY GRADING &amp; UTILITY PLAN - TORREY EAST BUILDING AND GREENHOUSES C.5 PRELIMINARY GRADING &amp; UTILITY PLAN - CORE FACILITY C.6 PRELIMINARY GRADING &amp; UTILITY PLAN - SALK COMMUNITY CENTER &amp; NORTH PENINSULA GARAGE C.7 EXISTING EASEMENT VACATION PLAN C.8 ENVIRONMENTALLY SENSITIVE LANDS &amp; DEVELOPMENT SUITABILITY ANALYSIS - SOUTH PENINSULA - NO DEVELOPMENT PROPOSED C.9 ENVIRONMENTALLY SENSITIVE LANDS &amp; DEVELOPMENT SUITABILITY ANALYSIS - SALK COMMUNITY CENTER &amp; NORTH PENINSULA GARAGE C.10 MHPA BOUNDARY ADJUSTMENT PLAN C.11 SLOPE ANALYSIS C.12 SLOPE ANALYSIS - SOUTHERLY PENINSULA C.13 SLOPE ANALYSIS NORTHERLY PENINSULA</p> <p>LANDSCAPE L.1 OVERALL LANDSCAPE DEVELOPMENT PLAN L.2 CORE FACILITY BUILDING LANDSCAPE DEVELOPMENT PLAN L.3 TORREY EAST BUILDING LANDSCAPE DEVELOPMENT PLAN L.4 BRUSH MANAGEMENT PROGRAM L.5 EXISTING EUCALYPTUS GROVE ENHANCEMENTS</p>	<p><b>VICINITY MAP</b></p>
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PTB # 44675

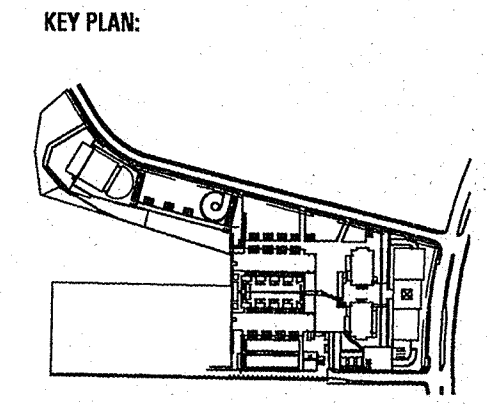
**APPROVED EXHIBIT "A"**

Approval Date 10/21/08  
Permit No. CDP 126996 / SDP 127002  
MPPF 50577  
Amendment to CDP/HRP/CUP No. 90-1140

*James Burnett*

NO.	DATE	DESCRIPTION
8	06.21.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

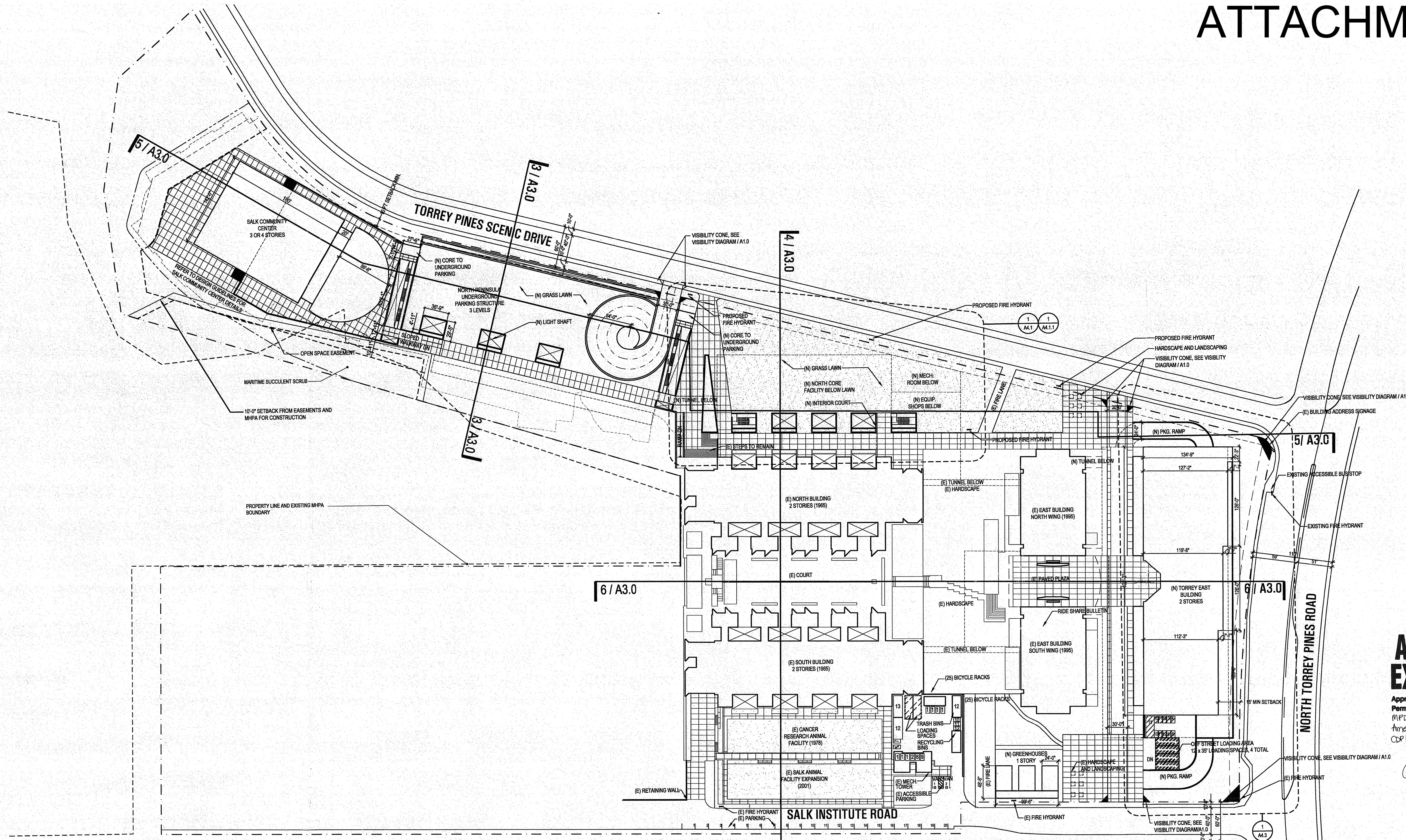


SCALE: NTS  
DATE: 08.05.04  
PROJECT NO: 50221.08  
PERMIT APPLICATION NO:

COVER SHEET

A0.0  
CDP / SDP SUBMITTAL





PR #44675

**APPROVED  
EXHIBIT "A"**

Approval Date: 10/24/08  
Permit No: CDP 126746 / SDP 127052  
MPDP 561577  
Amendment to  
CDP/HRP/OWP No. 90-1140

*[Signature]*

1 FLOOR PLAN - CORE FACILITY

SHEET NOTES:

REFER TO:  
C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.  
C.2 THRU C.6 FOR DRAINAGE, UTILITIES, LIMITS OF WORK, GRADES AND SPOT ELEVATIONS  
C.1 FOR LAND USES, EASEMENTS, TYPICAL STREET SECTIONS AND PROPERTY LINE INFORMATION.  
C.6 FOR RETAINING WALLS. NO PERIMETER WALLS OR FENCES ARE PROPOSED.  
L1 FOR OVERALL LANDSCAPE PLAN AND DESIGN CONCEPT.  
L2 FOR LANDSCAPE AT NORTH LAWN CORE FACILITY  
L3 FOR LANDSCAPE AT TORREY EAST BUILDING.  
L4 FOR BRUSH MANAGEMENT PROGRAM.  
L5 FOR EXISTING EUCALYPTUS GROVE ENHANCEMENTS

A1.1 FOR VEHICLE AND PEDESTRIAN CIRCULATION PATHS  
A1.2 FOR ROOF PLAN. ALL ROOFS INCLUDE ROOF PAVERS. SEE A4.1.1 AND A4.2.1 FOR ENLARGED ROOF PLANS.  
A2.0 FOR UNDERGROUND PARKING PLANS, CARPOOL, MOTORCYCLE, AND ACCESSIBLE SPACES.  
A3.0 FOR BUILDING SECTIONS AND BUILDING HEIGHTS.

MOTORCYCLE PARKING PROVIDED IN NORTH PENINSULA UNDERGROUND PARKING STRUCTURE.

BUILDING ADDRESS NUMBERS WILL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-06(UFC 901.4.4)  
FIRE ACCESS ROADWAY SIGNS OR RED CURBS WILL BE PROVIDED IN ACCORDANCE WITH FHPS POLICY A-00-1

REFUSE AND RECYCLABLE MATERIALS STORAGE

EXISTING ON SITE	PROPOSED
1 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	(8) 4 CUBIC YARD TRASH BIN (35 SQ.FT.)
2 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	(2) 4 CUBIC YARD RECYCLING BIN (35 SQ.FT.)
3 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	(2) 4 CUBIC YARD RECYCLING BIN (35 SQ.FT.)
4 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	(2) CARDBOARD COMPACTOR (161 SQ.FT.)
5 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	(1) 40 CUBIC YARD ROLL OFF DUMPSTER (184 SQ.FT.)
6 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	
7 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	
8 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	
9 4 CUBIC YARD TRASH BIN (35 SQ.FT.)	
10 4 CUBIC YARD RECYCLING BIN (35 SQ.FT.)	
11 4 CUBIC YARD RECYCLING BIN (35 SQ.FT.)	
12 CARDBOARD COMPACTOR (161 SQ.FT.)	
13 40 CUBIC YARD ROLL OFF DUMPSTER (184 SQ.FT.)	

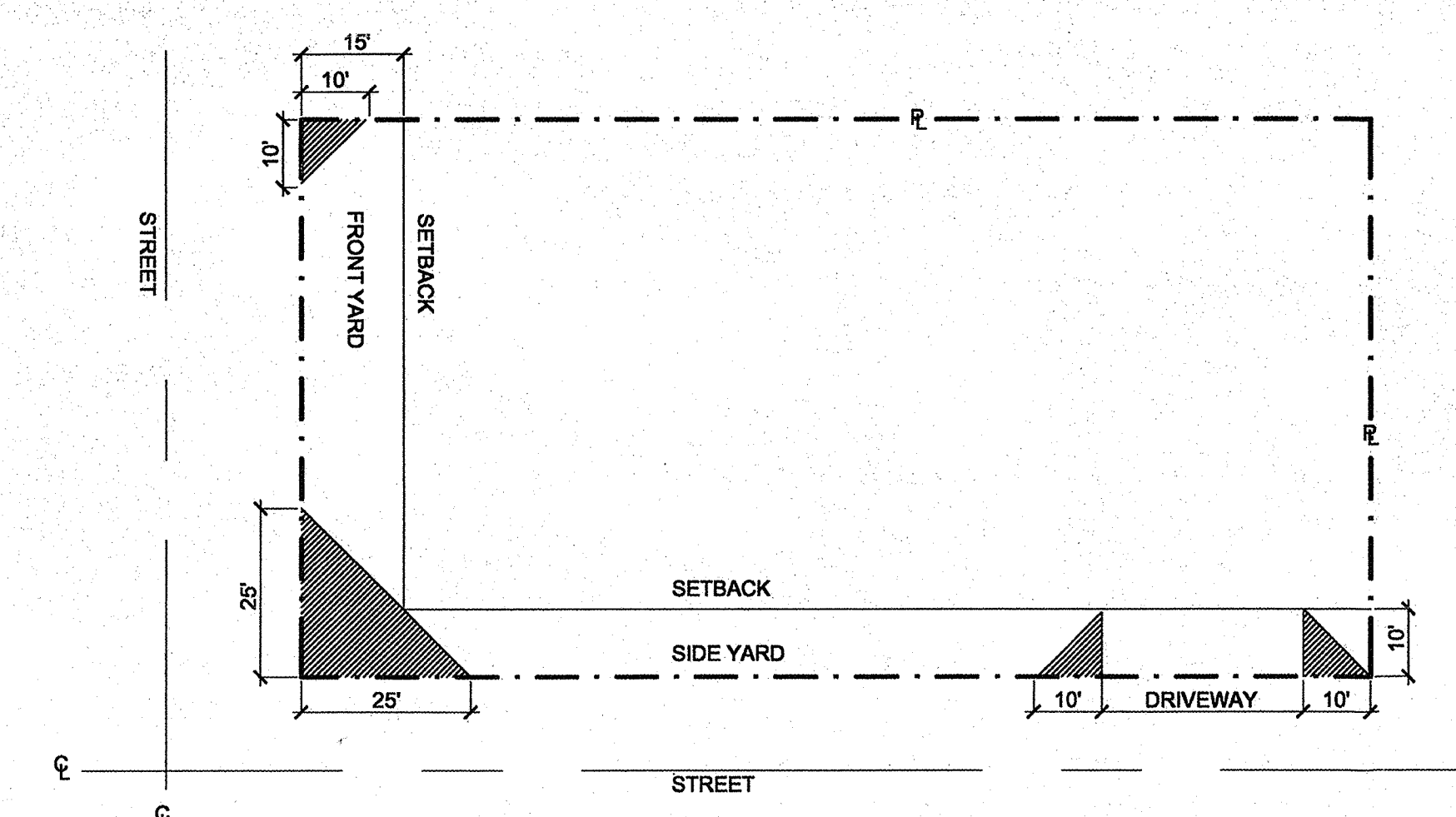
TOTAL EXISTING: REFUSE STORAGE AREAS-600 SQ. FT.; RECYCLING MATERIALS STORAGE AREAS-377 SQ.FT.  
PER SAN DIEGO MUNICIPAL CODE, CHAPTER 14, ARTICLE 2:  
TOTAL REQUIRED REFUSE STORAGE AREA: 980 SQUARE FEET.  
TOTAL REQUIRED RECYCLING MATERIALS STORAGE AREA: 980 SQUARE FEET.

BRUSH MANAGEMENT ZONES:

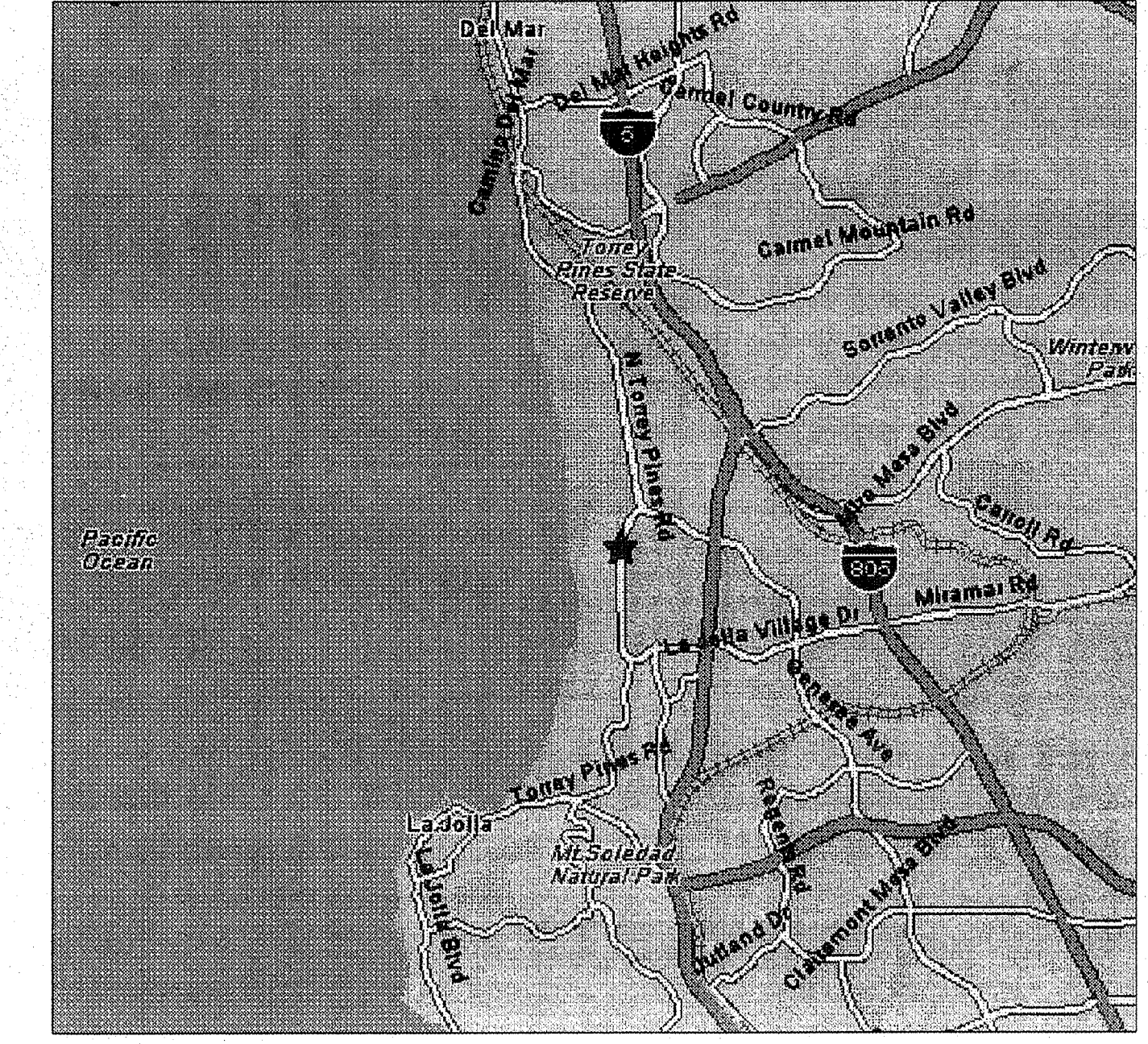
PROVIDED THAT THE BUILDING MATERIALS OF THE SALK COMMUNITY CENTER BUILDING CONFORM TO THE ARCHITECTURAL DESIGN CRITERIA OF THE DESIGN GUIDELINES, AND THAT THE BRUSH MANAGEMENT ZONES ARE PROVIDED AS SHOWN AROUND THIS BUILDING, THE FUNCTIONAL EQUIVALENT OF A 100'-0" BRUSH MANAGEMENT ZONE WILL BE PROVIDED

VISIBILITY AREA DIAGRAM

NOTE: NO WALLS, FENCES OR SHRUBS HIGHER THAN 36" ALLOWED IN VISIBILITY AREAS



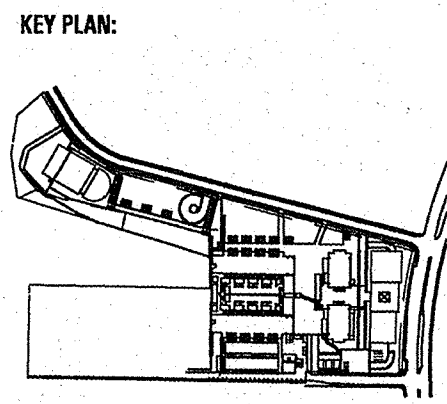
VICINITY MAP



Prepared By:	NBBJ	Revision 14:	
Name:	NBBJ	Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.27.08 CDP COMMENTS
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	08.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A1.0 SITE PLAN	Original Date:	08.06.04
		Sheet Count:	2 of 22
		DEP#	44675

NO.	DATE	DESCRIPTION
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2	04.13.07	CDP COMMENTS
3	01.19.07	CDP COMMENTS
4	08.09.06	CDP COMMENTS
5	04.14.06	CDP COMMENTS
6	09.23.05	CDP COMMENTS
7	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP



SCALE:	1/80"=1'-0"
DATE:	08.06.04
PROJECT NO:	50221.08
PERMIT APPLICATION NO:	

SITE PLAN



**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:  
**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

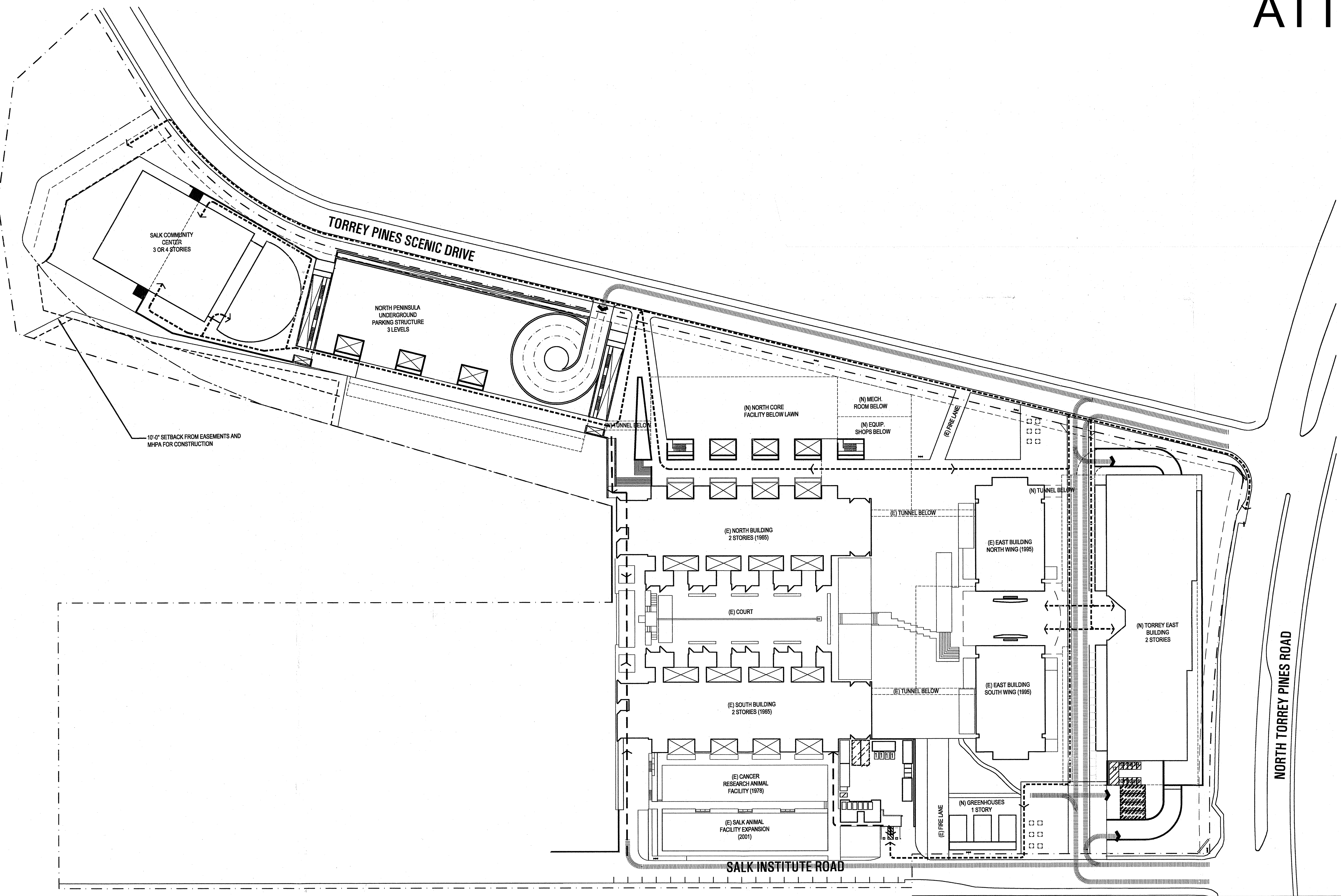
Civil:  
Latitude 33  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

LANDSCAPE:  
The Office of James Burnett  
415 South Cedros, Suite 200  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP

SHEET 10000



PT3 #44675  
**APPROVED  
EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 126916 / SDP 127002  
MPP 561577  
Amendment to  
CDP/HEP/CEP No. 90-1140

*[Signature]*

**1 PEDESTRIAN AND VEHICLE CIRCULATION PLAN**

**SHEET NOTES:**

- VEHICLE CIRCULATION
- PEDESTRIAN CIRCULATION

Prepared By:		Revision 14:	
Name:	NBBJ	Revision 13:	
Address:		Revision 12:	
130 SUTTER STREET, 2ND FLOOR		Revision 11:	
SAN FRANCISCO, CA 94104		Revision 10:	
Phone #:	415.981.1100	Revision 9:	
Fax #:	415.733.2700	Revision 8:	
Project Address:		Revision 7:	
10010 NORTH TORREY PINES ROAD		Revision 6:	
LA JOLLA, CALIFORNIA 92037		Revision 5:	
Project Name:		Revision 4:	
THE SALK INSTITUTE CDP / SDP		Revision 3:	
Revision 2:		Revision 1:	
Revision 1:		Original Date:	
Revision 1:		08.06.04	
Sheet Title:		Sheet Count:	
A1.1 PEDESTRIAN AND VEHICLE		3 of 12	
CIRCULATION PLAN		DEP#	
CIRCULATION PLAN		44675	

REVISIONS:

NO.	DATE	DESCRIPTION
1	01.05.05	CDP COMMENTS
2	09.23.05	CDP COMMENTS
3	04.14.06	CDP COMMENTS
4	08.09.06	CDP COMMENTS
5	01.19.07	CDP COMMENTS
6	04.13.07	CDP COMMENTS
7	03.03.08	CDP COMMENTS
8	06.27.08	CDP COMMENTS
9	04.13.07	CDP COMMENTS
10	03.03.08	CDP COMMENTS
11	06.27.08	CDP COMMENTS
12	04.13.07	CDP COMMENTS
13	03.03.08	CDP COMMENTS
14	06.27.08	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

SCALE: 1/8"=1'-0"

DATE: 08.06.04

PROJECT NO: 50221.09

PERMIT APPLICATION NO:

**PEDESTRIAN & VEHICLE CIRCULATION PLAN**

**A1.1**

CDP / SDP SUBMITTAL



**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT: **nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

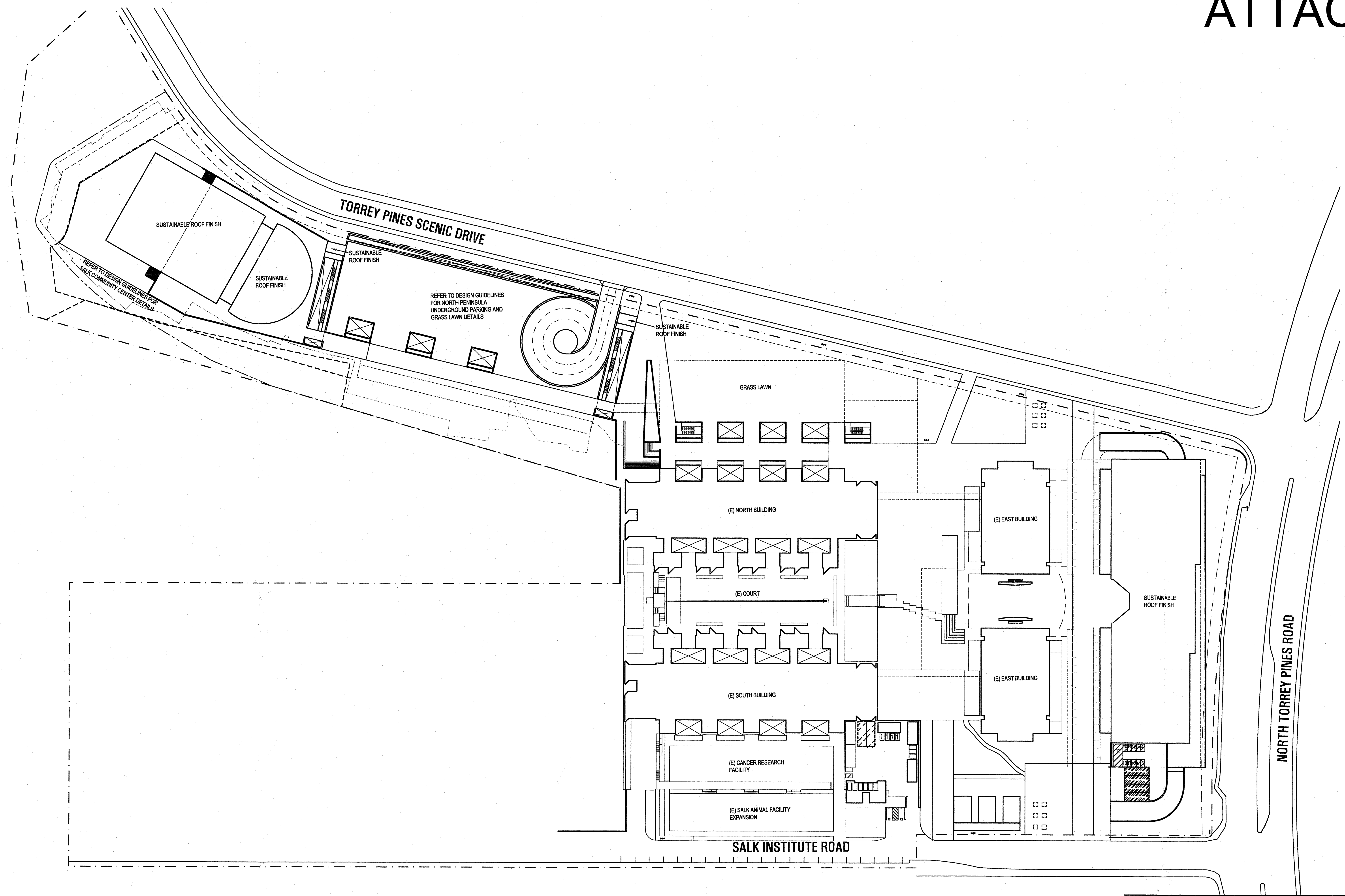
CNL: **Latitude 33**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

LANDSCAPE: **The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6870  
Fax: 858-793-6905

Environmental Planning:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

ETMP

SHEET LEGEND



PS#44675  
**APPROVED EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 126996 / SDP 127002  
MDP 541577  
Amendment to  
CDP/HRP/CUP No. 90-1140  
*[Signature]*

1 ROOF PLAN

SHEET NOTES:

ALL ROOF TOPS TO BE OF A SUSTAINABLE ROOF FINISH. SEE ARCHITECTURAL DESIGN GUIDELINES  
ALL ROOF TOPS VISIBLE FROM PUBLIC VIEWS TO BE ROOF PAVERS.  
NO EXPOSED MECHANICAL SYSTEMS ON ROOFS.

Prepared By:	Name:	NBSJ	Revision 14:	
Address:	130 SUTTER STREET, 2ND FLOOR		Revision 13:	
	SAN FRANCISCO, CA 94104		Revision 12:	
Phone #:	415.981.1100		Revision 11:	
Fax #:	415.733.2700		Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD		Revision 9:	
	LA JOLLA, CALIFORNIA 92037		Revision 8:	06.27.08 CDP COMMENTS
Project Name:	THE SALK INSTITUTE CDP / SDP		Revision 7:	03.03.08 CDP COMMENTS
			Revision 6:	04.13.07 CDP COMMENTS
			Revision 5:	01.19.07 CDP COMMENTS
			Revision 4:	06.09.06 CDP COMMENTS
			Revision 3:	04.14.06 CDP COMMENTS
			Revision 2:	09.23.05 CDP COMMENTS
			Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A1.2 ROOF PLAN		Original Date:	08.08.04
			Sheet Count:	4 of 19
			DEP#	44675

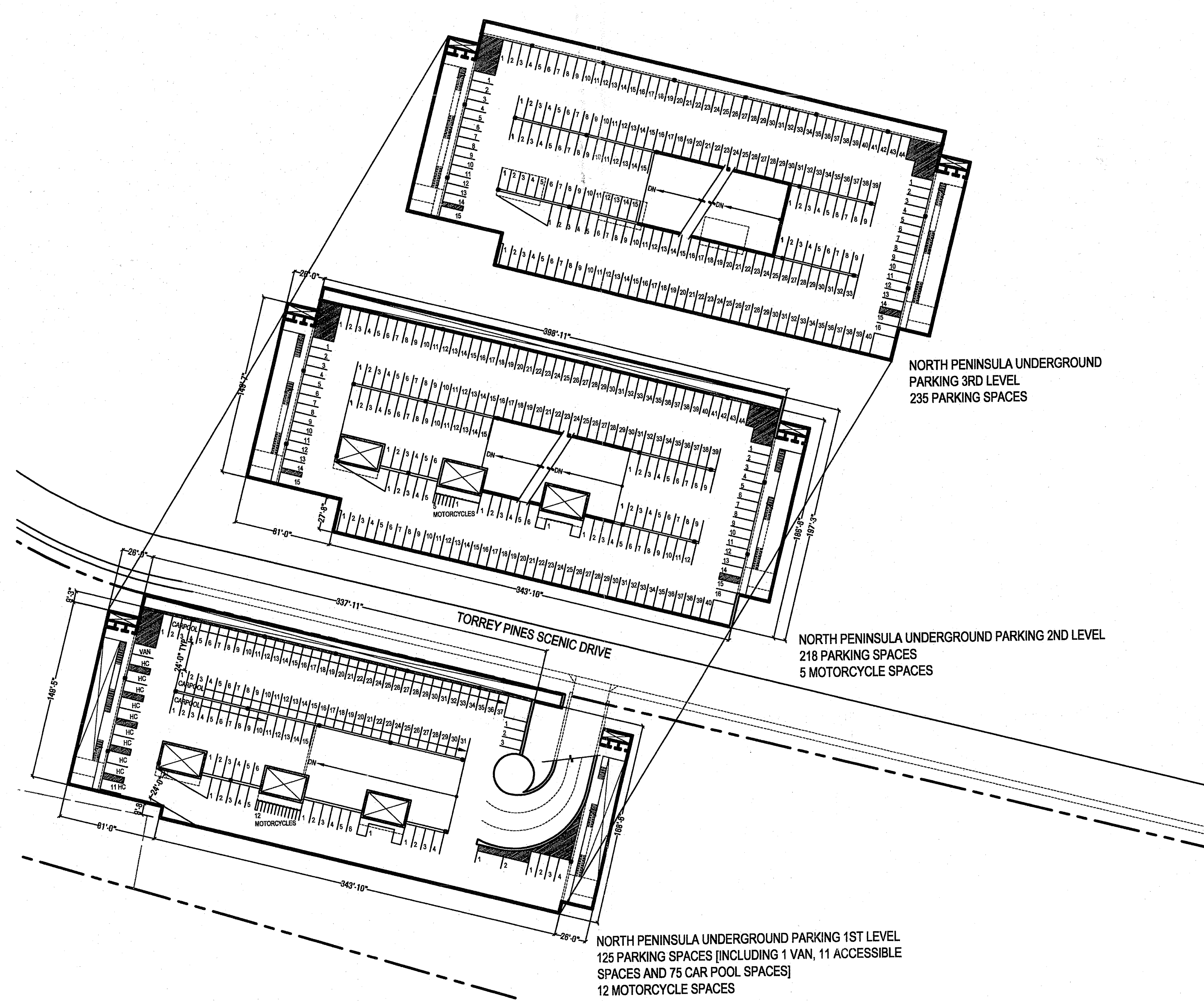
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NO. DATE DESCRIPTION:  
8 06.27.08 CDP COMMENTS  
7 03.03.08 CDP COMMENTS  
6 04.13.07 CDP COMMENTS  
5 01.19.07 CDP COMMENTS  
4 06.09.06 CDP COMMENTS  
3 04.14.06 CDP COMMENTS  
2 09.23.05 CDP COMMENTS  
1 01.05.05 CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

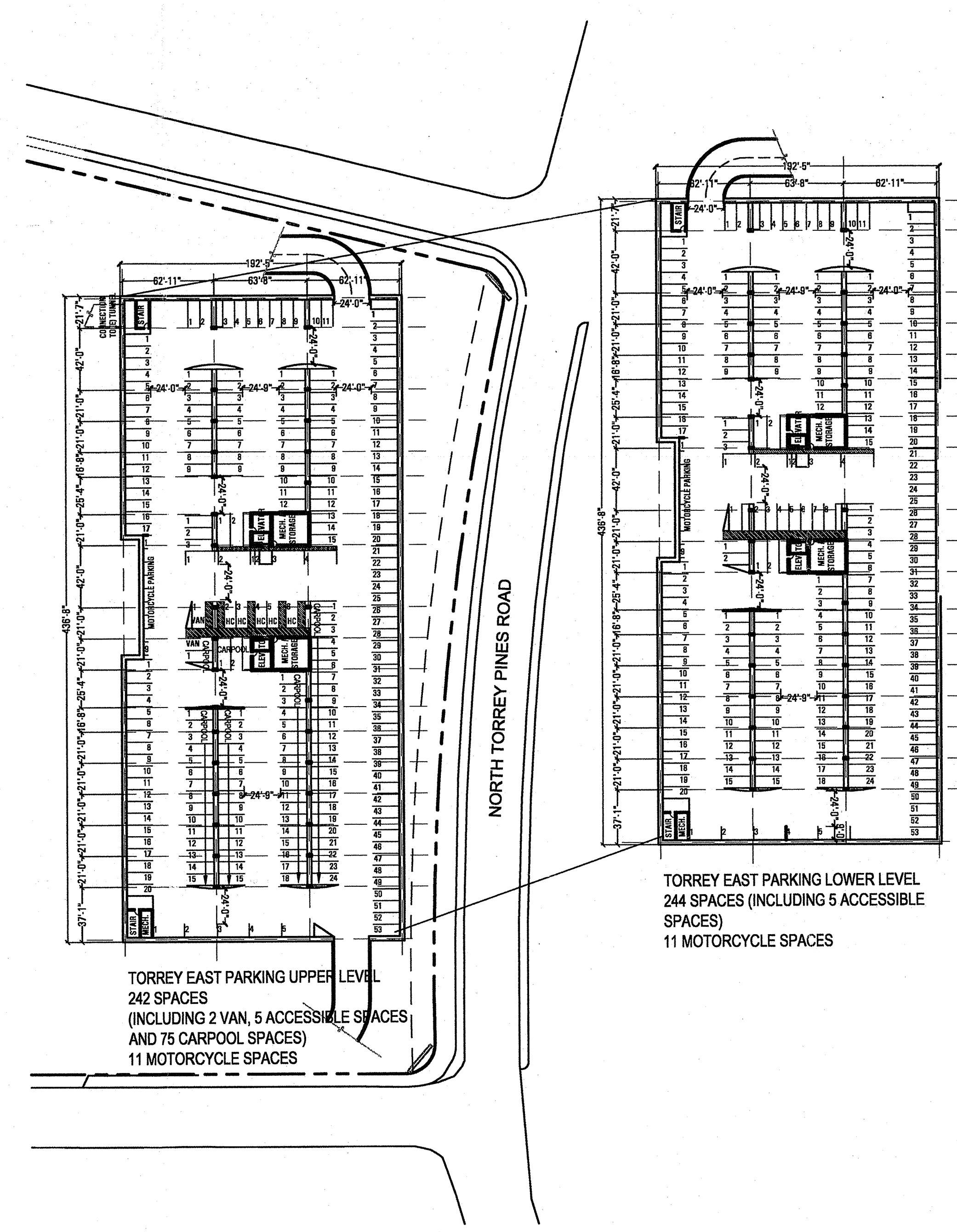
KEY PLAN:

SCALE: 1/8"=1'-0"  
DATE: 08.08.04  
PROJECT NO: 50221.08  
PERMIT APPLICATION NO:  
ROOF PLAN





1 NORTH PENINSULA UNDERGROUND PARKING



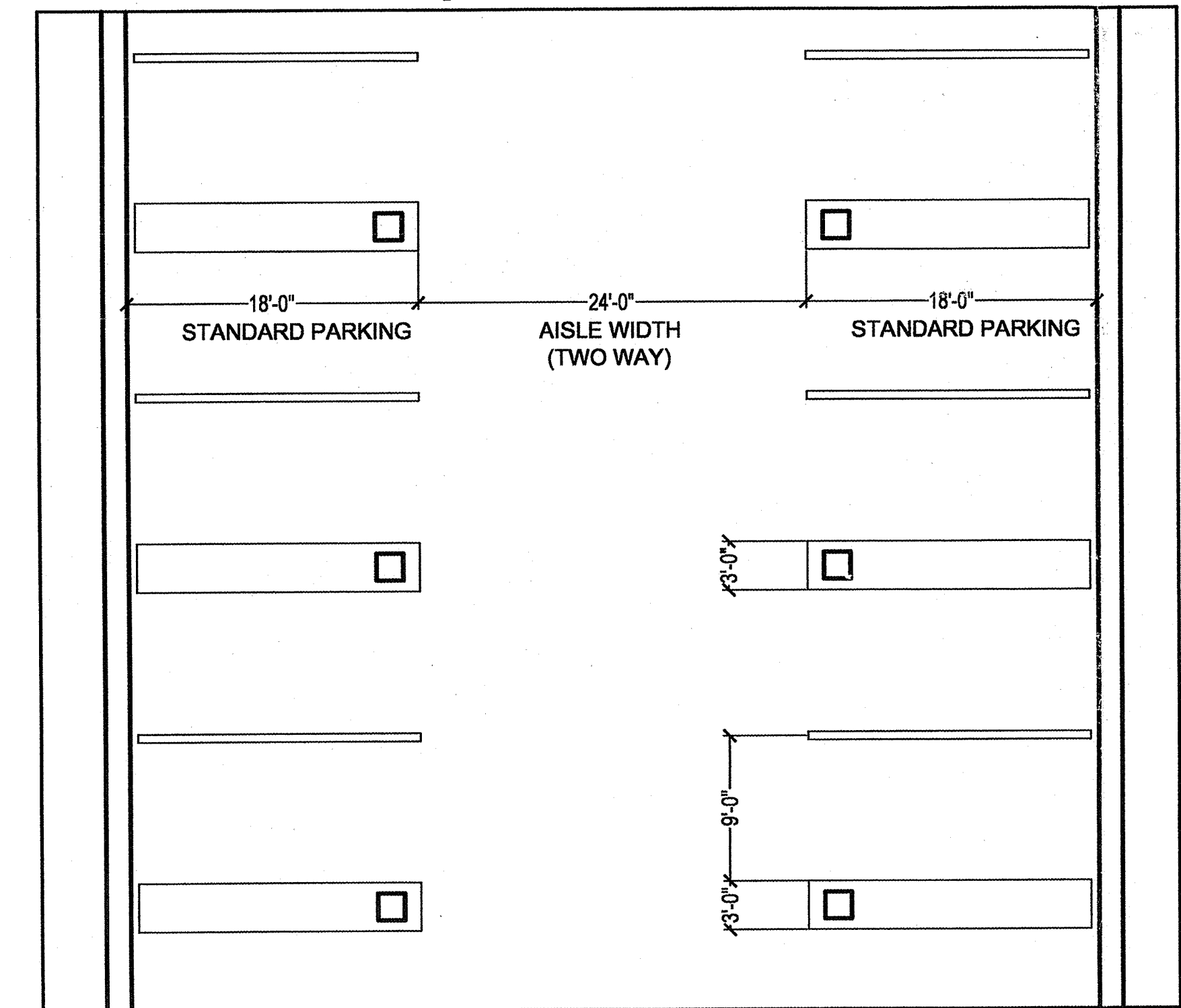
2 TORREY EAST BUILDING UNDERGROUND PARKING

PTB#44675  
**APPROVED EXHIBIT "A"**

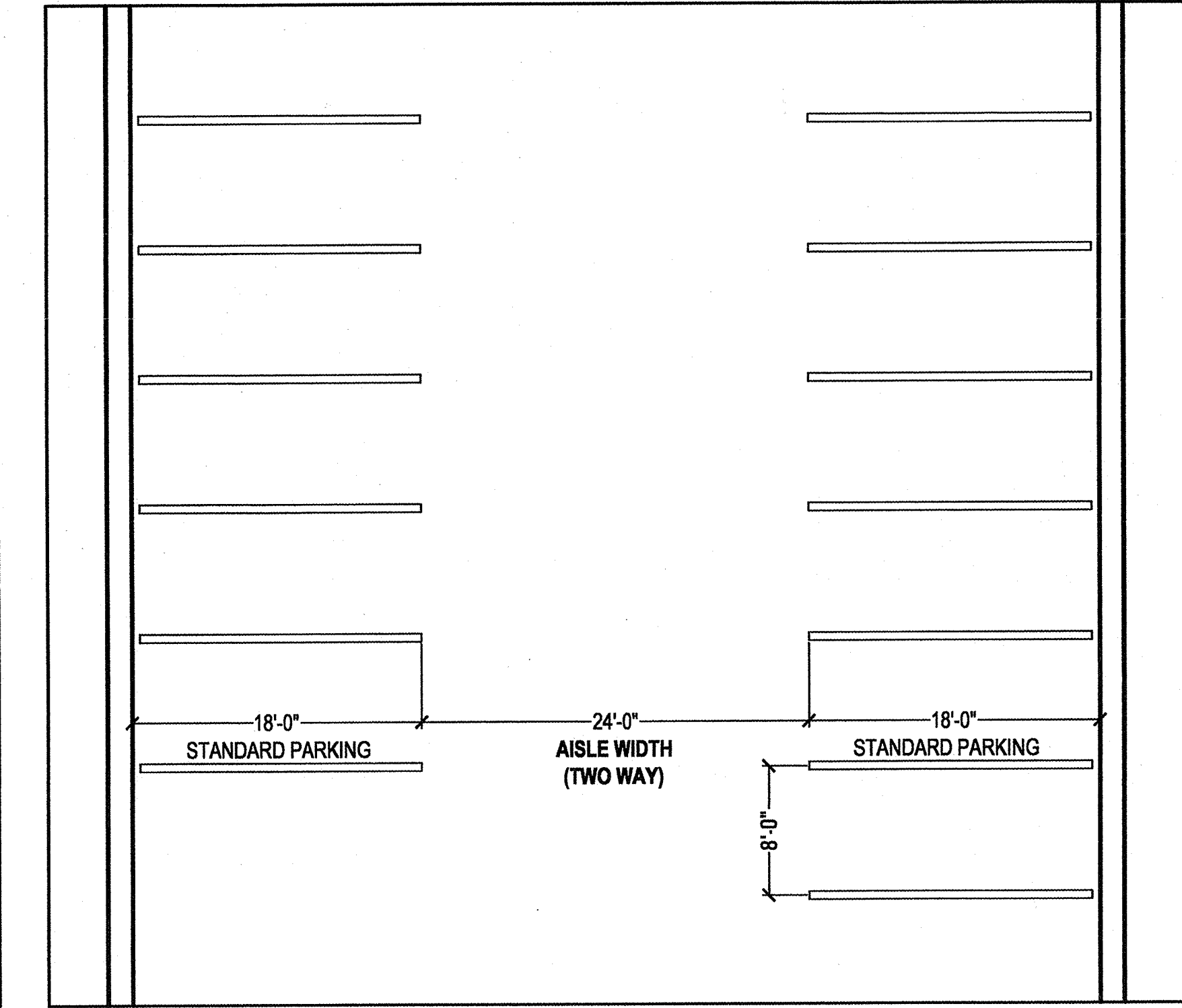
Approval Date 10/24/2008  
Permit No. CDP 12496/SDP 12702  
MPDP 361577  
Amendment to  
CPL 1140

*[Signature]*

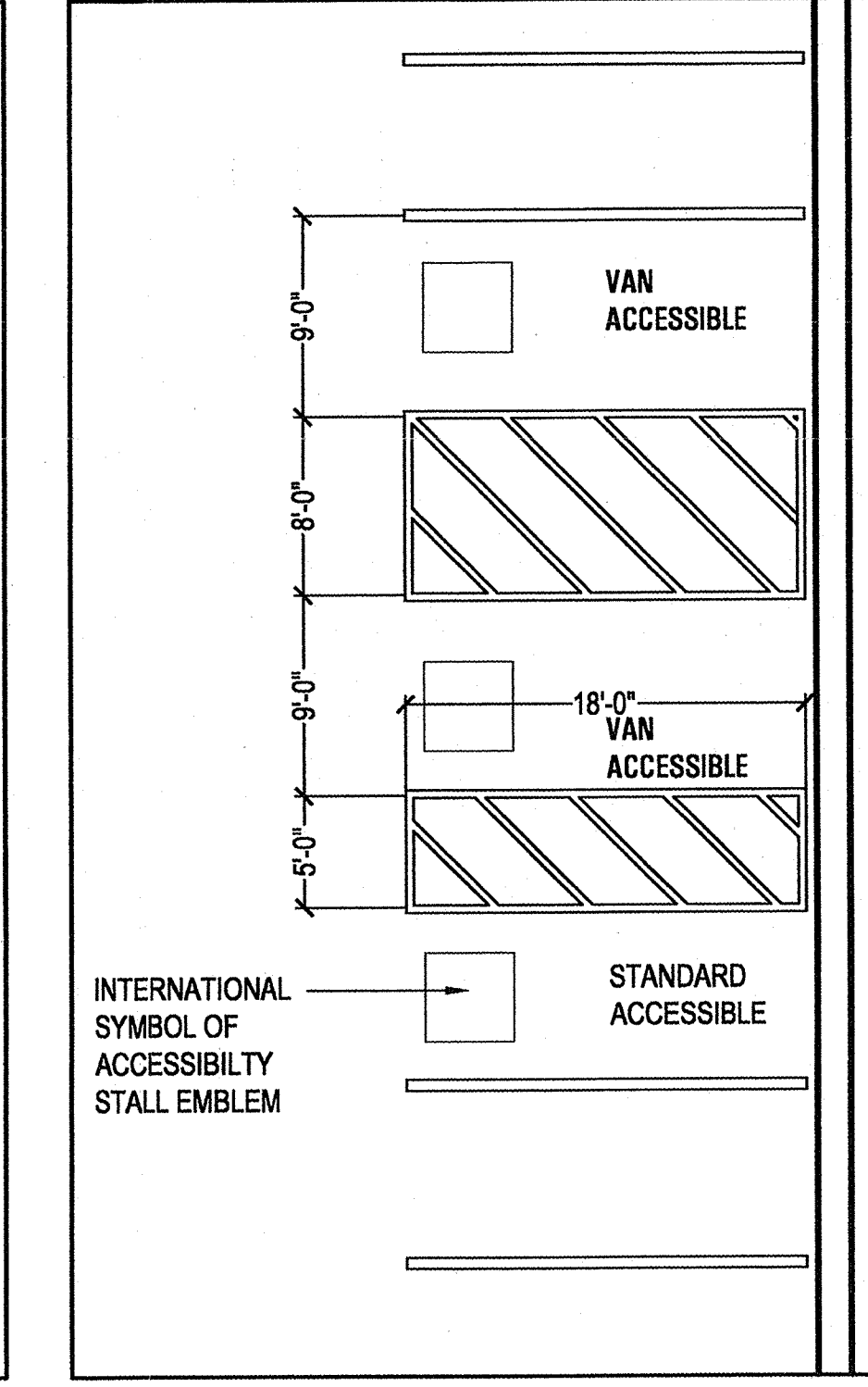
TYPICAL 90° PARKING [ONE SIDE ABUTTING OBSTACLE]



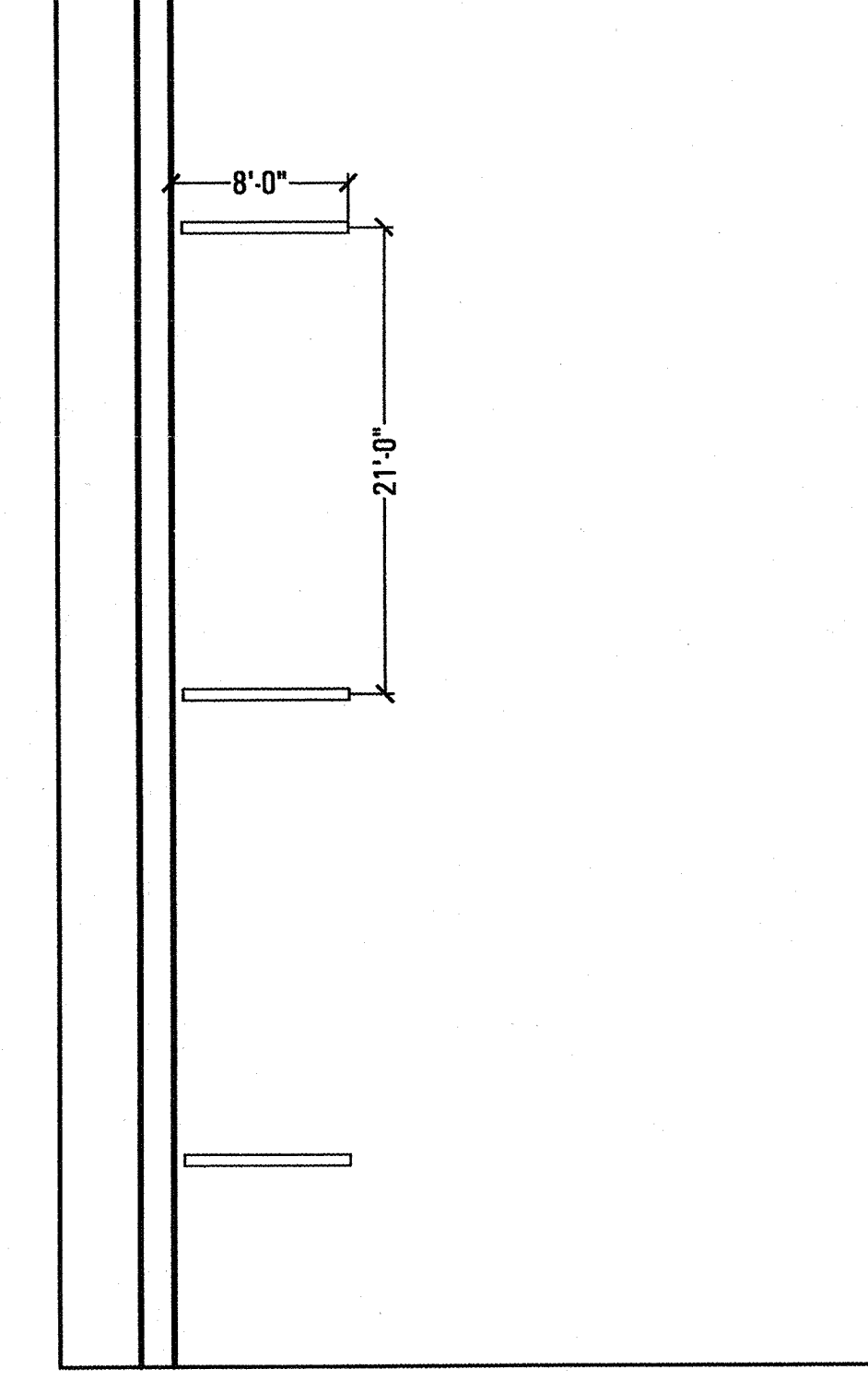
TYPICAL 90° PARKING [NO OBSTACLES]



ACCESSIBLE PARKING



PARALLEL TO AISLE

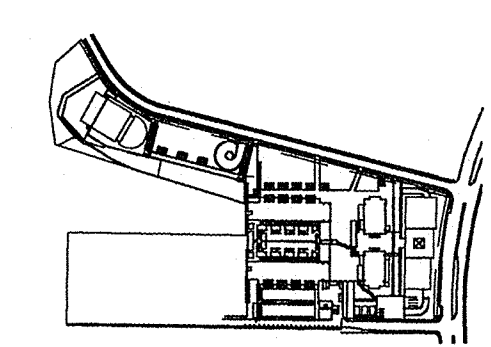


Prepared By:	NBBJ	Revision 14:	
Name:		Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.27.08 CDP COMMENTS
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A2.0 UNDERGROUND PARKING PLANS	Original Date:	08.06.04
		Sheet Count:	5 of 22
		DEP#	44675

NO.	DATE	DESCRIPTION
6	06.27.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
8	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
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1	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

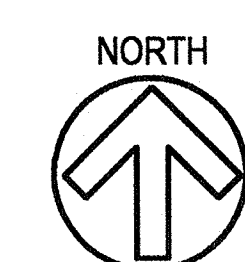
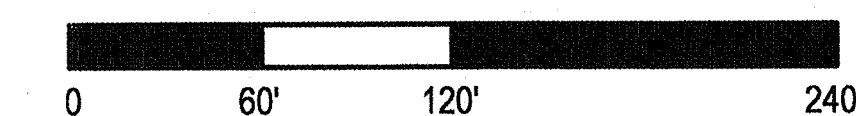
KEY PLAN:



SCALE: 1/80" = 1'-0"  
DATE: 08.06.04  
PROJECT NO.: 50221.08  
PERMIT APPLICATION NO.: 44675

**UNDERGROUND PARKING PLANS**

**A2.0**  
CDP / SDP SUBMITTAL





The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 415-951-1100  
Fax: 415-951-1100

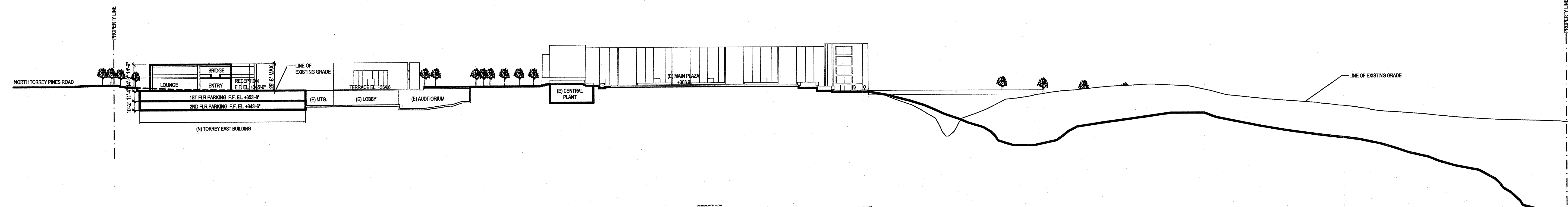
ARCHITECT: **nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-951-1100  
Fax: 415-733-2700

ENGINEER: Latitude 33  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-591-0633

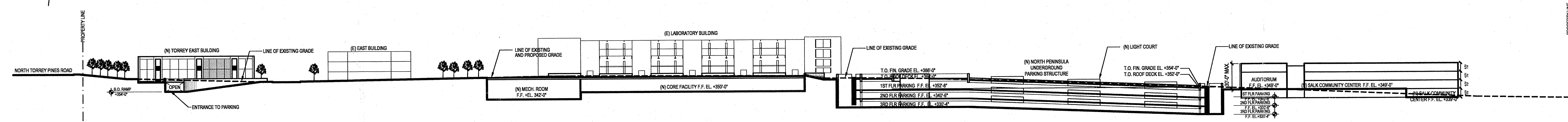
LANDSCAPE: The Office of James Burnett  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-759-6970  
Fax: 858-753-6905

Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

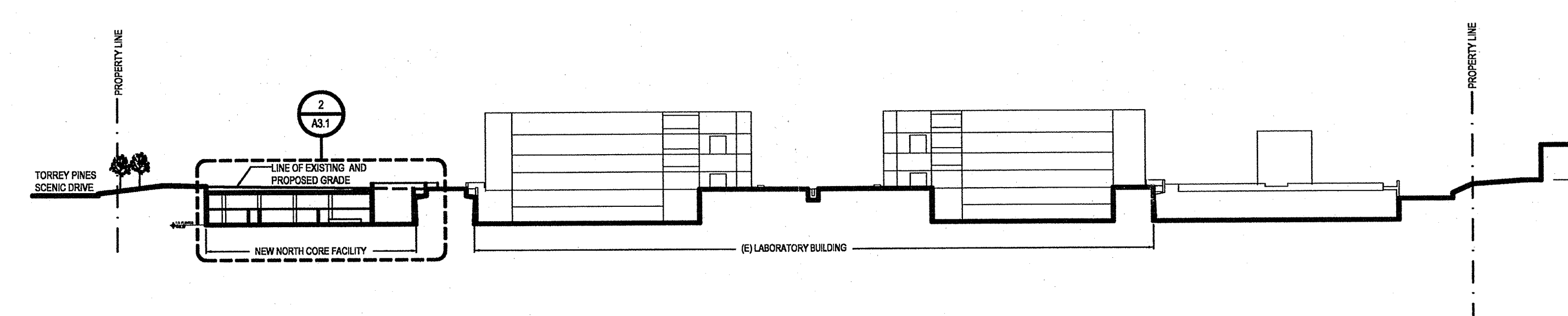
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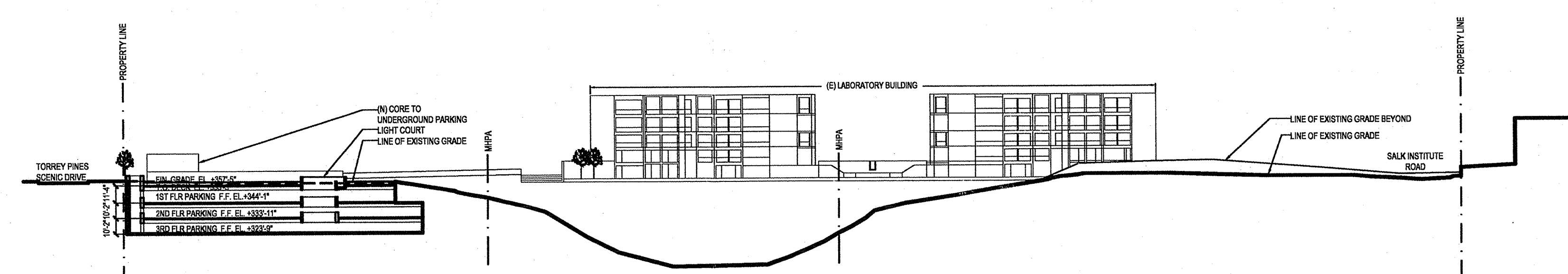
6 EAST - WEST SECTION LOOKING SOUTH [TORREY EAST UNDERGROUND PARKING STRUCTURE, EXISTING EAST BUILDING, EXISTING LABORATORY BUILDING COURT AND EXISTING TOPOGRAPHY]



5 EAST-WEST SECTION LOOKING SOUTH [TORREY EAST UNDERGROUND PARKING STRUCTURE, MECHANICAL ROOM, NORTH CORE FACILITY, NORTH PENINSULA UNDERGROUND PARKING STRUCTURE AND SALK COMMUNITY CENTER]



4 NORTH-SOUTH SECTION LOOKING EAST [NORTH LAWN CORE FACILITY, EXISTING LABORATORY BUILDING AND EXISTING SOUTH LAWN]



3 NORTH-SOUTH SECTION LOOKING EAST [GRASS LAWN AND UNDERGROUND PARKING STRUCTURE]

2 NOT USED

1 NOT USED

PR #44675  
**APPROVED EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 121996 / SDP 127002  
MDEP 56577  
Amendment to  
CDP/HEP/SDP No. 90-1140  
*[Signature]*

Prepared By:	Name:	Address:	Phone #:	Fax #:	Project Address:	Project Name:	Sheet Title:
	NBBJ	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	415.981.1100	415.733.2700	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	THE SALK INSTITUTE CDP / SDP	A3.0 SITE SECTIONS
Revision 14:	Revision 13:	Revision 12:	Revision 11:	Revision 10:	Revision 9:	Revision 8:	Revision 7:
Revision 6:	Revision 5:	Revision 4:	Revision 3:	Revision 2:	Revision 1:	Original Date:	Sheet Count:
						08.06.04	6 of 29
							DEP#
							44675

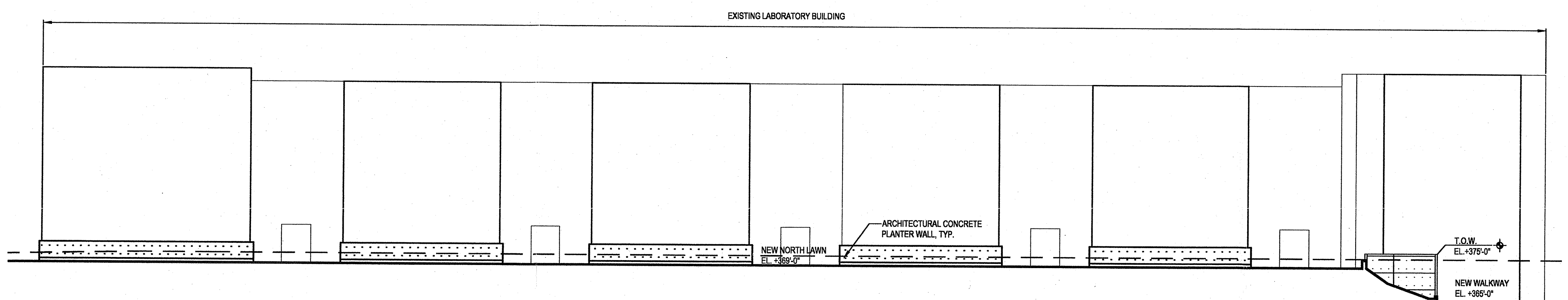
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1 01.05.05 CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

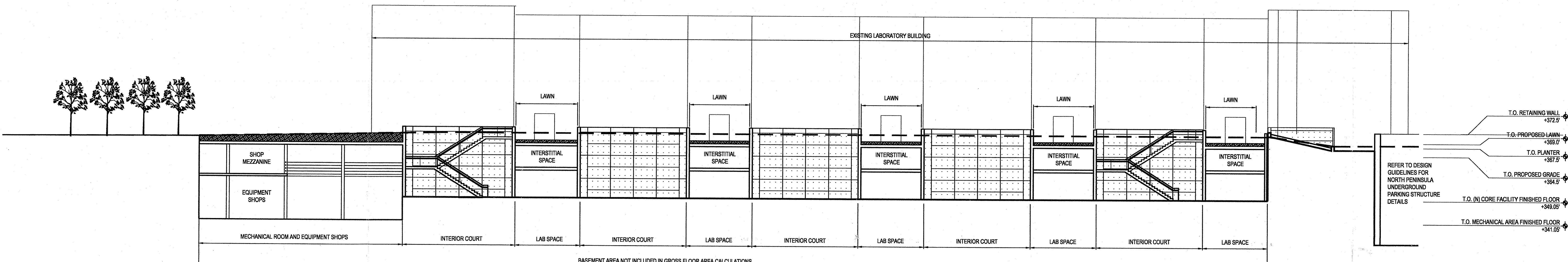
KEY PLAN:

SCALE: 1/8"=1'-0"  
DATE: 08.06.04  
PROJECT NO.: 50221.08  
PERMIT APPLICATION NO.:  
SITE SECTIONS

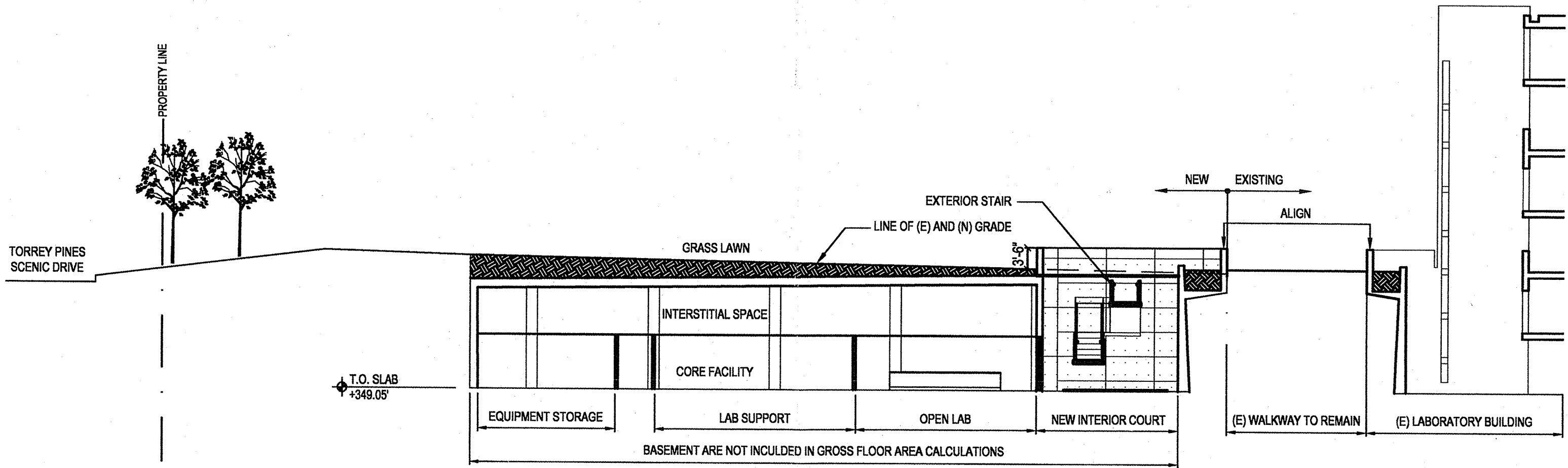




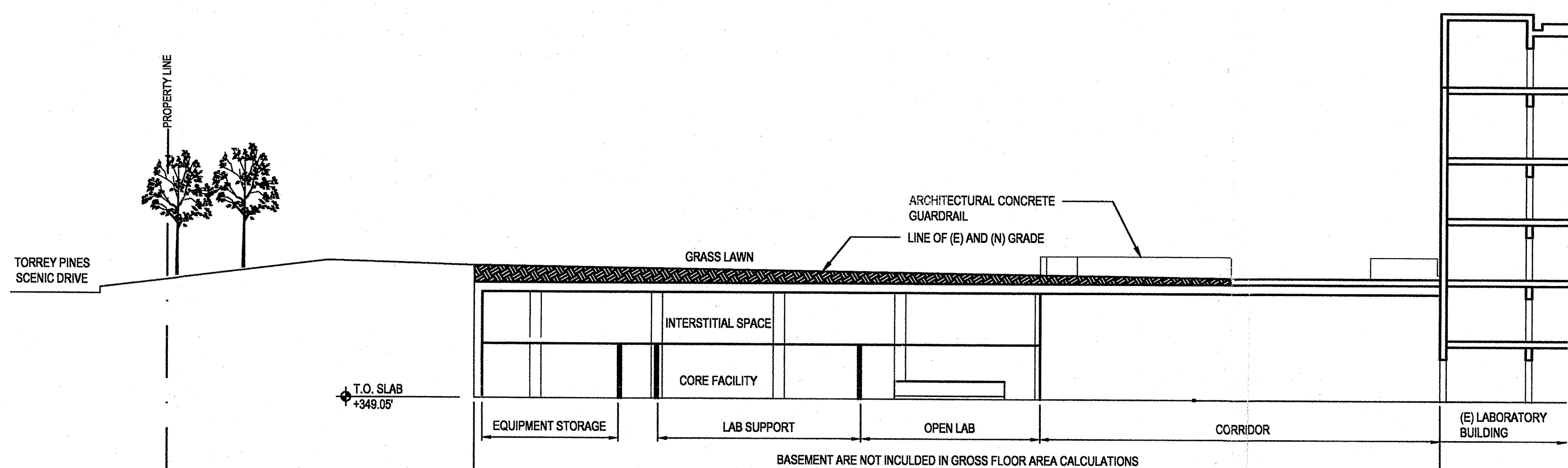
6 ELEVATION LOOKING SOUTH AT CORE FACILITY AND LABORATORY BUILDING



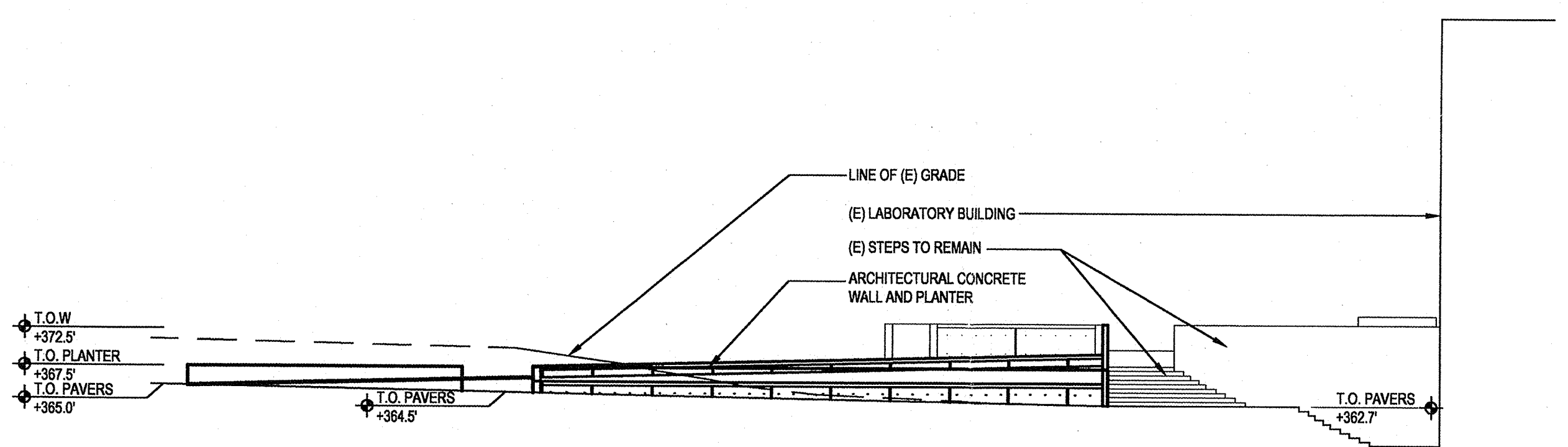
5 SECTION LOOKING SOUTH AT CORE FACILITY PLAZA AND LABORATORY BUILDING



2 SECTION LOOKING EAST AT CORE FACILITY



3 SECTION LOOKING EAST AT CORE FACILITY / EXISTING LABORATORY BUILDING



1 ELEVATION LOOKING EAST AT CORE FACILITY

Prepared By: NBBJ

Name: NBBJ

Address: 130 SUTTER STREET, 2ND FLOOR  
SAN FRANCISCO, CA 94104

Phone #: 415.981.1100

Fax #: 415.733.2700

Project Address: 10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037

Project Name: THE SALK INSTITUTE CDP / SDP

Sheet Title: A3.1 CORE FACILITY SITE SECTIONS  
AND BUILDING ELEVATIONS

Revision 14: \_\_\_\_\_

Revision 13: \_\_\_\_\_

Revision 12: \_\_\_\_\_

Revision 11: \_\_\_\_\_

Revision 10: \_\_\_\_\_

Revision 9: \_\_\_\_\_

Revision 8: 06.27.08 CDP COMMENTS

Revision 7: 03.03.08 CDP COMMENTS

Revision 6: 04.13.07 CDP COMMENTS

Revision 5: 01.19.07 CDP COMMENTS

Revision 4: 06.09.06 CDP COMMENTS

Revision 3: 04.14.06 CDP COMMENTS

Revision 2: 09.23.05 CDP COMMENTS

Revision 1: 01.05.05 CDP COMMENTS

Original Date: 08.06.04

Sheet Count: 7 of 29

DEP#: 44675

REVISIONS:

NO.	DATE	DESCRIPTION
2	06.27.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

SCALE: 1/16"=1'-0"

DATE: 08.06.04

PROJECT NO: 50221.08

PERMIT APPLICATION NO: \_\_\_\_\_

CORE FACILITY  
SITE SECTIONS AND  
BUILDING ELEVATIONS

A3.1  
CDP / SDP SUBMITTAL



**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

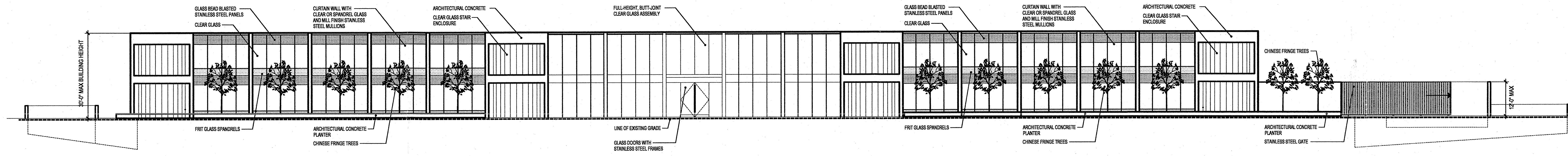
ARCHITECT:  
**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

DATE:  
Latitude 33  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

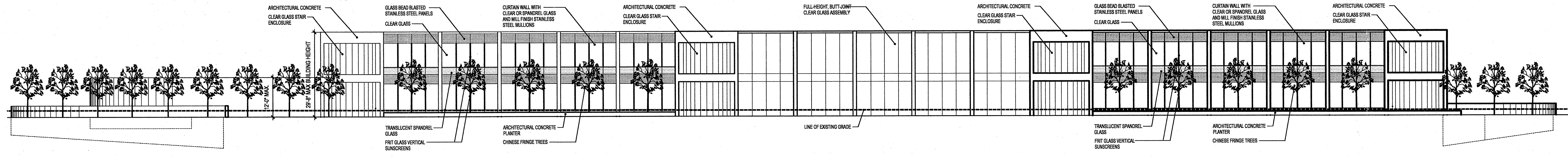
LANDSCAPE:  
The Office of James Burnett  
415 South Cedros, Suite 280  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

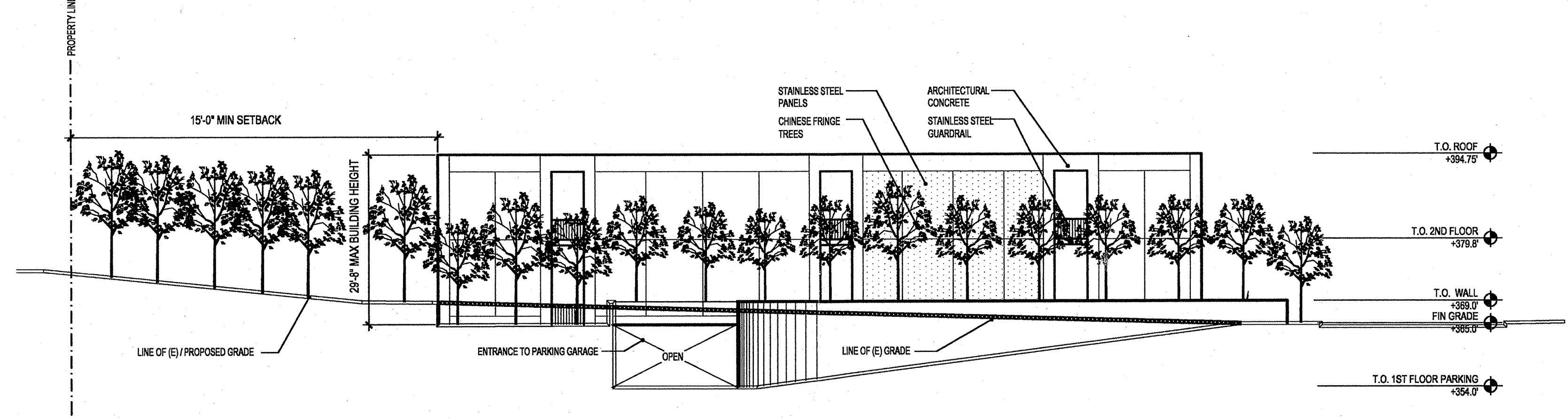
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4 WEST ELEVATION AT TORREY EAST BUILDING

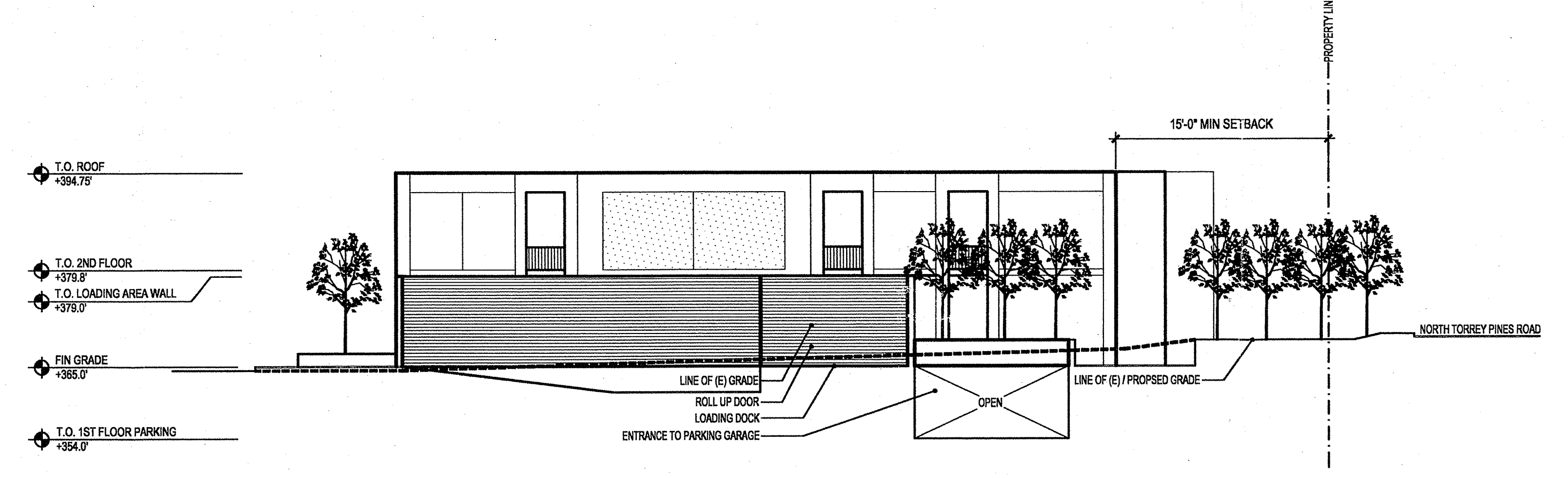


3 EAST ELEVATION AT TORREY EAST BUILDING



1 NORTH ELEVATION AT TORREY EAST BUILDING

SHEET NOTES:  
SEE ARCHITECTURAL GUIDELINES FOR ADDITIONAL INFORMATION.



2 SOUTH ELEVATION AT TORREY EAST BUILDING

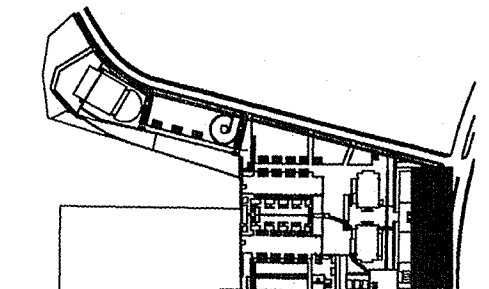
PIS #44675  
**APPROVED EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 124916 / SDP 12-002  
MPP 501577  
Amendment to  
CDP/SDP/SDP No. 90-1140  
*[Signature]*

Prepared By:	NBBJ	Revision 14:	
Name:	NBBJ	Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.21.08 CDP COMMENTS
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A3.3 TORREY EAST BUILDING BUILDING ELEVATIONS	Original Date:	08.06.04
		Sheet Count:	8 of 28
		DEP#	44675

NO.	DATE	DESCRIPTION
9	06.21.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
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2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

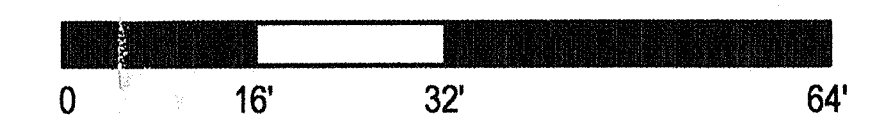
KEY PLAN:



SCALE: 1/16"=1'-0"  
DATE: 08.06.04  
PROJECT NO: 50221.08  
PERMIT APPLICATION NO:

TORREY EAST  
BUILDING  
ELEVATIONS

A3.3  
CDP / SDP SUBMITTAL





# ATTACHMENT 8

**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

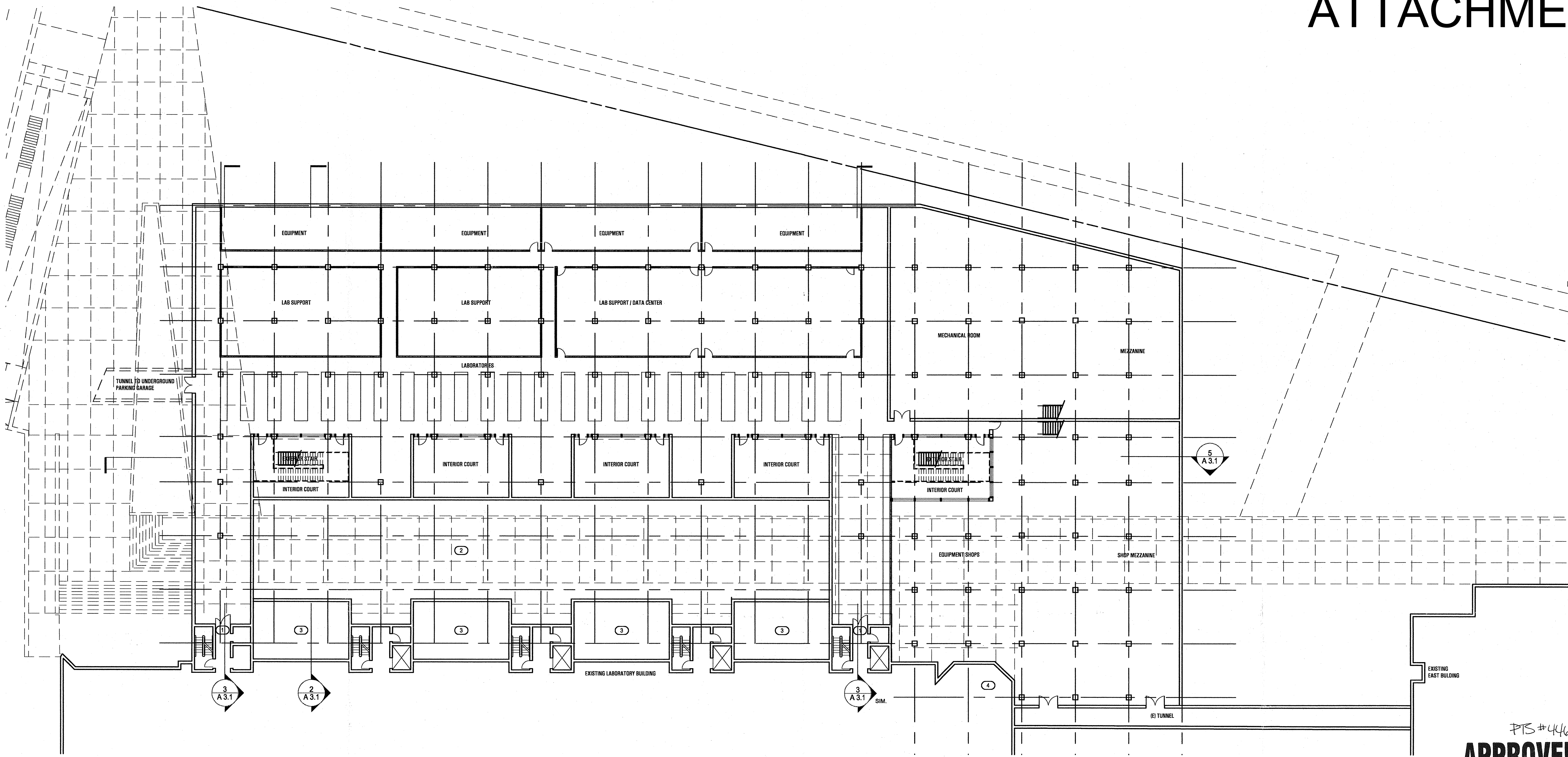
**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

**Latitude 33**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-591-0633

**The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
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**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

SHEET LEGEND



## 1 FLOOR PLAN - CORE FACILITY

### SHEET NOTES:

- EXISTING CONCRETE RETAINING WALL. PROVIDE 6'-2" W X 7'-4" H ROUGH OPENING FOR NEW DOUBLE DOOR AND FRAME.
- EXISTING PAVING TO REMAIN ABOVE. REMOVE AND SALVAGE (E) PAVING AS REQUIRED DURING CONSTRUCTION. INSTALL PAVING TO MATCH (E) CONFIGURATION AFTER CONSTRUCTION.
- EXISTING LIGHTWELLS TO REMAIN.
- EXISTING NORTH LABORATORY TOWER MECHANICAL SHAFT.

PTS #44675  
**APPROVED  
EXHIBIT "A"**

Approval Date: 10/21/2008  
Permit No. CDP 12696 / SDP 13700  
MPPR 901577  
Amendment to  
CDP Application No. 90-1140  
*[Signature]*

Prepared By:

Name:

Address:

Phone #:

Fax #:

Project Address:

Project Name:

Sheet Title:

Revision 14:

Revision 13:

Revision 12:

Revision 11:

Revision 10:

Revision 9:

Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1:

Original Date:

Sheet Count:

DEP#

REVISIONS:

NO. DATE DESCRIPTION

8 06.27.08 CDP COMMENTS

7 03.03.08 CDP COMMENTS

6 04.13.07 CDP COMMENTS

5 01.19.07 CDP COMMENTS

4 08.09.06 CDP COMMENTS

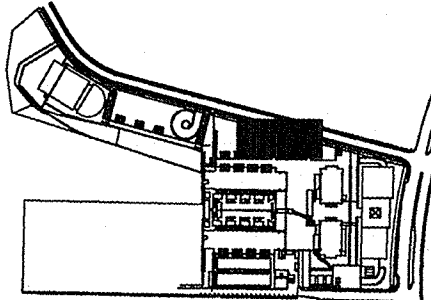
3 04.14.06 CDP COMMENTS

2 09.23.05 CDP COMMENTS

1 01.05.05 CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:



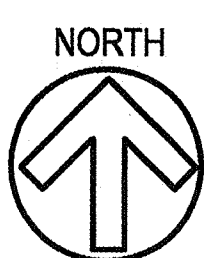
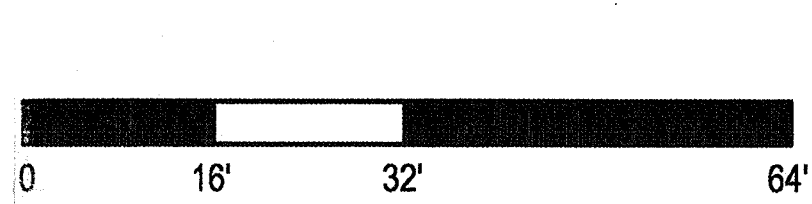
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DATE: 08.06.04

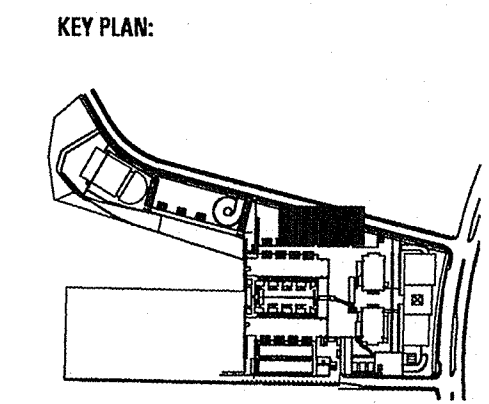
PROJECT NO: 50221

PERMIT APPLICATION NO.:

CORE FACILITY  
FLOOR PLAN



**THE SALK INSTITUTE**  
CDP / SDP



SCALE: 1/16"=1'-0"  
DATE: 08.06.04  
PROJECT NO: 50221.08

CORE FACILITY  
FLOOR PLAN

**A4.1**  
CDP / SDP SUBMITTAL

**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:  
**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

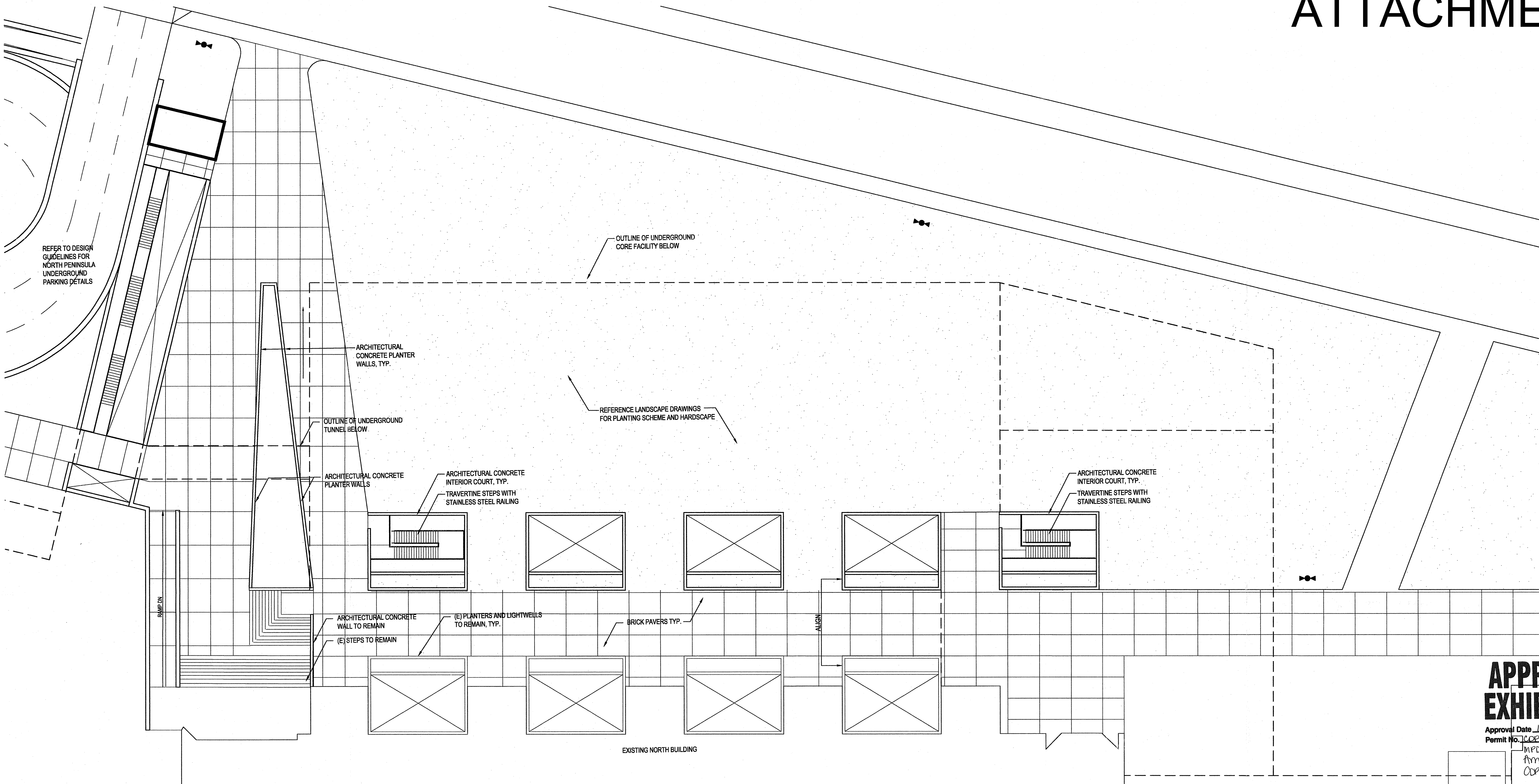
CONTRACTOR:  
**Latitude 33**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

LANDSCAPE:  
**The Office of James Burnett**  
415 South Cedros, Suite 200  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP

SHEET LEGEND



1 ROOF PLAN - CORE FACILITY

PR#44675  
**APPROVED EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. JCDP 126996 / SDP 127002  
MPPD 241577  
Amendment to CDP/HRA/UP No. 90-1140  
*[Signature]*

Prepared By:		REVISIONS:	
Name:	NBBJ	NO. DATE DESCRIPTION	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	6 06.27.08 CDP Comments	
Phone #:	415.981.1100	7 03.03.08 CDP COMMENTS	
Fax #:	415.733.2700	8 04.13.07 CDP COMMENTS	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	9 01.19.07 CDP COMMENTS	
Project Name:	THE SALK INSTITUTE CDP / SDP	4 06.09.08 CDP COMMENTS	
		3 04.14.06 CDP COMMENTS	
		2 09.23.05 CDP COMMENTS	
		1 01.05.05 CDP COMMENTS	
Sheet Title:	A4.1.1 ROOF PLAN - CORE FACILITY	Revision 8:	06.27.08 CDP Comments
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
		Original Date:	08.06.04
		Sheet Count:	10 of 29
		DEP#	44675

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

SCALE: 1/16"=1'-0"

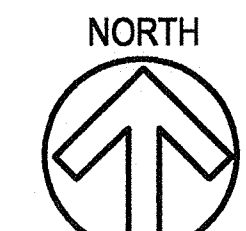
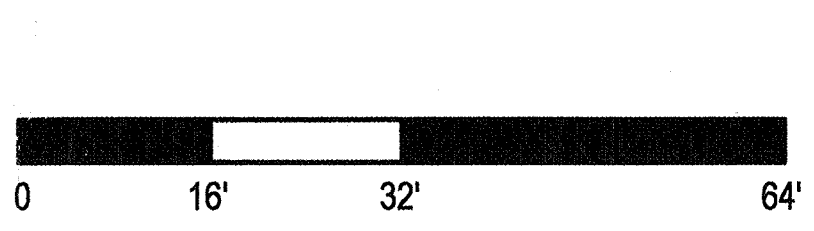
DATE: 08.06.04

PROJECT NO.: 50221.08

PERMIT APPLICATION NO.:

**CORE FACILITY  
ROOF PLAN**

**A4.1.1**  
CDP / SDP SUBMITTAL





The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT: **nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

DATE: Latitude 33  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

LANDSCAPE: The Office of James Burnett  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

ENVIRONMENTAL PLANNING: Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP

SHEET LISTING

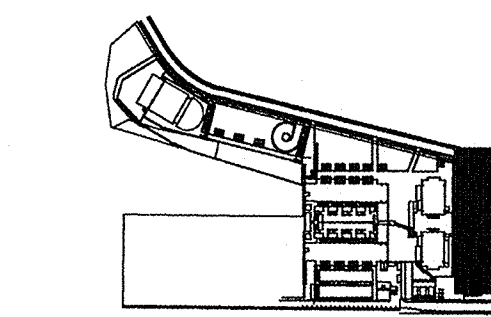
APPROVED EXHIBIT "A"  
Approval Date: 10/21/2008  
Permit No. CDP 12496 / SDP 127002  
MDF: SLS/ST  
Amendment to  
CDP/HIR/PLANS 90-1140  
10.27.08 CDP COMMENTS

Prepared By:	NBBJ	Revision 14:	
Name:	NBBJ	Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.21.08 CDP COMMENTS
Sheet Title:	A4.3 FLOOR PLANS - TORREY EAST BUILDING	Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
		Original Date:	8/6/04
		Sheet Count:	11 of 22
		DEP#	44675

NO.	DATE	DESCRIPTION
8	06.21.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

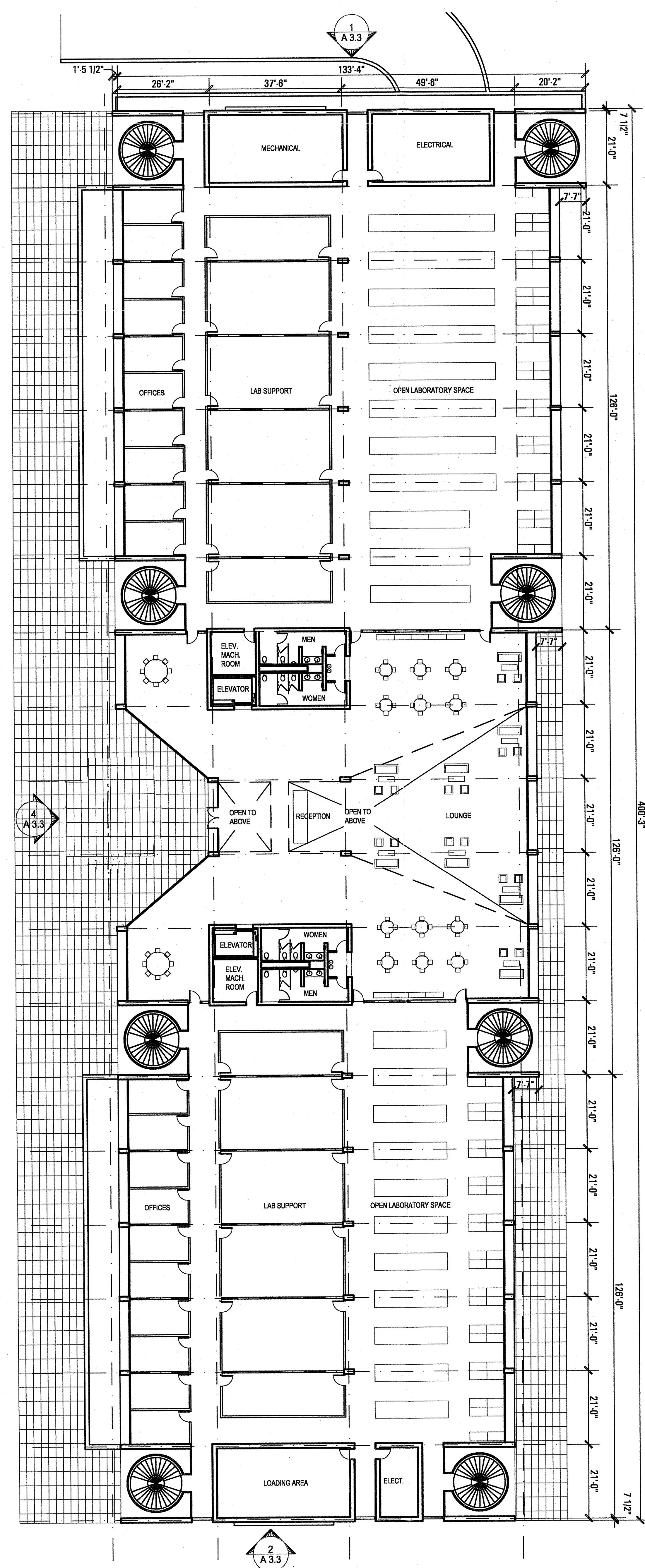
THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

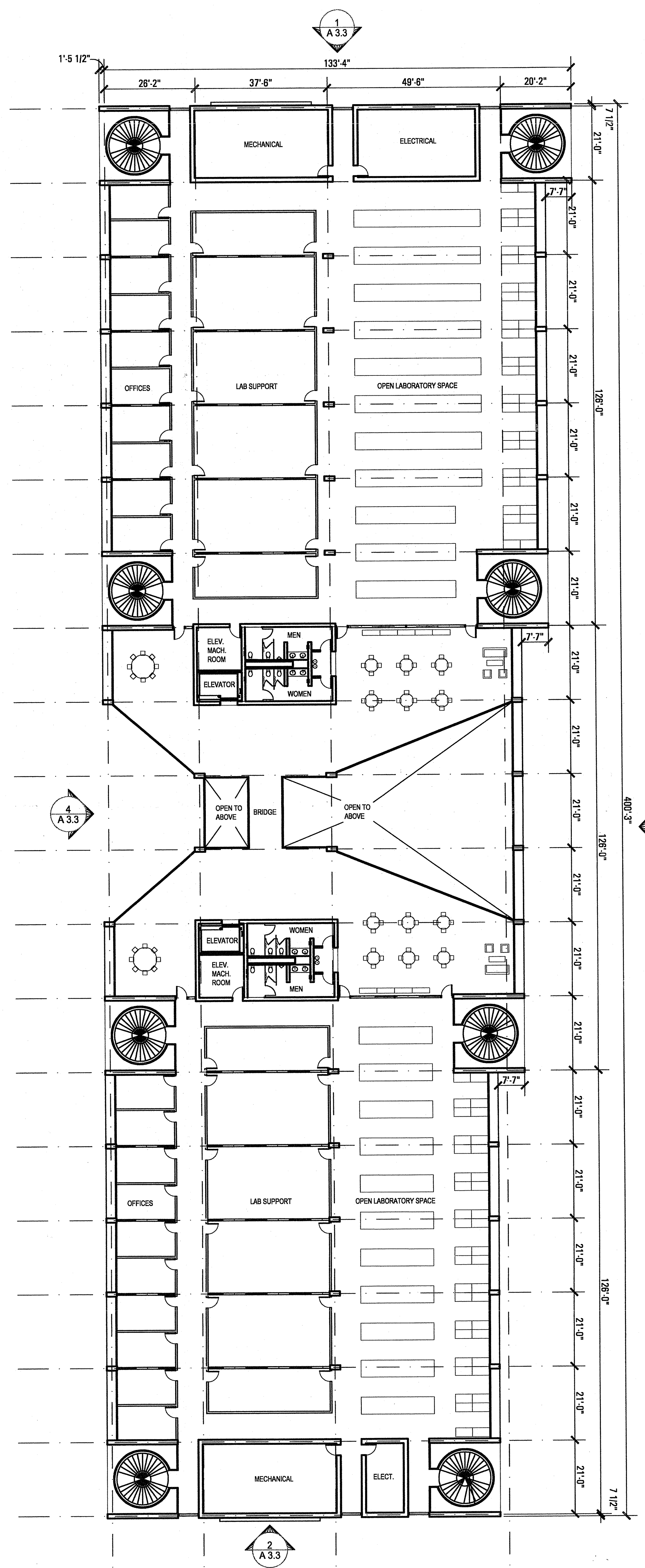


SCALE: 1/16"=1'-0"  
DATE: 08.06.04  
PROJECT NO.: 50221.08

PERMIT APPLICATION NO.:  
TORREY EAST BUILDING  
FLOOR PLANS  
A4.3  
CDP / SDP SUBMITTAL



1 FLOOR PLAN - TORREY EAST BUILDING, GROUND FLOOR



2 FLOOR PLAN - TORREY EAST BUILDING, UPPER FLOOR



# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

# ATTACHMENT 8

SALK INSTITUTE  
FOR BIOLOGICAL STUDIES

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT: **nbbj**

130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

CIVIL: Latitude 33  
Planning and Engineering  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-462-0552  
Fax: 619-462-0534

LANDSCAPE: The Office of James Burnett  
415 South Cedros, Suite 260  
Solano Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

SHEET LEGEND:



SHEET LEGEND:

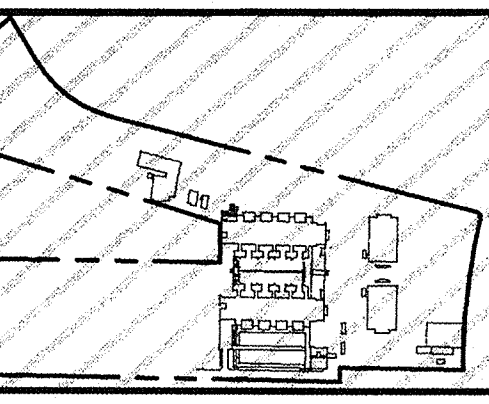
APPROVED  
EXHIBIT "A"

Approval Date: 10/21/2008  
Permit No. CDP 12088  
MPOD 54577  
Amendment #  
CDP# 12088P No. 90-1140

REVISIONS:	
NO. DATE:	
1. 6-11-2008 CDP COMMENTS	
2. 3-03-2008 CDP COMMENTS	
3. 4-13-2007 CDP COMMENTS	
4. 01-19-2007 CDP COMMENTS	
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THE SALK INSTITUTE  
CDP/SDP

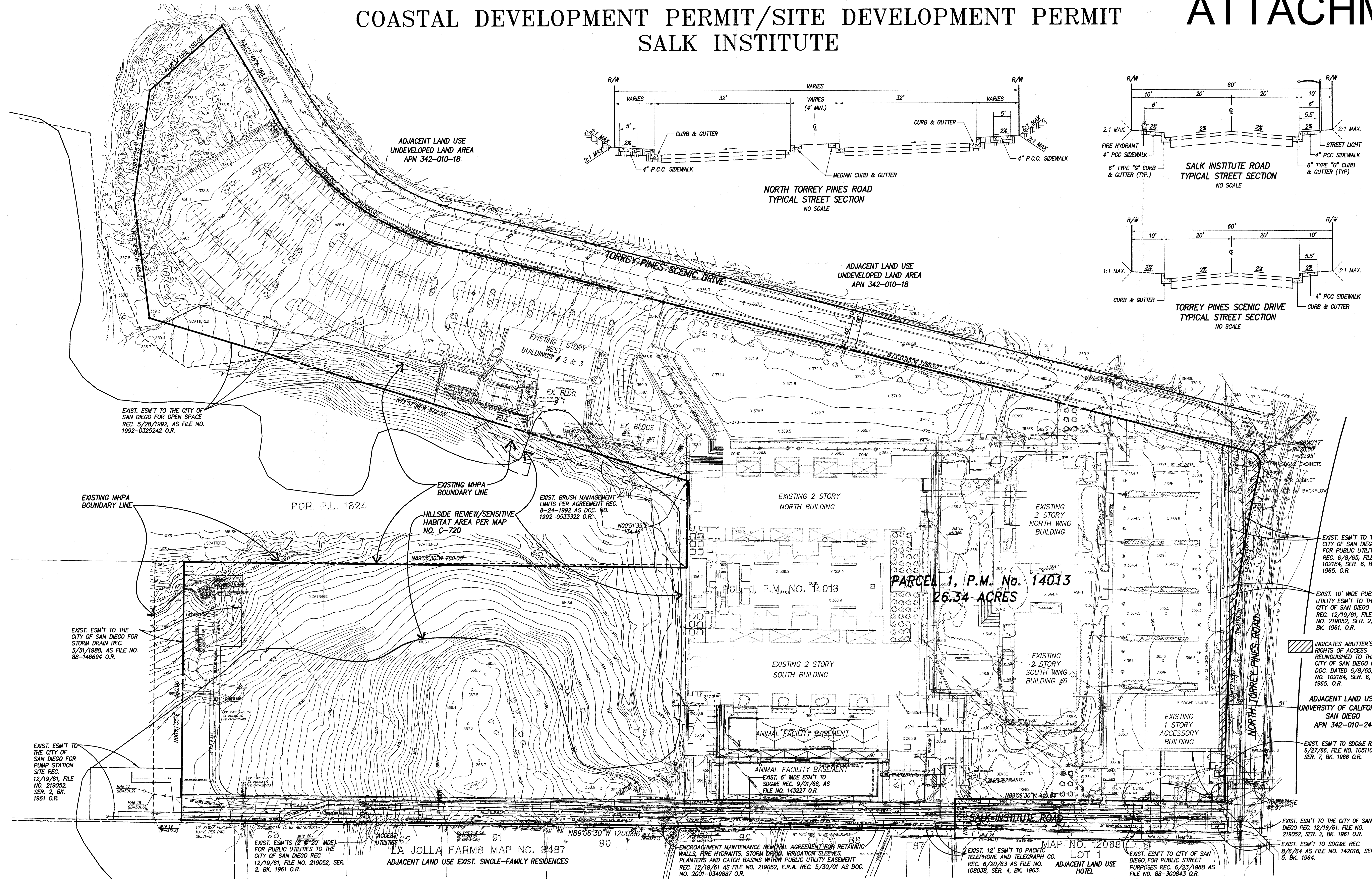
KEY PLAN:



SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO.: 573-4  
PERMIT APPLICATION NO.:

EXISTING CONDITIONS  
AND  
TOPOGRAPHIC MAP

C.1



## LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING MHPA BOUNDARY
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOUR
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING GATE VALVE
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN CLEANOUT
- EXISTING UNDERGROUND DRY UTILITIES
- EXISTING CHAIN LINK FENCE
- EXISTING RETAINING WALL
- EXISTING LIGHT STANDARD
- EXISTING CURB & GUTTER
- EXISTING BROW DITCH
- EXISTING DIRECTION OF SURFACE FLOW

## OWNER

SALK INSTITUTE  
10010 NORTH TORREY PINES ROAD  
LA JOLLA, CA 92037

## LEGAL DESCRIPTION

PORTION OF P.L. 1 OF P.M. NO. 14013, IN THE CITY OF SAN  
DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

## ASSESSOR'S PARCEL NO.

342-010-38

## TOPOGRAPHY:

EXISTING TOPOGRAPHY WAS FLOWN 10/5/99

## BENCHMARK:

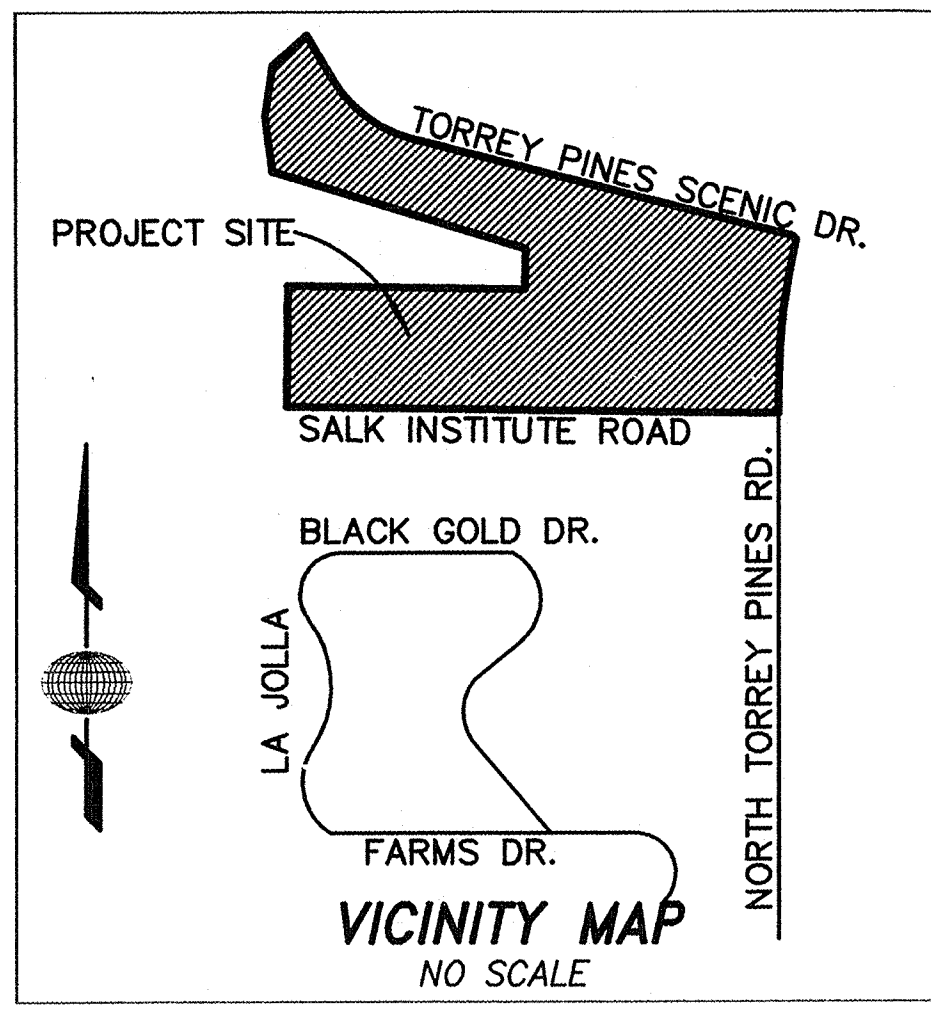
BRASS PLUG AT NORTHWEST CORNER OF NORTH  
TORREY PINES ROAD AND TORREY PINES DRIVE.  
ELEV. 374.191 DATUM: MSL

## ZONING INFORMATION:

EXISTING ZONE: RS-1-7

## REFERENCE DRAWINGS:

22486-D: 8" WATER  
22486-D: 48" RCP SD  
30402-D: UTILITIES  
11450-D: 12" & 15" RCP SD  
28381-D: SEWER MAINS



## NOTES:

- SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.
- SEE SHEET C.10 FOR MHPA BOUNDARY ADJUSTMENT PLAN.
- THERE ARE NO MAPPED GEOLOGIC HAZARD LIMITS PER  
CITY MAP C-720 WITHIN THIS PROPERTY.

Latitude 33  
Planning and Engineering  
4933 Paramount Dr., 2nd Flr.  
San Diego, Ca. 92123  
Tel 619-751-0833 Fax 619-751-0834

JIM KILGORE  
No. 46692 EXPIRES 6-30-2009

SCALE: 1" = 60'

Prepared By:	NAME: ENGINEERING	Revision 14:	
Address:	4933 PARAMOUNT DR., 2ND FLOOR SAN DIEGO, CA 92123	Revision 13:	
Phone #:	858 751-0833	Revision 12:	
Fax #:	858 751-0834	Revision 11:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 10:	
Project Name:	THE SALK INSTITUTE	Revision 9:	
CDP/SDP:		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
Original Date:	8-6-04		
Sheet Title:	EXISTING CONDITIONS AND TOPOGRAPHIC MAP	Sheet Count:	12 of 29
		DEP#	44675



# ATTACHMENT 8

ET LEGEND:



Prepared By:	<u>LATITUDE 33 PLANNING &amp;</u>	Revision 14:	_____
Name:	<u>ENGINEERING</u>	Revision 13:	_____
Address:	<u>4933 PARAMOUNT DR. 2ND FLOOR</u>	Revision 12:	_____
	<u>SAN DIEGO, CA 92123</u>	Revision 11:	_____
Phone #:	<u>858 751-0833</u>	Revision 10:	_____
Fax #:	<u>858 751-0834</u>	Revision 9:	_____
Project Address:	<u>10010 NORTH TORREY PINES ROAD</u>	Revision 8:	<u>6-11-06</u>
	<u>LA JOLLA, CALIFORNIA 92037</u>	Revision 7:	<u>3-03-08</u>
Project Name:	<u>THE SALK INSTITUTE</u>	Revision 6:	<u>4-13-07</u>
	<u>CDP/SDP</u>	Revision 5:	<u>01-19-07</u>
	_____	Revision 4:	<u>6-09-06</u>
	_____	Revision 3:	<u>4-14-06</u>
	_____	Revision 2:	<u>9-23-05</u>
	_____	Revision 1:	<u>1-5-05</u>
	_____		_____
Sheet Title:	<u>PRELIMINARY GRADING AND</u>	Original Date:	<u>8-6-04</u>
	<u>LATITUDE 33 PLANNING &amp; ENGINEERING</u>	Sheet Count:	<u>13</u> of <u>29</u>
			<u>44675</u>



COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT  
SALK INSTITUTE

ATTACHMENT 8

SALK INSTITUTE  
FOR BIOLOGICAL STUDIES

The Salk Institute for Biological Studies  
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Fax: 858-453-4100

ARCHITECT: **nbbj**

130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

CIVIL: **Latitude 33**  
**Planning and Engineering**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633  
Fax: 858-751-0634

LANDSCAPE: **The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

SHEET



SHEET LEGEND:

PS #44675  
**APPROVED  
EXHIBIT "A"**

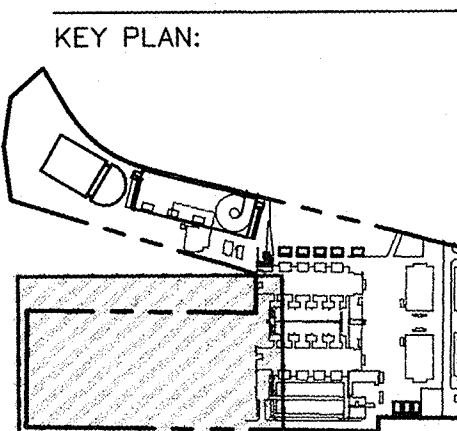
Approval Date: 10/21/2008  
Permit No. CDP 124916 / SDP 07002  
Map 54577  
Amendment to  
CDP/HRP/Map No. 90-1140

*[Signature]*

REVISIONS:

NO.	DATE	DESCRIPTION
1	6-21-06	CDP COMMENTS
2	3-03-08	CDP COMMENTS
3	4-13-2007	CDP COMMENTS
4	01-19-2007	CDP COMMENTS
5	01-19-2007	CDP COMMENTS
6	09-08-2006	CDP COMMENTS
7	04-14-2006	CDP COMMENTS
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9	1-5-2005	CDP COMMENTS
10	ORIGINAL	8-6-04

THE SALK INSTITUTE  
CDP/SDP



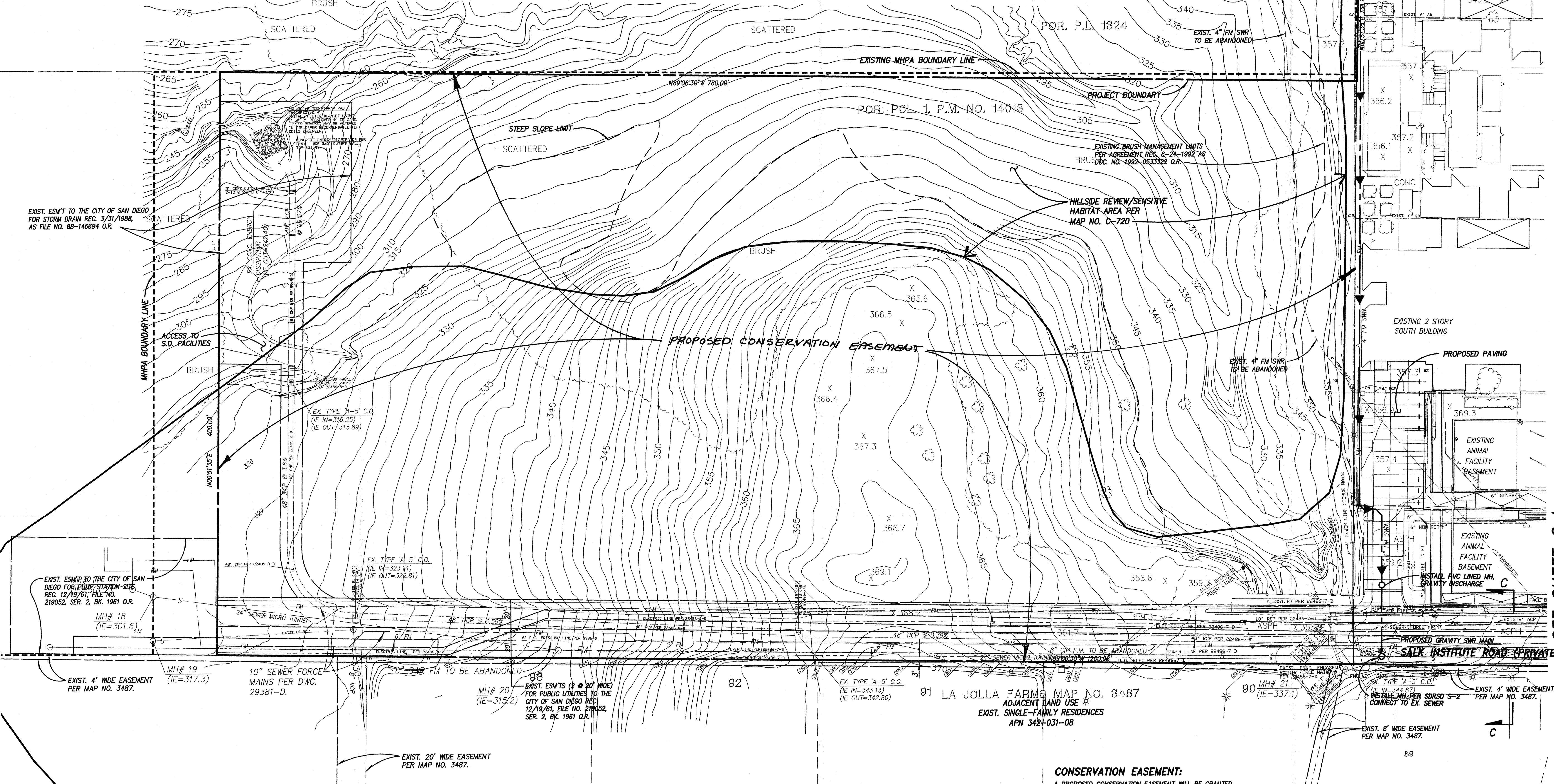
SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO:

SOUTH PENINSULA  
NO DEVELOPMENT  
PROPOSED

**C.3**

CDP / SDP SUBMITTAL

SEE SHEET C.6 FOR SALK COMMUNITY CENTER AND NORTH PENINSULA GARAGE



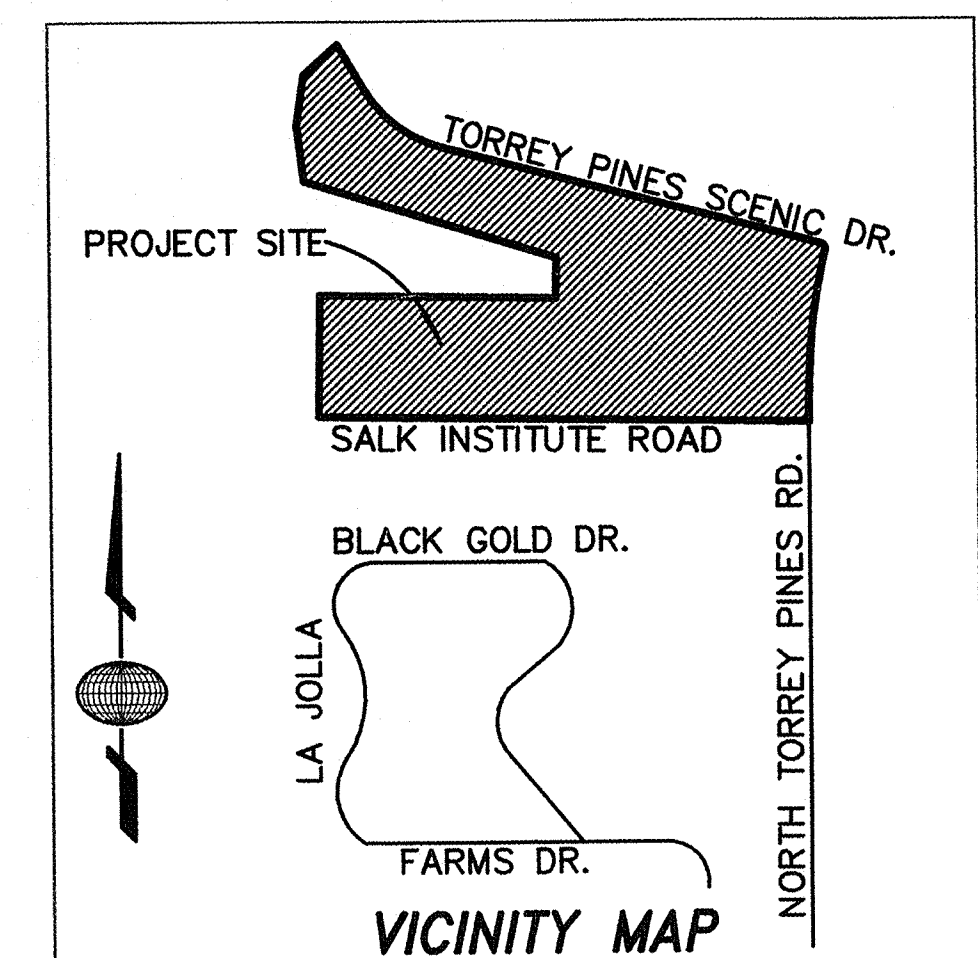
LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING MHPA BOUNDARY LINE
- PROPOSED MHPA BOUNDARY LINE
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOUR
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING GATE VALVE
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN CLEANOUT
- EXISTING UNDERGROUND DRY UTILITIES
- EXISTING CHAIN LINK FENCE
- EXISTING RETAINING WALL
- EXISTING LIGHT STANDARD
- EXISTING CURB & GUTTER
- EXISTING BROW DITCH
- EXISTING DIRECTION OF SURFACE FLOW

- FINISH CONTOUR
- FINISH GRADE SPOT ELEVATION
- OUT/FILL SLOPES (2:1 MAX)
- STORM DRAIN PIPE (PRIVATE)
- STORM DRAIN STRUCTURE (PRIVATE)
- 6" STANDARD CURB (PRIVATE)
- SEWER FORCE MAIN (PRIVATE)
- SEWER MANHOLE (PRIVATE)
- SEWER CLEANOUT (PRIVATE)
- PVC WATER MAIN

LEGEND (CONTINUED)

- SEWER LATERAL (PRIVATE)
- WATER LATERAL (PRIVATE)
- HIGH POINT SPOT ELEVATION
- SPOT ELEVATION
- LOW POINT
- DIRECTION OF SURFACE FLOW
- RETAINING WALL
- TOP OF WALL ELEVATION
- FINISH GRADE ELEVATION
- DAYLIGHT - LIMITS OF CONSTRUCTION
- BUILDING FINISHED FLOOR ELEVATION



CONSERVATION EASEMENT:

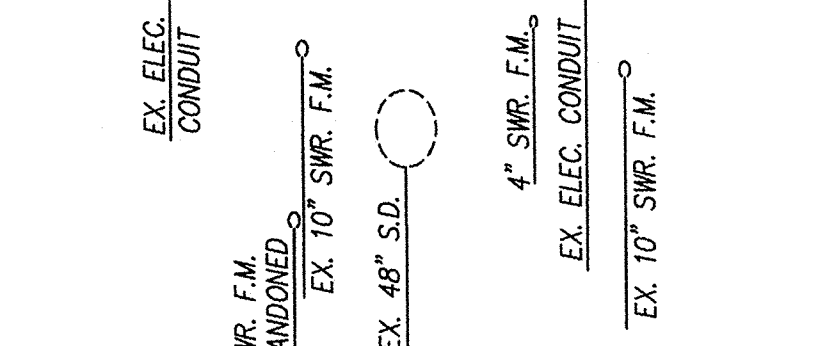
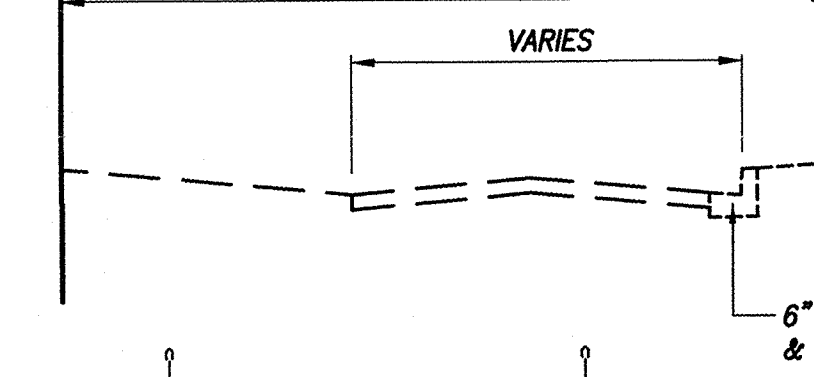
A PROPOSED CONSERVATION EASEMENT WILL BE GRANTED OVER THE ENTIRE SOUTH PENINSULA PROPOSED LOT 3.

NOTES:

1. SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.

Prepared By:	NAME:	REVISION 14:
ENGINEERING	LATITUDE 33 PLANNING & ENGINEERING	REVISION 13:
Address:	4933 PARAMOUNT DR. 2ND FLOOR SAN DIEGO, CA 92123	REVISION 12:
Phone #:	858 751-0633	REVISION 11:
Fax #:	858 751-0634	REVISION 10:
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	REVISION 9:
Project Name:	THE SALK INSTITUTE CDP/SDP	REVISION 8:
Sheet Title:	PRELIMINARY GRADING AND UTILITY PLAN - DAY CARE FACILITY AND RESIDENTIAL QUARTERS	REVISION 7:
DATE:	3-21-08	REVISION 6:
DATE:	3-21-08	REVISION 5:
DATE:	3-21-08	REVISION 4:
DATE:	3-21-08	REVISION 3:
DATE:	3-21-08	REVISION 2:
DATE:	3-21-08	REVISION 1:
Original Date:	8-6-04	
Sheet Count:	14 of 29	
DEP#	44675	

EXISTING EASEMENTS (2 @ 20' WIDE) FOR PUBLIC UTILITIES TO THE CITY OF SAN DIEGO PER FILE NO. 219052, RECORDED 12-19-61.



SECTION 'C' - 'C'  
PRIVATE SALK INSTITUTE ROAD  
SCALE: 1"=10'

EXACT LOCATION OF EXISTING UNDER GROUND UTILITIES IS UNKNOWN. CONTRACTOR WILL NEED TO VERIFY IN FIELD.



# ATTACHMENT 8

Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

**mbbj**

**Latitude 33**  
**Planning and Engineering**  
33 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633  
Fax: 858-751-0634

**Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

**Environmental Planning, Inc.**  
100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

**NOTE:**  
THE UPLIFTED SIDEWALK  
AND DAMAGED CURB  
ALONG TORREY PINES  
SCENIC DRIVE SHALL BE  
REMOVED AND REPLACED  
AS PART OF THE TORREY  
EAST BUILDING  
CONSTRUCTION.

**NOTE:**  
EMRA REQUIRED FOR  
PRIVATE WATER MAIN  
WITHIN PUBLIC  
RIGHT-OF-WAY

PR #44675  
**APPROVED  
EXHIBIT "A"**

Approval Date 10/21/2008  
 Permit No. CDP 126996 / SDP 127002  
 MPPD 561577  
 Amendment to  
 CDP / HRP / CUP NO. 90-1140

D: DATE:

6-27-2008 CDP COMMENTS  
3-03-2008 CDP COMMENTS  
4-13-2007 CDP COMMENTS  
01-19-2007 CDP COMMENTS  
6-09-2006 CDP COMMENTS  
4-14-2006 CDP COMMENTS  
9-23-2005 CDP COMMENTS  
1-5-2005 CDP COMMENTS  
ORIGINAL: 8-6-04

E SALK INSTITUTE  
CDP/SDP

KEY PLAN:

A technical drawing of a mechanical assembly, likely a pump or engine component. It shows a cross-section of a housing with internal components, including a central shaft and various bearings or seals. The drawing is labeled with 'D' and 'G' at the top left, and 'G' at the bottom right. The assembly is shown in a perspective view, with dashed lines indicating hidden internal features.

SCALE:	1" = 60'
DATE:	8-6-04
PROJECT NO:	573.4
PERMIT APPLICATION NO:	

RELIMINARY GRADING  
& UTILITY PLAN  
RREY EAST BUILDING  
AND GREENHOUSES

## C.4

/ SDR SUBMITTAL


**SEE BELOW LEFT  
FOR CONTINUATION**


SEE SHEET C.5  
FOR CORE FACILITY.


**SEE ABOVE RIGHT  
FOR CONTINUATION**


SECTION 'A' - 'A'  
SALK INSTITUTE ROAD  
SCALE: 1"=10'


SECTION 'B' - 'B'  
CORREY PINES SCENIC DRIVE  
SCALE: 1" = 10'


RIGHT OF WAY LINE ..... 


EXISTING MHPA BOUNDARY LINE ..... 


PROPOSED MHPA BOUNDARY LINE ..... 


EXISTING SPOT ELEVATIONS ..... 


EXISTING CONTOUR ..... 


EXISTING SANITARY SEWER & MANHOLE ..... 


EXISTING WATER MAIN ..... 


EXISTING FIRE HYDRANT ASSEMBLY ..... 


EXISTING GATE VALVE ..... 


EXISTING STORM DRAIN ..... 


EXISTING STORM DRAIN CLEANOUT ..... 


EXISTING UNDERGROUND DRY UTILITIES ..... 


EXISTING CHAIN LINK FENCE ..... 


EXISTING RETAINING WALL ..... 


EXISTING LIGHT STANDARD ..... 


EXISTING CURB & GUTTER ..... 


EXISTING BROW DITCH ..... 


EXISTING DIRECTION OF SURFACE FLOW ..... 


FINISH CONTOUR ..... 


FINISH GRADE SPOT ELEVATION ..... 


CUT/FILL SLOPES (2:1 MAX.) ..... 


STORM DRAIN PIPE (PRIVATE) ..... 

STORM DRAIN STRUCTURE (PRIVATE) ..... 

6" STANDARD CURB (PRIVATE) ..... 

PVC SEWER MAIN (PRIVATE) ..... 

SEWER FORCE MAIN (PRIVATE) ..... 

SEWER MANHOLE (PRIVATE) ..... 

SEWER CLEANOUT (PRIVATE) ..... 

PVC WATER MAIN ..... 

FIRE HYDRANT ASSEMBLY ..... 

SEWER LATERAL (PRIVATE) ..... 

WATER LATERAL (PRIVATE) ..... 

SPOT ELEVATION ..... 283.0

LOW POINT ..... (1% MIN.)

DIRECTION OF SURFACE FLOW ..... →

RETAINING WALL ..... ————

TOP OF WALL ELEVATION ..... TW 290.0

FINISH GRADE ELEVATION ..... FG 286.0

DAYLIGHT - LIMITS OF CONSTRUCTION: ————

BUILDING FINISHED FLOOR ELEVATION ..... FF=350

1. SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.
2. SEE SHEET C.10 FOR MHPA BOUNDARY ADJUSTMENT PLAN.
3. EXISTING WATER TO REMAIN AS IS.

Name: LATITUDE 33 PLANNING &  
ENGINEERING

Address: 4933 PARAMOUNT DR. 2ND FLOOR  
SAN DIEGO, CA 92123

Phone #: 858 751-0633

Fax #: 858 751-0634

Project Address: 10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037

Project Name: THE SALK INSTITUTE  
CDP/SDP

PRELIMINARY GRADING AND  
UTILITY PLAN - TORREY EAST  
BUILDING AND GREENHOUSES

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	6-27-08
Revision 7:	3-03-08
Revision 6:	4-13-07
Revision 5:	01-19-07
Revision 4:	6-08-06
Revision 3:	4-14-06
Revision 2:	9-23-05
Revision 1:	1-5-05


Sheet Count: 15 of 29  
DEP# 44675

The diagram shows a cross-section of a bridge deck with a total width of 60 feet. The deck is divided into four segments: two 10-foot segments on the outer edges and two 20-foot segments in the center. The top surface is labeled  $R/W$  at both ends. The bottom surface has a 2% slope on the outer 10-foot segments, labeled "2:1 MAX" and "2%". The central 40-foot segment has a 2% slope, labeled "2%". A vertical centerline is indicated by a dashed line with a circle at the bottom, labeled "60'". A vertical dimension of 5.5 feet is shown on the right side, labeled "5.5'".

The diagram shows a cross-section of a bridge deck with a total width of 60 feet. The deck is divided into five segments: 10 feet on the far left, 20 feet, 20 feet, 20 feet, and 10 feet on the far right. The centerline is marked with a vertical dashed line and the letter 'C'. The top of the deck is labeled 'R/W' at both ends. The bottom of the deck is labeled '1-1 MAX' at both ends. The deck is supported by two piers, each with a width of 5.5 feet. The piers are located 10 feet from the deck edges. The deck is shown with a 2% slope on both sides of the centerline.

A vicinity map showing the project site (indicated by a shaded area) located at the intersection of Torrey Pines Scenic Dr. and Black Gold Dr. The map also shows La Jolla Farms Dr. and North Torrey Pines Rd. A north arrow is included.

H:\500\573.4\CDP\9th submittal 6-27-08\573-4-CDP-C4.dwg 7/1/2008 1:52:02 PM PDT

***Latitude 33***  
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JIM KILGORE  
RCE 46692 EXPIRES 6-30-2003



# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

# ATTACHMENT 8

SALK INSTITUTE  
FOR BIOLOGICAL STUDIES

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:

**nbbj**

130 Sutter Street, 2nd Floor  
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Fax: 415-733-2700

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Fax: 858-751-0634

LANDSCAPE:

The Office of James Burnett  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:

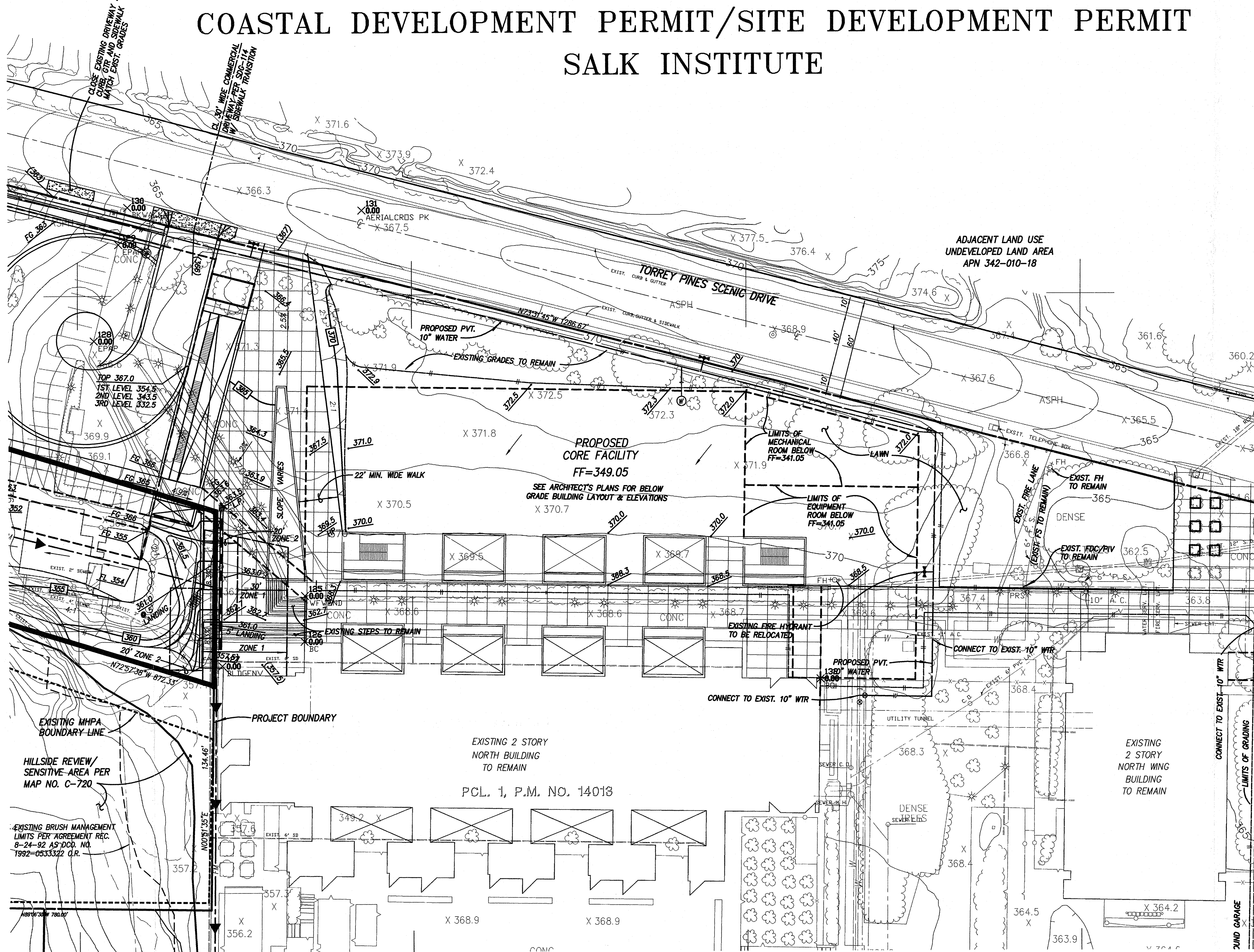
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP



SHEET LEGEND:

SEE SHEET C.6 FOR SALK COMMUNITY CENTER AND NORTH PENINSULA GARAGE



SEE SHEET C.4 FOR TORREY EAST BUILDINGS

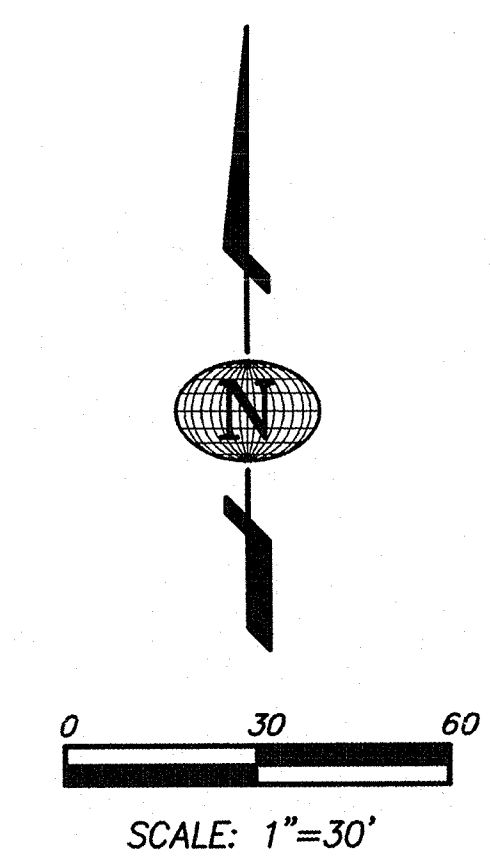
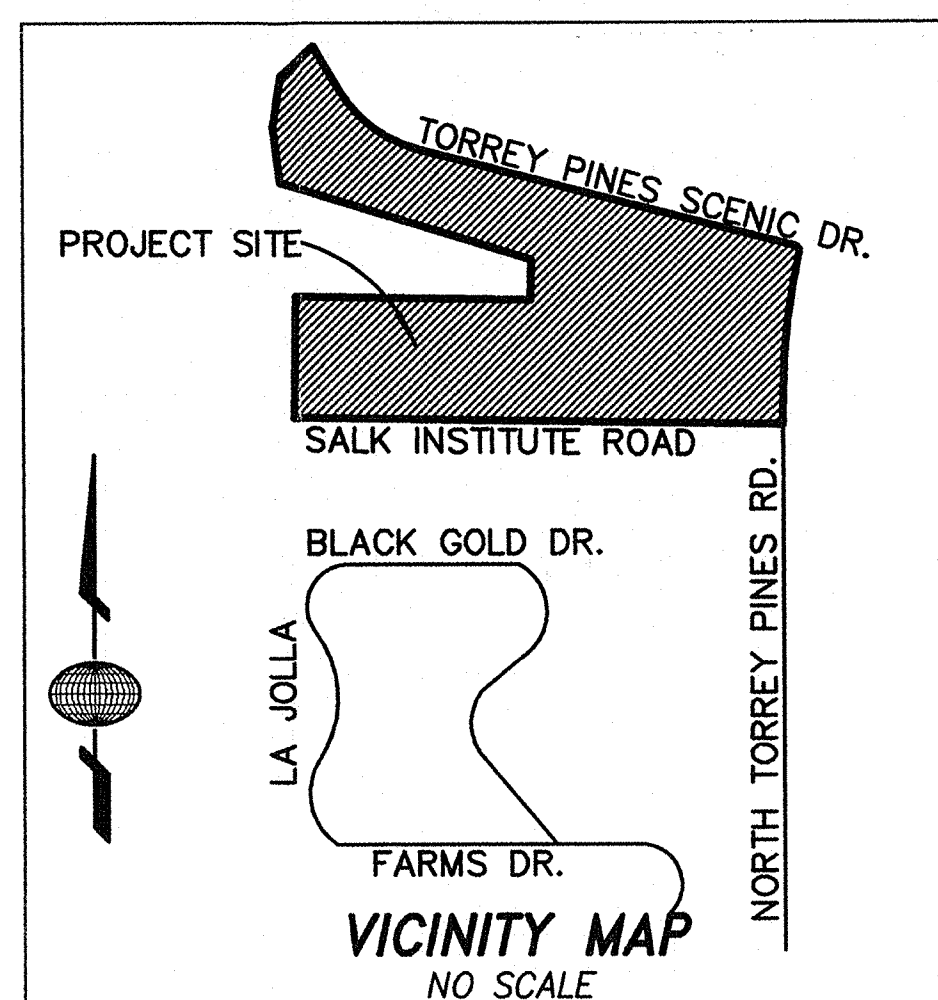
## LEGEND

BOUNDARY LINE	---
RIGHT OF WAY LINE	---
EXISTING MHPA BOUNDARY LINE	---
PROPOSED MHPA BOUNDARY LINE	---
EXISTING SPOT ELEVATIONS	263.83
EXISTING CONTOUR	260
EXISTING SANITARY SEWER & MANHOLE	SMH
EXISTING WATER MAIN	W
EXISTING FIRE HYDRANT ASSEMBLY	WY
EXISTING GATE VALVE	WV
EXISTING STORM DRAIN	S
EXISTING STORM DRAIN CLEANOUT	SC
EXISTING UNDERGROUND DRY UTILITIES	ETC
EXISTING CHAIN LINK FENCE	CLF
EXISTING RETAINING WALL	LS
EXISTING LIGHT STANDARD	LS
EXISTING CURB & GUTTER	CG
EXISTING BROW DITCH	BD
EXISTING DIRECTION OF SURFACE FLOW	---

FINISH CONTOUR	260
FINISH GRADE SPOT ELEVATION	263.83
CUT/FILL SLOPES (2:1 MAX.)	---
STORM DRAIN PIPE (PRIVATE)	SD
STORM DRAIN STRUCTURE (PRIVATE)	SDS
6" STANDARD CURB (PRIVATE)	6"
PVC SEWER MAIN (PRIVATE)	FM
SEWER FORCE MAIN (PRIVATE)	FM
SEWER MANHOLE (PRIVATE)	SMH
SEWER CLEANOUT (PRIVATE)	CO
PVC WATER MAIN	W
FIRE HYDRANT ASSEMBLY	WY
SEWER LATERAL (PRIVATE)	SL
WATER LATERAL (PRIVATE)	WL
HIGH POINT SPOT ELEVATION	HP 263.0
SPOT ELEVATION	263.0
LOW POINT	(1% MIN.)
DIRECTION OF SURFACE FLOW	---
RETAINING WALL	W 290.0
TOP OF WALL ELEVATION	FG 286.0
FINISH GRADE ELEVATION	FF=350
DAYLIGHT - LIMITS OF CONSTRUCTION	---
BUILDING FINISHED FLOOR ELEVATION	FF=350

## NOTES:

- SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS
- SEE SHEET C.10 FOR MHPA BOUNDARY ADJUSTMENT PLAN.



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Prepared By:

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Fax #: 858-751-0634

Project Address: 10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037  
Project Name: THE SALK INSTITUTE  
CDP/SDP

Sheet Title: PRELIMINARY GRADING AND  
UTILITY PLAN -  
CORE FACILITY

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	6-21-08
Revision 7:	3-03-08
Revision 6:	4-13-07
Revision 5:	01-19-07
Revision 4:	6-09-06
Revision 3:	4-14-06
Revision 2:	9-23-05
Revision 1:	1-5-05

Original Date: 8-6-04  
Sheet Count: 16 of 29  
DEP# 44675

APPROVED  
EXHIBIT "A"

Approval Date: 10/21/2008  
Permit No.: CDP 126996 SDP 127002  
M.R.P. 5/2/577  
Amendment to  
CDP/HREP/CDP NO. 90-1140

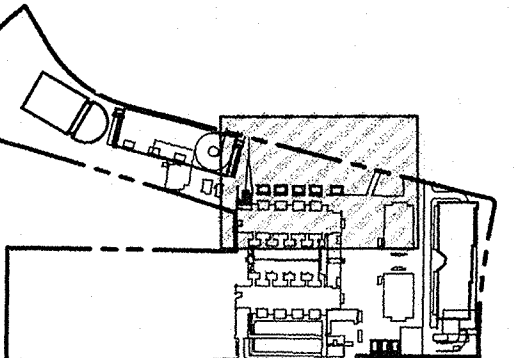
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REVISIONS:  
NO. DATE:

6-21-2008	CDP COMMENT
7-3-2008	CDP COMMENT
4-13-2007	CDP COMMENT
01-19-2007	CDP COMMENT
6-09-2006	CDP COMMENT
4-14-2006	CDP COMMENT
9-23-2005	CDP COMMENT
1-5-2005	CDP COMMENT
ORIGINAL:	8-6-04

THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:



SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO.: 573.4  
PERMIT APPLICATION NO.:

PRELIMINARY GRADING  
& UTILITY PLAN  
CORE FACILITY

C.5

CDP / SDP SUBMITTAL



# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

# ATTACHMENT 8

SALK INSTITUTE  
FOR BIOLOGICAL STUDIES

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT: **nbbj**

130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
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Fax: 415-733-2700

CIVIL: **Latitude 33**  
**Planning and Engineering**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633  
Fax: 858-751-0634

LANDSCAPE: **The Office of James Burnett**  
415 South Cedros, Suite 250  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP



SHEET LEGEND

PS#44675

## APPROVED EXHIBIT "A"

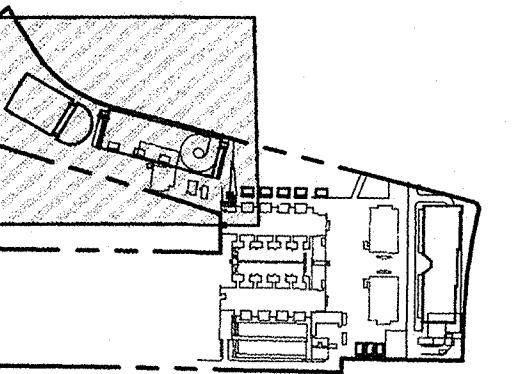
Approval Date: 10/21/2008  
Permit No: CDP 126946 / SDP 137002  
MADP 561577  
Amendment to  
CDP/SEP/CP No. 90-1140

*[Signature]*

REVISIONS:	
NO.	DATE:
6	4-21-2008 CDP COMMENTS
7	3-03-2008 CDP COMMENTS
8	4-13-2007 CDP COMMENTS
5	01-19-2007 CDP COMMENTS
4	6-08-2006 CDP COMMENTS
3	4-14-2005 CDP COMMENTS
2	9-23-2005 CDP COMMENTS
1	1-5-2005 CDP COMMENTS
ORIGINAL: 8-6-04	

THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:



SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO.:

PRELIMINARY GRADING  
& UTILITY PLAN  
SALK COMMUNITY CENTER &  
NORTH PENINSULA GARAGE

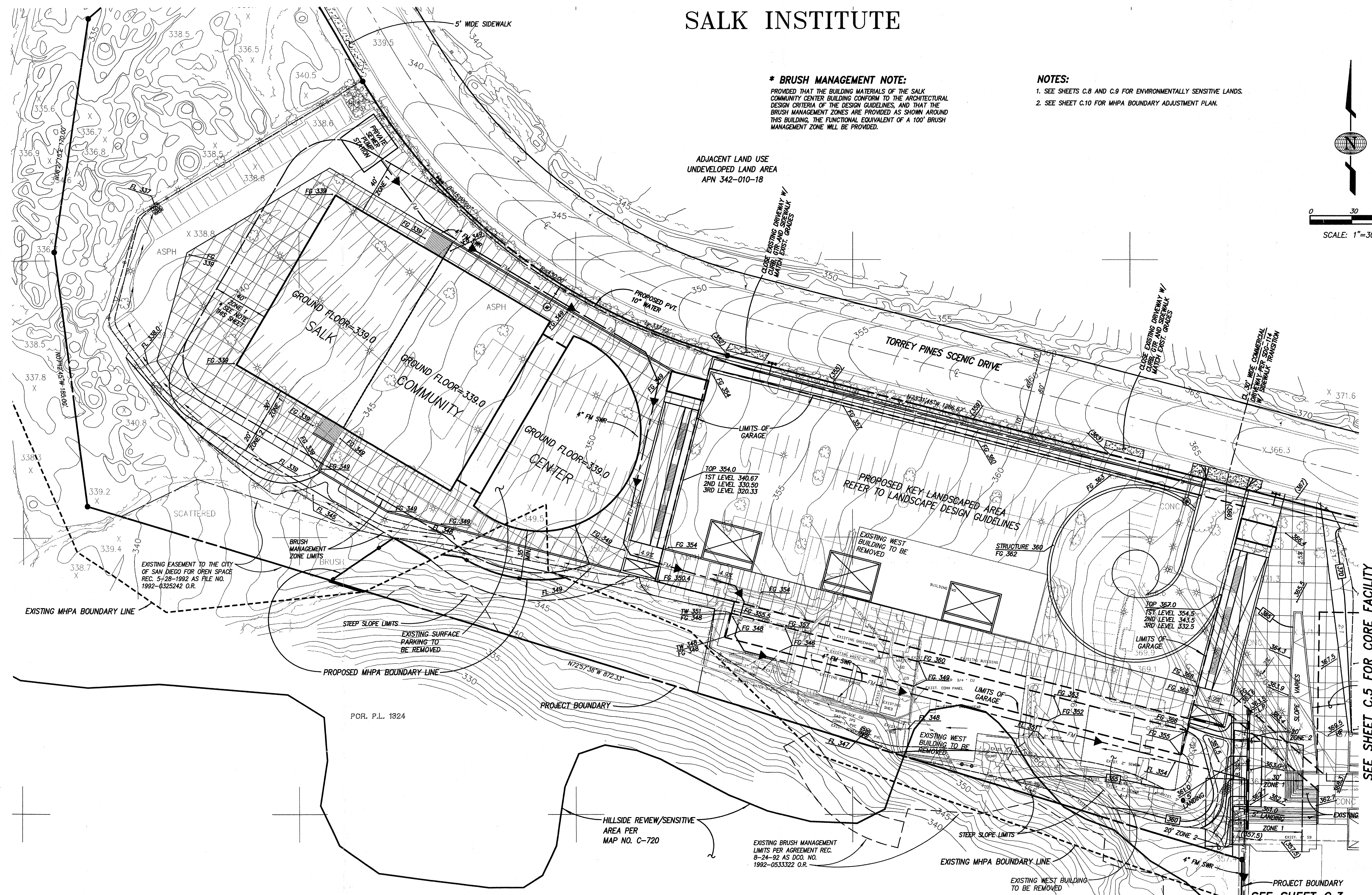
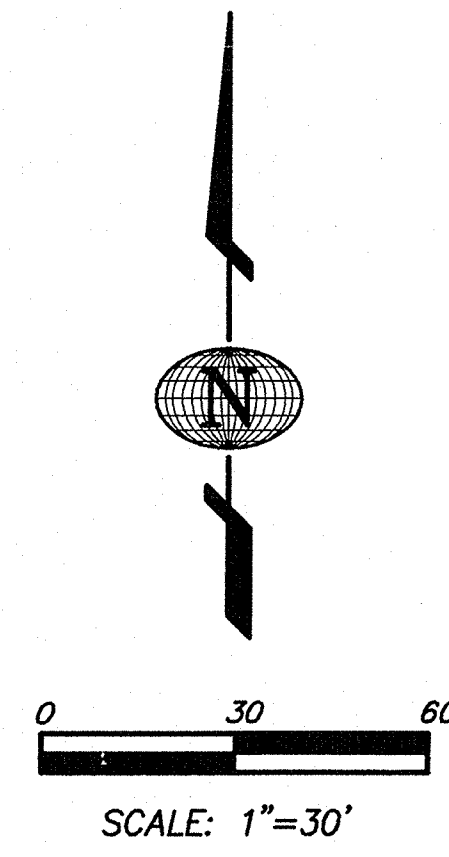
## C.6

CDP / SDP SUBMITTAL

**\* BRUSH MANAGEMENT NOTE:**  
PROVIDED THAT THE BUILDING MATERIALS OF THE SALK  
COMMUNITY CENTER BUILDING CONFORM TO THE ARCHITECTURAL  
DESIGN CRITERIA OF THE DESIGN GUIDELINES, AND THAT THE  
BRUSH MANAGEMENT ZONES ARE PROVIDED AS SHOWN AROUND  
THIS BUILDING, THE FUNCTIONAL EQUIVALENT OF A 100' BRUSH  
MANAGEMENT ZONE WILL BE PROVIDED.

ADJACENT LAND USE  
UNDEVELOPED LAND AREA  
APN 342-010-18

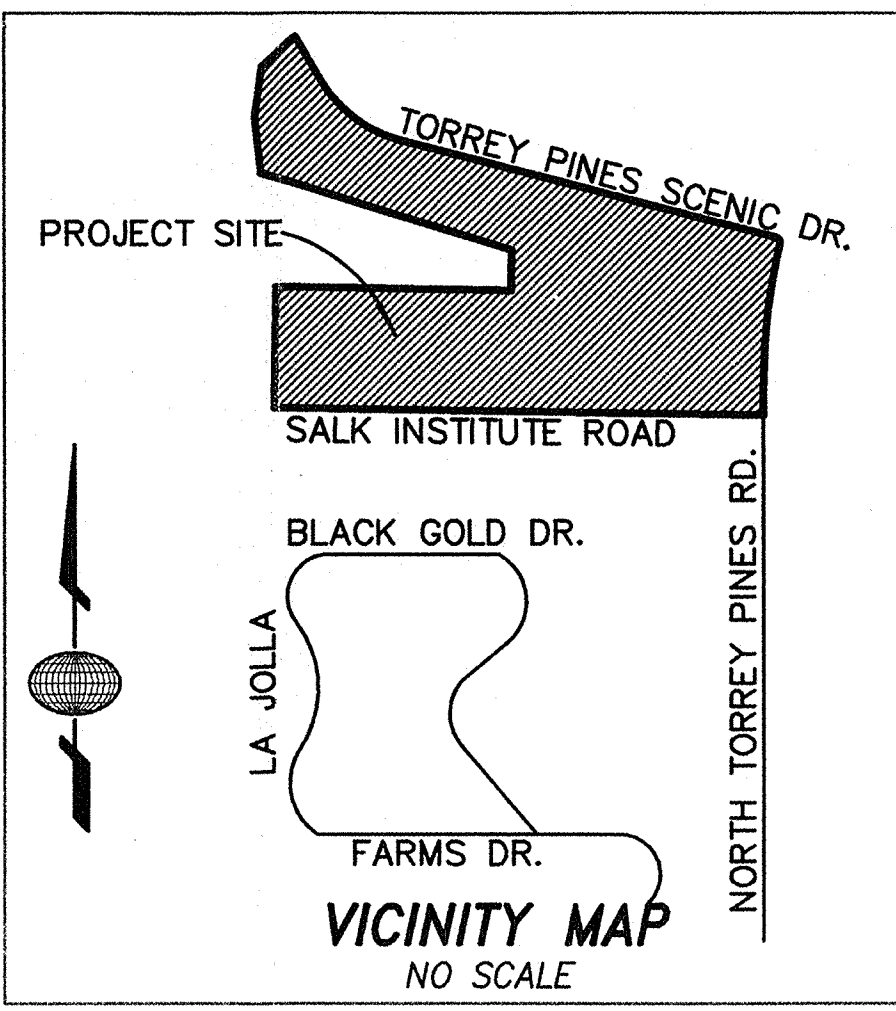
**NOTES:**  
1. SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.  
2. SEE SHEET C.10 FOR MHPA BOUNDARY ADJUSTMENT PLAN.



### LEGEND

BOUNDARY LINE	---
RIGHT OF WAY LINE	---
EXISTING MHPA BOUNDARY LINE	---
PROPOSED MHPA BOUNDARY LINE	---
EXISTING SPOT ELEVATIONS	263.83
EXISTING CONTOUR	260
EXISTING SANITARY SEWER & MANHOLE	S
EXISTING WATER MAIN	W
EXISTING FIRE HYDRANT ASSEMBLY	WV
EXISTING GATE VALVE	WV
EXISTING STORM DRAIN	S
EXISTING STORM DRAIN CLEANOUT	S
EXISTING UNDERGROUND DRY UTILITIES	---
EXISTING CHAIN LINK FENCE	---
EXISTING RETAINING WALL	---
EXISTING LIGHT STANDARD	---
EXISTING CURB & GUTTER	---
EXISTING BROW DITCH	---
EXISTING DIRECTION OF SURFACE FLOW	---

FINISH CONTOUR	---
FINISH GRADE SPOT ELEVATION	FG 283
CUT/FILL SLOPES (2:1 MAX.)	---
STORM DRAIN PIPE (PRIVATE)	---
STORM DRAIN STRUCTURE (PRIVATE)	---
6" STANDARD CURB (PRIVATE)	---
PVC SEWER MAIN (PRIVATE)	---
SEWER FORCE MAIN (PRIVATE)	---
SEWER MANHOLE (PRIVATE)	---
SEWER CLEANOUT (PRIVATE)	---
PVC WATER MAIN	---
FIRE HYDRANT ASSEMBLY	---
SEWER LATERAL (PRIVATE)	---
WATER LATERAL (PRIVATE)	---
HIGH POINT SPOT ELEVATION	HP 283.0
SPOT ELEVATION	283.0
LOW POINT	---
DIRECTION OF SURFACE FLOW	---
RETAINING WALL	---
TOP OF WALL ELEVATION	TW 280.0
FINISH GRADE ELEVATION	FG 286.0
DAYLIGHT - LIMITS OF CONSTRUCTION	---
BUILDING FINISHED FLOOR ELEVATION	FF=350



**Latitude 33**  
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Tel 858-751-0633 Fax 858-751-0634

JIM KILGORE  
RCE 46692  
EXP 6-30-2009

DATE

Prepared By:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	4933 PARAMOUNT DR. 2ND FLOOR SAN DIEGO, CA 92123	Revision 13:	
Phone #:	858 751-0633	Revision 12:	
Fax #:	858 751-0634	Revision 11:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 10:	
Project Name:	THE SALK INSTITUTE CDP/SDP	Revision 9:	
Sheet Title:	PRELIMINARY GRADING AND UTILITY PLAN - SALK COMMUNITY CENTER AND NORTH PENINSULA GARAGE	Revision 8:	6-21-08
		Revision 7:	3-03-08
		Revision 6:	4-13-07
		Revision 5:	01-19-07
		Revision 4:	6-09-06
		Revision 3:	4-14-06
		Revision 2:	9-23-05
		Revision 1:	1-5-05
		Original Date:	8-6-04
		Sheet Count:	17 of 29
		DEP#	44675



# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

# ATTACHMENT 8

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STAMP



SHEET LEGEND:

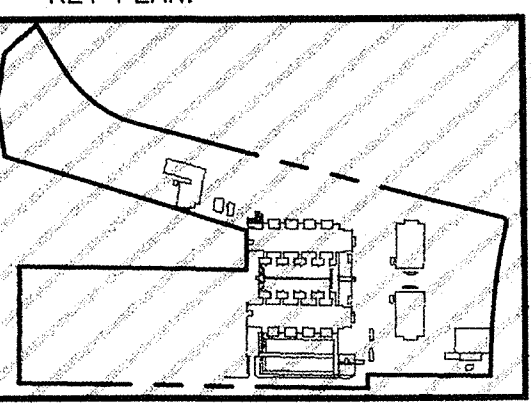
APPROVED  
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Approval Date: 10/21/2008  
Permit No. CDP120496/SDP127002  
MPPD 901577  
Amendment to  
CDP/HP/PC/UP No. 90-1140

REVISIONS:  
NO. DATE:  
6-17-2008 CDP Comments  
7-3-2008 CDP Comments  
8-13-2007 CDP Comments  
9-19-2007 CDP Comments  
4-09-2006 CDP Comments  
3-14-2006 CDP Comments  
2-9-2005 CDP Comments  
1-15-2005 CDP Comments  
ORIGINAL: 8-04

THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:

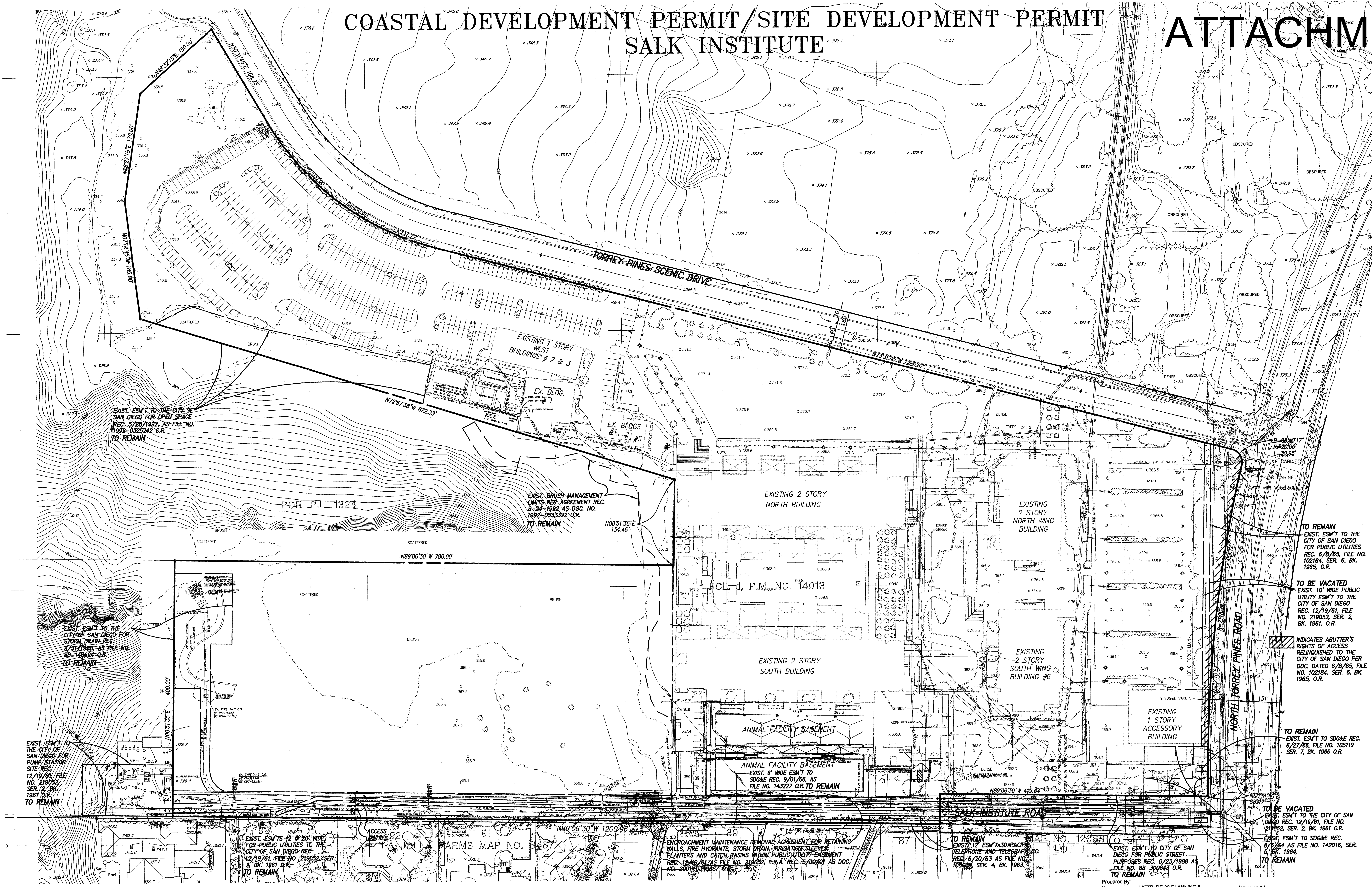


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DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO:

EXISTING EASEMENT  
VACATION PLAN

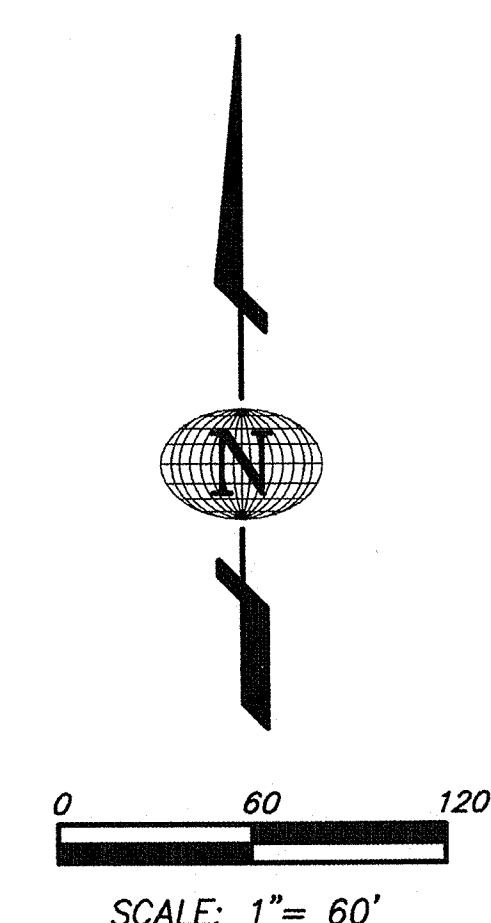
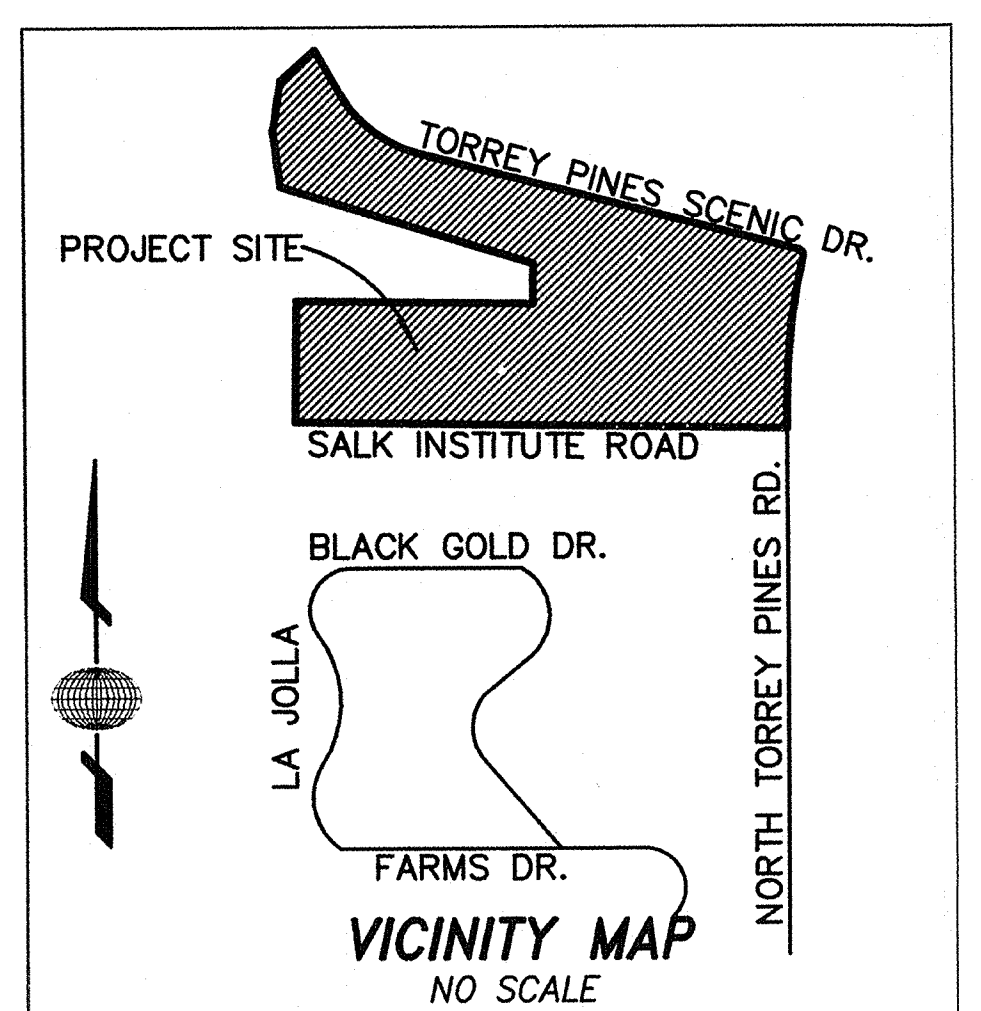
C.7

CDP / SDP SUBMITAL



## LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOUR
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING GATE VALVE
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN CLEANOUT
- EXISTING UNDERGROUND DRY UTILITIES
- EXISTING CHAIN LINK FENCE
- EXISTING RETAINING WALL
- EXISTING LIGHT STANDARD
- EXISTING CURB & GUTTER
- EXISTING BROW DITCH
- EXISTING DIRECTION OF SURFACE FLOW



**Latitude 33**  
Planning and Engineering  
4933 Paramount Dr., 2nd Fl.  
San Diego, Ca 92123  
Tel 858-751-0633 Fax 858-751-0634

JIM KILGORE  
REG. 46692 EXPIRES 6-30-2009  
DATE: 3-24-08

Prepared by:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	4933 PARAMOUNT DR., 2ND FLOOR SAN DIEGO, CA 92123	Revision 13:	
Phone #:	858 751-0633	Revision 12:	
Fax #:	858 751-0634	Revision 11:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 10:	
Project Name:	THE SALK INSTITUTE CDP/SDP	Revision 9:	
Sheet Title:	EXISTING EASEMENT VACATION PLAN	Revision 8:	6-21-08
		Revision 7:	3-03-08
		Revision 6:	4-13-07
		Revision 5:	01-19-07
		Revision 4:	6-09-06
		Revision 3:	4-14-06
		Revision 2:	9-23-05
		Revision 1:	1-5-05
		Original Date:	8-6-04
		Sheet Count:	18 of 29
		DEP#	44675



# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

# ATTACHMENT 8

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1009  
Tel: 858-453-4100

ARCHITECT:

**nbbj**

130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

CIVIL:

**Latitude 33**  
Planning and Engineering  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-751-0633  
Fax: 619-751-0634

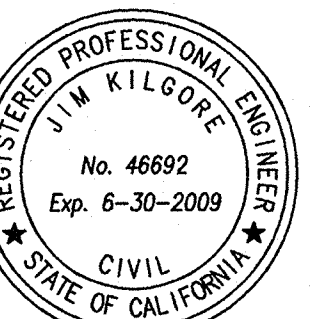
LANDSCAPE:

**The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:

**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP



SHEET LEGEND:

**APPROVED EXHIBIT "A"**

Approval Date: 10/21/2008  
Permit No. CDP12088 (SOP) 17002

Amendment to CDP12088 (SOP) No. 90-1140

*[Signature]*

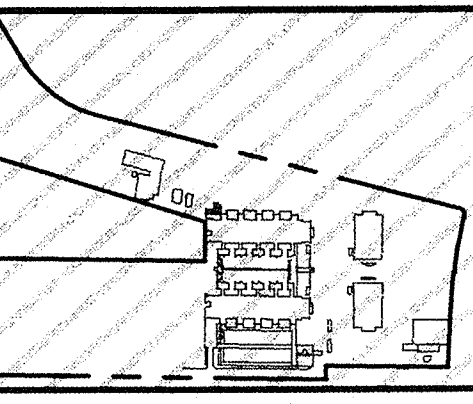
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THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:



SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO:

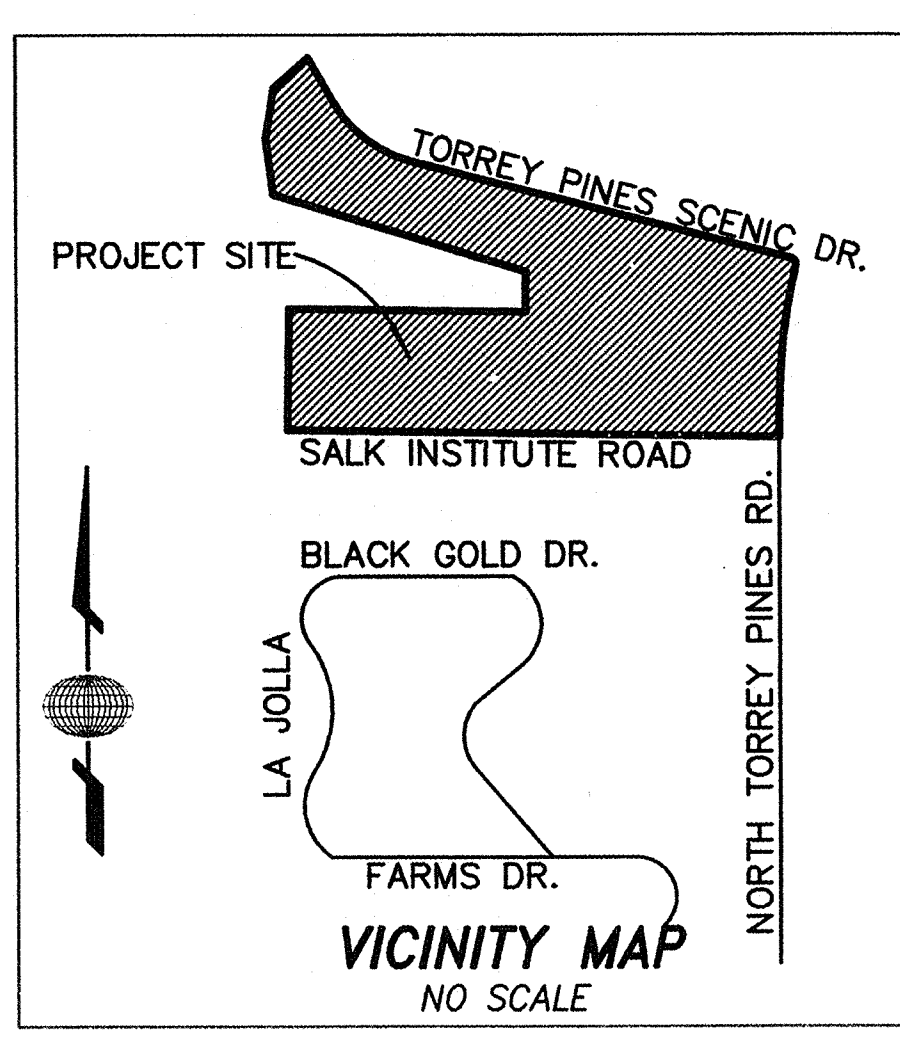
EXISTING EASEMENT  
VACATION PLAN

**C.7**

CDP / SDP SUBMITTAL

## LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOUR
- EXISTING SANITARY SEWER & MANHOLE
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- EXISTING FIRE HYDRANT ASSEMBLY
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- EXISTING LIGHT STANDARD
- EXISTING CURB & GUTTER
- EXISTING BROW DITCH
- EXISTING DIRECTION OF SURFACE FLOW



SCALE: 1" = 60'

**Latitude 33**  
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JW KILGORE  
REG. 46692  
EXPIRES 6-30-2009

Prepared By: **LATITUDE 33 PLANNING & ENGINEERING**  
Address: **4933 PARAMOUNT DR. 2ND FLOOR  
SAN DIEGO, CA 92123**  
Phone #: **858 751-0633**  
Fax #: **858 751-0634**  
Project Address: **10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037**  
Project Name: **THE SALK INSTITUTE  
CDP/SDP**

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: **6-27-08**  
Revision 7: **3-03-08**  
Revision 6: **4-13-07**  
Revision 5: **01-19-07**  
Revision 4: **6-09-06**  
Revision 3: **4-14-06**  
Revision 2: **9-23-05**  
Revision 1: **1-5-05**  
Original Date: **8-6-04**  
Sheet Count: **18** of **29**  
DEP# **44675**

Sheet Title:

EXISTING EASEMENT  
VACATION PLAN



COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT  
SALK INSTITUTE

ATTACHMENT 8

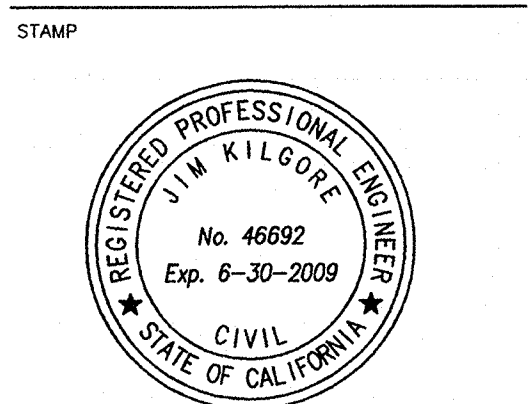
SALK INSTITUTE  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:  
**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

CIVIL: Latitude 33  
Planning and Engineering  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-751-0633  
Fax: 619-751-0634

LANDSCAPE: The Office of James Burnett  
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Solano Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515



SHEET LEGEND:

PR # 44675  
**APPROVED  
EXHIBIT "A"**

Approval Date: 10/21/2008  
Permit No. CDP126996/SDP127002  
MPO: 201577  
Amendment to  
CDP126996/SDP127002

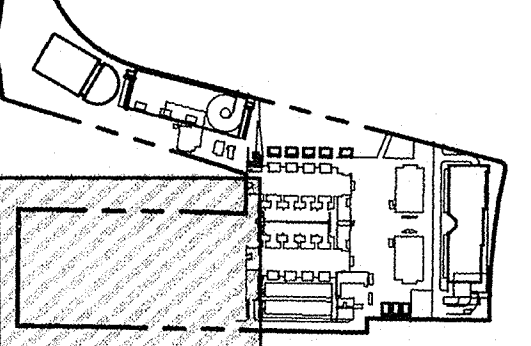
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THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:



SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO.: 573-4  
PERMIT APPLICATION NO.:  
ENVIRONMENTALLY SENSITIVE  
LANDS & DEVELOPMENT  
SUITABILITY ANALYSIS  
SOUTH PENINSULA  
NO DEVELOPMENT PROPOSED

**C.8**

CDP / SDP SUBMITTAL

LEGEND

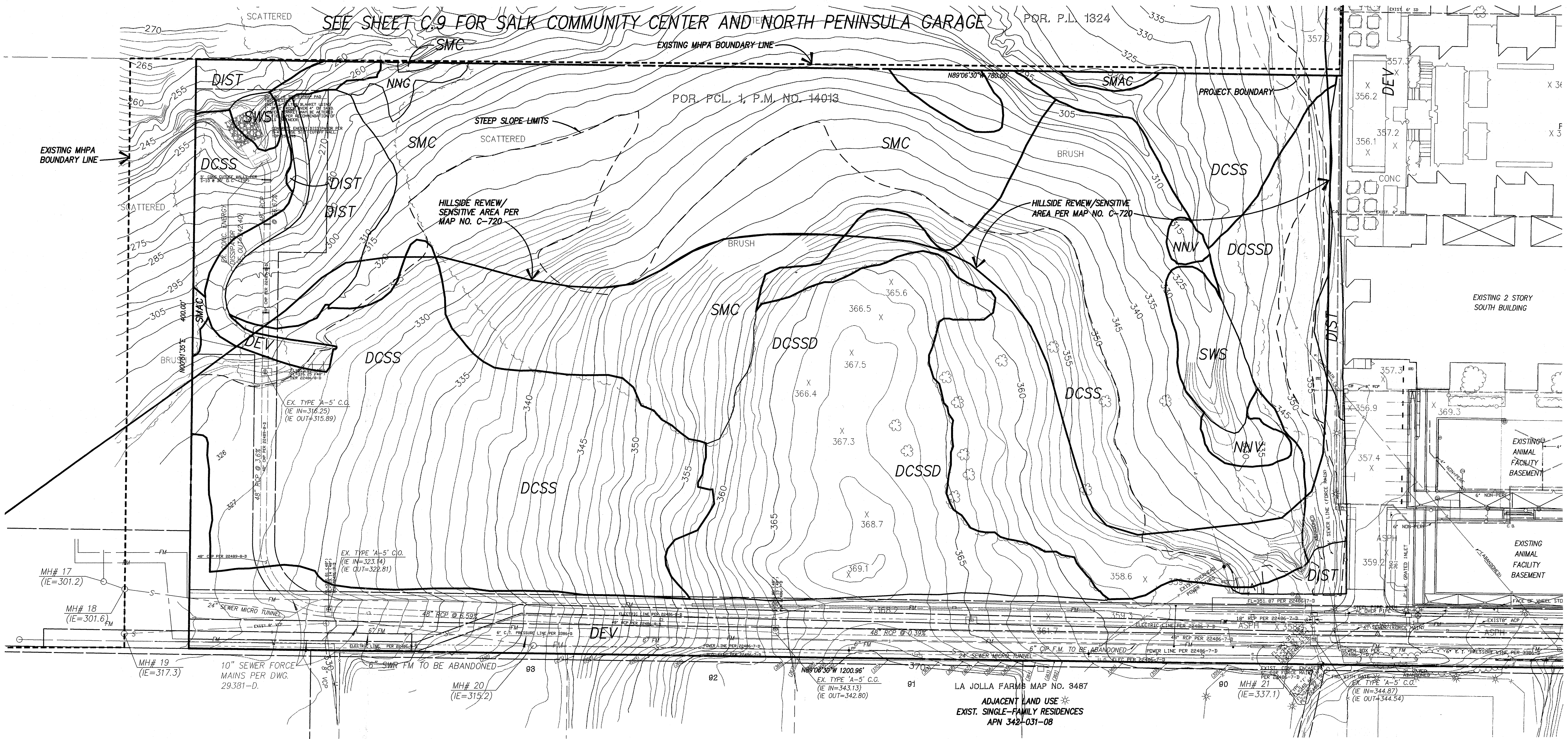
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EXISTING SPOT ELEVATIONS	260 263.83
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EXISTING SANITARY SEWER & MANHOLE	SMH
EXISTING WATER MAIN	W
EXISTING FIRE HYDRANT ASSEMBLY	WV
EXISTING GATE VALVE	GV
EXISTING STORM DRAIN	SD
EXISTING STORM DRAIN CLEANOUT	SDC

EXISTING UNDERGROUND DRY UTILITIES	---
EXISTING CHAIN LINK FENCE	---
EXISTING RETAINING WALL	---
EXISTING LIGHT STANDARD	---
EXISTING CURB & GUTTER	---
EXISTING BROW DITCH	---
EXISTING DIRECTION OF SURFACE FLOW	---
FINISH CONTOUR	260
FINISH GRADE SPOT ELEVATION	FG 283
CUT/FILL SLOPES (2:1 MAX.)	---
STORM DRAIN PIPE (PRIVATE)	---
STORM DRAIN STRUCTURE (PRIVATE)	---

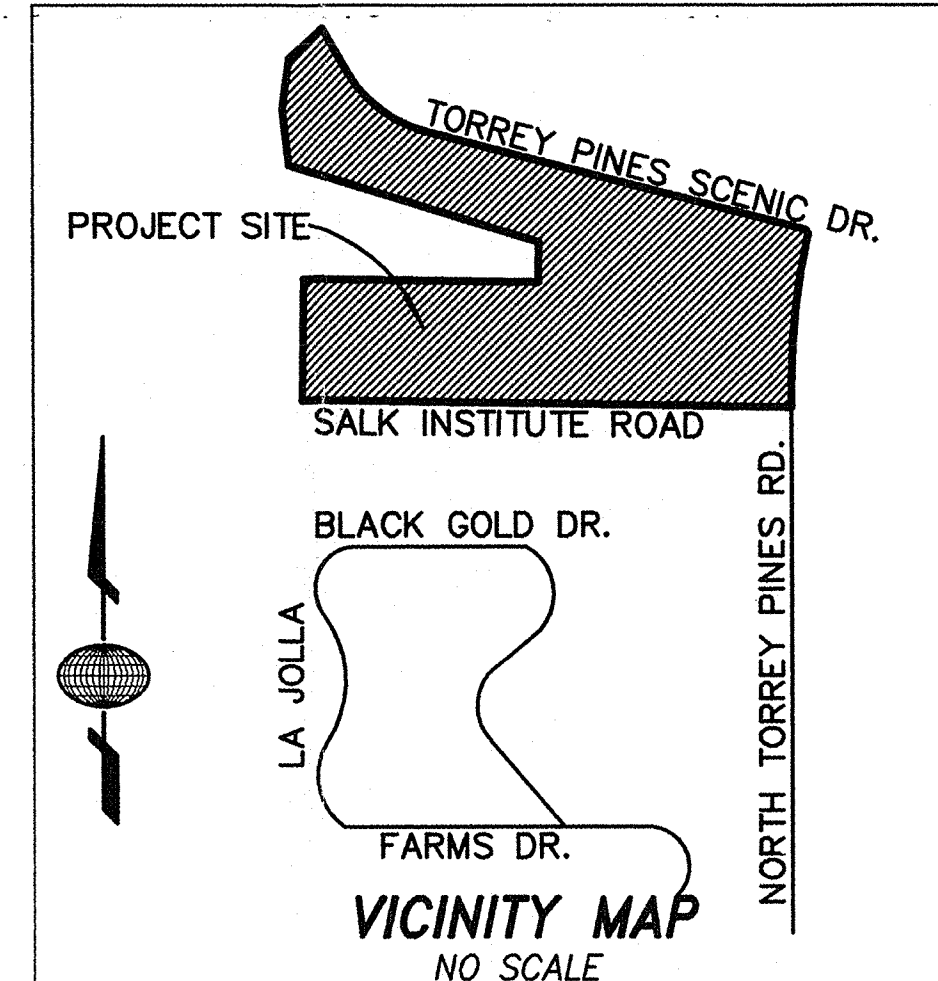
6" STANDARD CURB (PRIVATE)	---
HIGH POINT SPOT ELEVATION	HP 283.0
SPOT ELEVATION	283.0
LOW POINT	(1% MIN.)
DIRECTION OF SURFACE FLOW	---
RETAINING WALL	---
TOP OF WALL ELEVATION	TW 290.0
FINISH GRADE ELEVATION	FG 288.0
DAYLIGHT - LIMITS OF CONSTRUCTION	---
BUILDING FINISHED FLOOR ELEVATION	FF=350

NOTE:

THERE ARE NO MAPPED GEOLOGIC HAZARD LIMITS  
PER CITY MAP C-720 WITHIN THIS PROPERTY.



LEGEND	VEGETATION COMMUNITIES / HABITAT IMPACT AREA
SWS	SOUTHERN WILLOW SCRUB
VP	BASIN (VERNAL POOL)
MSS	MARITIME SUCCULENT SCRUB
DCSS	DIEGAN COASTAL SAGE SCRUB
DCSSD	DIEGAN COASTAL SAGE SCRUB - DISTURBED
SMAC	SOUTHERN MARITIME CHAPPARAL
SMC	SOUTHERN MIXED CHAPPARAL
NNG	NON-NATIVE GRASSLAND
DIST	DISTURBED HABITAT
ORN	ORNAMENTAL
DEV	DEVELOPED



Latitude 33  
Planning and Engineering  
4933 Paramount Dr., 2nd Fl.  
San Diego, CA 92123  
Tel: 619-751-0633 Fax: 619-751-0634

Prepared By:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Address:	4933 PARAMOUNT DR., 2ND FLOOR SAN DIEGO, CA 92123	Revision 13:	
Phone #:	619 751-0633	Revision 12:	
Fax #:	619 751-0634	Revision 11:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 10:	
Project Name:	THE SALK INSTITUTE CDP/SDP	Revision 9:	
		Revision 8:	6-21-06
		Revision 7:	3-03-08
		Revision 6:	4-13-07
		Revision 5:	01-19-07
		Revision 4:	6-09-06
		Revision 3:	4-14-06
		Revision 2:	9-23-05
		Revision 1:	1-5-05
		Original Date:	8-6-04
Sheet Title:	ENVIRONMENTALLY SENSITIVE LANDS AND DEVELOPMENT SUITABILITY ANALYSIS - DAY CARE FACILITY AND RESIDENTIAL QUARTERS	Sheet Count:	19 of 29
		DEP#	44675



COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT  
SALK INSTITUTE

ATTACHMENT 8

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT: **nbbj**  
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CIVIL: **Latitude 33**  
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San Diego, CA 92123  
Tel: 619-462-0552  
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LANDSCAPE: **The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
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Environmental Planning:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515



SHEET LEGEND:

NOTE:

THERE ARE NO MAPPED GEOLOGIC HAZARD LIMITS PER CITY MAP C-720 WITHIN THIS PROPERTY.

\* BRUSH MANAGEMENT NOTE:

PROVIDED THAT THE BUILDING MATERIALS OF THE SALK COMMUNITY CENTER BUILDING CONFORM TO THE ARCHITECTURAL DESIGN CRITERIA OF THE DESIGN GUIDELINES, AND THAT THE BRUSH MANAGEMENT ZONES ARE PROVIDED AS SHOWN AROUND THIS BUILDING, THE FUNCTIONAL EQUIVALENT OF A 100' BRUSH MANAGEMENT ZONE WILL BE PROVIDED.

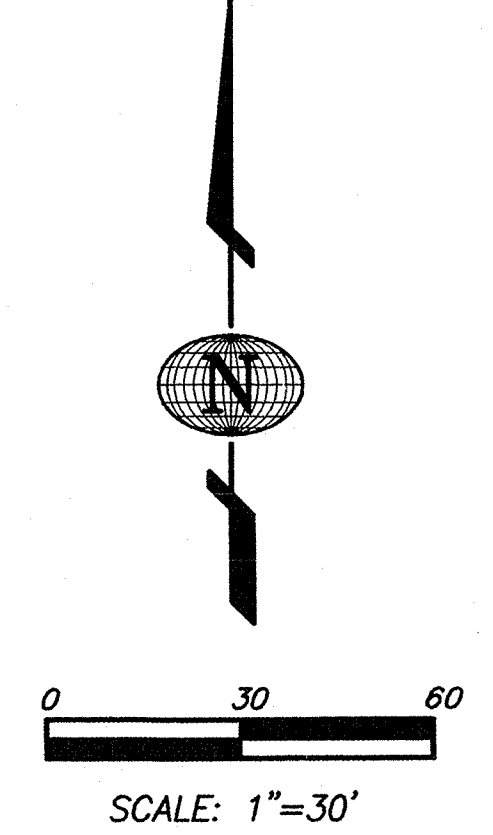
ADJACENT LAND USE  
UNDEVELOPED LAND AREA  
APN 342-010-18

LEGEND

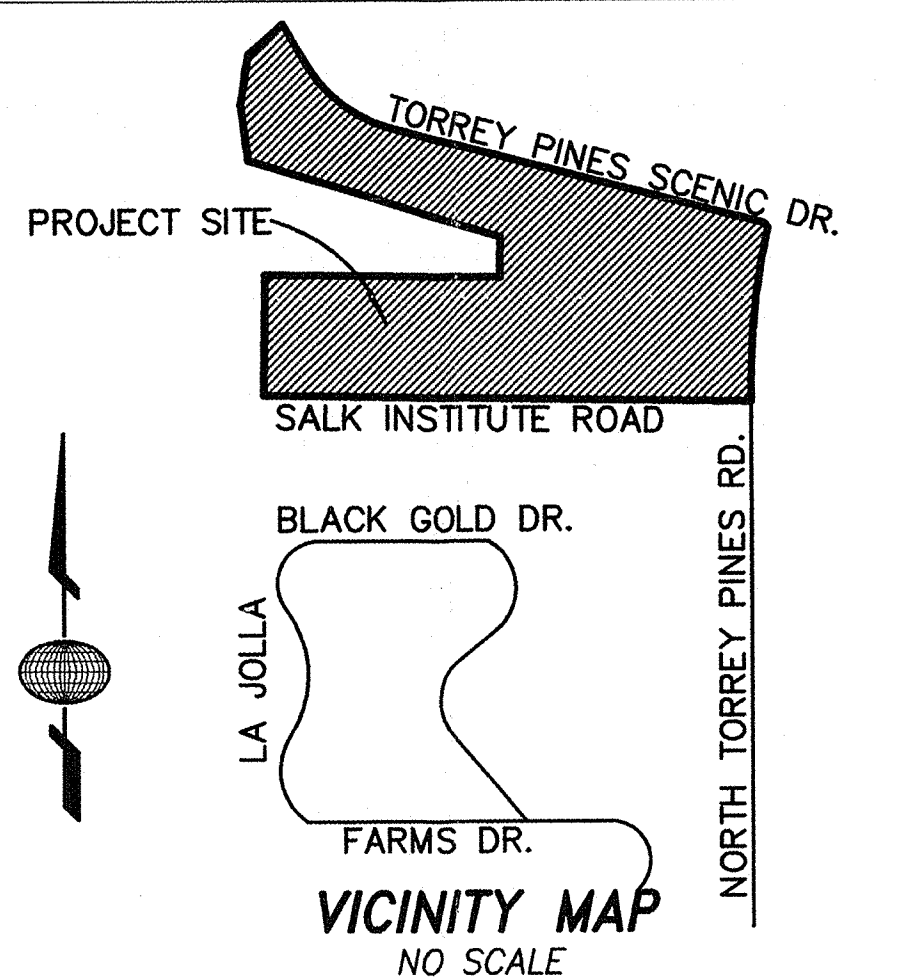
- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING MHPA BOUNDARY LINE
- PROPOSED MHPA BOUNDARY LINE
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOUR
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING GATE VALVE
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN CLEANOUT
- EXISTING UNDERGROUND DRY UTILITIES
- EXISTING CHAIN LINK FENCE
- EXISTING RETAINING WALL
- EXISTING LIGHT STANDARD
- EXISTING CURB & GUTTER
- EXISTING BROW DITCH
- EXISTING DIRECTION OF SURFACE FLOW

- FINISH CONTOUR
- FINISH GRADE SPOT ELEVATION
- CUT/FILL SLOPES (2:1 MAX.)
- STORM DRAIN PIPE (PRIVATE)
- STORM DRAIN STRUCTURE (PRIVATE)
- 6" STANDARD CURB (PRIVATE)
- HIGH POINT SPOT ELEVATION
- SPOT ELEVATION
- LOW POINT
- DIRECTION OF SURFACE FLOW
- RETAINING WALL
- TOP OF WALL ELEVATION
- FINISH GRADE ELEVATION
- DAYLIGHT - LIMITS OF CONSTRUCTION
- BUILDING FINISHED FLOOR ELEVATION

SEE SHEET C.8 FOR  
SOUTH PENINSULA



LEGEND	VEGETATION COMMUNITIES / HABITAT IMPACT AREA
SWS	SOUTHERN MALLOW SCRUB
VP	BASIN (VERNAL POOL)
MSS	MARITIME SUCCULENT SCRUB
DCSS	DIEGAN COASTAL SAGE SCRUB
DCSSD	DIEGAN COASTAL SAGE SCRUB - DISTURBED
SMAC	SOUTHERN MARITIME CHAPARRAL
SMC	SOUTHERN MIXED CHAPARRAL
NNG	NON-NATIVE GRASSLAND
DIST	DISTURBED HABITAT
ORN	ORNAMENTAL
DEV	DEVELOPED



**Latitude 33**  
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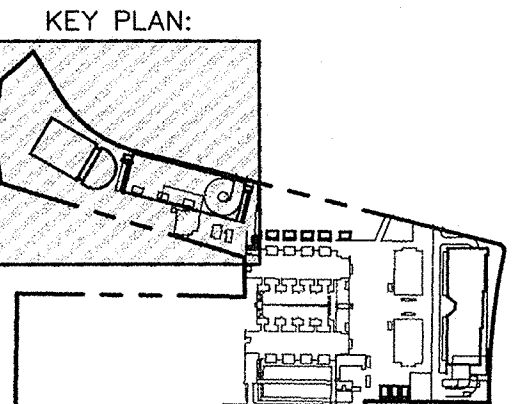
JIM KILGORE  
REG. 46692 EXPIRES 6-30-2009

3218  
DATE

Name: **LATITUDE 33 PLANNING & ENGINEERING**  
Address: **4933 PARAMOUNT DR. 2ND FLOOR  
SAN DIEGO, CA 92123**  
Phone #: **619-462-0552**  
Fax #: **619-462-0552**  
Project Address: **10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037**  
Project Name: **THE SALK INSTITUTE  
CDP/SDP**

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: **6-21-08**  
Revision 7: **3-03-08**  
Revision 6: **4-13-07**  
Revision 5: **01-19-07**  
Revision 4: **6-09-06**  
Revision 3: **4-14-06**  
Revision 2: **9-23-05**  
Revision 1: **1-5-05**  
Original Date: **8-6-04**  
Sheet Count: **20** of **29**  
DEP#: **44675**

THE SALK INSTITUTE  
CDP/SDP



SCALE: 1"= 60'  
DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO:

ENVIRONMENTALLY SENSITIVE  
LANDS & DEVELOPMENT  
SUITABILITY ANALYSIS  
SALK COMMUNITY CENTER &  
NORTH PENINSULA GARAGE

**C.9**

CDP / SDP SUBMITTAL



# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

# ATTACHMENT 8

SALK INSTITUTE  
FOR BIOLOGICAL STUDIES

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:

**nbbj**

139 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

CIVIL:

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Planning and Engineering  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-751-0633  
Fax: 619-751-0634

LANDSCAPE:

The Office of James Burnett  
415 South Cedros, Suite 260  
Solano Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:

Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP



SHEET LEGEND:

APPROVED  
EXHIBIT "A"

Approval Date: 10/21/2008  
Permit No. CDP 124996/SDP 127002  
MPPD 561577

Amendment to  
CDP/HREP/CDP No. 90-1140

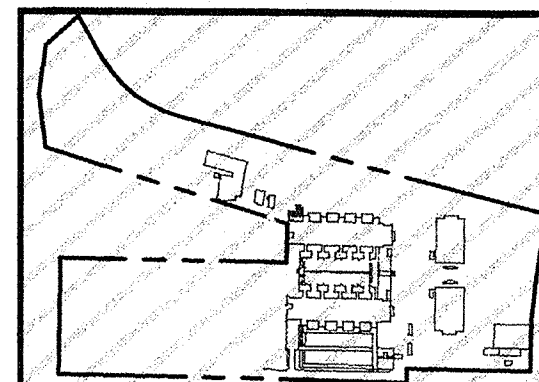
REVISIONS:

NO. DATE:

1. 6-27-2008 CDP COMMENTS  
2. 3-23-2008 CDP COMMENTS  
3. 4-13-2007 CDP COMMENTS  
4. 01-19-2007 CDP COMMENTS  
5. 01-19-2007 CDP COMMENTS  
6. 09-2006 CDP COMMENTS  
7. 4-14-2006 CDP COMMENTS  
8. 9-23-2005 CDP COMMENTS  
9. 1-5-2005 CDP COMMENTS  
ORIGINAL: 8-6-04

THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:

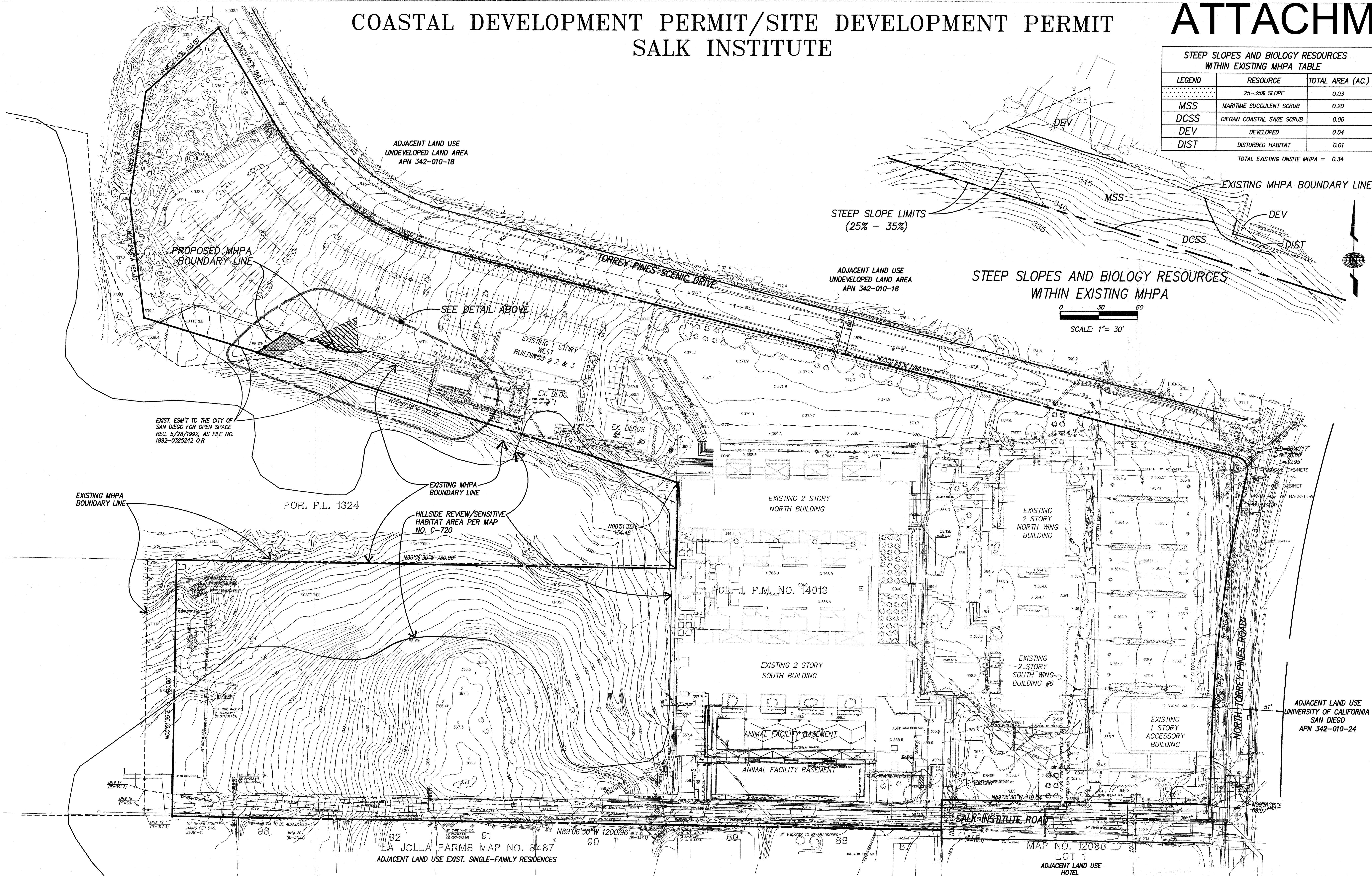


SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO.: 573.4  
PERMIT APPLICATION NO.:  
MHPA BOUNDARY  
ADJUSTMENT PLAN

C.10

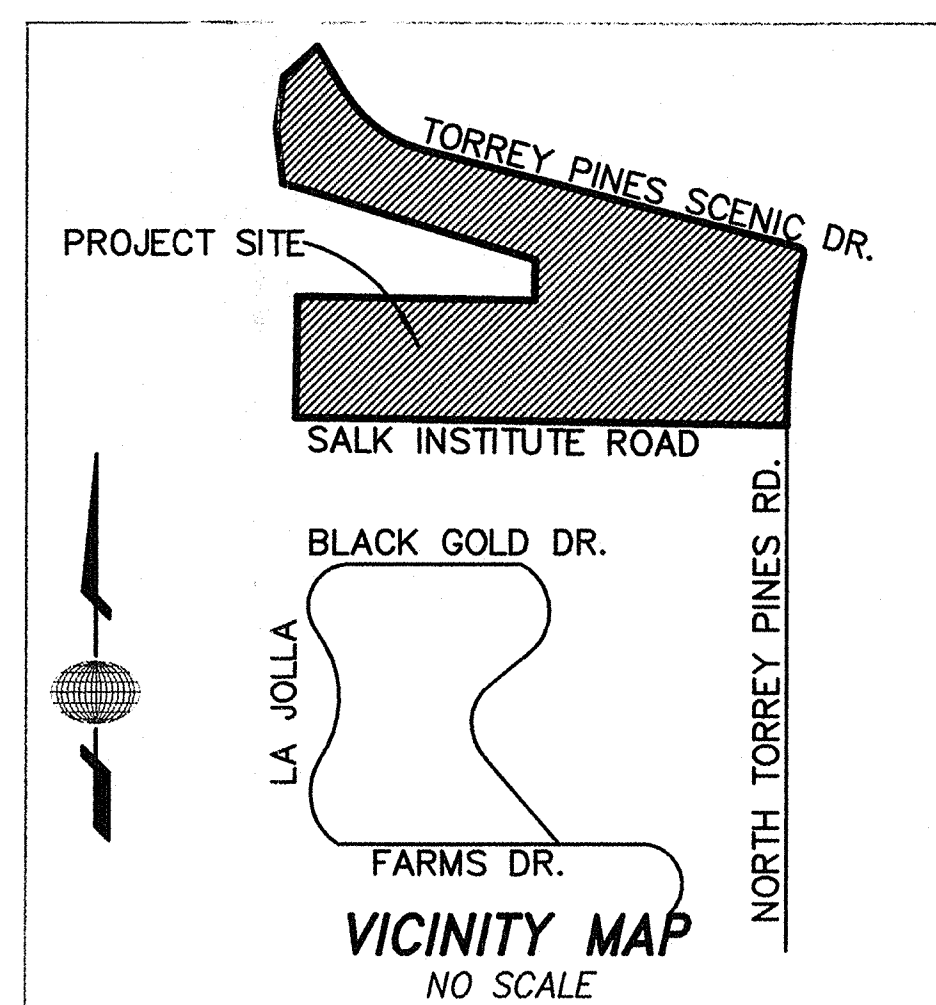
CDP / SDP SUBMITTAL

STEEP SLOPES AND BIOLOGY RESOURCES WITHIN EXISTING MHPA TABLE		
LEGEND	RESOURCE	TOTAL AREA (AC.)
	25-35% SLOPE	0.03
MSS	MARITIME SUCCULENT SCRUB	0.20
DCSS	DEGAN COASTAL SAGE SCRUB	0.06
DEV	DEVELOPED	0.04
DIST	DISTURBED HABITAT	0.01
		TOTAL EXISTING ONSITE MHPA = 0.34



## LEGEND

BOUNDARY LINE	---
RIGHT OF WAY LINE	---
EXISTING MHPA BOUNDARY LINE	---
PROPOSED MHPA BOUNDARY LINE	---
EXISTING SPOT ELEVATIONS	263.83
EXISTING CONTOUR	260
EXISTING SANITARY SEWER & MANHOLE	SS
EXISTING WATER MAIN	W
EXISTING FIRE HYDRANT ASSEMBLY	HV
EXISTING GATE VALVE	GV
EXISTING STORM DRAIN	SD
EXISTING STORM DRAIN CLEANOUT	SC
EXISTING UNDERGROUND DRY UTILITIES	U
EXISTING CHAIN LINK FENCE	CL
EXISTING RETAINING WALL	LS
EXISTING LIGHT STANDARD	LS
EXISTING CURB & GUTTER	CG
EXISTING BROW DITCH	BD
EXISTING DIRECTION OF SURFACE FLOW	---

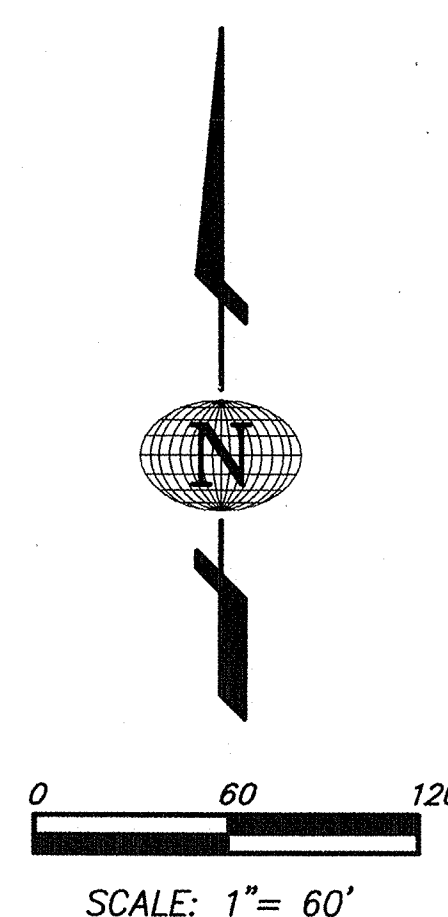


## PROPOSED MHPA DATA

AREA REMOVED FROM EXISTING MHPA = 0.05 ACRES

AREA ADDED TO EXISTING MHPA = 0.03 ACRES

MHPA BOUNDARY ADJUSTMENT				
VEGETATION COMMUNITY	TIER	MHPA ADDITION (ACRES)	MHPA REMOVAL (ACRES)	NET (ACRES)
MARITIME SUCCULENT SCRUB	I	0.03	0.02	+0.01
DISTURBED HABITAT	IV	0.00	0.01	-0.01
DEVELOPED		0.00	0.02	-0.02
TOTAL		0.03	0.05	-0.02



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JIM KILGORE  
No. 46692 EXPIRES 6-30-2009

DATE

Prepared By: LATITUDE 33 PLANNING & ENGINEERING  
Address: 4933 PARAMOUNT DR., 2ND FLOOR, SAN DIEGO, CA 92123  
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Fax #: 619-751-0634  
Project Address: 10010 NORTH TORREY PINES ROAD, LA JOLLA, CALIFORNIA 92037  
Project Name: THE SALK INSTITUTE CDP/SDP  
Sheet Title: MHPA BOUNDARY ADJUSTMENT PLAN

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
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Revision 5: 01-19-07  
Revision 4: 6-09-06  
Revision 3: 4-14-06  
Revision 2: 9-23-05  
Revision 1: 1-5-05  
Original Date: 8-6-04  
Sheet Count: 21 of 29  
DEP#: 44875



# ATTACHMENT 8

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

***nbbj***

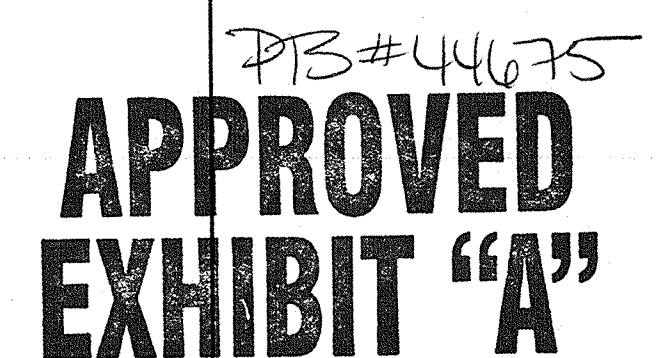
**Latitude 33**  
**g and Engineering**  
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**Helix Environmental Planning, Inc.**  
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La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

A circular professional engineer seal for the State of California. The outer ring contains the text "REGISTERED PROFESSIONAL ENGINEER" at the top and "STATE OF CALIFORNIA" at the bottom, separated by two stars. The inner circle contains the name "JIM KILGORE" at the top, the number "No. 46592" in the center, and the expiration date "Exp. 6-30-2009" below it. The word "CIVIL" is written at the bottom of the inner circle.

**SHEET LEGEND:**



Approval Date 10/21/2008  
Permit No. COP 126996 / SDP 127002  
MPDP 361577  
Amendment to  
COP / HRP / AUP No. 90-146

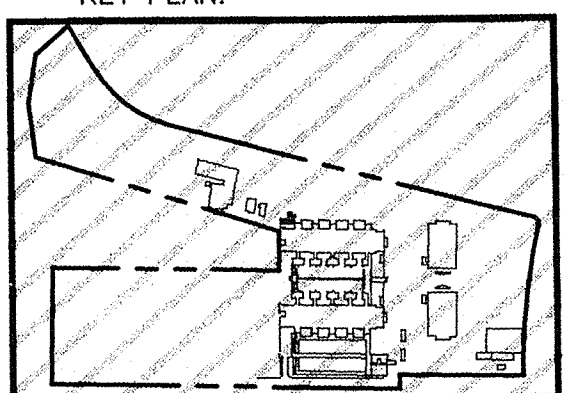
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NO: DATE:

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7. 3-03-2008 CDP COMMENTS  
6. 4-13-2007 CDP COMMENTS  
5. 01-19-2007 CDP COMMENTS  
4. 6-09-2006 CDP COMMENTS  
3. 4-14-2006 CDP COMMENTS  
2. 9-23-2005 CDP COMMENTS  
1. 1-5-2005 CDP COMMENTS  
ORIGINAL: 8-6-04

THE SALK INSTITUTE  
CDP/SDP

**KEY PLAN:**



SCALE:	1" = 60'
DATE:	8-6-04
PROJECT NO:	573.4
PERMIT APPLICATION NO.:	

## SLOPE ANALYSIS

## C.11

CDP / SDP SUBMITTAL

BOUNDARY LINE \_\_\_\_\_

RIGHT OF WAY LINE \_\_\_\_\_

EXISTING MH/PA BOUNDARY LINE \_\_\_\_\_

PROPOSED MH/PA BOUNDARY LINE \_\_\_\_\_

EXISTING SPOT ELEVATIONS \_\_\_\_\_

EXISTING CONTOUR \_\_\_\_\_

EXISTING SANITARY SEWER & MANHOLE \_\_\_\_\_

EXISTING WATER MAIN \_\_\_\_\_

EXISTING FIRE HYDRANT ASSEMBLY \_\_\_\_\_

EXISTING GATE VALVE \_\_\_\_\_

EXISTING STORM DRAIN \_\_\_\_\_

EXISTING STORM DRAIN CLEANOUT \_\_\_\_\_

EXISTING UNDERGROUND DUT UTILITIES \_\_\_\_\_

EXISTING CHAIN LINK FENCE \_\_\_\_\_

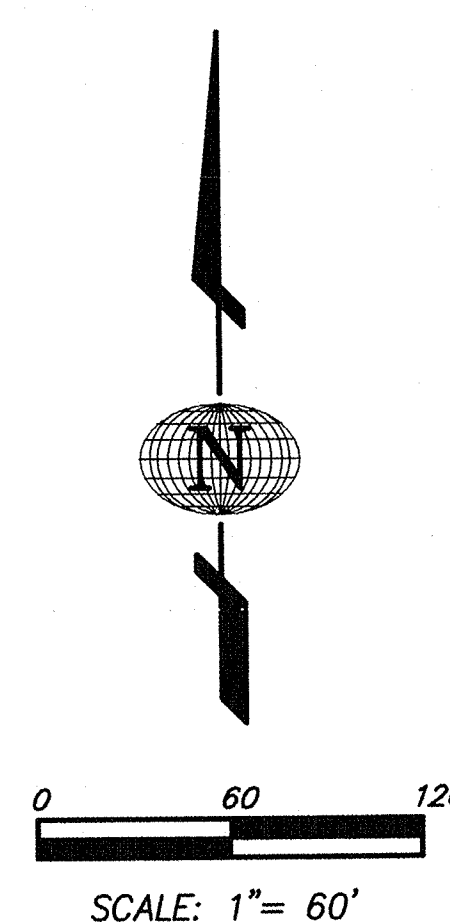
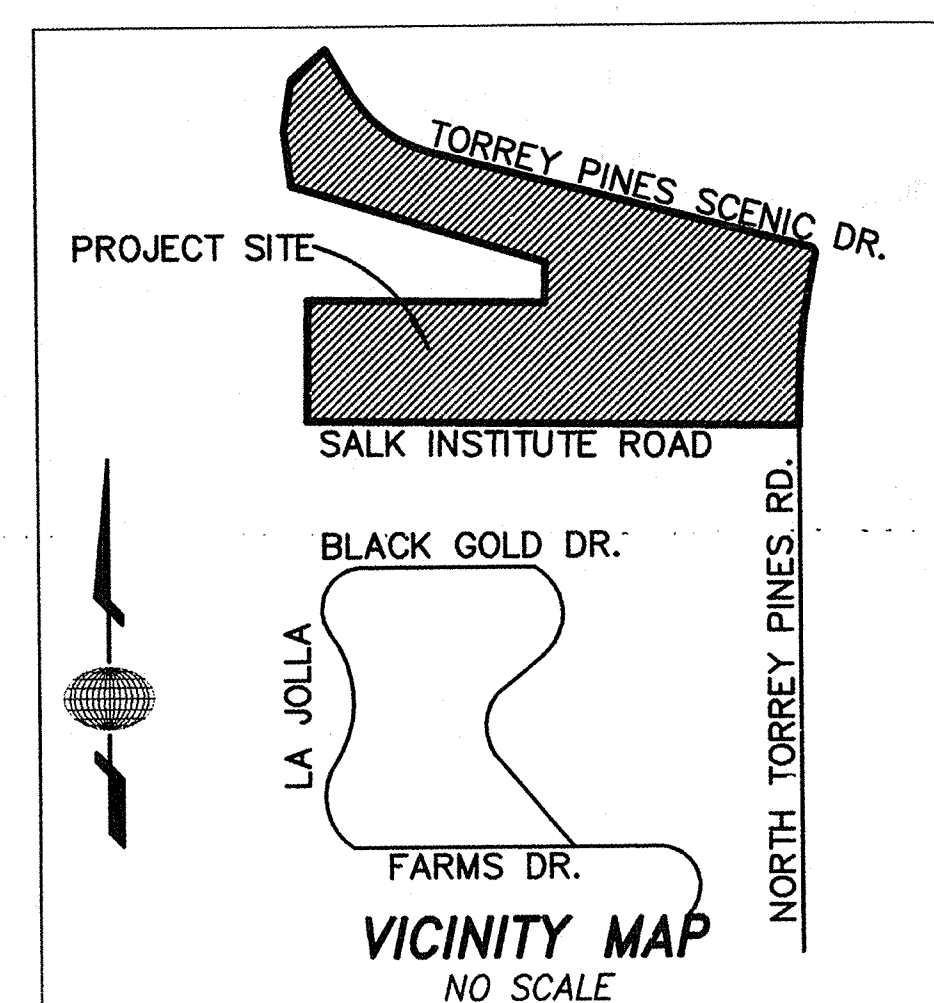
EXISTING RETAINING WALL \_\_\_\_\_

EXISTING LIGHT STANDARD \_\_\_\_\_

EXISTING CURB & GUTTER \_\_\_\_\_

EXISTING BROW DITCH \_\_\_\_\_

EXISTING DIRECTION OF SURFACE FLOW \_\_\_\_\_



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JIM KILGORE  
RCE 46692 EXPIRES 6-30-2009

Prepared By: \_\_\_\_\_

Name: LATITUDE 33 PLANNING &  
ENGINEERING

Address: 4933 PARAMOUNT DR., 2ND FLOOR  
SAN DIEGO, CA 92173

Phone #: 658 751-0633

Fax #: 658 751-0634

Project Address: 10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037

Project Name: THE SALK INSTITUTE  
CDP/SDP

Sheet Title: SLOPE ANALYSIS

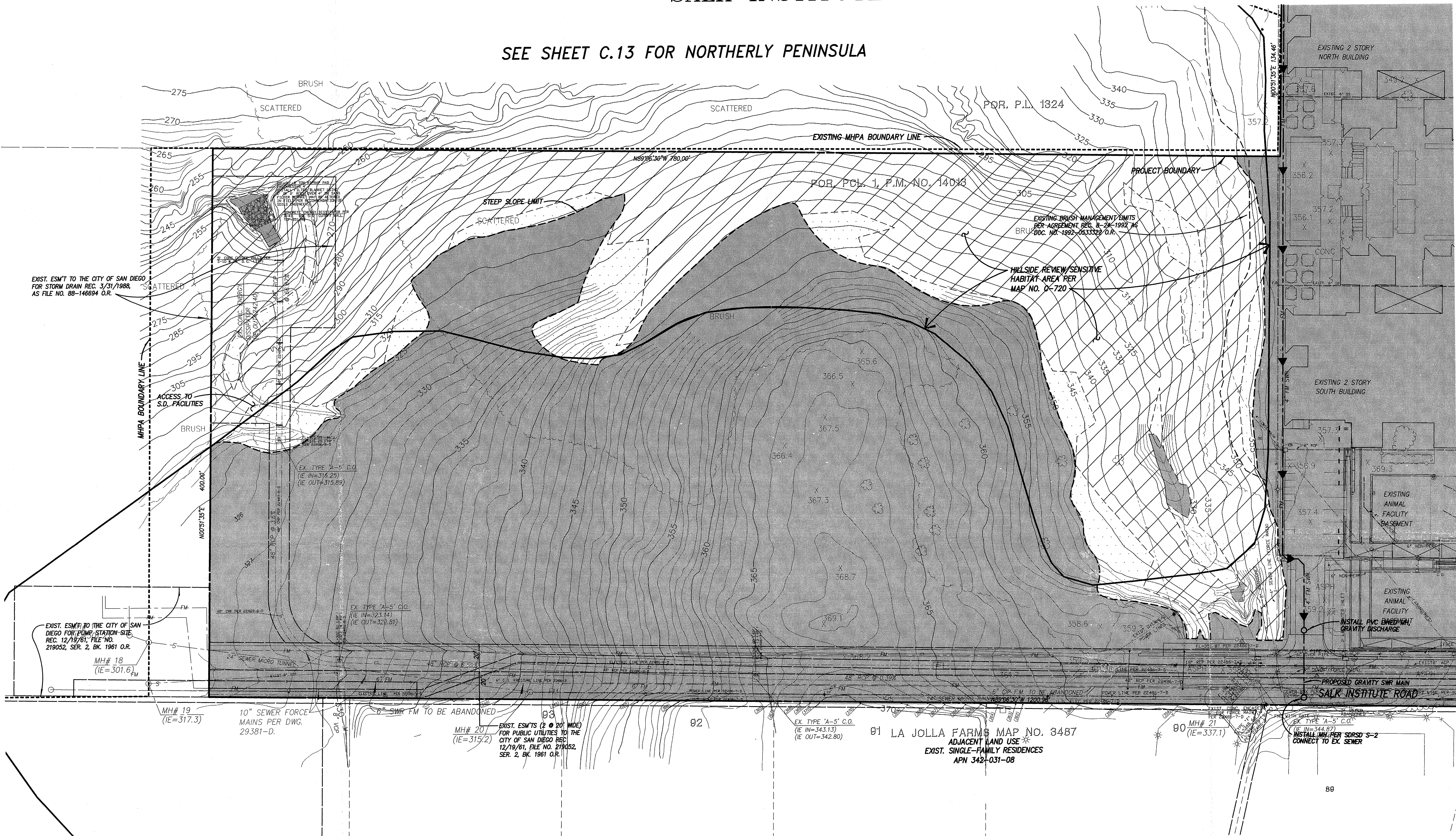
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Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
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Revision 5: 01-19-07  
Revision 4: 6-09-06  
Revision 3: 4-14-06  
Revision 2: 9-23-05  
Revision 1: 1-5-05  
\_\_\_\_\_  
Original Date: 8-6-04  
\_\_\_\_\_  
Sheet Count: 22 of 29  
\_\_\_\_\_  
DEP# 44675



COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT  
SALK INSTITUTE

ATTACHMENT 8

SEE SHEET C.13 FOR NORTHERLY PENINSULA



LEGEND

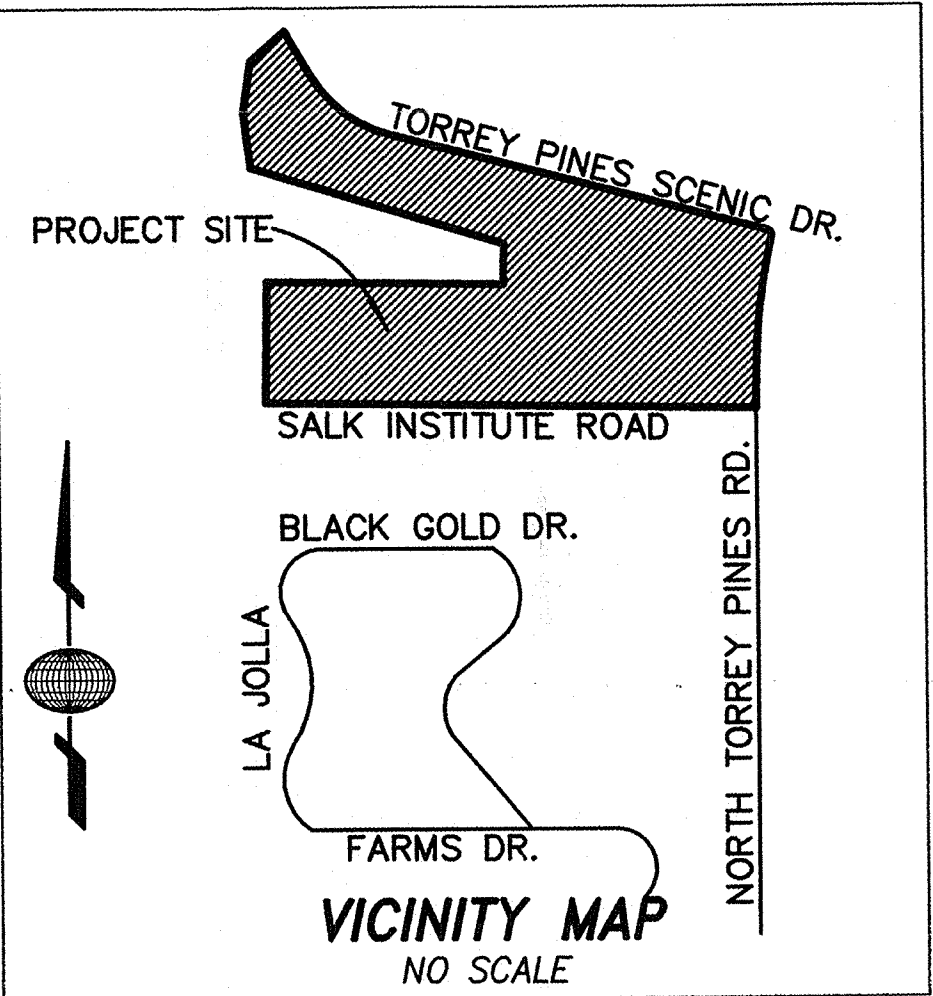
BOUNDARY LINE	---
RIGHT OF WAY LINE	---
EXISTING MHPA BOUNDARY LINE	---
PROPOSED MHPA BOUNDARY LINE	---
EXISTING SPOT ELEVATIONS	263.83
EXISTING CONTOUR	260
EXISTING SANITARY SEWER & MANHOLE	SMH
EXISTING WATER MAIN	W
EXISTING FIRE HYDRANT ASSEMBLY	WV
EXISTING GATE VALVE	WV
EXISTING STORM DRAIN	SD
EXISTING STORM DRAIN CLEANOUT	SDC
EXISTING UNDERGROUND DRY UTILITIES	ELG
EXISTING CHAIN LINK FENCE	CLF
EXISTING RETAINING WALL	LS
EXISTING LIGHT STANDARD	LS
EXISTING CURB & GUTTER	CG
EXISTING BROW DITCH	BD
EXISTING DIRECTION OF SURFACE FLOW	---

FINISH CONTOUR	FO 283
FINISH GRADE SPOT ELEVATION	FO 283
CUT/FILL SLOPES (2:1 MAX)	---
STORM DRAIN PIPE (PRIVATE)	---
STORM DRAIN STRUCTURE (PRIVATE)	---
6" STANDARD CURB (PRIVATE)	---
PVC SEWER MAIN (PRIVATE)	---
SEWER FORCE MAIN (PRIVATE)	FM
SEWER MANHOLE (PRIVATE)	MH
SEWER CLEANOUT (PRIVATE)	CO
PVC WATER MAIN	W
FIRE HYDRANT ASSEMBLY	WV
SEWER LATERAL (PRIVATE)	---
WATER LATERAL (PRIVATE)	---
HIGH POINT SPOT ELEVATION	HP 283.0
SPOT ELEVATION	283.0
LOW POINT	(1% MIN)
DIRECTION OF SURFACE FLOW	---
RETAINING WALL	---
TOP OF WALL ELEVATION	TW 283.0
FINISH GRADE ELEVATION	FO 286.0
DAYLIGHT - LIMITS OF CONSTRUCTION	---
BUILDING FINISHED FLOOR ELEVATION	FF=350

NOTES:

- SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.
- SEE SHEET C.10 FOR MHPA BOUNDARY ADJUSTMENT PLAN.

LEGEND	SLOPE ANALYSIS
---	LESS THAN 25% SLOPE
---	25-35% SLOPE
---	35% +



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Prepared By:	LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Name:	4933 PARAMOUNT DR. 2ND FLOOR	Revision 13:	
Address:	SAN DIEGO, CA 92123	Revision 12:	
Phone #:	858 751-0833	Revision 11:	
Fax #:	858 751-0834	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD	Revision 9:	
	LA JOLLA, CALIFORNIA 92037	Revision 8:	6-27-08
Project Name:	THE SALK INSTITUTE	Revision 7:	3-03-08
	CDP/SDP	Revision 6:	4-13-07
		Revision 5:	01-19-07
		Revision 4:	6-08-06
		Revision 3:	4-14-06
		Revision 2:	9-23-05
		Revision 1:	1-5-05
Sheet Title:	SLOPE ANALYSIS	Original Date:	8-6-04
	SOUTHERLY PENINSULA	Sheet Count:	23 of 29
		DEP#	44675

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
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Tel: 858-453-4100

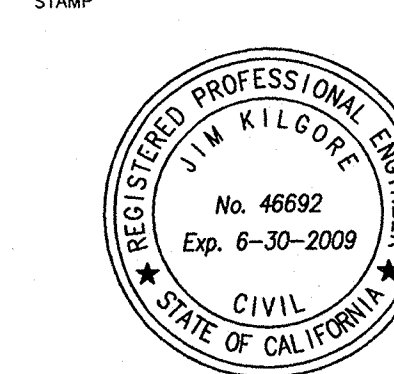
ARCHITECT:  
**nbbj**

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Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
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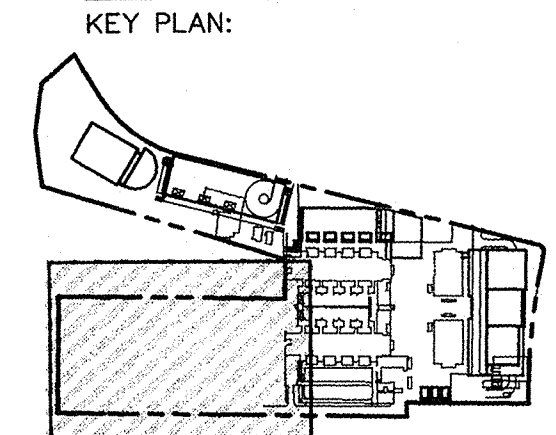
SHEET LEGEND:

APPROVED  
EXHIBIT "A"

Approval Date: 10/21/2008  
Permit No. CDP12496/SDP127002  
MPPD 061577  
Amendment to  
CDP/HRP/CDP No. 90-1150

REVISIONS:	
NO. DATE:	
6-27-08 CDP Comments	
7-3-08 CDP Comments	
4-13-07 CDP Comments	
01-19-07 CDP Comments	
4-09-06 CDP Comments	
3-14-06 CDP Comments	
9-23-05 CDP Comments	
1-5-05 CDP Comments	
ORIGINAL: 8-6-04	

THE SALK INSTITUTE  
CDP/SDP



SCALE: 1" = 60'  
DATE: 8-6-04  
PROJECT NO.: 573.4  
PERMIT APPLICATION NO.:

SLOPE ANALYSIS  
SOUTHERLY PENINSULA

C.12

CDP / SDP SUBMITTAL



COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT  
SALK INSTITUTE

ATTACHMENT 8

OWNER: SALK INSTITUTE  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
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ARCHITECT: **nbbj**  
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LANDSCAPE: **The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

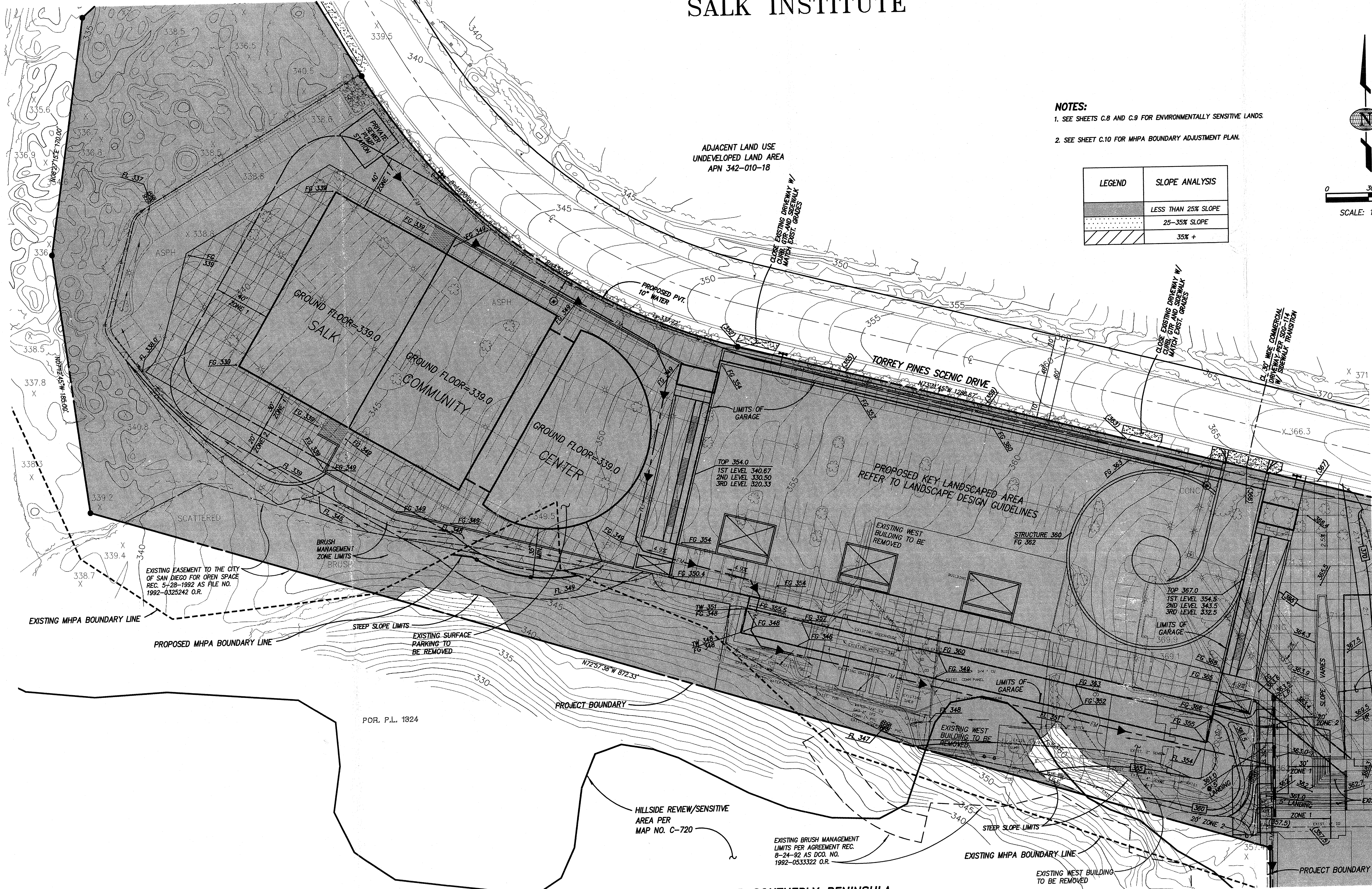
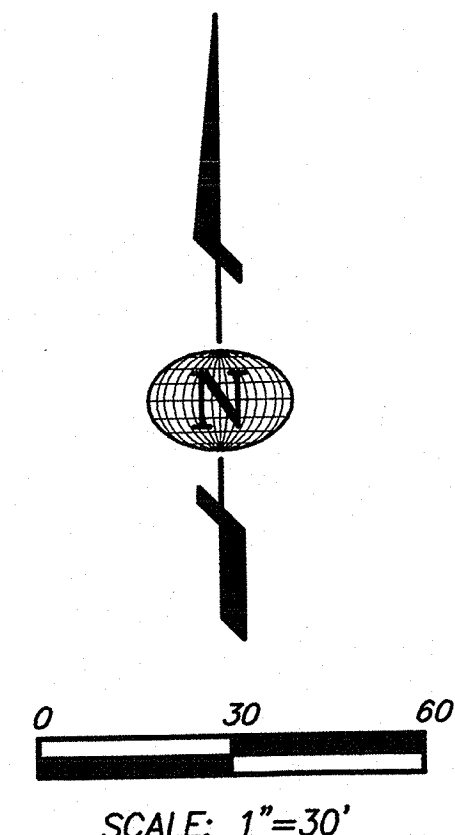
Environmental Planning:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515



SHEET LEGEND:

- NOTES:
- SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.
  - SEE SHEET C.10 FOR MHPA BOUNDARY ADJUSTMENT PLAN.

LEGEND	SLOPE ANALYSIS
[Symbol]	LESS THAN 25% SLOPE
[Symbol]	25-35% SLOPE
[Symbol]	35% +





# ATTACHMENT 8

**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
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Fax: 858-793-6905

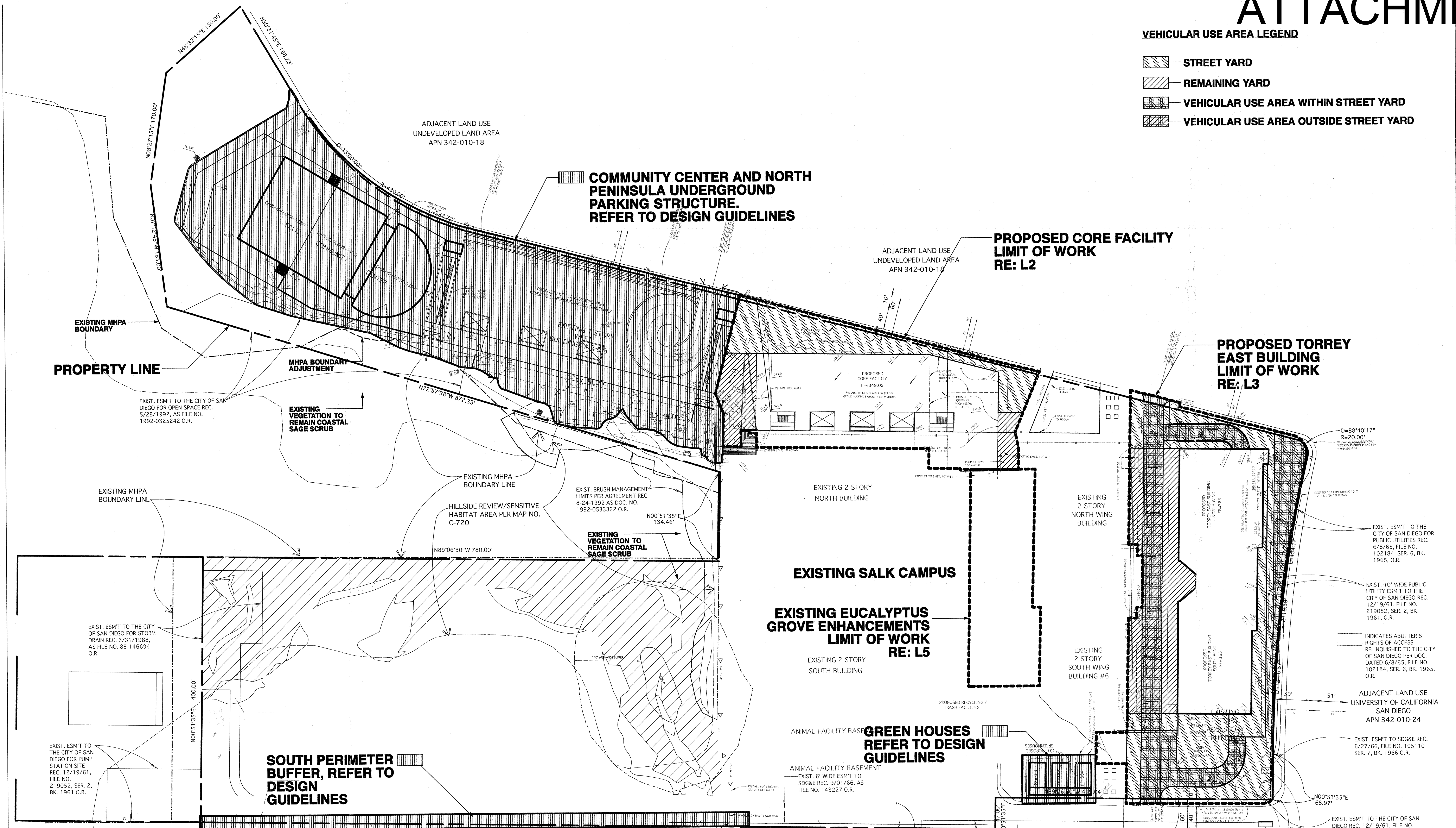
Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
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Tel: 619-462-0532  
Fax: 619-462-1515

STAMP

SHEET LEGEND:

## VEHICULAR USE AREA LEGEND

- STREET YARD**
- REMAINING YARD**
- VEHICULAR USE AREA WITHIN STREET YARD**
- VEHICULAR USE AREA OUTSIDE STREET YARD**



## THE LANDSCAPE DESIGN CONCEPT

THE LANDSCAPE DESIGN FOR THE SITE WILL INCORPORATE A LOCAL (NATIVE AND ORNAMENTAL) PLANT PALETTE OF GRASSES, GROUNDCOVERS AND SHRUBS THAT ARE CURRENTLY FOUND AT THE SALK CAMPUS AND WITHIN THE CANYON RIM. NATIVE PLANTINGS WILL BE SEEDING AND PLANTED IN ALL DISTURBED AREAS OUTSIDE OF THE BUILDING LINES TO RE-ESTABLISH THE FLORA GIVING A SENSE OF PLACE AND APPEARANCE THROUGHOUT THE SITE. OUR GOAL IS TO WORK WITH THE NATURAL BEAUTY OF THE PROPERTY PROMOTING ITS NATIVE QUALITIES AND ENHANCING THE VIEWS FROM WITHIN. REQUIRED TREES SHALL BE PLANTED WITH VEGETATION CONSISTANT WITH OTHER AREAS OF THE EXISTING SALK CAMPUS. ALL PLANTING AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION PER THE REQUIREMENTS STATED IN THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND LAND DEVELOPMENT MANUAL AND LANDSCAPE STANDARDS AND IN ACCORDANCE WITH PROFESSIONAL STANDARDS TO ENSURE THE SAFETY OF THE PUBLIC.

VEHICULAR DRIVEWAYS WILL BE ENHANCED IN AREAS WITH TEXTURED COLORED PAVING TO INTRODUCE THE PROJECT ENTRY AND INITIATE THE SENSE OF ARRIVAL. OUTDOOR SITTING AREAS WILL BE PROVIDED WITH FURNISHINGS, OVERLOOKING THE SURROUNDING VIEWS. AUTOMATIC TIMING DEVICES FOR EXTERIOR LIGHTING WILL PROVIDE SECURITY AND SAFETY ILLUMINATION FOR ALL PEDESTRIAN WALKS AND PARKING AREAS. FEATURE AREAS WILL BE PROVIDED WITH ACCENT LIGHTING. SURFACE AND SUB-SURFACE DRAINAGE SHALL BE PROVIDED AT ENTRIES, TREES AND PLANTING AREAS THROUGH THE USE OF LANDSCAPE DRAINS, PERFORATED PIPE AND CATCH BASINS. ALL PLANTING AREAS WILL RECEIVE COMPLETE IRRIGATION COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, ENVIRONMENTALLY FRIENDLY SPRINKLER SYSTEM.

## IRRIGATION SYSTEM

ALL PLANTING AREAS (UNLESS OTHERWISE NOTED) WILL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENT EXPOSURE AND WILL RECEIVE COMPLETE WATER COVERAGE BY MEANS OF A STATE-OF-THE-ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED UNDERGROUND PIPED SPRINKLER SYSTEM. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1220) SCHEDULE 40 OR CLASS 315 AND CLASS 200 OR CLASS 315 LATERAL LINES. LINES WILL BE INSTALLED AT 18" DEEP FOR PRESSURE LINE AND 12" DEEP FOR LATERAL LINES. THE IRRIGATION SYSTEM WILL NOT CREATE RUNOFF INTO THE MHPA AREA.

IRRIGATION THAT IS REQUIRED IN ZONE 1 BRUSH MANAGEMENT ZONES SHALL BE STATE OF THE ART WATER EFFICIENT AND CONSERVING DESIGN TO MINIMIZE RUNOFF INTO NATURALIZED AREAS.

## MAINTENANCE

ALL LANDSCAPING, IRRIGATION, AND BRUSH MANAGEMENT SHALL BE MAINTAINED BY THE SALK INSTITUTE. ALL LONG-TERM MAINTENANCE OF THE MHPA AREAS ON SITE WOULD BE CONDUCTED IN ACCORDANCE WITH THE MHP.

## MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT / MINIMUM DISTANCE TO STREET:  
TRAFFIC SIGNALS (50'± SIGN) 20 FEET  
UNDERGROUND UTILITY LINES 8 FEET  
ABOVE GROUND UTILITY STRUCTURES 10 FEET  
10 FEET

## GENERAL NOTES:

1. MINIMUM 30" BOX SIZE STREET TREES SHOULD BE INSTALLED WITHIN TEN FEET OF THE FACE OF THE CURB AND IN OPENINGS HAVING A MINIMUM 40 SQ. FT. OF AIR AND WATER PERMEABLE AREA AT A RATE OF ONE PER 30 LINEAR FEET OF STREET FRONTAGE. IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER AND SEWAGE LATERALS, SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE COUNTY.
2. STREET TREE REQUIREMENT: NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES.
3. WOOD MULCH SHALL BE UNIFORMLY SPREAD TO 2" IN ALL PLANTING AREAS WITH SLOPE LESS THAN 3:1.
4. FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2000 POUNDS PER ACRE IN HYDROSEEDING AREAS.
5. REVEGETATION AND EROSION CONTROL TIMING- ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
6. PRIOR TO GRADING, THE FIRST 8 INCHES OF TOPSOIL SHALL BE STOCKPILED AND REAPPLIED ON SLOPES AFTER THE COMPLETION OF GRADING.
7. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
8. GRADED PAD AREAS WILL BE HYDRO-SEEDING TO PREVENT EROSION. IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) DOES NOT OCCUR WITHIN 30 DAYS OF GRADING, HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
9. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LANDSCAPE DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
10. NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SEWER ACCESS EASEMENT.
11. 8" CONCRETE CURBS SHALL BE PROVIDED AT LANDSCAPED AREAS ADJACENT TO VEHICULAR USE AREAS.

## LANDSCAPE LEGEND

1. RED BRICK PAVERS OR TRAVERTINE TO MATCH PAVERS AT EXISTING CAMPUS
2. CONCRETE WALK
3. EXISTING LANDSCAPE TO REMAIN
4. SANTA ANA TURF (SOD)

PLANT LIST FOR ALL AREAS OUTSIDE OF BRUSH MANAGEMENT					
SYMBOL	BOTANICAL NAME	COMMON NAME	TREE SIZE	FORM	FUNCTION
TREE 100%-30" BOX	PINUS TORREYANA	TORREY PINE	LG	BH	STREET TREE
TREE 100%-30" BOX	KOELREUTERIA PANICULATA HELIELICA NEROPHILA METRODEROS EXCELSA CASSIA LEPTOPHYLLA CYPERUS ILEX CITRUS SSP.	GOLDENRAIN TREE PINK MELALUCA NEW ZEALAND CHRISTMAS TREE GOLDEN MEDALLION TREE HOLLY OAK CITRUS	MD MD MD MD MD MD	BH, DC BH, MD PY, DC BH, MD BH, MD BH, MD	INTERIOR ACCENT TREE
TREE 100%-30" BOX	EUCALYPTUS POLYANTHEMOS EUCALYPTUS PEARCEA EUCALYPTUS CITRIDORA	SILVER DOLLAR GUM RED FLAME EUCALYPTUS LEMON SCENTED GUM	LG LG LG	PY PY PY	STREET TREE GROVE TREE STREET TREE
TREE	CHIONANTHUS RETUSUS (RELOCATED FROM EAST PARKING LOT)	CHINESE FRINGE TREE	MD	BH	STREET TREE
TREE 100%-30" BOX	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	MD	BH	STREET TREE
SHRUB 50%-1 GAL 50%-1 GAL 1 GAL-18" O.C. 5 GAL-30" O.C.	CEANOTHUS VERRUCOSUS HETEROMELES ARBUTIFOLIA (8" O.C.) RUBUS INTEGRIFOLIA ELAEAGNUS PUNGENS CEANOTHUS VERRUCOSUS PRUNUS ILICIFOLIA BACCHARIS PILLULARIS 'TWIN PEAKS' PRUNUS CAROLINIANA	CARMEL CREEPER COAST RUFFLOW SALERINA HAWTHORNE BLACK SAGE REB SAGE PURPLE NEEDLE GRASS LANTANA LAVANDULA BLUE OAT GRASS PITISPORUM COFFEE BERRY	LG MD LG LG MD MD MD MD MD MD MD MD	SHRUB	NATIVE AND NON-NATIVE SUB SHRUBS FOR PLANTING AREAS
ORNAMENTAL PLANTING 50%-5 GAL 50%-1 GAL	CISTIS PURPUREUS ENCLEIA CALIFORNICA RAPHIOLEPS INDICA 'BALLERINA' SALVIA MELIFERA SALVIA GREGGI CISTIS DORIS HIBBERSON NARISSELLA PULCHRA LANTANA 'GOLD RUSH' LAVANDULA ANGUSTIFOLIA 'TWICKLE PURPLE' FESTUCA GLAUCA PITISPORUM RHAMNUS CALIFORNICA OR CROCEA	ORCHID ROCKROSE COAST RUFFLOW SALERINA HAWTHORNE BLACK SAGE REB SAGE PURPLE NEEDLE GRASS LANTANA LAVANDULA BLUE OAT GRASS PITISPORUM COFFEE BERRY	MD MD MD MD MD MD MD MD MD MD MD MD	SUB SHRUB	NATIVE AND NON-NATIVE SUB SHRUBS FOR PLANTING AREAS
GROUNDCOVER OR VINE 50%-5 GAL 50%-1 GAL 1 GAL-18" O.C. 5 GAL-30" O.C.	DUDLEYA BRITTONII TRACHELOPERMUM JASMINOIDES FRAGARIA CHILAE LANTANA MONTEVIDENSIS BOUGAINVILLEA 'TORCH GLOW' OR 'LA JOLLA' CLYSTOMA CALISTEGOIDES DISTICTIS VICTICUS VISCOSA 'PURPUREA'	BRITTON'S CHALK DUDLEYA STAR JASMINE WILD STRAWBERRY LANTANA BOUGAINVILLEA VIOLET TRUMPET VINE TRUMPET VINES	MD MD SM SM SM SM SM SM	GROUNDCOVER GROUNDCOVER GROUNDCOVER GROUNDCOVER GROUNDCOVER GROUNDCOVER GROUNDCOVER GROUNDCOVER	GROUNDCOVER FOR ORNAMENTAL AREAS (NOT BE IN OR NEAR MHPA)

\*NO INVASIVE SPECIES ARE CONTAINED WITHIN THIS PLANT LIST

## KEY FOR TREES

FORM:  
BH = BROAD HEADED  
PY = PYRAMIDAL  
ND = NON-DECIDUOUS  
DC = DECIDUOUS  
SIZE:  
SM = 15'-30'  
MD = 30'-40'  
LG = 40'-50'

## KEY FOR SHRUBS, SUB SHRUBS AND GROUNDCOVER / VINES

SIZE:  
SM = > 2'  
MD = 2'-5'  
LG = 5'-10'

## Prepared By:

Name: THE OFFICE OF JAMES BURNETT  
Address: 415 SOUTH CEDROS ST. SUITE 260  
SOLANA BEACH, CA 92075  
Phone #: 858.763.6970  
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Project Address: 10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037

Project Name: SALK INSTITUTE

CDP/SDP

Sheet Title:

OVERALL PLAN LANDSCAPE

DEVELOPMENT PLAN

Revision 14:

Revision 13:

Revision 12:

Revision 11:

Revision 10:

Revision 9:

Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1:

Original Date:

Sheet Count:

DEP#

NORTH

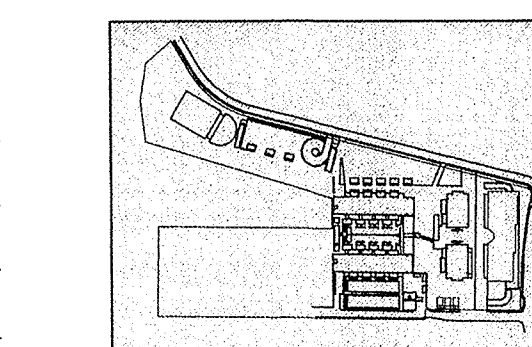
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NO.	DATE	DESCRIPTION
8.	6-27-2008	CDP COMMENTS
7.	3-03-2008	CDP COMMENTS
6.	4-13-2007	CDP COMMENTS
5.	01-19-2007	CDP COMMENTS
4.	06-09-2006	CDP COMMENTS
3.	04-14-2006	CDP COMMENTS
2.	09-23-2005	CDP COMMENTS
1.	01-05-2005	CDP COMMENTS
ORIGINAL: 8-6-04		

## THE SALK INSTITUTE CDP / SDP

KEY PLAN:



SCALE: 1" = 60'-0"  
DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO.:

## OVERALL LANDSCAPE DEVELOPMENT PLAN

CDP / SDP SUBMITTAL



SALK INSTITUTE  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:  
**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

OWNER:  
Latitude 33  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

LANDSCAPE:  
The Office of James Burnett  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

Environmental Planning:  
Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP

SHEET LEGEND:

North Lawn  
Plant Requirement Calculations

Street Yard	Req. Sq. Ft.	area	multiplier	REQUIRED	PROVIDED	EXCESS
Req. Plants	20,945	0.25	0.05	5236.25	19361	14124.75 SF
				1047.25	2096	1048.75 PTS
Remaining Yard Area	Req. Sq. Ft.	area	multiplier	REQUIRED		
Req. Plants	9,514	0.3	0.05	2854.2	7919	5064.8 SF
				475.7	1484	1008.3 PTS

Existing Vegetation Calculations				
Street	Yard Area	caliper"	multiplier	Points
	Native	126	50	6300
	Non-Native	0	25	0
	<b>TOTAL Credit</b>			<b>6300</b>
Remaining	Yard Area	caliper"	multiplier	Points
	Native	0	50	0
	Non-Native	0	25	0
	<b>TOTAL Credit</b>			<b>0</b>

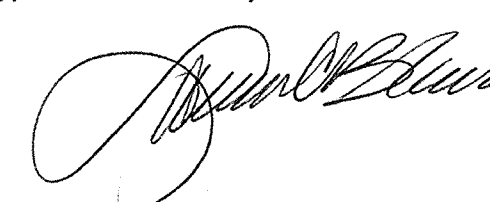
Vehicular Use Area	Within Street Yard	area	multiplier	REQUIRED	PROVIDED	EXCESS
Req. Sq. Ft.	0	0.05		0	0	0
Req. Points	0	0.05		0	0	0
Outside of the Street Yard	area	multiplier	REQUIRED			
Req. Sq. Ft.	0	0.03	0	0	0	0
Req. Points	0	0.03	0	0	0	0

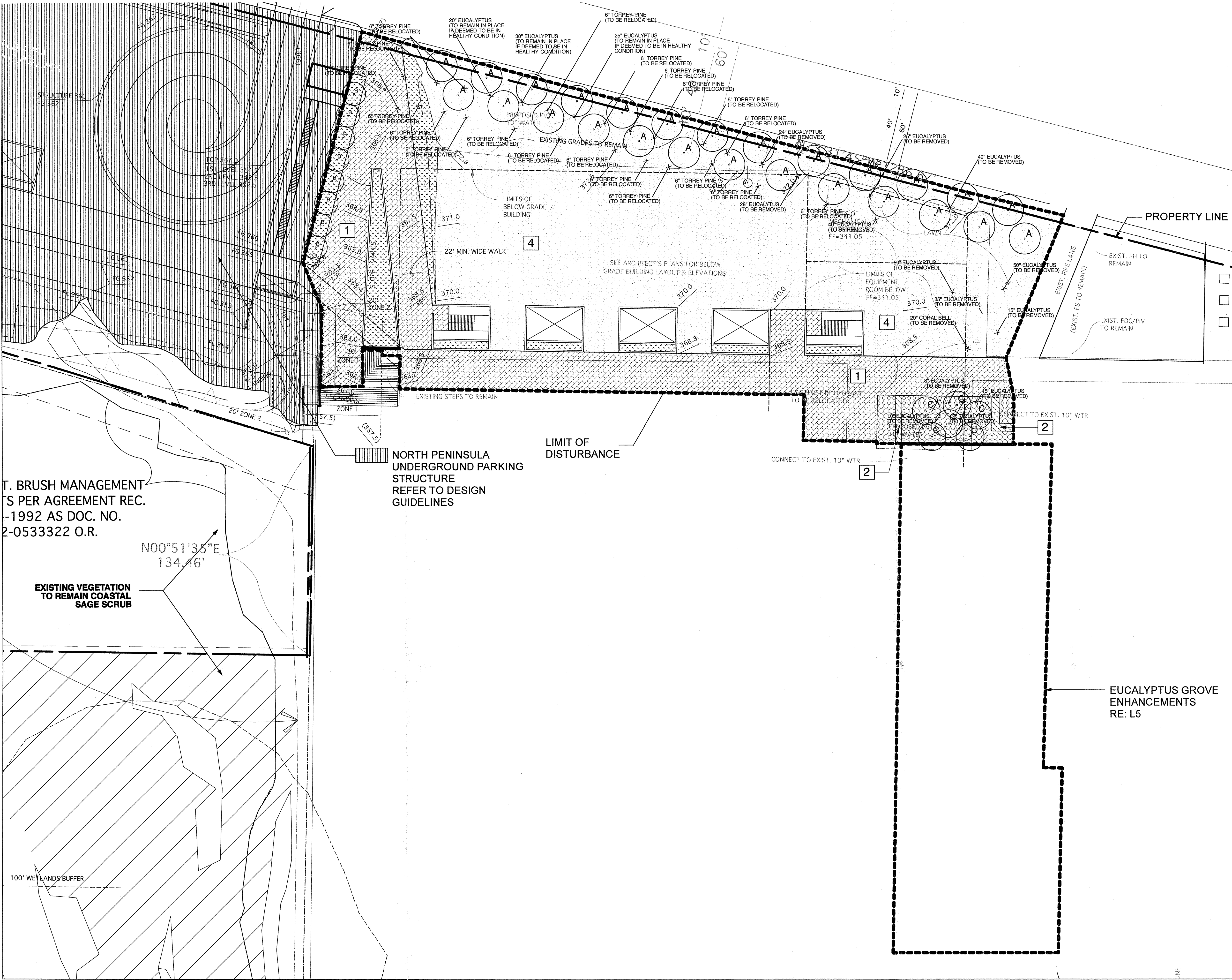
Street Tree Calc.	Req. Street Trees	frontage	division	REQUIRED	PROVIDED	EXCESS
		455	30	15.2	26	11

Street Yard Calculations	# of trees	points per plant	Total Points
# of trees 30" box	30	30	900
1 gal shrubs	594	1	594
5 gal shrubs	231	2	462
<b>TOTAL PROVIDED POINTS</b>			<b>2096</b>

Remaining Yard Calculations	# of trees	points per plant	Total Points
# of trees 30" box	6	30	180
1 gal shrubs	758	1	758
5 gal shrubs	273	2	546
<b>TOTAL PROVIDED POINTS</b>			<b>1484</b>

Turf Calculations	Area	Percentage
Ornamental Planting	7,928	14%
Recreational Lawn	49,767	86%
Lawn	0	0%
<b>TOTAL</b>	<b>57,695</b>	<b>100%</b>

PTS #44675  
**APPROVED EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 127996 SDP 127002  
MDD 91577  
Amendment to  
CDP/127996 No. 90-146  




**THE LANDSCAPE DESIGN CONCEPT**  
THE LANDSCAPE DESIGN FOR THE SITE WILL INCORPORATE A LOCAL (NATIVE AND ORNAMENTAL) PLANT PALETTE OF GRASSES, GROUNDCOVERS AND SHRUBS THAT ARE CURRENTLY FOUND AT THE SALK CAMPUS AND WITHIN THE CANYON RIM. NATIVE PLANTINGS WILL BE PROVIDED AND PLANTED IN ALL DISTURBED AREAS OUTSIDE OF THE BUILDING LINES TO RE-ESTABLISH THE FLORA GIVING A SEAMLESS APPEARANCE THROUGHOUT THE SITE. OUR GOAL IS TO WORK WITH THE NATURAL BEAUTY OF THE PROPERTY PROMOTING ITS NATIVE QUALITIES AND ENHANCING THE VIEWS FROM WITHIN. REQUIRED TREES SHALL BE PLANTED WITH VEGETATION CONSISTENT WITH OTHER AREAS OF THE EXISTING SALK CAMPUS. ALL PLANTING AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, PER THE REQUIREMENTS STATED IN THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND LAND DEVELOPMENT MANUAL AND LANDSCAPE STANDARDS AND IN ACCORDANCE WITH PROFESSIONAL STANDARDS TO ENSURE THE SAFETY OF THE PUBLIC.

VEHICULAR DRIVEWAYS WILL BE ENHANCED IN AREAS WITH TEXTURED COLORED PAVING TO INTRODUCE THE PROJECT ENTRY AND INITIATE THE SENSE OF ARRIVAL. OUTDOOR SITTING AREAS WILL BE PROVIDED WITH FURNISHINGS, OVERLOOKING THE SURROUNDING VIEWS. AUTOMATIC TIMING DEVICES FOR EXTERIOR LIGHTING WILL PROVIDE SECURITY AND SAFETY ILLUMINATION FOR ALL PEDESTRIAN WALKS AND PARKING AREAS. FEATURE AREAS WILL BE PROVIDED WITH ACCENT LIGHTING. SURFACE AND SUB-SURFACE DRAINAGE SHALL BE PROVIDED AT ENTRIES, TREES AND PLANTING AREAS THROUGH THE USE OF LANDSCAPE DRAINS, PERFORATED PIPE AND CATCH BASINS. ALL PLANTING AREAS WILL RECEIVE COMPLETE IRRIGATION COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, ENVIRONMENTALLY FRIENDLY SPRINKLER SYSTEM.

**IRRIGATION SYSTEM**  
ALL PLANTING AREAS (UNLESS OTHERWISE NOTED) WILL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENT EXPOSURE AND WILL RECEIVE COMPLETE WATER COVERAGE BY MEANS OF A STATE-OF-THE-ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1220 SCHEDULE 40 OR CLASS 315 AND CLASS 200 OR CLASS 315 LATERAL LINES, LINES WILL BE INSTALLED AT 18" DEEP FOR PRESSURE LINE AND 12" DEEP FOR LATERAL LINES. THE IRRIGATION SYSTEM WILL NOT CREATE RUNOFF INTO THE MHPA AREA.

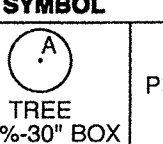
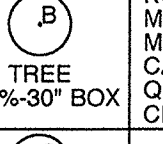
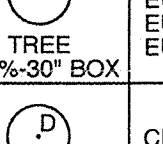
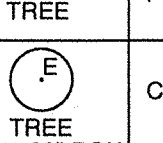
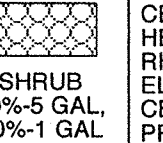
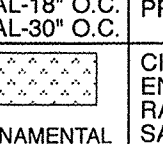
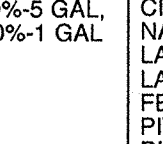
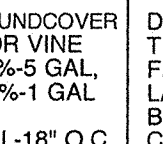
IRRIGATION THAT IS REQUIRED IN ZONE 1 BRUSH MANAGEMENT ZONES SHALL BE STATE OF THE ART WATER EFFICIENT AND CONSERVING DESIGN TO MINIMIZE RUNOFF INTO NATURALIZED AREAS.

**MAINTENANCE**  
ALL LANDSCAPING, IRRIGATION, AND BRUSH MANAGEMENT SHALL BE MAINTAINED BY THE SALK INSTITUTE. ALL LONG-TERM MAINTENANCE OF THE MHPA AREAS ON SITE WOULD BE CONDUCTED IN ACCORDANCE WITH THE HMP.

**MINIMUM TREE SEPARATION DISTANCE**  
IMPROVEMENT / MINIMUM DISTANCE TO STREET:  
TRAFFIC SIGNALS (STOP SIGN): 20 FEET  
UNDERGROUND UTILITY LINES: 5 FEET  
ABOVE GROUND UTILITY STRUCTURES: 10 FEET  
DRIVEWAY (ENTRIES): 10 FEET  
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS): 25 FEET

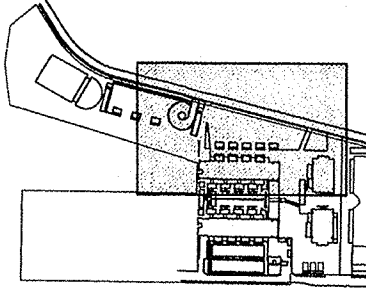
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Project Name: SALK INSTITUTE  
CDP/SDP  
Sheet Title: CORE FACILITY BUILDING  
LANDSCAPE DEVELOPMENT PLAN  
Revision 14: \_\_\_\_\_  
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Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
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**THE SALK INSTITUTE**  
CDP / SDP  
KEY PLAN:  
  
SCALE: 1" = 30'-0"  
DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO.:  
**CORE FACILITY**  
BUILDING LANDSCAPE  
DEVELOPMENT PLAN  
**L2**  
CDP / SDP SUBMITTAL



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SHEET LEGEND

East Building					
Street Yard	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
AREA	51.714	0.00	12,929	10,243	2,686
POINTS	51.714	0.00	2,686	1,918	768

Existing Vegetation Calculations					
Street Yard Area	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Native	0	0	0	0	0
Non-Native	52.7	0	0	0	0
TOTAL CREDIT	0	0	0	0	0

Remaining Yard Area					
Street Yard Area	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Native	0	0	0	0	0
Non-Native	0	0	0	0	0
TOTAL CREDIT	0	0	0	0	0

Vehicle Use Area					
Within the Street Yard	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Area	13.066	0.00	753	1,997	1,244
Points	13.066	0.00	753	1,997	1,244

Outside of the Street Yard					
Area	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Area	11.903	0.00	358.8	0	-358.8
Points	11.903	0.00	358.8	0	-358.8

Street Tree Calc.					
Req. Street Trees	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Req. Street Trees	10.000	0.00	30	24	-6

Street Yard Calc.					
Req. Street Trees	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Req. Street Trees	10.000	0.00	30	24	-6

Remaining Yard Calc.					
Req. Street Trees	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Req. Street Trees	10.000	0.00	30	24	-6

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Area	Area	Points	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Area	11.903	0.00	358.8	0	-358.8
Points	11.903	0.00	358.8	0	-358.8

Turf Calculations					
Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Grass/Grass	52.000	100%	0	0	0
Grass/Grass	0	0%	0	0	0
TOTAL	52.000	100%	0	0	0

Turf Calculations					
Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Grass/Grass	52.000	100%	0	0	0
Grass/Grass	0	0%	0	0	0
TOTAL	52.000	100%	0	0	0

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Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
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Grass/Grass	0	0%	0	0	0
TOTAL	52.000	100%	0	0	0

Turf Calculations					
Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Grass/Grass	52.000	100%	0	0	0
Grass/Grass	0	0%	0	0	0
TOTAL	52.000	100%	0	0	0

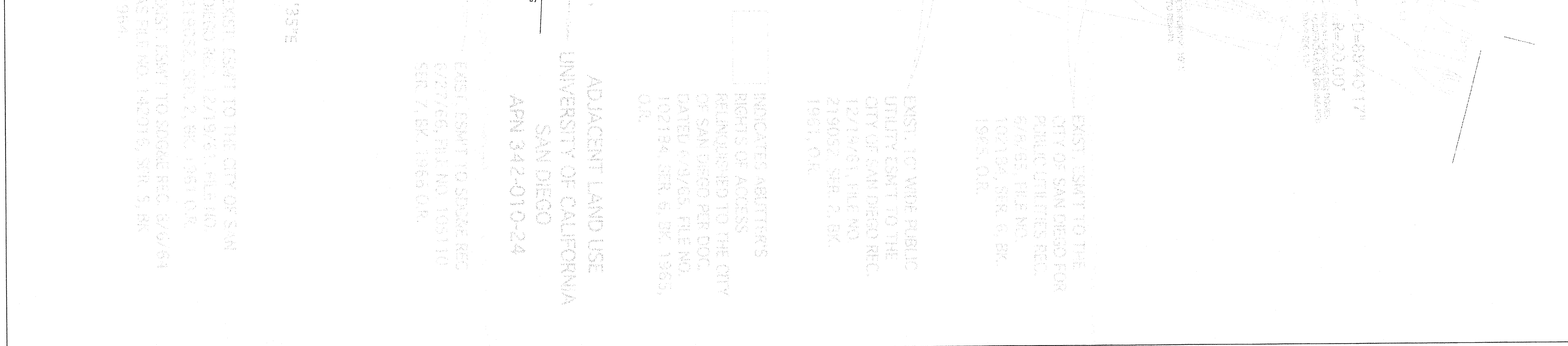
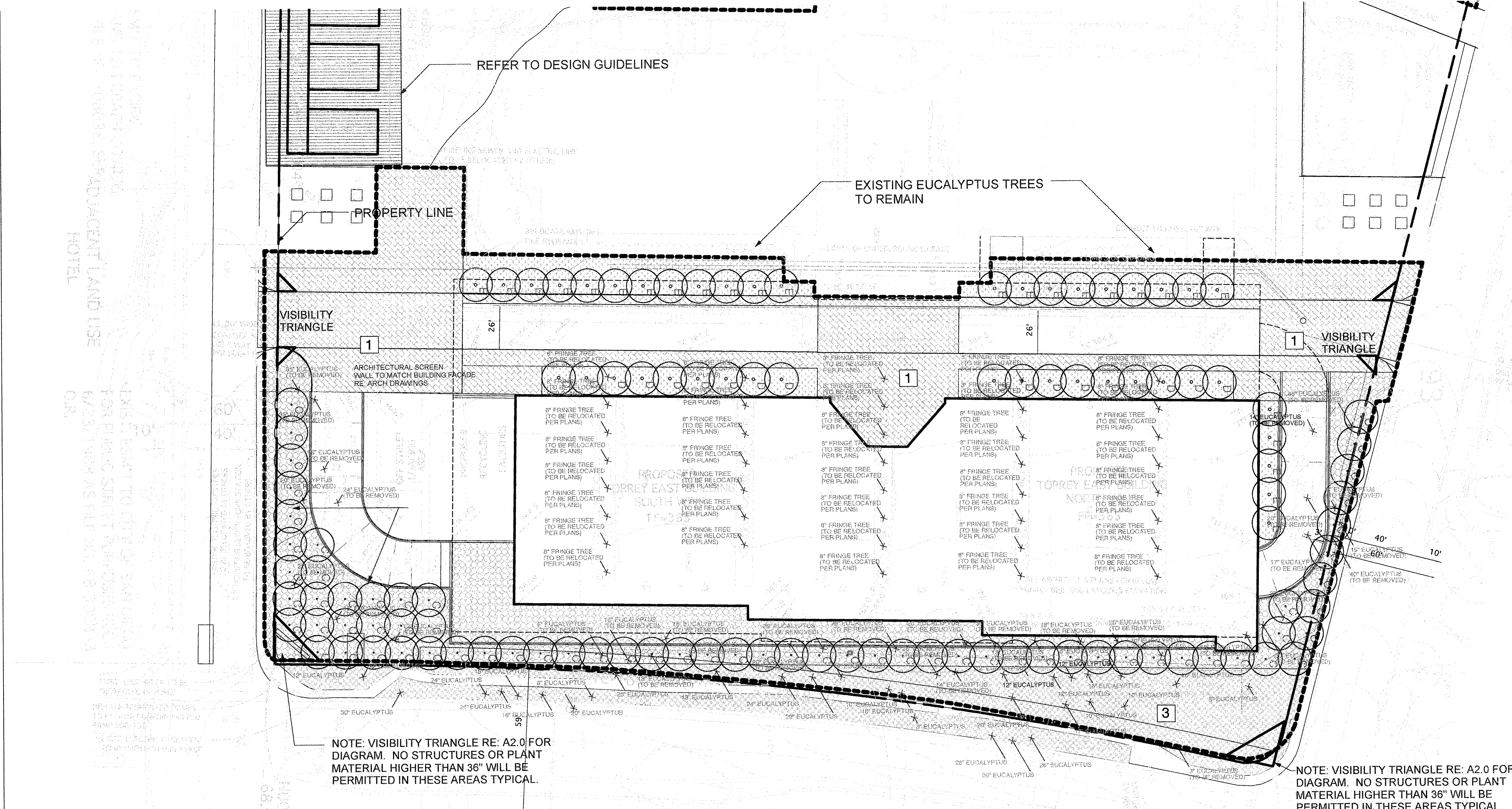
Turf Calculations					
Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
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Grass/Grass	0	0%	0	0	0
TOTAL	52.000	100%	0	0	0

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TOTAL	52.000	100%	0	0	0

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Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
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Grass/Grass	Area	Percentage	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	EXCESS
Grass/Grass	52.000	100%	0	0	0
Grass/Grass	0	0%	0	0	0
TOTAL	52.000	100%	0	0	0



**THE LANDSCAPE DESIGN CONCEPT**  
THE LANDSCAPE DESIGN FOR THE SITE WILL INCORPORATE A LOCAL (NATIVE AND ORNAMENTAL) PLANT PALETTE OF GRASSES, GROUNDCOVERS AND SHRUBS THAT ARE CURRENTLY FOUND AT THE SALK CAMPUS AND WITHIN THE CANYON RIM. NATIVE PLANTINGS WILL BE SEEDED AND PLANTED IN ALL DISTURBED AREAS OUTSIDE OF THE BUILDING LINES TO RE-ESTABLISH THE FLORA GIVING A SEAMLESS APPEARANCE THROUGHOUT THE SITE. OUR GOAL IS TO WORK WITH THE NATURAL BEAUTY OF THE PROPERTY PROMOTING ITS NATIVE QUALITIES AND ENHANCING THE VIEWS FROM WITHIN. REQUIRED TREES SHALL BE PLANTED WITH VEGETATION CONSISTENT WITH OTHER AREAS OF THE EXISTING SALK CAMPUS. ALL PLANTING AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. PER THE REQUIREMENTS STATED IN THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND LAND DEVELOPMENT MANUAL AND LANDSCAPE STANDARDS AND IN ACCORDANCE WITH PROFESSIONAL STANDARDS TO ENSURE THE SAFETY OF THE PUBLIC.

VEHICULAR DRIVEWAYS WILL BE ENHANCED IN AREAS WITH TEXTURED COLORED PAVING TO INTRODUCE THE PROJECT ENTRY AND INITIATE THE SENSE OF ARRIVAL. OUTDOOR SITTING AREAS WILL BE PROVIDED WITH FURNISHINGS, OVERLOOKING THE SURROUNDING VIEWS. AUTOMATIC TIMING DEVICES FOR EXTERIOR LIGHTING WILL PROVIDE SECURITY AND SAFETY ILLUMINATION FOR ALL PEDESTRIAN WALKS AND PARKING AREAS. FEATURE AREAS WILL BE PROVIDED WITH ACCENT LIGHTING. SURFACE AND SUB-SURFACE DRAINAGE SHALL BE PROVIDED AT ENTRIES. TREES AND PLANTING AREAS THROUGH THE USE OF LANDSCAPE DRAINS, PERFORATED PIPE AND CATCH BASINS. ALL PLANTING AREAS WILL RECEIVE COMPLETE IRRIGATION COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, ENVIRONMENTALLY FRIENDLY SPRINKLER SYSTEM.

**IRRIGATION SYSTEM**  
ALL PLANTING AREAS (UNLESS OTHERWISE NOTED) WILL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENT EXPOSURE AND WILL RECEIVE COMPLETE WATER COVERAGE BY MEANS OF A STATE-OF-THE-ART AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1220) SCHEDULE 40 OR CLASS 315 AND CLASS 200 OR CLASS 315 LATERAL LINES WILL BE INSTALLED AT 18" DEEP FOR PRESSURE LINE AND 12" DEEP FOR LATERAL LINES. THE IRRIGATION SYSTEM WILL NOT CREATE RUNOFF INTO THE MHFA AREA.

IRRIGATION THAT IS REQUIRED IN ZONE 1 BRUSH MANAGEMENT ZONES SHALL BE STATE OF THE ART WATER EFFICIENT AND CONSERVING DESIGN TO MINIMIZE RUNOFF INTO NATURALIZED AREAS.

**MAINTENANCE**  
ALL LANDSCAPING, IRRIGATION, AND BRUSH MANAGEMENT SHALL BE MAINTAINED BY THE SALK INSTITUTE. ALL LONG-TERM MAINTENANCE OF THE MHFA AREAS ON SITE WOULD BE CONDUCTED IN ACCORDANCE WITH THE HMP.

**MINIMUM TREE SEPARATION DISTANCE**  
**IMPROVEMENT / MINIMUM DISTANCE TO STREET:**  
TRAFFIC SIGNALS (STOP SIGN) 20 FEET  
UNDERGROUND UTILITY LINES 5 FEET  
ABOVE GROUND UTILITY STRUCTURES 10 FEET  
DRIVEWAY (ENTRIES) 10 FEET  
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) 25 FEET

**GENERAL NOTES:**  
1. MINIMUM 30" BOX SIZE STREET TREES SHALL BE INSTALLED WITHIN TEN FEET OF THE FACE OF THE CURB AND IN OPENINGS HAVING A MINIMUM 40 SQ. FT. OF AIR AND WATER IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER AND SEWAGE LATERALS, SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE COUNTY.  
2. STREET TREE REQUIREMENT: NON-Biodegradable ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES.  
3. WOOD MULCH SHALL BE UNIFORMLY SPREAD TO 2" IN ALL PLANTING AREAS WITH A SLOPE LESS THAN 3:1.  
4. FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2000 POUNDS PER ACRE IN HYDROSEEDING AREAS.  
5. REVEGETATION AND EROSION CONTROL TIMING: ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.  
6. PRIOR TO GRADING, THE FIRST 8 INCHES OF TOPSOIL SHALL BE STOCKPILED AND REAPPLIED ON SLOPES AFTER THE COMPLETION OF GRADING.  
7. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.  
8. GRADED PAD AREAS WILL BE HYDRO-SEEDED TO PREVENT EROSION, IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.  
9. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LANDSCAPE DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.  
10. NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SEWER ACCESS EASEMENT.  
11. 6" CONCRETE CURBS SHALL BE PROVIDED AT LANDSCAPED AREAS ADJACENT TO VEHICULAR USE AREAS.

**LANDSCAPE LEGEND**  
1. RED BRICK PAVERS OR TRAVERTINE TO MATCH PAVERS AT EXISTING CAMPUS  
2. CONCRETE WALK  
3. EXISTING LANDSCAPE TO REMAIN  
4. SANTA ANA TURF (SOD)

PLANT LIST FOR ALL AREAS OUTSIDE OF BRUSH MANAGEMENT					
SYMBOL	BOTANICAL NAME	COMMON NAME	TREE SIZE	FORM	FUNCTION
A TREE 100%-30" BOX	PINUS TORREYANA	TORREY PINE	LG	BH	STREET TREE
B TREE 100%-30" BOX	KOELBUTERIA PANICULATA METROSIDEROS EXCELSUS CASSIA LEPTOPHYLLA CYPERUS KLEX CITRUS SSP.	GOLDENRAIN TREE PINK MELOE NEW ZEALAND CHRISTMAS TREE GOLDEN MEDALLION TREE HOLLY OAK CITRUS	MD MD MD MD MD	BH BH PY PY BH	INTERIOR ACCENT TREE
C TREE 100%-30" BOX	EUCALYPTUS POLYANTHEMOS EUCALYPTUS CITRORODRA	SILVER DOLLAR GUM RED FLAME EUCALYPTUS LEMON SCENTED GUM	LG PY LG	PY PY PY	STREET / GROVE TREE
D TREE	CHIONANTHUS RETIUSUS (RELOCATED FROM EAST PARKING LOT)	CHINESE FRINGE TREE	MD	BH	INTERIOR ACCENT TREE
E TREE 100%-30" BOX	CHIONANTHUS RETIUSUS	CHINESE FRINGE TREE	MD	BH	INTERIOR ACCENT TREE
F SHRUB 50%-1 GAL	CEANOTHUS VERRUCOSUS HETEROMELLES ARBUTIFOLIA (P.O.C.) RUBUS INTEGRIFOLIA ELAEAGNUS PUNGENS CEANOTHUS VERRUCOSUS PRUNUS ILICIFOLIA BACCHARIS PILULARIS 'TWIN PEAKS' PRUNUS CAROLINIANA	CARMEL CREEPER TOYON TREE LEMONADE BERRY SILVERBERRY WHITE COAST CEANOTHUS HOLLYLEAF CHERRY COYOTE BUSH CAROLINA CHERRY LAUREL	LG LG LG LG LG LG LG	SHRUB	NATIVE AND NON-NATIVE SHRUBS FOR PLANTING AREAS
G SHRUB 50%-1 GAL	CISTUS PURPUREUS ENCELIA CALIFORNICA RAPHIOLEPS INDICA 'GALLERINA' SALVIA MELIFERA SALVIA GRECA CISTUS DORIS HIBBERSON LANTANA 'GOLD FLUSH' LAVANDULA ANGUSTIFOLIA 'TWINKLE PURPLE' FESTUCA GLAUCA PITTOSPORIUM TORINICA RHAMNUS CALIFORNIACA OR CROCEA	ORCHID ROCKROSE COAST SUNFLOWER BALLERINA HAWTHORNE BLACK SAGE RED SAGE ROCK ROSE PURPLE NEEDLE GRASS LANTANA ENGLISH LAVENDER BLUE CAT GRASS PITTOSPORIUM COFFEE BERRY	MD MD MD MD MD MD MD MD MD	SUB SHRUB	NATIVE AND NON-NATIVE SHRUBS FOR PLANTING AREAS
H GROUND COVER OR VINE 50%-1 GAL	DUDLEYA BRITTONII FRAGARIA CHLOENSIS LANTANA MONTEVIDENSIS BOUGHANVILLEA 'TORCH BLOW' OR 'LA JOLLA' DISTICTIS VICTICUS VIBICOSA PURPUREA	BRITTON'S CHALK DUDLEYA STAR JASMINE WILD STRAWBERRY LANTANA BOUGHANVILLEA VIOLET TRUMPET VINE TRUMPET VINES	SM SM SM SM SM SM	GROUND COVER OR VINE	GROUND COVER OR VINE FOR ORNAMENTAL AREAS (NOT BE IN OR NEAR MHFA)

**KEY FOR TREES**  
FORM:  
BH = BROAD HEADED  
PY = PYRAMIDAL  
ND = NON-DECIDUOUS  
DC = DECIDUOUS  
SIZE:  
SM = 15'-30"  
MD = 30'-40"  
LG = 40'-60"

**KEY FOR SHRUBS, SUB SHRUBS AND GROUND COVER / VINES**  
SIZE:  
SM = > 2"  
MD = 2'-5"  
LG = 5'-10"

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Project Name: SALK INSTITUTE  
CDP/SDP  
Development Plan  
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Revision 12: 4-14-06  
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THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:  
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DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO.:  
TORREY EAST  
BUILDING LANDSCAPE  
DEVELOPMENT PLAN  
L3  
CDP / SDP SUBMITTAL



# ATTACHMENT 8

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SHEET LEGEND:

APPROVED  
EXHIBIT "A"

Approval Date: 10/21/2008  
Permit No. CDP/12/29/6 / SDP 127002

ADJACENT UNIVERSITY  
AMPOD 56157  
Amendment to  
CDP/HEP/UP No. 90-1146

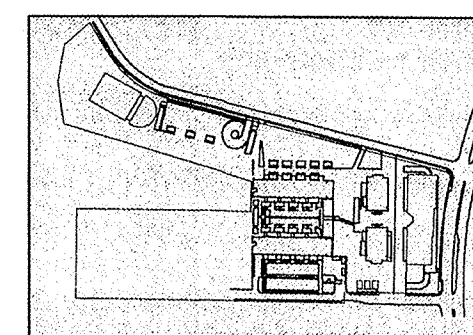
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5.	01-19-2007	CDP COMMENTS
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3.	04-14-2006	CDP COMMENTS
2.	09-23-2005	CDP COMMENTS
1.	01-05-2005	CDP COMMENTS

ORIGINAL: 8-6-04

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

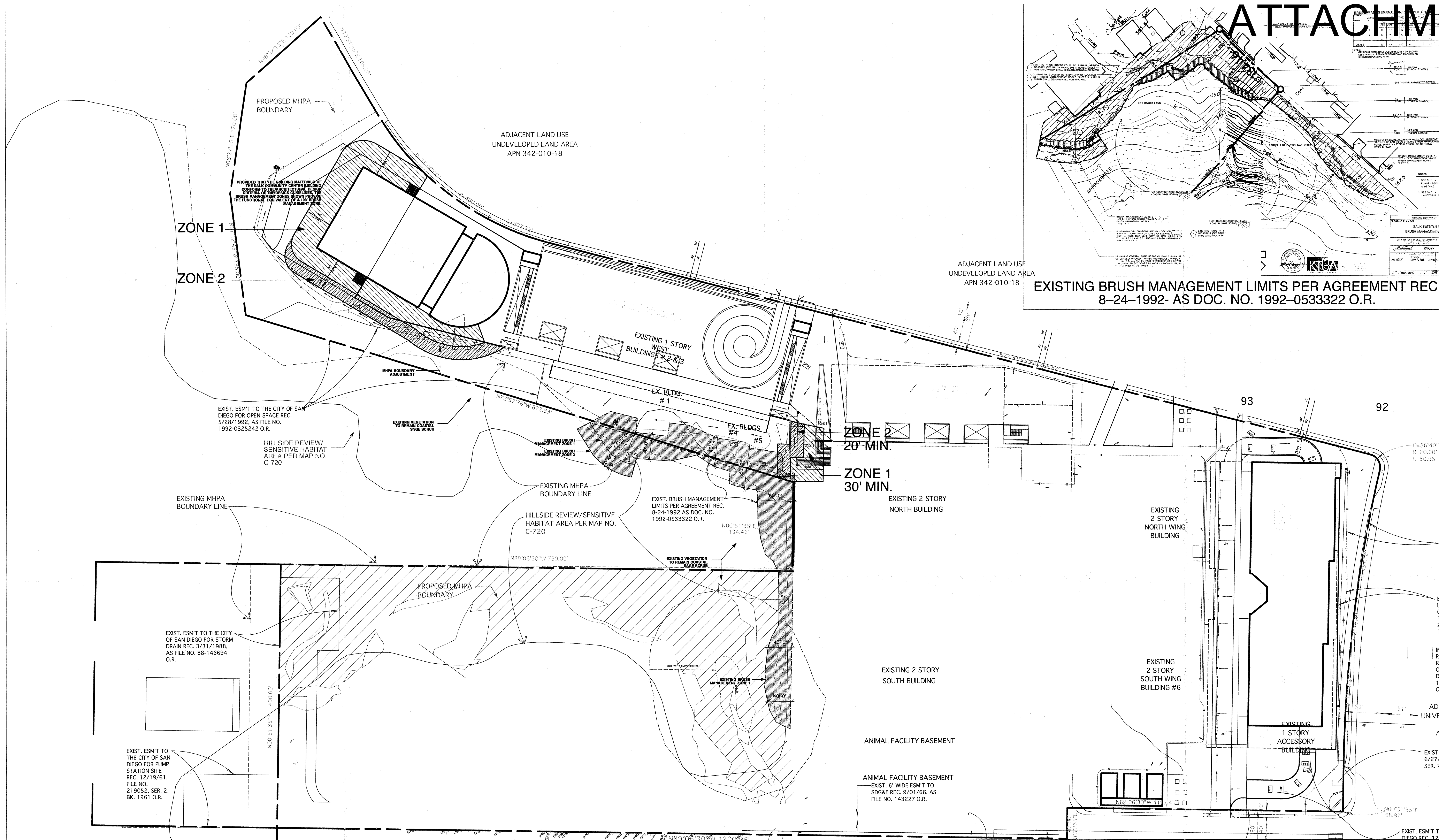


SCALE: 1"=60'-0"  
DATE: 8-6-04  
PROJECT NO: 5734  
PERMIT APPLICATION NO:

BRUSH  
MANAGEMENT  
PROGRAM

L4

CDP / SDP SUBMITTAL



## BRUSH MANAGEMENT

BRUSH MANAGEMENT SHALL CONFORM TO THE CITY OF SAN DIEGO PLEASE REFER TO THE CITY OF SAN DIEGO MUNICIPAL CODE FOR BRUSH MANAGEMENT REGULATIONS- SEE SECTION 142.0412 AND TABLE 142-04H.

IRRIGATION THAT IS REQUIRED IN ZONE 1 BRUSH MANAGEMENT ZONES SHALL BE STATE OF THE ART WATER EFFICIENT AND CONSERVING DESIGN TO MINIMIZE RUNOFF INTO NATURALIZED AREAS.

### ZONE ONE REQUIREMENTS:

1. THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN FLAMMABLE VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
2. ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS AND NONHABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
3. PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
4. TREES WITHIN ZONE ONE ON SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
  - A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
  - B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
6. ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
7. ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

### ZONE TWO REQUIREMENTS:

1. THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED FLAMMABLE VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS THE FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
2. NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
3. WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 18 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
4. WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE CUT AND CLEARED SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
5. THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO AREA IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL. INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
  - A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE OR NATURALIZED, LOW-FUEL, AND FIRE RESISTIVE; NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
  - B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 5 FEET. SINGLE SPECIMENS OF FIRE-RESISTANT NATIVE TREES MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES.
  - C) ALL NEW ZONE TWO PLANTINGS SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHED. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
  - D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
6. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING ANY TEMPORARY IRRIGATION SYSTEM.

TABLE 142-04H BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS		
CRITERIA	PROPERTY LOCATION	
	WEST OF INTERSTATE 5 & EL CAMINO REAL	
ZONE ONE WIDTH WITHIN THE COASTAL OVERLAY ZONE FOR SUBDIVISIONS CONTAINING STEEP HILLSIDES WITH SENSITIVE BIOLOGICAL RESOURCES.	30 FEET MIN.	
MINIMUM ZONE TWO WIDTH	20 FEET	
ADDITIONAL ZONE TWO WIDTH REQUIRED WHEN ZONE TWO IS ON SLOPES GREATER THAN 4:1 THAT ARE 50 FEET OR TWO IS GREATER THAN 48 INCHES IN HEIGHT. THIS ADDITIONAL WIDTH IS NOT REQUIRED FOR ZONE TWO LOCATED IN THE MHPA.	10 FEET	

LOW- FUEL PLANTINGS MIXTURE BRUSH MANAGEMENT ZONE 1 PLANT LIST		
NO INVASIVE PLANT SPECIES WILL BE PLANTED IN OR NEAR THE MHPA.		
SCIENTIFIC NAME	COMMON NAME	SIZE
SYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GAL
MELICA IMPERFECTA	MELIC	1 GAL
NASSELLA PULCHRA	PURPLE NEEDLE-GRASS	1 GAL
YUCCA SCHIDIGERA	MOJAVE YUCCA	1 GAL
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	1 GAL
COASTAL PRICKLY PEAR	OPUNTIA LITTORALIS	1 GAL
NASSELLA LEPIDA	FOOTHILL NEEDLEGRASS	1 GAL
PLANTAGO ERRECTA	PLANTAIN	1 GAL
BACCHARIS PILLULARIS	DWARF COYOTE BUSH	1 GAL

\* NO INVASIVE SPECIES ARE CONTAINED WITHIN THIS PLANT LIST

COASTAL SAGE SCRUB SEED MIXTURE REVEGETATION AREAS & BRUSH MANAGEMENT ZONE 2 PLANT LIST				
NO INVASIVE PLANT SPECIES WILL BE PLANTED IN OR NEAR THE MHPA.				
SCIENTIFIC NAME	COMMON NAME	HYDROPOSED APP. RATES PER ACRE	NO PER ACRE	CONTAINER SIZE
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	2.0	2.0	1 GAL
CASTILLEJA AFFINIS	COAST PAINT-BRUSH	0.25	-	-
ENCELIA CALIFORNICA	CALIFORNIA SUNFLOWER	2.0	4	1 GAL
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	0.5	4	-
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	2.0	5	1 GAL
ISOCOMA MENZIESII	GOLDENBUSH	2.0	-	-
ISOMERIS ARBOREA	BLADDERPOD	1.0	-	-
NASSELLA PULCHRA	CALIFORNIA POPPY	2.0	-	-
FEROCACCTUS VIREDESCENS	COAST BARREL CACTUS	0.5	20	1 GAL
LASTHENIA CALIFORNICA	GOLDFIELDS	.25	-	-
LOTUS SCOPARIUS	DEERWEED	2.0	3	-
LUPINUS BICOLOR	LUPINE	1.0	-	-
MALACOTHAMNUS FASCICULATUS	CHAPARRAL MALLOW	0.25	-	-
MELICA IMPERFECTA	MELIC	2.0	-	-
MIMULUS AURANTIACUS	MONKEY-FLOWER	1.0	10	1 GAL
NASSELLA PULCHRA	PURPLE NEEDLEGRASS	4.0	15	FLAT
OSMADENIA TENELLA	OSMADENIA	0.25	-	-
POA SECUNDA	BLUEGRASS	1.0	-	-
RHUS INTEGRIFFOLIA	LEMONADE BERRY	2.0	10	1 GAL
SALVIA APIANA	WHITE SAGE	1.0	-	2
SALVIA MELIFERA	BLACK SAGE	2.0	20	1 GAL
VIGUIERA LACINATA	SAN DIEGO SUNFLOWER	2.0	-	-
YUCCA SCHIDIGERA	MOJAVE YUCCA	0.5	1	-
TOTAL LBS. PER ACRE		31.5		

\* NO INVASIVE SPECIES ARE CONTAINED WITHIN THIS PLANT LIST

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Project Name: SALK INSTITUTE

CDP/SDP

Sheet Title: BRUSH MANAGEMENT PROGRAM

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Revision 12: 01-19-07

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Revision 7: 04-14-06

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Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1:

Original Date:

Sheet Count:

28 of 29

DEP#

44675

NORTH

0 60' 120' 240'



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STAMP

SHEET LEGEND:

APPROVED  
EXHIBIT "A"

Approval Date 10/21/2008

Permit No. CDP 12-1996/SDP 12-002

MPO# 301577

Amendment to

CDP HRP/APP No. 90-1140



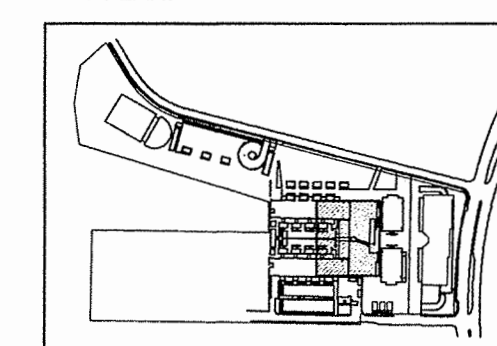
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NO.	DATE	DESCRIPTION
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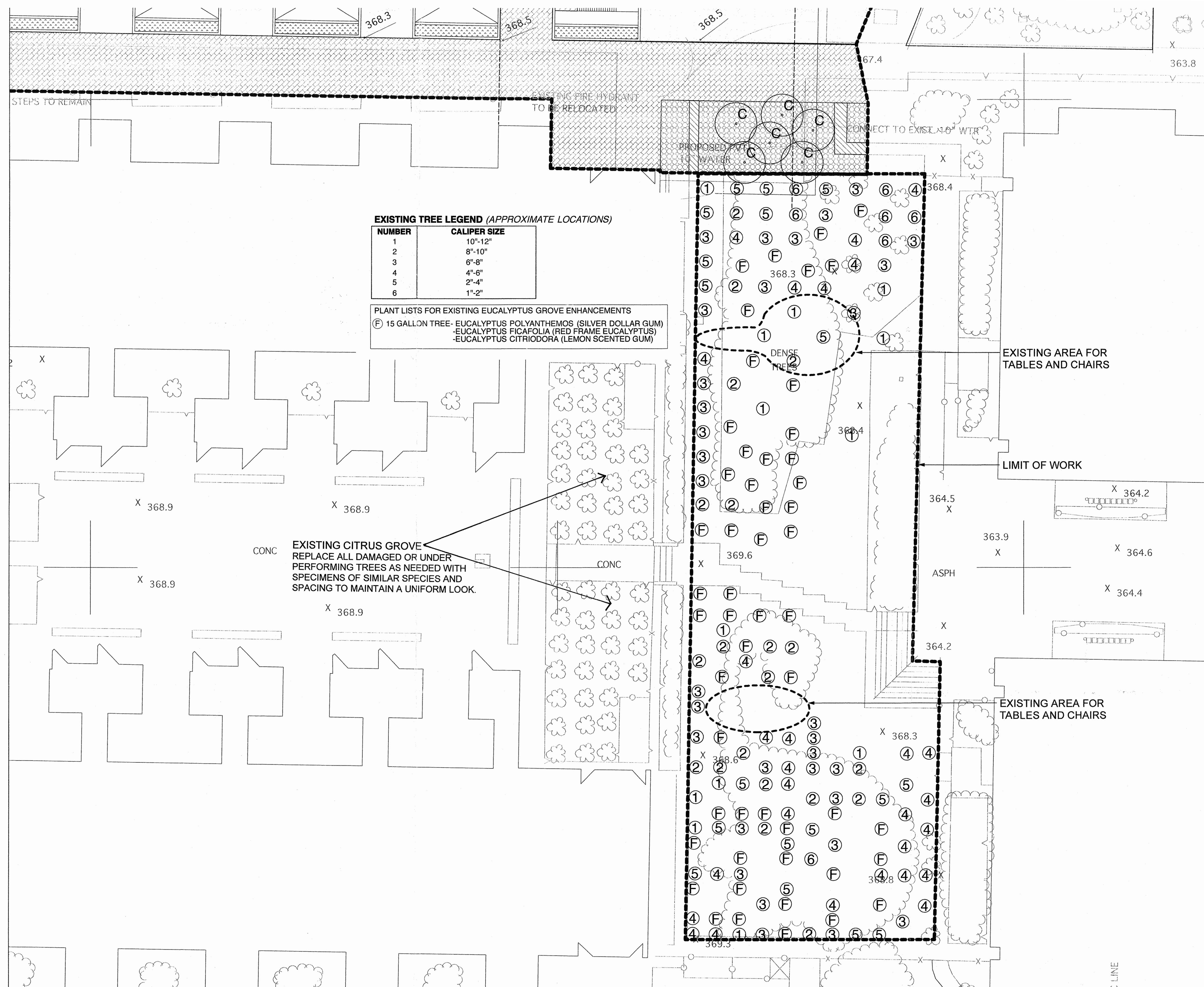
THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

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DATE: 8-6-04  
PROJECT NO: 573.4  
PERMIT APPLICATION NO:EXISTING  
EUCALYPTUS GROVE  
ENHANCEMENTS

L5

CDP / SDP SUBMITTAL





# APPROVED EXHIBIT "A"

Approval Date 10/21/2008

Permit No. CDP 126996 / SDP 127002

MPDP 561577

PTS #44675



The Salk Institute for Biological Studies  
Coastal Development Permit / Site Development Permit

La Jolla, California

January 19th, 2007

Revised June 27th, 2008

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Graphic Design  
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## 1. INTRODUCTION

The Salk Institute for Biological Studies was founded in 1963 by Dr. Jonas Salk and The March of Dimes. Dr. Salk and Architect Louis I. Kahn set forth the internationally-renowned architecture and planning of the site, which was donated under a referendum in 1959 by the people of San Diego, California.

The 1961 Master Plan by Louis I. Kahn was inspired by Dr. Jonas Salk's concept of a scientific institution that recognized the forthcoming ethical dilemma posed by recent discoveries in biology. In his 1959 book, *The Two Cultures and the Scientific Revolution*, C.P. Snow argued that scientists and humanists know little, if anything, about the other and that communication is difficult, if not impossible, between them. In response, Dr. Salk proposed that the new Institute for Biological Studies be a center of world-class science and a setting where scientists and humanists could learn to understand one another. He envisioned three main components to the Master Plan: the Laboratories, the Meeting Center, and the Quarters for Visiting Fellows.

Over the next four decades, the main components of the Kahn-Salk Master Plan (Laboratories and the East Building with Conference Center) have been completed in response to the establishment of the Institute as a premier basic science research center. During this time, significant advancements in science, research methodologies and community growth have created a demand for additional facilities to accommodate new technologies and research programs at the Institute.

Concurrent with the internationally recognized achievements in Science, the Institute has received worldwide Architectural acclaim. The original building and Court, which was completed in 1965, was designated Historic Site Number 304 by the City of San Diego Historical Site Board's Resolution Number R-910-2272 in 1991. In 2005, the State of California's Historic Resource Commission supported the National Register nomination petition finding that the entire parcel is historically significant. This petition is being revised as directed by the State Historic Resource Commission and will then be forwarded to the Keeper of the National Register for its determination that the site is eligible for listing on the National Register. In 1992, the Institute received the American Institute of Architects' "25-Year Award". In 2002, the Institute was featured in "Structures of Our Time: 31 Buildings That Changed Modern Life".

The Campus Master Plan that embodies these Design Guidelines and the related discretionary permits, including the amendment to the existing Conditional Use Permit and the Coastal Development Permit as well as the new Site Development Permit (collectively, Development Permits), is the first and only update since the 1961 Plan. The circumstances that informed the original plan have changed dramatically in the intervening decades. The property boundary was adjusted by the City in 1985, with the City acquiring 2.5 acres from the west end of the south peninsula, and giving the Institute 2.5 acres along the south edge of the north peninsula. Internally, space for scientific research relies heavily on sharing expensive equipment, the ratio of lab to support space has changed from 1:1 to 1:2, and researchers are collaborating strategically across disciplines. Externally, the Institute was originally built as a self-supporting oasis. Today, it is surrounded primarily by the University of California, with whom it has a strong relationship. Residential development occurs along the South edge of the property.

This Development Permit application provides a means by which the balance of the build-out of the Salk Institute property can be managed. These Design Guidelines and the Site Drawings have been prepared in accordance with the San Diego Land Development Code and the University Community Plan. The intent is to outline future project requirements to meet stated



planning goals and be compatible with the adjacent surroundings. Included are guidelines for the preparation and submittal of detailed plans for review and approval by the City of San Diego for grading and building permit applications for all future development on the property.

A Vesting Tentative Map which proposes to subdivide the existing single parcel of land into four new parcels is included in the Development Permit application for the Master Plan. This subdivision is intended to facilitate financing for the phased buildout of the various building projects in the Master Plan. The historic designation of the property by the City, State and Federal agencies shall apply to all new parcels created by the subdivision of the property.

In addition, a deviation from the 30 foot height limit in the RS-1-7 residential zone [SDMC Table 131-04D, and SDMC 131.0444(b)] is included for the Salk Community Center building. This building, and all others proposed in the Master Plan will comply with the City's Coastal Height Limit overlay zone requirements (SDMC 132.0505).

These Design Guidelines are intended to guide and regulate all future development on the Institute's property. Development of the proposed Torrey East Building and Underground Parking, North Lawn Core Facility and Equipment Shops will be consistent with these Design Guidelines and the information reflected on the Coastal Development Permit/Site Development Drawings. The development of the Greenhouses, the Salk Community Center and the Underground Parking will be consistent with the design criteria included in these Design Guidelines and will be subject to further review through the City's Substantial Conformance Review process.

Development of the project is also subject to review by the City's Historic Resource Board (HRB). The HRB is responsible for determining a projects consistency with the Secretary of Interiors Standards for Rehabilitation (Department of Interior regulations, 36 CFR 67). These standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Secretary of Interior Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility

Rehabilitation Standard 1: A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Rehabilitation Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Rehabilitation Standard 3: Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Rehabilitation Standard 4: Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.



Rehabilitation Standard 5: Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Rehabilitation Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Rehabilitation Standard 7: Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Rehabilitation Standard 8: Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Rehabilitation Standard 9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Rehabilitation Standard 10: New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### Campus Master Plan Goals and Proposed Facilities

The Campus Master Plan update will allow the Institute to respond to the changing needs of science and plan for the scientific and support facilities that are needed to attract the top scientists of the world.

The goals of the Campus Master Plan update are to provide the following:

- Modest growth of 15% of research programs, laboratory space and related staff
- Flexible facilities to house emerging technologies and specialized equipment
- Centralized facilities on campus to house all Institute support departments and personnel
- Additional and improved support services for Institute staff
- Campus-wide improvements to the physical environment
- Preservation and enhancement of the site's remaining undeveloped natural resources once the Campus Master Plan build-out is completed
- Protect and preserve the architecturally significant buildings and historically significant site features.



- Removal of all temporary buildings



Proposed development in the Campus Master Plan update includes:

- Core Facility to house specialized equipment, Mechanical Room, and Equipment
- Shops to house current facilities in temporary buildings
- Salk Community Center housing administration, meeting rooms, dining facilities, storage, etc.
- Torrey East Laboratory Building
- Greenhouse Facility
- Underground Parking (majority)



## 2. PRIOR CITY APPROVALS

In 1961, Jonas Salk and Louis Kahn obtained the City of San Diego's approval of Conditional Use Permit 3841 for the construction of several buildings and features on the property. Since that initial approval, the City has approved several amendments to CUP 3841, and in 1991, approved Coastal Development Permit 90-1140 as an amendment to CUP 3841. CDP 90-1140 allowed the Institute to build the East Building complex and required the Institute to provide one parking space per 500 square feet of gross building space.

In 1986, the City Planning Commission approved the University Community Plan prepared by the City of San Diego Planning Department and the University Community Planning Group. The Plan was adopted by the San Diego City Council on July 7, 1987.

Facilities which have been approved and constructed include the North and South wings of the original building, the East Building (North and South wings), the West Buildings, the Accessory Building and the South Lawn Animal Facility.

**A summary of the prior City approvals affecting the Salk Institute property is presented below:**

### **Community Plan Density**

The University Community Plan allocates 500,000 s.f. for Scientific Research building space to Salk's 26.34 gross acre property. (Table 3, titled Land Use and Development Intensity)

### **CUP-3841, 3-3-61**

Allows for development of the Institute's property in general conformance to uses shown on Exhibit A including:

1. Meeting center on northwest corner of property consists of meeting rooms, library, dining, recreation, Director's and guest quarters.
2. Research and study area consisting of medical research laboratories, studies, library and administrative buildings located in the central portion of the property.
3. Residential Quarters for Visiting Fellows in the southwest corner of the site.
4. Areas reserved for future development on the balance of the property.
5. Various parking areas totaling 1 space per employee located throughout the site.
6. Building heights limited to 393 City datum.



**Amendment to CUP 3841, dated 9-13-61**

Extended time to commence construction to March 13, 1962.

**Amendment to CUP 3841, dated 8-15-62**

Amended building heights to allow buildings to be built up to elevation 420 City datum.

**Amendment to CUP 3841, dated 7-17-63**

Extended time to complete initial phase of development.

**Amendment to CUP 3841, dated 5-19-65**

Required landscape plan submitted to Planning Director prior to occupancy.

**CUP 85-0589 (Amendment to CUP 3841) dated 11-08-85**

Effectuates a land exchange between the City of San Diego and the Salk Institute. All other Conditions of Approval for CUP 3841 remain intact.

**Coastal Development Permit (CDP)/Hillside Review/CUP 90-1140 (Amendment to CUP 3841) dated 5-30-91.**

Approves a 113,565 s.f. East Building.

Requires an additional 160 parking spaces (ratio of 1 space per 500 s.f. building area specified).

References Exhibit A dated 5-30-91.

**Substantial Conformance Review (SCR) dated May 8, 1998.**

Approves construction of underground South Lawn Animal Facility and confirms 580 parking spaces required at 1 space/500 s.f. (Sheet 2 of 3) and that basement square footage does not affect F.A.R.



### 3. THE INSTITUTE TODAY

#### Boundaries

The south side of the property is bordered by a residential development and the private Salk Institute Road; the west side is bordered by city-owned open space; the east side is bordered by North Torrey Pines Road; and the north side of the property is bound by Torrey Pines Scenic Drive.

#### Existing Buildings

The Institute is housed in three physical spaces: several temporary buildings to the west of the original building, the original building completed in 1965 and expanded to house research facilities in 1978 and 2001, and the East Building completed in 1995. These spaces total 289,818 gross square feet. Once the temporary buildings are removed, the total of existing gross floor area on site will total 260,818. (Reference Gross Square Footage Inventory on page 2 of this section).

#### Parking

A total of 604 surface parking spaces are currently provided on campus. This number exceeds the minimum requirement under CDP 90-1140 (Amendment to CUP 3841) dated 5-30-91 (1 space per 500 square feet of building area = 580 spaces).



## GROSS SQUARE FOOTAGE INVENTORY

<b>EXISTING</b>	Gross Floor Area:
NORTH BUILDING (1)	73,000 s.f.
SOUTH BUILDING (1)	85,000 s.f.
EAST BUILDING (NORTH AND SOUTH WINGS) (1)	102,800 s.f.
WEST BUILDING (1)	20,000 s.f.
ACCESSORY BUILDING (1)	9,000 s.f.
SOUTH LAWN ANIMAL FACILITY(2)	0 s.f.
Total:	289,800 s.f.
<b>EXISTING BUILDINGS TO BE DEMOLISHED</b>	
WEST BUILDINGS (17)	20,000 s.f.
ACCESSORY BUILDING (17)	9,000 s.f.
<b>NET TOTAL EXISTING BUILDING GROSS FLOOR AREA:</b>	<b>260,800 s.f.</b>
Existing Parking	604 spaces
Parking Required (1)	580 spaces
<b>PROPOSED</b>	Gross Floor Area:
NORTH LAWN CORE FACILITY (3), (7)	0 s.f.
EQUIPMENT SHOPS AND MECHANICAL ROOM (3), (7)	0 s.f.
-	0 s.f.
-	0 s.f.
TORREY EAST LABORATORY BUILDING (NORTH AND SOUTH WINGS) (5), (7)	94,200 s.f.
SALK COMMUNITY CENTER (5), (6), (7), (8), (9), (10)	117,000 s.f.
NORTH PENINSULA UNDERGROUND PARKING (3), (5), (7)	0 s.f.
NORTH PENINSULA UNDERGROUND PARKING ELEVATOR CORES (3), (7)	0 s.f.
GREENHOUSES	4,000 s.f.
Total:	215,200 s.f.
<b>TOTAL PROPOSED GROSS FLOOR AREA:</b>	<b>476,000 s.f.</b>
Proposed Parking (Underground) (1), (12), (15), (16) North Peninsula Underground Parking Structure Torrey East Underground Parking Structure	578 (75 carpool spaces) 486 (75 carpool spaces) <b>Total: 1,064 spaces</b> (21 accessible, 3 of these are van accessible)
-	
Existing Parking (Surface) (1)	22 spaces (2 accessible, 2 of these are van accessible)
<b>TOTAL PARKING PROVIDED:</b>	<b>1,086 spaces</b>
Parking Required (1), (17)	1,046 spaces
Proposed Bicycle Parking (13)	<b>25 spaces</b> (existing)
Proposed Motorcycle Parking (14)	<b>39 spaces</b>



**General Note:**

The square footages of the proposed buildings and uses within each building listed in this table are provided to illustrate an example of how the project could be built out to the 500,000 square foot of scientific research density. Building square footages may vary, and respective use of each building may vary depending on the Institute's needs, however the 500,000 square foot total will not be exceeded.

**Footnotes:**

- (1)** Per CDP 90 -1140 (Amended CUP 3841). 290,000 SF @ 1SP/500SF=580 Parking Spaces
- (2)** Per City of San Diego Municipal Code Sections 101.0101.25 and 101.0101.68\* as noted on Animal Facility Substantial Conformance Review, dated May 8, 1998. (\*References updated in recent LDC published editions).
- (3)** Per LDC, Section 113.0234.
- (4)** Not used.
- (5)** Per City of San Diego Municipal Code Sections 113.0261, Underground Parking Structures and Basements.
- (6)** Per City of San Diego Municipal Code Sections 113.0231, Determining Proposed Grade
- (7)** Per City of San Diego Municipal Code Sections 113.0234, Calculating Gross Floor Area
- (8)** Per City of San Diego Municipal Code Sections 113.0228, Determining Existing Grade
- (9)** Per City of San Diego Municipal Code Sections 113.0270, Measuring Structure Height
- (10)** Per City of San Diego Building Newsletter 2-2, January 1996, Determination of Building Height, Proposition "D"
- (11)** Per City of San Diego Municipal Code, Chapter 14 General Regulations - Article 2: General Development Regulations; Division 5: Parking Regulations
- (12)** Per City of San Diego Municipal Code Section 142.0530 (d), Carpool Spaces
- (13)** Per City of San Diego Municipal Code Section 142.0530 (e), Bicycle Facilities
- (14)** Per City of San Diego Municipal Code Section 142.0530 (g), Motorcycle Parking
- (15)** Per California Disabled Accessibility Guidebook Section 1129.B.1 (5) (a), Number of Standard Accessible parking spaces
- (16)** Per California Disabled Accessibility Guidebook Section 1129.B.4.2 (5) (b), Number of Van Accessible parking spaces
- (17)** Temporary buildings to be demolished.
- (18)** Not used.



#### 4. PROPOSED ARCHITECTURAL BUILD-OUT

The University Community Plan allocates 500,000 square feet of Scientific Research use to the 26.34 acre Salk Institute property (Table 3, Land Use and Development Intensity ). This site is located in the Coastal Zone and Coastal Height Limit Overlay Zone, resulting in a maximum permitted building height of 30 feet for all buildings as determined based on current Uniform Building code provisions and City's Coastal Height Overlay Zone provisions.

##### A. NORTH LAWN CORE FACILITY, MECHANICAL ROOM AND EQUIPMENT SHOPS

The Institute is committed to maintaining its leadership in Research. This leadership will be realized through increased support of current and evolving scientific research programs by providing access to technology in centralized, flexible facilities housing emerging technologies and specialized equipment. Equipment currently housed in the temporary buildings at other specialized laboratory spaces will be centralized and relocated to these facilities.

The North Lawn Core Facility is planned under the North Lawn, concurrent with the location reserved by Exhibit A in CUP 90-1140. The facility is designed in a manner similar to the underground South Lawn Animal Facility completed in 2001 and as such will not contribute to gross area calculation. It will include a series of lightwells on the north side of the existing walkway. The scale of these will resemble the existing light wells along the existing North Laboratory Tower and will bring natural light to the lower level. Their materiality, however, will be differentiated from that of the existing planters in order to comply with the Secretary of Interior Standards for Rehabilitation. As proposed, the Lawn above will continue as a recreation area for the Institute, thereby maximizing the view of the North Laboratory Tower from Torrey Pines Scenic Drive.

The Equipment Shops are planned underground and adjacent to the Mechanical Room east of the North Lawn Core Facility. This area will provide sufficient space to house a variety of maintenance equipment, supplies, tools and workshop area, currently housed in temporary buildings. A lightwell will provide natural light to the work spaces as well as access for delivery of oversize equipment.

An underground Mechanical Room will serve the Core Facility and Equipment Shops. The central location of this mechanical room allows for an efficient and discreet layout of air intake and exhaust ductwork for both facilities. First, air intake will be provided via the western proposed light well. Second, air exhaust will be routed underground connecting with the existing mechanical shaft of the North Laboratory Tower. Screening for the vertical run of ductwork will be provided as an exact replica of the existing screening at the South Laboratory Tower. (Refer to Design Guidelines, Section 5).

##### B. TORREY EAST BUILDING AND UNDERGROUND PARKING

The Institute conducted a space allocation survey in 2004 and concluded that the laboratory space at the Institute is currently operating at 200% of the capacity planned in the original master plan. There is a critical need to expand the laboratory facilities to provide for adequate research as funding becomes available.

The Torrey East Laboratory Building is planned furthest east on the property, between the East Building and Torrey Pines Road. Future development on this site is identified on Exhibit A in CDP 90-1140 dated 5-30-91. A primary, landscaped driveway access for vehicular and pedestrian traffic will remain between North Torrey Pines Road and Salk Institute Road and two levels of underground parking are planned. Planting will surround the perimeter of the building, including the parking ramps and loading dock area.

The physical character of the Torrey East Building will be defined by a challenge to reinvent a "timeless architecture" through the exploration of new and available technologies. Its program will include two levels of research and support spaces, meeting places, a main entrance to the Institute, and access to below-grade parking.

The ground level of the building will include a central, reception area in a double-height atrium space. Views to the existing Court will be facilitated by a full-height glass enclosure facing west. Areas north and south of the entry/reception area will be organized as open plan laboratory and office spaces, with shared, cored areas along the central spine.

#### C. SALK COMMUNITY CENTER AND NORTH PENINSULA UNDERGROUND PARKING

The Institute is committed to creating and maintaining supportive services and social opportunities. Centralization on campus of all operational and administrative support departments, including those currently off-campus, will result in a more efficient operational environment and foster the interactive relationships of staff with the affairs of the Institute, which is characteristic of the Institute.

The Salk Community Center realizes the vision originally studied by Louis I. Kahn and Dr. Salk. As such, it will be a building that will occupy the western, buildable area of the north peninsula. It will provide offices for Institute administration, dining facilities and other support activities. Exhibit A of CDP 90-1140, dated 5-30-91 identifies a project on this site.

The Center will be oriented to take advantage of views towards the adjacent open spaces, MHPA and the coast. The building's street facades shall be designed to provide interest along the public streetscape of Torrey Pines Scenic Drive.

A three-level, underground parking structure will be provided to meet parking requirements. This structure will include light wells along the perimeter in order to provide natural daylight and ventilation to all levels. Vertical circulation will be provided at appropriate distances apart, in the form of an open staircase and elevator shafts.

The top deck of the parking structure is planned as a landscaped area in order to mitigate heat island effects and to allow for appropriate treatment of storm water. A pleasant pedestrian path is designed as a link between the existing laboratory building towards the Center, along the edge of the north peninsula.

The architectural character of the buildings will reference the Architectural Design Guidelines (Section V of this document).



#### D. GREENHOUSES

The Institute conducts research in greenhouses that are currently located in the North Peninsula. Several new greenhouses are planned in the area south of the South Wing of the East Building. The architectural character of the buildings will reference the Architectural Design Guidelines (Section V of this document). In general, these greenhouses will be stand-alone, one-story buildings constructed with clear-stained wood framing and siding. Fenestration for these structures shall include clear glazing and the size of these shall be finalized in coordination with the projected research requirements.

#### E. CAMPUS-WIDE IMPROVEMENTS

An essential aspect of fulfilling the Goals of the Campus Master Plan is a commitment to add to and complete the physical and environmental development of the Institute site, which includes the following objectives:

Remove all temporary structures: The removal of temporary buildings is critical to maintaining the Institute's architectural excellence for which, with its scientific reputation, the Institute is world-renowned. Relocation of existing functions in the temporary buildings will occur following completion of the North Lawn Core Facility and Equipment Shops.

Continue application of the adopted Salk Signage Master Plan: The Salk Institute Signage Master Plan has been effective in avoiding a proliferation of arbitrary and uncoordinated graphic design, referred to by Salk as "architectural graffiti." Refer to Section 10 of the Design Guidelines.

Replace surface parking with underground structures: Parking structures with discrete vertical profiles shall be planned concurrent with any new development. They will account for the Institute's anticipated parking needs.

Develop architectural character: Future campus development must reference the internationally recognized architecture represented by the original building, while permitting flexibility in interpretation of the Design Guidelines of the Campus Master Plan. The architectural guidelines defined in the Design Guidelines shall comply with the Secretary of Interior Standards for Historic Resources listed in Section 1 of these Guidelines.

## 5. ARCHITECTURAL DESIGN GUIDELINES

### General:

All development on the property must be consistent with the Architectural Design Guidelines, Landscape Design Guidelines (Section 6), the UCP Design Elements for Subarea 1: Torrey Pines, and all applicable San Diego Municipal Code (SDMC) sections.

A deviation to the height limit in the RS-1-7 zone (SDMC; Table 131-040 and SDMC 131.0444(b)) is being processed as part of the development permits for the project. The project shall comply with the height limit criteria defined in City of San Diego Building Newsletter 2-2, dated January 1996, Determination of Building Height, Proposition D, SDMC; Section 113.0228, 113.0231, 113.0270 (4) and (5), and 132.0505.

### Site Guidelines:

- A. The UCP Design Element objectives shall be understood and accomplished. These objectives are:
  1. "Protect and take maximum advantage of the Torrey Pines Subarea's topography and natural vegetation." Reference drawings C1, C2, C8, C9, C10, C11, C12 and C13.
  2. "Minimize the total amount of impervious surfaces such as parking, driveways terraces, patios, tennis courts and other similar facilities." Reference drawing A1.0, L2 and C2.
  3. "Ensure visual and physical access to natural canyons, resource areas and scenic vistas." Reference drawing A1.0.
  4. "Ensure that the massing of structures and design detail of new buildings contribute to a visually coherent landscape." Reference drawing A3.0.
- B. Development of human scale outdoor eating and meeting areas for employees is encouraged. [See Figure 5.10]
- C. Buildings shall be designed to provide shared courtyards or plaza areas to create usable exterior space. [See Figure 5.11]
- D. The required setbacks are as follows: Front Yard: Minimum 15 Feet on the North Torrey Pines frontage, Street Side Yard: Minimum 10 Feet along Torrey Pines Scenic Drive and Salk Institute Road, Rear Yard: 15 Feet.  
  
Reference SDMC: Section 113.0249 Determining Setback Line, Section 113.0252 Measuring Setbacks, and Section 113.0276 Determining Yards. These setback areas shall be landscaped except where access drives are implemented. Reference drawing A1.1.
- E. The architectural design is encouraged to take advantage of the coastal climate through use of daylighting strategies such as light wells, interior courts, arcades and deep recessed glazing. [See Figure 5.11]
- F. All above grade buildings shall be located a minimum of 100' from the original Kahn laboratory building. This 100-foot buffer was considered adequate mitigation by the City's Historical Site Board in the approval of CDP 90-1140.



FIGURE 5.10: OUTDOOR SPACES



Outdoor Seating



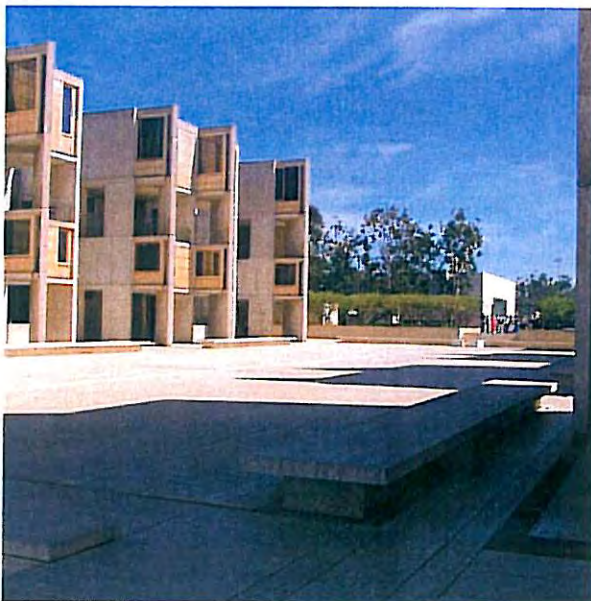
Court



"Garden Court"



"Exterior Court"



Plaza

The Salk Institute for Biological Studies  
Coastal Development Permit/Site Development Permit



Lawn



FIGURE 5.11: DAYLIGHTING STRATEGIES



Deep Recessed Glazing



Arcade



Arcade

The Salk Institute for Biological Studies  
Coastal Development Permit/Site Development Permit



Deep Recessed Glazing



View Corridors and Vistas:

The Salk Institute property is in the coastal zone and benefits from unique views of the ocean and off-site hillsides within Torrey Pines City Beach. The campus is visible from public trails within the Torrey Pines City Park and Gliderport. However, the site is located over 300 feet above sea level, and as such, offers no direct view of the beach or surf zone on campus. While the view of the horizon from the Salk Institute courtyard is one of the most recognized views in San Diego, neither the University Community Plan nor the North City Local Coast Plan designate specific, public views or scenic vistas across or in the vicinity of the property. In order to enhance and promote views of the ocean, the massing and location of proposed development has been carefully considered to protect the iconic courtyard view as well as maximize appreciation of the horizon along Torrey Pines Scenic Drive. (See Figures 5.12 & 5.13)

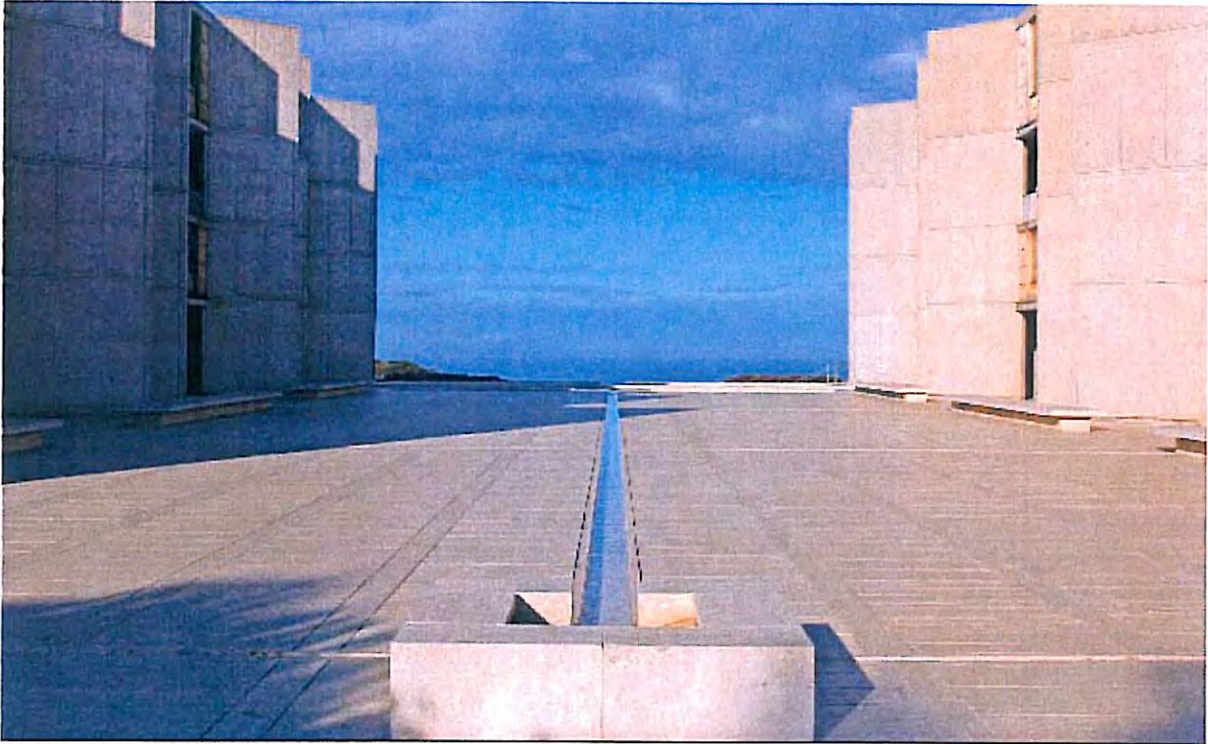


FIGURE 5.12 View From East End of Court



FIGURE 5.13 View from Torrey Pines Scenic Drive



View Corridors and Vistas. continued:

North Torrey Pines Road is a four-lane, major north-south road in the area that carries approximately 17,000 cars each day in the vicinity of the Institute at speeds reaching 45 mph. Although the road is recommended for designation as a scenic route in the University Community Plan, topography, existing landscaping and buildings obstruct views of the Pacific Ocean and scenic coastal areas from the segment of North Torrey Pines Road abutting the proposed project. No viewsheds exist in the project vicinity.

Building Guidelines:

- A. All buildings shall comply with these guidelines, applicable San Diego Municipal Code (SDMC) sections, and the UCP Design Elements for Subarea 1: Torrey Pines.
- B. Square, box-like buildings without façade fenestration and large, unbroken expanses of wall are prohibited. No more than 35 linear feet of unarticulated exterior walls shall be allowed in areas visible from the public streets, adjacent residential properties, or open spaces. Articulation includes additive elements (columns, projections, towers, etc.) and subtractive elements (windows, doors, carved openings, niches, etc.)
- C. All building elevations are required to have façade variations in a minimum of three separate materials, textures or colors, and shall be modulated to achieve energy efficiency. [See Figure 5.18]
- D. The rear and sides of buildings are required to have architectural detail similar to the front elevation. [See Figure 5.18]
- E. All buildings shall be designed to promote maximum daylight in interior spaces and natural ventilation. The use of operable windows is encouraged.
- F. All roofs shall be uniform in color and visually compatible when viewed from above.

FIGURE 5.14 Equipment Screen Wall

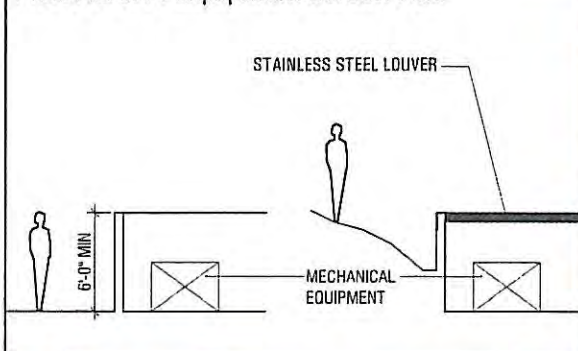


FIGURE 5.15 Existing North Tower



FIGURE 5.16 Existing South Tower

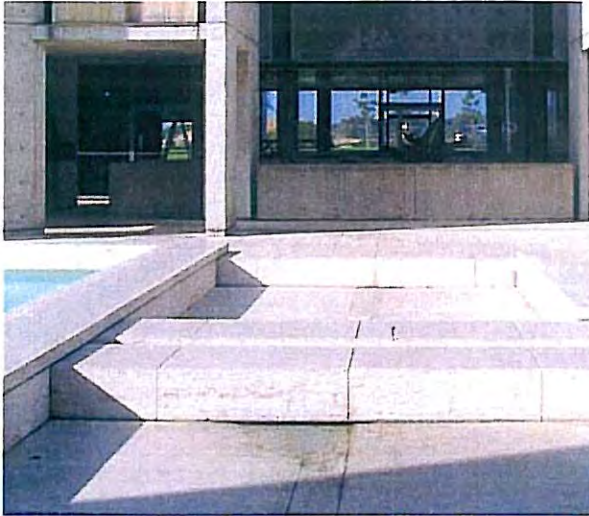


FIGURE 5.17 Existing South Tower with Shaft Enclosure

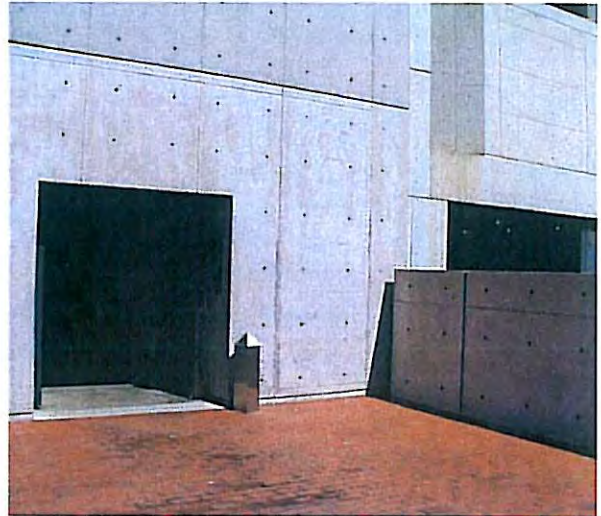




FIGURE 5.18 Articulated Facades



Material Articulation



Subtractive Articulation



Material Articulation



Textural Articulation



Additive and Subtractive Articulation



"Cool roofs" are encouraged to minimize heat islands and reduce mechanical loads. Mansard type roofs and fascias are not allowed.

- G. All mechanical equipment on-grade is required to be fully screened from view from all pedestrian, vehicular, and open space vantage points by a wall no less than six feet high which is coordinated in material, color, and texture with adjacent building surfaces and landscape materials. No exposed mechanical equipment is allowed on roofs. [See Figures 5.14, 5.15, 5.16, and 5.17] Reference SDMC Section 113.0270 (b) Measuring Structure Height (Fences, Walls and Retaining Walls).

Materiality:

- A. Where possible and cost effective, use materials sensitive to the local ecology and provide healthy environments for all users.
- B. All buildings on the campus should complement each other and the landscape.
- C. Suitable materials include the following: [See Figure 5.19]
  - Wall Material: Architectural concrete, Corten steel, stainless steel, wood, masonry. Painted wood or metals are not permitted.
  - Sustainable Roofs: Built up roofs with light colored ballasts, monolithic colored pavers or "cool roof" materials, etc. are encouraged.
  - Glazing: Curtain wall assembly: clear glazing with fritted spandrel glazing only. Butt-joint and mullion assemblies are allowed. Reflective glass is not permitted.
- D. Preferred building materials include the following: architectural concrete, travertine, stainless steel, teak, clear glass and brick.
- E. Exterior wood / vinyl siding and all other exterior shingles used as siding are prohibited.
- F. All exposed architectural concrete shall reference that of the original laboratory buildings but shall be installed in a manner that employs and reflects the most advanced technologies available at the time of construction. As such, appearance (color and texture), formwork (type and joinery), and installation methods shall be differentiated from, but compatible with, the existing concrete of the laboratory buildings.
- G. All exposed roof material shall be color coordinated with building exterior colors.
- H. Mediterranean or other special architectural themes are prohibited.
- I. Pre-engineered buildings are prohibited.
- J. All ribbed metal siding is prohibited.



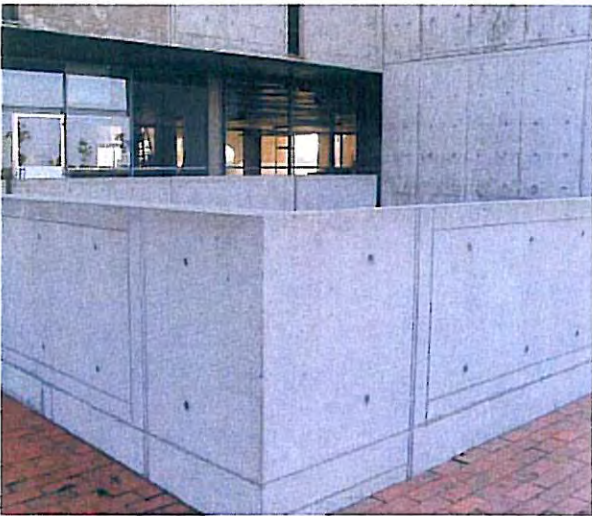
FIGURE 5.19 MATERIALS



Glass



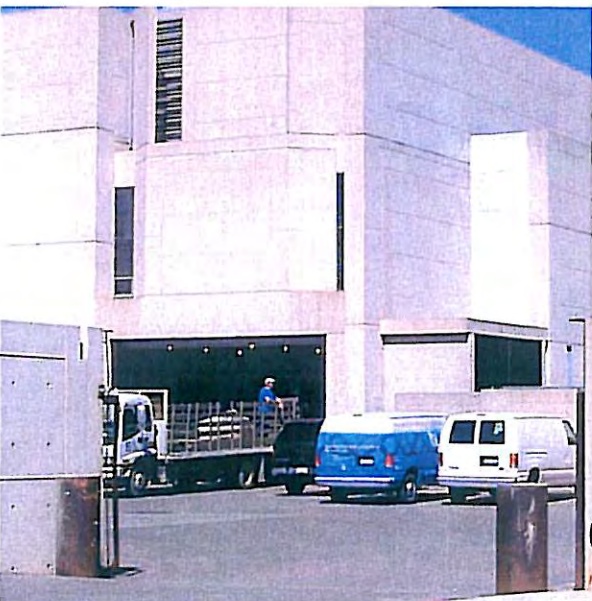
Travertine Bench and Hardscape



Architectural Concrete



Stainless Steel Handrail



Corten Steel



Teak Doors and Screens

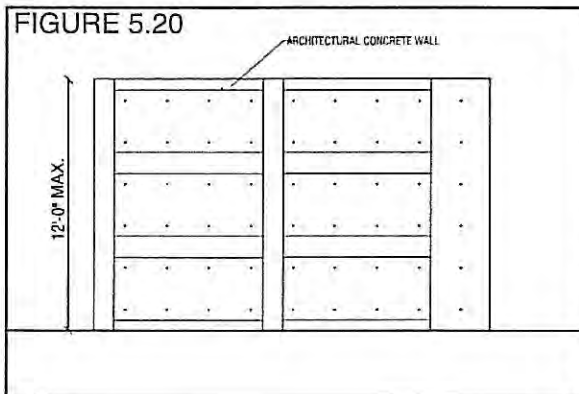


## Service, Loading, Storage and Equipment Areas:

- A. Loading areas shall comply with these guidelines as well as applicable San Diego Municipal Code (SDMC) sections. Reference SDMC Section 142.1010 General Loading Area Requirements.
- B. Service, loading and storage of service vehicles are required to be separated from pedestrian and private vehicular circulation where possible.
- C. Service areas, loading docks, storage yards, and equipment areas shall be screened.
- D. For screening of loading, service and/or storage areas to be effective, a maximum treatment height of twelve feet shall be used. [See Figure 5.20]

## Walls and Fencing:

- A. Fences, walls and retaining walls shall comply with these guidelines and applicable San Diego Municipal Code (SDMC) sections. Reference SDMC: Section 113.0270 (4) Measuring Structure Height and Section 143.0460 (d) Fences and Walls.
- B. Chain link fence with barbed wire, large blank, flat wall surfaces and exposed, untreated concrete block walls are prohibited.
- C. Fencing shall match existing. [See Figure 5.21]
- D. Enclosures shall provide adequate screening and shall respect required setbacks and view corridors.



## Signage:

- A. All signage and graphic information shall comply with these guidelines, the Salk Institute Signage Master Plan (reference Design Guidelines, Section 10), and applicable San Diego Municipal Code (SDMC) sections. Reference SDMC: Section 113.0255 Calculating Sign Copy Area and Section 113.0258 Calculating Sign Face.
- B. Sign types shall be limited to building identification and directional signage.
- C. Signs are not permitted to project above any roof line.
- D. All signs are required to be compatible with the architecture of the buildings they identify.



- E. Building and company signs shall be low and to the ground, or attached to building facades.
- F. All ground mounted signs shall be well integrated into site landscaping.
- G. The following types of signs are prohibited:
  - Revolving, rotating or moving signs
  - Signs with flashing or blinking lights
  - Roof signs
  - Billboards
  - Portable signs, including vehicles used as billboards.

## Outdoor Lighting:

- A. All lighting shall comply with these guidelines, State of California Title 24 Energy Efficiency Standards, the City of San Diego Street Design Manual (Document No. 297376, November 2002 and amendment to Council Policy 200-18, February 2002, Resolution R-296141) and applicable San Diego Municipal Code (SDMC) sections. Reference SDMC: Section 142.0740 Outdoor Lighting Regulations.
- B. Exterior lighting must be integrated into the design of buildings, landscape elements, and signage.
- C. Selected light fixtures must be complementary to the existing campus standards and provide clear paths of access.
- D. Neon and similar type of lighting are prohibited.
- E. No free standing light fixture shall exceed 25 feet in height.
- F. Lighting shall be selectively placed to fall only on the premises and shall be shielded and directed away from all natural habitats, adjacent properties and the MHPA. Large spotlights that may affect conserved habitats are prohibited.

Greenhouse Facility: Refer to Section 4, Architectural Build-out for additional information regarding design intent for greenhouses. [See Figure 5.22]



## 6. LANDSCAPE DESIGN GUIDELINES

### EXISTING AND HISTORIC LANDSCAPE CHARACTERISTICS

#### General Characteristics

The western half of the site is comprised of two relatively flat mesas, bisected by an off site central canyon that winds its way to the west and toward the Pacific Ocean. Existing native vegetation occurs in areas including Southern willow scrub, Diegan coastal sage scrub, Southern maritime chaparral, and Southern mixed chaparral. Areas on the south mesa have been previously disturbed and contain native and non-native grasses and scrub. A large parking lot, currently located on the north mesa, contains ornamental plantings, with native, and non-native trees planted within the islands. When feasible, the existing vegetation will be preserved and incorporated into the landscape design for the site. Situated on the eastern half of the site is the existing lab building, east building, parking lot, and support facilities. Eucalyptus, Citrus, Torrey Pines, and various other ornamental trees, ground covers, and shrubs have been previously planted as the campus evolved over the years. Recreational lawns are currently situated on the north and south side of the existing lab building, extending from the buildings to the property lines. The East Mesa features historic perimeter plantings consisting mostly of Red Flame Eucalyptus and other trees and shrubs, providing a dense screen of vegetation between the campus and the adjoining roads. Between the East Building and the historic Laboratory complex is a remnant of a historic eucalyptus grove that predates the Institute. The historic Laboratory complex is surrounded by various landscape elements including the gently sloping lawn to the north, the lining of Torrey Pines Scenic Drive with a perimeter planting of Red Flaming eucalyptus, some of which have subsequently been replaced with Torrey pines; two separate lawn panels to the south bounded by short concrete walls; and the formal citrus grove at the east end of the courtyard.



FIGURE 6.1 EXISTING RECREATIONAL NORTH LAWN



FIGURE 6.2 EXISTING EUCALYPTUS





FIGURE 6.3 EDGE OF EXISTING NORTH PARKING LOT



FIGURE 6.4 TYPICAL EXISTING LANDSCAPE

### Climate

The climate at the site is mild, generally falling within a limited range (50-85 degrees Summer; 40 –75 degrees Winter) promoting the growth of a wide array of native and exotic plant palettes. This ideal climate allows significant external building circulation and promotes the use of outdoor spaces, making the landscape environment a critical part of the user experience at the Salk Institute.

### Historic Landscape Characteristics (see Appendix 11 - Historic Landscape Analysis)

The original Salk/Kahn plan (see figure 6.5) developed in association with Hoyt in 1965 identifies the following plant materials to be utilized on the premises:

Acacia baileyana	Acacia
Chionanthes retusa	Chinese Fringe Trees
Betula nigra	Red Birch
Cedrus deodara	Deodor Cedar
Citrus mitis	Calamondin Orange
Cupressus macrocarpa	Monterey Cypress
Erythrina poeppigiana	Bucare
Eucalyptus ficifolia	Flame Eucalyptus
Jacaranda acutifolia	Green Ebony
Laurus nobilis	Sheet Bay
Leptospermum laevigatum	Australian Teatree
Magnolia grandiflora	Southern Magnolia
Melaleuca leucadendra	Cajeput Tree
Pittosporum undulatum	Victorian Box
Podocarpus elongata	Yew Pine
Quercus ilex	Holly Oak
Schinus terebinthifolius	Brazilian Pepper
Camellia sasanqua	Sasanqua Camellia
Carissa grandiflora	Natal Plum
Gelsemium sempervirens	Carolina Jessamine

\*Please note that the 1965 landscape plan was never fully realized and that not all plant species identified on this list were utilized on site.

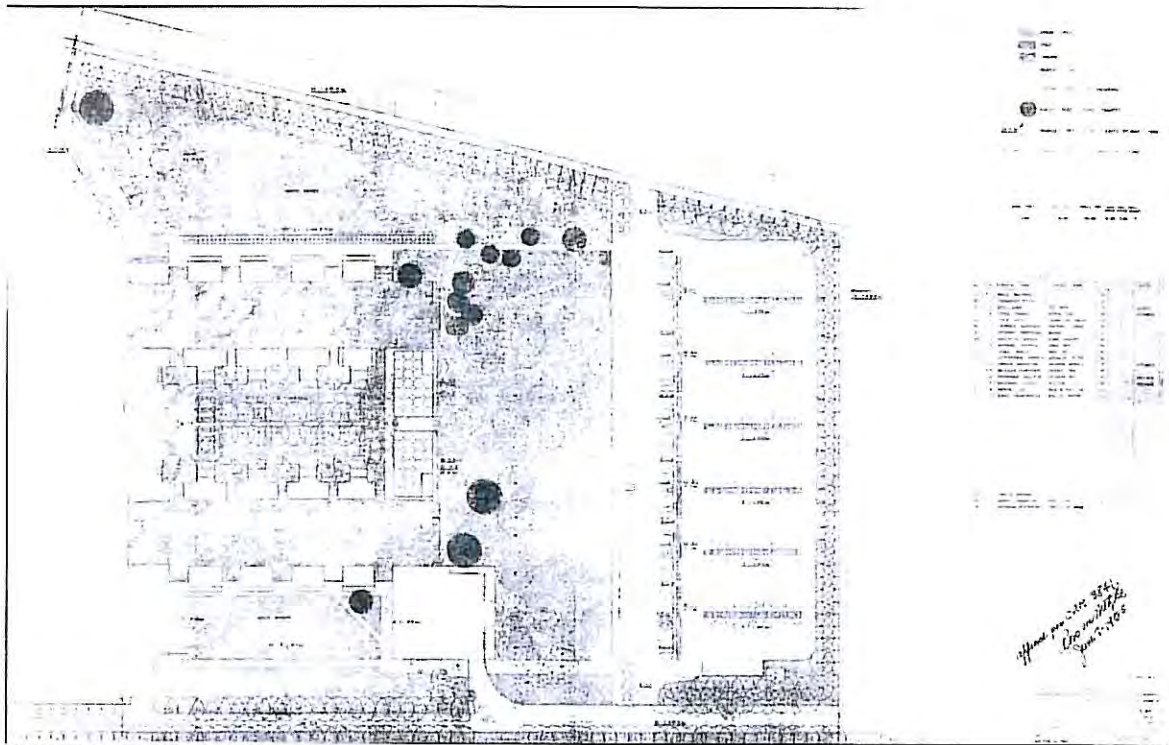


FIGURE 6.5 Original Salk / Kahn Plan

## GOALS

### General Design Goals

- Retain and enhance the natural and built environments of the site.
- Protect and enhance the perimeter of the campus.
- Incorporate gardens.
- Provide outdoor spaces that help create a sense of community.
- Provide a series of outdoor spaces that serve as gathering areas for the research community, consistent with what exists today on campus. The following images represent the size, scale, materials, and general feeling of the proposed outdoor spaces. See figures 6.6, 6.7, and 6.8
- Integrate signage, way finding, and graphics into the landscape.
- Integrate art into the landscape.



- Work with local utility providers and the City of San Diego to improve the aesthetics of above ground utilities along the perimeter of the property.

#### Hardscape Goals

Utilize the established “family of materials” that currently exists on the campus to tie the campus together, including red brick pavers, travertine, architectural concrete, and decomposed granite gravel. All patterns, colors, and textures should be consistent with what currently exists on site today. [See figures 6.6, 6.7, 6.8, 6.10, 6.11, and 6.12]



FIGURE 6.6 EXISTING RED BRICK PAVER COURT



FIGURE 6.7 DECOMPOSED GRANITE GRAVEL COURT



FIGURE 6.8 EXISTING TRAVERTINE COURT

#### Historic Landscape Goals

- Relocate the existing historic Chinese Fringe Trees (*Chionanthus retusa*) originally planted in the east parking lot to the proposed entry drive between the existing East Buildings and the proposed Torrey East Building. An arborist shall be retained to determine which trees are healthy and able to be transplanted. [See figures 6.9]
- Densify the existing historic grove of Eucalyptus trees (*E. cinerea*, *ficafolia*, *sideroxylon*, *citriodora*) between the original Kahn-Salk buildings and the East Building. Sparse areas of the grove shall be enhanced with new trees of similar

species and spacing. The implementation of these plantings will be a condition of the building permit for the North Lawn Core Facility. [See figures 6.9]

- Reestablish the historic border of Red Flame Eucalyptus (*E. ficafolia*) trees along the southern property line as planted in 1962. [See figures 6.9]
- Preserve and maintain the existing historic citrus groves (*Citrus mitis*) east of the original Kahn-Salk buildings. Replace all damaged or under performing trees as needed with specimens of similar species and spacing to maintain a uniform look. [See figures 6.9]
- Maintain the existing areas north and south of the original Kahn-Salk buildings as passive or recreational use lawns. The implementation of this goal on the North side of the Kan-Salk building will be a condition of the building permit of the North Lawn Core Facility. [See figures 6.9]

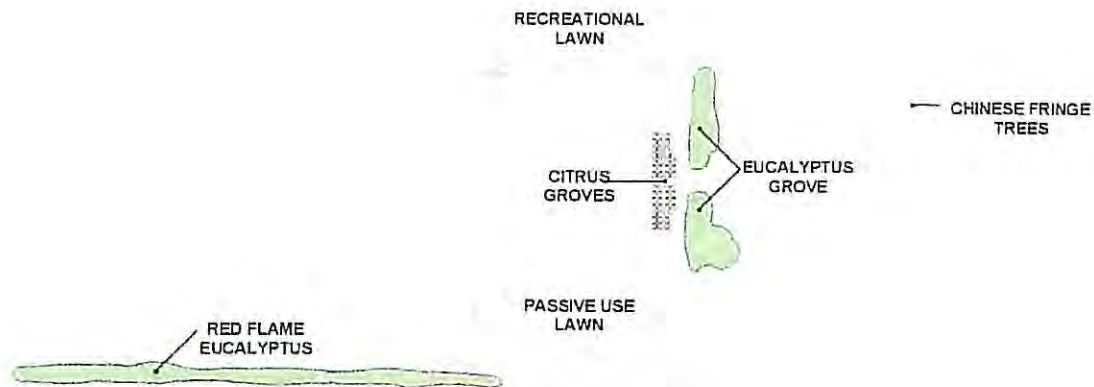


FIGURE 6.9 HISTORIC LANDSCAPE ANALYSIS

#### General Landscape Goals

Create outdoor spaces that are in scale with the setting, buildings and the spaces that the buildings create as they do today on the existing campus. All landscape improvements shall respect and enhance view corridors.

- Protect and Preserve the historic landscape concepts and elements.
- Create an environmentally responsible landscape strategy for water usage by using a drought tolerant plant palette, using a water-conserving/environmentally friendly irrigation system, and minimizing the amount of runoff into adjacent, non-irrigated areas.



- Effectively screen above grade utility equipment, parking, and other utilitarian objects. . [See figures 6.10]



FIGURE 6.10

- Introduce native species to assist in erosion protection and removal of invasive, non-native species near and within the MHPA.

## Lighting Space

- Integrate landscape lighting into the landscape consistent with what occurs onsite today. [See figures 6.11, 6.12, and 6.13]



FIGURE 6.11 EXISTING BOLLARD LIGHTING



FIGURE 6.12 EXISTING INGRADE PATH LIGHTING



FIGURE 6.13 EXISTING RECESSED PATH LIGHTING

Reduce light pollution by removing large overhead lights through the elimination of the two main existing surface parking lots and using pedestrian scaled fixtures. Lighting shall be selectively placed to fall only on the premises and shall be shielded and directed away from all natural habitats, adjacent properties, and the MHPA. [See figure 6.14]



FIGURE 6.14 EXISTING SURFACE PARKING LOT LIGHT FIXTURES TO BE REMOVED



- **LANDSCAPED AREAS**

All proposed Landscaped Areas shall be designed to relate directly to the spaces currently established at the existing campus. This includes character, materials, style and feeling.



FIGURE 6.15 EXISTING ENTRY TERRACE



FIGURE 6.16 EXISTING CENTRAL COURT



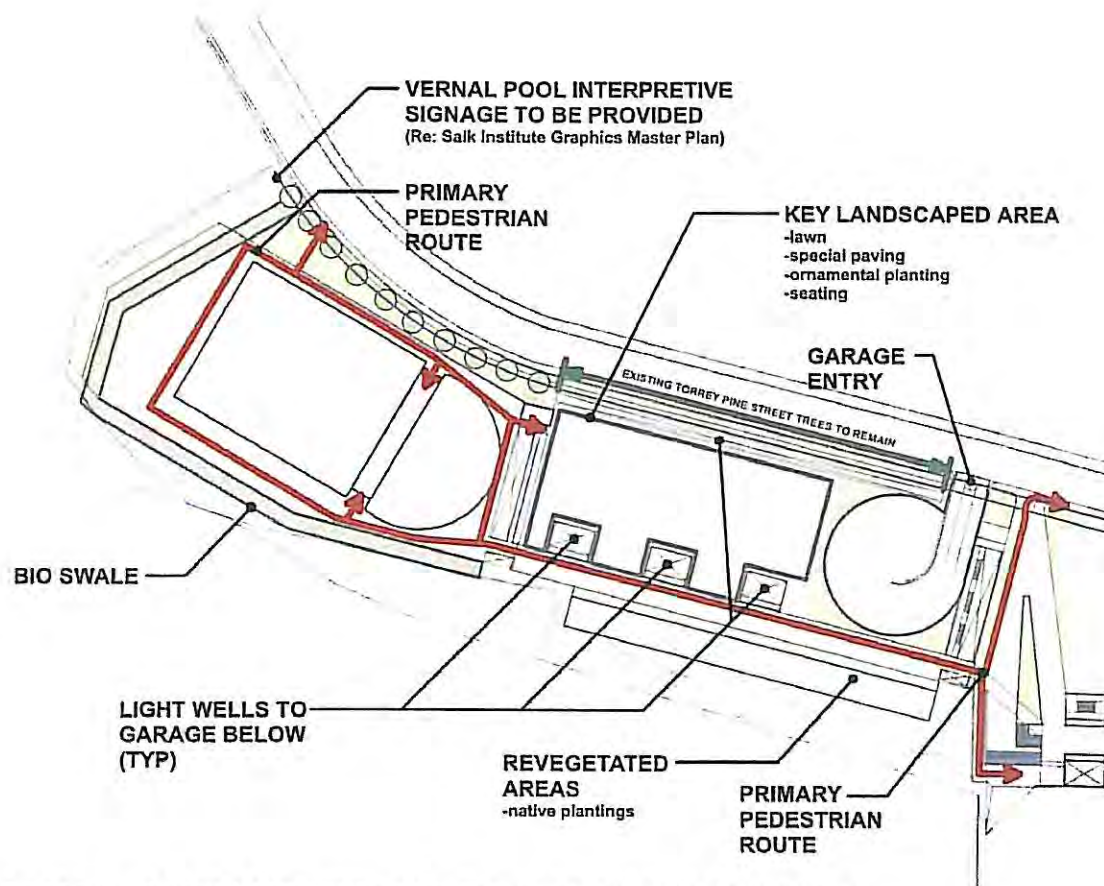
The Salk Institute for Biological Studies  
Coastal Development Permit / Site Development Permit



6. Landscape Design Guidelines, Page 8  
March 3, 2008

FIGURE 6.17 EXISTING TERRACE AND SEATING

FIGURE 6.18 EXISTING TERRACE



#### DIAGRAM A – SALK COMMUNITY CENTER AND NORTH PENINSULA UNDERGROUND PARKING STRUCTURES

##### Salk Community Center Perimeter and MHPA (refer to Diagram A)

Disturbance shall be minimized in the areas adjacent to the off-site canyon. Most areas of development occur within the footprint of the existing asphalt parking lot and areas that have been previously disturbed. All disturbed and Brush Management areas shall be re-vegetated with native and naturalized hydro-seed mixes and container grown stock plant material (minimum 1 gallon) as per the San Diego Municipal Code. No invasive species shall be planted in or adjacent to the MHPA. Revegetation of previously paved parking areas and



other disturbed areas shall conform to SDMC 142.0411 – Revegetation and Erosion Control and 142.0412 – Brush Management. Landscape plans shall be submitted for City review with building permit applications. Existing Torrey Pines (*Pinus torreyana*) shall be preserved or removed and replanted along Torrey Pines Scenic Drive to allow for construction access, and new Torrey Pines shall be provided along the street at the Salk Community Center.

Bio Swale (refer to diagram A)

A rock-lined, vegetated bio swale and associated vegetated barrier shall be installed to preclude pedestrian activity into the MHPA. Plant material would consist of native, non-invasive plant species, as approved by the City. The plant pallet shall consist of the following:

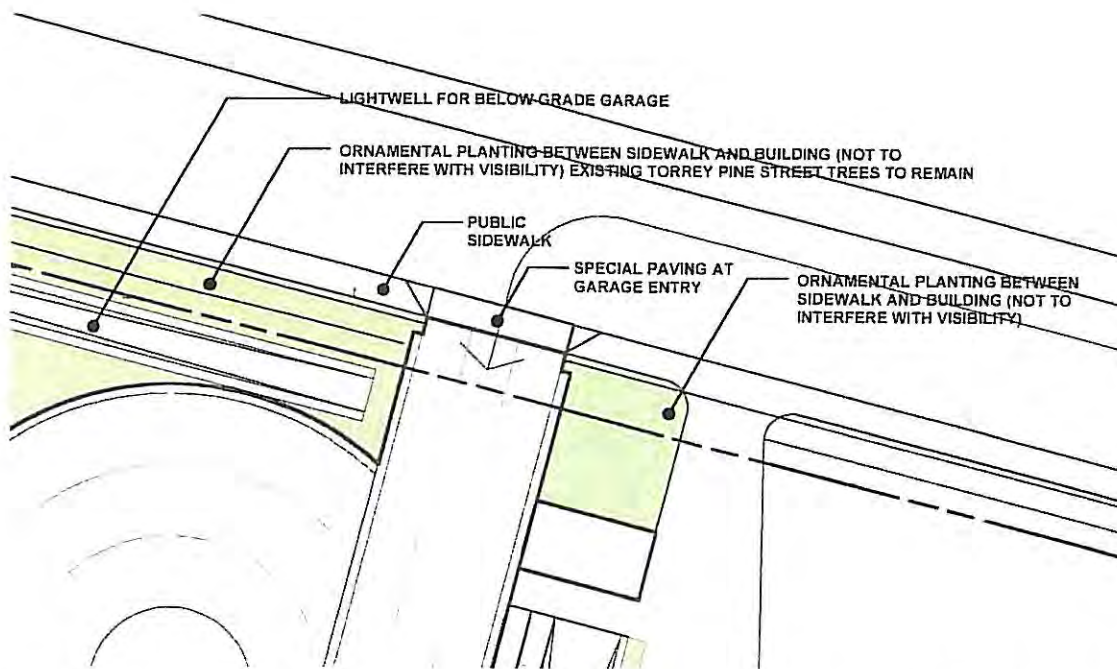
- California sagebrush (*Artemisia californica*)
- California buckwheat (*Eriogonum fasciculatum*)
- California encelia (*Encelia californica*)
- Golden-yarrow (*Eriophyllum confertiflorum*)
- Melic (*Melica imperfecta*)
- Foothill needlegrass (*Nassella lepida*)
- Purple needlegrass (*Nassella pulchra*)
- Blue-eyed grass (*Sisyrinchium bellum*)

Plantings and Materiality (refer to diagram A)

Consistent with what exists today on campus, ornamental and native plantings shall be established in this area as well as paving in the form of red brick, travertine and decomposed granite gravel. Fixed and moveable furniture shall be provided to allow flexible use of the space. All new, outdoor furnishings shall consist of stainless steel, architectural concrete, teak, wood, or iron.

North Peninsula Underground Parking Structure (refer to diagram A)

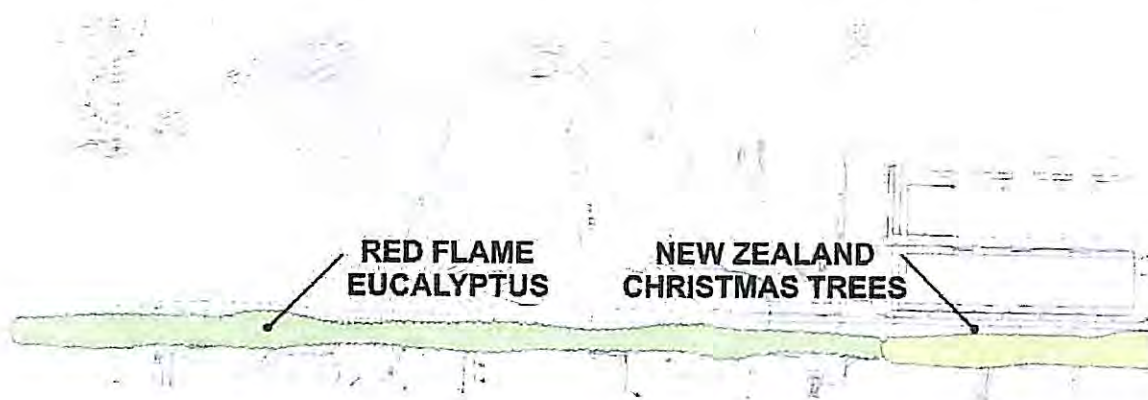
Parking will be accommodated in below grade with zero surface parking spaces.



**DIAGRAM B – NORTH PENINSULA UNDERGROUND PARKING STRUCTURE PUBLIC PERIMETER AND ENTRIES**

North Peninsula Underground Parking Structure Public Perimeter & Entry (refer to diagrams A & B)

Informal ornamental plantings and groundcovers will be utilized along the perimeter to soften the edge between buildings and streets. The entry to the below grade parking will be clearly identified with graphics and the vehicular / pedestrian intersection will be delineated with special red brick paving; consistent with what exists at the existing campus today.



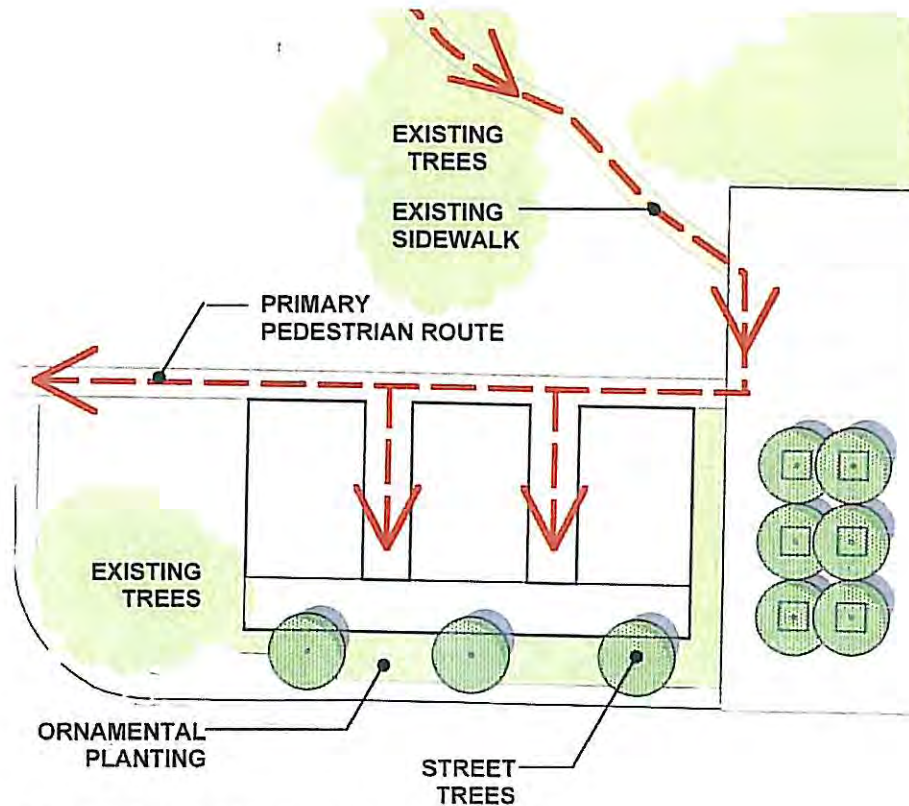
**DIAGRAM C – SOUTH PERIMETER BUFFER LANDSCAPE**

Buffer Landscape (refer to diagram C)

The only buffer treatment in place occurs along the south property line adjacent to a single-family residential neighborhood. The eastern half of this property line has been previously



developed and the existing landscape treatment consists of New Zealand Christmas Trees and Carmel Creeper as ground cover. This landscape treatment will be maintained as is. Red Flame Eucalyptus will be planted along the south edge of the property as to re-establish the South Perimeter buffer as proposed in the original Kahn/Salk Master Plan.



**DIAGRAM D – GREEN HOUSES**

Green Houses (refer to diagram D)

Three, connected greenhouses will be provided along the north side of Salk Institute Road. Street trees and landscape plantings shall be provided as required by code to meet street yard and remaining yard requirements. Connection to the existing campus shall be provided to the existing sidewalk north of the proposed buildings.

• **LANDSCAPE STANDARDS & PLANT PALETTE**

The plant palette for each project will incorporate the historic plant pallet of the Kahn-Salk Master Plan as approved by the City in the mid-1960's under CUP 3841 as well as plant species that are currently found on the Salk Campus. These plants will be planted in all disturbed areas outside of the building lines to reestablish the flora, giving a seamless appearance throughout the campus.

Plant Palette for all landscaped areas excluding Zone 1 and Zone 2 Brush Management. No invasive species shall be planted in or adjacent to the MHPA.

\* No species listed below are considered to be invasive

Trees (A minimum root zone of 40 sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet)

Pinus torreyana	Torrey Pine
Koelreuteria paniculata	Goldenrain Tree
Melaleuca nesophila	Pink Melaluca
Metrosideros excelsus	New Zealand Christmas Tree
Cassia leptophylla	Gold Medallion Tree
Quercus ilex	Holley Oak
Eucalyptus polyanthemus	Silver Dollar Gum
Eucalyptus ficifolia	Red Falme Eucalyptus
Eucalyptus citriodora	Lemon Scented Gum
Citrus	Citrus ssp.

Shrubs

Heteromeles arbutifolia	Toyon Tree
Rhus integrifolia	Lemonade Berry
Elaeagnus pungens	Silverberry
Ceanothus verrucosus	Carmel Creeper
Prunus ilicifolia	Hollyleaf Cherry
Baccharis pilularis 'twin peaks'	Coyote Bush
Prunus caroliniana	Carolina Cherry Laurel

Sub-Shrubs

Cistus purpureus	Orchid Rockrose
Encelia californica	Coast Sunflower
Raphiolepis indica 'ballerina'	Ballerina Hawthorne
Salvia mellifera	Black Sage
Salvia greggi	Red Sage
Nassella pulchra	Purple Needle Grass
Lantana 'gold rush'	Lantana



Lavandula angustifolia 'twinkle purple'	English Lavender
Festuca glauca	Blue Oat Gras
Rhamnus californiaca	Coffee Berry

Vines and groundcovers

Dudleya brittonii	Britton's Chalk Dudleya
Trachelospermum jasminoides	Star Jasmine
Fragaria chiloensis	Wild Strawberry
Lantana montevidensis	Lantana
Bougainvillea 'torch glow'	Bougainvillea
Distictus visticus viscosa 'purpurea'	Trumpet Vine
Bougainvillea 'la jolla'	Bougainvillea

Trees used in formal applications shall be minimum 30" box, consistent in size, height, form and shall be uniformly spaced, with the exception of the existing eucalyptus grove where 15-gallon trees shall be utilized to enhance the grove.

Trees used in informal applications shall be grouped or massed together. Trunk spacing, form and height may vary.

If mounding occurs, trees shall be planted on one side or the other, planting directly on top of the mound is prohibited.

Multi-trunk trees shall be spaced to allow for maximum growth.

Surface and sub-surface drainage shall be provided through the use of uniform finish grades, landscape drains, perforated pipe and catch basins.

Planting areas will receive complete irrigation coverage by means of an automatically controlled, electrically operated, water conserving/environmentally friendly sprinkler system. This system will use low-precipitation sprinkler heads, anti-drain valves, rain switches and other conservation devices.

The irrigation system will not extend into the MHPA area or existing property lines.

Irrigation run-off into the MHPA will be minimized.

Irrigation that is required in Zone 1 brush management shall be state of the art, water efficient, and of conserving design to minimize runoff into naturalized areas.

Landscape maintenance will be performed on a regular basis by the property owner (Salk Institute). This will entail all private manicured landscapes, rustic landscapes, brush management areas, and public rights of way along North Torrey Pines Road and Torrey Pines Scenic Drive. All long-term maintenance of the MHPA areas on site would be conducted in accordance with the Habitat Management Plan.

Any planting stock brought onto the project site for landscaping should be first inspected by a qualified pest inspector to ensure it is free of pest species that could invade natural areas,

including but not limited to, Argentine ants (*Iridomyrmex humil*), fire ants (*Solenopsis invicta*) and other insect pests. Any planting stock found to be infected with such pests should not be allowed on the project site or within 300 feet of natural habitats. The infected stock shall be quarantined, treated, or disposed of according to best management principles by qualified experts in a manner that precludes invasions into natural habitats.

## STREET TREE REQUIREMENTS

Street trees shall be planted between the curb and abutting property line. Trees shall be calculated at the rate of one 30-inch box tree for every 30 feet of street frontage.

Street trees shall be located no closer than 30 inches to the face of curb of within median islands, no closer than four feet to the face of curb.

Street trees shall be separated from improvements by the minimum distance shown in Table 142-04E.

Trees shall be selected and located so that at maturity they do not cause conflict with overhead utility lines.

## STREET YARD REQUIREMENTS

The street yard requirements shown in Table 142-04C shall be provided in both planting area and in plants number.

The required planting area and plant points for the street yard shall be located within the street yard.

Unless specified otherwise in Table 142-04C, at least one-half of the required planting points shall be achieved with trees.

All of the required street yard planting located outside the vehicular use area may consist of hardscape or unattached unit pavers. This does not include the minimum planning area required for trees and the planting area necessary to provide for healthy plant growth.

## PUBLIC RIGHT-OF-WAY REGULATIONS

Areas within the public right-of-way that are not paved for required pedestrian walks or for vehicle access shall be planted or covered with mulch, unattached unit pavers, or other permeable material acceptable to the City.

Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.



## BRUSH MANAGEMENT

Brush Management Standards shall apply in accordance with Article 2: General Development Regulations Division 4: Landscape Regulations Section: 142.0412 of the San Diego Municipal Code.

Table 142-04H Brush Management Zone Width Requirements	
	Property Location
Criteria	West of Interstate 5 & El Camino Real
Zone 1 width within the coastal overlay zone for subdivisions containing steep hillsides with sensitive biological resources.	30 feet
Minimum zone 2 width	20 feet
Additional zone 2 width required when zone 2 is on slopes greater than 4:1 that are 50 feet or 2 is greater than 48 inches in height. This additional width is not required for zone 2 located in the MHPA.	10 feet

### Zone 1 and 2 implementation:

#### *Northern mesa:*

Brush management zone 1 width for all areas is established according to the Brush Management Zone Width Requirements of the San Diego Municipal Code Table 142-04H, resulting a 30 feet minimum width within the coastal overlay zone for subdivision containing steep hillsides with sensitive biological resources.

Brush management zone 2 width is also established for all areas by the same table resulting a minimum of 20 feet.

## **Zone 1 requirements:**

1. The required zone 1 width shall be provided between flammable vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
2. Zone 1 shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls and non-habitable gazebos that are located within brush management zone 1 shall be of noncombustible construction.
3. Plants within zone 1 shall be primarily low growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.
4. Trees within zone 1 shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the landscape standards of the land development manual.
5. Permanent irrigation is required for all planting areas within zone 1 except as follows:
  - a) When planting areas contain only species that do not grow taller than 24 inches in height, or
  - b) When planting areas contain only native or naturalized species that are not summer-dormant and have maximum height at plant maturity of less than 24 inches.
6. Zone 1 irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
7. Zone 1 shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

## **Zone 1 maintenance program:**

This vegetation should be kept in a well-watered condition and cleared of dead material. Dead and excessive twiggy growth must also be trimmed and removed. Debris and trimming must be removed from the site or converted into mulch by a chipping machine and evenly dispersed to a maximum depth of six inches.

Plants in this area should be maintain to a height of 4 feet with the exception of trees. Trees and large shrubs must be pruned so 40% of the flammable material is removed. The lowest



branches should be three times higher than the height of the vegetation below, or six feet, whichever is higher. The canopies of large trees should not form a continuous planting mass.

Root systems should not be disturbed.

Zone 1 runoff shall not be allowed into adjacent areas of native vegetation. Irrigation systems should be maintained.

No invasive plant species will be planted in or near the MHPA.

Maintenance timing: one a year in spring

Party responsible: Salk Institute

**Zone 1** plant pallet shall consist of the following plant in the form of hydro-seed and nursery-grown container stock.

Plant Palette for Zone 1 Brush Management Revegetation shall be comprised of 1-gallon material minimum.

Baccharis pilularis	Dwarf coyote bush
Eriophyllum confertiflorum	Golden yarrow
Melica imperfecta	Melic
Nassella lepida	Foothill needle-grass
Nassella pulchra	Purple needle-grass
Opuntia littoralis	Coastal prickly pear
Plantago erecta	Plantain
Sysirinchium bellum	Blue-eyed grass
Yucca schidigera	Mojave yucca

## **Zone 2 requirements:**

1. The required zone 2 width shall be provided between zone 1 and the undisturbed, flammable vegetation, and shall be measured from the edge of zone 1 that is the farthest from the habitable structure, to the edge of undisturbed vegetation.
2. No structures shall be constructed in zone 2.
3. Within zone 2, 50 percent of the plants over 18 inches in height shall be cut and cleared to a height of 6 inches.
4. Within zone 2, all plants remaining after 50 percent are cut and cleared shall be pruned to reduce fuel loading in accordance with the landscape standards in the land development manual and five management recommendations in the project habitat management plan.

The habitat management plan (section 5.4) deals with doing brush management in a portion of the MHPA.

5. The following standards shall be used where zone 2 area is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:

a) All new plant material for zone 2 shall be native or naturalized, low-fuel, and fire resistive. No non-native plant material may be planted in zone 2 either inside the MHPA or in the coastal overlay zone, adjacent to areas containing sensitive biological resources.

b) New plants shall be low-growing with a maximum height at maturity of 2 feet. Single specimens of fire-resistant native trees may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures.

c) All new zone 2 plantings shall be temporarily irrigated until established. Permanent irrigation is not allowed in zone 2. Only low-flow, low-gallonage spray heads may be used in zone 2. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation.

d) Where zone 2 is being revegetated as a requirement of section 142.0411(a), revegetation shall comply with the spacing standards in the land development manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in zone 2.

6. Zone 2 shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining any temporary irrigation system.

#### **Zone 2 maintenance program:**

This vegetation should be kept in a well-watered condition and cleared of dead material. Dead and excessive twiggy growth must also be trimmed and removed. Debris and trimming must be removed from the site or converted into mulch by a chipping machine and evenly dispersed to a maximum depth of six inches.

50 percent of the plants over 18 inches in height shall be cut and cleared to a height of 6 inches. Remaining after 50 percent are cut and cleared shall be pruned to reduce fuel loading in accordance with the landscape standards in the land development manual and five management recommendations in the project habitat management plan.

Root systems should not be disturbed.

New plantings in revegetation areas shall be temporarily irrigated until established. Permanent irrigation is not allowed in zone 2. Only low-flow, low-gallonage spray heads may be used in zone 2. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation.



No invasive plant species will be planted in or near the MHPA.

Maintenance timing: one a year in spring

Party responsible: Salk Institute

**Zone 2** plant pallet shall consist of the following plant in the form of hydro-seed and nursery-grown container stock.

Plant Palette for Zone 2 Brush Management and revegetated areas outside of Brush Management. Revegetation shall be comprised of a hydroseed mix and 1 gallon material minimum.

Artemisia californica	California Sagebrush
Castilleja Affinis	Coast Paint-Brush
Encelia Californica	California Sunflower
Eriophyllum confertiflorum	Golden Yarrow
Eriogonum fasciculatum	California Buckwheat
Isocoma menziesii	Goldenbush
Isomeris arborea	Bladderpod
Eschscholzia californica	California Poppy
Ferocactus vireescens	Coast Barrel Cactus
Lasthenia californica	Goldfields
Lotus scoparius	Deerweed
Lupinus bicolor	Lupine
Malacothamnus fasciculatus	Chaparral Mallow
Melica imperfecta	Melic
Mimulus aurantiacus	Monkey-flower
Nassella pulchra	Purple Needlegrass
Osmadenia tenella	Osmadenia
Poa secunda	Bluegrass
Rhus integrifolia	Lemonade Berry
Salvia Apiana	White Sage
Salvia mellifera	Black Sage
Viguiera lacinata	San Diego Sunflower
Yucca schidigera	Mojave Yucca

## 7. PHASING PROGRAM

The Salk Institute property has been developed in phases since the approval of CUP 3841 on March 1, 1961 under the 1961 Kahn/Salk Master Plan, and further development of the property will be conducted in further phases under the revised Master Plan submitted concurrently herewith. As such, the Salk development is a continuous process under Salk's existing and future approvals, and all of Phases 1 through 9 below (including sub-items 1-10 of Phase 9), constitutes the "phasing program" for the Salk development for purposes of San Diego Municipal Code Section 126.0108(b)(2). Following is a listing of the phases commencing with those completed to date:

### Phase 1

On March 1, 1961, the City of San Diego approved Conditional Use Permit 3841 which provided for the buildout of three main building programs and reserved several areas of the property for "Future Development". From 1961 to 1965, the City approved five amendments to CUP 3841, in particular adding a landscape plan for the buildout of the property.

### Phase 2.

Construction of the original Salk-Kahn building was completed in 1965, as was the perimeter landscape planting.

### Phase 3

On January 9, 1979, the City Planning Commission approved an amendment to CUP 3841 to accommodate the Cancer Research Animal Facility south of the original Salk-Kahn building.

### Phase 4

The Cancer Research Animal Facility underground building was constructed south of the Kahn-Salk building in 1979.

### Phase 5

On October 17, 1985, the City of San Diego approved CUP 85-0589, effectuating an exchange of roughly 2.5 acres of land to accommodate the City's construction of a sewer pump station at the westerly end of the South Peninsula.

### Phase 6

CDP 90-1140 was approved on May 30, 1991 to accommodate the construction of the existing East Building.

### Phase 7

The East building was constructed in 1995.



## Phase 8

An expansion of the Cancer Research Animal Facility was completed in the late 2001 based on a determination by the City that the project was in substantial conformance to CUP 3841 on May 8, 1998.

## Phase 9

This application for a Coastal Development Permit, Site Development Permit, Planned Development Permit, Amendment to Conditional Use Permit, MHPA Boundary Adjustment and Vesting Tentative Map accommodates the City's request that the Institute provide a revised "Master Plan" of development for the further buildout of the property to its allocation of 500,000 square feet of scientific research space as approved in the University Community Plan.

Continued phasing of the full buildout of the Salk property under these development approvals is outlined below. Completion of Phases 1 through 8 described above or completion of any one or more of the numbered items below shall be sufficient to "utilize" and thereby vest each of the above new development approvals in accordance with San Diego Municipal Code Section 126.0108.(b)(2). This sequencing is not intended to define, nor does it dictate a specific order of priorities. It is intended only to suggest one of a possible number of sequences for the full buildout of the property. Specific sequencing and timing for the buildout of the campus will depend on future demands arising from new and evolving scientific programs, advances in technologies, availability of parking and, the Institute's needs, and most importantly, availability of capital funding.

Future Phasing of the full buildout of the Master Plan could be as follows:

### 1. MMP Entitlement Payment or Property Transfer.

Payment of the endowment of \$44,500 to implement the Habitat Management Plan thereby "utilizing" these new development permits in accordance with San Diego Municipal Code Section 126.0108.(b)(2).

### 2. Traffic Installment Payment

Payment of an initial installment of \$50,000 towards the mitigating the traffic impacts at the I-5/Genesee Avenue interchange, thereby "utilizing" these new development permits in accordance with San Diego Municipal Code Section 126.0108.(b)(2). This installment will be applied against the initial building permits issued for the project in accordance with Table 9-9, in the Transportation Analysis for the project dated September 20, 2006, until such time as the \$50,000 is exceeded, at which time payment of the remaining traffic mitigation fee will be provided for each subsequent building permit.

### 3. Final Map Recordation

Recordation of the final map, or the first phased final map consistent with the Vesting Tentative Map for the property, to the extent a Vesting Tentative Map is submitted and approved, thereby "utilizing" these new development permits in accordance with San Diego Municipal Code Section 126.0108.(b)(4)

#### 4. Greenhouse Relocation

New greenhouses will be relocated from the temporary building location to a site south of the existing East Buildings. They will be conveniently placed in proximity to the laboratory spaces.

#### 5. North Lawn Core Facility, Mechanical Room and Equipment Shops

The North Lawn Core Facility, Mechanical Room and Equipment Shops are required to provide additional specialized research laboratory space, locations for shared equipment and workshop area for maintenance staff. Both projects will be underground and adjacent to each other. Their footprints will not displace existing parking. No additional parking will be required as a result of these projects. The existing temporary shops building at the southeast corner of the project will be removed as a part of this project.

The demolition of the "temporary" buildings, located at the east side of the North Mesa is a priority for the Institute. The relocation of their current research functions will be possible within 12 months of the issuance of the first certificate of occupancy of the North Lawn Core Facility.

#### 6. North Peninsula Underground Parking Structure

The underground parking structure will be built with the intent to provide the required parking needs of the Salk Community Center. It should employ an efficient and cost-effective circulation strategy which may include speed ramps and parking on sloped floor levels. This structure will be classified as S-4, thereby relying on light wells and perimeter openings to provide daylight and natural ventilation on all three levels. Two exit stairwells and elevator shafts will be provided in order to meet exiting requirements.

#### 7. Salk Community Center

A building, which could be built in phases, will house spaces that will support the Scientific Research activities on the campus, including but not limited to: Dining Facilities, Offices for Administrative groups, Places for Meeting, and Garden Courts.

#### 8. Torrey East Lab Building and Underground Parking Structure

The Torrey East Underground Parking Structure and Torrey East Laboratory Building will occupy the footprint of the existing parking lot east of the East Buildings and the footprint of the existing shops at the south-east end of the campus. The Torrey East Building is required in order to accommodate the projected growth of staff and research at the Institute. The parking structure is necessary in order to meet the parking requirements associated with the build-out of this building.

The demolition of the "temporary" buildings, located at the southeast corner of the Torrey East Building site will be possible upon start of construction of the Torrey East Building and Parking Structure



## 8. PERMIT IMPLEMENTATION


The Campus Master Plan that embodies these Design Guidelines and the Development Permits, constitutes a document that is endorsed by the Salk Institute and represents the vision set forth by Dr. Salk and Louis Kahn in the original Master Plan (CUP 3841), addresses the Institute's Goals, and serves as the basis by which all future development of the campus will be guided.

The Development Permits outline the development of the remaining portion of the 500,000 square foot allocation for Scientific Research and support space as approved in the University Community Plan. The goals and objectives of the Campus Master Plan, these Design Guidelines, and the Development Permit application acknowledge that the site is in the Coastal Zone and that biologically sensitive lands exist. The Campus Master Plan has been developed to address these conditions and the needs of the Institute. Approval of the Development Permits by the City will set the framework from which individual projects will be evaluated prior to issuance of building permits and will serve as the basis for design of the projects included in this Master Plan update.

Once the Development Permits are approved by the City, applications for building and grading permits for the North Lawn Core Facility, Mechanical Room and Equipment Shops, the Greenhouses, the Torrey East Building and Parking projects can be processed by the City for without further discretionary approval or substantial conformance review, so long as the applications reflect a design consistent with the documentation approved under these Campus Master Plan Design Guidelines and the Development Permits. Should City Staff not find the proposed building or grading permit application for a future project to be consistent with these Design Guidelines and the Development Permits, the applicant shall then file with the City of San Diego, an application for an amendment to the applicable Development Permit and the Campus Master Plan, or shall modify the permit applications so that the City Staff can find them in conformance with these Design Guidelines and the Development Permits.

The Salk Community Center and the North Peninsula Underground Parking Structure must be submitted for Substantial Conformance Review by City Staff prior to application for grading or building permits. The Substantial Conformance Review Process will be handled as a Process Two review, consistent with City policy for Substantial Conformance Review applications in the Coastal Zone. Should City Staff not find the proposed project to be in Substantial Conformance with these Design Guidelines and the Development Permits, the applicant shall then file with the City of San Diego, an application for an amendment to the applicable Development Permit(s), and the Campus Master Plan.

The grading and building permit applications for each of the buildings within the Development Permits shall be submitted to the City's Historic Resources Board staff for the determination that the applications are consistent with the Secretary of Interior Standards listed in Section 1 of these Design Guidelines.

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM DS-318</b>  <b>October 2017</b>
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**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☒ **Other** SCR

**Project Title:** Salk Institute SCR **Project No. For City Use Only:** 687543

**Project Address:** 10010 N Torrey Pines Rd  
La Jolla, CA 92037

**Specify Form of Ownership/Legal Status (please check):**

☒ Corporation ☐ Limited Liability -or- ☐ General - What State? CA Corporate Identification No. C0405946  
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Kim Witmer - The Salk Institute For Biological Studies ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 10010 N Torrey Pines Rd  
 City: La Jolla State: CA Zip: 92037  
 Phone No.: 858-453-4100 Fax No.: \_\_\_\_\_ Email: witmer@salk.edu  
 Signature: Kim Witmer Date: 3/25/22  
 Additional pages Attached: ☒ Yes ☐ No

**Applicant**

Name of Individual: Camille Passon - Latitude 33 Planning & Engineering (on behalf of Salk Institute) ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: 9968 Hibert Street, 2nd Floor  
 City: San Diego State: CA Zip: 92131  
 Phone No.: 858-751-0633 Fax No.: \_\_\_\_\_ Email: camille.passon@latitude33.com  
 Signature: Camille Passon Date: 3/25/22  
 Additional pages Attached: ☐ Yes ☒ No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency  
 Street Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Additional pages Attached: ☐ Yes ☐ No





November 2021

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