



EZABELLE

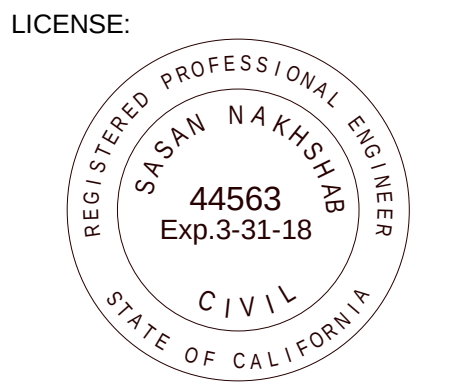
454 13TH STREET
SAN DIEGO, CA 92101

OWNER/DEVELOPER/
ARCHITECT

NAKSHAB DEVELOPMENT & DESIGN INC
340 15TH STREET, SUITE 100
SAN DIEGO, CA 92101
P (619) 255-7257



ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15TH ST. SUITE 100
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REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

COVER SHEET

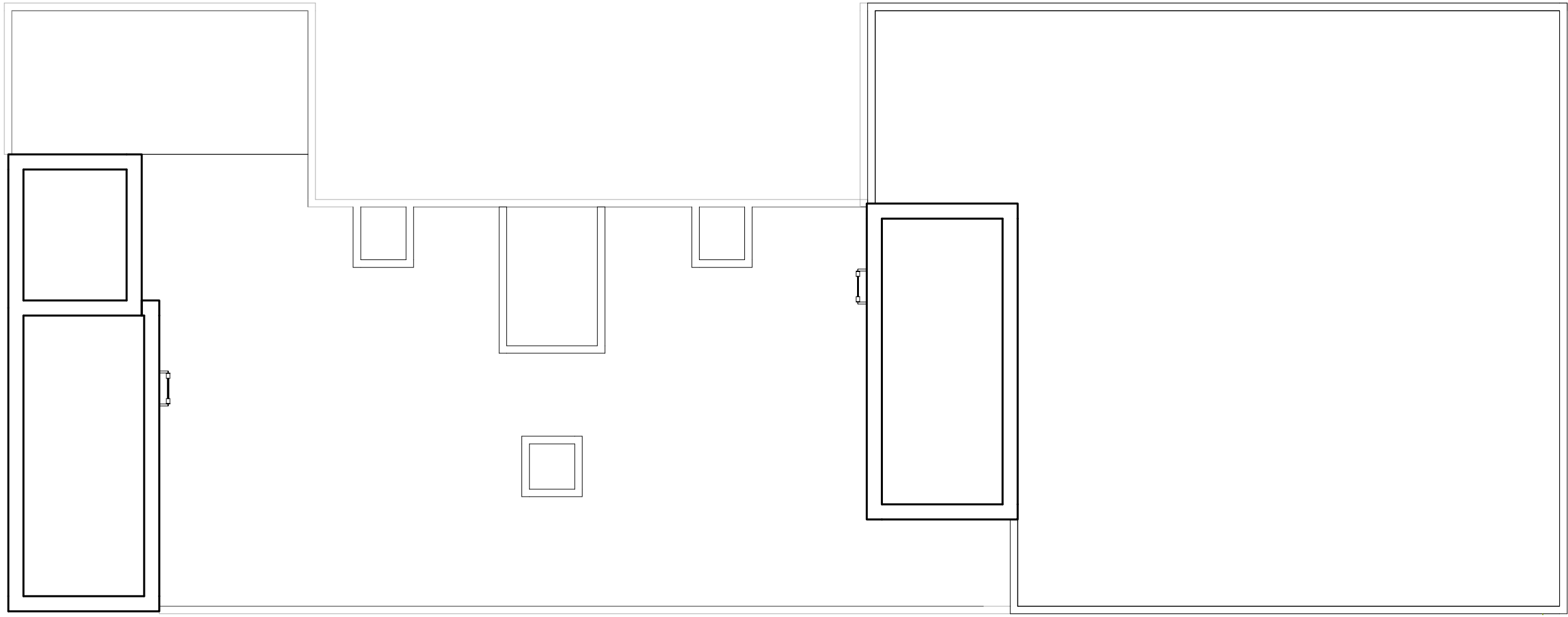
PROJECT NO.:

DATE:
01-23-2018

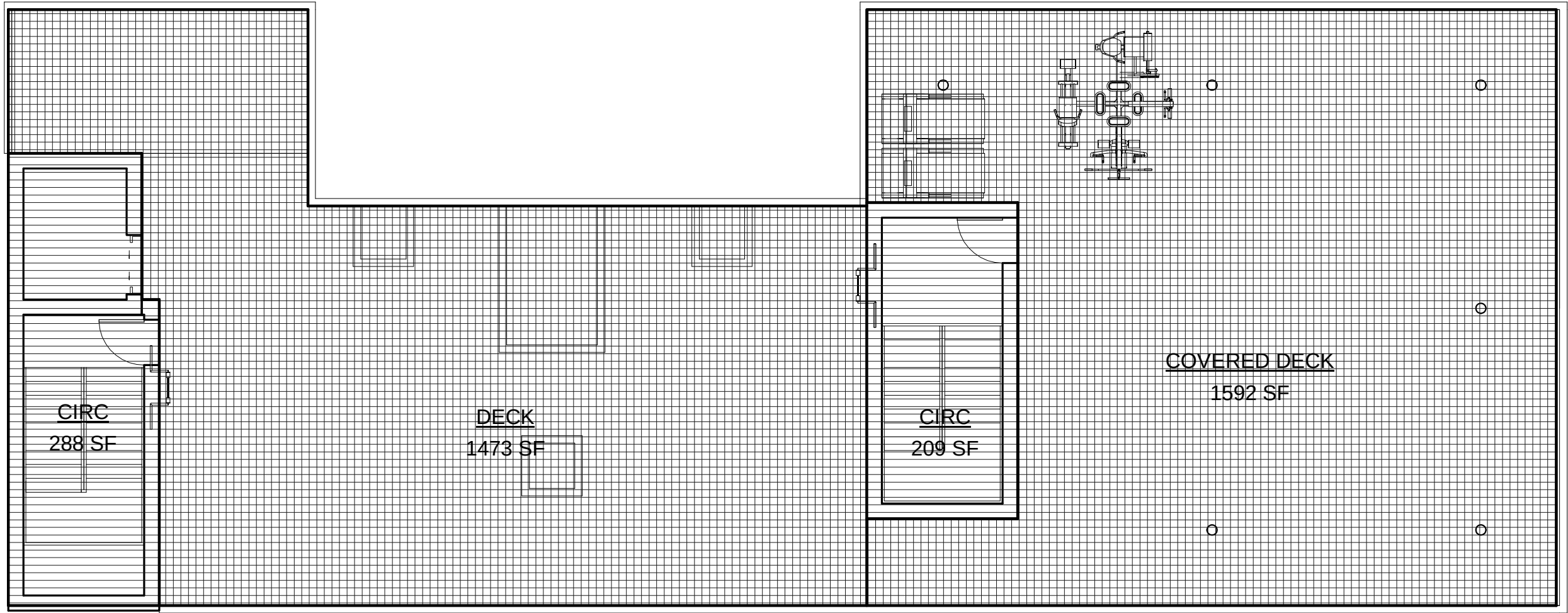
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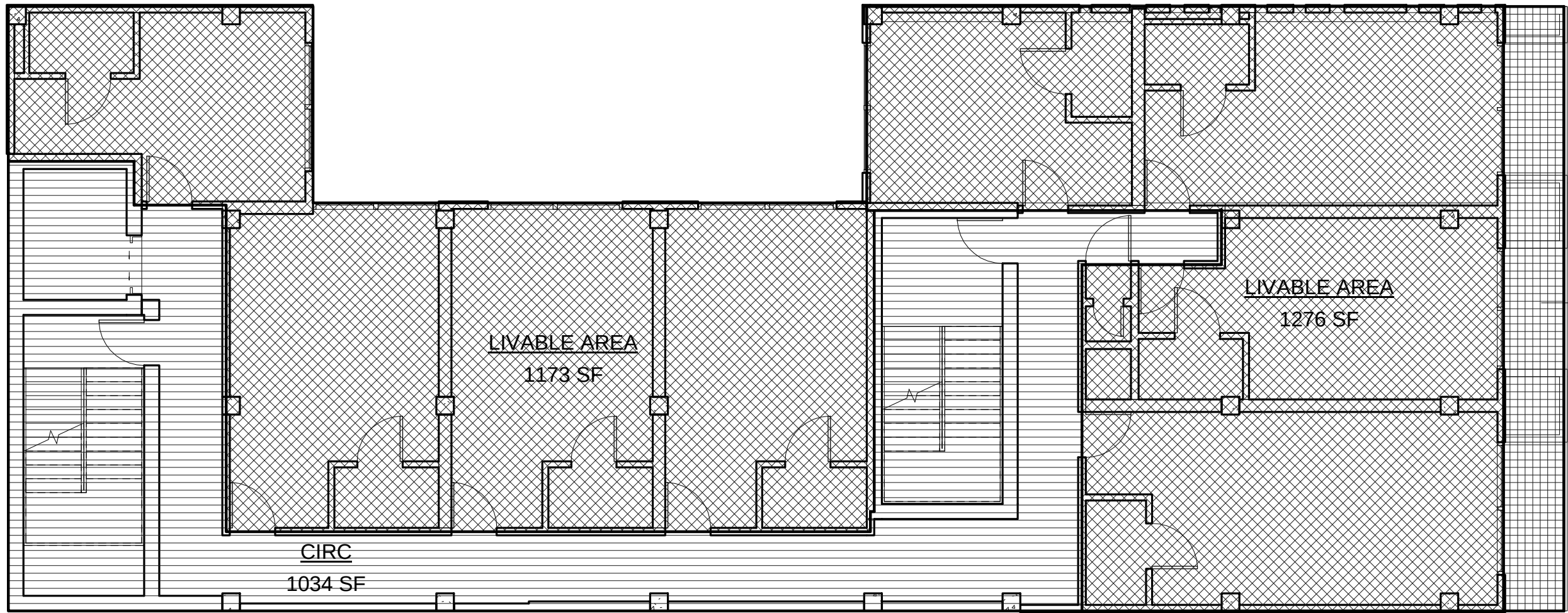
GENERAL NOTES			ABBREVIATIONS										PROJECT DATA		DRAWING INDEX																																																																																																																																																																																																																																																																																																																																																																																						
1. THE SPECIFICATIONS INCLUDED HEREWITH ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH . 2. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHAL, THE CITY OF SAN DIEGO BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSTRUED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA GREEN BUILDING CODE AMERICANS WITH DISABILITIES ACT THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA - TITLE 24 CCR AS AMMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO. REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT SHALL APPLY. ALL REQUIRED PERMITS SHALL BE OBTAINED FROM THE BUILDING OFFICIALS AND THE LOCAL FIRE MARSHAL BEFORE THE BUILDING IS OCCUPIED. FIRE DEPT APPROVAL SHALL BE REQUESTED PRIOR TO FRAMING INSPECTION.			3. CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL, ELECTRICAL ITEMS, ETC. (WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONS OR DISCREPANCIES. 4. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE AFOREMENTIONED CODES. 5. NOTICE TO THE CONTRACTOR/ BUILDER/ INSTALLER/ SUBCONTRACTOR/ OWNER-BUILDER. BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES. 6. IT IS UNDERSTOOD THAT THE PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS, AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF THE DEFERRED ITEMS LISTED. 7. IWE UNDERSTAND THAT IWE WILL NOT AUTHORIZE THE INSPECTION OF DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS.			<table><tr><td>AC</td><td>ASPHALT CONCRETE</td><td>EJ</td><td>EXPANSION JOINT</td><td>LAM</td><td>LAMINATE</td><td>SC</td><td>SOLID CORE</td></tr><tr><td>ACT</td><td>ACOUSTICAL CEILING</td><td>ELECT</td><td>ELECTRICAL</td><td>LLH</td><td>LONG LEG HORIZONTAL</td><td>SCHED</td><td>SCHEDULE</td></tr><tr><td>ALUM</td><td>ALUMINUM</td><td>ENCL</td><td>ENCLOSURE</td><td>LLV</td><td>LONG LEG VERTICAL</td><td>SHR</td><td>SHOWER</td></tr><tr><td>ALT</td><td>ALTERNATE</td><td>EQ</td><td>EQUAL</td><td>LGT WGT</td><td>LIGHT WEIGHT</td><td>SHT</td><td>SHEET</td></tr><tr><td>AP</td><td>ACCESS PANEL</td><td>EW</td><td>EACH WAY</td><td>MAX</td><td>MAXIMUM</td><td>SPEC</td><td>SPECIFICATIONS</td></tr><tr><td>ARCH</td><td>ARCHITECT</td><td>EWG</td><td>ELECT WATER COOLER</td><td>MECH</td><td>MECHANICAL</td><td>SQ</td><td>SQUARE</td></tr><tr><td>BD</td><td>BOARD</td><td>EXG</td><td>EXISTING</td><td>MIN</td><td>MINIMUM</td><td>ST STL</td><td>STAINLESS STEEL</td></tr><tr><td>BLDG</td><td>BUILDING</td><td>ETR</td><td>EXISTING TO REMAIN</td><td>MISC</td><td>MESCELLANEOUS</td><td>STD</td><td>STANDARD</td></tr><tr><td>BLKG</td><td>BLOCKING</td><td>EXT</td><td>EXTERIOR</td><td>NIC</td><td>NOT IN CONTRACT</td><td>STOR</td><td>STORAGE</td></tr><tr><td>BM</td><td>BEAM</td><td>FD</td><td>FLOOR DRAIN</td><td>NO/#</td><td>NUMBER</td><td>STL</td><td>STEEL</td></tr><tr><td>BOT</td><td>BOTTOM</td><td>FEC</td><td>FIRE EXTINGUISHER CABINET</td><td>NTS</td><td>NOT TO SCALE</td><td>STRUCT</td><td>STRUCTURE</td></tr><tr><td>CAB</td><td>CABINET</td><td>FHC</td><td>FIRE HOSE CABINET</td><td>OC</td><td>ON CENTER</td><td>SUSP</td><td>SUSPENDED</td></tr><tr><td>CAR</td><td>CARPET</td><td>FIN</td><td>FINISH</td><td>O</td><td>OUTSIDE 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FIELD</td></tr><tr><td>CONSTR</td><td>CONSTRUCTION</td><td>GL</td><td>GLASS</td><td>POL</td><td>POLISHED</td><td>W/</td><td>WITH</td></tr><tr><td>CONT</td><td>CONTINUOUS</td><td>GSM</td><td>GALVANIZED SHT METAL</td><td>PR</td><td>PAIR</td><td>WD</td><td>WOOD</td></tr><tr><td>CORR</td><td>CORRIDOR</td><td>GYP</td><td>GYPSUM</td><td>PT</td><td>PRESSURE TREATED</td><td>W/O</td><td>WITHOUT</td></tr><tr><td>DBL</td><td>DOUBLE</td><td>HDR</td><td>HEADER</td><td>PNT</td><td>PAINTED</td><td>WGT</td><td>WEIGHT</td></tr><tr><td>DEPT</td><td>DEPARTMENT</td><td>HDWD</td><td>HARDWOOD</td><td>QTY</td><td>QUANTITY</td><td></td><td></td></tr><tr><td>DF</td><td>DRINKING FOUNTAIN</td><td>HDWR</td><td>HARDWARE</td><td>R</td><td>RADIUS</td><td></td><td></td></tr><tr><td>DIA</td><td>DIAMETER</td><td>HGT</td><td>HEIGHT</td><td>RD</td><td>ROOF 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			NORTH 8 FEET OF LOT "J" AND THE SOUTH 34 FEET OF LOT "K" IN BLOCK 106 OF HORTON'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEROF MADE BY L.L. LOCKING, ON FILE IN THE OFFICE OF THE COUNTY RECORDER, OF SAID SAN DIEGO COUNTY. SEE RECORD SURVEY OF 11147.												SEE A0.2 FOR AREA CALCULATIONS & DIAGRAMS																																																																																																																																																																																																																																																																																																																																																																																						
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			(N) (45) UNIT 7-STORY APT BUILDING W/ ROOF DECK & (2) GROUND FLOOR COMMERCIAL UNITS, (5) STUDIO APTS ON LEVEL 2 & (8) STUDIO APTS TYP OF LEVELS 3-7. 10% VERY LOW INCOME UNITS TO BE INCORPORATED INTO BUILDING. NO PARKING WILL BE INCORORATED INTO BUILDING.										<table><tr><td>MARKET RATE UNITS</td><td>39 (86.66%)</td></tr><tr><td>VERY LOW INCOME UNITS</td><td>6 (13.33%)</td></tr><tr><td>TOTAL UNITS</td><td>45 (100%)</td></tr></table> NOTE: SEE FLOOR PLANS FOR VERY LOW INCOME UNIT LOCATIONS (UNIT G AFFORDABLE UNIT)		MARKET RATE UNITS	39 (86.66%)	VERY LOW INCOME UNITS	6 (13.33%)	TOTAL UNITS	45 (100%)																																																																																																																																																																																																																																																																																																																																																																																	
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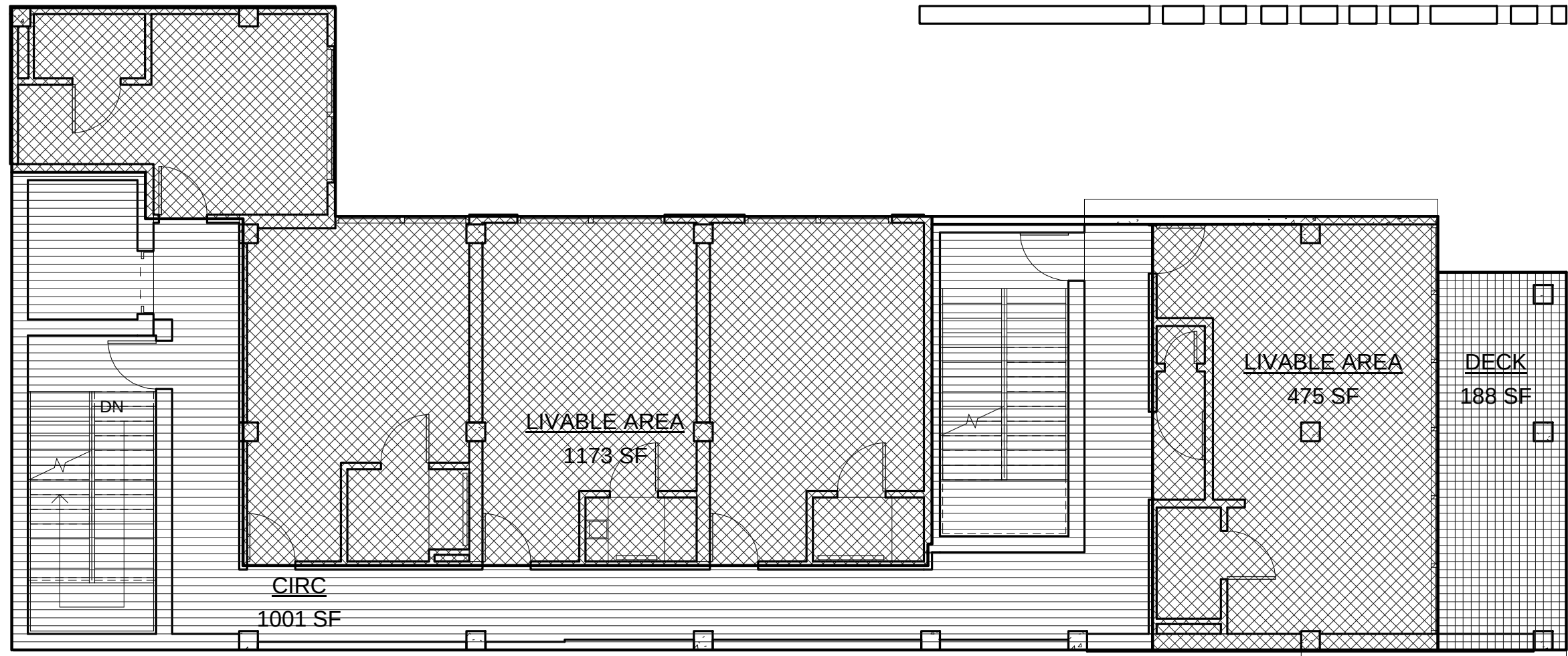
6 COVERED HIGH ROOF
1/8" = 1'-0"



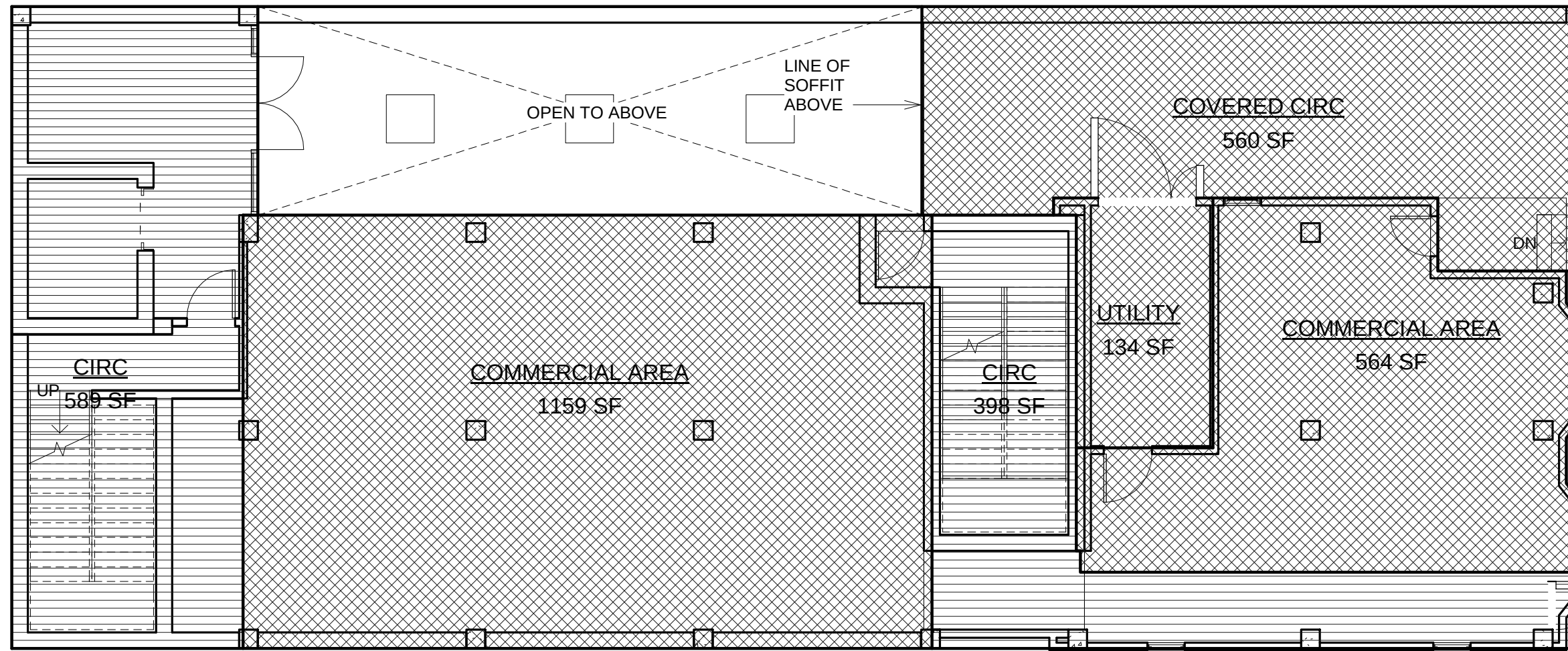
5 ROOF
1/8" = 1'-0"



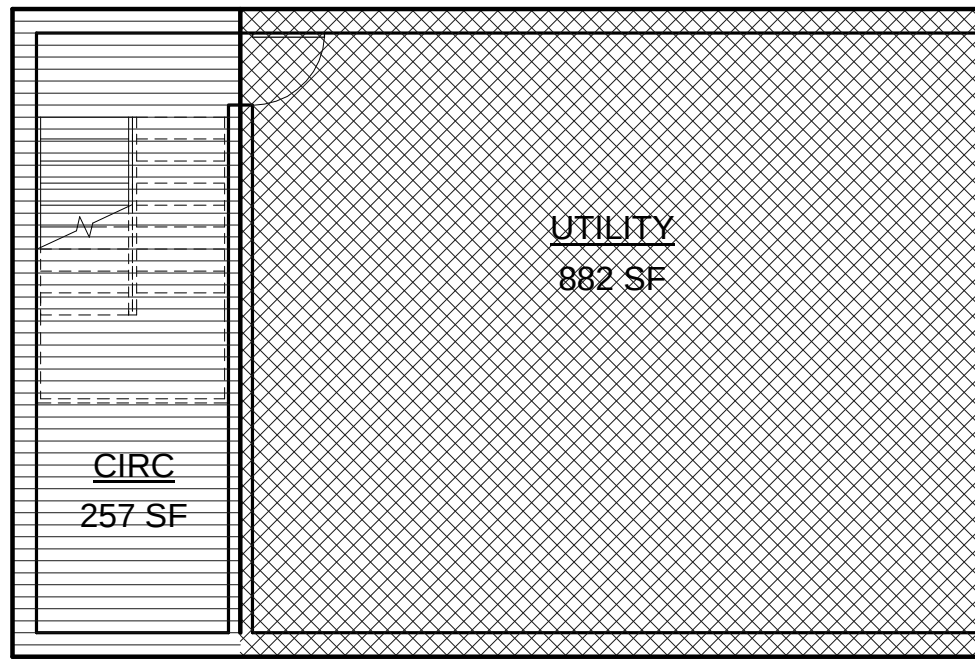
4 TYP LEVEL 3-7
1/8" = 1'-0"



3 LEVEL 2
1/8" = 1'-0"



2 LEVEL 1
1/8" = 1'-0"



1 BASEMENT
1/8" = 1'-0"

FAR & OCCUPANCY CALCULATIONS

LEVEL	OCCUPANCY	AREA
BASEMENT	U	1138 SF
GRADE	B	3269 SF
GRADE	U	134 SF
LEVEL 2	R-2	2650 SF
LEVEL 3	R-2	3483 SF
LEVEL 4	R-2	3483 SF
LEVEL 5	R-2	3483 SF
LEVEL 6	R-2	3483 SF
LEVEL 7	R-2	3483 SF
ROOF	R-2	497 SF
GSF INCLUDED IN FAR:		25105 SF

GROSS FLOOR AREAS

BASEMENT		AREA	LEVEL 1		AREA	LEVEL 2		AREA	LEVEL 3		AREA	LEVEL 4		AREA	LEVEL 5		AREA	LEVEL 6		AREA	LEVEL 7		AREA	ROOF		AREA
CIRC		257 SF	CIRC		987 SF	CIRC		1001 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		1034 SF	CIRC		497 SF
UTILITY		882 SF	COMMERCIAL AREA		1722 SF	DECK		188 SF	DECK		160 SF	DECK		160 SF	DECK		160 SF	DECK		160 SF	DECK		160 SF	COVERED DECK		1592 SF
TOTAL		1138 SF	COVERED CIRC		560 SF	LIVABLE AREA		1648 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	LIVABLE AREA		2449 SF	DECK		1473 SF
			UTILITY		134 SF	TOTAL		2838 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3643 SF	TOTAL		3561 SF

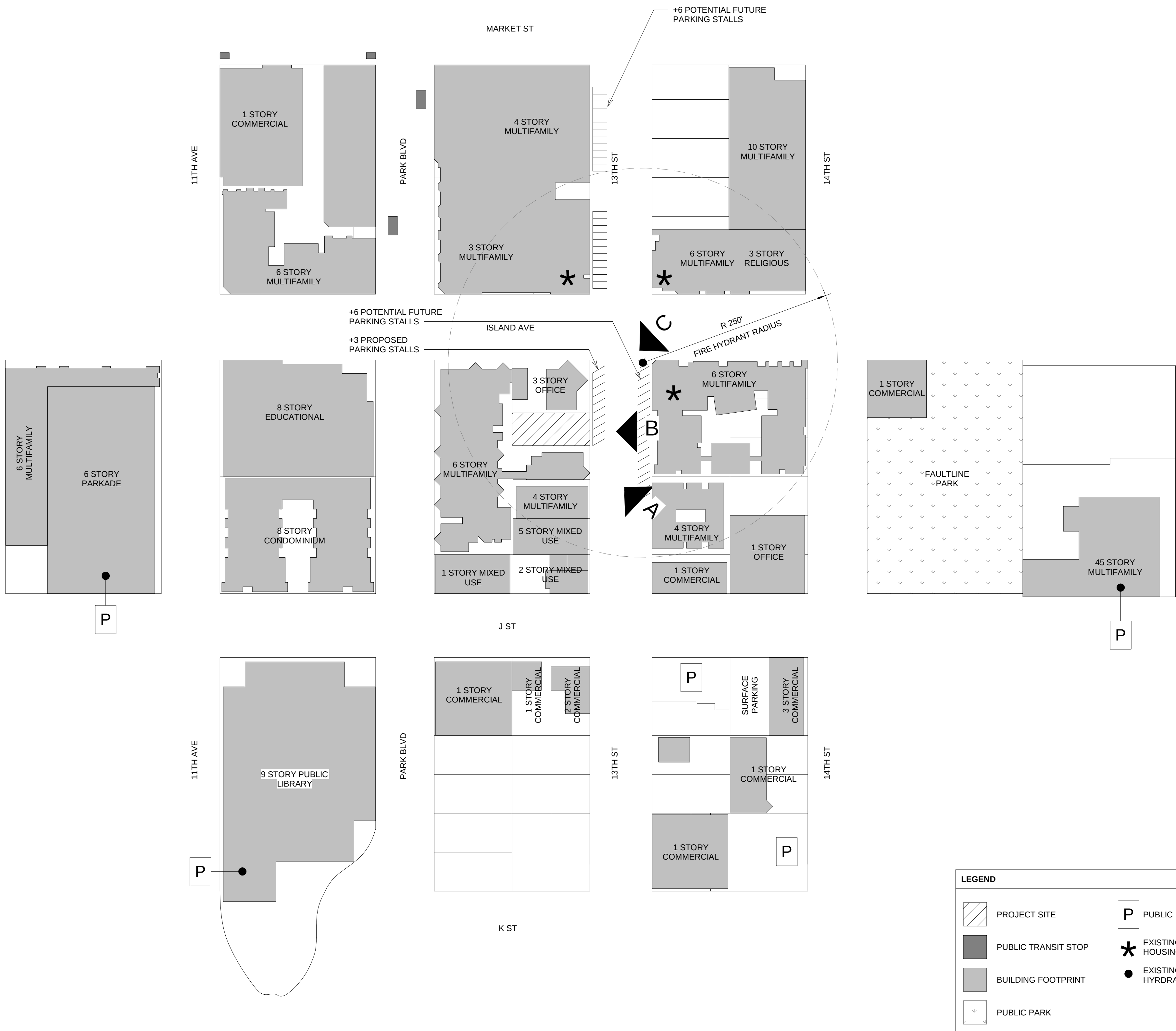
UNIT COUNT & NET AREA

UNIT TYPE	UNIT A	UNIT B	UNIT C	UNIT D	UNIT E	UNIT F	UNIT G	UNIT H
STUDIO								
UNIT SIZE	221 SF	298 SF	285 SF	348 SF	283 SF	290 SF	214 SF	392 SF
QUANTITY	5	5	5	5	12	6	6	1

NOTE: SEE FLOOR PLANS FOR UNIT DESIGNATION

LEGEND

- HABITABLE AREA - INCLUDED IN FAR
- CIRCULATION - INCLUDED IN FAR
- AREA EXCLUDED FROM FAR



SURVEY KEY/VICINITY MAP
1" = 80'-0"

C



B



A



ARCHITECTURE
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ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET
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EZABELLE

SHEET TITLE:

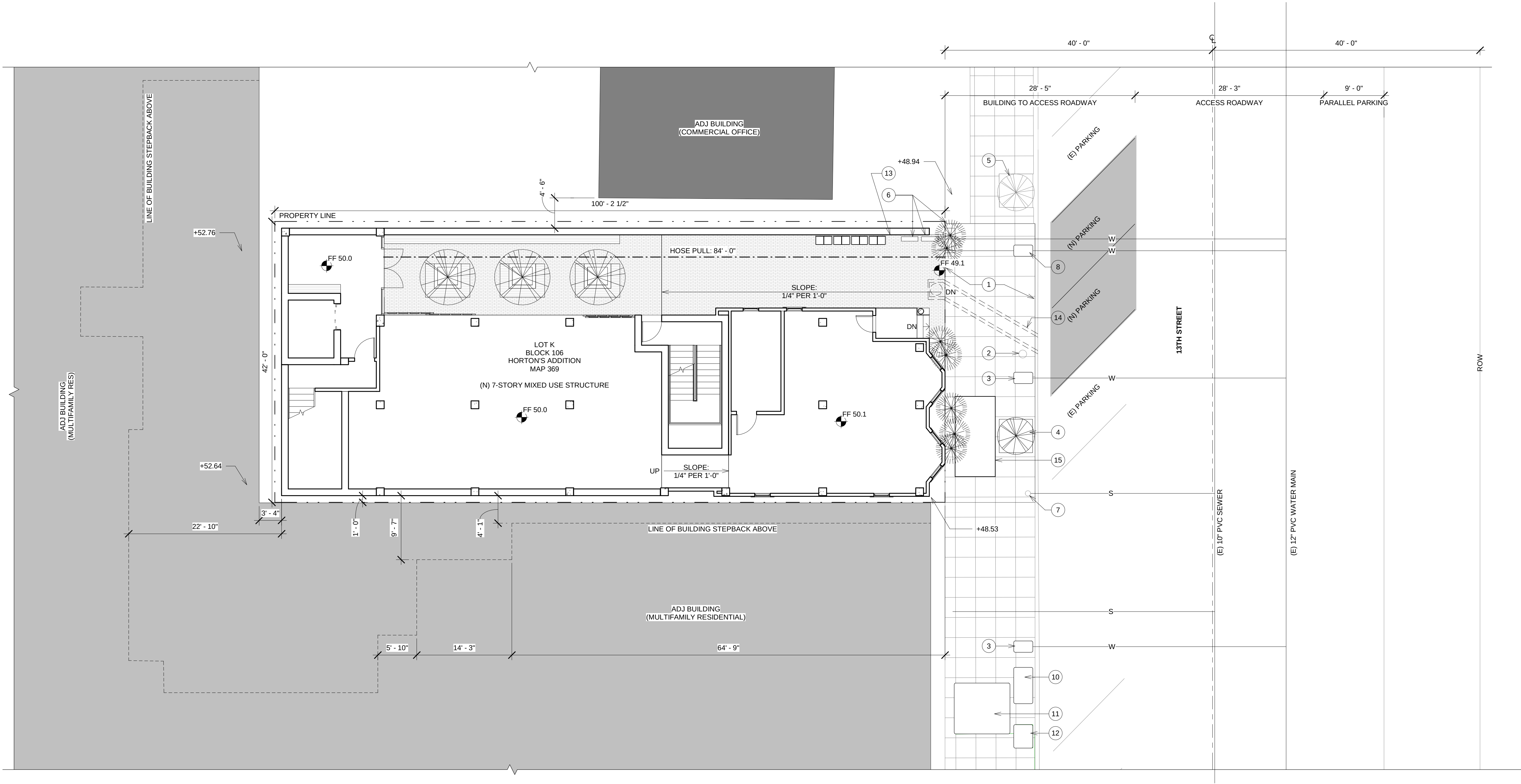
VICINITY MAP &
PHOTO SURVEY

PROJECT NO.:

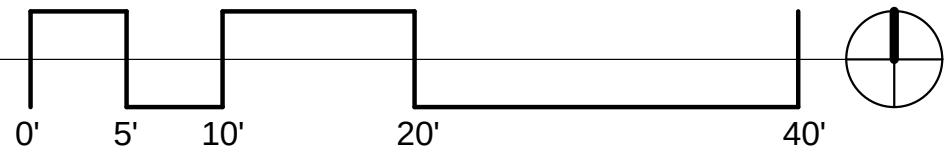
DATE:
01-23-2018

SHEET NO.:

A0.3



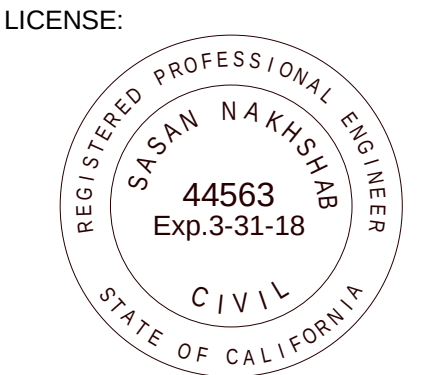
1 SITE PLAN
1/8" = 1'-0"



SITE PLAN NOTES		GENERAL NOTES	
1 (N) SIDEWALK	7 (E) SEWER SERVICE TO REMAIN	1. NO EASEMENTS PRESENT ON SITE 2. NO TRANSIT STOPS W/ ONE BLOCK 3. SEE A2.1 FIRST LEVEL PLAN FOR REFUSE & RECYCLING AREAS 4. SEE A2.1 FIRST LEVEL PLAN FOR ARCHITECTURAL PROJECTS	
2 (E) STREET LIGHT	8 (N) 2" WATER SERVICE		
3 (E) WATER METER	9 (N) D-25 CURB OUTLET		
4 (N) STREET TREE	10 ELEC VAULT		
5 (E) STREET TREE	11 VAULT		
6 BACKFLOW & FIRE BACKFLOW PREVENTER W/ SCREEN & VEGETATION. LOCATION OF POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS & ALARM BELL.	12 CATV	SITE PLAN LEGEND	
	13 KNOX BOX LOCATION. TO BE INSTALLED PER FPB K-15-2		ADJACENT COMMERCIAL OFFICE BUILDING
	14 NDS TRENCH DRAIN W/ CATCH BASIN FILTER. SEE CIVIL DRAWINGS FOR MORE DETAIL		ADJACENT MULTI FAMILY BUILDING
	15 SDG&E VAULT DOOR	HOSE PULL	



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SHEET TITLE:

SITE PLAN

PROJECT NO.:

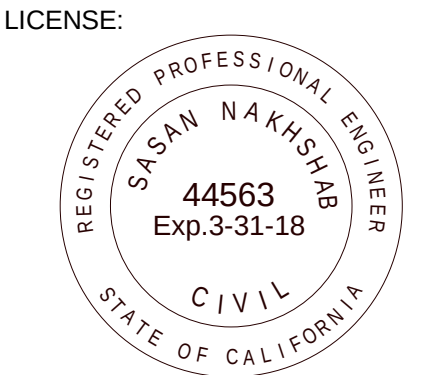
DATE:
01-23-2018

SHEET NO.:

A1.0



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ITEM	DATE	DESCRIPTION
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SHEET TITLE:

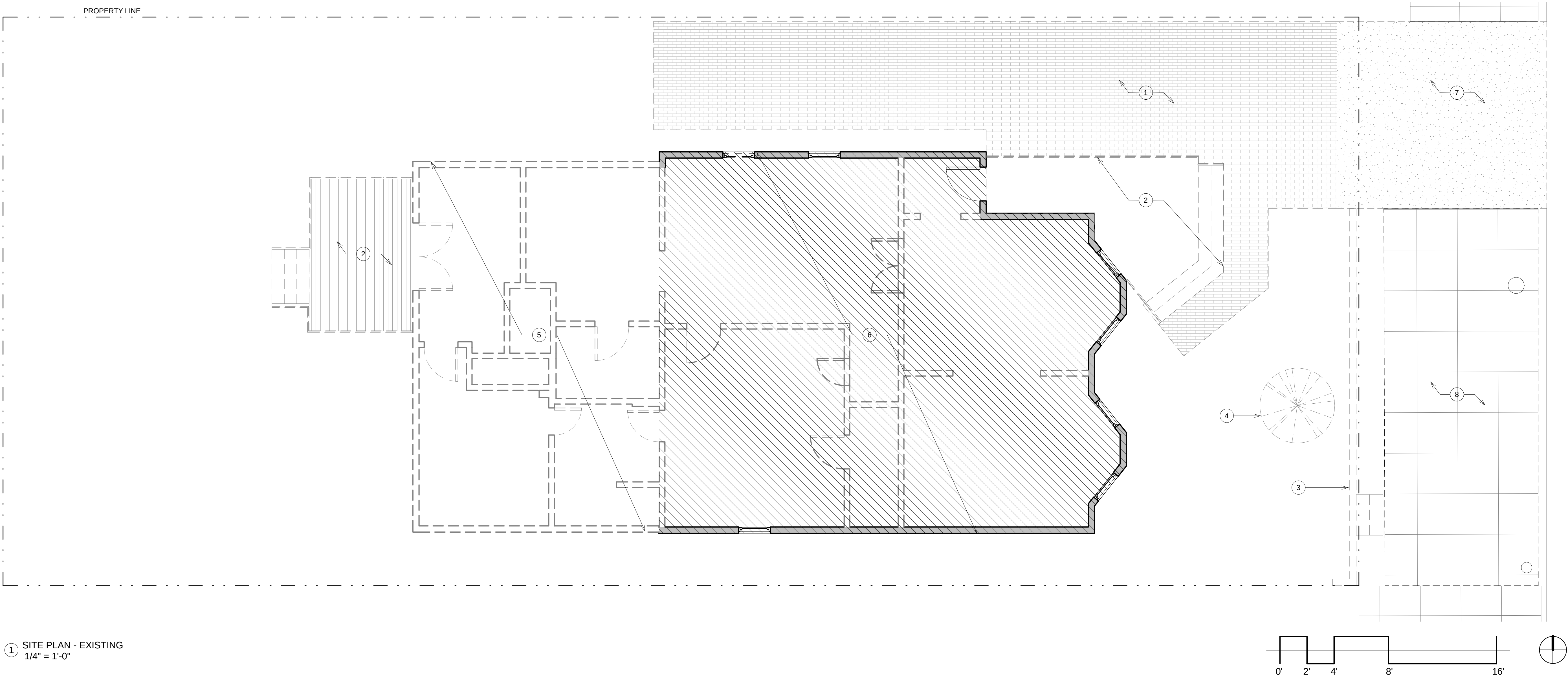
DEMO PLAN

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

A1.1



1 SITE PLAN - EXISTING
1/4" = 1'-0"

DEMOLITION NOTES		WALL LEGEND
1 REMOVE SITE PAVEMENT	6 DISMANTLE & RETAIN FOR RELOCATION EXTERIOR WALLS, DOOR, ROOF & ARCHITECTURAL DETAILS OF HISTORICAL STRUCTURE. INTERIOR PARTITIONS TO BE REMOVED.	DISMANTLE & RETAIN FOR RELOCATION
2 REMOVE PORCH & ASS. RAIL & STAIR		DEMOLISH
3 REMOVE SITE WALL		
4 REMOVE TREE		
5 REMOVE NON-HISTORICAL PORTION OF STRUCTURE TO INCLUDE: FOUNDATION, FLOOR, WALLS, WINDOWS, DOORS & ROOF	7 REMOVE DRIVEWAY & ASSOCIATED APRON TO BE REPLACED W/ NEW SIDEWALK & CURB	EXISTING EXTERIOR WALL OF HISTORIC HOME TO REMAIN
	8 REMOVE SIDEWALK TO BE REPLACED WITH NEW SIDEWALK	



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SHEET TITLE:

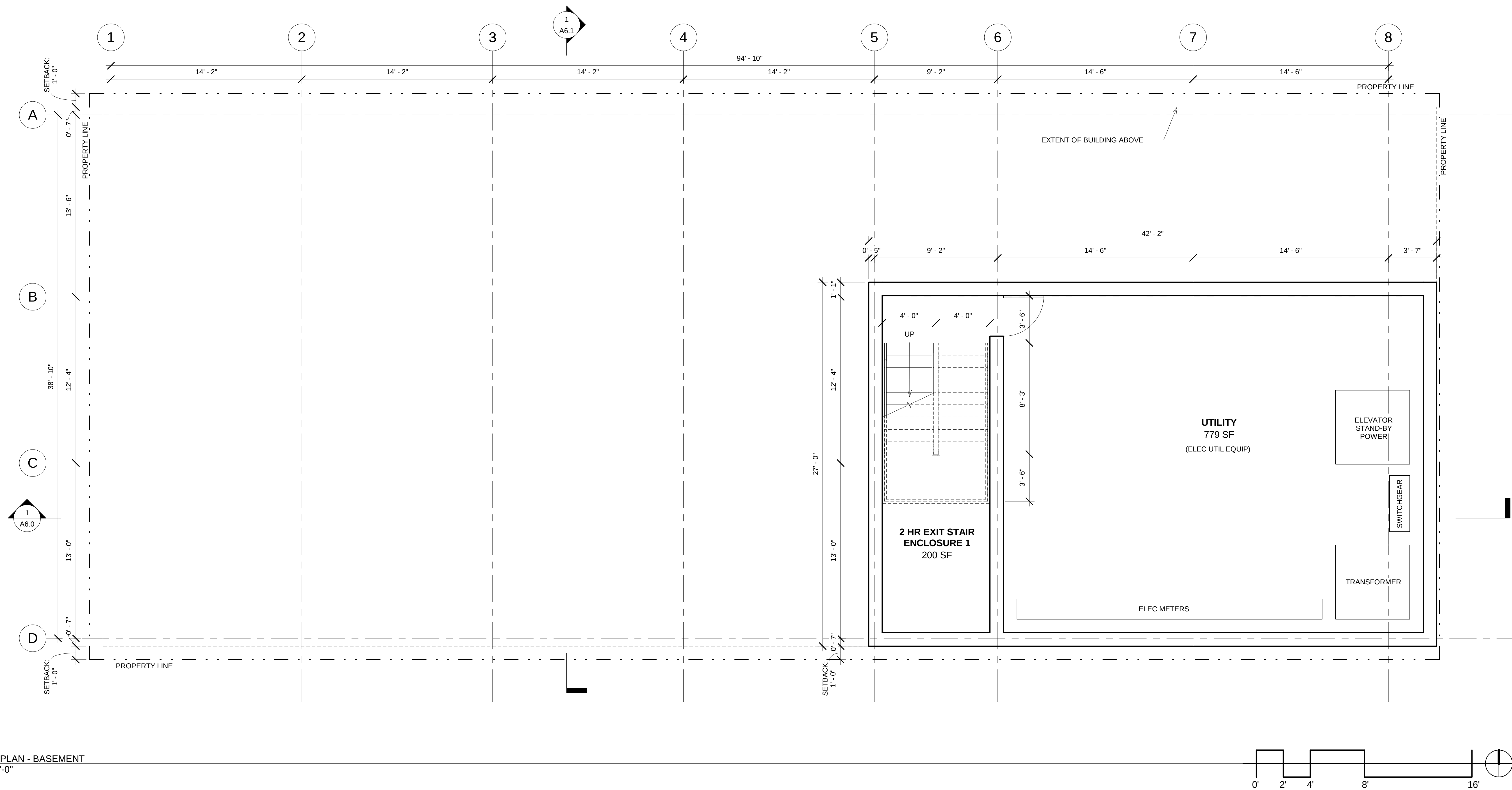
FLOOR PLAN -
BASEMENT

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

A2.0

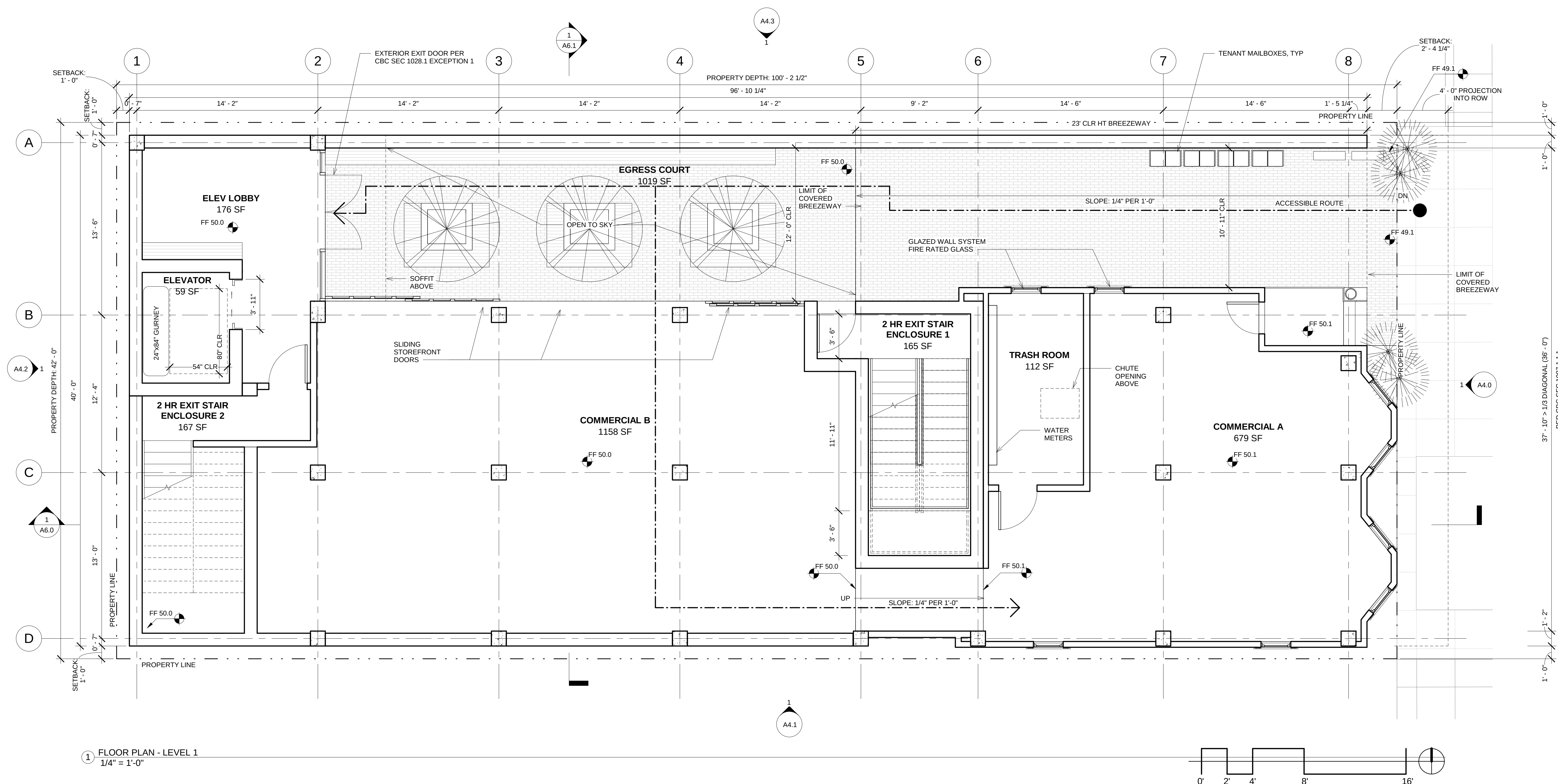




PROJECT/CLIENT:

SHEET NO.:

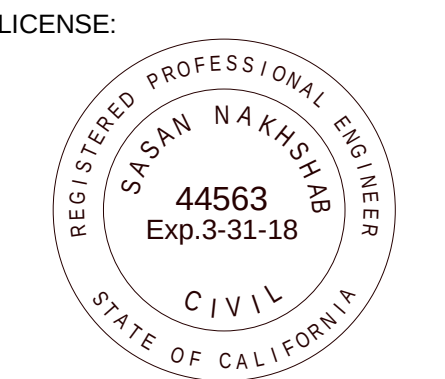
A2.1



NOTES:
1. ALL KITCHENS TO BE COMPLIANT WITH CBC 1133A.
2. ALL KITCHEN SINKS TO BE EQUIPPED WITH 30" REMOVABLE
BASE CABINET
3. ALL KITCHENS TO BE EQUIPPED WITH 2 18" BREADBOARD
WORKSURFACES



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SHEET TITLE:

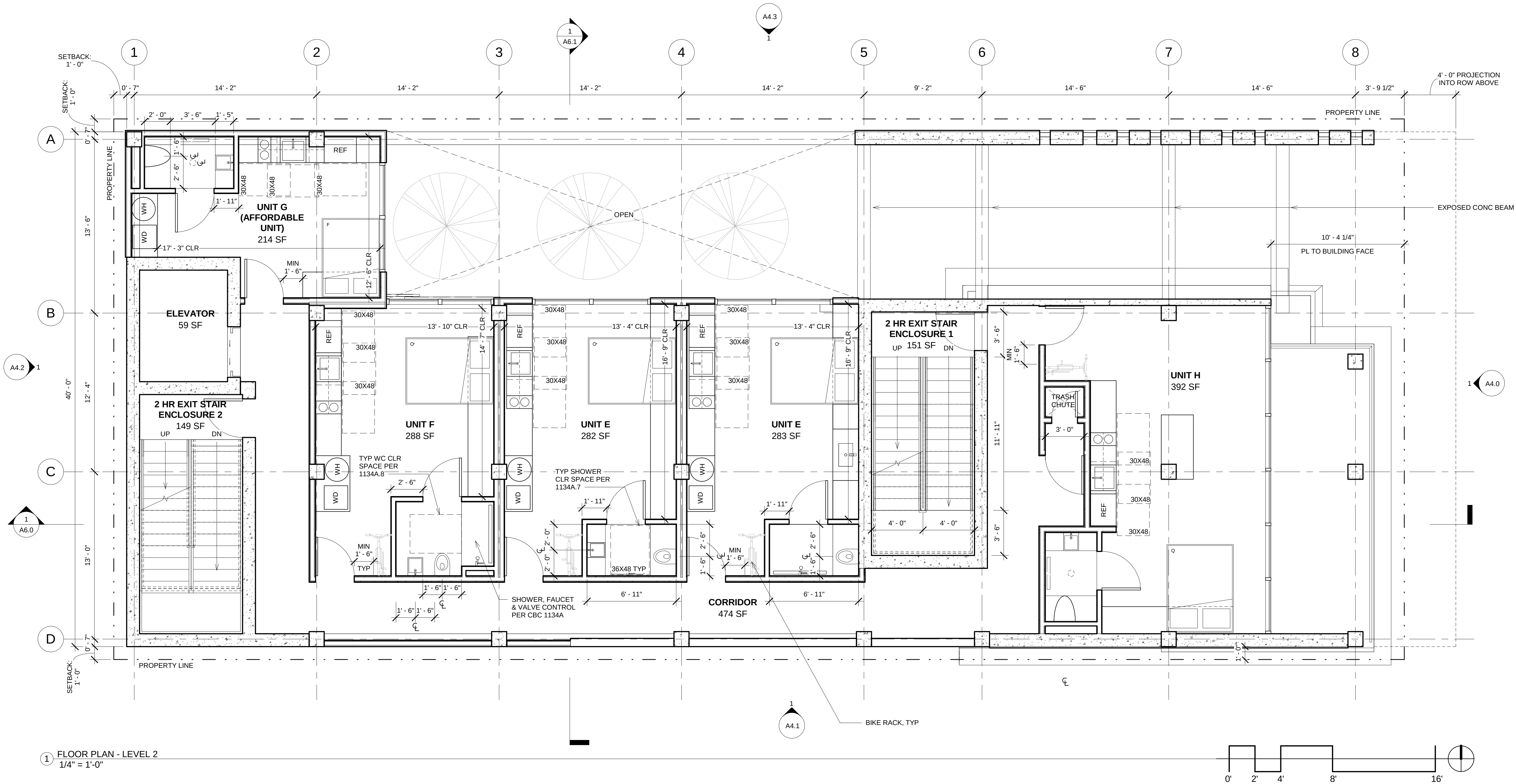
**FLOOR PLAN -
LEVEL 2**

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

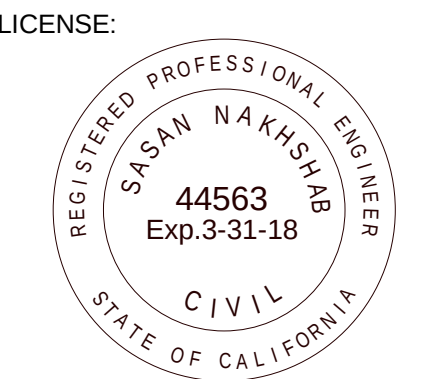
A2.2



NOTES:
1. ALL KITCHENS TO BE COMPLIANT WITH CBC 1133A.
2. ALL KITCHEN SINKS TO BE EQUIPPED WITH 30" REMOVABLE
BASE CABINET
3. ALL KITCHENS TO BE EQUIPPED WITH 2 18" BREADBOARD
WORKSURFACES



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1	02/22/18	CSD Response

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SHEET TITLE:

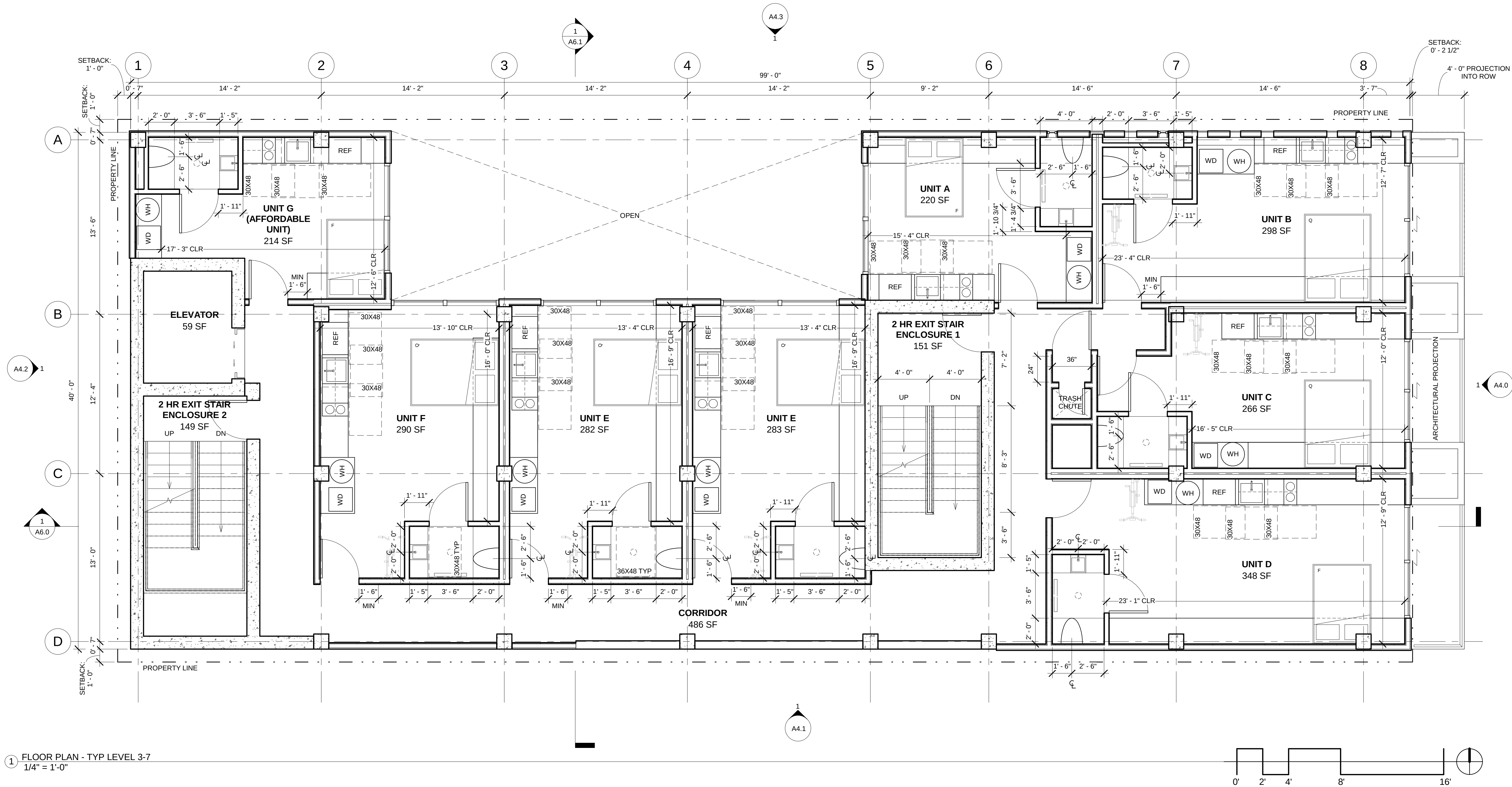
FLOOR PLAN -
TYP LEVEL 3-7

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

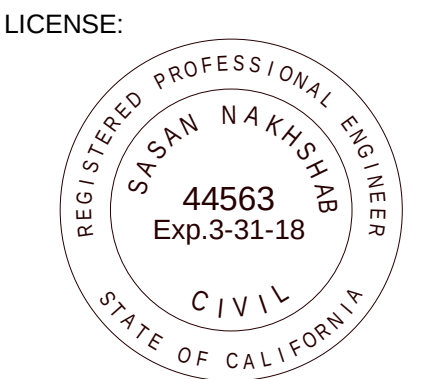
A2.3



1 FLOOR PLAN - TYP LEVEL 3-7
1/4" = 1'-0"



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SHEET TITLE:

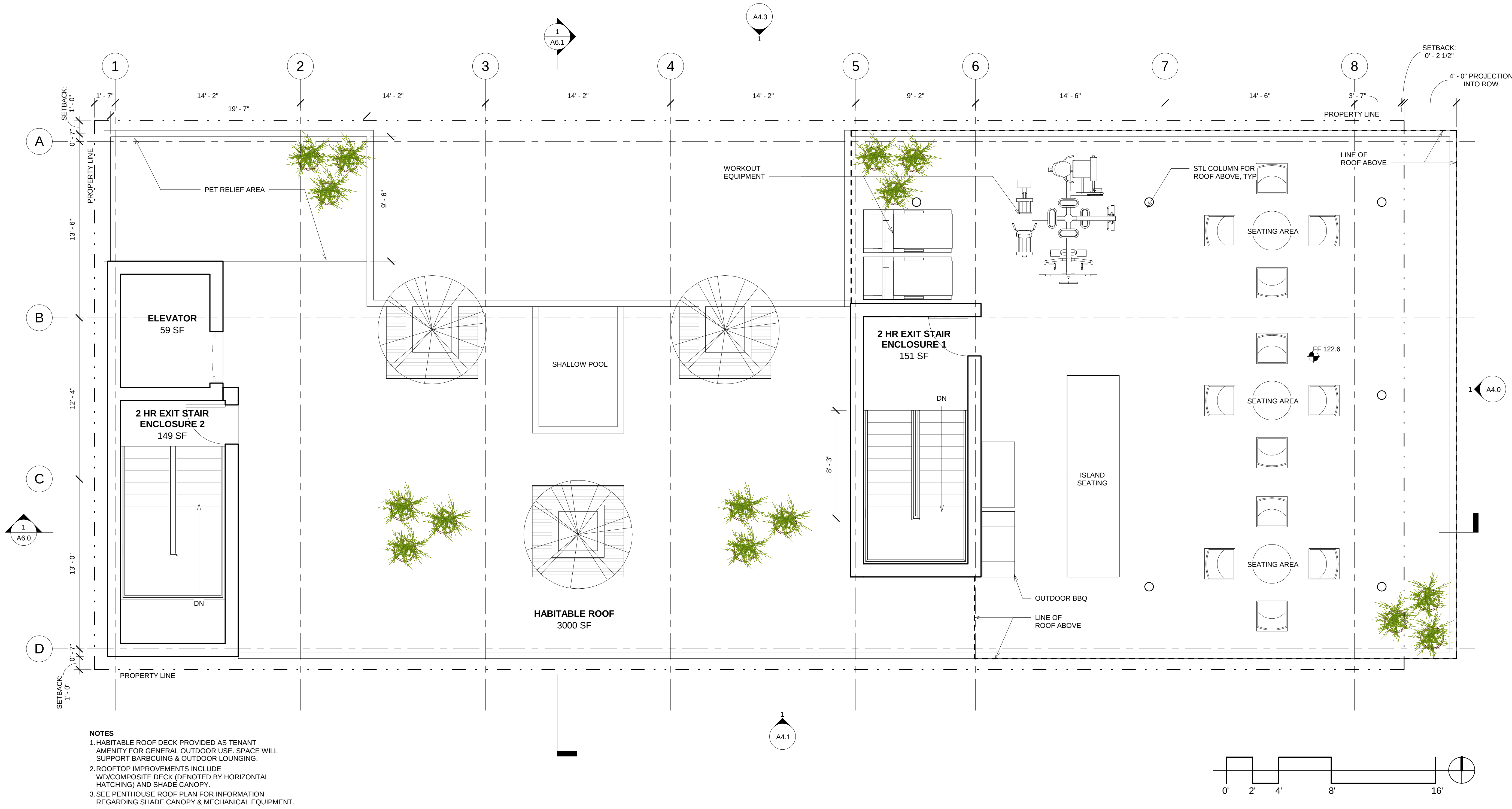
ROOF PLAN

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

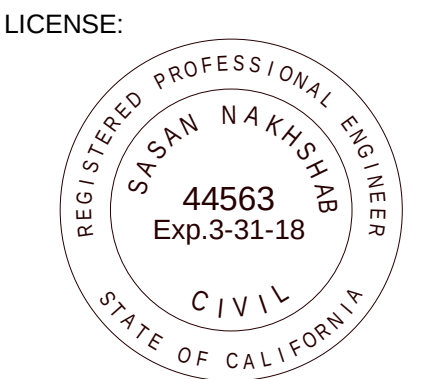
A2.4



1 ROOF
1/4" = 1'-0"



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1	02/22/18	CSD Response

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SHEET TITLE:

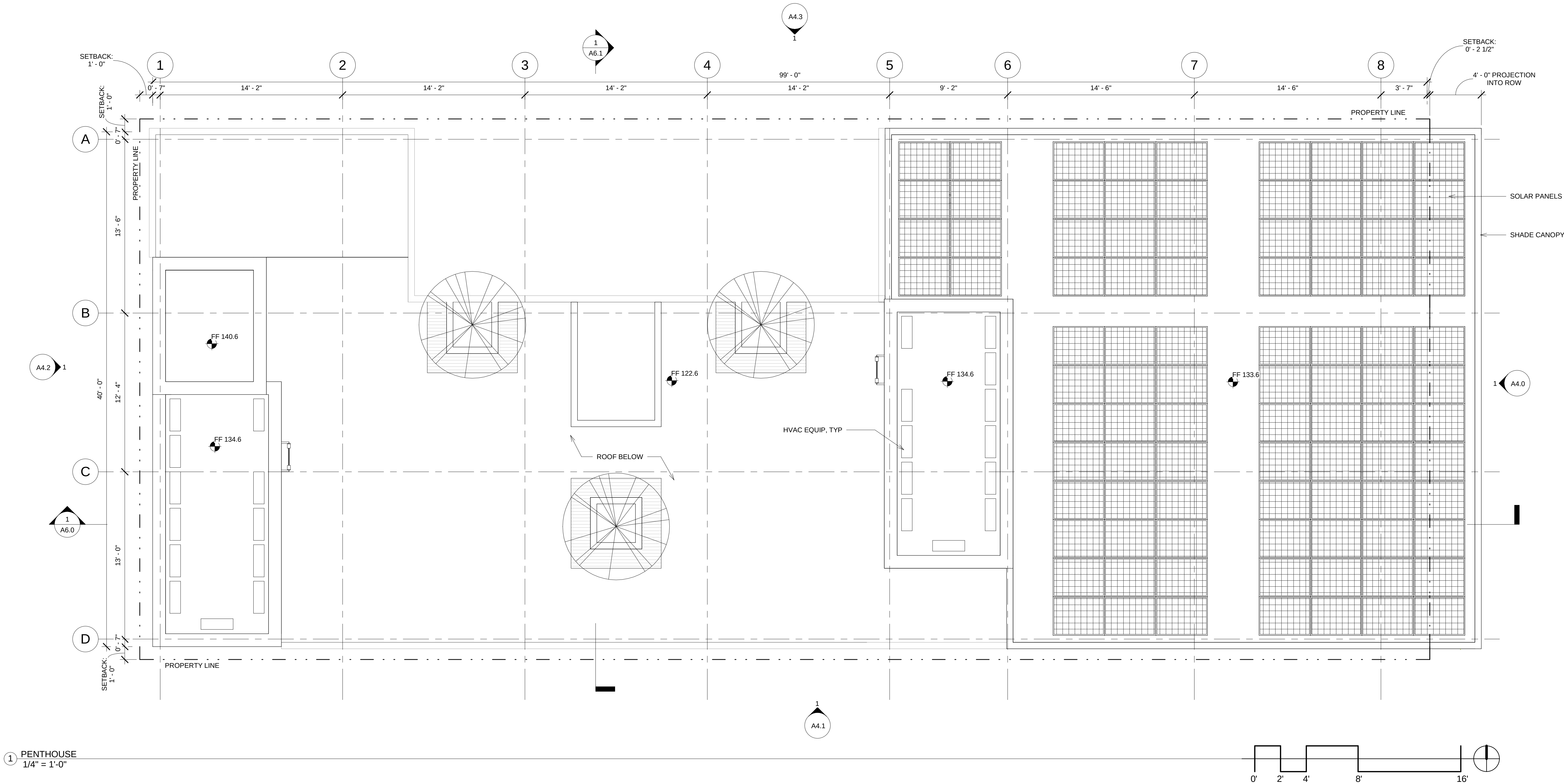
**PENTHOUSE
ROOF PLAN**

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

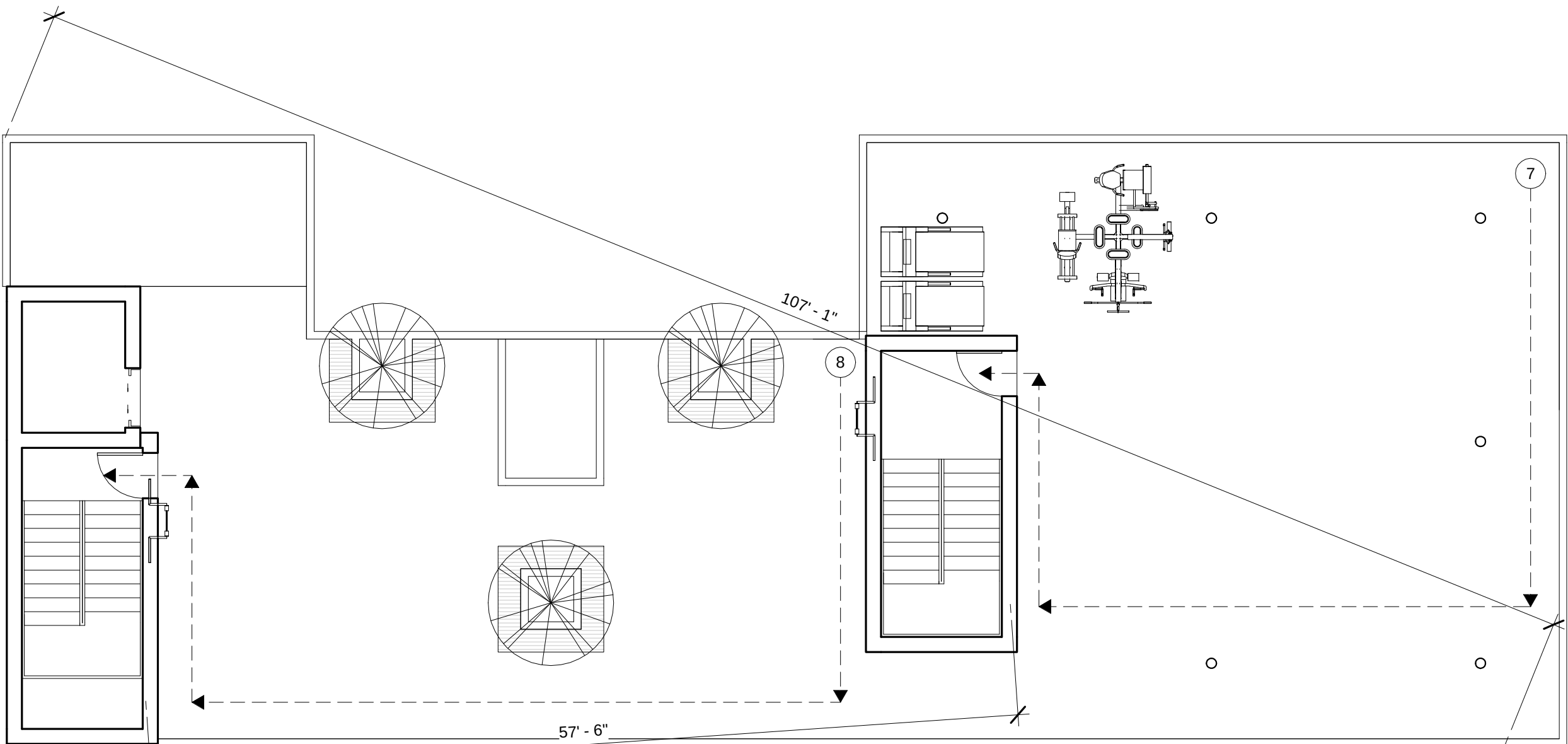
A2.5



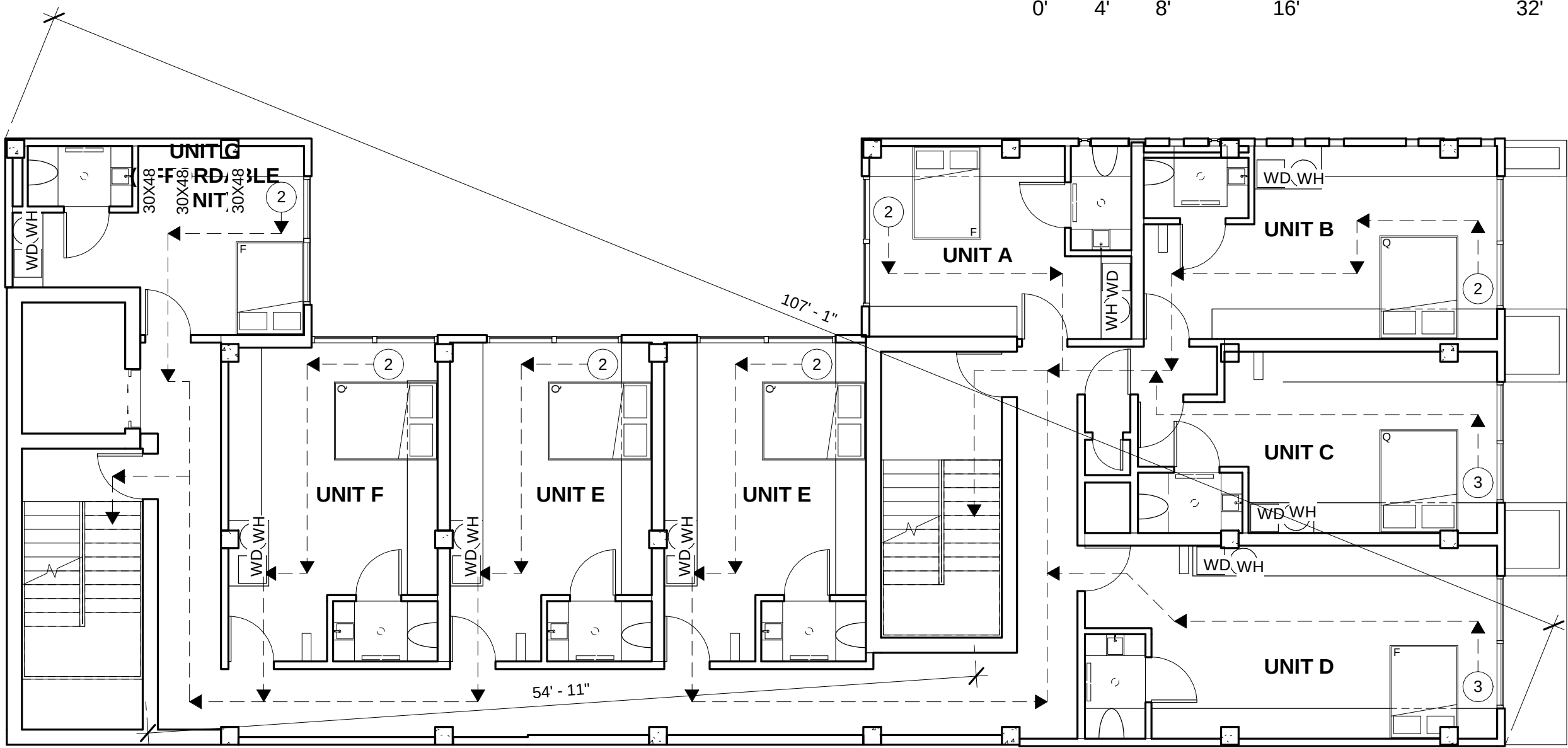
1 PENTHOUSE
1/4" = 1'-0"

OCCUPANT LOAD CALCULATIONS

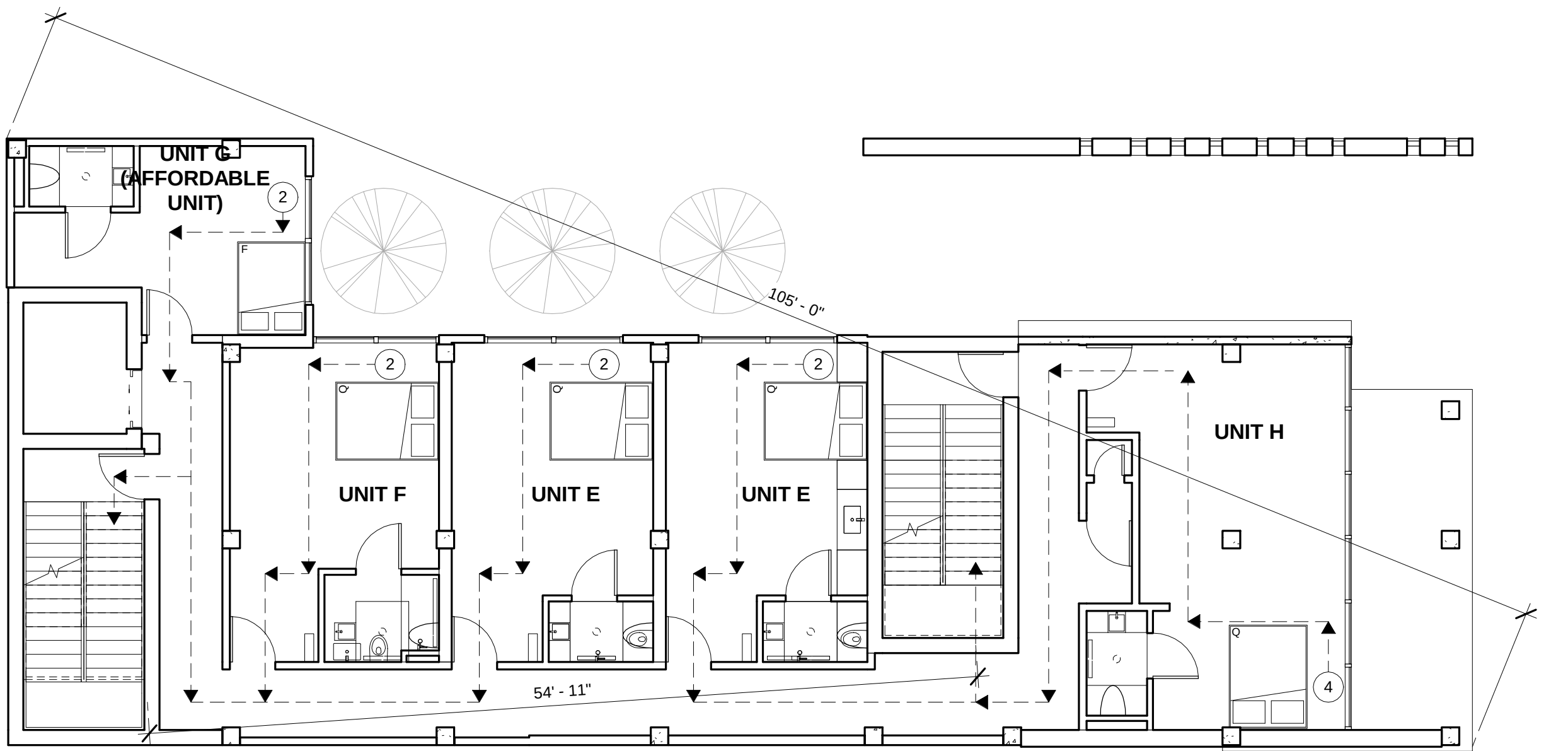
LEVEL	SPACE	AREA	OCC FACTOR	OCC LOAD
LEVEL 1	BACKFLOW/TRASH	140	300	1
	COMMERCIAL A	525	60	9
	COMMERCIAL B	1088	60	18
	LOBBY	260	200	1
	UTILITY	779	300	2
LEVEL 2	RESIDENTIAL	2838	200	14
LEVEL 3	RESIDENTIAL	3643	200	18
LEVEL 4	RESIDENTIAL	3643	200	18
LEVEL 5	RESIDENTIAL	3643	200	18
LEVEL 6	RESIDENTIAL	3643	200	18
LEVEL 7	RESIDENTIAL	3643	200	18
ROOF	HABITABLE ROOF	3059	15	200
TOTAL				335



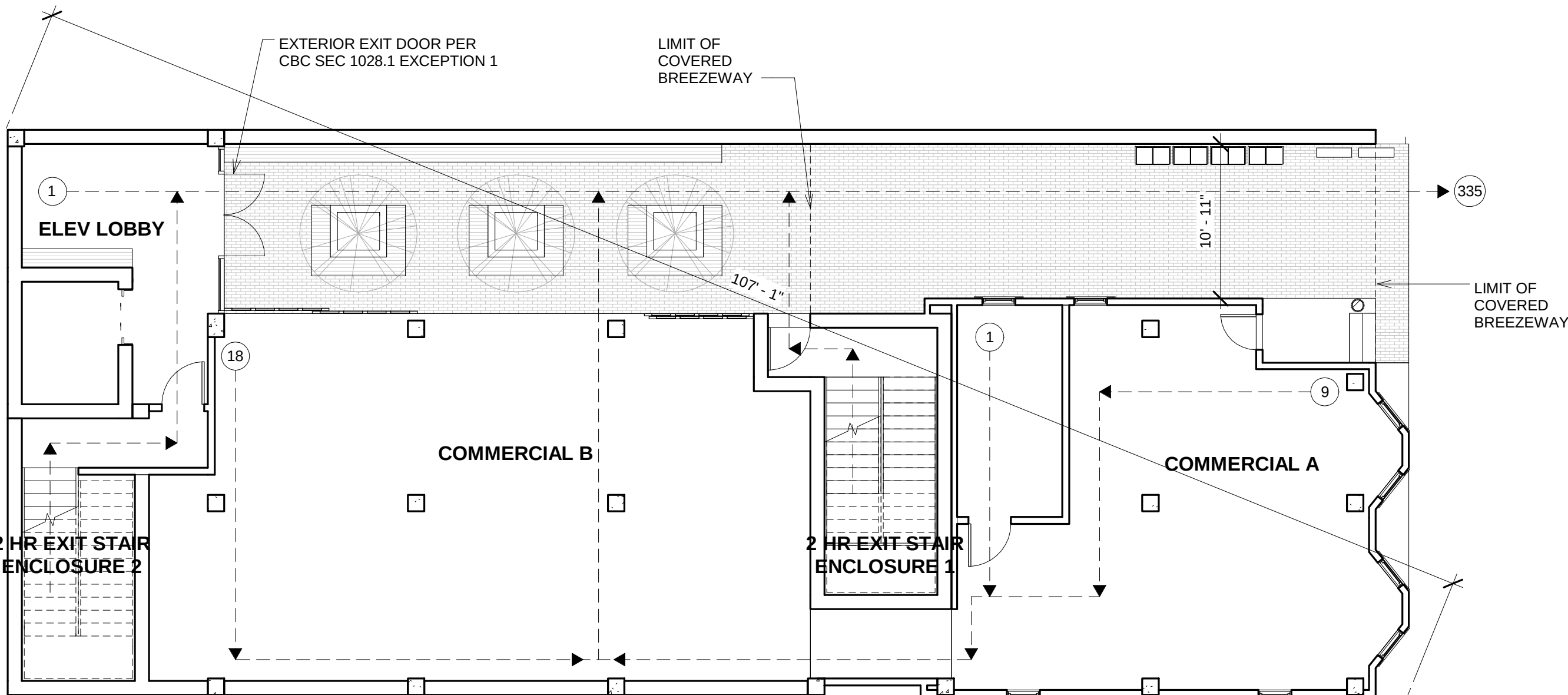
5 ROOF
1/8" = 1'-0"



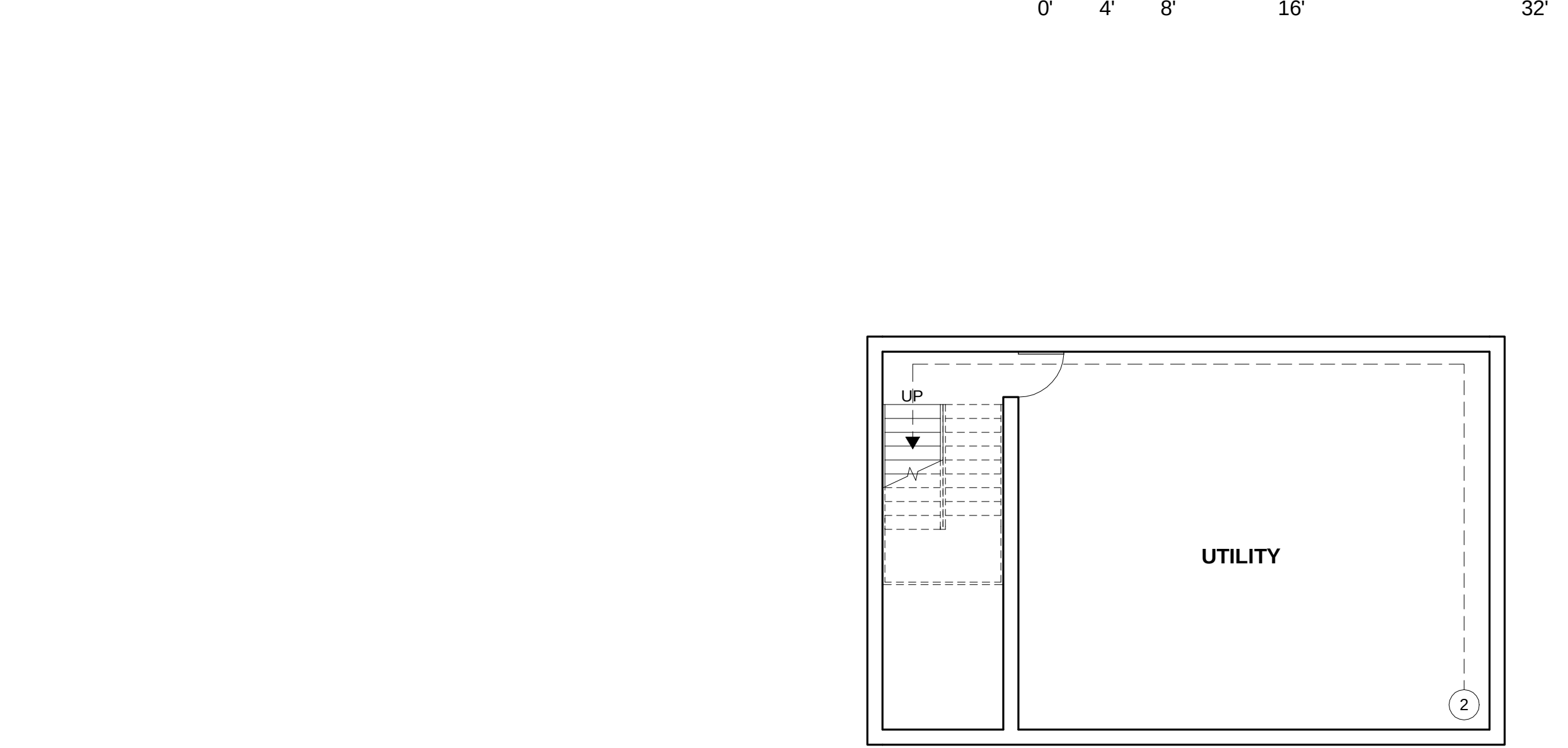
4 THIRD-SEVENTH LEVEL
1/8" = 1'-0"



3 SECOND LEVEL
1/8" = 1'-0"



2 FIRST LEVEL
1/8" = 1'-0"



1 BASEMENT
1/8" = 1'-0"



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LICENSE:



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PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

EXITING
DIAGRAMS

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

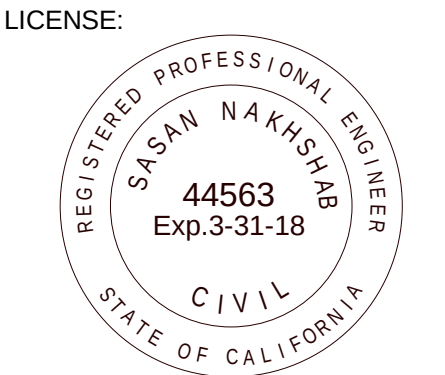
A2.6

MATERIAL LEGEND

A	CAST IN PLACE CONC	E	PLANTER - CAST IN PLACE CONC	I	FASCIA - BLACK ALUM	M	BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.	P	BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209	S	SCORE JOINT
B	STOREFRONT - BLACK ALUM	F	SLIDING DOOR - BLACK ALUM	J	WINDOW SYSTEM - BLACK ALUM	N	HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM	Q	FIRE RATED GLAZING	T	EXPOSED CONC COLUMN
C	GUARDRAIL - BLACK ALUM	G	SMOOTH ACRYLIC STUCCO - BLACK	K	MTL ENTRY DOOR - BLACK	O	NOT USED	R	INSET COLOR PANEL		
D	SMOOTH ACRYLIC STUCCO - WHITE	H	STL PIPE COLUMN - BLACK ALUM	L	PTD DENSGLASS - WHITE						



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454 13TH STREET
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SHEET TITLE:

ELEVATION - EAST

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

A4.0



① EAST ELEVATION
3/16" = 1'-0"

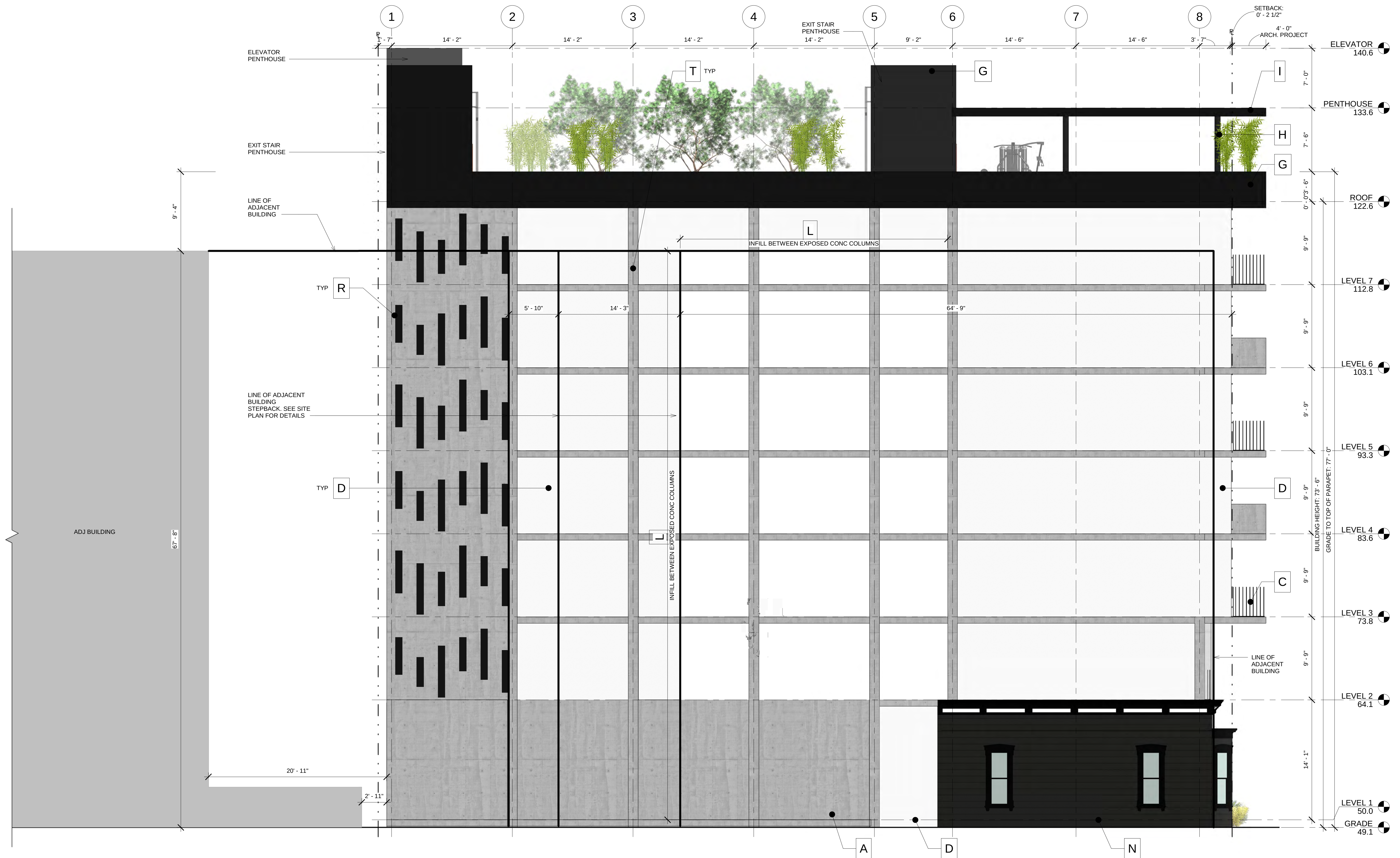
A CAST IN PLACE CONC	E PLANTER - CAST IN PLACE CONC	I FASCIA - BLACK ALUM	M BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.	P BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209	S SCORE JOINT
B STOREFRONT - BLACK ALUM	F SLIDING DOOR - BLACK ALUM	J WINDOW SYSTEM - BLACK ALUM	N HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM	Q FIRE RATED GLAZING	T EXPOSED CONC COLUMN
C GUARDRAIL - BLACK ALUM	G SMOOTH ACRYLIC STUCCO - BLACK	K MTL ENTRY DOOR - BLACK	O NOT USED	R INSET COLOR PANEL	
D SMOOTH ACRYLIC STUCCO - WHITE	H STL PIPE COLUMN - BLACK ALUM	L PTD DENSGLASS - WHITE			



PROJECT/CLIENT:

EZABELLE

A4.1



① SOUTH ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND

- A
- CAST IN PLACE CONC
- B
- STOREFRONT - BLACK ALUM
- C
- GUARDRAIL - BLACK ALUM
- D
- SMOOTH ACRYLIC STUCCO - WHITE

- E
- PLANTER - CAST IN PLACE CONC
- F
- SLIDING DOOR - BLACK ALUM
- G
- SMOOTH ACRYLIC STUCCO - BLACK
- H
- STL PIPE COLUMN - BLACK ALUM

- I
- FASCIA - BLACK ALUM
- J
- WINDOW SYSTEM - BLACK ALUM
- K
- MTL ENTRY DOOR - BLACK
- L
- PTD DENSGLASS - WHITE

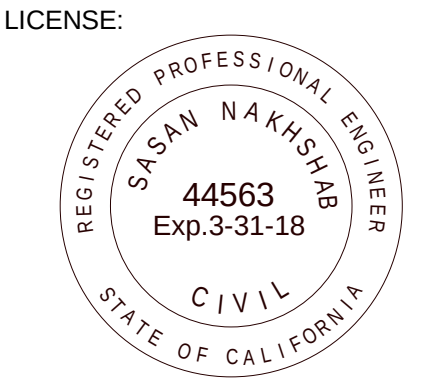
- M
- BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.
- N
- HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM
- O
- NOT USED

- P
- BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209
- Q
- FIRE RATED GLAZING
- R
- INSET COLOR PANEL

- S
- SCORE JOINT
- T
- EXPOSED CONC COLUMN



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SHEET TITLE:

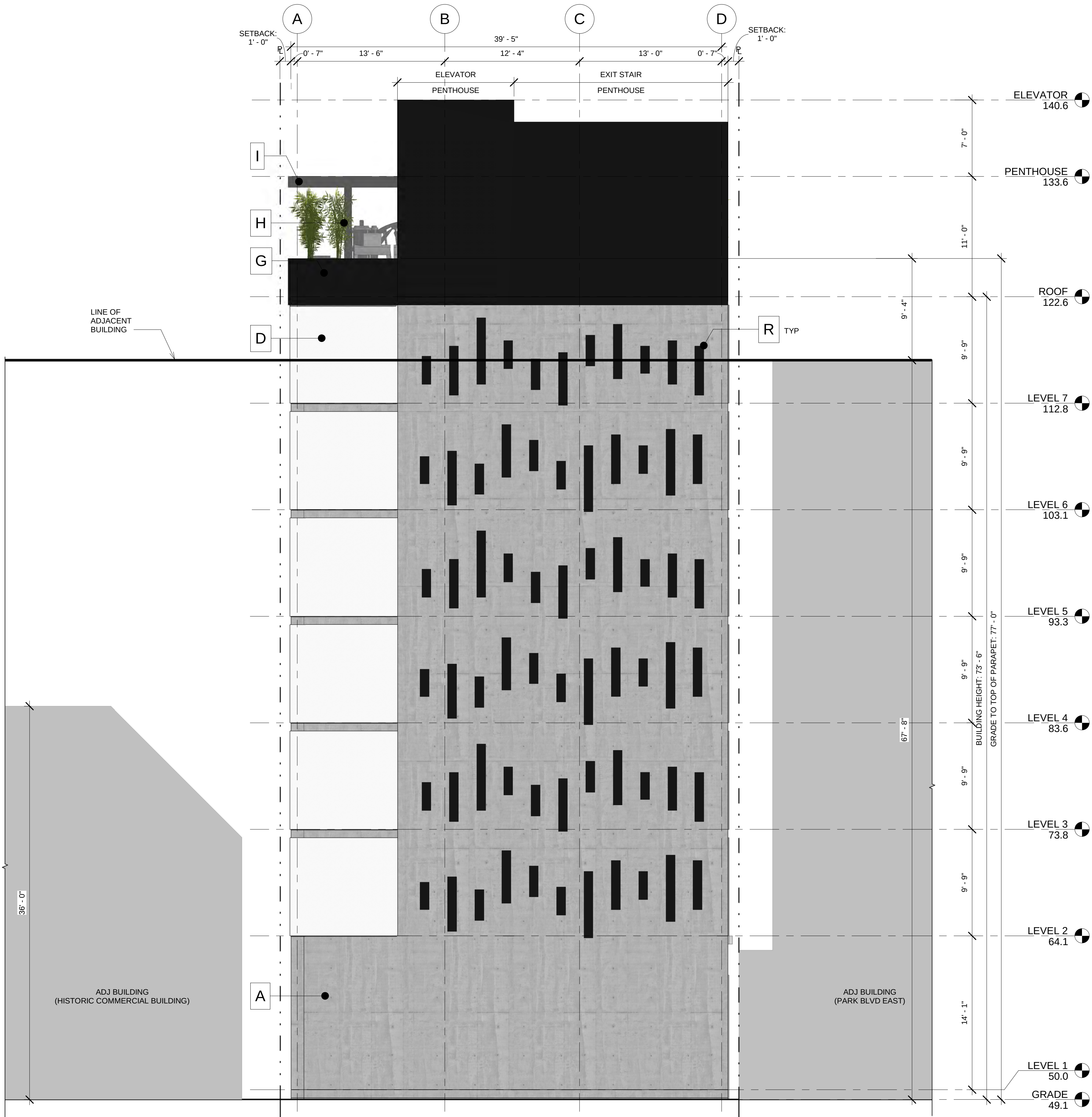
ELEVATION -
WEST

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

A4.2



1 WEST ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND

- A CAST IN PLACE CONC
B STOREFRONT - BLACK ALUM
C GUARDRAIL - BLACK ALUM
D SMOOTH ACRYLIC STUCCO - WHITE

- E PLANTER - CAST IN PLACE CONC
F SLIDING DOOR - BLACK ALUM
G SMOOTH ACRYLIC STUCCO - BLACK
H STL PIPE COLUMN - BLACK ALUM

- I FASCIA - BLACK ALUM
J WINDOW SYSTEM - BLACK ALUM
K MTL ENTRY DOOR - BLACK
L PTD DENSGLASS - WHITE

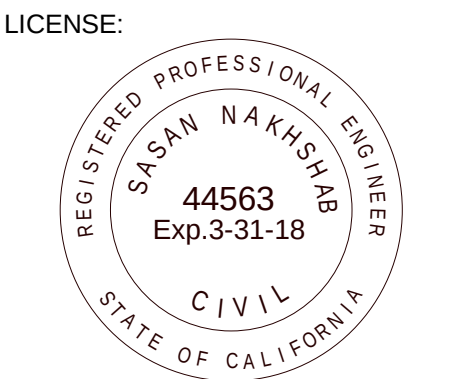
- M BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.
N HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM
O NOT USED

- P BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209
Q FIRE RATED GLAZING
R INSET COLOR PANEL

- S SCORE JOINT
T EXPOSED CONC COLUMN



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EZABELLE

SHEET TITLE:

ELEVATION -
NORTH

PROJECT NO.:

DATE:
01-23-2018

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A4.3



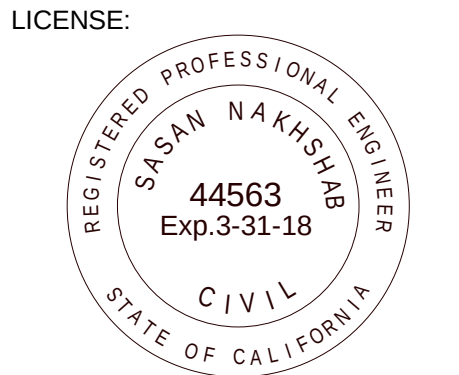
1 NORTH ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND

A	CAST IN PLACE CONC	E	PLANTER - CAST IN PLACE CONC	I	FASCIA - BLACK ALUM	M	BACKFLOW PREVENTER & SCREEN. SEE A1.0 FOR DETAILS.	P	BLACK ALUM ADDRESS SIGNAGE PER SDMC 95.0209	S	SCORE JOINT
B	STOREFRONT - BLACK ALUM	F	SLIDING DOOR - BLACK ALUM	J	WINDOW SYSTEM - BLACK ALUM	N	HISTORIC HOME: PAINTED WD SIDING, CORNICE, WINDOW & DOOR TRIM	Q	FIRE RATED GLAZING	T	EXPOSED CONC COLUMN
C	GUARDRAIL - BLACK ALUM	G	SMOOTH ACRYLIC STUCCO - BLACK	K	MTL ENTRY DOOR - BLACK	O	NOT USED	R	INSET COLOR PANEL		
D	SMOOTH ACRYLIC STUCCO - WHITE	H	STL PIPE COLUMN - BLACK ALUM	L	PTD DENSGLASS - WHITE						



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SHEET TITLE:

ENLARGED ELEVATION

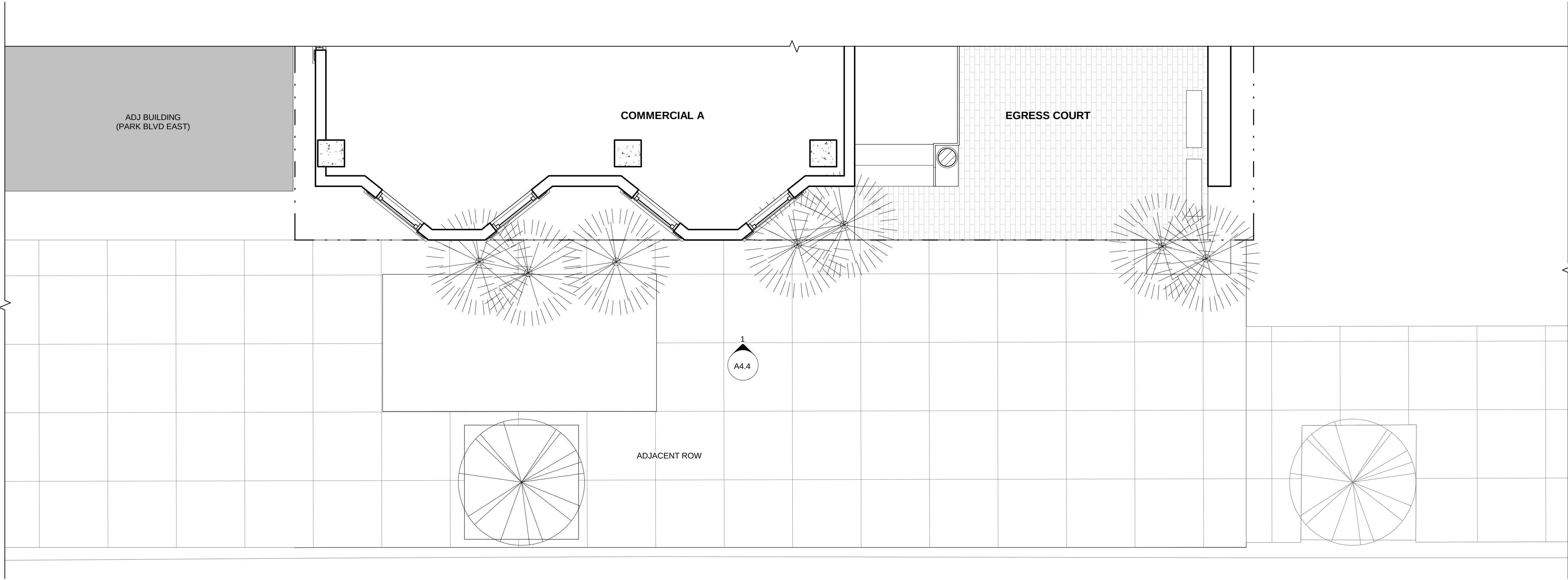
PROJECT NO.:

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SHEET NO.:

A4.4



② LEVEL 1
3/8" = 1'-0"

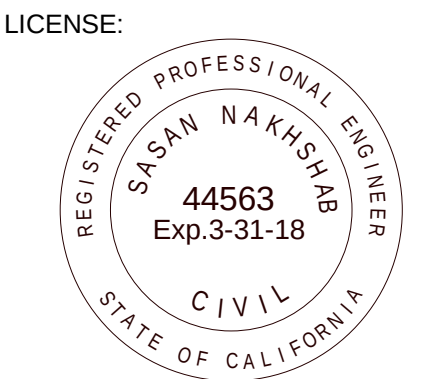


① ENLARGED STREET ELEVATION
3/8" = 1'-0"





ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15TH ST, SUITE 100
SAN DIEGO, CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

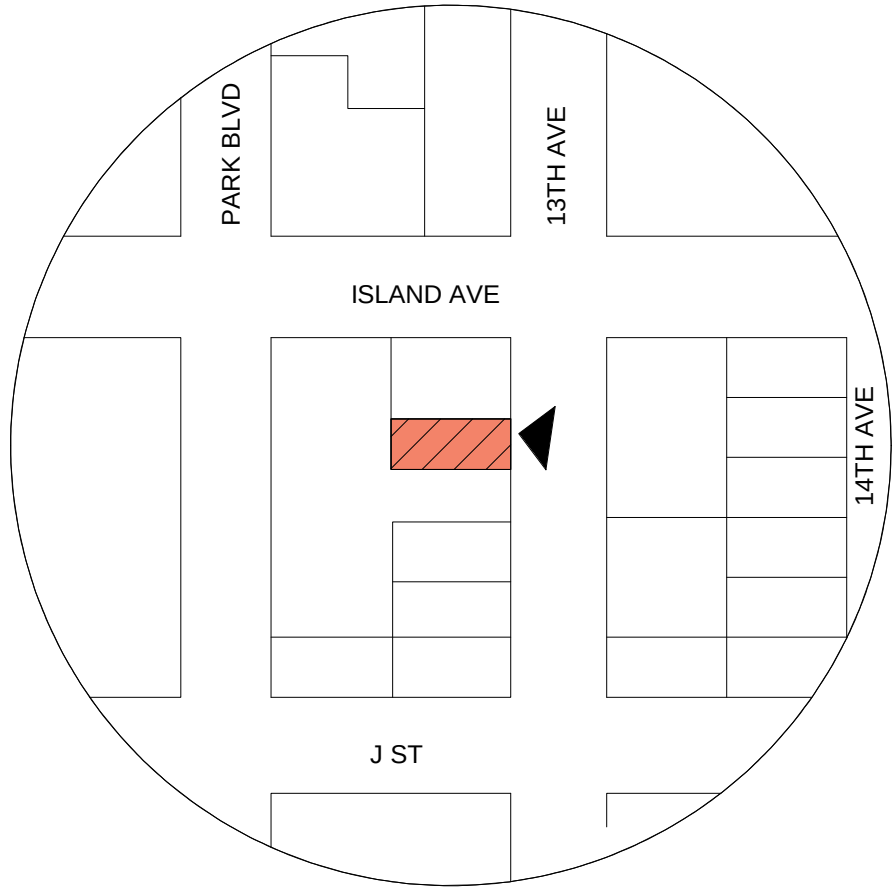
RENDERING 1

PROJECT NO.:

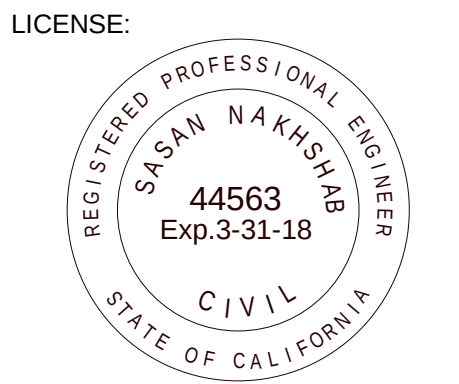
DATE:
01-23-2018

SHEET NO.:

A5.1



ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15TH ST, SUITE 100
SAN DIEGO, CA 92101
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REVISIONS:	
ITEM	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

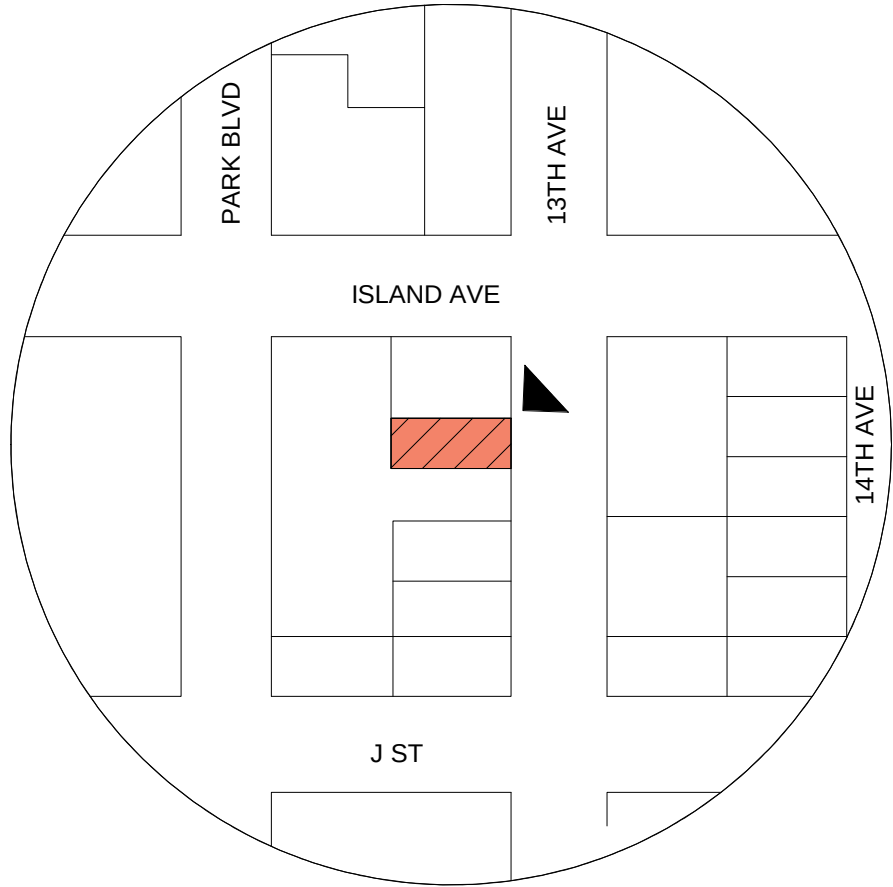
RENDERING 2

PROJECT NO.:

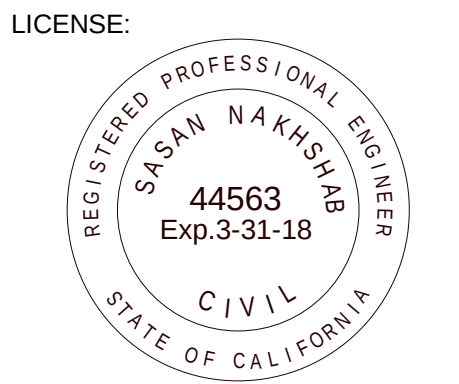
DATE:
01-23-2018

SHEET NO.:

A5.2



ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15TH ST, SUITE 100
SAN DIEGO, CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET



REVISIONS:
ITEM DATE DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101
EZABELLE

SHEET TITLE:

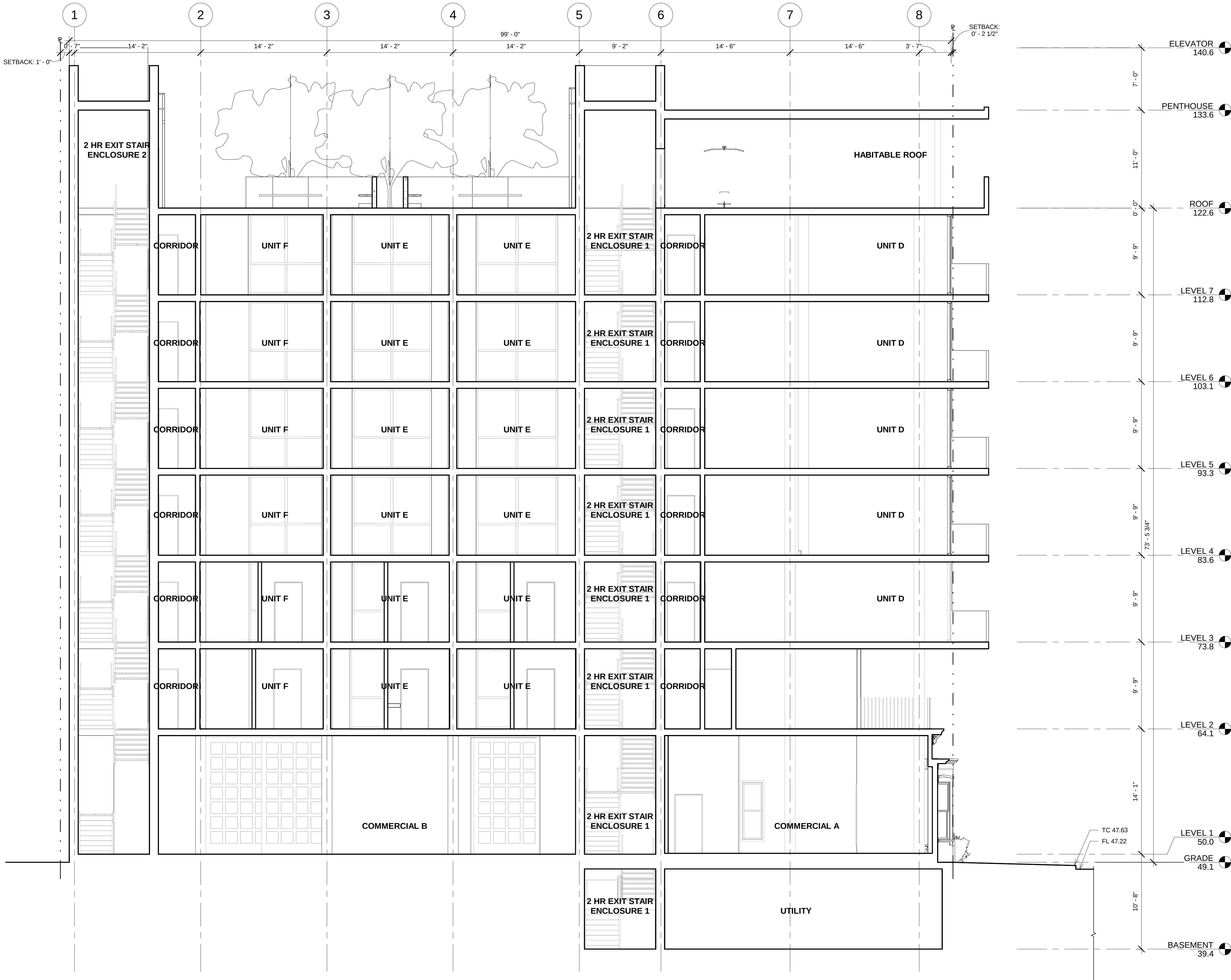
RENDERING 3

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

A5.3



SECTION 1
3/16" = 1'-0"



ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15TH ST. SUITE 100
SAN DIEGO, CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

SECTION 1

PROJECT NO.:

DATE:
01-23-2018

SHEET NO.:

A6.0



1 SECTION 2
3/16" = 1'-0"



ARCHITECTURE
ENGINEERING
BUILD
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340 15TH ST. SUITE 100
SAN DIEGO, CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET



REVISIONS:		
ITEM	DATE	DESCRIPTION
1	02/22/18	CSD Response

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

SHEET TITLE:

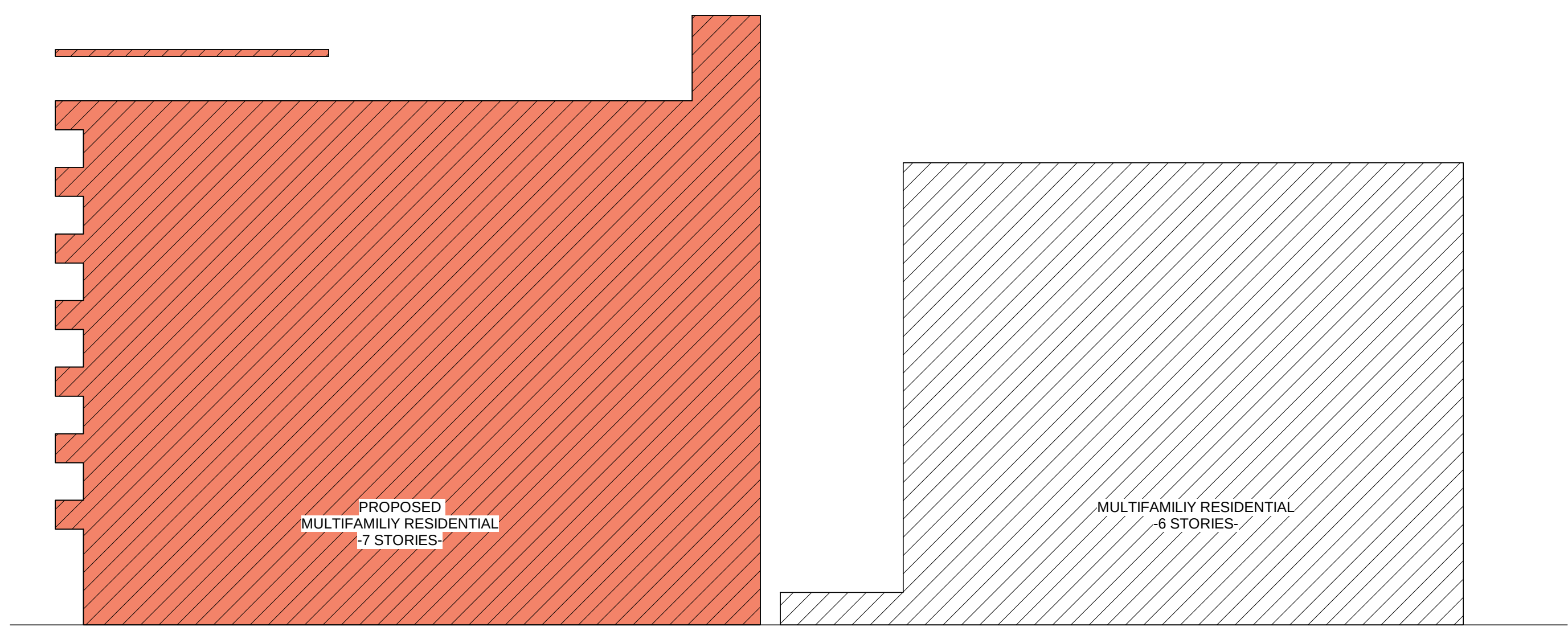
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PROJECT NO.:

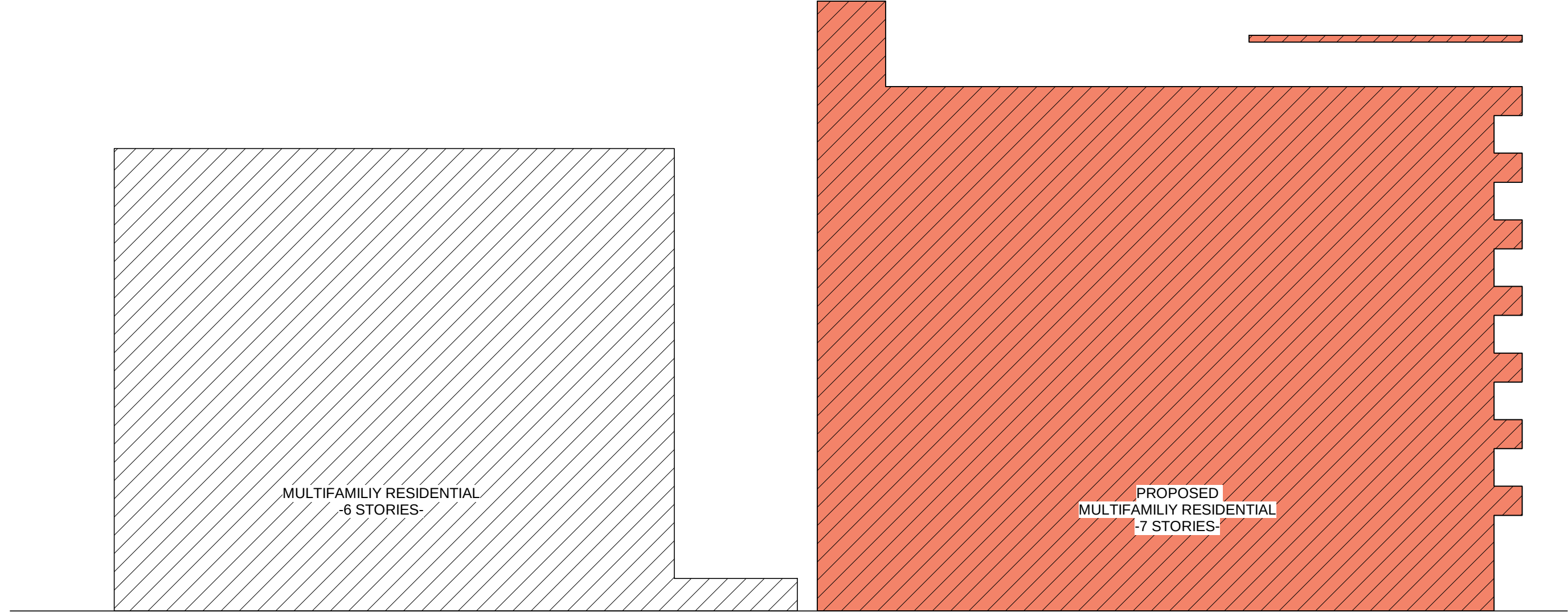
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01-23-2018

SHEET NO.:

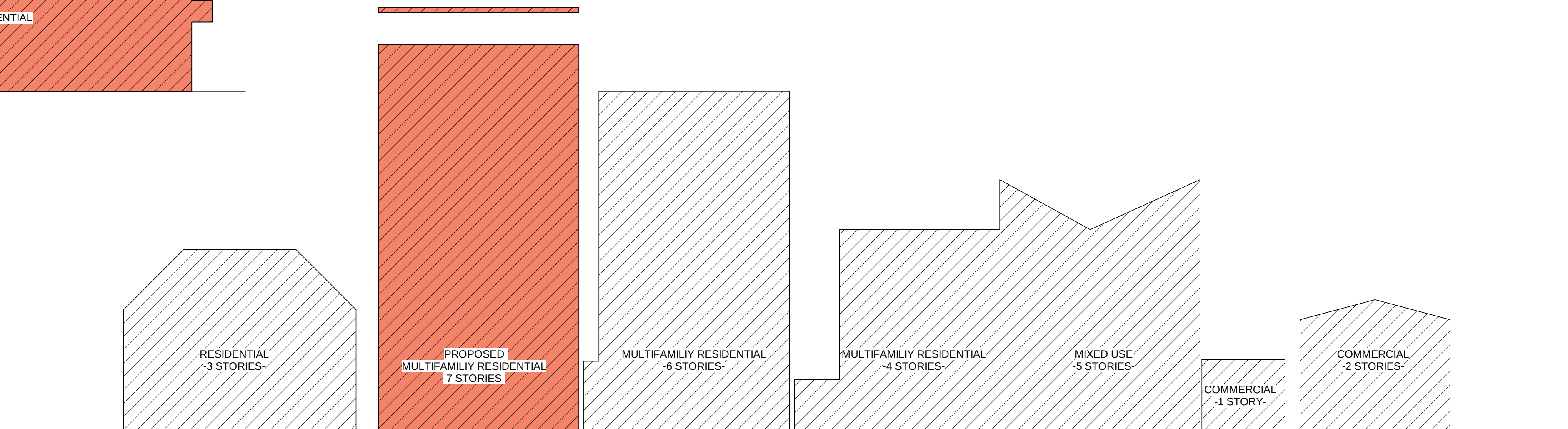
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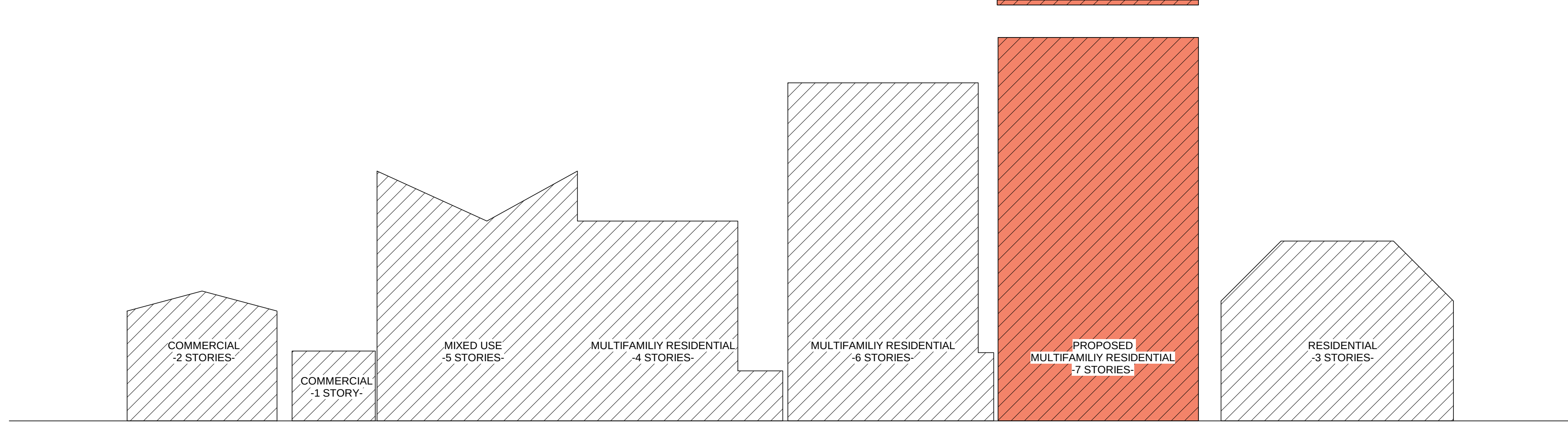
VICINITY ELEVATION - LOOKING SOUTH



VICINITY ELEVATION - LOOKING NORTH



VICINITY ELEVATION - 13TH STREET - LOOKING EAST



VICINITY ELEVATION - 13TH STREET - LOOKING WEST

① VICINITY ELEVATIONS
1/16" = 1'-0"



ARCHITECTURE
ENGINEERING
BUILD
GREEN
340 15TH ST, SUITE 100
SAN DIEGO, CA 92101
P:619.255.7257 F:619.255.7833
WWW.NDDINC.NET

LICENSE:



REVISIONS:

ITEM	DATE	DESCRIPTION
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PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

VICINITY ELEVATIONS

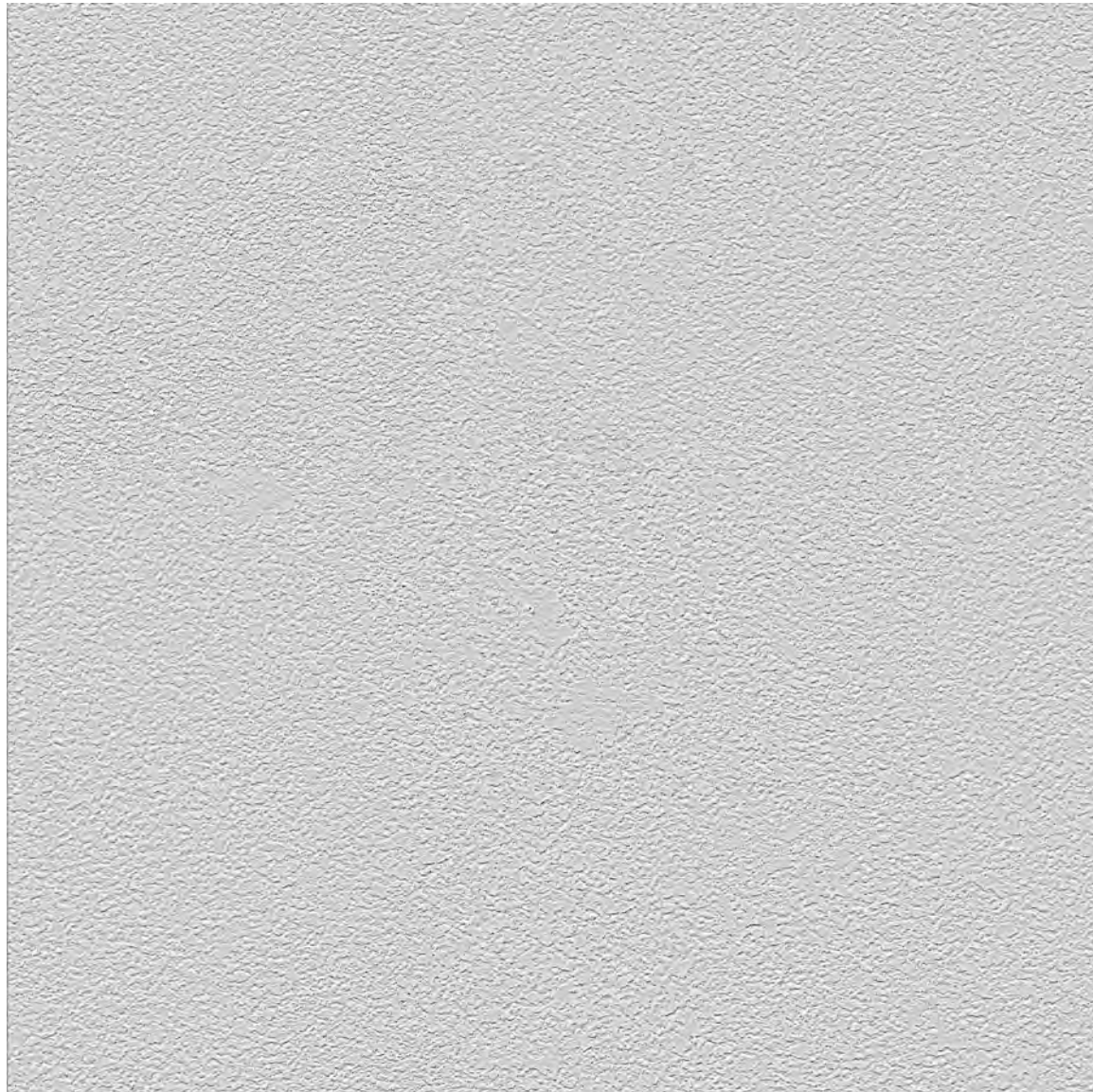
PROJECT NO.:

DATE:

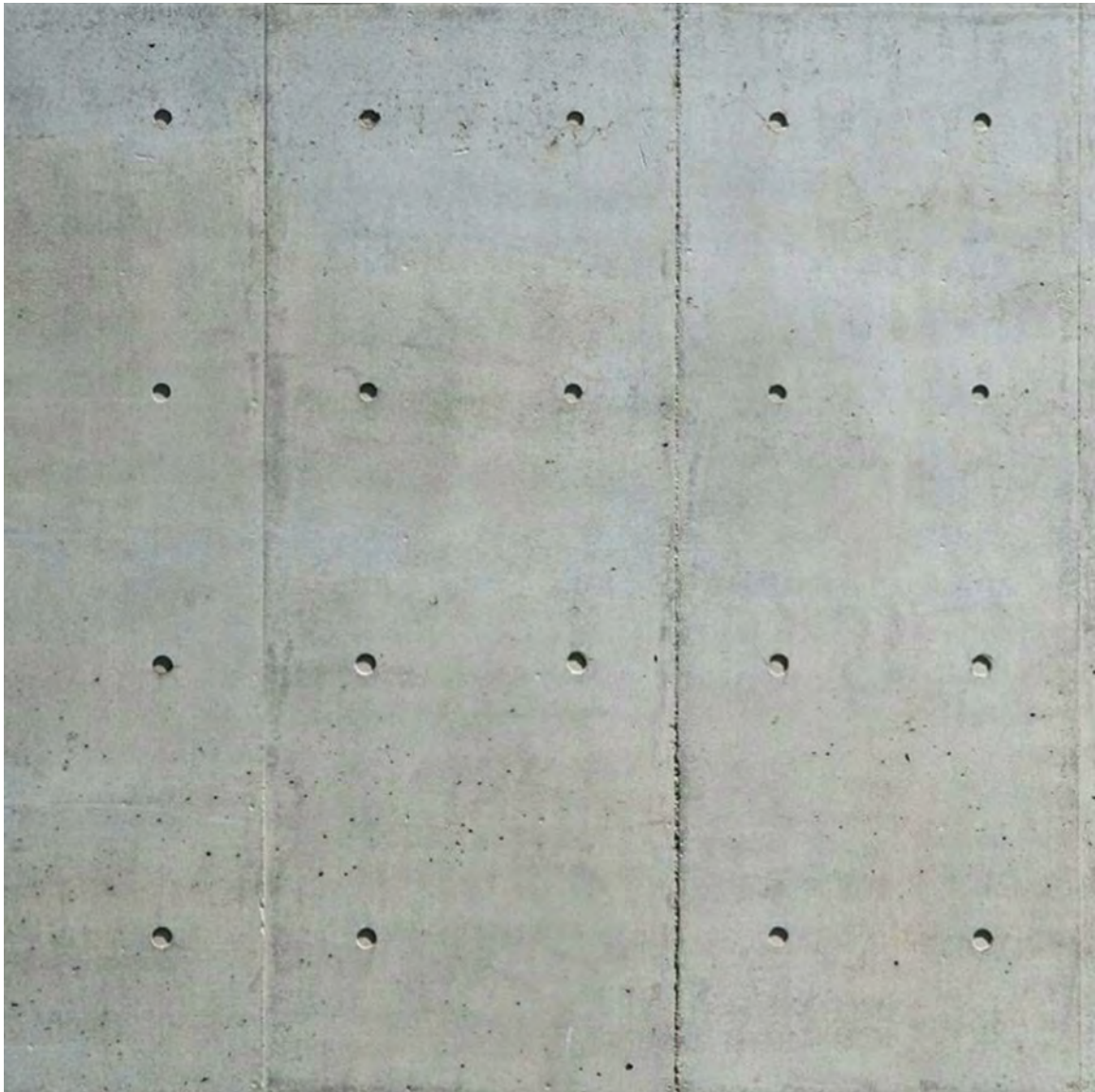
01-23-2018

SHEET NO.:

A7.0



SMOOTH STUCCO - WHITE



POURED IN PLACE CONCRETE



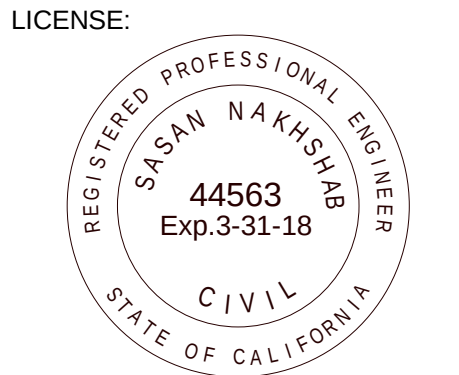
ANODIZED ALUMINUM - BRONZE



BLACK PAINTED MTL



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BUILD
GREEN
340 15TH ST, SUITE 100
SAN DIEGO, CA 92101
P:619.255.7257 F:619.255.7833
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REVISIONS:		
ITEM	DATE	DESCRIPTION

PROJECT/CLIENT:

454 13TH STREET
SAN DIEGO, CA 92101

EZABELLE

SHEET TITLE:

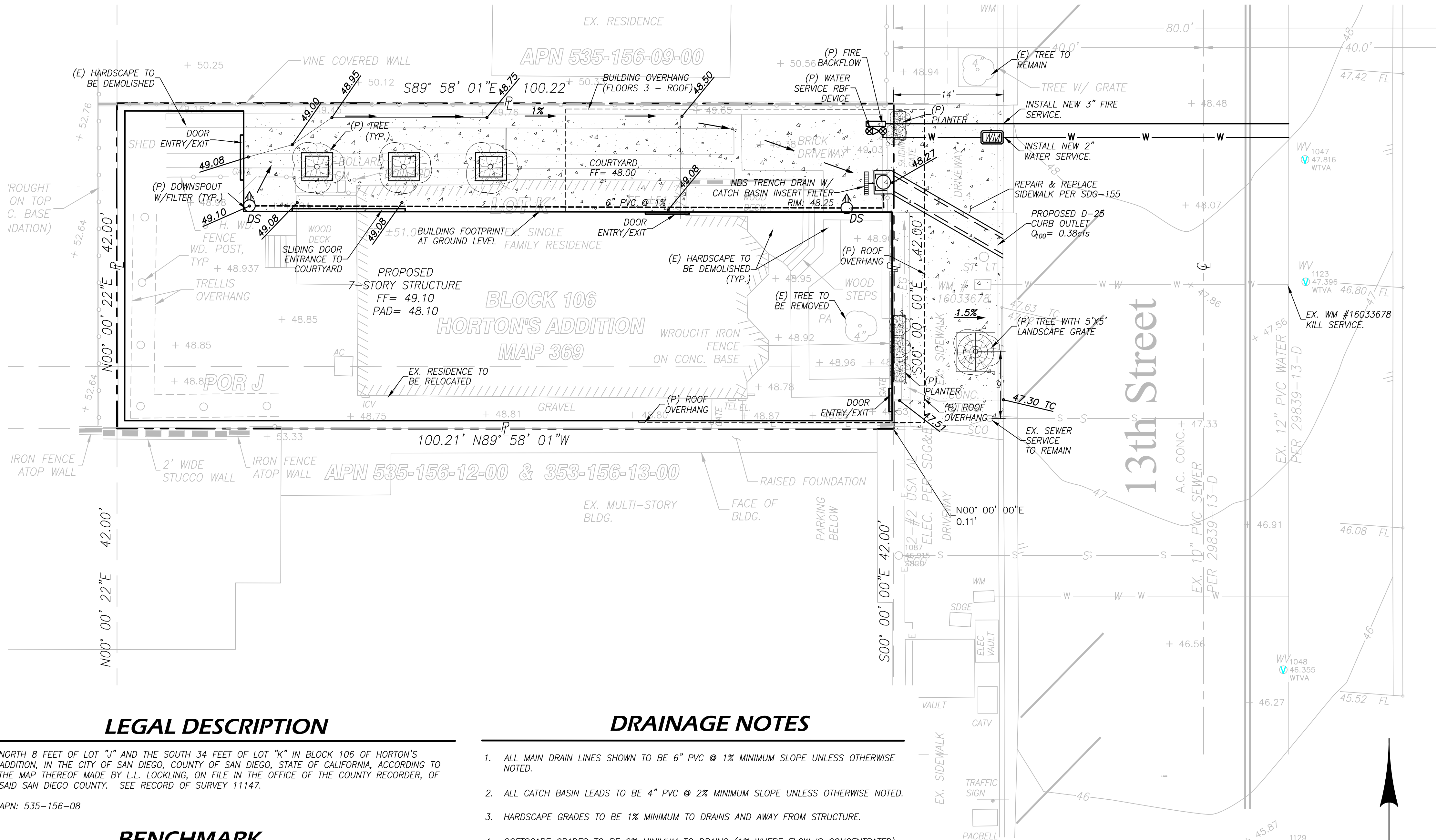
MATERIAL BOARD

PROJECT NO.:

DATE:

01-23-2018

SHEET NO.:



LEGAL DESCRIPTION

NORTH 8 FEET OF LOT "J" AND THE SOUTH 34 FEET OF LOT "K" IN BLOCK 106 OF HORTON'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF MADE BY L.L. LOCKLING, ON FILE IN THE OFFICE OF THE COUNTY RECORDER, OF SAID SAN DIEGO COUNTY. SEE RECORD OF SURVEY 11147.

APN: 535-156-08

BENCHMARK

NWBP, ON TOP OF INLET AT 14th STREET & J AVENUE
ELEV = 28.822 ; DATUM: NGVD29; CITY OF SAN DIEGO VERTICAL BENCHMARK BOOK.

DRAINAGE NOTES

- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN LEADS TO BE 4" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
- SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
- SOIL COVER ABOVE DRAIN LINES SHALL BE 12" UNLESS OTHERWISE NOTED.
- NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.

UTILITY NOTE

- THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

GRADING TABULATIONS

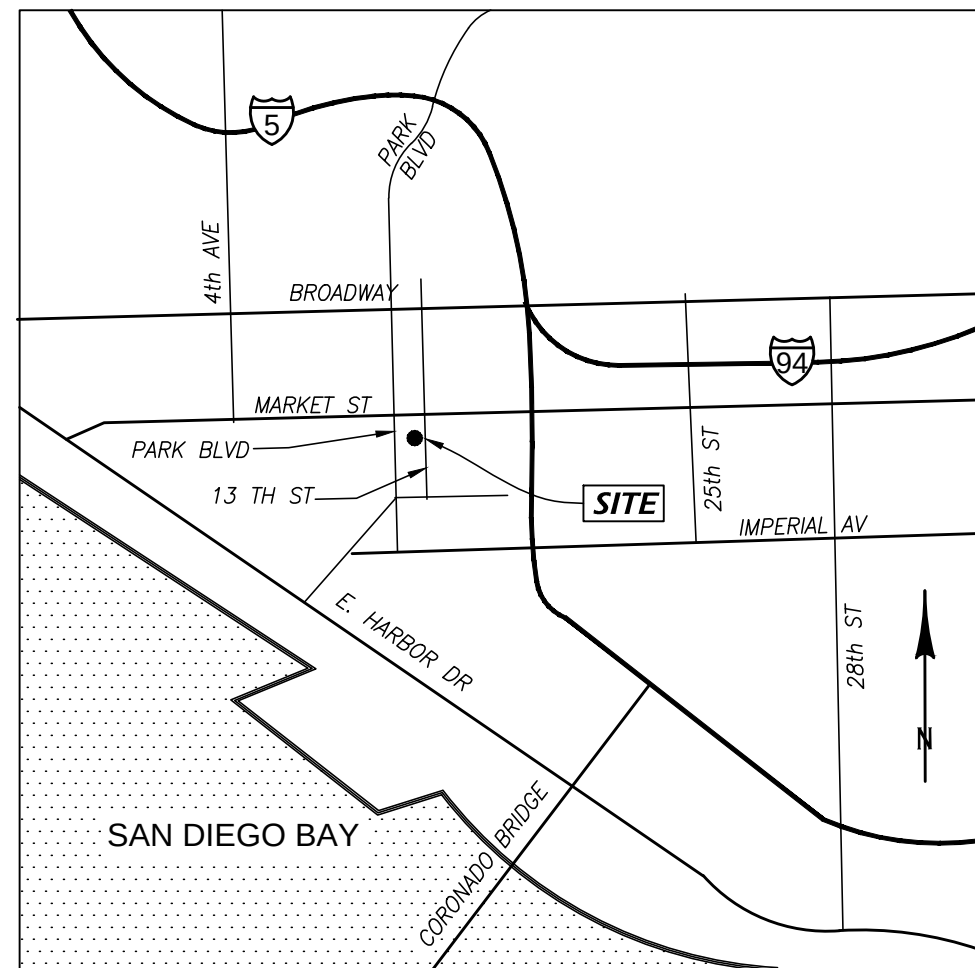
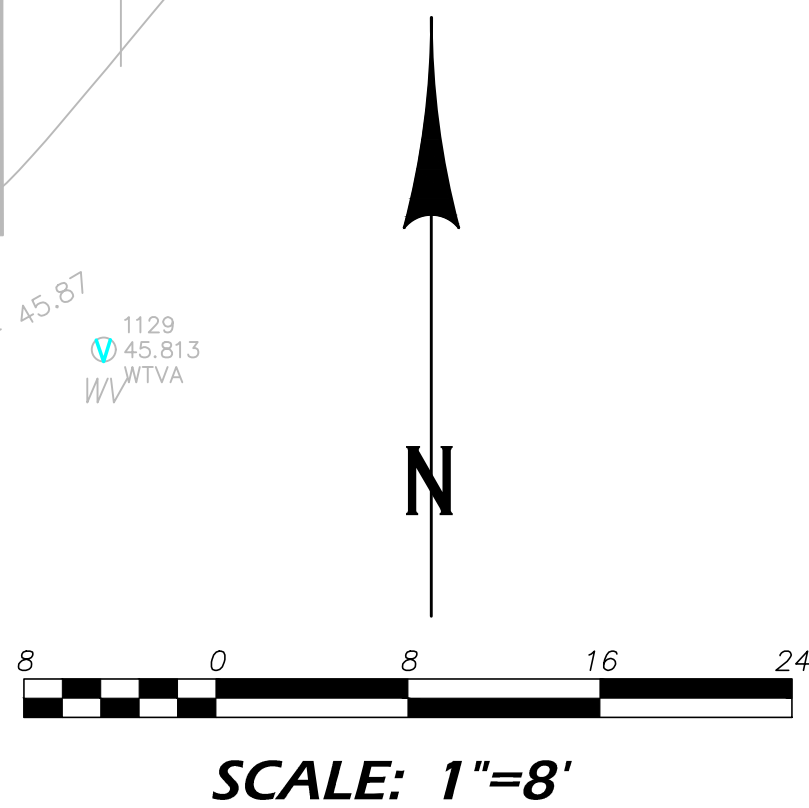
TOTAL AMOUNT OF SITE TO BE GRADED:	0.096 AC.	% OF TOTAL SITE:	100%
AMOUNT OF CUT:	80 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	3 FEET
AMOUNT OF FILL:	0 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	1 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	80 CUBIC YARDS		
RETAINING/ CRIB WALLS:	LENGTH N/A FEET	MAXIMUM HEIGHT:	N/A FEET

LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE		N45°45'45"W
EXISTING CONTOUR		90
PROPOSED CONTOUR		90
EXISTING SPOT ELEVATION		100.00
PROPOSED SPOT ELEVATION		100.00
BUILDING FOOTPRINT		
EXISTING SEWER-MAIN		
EXISTING WATER MAIN		
2" WATER LINE		
3" FIRE LINE		
DIRECTION OF FLOW		
4" PVC DRAIN LINE (1% MIN.)	SDR-35 (U.N.O.)	
PCC CONCRETE PAVEMENT		
CURB OUTLET	D-25	
PROPOSED TREE		
PROPOSED DOWNSPOUT		

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FLD BK	FIELD BOOK
A.C.	ASBESTOS CEMENT	H	HIGH
BLK	BLOCK	ICV	IRRIGATION CONTROL VALVE
BRK	BRICK	L.P.	LOW PRESSURE
BW	GRADE AT BOTTOM OF WALL	PLTR	PLANTER
C	CENTER LINE	PVMT	PAVEMENT
C. CONC	CONCRETE	SCO	SEWER CLEANOUT
C.O.	CLEANOUT	SMH	SEWER MANHOLE
EL	ELECTRIC	TEL	TELEPHONE
ELEV	ELEVATION	TW	GRADE AT TOP OF WALL
FL	FLOW LINE	TYP	TYPICAL
		WM	WATER METER



VICINITY MAP

THOMAS BROS. MAP 1289-B4
NO SCALE

COFFEY ENGINEERING, INC.



9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (858)831-0111 FAX (858)831-0179



13th Street Historic

454 13th Street
San Diego, CA 92101

DRAWN BY: EK

CHECKED BY: JC

ORIGINAL 04/13/18

REVISION 1

REVISION 2

REVISION 3

REVISION 4

REVISION 5

Preliminary
Grading Plan

SCALE: 1" = 8'

C.1

SHT 1 OF 1 SHTS