





# THE SALK INSTITUTE FOR BIOLOGICAL STUDIES

## COASTAL DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT

### LA JOLLA, CALIFORNIA

PROJECT DESCRIPTION	SYMBOLS	OWNER & PROPERTY INFORMATION	PROJECT TEAM																																																																													
<p>The Salk Institute is embarking on an effort to update its Campus Master Plan, created by Jonas Salk and Louis Kahn and approved in 1961. This is the first update to the 1961 Master Plan, and it will provide a plan to guide campus development over the next 30-40 years. Over the four decades since the original Master Plan was approved, scientific needs have continually evolved. The Master Plan update will allow the Institute to respond to the changing needs of science and plan for the scientific and support facilities that are needed in order to attract the top scientists of the world.</p> <p>The goals of the Master Plan update are:</p> <ul style="list-style-type: none"> <li>Modest growth of 15% of research programs, laboratory space and related staff</li> <li>Flexible facilities to house emerging technologies and specialized equipment</li> <li>Centralized facilities on campus to house all Institute support departments and personnel</li> <li>Additional and improved support services for Institute staff</li> <li>Campus-wide improvements to the physical environment</li> <li>Removal of all temporary buildings</li> </ul> <p>Proposed facilities in the Master Plan update include:</p> <ul style="list-style-type: none"> <li>Core Facility to house specialized equipment and Laboratories</li> <li>Salk Community Center housing administration, meeting rooms, dining facilities, etc.</li> <li>Greenhouse Facility</li> <li>Torrey East Building</li> <li>Underground Parking (majority)</li> </ul> <p>The application is for a Coastal Development Permit, Planned Development Permit and Site Development Permit as an amendment to previously approved CDP/HRP/CUP 90-114Q, CUP 85-0589, CUP 3841, and Sewer Easement Abandonment, and will accommodate the Institute's build-out of the property in conformance with the University City Community Plan, Land Use Table 3 which allocates 500,000 square feet of scientific research space to the property.</p>	<p><b>SYMBOLS</b></p> <p>DETAIL NUMBER A8.05 SHEET NUMBER</p> <p>ELEVATION A3.01</p> <p>WALL SECTION / DETAIL INDICATOR A3.02</p> <p>ENLARGED DETAIL INDICATOR A8.05</p> <p>ROOM TITLE 133</p> <p>CEILING HEIGHT +12'-0"</p> <p>ROOF ELEVATION +373.5'</p> <p>ELEVATION AT LOCATION (ELEVATION AND SECTION VIEW) T.O. WALL +370.6'</p> <p>SINK</p> <p>VEHICLE ROUTE 1111</p> <p>ACCESSIBLE PEDESTRIAN ROUTE 1111</p> <p>FIRE HYDRANT</p>	<p><b>OWNER:</b> THE SALK INSTITUTE FOR BIOLOGICAL STUDIES 10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037 TEL: (858) 453-4100 FAX: (858) 453-6729</p> <p><b>DR. RICHARD MURPHY, PRESIDENT</b> <b>BETH ALTON, VICE PRESIDENT OF HUMAN RESOURCES</b> <b>GARRY VAN GERPEN, DIRECTOR OF FACILITIES</b></p> <p><b>LEGAL DESCRIPTION:</b> PORTION OF PARCEL 1 OF PM NO. 14013, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.</p> <p><b>ASSESSOR'S PARCEL NUMBER:</b> 342-010-38</p> <p><b>ZONING INFORMATION:</b> EXISTING ZONE RS-1-7; COASTAL OVERLAY ZONE; COASTAL HEIGHT LIMIT OVERLAY ZONE AND COMMUNITY PLAN IMPLEMENTATION OVERLAY (AREA A)</p> <p><b>TYPE OF CONSTRUCTION:</b> TYPE 1, FIRE RATED, FULLY SPRINKLERED</p> <p><b>OCCUPANCY CLASSIFICATION:</b> B (EXISTING AND PROPOSED); S-3 AND S-4 (PROPOSED UNDERGROUND PARKING STRUCTURES)</p> <p><b>EXISTING STRUCTURES:</b> ORIGINAL BUILDINGS, TEMPORARY BUILDINGS, ASSESSORY BUILDING (1965) CANCER RESEARCH FACILITY EXPANSION (1978) EAST BUILDING (1965) NORTH PARKING EXPANSION (2000) SALK ANIMAL FACILITY BASEMENT (2001)</p>	<p><b>ARCHITECT:</b> NBBJ 130 SUTTER ST, 2ND FLOOR SAN FRANCISCO, CA 94104 TEL: (415) 981-1100 FAX: (415) 733-2700 JACK MACALLISTER, FAIA, DESIGN CONSULTANT DAVID RINEHART, FAIA, DESIGN CONSULTANT LILIAN ASPERIN-CLYMAN, PROJECT MANAGER</p> <p><b>CIVIL ENGINEERING:</b> LATITUDE 33 ENGINEERING AND PLANNING 4933 PARAMOUNT DR. SECOND FLOOR SAN DIEGO, CALIFORNIA 92123 TEL: (858) 751-0633 FAX: (858) 751-0634</p> <p><b>LANDSCAPE ARCHITECT:</b> MARK ROWSON, PRINCIPAL IN CHARGE KAREN MACDONALD, CIVIL ENGINEER THE OFFICE OF JAMES BURNETT 415 SOUTH CEDROS, SUITE 260 SOLANA BEACH, CALIFORNIA, 92075 TEL: (858) 793-6970 FAX: (858) 793-6905</p> <p><b>ENVIRONMENTAL PLANNING:</b> JIM BURNETT, PRESIDENT KYLE FIDDELKE, VICE PRESIDENT HELIx ENVIRONMENTAL PLANNING, INC. 8100 LA MESA BOULEVARD, SUITE 150 LA MESA, CALIFORNIA, 91941 TEL: (619) 462-0552 FAX: (619) 462-1515</p> <p><b>LAND USE ATTORNEY:</b> DAVID CLAYCOMB, PRESIDENT KIM BARANEK, SENIOR PROJECT MANAGER SHEPPARD MULLIN 12544 HIGH BLUFF DRIVE, SUITE 300 SAN DIEGO, CALIFORNIA 92130 TEL: (858) 720-8908 FAX: (858) 847-4850</p> <p><b>GRAPHIC DESIGNER:</b> DEBORAH NICHOLS DESIGN 488 JACKSON STREET SAN FRANCISCO, CALIFORNIA 94111 TEL: (415) 788-0768 FAX: (415) 788-0767</p> <p><b>CODE ANALYSIS:</b> DAVIS DAVIS ARCHITECTS 3601 FIFTH AVENUE SAN DIEGO, CA 92103 TEL: (619) 298-1533 FAX: (619) 298-8128</p>																																																																													
<p><b>DEVELOPMENT SUMMARY</b></p> <table border="1"> <thead> <tr> <th colspan="2">GROSS SQUARE FOOTAGE INVENTORY (REFERENCE A1.0)</th> </tr> </thead> <tbody> <tr> <td><b>EXISTING</b></td> <td></td> </tr> <tr> <td>Building:</td> <td>Gross Floor Area:</td> </tr> <tr> <td>NORTH BUILDING (1)</td> <td>73,000 sf</td> </tr> <tr> <td>SOUTH BUILDING (1)</td> <td>85,000 sf</td> </tr> <tr> <td>EAST BUILDING</td> <td>102,800 sf</td> </tr> <tr> <td>(NORTH AND SOUTH WINGS) (1)</td> <td></td> </tr> <tr> <td>WEST BUILDING (1)</td> <td>20,000 sf</td> </tr> <tr> <td>ACCESSORY BUILDING (1)</td> <td>9,000 sf</td> </tr> <tr> <td>SALK ANIMAL FACILITY BASEMENT (2)</td> <td>0 sf</td> </tr> <tr> <td><b>Total:</b></td> <td><b>289,800 sf</b></td> </tr> <tr> <td><b>EXISTING BUILDINGS TO BE DEMOLISHED</b></td> <td></td> </tr> <tr> <td>WEST BUILDINGS (17)</td> <td>20,000</td> </tr> <tr> <td>ACCESSORY BUILDINGS (17)</td> <td>9,000</td> </tr> <tr> <td><b>NET TOTAL EXISTING BUILDING GROSS FLOOR AREA: (19)</b></td> <td><b>260,800 s.f.</b></td> </tr> <tr> <td>Existing Parking</td> <td>604</td> </tr> <tr> <td>Parking Required (1)</td> <td>580</td> </tr> <tr> <td><b>PROPOSED</b></td> <td></td> </tr> <tr> <td>Building:</td> <td>Gross Floor Area:</td> </tr> <tr> <td>NORTH LAWN CORE FACILITY (3), (7)</td> <td>0 sf</td> </tr> <tr> <td>STORAGE (3), (7)</td> <td>0 sf</td> </tr> <tr> <td>-</td> <td>0 sf</td> </tr> <tr> <td>-</td> <td>0 sf</td> </tr> <tr> <td>TORREY EAST BUILDING (5), (7)</td> <td>94,200 sf</td> </tr> <tr> <td>(NORTH AND SOUTH WINGS)</td> <td></td> </tr> <tr> <td>SALK COMMUNITY CENTER (5), (6), (7), (8), (9), (10)</td> <td>117,000 sf</td> </tr> <tr> <td>NORTH PENINSULA UNDERGROUND PARKING (3), (5), (7)</td> <td>0 sf</td> </tr> <tr> <td>GREENHOUSES</td> <td>4,000 sf</td> </tr> <tr> <td><b>Total:</b></td> <td><b>215,200 sf</b></td> </tr> <tr> <td><b>TOTAL PROPOSED GROSS FLOOR AREA: (19)</b></td> <td><b>476,000 sf</b></td> </tr> <tr> <td>Proposed Underground Parking (1), (12), (15), (16)</td> <td>578 (75 carpool spaces)</td> </tr> <tr> <td>North Peninsula Underground Parking Structure:</td> <td>486 (75 carpool spaces)</td> </tr> <tr> <td>Torrey East Underground Parking Structure:</td> <td>1,064 spaces (21 accessible - 3 of these are van accessible)</td> </tr> <tr> <td><b>Total:</b></td> <td><b>1,064 spaces (21 accessible - 3 of these are van accessible)</b></td> </tr> <tr> <td>Existing Parking (Surface) (1)</td> <td>22 spaces (2 accessible - 2 of these are van accessible)</td> </tr> <tr> <td><b>TOTAL PARKING PROVIDED:</b></td> <td><b>1,088 spaces</b></td> </tr> <tr> <td>Parking Required (1), (17)</td> <td>1,046 spaces</td> </tr> <tr> <td>Proposed Motorcycle Parking (13)</td> <td>25 (existing)</td> </tr> <tr> <td>Proposed Motorcycle Parking (14)</td> <td>39 spaces</td> </tr> </tbody> </table> <p>General Note: The square footages of the proposed buildings and uses within each building listed in this table are provided to illustrate an example of how the project could be built out to the 500,000 square feet of scientific research density. Building square footages may vary, and respective use of each building may vary depending on the Institute's needs. However, the 500,000 square feet total will not be exceeded.</p> <p>Footnotes: (1) Per CDP 90-114Q (Amended CUP 3841), 290,000 SF @ 1SP/500SF = 580 Parking Spaces (2) Per City of San Diego Municipal Code Sections 101.0101.25 and 101.0101.68* as noted on Animal Facility Substantial Conformance Review, dated May 8, 1998. (*References updated in recent LDC published editions). (3) Per LDC, Section 113.0234. (4) Not used. (5) Per City of San Diego Municipal Code Sections 113.0261, Underground Parking Structures and Basements. (6) Per City of San Diego Municipal Code Sections 113.0231, Determining Proposed Grade (7) Per City of San Diego Municipal Code Sections 113.0234, Calculating Gross Floor Area (8) Per City of San Diego Municipal Code Sections 113.0228, Determining Existing Grade (9) Per City of San Diego Municipal Code Sections 113.0270, Measuring Structure Height (10) Per City of San Diego Building Newsletter 2-2, January 1999, Determination of Building Height, Proposition "D" (11) Per City of San Diego Municipal Code, Chapter 14 General Regulations - Article 2: General Development Regulations; Division 5: Parking Regulations (12) Per City of San Diego Municipal Code Section 142.0530 (d), Carpool Spaces (13) Per City of San Diego Municipal Code Section 142.0530 (e), Bicycle Facilities (14) Per City of San Diego Municipal Code Section 142.0530 (g), Motorcycle Parking (15) Per California Disabled Accessibility Guidebook Section 1129.B.1 (5) (a), Number of Standard Accessible parking spaces (16) Per California Disabled Accessibility Guidebook Section 1129.B.4.2 (5) (b), Number of Van Accessible parking spaces (17) Temporary buildings to be demolished. (18) Not used.</p>	GROSS SQUARE FOOTAGE INVENTORY (REFERENCE A1.0)		<b>EXISTING</b>		Building:	Gross Floor Area:	NORTH BUILDING (1)	73,000 sf	SOUTH BUILDING (1)	85,000 sf	EAST BUILDING	102,800 sf	(NORTH AND SOUTH WINGS) (1)		WEST BUILDING (1)	20,000 sf	ACCESSORY BUILDING (1)	9,000 sf	SALK ANIMAL FACILITY BASEMENT (2)	0 sf	<b>Total:</b>	<b>289,800 sf</b>	<b>EXISTING BUILDINGS TO BE DEMOLISHED</b>		WEST BUILDINGS (17)	20,000	ACCESSORY BUILDINGS (17)	9,000	<b>NET TOTAL EXISTING BUILDING GROSS FLOOR AREA: (19)</b>	<b>260,800 s.f.</b>	Existing Parking	604	Parking Required (1)	580	<b>PROPOSED</b>		Building:	Gross Floor Area:	NORTH LAWN CORE FACILITY (3), (7)	0 sf	STORAGE (3), (7)	0 sf	-	0 sf	-	0 sf	TORREY EAST BUILDING (5), (7)	94,200 sf	(NORTH AND SOUTH WINGS)		SALK COMMUNITY CENTER (5), (6), (7), (8), (9), (10)	117,000 sf	NORTH PENINSULA UNDERGROUND PARKING (3), (5), (7)	0 sf	GREENHOUSES	4,000 sf	<b>Total:</b>	<b>215,200 sf</b>	<b>TOTAL PROPOSED GROSS FLOOR AREA: (19)</b>	<b>476,000 sf</b>	Proposed Underground Parking (1), (12), (15), (16)	578 (75 carpool spaces)	North Peninsula Underground Parking Structure:	486 (75 carpool spaces)	Torrey East Underground Parking Structure:	1,064 spaces (21 accessible - 3 of these are van accessible)	<b>Total:</b>	<b>1,064 spaces (21 accessible - 3 of these are van accessible)</b>	Existing Parking (Surface) (1)	22 spaces (2 accessible - 2 of these are van accessible)	<b>TOTAL PARKING PROVIDED:</b>	<b>1,088 spaces</b>	Parking Required (1), (17)	1,046 spaces	Proposed Motorcycle Parking (13)	25 (existing)	Proposed Motorcycle Parking (14)	39 spaces	<p><b>DRAWING LIST</b></p> <p><b>GENERAL</b> A.0 COVER, DRAWING INDEX, SYMBOLS, ABBREVIATIONS, AND LOCATION MAP</p> <p><b>ARCHITECTURAL</b> A.1.0 SITE PLAN A.1.1 VEHICLE AND PEDESTRIAN CIRCULATION PLAN A.1.2 ROOF PLAN A.2.0 UNDERGROUND PARKING PLANS A.3.0 SITE SECTIONS A.3.1 CORE FACILITY SITE SECTIONS AND BUILDING ELEVATIONS A.3.2 NOT USED A.3.3 TORREY EAST BUILDING ELEVATIONS A.4.1 FLOOR PLAN - CORE FACILITY A.4.1.1 ROOF PLAN - CORE FACILITY A.4.2 NOT USED A.4.2.1 NOT USED A.4.3 FLOOR PLANS - TORREY EAST BUILDING</p> <p><b>CIVIL</b> C.1 EXISTING CONDITIONS AND TOPOGRAPHIC MAP C.2 PRELIMINARY GRADING &amp; UTILITY PLAN, SHEET INDEX AND FIRE HYDRANT LAYOUT C.3 SOUTH PENINSULA - NO DEVELOPMENT PROPOSED C.4 PRELIMINARY GRADING &amp; UTILITY PLAN - TORREY EAST BUILDING AND GREENHOUSES C.5 PRELIMINARY GRADING &amp; UTILITY PLAN - CORE FACILITY C.6 PRELIMINARY GRADING &amp; UTILITY PLAN - SALK COMMUNITY CENTER &amp; NORTH PENINSULA GARAGE C.7 EXISTING EASEMENT VACATION PLAN C.8 ENVIRONMENTALLY SENSITIVE LANDS &amp; DEVELOPMENT SUITABILITY ANALYSIS - SOUTH PENINSULA - NO DEVELOPMENT PROPOSED C.9 ENVIRONMENTALLY SENSITIVE LANDS &amp; DEVELOPMENT SUITABILITY ANALYSIS - SALK COMMUNITY CENTER &amp; NORTH PENINSULA GARAGE C.10 MHPA BOUNDARY ADJUSTMENT PLAN C.11 SLOPE ANALYSIS C.12 SLOPE ANALYSIS - SOUTHERLY PENINSULA C.13 SLOPE ANALYSIS NORTHERLY PENINSULA</p> <p><b>LANDSCAPE</b> L.1 OVERALL LANDSCAPE DEVELOPMENT PLAN L.2 CORE FACILITY BUILDING LANDSCAPE DEVELOPMENT PLAN L.3 TORREY EAST BUILDING LANDSCAPE DEVELOPMENT PLAN L.4 BRUSH MANAGEMENT PROGRAM L.5 EXISTING EUCALYPTUS GROVE ENHANCEMENTS</p>	<p><b>VICINITY MAP</b></p>
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		<p><b>SITE MAP</b></p>	<p>Prepared By: _____</p> <p>Name: NBBJ</p> <p>Address: 130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104</p> <p>Phone #: 415.981.1100</p> <p>Fax #: 415.733.2700</p> <p>Project Address: 10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037</p> <p>Project Name: THE SALK INSTITUTE CDP / SDP</p> <p>Sheet Title: A.0 COVER SHEET</p> <p>Revision 14: _____</p> <p>Revision 13: _____</p> <p>Revision 12: _____</p> <p>Revision 11: _____</p> <p>Revision 10: _____</p> <p>Revision 9: _____</p> <p>Revision 8: 06.21.08 CDP COMMENTS</p> <p>Revision 7: 03.03.08 CDP COMMENTS</p> <p>Revision 6: 04.13.07 CDP COMMENTS</p> <p>Revision 5: 01.19.07 CDP COMMENTS</p> <p>Revision 4: 06.09.06 CDP COMMENTS</p> <p>Revision 3: 04.14.06 CDP COMMENTS</p> <p>Revision 2: 09.23.05 CDP COMMENTS</p> <p>Revision 1: 01.05.05 CDP COMMENTS</p> <p>Original Date: 08.06.04</p> <p>Sheet Count: 1 of 29</p> <p>DEPW: 44675</p>																																																																													

PTS # 44675

**APPROVED EXHIBIT "A"**

Approval Date 10/21/08

Permit No. CDP 126996 / SDP 127002

MPDP 50577

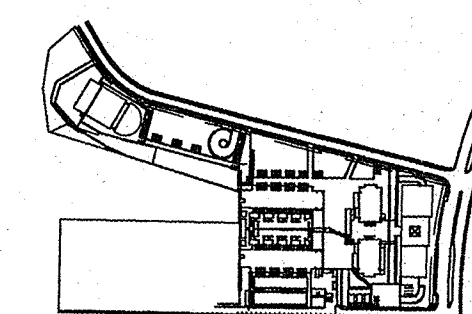
Amendment to CDP/HRP/CUP No. 90-114Q

*James Burnett*

NO.	DATE	DESCRIPTION
8	06.21.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

**THE SALK INSTITUTE**  
CDP / SDP

KEY PLAN:



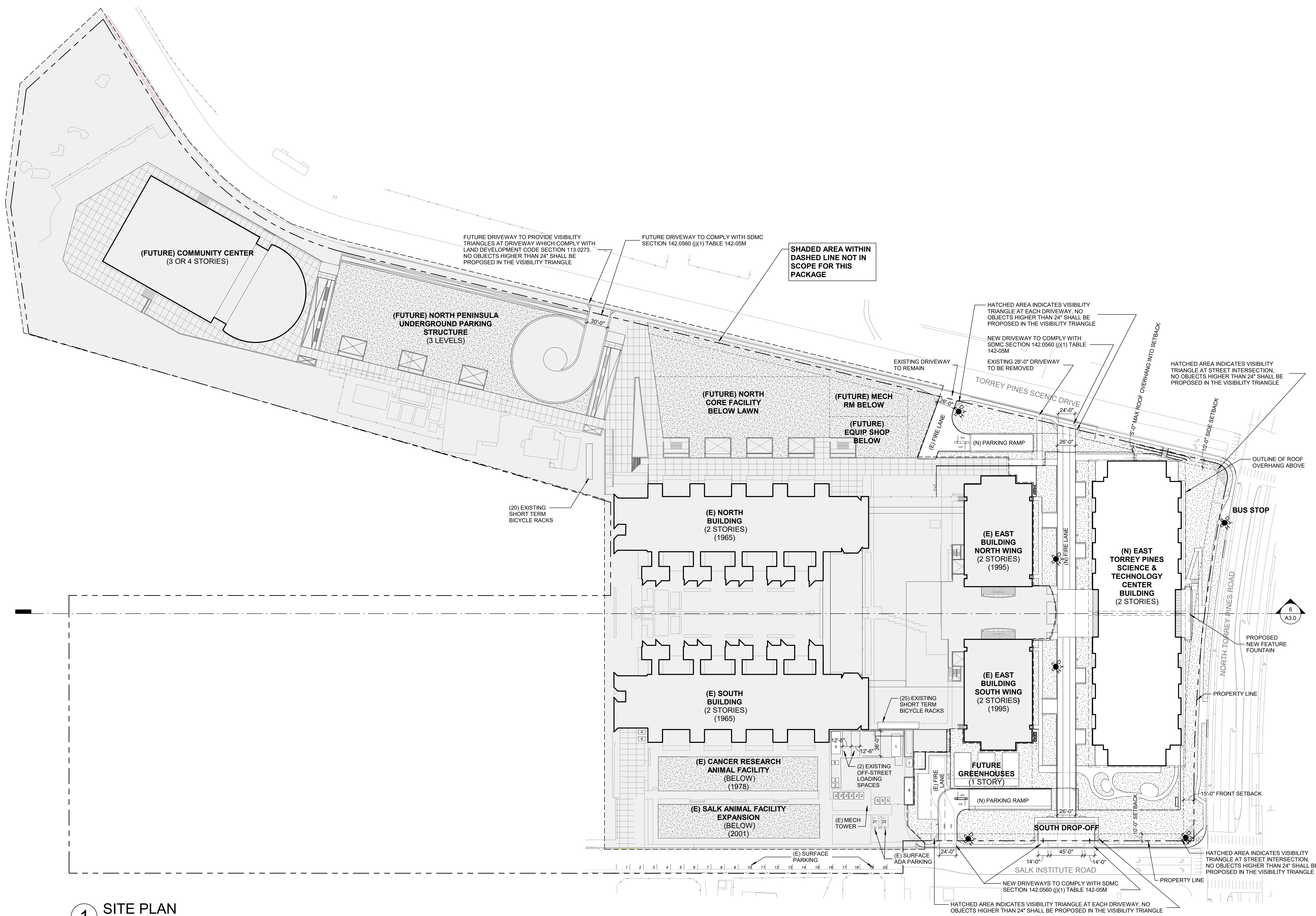
SCALE: NTS  
DATE: 08.06.04  
PROJECT NO: 50221.08  
PERMIT APPLICATION NO:

**COVER SHEET**

**A0.0**  
CDP / SDP SUBMITTAL



ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
SCR COMMENT RESPONSE	07/30/2021
SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/14/2021
SCR COMMENT RESPONSE	11/12/2021



# 1 SITE PLAN

1" = 60'-0"

## SHEET NOTES

REFER TO:  
C.2 & C.4 FOR DRAINAGE, UTILITIES, LIMITS OF WORK, GRADES & SPOT ELEVATIONS  
L.1 FOR OVERALL LANDSCAPE PLAN & DESIGN CONCEPT  
L.3 FOR LANDSCAPE DESIGN AT EAST TORREY PINES BUILDING

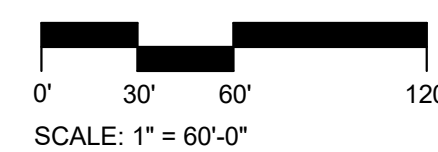
A1.1 FOR VEHICLE & PEDESTRIAN CIRCULATION PATHS  
A1.2 FOR ROOF PLAN  
A2.0 FOR UNDERGROUND PARKING (STANDARD, ACCESSIBLE, MOTORCYCLE, CARPOOL & EV)  
A3.0 FOR BUILDING SECTION & BUILDING HEIGHT

## REFUSE & RECYCLE MATERIAL STORAGE

### EXISTING ON SITE:

- |     |          |                             |
|-----|----------|-----------------------------|
| (1) | <b>1</b> | TRASH COMPACTOR             |
| (8) | <b>2</b> | 4 CUBIC YARD RECYCLE BIN    |
| (2) | <b>4</b> | 3 CUBIC YARD COMPOST BIN    |
| (3) | <b>5</b> | 3 CUBIC YARD BEDDING BIN    |
| (1) | <b>6</b> | E WASTE BIN                 |
| (1) | <b>7</b> | CARDBOARD COMPACTOR         |
| (1) | <b>8</b> | HAZMAT BUNKER               |
| (1) | <b>9</b> | CONSTRUCTION WASTE ROLL OFF |

PROPOSED AT BASEMENT:  
SEE SHEET A2.0 UNDERGROUND PARKING PLANS



### PREPARED BY:

NAME: WRNS STUDIO  
ADDRESS: 501 SECOND STREET  
FOURTH FLOOR, SUITE 402  
SAN FRANCISCO, CA 94107  
PHONE: 415-489-7532  
FAX: 415-358-9100

### PROJECT ADDRESS:

10010 NORTH TORREY PINES RD.  
LA JOLLA, CA 92037

### PROJECT NAME:

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

### REVISIONS

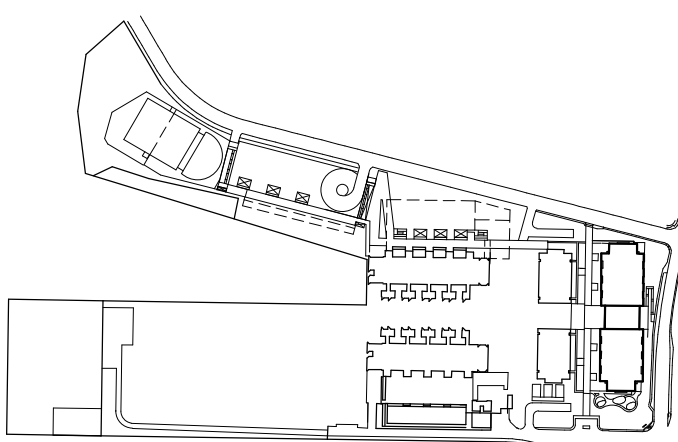
REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/14/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 2 OF 16

PTS # 0687543

### KEY PLAN



PROJECT NO.: 20013.00

SHEET TITLE:

SITE PLAN

SHEET NO:

A1.0







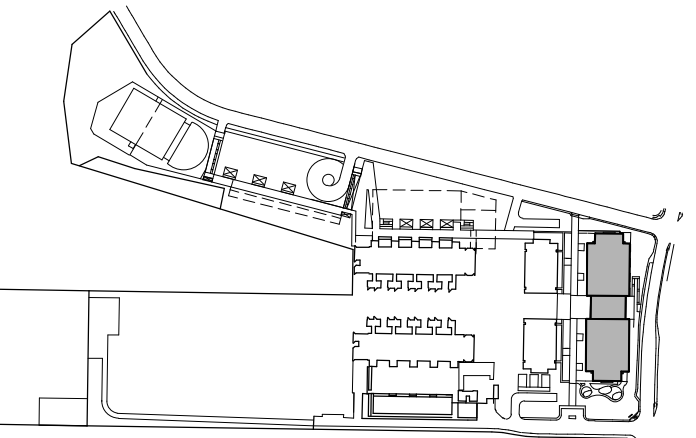
ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
SCR COMMENT RESPONSE	07/30/2021
SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/14/2021
SCR COMMENT RESPONSE	11/12/2021

SUBSTANTIAL  
CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER

10010 North Torrey Pines Road  
La Jolla, CA 92037-4100

KEYPLAN

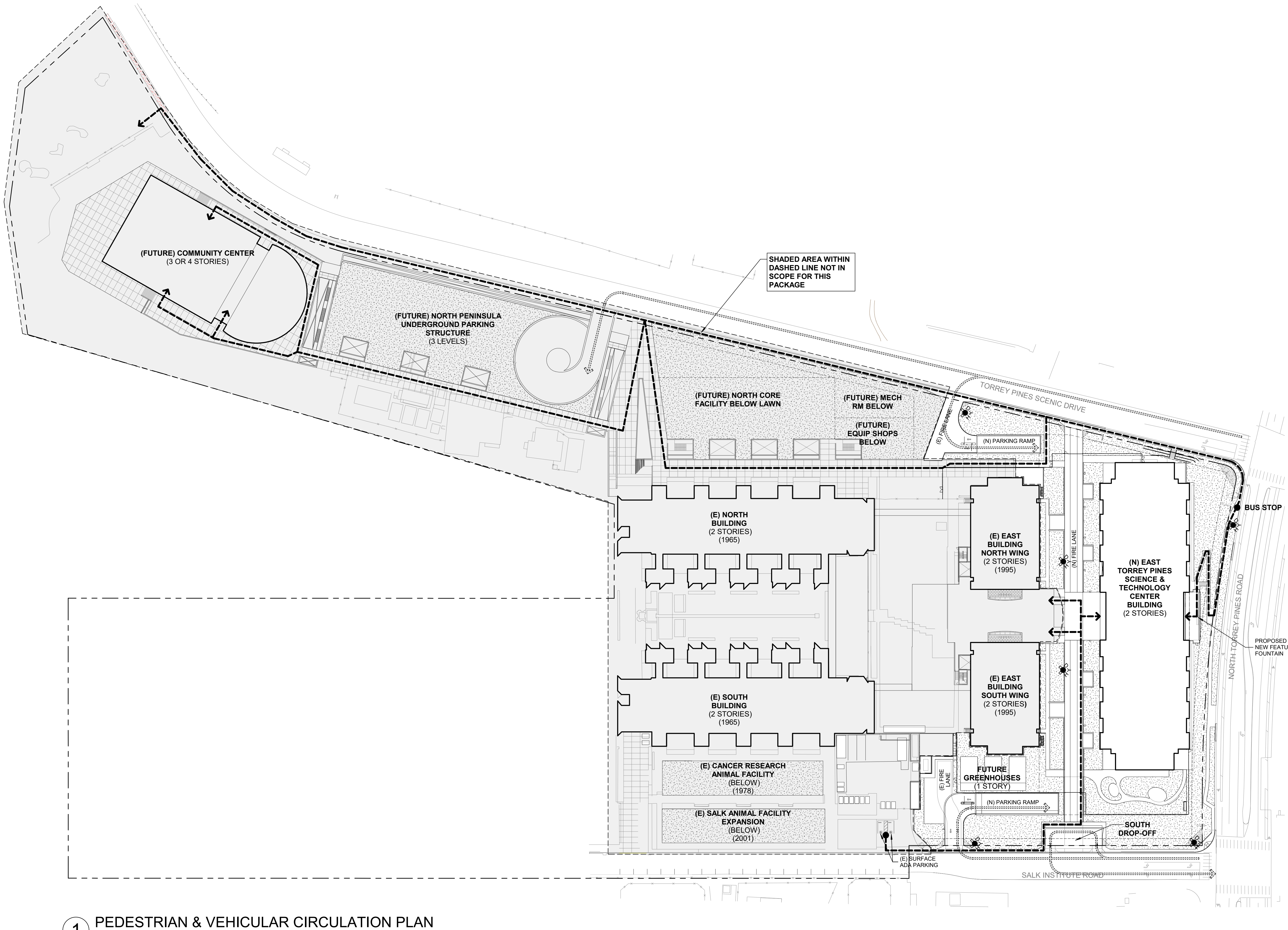


PROJECT NO.: 20013.00

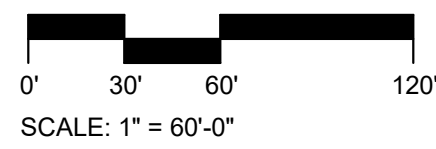
SHEET TITLE:

PEDESTRIAN & VEHICLE  
CIRCULATION PLAN

SHEET NO:



1 PEDESTRIAN & VEHICULAR CIRCULATION PLAN  
1" = 60'-0"



SCALE: 1" = 60'-0"

LEGEND

- VEHICULAR CIRCULATION
- PEDESTRIAN CIRCULATION

PREPARED  
BY:

NAME: WRNS STUDIO  
ADDRESS: 501 SECOND STREET  
FOURTH FLOOR, SUITE 402  
SAN FRANCISCO, CA 94107  
PHONE: 415-489-7532  
FAX: 415-358-9100

PROJECT  
ADDRESS:

10010 NORTH TORREY PINES RD  
LA JOLLA, CA 92037

PROJECT  
NAME:

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

REVISIONS

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/14/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 3 OF 16

PTS # 0687543



**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

**nbbj**  
130 Sutter Street, 2nd Floor  
San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

**Latitude 33**  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

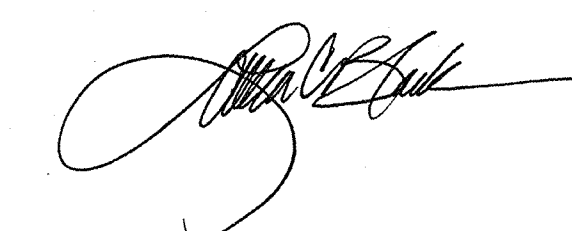
**The Office of James Burnett**  
415 South Cedros, Suite 200  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP

SHEET 10000

PT3 #44675  
**APPROVED  
EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 126916 / SDP 127002  
MPDP 561577  
Amendment to  
CDP/HEP/CEP No. 90-1140



# 1 PEDESTRIAN AND VEHICLE CIRCULATION PLAN

## SHEET NOTES:

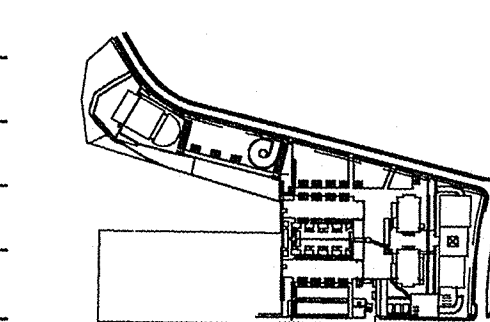
VEHICLE CIRCULATION  
PEDESTRIAN CIRCULATION

Prepared By:	Name:	NBBJ	Revision 14:	
Address:	130 SUTTER STREET, 2ND FLOOR		Revision 13:	
	SAN FRANCISCO, CA 94104		Revision 12:	
Phone #:	415.981.1100		Revision 11:	
Fax #:	415.733.2700		Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD		Revision 9:	
	LA JOLLA, CALIFORNIA 92037		Revision 8:	06.27.08 CDP COMMENTS
Project Name:	THE SALK INSTITUTE CDP / SDP		Revision 7:	03.03.08 CDP COMMENTS
			Revision 6:	04.13.07 CDP COMMENTS
			Revision 5:	01.19.07 CDP COMMENTS
			Revision 4:	06.09.06 CDP COMMENTS
			Revision 3:	04.14.06 CDP COMMENTS
			Revision 2:	09.23.05 CDP COMMENTS
			Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A1.1 PEDESTRIAN AND VEHICLE CIRCULATION PLAN		Original Date:	08.06.04
			Sheet Count:	3 of 12
			DEP#	44675

NO.	DATE	DESCRIPTION
8	04.12.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

## THE SALK INSTITUTE CDP / SDP

### KEY PLAN:

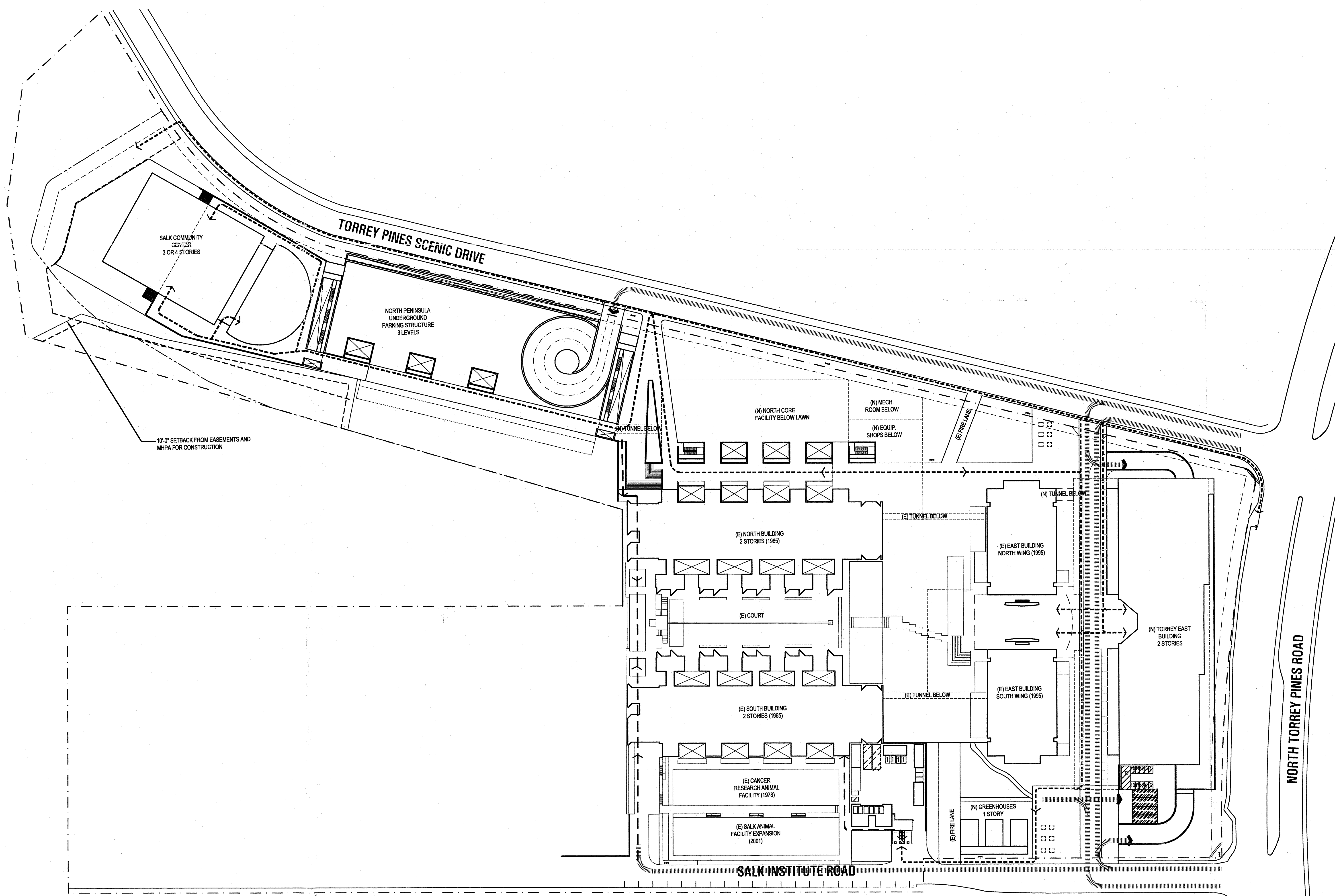


SCALE: 1/8"=1'-0"  
DATE: 08.06.04  
PROJECT NO: 50221.09  
PERMIT APPLICATION NO:

## PEDESTRIAN & VEHICLE CIRCULATION PLAN

**A1.1**  
CDP / SDP SUBMITTAL

0 60' 120' 240'









OWNER:  
**SALK INSTITUTE**  
 FOR BIOLOGICAL STUDIES  
 The Salk Institute for Biological Studies  
 10010 North Torrey Pines Rd.  
 La Jolla, CA 92037-1099  
 Tel: 858-453-4100

ARCHITECT:  
**nbbj**  
 130 Sutter Street, 2nd Floor  
 San Francisco, CA 94104  
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 Fax: 415-733-2700

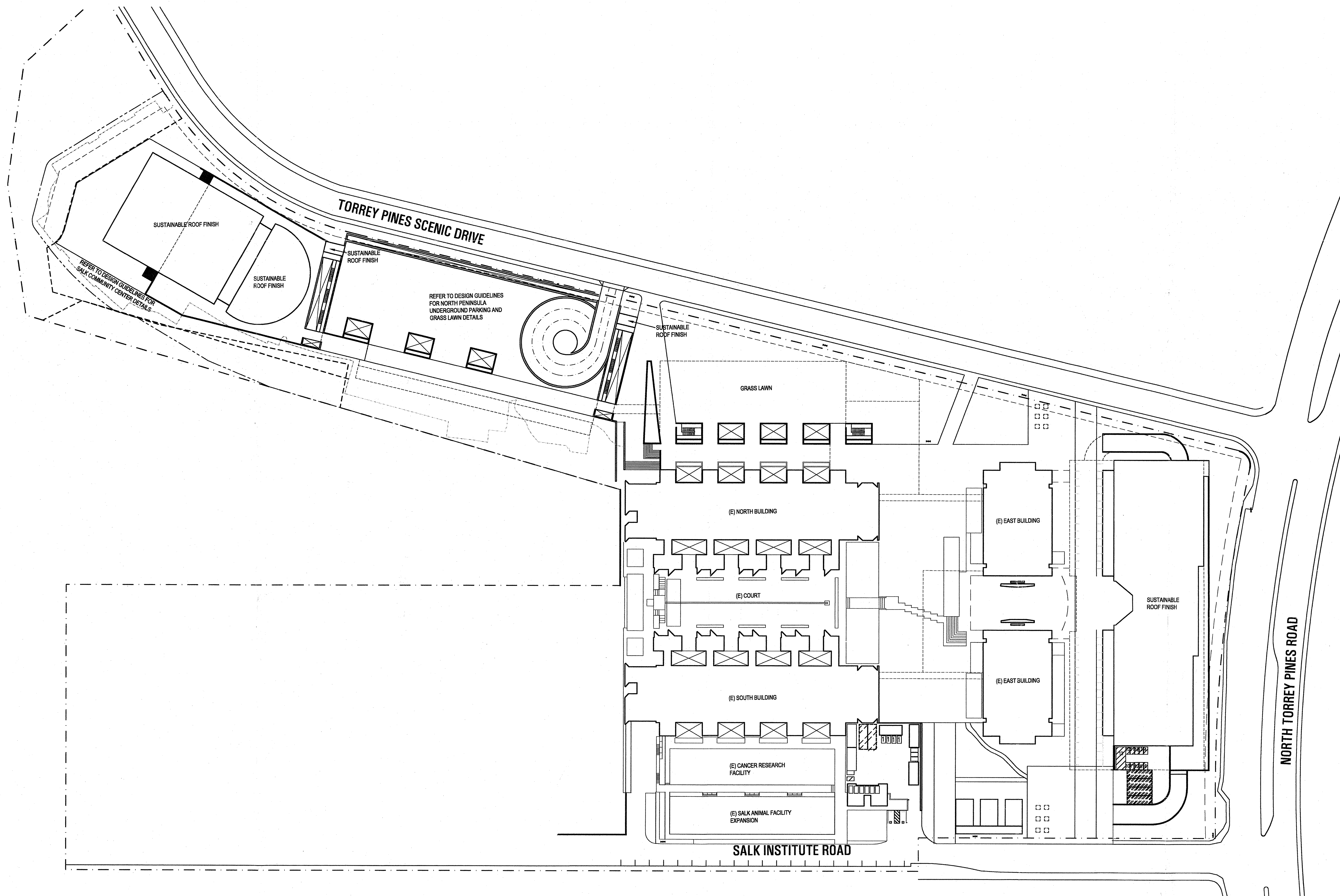
CNL:  
 Latitude 33  
 4933 Paramount Drive, 2nd Floor  
 San Diego, CA 92123  
 Tel: 858-751-0633

LANDSCAPE:  
 The Office of James Burnett  
 415 South Cedros, Suite 260  
 Solana Beach, CA 92075  
 Tel: 858-793-6870  
 Fax: 858-793-6905

Environmental Planning:  
 Helix Environmental Planning, Inc.  
 8100 La Mesa Boulevard, Suite 150  
 La Mesa, CA 91941  
 Tel: 619-462-0552  
 Fax: 619-462-1515

ETMP

SHEET LEGEND



PS #44675  
**APPROVED EXHIBIT "A"**  
 Approval Date 10/21/2008  
 Permit No. CDP 126996 / SDP 127002  
 MDP 541577  
 Amendment to  
 CDP/HRP/CUP No. 90-1140

# 1 ROOF PLAN

## SHEET NOTES:

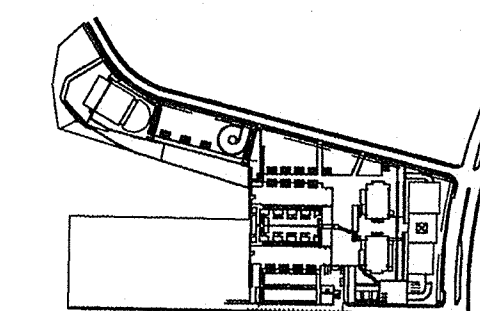
ALL ROOF TOPS TO BE OF A SUSTAINABLE ROOF FINISH. SEE ARCHITECTURAL DESIGN GUIDELINES  
 ALL ROOF TOPS VISIBLE FROM PUBLIC VIEWS TO BE ROOF PAVERS.  
 NO EXPOSED MECHANICAL SYSTEMS ON ROOFS.

Prepared By:	NBSJ	Revision 14:	
Name:	NBSJ	Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.27.08 CDP COMMENTS
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A1.2 ROOF PLAN	Original Date:	08.08.04
		Sheet Count:	4 of 19
		DEP#	44675

NO.	DATE	DESCRIPTION
8	06.27.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
 CDP / SDP

KEY PLAN:



SCALE: 1/8"=1'-0"  
 DATE: 08.08.04  
 PROJECT NO: 50221.08  
 PERMIT APPLICATION NO:

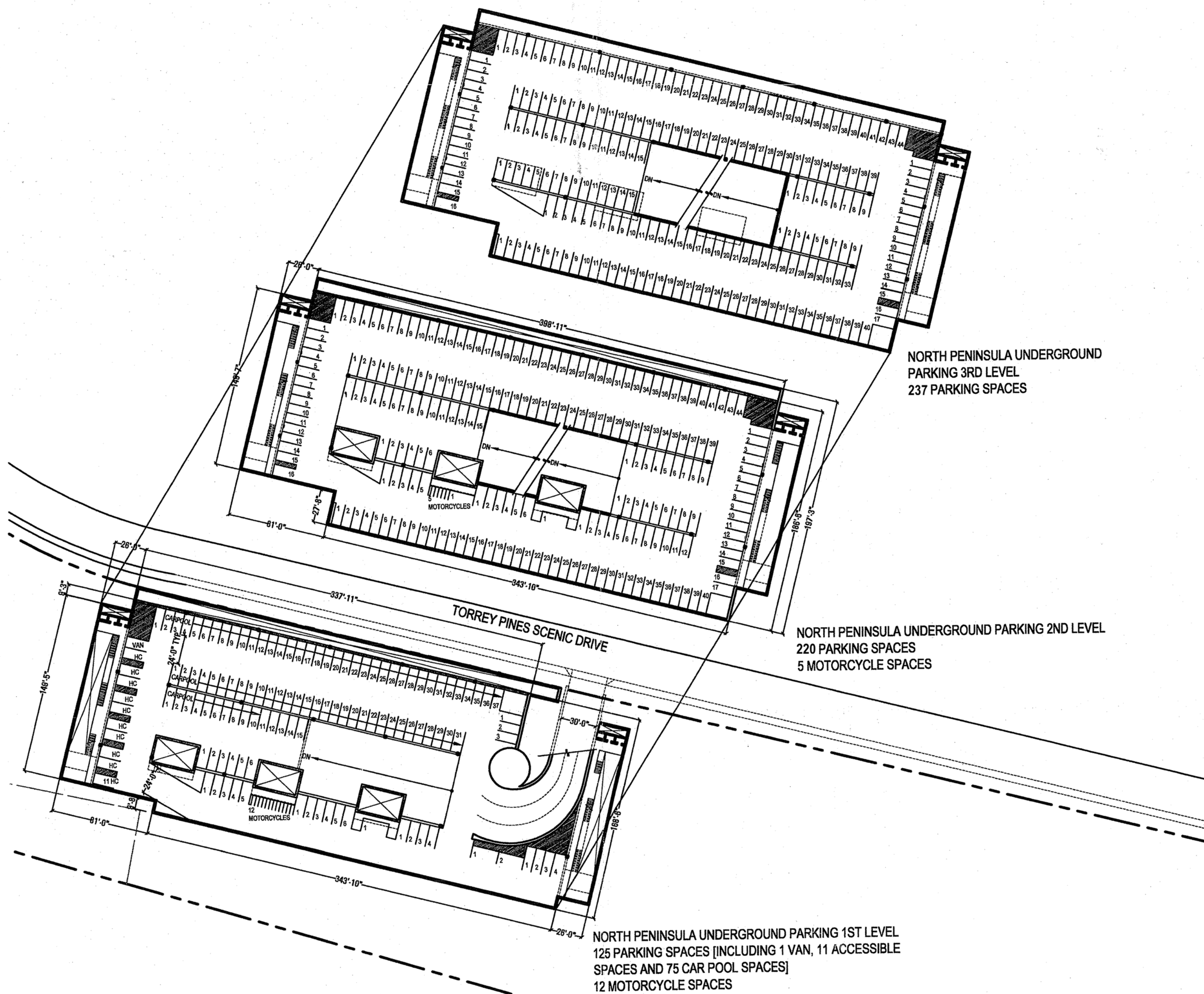
ROOF PLAN

0 60' 120' 240'



A1.2  
 CDP / SDP SUBMITTAL



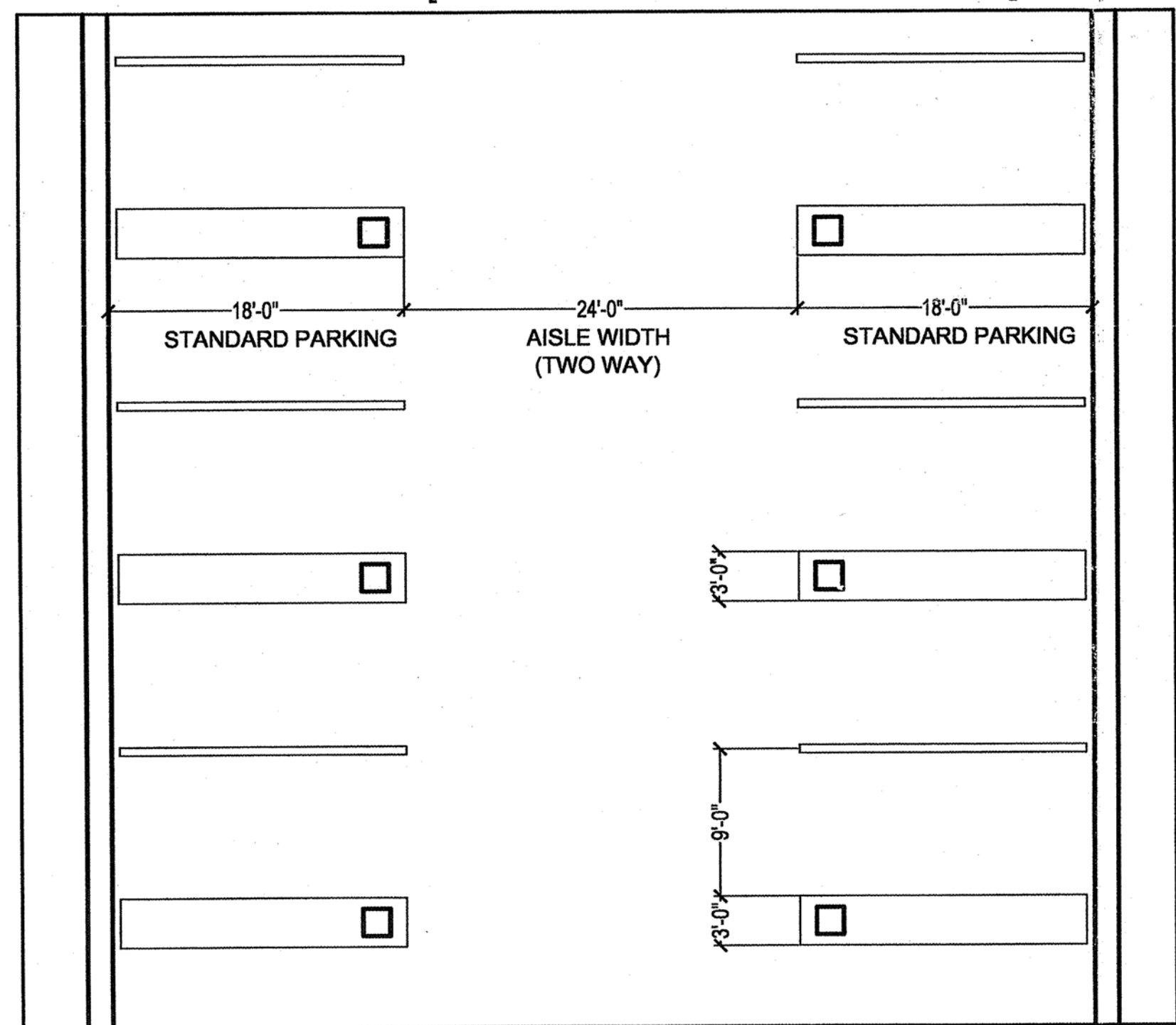


1 NORTH PENINSULA UNDERGROUND PARKING

570 PARKING STALL PROVIDED (INCLUDING 75 CARPOOL)  
12 ACCESSIBLE PROVIDED  
582 TOTAL SPACES PROVIDED

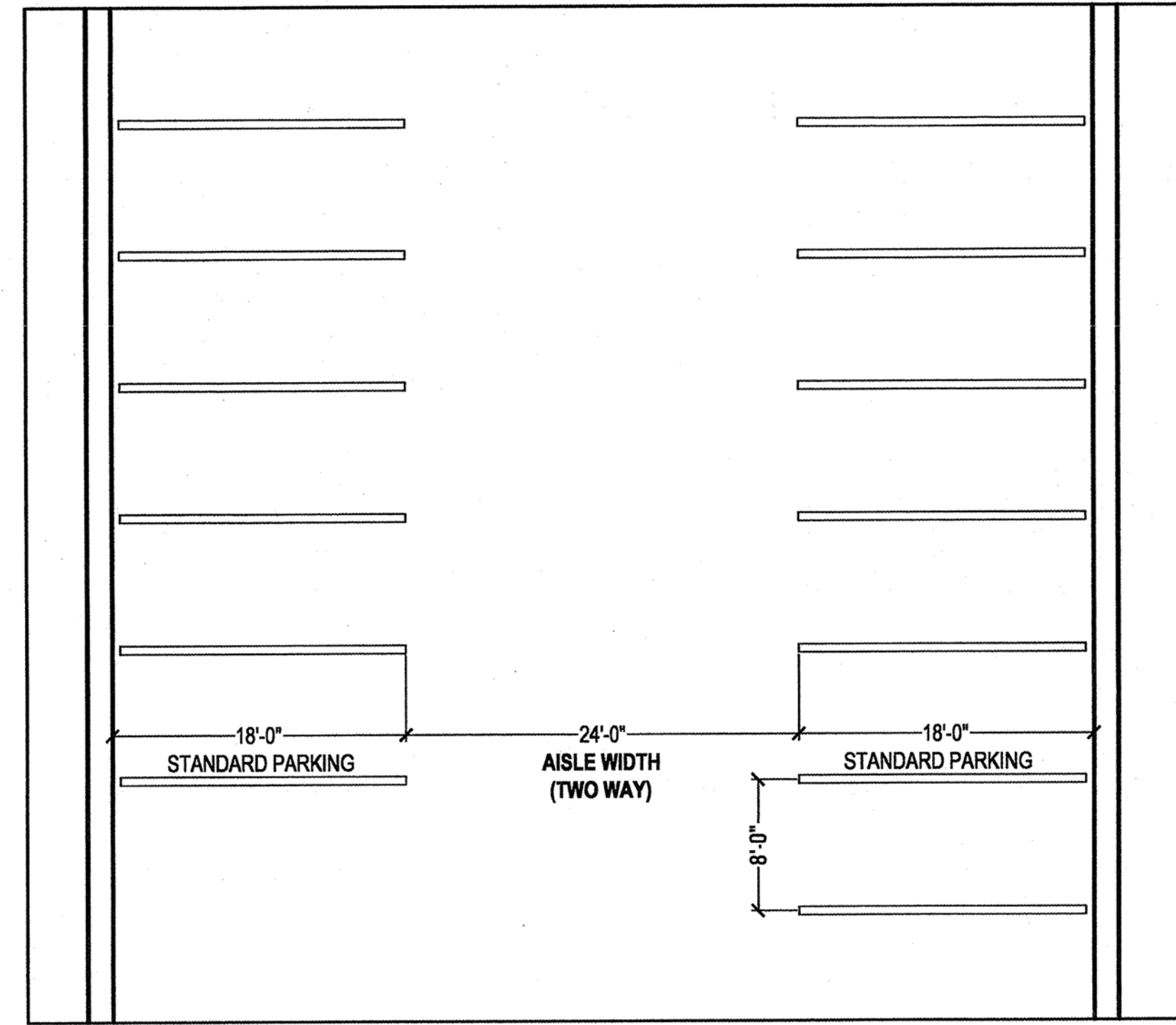
RAMP SLOPES SHALL COMPLY WITH SAN DIEGO  
MUNICIPAL CODE 142.0560 (J)(9) DIAGRAM 142.05D

TYPICAL 90° PARKING [ONE SIDE ABUTTING OBSTACLE]



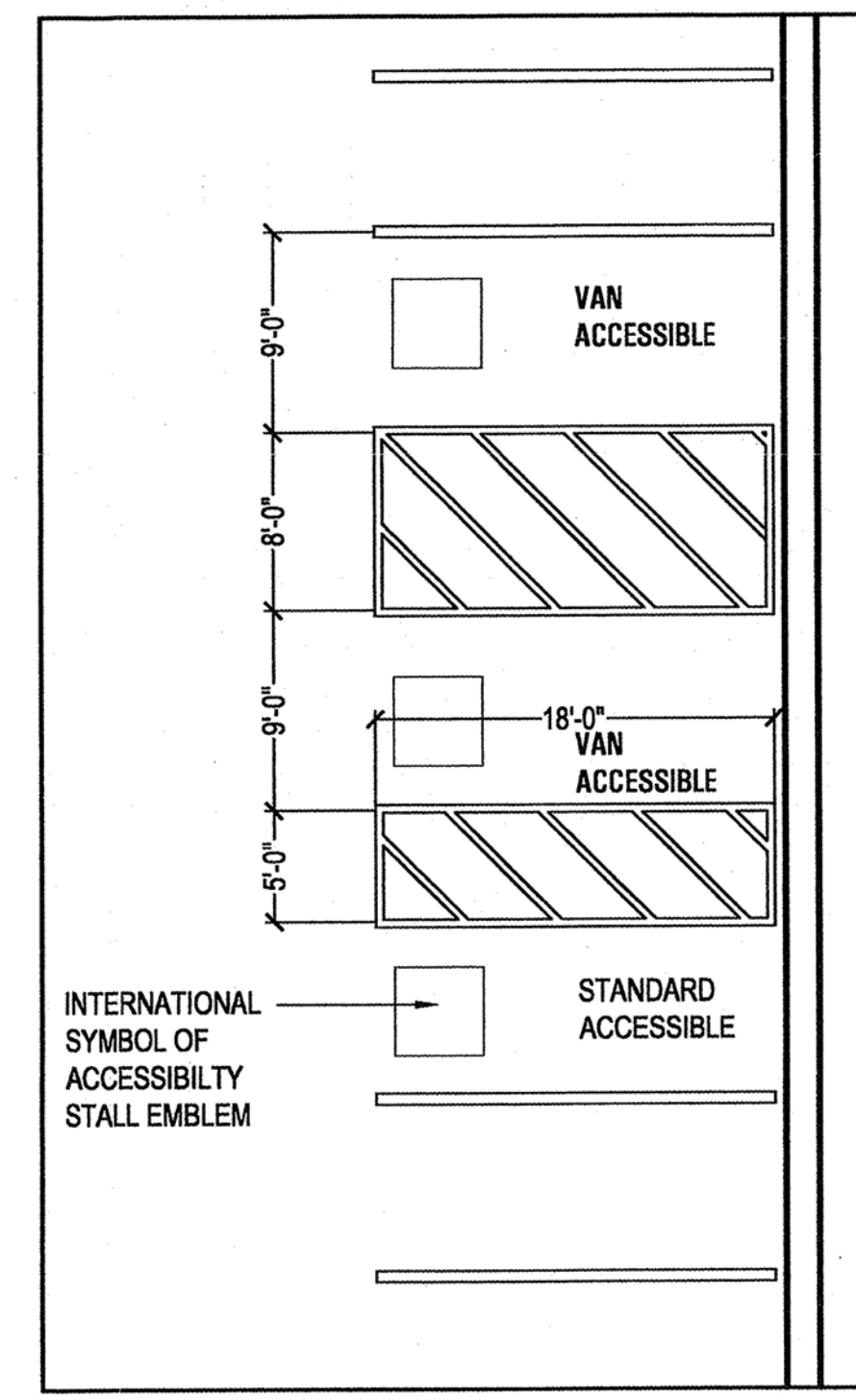
(SCALE: 1/8" = 1')

TYPICAL 90° PARKING [NO OBSTACLES]



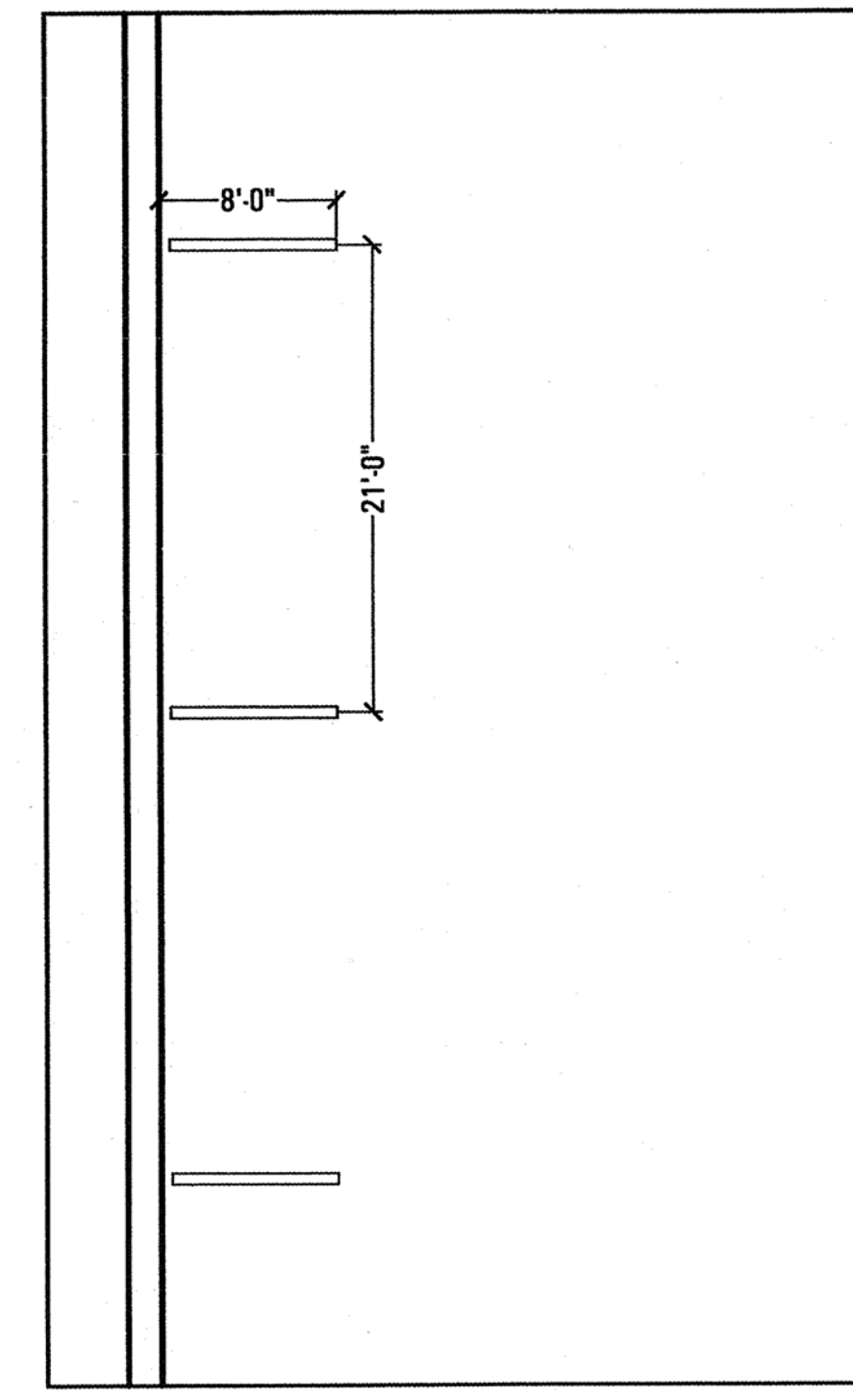
(SCALE: 1/8" = 1')

ACCESSIBLE PARKING



(SCALE: 1/8" = 1')

PARALLEL TO AISLE



(SCALE: 1/8" = 1')

NORTH PENINSULA PARKING IS NOT PART OF THE PROJECT SCOPE FOR THIS SUBMITTAL.  
SHEET IS INCLUDED FOR INFORMATION ONLY

PREPARED BY:

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SAN FRANCISCO, CA 94107

PHONE: 415-489-7532  
FAX: 415-358-9100

PROJECT ADDRESS:

10010 NORTH TORREY PINES RD.  
LA JOLLA, CA 92037

PROJECT NAME:

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

REVISIONS

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/14/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 5 OF 16

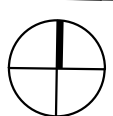
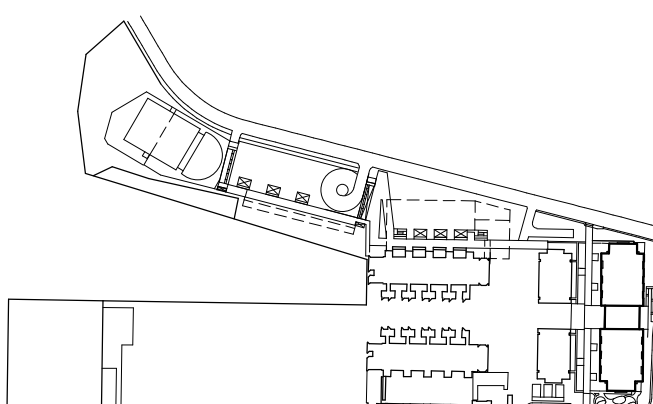
PTS # 0687543

SUBSTANTIAL CONFORMANCE REVIEW  
FOR COASTAL DEVELOPMENT PERMIT /  
SITE DEVELOPMENT PERMIT

SALK EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER

10010 North Torrey Pines Road  
La Jolla, CA 92037-4100

KEYPLAN



PROJECT NO.: 20013.00

SHEET TITLE:

UNDERGROUND PARKING PLAN NORTH  
PENINSULA PARKING

SHEET NO:

A2.0





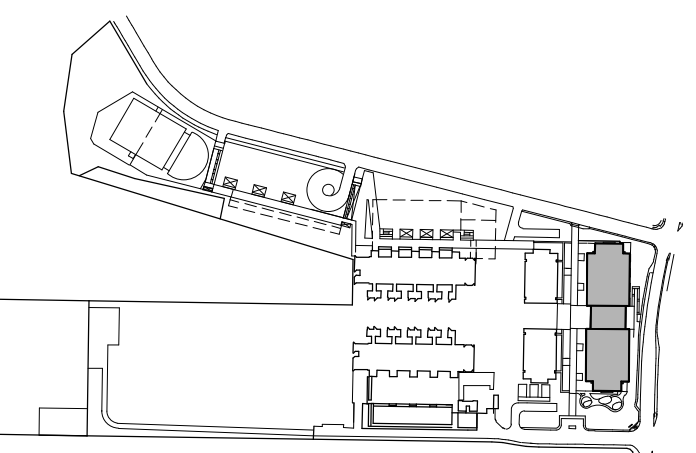
ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
SCR COMMENT RESPONSE	07/30/2021
SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/14/2021
SCR COMMENT RESPONSE	11/12/2021

# SUBSTANTIAL CONFORMANCE REVIEW FOR COASTAL DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT

**SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER**

10010 North Torrey Pines Road  
La Jolla, CA 92037-4100

## KEYPLAN



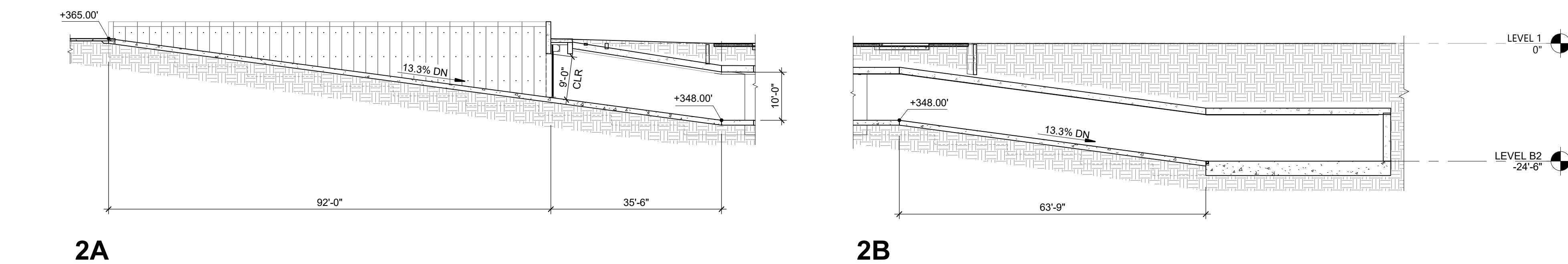
PROJECT NO.: 20013.00

SHEET TITLE:

# UNDERGROUND PARKING PLAN EAST TORREY PINES

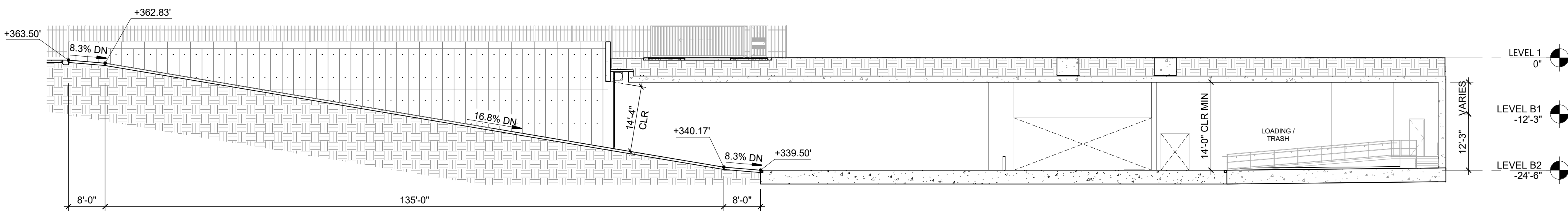
SHEET NO:

## A2.1



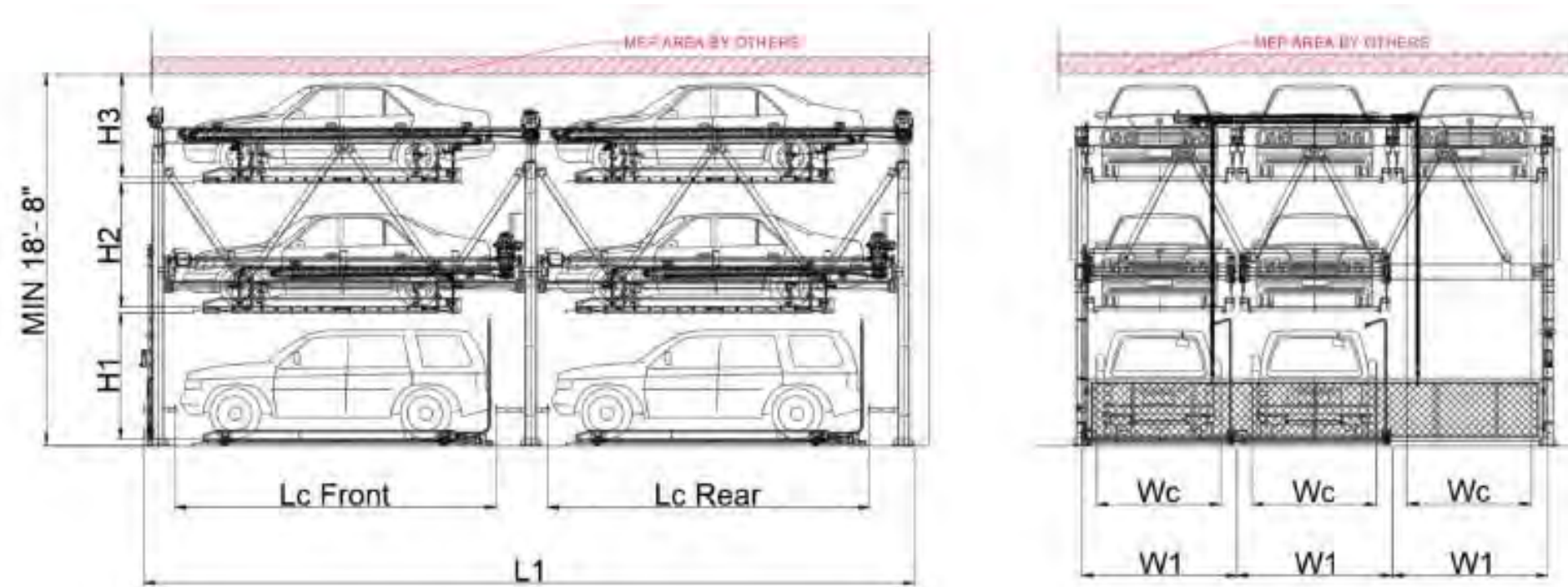
RAMP SLOPES SHALL COMPLY WITH SAN DIEGO  
MUNICIPAL CODE 142.0560 (j)(9) DIAGRAM 142.05D

**NORTH RAMP - SECTION**  
1/16" = 1'-0"

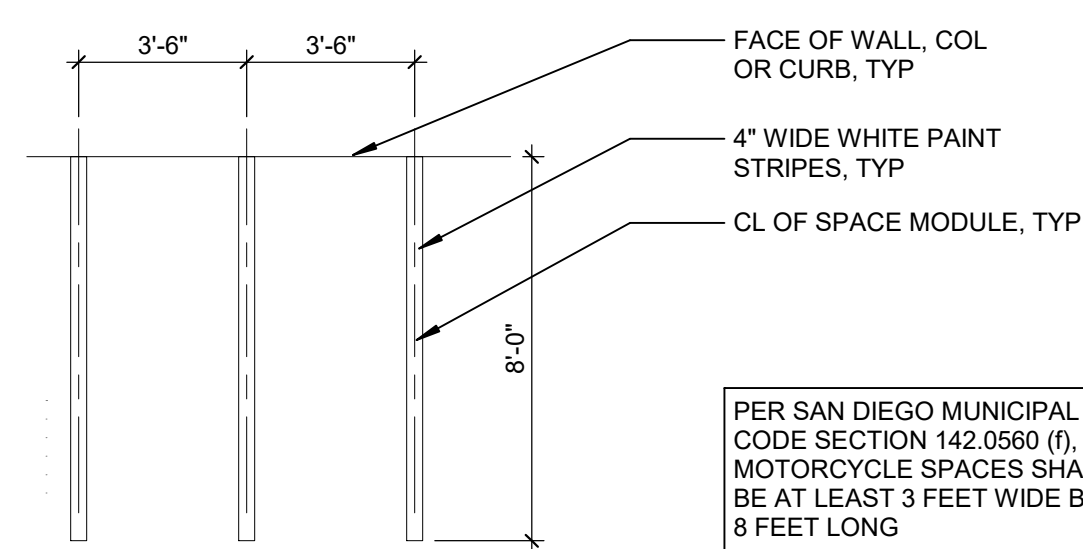


RAMP SLOPES SHALL COMPLY WITH SAN DIEGO  
MUNICIPAL CODE 142.0560 (j)(9) DIAGRAM 142.05D

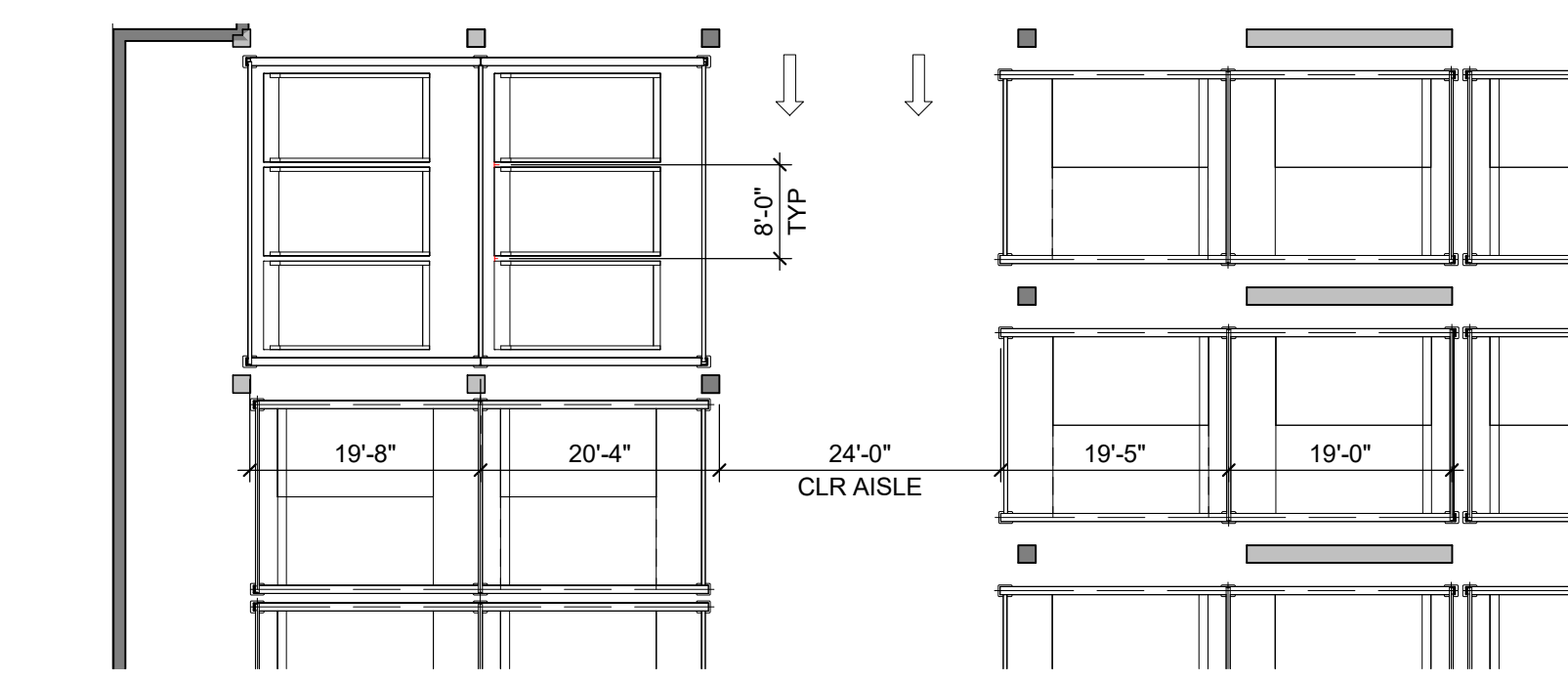
3 SOUTH RAMP - SECTION  
1/16" = 1'-0"



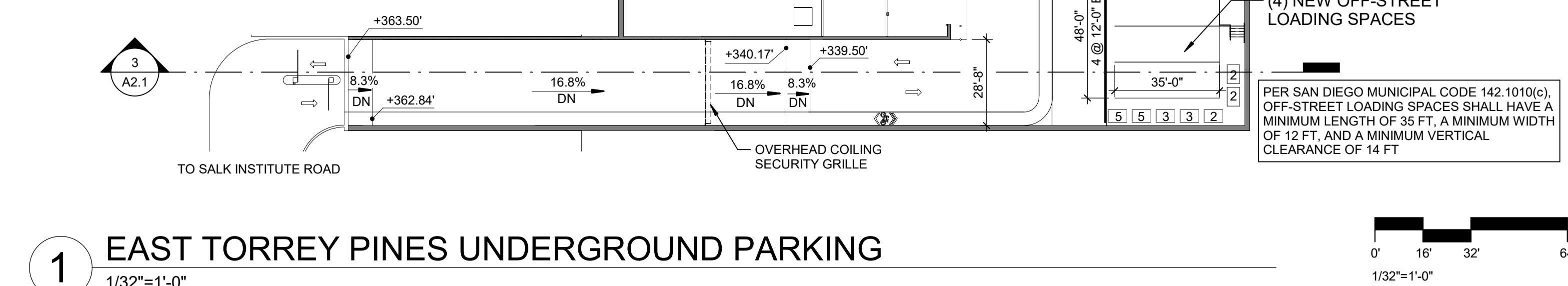
#### 4 PARKING STACKERS FRONT & SIDE ELEVATION



## 5 MOTORCYCLE SPACE PARKING



## 6 PARKING STACKERS PLAN



1 EAST TORREY PINES UNDERGROUND PARKING  
1/32"=1'-0"

## EAST TORREY PINES UNDERGROUND PARKING

430 MECHANIZED STACKING PARKING SPACES PROVIDED \*

12 ACCESSIBLE PROVIDED \*\*

**442 TOTAL SPACES PROVIDED**

100 CARPOOL, LOW-EMITTING AND FUEL EFFICIENT VEHICLE SPACES PROVIDED\*  
22 MOTORCYCLE PROVIDED\*\*\*  
32 LONG TERM BICYCLE RACKS PROVIDED\*\*\*\*

\*22% OF TOTAL (TIER 2 ) REQUIRED FOR LOW-EMITTING, FUEL EFFICIENT & CARPOOL = 98 SPACES  
 \*\*10% OF TOTAL (TIER 2) REQUIRED FOR EV CHARGING = 45 SPACES  
 \*\*\*2% OF TOTAL REQUIRED = 9 ACCESSIBLE SPACES  
 \*\*\*\*2% OF TOTAL REQUIRED = 9 MOTORCYCLE SPACES REQUIRED  
 \*\*\*\*\* 5% OF TOTAL REQUIRED = 23 LONG TERM BICYCLE RACKS REQUIRED

## REFUSE & RECYCLE MATERIAL STORAGE

PROPOSED AT BASEMENT:

- (3) 2 2 CUBIC YARD RECYCLING BIN  
(2) 3 6 CUBIC YARD TRASH BIN  
(2) 5 3 CUBIC YARD BEDDING BIN

PREPARED  
BY:

NAME:	WRNS STUDIO
ADDRESS:	501 SECOND STREET FOURTH FLOOR, SUITE 402 SAN FRANCISCO, CA 94107
PHONE:	415-489-7532
FAX:	415-358-9100

## REVISIONS

	REVISION NAME	DATE
1	SCR COMMENT RESPONSE	07/30/2021
2	SCR COMMENT RESPONSE	08/30/2021
3	SCR COMMENT RESPONSE	10/14/2021
4	SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

**SHEET COUNT**      6      **OF**      16

PTS # 0687543

## 7 ACCESSIBLE SPACE STRIPING



OWNER:  
**SALK INSTITUTE**  
 FOR BIOLOGICAL STUDIES  
 The Salk Institute for Biological Studies  
 10010 North Torrey Pines Rd.  
 La Jolla, CA 92037-1099  
 Tel: 858-453-4100

ARCHITECT:  
**nbbj**  
 130 Sutter Street, 2nd Floor  
 San Francisco, CA 94104  
 Tel: 415-398-1100  
 Fax: 415-733-2700

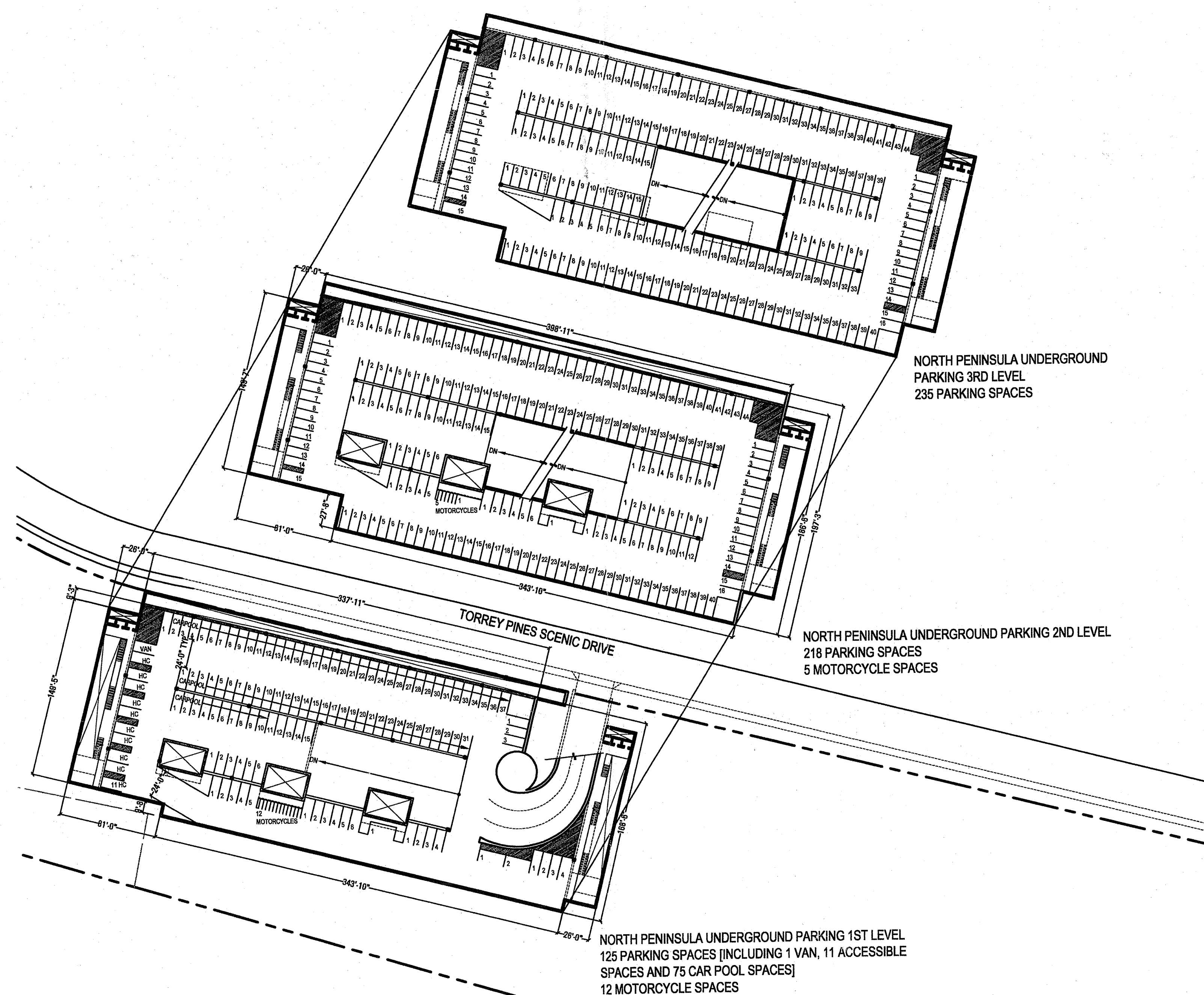
ENGINEER:  
 Latitude 33  
 4933 Paramount Drive, 2nd Floor  
 San Diego, CA 92123  
 Tel: 858-751-0633

LANDSCAPE:  
 The Office of James Burnett  
 415 South Cedros, Suite 260  
 Solana Beach, CA 92075  
 Tel: 858-793-6970  
 Fax: 858-793-6905

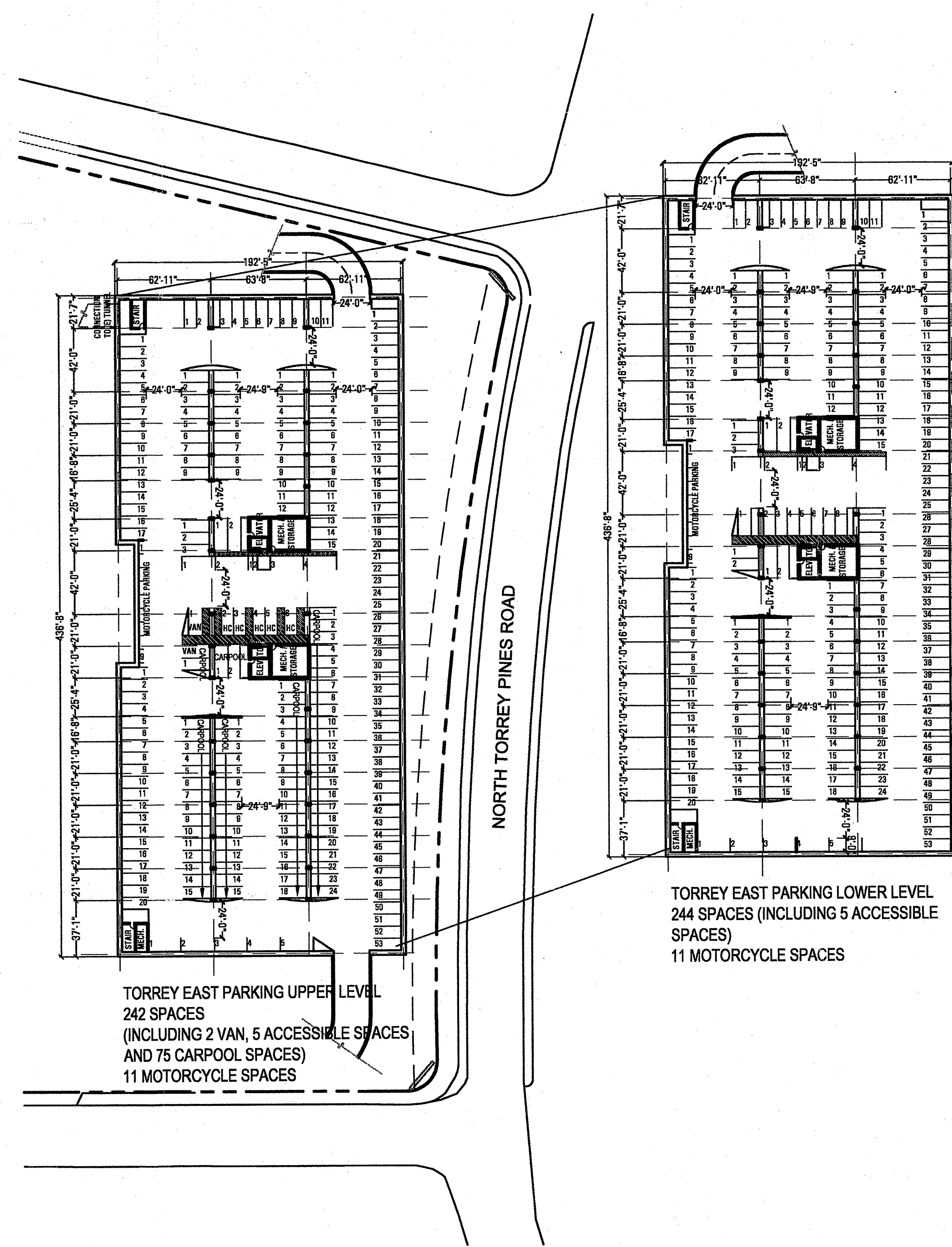
Environmental Planning:  
 Helix Environmental Planning, Inc.  
 8100 La Mesa Boulevard, Suite 150  
 La Mesa, CA 91941  
 Tel: 619-462-0552  
 Fax: 619-462-1515

STAMP

SHEET LEGEND



1 NORTH PENINSULA UNDERGROUND PARKING



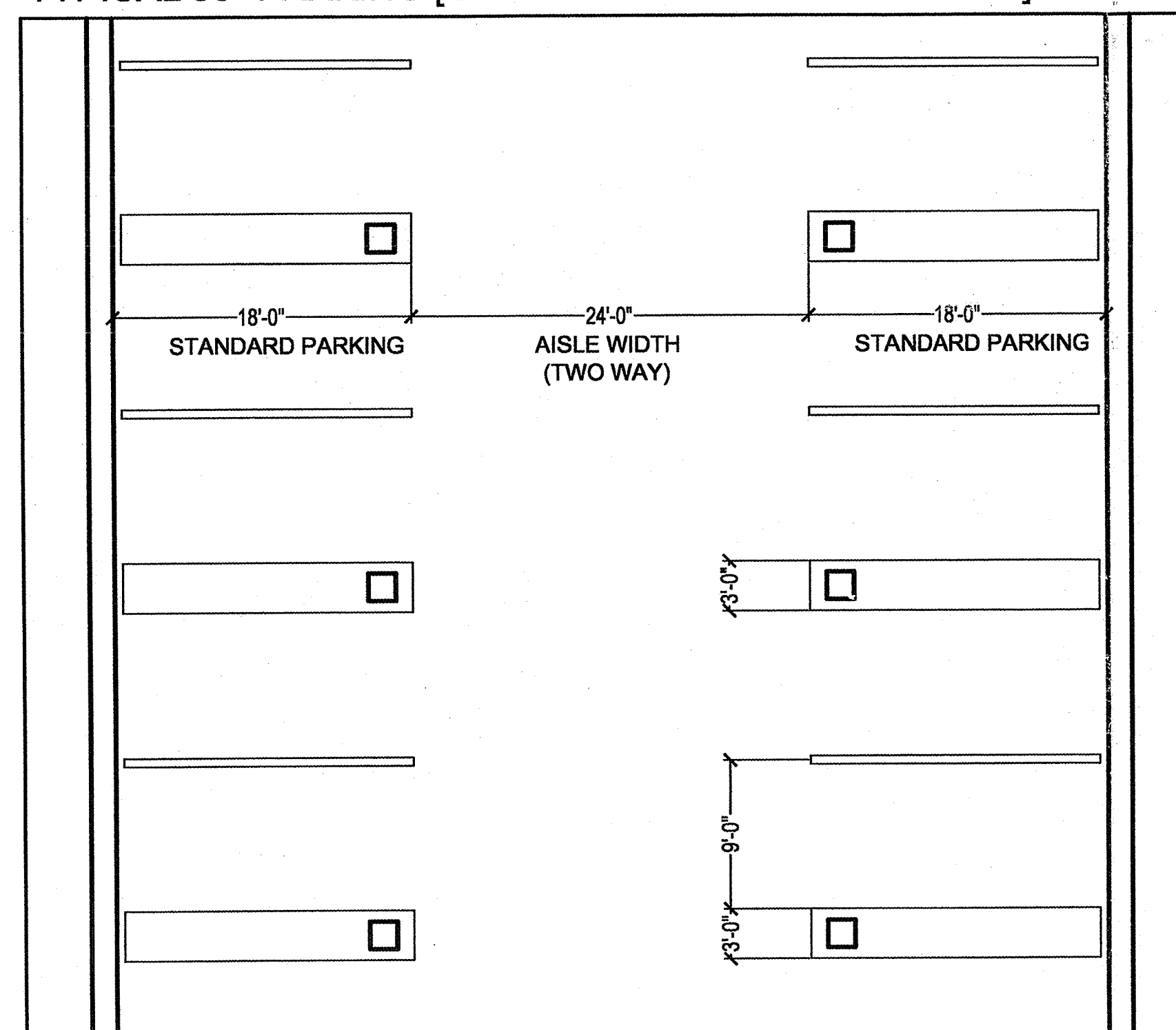
2 TORREY EAST BUILDING UNDERGROUND PARKING

PTB#44675  
**APPROVED EXHIBIT "A"**

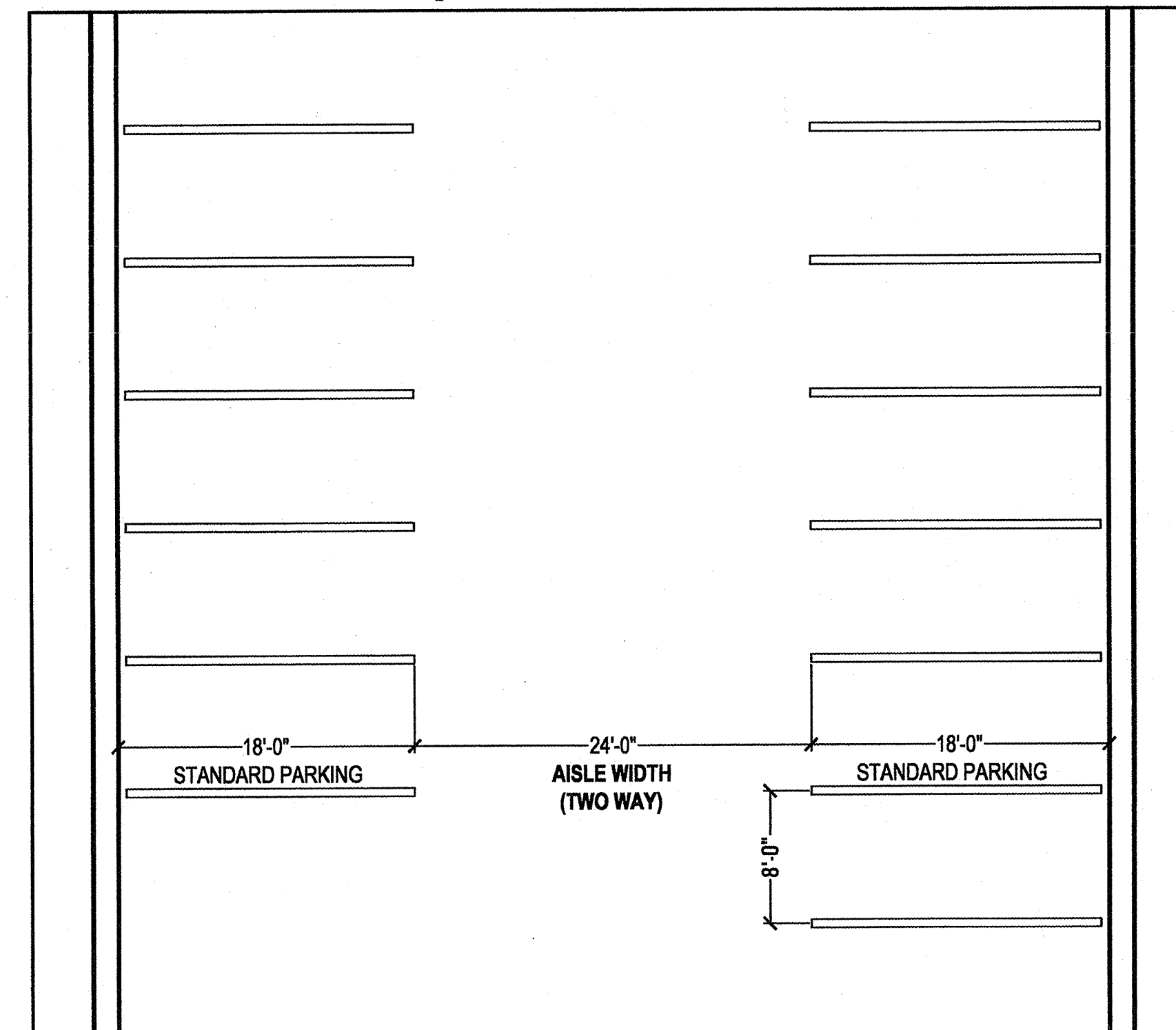
Approval Date 10/24/2008  
 Permit No. CDP 12496 / SDP 12702  
 MPDP 361577  
 Amendment to  
 CDP/SDP No. 90-1140

*[Signature]*

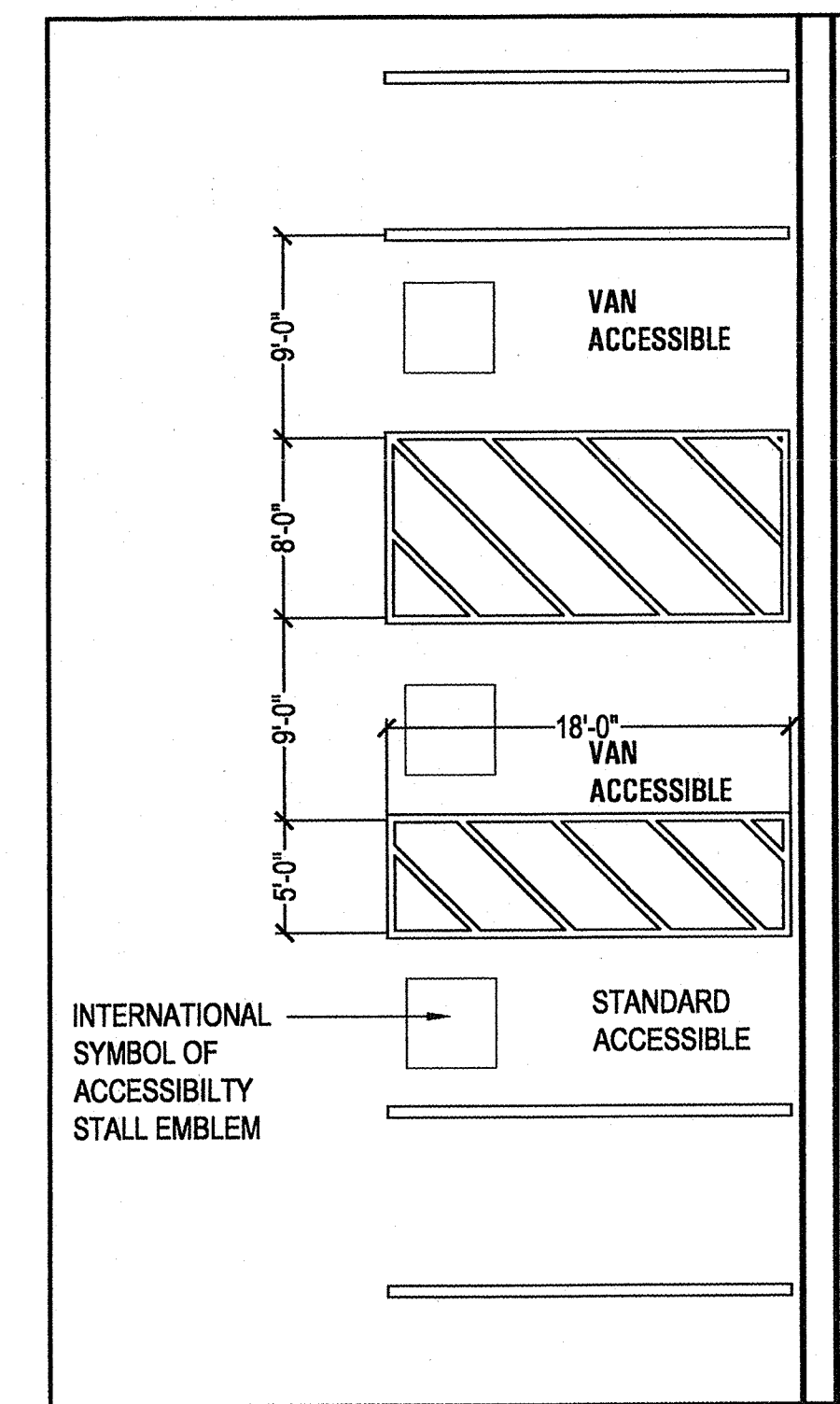
TYPICAL 90° PARKING [ONE SIDE ABUTTING OBSTACLE]



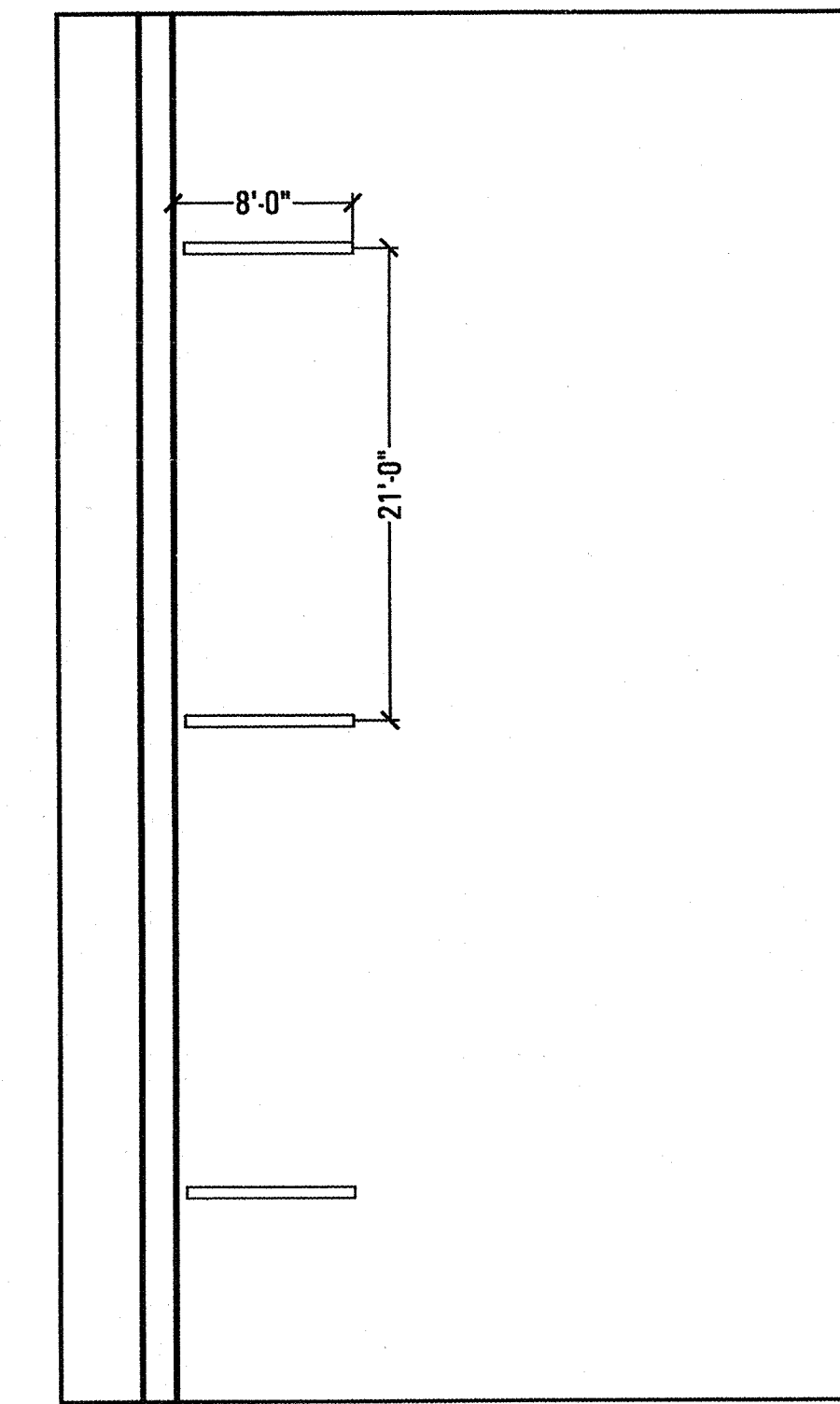
TYPICAL 90° PARKING [NO OBSTACLES]



ACCESSIBLE PARKING



PARALLEL TO AISLE

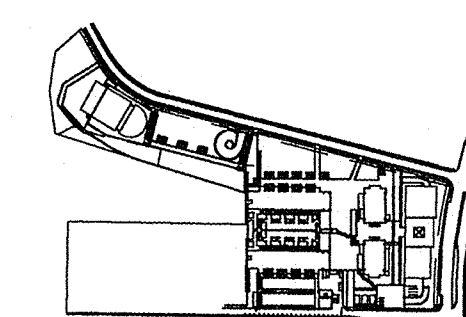


Prepared By:	NBBJ	Revision 14:	
Name:		Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.27.08 CDP COMMENTS
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A2.0 UNDERGROUND PARKING PLANS	Original Date:	08.06.04
		Sheet Count:	5 of 22
		DEP#	44675

NO.	DATE	DESCRIPTION
6	06.27.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
8	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
2	09.23.05	CDP COMMENTS
1	01.05.05	CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:



SCALE: 1/8" = 1'-0"  
DATE: 08.06.04  
PROJECT NO.: 50221.08  
PERMIT APPLICATION NO.:

UNDERGROUND PARKING PLANS

A2.0  
CDP / SDP SUBMITTAL

0 60' 120' 240'



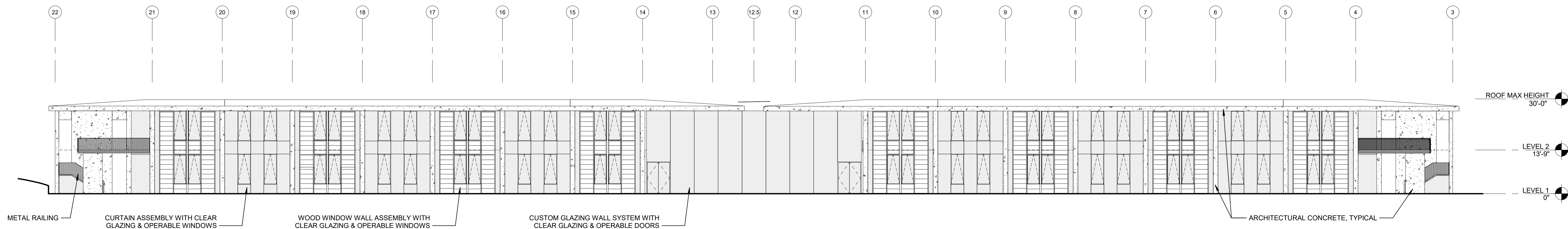




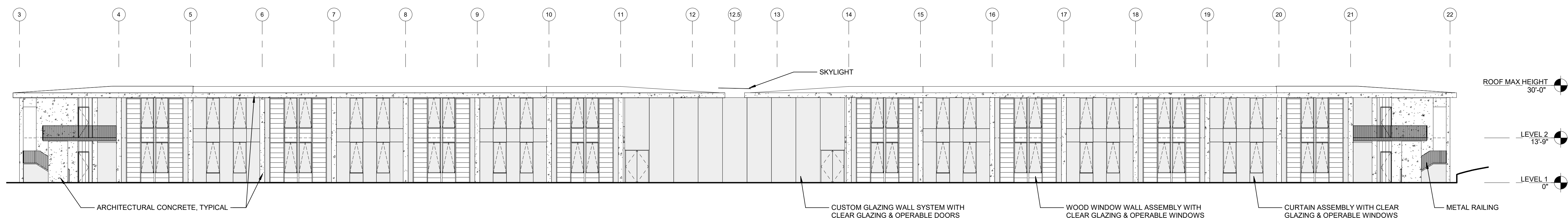




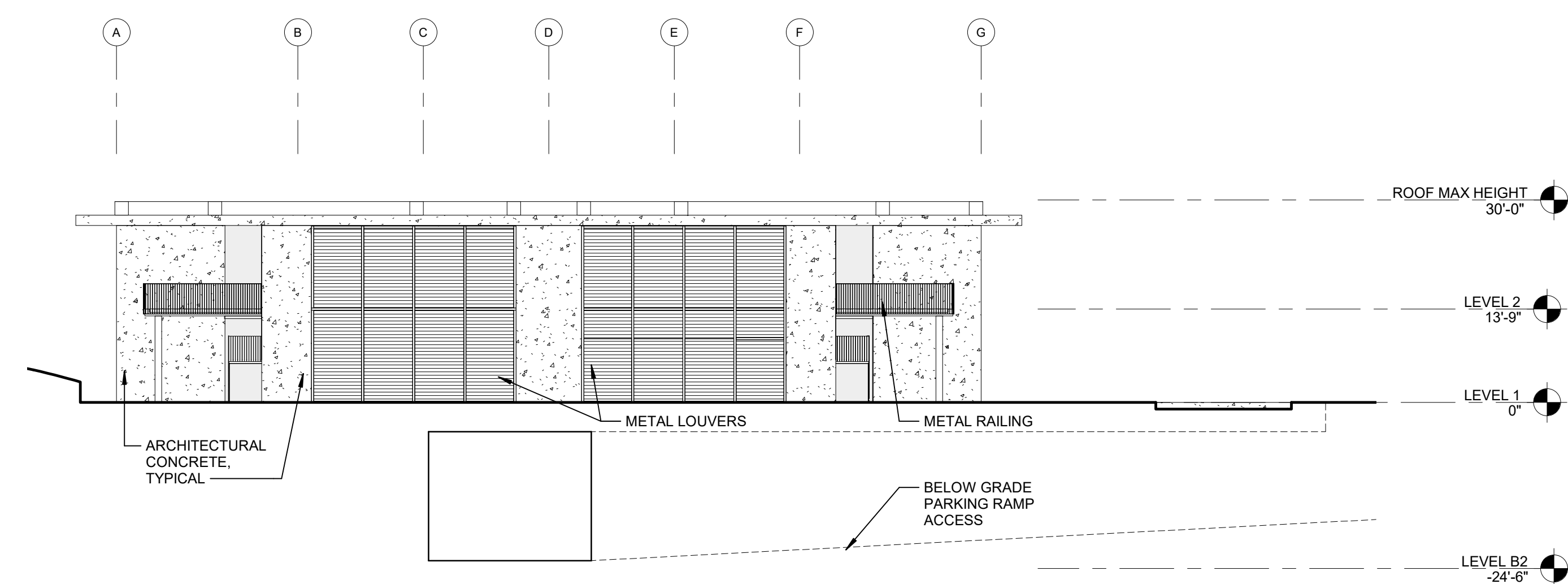




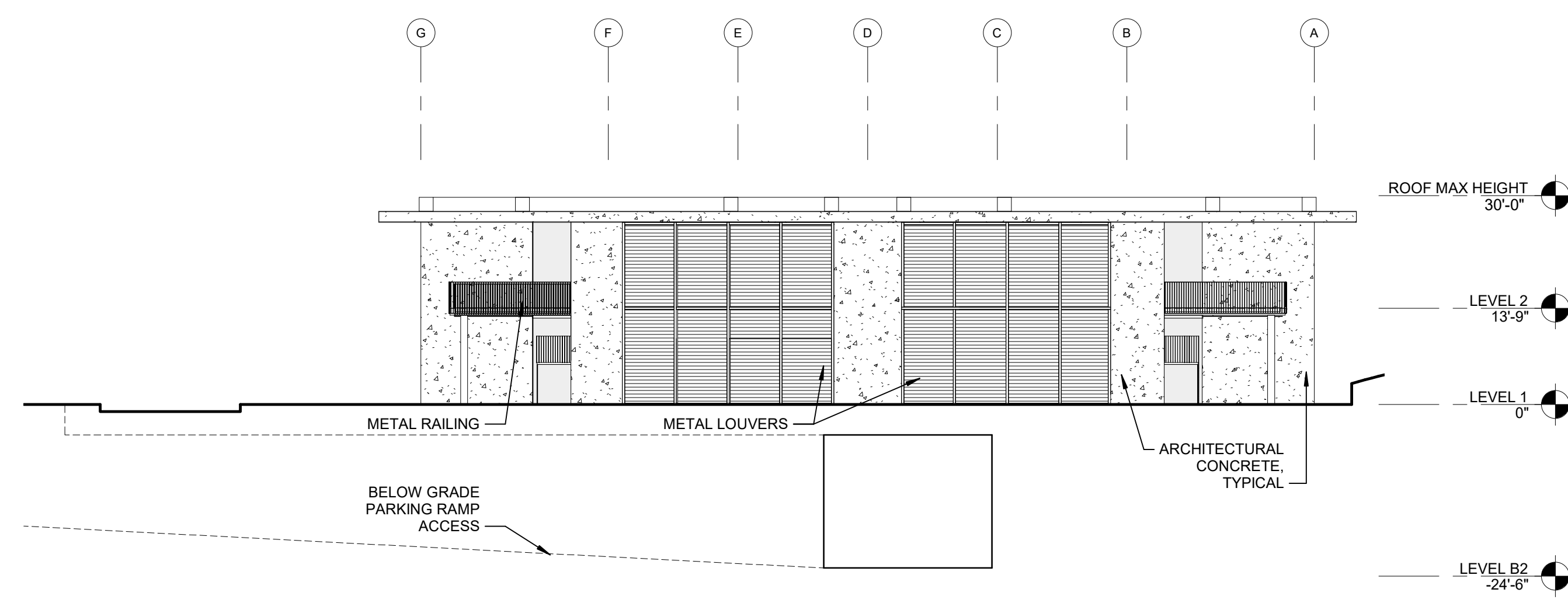
4 WEST ELEVATION  
1/16" = 1'-0"



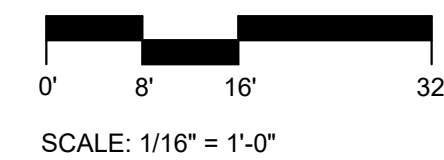
3 EAST ELEVATION  
1/16" = 1'-0"



1 NORTH ELEVATION  
1/16" = 1'-0"



2 SOUTH ELEVATION  
1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

GENERAL NOTES (PER ARCHITECTURAL DESIGN GUIDELINES)

CONCRETE:  
"THE APPEARANCE, FORMWORK, AND INSTALLATION METHOD OF THE PROPOSED ARCHITECTURAL CONCRETE EXTERIOR WILL BE DIFFERENTIATED FROM THE EXISTING CONCRETE OF THE HISTORICALLY SIGNIFICANT LABORATORY BUILDINGS."

WOOD:  
"WOOD EXTERIOR WILL BE DIFFERENTIATED BUT COMPATIBLE WITH THE TEAK EXTERIOR PANELS OF THE HISTORICALLY SIGNIFICANT LABORATORY BUILDINGS."

PREPARED BY:

NAME: WRNS STUDIO  
ADDRESS: 501 SECOND STREET  
FOURTH FLOOR, SUITE 402  
SAN FRANCISCO, CA 94107

PHONE: 415-489-7532  
FAX: 415-358-9100

PROJECT ADDRESS:

10010 NORTH TORREY PINES RD.  
LA JOLLA, CA 92037

PROJECT NAME:

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

REVISIONS

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/14/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 8 OF 16

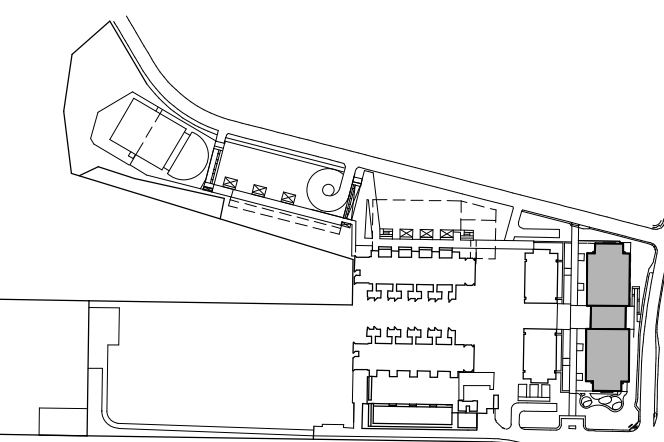
PTS # 0687543

SUBSTANTIAL CONFORMANCE REVIEW  
FOR COASTAL DEVELOPMENT PERMIT /  
SITE DEVELOPMENT PERMIT

SALK EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER

10010 North Torrey Pines Road  
La Jolla, CA 92037-4100

KEY PLAN



PROJECT NO.: 20013.00

SHEET TITLE:

EAST TORREY PINES BUILDING ELEVATIONS

SHEET NO:

A3.3



SALK INSTITUTE  
FOR BIOLOGICAL STUDIES

The Salk Institute for Biological Studies  
10010 North Torrey Pines Rd.  
La Jolla, CA 92037-1099  
Tel: 858-453-4100

ARCHITECT:

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San Francisco, CA 94104  
Tel: 415-981-1100  
Fax: 415-733-2700

DATE:

Latitude 33  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 858-751-0633

LANDSCAPE:

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Environmental Planning:

Helix Environmental Planning, Inc.  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

STAMP

4 WEST ELEVATION AT TORREY EAST BUILDING

3 EAST ELEVATION AT TORREY EAST BUILDING

1 NORTH ELEVATION AT TORREY EAST BUILDING

SHEET NOTES:  
SEE ARCHITECTURAL GUIDELINES FOR ADDITIONAL INFORMATION.

2 SOUTH ELEVATION AT TORREY EAST BUILDING

PHS #44675  
**APPROVED EXHIBIT "A"**  
Approval Date 10/21/2008  
Permit No. CDP 124916 / SDP 12-002  
MPPR 501577  
Amendment to  
CDP/TEP/CP No. 90-1140

Prepared By:  
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LA JOLLA, CALIFORNIA 92037  
Project Name: THE SALK INSTITUTE CDP / SDP  
Sheet Title: A3.3 TORREY EAST BUILDING  
BUILDING ELEVATIONS

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3:  
Revision 2:  
Revision 1:  
Original Date: 08.06.04  
Sheet Count: 8 of 28  
DEP#: 44675

REVISIONS:  
NO. DATE DESCRIPTION:  
9 02.02.08 CDP COMMENTS  
7 03.03.08 CDP COMMENTS  
6 04.13.07 CDP COMMENTS  
5 01.19.07 CDP COMMENTS  
4 08.09.06 CDP COMMENTS  
3 04.14.06 CDP COMMENTS  
2 09.23.05 CDP COMMENTS  
1 01.05.05 CDP COMMENTS

THE SALK INSTITUTE  
CDP / SDP

KEY PLAN:

SCALE: 1/16"=1'-0"  
DATE: 08.06.04  
PROJECT NO: 50221.08  
PERMIT APPLICATION NO:  
TORREY EAST BUILDING ELEVATIONS  
A3.3  
CDP / SDP SUBMITTAL



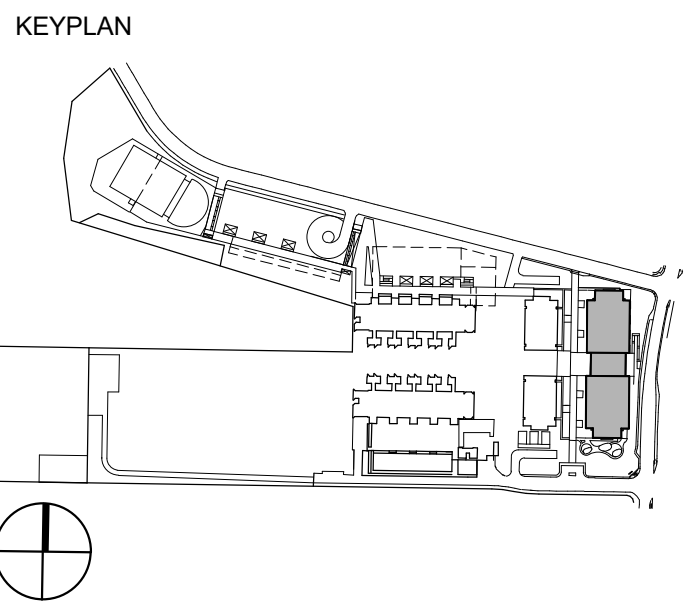


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SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/14/2021
SCR COMMENT RESPONSE	11/12/2021

SUBSTANTIAL  
CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER

10010 North Torrey Pines Road  
La Jolla, CA 92037-4100

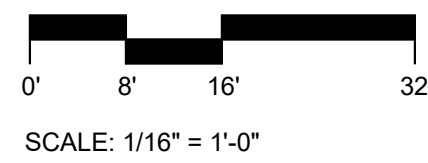
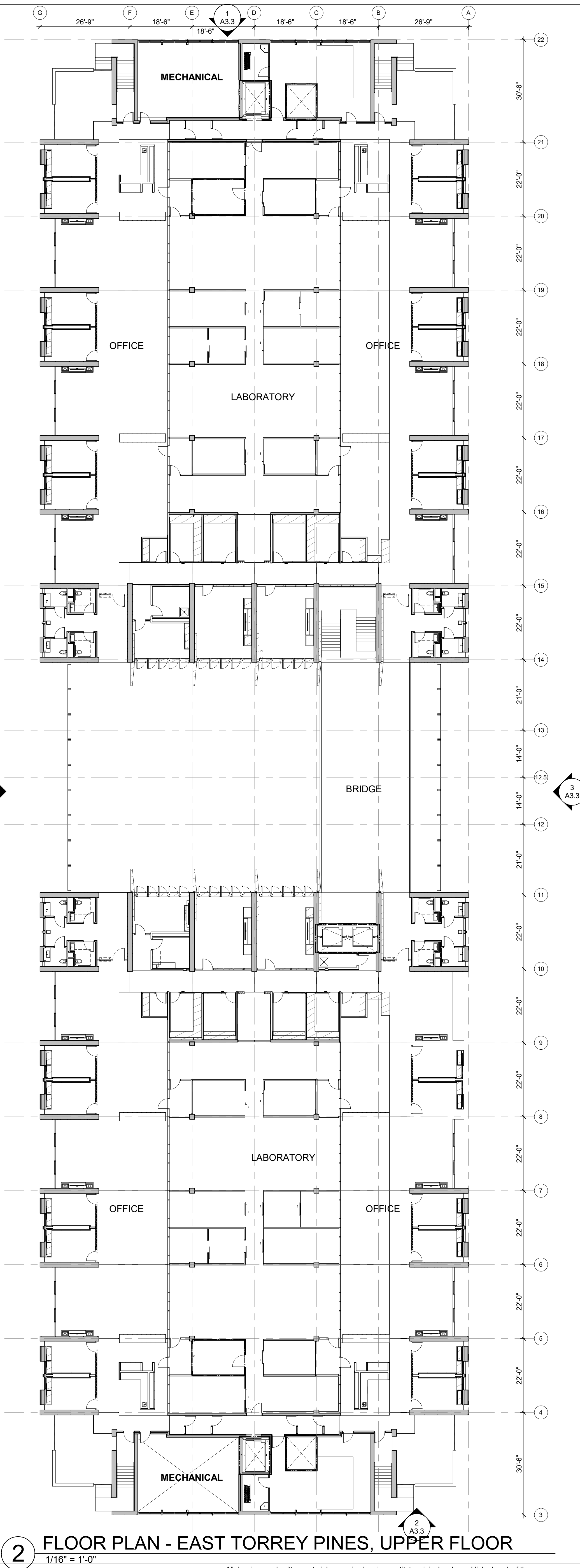
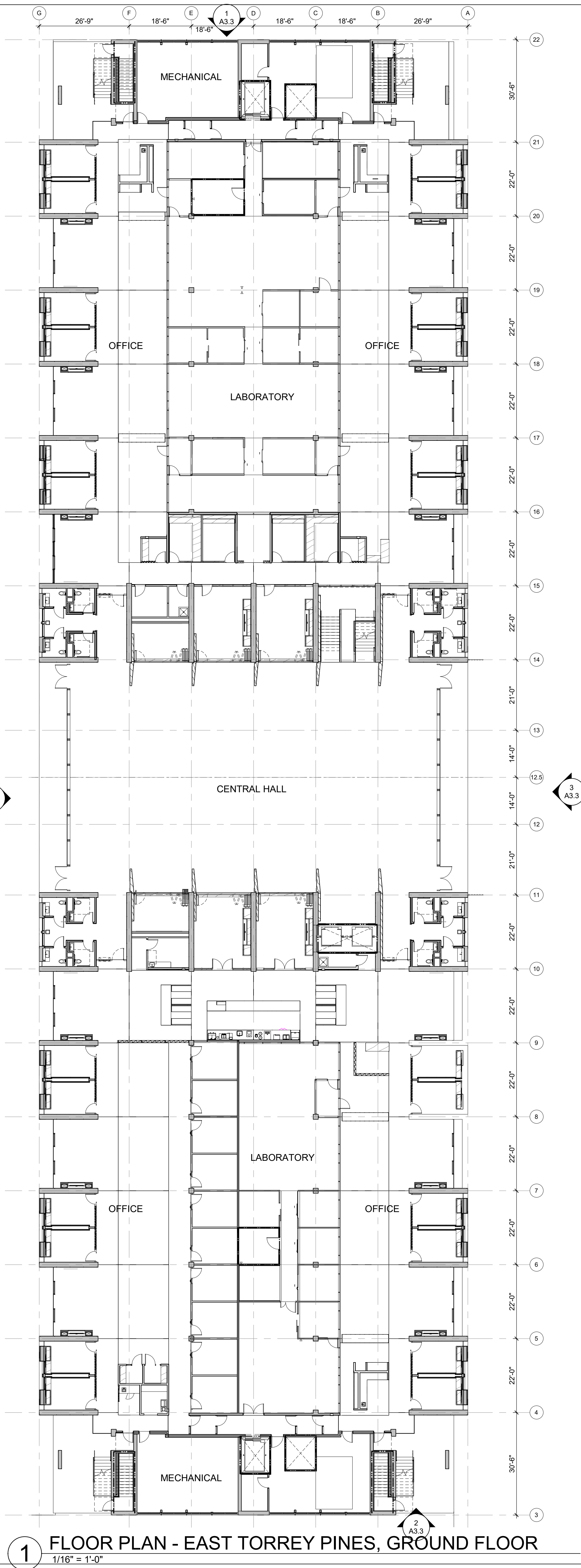


PROJECT NO.: 20013.00  
SHEET TITLE:

EAST TORREY PINES  
BUILDING FLOOR PLANS

SHEET NO:

A4.3



PREPARED  
BY: WRNS STUDIO  
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PHONE: 415-489-7532  
FAX: 415-358-9100

PROJECT  
ADDRESS: 10010 NORTH TORREY PINES RD.  
LA JOLLA, CA 92037

PROJECT  
NAME: THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

REVISIONS	REVISION NAME	DATE
1	SCR COMMENT RESPONSE	07/30/2021
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3	SCR COMMENT RESPONSE	10/14/2021
4	SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 9 OF 16

PTS # 0687543



**SALK INSTITUTE**  
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**nbbj**  
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Fax: 415-733-2700

**Latitude 33**  
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San Diego, CA 92123  
Tel: 858-751-0633

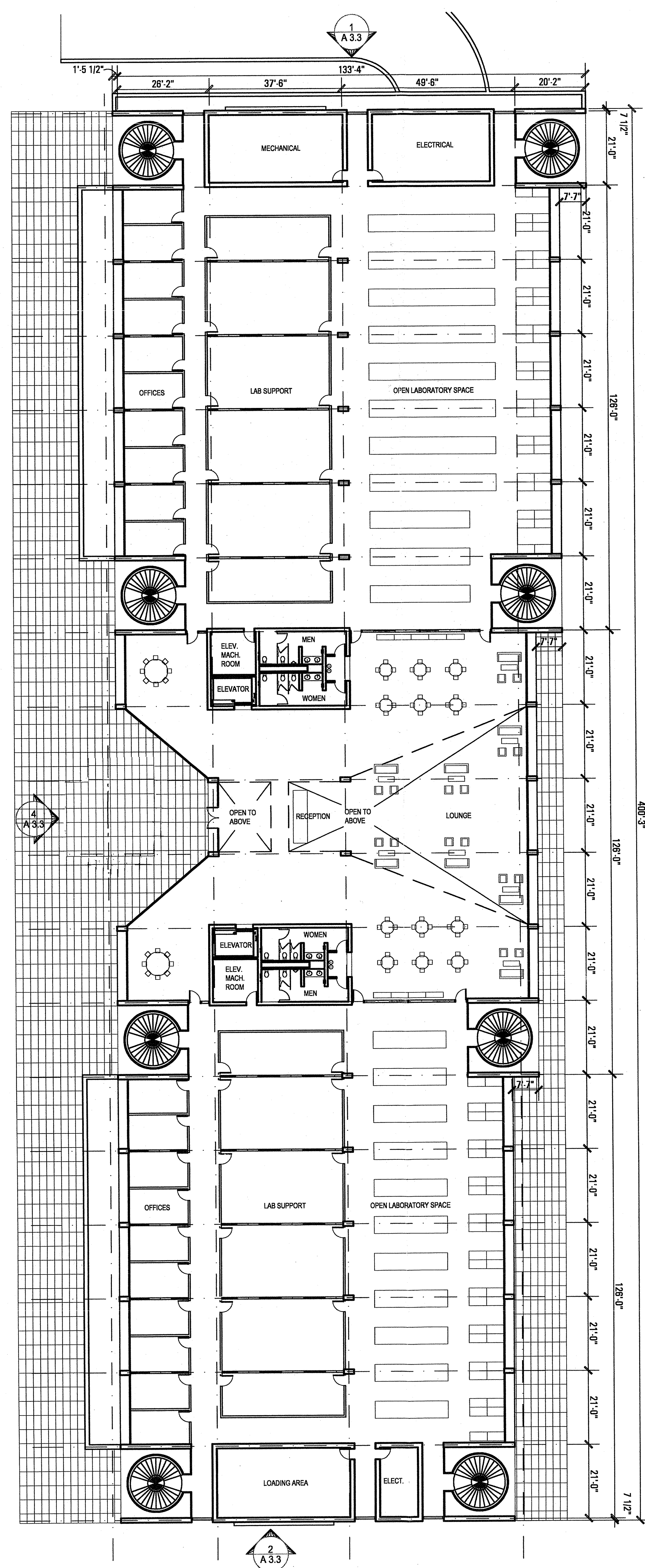
**The Office of James Burnett**  
415 South Cedros, Suite 260  
Solana Beach, CA 92075  
Tel: 858-793-6970  
Fax: 858-793-6905

**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-0552  
Fax: 619-462-1515

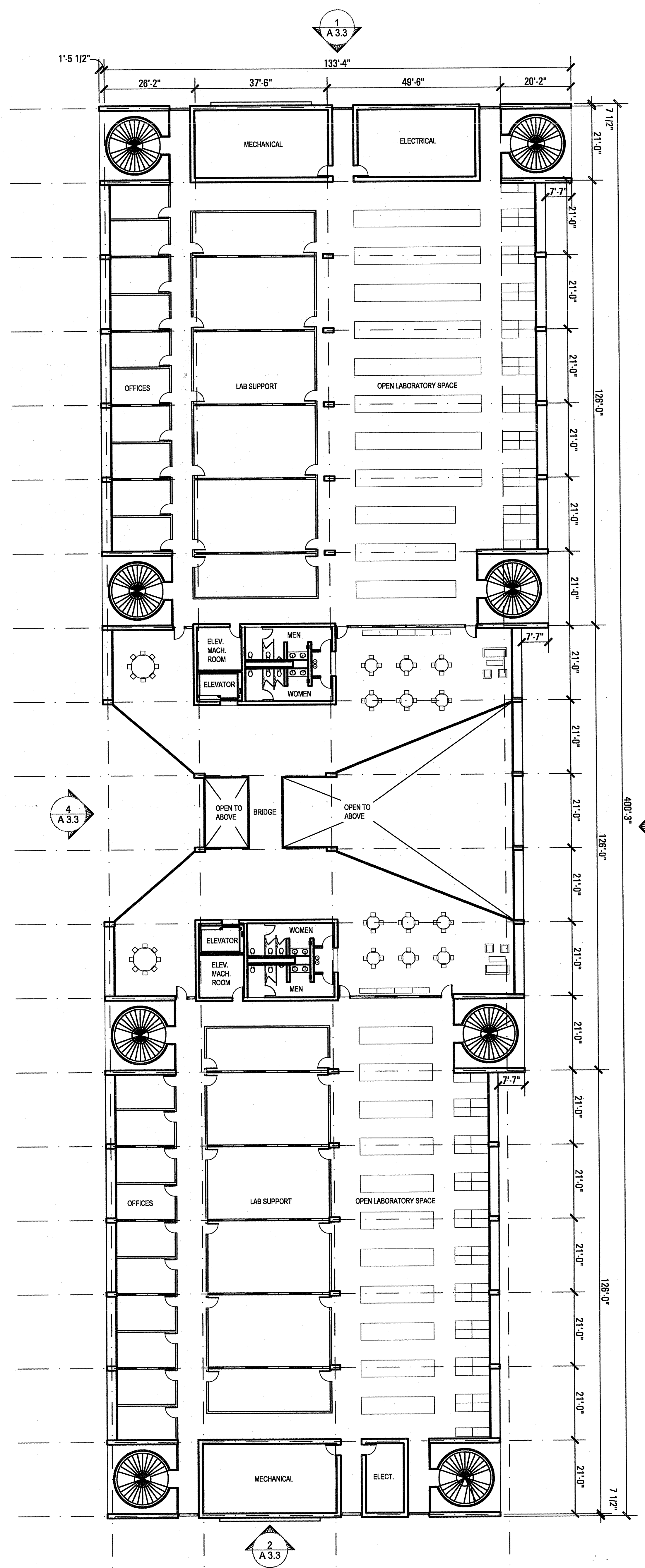
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**SHEET LISTING**

IPB #44675  
**APPROVED EXHIBIT "A"**  
Approval Date: 10/21/2008  
Permit No. CDP 12496 / SDP 127002  
MDP 501577  
Amendment to  
CDP/HIR/PLANS 90-1140  
10.27.08 CDP COMMENTS



1 FLOOR PLAN - TORREY EAST BUILDING, GROUND FLOOR



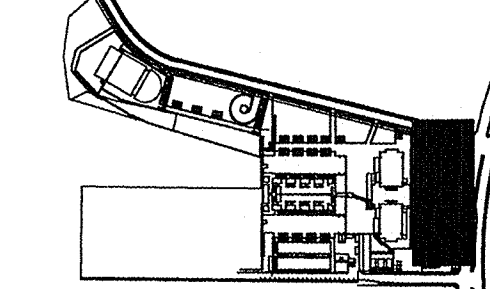
2 FLOOR PLAN - TORREY EAST BUILDING, UPPER FLOOR

Prepared By:		Revision 14:	
Name:	NBBJ	Revision 13:	
Address:	130 SUTTER STREET, 2ND FLOOR SAN FRANCISCO, CA 94104	Revision 12:	
Phone #:	415.981.1100	Revision 11:	
Fax #:	415.733.2700	Revision 10:	
Project Address:	10010 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP / SDP	Revision 8:	06.21.08 CDP COMMENTS
		Revision 7:	03.03.08 CDP COMMENTS
		Revision 6:	04.13.07 CDP COMMENTS
		Revision 5:	01.19.07 CDP COMMENTS
		Revision 4:	06.09.06 CDP COMMENTS
		Revision 3:	04.14.06 CDP COMMENTS
		Revision 2:	09.23.05 CDP COMMENTS
		Revision 1:	01.05.05 CDP COMMENTS
Sheet Title:	A4.3 FLOOR PLANS - TORREY EAST BUILDING	Original Date:	8/6/04
		Sheet Count:	11 of 22
		DEP#	44675

NO.	DATE	DESCRIPTION
8	06.21.08	CDP COMMENTS
7	03.03.08	CDP COMMENTS
6	04.13.07	CDP COMMENTS
5	01.19.07	CDP COMMENTS
4	06.09.06	CDP COMMENTS
3	04.14.06	CDP COMMENTS
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1	01.05.05	CDP COMMENTS

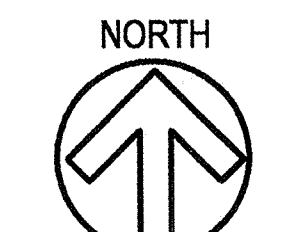
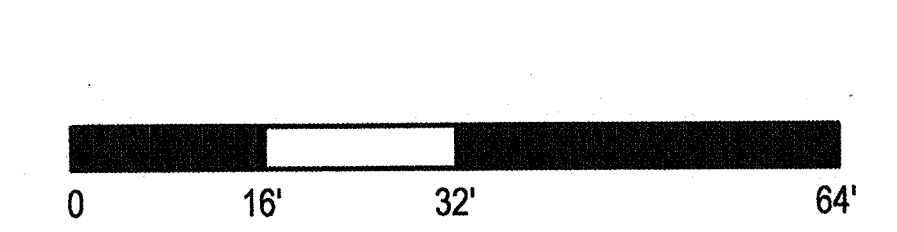
**THE SALK INSTITUTE**  
CDP / SDP

KEY PLAN:



SCALE: 1/16"=1'-0"  
DATE: 08.06.04  
PROJECT NO.: 50221.08

**TORREY EAST BUILDING**  
FLOOR PLANS  
A4.3  
CDP / SDP SUBMITTAL





# SALK EAST TORREY PINES SCIENCE AND TECHNOLOGY CENTER

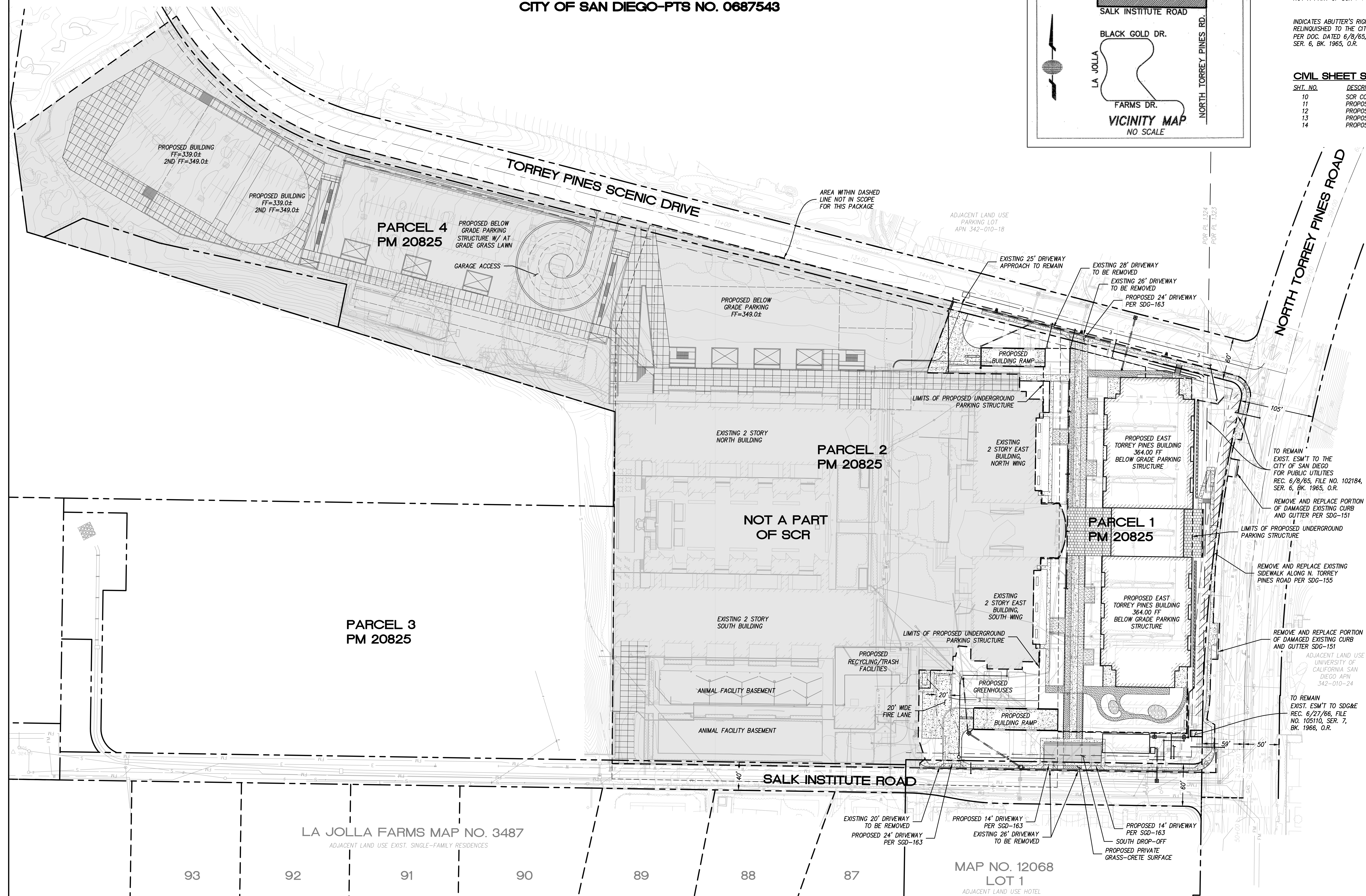
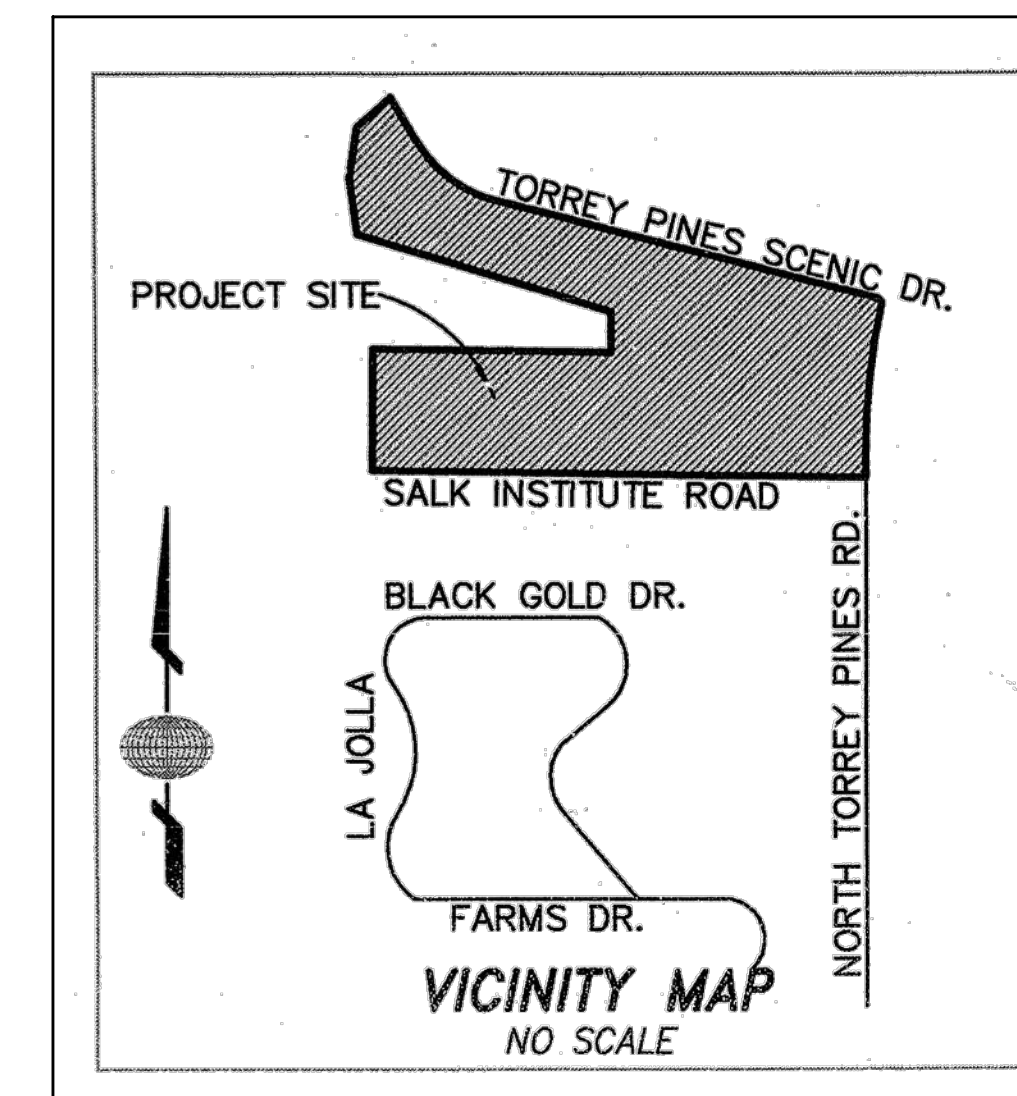
SUBSTANTIAL CONFORMANCE REVIEW  
CITY OF SAN DIEGO-PTS NO. 0687543

## LEGEND

RIGHT-OF-WAY	---
ROADWAY CENTERLINE	---
SETBACK EASEMENT	---
PARCEL LIMITS	---
ABUTTER'S RIGHTS RELINQUISHED	---
LIMITS OF SCR	---
NOT A PART OF SCR	---
INDICATES ABUTTER'S RIGHTS OF ACCESS RELINQUISHED TO THE CITY OF SAN DIEGO PER DOC. DATED 6/8/65, FILE NO. 102184, SER. 6, BK. 1965, O.R.	---

## CIVIL SHEET SUMMARY

SHT. NO.	DESCRIPTION
10	SCR COVER SHEET
11	PROPOSED GRADING, UTILITIES, AND FIRE C.2
12	PROPOSED GRADING AND SITE PLAN C.4
13	PROPOSED UTILITY PLAN C.5
14	PROPOSED FIRE ACCESS PLAN C.6



## LEGAL DESCRIPTION

BEING A SUBDIVISION OF PARCEL 1 OF PARCEL MAP NO. 14013 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 8, 1985 AS FILE NO. 1985-421336

## ASSESSOR'S PARCEL NO.

342-010-42, -43, -45

## COORDINATE INDEX

XXX-XXXX-NAD27

XXXX-XXXX NAD83

## BENCH MARK

TO BE FILLED

ELEVATION = XXX.XX M.S.L.

## GRADING TABULATION

- TOTAL AMOUNT OF SITE TO BE GRADED: 4.34 AC
- PERCENT OF TOTAL SITE GRADED: 96%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREAT: 0.25 AC
- PERCENT OF EXIST. SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 5%
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 5%
- GRADING:
  - SITE CUT: 500 CUBIC YARDS
  - SITE FILL: 1,000 CUBIC YARDS
  - SITE IMPORT: 500 CUBIC YARDS
- UNDERGROUND GARAGES AND BUILDING EXCAVATION: 122,000 CUBIC YARDS
- TOTAL EXPORT: 121,500 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 0 FEET 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 6 FEET 2:1 SLOPE RATIO
- RETAINING/CRIB WALLS: HOW MANY: 4
  - MAXIMUM LENGTH: 85 FEET
  - MAXIMUM HEIGHT: 10 FEET

## PREPARED BY:

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2ND FLOOR  
SAN DIEGO, CA 92131  
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FAX: 858-751-0634

## PROJECT ADDRESS:

10010 NORTH TORREY PINES RD  
LA JOLLA, CA 92037

## PROJECT NAME:

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

## REVISIONS

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
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ORIGINAL DATE 05/10/2021

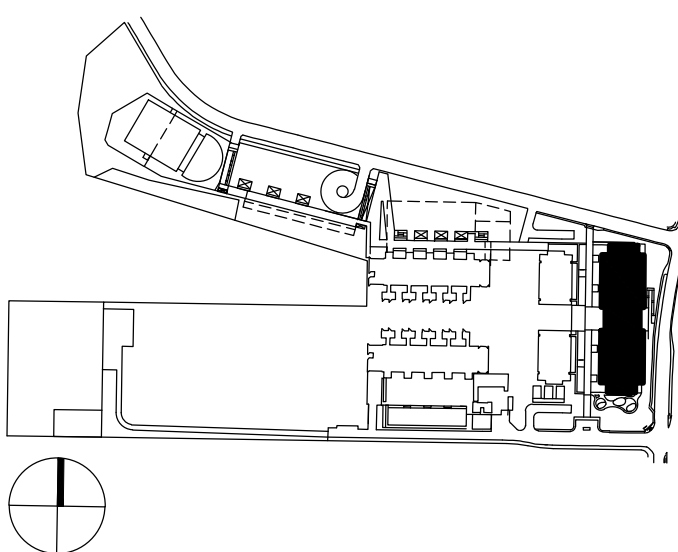
SHEET COUNT 10 OF 16

PTS # 0687543

SUBSTANTIAL CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER

## KEYPLAN



PROJECT NO.: 1767.10

SHEET TITLE:

PROPOSED TITLE SHEET

SHEET NO.:

C.0



# SALK INSTITUTE VESTING TENTATIVE MAP AND CONCEPTUAL GRADING PLAN

## NOTES:

1. OWNER WILL BE REQUIRED TO REPLACE ALL DAMAGED / DISPLACED CURB, GUTTER AND SIDEWALK ADJACENT TO THE PROJECT SITE.
2. DURING CONSTRUCTION, SILT FENCES, GRAVEL BARRIERS, USE OF BONDED FIBER MATRIX SPRAY AND OTHER APPROPRIATE WATER QUALITY MITIGATION MEASURES WILL BE UTILIZED. POST CONSTRUCTION MEASURES SUCH AS DIRECTING RUNOFF FROM IMPERVIOUS SURFACES TO LANDSCAPED OR GRAVEL UNDER SHROUS, OR FILTERS IN PROPOSED AND EXISTING DRAIN WELLS WILL BE UTILIZED. A STORM WATER POLLUTION PREVENTION PLAN AND NPDES PERMIT WILL BE PREPARED PRIOR TO INITIATING CONSTRUCTION TO MORE CLEARLY DETAIL THESE MEASURES.

## GENERAL NOTES:

- Ⓐ EXISTING DRIVEWAY TO BE REMOVED

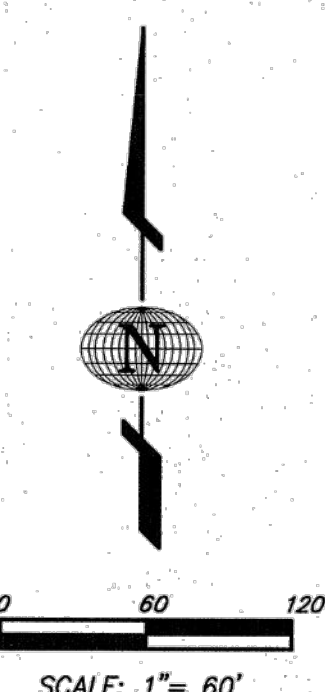
## CONSERVATION EASEMENT:

- A PROPOSED CONSERVATION EASEMENT WILL BE GRANTED OVER THE ENTIRE SOUTH PENINSULA PROPOSED LOT 3.

## GRADING

1. TOTAL AMOUNT OF SITE TO BE GRADED: 9.0 AC.
2. PERCENT OF TOTAL SITE GRADED: 34%
3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 2.79 AC.
4. PERCENT OF THE EXIST. SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 0 %
5. PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 11 %
6. GRADING:
  - SITE CUT: 20,000 CUBIC YARDS
  - SITE FILL: 2,300 CUBIC YARDS
  - SITE EXPORT: 17,700 CUBIC YARDS
7. MAXIMUM HEIGHT OF FILL SLOPE(S): 8 FEET 2:1 SLOPE RATIO
8. MAXIMUM HEIGHT OF CUT SLOPE(S): 8 FEET 2:1 SLOPE RATIO
9. RETAINING/CRIB WALLS: HOW MANY: 12
  - MAXIMUM LENGTH: 1,500 FEET
  - MAXIMUM HEIGHT: 15 FEET

VTM / TM / MAP Waiver No. 36958  
APPROVED BY: City Council / Planning Commission / Hearing Officer  
on 10/21/2008  
Development Services Department  
Date 2/12/09 By [Signature]  
Development Project Manager



## LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING MHPA BOUNDARY LINE
- EXISTING SPOT ELEVATIONS
- EXISTING CONTOUR
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING GATE VALVE
- EXISTING STORM DRAIN
- EXISTING STORM DRAIN CLEANOUT
- EXISTING UNDERGROUND DRY UTILITIES
- EXISTING CHAIN LINK FENCE
- EXISTING RETAINING WALL
- EXISTING LIGHT STANDARD
- EXISTING CURB & GUTTER
- EXISTING BROW DITCH
- EXISTING DIRECTION OF SURFACE FLOW

- FINISH CONTOUR
- FINISH GRADE SPOT ELEVATION
- CUT/FILL SLOPES (2:1 MAX.)
- STORM DRAIN PIPE (PRIVATE)
- STORM DRAIN STRUCTURE (PRIVATE)
- 6" STANDARD CURB (PRIVATE)
- PVC SEWER MAIN (PRIVATE)
- SEWER FORCE MAIN (PRIVATE)
- SEWER MANHOLE (PRIVATE)
- SEWER CLEANOUT (PRIVATE)
- PVC WATER MAIN
- FIRE HYDRANT ASSEMBLY
- SEWER LATERAL (PRIVATE)
- WATER LATERAL (PRIVATE)
- RETAINING WALL
- DAYLIGHT - LIMITS OF CONSTRUCTION

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Fax #: 658-751-0634  
Project Address: 10010 NORTH TORREY PINES ROAD  
LA JOLLA, CALIFORNIA 92037  
Project Name: THE SALK INSTITUTE  
VESTING TENTATIVE  
MAP  
Sheet Title: VESTING TENTATIVE  
PARCEL MAP &  
CONCEPTUAL  
GRADING PLAN  
Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 4: 6-27-08  
Revision 3: 3-03-08  
Revision 2: 4-13-07  
Revision 1: 1-19-07  
Original Date: 6-28-06  
Sheet Count: 2 of 2  
DUP# \_\_\_\_\_

NOTE: PREVIOUSLY APPROVED EXHIBIT 'A' IS FOR REFERENCE ONLY. PLAN IS NOT TO SCALE.

## PREPARED BY:

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FAX: 658-751-0634

## PROJECT ADDRESS:

10010 NORTH TORREY PINES RD  
LA JOLLA, CA 92037

## PROJECT NAME:

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

## REVISIONS

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1 SCR COMMENT RESPONSE	07/30/2021
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ORIGINAL DATE 05/10/2021

SHEET COUNT    OF 16

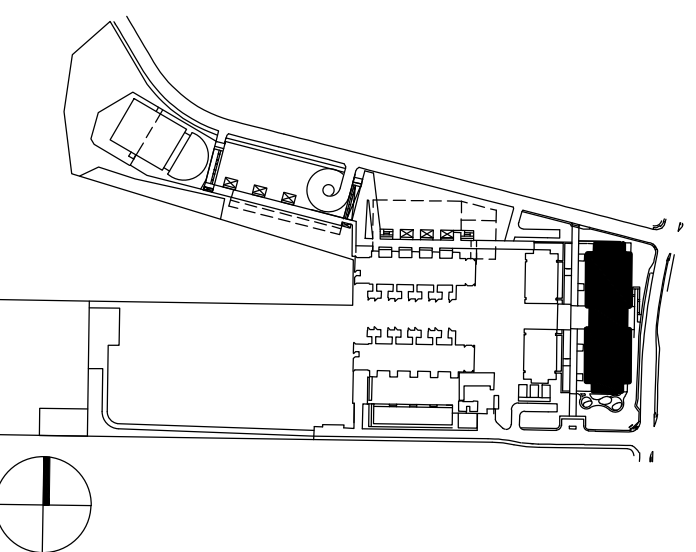
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SUBSTANTIAL  
CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

**SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER**

## KEYPLAN



PROJECT NO.: 1767.10

SHEET TITLE:

**PREVIOUSLY APPROVED  
TITLE SHEET**

SHEET NO.:



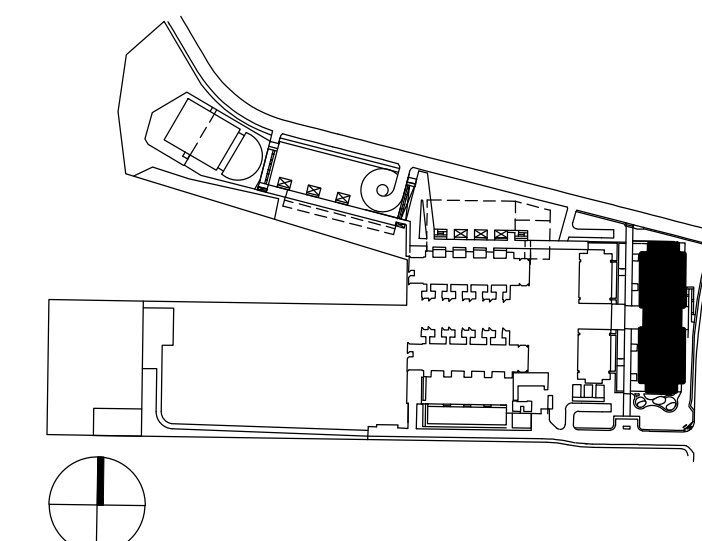
**latitude33**  
PLANNING & ENGINEERING  
9966 Hilbert Street 2<sup>nd</sup> Floor, San Diego, CA 92131  
Tel 858.751.0633

ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
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FOR COASTAL  
DEVELOPMENT PERMIT /  
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PERMIT

**SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER**

## KEYPLAN



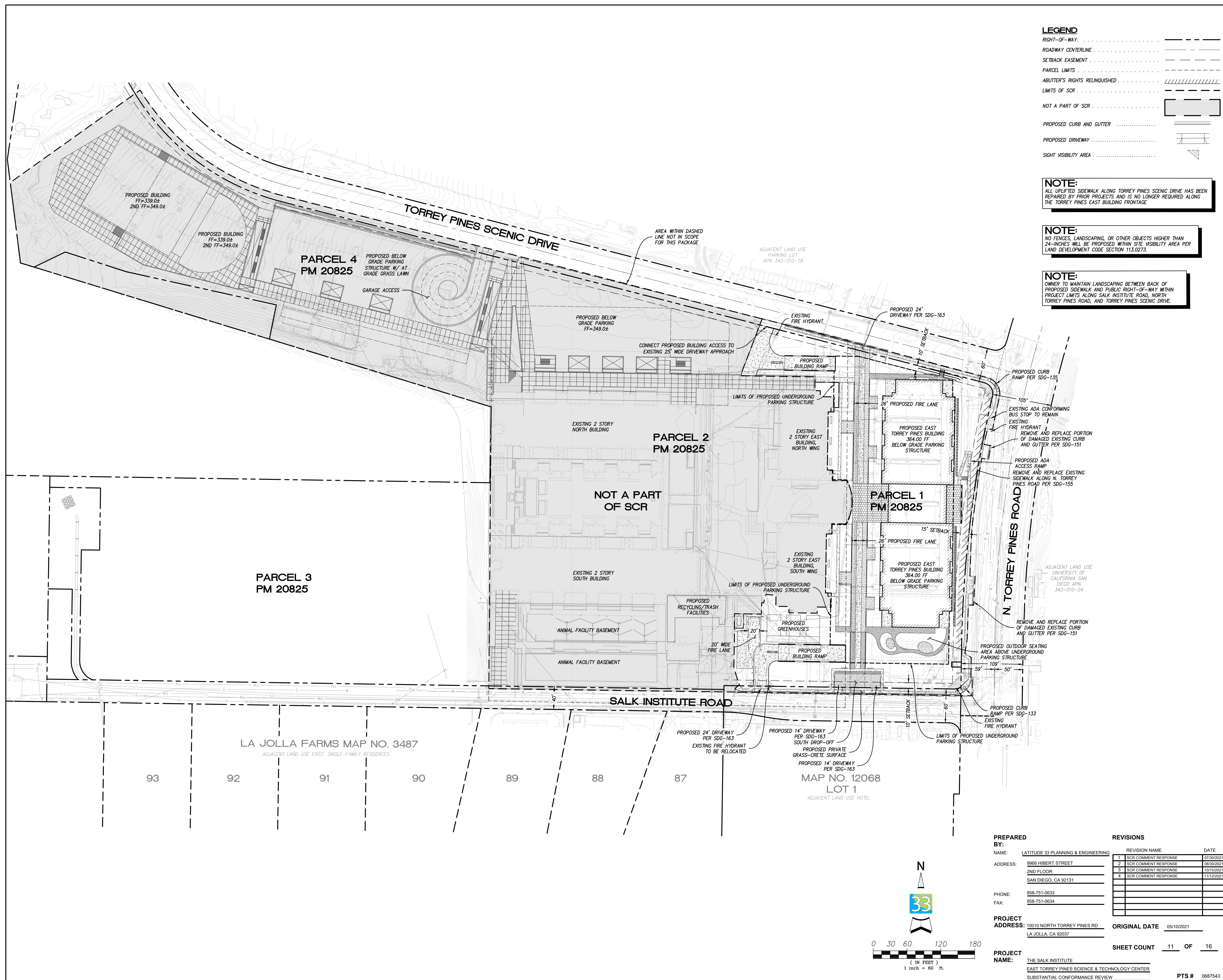
PROJECT NO. 1767-10

SHEET TITLE:

PROPOSED GRAD, UTIL  
AND FIRE C.2

SHEET NO:

## C.2



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If this drawing is not 30"x42", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.



OWNER:  
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Tel: 619-462-0552  
Fax: 619-462-1515



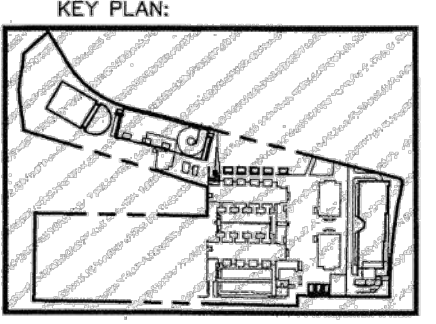
SHEET LEGEND

PT# 44675  
**APPROVED EXHIBIT "A"**  
Approval Date: 10/21/2023  
Permit No. CDP/SDP 120584  
WATER EXHIBIT  
Amendment to  
CDP/SDP 90-1140

REVISIONS:

NO.	DATE:
1.	6-11-2008 CDP/SDP COMMENTS
2.	3-29-2008 CDP/SDP COMMENTS
3.	4-13-2007 CDP/SDP COMMENTS
4.	11-19-2007 CDP/SDP COMMENTS
5.	4-14-2006 CDP/SDP COMMENTS
6.	9-29-2005 CDP/SDP COMMENTS
7.	1-14-2005 CDP/SDP COMMENTS
8.	ORIGINAL 8-8-04

THE SALK INSTITUTE  
CDP/SDP



SCALE: 1"= 60'  
DATE: 8-8-04  
PROJECT NO.: 1767.10  
PERMIT APPLICATION NO.: 120584

PRELIMINARY GRADING  
& UTILITY PLAN  
INDEX SHEET AND  
FIRE HYDRANT LAYOUT

**C.2**  
CDP / SDP SUBMITTAL

PREPARED BY:  
NAME: LATITUDE 33 PLANNING & ENGINEERING  
ADDRESS: 9908 HIBERT STREET  
2ND FLOOR  
SAN DIEGO, CA 92131  
PHONE: 858-751-0633  
FAX: 858-751-0634

PROJECT ADDRESS: 10010 NORTH TORREY PINES RD  
LA JOLLA, CA 92037

PROJECT NAME: THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

REVISIONS

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/15/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

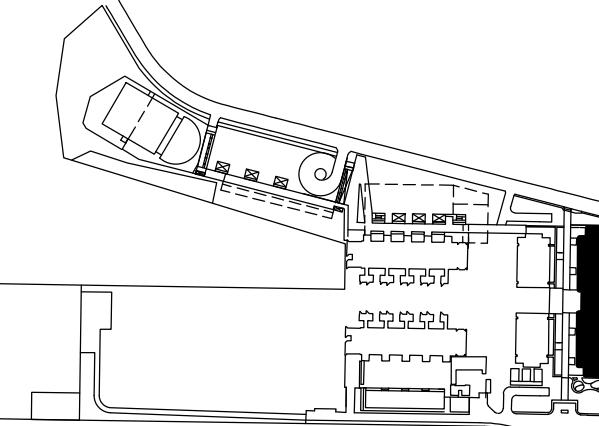
SHEET COUNT OF 16

PTS # 0687543

SUBSTANTIAL CONFORMANCE REVIEW  
FOR COASTAL DEVELOPMENT PERMIT /  
SITE DEVELOPMENT PERMIT

**SALK EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER**

KEY PLAN



PROJECT NO.: 1767.10

SHEET TITLE:

PREVIOUSLY APPROVED  
GRAD, UTIL AND FIRE C.2  
SHEET NO.

# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

## GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 9.0 AC.
- PERCENT OF TOTAL SITE GRADED: 34%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 2.79 AC.
- PERCENT OF THE EXIST. SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 0.1%
- PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 11.1%
- GRADING:  
SITE CUT: 20,000 CUBIC YARDS  
SITE FILL: 2,300 CUBIC YARDS  
SITE EXPORT: 17,700 CUBIC YARDS  
UNDERGROUND GARAGES AND BUILDINGS EXCAVATION: 200,000 CUBIC YARDS  
TOTAL EXPORT: 217,700 CUBIC YARDS
- MAXIMUM HEIGHT OF CUT (SLOPES): 8 FEET 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT (SLOPES): 8 FEET 2:1 SLOPE RATIO
- RETAINING/CRIB WALLS: HOW MANY: 12  
MAXIMUM LENGTH: 1,500 FEET  
MAXIMUM HEIGHT: 15 FEET

## LEGEND

- BOUNDARY LINE  
RIGHT OF WAY LINE  
EXISTING MHFA BOUNDARY LINE  
PROPOSED MHFA BOUNDARY LINE  
EXISTING SPOT ELEVATIONS  
EXISTING CONTOUR  
EXISTING SANITARY SEWER & MANHOLE  
EXISTING WATER MAIN  
EXISTING FIRE HYDRANT ASSEMBLY  
EXISTING GATE VALVE  
EXISTING STORM DRAIN  
EXISTING STORM DRAIN CLEANSOUT  
EXISTING UNDERGROUND DRY UTILITIES  
EXISTING CHAIN LINK FENCE  
EXISTING LIGHT STANDARD  
EXISTING CURB & GUTTER  
EXISTING BROW DITCH  
EXISTING DIRECTION OF SURFACE FLOW

## FINISH CONTOUR

- FINISH GRADE SPOT ELEVATION  
OUT/FILL SLOPES (2:1 MAX.)  
STORM DRAIN PIPE (PRIVATE)  
STORM DRAIN STRUCTURE (PRIVATE)  
6" STANDARD CURB (PRIVATE)  
PVC SEWER MAIN (PRIVATE)  
SEWER FORCE MAIN (PRIVATE)  
SEWER MANHOLE (PRIVATE)  
SEWER CLEANSOUT (PRIVATE)  
PVC WATER MAIN  
FIRE HYDRANT ASSEMBLY  
SEWER LATERAL (PRIVATE)  
WATER LATERAL (PRIVATE)  
HIGH POINT SPOT ELEVATION  
SPOT ELEVATION  
LOW POINT  
DIRECTION OF SURFACE FLOW  
RETAINING WALL  
TOP OF WALL ELEVATION  
FINISH GRADE ELEVATION  
DAYLIGHT - LIMITS OF CONSTRUCTION

NOTE:  
THE UPLIFTED SIDEWALK AND DAMAGED CURB ALONG TORREY PINES SCENIC DRIVE SHALL BE REMOVED AND REPLACED AS PART OF THE TORREY EAST BUILDING CONSTRUCTION.

EXIST. 10' WIDE PUBLIC UTILITY ESM'T TO THE CITY OF SAN DIEGO REC. 12/19/01, FILE NO. 219052, SER. 2, BK. 1961, O.R.

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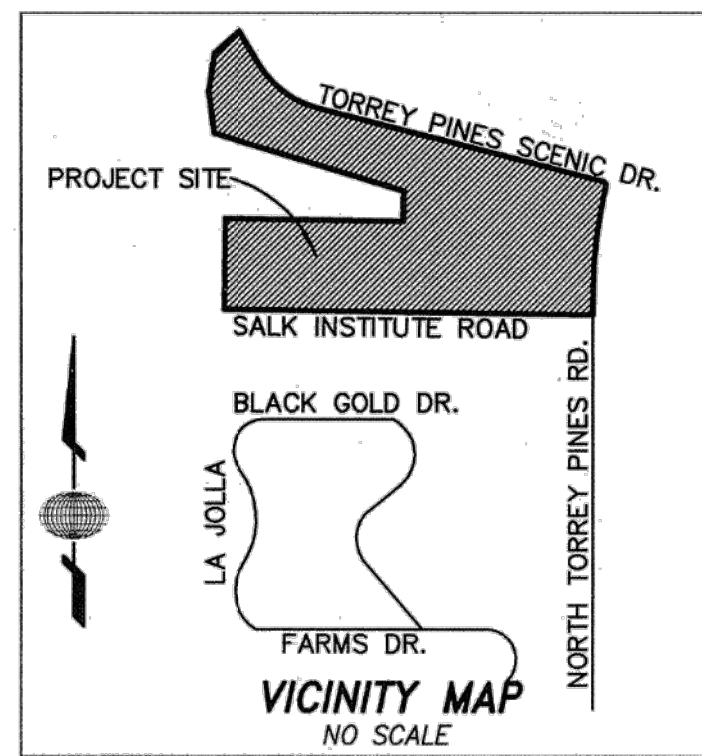
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- NOTES:
- SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.
  - SEE SHEETS C.10 FOR MHFA BOUNDARY ADJUSTMENT PLAN.
  - THERE ARE NO MAPPED GEOLOGIC HAZARD LIMITS PER CITY MAP C-720 WITHIN THIS PROPERTY.

**Latitude 33**  
Planning and Engineering  
4933 Paramount Dr., 2nd Flr.  
San Diego, CA 92121  
Tel: 619-751-0633 Fax: 619-751-0634

DATE: 8-21-08  
BY: JIM WATSON  
CHECKED: JIM WATSON



SCALE: 1"= 60'

H:\500\5734\CDP\CDP WDT DAYCARE 1-10-2008\5734-4-CDP-C2.dwg 3/21/2008 11:29:20 AM PBT

NOTE: PREVIOUSLY APPROVED EXHIBIT 'A' IS FOR REFERENCE ONLY. PLAN IS NOT TO SCALE.



**LEGEND:**

RIGHT OF WAY	---
SETBACK PER ZONING	---
PARCEL LINE	---
MAJOR CONTOUR	340
MINOR CONTOUR	342
DAYLIGHT LINE	---
ASPHALT SURFACE	---
PEDESTRIAN PCC SURFACE	---
FIRE RATED PCC SURFACE	---
PEDESTRIAN DG SURFACE	---
FIRE RATED DG SURFACE	---
FIRE RATED GRASS-CRETE SURFACE	---
STONE PAVING	---
WOOD DECK	---
CURB	SDG-150
CURB & GUTTER	SDG-151
ROLLED CURB	---
TYPE A CURB RAMP	SDG-133
TYPE C1 CURB RAMP	SDG-135
DRIVEWAY	SDG-163
PATH OF FLOW	---
RETAINING WALL	---

**NOTE:**

ALL UPLIFTED SIDEWALK ALONG TORREY PINES SCENIC DRIVE HAS BEEN REPAIRED BY PRIOR PROJECTS AND IS NO LONGER REQUIRED ALONG THE TORREY PINES EAST BUILDING FRONTAGE.

**NOTE:**

NO FENCES, LANDSCAPING, OR OTHER OBJECTS HIGHER THAN 24-INCHES WILL BE PROPOSED WITHIN SIGHT VISIBILITY AREA PER LAND DEVELOPMENT CODE SECTION 113.0273.

**NOTE:**

ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) REQUIRE FOR ALL PRIVATE DRAINAGE CONNECTION TO PUBLIC STORM WATER PIPES.

**NOTE:**

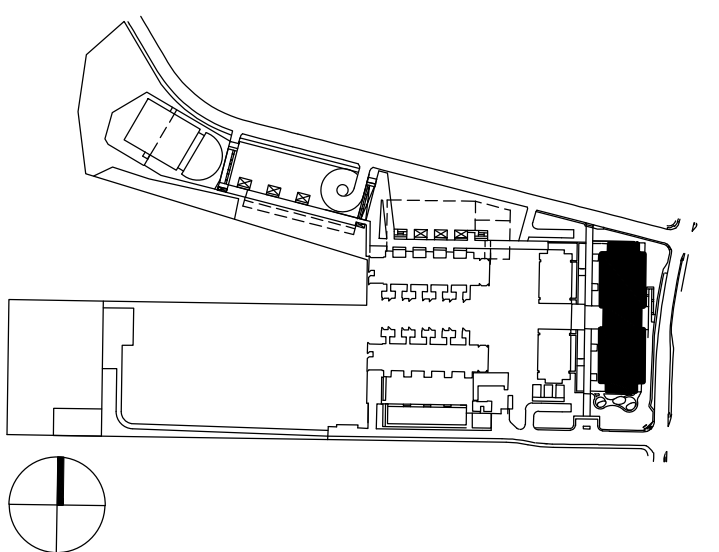
OWNER TO MAINTAIN LANDSCAPING BETWEEN BACK OF PROPOSED SIDEWALK AND PUBLIC RIGHT-OF-WAY WITHIN PROJECT LIMITS ALONG SALK INSTITUTE ROAD, NORTH TORREY PINES ROAD, AND TORREY PINES SCENIC DRIVE.

ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
SCR COMMENT RESPONSE	07/30/2021
SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/15/2021
SCR COMMENT RESPONSE	11/12/2021

SUBSTANTIAL CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

## SALK EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER

KEY PLAN

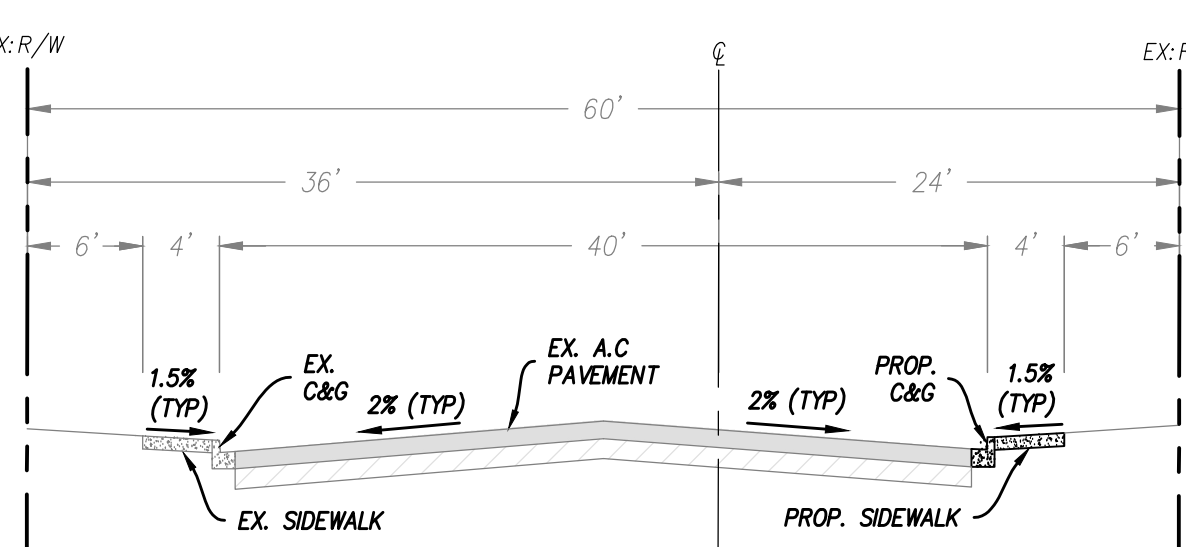


PROJECT NO.: 1767.10

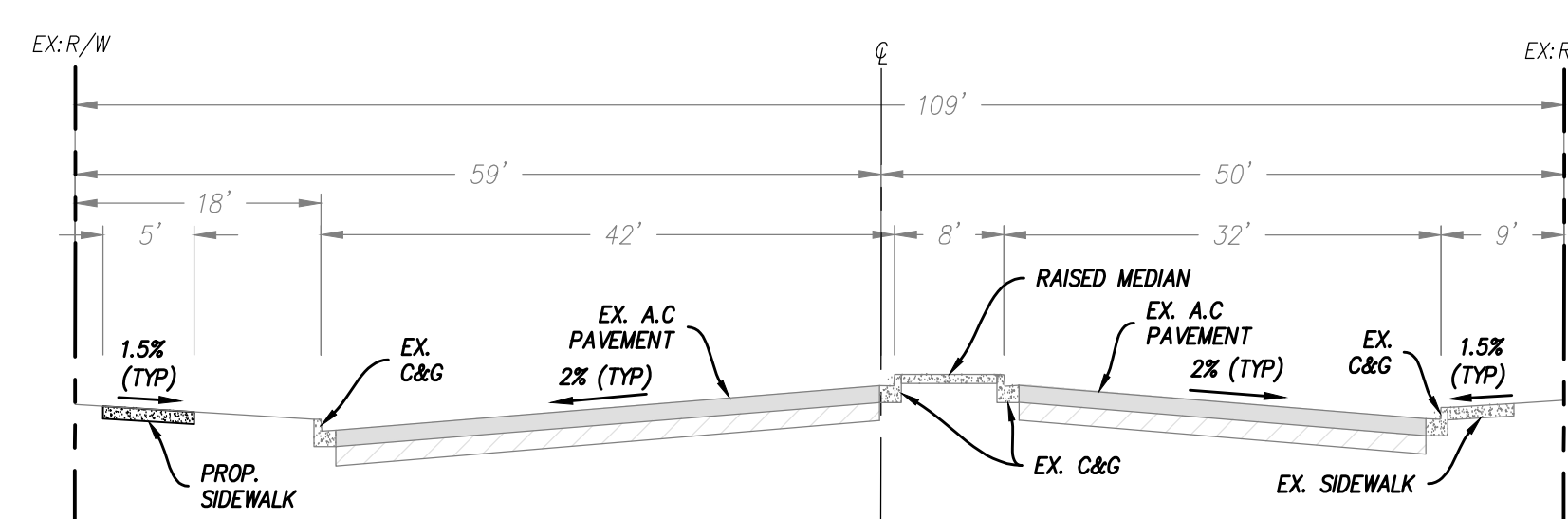
SHEET TITLE:

PROPOSED GRADING AND  
SITE PLAN C.4

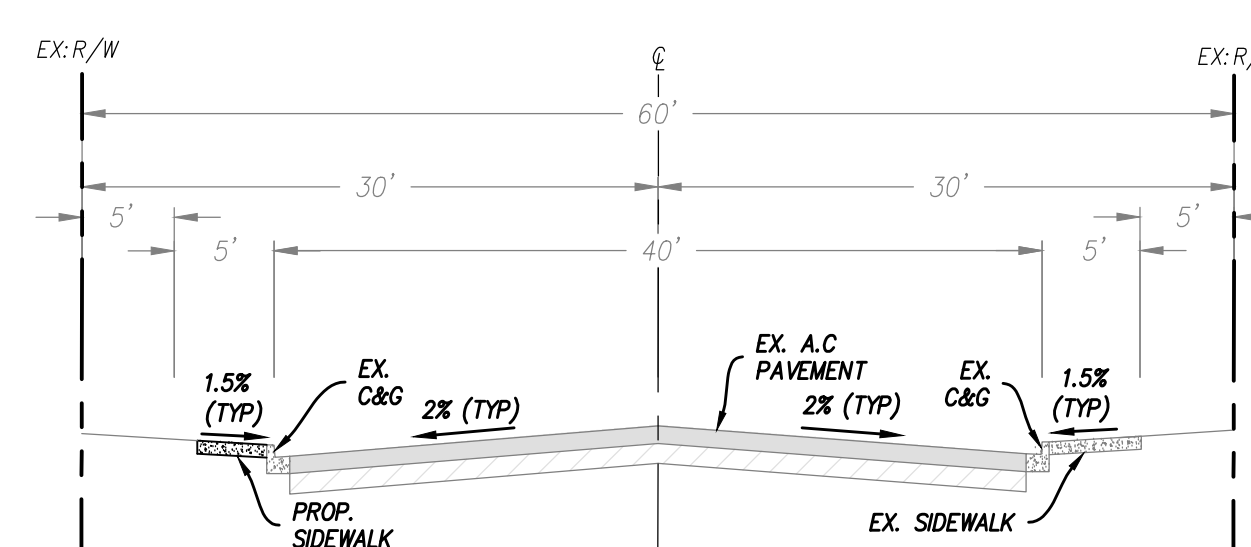
SHEET NO.:

**C.4**MAP NO. 12068  
LOT 1**SECTION A: SALK INSTITUTE ROAD**

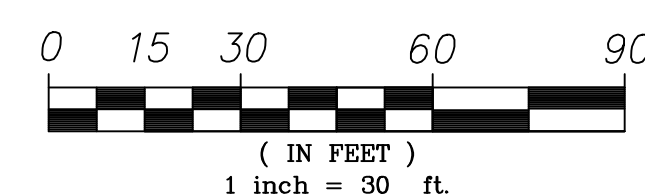
NOT TO SCALE

**SECTION B: NORTH TORREY PINES ROADS**

NOT TO SCALE

**SECTION C: TORREY PINES SCENIC DRIVE**

NOT TO SCALE

**PREPARED BY:**

NAME: LATITUDE 33 PLANNING &amp; ENGINEERING

ADDRESS: 9908 HIBERT STREET

2ND FLOOR

SAN DIEGO, CA 92131

PHONE: 858-751-0633

FAX: 858-751-0634

**PROJECT ADDRESS:**

10010 NORTH TORREY PINES RD

LA JOLLA, CA 92037

**PROJECT NAME:**

THE SALK INSTITUTE

EAST TORREY PINES SCIENCE &amp; TECHNOLOGY CENTER

SUBSTANTIAL CONFORMANCE REVIEW

**REVISIONS**

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
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4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 12 OF 16

PTS # 0687543



**LEGEND:**

RIGHT OF WAY	---
SETBACK PER ZONING	---
PARCEL LINE	---
STORM DRAIN PIPE	=====
TRENCH DRAIN	=====
CATCH BASIN	+
CURB INLET	SD-116
CLEANOUT	D-09
THRUST BLOCK	SDW-151
WATER VALVE	+
FIRE HYDRANT	SDW-104
BACKFLOW PREVENTOR	SDW-105
SEWER CLEANOUT	+
SEWER MANHOLE STRUCTURE	SDS-107
FIRE SERVICE PIPE	F
WATER SERVICE PIPE	W
SEWER PIPE	S
ELECTRICAL CONDUIT	E
FIRE SERVICE POC	(F)
WATER SERVICE POC	(W)
SEWER SERVICE POC	(S)

**NOTE:**

ALL UPLIFTED SIDEWALK ALONG TORREY PINES SCENIC DRIVE HAS BEEN REPAIRED BY PRIOR PROJECTS AND IS NO LONGER REQUIRED ALONG THE TORREY PINES EAST BUILDING FRONTAGE

**NOTE:**

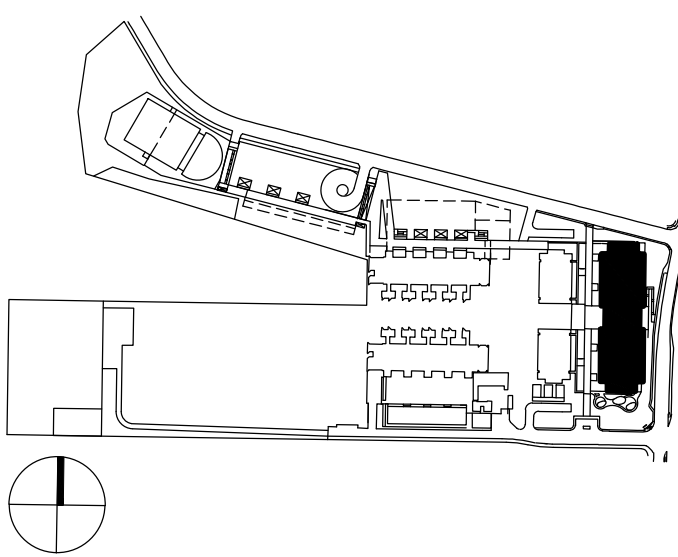
ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) REQUIRE FOR ALL PRIVATE DRAINAGE CONNECTION TO PUBLIC STORM WATER PIPES.

ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
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SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/15/2021
SCR COMMENT RESPONSE	11/12/2021

SUBSTANTIAL  
CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

## SALK EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER

KEY PLAN



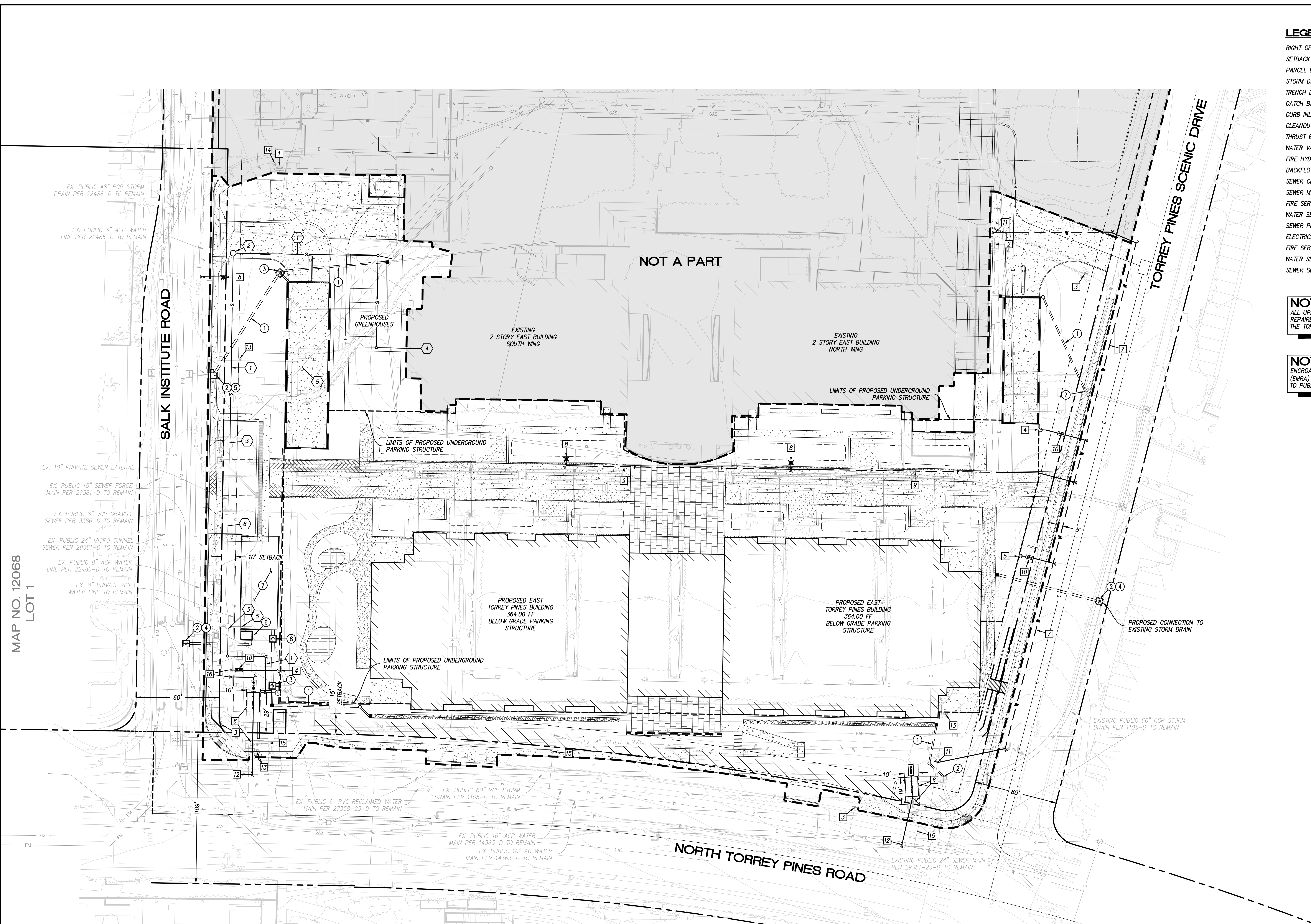
PROJECT NO.: 1767.10

SHEET TITLE:

PROPOSED UTILITY PLAN  
C.5

SHEET NO.:

C.5

**STORM DRAIN IMPROVEMENT NOTES:**

- PROPOSED PRIVATE STORM DRAIN.
- EMRA REQUIRED FOR PRIVATE STORM DRAIN CONNECTION TO PUBLIC STORM DRAIN SYSTEM.
- PROPOSED PRIVATE A-4 STORM DRAIN CLEANOUT.
- PROPOSED PUBLIC A-4 STORM DRAIN CLEANOUT.
- PROPOSED PUBLIC CURB INLET STRUCTURE.
- PROPOSED MODULAR WETLAND STORMWATER TREATMENT UNIT.
- PROPOSED HYDROMODIFICATION STORAGE VAULT.
- PROPOSED STORM WATER PUMP.

**WATER IMPROVEMENT NOTES:**

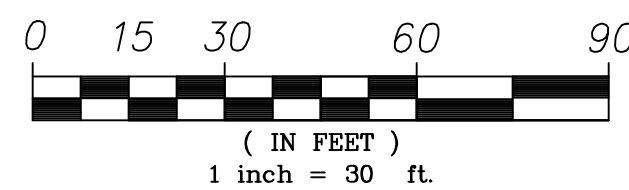
- EXISTING PRIVATE FIRE BACKFLOW PREVENTOR TO REMAIN.
- EXISTING PRIVATE FIRE BACKFLOW PREVENTOR AND FDC FOR EXISTING EAST BUILDING TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- PROPOSED 4" PRIVATE WATER SERVICE TO BUILDING.
- PROPOSED 6" PRIVATE FIRE SERVICE TO BUILDING.
- REMOVE EXISTING BACKFLOW PREVENTOR AND INSTALL NEW DUAL 8" METER AND BACKFLOW PREVENTOR ASSEMBLY. EASEMENT WILL BE PROVIDE FOR PROPOSED WATER METER.
- PROPOSED 10" PRIVATE WATER MAIN. EMRA REQUIRED FOR PRIVATE WATER MAIN WITHIN PUBLIC RIGHT-OF-WAY.
- PROPOSED PRIVATE FIRE MANHOLE.
- PROPOSED PRIVATE 8" FIRE MAIN.
- PROPOSED PRIVATE BACKFLOW PREVENTOR ASSEMBLY.
- CONNECTION TO EXISTING 10" PRIVATE WATER MAIN.
- CONNECTION TO EXISTING PUBLIC WATER MAIN WITH PROPOSED 10" WATER SERVICE.
- EXISTING PRIVATE DOMESTIC WATER METER TO BE REMOVED.
- EXISTING FIRE WATER METER TO REMAIN.
- EXISTING WATER SERVICE LINE TO BE KILLED AT EXISTING WATER MAIN.
- PROPOSED PRIVATE CONNECTION TO EXISTING PRIVATE 8" ACP WATER LINE.

**SEWER IMPROVEMENT NOTES:**

- PROPOSED PRIVATE 8" SEWER LATERAL.
- PROPOSED PRIVATE SEWER MANHOLE.
- CONNECT PROPOSED PRIVATE SEWER LATERAL TO PRIVATE SEWER MANHOLE.
- CONNECT PROPOSED SEWER LATERAL TO EXISTING BUILDING SEWER SERVICE LOCATION.
- EXISTING PRIVATE SEWER LATERAL TO BE REMOVED AND CAPPED AT EXISTING MANHOLE STRUCTURE.
- EXISTING PRIVATE SEWER LATERAL TO REMAIN.

**SEWER NOTE:**

PROPOSED SEWER FLOW FROM PROPOSED EAST TORREY PINES BUILDINGS:  
220 GALLONS/MINUTE  
18,720 GALLONS/DAY

**PREPARED BY:**

NAME: LATITUDE 33 PLANNING & ENGINEERING  
ADDRESS: 9968 HIBERT STREET  
2ND FLOOR  
SAN DIEGO, CA 92131  
PHONE: 858-751-0633  
FAX: 858-751-0634

**PROJECT ADDRESS:**

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LA JOLLA, CA 92037

**PROJECT NAME:**

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

**REVISIONS**

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4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 13 OF 16

PTS # 0687543



OWNER:  
**SALK INSTITUTE**  
FOR BIOLOGICAL STUDIES  
The Salk Institute for Biological Studies  
10210 North Torrey Pines Rd.  
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Tel: 619-554-1100  
Fax: 619-554-1103

ARCHITECT:  
**nbbj**  
130 Sutter Street, 2nd Floor  
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Tel: 415-398-1100  
Fax: 415-733-2700

ENGINEER:  
**Latitude 33**  
Planning and Engineering  
4933 Paramount Drive, 2nd Floor  
San Diego, CA 92123  
Tel: 619-751-0633  
Fax: 619-751-0634

LANDSCAPE:  
**The Office of James Burnett**  
415 South Ocean, Suite 200  
Solana Beach, CA 92075  
Tel: 619-462-6920  
Fax: 619-462-6905

ENVIRONMENTAL PLANNING:  
**Helix Environmental Planning, Inc.**  
8100 La Mesa Boulevard, Suite 150  
La Mesa, CA 91941  
Tel: 619-462-6920  
Fax: 619-462-1515

STAMP



SHEET LOGGING

ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
SCR COMMENT RESPONSE	07/30/2021
SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/15/2021
SCR COMMENT RESPONSE	11/12/2021

**APPROVED  
EXHIBIT "A"**

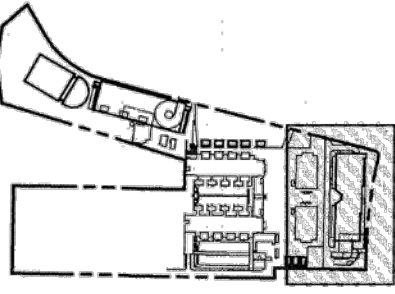
Approval Date: 10/21/2020  
Permit No. CDP 17674-1 (SP 123002)  
MPP# 561577  
Amendment to  
CDP 17674-1 (SP 123002)

REVISIONS:

NO.	DATE
8	6-27-08
7	3-23-08
6	4-13-07
5	01-19-07
4	01-19-07
3	01-19-07
2	01-19-07
1	01-19-07

THE SALK INSTITUTE  
CDP/SDP

KEY PLAN:



SCALE: 1"= 60'  
DATE: 8-6-04  
PROJECT NO.: 573-4  
PERMIT APPLICATION NO.:  
PRELIMINARY GRADING  
& UTILITY PLAN  
TORREY EAST BUILDING  
AND GREENHOUSES

**C.4**

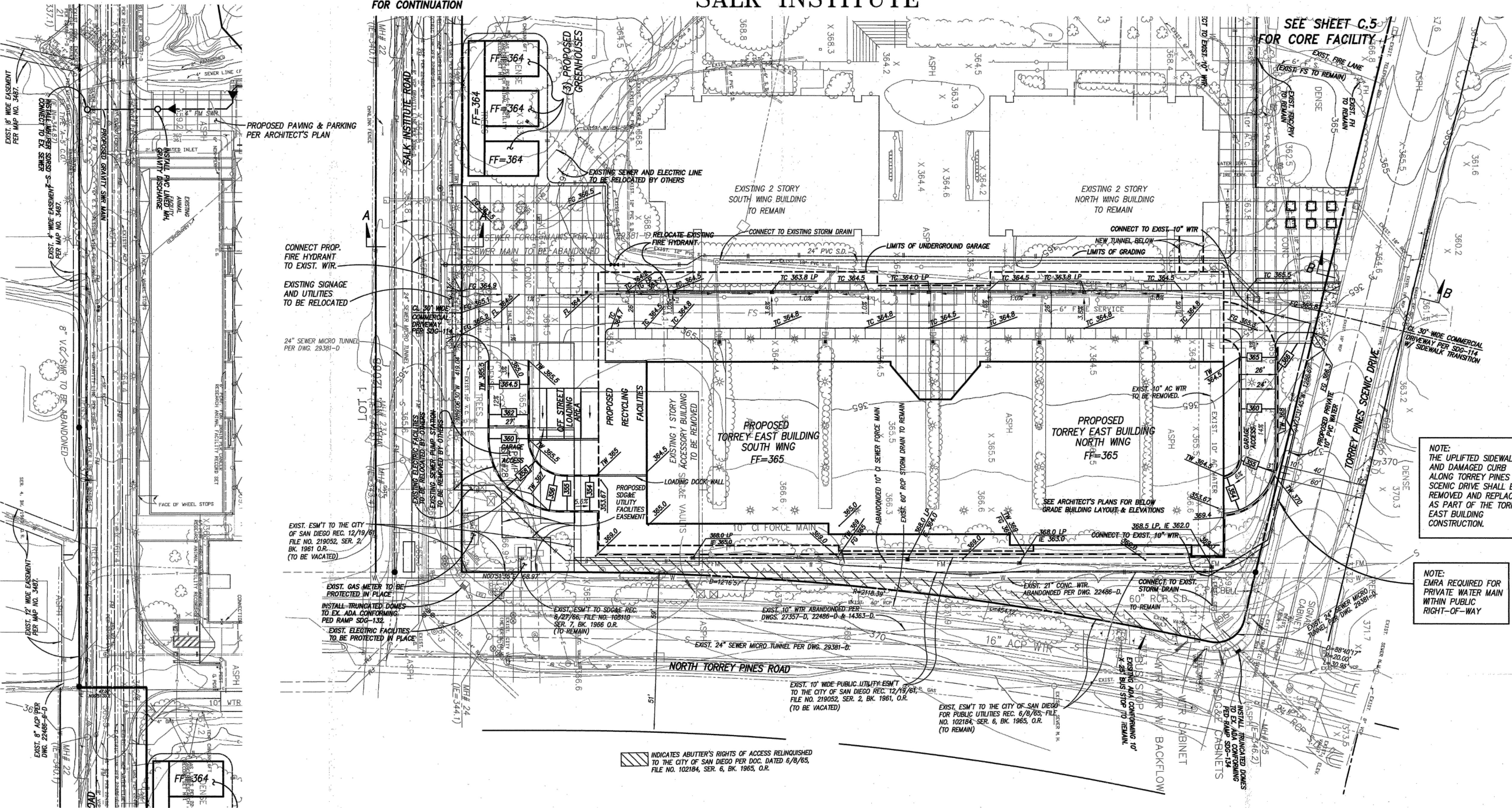
CDP / SDP SUBMITTAL

# COASTAL DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT SALK INSTITUTE

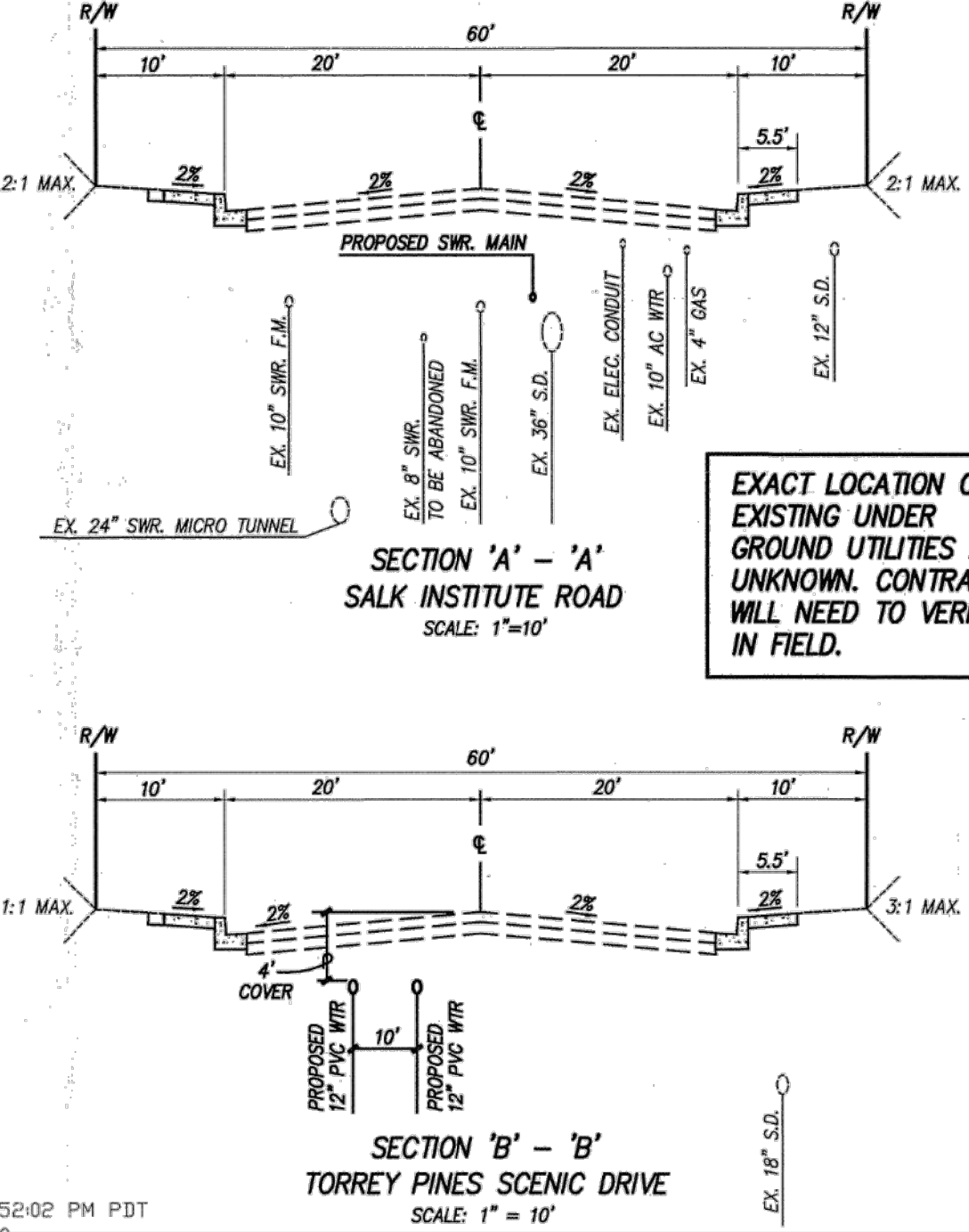
SEE SHEET C.3.  
FOR CONTINUATION

SEE BELOW LEFT  
FOR CONTINUATION

SEE SHEET C.5  
FOR CORE FACILITY



SEE ABOVE RIGHT  
FOR CONTINUATION



LEGEND	
BOUNDARY LINE	.....
RIGHT OF WAY LINE	.....
EXISTING MAPA BOUNDARY LINE	.....
PROPOSED MAPA BOUNDARY LINE	.....
EXISTING SPOT ELEVATIONS	.....
EXISTING CONTOUR	.....
EXISTING SANITARY SEWER & MANHOLE	.....
EXISTING WATER MAIN	.....
EXISTING FIRE HYDRANT ASSEMBLY	.....
EXISTING GATE VALVE	.....
EXISTING STORM DRAIN CLEANOUT	.....
EXISTING UNDERGROUND DRY UTILITIES	.....
EXISTING CHAIN LINK FENCE	.....
EXISTING RETAINING WALL	.....
EXISTING LIGHT STANDARD	.....
EXISTING CURB & GUTTER	.....
EXISTING DIRECTION OF SURFACE FLOW	.....
FINISH CONTOUR	.....
FINISH GRADE SPOT ELEVATION	.....
CUT/FILL SLOPES (2:1 MAX.)	.....
STORM DRAIN PIPE (PRIVATE)	.....
STORM DRAIN STRUCTURE (PRIVATE)	.....
6" STANDARD CURB (PRIVATE)	.....
PVC SEWER MAIN (PRIVATE)	.....
SEWER FORCE MAIN (PRIVATE)	.....
SEWER MANHOLE (PRIVATE)	.....
SEWER CLEANOUT (PRIVATE)	.....
PVC WATER MAIN	.....
FIRE HYDRANT ASSEMBLY	.....
SEWER LATERAL (PRIVATE)	.....
WATER LATERAL (PRIVATE)	.....

LEGEND (CONTINUED)	
HIGH POINT SPOT ELEVATION	.....
SPOT ELEVATION	.....
LOW POINT	.....
DIRECTION OF SURFACE FLOW	.....
RETAINING WALL	.....
TOP OF WALL ELEVATION	.....
FINISH GRADE ELEVATION	.....
DAYLIGHT - LIMITS OF CONSTRUCTION	.....
BUILDING FINISHED FLOOR ELEVATION	.....

- NOTES:
- SEE SHEETS C.8 AND C.9 FOR ENVIRONMENTALLY SENSITIVE LANDS.
  - SEE SHEET C.10 FOR MAPA BOUNDARY ADJUSTMENT PLAN.
  - EXISTING WATER TO REMAIN AS IS.

Prepared By:	Latitude 33 Planning & Engineering	Revision 14:	
Name:	ENGINEERING	Revision 13:	
Address:	4933 PARAMOUNT DR., 2ND FLOOR SAN DIEGO, CA 92123	Revision 12:	
Phone R:	619-751-0633	Revision 11:	
Fax R:	619-751-0634	Revision 10:	
Project Address:	10210 NORTH TORREY PINES ROAD LA JOLLA, CALIFORNIA 92037	Revision 9:	
Project Name:	THE SALK INSTITUTE CDP/SDP	Revision 8:	
Sheet Title:	PRELIMINARY GRADING AND UTILITY PLAN - TORREY EAST BUILDING AND GREENHOUSES	Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	
		Revision 1:	
		Original Date:	8-6-04
		Sheet Count:	15 of 29
		DEFP:	44675

**Latitude 33**  
Planning and Engineering  
4933 Paramount Dr., 2nd Flr.  
San Diego, Ca. 92123  
Tel: 619-751-0633 Fax: 619-751-0634

DATE: 5-21-2  
RCE-46692 EXP-03-30-2009

NOTE: PREVIOUSLY APPROVED EXHIBIT 'A' IS FOR REFERENCE ONLY. PLAN IS NOT TO SCALE.

PREPARED BY:	
NAME:	Latitude 33 Planning & Engineering
ADDRESS:	4933 PARAMOUNT STREET 2ND FLOOR SAN DIEGO, CA 92131
PHONE:	619-751-0633
FAX:	619-751-0634

PROJECT ADDRESS:	
10010 NORTH TORREY PINES RD LA JOLLA, CA 92037	

PROJECT NAME:	
THE SALK INSTITUTE EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER SUBSTANTIAL CONFORMANCE REVIEW	

REVISIONS	
REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/15/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE	05/10/2021
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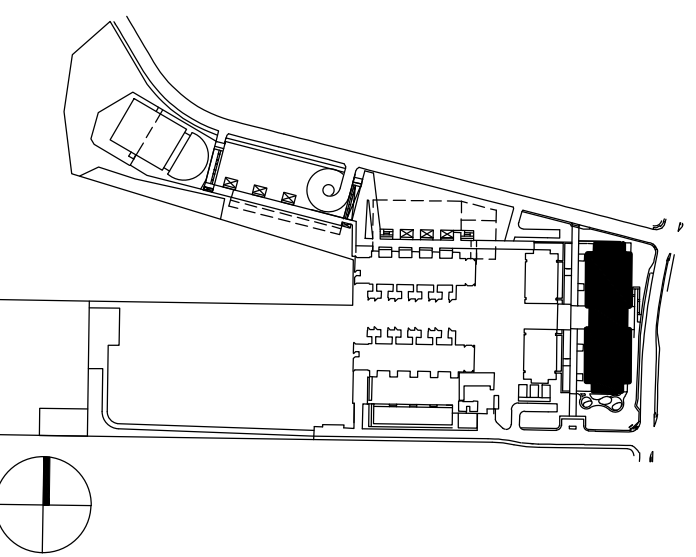
SHEET COUNT	OF 16
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PTS #	0687543
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SUBSTANTIAL  
CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

**SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER**

KEY PLAN



PROJECT NO.: 1767-10  
SHEET TITLE:

PREVIOUSLY APPROVED  
GRAD & UTIL C.4  
SHEET NO.



**FIRE ACCESS LEGEND:**

FIRE ACCESS ROAD

200' MAX FIRE HOSE PULL  
SEE PLAN FOR SPECIFIC LENGTH

300' RADIUS AROUND FIRE HYDRANT



**FIRE DEPARTMENT ACCESS NOTES:**

1. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 903.2.
2. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. CFC 912.2.1.
3. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST BE ACCOUNTED FOR.
4. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
5. CLEAR SPACE AROUND HYDRANTS: A 3 FOOT RADIUS CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVAL. CFC 507.5.5
6. SAN DIEGO MUNICIPAL CODE SECTION 55.0507 ITEM (C) HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED IN ROAD/LANE AND/OR BETWEEN CURBS. THE MARKER(S) SHALL BE AT A RIGHT ANGLE TO THE HYDRANT.
7. THE LOCATION(S) OF AN APPROVED "KNOX" KEY BOX ARE SHOWN ON THE FIRE ACCESS PLAN AND FOLLOW THE SAN DIEGO FIRE DEPARTMENT FFB POLICY K-15-2.
8. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM AND/OR KNOX KEYSWITCH OVERRIDE SHALL BE PROVIDED FOR ALL VEHICLE ENTRY AND/OR EMERGENCY VEHICLE ENTRY POINTS TO THE PROJECT SITE; LOCATIONS TO BE APPROVED BY FIRE ACCESS REVIEWER.
9. WHERE SECURITY GATES ARE INSTALLED; GATES SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. CFC 503.6.
10. FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER. ROOMS CONTAINING CONTROLS FOR A/C SYSTEMS, SPRINKLER RISERS AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDENTIFY FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.

**NOTE:**

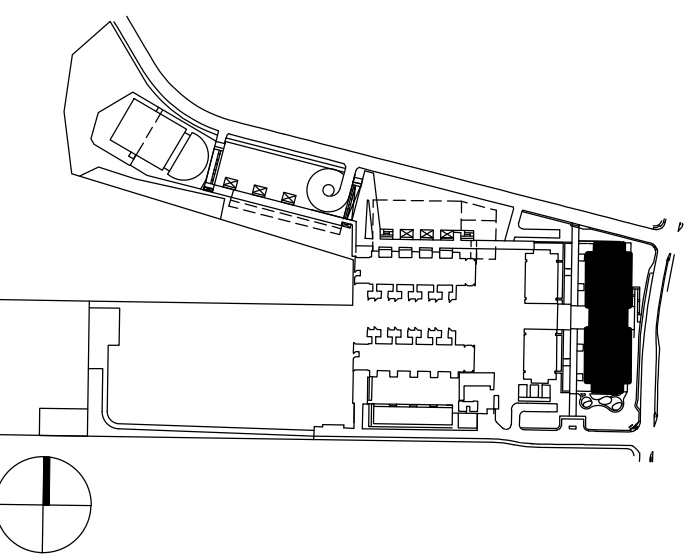
THE PROPOSED BUILDING IS SPRINKLERED, THEREFORE 200' HOSE PULL LENGTHS HAVE BEEN SHOWN ON PLAN.

ISSUES	DATE
SUBSTANTIAL CONFORMANCE REVIEW	05/10/2021
SCR COMMENT RESPONSE	07/30/2021
SCR COMMENT RESPONSE	08/30/2021
SCR COMMENT RESPONSE	10/15/2021
SCR COMMENT RESPONSE	11/12/2021

SUBSTANTIAL  
CONFORMANCE REVIEW  
FOR COASTAL  
DEVELOPMENT PERMIT /  
SITE DEVELOPMENT  
PERMIT

**SALK EAST TORREY  
PINES SCIENCE &  
TECHNOLOGY  
CENTER**

KEY PLAN

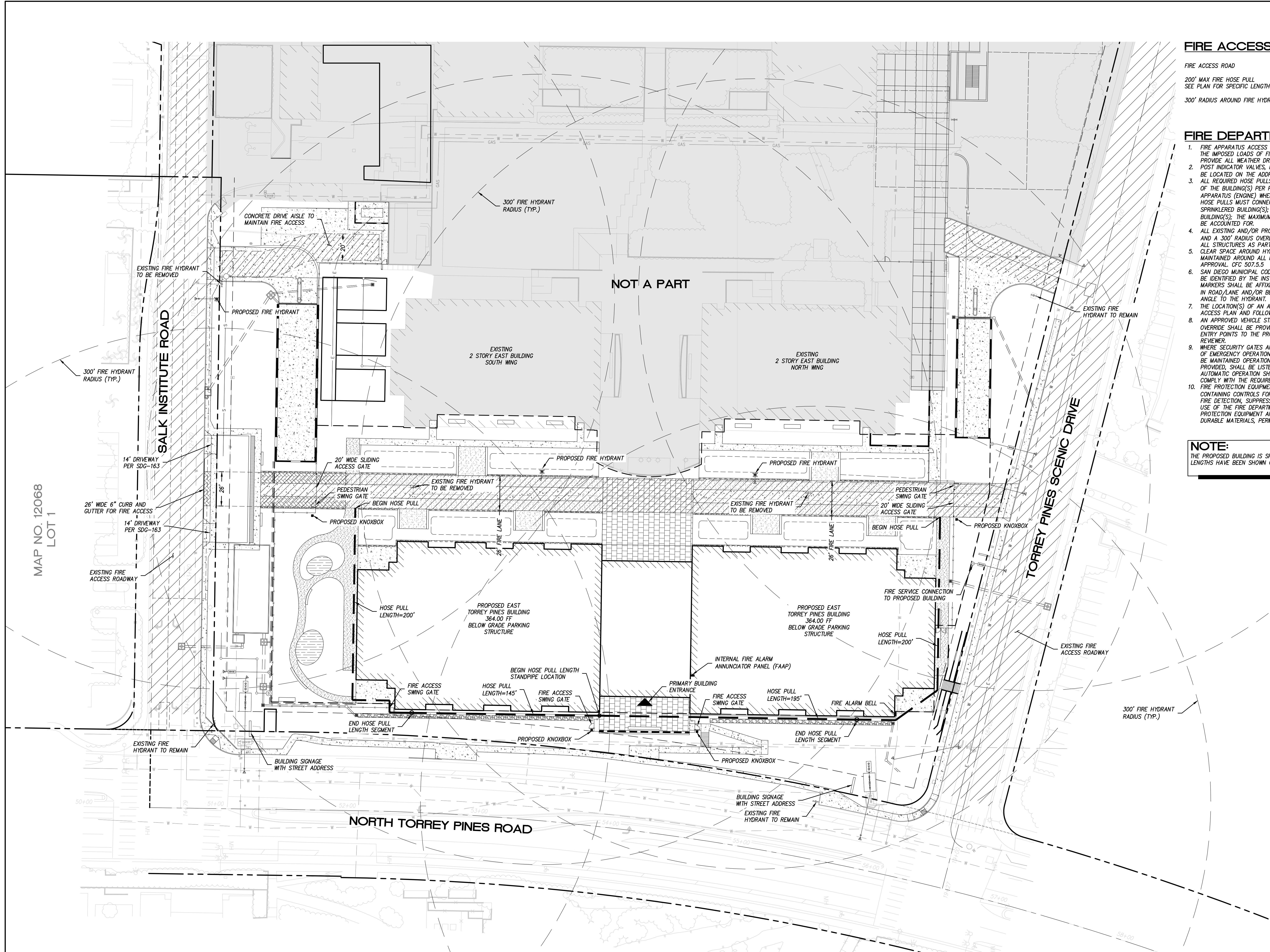


PROJECT NO.: 1767.10  
SHEET TITLE:

**PROPOSED FIRE  
ACCESS PLAN**

SHEET NO.:

C.6



**PREPARED  
BY:**

NAME: LATITUDE 33 PLANNING & ENGINEERING  
ADDRESS: 9968 HIBERT STREET  
2ND FLOOR  
SAN DIEGO, CA 92131

PHONE: 858-751-0633  
FAX: 858-751-0634

**PROJECT  
ADDRESS:**

10010 NORTH TORREY PINES RD  
LA JOLLA, CA 92037

**PROJECT  
NAME:**

THE SALK INSTITUTE  
EAST TORREY PINES SCIENCE & TECHNOLOGY CENTER  
SUBSTANTIAL CONFORMANCE REVIEW

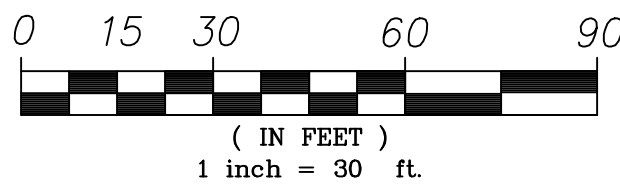
**REVISIONS**

REVISION NAME	DATE
1 SCR COMMENT RESPONSE	07/30/2021
2 SCR COMMENT RESPONSE	08/30/2021
3 SCR COMMENT RESPONSE	10/15/2021
4 SCR COMMENT RESPONSE	11/12/2021

ORIGINAL DATE 05/10/2021

SHEET COUNT 14 OF 16

PTS # 0687543











0      60'      120'      240'



STREET YARD		CALIPER x2"	MULTIPLIER	POINTS	
	NATIVE	NA	100	0 PTS	
	NON-NATIVE	45	50	2,250 PTS	
REMAINING YARD		CALIPER x2"	MULTIPLIER	POINTS	
	NATIVE	NA	100	0 PTS	
	NON-NATIVE	6	50	300 PTS	

**PTS #** 0687543

If this drawing is not 30"x42", then the drawing has been revised from its original size. Noted scales must be adjusted. This line should be equal to one inch.

SHEET NO:

### L3







# Memorandum

DATE: January 27, 2022 FILE: 1767.10

TO: Office of the City Attorney

FROM: Camille Passon, AICP – Planning Project Manager

SUBJECT: Appeal of the Salk Institute SCR (PTS No. 687543)

This memo is being provided in response to the singular appeal received, which was submitted by Mr. Charles Kaminski regarding the Substantial Conformance Review (SCR) Notice of Decision for the Salk Institute Torrey Pines East Science and Technology Center (PTS No. 687543). The appeal has no merit and we request that it is dismissed by the City of San Diego for not meeting the grounds for an appeal as specified in San Diego Municipal Code Section (SDMC) 112.0504(a)(3).

## **Grounds for Appeal:**

**1) Factual Error.** [The statements or evidence relied upon by the decision maker when approving, conditionally approving, or denying a permit, map, or other matter were inaccurate.]

This box was not checked, so the appellant does not claim that staff made an error in the process of review for substantial conformance.

**2) New Information.** [New information is available to the applicant or the interested person that was not available through reasonable efforts or due diligence at the time of the decision.]

By checking the “New Information” box, the appellant claims that new information is available but rather than providing such data, instead cites documentation from the original entitlement. Coincidentally, such documentation confirms that proposed project refinements align with previously approved CDP 126996/SDP 127002/Master PDP 561577/VTM 369518 and CUP 90-1140 that was approved by the City Council in 2008.

It is clear from the narrative, excerpts, and quotes included with the appeal that the appellant has always opposed the architectural design that was originally reviewed and approved by the Historical Resources Board (HRB), Planning Commission, and City Council. To that end, concurrent with the submittal for Substantial Conformance Review, Mr. Kaminiski has contacted City staff on 10/29/21, 11/30/21, and 12/2/21 to request that the review include input from the HRB.



On January 5, 2022, Mr. Kaminski acknowledged receipt of Historic Resources staff Suzanne Segur's message affirming as follows:

*"The previous Master Plan permit was reviewed and approved by the Historical Resources Board, Planning Commission and City Council. The applicant is currently proposing to implement construction of the design as previously approved with minor modifications to the design of the Torrey East building. The modifications triggered the Substantial Conformance Review that was recently reviewed by Historical Resources staff. These changes were reviewed and determined to be in conformance with the previously approved Master Plan. Construction of the Torrey East building is not a new project, it is the implementation of the Master Plan which was sufficiently analyzed in 2008 in conjunction with an EIR. The project was processed ministerially because it does not propose anything new that would trigger a discretionary permit." (See attachment A to this memo.)*

Furthermore, Mr. Kaminski submitted comments to the Community Planning Group meeting held on 07/13/21 and spoke to the HRB on 08/26/21. Therefore, no new information is available to this interested person that was not obtainable through reasonable efforts at the time of staff's decision.

**3) Findings Not Supported.** [The decision-maker's stated findings to approve, conditionally approve, or deny the permit, map, or other matter are not supported by the information provided to the decision maker.]

In accordance with SMDC 126.0112, a Process 2 SCR does not require specific "findings" to be made by the City. Rather, City staff must follow the SCR guidelines outlined in Information Bulletin 500 to determine whether or not a project falls within the parameters of a previously approved discretionary permit.

By checking the "Findings Not Supported" box, the appellant seeks to obtain support for revisiting and substantially revising the approved design to omit three components: atrium, bridge, and roof spanning across. Again, these are not new design elements. They were part of the original design features of the Torrey East building that was approved in 2008 and were fully reviewed and vetted as part of that entitlement process. The discussion in the appeal itself acknowledges that the project is in conformance with the original entitlement and opposes implementation of the design as previously approved. The appeal does not address the refinements to the project that triggered the need for the SCR and; therefore, cannot argue that the SCR guidelines (or "findings") have not been satisfied.

**4) Conflicts with Other Matters.** [The decision to approve, conditionally approve, or deny the permit is in conflict with a land use plan, a City Council policy, or the Municipal Code.]

The appellant claims that the project, as depicted as part of CDP 126996/SDP 127002/Master PDP 561577/VTM 369518 and CUP 90-1140 and again with the submittal for Substantial Conformance Review does not meet the Secretary of the Interior's Historic Preservation Standards and the City's Historic Resources Regulations. This topic was exhaustively addressed during the original entitlement process,



which Mr. Kaminski and Mr. Shorn were part of as part of the public process required by the SDMC and CEQA and which included a review of the project by the HRB and its Design Assist Subcommittee.

As part of this process, an Environmental Impact Report (EIR) was prepared and certified. The EIR included mitigation measures for impacts to historic resources, specifically the integration of a “ground-level, two-story atrium space designed to permit limited visibility along the same axis as the courtyard of the original lab buildings” (MM 5.4-3 from the EIR and MMRP). The entitlements also required approval of a Site Development Permit (SDP) and the adoption of SDP Findings.

Additionally, the Master Plan included Design Guidelines for all new construction on the Salk campus. As submitted and further documented in the memo by Baranek Consulting Group, dated 8/5/21, as part of the Historic Review Cycle (7/30/21), the project is in conformance with each of the Secretary of the Interior Standards for Historic Preservation and provides exhibits illustrating the design consistency. (*See attachment B to this memo.*)

**Rationale for Rejecting Appeal:**

At the conclusion of their review, City staff determined that the design of the East Torrey Pines Science and Technology Center Building is in conformance with the existing permits, certified EIR, and approved Design Guidelines pursuant to Information Bulletin 500. City staff did not require any modifications to the project design to realign it with the prior entitlements, did not request any additional CEQA review or new mitigation measures, and did not change any of the conditions of approval received as part of the 2008 entitlements.

As supported by the due diligence of City staff, we request your consideration to dismiss the appeal submitted by Mr. Kaminski in opposition to the Substantial Conformance Review because there is no evidence of factual errors, new information, unsupported permit findings, or conflicts with other matters and the design for the original entitlements was fully vetted, reviewed, and approved by the HRB, the Planning Commission, and the City Council over the course of several years culminating in final approvals in 2008. Discontent with a prior discretionary approval is not grounds for an appeal on an SCR. As such, a Planning Commission appeal hearing should not be granted.

We appreciate the City Attorney’s office review of this legal service request. If you have any questions or require additional information, please feel free to contact me at [camille.passon@latitude33.com](mailto:camille.passon@latitude33.com) or (619) 992-3217. Thank you.

Sincerely,



Camille Passon, AICP  
Planning Project Manager

Cc: Tim Ball, Salk Institute for Biological Studies



Kim Baranek, Baranek Consulting Group  
Lilian Asperin, WRNS Studio

Attachments:

- Attachment A - Email correspondence between Suzanne Segur and Charles Kaminski
- Attachment B - Memo by Baranek Consulting Group



**ATTACHMENT A**  
**Email correspondence between Suzanne Segur and Charles Kaminski**

-----Original Message-----

From: Charles Kaminski <[charleskaminski23@gmail.com](mailto:charleskaminski23@gmail.com)>

Sent: Wednesday, January 5, 2022 10:29 AM

To: Segur, Suzanne <[SSegur@sandiego.gov](mailto:SSegur@sandiego.gov)>

Cc: Stanco, Kelley <[KStanco@sandiego.gov](mailto:KStanco@sandiego.gov)>; McPherson, Anna <[AMcPherson@sandiego.gov](mailto:AMcPherson@sandiego.gov)>

Subject: Re: [EXTERNAL] Status of two sites: 1039 Fourth Avenue and Salk Institute

**\*\*This email came from an external source. Be cautious about clicking on any links in this email or opening attachments.\*\*** \_\_\_\_\_

Thank you

Sent from my iPhone

> On Jan 5, 2022, at 10:01 AM, Segur, Suzanne <[SSegur@sandiego.gov](mailto:SSegur@sandiego.gov)> wrote:

>

> Hi Charles,

>

> The Master Plan for the Salk Institute was approved through a discretionary permitting process in 2008. Construction of the Torrey East building was included and analyzed as a part of the Master Plan. Construction of the building was determined to be not consistent with the Secretary of the Interior's Standards and a Site Development Permit was required to process the Master Plan. During the Environmental review, an EIR was prepared to analyze the proposed Master Plan and its impacts. In order to mitigate for the construction of the building; which was determined to have an impact on Salk's historically significant spatial relationships and landscape; Chinese Fringe trees will be relocated, original plantings will be restored, and the new Torrey East building will feature a two story atrium building that will permit limited visibility along the same axis as the courtyard of the original lab buildings. Additionally, the Master Plan included Design Guidelines for all new construction which provide a contrast with the historic lab buildings while still being respectful to the original design.

>

> The previous Master Plan permit was reviewed and approved by the Historical Resources Board, Planning Commission and City Council. The applicant is currently proposing to implement construction of the design as previously approved with minor modifications to the design of the Torrey East building. The modifications triggered the Substantial Conformance Review that was recently reviewed by Historical Resources staff. These changes were reviewed and determined to be in conformance with the previously approved Master Plan. Construction of the Torrey East building is not a new project, it is the implementation of the Master Plan which was sufficiently analyzed in 2008 in conjunction with an EIR. The project was processed ministerially because it does not propose anything new that would trigger a discretionary permit.

>

> Suzanne Segur

> Senior Planner/ HRB Liaison

> Historical Resources

> City of San Diego



> Development Services Department  
 > T 619-236-6139  
 > SanDiego.gov  
 >  
 >  
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 >  
 > -----Original Message-----  
 > From: Charles Kaminski <[charleskaminski23@gmail.com](mailto:charleskaminski23@gmail.com)>  
 > Sent: Tuesday, January 4, 2022 10:14 AM  
 > To: Segur, Suzanne <[SSegur@sanidiego.gov](mailto:SSegur@sanidiego.gov)>  
 > Cc: Stanco, Kelley <[KStanco@sanidiego.gov](mailto:KStanco@sanidiego.gov)>  
 > Subject: Re: Re: [EXTERNAL] Status of two sites: 1039 Fourth Avenue  
 > and Salk Institute  
 >  
 > \*\*This email came from an external source. Be cautious about clicking  
 > on any links in this email or opening attachments.\*\*  
 > \_\_\_\_\_  
 >  
 >  
 > Suzanne  
 >  
 > I have follow up questions.  
 >  
 > I do not see or understand how the current project conforms and which mitigation measures were instituted that would cause conformance?  
 >  
 > Given the time difference of the master plan and the current project proposed and the fact that the entire site was determined by SHPO to be eligible to be listed on the National Register, did the current project have an EIR prepared as it impacts the State's eligibility for National Register?  
 >



> How did city development staff determine this was a ministerial review given the historic significance of the entire site?

>

> Charles Kaminski

>

> Sent from my iPhone

>

>> On Dec 2, 2021, at 9:18 AM, Segur, Suzanne <[SSegur@sandiego.gov](mailto:SSegur@sandiego.gov)> wrote:

>>

>> Hi Charles,

>>

>> The 1039 4th Avenue property is currently designated for its architectural significance; however, when reviewing the current project, staff acknowledged the property's LGBTQ history. The exterior wall tiles with circus theme and the associated terrazzo sidewalk were both preserved during the process.

>>

>> The current Salk Institute project was a Substantial Conformance Review for a previously approved discretionary project. The previously approved Master Plan was determined to be not consistent with the Standards and mitigation measures were set in place. The current project was determined by historical resources staff to be in conformance with Master Plan.

>>

>> Please let me know if you have any other questions,

>>

>> Suzanne Segur

>> Senior Planner/ HRB Liaison

>> Historical Resources

>> City of San Diego

>> Development Services Department

>> T 619-236-6139

>> SanDiego.gov

>> Schedule: In office : Tu & Th Telecommute: M, W, F

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>>

>>

>>



>> -----Original Message-----

>> From: Charles Kaminski <[charleskaminski23@gmail.com](mailto:charleskaminski23@gmail.com)>

>> Sent: Tuesday, November 30, 2021 5:55 PM

>> To: Segur, Suzanne <[SSegur@sanidiego.gov](mailto:SSegur@sanidiego.gov)>; Stanco, Kelley

>> <[KStanco@sanidiego.gov](mailto:KStanco@sanidiego.gov)>

>> Subject: [EXTERNAL] Re: Status of two sites: 1039 Fourth Avenue and

>> Salk Institute

>>

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>>>> On Nov 7, 2021, at 10:10 AM, Charles Kaminski <[charleskaminski23@gmail.com](mailto:charleskaminski23@gmail.com)> wrote:

>>>

>>> Hello,

>>> I wonder if there is any update on these two projects?

>>> Thank you,

>>> Charles Kaminski

>>>

>>>> On Oct 29, 2021, at 10:45 AM, Charles Kaminski <[charleskaminski23@gmail.com](mailto:charleskaminski23@gmail.com)> wrote:

>>>>

>>>> The Circus Room at 1039 4th Ave. was identified in the KPBS film:

>>>> San Diego's Gay Bar History. It had storefront tiles and decorations as well as sidewalk terrazzo

>>>> decoration. It was not a known site during the preparation of the City's LGBTQ+ Historic Context

>>>> Report<[Circus Room.jpeg](#)><[Circus Bar.PNG](#)><[Circus Room Sensor 5-245 Savoy Restaurant - 4th and C - c.](#)

>>>> 1928.jpeg> The project appears to be under construction. Can you please advise me what is the status of the decorations both tiles and terrazzo.

>>>>

>>>> <[249314909\\_402457767931477\\_1669804833390927583\\_n.jpg](#)>

>>>>

>>>> The Salk Institute

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>>>> I believe staff sent the review back to the applicant for additional information. Please advise the status of the HRB staff review.

>>>>

>>>> Thank you

>>>> Charles Kaminski

>>>

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# memo



BARANEK  
Consulting Group

To: Suzanne Segur, City of San Diego, Plan-Historic

From: Kim Baranek, Principal – Baranek Consulting Group

CC: Tim Ball, Facilities Manager – Salk Institute

Date: August 5, 2021

Subject: Salk Institute SCR (PTS. 687543)

Comments: The following provides responses to comments #6 through #10 in the Historic Review Cycle contained in the 7/30/21 report. The purpose of this memo is also to help staff determine the proposed project's consistency with the *U.S. Secretary of the Interior's Standards for the Rehabilitation of Historic Properties*, as established in the 2008 approvals for the Salk Institute property (CDP 126996/SDP 127002/Master PDP 561577/VTM 369518/CUP 90-1140 and EIR No. 44675/SCH No. 2004111049). Several Exhibits illustrating the project features are referenced herein and appended to this memo.

- Rehabilitation Standard #1: The project is consistent with the existing scientific-research use for the property as envisioned in the approved entitlement.
- Rehabilitation Standard #2: The project respects the historic landscape by relocating the healthy Chinese fringe trees as shown in the project's Landscape Plan (Sheet L1 of SCR Submittal).
- Rehabilitation Standards #3 and #9: The project addresses spatial relationships by:
  - a. being compatible with but distinctive from Kahn's original design for the lab building as stated in the design guidelines;
  - b. complying with the design guidelines in terms of wall materiality;
  - c. enhancing the view corridor by integrating a 70-foot wide, high bay, two-story open air atrium at the center of the structure (vs. approved 63-foot wide, glass-enclosed atrium bisected internally into two levels) on the same axis at the courtyard for the original lab building;
  - d. maximizing the relationship between indoors and outdoors by creating an open atrium (vs approved fixed glazing) with operable glass that connects indoors with outdoors;
  - e. integrating glass railings within the internal bridge; and
  - f. salvaging the healthy Chinese fringe trees for integration into the landscape.

Refer to Exhibits 1 through 6 for illustrations of these design features.

- Rehabilitation Standard #4: Of the existing project features, only the Chinese fringe trees from the project site are recognized in the National Register listing. The project is consistent by relocating the healthy trees as shown on the project's Landscape Plan (Sheet L1 in the SCR Submittal).
- Rehabilitation Standards #5, #6 and #7: No changes or alterations to the original lab building are proposed.



- Rehabilitation Standard #8: Historical resources mitigation identified in the MMRP will be implemented during project construction to address the potential for historic archaeological discoveries.
- Rehabilitation Standard #10: Placement of the structure is in a location that was anticipated for future development by Kahn.

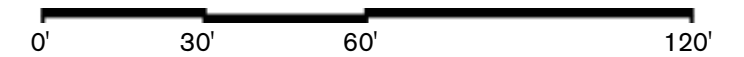


## **EXHIBITS**



# Exhibit 1

## Plan-Historic Issue 8: Exterior Finish Materials



Approved

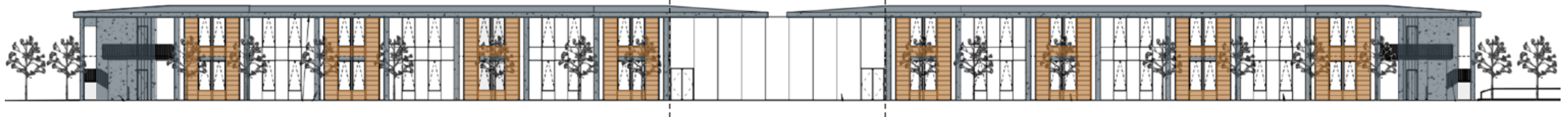
View Corridor (63FT)



East Elevation

Proposed

View Corridor (70FT)



East Elevation



## Exhibit 2

### Plan-Historic Issue 8: Exterior Finish Materials

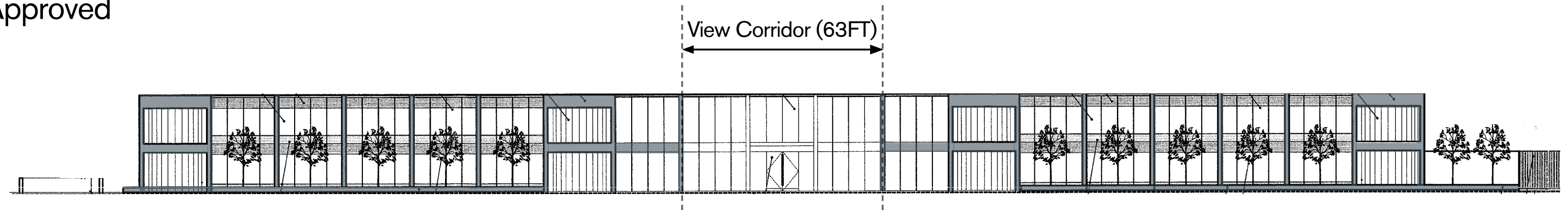
Wood  
Concrete

Glass  
Metal

0' 30' 60' 120'

Approved

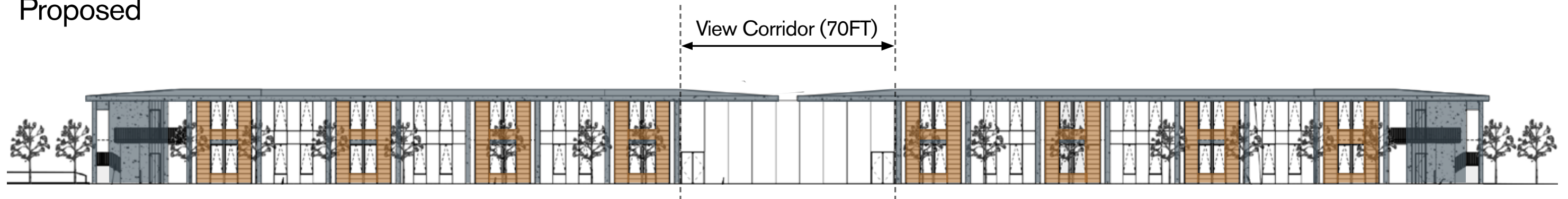
View Corridor (63FT)



West Elevation

Proposed

View Corridor (70FT)

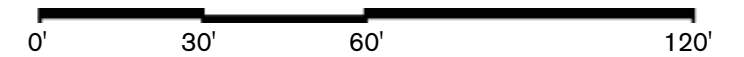


West Elevation

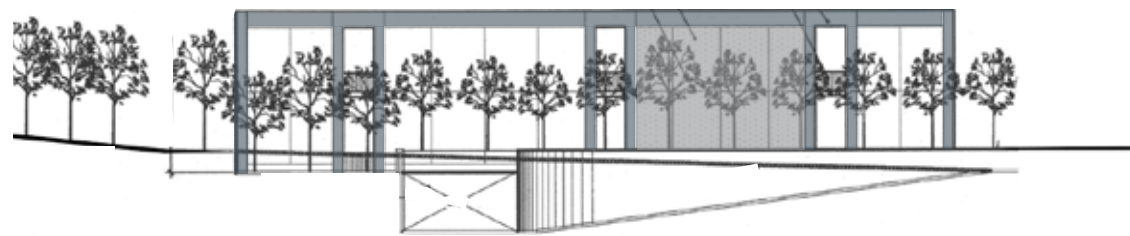


# Exhibit 3

## Plan-Historic Issue 8: Exterior Finish Materials

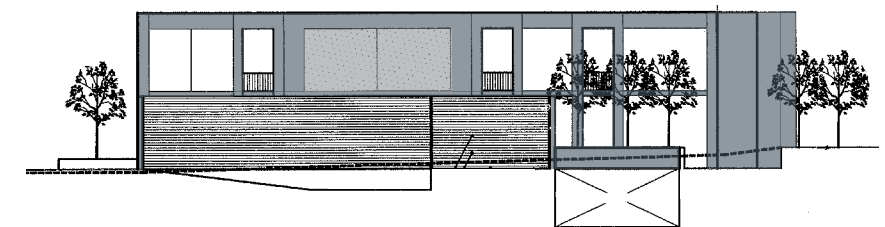


Approved



North Elevation

Approved



South Elevation

Proposed



North Elevation

Proposed

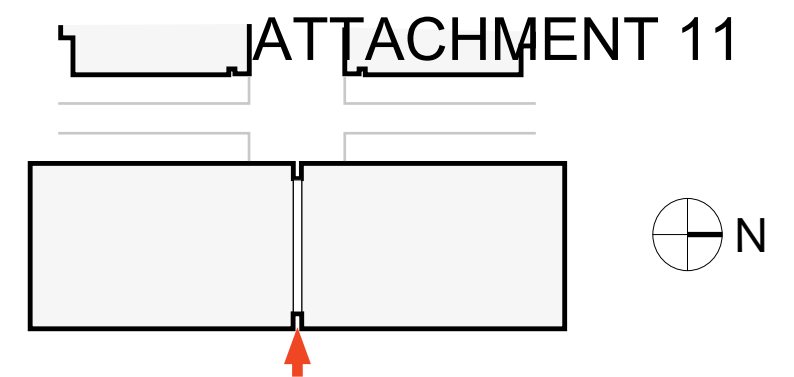


South Elevation



## Exhibit 4

### Plan-Historic Issue 9: Atrium (View Corridor) Rendering





## Exhibit 5

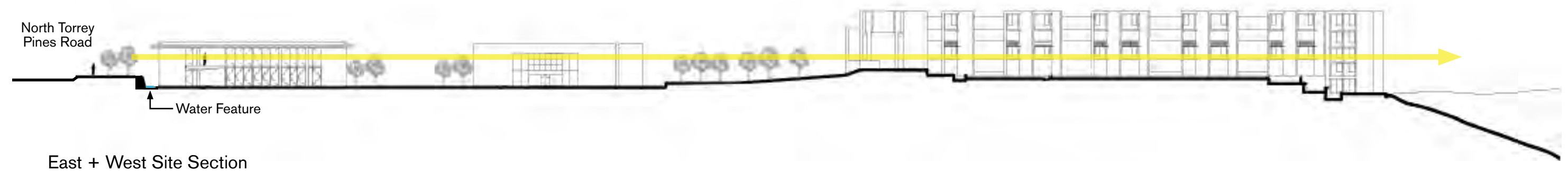
### Plan-Historic Issue 9: Atrium (View Corridor) Site Section

0' 30' 60' 120'

Approved



Proposed





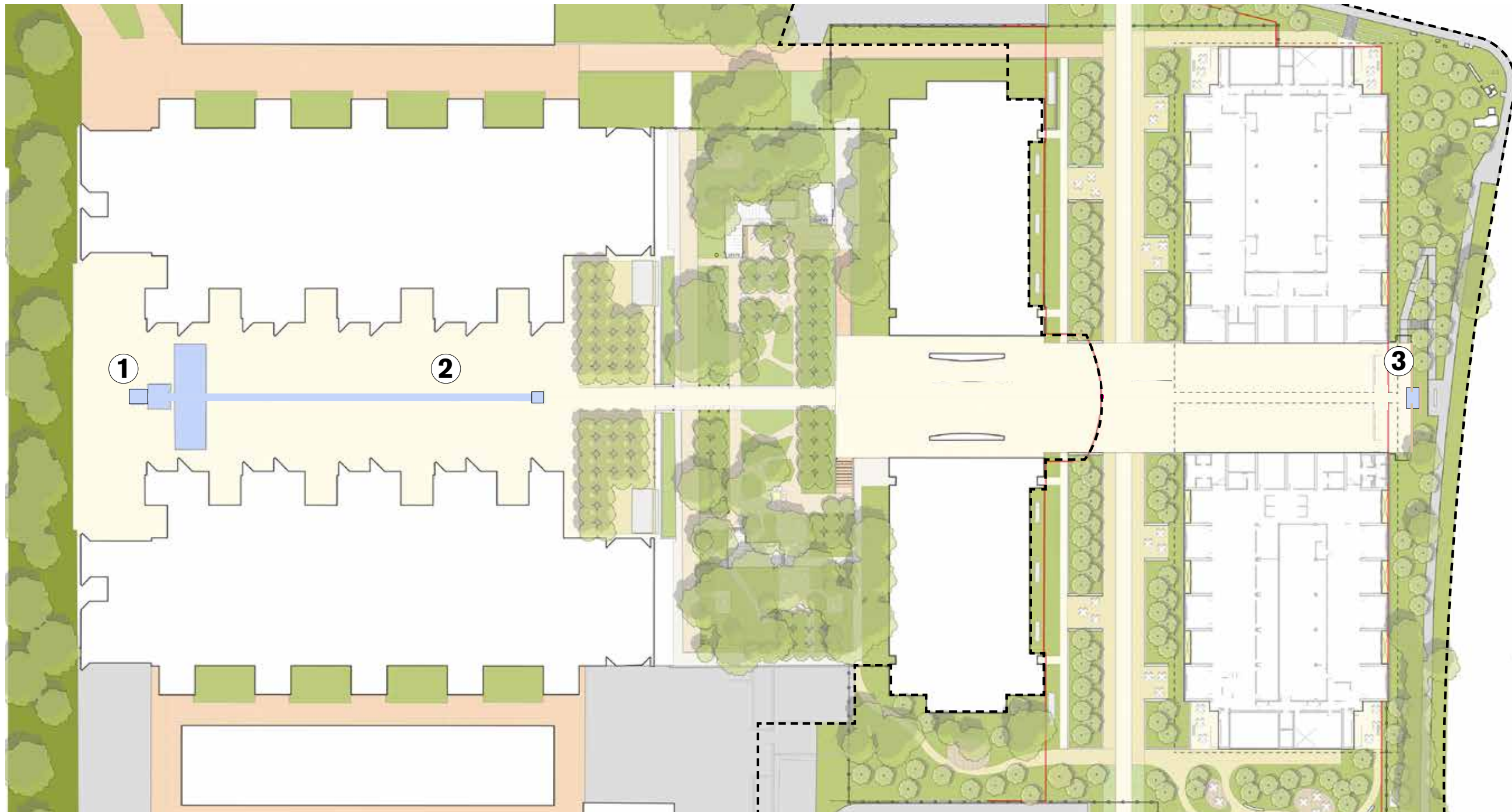
# Exhibit 6

## Plan-Historic Issue 10: Water Feature

Water



0' 30' 60' 120'



① West Pool    ② Water Channel    ③ East Entry Water Feature



March 31, 2022

Planning Commission, City of San Diego  
William Hofman, Chair  
1222 First Ave., MS 501  
San Diego, CA 92101

**SUBJECT:** Salk Institute Substantial Conformance Review (SCR)  
Process Two Appeal Decision (PTS 687543)

Dear Chair Hofman and Members of the Planning Commission:

On behalf of the Salk Institute for Biological Studies, I am writing to request that you uphold the staff's determination that our proposed East Torrey Pines Science and Technology Center substantially conforms to the Master Planned Development Permit and other entitlements approved by the City Council in 2008. We respectfully request that you deny the appeal and approve the substantial conformance determination.

The appeal raises issues that were thoroughly and carefully reviewed during the original approval process. The appellant is attempting to revisit issues that the City resolved in 2008 when the entitlements were approved by the City Council, Planning Commission, Historical Resources Board, and University Community Planning Group.

#### THE INSTITUTE

The Salk Institute for Biological Studies is known for groundbreaking innovations in a variety of scientific research areas including diseases, aging, brain science, cancer, and plant biology. The campus contains state-of-the-art facilities designed to inspire scientific discoveries contained in two above ground structures built in 1964 and 1990. The buildings honor and respect the natural beauty of the site.

#### THE NEW SCIENCE AND TECHNOLOGY CENTER

The Institute has always been dedicated to superior architectural standards and continues to explore cutting edge building technologies. Development of this third structure, the East Torrey Pines Science and Technology Center (formerly the Torrey East Building) is ready to commence and expand the Institute's research capabilities. As the new front door of the Institute, the proposed East Torrey Pines Science and Technology Center is intended to continue this legacy of inspirational architecture and groundbreaking scientific research. The East Torrey Pines Science and Technology Center has also been designed to incorporate mandatory and voluntary Tier 1 and Tier 2 measures of the California Green Building Code Standards, qualifying the project for the City's Sustainable Buildings Expedite Program.

#### MASTER PLAN APPROVALS

In 2008, the City Council unanimously approved a Vesting Tentative Map (VTM 369518), Master Planned Development Permit (MPDP 561577), Coastal Development Permit (CDP 126996), Site Development



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 William Hofman  
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Permit (SDP 127002), an Amendment to CDP/HRP/CUP 90-1140, an Easement Abandonment 130269, and a Multiple Habitat Planning Area (MHPA) Boundary Line Adjustment. Environmental Impact Report (EIR) No. 44675 was also certified.

These approvals represent a phased expansion of the Institute consistent with the design intent and vision of Louis Kahn and Jonas Salk. Detailed development plans were provided in the CDP/SDP Exhibit drawings for three of the buildings to allow those facilities to move forward ministerially. The other buildings are required to go through the Substantial Conformance Review (SCR) process to ensure compliance with the Master Plan design guidelines.

## SUBSTANTIAL CONFORMANCE REVIEW

On May 10, 2021, an SCR application was filed for the former Torrey East Building (i.e., East Torrey Pines Science and Technology Center), which is one of the three projects with detailed development plans that were approved in 2008. The vision for this structure has evolved since the original Exhibit A plans were approved and the design refinements are proposed to align with the Institute's vision for collaborative science.

The proposed structure complies with all the criteria for Substantial Conformance as set forth in the City's Information Bulletin 500, which provides guidance to City staff in making their determination. The Institute's proposed project is consistent with all the SCR criteria, as explained below.

- 1) **Land Use:** No significant change in land use from what was previously approved can be found to be in substantial conformance to the original permit.

**Project Conformance:** The project does not propose any change to the land use. The East Torrey Pines Science and Technology Center has always been intended to further scientific research efforts and expand the Institute's laboratory space.

- 2) **Intensity of Development:** For commercial and industrial projects, no increase in Floor Area Ratio (FAR) or coverage may be granted inconsistent with a permit or exhibits. Only a minor decrease in FAR or coverage (usually no more than 10%, so long as it does not affect the sizing of public facilities within the community) can generally be found to be in substantial conformance.

**Project Conformance:** No change to the overall FAR or coverage is proposed. The building footprint and area have increased slightly from 94,200 to 97,140 sf to accommodate the future scientific programming needs of the Institute. The 2,940 sf of additional space will be deducted from the allowable development area for the future Salk Community Center. This balancing of space will ensure that the overall approved total square footage for the Institute (476,000 sf) is respected.

- 3) **Site Design:** Site design changes proposed for an approved project should not significantly alter nor affect the other issues discussed here. Coordination of SCR review with other departments/divisions is generally necessary when there are site design changes proposed. Consultation with the Community Planning Group is critical in significant site design changes to ensure that the expectations of the Community during the original approval process are upheld. In many cases, the modified site design is a result of more refined site studies, construction plans or specific tenant needs.



**Project Conformance:** Three site design changes are proposed to the building: 1) a new passenger drop off/valet area, 2) the introduction of a central pedestrian access and water feature on the east side of the building, and 3) relocation of the northern and southern vehicle ramps leading to the parking structure. The design changes were presented to the University Community Planning Group on July 13, 2021 as an information item. The group seemed supportive of the project and acknowledged that the changes were minor and in alignment with the original approval. Each of these site design modifications, discussed in further detail below, improves access and enhances the aesthetic appeal of the building.

- i. **New passenger drop off/valet area:** To allow for direct access to the eastern portion of the Institute, a passenger drop off/valet area has been introduced on the south side of the site off Salk Institute Road. This modification includes a public sidewalk along the frontage as well as a private sidewalk which wraps around the drop off on Salk Institute property. The change provides a convenient arrival option and avoids cars stacking on the street, particularly during special events.
  - ii. **East Entry Pedestrian Access and Water Feature:** Following the 2008 Master Plan approvals, the surrounding area has evolved, particularly the development of the UCSD campus. To improve how the Institute is integrated into this context and to reinforce its relationship with nearby public and private research entities, a central pedestrian access has been added that connects the east side of the building to the sidewalk along North Torrey Pines Road. This entranceway maintains the iconic view through the building towards the ocean. An accessible ramp descending to the building would lead to a plaza and water feature which will provide aesthetic appeal. The water feature would rely on reclaimed or recycled water consistent with the Institute's and City's sustainability goals. To facilitate this entryway and enhance the view corridor, two existing eucalyptus trees on the east side of the building site will be removed.
  - iii. **Vehicle Ramp Relocations.** Both the northern and southern vehicular ramps have been relocated west of their original locations. This design modification is based on the design team's desire to make an aesthetic improvement to the elevations of the building. It also provides the added benefit of increasing the separation distance between the ramps and the intersections of North Torrey Pines Road at Salk Institute Road and at Torrey Pines Scenic Drive. The revised southern ramp overlaps slightly with the original layout for the greenhouses. To reserve space for the greenhouses, their future location will be shifted slightly to the north.
- 4) **Parking/Circulation:** Typically, minor changes to an approved project's parking and traffic circulation should be considered or approved under substantial conformance review.

**Project Conformance:** A couple of changes are proposed to the underground parking structure. The mechanical equipment, loading dock, and loading spaces originally proposed along the building's south elevation are relocated below grade inside the underground parking structure. To accommodate this additional area, the horizontal footprint of the underground parking structure has been expanded. This design refinement enhances the public realm as these features would no longer be visible from Salk Institute Road. The other change to the parking structure is the introduction of a mechanized parking system. The project was originally approved for two floors of underground parking and 486 parking spaces. Because of reconfigurations to the structural layout of the building,



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2 ½ floors of traditional parking would be needed to accommodate the 486 parking spaces. So as not to significantly increase the depth of the parking structure, fully mechanized, automated parking is proposed in combination with traditional single bay parking. The required standard ADA parking would still be provided within the underground garage. The garage would also provide electric vehicle capable stalls. These modifications would reduce the parking count within this structure to 442 parking spaces. Four additional spaces will be added to the future North Peninsula Parking Structure. The original project contained more parking spaces than were required and with this overall reduction of 40 spaces, the minimum parking requirement per the approved entitlements is still met.

- 5) **Architecture:** Review of proposed changes to the architectural style of an approved project should weigh the significance that the department and/or the decision-maker(s) placed on the appearance/architectural style of the project when it was approved. Where findings of neighborhood compatibility were required to be made, even minor changes to architectural elements or materials could be considered significant. Though the City does not regulate private views, increasing the height of a flat roof structure to a gabled roof could affect neighbors and lead to some controversy over why the design change occurs after the public hearing. The overriding goal should be that the modified plans result in a project that is “better than or equal to” the conceptual plans that were approved. This is an aesthetic determination, not an economic one.

**Project Conformance:** In order to improve the aesthetics of the building’s exterior as viewed from its “front door” along North Torrey Pines Road, the building elevations have been modified slightly to include less glazing and more wood. This updated architectural design better references the materials palette of the original Institute building, maintains the spirit and intent of the original drawings, and is consistent with the approved Design Guidelines. Additionally, a minor change is proposed to the roof. Originally, the roof was identified as a “cool roof” on the Exhibit A drawings. A green (vegetated) roof with solar PV panels is now proposed to better correspond with the existing Salk Institute buildings which already have solar panels. This design refinement is consistent with the City’s Climate Action Plan and the greenhouse gas reduction strategies contained in that policy document. It also helps implement the California Green Building Standards Code and still functions as a cool roof by reducing the “heat island effect.” This is a positive enhancement to the project that furthers both the Institute’s and City’s sustainable building objectives. The overriding goal for SCR architectural changes is that the modified plans result in a project that is “better than or equal to” the conceptual plans that were approved. As demonstrated in the elevation drawings, the proposed project is substantially similar to the originally approved building and the view corridor has even been expanded from 63 feet to 70 feet.

- 6) **Accessory Uses/Structures:** Proposed changes to a project’s accessory uses or structures need to be reviewed within the context of the significance given to them during the project review and approval process. Applicants cannot propose an Olympic size swimming pool and then convert the area to an open grassy space. However, substituting facilities of a similar nature and size may be acceptable. The addition of accessory uses/structures needs to be considered as to whether the use or structure is truly accessory in nature to the approved use and project design and how it physically fits into the project.

**Project Conformance:** No changes are proposed to accessory uses/structures except that the greenhouses have been relocated slightly to the north due to the relocation of the vehicular ramps.



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- 7) **Community Plan and Planning Group:** No project can be found to be in substantial conformance if the proposed changes are inconsistent with any of the elements within the applicable community plan. For Process 1 SCR's, the relevant community planning group is provided with the SCR package as a courtesy notice only. However, if any input is provided by the planning group prior to the final staff decision, that input will be one of the factors considered by staff prior to a final decision.

**Project Conformance:** Our project manager, Martin Mendez, informed us that the University Community Planning Group was notified of the project but that a formal recommendation is not required for an SCR. He indicated that we had the option of presenting to the group as an informational item, which we did on July 13, 2021. The group seemed supportive of the project and requested a copy of the landscape plan to ensure that native species are included in the plant palette. Native species are a significant component of the landscape design concept and after forwarding the landscape plan to the group, no additional comments or requests were received.

- 8) **Environmental Documents:** A project cannot be found to be in substantial conformance if it exceeds the impacts described and analyzed in an environmental document. Increased density, grading, traffic, biological impacts, etc., needs to be closely scrutinized and evaluated.

**Project Conformance:** The project refinements do not result in any changes to the impacts that were described and analyzed in the certified EIR. The appeal focuses on the same issues and impacts to historical resources which were addressed in detail and resolved during the 2008 entitlement process. The historical resource impacts were previously determined to be less than significant with mitigation incorporated into the project. The Salk Institute is in support of staff's determination that the SCR is consistent with the prior historical resources analysis contained in the certified Final EIR, the *Secretary of the Interior's Standards for the Rehabilitation of Historic Properties*, and the City's Historical Resources Regulations, as follows:

- Historical Resources (HR) staff thoroughly reviewed the SCR and determined exterior finish materials would be consistent with and differentiated from the original lab building, as required by the approved Design Guidelines and that the two-story atrium was included as a project feature in the SCR to mitigate historical resources impacts and ensure that the views through the courtyard of the original lab building would be preserved.
- The SCR conforms to the *U.S. Secretary of the Interior's Standards for the Rehabilitation of Historic Properties*, specifically Standard #2 and Standard #9, and fully mitigates its impacts to the historic landscape and axial relationships by relocating the healthy Chinese Fringe trees, restoring original perimeter plantings, and incorporating a ground-level, two-story atrium spaces to permit limited visibility along the same axis as the courtyard of the original lab building.
- The SCR respects the axial relationship of the site, improves upon the two-story atrium envisioned in the mitigation measure, and enhances the view corridor between the wings by integrating a 70-foot wide, high bay, two-story open-air atrium at the center of the structure (vs. approved 63-foot wide, glass-enclosed atrium bisected internally into two levels) on the same axis at the courtyard for the original lab building.



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- The SCR also maximizes the relationship between indoors and outdoors by creating an open atrium with operable glass that would connect indoors with outdoors (vs fixed glazing which was identified in the approved entitlement).

As stated in the Final EIR (page RTC-36), “It is the opinion of City staff that removal of the east parking lot is adequately addressed and mitigated through the compatibility of the proposed structure with the historic site, combined with the atrium design of the Torrey East Building that was presented to the Design Assist Subcommittee of the City’s Historic Resources Board.” The Final EIR furthermore states (page RTC-36) that “the two-story atrium would provide a connection from the public street/sidewalk through to the west, sufficiently retaining the existing visual and axial connections with the historic structure and courtyard and has been added to the Final EIR as mitigation measure 5.4-3 for clarification. Although the proposed project would not significantly obstruct existing views, it is important to note that existing grade differences and dense perimeter landscaping designed by Kahn and his team prevent a clear view of the Kahn laboratory building and its courtyard from the east. The relatively low profile of the building, and the transparent atrium on axis with the central court would still allow for glimpses of the original laboratory building to be obtained from North Torrey Pines Road, as discussed in the Historical Resources Technical Report.”

Therefore, the SCR project is completely consistent with the impacts described and analyzed in the certified Final EIR.

- 9) **Landscaping:** The overriding principle is that wholesale modification in the overall amount of landscaping should not be approved. Minor changes may be appropriate, but these must be viewed in the context of the full landscape program for the project. Eliminating significant amounts or types of landscape treatment only because of the cost is not substantial conformance. However, the replacement of landscape materials with drought-tolerant plants may be allowed if the resulting landscape complies with the regulations of the San Diego Municipal Code.

**Project Conformance:** The SCR proposes three minor revisions to the landscape plan: 1) the removal of two Eucalyptus trees to accommodate the eastern pedestrian access discussed previously, 2) relocation of the Chinese fringe trees to more highly visible locations (near the new passenger drop off site as well as near Torrey Pines Scenic Drive between the northern elevations of East Building and new building), and 3) expansion of the plant palette to include more drought tolerant species.

- 10) **Conditions:** Conditions contained within a permit cannot be changed through substantial conformance review. Substantial conformance review can be used to make minor changes to an approved project or facility as described in a permit or shown on an Exhibit “A” if those changes comply with all conditions of the permit. Any changes that are inconsistent with permit conditions are not allowed.

**Project Conformance:** The SCR conforms with all project conditions.

There is no doubt that the project conforms to the SCR guidelines. The appeal even acknowledges that the project is in conformance with the original entitlement and proposes to implement construction of the design as previously approved.



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The appellant's sole objection to the project is the atrium, bridge connection, and roof over the atrium. These are all components of the original design features of the Torrey East building that was approved in 2008 and were fully reviewed and vetted as part of that entitlement process. Instead of focusing on the SCR requirements, the appellant is attempting to overturn the 2008 approvals and recommendations of the City Council, Planning Commission, Historical Resources Board, and University Community Planning Group.

## CONCLUSION

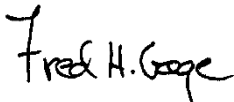
On behalf of the Salk Institute's trustees, faculty, staff, and volunteers, we urge the Planning Commission to deny the appeal and uphold the Development Services Department decision of substantial conformance.

This project is of utmost importance to Salk's ongoing research and discoveries. To overcome the profound challenges facing humanity, the pursuit of science must evolve, and Salk is leading the way. Salk must expand its faculty, both in size and expertise, recruiting a new generation of biologists, engineers, and information theorists to discover new insights and facilitate dynamic collaborations that evolve with the research goals. We do this by leveraging and advancing technologies are placing computational biology and deep learning at the center of scientific research across disciplines.

The Salk Institute is revolutionizing biological research and driving new approaches to solve scientific challenges. We need our new Science and Technology Center for its critical research space and application of emerging technologies to scientific challenges. This center will continue our historic contribution to San Diego's leadership in the biotech industry.

We appreciate your time and consideration.

Sincerely,

A handwritten signature in black ink that reads "Fred H. Gage". The signature is written in a cursive, slightly stylized font.

Fred H. Gage, PhD  
President