



THE CITY OF SAN DIEGO

## Report to the Historical Resources Board

DATE ISSUED: May 14, 2020 REPORT NO. HRB 20-024

HEARING DATE: May 28, 2020

SUBJECT: **ITEM #6 – 1398 Lieta Street Project Site Development Permit**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\) link](#)

APPLICANT: Almeria Investments LP; represented by Scott Moomjian

LOCATION: 1398 Lieta Street, Clairemont Mesa Community, Council District 2  
APN 430-680-09

DESCRIPTION: Recommend to the Planning Commission adoption of the mitigation measures and findings associated with the site development permit as presented or recommend inclusion of additional permit conditions related to a designated historical resource.

### STAFF RECOMMENDATION

Recommend to the Planning Commission approval of the Site Development Permit findings and mitigation measures and findings associated with the site development permit related to the designated resource located at 1398 Lieta Street (HRB Site #1305, the Aizo and Komume Sogo Farm) as presented.

### BACKGROUND

The City's Land Development Code Section 126.0503(b)(2) requires a recommendation from the Historical Resources Board prior to the Planning Commission decision on a Site Development Permit when a historical district or designated historical resource is present. The HRB has adopted the following procedure for making recommendations to decision-makers (Historical Resources Board Procedures, Section II.B):

When the Historical Resources Board is taking action on a recommendation to a decision-maker, the Board shall make a recommendation on only those aspects of the matter that relate to the historical aspects of the project. The Board's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the Site Development Permit findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the Board desires to recommend the inclusion of

additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

The project application proposes a substantial alteration of the Aizo and Komume Sogo Farm (HRB Site #1305). The subject property contains a single-family residence constructed in 1937 and garage constructed in 1956. The Minimal Traditional style house was originally located at the northwestern property boundary but was relocated in 1956 to the southwestern portion of the property. By 1938 the subject property was owned and occupied by the family of Aizo and Komume Sogo who farmed the land and sold their crops at the hakuji market. In 1942, at the beginning World War II, the family was sent to the Colorado River Relocation Center (Poston War Relocation Center). They remained at this internment camp until 1945, after which time, they returned to the Lieta Street property.

In July 1953, Azio and Komume Sogo were among the first of five Japanese-born individuals to become naturalized citizens of the United States in San Diego. Previously, natives of Japan, except for World War II veterans, were one of the nationalities barred from citizenship until the passage of the Immigration and Nationality Act of 1952 (aka the McCarran Walter Act). In February 1954, as citizens, the Sogos obtained ownership of the Lieta Street property. In 1962, the Sogos sold three acres of the land which had been zoned residential and commercial. Aizo died in 1974 and Komume, who remained at the property after his death, died in 1983.

The site was reviewed by the Historical Resources Board and designated as HRB Site #1305 on July 26, 2018 under HRB Criterion A as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. The designation excludes the structures located on the parcel.

The applicant proposes to demolish all structures on the site and construct thirteen new three-story town homes, totaling 34,265 square-feet, which contains a 38.75-percent density bonus (four units in addition to what is permitted by the underlying zoning regulations). The units would range from 1,678 to 2,679 square feet, and the development including one affordable unit. (Attachment 2)

## ANALYSIS

Although the structures on site were not included in the designation, the redevelopment of the site and the use of the site for anything other than its historic use will adversely impact the context of the site through alteration of the setting, feeling and association. Therefore, the proposed demolition and redevelopment of the designated site is by definition a substantial alteration requiring a site development permit, consistent with Municipal Code Section 143.0251. Impacts related to the proposed demolition would be reduced through implementation of the required mitigation measures found in the Mitigated Negative Declaration (Attachment 3). Findings for the substantial alteration of a designated historical resource are required for approval of the permit, consistent with Municipal Code Section 126.0504(i).

The required Supplemental Findings and supporting information are provided in Attachment 4 and are summarized below.



**1. There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource or historical district;**

The Aizo and Komume Sogo Farm was designated as HRB Site #1305 on July 26, 2018 as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. The designation excluded all of the structures on the parcel. Although the structures were not included in the designation, they do provide context for the Sogo Farm site; therefore, their removal and construction of the new project will adversely impact the setting, feeling and association of the site. However, the continued use of this site as an agricultural property is not a feasible alternative because no portion of the subject property is zoned AR, an Agricultural Residential Zone, and therefore cannot be used as it was historically. While the use of this site for purposes other than its historic agricultural use will result in a loss of historic context; the proposed project will mitigate this impact to the historic setting, feeling and association of the site through the incorporation of an interpretive story board on the property which will detail the history and significance of the Sogo family and the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. Mitigation will also include an etched glass panel fence placed on the slope in a highly visible location above Morena Boulevard that will depict the property's historic use as a farm.

**2. The deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource have been provided by the applicant; and**

The applicant evaluated three different alternatives, including the proposed project, in an Economic Alternative Analysis conducted by London Moeder Advisors (Attachment 4) which found only the base project economically viable. Alternative 1 analyzed restoration of the property to its historic use by rehabilitating the existing residence and returning the remaining land to a dormant state because an agricultural use would not be allowed by the current zoning regulations. This alternative was not found to be economically feasible because the cost of the land is more than the anticipated sale price of the single-family home. Alternative 2 analyzed the demolition of the existing residence and the construction of three new single-family homes. This scenario provided a less dense development alternative that would reduce the impact to the historic resource. This alternative was also found to be economically infeasible because the purchase price of the land as well as the cost to construct the three new residences was more than the combined anticipated sale prices of the units. A peer review conducted by the City of San Diego's Economic Development Department confirmed the results of the London Moeder study (Attachment 5).

While the use of this site for any other purpose other than its historic use will result in a loss of historic context; the proposed project will mitigate this impact to the historic setting, feeling and association of the site. Historical Resource mitigation measures have been developed and adopted within the Project's Final Mitigated Negative Declaration - conditioning issuance of building permits upon prior submittal of a plan showing the design and location of both an interpretive story board and an etched glass panel fence and conditioning any Certificate of Occupancy upon prior installation of the

approved story board to preserve the history of the site in the public realm. The story board will be placed at the entrance of the property at the western terminus of Tonopah Street and will use the story of the Sogo family and their farm to provide information about the Issei/Japanese-American agricultural practices specific to the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities during this time period. The etched panel fence will be located on the edge of the property above the highly trafficked Morena Boulevard and will use illustrations of row crops, historically grown in the Mission Bay area by the Japanese farmers, to depict the history of the resource. Neither the existing structures nor any elements of the landscape were included in the designation; therefore, no further mitigation such as HABS (Historic American Building Survey) or HALS (Historic American Landscape Survey) documentation is required.

**3. The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, “economic hardship” means there is no reasonable beneficial use of a property and it is not feasible to derive a reasonable economic return from the property.**

The denial of the proposed development would result in economic hardship to the owner. Returning the property to its historic use as a farm is not feasible because current zoning does not allow for agricultural use. Furthermore, rehabilitating the existing structures for resale would not generate enough income to cover the purchase price of the property. There is no reasonable beneficial use of the property that does not require complete redevelopment in order to derive a reasonable economic return from the property.

HRB staff believes that there is sufficient evidence to support the permit Findings. In addition, HRB staff believes that the proposed Cultural Resources Mitigation Measures 1, 2 and 3 of the Mitigation Monitoring and Reporting Program are sufficient to reduce the identified impacts to the Aizo and Komume Sogo Farm, HRB #1305.

1. Prior to the issuance of the first building permit, the Applicant/Owner/Permittee shall submit a plan showing the design and location of the interpretive story board to be placed proximate to the terminus of Tonopah Avenue at the project’s driveway to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board with subsequent staff approval.
2. Prior to the issuance of the first building permit, the Applicant/Owner/Permittee shall submit a plan showing the design and location of the decorative fence element with etched pattern to mimic row planting to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board with subsequent staff approval.
3. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall install the interpretive story board and decorative fencing element in the locations identified on the previously approved plans for the Designated Historic Site. The Owner/Permittee shall be responsible for funding and implementing the long-term management of the story board in perpetuity.

The mitigation requirements and permit conditions are consistent with the recommendations of the HRB at the July 2018 designation hearing, at which time members of the Board suggested that interpretive signage be incorporated into any future project to detail the significance of the site. The mitigation requirements and permit conditions provided would reduce environmental impacts to a level below significance. HRB staff recommends that the Board recommend to the Planning Commission adoption of the mitigation measures and findings associated with the site development permit related to the designated historical resource as presented.

#### CONCLUSION

Staff concurs with the mitigation and agrees that there is substantial evidence to support the required findings and recommends that the HRB recommend to the Planning Commission adoption of the mitigation measures and findings associated with the Site Development Permit related to the designated historical resource.

  
Suzanne Segur  
Senior Planner/ HRB Liaison  
Jeffrey A. Peterson  
Development Project Manager

SS/jp

#### Attachments:

1. Draft Site Development Permit Resolution
2. Site Plans
3. Mitigated Negative Declaration No. 512890
4. Draft Site Development Permit Findings and Economic Alternatives Analysis
5. Peer Review of Economic Alternatives Analysis

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006995

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1823446  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2011943  
**1398 LIETA STREET -PROJECT NO. 512890 [MMRP]**  
PLANNING COMMISSION

This Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943 is granted by the Planning Commission of the City of San Diego to ALMERIA INVESTMENTS, LP, a California Domestic Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0505 and 126.0404. The 0.615-acre site is located at 1398 Lieta Street (new address: 4200 Tonopah Avenue) in the CC-4-5 and RS-1-7 Zones within the Clairemont Mesa Community Plan area. The project site is also located in the Airport Influence Area (AIA) Review Area 2 for San Diego International Airport (SDIA), the Federal Aviation Administration (FAA) Part 77 Notification Area (SDIA - 155-feet MSL), and the Clairemont Mesa Height Limit Overlay Zone. The project site is legally described as: The southwesterly 100 feet of all that portion of Lot 5 of pueblo lot 225 according to referee's partition map files in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., Case No. 3475 filed in the Superior Court of the County of San Diego, lying southwest the centerline of Asher Street, as said street existed on January 21, 1944. Excepting therefrom the following parcels: A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway. B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 6029, Page 122 of official records. C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 17 of first addition to Asher's cloverleaf terrace, according to Map thereof No. 1666, filed in the Office of the County Recorder of San Diego County, and the northeasterly prolongation of said southeasterly line, and lying northeasterly of the northwesterly prolongation of the southwest line of Lot 17 in Block 17 of said First Addition to Asher's cloverleaf terrace. D. That portion lying within Lahoud Terrace, according to Map thereof No. 3134, filed in the Office of the County Recorder of San Diego County, October 4, 1954.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of an existing single dwelling unit and the construction of 13 dwelling units; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated \_\_\_\_\_, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single dwelling unit, and the construction of 13 dwelling units within two 3-story buildings, totaling 34,265 square-feet, which contains a 38.75-percent density bonus (four units in addition to what is permitted by the underlying zoning regulations). The units would range from 1,678 to 2,679 square feet, and the development including one affordable unit;
- b. Deviations to the SDMC:
  1. Angled Building Envelope Plane- Deviation to SDMC Section 131.0444(c) to allow for a portion of the building envelope to encroach within the 30-degree angled building envelope plane along the side property lines for structures within the RS-1-7 Zone;
  2. Commercial Component - Deviation to SDMC Section 131.0540(b) to allow for no commercial component as part of the residential development within the CC-4-5 Zone;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by \_\_\_\_\_.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in MITIGATED NEGATIVE DECLARATION NO. 512890 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in [Choose one:] MITIGATED NEGATIVE DECLARATION NO. 512890, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources-Designated Site

**CLIMATE ACTION PLAN REQUIREMENTS:**

14. The Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**AFFORDABLE HOUSING REQUIREMENTS:**

15. Prior to issuance of any building permit, the Owner/Permittee shall demonstrate compliance with the provisions of Chapter 14, Article 3, Division 7 of the San Diego Municipal Code [SDMC] Affordable Housing Density Bonus Regulations.



16. The Owner/Permittee shall enter into a written agreement with the San Diego Housing Commission [Agreement], drafted and approved by the San Diego Housing Commission, executed by the Owner/Permittee, and secured by a deed of trust, that incorporates applicable affordability conditions consistent with the SDMC. Specifically including that, in exchange for the City's approval of the Project, which contains a 38.75-percent density bonus (four units in addition to what is permitted by the underlying zoning regulations), alone or in conjunction with any incentives or concessions granted as part of Project approval. The Owner/Permittee shall provide one (1) unit with a rent of no more than 30-percent of 50-percent of AMI, so as to be considered affordable to very-low income households, for no fewer than 55 years.

17. The Agreement referenced in the preceding paragraph will satisfy the requirements of SDMC Section 143.1303(g) and therefore, exempt the Project from Chapter 14, Article 2, Division 13 of the SDMC Inclusionary Affordable Housing Regulations.

**AIRPORT REQUIREMENTS:**

18. Prior to issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520.

**GEOLOGY REQUIREMENTS:**

19. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

20. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**ENGINEERING REQUIREMENTS:**

21. This Site Development Permit No. 1823446 and Neighborhood Development Permit No. 2011943 shall comply with all Conditions of the Final Map for the Tentative Map No. 2011944.

22. The project proposes to import material to the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

23. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.



24. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet systems in the Morena Boulevard Right-of-Way.
25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard curb and gutter from the project site to the existing curb and gutter on Lieta Street, satisfactory to the City Engineer.
26. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove the existing street light and install a current City Standard Street Light at the northwest corner of Tonopah Avenue and Lieta Street, satisfactory to the City Engineer.
27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to construct at the northwest corner of Tonopah Avenue and Lieta Street, a current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with Detectable/Tactile Warning Tile, satisfactory to the City Engineer.
28. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMPs] maintenance, satisfactory to the City Engineer.
29. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
30. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
31. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

#### **LANDSCAPE REQUIREMENTS:**

32. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
33. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

34. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).

35. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

36. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

37. If any required landscape (including palms/trees on private property serving as street trees along Morena Boulevard, existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

#### **HISTORICAL REQUIREMENTS:**

38. Prior to the issuance of the first building permit, the Applicant/Owner/Permittee shall submit a plan showing the design and location of the interpretive story board to be placed proximate to the terminus of Tonopah Avenue at the project's driveway to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board with subsequent staff approval.

39. Prior to the issuance of the first building permit, the Applicant/Owner/Permittee shall submit a plan showing the design and location of the decorative fence element with etched pattern to mimic row planting to the satisfaction of the Design Assistance Subcommittee of the Historical Resources Board with subsequent staff approval.

40. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall install the interpretive story board and decorative fencing element in the locations identified on the previously approved plans for the Designated Historic Site. The Owner/Permittee shall be responsible for funding and implementing the long-term management of the story board in perpetuity.

#### **PLANNING/DESIGN REQUIREMENTS:**

41. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
43. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.
44. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
45. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **TRANSPORTATION REQUIREMENTS**

46. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
47. Prior to issuance of the first building permit, the Owner/Permittee shall assure by permit and bond the improvement of the project frontage along Tonopah Avenue/Lieta Street, with curb, gutter, sidewalk, and curb ramp consistent with City Standards, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.
48. Permittee must construct and maintain an accessible path from the building entrances to the public street.

#### **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

49. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond the design and construction of an 8-inch public sewer mains within Lieta Street and portion of Tonopah Avenue as shown on the approved Exhibit "A," in a manner satisfactory to the Public Utilities Director and the City Engineer.

50. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

51. The Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

52. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

53. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on \_\_\_\_\_ and pursuant to Resolution No. \_\_\_\_\_.

Permit Type/PTS Approval No.: Site Development Permit No. 1823446  
and Neighborhood Development Permit No. 2011943  
Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**ALMERIA INVESTMENTS, LP**  
a California Domestic Limited Partnership  
Owner/Permittee

By \_\_\_\_\_

Name:  
Title:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



4200 TONOPAH AVENUE,  
SAN DIEGO, CA 92110

The southwesterly 100.00 feet (as measured at right angles from the southwesterly line of lot 5) of all that portion of lot 5 of pueblo lot 255, in the City of San Diego, County of San Diego, State of California; according to referee's partition map filed in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., case no. 3475, filed in the superior court of the County of San Diego, lying southwest of the center line of Asher street, as said street existed on January 21, 1944.

Excepting therefrom the following parcels:

- A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway.
- B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 6029, page 122 of official records.
- C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 10 of the City of San Diego's Cleveland terrace, according to map thereof no. 1686, filed in the office of the county recorder, and the northerly prolongation of said southeasterly line, and lying northeasterly of the northeasterly prolongation of the southwest line of lot 17 in block 17 of said first addition to Asher's Cleveland terrace.
- D. That portion lying within Lahoud terrace, according to map thereof no. 3134, filed in the office of the county recorder of San Diego County, October 4, 1954.

- THIRTEEN (13) R-3 CLASS INDIVIDUAL TOWN HOMES

"I, \_\_\_\_\_, do hereby certify that the structure(s) or modification to existing structures shown on these plans do not require Federal Aviation Administration notification because per Section 77.15(A) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required."

GAS + ELECTRICAL: SDG&E

LANDSCAPE - STONE & GROVE LANDSCAPE ARCHITECTS	
L-1	Landscape Development Plan
L-2	Landscape Development Plan

All ideas, arrangements, drawings and plans set forth on this sheet are the original work product of, owned by and are the property of **dbdr** and use of this said work product is limited to a specified project of the purchaser, and for the construction of one building, any use, reuse or disclosure of said plans, reproductions, ideas, designs and/or arrangements, other than by **dbdr**, is strictly prohibited by law without the written permission of **dbdr**. Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown these drawings.

## PROJECT TEAM

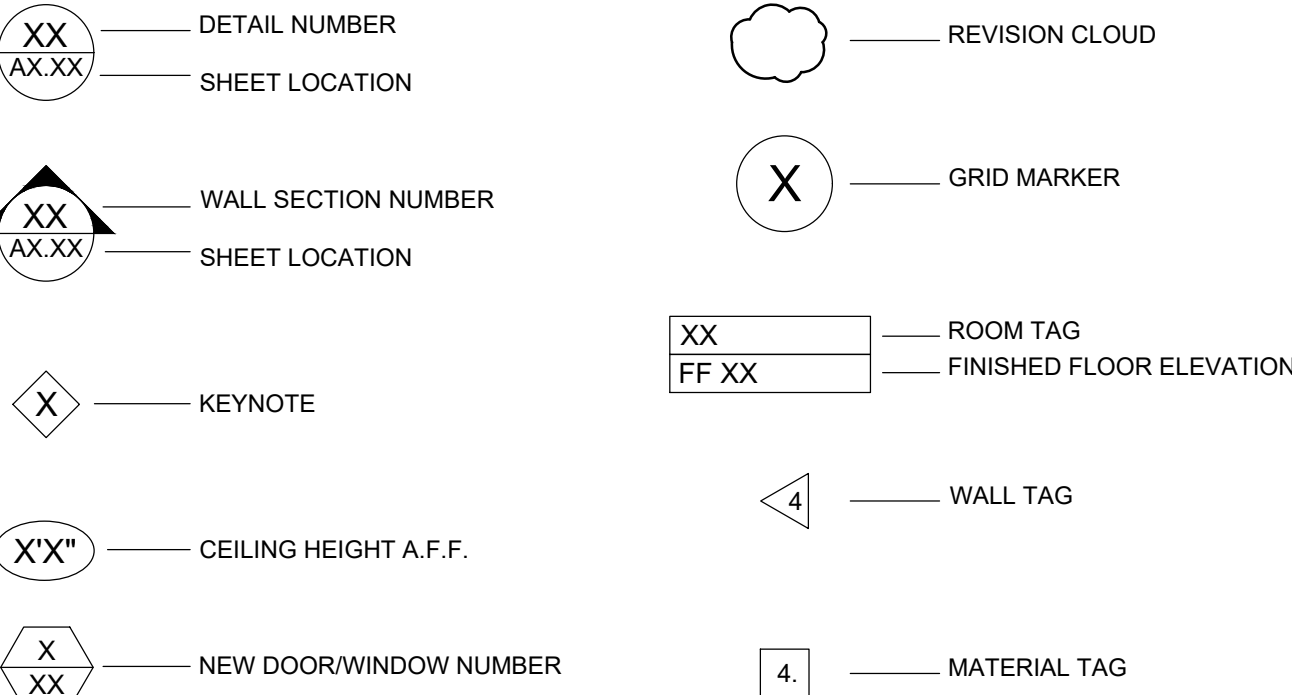
LANDSCAPE ARCHITECT

DRAWING TITLE:  
TITLE SHEET

4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

SHEET NO: A0.00

## GENERAL NOTES



## CODE SUMMARY

## SHEET LIST

	RS-1-7	CC-4-5
LOT AREA:	14,800sf (SEE A.100)	12,000sf (SEE A.100)
EIGHT:	24'-3" ALLOWED 30'-0" PROPOSED (PARAPET)	30' ALLOWED 30'-0" PROPOSED (PARAPET)
FRONT SETBACK:	6'-0" REQUIRED	N/A
SIDE SETBACK:	0.08 x LOT WIDTH (100'-0") 8'-0" MIN. REQUIRED 10'-2" & 5'-0" PROPOSED	10'-0" or 0' 26'-0" and 5'-0" PROPOSED
REAR SETBACK:	N/A	10'-0" 10'-0" PROPOSED
FAR:	0.5 (7,400sf) ALLOWED  7,451sf - LEVEL 1 7,187sf - LEVEL 2 7,141sf - LEVEL 3  1.47 FAR (21,779sf)	2.0 (24,000sf) ALLOWED  4,442sf - LEVEL 1 4,032sf - LEVEL 2 4,012sf - LEVEL 3  1.04 FAR (12,486sf)
TOTAL FAR ALLOWED:	<b>31,400sqft (COMBINED ZONES)</b>	
TOTAL PROPOSED FAR:	<b>34,265sqft (COMBINED ZONES)</b>	
MIN. LOT COVERAGE:	35% (52.16% PROPOSED)	NO REQUIREMENTS (41.49% PROPOSED)
LANDSCAPE AREA:	679sqft (REFER TO LANDSCAPE SHEETS)	
PARKING:	10 3-BED x 2.25 SPACES = 22.5 SPACES REQUIRED 2 2-BED x 2.0 SPACES = 4 SPACES REQUIRED 1 2-BED (AFFORDABLE) x 1.3 SPACES 27.8 SPACES TOTAL REQUIRED  28 SPACES PROPOSED	
AFFORDABLE HOUSING: RESIDENTIAL DENSITY)	CC-4-5 ZONE: 1 UNIT / 1,500sqft 12,000sqft/1500sqft = 8 <b>UNITS ALLOWED</b> (MAX PRE-BONUS DENSITY = 9 UNITS  11.1% VERY LOW INCOME ALLOWS FOR A 35% DENSITY BONUS 9 x 12% = 1.0 = 1 <b>VERY LOW INCOME UNIT</b>  9 DWELLING UNITS x 1.35 = 12.15, ROUNDED UP TO 13 <b>13 TOTAL DWELLING UNITS ALLOWED</b>	
INCENTIVES: (ALLOWED)	1. PROPOSED 5'-0" SIDE SETBACK IN RS-1-7 ZONE (8'-0" REQUIRED) 2. PROPOSED FAR OF 34,265sqft IN COMBINED ZONES (31,400sqft MAX. REQUIRED)	
DEVIATIONS:	1. DEVIATION FROM THE 30-DEGREE ANGLED BUILDING ENVELOPE PLANE AND SETBACK LINES FOR STRUCTURES WITHIN THE RS ZONE. 131,044(o) 2. DEVIATION FROM THE COMMERCIAL COMPONENT REQUIRED FOR THE CC-4-5 ZONE TO ALLOW FOR RESIDENTIAL DEVELOPMENT. 131,054(b) 3. DEVIATION FROM THE CC-4-5 SIDE SETBACK 0' OPTION TO ALLOW FOR A 5'	



RENDERING (VIEW FROM THE SOUTHWEST)

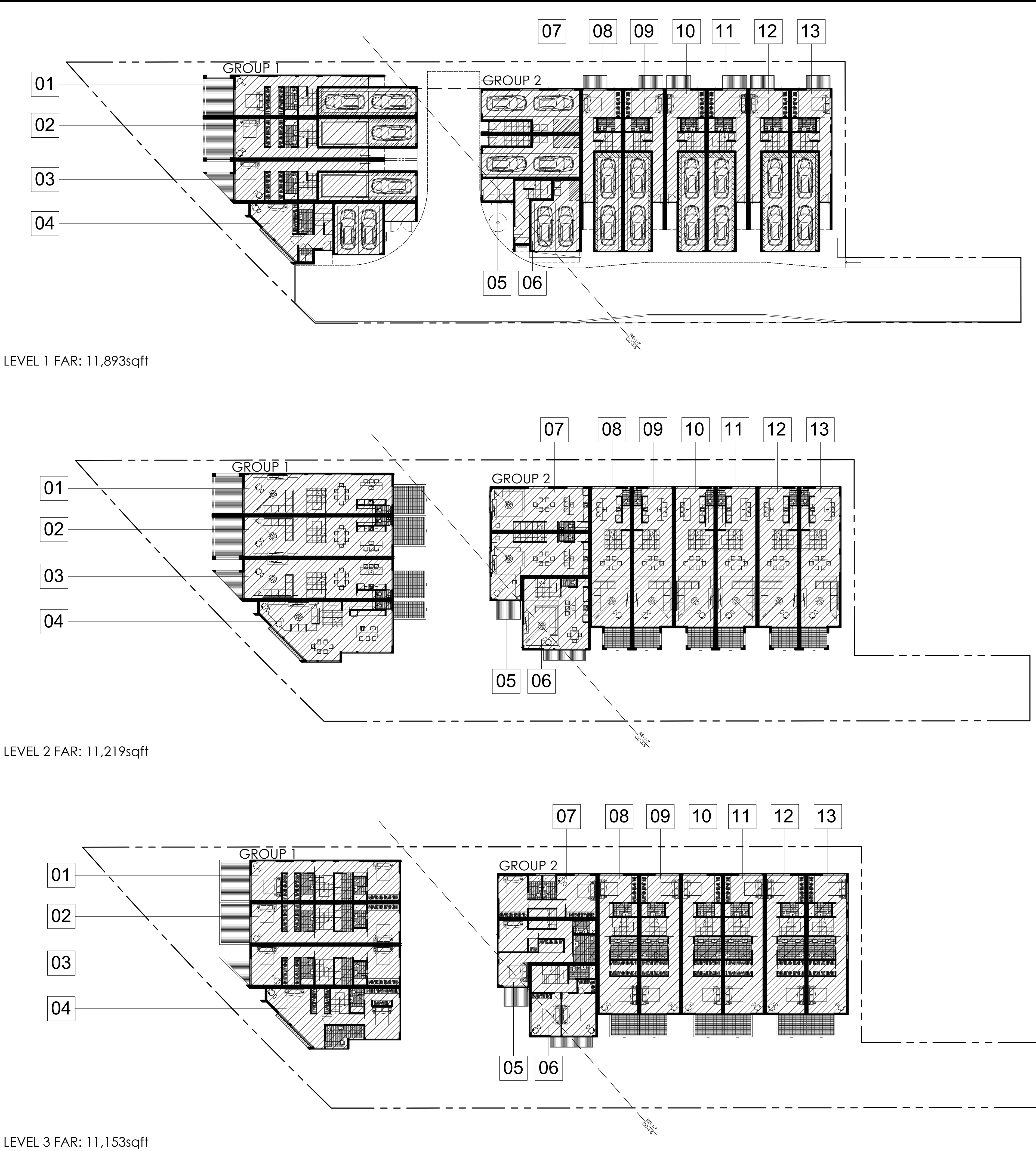


AREA CALCULATIONS:		
GROUP 1		
UNIT	USE	AREA
UNIT 01-02	3-BED TOWN HOME	2,210sqft
	GARAGE	389sqft
	MISCELLANEOUS*	432sqft
	TOTAL GFA (EACH UNIT)	3,031sqft
UNIT 03	3-BED TOWN HOME	2,210sqft
	GARAGE	389sqft
	MISCELLANEOUS*	333sqft
	TOTAL GFA (EACH UNIT)	2,932sqft
UNIT 04	3-BED TOWN HOME	2,316sqft
	GARAGE	352sqft
	MISCELLANEOUS*	307sqft
	TOTAL GFA	2,975sqft
TOTAL GFA	BUILDING 1	11,969sqft
GROUP 2		
UNIT	USE	AREA
UNIT 05	2-BED TOWN HOME	1,442sqft
	GARAGE	500sqft
	MISCELLANEOUS*	253sqft
	TOTAL GFA	2,195sqft
UNIT 06	2-BED TOWN HOME	1,316sqft
	GARAGE	428sqft
	MISCELLANEOUS*	435sqft
	TOTAL GFA	2,179sqft
UNIT 07	2-BED TOWN HOME	1,178sqft
	GARAGE	500sqft
	MISCELLANEOUS*	302sqft
	TOTAL GFA	1,980sqft
UNIT 08-13	3-BED TOWN HOME	1,954sqft
	GARAGE	373sqft
	MISCELLANEOUS*	330sqft
	TOTAL GFA (EACH UNIT)	2,657sqft
TOTAL GFA	GROUP 2	22,296sqft
TOTAL GFA	GROUP 1 + GROUP 2	34,265sqft
*GFA includes all miscellaneous circulation, fire stairs, wall thicknesses, lift shafts, ducts, and all non-specified areas.		

PRIVATE BALCONY CALCULATIONS:			
GROUP 1			
TOWN HOME	USE	AREA	
TOWN HOME 01-02	BALCONIES	617sqft	
TOWN HOME 03	BALCONIES	300sqft	
TOWN HOME 04	BALCONIES	137sqft	
GROUP 2			
TOWN HOME	USE	AREA	
TOWN HOME 05	BALCONIES	140sqft	
TOWN HOME 06	BALCONIES	130sqft	
TOWN HOME 07	BALCONIES	4sqft	
TOWN HOME 08-13	BALCONIES	207sqft	
TOTAL	BALCONIES	3,187sqft	

TOWN HOME BREAKDOWN:			
No.	UNIT TYPE	INT. AREA	EXT. AREA
TH 01-02	3 BEDROOM + GARAGE	2,618sqft (EACH)	617sqft (EACH)
TH 03	3 BEDROOM + GARAGE	2,618sqft	300sqft
TH 04	3 BEDROOM + GARAGE	2,679sqft	137sqft
TH 05	2 BEDROOM + GARAGE	1,956sqft	140sqft
TH 06	2 BEDROOM + GARAGE	1,744sqft	130sqft
TH 07	2 BEDROOM + GARAGE	1,678sqft	4sqft
TH 08-13	3 BEDROOM + GARAGE	2,327sqft (EACH)	207sqft (EACH)
TOTAL No. TOWN HOMES = 13 (10 x 3 BEDROOM + 3 x 2 BEDROOM)			
AVERAGE TOWN HOME SIZE		INT. AREA	EXT. AREA
2 BEDROOM		1,793sqft	91sqft
3 BEDROOM		2,450sqft	291sqft
TOTAL AVERAGE TOWN HOME SIZE		2,298sqft	245sqft
70% OF AVERAGE TOWN HOME SIZE		1,607sqft	

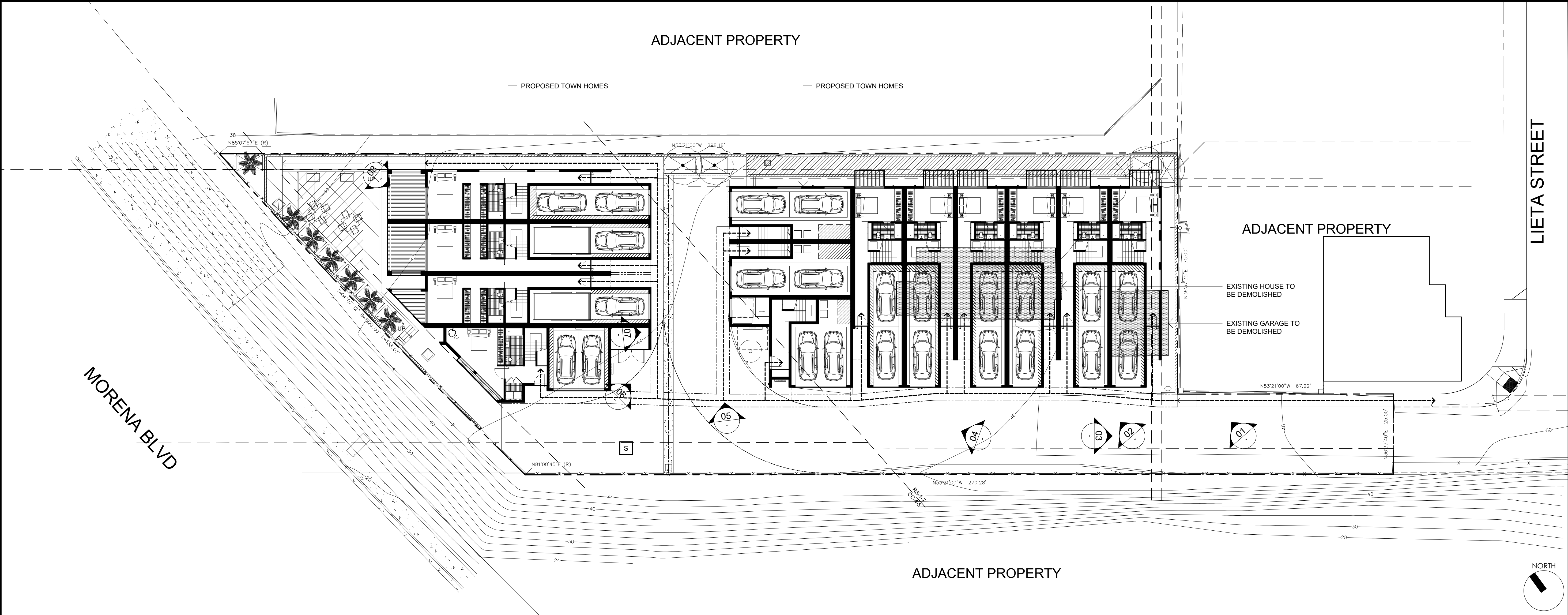
	DEVELOPMENT CALCULATIONS
--	--------------------------



FAR DIAGRAMS TOTAL FAR: 34,265sqft (31,400sqft REQUIRED, INCENTIVE 2)

Notes: All ideas, arrangements, drawings and plans set forth on this sheet are the original work product of, owned by and are the property of dbrds and use of this said work product is limited to a specified project of the purchaser, and for the construction of one building, any use, reuse or disclosure of said plans, reproductions, ideas, designs and/or arrangements, other than by dbrds, is strictly prohibited by law without the written permission of dbrds. Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown these drawings.	
<b>DBRDS</b> DE BARTOLO • RIMANIC DESIGN STUDIO	
PROJECT TEAM	
OWNER: <b>ALMERIA INVESTMENTS, LP</b> PO BOX 232628 ENCINITAS, CA 92023 PHONE: (760) 207-3740 CONTACT: MICHAEL FULTON EMAIL: michael@almeriainvestments.com	
DESIGN: <b>DE BARTOLO • RIMANIC DESIGN STUDIO</b> 363 5TH AVE, SUITE 203 SAN DIEGO CA 92101 PHONE: (858) 220 5262 CONTACT: PAULY DE BARTOLO EMAIL: pauly@dbdrds.com	
CIVIL & LAND SURVEYING <b>CIVIL LANDWORKS</b> 110 COPPERWOOD WAY, SUITE P OCEANSIDE, CA 92058 PHONE: (760) 908-8745 CONTACT: DAVE CARRON, PE EMAIL: dave@civilandworks.com	
LANDSCAPE ARCHITECT <b>STONE • GROVE LANDSCAPE ARCHITECTS</b> 200 N CEDROS AVE SOLANA BEACH, CA 92705 PHONE: (858) 345-1499 CONTACT: BRIAN GROVE EMAIL: brian@stone-grove.co	
GEOTECHNICAL ENGINEER <b>CHRISTIAN WHEELER ENGINEERING</b> 3980 HOME AVE SAN DIEGO, CA 92105 PHONE: (619) 550-1700 CONTACT: DAVID R. RUSSELL EMAIL: drussell@christianwheeler.com	
FIRE PIPING CONSULTANT <b>PROTECTION DESIGN AND CONSULTING</b> 2851 CAMINO DEL RIO S. #210 SAN DIEGO, CA 92108 PHONE: (619) 255-8964 CONTACT: STEVE LEYTON EMAIL: steve@protectiondesign.com	
REVISION: 06.15.2017 DRAWN BY: CH SDP & NDP - CYCLE ISSUES 1 10.18.2017 DRAWN BY: CH SDP & NDP - CYCLE ISSUES 2 01.08.2018 DRAWN BY: CH SDP & NDP - CYCLE ISSUES 3 11.14.2018 DRAWN BY: CH SDP & NDP - CYCLE ISSUES 4 05.28.2019 DRAWN BY: CH SDP & NDP - CYCLE ISSUES 5 09.12.2019 DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6	
DRAWING TITLE: DEVELOPMENT CALCS. & FAR DIAGRAMS	
PROJECT: PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES  4200 TONOPAH AVE, SAN DIEGO, CA 92110	
DBRDS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	1" = 20'-0"
SHEET NO:	A0.10





KEY MAP



SITE CONTEXT PHOTOS

Notes:  
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**DBRDS**  
DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:  
**ALMERIA INVESTMENTS, LP**  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**  
363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101  
PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING  
**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civillandworks.com

LANDSCAPE ARCHITECT  
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200 N CEDROS AVE  
SOLANA BEACH, CA 92705  
PHONE: (858) 345-1499  
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GEOTECHNICAL ENGINEER  
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3980 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-1700  
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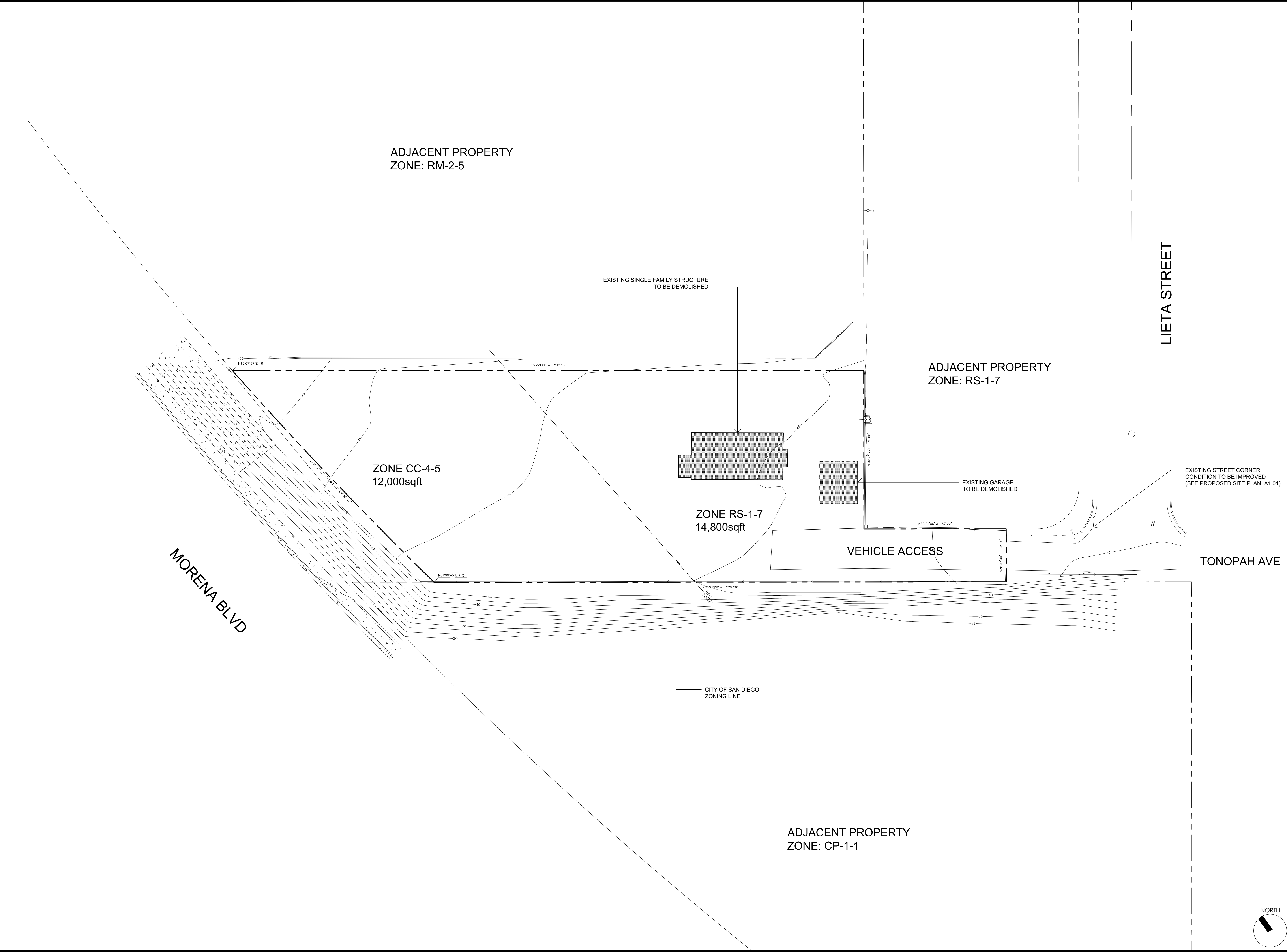
REVISION:	
06.15.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 1	
10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
SITE CONTEXT PHOTOS

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	1/16" = 1'-0"
SHEET NO:	A0.20





EXISTING SITE PLAN

# TOPOGRAPHIC SURVEY

## OWNER

ALMERIA INVESTMENTS LP  
1398 LIETA STREET  
SAN DIEGO, CA 92110

## ASSESSOR'S PARCEL NOS.

430-680-09

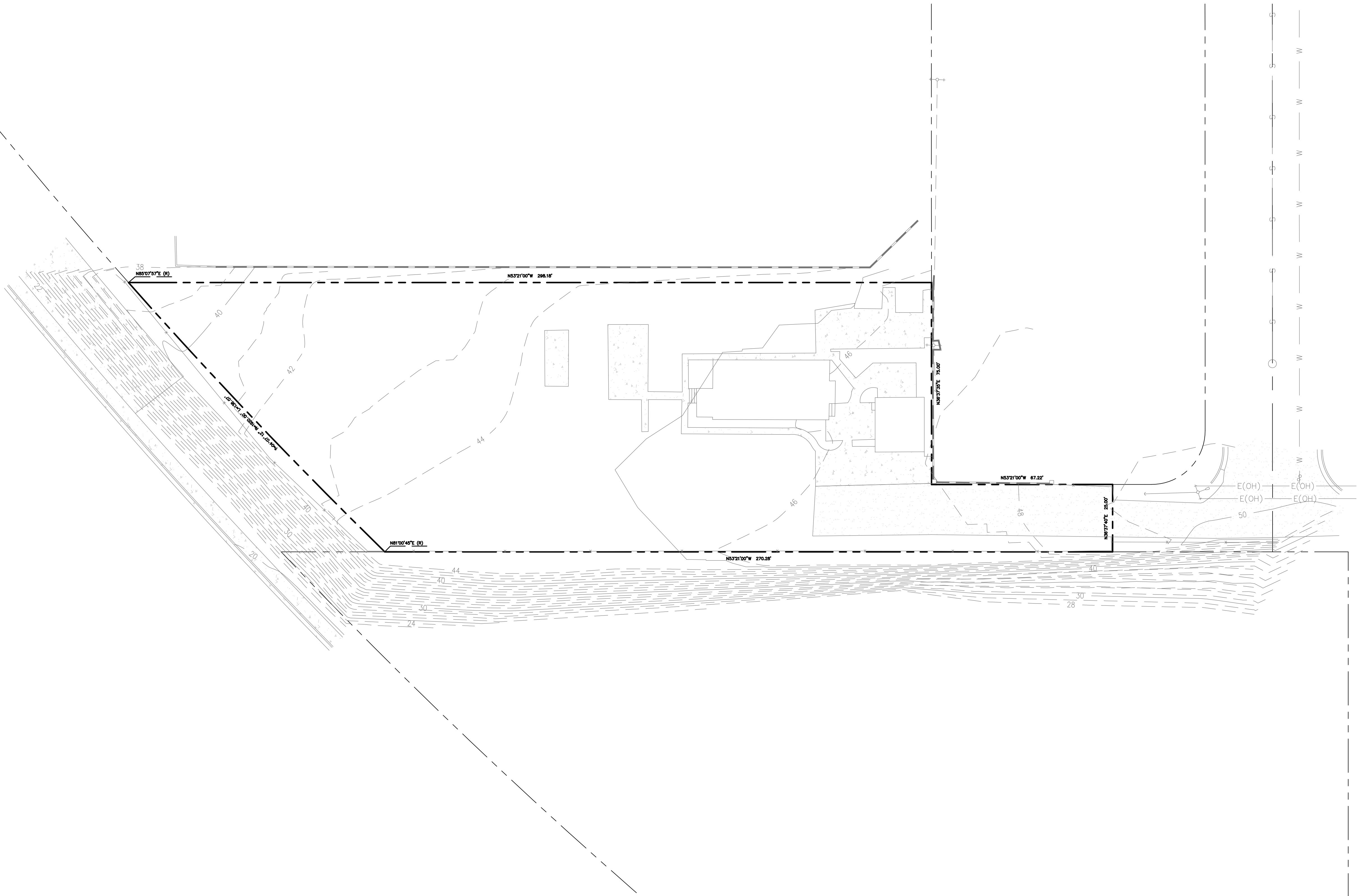
## TOPOGRAPHY

TOPOGRAPHIC SURVEY IS BASED UPON A FIELD SURVEY AND REPRESENTS THE TOPOGRAPHIC FEATURE OF THIS SITE. CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARK: A BRASS PLUG LOCATED IN THE TOP OF CURB, OVER A CONCRETE STORM DRAIN INLET AT THE SOUTHEAST CORNER OF MORENA BOULEVARD AND ASHER STREET.  
ELEVATION = 21.883' MSL (NGVD '29)

## BASIS OF BEARINGS

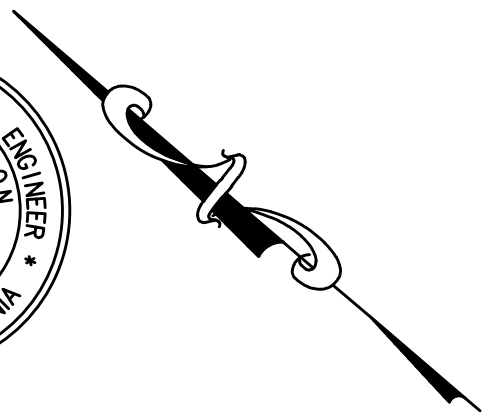
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 1991.35 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON OCTOBER 16, 2015 AT GPS STATIONS 928 AND 929 PER ROS 14492; I.E. N60°54'21"W.



## ENGINEER

CIVIL LANDWORKS CORP.  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
760-908-8745

DAVID V. CARON 8-22-16



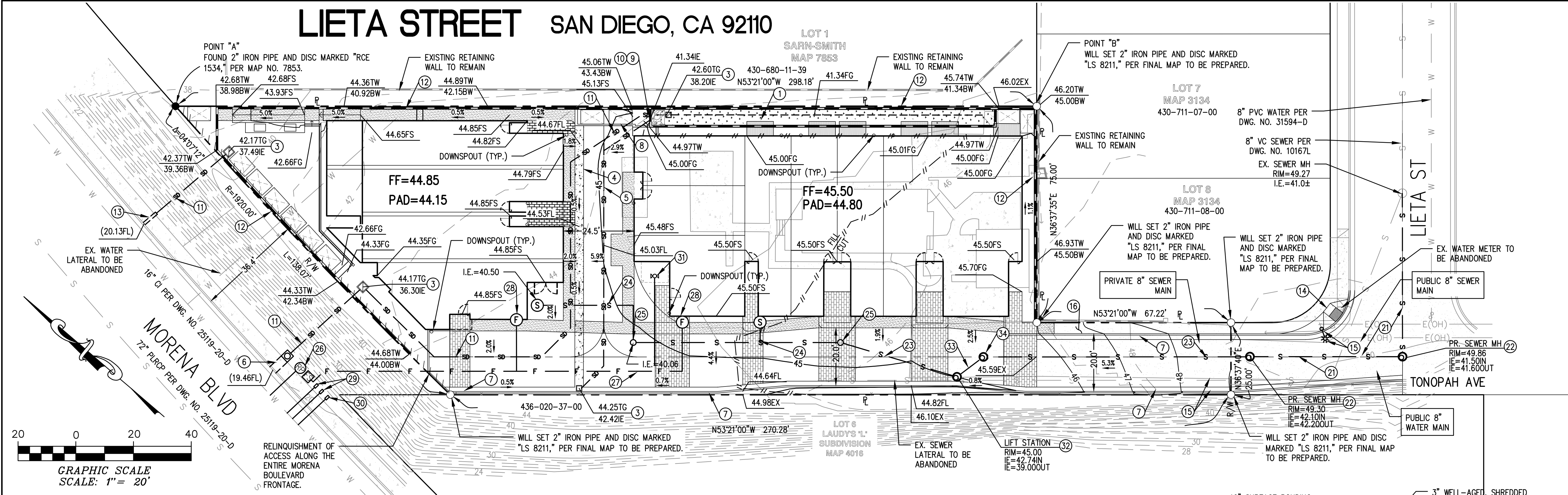
**Civil Landworks**

110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058  
PH: 760-908-8745 • info@civillandworks.com



GRAPHIC SCALE  
SCALE: 1" = 20'





CONDOMINIUM NOTE

THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL UNITS IS 13.

MAPPING NOTE:

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL PARCEL MAP.

ASSESSOR'S PARCEL NO.

430-680-09

SITE AREA & NO. OF UNITS

NUMBER OF LOTS PROPOSED = 1 (ONE)  
AREA WITHIN TM BOUNDARY = 26,856.7 SF (0.617 ACRES)  
NUMBER OF PROPOSED UNITS = 13

ZONING

RS-1-7 / CC-4-5  
OVERLAYS

AIRPORT INFLUENCE AREA  
CLAIREMONT MESA HEIGHT LIMIT  
FAA PART 77 NOTIFICATION AREA  
GEOLOGICAL HAZARD CATEGORY: 53

EASEMENTS

EXISTING EASEMENT FOR PUBLIC UTILITIES SDG&E REC. 1-04-55 AS BOOK 5484, PAGE 164 - NOT PLOTTABLE  
NO EASEMENTS WILL BE PROPOSED.

TITLE REPORT

PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. DIV-5624800, DATED NOVEMBER 2018

UTILITIES

SEWER: CITY OF SAN DIEGO (UNDERGROUND)  
WATER: CITY OF SAN DIEGO (UNDERGROUND)  
GAS: SAN DIEGO GAS AND ELECTRIC (UNDERGROUND)  
ELECTRIC: SAN DIEGO GAS AND ELECTRIC (OVERHEAD)  
TELEPHONE: AT&T (UNDERGROUND)  
CABLE: COX CABLE (UNDERGROUND)

LEGAL DESCRIPTION

THE SOUTHWESTERLY 100.00 FEET (AS MEASURED AT RIGHT ANGLES FROM THE SOUTHWESTERLY LINE OF LOT 5) OF ALL THAT PORTION OF LOT 5 OF PUEBLO LOT 255, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA; ACCORDING TO REFEREE'S PARTITION MAP FILED IN THE ACTION OF MORENA COMPANY, A CORPORATION, VS. FRANKLIN STEEL, JR., CASE NO. 3475, FILED IN THE SUPERIOR COURT OF THE COUNTY OF SAN DIEGO, LYING SOUTHWEST OF THE CENTER LINE OF ASHER STREET, AS SAID STREET EXISTED ON JANUARY 21, 1944.

EXCEPTING THEREFROM THE FOLLOWING PARCELS:  
A. THAT PORTION OF SAID LOT, IF ANY, LYING WITHIN THE RIGHT-OF-WAY OF THE ATCHISON, TOPEKA AND SANTE FE RAILWAY.  
B. THAT PORTION DESCRIBED IN THE DEED TO THE CITY OF SAN DIEGO RECORDED MARCH 23, 1956, IN BOOK 6029, PAGE 122 OF OFFICIAL RECORDS.  
C. THAT PORTION LYING SOUTHEASTERLY OF A LINE WHICH IS PARALLEL WITH AND DISTANT 101.5 FEET NORTHWESTERLY FROM THE SOUTHEASTERLY LINE OF BLOCK 17 OF FIRST ADDITION TO ASHER'S CLOVERLEAF TERRACE, ACCORDING TO MAP THEREOF NO. 1666, FILED IN THE OFFICE OF THE COUNTY RECORDER, AND THE NORTHEASTERLY PROLONGATION OF SAID SOUTHEASTERLY LINE, AND LYING NORTHEASTERLY OF THE NORTHWESTERLY PROLONGATION OF THE SOUTHWEST LINE OF LOT 17 IN BLOCK 17 OF SAID FIRST ADDITION TO ASHER'S CLOVERLEAF TERRACE.  
D. THAT PORTION LYING WITHIN LAHOUD TERRACE, ACCORDING TO MAP THEREOF NO. 3134, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 4, 1954.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 1991.35 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON OCTOBER 16, AT POINTS [A] & [B] AS SHOWN HEREON. POINTS 'A' & 'B' WERE ESTABLISHED FROM GPS STATIONS 928 AND 929 PER ROS 14492.

THE BEARING FROM POINT [A] TO POINT [B] IS SOUTH 53°21'00" EAST.

THE COMBINED GRID FACTOR AT POINT [A] IS 1.0000045. GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR. ELEVATION AT POINT [A] IS 38.97 FEET, M.S.L.

[A] = N 1864142.25, E 6267383.80

[B] = N 1863964.26, E 6267623.02

TOPOGRAPHY

TOPOGRAPHIC SURVEY IS BASED UPON A FIELD SURVEY AND REPRESENTS THE TOPOGRAPHIC FEATURE OF THIS SITE. CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.  
BENCHMARK: A BRASS PLUG LOCATED IN THE TOP OF CURB, OVER A CONCRETE STORM DRAIN INLET AT THE SOUTHEAST CORNER OF MORENA BOULEVARD AND ASHER STREET.  
ELEVATION = 21.883' MSL (NGVD '29)

OWNER

ALMERIA INVESTMENTS LP  
817 CLARK AVENUE  
ENCINITAS, CA. 92024  
(760) 207-3740

ENGINEER

CIVIL LANDWORKS CORP.  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
760-908-8745

DAVID V. CARON

1-3-19

BUILDINGS + PARKING RATE

ZONE:	RS-1-7	CC-4-5
LOT AREA:	14,800SF (SEE A1.00)	12,000SF (SEE A1.00)
HEIGHT:	24'/30' ALLOWED 28'-6" PROPOSED (PARAPET)	30' ALLOWED 30'-0" PROPOSED (PARAPET)
FRONT SETBACK:	6'-0" REQUIRED	N/A
SIDE SETBACK:	0.08 X LOT WIDTH (100'-0") 8'-0" MIN. REQUIRED 10'-2" & 5'-0" PROPOSED	10'-0" OR 0' 26'-0" AND 0' PROPOSED
REAR SETBACK:	N/A	10'-0" 10'-0" PROPOSED
FAR:	0.5 (7,400SF) ALLOWED 7,451SF - LEVEL 1 7,187SF - LEVEL 2 7,141SF - LEVEL 3 1.47 FAR (21,779SF)	2.0 (24,000SF) ALLOWED 4,442SF - LEVEL 1 4,032SF - LEVEL 2 4,012SF - LEVEL 3 1.04 FAR (12,486SF)
TOTAL FAR ALLOWED:	31,400SQT (COMBINED ZONES)	
TOTAL PROPOSED FAR:	34,265SQT (COMBINED ZONES)	
PARKING:	10 3-BED X 2.25 SPACES = 22.5 SPACES REQUIRED 2 2-BED X 2.0 SPACES = 4 SPACES REQUIRED 1 2-BED (AFFORDABLE) X 1.3 SPACES 27.8 SPACES TOTAL REQUIRED 28 SPACES PROPOSED	
AFFORDABLE HOUSING:	CC-4-5 ZONE: 1 UNIT / 1,500SQT (RESIDENTIAL DENSITY) 12,000SQT/1500SQT = 8 UNITS ALLOWED (MAX PRE-BONUS DENSITY = 9 UNITS)	
	11.1% VERY LOW INCOME ALLOWS FOR A 35% DENSITY BONUS 9 X 12% = 1.0 = 1 VERY LOW INCOME UNIT	
	9 DWELLING UNITS X 1.35 = 12.15, ROUNDED UP TO 13 13 TOTAL DWELLING UNITS ALLOWED	
INCENTIVES:	1. PROPOSED 5'-0" SIDE SETBACK IN RS-1-7 ZONE (8'-0" REQUIRED) 2. PROPOSED FAR OF 34,265SQT IN COMBINED ZONES (31,400SQT MAX. REQUIRED)	
DEVIATIONS:	1. DEVIATION FROM THE 30-DEGREE ANGLED BUILDING ENVELOPE PLANE ALONG SIDE SETBACK LINES FOR STRUCTURES WITHIN THE RS ZONE. 131.0444(C) 2. DEVIATION FROM THE COMMERCIAL COMPONENT REQUIRED FOR THE CC-4-5 ZONE TO ALLOW FOR RESIDENTIAL DEVELOPMENT. 131.0540(B)	

10 3-BED X 2.25 SPACES = 22.5 SPACES REQUIRED  
2 2-BED X 2.0 SPACES = 4 SPACES REQUIRED  
1 2-BED (AFFORDABLE) X 1.3 SPACES  
27.8 SPACES TOTAL REQUIRED  
28 SPACES PROPOSED

11.1% VERY LOW INCOME ALLOWS FOR A 35% DENSITY BONUS  
9 X 12% = 1.0 = 1 VERY LOW INCOME UNIT

9 DWELLING UNITS X 1.35 = 12.15, ROUNDED UP TO 13  
13 TOTAL DWELLING UNITS ALLOWED

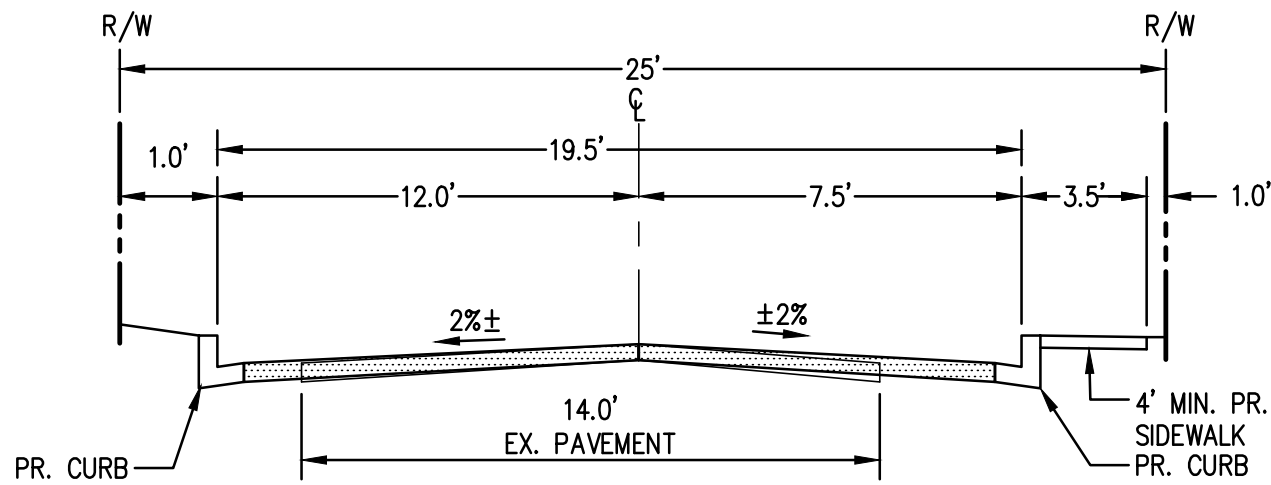
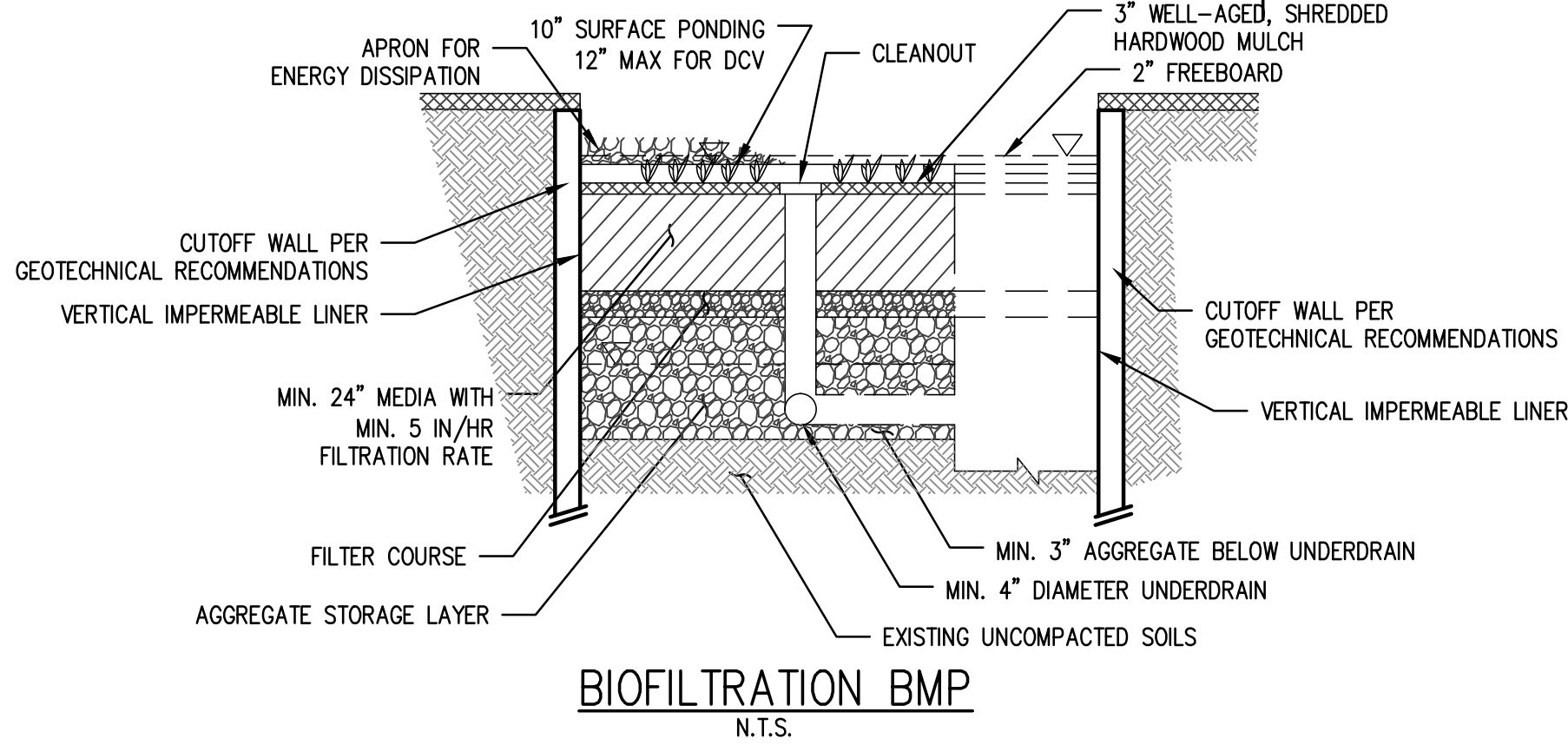
INCENTIVES:  
(2 ALLOWED)  
1. PROPOSED 5'-0" SIDE SETBACK IN RS-1-7 ZONE (8'-0" REQUIRED)  
2. PROPOSED FAR OF 34,265SQT IN COMBINED ZONES (31,400SQT MAX. REQUIRED)

DEVIATIONS:  
1. DEVIATION FROM THE 30-DEGREE ANGLED BUILDING ENVELOPE PLANE ALONG SIDE SETBACK LINES FOR STRUCTURES WITHIN THE RS ZONE. 131.0444(C)  
2. DEVIATION FROM THE COMMERCIAL COMPONENT REQUIRED FOR THE CC-4-5 ZONE TO ALLOW FOR RESIDENTIAL DEVELOPMENT. 131.0540(B)

EARTHWORK DATA

CUT = 270 C.Y. FILL = 820 C.Y.  
IMPORT = 550 C.Y.

TOTAL LOT AREA = 26,855 S.F.  
TOTAL DISTURBED AREA = 25,102 S.F.  
DEPTH OF CUT = 5.0 FEET  
DEPTH OF FILL = 5.0 FEET  
\*DEPTH OF CUT AND FILL DO NOT INCLUDE GEOTECHNICAL REMEDIATION RECOMMENDATIONS  
THESE QUANTITIES DO NOT INCLUDE ANY LOSSES DUE TO SHRINKAGE, SUBSIDENCE, OVEREXCAVATION, OR ANY SPECIAL REQUIREMENTS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT. THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

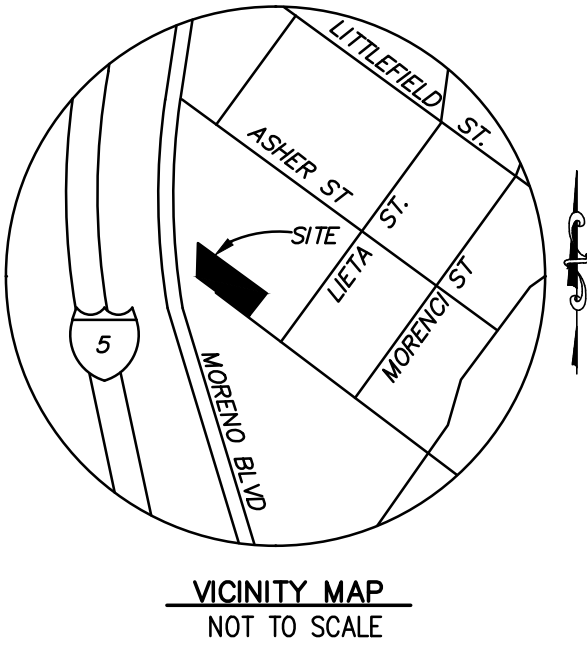


STORM WATER NOTE

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.

NOTE

- THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PORTION OF THE PROPOSED PRIVATE STORM DRAIN SYSTEM LOCATED WHERE THE OWNER/PERMITEE IS NOT THE OWNER OF THE PROPERTY FRONTING THE ENCROACHMENT.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING RIGHT-OF-WAY SLOPE AREAS.
- IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
- ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING RIGHT-OF-WAY SLOPE AREAS.



LEGEND:

- PROPERTY LINE/TM BOUNDARY
- RIGHT OF WAY
- CENTERLINE
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- CUT / FILL SLOPE
- DAYLIGHT LINE
- DIRECTION OF DRAINAGE
- CURB AND GUTTER
- PR. STORM DRAIN LINE
- PR. STORM INLET
- MASONRY RETAINING WALL
- PR. SEWER LINE
- PR. WATER LINE
- PR. SEWER MANHOLE
- PR. CURB OUTLET
- PR. SEWER CLEANOUT
- SURVEY MONUMENT, AS NOTED
- STREET LIGHT

CONSTRUCTION NOTES:

- CONSTRUCT BIOFILTRATION BASIN PER DETAIL HEREON 5 FOOT CUTOFF WALL PER GEOTECHNICAL RECOMMENDATIONS VERTICAL IMPERMEABLE LINER
- CONSTRUCT STORM CONTROL VAULT
- CONSTRUCT 24" X 24" GRATE INLET
- CONSTRUCT 3' WIDE CONCRETE RIBBON GUTTER
- CONSTRUCT 10" HDPE STORM DRAIN
- CONSTRUCT CURB OUTLET PER SDRSD D-25
- CONSTRUCT CURB AND GUTTER PER SDG-151
- CONSTRUCT CURB ONLY PER SDG-150
- CONSTRUCT RIPRAP PER SDD-104, NO. 2 BACKING T=1.1'
- CONSTRUCT HEADWALL PER SDRSD D-30
- CONSTRUCT 12" HDPE STORM DRAIN
- CONSTRUCT RETAINING WALL
- CONSTRUCT SIDEWALK UNDERDRAIN PER SDRSD D-27
- CONSTRUCT CURB RAMPS PER SDG-133, TYPE A
- CONSTRUCT PAVEMENT PER SDG-113
- CONSTRUCT SIDEWALK PER SDG-155

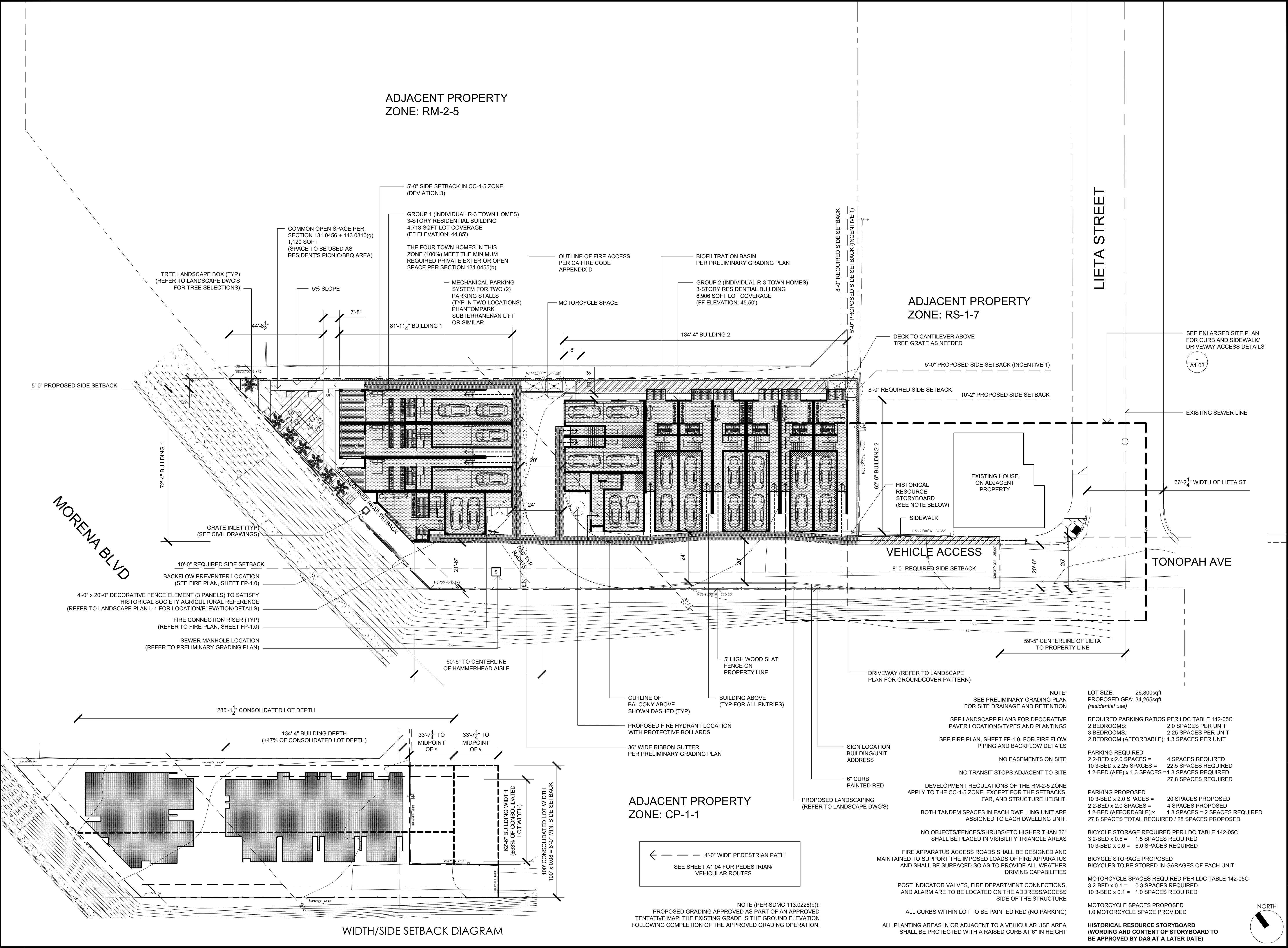
UTILITY NOTES:

- CONSTRUCT PUBLIC 8" SEWER MAIN (PUBLIC)
- CONSTRUCT SEWER MANHOLE PER SDRSD SM-01 (PUBLIC)
- CONSTRUCT 6" GRAVITY SEWER MAIN (PRIVATE)
- CONSTRUCT 6" SEWER LATERAL PER SDS-105 (PRIVATE)
- CONSTRUCT SEWER CLEANOUT PER SDRSD SC-01
- CONSTRUCT FIRE BACKFLOW PREVENTER PER SDW-105 (IN PUBLIC R/W)
- CONSTRUCT PRIVATE 6" PVC C900 FIRE LINE
- FIRE SERVICE POC
- CONSTRUCT DOMESTIC WATER SERVICE (IN PUBLIC R/W)
- CONSTRUCT IRRIGATION SERVICE (IN PUBLIC R/W)
- CONSTRUCT FIRE HYDRANT
- CONSTRUCT SEWER LIFT STATION (PRIVATE)
- CONSTRUCT PRIVATE 2" SEWER FORCE MAIN (PRIVATE)
- CONSTRUCT SEWER MANHOLE PER SDRSD SM-01 (PRIVATE)

SHEET 1 OF 1 SHEET

I.O: 24006995	PTS. 512890	CCS 83: 1862-6265	LC: 222-1705
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Notes:

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**DBRDS**  
DE BARTOLO • RIMANIC DESIGN STUDIO

**PROJECT TEAM**

OWNER:  
**ALMERIA INVESTMENTS, LP**  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**  
363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101  
PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING  
**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT  
**STONE • GROVE LANDSCAPE ARCHITECTS**  
200 N CEDROS AVE  
SOLANA BEACH, CA 92705  
PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER  
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT  
**PROTECTION DESIGN AND CONSULTING**  
2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108  
PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: steve@protectiondesign.com

REVISION:

06.15.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 1	
10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
**PROPOSED SITE PLAN**

PROJECT:  
**PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES**

**4200 TONOPAH AVE,  
SAN DIEGO, CA 92110**

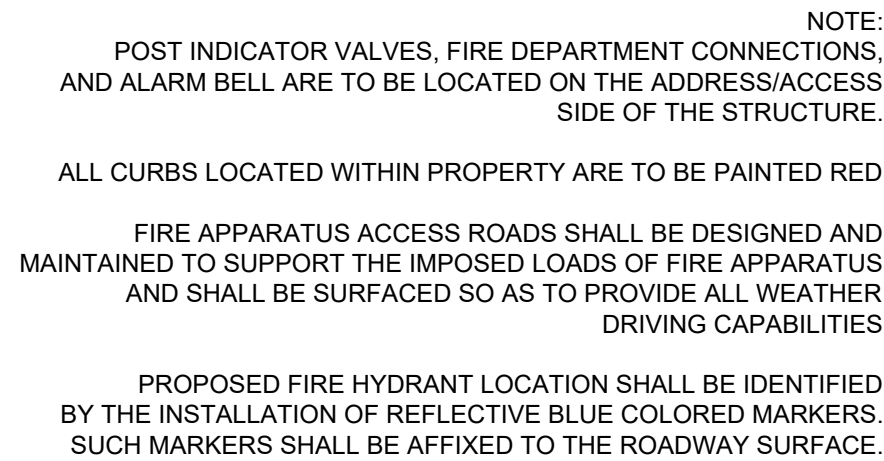
DBRDS PROJECT NO.: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 1" = 20'-0"

SHEET NO.: A1.01



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**DBRDS**  
DE BARTOLO + RIMANIC DESIGN STUDIO

## PROJECT TEAM

OWNER: \_\_\_\_\_  
ALMERIA INVESTMENTS, LP  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:

---

**DE BARTOLO + RIMANIC DESIGN STUDIO**

363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101

PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

**CIVIL & LAND SURVEYING**

---

**CIVIL LANDWORKS**

10 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058

PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civillandworks.com

LANDSCAPE ARCHITECT

---

**STONE + GROVE LANDSCAPE ARCHITECTS**

200 N CEDROS AVE  
CAROLINA BEACH, CA 92705

PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: [brian@stone-grove.co](mailto:brian@stone-grove.co)

**GEOTECHNICAL ENGINEER**

---

**CHRISTIAN WHEELER ENGINEERING**

8980 HOME AVE  
SAN DIEGO, CA 92105

PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

**FIRE PIPING CONSULTANT**

---

**PROTECTION DESIGN AND CONSULTING**

8851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108

PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: [steve@protectiondesign.com](mailto:steve@protectiondesign.com)

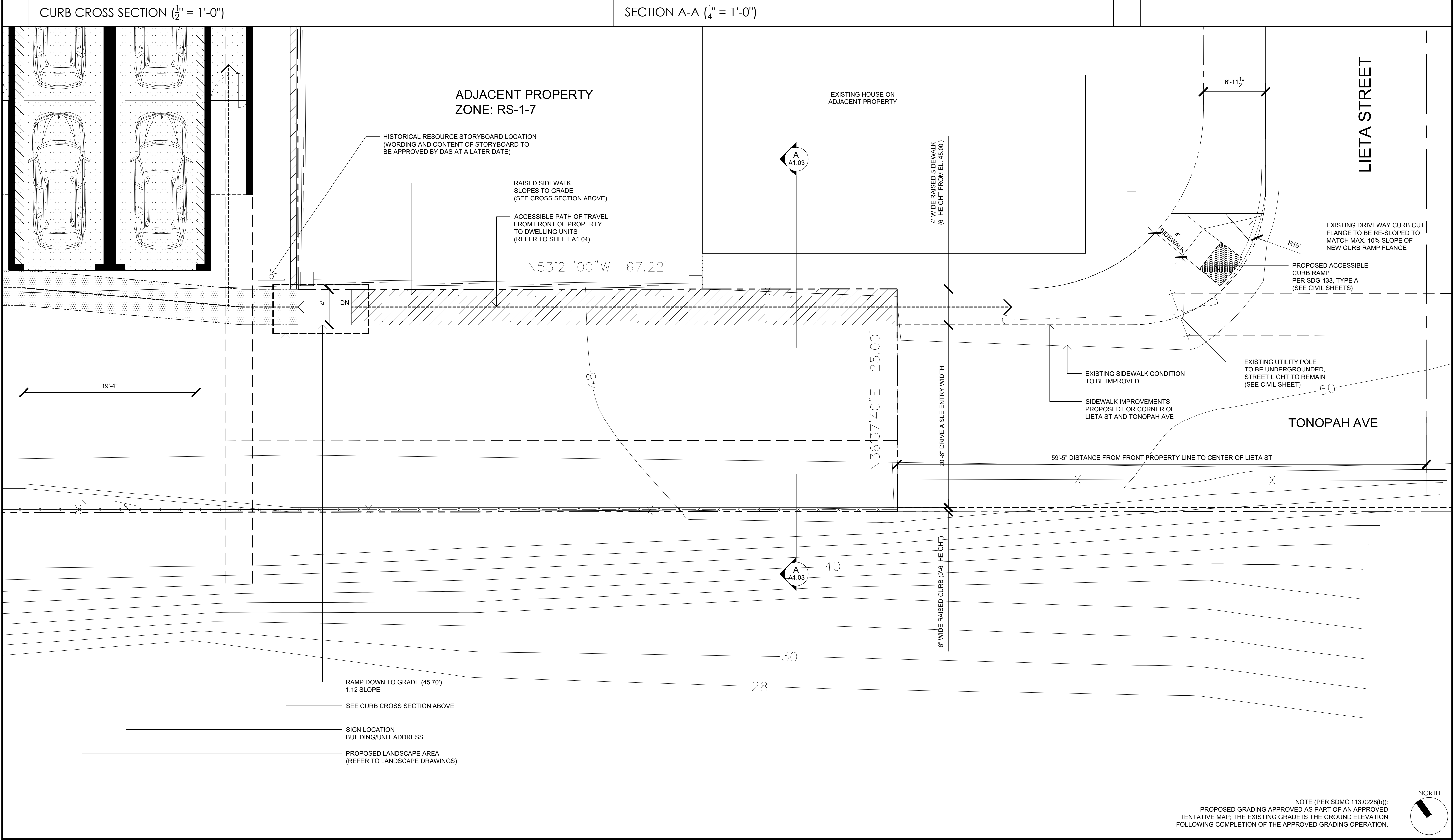
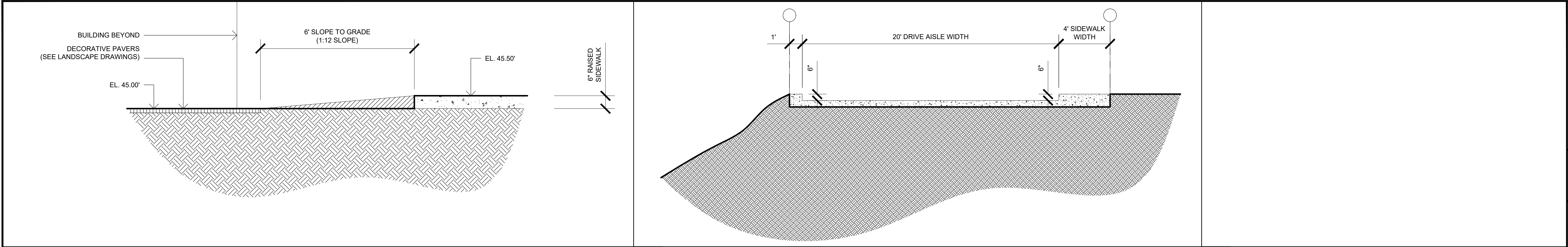
REVISION:	
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10.18.2017	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 2
01.08.2018	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 3
11.14.2018	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 4
05.28.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 5
09.12.2019	DRAWN BY: CH SDP & NDP - CYCLE ISSUES 6

DRAWING TITLE:  
FIRE ACCESS PLAN

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

OBDRS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	1" = 60'-0"
SHEET NO:	A1.02





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**DBRDS**  
DE BARTOLO • RIMANIC DESIGN STUDIO

**PROJECT TEAM**

OWNER:  
**ALMERIA INVESTMENTS, LP**  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**  
363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101  
PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING  
**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT  
**STONE • GROVE LANDSCAPE ARCHITECTS**  
200 N CEDROS AVE  
SOLANA BEACH, CA 92705  
PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER  
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

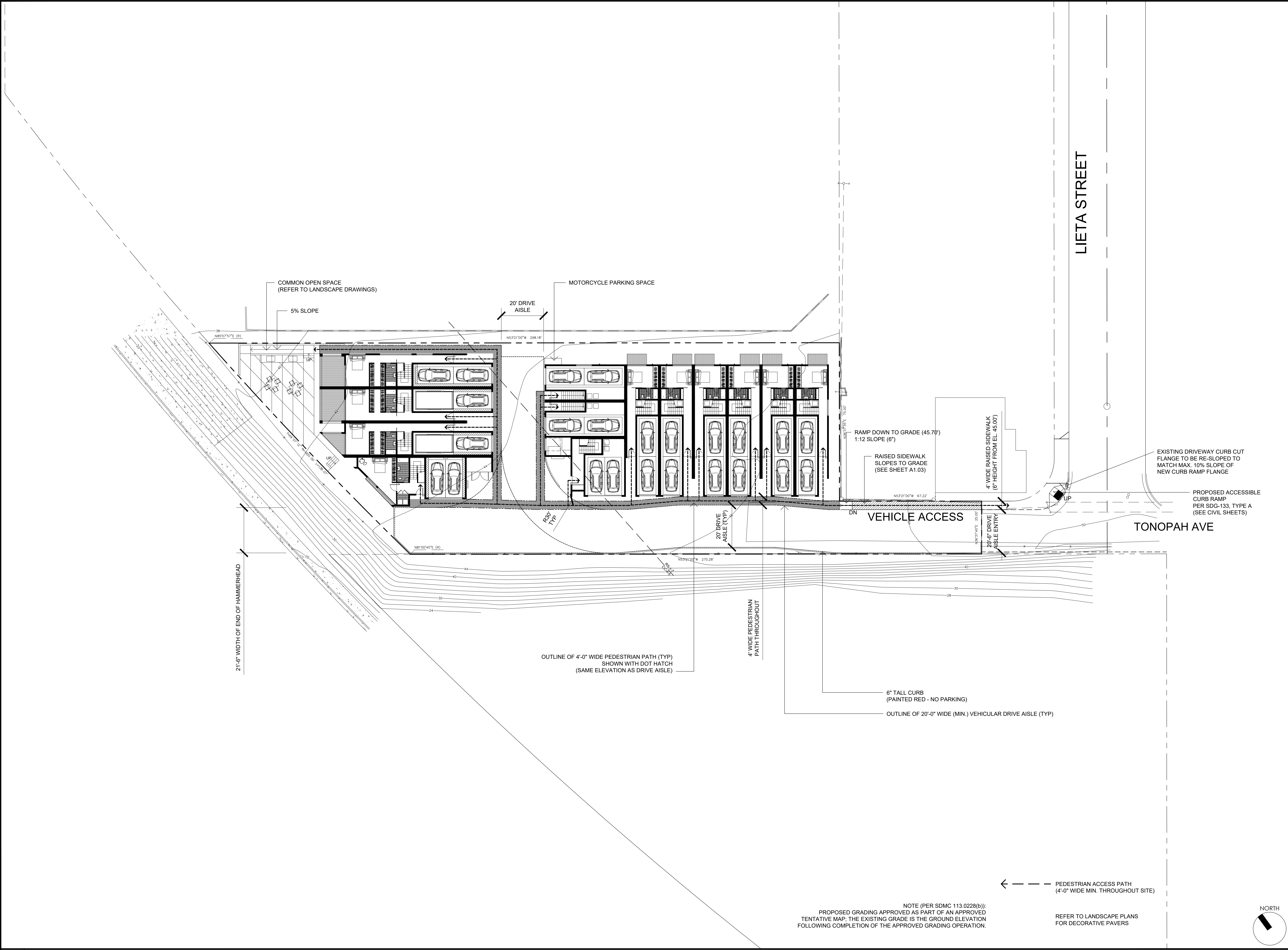
FIRE PIPING CONSULTANT  
**PROTECTION DESIGN AND CONSULTING**  
2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108  
PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: steve@protectiondesign.com

REVISION:  
06.15.2017 DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 1  
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SDP & NDP - CYCLE ISSUES 2  
01.08.2018 DRAWN BY: CH  
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SDP & NDP - CYCLE ISSUES 4  
05.28.2019 DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 5  
09.12.2019 DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 6

DRAWING TITLE:  
**ENLARGED SITE PLAN**

PROJECT:  
**PROPOSED INDIVIDUAL R-3 CLASS TOWN HOMES**  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066  
DATE: SEPTEMBER 2016  
DRAWN BY: CH  
SCALE: 3/16" = 1'-0"  
SHEET NO: A1.03



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DBRDS

DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:  
**ALMERIA INVESTMENTS, LP**  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**  
363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101  
PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING  
**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT  
**STONE • GROVE LANDSCAPE ARCHITECTS**  
200 N CEDROS AVE  
SOLANA BEACH, CA 92705  
PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER  
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT  
**PROTECTION DESIGN AND CONSULTING**  
2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108  
PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: steve@protectiondesign.com

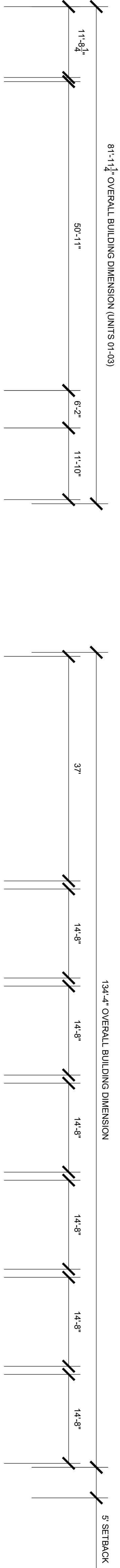
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SDP & NDP - CYCLE ISSUES 3	
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SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
PEDESTRIAN/VEHICULAR  
ACCESS PLAN

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	1" = 20'-0"
SHEET NO:	A1.04

PEDESTRIAN/VEHICULAR ACCESS PLAN



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## DBRDS

DE BARTOLO • RIMANIC DESIGN STUDIO

### PROJECT TEAM

#### OWNER:

**ALMERIA INVESTMENTS, LP**  
PO BOX 220528  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: mful@almeriainvestments.com

#### DESIGN:

**DE BARTOLO • RIMANIC DESIGN STUDIO**  
383 5TH AVE, SUITE 203  
SAN DIEGO, CA 92101  
PHONE: (619) 220-5282  
CONTACT: PAULY DE BARTOLO  
EMAIL: paul@dbds.com

#### CIVIL & LAND SURVEYING

**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 308-8745  
CONTACT: DAVE CARROLL, PE  
EMAIL: dave@civilandworks.com

#### LANDSCAPE ARCHITECT

**STONE + GROVE LANDSCAPE ARCHITECTS**  
200 N. CERROS AVE  
SOLANA BEACH, CA 92705  
PHONE: (858) 345-1489  
CONTACT: BRIAN@stonegrove.co  
EMAIL: brian@stonegrove.co

#### GEOTECHNICAL ENGINEER

**CHRISTIAN WHEELER ENGINEERING**  
3880 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-7100  
CONTACT: DAVID RUSSELL  
EMAIL: drussell@christianwheeler.com

#### FIRE PIPING CONSULTANT

**PROTECTION DESIGN AND CONSULTING**  
2861 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108  
PHONE: (619) 255-8984  
CONTACT: STEVE LEXTON  
EMAIL: steve@protectiondesign.com

#### REVISION:

06.16.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 1	
10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

### FLOOR PLAN

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES

4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO. 15066

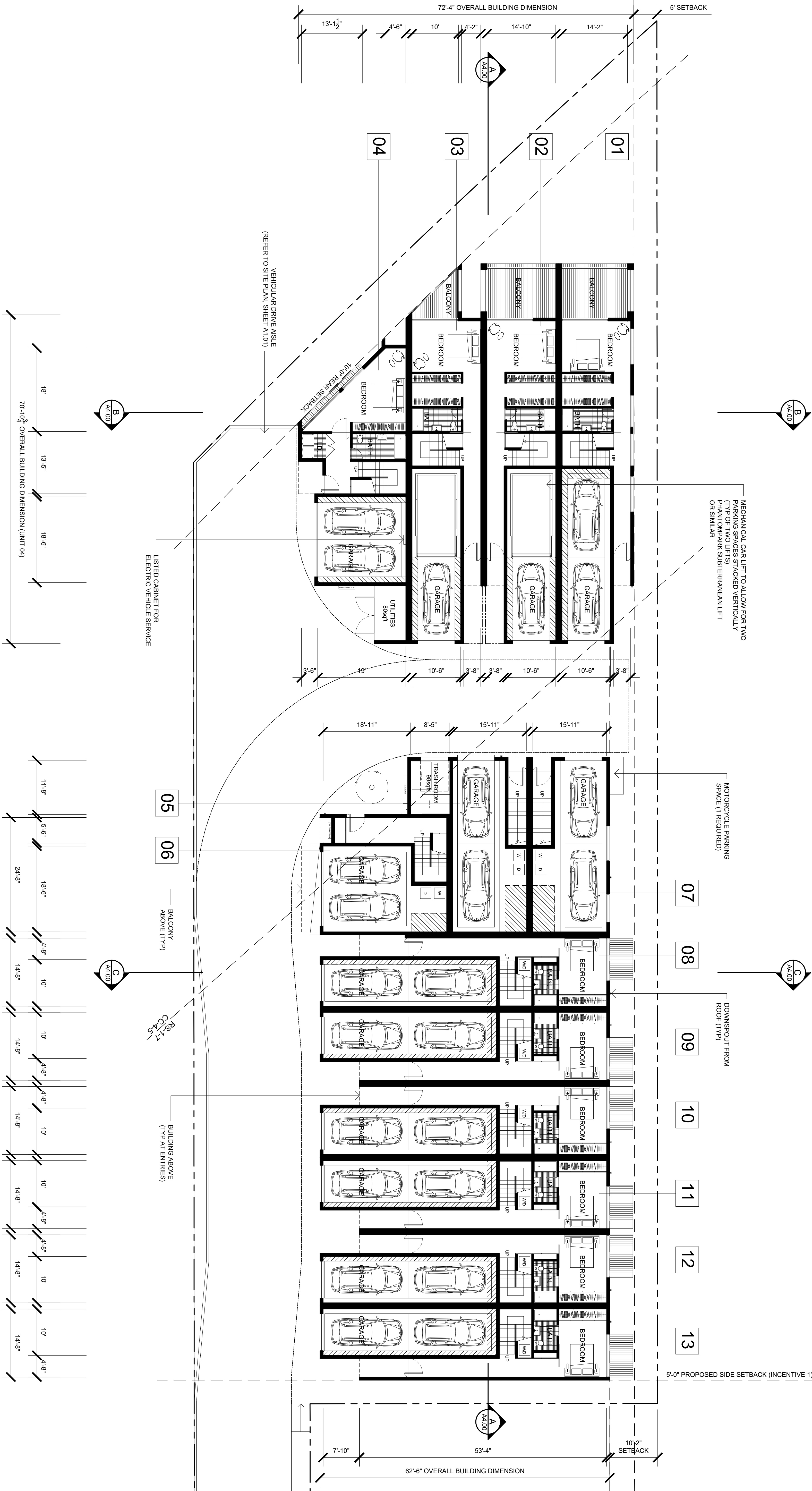
DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 3/32" = 1'-0"

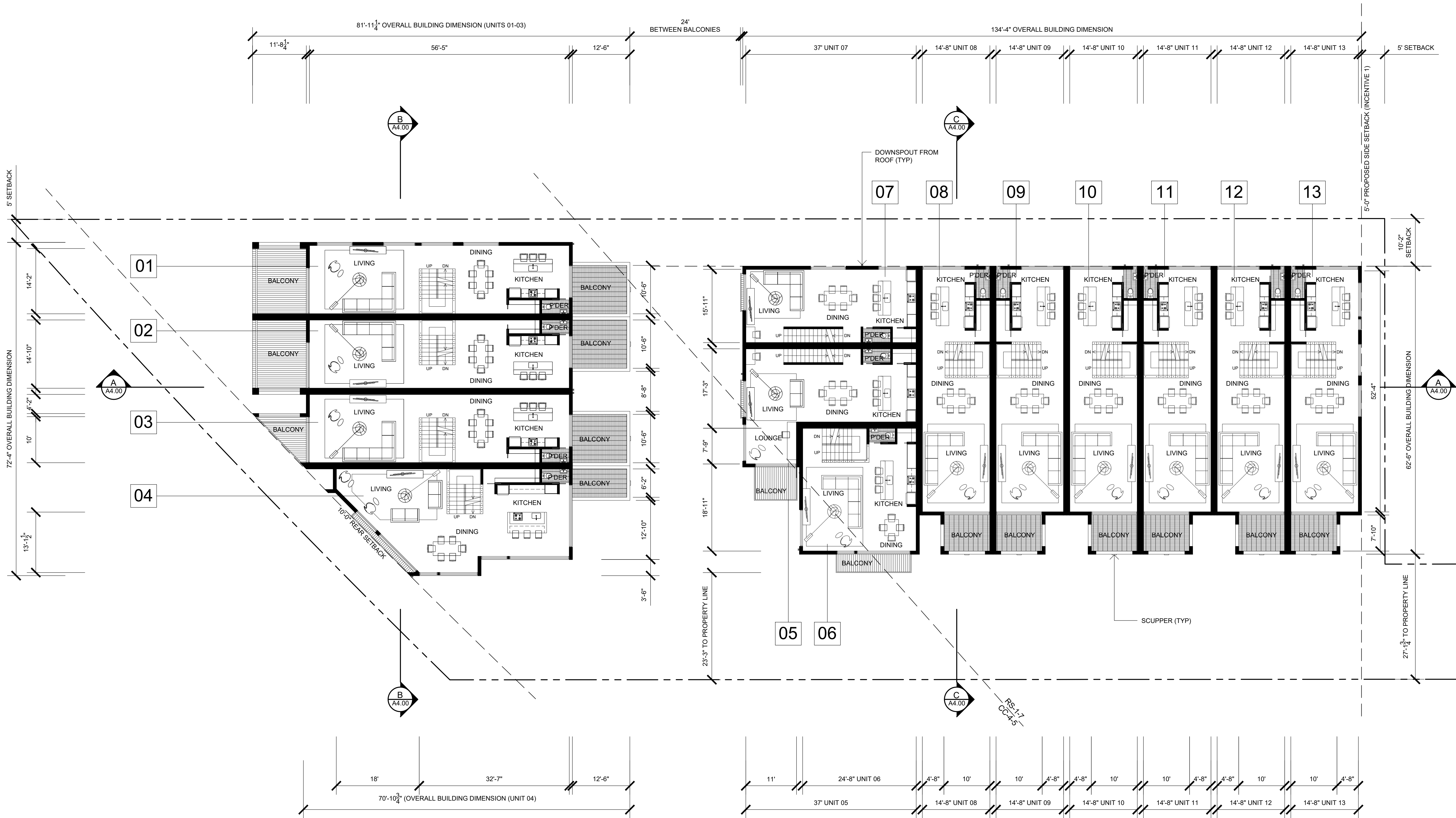
SHEET NO. A2.10

### FLOOR PLAN



NORTH





FLOOR PLAN

Notes:  
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DBRDS  
DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:  
ALMERIA INVESTMENTS, LP  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
DE BARTOLO • RIMANIC DESIGN STUDIO  
363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101  
PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING  
CIVIL LANDWORKS  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT  
STONE • GROVE LANDSCAPE ARCHITECTS  
200 N CEDROS AVE  
SOLANA BEACH, CA 92075  
PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER  
CHRISTIAN WHEELER ENGINEERING  
3980 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT  
PROTECTION DESIGN AND CONSULTING  
2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108  
PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: steve@protectiondesign.com

REVISION:  
06.15.2017 | DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 1  
10.18.2017 | DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 2  
01.08.2018 | DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 3  
11.14.2018 | DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 4  
05.28.2019 | DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 5  
09.12.2019 | DRAWN BY: CH  
SDP & NDP - CYCLE ISSUES 6

DRAWING TITLE:  
FLOOR PLAN  
LEVEL 2

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

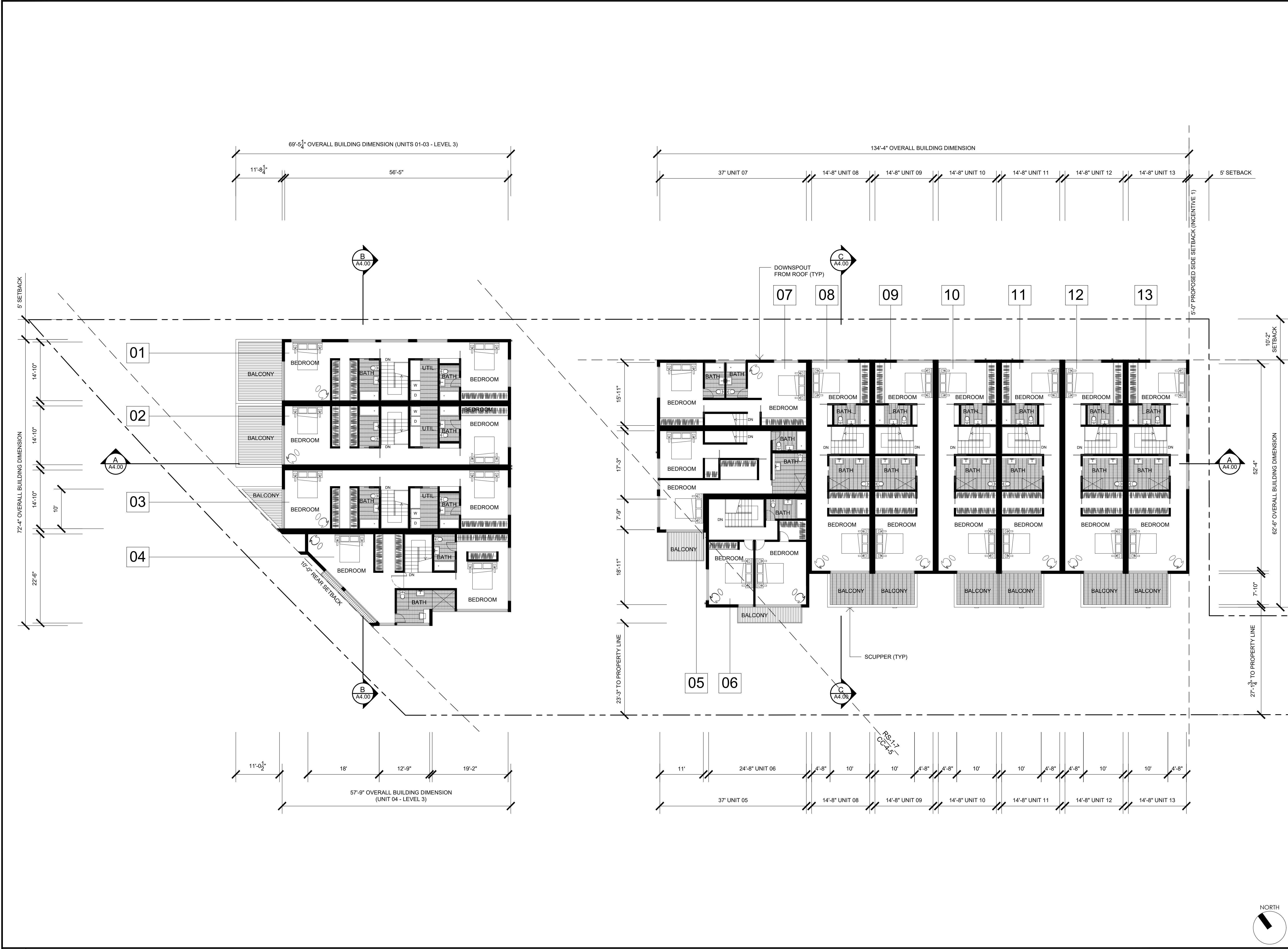
DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: 3/32" = 1'-0"

SHEET NO: A2.11

SITE DEVELOPMENT & NEIGHBORHOOD DEVELOPMENT PERMIT - (CYCLE ISSUES 6) - 09.12.2019



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DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:

ALMERIA INVESTMENTS, LP

PO BOX 232628  
ENCINITAS, CA 92023

PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:

DE BARTOLO • RIMANIC DESIGN STUDIO

363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101

PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING

CIVIL LANDWORKS

110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058

PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civillandworks.com

LANDSCAPE ARCHITECT

STONE • GROVE LANDSCAPE ARCHITECTS

200 N CEDROS AVE  
SOLANA BEACH, CA 92705

PHONE: (858) 345-1499  
CONTACT: BRIAN GILGILGAY  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER

CHRISTIAN WHEELER ENGINEERING

3980 HOME AVE  
SAN DIEGO, CA 92105

PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT

PROTECTION DESIGN AND CONSULTING

2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108

PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: steve@protectiondesign.com

REVISION:	
06.15.2017	DRAWN BY: CH
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SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
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09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:

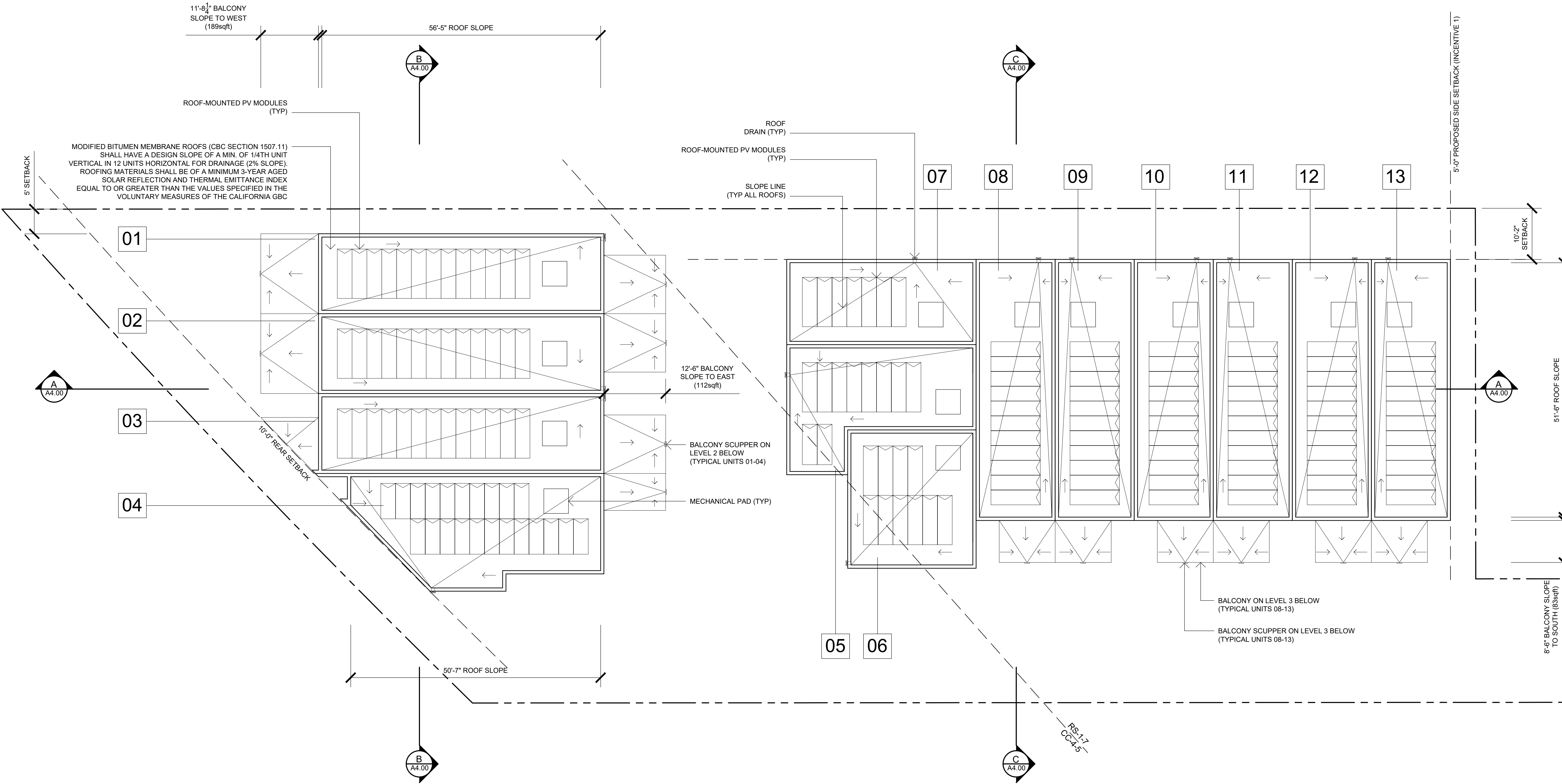
FLOOR PLAN  
LEVEL 3

PROJECT:

PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES

4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	3/32" = 1'-0"
SHEET NO:	A2.12



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DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:  
**ALMERIA INVESTMENTS, LP**  
PO BOX 232628  
ENCINITAS, CA 92023  
PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**  
363 5TH AVE, SUITE 203  
SAN DIEGO, CA 92101  
PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING  
**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058  
PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT  
**STONE • GROVE LANDSCAPE ARCHITECTS**  
200 N CEDROS AVE  
SOLANA BEACH, CA 92705  
PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER  
**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVE  
SAN DIEGO, CA 92105  
PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT  
**PROTECTION DESIGN AND CONSULTING**  
2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108  
PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
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SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
ROOF PLAN

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

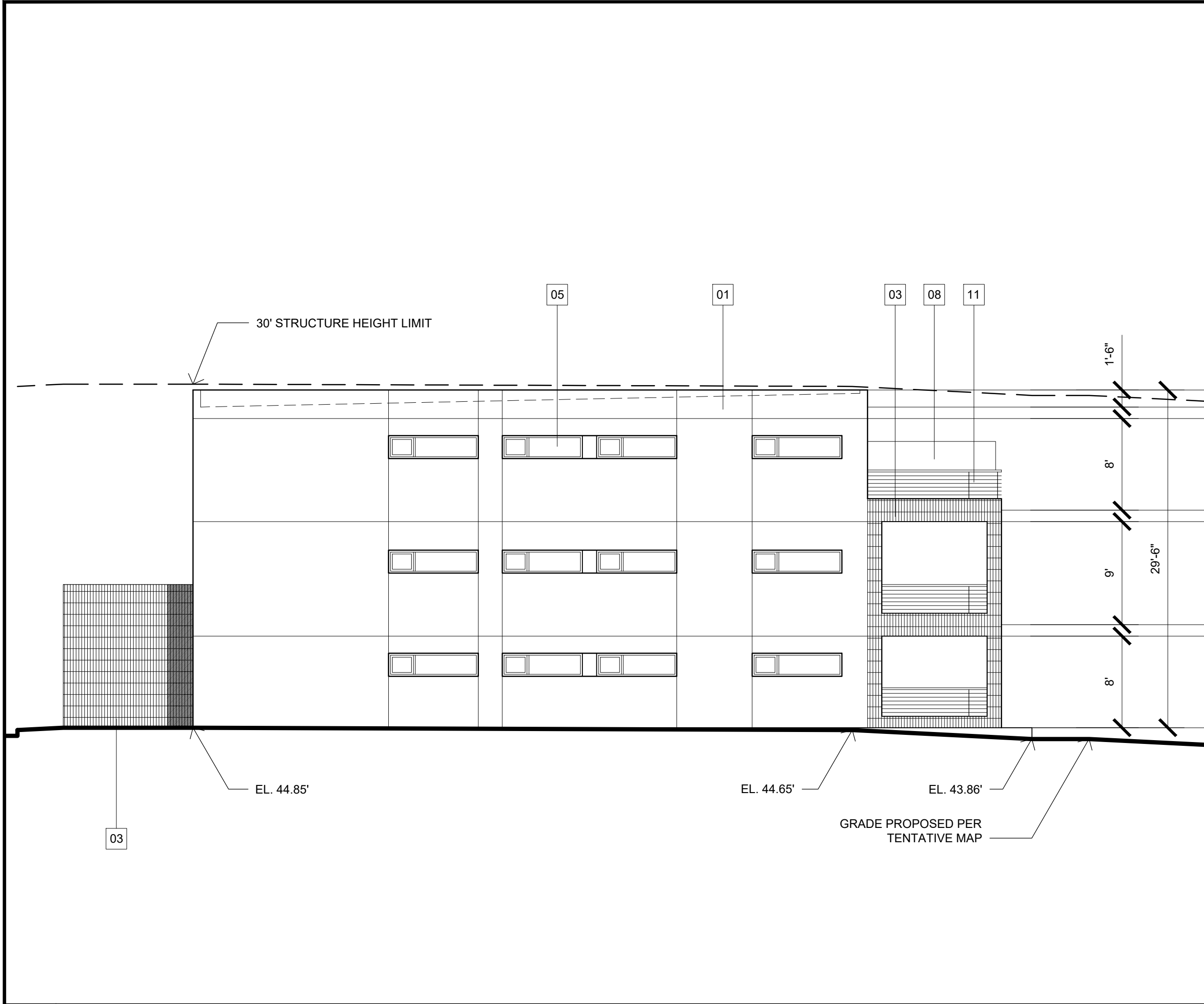
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DATE: SEPTEMBER 2016

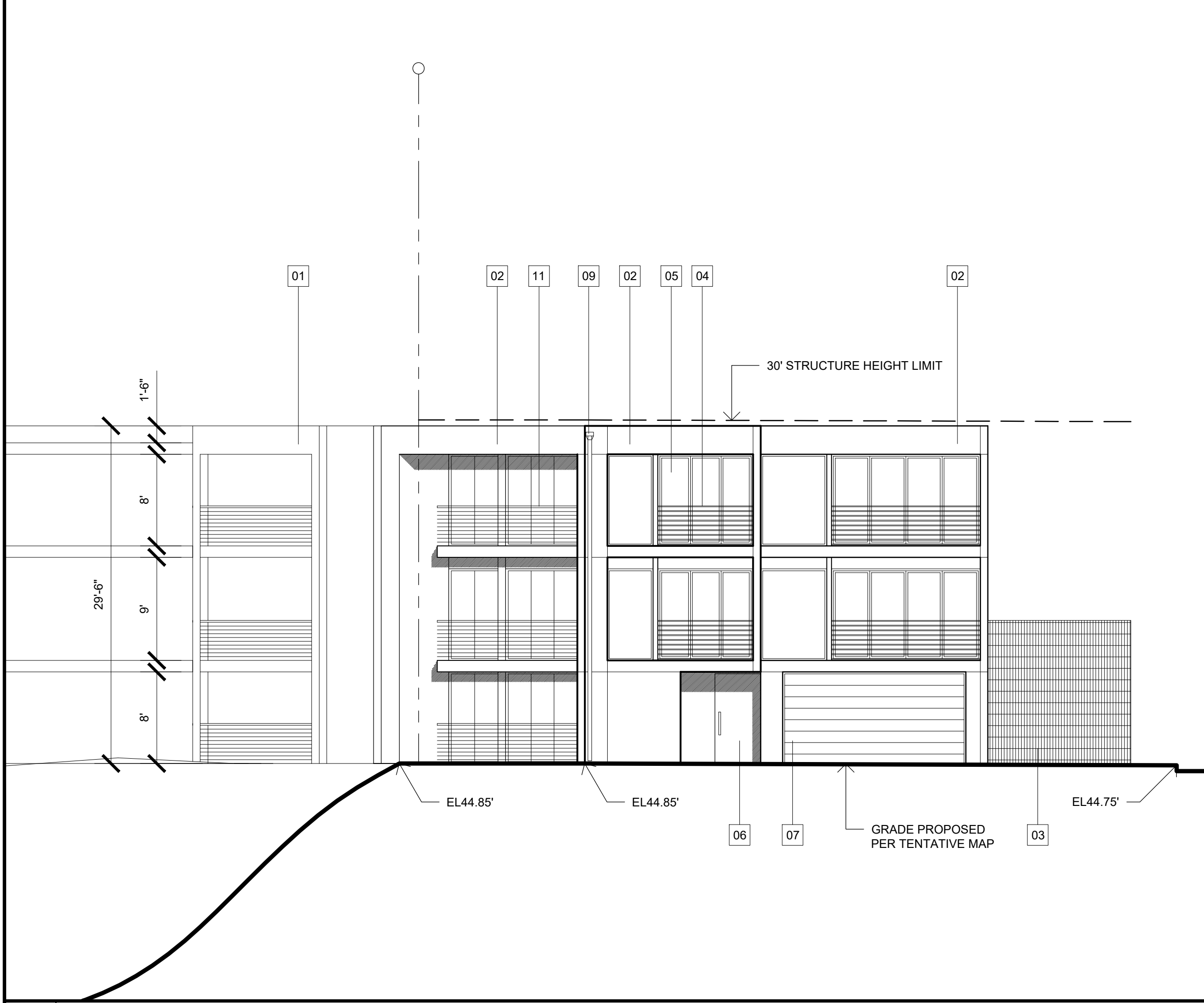
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SCALE: 3/32" = 1'-0"

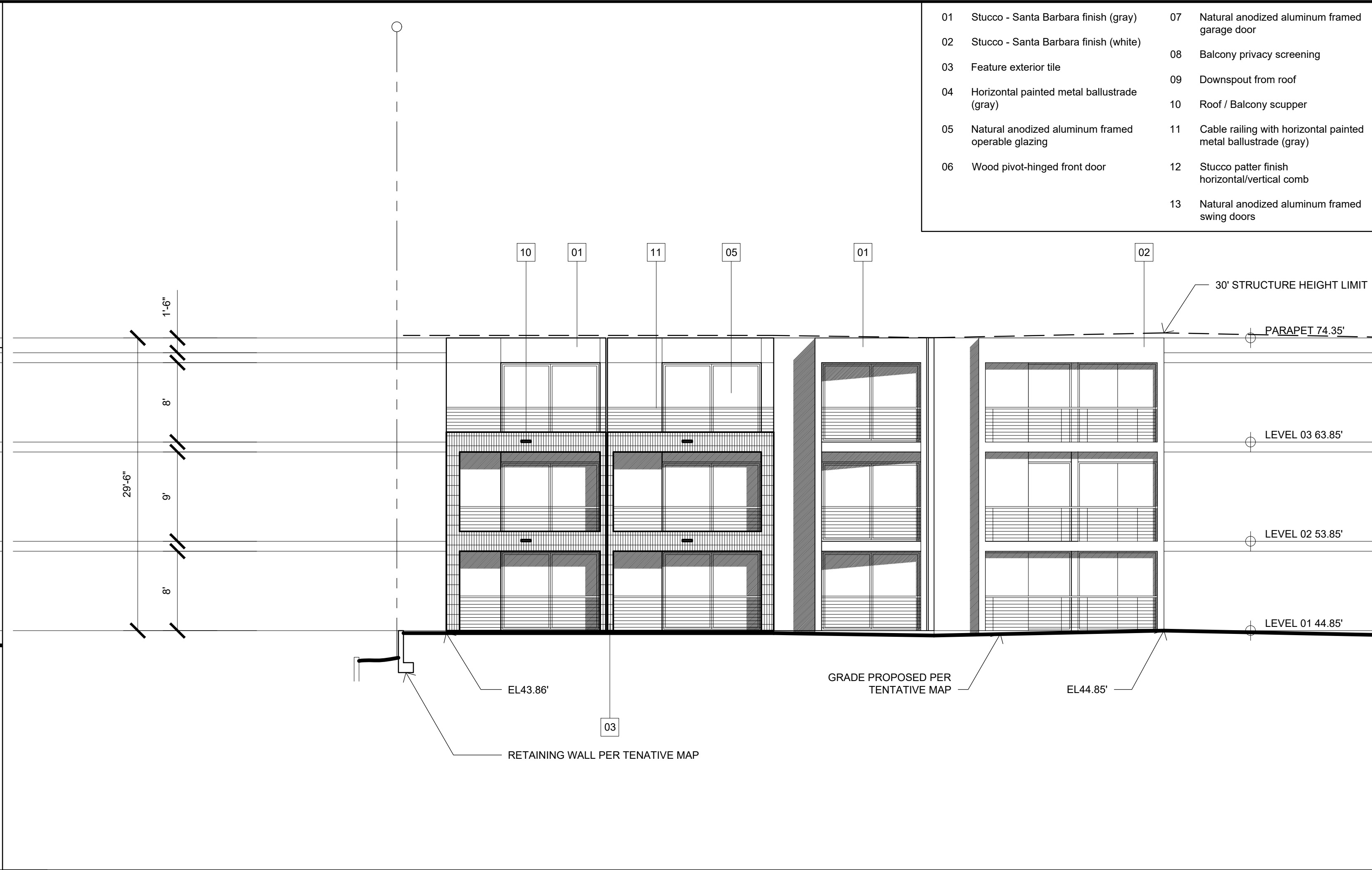
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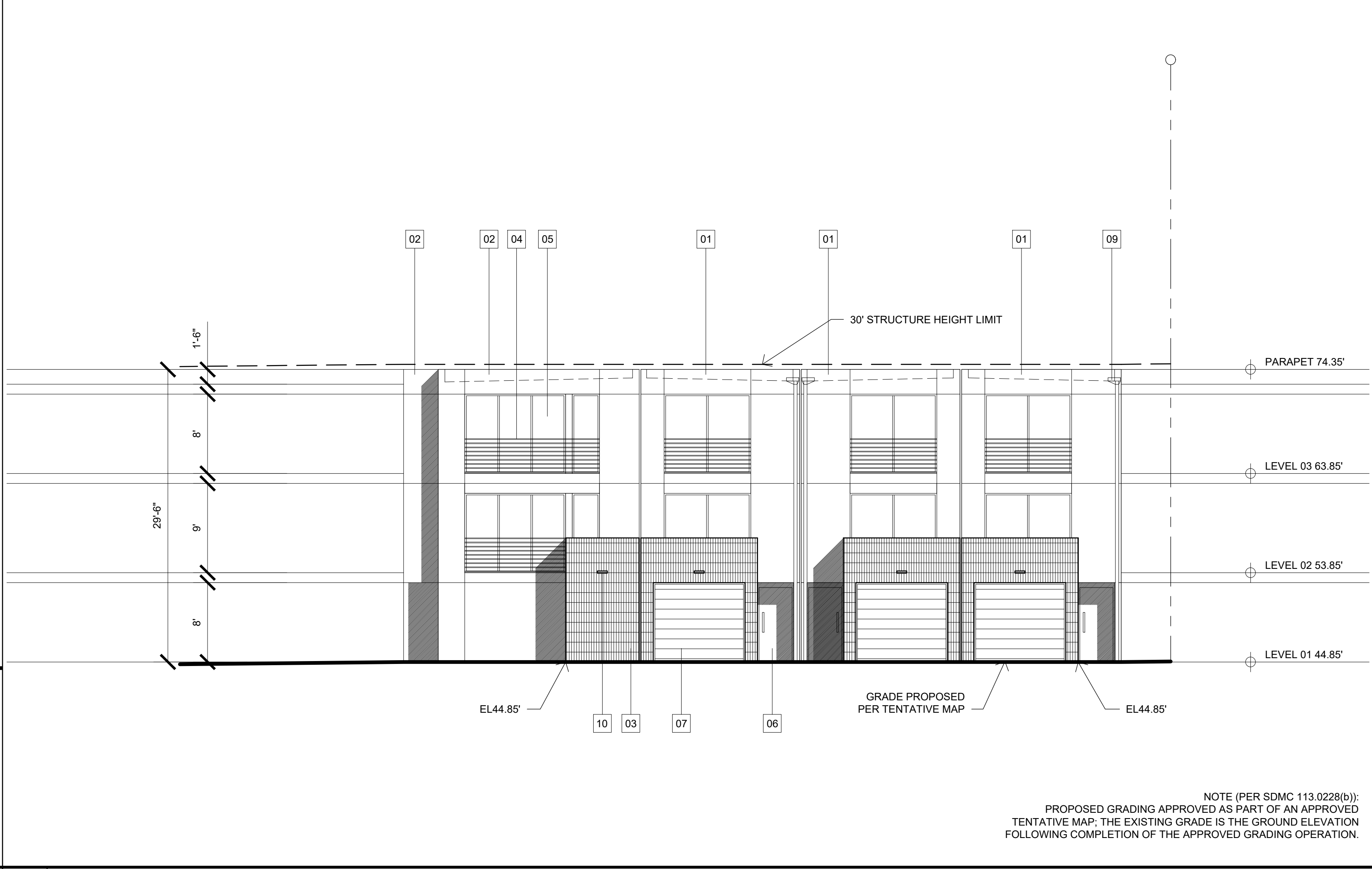
BUILDING 1 - NORTH ELEVATION



BUILDING 1 - SOUTH ELEVATION



BUILDING 1 - WEST ELEVATION



BUILDING 1 - EAST ELEVATION

- 01 Stucco - Santa Barbara finish (gray)

02 Stucco - Santa Barbara finish (white)

03 Feature exterior tile

04 Horizontal painted metal ballustrade (gray)

05 Natural anodized aluminum framed operable glazing

06 Wood pivot-hinged front door

07 Natural anodized aluminum framed garage door

08 Balcony privacy screening

09 Downspout from roof

10 Roof / Balcony scupper

11 Cable railing with horizontal painted metal ballustrade (gray)

12 Stucco patter finish horizontal/vertical comb

13 Natural anodized aluminum framed swing doors

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DBRDS

DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:

ALMERIA INVESTMENTS, LP

PO BOX 232628

ENCINITAS, CA 92023

PHONE: (760) 207-3740

CONTACT: MICHAEL FULTON

EMAIL: michael@almeriainvestments.com

DESIGN:

DE BARTOLO • RIMANIC DESIGN STUDIO

363 5TH AVE, SUITE 203

SAN DIEGO CA 92101

PHONE: (858) 220 5262

CONTACT: PAULY DE BARTOLO

EMAIL: pauly@dbdrds.com

CIVIL & LAND SURVEYING

CIVIL LANDWORKS

110 COPPERWOOD WAY, SUITE P

OCEANSIDE, CA 92058

PHONE: (760) 908-8745

CONTACT: DAVE CARRON, PE

EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT

STONE • GROVE LANDSCAPE ARCHITECTS

200 N CEDROS AVE

SOLANA BEACH, CA 92705

PHONE: (858) 345-1499

CONTACT: BRIAN GROVE

EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER

CHRISTIAN WHEELER ENGINEERING

3980 HOME AVE

SAN DIEGO, CA 92105

PHONE: (619) 550-1700

CONTACT: DAVID R. RUSSELL

EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT

PROTECTION DESIGN AND CONSULTING

2851 CAMINO DEL RIO S. #210

SAN DIEGO, CA 92108

PHONE: (619) 255-8964

CONTACT: STEVE LEYTON

EMAIL: steve@protectiondesign.com

REVISION:

06.15.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 1	
10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
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SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:

ELEVATIONS

BUILDING 1

PROJECT:

PROPOSED INDIVIDUAL

R-3 CLASS TOWN HOMES

4200 TONOPAH AVE,

SAN DIEGO, CA 92110

DBRDS PROJECT NO:

15066

DATE:

SEPTEMBER 2016

DRAWN BY:

CH

SCALE:

1/8" = 1'-0"

SHEET NO:

A3.00

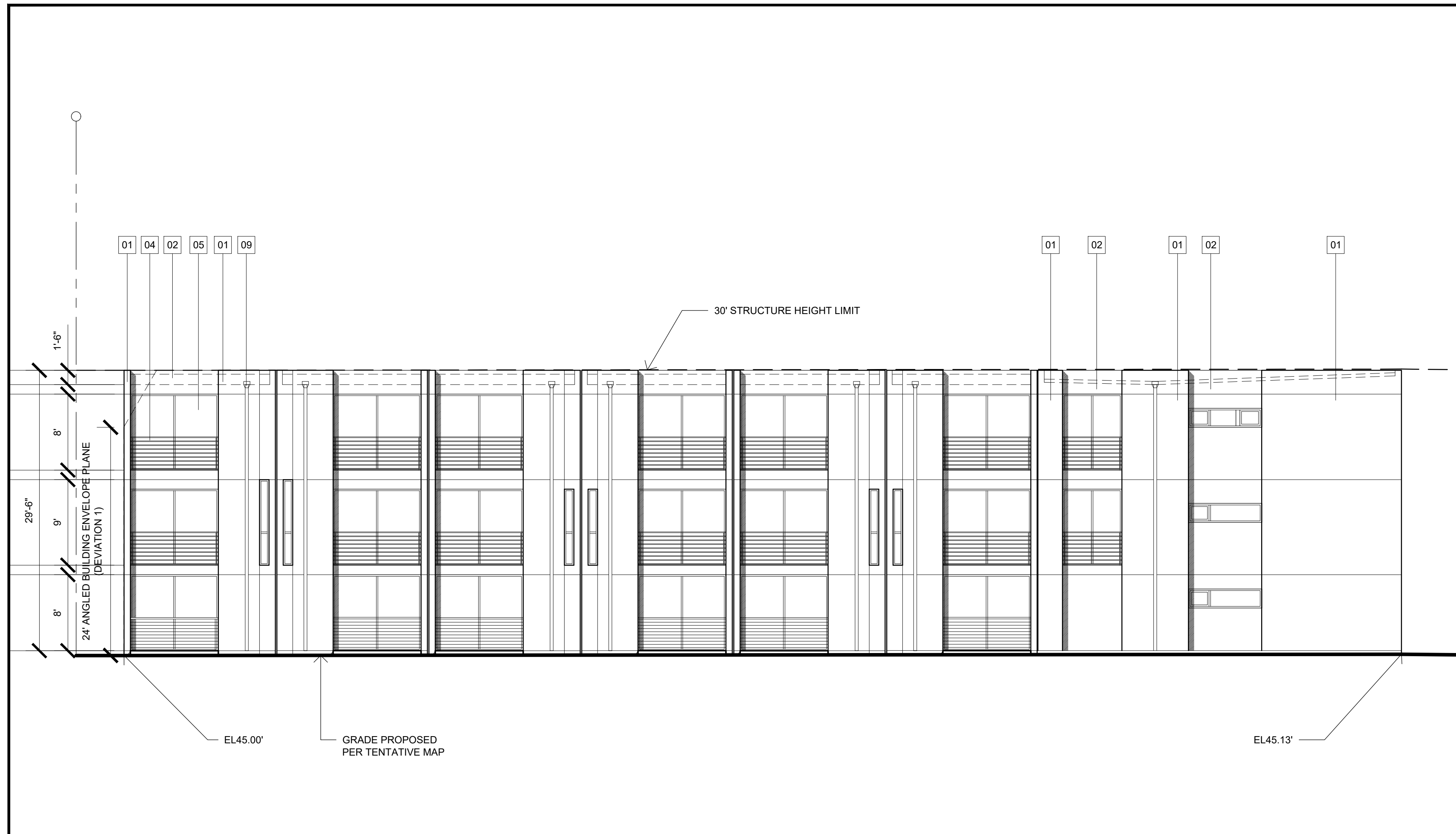
NOTE (PER SDMC 113.0228(b)):

PROPOSED GRADING APPROVED AS PART OF AN APPROVED

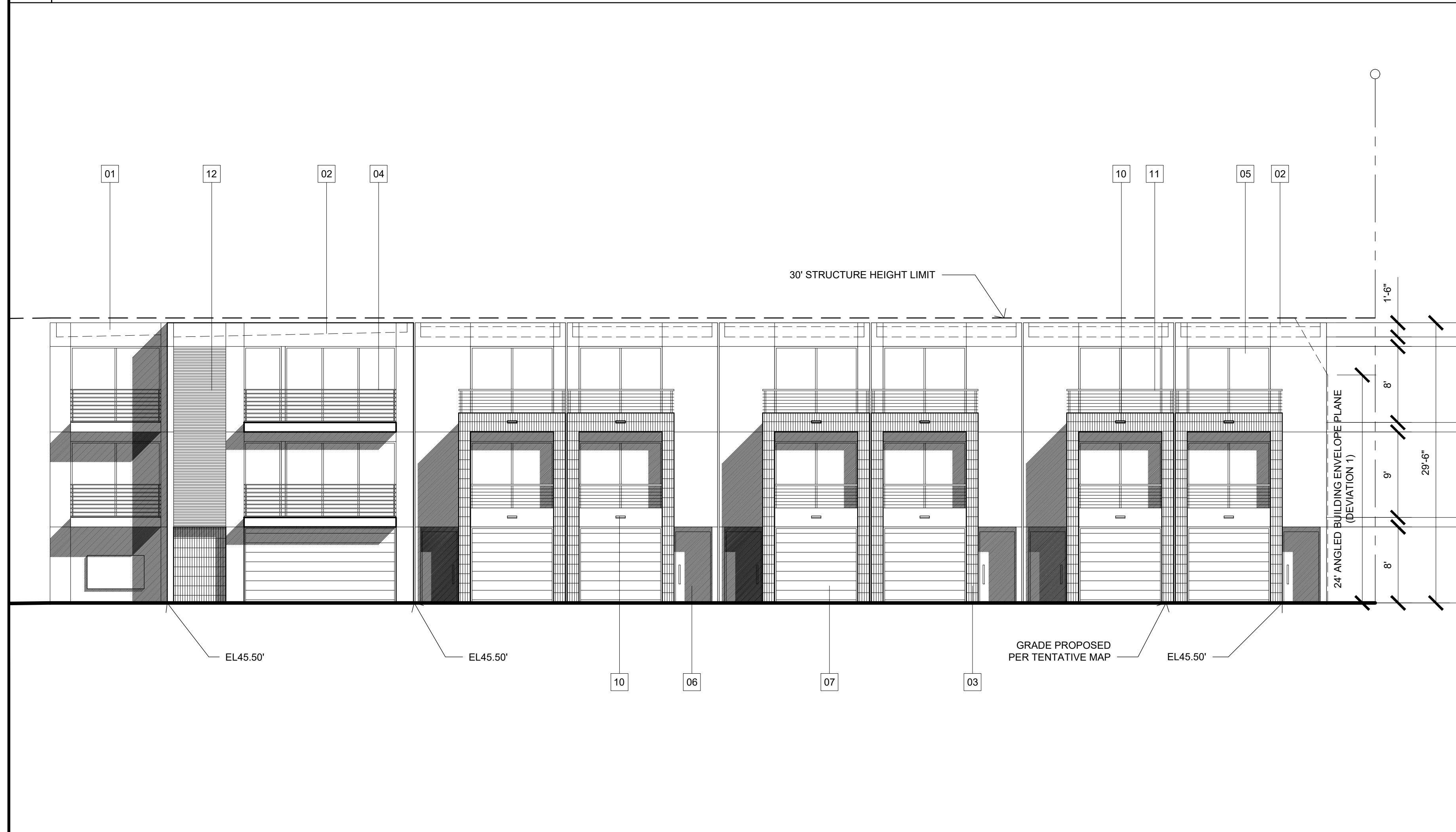
TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION

FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.

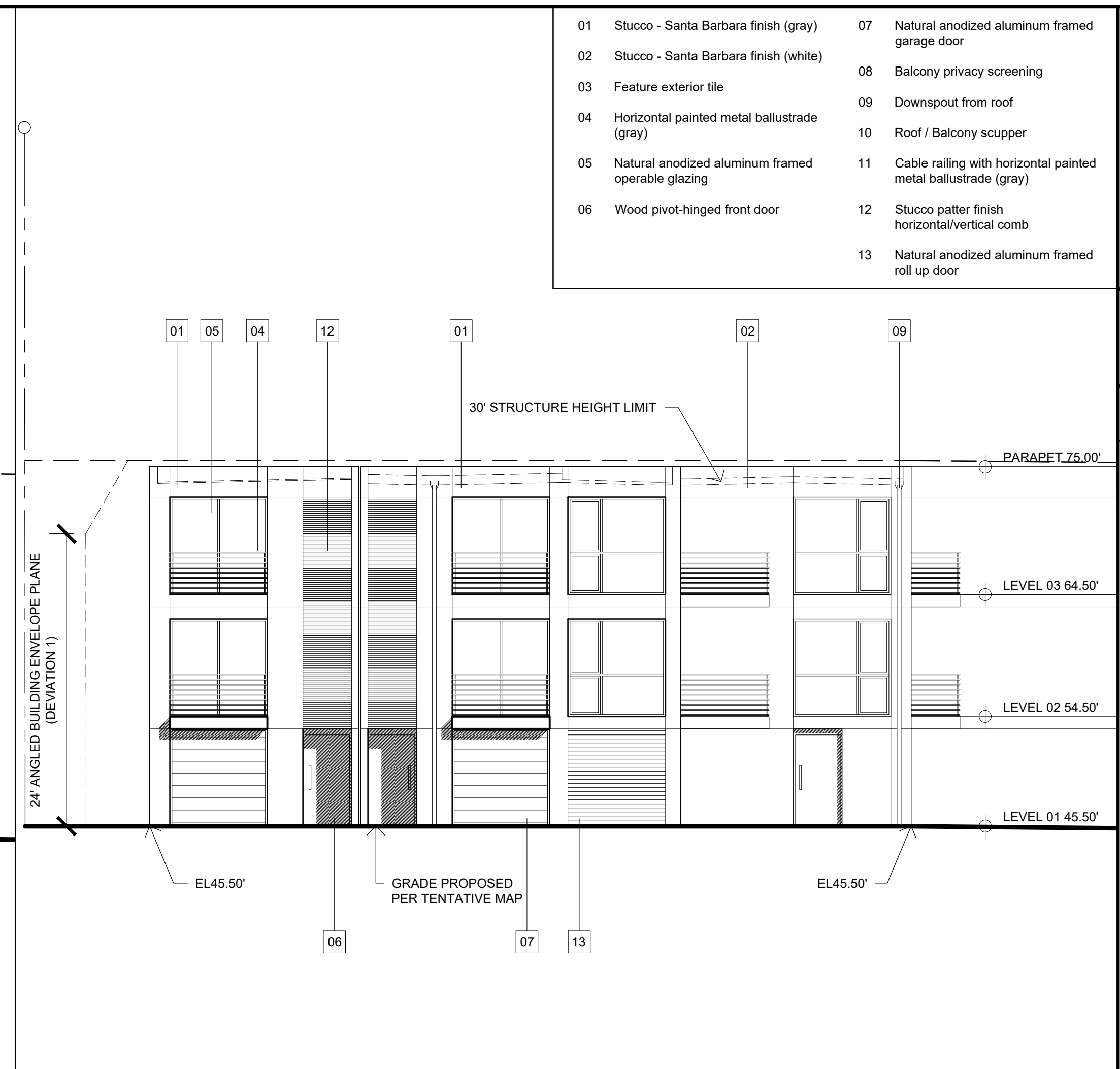




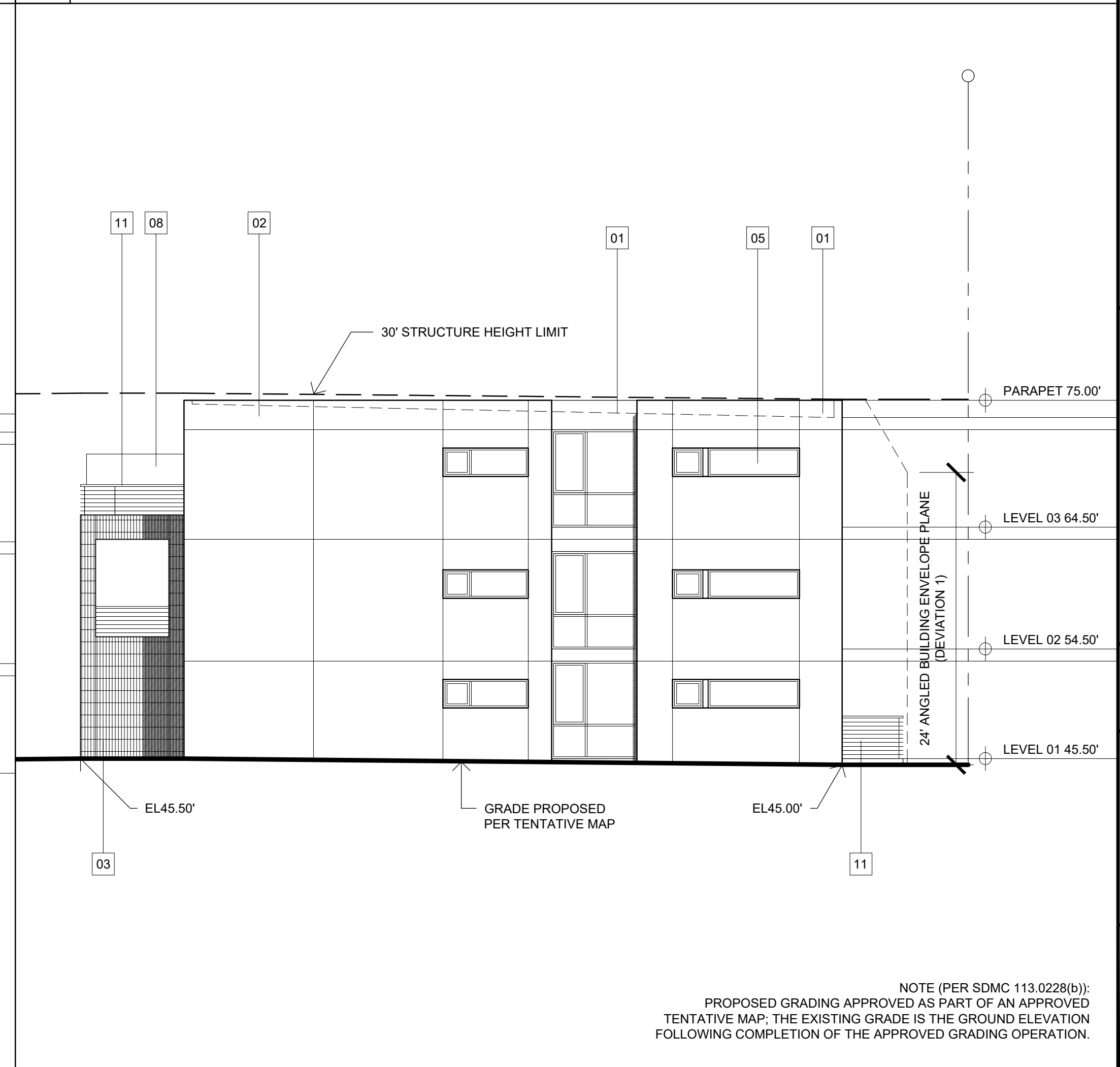
BUILDING 2 - NORTH ELEVATION



BUILDING 2 - SOUTH ELEVATION



BUILDING 2 - WEST ELEVATION



BUILDING 2 - EAST ELEVATION

- |    |   |    |  |
|----|---|----|--|
| 01 | Stucco - Santa Barbara finish (gray)              | 07 | Natural anodized aluminum framed garage door                   |
| 02 | Stucco - Santa Barbara finish (white)             | 08 | Balcony privacy screening                                      |
| 03 | Feature exterior tile                             | 09 | Downspout from roof  |
| 04 | Horizontal painted metal ballustrade (gray)       | 10 | Roof / Balcony scupper   |
| 05 | Natural anodized aluminum framed operable glazing | 11 | Cable railing with horizontal painted metal ballustrade (gray) |
| 06 | Wood pivot-hinged front door                      | 12 | Stucco patter finish horizontal/vertical comb                  |
|    |   | 13 | Natural anodized aluminum framed roll up door                  |

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**DBRDS**  
DE BARTOLO + RIMANIC DESIGN STUDIO

## PROJECT TEAM

OWNER:

---

**ALMERIA INVESTMENTS, LP**

PO BOX 232628  
ENCINITAS, CA 92023

PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
DE BARTOLO + RIMANIC DESIGN STUDIO

363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101

PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbrds.com

CIVIL &amp; LAND SURVEYING

**CIVIL LANDWORKS**  
110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058

PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civillandworks.com

LANDSCAPE ARCHITECT

**STONE + GROVE LANDSCAPE ARCHITECTS**  
200 N CEDROS AVE  
SOLANA BEACH, CA 92705

PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: [brian@stone-grove.co](mailto:brian@stone-grove.co)

GEOTECHNICAL ENGINEER

**CHRISTIAN WHEELER ENGINEERING**  
3980 HOME AVE  
SAN DIEGO, CA 92105

PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT

**PROTECTION DESIGN AND CONSULTING**  
2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108

PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: [steve@protectiondesign.com](mailto:steve@protectiondesign.com)

REVISION:	
06.15.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 1	

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SDP & NDP - CYCLE ISSUES 4	

05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	

09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
ELEVATIONS  
BUILDING 2

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES

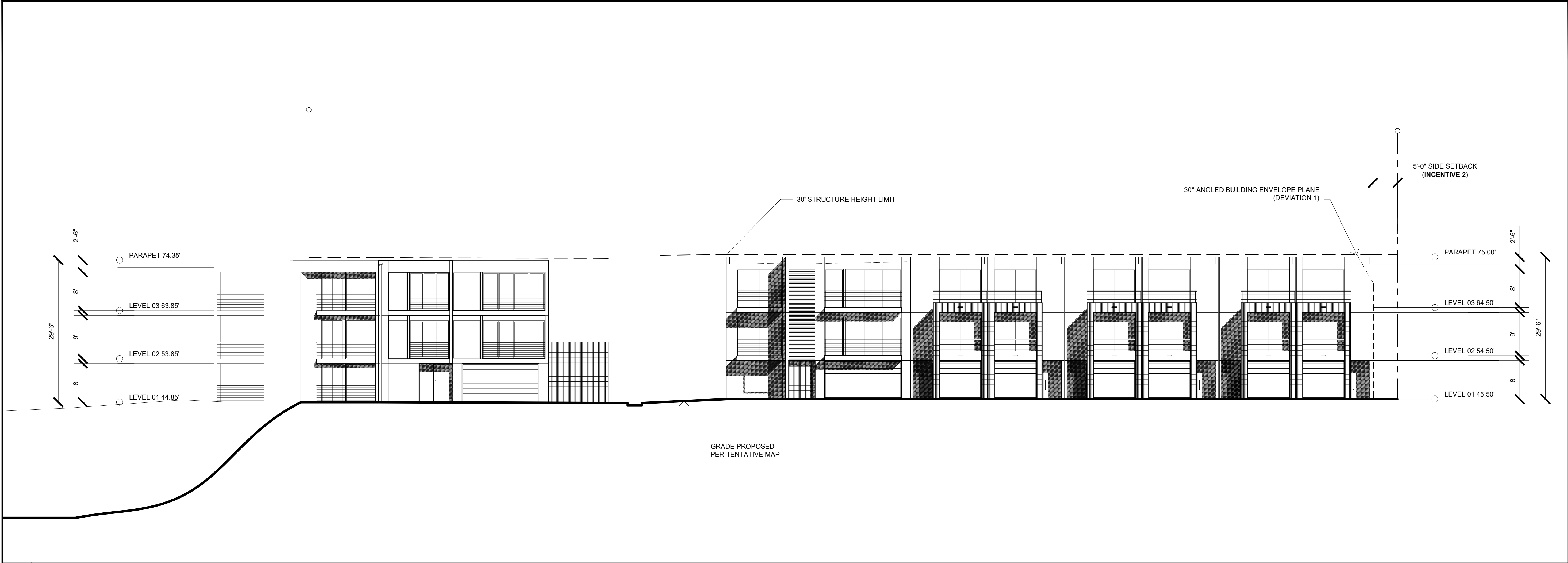
DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

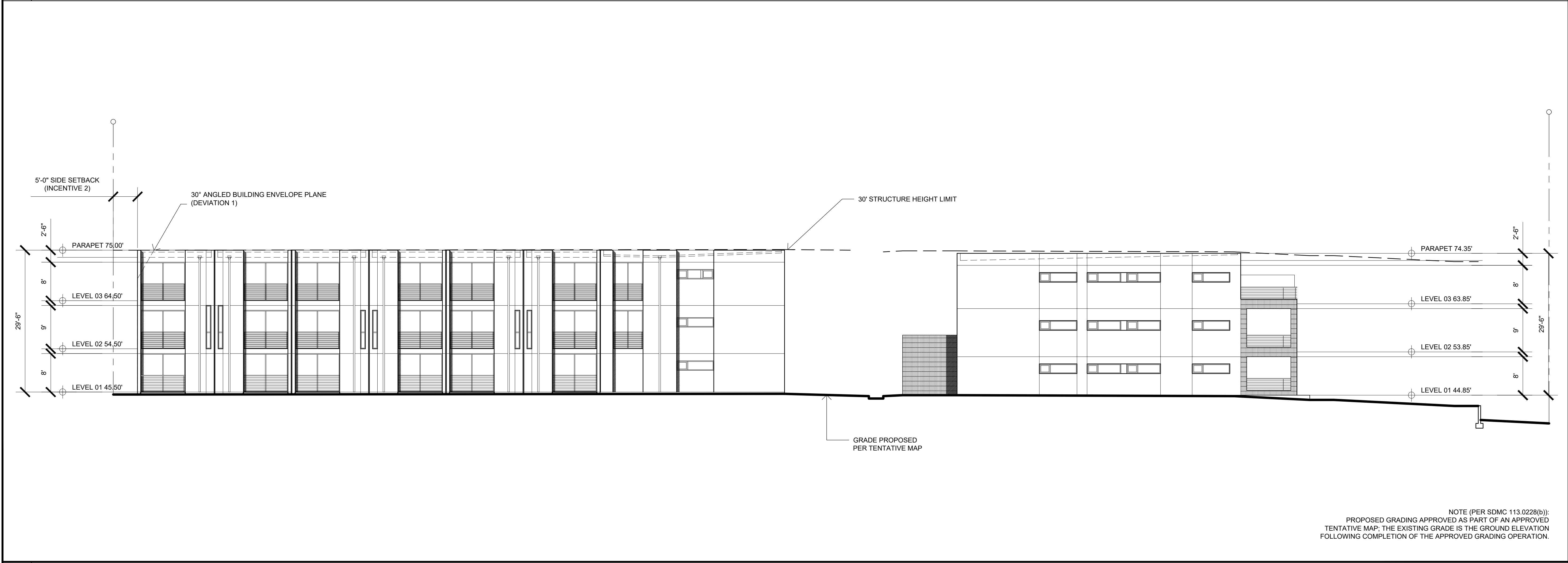
DRAWN BY: CH

SCALE:  $1/8" = 1'-0"$

NOTE (PER SDMC 113.0228(b)):  
PROPOSED GRADING APPROVED AS PART OF AN APPROVED  
TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION  
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SOUTH ELEVATION



NORTH ELEVATION

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**ALMERIA INVESTMENTS, LP**  
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ENCINITAS, CA 92023  
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EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**  
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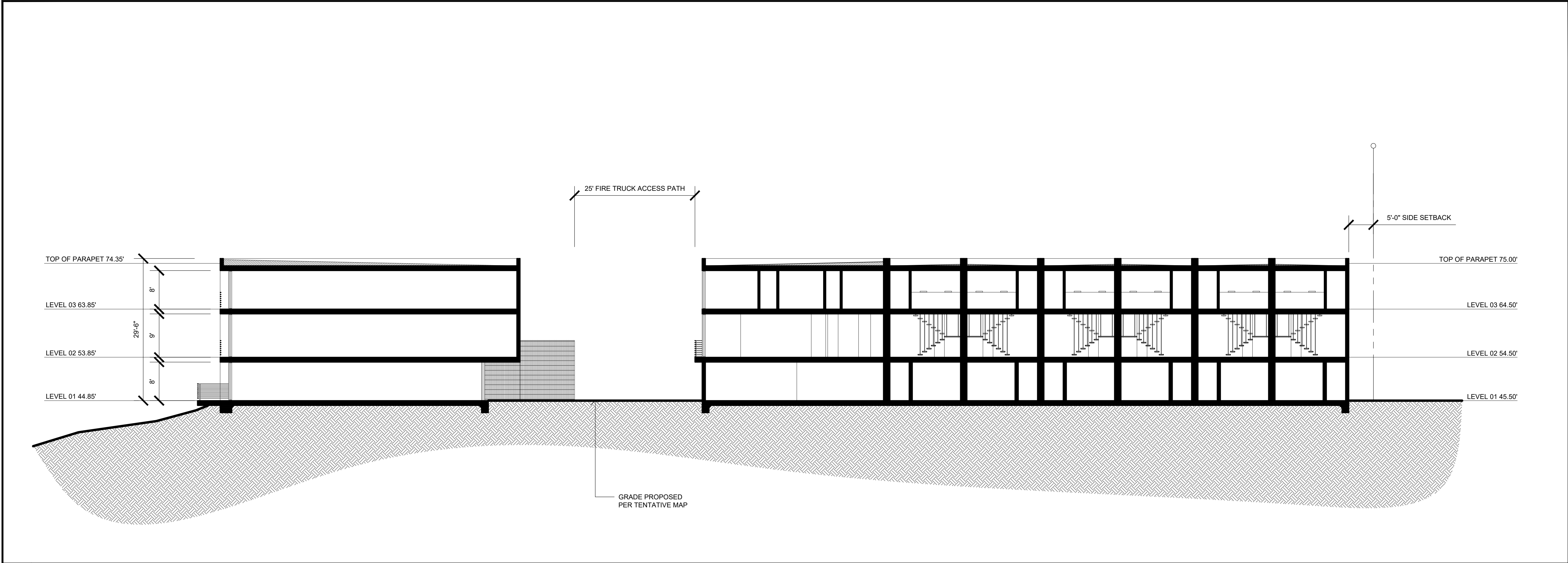
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09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
SITE ELEVATIONS

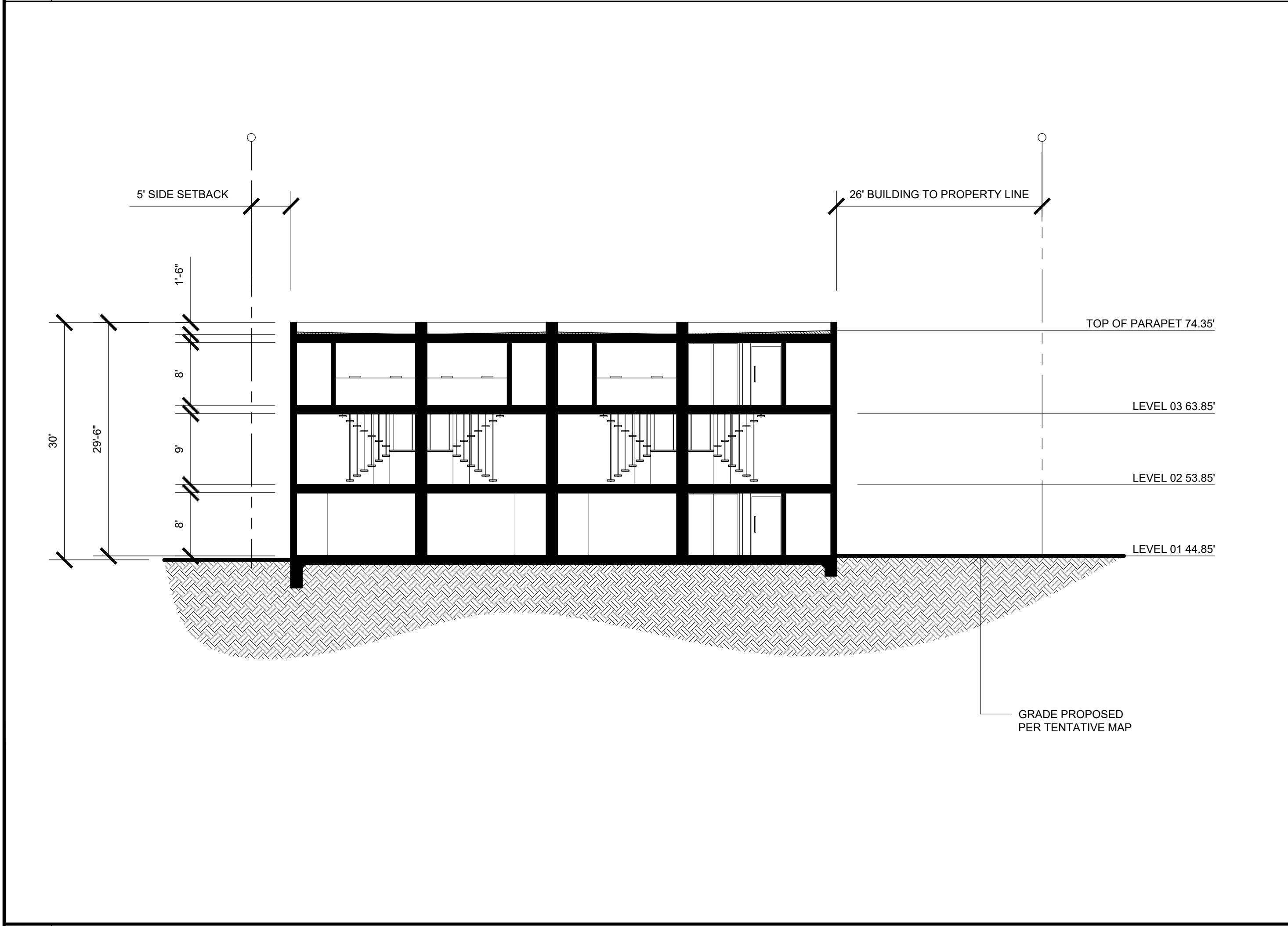
PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO:	15066
DATE:	SEPTEMBER 2016
DRAWN BY:	CH
SCALE:	3/32" = 1'-0"
SHEET NO:	A3.02

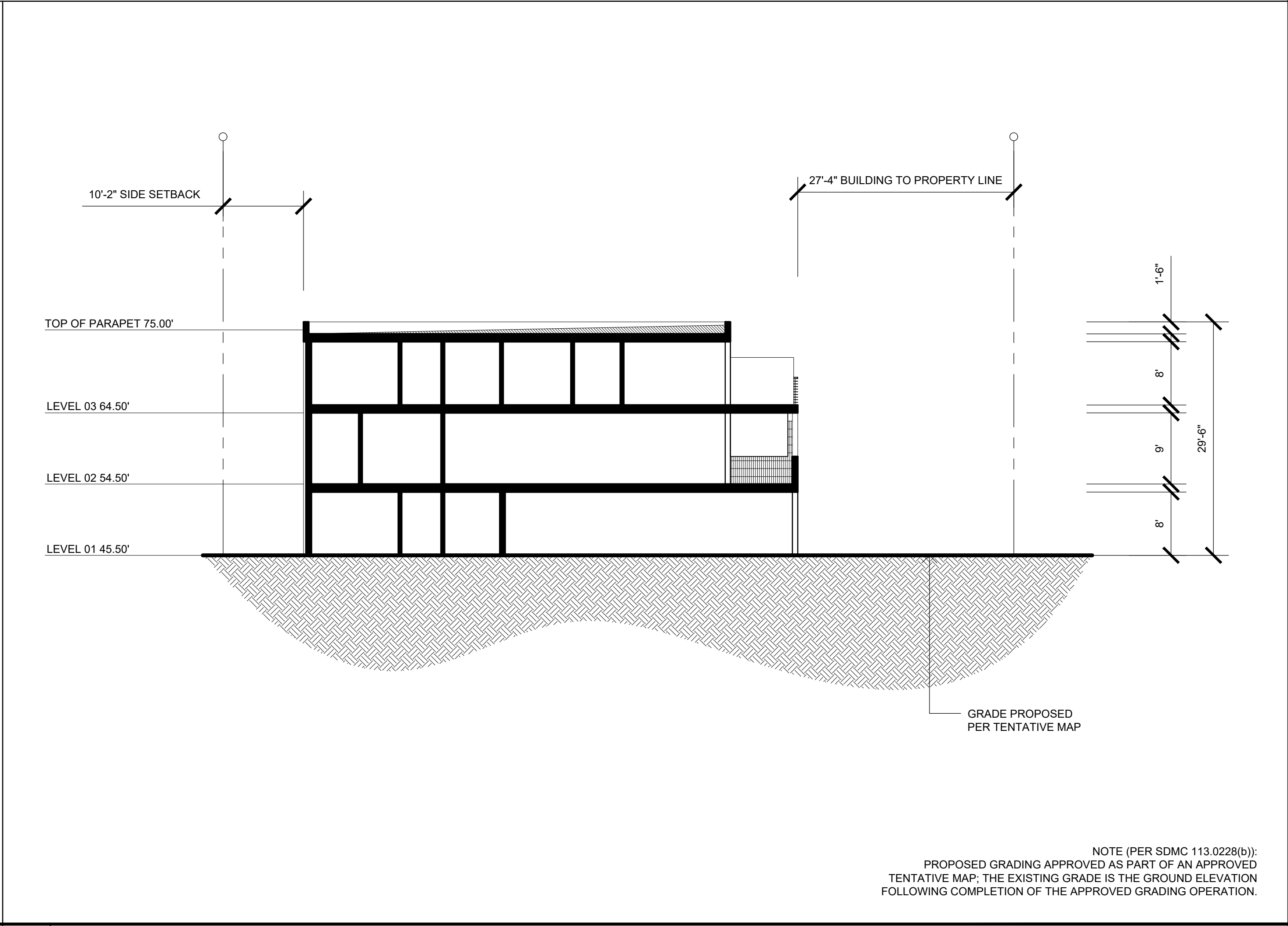
NOTE (PER SDMC 113.0228(b)):  
PROPOSED GRADING APPROVED AS PART OF AN APPROVED  
TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION  
FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.



SECTION A-A



SECTION B-B



SECTION C-C

NOTE (PER SDMC 113.0228(b)):  
PROPOSED GRADING APPROVED AS PART OF AN APPROVED  
TENTATIVE MAP; THE EXISTING GRADE IS THE GROUND ELEVATION  
FOLLOWING COMPLETION OF THE APPROVED GRADING OPERATION.

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**DBRDS**  
DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:

**ALMERIA INVESTMENTS, LP**

PO BOX 232628  
ENCINITAS, CA 92023

PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:

**DE BARTOLO • RIMANIC DESIGN STUDIO**

363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101

PHONE: (858) 220 5262  
CONTACT: PAULY DE BARTOLO  
EMAIL: pauly@dbrds.com

CIVIL & LAND SURVEYING

**CIVIL LANDWORKS**

110 COPPERWOOD WAY, SUITE P  
OCEANSIDE, CA 92058

PHONE: (760) 908-8745  
CONTACT: DAVE CARRON, PE  
EMAIL: dave@civilandworks.com

LANDSCAPE ARCHITECT

**STONE • GROVE LANDSCAPE ARCHITECTS**

200 N CEDROS AVE  
SOLANA BEACH, CA 92705

PHONE: (858) 345-1499  
CONTACT: BRIAN GROVE  
EMAIL: brian@stone-grove.co

GEOTECHNICAL ENGINEER

**CHRISTIAN WHEELER ENGINEERING**

3980 HOME AVE  
SAN DIEGO, CA 92105

PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

FIRE PIPING CONSULTANT

**PROTECTION DESIGN AND CONSULTING**

2851 CAMINO DEL RIO S. #210  
SAN DIEGO, CA 92108

PHONE: (619) 255-8964  
CONTACT: STEVE LEYTON  
EMAIL: steve@protectiondesign.com

REVISION:

06.15.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 1	
10.18.2017	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 2	
01.08.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 3	
11.14.2018	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:

SECTIONS

PROJECT:

PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES

4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO:

15066

DATE:

SEPTEMBER 2016

DRAWN BY:

CH

SCALE:

3/32" = 1'-0"

SHEET NO:

A4.00

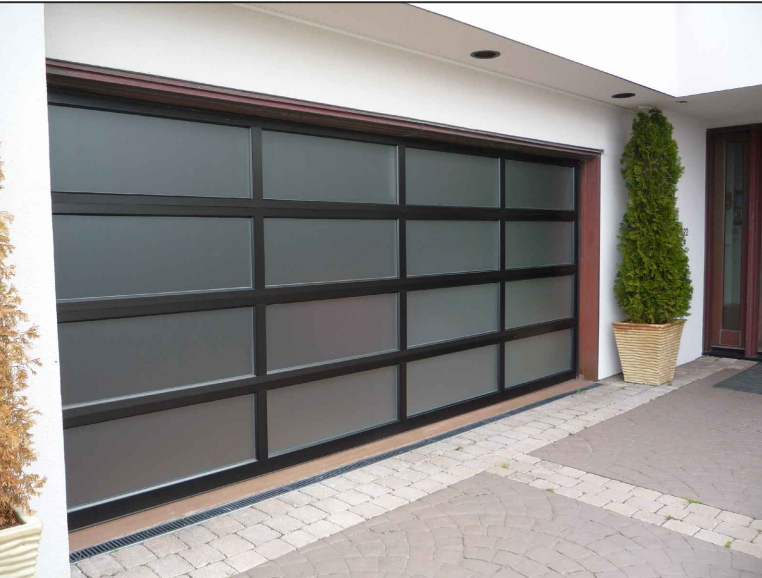




1. STUCCO - SANTA BARBARA FINISH GRAY



4. HORIZONTAL PAINTED METAL BALUSTRADE GRAY



7. NATURAL ANODIZED ALUMINUM FRAMED GARAGE DOOR



2. STUCCO - SANTA BARBARA FINISH WHITE



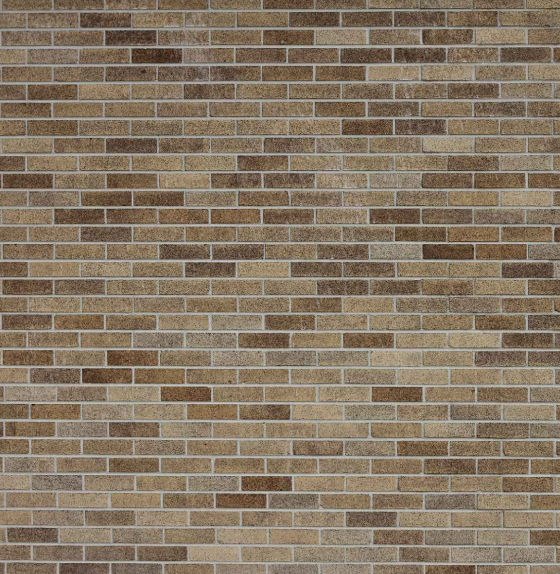
5. NATURAL ANODIZED ALUMINUM FRAMED OPERABLE GLAZING



8. PIVOT -HINGED FRONT DOOR



3. NOT USED



6. FEATURE EXTERIOR BRICK BROWN/EARTH TONES



9. STUCCO PATTERN FINISH HORIZONTAL / VERTICAL COMB

MATERIALS BOARD (SOUTH ELEVATION)

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PROJECT TEAM

OWNER:  
**ALMERIA INVESTMENTS, LP**

PO BOX 232628  
ENCINITAS, CA 92023

PHONE: (760) 207-3740  
CONTACT: MICHAEL FULTON  
EMAIL: michael@almeriainvestments.com

DESIGN:  
**DE BARTOLO • RIMANIC DESIGN STUDIO**

363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101

PHONE: (858) 220 5262  
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SDP & NDP - CYCLE ISSUES 4	
05.28.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 5	
09.12.2019	DRAWN BY: CH
SDP & NDP - CYCLE ISSUES 6	

DRAWING TITLE:  
**MATERIALS BOARD**

PROJECT:  
PROPOSED INDIVIDUAL  
R-3 CLASS TOWN HOMES  
4200 TONOPAH AVE,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: SEPTEMBER 2016

DRAWN BY: CH

SCALE: N/A

SHEET NO: A5.00














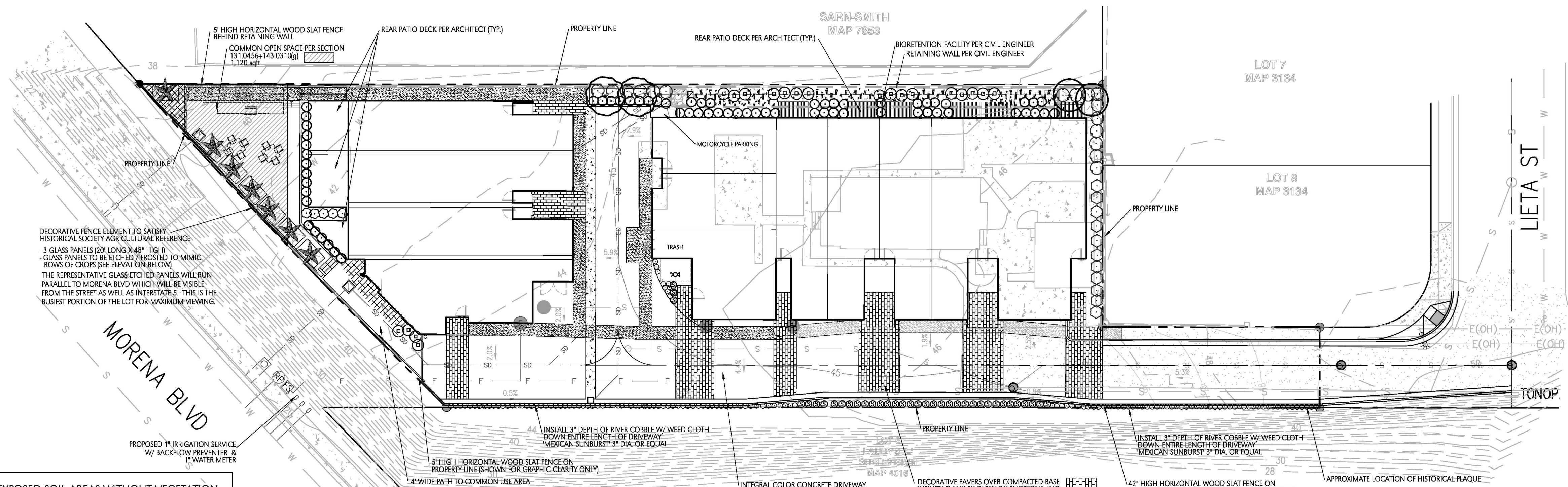
# Landscape Development Plan

**GENERAL NOTES:**

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
3. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEADS AND DRIP LINES.
4. ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(g)].
5. ARCHITECTURAL ELEVATIONS AND FEATURES SHALL BE CONSIDERED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
6. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE SITE.
7. THE PLANT PALETTE LISTED PROVIDES A LIST OF PLANT MATERIAL TO SELECT FROM WHEN DESIGNING THE LANDSCAPE. HOWEVER, SUBSTITUTIONS MAY BE REQUIRED DUE TO AVAILABILITY, SOILS TEST RESULTS, OR OTHER INFLUENCES.
8. ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
9. COLOR FROM PLANT FOLIAGE, BARK, OR FLOWERS WILL BE UTILIZED TO CREATE A FRIENDLY, WARM, AND VISUALLY EXCITING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.
10. A SOIL TEST BY A QUALIFIED AGRONOMIST SHALL FURTHER INFLUENCE PLANT MATERIALS AND INSTALLATION TECHNIQUES.
11. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
12. ALL PROPOSED PLANTING AREAS SHALL BE TREATED WITH SOIL CONDITIONERS TO INCREASE AND RETAIN SOIL MOISTURE.
13. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
14. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
15. NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED ADJACENT HARDSCAPE FOR ALL STREET TREES. ROOT BARRIERS MAY BE ELIMINATED WHERE THE COMBINATION OF TREE SPECIES, SOIL TYPE, SOIL AREA, AND DRAINAGE CONDITIONS CAN BE SHOWN TO AFFORD EQUIVALENT PROTECTION AGAINST TREE ROOT DAMAGE TO PUBLIC IMPROVEMENTS.

## PLANT SCHEDULE

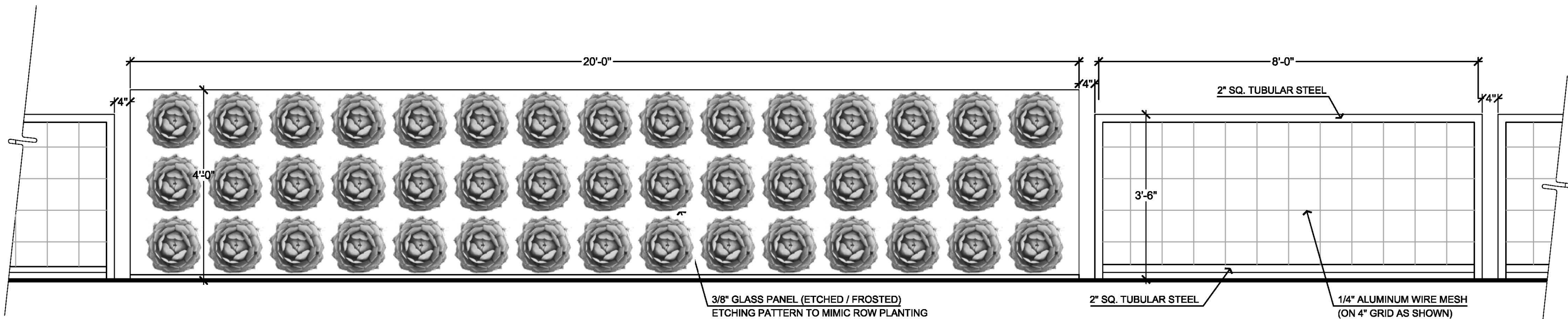
	<u>TREES</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>QTY</u>		MUHLENBERGIA CAPILLARIS 'REGAL MIST'™ / MUHLY	5 GAL	36	
		ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM	15' BTH	7		PODOCARPUS X 'ICEE BLUE' / ICEE BLUE PODOCARPUS	15 GAL	11	
		CERCIDIUM X 'DESERT MUSEUM' / THORNLESS PALO VERDE	48"BOX	2		RHAPHIOLEPIS UMBELLATA 'MINOR' / YEDDA HAWTHORN	5 GAL	5	
		PYRUS CALLERYANA 'CAPITAL' / CAPITAL CALLERY PEAR	36"BOX	2	<u>GROUND COVERS</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>
	<u>SHRUBS</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>		ACACIA REDOLENS 'DESERT CARPET'™ / BANK CATCLAW	1 GAL	48" o.c.	2,734 SF
		CAREX DIVULSA / BERKELEY SEDGE	1 GAL	136		CAREX DIVULSA / EUROPEAN GREY SEDGE	4" POT	1" o.c.	233 SF
		CHONDROPETALUM TECTORUM 'EL CAMPO' / CAPE RUSH	5 GAL	61					
		DODONAEA VISCOSA 'PURPUREA' / GREEN HOPSEED BUSH	15 GAL	16					
		LEYMUS CONDENSATUS 'CANYON PRINCE' / NATIVE BLUE RYE	5 GAL	20					



ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS SHALL BE MAINTAINED BY THE OWNER IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES CONSISTENT WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND STANDARDS.

IF ANY LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLAN IS DAMAGE OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.



(ACTUAL DESIGN WILL BE BROUGHT TO THE DESIGN ASSISTANCE SUB-COMMITTEE FOR FURTHER REVIEW AND FINALIZATION OF DESIGN)

## A FENCE & GLASS PANEL

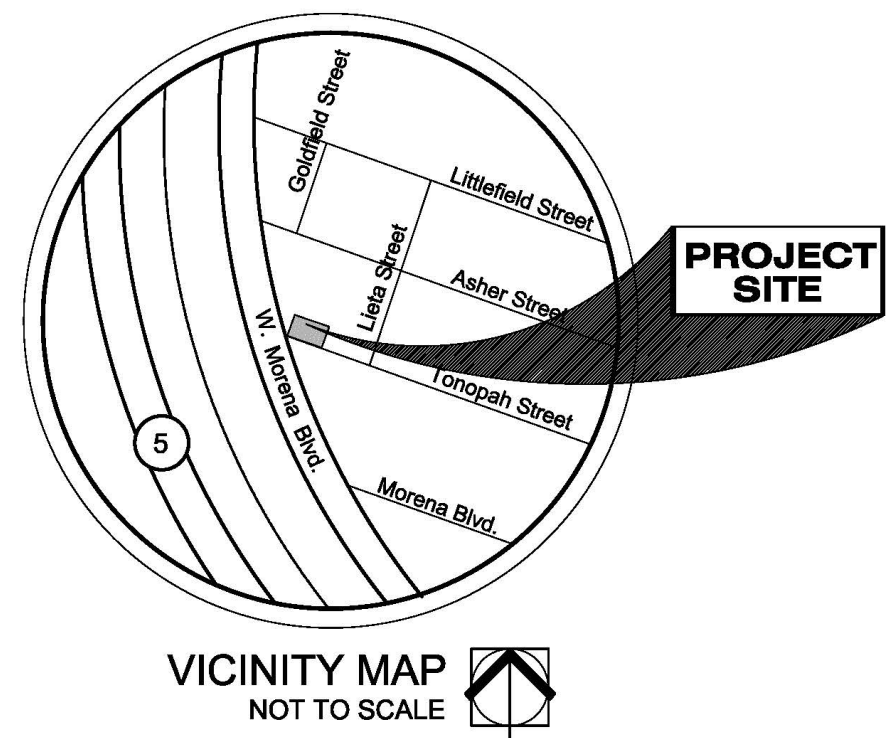
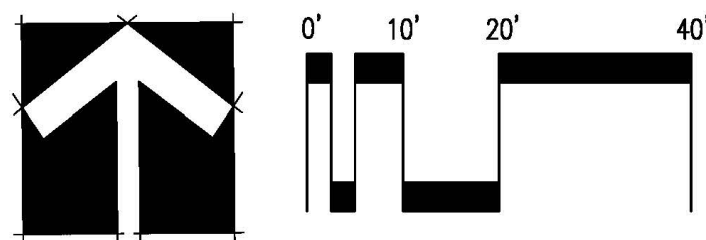
SCALE 1/2" = 1' - 0"



MINIMUM TREE SEPARATION DISTANCE	
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (except sewer)	5 FEET
SEWER	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS)	25 FEET

A MINIMUM ROOT ZONE FO 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403 (b)(10).



## PLANTING PLAN

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## DBRDS

DE BARTOLO + RIMANIC DESIGN STUDIO

### PROJECT TEAM

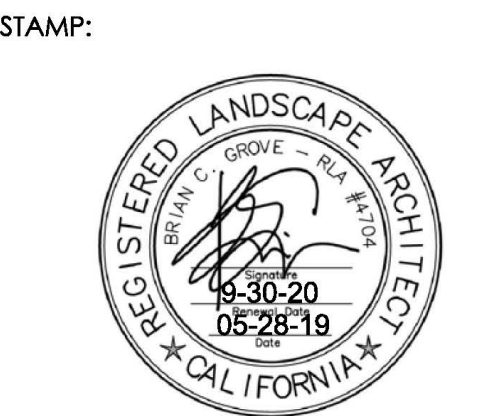
OWNER:  
CLIENT NAME  
CLIENT ADDRESS  
PHONE: (XXX) XXX-XXXX  
CONTACT: CLIENT NAME  
EMAIL: XXX@XXX.XXX

DESIGN:  
DE BARTOLO + RIMANIC DESIGN STUDIO  
363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101  
PHONE: (858) 220 5262  
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110 COPPERWOOD WAY, SUITE P  
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PHONE: (760) 908-8745  
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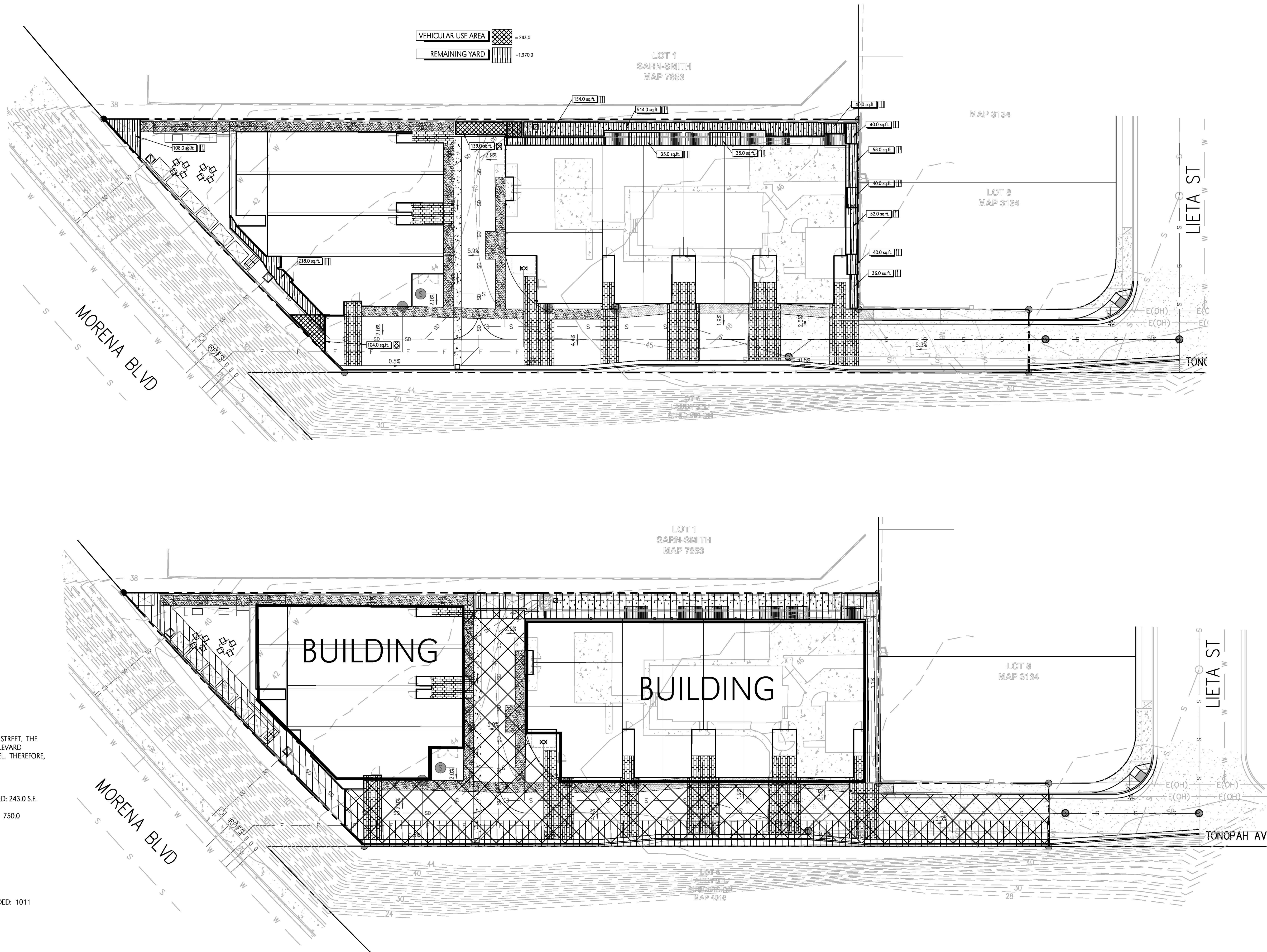
REVISION:	
09.13.2016	DRAWN BY: CH
SITE DEVELOPMENT PERMIT	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	

DRAWING TITLE:  
PLANTING PLAN  
PROJECT:  
PROPOSED MULTI-FAMILY  
RESIDENTIAL APARTMENTS  
1398 LIETA STREET,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066  
DATE: OCTOBER 6 2016  
DRAWN BY: CH  
SCALE: 1"=20'-0"  
SHEET NO: L-1

SITE DEVELOPMENT PERMIT - 09-09-2019





SUMMARY OF LANDSCAPE CALCULATIONS (RESIDENTIAL)

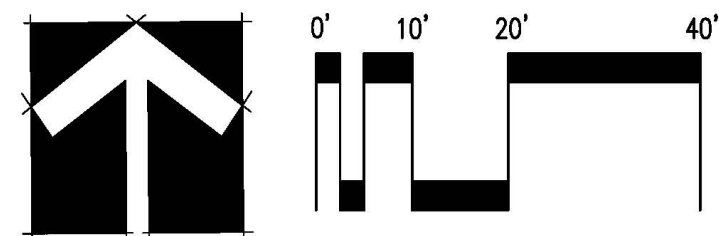
**STREET YARD**  
PROJECT DOES NOT HAVE A STREET FRONTAGE ALONG LIETA STREET. THE PAD OF THE DEVELOPMENT IS SET ABOVE THE MORENA BOULEVARD FRONTAGE, LEAVING NO VISUAL STREET YARD ON THE PARCEL. THEREFORE, STREET YARD CALCULATIONS ARE NOT REQUIRED.

**VEHICULAR USE AREA**  
TOTAL AREA: 7,803 S.F.  
PLANTING AREA REQUIRED: 7,803 x .03 = 234.0 S.F. PROVIDED: 243.0 S.F.  
EXCESS AREA PROVIDED: 9.0 S.F.  
PLANTING points REQUIRED: 7,803 x .03 = 234.0 PROVIDED: 750.0  
2 - 48" box tree @ 100 pts. each = 200 pts.  
0 - 24" box tree @ 20 pts. each = 0 pts.  
55 - 15 gal. shrubs @ 10 pts. each = 550 pts.  
0 - 5 gal. shrubs @ 2 pts. each = 0 pts.  
0 - 1 gal. shrubs @ 1 pts. each = 0 pts.  
EXCESS POINTS PROVIDED: 516  
POINTS ACHIEVED THROUGH TREES: 200

**REMAINING YARD - MULTI-DWELLING UNIT DEVELOPMENT**  
PLANTING POINTS REQUIRED: 60 POINTS/UNIT-780 PROVIDED: 1011  
2 - 36" box tree @ 50 pts. each = 100 pts.  
27 - 15' BTH Palms @ 3pts/15' each = 315 pts.  
27 - 15 gal. shrubs @ 10 pts. each = 270 pts.  
95 - 5 gal. shrubs @ 2 pts. each = 190 pts.  
136 - 1 gal. shrubs @ 1 pts. each = 136 pts.  
EXCESS POINTS PROVIDED: 231  
POINTS ACHIEVED THROUGH TREES: 415

	STREET YARD AREA RESIDENTIAL = 0
	VEHICLE USE AREA RESIDENTIAL = 7,803
	REMAINING YARD AREA RESIDENTIAL = 5,863

SQUARE FOOTAGE PLAN



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**DBRDS**  
DE BARTOLO • RIMANIC DESIGN STUDIO

PROJECT TEAM

OWNER:

CLIENT NAME

CLIENT ADDRESS

CLIENT ADDRESS

PHONE: (XXX) XXX-XXXX  
CONTACT: CLIENT NAME  
EMAIL: XXX@XXXXXXX

DESIGN:

DE BARTOLO • RIMANIC DESIGN STUDIO

363 5TH AVE, SUITE 203  
SAN DIEGO CA 92101

PHONE: (858) 220 5262  
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SAN DIEGO, CA 92105

PHONE: (619) 550-1700  
CONTACT: DAVID R. RUSSELL  
EMAIL: drussell@christianwheeler.com

STAMP:



REVISION:	
09.13.2016	DRAWN BY: CH
SITE DEVELOPMENT PERMIT	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	
XX.XX.XX	DRAWN BY: XX
REVISION LABEL	

DRAWING TITLE:

SQUARE FOOTAGE PLAN

PROJECT:  
PROPOSED MULTI-FAMILY  
RESIDENTIAL APARTMENTS  
1398 LIETA STREET,  
SAN DIEGO, CA 92110

DBRDS PROJECT NO: 15066

DATE: OCTOBER 6 2016

DRAWN BY: CH

SCALE: 1"=20'-0"

SHEET NO: L-2

SITE DEVELOPMENT PERMIT - 02-20-2019





THE CITY OF SAN DIEGO

## MITIGATED NEGATIVE DECLARATION

Project No. 512890

SCH No. N/A

**SUBJECT:** **1398 Lieta St SDP:** A SITE DEVELOPMENT PERMIT, TENTATIVE MAP, and a NEIGHBORHOOD DEVELOPMENT PERMIT to demolish an existing single-dwelling unit and detached garage to construct 13 multi-family residential units within two three-story buildings totaling 34,265 square-feet. The units would range from 1,678 to 2,679 square feet. In addition, various site improvements would be constructed that include associated hardscape and landscape, retaining walls infrastructure (e.g. off-site utility connections of water, sewer), storm drain, and access. Allowable deviations from development regulations are being requested pertaining to the 30-degree angled building envelope, the required commercial component, and the side setback. The project would conform to Council Policy 900-14 criteria by providing ten percent onsite affordable units consistent with the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program requirements. The 0.61-acre project site is located at 1398 Lieta Street. The project site is designated residential and commercial and zoned RS-1-7 and CC-4-5 per the Clairemont Mesa Community Plan. The project site is also within the Airport Influence Area (San Diego International Airport - Review Area 2), the FAA Part 77 Noticing Area (San Diego International Airport), Clairemont Mesa Height Limitation Overlay Zone, the Parking Standards Transit Priority Area, and the Transit Priority Area. The project site is designated under Criterion A as a resource that is a "special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s." (LEGAL DESCRIPTION: The southwesterly 100 feet of all that portion of Lot 5 of pueblo lot 225 according to referee's partition map files in the action of Morena Company, a corporation, vs. Franklin Steel, Jr., case no. 3475 filed in the superior court of the County of San Diego, lying southwest the centerline of Asher street, as said street existed on January 21, 1944. Excepting therefrom the following parcels: A. That portion of said lot, if any, lying within the right-of-way of the Atchison, Topeka and Santa Fe railway. B. That portion described in the deed to the City of San Diego recorded March 23, 1956, in book 6029, page 122 of official records. C. That portion lying southeasterly of a line which is parallel with and distant 101.5 feet northwesterly from the southeasterly line of block 17 of first addition to Asher's cloverleaf terrace, according to map thereof no. 1666, filed in the office of the county recorder, and the northeasterly prolongation of said southeasterly line, and lying



northeasterly of the northwesterly prolongation of the southwest line of lot 17 in block 17 of said first addition to Asher's cloverleaf terrace. D. That portion lying within Lahoud terrace, according to map thereof no. 3134, filed in the office of the county recorder of San Diego County, October 4, 1954.) APPLICANT: Almeria Investments, LP.

**UPDATE: April 28, 2020**

Revisions and/or minor corrections have been made to this document when compared to the Draft Mitigated Negative Declaration (DMND). More specifically, mitigation information was added under the Cultural Resources – Designated Site in the MMRP within the body of the MND. The revisions are shown in ~~strikethrough~~ underline format. In accordance with the California Environmental Quality Act, Section 15073.5 (c)(4), the addition of new information that clarifies, amplifies, or makes insignificant modification does not require recirculation as there are no new impacts and no new mitigation identified. An environmental document need only be recirculated when there is identification of new significant environmental impact or the addition of a new mitigation measure required to avoid a significant environmental impact. Modifications within the environmental document do not affect the environmental analysis or conclusions of the FMND.

I. PROJECT DESCRIPTION:

See attached Initial Study.

II. ENVIRONMENTAL SETTING:

See attached Initial Study.

III. DETERMINATION:

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following areas(s): **Cultural Resources – Designated Site**. Subsequent revisions in the project proposal create the specific mitigation identified in Section V of this Mitigated Negative Declaration. The project as revised now avoids or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report will not be required.

IV. DOCUMENTATION:

The attached Initial Study documents the reasons to support the above Determination.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

**A. GENERAL REQUIREMENTS – PART I: Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning



any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:  
  
<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II: Post Plan Check (After permit issuance/Prior to start of construction)**

**PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: Not Applicable.  
**Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

**CONTACT INFORMATION:**

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – (858) 627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at (858) 627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 512890 and/or Environmental Document No. 512890 shall conform to the mitigation



requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc). **Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included. **Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**
5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:



DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**Cultural Resources – Designated Site**

1. Prior to the issuance of the first building permit, the Applicant/Owner/Permittee shall submit a plan showing the design and location of the interpretive story board to be placed proximate to the terminus of Tonopah Avenue at the project's driveway to the satisfaction of the Design Assistance Sub-Committee of the Historical Resources Board with subsequent staff approval.
2. Prior to the issuance of the first building permit, the Applicant/Owner/Permittee shall submit a plan showing the design and location of the decorative fence element with etched pattern to mimic row planting to the satisfaction of the Design Assistance Sub-Committee of the Historical Resources Board with subsequent staff approval.
3. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall install the interpretive story board and decorative fencing element in the locations identified on the previously approved plans for the Designated Historic Site. The Owner/Permittee shall be responsible for funding and implementing the long-term management of the story board in perpetuity.

**VI. PUBLIC REVIEW DISTRIBUTION:**

Draft copies or notice of this Mitigated Negative Declaration were distributed to:

City of San Diego  
Mayor's Office (91)  
Councilmember Campbell, District 2  
Development Services Department  
EAS  
Fire-Plan Review  
Engineering  
Geology



Landscaping  
Planning Review  
Transportation  
Park and Recreation  
DPM  
Water & Sewer  
Historic  
Planning Department  
Airport  
Long Range  
Public Facilities Planning

MMC (77A)

Library Department - Government Documents (81)

San Diego Central Library (81A)

Clairemont Branch Library (81H)

City Attorney's Office (93C)

Other Organizations, Groups and Interested Individuals

Historical Resources Board (87)

South Coastal Information Center (210)

San Diego History Center (211)

San Diego Archaeological Center (212)

San Diego Natural History Museum (213)

Save Our Heritage Organization (214)

San Diego County Archaeological Society, Inc. (218)

The Western Office of the National Trust for Historic Preservation (219)

Balboa Avenue Citizens Advisory Committee (246)

Clairemont Mesa Planning Committee (248)

San Diego Mesa College (250)

University of San Diego (251)

Clairemont Senior Citizens Club (252)

Tecolote Canyon Citizens Adv Committee (254)

Friends of Tecolote Canyon (255)

Joe Marciano (256)

Clairemont Town Council (257)

Applicant: Almeria Investments, LP.

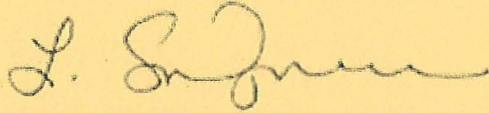
VII. RESULTS OF PUBLIC REVIEW:

- ( ) No comments were received during the public input period.
- ( ) Comments were received but did not address the accuracy or completeness of the draft environmental document. No response is necessary and the letters are incorporated herein.



- (X) Comments addressing the accuracy or completeness of the draft environmental document were received during the public input period. The letters and responses are incorporated herein.

Copies of the draft Mitigated Negative Declaration, the Mitigation, Monitoring and Reporting Program and any Initial Study material are available in the office of the Development Services Department for review, or for purchase at the cost of reproduction.



E. Shearer-Nguyen  
Senior Planner  
Development Services Department

March 12, 2020

Date of Draft Report

April 28, 2020

Date of Final Report

Analyst: M. Dresser

Attachments: Initial Study Checklist  
Figure 1: Location Map  
Figure 2: Site Plan



## San Diego County Archaeological Society, Inc.

Environmental Review Committee

23 March 2020

To: Ms. Morgan Dresser  
Development Services Department  
City of San Diego  
1222 First Avenue, Mail Station 501  
San Diego, California 92101

Subject: Draft Mitigated Negative Declaration  
1398 Lieta Street SDP  
Project No. 512890

Dear Ms. Dresser:


I have reviewed the subject DMND on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the DMND, we have the following comments:

1. Regarding the public interpretive signage proposed as mitigation for the historic context loss, who will be responsible for maintaining the signage? How will that requirement be made legally enforceable? If no such provision is made, the signage—and the mitigation—will ultimately just be temporary.
2. Regarding the need for archaeological monitoring, it might have been appropriate for an archaeologist to be present for the geotechnical testing. Absent that having been done, we have to rely on the reported results. On that basis, we agree that no archaeological mitigation measures are necessary.

Thank you for this opportunity to participate in the public review of this DMND.

Sincerely,

  
James W. Royle, Jr., Chairperson  
Environmental Review Committee

cc: SDCAS President

P.O. Box 81106 San Diego, CA 92138-1106 (858) 538-0935

City staff response(s) to the San Diego County Archaeological Society, Inc. comment(s) letter  
for 19561398 Lieta Street, Project No. 512890

1. The draft MND inadvertently omitted details regarding the maintenance of the storyboard within the Mitigation, Monitoring and Reporting Program (MMRP). The final MND has been revised to add maintenance details within the mitigation. In accordance with the California Environmental Quality Act (CEQA), Section 15073.5 (c)(4), the addition of new information that clarifies, amplifies, or makes insignificant modification does not require recirculation as there are no new impacts and no new mitigation identified.
2. The project site is located within a low sensitivity area on the City of San Diego's Historical Resources Sensitivity Map. Additionally, the project site has been previously graded to allow for the existing development. Per San Diego Municipal Code Section 129.0606 a grading permit would not be required for subsurface exploration activity which shall be restored to the pre-existing grade. Additionally, a ministerial permit for geotechnical work would only be required for work performed in Environmentally Sensitive Lands. Furthermore, the site is underlain by artificial fill and top soil according to the site specific Geotechnical Investigation. Therefore, no monitoring was required.



## INITIAL STUDY CHECKLIST

1. Project title/Project number: 1398 Lieta St SDP / 512890
2. Lead agency name and address: City of San Diego, 101 Ash Street, MS-ASH12, San Diego, California 92101
3. Contact person and phone number: Morgan Dresser / (619) 446-5404
4. Project location: 1398 Lieta Street, San Diego, California 92110
5. Project Applicant/Sponsor's name and address: Almeria Investments, Mike Fulton, P.O. Box 232628, Encinitas, California 92023
6. General/Community Plan designation: Commercial and Residential
7. Zoning: RS-1-7 and CC-4-5
8. Description of project (Describe the whole action involved, including but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation.):

A SITE DEVELOPMENT PERMIT, TENTATIVE MAP, and a NEIGHBORHOOD DEVELOPMENT PERMIT to demolish an existing single-dwelling unit and detached garage to construct 13 multi-family residential units within two three-story buildings totaling 34,265 square-feet. The units would range from 1,678 to 2,679 square feet. In addition, various site improvements would be constructed that include associated hardscape and landscape, retaining walls infrastructure (e.g. off-site utility connections of water, sewer), storm drain, and access. Allowable deviations from development regulations are being requested pertaining to 30-degree angled building envelope, the required commercial component, and the side setback. The project would conform to Council Policy 900-14 criteria by providing ten percent onsite affordable units consistent with the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program requirements.

The project landscaping has been reviewed by City Landscape staff and would comply with all applicable City of San Diego Landscape ordinances and standards. Drainage would be directed into appropriate storm drain systems designated to carry surface runoff, which has been reviewed and accepted by City Engineering staff. Ingress and egress would be via Tonopah Avenue. All parking would be provided on-site.

Grading would entail approximately 270 cubic yards of cut with a maximum cut depth of five feet.

9. Surrounding land uses and setting:

The 0.61-acre project site is located at 1398 Lieta Street and is developed with a single dwelling unit. The project site is bounded by multi-family residential development to the north, commercial development to the south, single family residential to the east and

Morena Boulevard to the west. Vegetation on-site consists of non-native vegetation. Topographically, the site is essentially flat with an approximate elevation of 45 feet above mean sea level (amsl). Relatively steep, descending slopes about 20 to 25 feet in height bound the site to the south and west. In addition, the project site is located within a developed area currently served by existing public services and utilities.

The project site is designated residential and commercial and zoned RS-1-7 and CC-4-5 per the Clairemont Mesa Community Plan. The project site is also within the Airport Influence Area (San Diego International Airport - Review Area 2), the FAA Part 77 Noticing Area (San Diego International Airport), Clairemont Mesa Height Limitation Overlay Zone, the Parking Standards Transit Priority Area, and the Transit Priority Area.

The property is designated on the San Diego Register under Criterion A as a resource that is a "special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s."

10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):

None required.

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun?

In accordance with the requirements of Public Resources Code 21080.3.1, the City of San Diego provided formal notifications to the Lipay Nation of Santa Ysabel and the Jamul Indian Village, both traditionally and culturally affiliated with the project area; requesting consultation on November 15, 2017.

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.



**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> Aesthetics                         | <input type="checkbox"/> Greenhouse Gas Emissions      | <input type="checkbox"/> Population/Housing              |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Public Services                 |
| <input type="checkbox"/> Air Quality                        | <input type="checkbox"/> Hydrology/Water Quality       | <input type="checkbox"/> Recreation                      |
| <input type="checkbox"/> Biological Resources               | <input type="checkbox"/> Land Use/Planning             | <input type="checkbox"/> Transportation/Traffic          |
| <input checked="" type="checkbox"/> Cultural Resources      | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Tribal Cultural Resources       |
| <input type="checkbox"/> Geology/Soils                      | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Utilities/Service System        |
|   |  | <input type="checkbox"/> Mandatory Findings Significance |

**DETERMINATION: (To be completed by Lead Agency)**

On the basis of this initial evaluation:

- ☐ The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☒ Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (a) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (b) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required.
- ☐ Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

## EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis.)
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses”, as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or (mitigated) negative declaration. *Section 15063(c)(3)(D)*. In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are “Less Than Significant With Mitigation Measures Incorporated”, describe the mitigation measures that were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a. The significance criteria or threshold, if any, used to evaluate each question; and
  - b. The mitigation measure identified, if any, to reduce the impact to less than significant.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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I. AESTHETICS – Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect on a scenic vista? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is not located within, or adjacent to a designated scenic vista or view corridor that is identified in the Clairemont Mesa Community Plan. Therefore, the project would not have a substantial adverse effect on a scenic vista. No impact would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is situated within a developed neighborhood comprised of residential and commercial uses. There are no scenic resources (trees, rock outcroppings, or historic buildings) located on the project site. The project site is designated under Criterion A as a resource that is a “special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s.” The project would not result in the physical loss, isolation, or degradation of a community identification symbol or landmark, as none are identified by the General Plan or community plan as occurring in the project vicinity. Therefore, no impact would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Substantially degrade the existing visual character or quality of the site and its surroundings? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is developed with a single-family dwelling unit and is generally surrounded by commercial and residential uses. The project is compatible with the surrounding development and permitted by the General Plan, community plan land use and zoning designations. The project would not substantially degrade the existing visual character or quality of the site and its surroundings; therefore, no impact would result.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

### **Lighting**

The project would comply with the outdoor lighting standards in Municipal Code Section 142.0740 (*Outdoor Lighting Regulations*) that require all outdoor lighting be installed, shielded, and adjusted so that the light is directed in a manner that minimizes negative impacts from light pollution, including trespass, glare, and to control light from falling onto surrounding properties. Therefore, lighting installed with the project would not adversely affect day or nighttime views in the area, resulting in a less than significant lighting impact.

### **Glare**

The project would comply with Municipal Code Section 142.0730 (Glare Regulations) that require exterior materials utilized for proposed structures be limited to specific reflectivity ratings. The



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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structures would consist of wood siding, wood shingles, adobe and concrete blocks, brick, stucco, concrete or natural stone. The project would have a less than significant glare impact.

As such, the project would not create a new source of substantial light or glare that would adversely affect day or nighttime views in the area; impacts would be less than significant.

- II. AGRICULTURAL AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. – Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Converts Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located within a developed neighborhood surrounded by commercial and residential uses. As such, the project site does not contain nor is it adjacent to any lands identified as Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as show on maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resource Agency. Therefore, the project would not result in the conversion of such lands to non-agricultural use. No impact would result.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Refer to response II (a), above. There are no Williamson Act Contract Lands on or within the vicinity of the site. Furthermore, the project would not affect any properties zoned for agricultural use or affected by a Williamson Act Contract, as there are none within the project vicinity. Agricultural land is not present on the site or in the general vicinity of the site; therefore, no conflict with the Williamson Act Contract would result. No impact would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 1220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production. No designated forest land or timberland occur onsite. No impacts would result.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Refer to response II(c) above. Additionally, the project would not contribute to the conversion of any forested land to non-forest use, as surrounding land uses are built out. No impacts would result.

e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Refer to response II (a) and II (c), above. The project and surrounding areas do not contain any farmland or forest land. No changes to any such lands would result from project implementation. Therefore, no impact would result.

III. AIR QUALITY – Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied on to make the following determinations – Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project site is located in the San Diego Air Basin (SDAB) and is under the jurisdiction of the San Diego Air Pollution Control District (SDAPCD) and the California Air Resources Board (CARB). Both the State of California and the Federal government have established health-based Ambient Air Quality Standards (AAQS) for the following six criteria pollutants: carbon monoxide (CO); ozone (O<sub>3</sub>); nitrogen oxides (NO<sub>x</sub>); sulfur oxides (SO<sub>x</sub>); particulate matter up to 10 microns in diameter (PM<sub>10</sub>); and lead (Pb). O<sub>3</sub> (smog) is formed by a photochemical reaction between NO<sub>x</sub> and reactive organic compounds (ROCs). Thus, impacts from O<sub>3</sub> are assessed by evaluating impacts from NO<sub>x</sub> and ROCs. A new increase in pollutant emissions determines the impact on regional air quality as a result of a proposed project. The results also allow the local government to determine whether a proposed project would deter the region from achieving the goal of reducing pollutants in accordance with the Air Quality Management Plan (AQMP) in order to comply with Federal and State AAQS.

The SDAPCD and San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the ambient air quality standards in the SDAB. The County Regional Air Quality Strategy (RAQS) was initially adopted in 1991 and is updated on a triennial basis (most recently in 2009). The RAQS outlines the SDAPCD's plans and control measures designed to attain the state air quality standards for ozone (O<sub>3</sub>). The RAQS relies on information from the CARB and SANDAG, including mobile and area source emissions, as well as information regarding projected growth in San Diego County and the cities in the county, to project future emissions and then determine the strategies necessary for the reduction of emissions through regulatory controls. CARB mobile source emission projections and SANDAG growth projections are based on population, vehicle trends, and land use plans developed by San Diego County and the cities in the county as part of the development of their general plans.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The RAQS relies on SANDAG growth projections based on population, vehicle trends, and land use plans developed by the cities and by the county as part of the development of their general plans. As such, projects that propose development that is consistent with the growth anticipated by local plans would be consistent with the RAQS. However, if a project proposes development that is greater than that anticipated in the local plan and SANDAG's growth projections, the project might be in conflict with the RAQS and may contribute to a potentially significant cumulative impact on air quality.

The project is consistent with the General Plan, community plan land use designation, and the underlying zone. Therefore, the project would be consistent with the RAQS and would not obstruct implementation of the RAQS. No impacts would result.

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|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Short-Term (Construction) Emissions.** Construction-related activities are temporary, short-term sources of air emissions. Sources of construction-related air emissions include fugitive dust from grading activities; construction equipment exhaust; construction-related trips by workers, delivery trucks, and material-hauling trucks; and construction-related power consumption.

Variables that factor into the total construction emissions potentially generated include the level of activity, length of construction period, number of pieces and types of equipment in use, site characteristics, weather conditions, number of construction personnel, and the amount of materials to be transported on or offsite.

Fugitive dust emissions are generally associated with land-clearing and grading operations. Construction operations would include standard measures as required by City of San Diego grading permit to limit potential air quality impacts. Therefore, impacts associated with fugitive dust are considered less than significant and would not violate an air quality standard or contribute substantially to an existing or projected air quality violation. No mitigation measures are required.

**Long-Term (Operational) Emissions.** Long-term air emission impacts are those associated with stationary sources and mobile sources related to any change caused by a project. The project would produce minimal stationary sources emissions. The project is compatible with the surrounding development and is permitted by the General Plan, community plan land use and zoning designation. Based on the residential land use, project emissions over the long-term are not anticipated to violate any air quality standard or contribute substantially to an existing or projected air quality violation. Impacts would be less than significant, and no mitigation measures are required.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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As described above, construction operations could temporarily increase the emissions of dust and other pollutants. However, construction emissions would be temporary and short-term in duration; implementation of Best Management Practices (BMPs) would reduce potential impacts related to construction activities to a less than significant level. Therefore, the project would not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is a non-attainment under applicable federal or state ambient air quality standards. Impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Create objectionable odors affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

### **Short-term (Construction)**

Odors would be generated from vehicles and/or equipment exhaust emissions during construction of the project. Odors produced during construction would be attributable to concentrations of unburned hydrocarbons from tailpipes of construction equipment and architectural coatings. Such odors are temporary and generally occur at magnitudes that would not affect a substantial number of people. Therefore, impacts would be less than significant.

### **Long-term (Operational)**

Residential dwelling units, in the long-term operation, are not uses typically associated with the creation of such odors nor are they anticipated to generate odors affecting a substantial number or people. Therefore, project operations would result in less than significant impacts.

#### **IV. BIOLOGICAL RESOURCES – Would the project:**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is developed with a single-dwelling unit and associated hardscape and non-native landscape. The project site does not contain sensitive biological resources on site or adjacent to the site. Onsite landscaping is non-native and the project site does not contain any sensitive biological resources on site nor does it contain any candidate, sensitive or special status species. No impacts would occur, and no mitigation measures are required.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Have a substantial adverse effect on any riparian habitat or other community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is developed within an urban area. No such habitats exist on or near the project site. Refer to Response IV (a), above. The project site does not contain any riparian habitat or other



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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identified community, as the site currently supports non-native landscaping. No impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Have a substantial adverse effect on federally protected wetlands as defined by section 404 of the Clean Water Act (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

There are no wetlands or water of the United States on or near the site. No impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is urban developed within a commercial and residential setting. The project would not impede the movement of any wildlife or the use of any wildlife nursery sites. Therefore, no impacts would occur.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Refer to response IV (a), above. The project site is designated Commercial. The site is developed and within a commercial and residential setting. The project would not conflict with any local policies or ordinances protecting biological resources. Therefore, no impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is located in a developed urban area and is not adjacent to the City's Multi-Habitat Planning Area (MHPA). The project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan or other approved local, regional or state habitat conservation plan. Therefore, no impacts would occur.

#### V. CULTURAL RESOURCES – Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Cause a substantial adverse change in the significance of an historical resource as defined in §15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The purpose and intent of the Historical Resources Regulations of the Land Development Code (Chapter 14, Division 3, and Article 2) is to protect, preserve and, where damaged, restore the

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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historical resources of San Diego. The regulations apply to all proposed development within the City of San Diego when historical resources are present on the premises. Before approving discretionary projects, CEQA requires the Lead Agency to identify and examine the significant adverse environmental effects which may result from that project. A project that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (sections 15064.5(b) and 21084.1). A substantial adverse change is defined as demolition, destruction, relocation, or alteration activities, which would impair historical significance (sections 15064.5(b)(1)). Any historical resource listed in, or eligible to be listed in the California Register of Historical Resources, including archaeological resources, is considered to be historically or culturally significant.

The City of San Diego criteria for determination of historic significance, pursuant to CEQA, is evaluated based upon age (over 45 years), location, context, association with an important event, uniqueness, or structural integrity of the building. Projects requiring the demolition and/or modification of structures that are 45 years or older can result in potential impacts to a historical resource. The existing structure was identified as being over 45 years in age.

The property located at 1398 Lieta Street was brought before the Historical Resources Board at its July 2018 hearing in conjunction with a proposed building modification or demolition of a structure of 45 years or more, consistent with San Diego Municipal Code Section 143.0212. At that time, the Board designated the property on the San Diego Register under Criterion A as a resource that is a "special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s." The property was not designated as a cultural landscape and no specific landscape elements were included. Additionally, the structures on the parcel were excluded from the designation.

Although the structures and landscape elements on site were not included in the designation, the redevelopment of the site and the use of the site for anything other than agricultural use will adversely impact the context of the site through alteration of the setting, feeling and association and cannot be determined to be consistent with the Secretary of the Interior's Standards. Therefore, the proposed demolition and redevelopment of the designated site is by definition a substantial alteration requiring a site development permit, consistent with Municipal Code Section 143.0251. Impacts related to the proposed development would be reduced through implementation of the required mitigation measures.

Appropriate mitigation for the impacts to the designated resource have been determined to be an interpretive story board and a glass etching. The etching will be located at the edge of the property in a highly visible location above Morena Boulevard and the design will reflect the site's former agricultural use. The interpretive story board, which will be located at the entrance to the parcel from Tonopah Avenue, will contain information about the property's former owners, the Sogo family. Aizo and Komume Sogo farmed the land in the 1930s and 1940s, were sent to a Japanese internment camp during World War II, and later were among the first five Japanese-born individuals to become naturalized citizens of the United States in San Diego. Both the final design of the etching and the content of the story board will be determined by City staff after review by the Historical Resources Board's Design Assistance Subcommittee.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Documentation of the site through the Historic American Building Survey format was not required because the physical elements, including structures and landscape, were not included in the designation. The designation was commemorative in nature and the chosen mitigation is able to convey the historical significance of the site as designated by the Historical Resources Board.

Therefore, a Mitigation Monitoring Reporting Program (MMRP), as detailed within Section V of the MND, would be implemented. With implementation of the monitoring program, potential impacts related to Cultural Resources would be reduced to less than significant.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located within a low sensitivity area on the City of San Diego's Historical Resources Sensitivity Map. The project site has been previously graded to allow for the existing development; furthermore, the project is underlain by artificial fill/topsoil. Therefore, it was determined that there is no potential to impact any unique or non-unique historical resources and no further work is required. No impact would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

According to the site-specific Geotechnical Investigation prepared by Christian Wheeler Engineering, dated July 31, 2016, the project site is underlain by artificial fill, and Old Paralac Deposits (Baypoint Formation). Old Paralac Deposits (Baypoint Formation) has a high sensitivity and Fill has a low sensitivity for paleontological resources.

The Bay Point Formation is a nearshore marine sedimentary deposit of late Pleistocene age (approximately 220,000 years old). Typical exposures consist of light gray, friable to partially cemented, fine- to coarse-grained, massive and cross-bedded sandstones. The formation is generally exposed at sea level, so its total thickness and relationship with underlying formations is unknown. The Bay Point formation has produced large and diverse assemblages of well-preserved marine invertebrate fossils, primarily mollusks. However, remains of fossil marine vertebrates have also been recovered from this rock unit. Recorded collecting sites in this formation include both natural exposures as well as construction-related excavations. Based upon the occurrences of extremely diverse and well-preserved assemblages of marine invertebrate fossils and rare vertebrate fossils in the Bay Point Formation it is assigned a high resource sensitivity.

According to the City of San Diego's Significance Determination Thresholds, more than 1,000 cubic yards of grading at depths of greater than 10 feet (less than 10 feet if the site has been graded) into formations with a high resource sensitivity rating could result in a significant impact to paleontological resources, and mitigation would be required.

Grading operations would entail approximately 220 cubic yards of cut with a maximum cut depth of five feet. Therefore, the project would not exceed the City's Significance Determination Thresholds. No impact would result.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Disturb and human remains, including those interred outside of dedicated cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The area to be impacted by the project has been heavily disturbed by grading for the original construction, and the potential for subsurface deposits to remain in these areas is extremely low. While there is a very low possibility of encountering human remains during subsequent project construction activities, it is noted that activities would be required to comply with state regulations that are intended to preclude impacts to human remains. Per CEQA Section 15064.5(e), the California Public Resources Code (Section 5097.98) and State Health and Safety Code (Section 7050.5), if human remains are discovered during construction, work would be required to halt in that area, and no soil would be exported off-site until a determination could be made regarding the provenance of the human remains via the County Coroner and other authorities as required.

#### VI. GEOLOGY AND SOILS – Would the project:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
- i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.

☐ ☐ ☒ ☐

The closest known active fault, the Rose Canyon Fault is located approximately 600 feet east of the project site. The site is not traversed by an active, potentially active, or inactive fault and is not within an Alquist-Priolo Fault Zone. The project would be required to comply with seismic requirement of the California Building Code, utilize proper engineering design and standard construction practices, to be verified at the building permit stage, in order to ensure that would reduce impacts to people or structures to an acceptable level of risk. Therefore, impacts would be less than significant.

- ii) Strong seismic ground shaking?

☐ ☐ ☒ ☐

The site could be affected by seismic activity as a result of earthquakes on major active faults located throughout the Southern California area. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would reduce the potential impacts associated with seismic ground shaking to an acceptable level of risk. Therefore, impacts would be less than significant.

- iii) Seismic-related ground failure, including liquefaction?

☐ ☐ ☒ ☐

Liquefaction generally occurs when loose, unconsolidated, water-laden soils are subject to shaking, causing the soils to lose cohesion. According to the site-specific geotechnical investigation, the site is not considered subject to liquefaction due to the dense soil, grain-size distribution, and the absence of an unconfined free groundwater table. The project would be required to comply with the



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
California Building Code that would reduce impacts to people or structures to an acceptable level of risk. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards would remain less than significant.				
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>According to the site-specific geotechnical investigation, the site is located within the Relative Landslide Susceptibility Area 2, which is considered to be marginally susceptible to slope failures. Based on the proximity of the 20 to 25-foot-high slopes to the southern and western boundaries of the project site, slope stability analysis was performed. The results of the stability analysis indicated a portion of the slope should have a row of shear pins in order to increase the factor of safety to a reasonable level. Implementation of the afore mentioned measure and the use of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts would be reduced to an acceptable level of risk. Impacts would be less than significant.</p>				
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Demolition and construction activities would temporarily expose soils to increase erosion potential. The project would be required to comply with the City's Storm Water Standards, which requires the implementation of appropriate best management practices (BMPs). Grading activities would be required to comply with the City of San Diego Grading Ordinance as well as the Storm Water Standards, which would ensure soil erosion and topsoil loss is minimized to less than significant levels. Furthermore, permanent storm water BMPs would also be required post-construction consistent with the City's regulations. Therefore, the project would not result in substantial soils erosion or loss of topsoil; therefore, impacts would be less than significant.</p>				
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>As discussed in Section VI(a) and VI(b), the project site has a negligible potential to be subject to landslides, and the potential for liquefaction and subsidence is negligible. The soils and geologic units underlying the site are considered to have a "low" expansion potential. The project design would be required to comply with the requirements of the California Building Code ensuring hazards associated with expansive soils would be reduced to an acceptable level of risk. As such, impacts due to expansive soils are expected to be less than significant.</p>				
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project site is considered to have low expansive soil potential. The project would be required to comply with seismic requirements of the California Building Code that would reduce impacts to people or structures due to local seismic events to an acceptable level of risk. Implementation of proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards would remain less than significant.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located within an area that is already developed with existing infrastructure (i.e., water and sewer lines) and does not propose any septic system. In addition, the project does not require the construction of any new facilities as it relates to wastewater, as services are available to serve the project. No impact would occur.

#### VII. GREENHOUSE GAS EMISSIONS – Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

### **Climate Action Plan**

The City adopted the Climate Action Plan (CAP) in December 2015 (City of San Diego 2015). With implementation of the CAP, the City aims to reduce emissions 15% below the baseline to approximately 11.1 million metric tons of carbon dioxide equivalent (MMT CO<sub>2</sub>E) by 2020, 40% below the baseline to approximately 7.8 MMT CO<sub>2</sub>E by 2030, and 50% below the baseline to approximately 6.5 MMT CO<sub>2</sub>E by 2035. The City has identified the following five CAP strategies to reduce GHG emissions to achieve the 2020 and 2035 targets: (1) energy- and water-efficient buildings; (2) clean and renewable energy; (3) bicycling, walking, transit, and land use; (4) zero waste (gas and waste management); and (5) climate resiliency. The City's CAP Consistency Checklist, adopted July 12, 2016, is the primary document used by the City to ensure project-by-project consistency with the underlying assumptions in the CAP and thereby to ensure that the City would achieve the emission reduction targets identified in its CAP.

### **CAP Consistency Checklist**

The CAP Consistency Checklist is the City's significance threshold utilized to ensure project-by-project consistency with the underlying assumptions in the CAP and to ensure that the City would achieve its emission reduction targets identified in the CAP. The CAP Consistency Checklist includes a three-step process to determine project if the project would result in a GHG impact. Step 1 consists of an evaluation to determine the project's consistency with existing General Plan, Community Plan, and zoning designations for the site. Step 2 consists of an evaluation of the project's design features compliance with the CAP strategies. Step 3 is only applicable if a project is not consistent with the land use and/or zone, but is also in a transit priority area to allow for more intensive development than assumed in the CAP.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Under Step 1 of the CAP Consistency Checklist, the project is consistent with the existing General Plan and Clairemont Mesa Community Plan land use designations and zoning for the site. Therefore, the project is consistent with the growth projections and land use assumptions used in the CAP. Furthermore, completion of Step 2 of the CAP Consistency Checklist demonstrates that the project would be consistent with applicable strategies and actions for reducing GHG emissions. This includes project features consistent with the energy and water efficient buildings strategy, as well as bicycling, walking, transit, and land use strategy. These project features would be assured as a condition of project approval. Thus, the project is consistent with the CAP. Step 3 of the CAP Consistency Checklist would not be applicable, as the project is not proposing a land use amendment or a rezone.

Based on the project's consistency with the City's CAP Consistency Checklist, the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the project's direct and cumulative GHG emissions would have a less than significant impact on the environment.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to Section VII (a). Impacts would be less than significant.

#### VIII. HAZARDS AND HAZARDOUS MATERIALS – Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Construction of the project may require the use of hazardous materials (fuels, lubricants, solvents, etc.), which would require proper storage, handling, use and disposal. Although minimal amounts of such substances may be present during construction of the project, they are not anticipated to create a significant public hazard. Once constructed, due to the nature of the project, the routine transport, use, or disposal of hazardous materials on or through the subject site is not anticipated. Therefore, impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

As noted in previous response VIII (a), no health risks related to the storage, transport, use, or disposal of hazardous materials would result from the implementation of the project. Therefore, impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

No schools are located within one-quarter mile of the site. The closest school is approximately half a mile to the northeast. The area within one-quarter mile is developed with homes or commercial/retail uses. No schools are proposed for those areas. No impacts related to hazardous emissions or handling hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school would occur.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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A search of potential hazardous materials sites compiled pursuant to Government Code Section 65962.5 was completed for the project site. Several databases and resources were consulted including the Department of Toxic Substances Control (DTSC) EnviroStor database, the California State Water Resources Control Board GeoTracker database, and other sources of potential hazardous materials sites available on the California EPA website. Based on the searches conducted, no contaminated sites are on or adjacent to the project site. Furthermore, the project site was not identified on the DTSC Cortese List. Therefore, the project would not create a significant hazard to the public or the environment. No impacts would result.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two mile of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is consistent with the General Plan, community plan, and zoning designations. The project is within the San Diego International Airport's Airport Influence Area, Review Area 2 as depicted in the 2014 Airport Land Use Compatibility Plan (ALUCP). However, the project site is not within a designated Accident Potential Zone (APZ) or Safety Zone as identified in the ALUCP and would, therefore, not subject people working or residing within the project area to a significant safety hazard. The proposed development would not penetrate the FAA notification surface and is not proposed at greater than 200 feet above grade, therefore, the proposal is not required to notify the Federal Aviation Administration (FAA) per Municipal Code Section 132.1520(c). The use and density are considered consistent with the ALUCP and would not result in a safety hazard for people residing or working in the area. Therefore, a less than significant impact would result.

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Refer to response VIII(e) above. The project site is not in proximity to any private airstrip. Therefore, no impacts will occur.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not impair the implementation of, or physically interfere with, an adopted emergency response plan or evacuation plan. No roadway improvements are proposed that would interfere with circulation or access. No impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is located within a developed neighborhood with no wildlands located adjacent to the project site or within the surrounding neighborhood. No impacts would occur.

IX. HYDROLOGY AND WATER QUALITY - Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Violate any water quality standards or waste discharge requirements? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Potential impacts to existing water quality standards associated with the project would include minimal short-term construction-related erosion/sedimentation and no long-term operational storm water discharge. According to the City's Storm Water Requirements Applicability Checklist, the project is considered to be a Priority Development Project and therefore required to prepare a Storm Water Quality Management Plan (March 2017) to identify and implement required best management practices (BMPs) for storm water pollutant control (BMP Design Manual Chapter 5, Part 1 of Storm Water Standards). Thus, one biofiltration basin will be constructed onsite, which would be implemented as the permanent project BMP. These requirements would be implemented during construction and post-construction, which have been reviewed by qualified staff and would be re-verified during the ministerial process. Adherence with the standards would ensure that water quality standards are not violated and also preclude a cumulatively considerable contribution to water quality; therefore, a less than significant impact would result.

These requirements have been reviewed by qualified City staff and would be re-verified during the ministerial building permit process. Adherence to applicable water quality standards would ensure adverse impacts associated with compliance with quality standards and waste discharge requirements are avoided. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project does not require the construction of wells or the use of groundwater. Therefore, the project would not substantially deplete groundwater supplies or interfere substantially with groundwater recharge. The project would connect to the existing public water system. No impact would result.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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A site-specific Drainage Study was prepared by Civil Landworks Corporation (August 2016), which identified the following. The existing site sheet flows northwesterly to the north corner of the property where it continues down the slopes onto Morena Boulevard. Water then travels south until captured via curb inlet then discharges into Mission Bay. The proposed conditions would consist of three basins and an offsite area that drains through the proposed development. The first basin would sheet flow towards a grate inlet at the western most limit of the site, then piped east into a biofiltration basin. The second basin would include roof drainage discharge via downspouts and landscaping which would drain towards the biofiltration basin. The third basin would drain north, similar to existing conditions. All three basins would discharge on Morena Boulevard, similar to the existing drainage pattern. Overall, the peak runoff would be decreased by 0.061 cubic feet per second (cfs).

There are no streams or rivers located on-site and thus, no such resources would be impacted through the proposed grading activities. Although grading would be required for the project, the project would implement BMPs to ensure that substantial erosion or siltation on or off-site would not occur. Impacts would be less than significant.

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner, which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Refer to XI(c), the project would not significantly alter the overall drainage pattern for the site or area, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site. Although site drainage would be altered, the flows would be directed



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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towards Morena Boulevard and would comply with San Diego Municipal Code Section 143.0142(f). Impacts would be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| e) Create or contribute runoff water, which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be required to comply with all City storm water standards during and after construction. Appropriate best management practices would be implemented to ensure that water quality is not degraded; therefore, ensuring that project runoff is directed to appropriate drainage systems. Any runoff from the site is not anticipated to exceed the capacity of existing storm water systems or provide substantial additional sources of polluted runoff. Impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| f) Otherwise substantially degrade water quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to Section IX (a). The project would be required to comply with all City storm water standards both during and after construction, using appropriate best management practices that would ensure that water quality is not degraded. Impacts would be less than significant.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is not located within a 100-year flood hazard area or any other known flood area. Therefore, no impacts would occur.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Place within a 100-year flood hazard area, structures that would impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is not located within a 100-year flood hazard area or any other known flood area. Therefore, no impacts would occur.

X. LAND USE AND PLANNING – Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is compatible with the surrounding development and permitted by the General Plan, community plan land use and zoning designations. The project would not substantially change the nature of the surrounding area and would not introduce any barriers or project features that could physically divide the community. Thus, the project would result in no impact related to physically dividing an established community. No impact would occur.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project site is designated Residential and zoned RS-1-7 and CC-4-5 within the Clairemont Mesa Community Plan area. The project is consistent with the underlying zone and the land use designation.

The Land Development Code (LDC), Section §143.0740, allows for Affordable Housing Density Bonus projects to request deviations from applicable development regulations, pursuant to a Site Development Permit (SDP) decided in accordance with Process Four, provided that the findings in Section 126.0504(a) and 126.0504(m) are made. The following allowable deviations from the development regulations in accordance with LDC Section 143.0740 are being requested:

1. Building Envelope – The project is requesting a deviation from the 30-degree angled building envelope and plane along the side setback lines for structures within the RS Zone as required by SDMC § 131.0444 (c).
2. Commercial Requirement- The project is requesting a deviation from the commercial component required for the CC-4-5 zone to allow for residential development as required by SDMC § 131.0540 (b).
3. Setbacks – The project is requesting a deviation from the CC-4-5 side setback 0-feet option to allow 5-feet.

In summary, the project would occur within an urbanized neighborhood with similar development. The project would not conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including but not limited to the general plan, community plan, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect. No impact would result. As the project is consistent with the land use and zoning designations, impacts would be less than significant.

c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is located within a developed neighborhood and would not conflict with any applicable habitat conservation plan or natural community conservation plan. No impact would occur.

#### XI. MINERAL RESOURCES – Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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There are no known mineral resources located on the project site. The urbanized and developed nature of the project site and vicinity would preclude the extraction of any such resources. No impacts would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

See XI (a), above. The project site has not been delineated on a local general, specific or other land use plan as a locally important mineral resource recovery site, and no such resources would be affected with project implementation. Therefore, no impacts were identified.

#### XII. NOISE – Would the project result in:

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

A site-specific Noise Study was prepared by ABC Acoustics, Inc. (March 2017) to assess potential impacts associated with the project. The technical study evaluated impacts associated with construction and operation of the project. The following is a summary of the report.

#### **Construction Noise**

The City of San Diego Noise Abatement and Control Ordinance (Ordinance) contains the regulations governing construction and operational (stationary) noise levels within the City. The Ordinance prohibits construction activities between the hours of 7:00 p.m. and 7:00 a.m. that create disturbing, excessive or offensive noise. The Ordinance also prohibits construction activities from generating an average noise sound level greater than 75 dB from 7:00 a.m. to 7:00 p.m. at or beyond the property lines of any property zoned residential.

Construction activities would include demolition, grading, building construction, site utilities, paving, architectural coating, and associated and landscaping. The type of equipment utilized was based on information provided by the applicant. Construction noise could be as high as 75.3 A-weighted decibels average sound level [dB(A)  $L_{eq}$ ] measured at a distance of 50 feet. Noise levels are not anticipated to exceed 75 decibels, however the project would follow specific construction practices to ensure noise levels are not exceeded. Construction equipment would be newer with effective mufflers, stationary equipment would be placed in locations that would have lesser noise impact, equipment would be turned off when not in use, the equipment would be maintained regularly to ensure proper operating condition, work would be scheduled so operation of noisy equipment would not be simultaneous, and the use of backup alarms would be minimized. Therefore, impacts from construction noise would remain less than significant.

#### **Operational Noise**

The project site is located adjacent to Morena Boulevard, I-5 and the Santa Fe Railway tracks, where vehicular and train traffic is the dominant noise source. Existing ambient noise levels along the

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
southern property line range between 74 dB(A) $L_{eq}$ and 76 dB(A) $L_{eq}$ during peak traffic hours. The proposed project would be exposed to noise levels potentially exceeding the exterior noise compatibility thresholds for residential uses. Per the General Plan, multiple unit and mixed-use residential developments are conditionally compatible up to 75 dBA CNEL when there are existing residential uses in areas affected primarily by vehicle traffic noise. To ensure that interior noise levels in residences does not exceed the 45 dBA CNEL standard, noise reducing measures would be used. All habitable areas would be equipped with mechanical ventilation to provide fresh air in compliance with CBC and California Mechanical Code Chapter 4. Windows and doors located on the north and west side of Building A would have Sound Transmission Class (STC) 43 or higher and the southern and eastern sides of the structure would have a STC 40 or higher. The southern and western sides of Building B would have a STC 40 or higher and the northern and eastern sides would have a STC 33 or higher. These noise reducing measures would be a condition of the permit to ensure interior noise levels would be below 45 dBA CNEL. Therefore, impacts would be less than significant.				

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Generation of, excessive ground borne vibration or ground borne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Pile driving activities that would potentially result in ground borne vibration or ground borne noise are not anticipated with construction of the project. As described in Response to XII (a) above, potential effects from construction noise would be reduced through compliance with the City's Noise Ordinance. Impacts would be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would not significantly increase long-term noise levels. The project would not introduce a new land use, or significantly increase the intensity of the allowed land use. Post-construction noise levels and traffic would not substantially increase as compared to the existing residential use. Therefore, no substantial permanent increase in ambient noise levels is anticipated. A less than significant impact would occur.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above existing without the project? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would not expose people to a substantial increase in temporary or periodic ambient noise levels. Construction noise would result during grading, demolition, and construction activities, but would be temporary in nature. Construction-related noise impacts from the project would generally be higher than existing ambient noise levels in the project area but would no longer occur once construction is completed. In addition, the project would be required to comply with the San Diego Municipal Code, Article 9.5, Noise Abatement and Control. Implementation of these standard measures would reduce potential impacts from an increase in ambient noise level during construction to a less than significant level.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) For a project located within an airport land use plan, or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Although the project site is located in Airport Influence Area – Review Area 2 for the San Diego International Airport, it is located outside the airport noise contours. As such, the project would not expose people to working in the area to excessive aircraft noise levels. No impact would result.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is not located within the vicinity of a private airstrip. No impacts would occur.

#### XIII. POPULATION AND HOUSING – Would the project:

a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is located within a developed residential neighborhood and is surrounded by similar development. The project site currently receives water and sewer service from the City, and no extension of infrastructure to new areas is required. As such, the project would not induce substantial population growth in the area. Impacts would not occur.

b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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No such displacement would result. The project would demolish an existing single-family dwelling unit to construct 13 units. No impacts would occur.

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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No such displacement would result. The project would demolish an existing single-family dwelling unit to construct 13 units. No impacts would occur.

#### XIV. PUBLIC SERVICES

a) Would the project result in substantial adverse physical impacts associated with the provisions of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the				
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services:				

i) Fire protection	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project site is located in an urbanized area where fire protection services are provided. The project would not adversely affect existing levels of fire protection services to the area and would not require the construction of new or expanded governmental facilities. Impacts to fire protection would be less than significant.

ii) Police protection	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project site is located in an urbanized area where police protection services are provided. The project would not adversely affect existing levels of police protection services to the area and would not require the construction of new or expanded governmental facilities. Impacts to fire protection would be less than significant.

iii) Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project would not affect existing levels of public services and would not require the construction or expansion of a school facility. The project site is located in an urbanized and developed area where public school services are available. The project would not significantly increase the demand on public schools over that which currently exists and is not anticipated to result in a significant increase in demand for public educational services. Impacts would be less than significant.

iv) Parks	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project site is located in an urbanized and developed area where City-operated parks are available. The project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists and is not anticipated to result in a significant increase in demand for parks or other offsite recreational facilities. Impacts would be less than significant.

v) Other public facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The project site is located in an urbanized and developed area where City services are already available. The project would not adversely affect existing levels of public services and not require the construction or expansion of an existing governmental facility. Impacts would be less than significant.

#### XV. RECREATION

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The project would not adversely affect the availability of and/or need for new or expanded recreational resources. The project would not adversely affect existing levels of public services and would not require the construction or expansion of an existing governmental facility. The project would not significantly increase the use of existing neighborhood or regional parks or other recreational facilities. Therefore, the project is not anticipated to result in the use of available parks or facilities such that substantial deterioration occurs, or that would require the construction or expansion of recreational facilities to satisfy demand. Impacts would be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to XV (a) above. The project does not propose recreation facilities nor require the construction or expansion of any such facilities.

#### XVI. TRANSPORTATION/TRAFFIC – Would the project?

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The City of San Diego Traffic Impact Study Manual does not require a Traffic Impact Study for projects that conform to the community plan and generates less than 1,000 average daily trips (ADT). The expected trip generation for the proposed 13 multiple dwelling units is 78 average daily trips, based on the rate of 6 trips per dwelling unit. The project is not expected to substantially adversely affect the performance of surrounding street segments and intersections. Therefore, the project would not conflict with the applicable City of San Diego regulations establishing thresholds of effectiveness for the circulation system around the project site, resulting in a less than significant impact.

The project does not propose any changes to the public transit system, bicycle lanes, or pedestrian circulation. Therefore, impacts would be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Refer to response XVI (a). The project would not conflict with any applicable plan, ordinance, or policy establishing measures of effectiveness for the performance of the circulation system. Impacts would be less than significant.

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|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would not result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks in that the project would be consistent with land use plans and underlying zones. Implementation of the project would not result in a change in air traffic patterns, as they would not be constructed at a height that would impair air travel; nor result in either an increase in traffic levels or a change in location that results in substantial safety risks in that the project would be consistent with land use plans and underlying zones. The project would not result in a substantial safety risk. Impacts would be less than significant.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not alter existing circulation patterns. No design features or incompatible uses that would increase potential hazards are proposed. The project would not affect emergency access to the project site or adjacent properties. Access would be provided to the project site via an unnamed alley to the north of the project site. The project has been designed in accordance with the City's street design manual and Municipal Code regulations and would include adequate sight distances at the project driveways. No impacts would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is consistent with the community plan designation and would not result in inadequate emergency access. The project design would be subject to City review and approval for consistency with all design requirements to ensure that no impediments to emergency access occur. No impacts would result.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not alter the existing conditions of the project site or adjacent facilities with regard to alternative transportation. Construction of the project would not result in design measures or circulation features that would conflict with existing policies, plan, or programs supporting alternative transportation. No impacts would result.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XVII. TRIBAL CULTURAL RESOURCES – Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not cause a substantial adverse effect to tribal cultural resources, as there are no recorded sites listed or sites eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined by the Public Resources Code. No impact would result.

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Tribal Cultural Resources include sites, features, places, cultural landscapes, and sacred places or objects that have cultural value or significance to a Native American Tribe. Tribal Cultural Resources include “non-unique archaeological resources” that, instead of being important for “scientific” value as a resource, can also be significant because of the sacred and/or cultural tribal value of the resource. Tribal representatives are considered experts appropriate for providing substantial evidence regarding the locations, types, and significance of tribal cultural resources within their traditionally and cultural affiliated geographic area (PRC § 21080.3.1(a)).

The City of San Diego, as Lead Agency, determined that Tribal Cultural Resources pursuant to subdivision Public Resources Code Section 5024.1(c) would not be potentially impacted through project implementation, as the project site has been developed and is located within an urban area. Notification, as required by Public Resources Code section 21074, was provided to the lipay Nation of Santa Ysabel and Jamul Indian Village of Kumeyaay Nation. City of San Diego Development Services Department staff notified these two Native American communities of the proposed project by email on November 15, 2017. The lipay Nation of Santa Isabel responded within the 30 day formal notification period declining the consultation request. The Jamul Indian Village declined the consultation request on November 17, 2017. Both tribes concurred with the City's determination that the area of potential effect does not contain Tribal Cultural Resources. Therefore, no impact would occur.

XVIII. UTILITIES AND SERVICE SYSTEMS – Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Implementation of the project would not interrupt existing sewer service to the project site or other surrounding development. The project is not anticipated to generate significant amount of wastewater. Wastewater facilities used by the project would be operated in accordance with the applicable wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). Existing sewer infrastructure exists within roadways surrounding the project site and adequate services are available to serve the project. Thus, impacts would be less than significant.

b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

See XVII (a) above. Adequate services are available to serve the site and the project would not require the construction or expansion of existing facilities. Impacts would be less than significant.

c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project would not exceed the capacity of the existing storm water system and require the construction of new or expanded treatment facilities of which would cause significant environmental effects. The project was reviewed by qualified City staff who determined that the existing facilities are adequately sized to accommodate the proposed development. No impacts would result.

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	--------------------------	-------------------------------------	--------------------------

The project does not meet the CEQA significance thresholds requiring the need for the project to prepare a water supply assessment. The existing project site currently receives water service from the City, and adequate services are available to serve the structures without requiring new or expanded entitlements. Impacts would be less than significant.

e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
-------	--------------------------------	--	------------------------------	-----------

Construction of the project would not adversely affect existing wastewater treatment services. Adequate services are available to serve the site without requiring new or expanded facilities. Impacts would be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be served by a landfill with sufficient permitted capacity to accommodate the project's disposal needs. Construction debris and waste would be generated from the partial demolition of the existing single-family residence and construction of the 13 new residential units. All construction waste from the project site would be transported to an appropriate facility, which would have adequate capacity to accept the limited amount of waste that would be generated by the project. Long-term operation of the proposed residential unit is anticipated to generate typical amounts of solid waste associated with residential use. Furthermore, the project would be required to comply with the City's Municipal Code (including the Refuse and Recyclable Materials Storage Regulations (Municipal Code Chapter 14, Article 2, Division 8), Recycling Ordinance (Municipal Code Chapter 6, Article 6, Division 7), and the Construction and Demolition (C&D) Debris Deposit Ordinance (Municipal Code Chapter 6, Article 6, Division 6)) for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts are considered to be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| g) Comply with federal, state, and local statutes and regulation related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would comply with all Federal, State, and local statutes and regulations related to solid waste. The project would not result in the generation of large amounts of solid waste, nor generate or require the transport of hazardous waste materials, other than minimal amounts generated during the construction phase. All demolition activities would comply with any City of San Diego requirements for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts would be less than significant.

#### XIX. MANDATORY FINDINGS OF SIGNIFICANCE –

- |  |                          |                                     |                          |                          |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|
| a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|-------------------------------------|--------------------------|--------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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As documented in this Initial Study, the project may have the potential to degrade the quality of the environment, notably with respect to Historical Resources - Designated Site. As such, mitigation measures have been incorporated to reduce impacts to less than significant as outlined within the Initial Study.

- b) Does the project have impacts that are individually limited but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

☐ ☐ ☒ ☐

Cumulative environmental impacts are those impacts that by themselves are not significant, but when considered with impacts occurring from other projects in the vicinity would result in a cumulative impact. Related projects considered to have the potential of creating cumulative impacts in association with the project consist of projects that are reasonably foreseeable and that would be constructed or operated during the life of the project. The project would be located in a developed area that is largely built out. No other construction projects are anticipated in the immediate area of the project.

As documented in this Initial Study, the project may have the potential to degrade the environment as a result of Historical Resource – Designated Site impact, which may have cumulatively considerable impacts when viewed in connection with the effects of other potential projects in the area. As such, mitigation measures have been identified to fully mitigate and reduce impacts to a less than significant level. Other future projects within the surrounding area would be required to comply with applicable local, State, and Federal regulations to reduce potential impacts to less than significant, or to the extent possible. As such, the project is not anticipated to contribute to potentially significant cumulative environmental impacts. Project impacts would be less than significant.

- c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

☐ ☐ ☒ ☐

As discussed throughout this document, it is not anticipated that the demolition, construction, and operation of the project would not cause environmental effects that would significantly directly or indirectly impact human beings. All impacts identified as being significant have been mitigated to below a level of significance. For this reason, all environmental effects fall below the thresholds established by the City of San Diego. Impacts would be less than significant.



## INITIAL STUDY CHECKLIST REFERENCES

### **I. Aesthetics / Neighborhood Character**

- ☐ City of San Diego General Plan
- ☒ Community Plans: Clairemont Mesa Community Plan

### **II. Agricultural Resources & Forest Resources**

- ☐ City of San Diego General Plan
- ☐ U.S. Department of Agriculture, Soil Survey - San Diego Area, California, Part I and II, 1973
- ☐ California Agricultural Land Evaluation and Site Assessment Model (1997)
- ☐ Site Specific Report:

### **III. Air Quality**

- ☐ California Clean Air Act Guidelines (Indirect Source Control Programs) 1990
- ☐ Regional Air Quality Strategies (RAQS) - APCD
- ☐ Site Specific Report:

### **IV. Biology**

- ☐ City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997
- ☐ City of San Diego, MSCP, "Vegetation Communities with Sensitive Species and Vernal Pools" Maps, 1996
- ☒ City of San Diego, MSCP, "Multiple Habitat Planning Area" maps, 1997
- ☐ Community Plan - Resource Element
- ☐ California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered, Threatened, and Rare Plants of California," January 2001
- ☐ California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered and Threatened Animals of California," January 2001
- ☐ City of San Diego Land Development Code Biology Guidelines
- ☐ Site Specific Report:

### **V. Cultural Resources (includes Historical Resources and Built Environment)**

- ☒ City of San Diego Historical Resources Guidelines
- ☒ City of San Diego Archaeology Library
- ☒ Historical Resources Board List
- ☐ Community Historical Survey:
- ☐ Site Specific Report:
  - Historical Resources Technical Report for the 1398 Lieta Street Property prepared by Scott A. Moomjian dated May 2018

### **VI. Geology/Soils**

- ☒ City of San Diego Seismic Safety Study
- ☐ U.S. Department of Agriculture Soil Survey - San Diego Area, California, Part I and II, December 1973 and Part III, 1975
- ☒ Site Specific Report:

Report of Preliminary Geotechnical Investigation Proposed Residential Development  
prepared by Christian Wheeler Engineering dated July 31, 2016  
Geotechnical Infiltration Feasibility Study Proposed Residential Development  
prepared by Christian Wheeler Engineering dated January 27, 2017

**VII. Greenhouse Gas Emissions**

- ☒ Site Specific Report: Climate Action Plan Consistency Checklist

**VIII. Hazards and Hazardous Materials**

- ☒ San Diego County Hazardous Materials Environmental Assessment Listing  
☐ San Diego County Hazardous Materials Management Division  
☐ FAA Determination  
☐ State Assessment and Mitigation, Unauthorized Release Listing, Public Use Authorized  
☐ Airport Land Use Compatibility Plan  
☐ Site Specific Report:

**IX. Hydrology/Drainage**

- ☐ Flood Insurance Rate Map (FIRM)  
☐ Federal Emergency Management Agency (FEMA), National Flood Insurance Program-Flood Boundary and Floodway Map  
☐ Clean Water Act Section 303(b) list, [http://www.swrcb.ca.gov/tmdl/303d\\_lists.html](http://www.swrcb.ca.gov/tmdl/303d_lists.html)  
☒ Site Specific Report:  
Hydrology Study Multi Family Residential Apartments 1398 Lieta Street prepared by Civil Landworks dated August 24, 2016

**X. Land Use and Planning**

- ☒ City of San Diego General Plan  
☒ Community Plan  
☐ Airport Land Use Compatibility Plan  
☒ City of San Diego Zoning Maps  
☐ FAA Determination:  
☐ Other Plans:

**XI. Mineral Resources**

- ☐ California Department of Conservation - Division of Mines and Geology, Mineral Land Classification  
☐ Division of Mines and Geology, Special Report 153 - Significant Resources Maps  
☐ City of San Diego General Plan: Conservation Element  
☐ Site Specific Report:

**XII. Noise**

- ☒ City of San Diego General Plan  
☐ Community Plan  
☐ San Diego International Airport - Lindbergh Field CNEL Maps  
☐ Brown Field Airport Master Plan CNEL Maps  
☐ Montgomery Field CNEL Maps



- ☐ San Diego Association of Governments - San Diego Regional Average Weekday Traffic Volumes
- ☐ San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- ☐ Site Specific Report:
  - Acoustical Analysis Report 1398 Lieta Street Residences prepared by ABC Acousics, Inc. dated March 22, 2017

### **XIII. Paleontological Resources**

- ☒ City of San Diego Paleontological Guidelines
- ☐ Deméré, Thomas A., and Stephen L. Walsh, "Paleontological Resources City of San Diego," Department of Paleontology San Diego Natural History Museum, 1996
- ☒ Kennedy, Michael P., and Gary L. Peterson, "Geology of the San Diego Metropolitan Area, California. Del Mar, La Jolla, Point Loma, La Mesa, Poway, and SW 1/4 Escondido 7 1/2 Minute Quadrangles," *California Division of Mines and Geology Bulletin* 200, Sacramento, 1975
- ☐ Kennedy, Michael P., and Siang S. Tan, "Geology of National City, Imperial Beach and Otay Mesa Quadrangles, Southern San Diego Metropolitan Area, California," Map Sheet 29, 1977
- ☐ Site Specific Report:

### **XIV. Population / Housing**

- ☐ City of San Diego General Plan
- ☐ Community Plan
- ☐ Series 11/Series 12 Population Forecasts, SANDAG
- ☐ Other:

### **XV. Public Services**

- ☐ City of San Diego General Plan
- ☐ Community Plan

### **XVI. Recreational Resources**

- ☐ City of San Diego General Plan
- ☐ Community Plan
- ☐ Department of Park and Recreation
- ☐ City of San Diego - San Diego Regional Bicycling Map
- ☐ Additional Resources:

### **XVII. Transportation / Circulation**

- ☐ City of San Diego General Plan
- ☐ Community Plan:
- ☐ San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- ☐ San Diego Region Weekday Traffic Volumes, SANDAG
- ☐ Site Specific Report:

### **XVIII. Utilities**

- ☐ Site Specific Report:

### **XIX. Water Conservation**

- ☐ Sunset Magazine, *New Western Garden Book*, Rev. ed. Menlo Park, CA: Sunset Magazine

**XX. Water Quality**

- ☐ Clean Water Act Section 303(b) list, [http://www.swrcb.ca.gov/tmdl/303d\\_lists.html](http://www.swrcb.ca.gov/tmdl/303d_lists.html)
- ☐ Site Specific Report:
  - Priority Development Project (PDP) Storm Water Quality Management Plan (SWQMP)  
for Multi-Family Residential Apartments prepared by Civil Landworks dated March 8, 2017

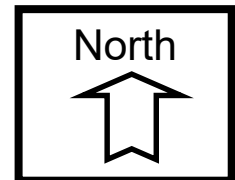
Revised: August 2018



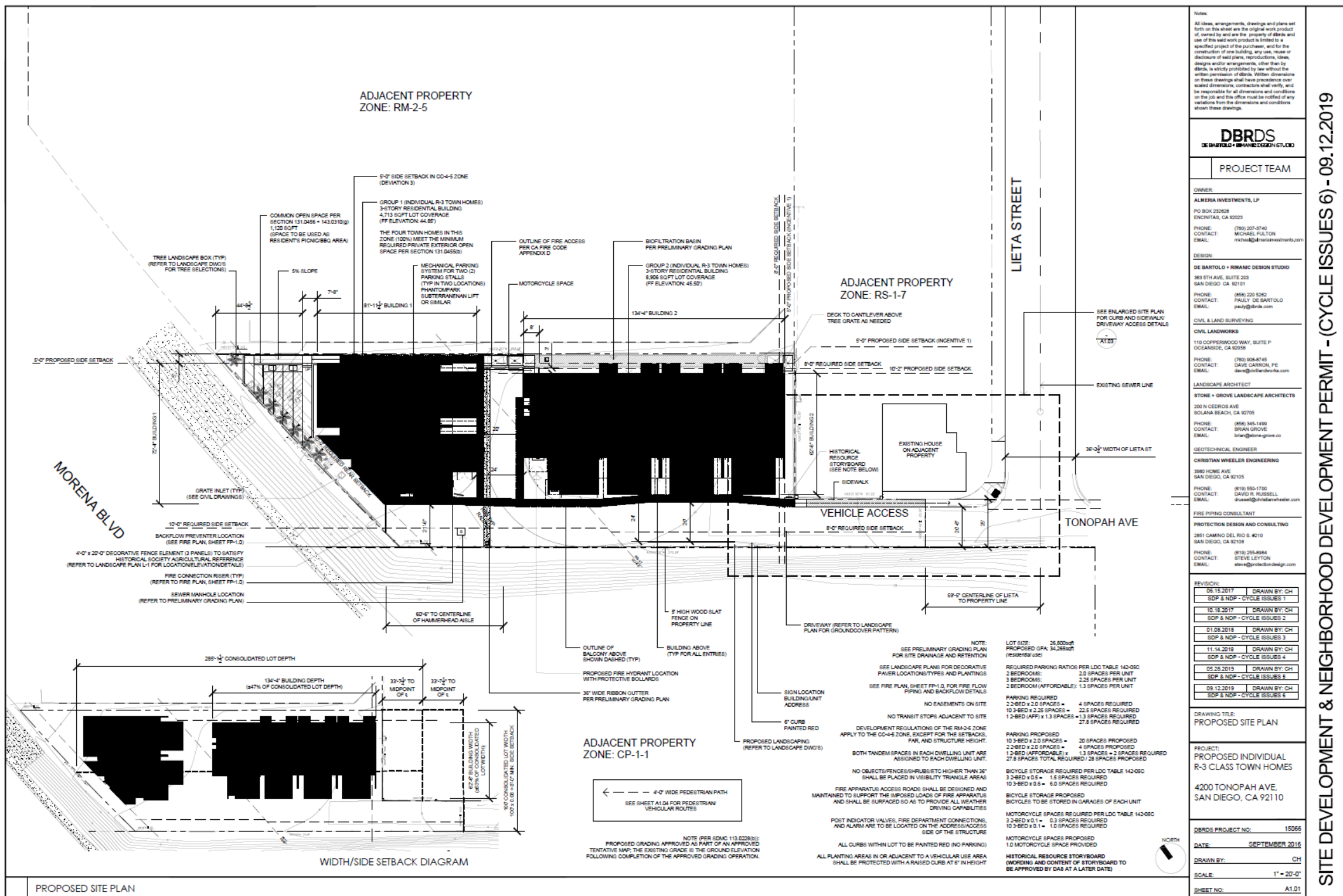


## Project Location Map

1398 Lieta Street SDP– 1398 Lieta Street  
**PROJECT NO. 512890**





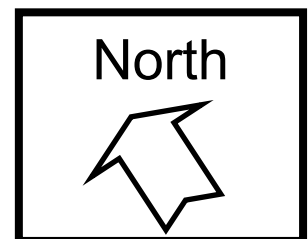


SITE DEVELOPMENT & NEIGHBORHOOD DEVELOPMENT PERMIT - (CYCLE ISSUES 6) - 09.12.2019



# Site Plan

**1398 Lieta Street SDP- 1398 Lieta Street**  
**PROJECT NO. 512890**





**Draft Site Development Permit Findings for Substantial Alteration**  
**Municipal Code §126.0505(h)**  
**1398 Lieta Street – Project No. 512890**

**Submitted to:**

**Historical Resources Board Staff**  
**Development Services Department**  
**1222 First Avenue, 5<sup>th</sup> Floor**  
**San Diego CA 92101**

**Prepared for:**

**Almeria Investments, LP**  
**817 Clark Avenue**  
**Encinitas CA 92024**

**Prepared by:**

**Marie Burke Lia, Attorney at Law**  
**on behalf of the Project Applicants**  
**August 2019**

## **DRAFT FINDINGS**

### **San Diego Municipal Code**

#### **Article 6: Development Permits**

#### **Division 5: Site Development Permits**

##### **Introduction:**

The proposed development includes the redevelopment of the "Aizo and Komume Sogo Farm" located at 1398 Lieta Street, Historical Resource #1305. Only the land was designated under Criterion A as a historical resource with a period of significance of 1938-1988. All of the structures located on the parcel were excluded from the designation, which occurred on January 26, 2018. The land was not found to merit designation under any other criteria. The designated land area is legally described as APN 430-680-09.

Properties eligible for designation under Criterion A are those that exemplify or reflect special elements of the City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping, or architectural development. The special elements found by the Historical Resources Staff and Board to exist on this parcel of land are the following: (1) The Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s, and (2) The restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s.

The family of Aizo and Komume Sogo acquired this property and farmed it beginning in 1938. In 1942, the family was sent to the Poston War Relocation Center. They were not able to return to their farm until 1945. Mr. and Mrs. Sogo became naturalized citizens in 1953, obtained ownership of this property as citizens in 1954, and continued to farm it for several decades. The current owner of the property is the Almeria Investments Limited Partnership.

The original setting of this farm was typified by an open space coastal marine environment that emphasized small-scale architectural production. However, between the late 1940s and the early 1950s, this land use became compromised by modern residential development. The original neighborhood setting consisted of one story, single-family residential construction but subsequently, new, larger residential development has been constructed in close proximity to the project site. Commercial development occurred simultaneously along Morena Boulevard to the west and the architectural styles around the property are eclectic in nature and reflect a mix of contemporary designs.



The subject parcel occupies 26,800 square feet. It was historically developed from a much larger, ten-acre site that gradually evolved into the current residentially zoned property. The property is bounded by Asher Street to the north, Tonopah Street to the south and Morena Boulevard to the east. The property is currently owned by Almeria Investments Limited Partnership and this former farmland is essentially vacant. The site photographs used at the designation hearing are attached as Exhibit A.

The proposed development, the Base Project, will demolish the existing single-family residence and detached garage on the property and construct thirteen (13) new R-3 Class 3 story Town Homes, one of which will be affordable, and landscape improvements. The project will include a Historical Resource Storyboard at the southeast corner of the building facing east toward the incoming vehicular traffic. The Storyboard will contain a concise but thorough description of the history of the site. In addition, etched glass panels will be placed on the fencing above the slope on Morena Boulevard. The etching will depict the property's historic use as a farm as it relates to the designation. A preliminary design for the etching will be included on the project plans.

#### **§126.0505 Findings for Site Development Permit Approval**

##### **(a) Findings for all Site Development Permits**

Municipal Code §126.0505(a) contains the three basic Findings required for all Site Development Permits, which are: (1) The proposed development will not adversely affect the applicable land use plan; (2) the proposed development will not be detrimental to the public health, safety and welfare; and (3) the proposed development will comply with the regulations of the Land Development Code.

##### **(1) The proposed development will not adversely affect the applicable land use plan**

The applicable land use plan for the subject property is addressed in the Clairemont Mesa Community Plan.<sup>1</sup> That Plan's primary goal for residential development is to maintain the low density character of predominantly single-family neighborhoods and to encourage rehabilitation where appropriate. "One of Clairemont Mesa's attributes are the well-established single-family neighborhoods. . . . This Plan preserves neighborhoods by maintaining existing single-family zoning and by recommending a Planned Infill Residential Development (PIRD) permit for the development of new units in those neighborhoods when variations of the development regulations of the underlying zone are required." "The existing low-scale character of the community as well as vistas from Bay Park to Mission Bay and the Pacific

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<sup>1</sup> A Map of the Clairemont Mesa Community Plan and a graphic of the site location are attached as Exhibit A.

Ocean will be preserved by maintaining a 30-foot height limit throughout the majority of the community.”<sup>2</sup>

The eastern portion of the subject property, 14,800 square feet, is zoned RS 1-7, which is a Residential – Single Unit Zone, pursuant to SDMC §131.0403. The subject property is located in an Urbanized Community and requires a minimum of 5,000 square foot lots, per SDMC §131.0403 (b)(2). The purpose of the RS zones is to provide appropriate regulations for the development of single dwelling units that accommodate a variety of lot sizes and residential dwelling types and which promote neighborhood quality, character, and livability. It is intended that these zones provide for flexibility in development regulations that allow reasonable use of property while minimizing adverse impacts to adjacent properties. (SDMC §131.0403 (a)).

The western portion of the subject property, 12,000 square feet, is zoned CC-4-5. The purpose of the CC or Community-Commercial zones is to accommodate community-serving commercial services, retail uses and limited industrial uses of moderate intensity and small to medium scale. The CC zones are intended to provide a range of development patterns from the pedestrian friendly commercial to shopping-centers and auto-oriented strip commercial streets. (SDMC §131.0507(a)) CC-4-5 is intended to accommodate development with a high intensity, pedestrian orientation and permits maximum density of 1 dwelling unit for each 1500 square feet of lot area. (SDMC §131.0507(b)(2)).

No portion of the subject property is zoned AR, or as an Agricultural-Residential Zone, which are intended to accommodate wide range of agricultural uses while also permitting the development of single dwelling units at a very low density. The agricultural uses are limited to those of low intensity to minimize the potential conflicts with residential uses. This zone is applied to lands that are in agricultural use or that are underdeveloped and not appropriate for more intense zoning (SDMC §131.0303), which is not the case with the subject property.

(2) The proposed development will not be detrimental to the public health, safety and welfare

The proposed development, the Base Project, will consist of 13 dwelling units (condominiums) occupying the 26,800 square foot single parcel. The proposed development complies with the San Diego Municipal Code and Uniform Building Code provisions intended to ensure that the proposed development will not be detrimental to the public health, safety and welfare.

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<sup>2</sup> Page 17 of the Clairemont Mesa Community Plan is attached as Exhibit B.



(3) The proposed development will comply with the applicable regulations of the Land Development Code

The proposed development, the Base Project, will consist of a residential development that maintains the low density character of predominantly single-family neighborhoods in this community planning area.

The proposed development, the Base Project, will comply with the Land Development Code's sections that include: Grading Regulations, Drainage Regulations, Landscape Regulations, Parking Regulations, Refuse and Recyclable Materials Storage, Mechanical and Utility Equipment Storage Regulations, Building Regulations, Electrical Regulations and Plumbing Regulations. The project will comply with these regulations as will be required by the building permit to be issued for this project. Therefore, the proposed development will comply with all applicable regulations of the Land Development Code.

The subject property is also subject to the applicable City procedures are established in San Diego Municipal Code Chapter 14, Article 3, Division 2, entitled "Historical Resources Regulations." SDMC §143.0210 (c) requires a Site Development Permit when historical resources are located on the premises. SDMC §143.0210 (e)(2)(A) requires a Site Development in Accordance with Process Four for a single dwelling unit lot of any size when a designated historical resource is present.

Substantial alteration of a designated resource by relocation or other means is a deviation from the historical resource regulations and, therefore, a Site Development Permit, as authorized by Chapter 12, Article 6, Division 5, entitled "Site Development Permit Procedures," is required. The Planning Commission as decision maker must make all of the Findings in SDMC §126.0505(a) and §126.0505(i) before the substantial alteration of a locally designated resource can occur.

**§126.0505(i) Supplemental Findings - Historical Resources Deviation for Substantial Alteration of a Designated Historical Resource**

Municipal Code §126.0505(i) contains the three supplemental Findings required for all Site Development Permits for the Substantial Alteration of a Designated Historical Resource. The subject property was designated as a historical resource under Criterion A as reflecting special elements of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s, and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. This designation affected the land only at this site.

Although the structures on this site were not included in this designation, the redevelopment of the site and the use of the site for any other non-farm use will adversely impact the context of the site through the alteration of setting, feeling and association. Therefore, the proposed development of the site, the Base Project, is, by definition, a substantial alteration requiring a Site Development Permit, consistent with Municipal Code §143.0251, which contains development regulations for designated historical resources. Impacts related to the proposed development, the Base Project, would be reduced through implementation of the required mitigation measures. Findings for the substantial alteration of a designated historical resource are required for approval of the new proposed new development permit, consistent with Municipal Code §126.0505(i), as follows.

*Finding 1: There are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource.*

The Aizo and Komume Sogo Farm was designated, under Criterion A, as a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s, and the restrictive property rights/ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s. The designation excluded all of the structures on the property as they had limited association with the Farm itself. The vacant land at the site today retains the setting, feeling and association of the site as a farm, but the proposed development of this site, the Base Project, will eliminate those historic aspects of the property. However, the continued use of this site as a farm is not a feasible alternative, as no portion of the subject property is zoned AR, or as an Agricultural-Residential Zone.

The eastern portion of the subject property, 14,800 square feet, is zoned RS 1-7, a Residential – Single Unit Zone, pursuant to SDMC §131.0403. The purpose of RS zones is to provide appropriate regulations for the development of single dwelling units that accommodate a variety of lot sizes and residential dwelling types and which promote neighborhood quality, character, and livability. In addition, the western portion of the subject property, 12,000 square feet, is zoned CC-4-5. The purpose the CC or Community -Commercial zones is to accommodate community-serving commercial services, retail uses and limited industrial uses of moderate intensity and small to medium scale. The CC zones are intended to provide a range of development patterns from the pedestrian friendly commercial to shopping-centers and auto-oriented strip commercial streets. (SDMC §131.0507(a)) The CC-4-5 zone is intended to accommodate development with a high intensity, pedestrian orientation and permits maximum density of 1 dwelling unit for each 1500 square feet of lot area. (SDMC §131.0507(b)(4)). Therefore, the site can no longer be used as a farm as it was historically.

While the use of this site for purposes other than its historic farm use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site through the incorporation of a historic interpretive storyboard on site that will detail the history and significance of the Aizo and Komume Sogo Farm for the benefit of the public and etched glass panels that will be placed on the fencing above the slope on Morena Boulevard that will depict the property's historic use as a farm as it relates to the designation.

**Proposed Project:** The proposed development, the Base Project, would remove the existing improvements on the site and construct thirteen (13) new R-3 Class 3 story Town Homes, one of which will be affordable, and landscape improvements. The project will include a Historical Resources Storyboard at the southeast corner of the building facing east toward the incoming vehicular traffic. The Storyboard will contain a concise but thorough description of the history of the site. In addition, etched glass panels will be placed on the fencing above the slope on Morena Boulevard. The etching will depict the property's historic use as a farm as it relates to the designation. A preliminary design for the etching will be included on the project plans.

**Economic Feasibility Analysis:** An economic feasibility analysis of the proposed Base Project has been prepared by London Moeder Advisors, a local firm with extensive experience in such analyses for the City of San Diego.

The London Moeder Advisors analyzed the Base Project as demolishing the existing 962 square foot home and constructing 13 new R-3 Class 3-story townhomes, one of which will be affordable, with an average net unit size of 1,912 square feet.

The London Moeder Advisors analyzed Alternative 1 as rehabilitating the existing 962 square foot home and returning the remaining land to a farm use.

The London Moeder Advisors analyzed Alternative 2 as demolishing the existing 962 square foot home and constructing three standard single-family homes on the rest of the property with an average home size of 2,250 square feet.

The London Moeder Advisors found that only the Base Project is economically feasible since this project is forecasted to generate a total profit of \$2.54 million. When compared to the total revenue of the project, the margin on revenue achieved is 19.2% and when compared to the total development costs of the project, the Margin on Cost achieved is 25.4%.

*Alternative 1* would rehabilitate the existing non-historic house and garage on the property and return the land to a farming use. As discussed above, a farming use is not now permitted at this location by the zoning regulations of the Municipal Code, but the former farm area could be retained as a dormant area of land. Since the existing house and garage were found by the



Historical Resources Staff and Board to not merit local historical designation in 2018, those structures could be rehabilitated as appropriate for a standard residential use resulting in a project site that would be partially developed and partially dormant, with only the dormant part having any historical significance. An economic feasibility analysis of this Alternative and Alternative 2, as compared with the proposed Base Project, has been prepared by London Moeder Advisors for the purpose of this Site Development Permit.

The London Moeder Advisors found that Alternative 1 is not economic feasible due to limited lot usage allowed and no new construction. The sale of one rehabilitated home for \$625,000 would not be sufficient to cover the land costs of \$860,000, let alone the rehabilitation costs. This results in project costs exceeding revenues and a financial loss of \$716,433. This is a 128% reduction in profit when compared with the Base Project.

The London Moeder Advisors found that Alternative 2, which would demolish the existing structure and develop three single-family homes, is also not economic feasible due to the limited scale of development and lot usage allowed. The sale of three single-family homes for a total of \$3,300,000 is not sufficient to cover project costs of \$3,531,288. This would result in a financial loss for the developer of \$396,288 or a 116% reduction in profit when compared to the Base Project.

Conclusion: Finding 1 that there are no feasible measures, including a less environmentally damaging alternative, that can further minimize the potential adverse effects on the designated historical resource, can be made.

*Finding 2: The deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource have been provided by the applicant.*

As described above, the continued use of this site as a farm is not a feasible alternative as the site is not legally capable of supporting a farm or any other agricultural use. The subject property and its surroundings are now in residential and commercial use consistent with a modern urban environment. While the use of this site for any purpose other than its historic use will result in a loss of historic context, the proposed project will mitigate this impact to the historic setting, feeling and association of the site. Historical Resource mitigation measures have been developed and adopted within the Project's Final Mitigated Negative Declaration – conditioning issuance of building permits upon prior submittal of a plan showing the design and location of an *Azio and Komume Sogo Farm* interpretive Story Board to be placed at the location specified in the Final Mitigated Declaration to preserve the history of the site in the public realm along with etched glass panels depicting the property's historic use as a farm.

Conclusion: Finding 2 that this deviation is the minimum necessary to afford relief and accommodate the development and all feasible measures to mitigate for the loss of any portion of the historical resource have been provided by the applicant, can be made.

*Finding 3: The denial of the proposed development would result in economic hardship to the owner. For purposes of this finding, economic hardship means there is no reasonable beneficial use of a property and it is not feasible to derive a reasonable economic return from the property*

Denial of this proposed development would result in economic hardship to the owner. The continued use of this site, even partially as a farm, is not a feasible alternative, and no other passive use would generate an economic return. There is no reasonable beneficial use of this property that does not require its complete redevelopment consistent with the current zoning in order to generate an economic return from the property. The proposed project would remove the existing improvements on the site and construct thirteen (13) new R-3 Class 3 story Town Homes, one of which will be affordable.

Conclusion: Finding 3 that the denial of the proposed development would result in economic hardship to the owner can be made.

#### Attachments

- Exhibit A      Photographs from the Site's local historical designation proceedings
- Exhibit B      Designation documentation from the California Historical Resources Data Base
- Exhibit C      Economic Alternative Analysis by London Moeder Advisors

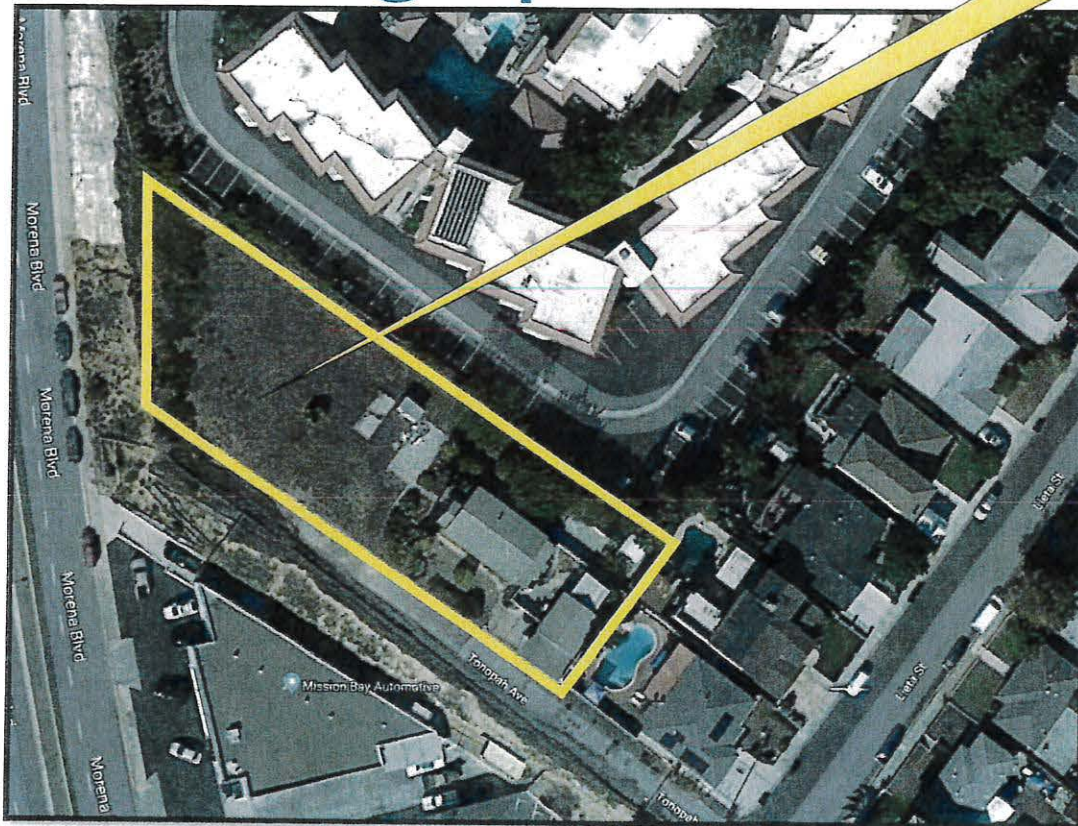
**ATTACHMENT A**





# Aerial Photograph

Property Site







Development Services Department

ITEM 7

## Aizo and Komume Sogo Farm





# Property Photos

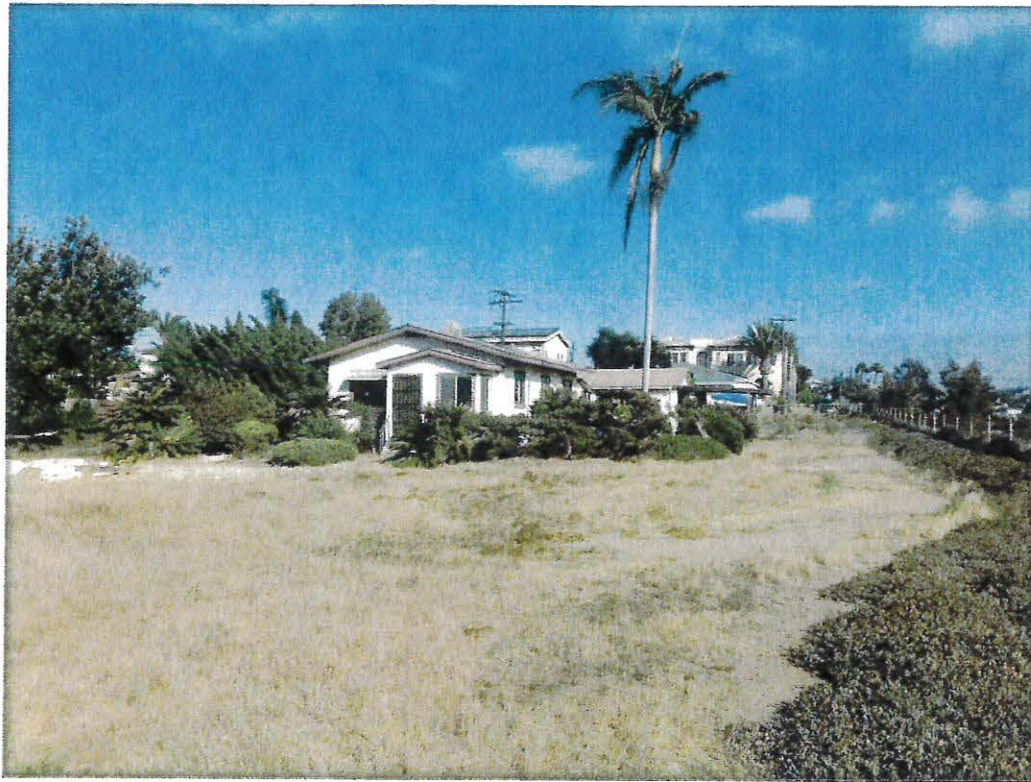


Northwest Corner





# Property Photos



Barn, West Façade

**ATTACHMENT B**





## CALIFORNIA HISTORICAL RESOURCES INVENTORY DATABASE

City of San Diego

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## 1398 Lieta ST

Local Designation [\[print\]](#)

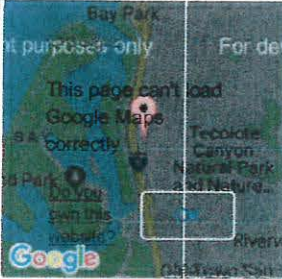
## Resource Summary

## Related Info

## Local Information

## Local Designation

## National/California Registers

**Name:** Aizo and Komume Sogo Farm**HRB Num:** 1305**Hearing Date:** 07/26/2018**Location****Address:** 1398 Lieta ST**Community Plan Area:** Clairemont Mesa**Neighborhood:** Bay Park**Description****Architectural Style:****Architect/Designer:****Historic individual:****Year Built:****Misc. Notes:** For more information on designation see attached documents.**District Information****District Contributor Num:****Local Designation Criteria****Criteria:**

- A - Exemplifies or reflects special elements of the City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

**Criteria Notes:** Designated with a period of significance of 1937-1983 under HRB Criterion A. The designation excludes the structures located on the parcel.

**Mills Act:** No**Designation Type:****NRHP Status Code:****Status:** Designated**Staff Report Num:** [HRB 18-033](#)[Full Nomination](#)**APN:** 4306800900**Zip Code:** 92110**Redevelopment Area:** No**Interior Included:** No**Builder:**

**Event:** The resource reflects a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s.

[\[print\]](#)



**ATTACHMENT C**





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1398 Lieta Street  
Economic Alternative Analysis

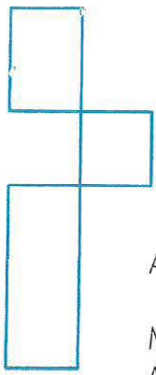
August 16, 2019

825 10<sup>th</sup> Avenue  
San Diego, CA 92101  
619. 269.4010

2792 Gateway Road #104  
Carlsbad, CA 92024  
619.269.4012

[londonmoeder.com](http://londonmoeder.com)





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advisors

August 16, 2019

Mr. Mike Fulton  
Almeria Investments  
817 Clark Avenue  
Encinitas, CA. 92024

Via email: [michael@almeriainv.com](mailto:michael@almeriainv.com)

## 1398 Lieta Street – Economic Alternative Analysis

London Moeder Advisors has completed an economic analysis of the three development options pertaining to the 26,800 square-foot property located at 1398 Lieta Street in the Bay Park neighborhood of San Diego. The property is located on the western end of Tonopah Avenue and bounded on the west by Morena Boulevard. The site currently contains a 962 square-foot non-historic single-family home and 25,838 square feet of undeveloped vacant land.

The purpose of this analysis is to analyze the proposed Base Project and the financial impacts and economic feasibility of the development alternatives.

We have analyzed three development options for the property, which include:

- ➔ **Base Project:** demolish the existing 962 square-foot home and construct 13 new R-3 Class 3-story townhomes, one of which will be affordable, with an average net unit size of 1,912 square feet.
- ➔ **Alternative 1:** rehabilitate the existing 962 square-foot home and return the remaining land to a farming use.
- ➔ **Alternative 2:** demolish the existing 962 square-foot home, retain the former farm area as a dormant site, and construct three standard single-family homes on the rest of the property, with an average home size of 2,250 square feet.

## Conclusions of Economic Alternatives

We analyzed the project performance of the Base Project that is proposed for the property. The Base Project includes construction of 13 R-3 Class 3-story townhomes, one of which will be affordable. The average size of the townhomes is 1,912 square feet.

We have assumed a 12-month construction period with the 13 townhomes being sold when construction is completed. The following table summarizes the impacts to the Base Project under each of the two alternatives:



1398 Lieta Street - San Diego, CA  
Summary of Scenarios

Base Project 13 Townhomes		Alternative 1 Rehab Existing House		Alternative 2 3 Single-Family Residential	
# of Units	13	# of Units	2	# of Units	3
For Sale Residential	24,855	For Sale Residential	962	For Sale Residential	6,750
Total Net Saleable	24,855	Total Net Useable	962	Total Net Useable	6,750
Miscellaneous	4,429	Garage S.F.	0	Garage S.F.	0
Garage S.F.	5,169	Total S.F.	962	Total S.F.	6,750
Total S.F.	34,453	Difference (Net S.F.)	(23,893)	Difference (S.F.)	(18,105)
		Difference (%)	-96%	Difference (%)	-73%
Profit	\$2,538,876	Profit	(\$716,433)	Profit	(\$396,288)
		Difference (\$)	(\$3,255,309)	Difference (\$)	(\$2,935,165)
		Difference (%)	-128%	Difference (%)	-116%
<b>Performance</b>					
Total Gross Sales Revenue	\$13,213,000	Total Gross Sales Revenue	\$625,300	Total Gross Sales Revenue	\$3,300,000
Margin On Revenue	19.2%	Margin On Revenue	-114.6%	Margin On Revenue	-12.0%
Total Project Costs	\$10,013,474	Total Project Costs	\$1,310,468	Total Project Costs	\$3,531,288
Margin On Cost	25.4%	Margin On Cost	-54.7%	Margin On Cost	-11.2%

Source: London Moeder Advisors

We have determined that only the Base Project is economically feasible. This project is forecasted to generate a total profit of \$2.54 million. When compared to the total revenue of the project the Margin on Revenue achieved is 19.2%. When compared to the total development costs of the project the Margin on Cost achieved is 25.4%.

Based on performing feasibility analyses and consulting services for real estate projects, it is our experience that a redevelopment project requires the Margin on Revenue to exceed 15% and Margin on Cost to exceed 18% for a project to be economically feasible and to qualify for project financing.

The Return on Investment (ROI) of the Base Project is forecasted to be 80%, which also demonstrates that the Base Project is economically feasible. In order for a project to be economically feasible, attract investors, and achieve financing, a project must reach at a minimum ROI of 50%.

Alternative 1 is not economically feasible. Due to limited lot usage allowed and no new construction, the sale of one rehabilitated home for \$625,000 would not be sufficient to cover land costs of \$860,000 let alone rehabilitation costs. This results in project costs exceeding revenues and a financial loss for the developer of \$716,433. This is a 128% reduction in profit when compared to the Base Project.

Alternative 2, which demolishes the existing structure and develops three single-family homes, is not economically feasible. Due to limited scale of development and lot usage allowed, the sale of

three single-family homes for a total of \$3,300,000 is not sufficient to cover project costs of \$3,531,288. This would result in a financial loss for the developer of \$396,288, or a 116% reduction in profit when compared to the Base Project.

## Approach to Analysis

To determine the impact to the project, we prepared financial proformas for the two alternatives and compared the performances to the Base Project. In each proforma, we assumed the following:

- Construction period of 12 months
- For-sale residential is sold immediately after construction is completed
- Construction costs are provided by the developer and London Moeder Advisors based on similar projects and construction types.
- Sales prices and revenue were established by our survey of market data for comparable sales in the area.

The following summarizes the financial proformas we have prepared for analyzing the project, which are included in the Appendix.

### Base Project

The Base Project includes demolition of the existing structures and construction of 13 new R-3 Class 3-story Town Homes, one of which will be affordable. The 13 townhomes are assumed to be sold after construction is completed.

The 12 market rate units will average 1,908 square feet in size and the affordable unit is planned to be 1,954 square feet.

When the 12 market rate townhomes are sold after construction is completed, the average sale price is estimated to be \$1,044,833. The one affordable townhome is assumed to be sold after construction for \$350,000. The total gross profit generated from this investment is estimated to be \$2,538,876.

The gross profit of \$2.54 million represents a Margin on Revenue of 19.2% when divided by the Gross Sales Revenue of the project (\$13.2 million) and a Margin on Cost of 25.4% when divided by the Development Costs of the project (\$10.0 million). This suggests that the Base Project is economically feasible. It is our experience that a for-sale project requires a Margin on Cost of 18% and a Margin on Revenue of 15% for a project to be economically feasible and to qualify for project financing.



## Alternative 1

Alternative 1 assumes rehabilitation of the existing single-family home (962 square feet) and returning the remaining land to a farming use. The single-family home is assumed to be sold immediately after construction is completed.

The anticipated sale price for the single-family home is estimated to be \$625,300 (\$650 per square foot). Total project costs are estimated to be \$1,310,468 while total gross sales revenue is forecasted at only \$625,300. This results in a financial loss for the project of \$716,433 and is therefore not economically feasible.

Compared to the Base Project, Alternative 1 represents a reduction of 23,893 net saleable square feet, or 96% less space. This has a direct impact to the overall achievable value of the project.

With a total forecasted value at disposition of \$625,300, Alternative 1 would generate approximately \$12,587,700 less revenue than the Base Project (95% reduction). But more importantly the project is not economically feasible because it results in a financial loss of \$716,433.

## Alternative 2

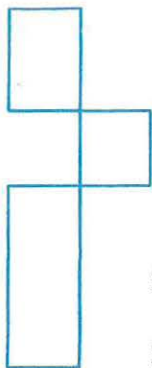
Alternative 2 assumes demolition of the existing single-family home, retain the former farm area as a dormant site, and construction of three new for-sale single-family detached homes. The existing single-family home is 962 square feet and the newly constructed single-family homes would total 6,750 square feet (2,250 square feet each).

When the single-family homes are sold after construction is completed, the anticipated average sale price is estimated to be \$1,100,000 (\$489 per square foot). Total project costs are forecasted at \$3,531,288 while the total gross sales revenue is forecasted at only \$3,300,000. This results in a financial loss for the project of \$396,288 and is therefore not economically feasible.

Compared to the Base Project, Alternative 2 represents a reduction of 18,105 net saleable square feet, or 73% less space. This has a direct impact to the overall achievable value of the project.

With a total forecasted value at disposition of \$3,300,000, Alternative 2 would generate approximately \$9,913,000 less revenue than the Base Project (75% reduction). But more importantly the project is not economically feasible because it results in a financial loss of \$396,288.





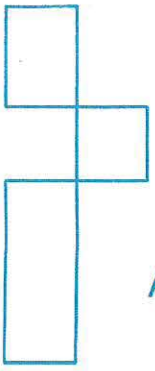
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Should you have any questions regarding this analysis, please feel free to contact our firm.

Sincerely,

Gary H. London

Nathan Moeder



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## Appendix

**1398 Leita Street**  
Base Project: For-Sale Townhomes

**FINANCING**

Loan Amount	\$6,845,002
Loan to Cost	68.36%
Interest Rate	8.00%

**LAND**

Land Value	\$860,000
Land S.F.	26,800 S.F.
Land \$/S.F.	\$32 per S.F.
Land Value Per Unit	\$66,154 per Unit
Land Value Per Residential S.F	\$34.60 per FAR Foot

**INVESTMENT PERFORMANCE**

Gross Revenue: Affordable Unit	\$179 psf	\$350,000
Gross Revenue: Market Rate Units	\$556 psf	<u>\$12,863,000</u>
<b>Total Gross Revenue</b>		<b>\$13,213,000</b>
Cost of Sale	5.0%	<u>(\$660,650)</u>
<b>Total Net Revenue</b>		<b>\$12,552,350</b>
Development Costs		<u>(\$10,013,474)</u>
<b>Gross Profit</b>		<b>\$2,538,876</b>
<b>Margin on Total Cost</b>		<b>25.4%</b>
<b>Margin on Gross Revenue</b>		<b>19.2%</b>
Equity Investment		\$3,168,472
<b>Return On Investment (ROI)</b>		<b>80%</b>
NPV @ 10% for 3 Years		\$1,907,495

**DEVELOPMENT SUMMARY**

Unit Type	# of Units	Avg. SF	Avg. Sale Price	\$/S.F.
2 Bed TH	3	1,308	\$787,667	\$602
3 Bed TH	9	2,109	\$1,166,667	\$553
3 Bed TH (affordable)	1	1,954	\$350,000	\$179
<b>Total/Average</b>	<b>13</b>	<b>1,912</b>	<b>\$1,016,385</b>	<b>\$532</b>
<b>Total Residential S.F.</b>		<b>24,855 S.F.</b>		

**CONSTRUCTION BUDGET**

		<b>Total Cost</b>	<b>Cost Per Gross S.F.</b>	<b>Cost/Unit</b>
Land Cost		\$860,000	\$34.60	\$66,154
Due Diligence		\$18,800	\$0.76	\$1,446
On Site Costs		<u>\$586,563</u>	\$23.60	\$45,120
Res. Construction	\$248.27 psf	<u>\$6,170,806</u>	\$248.27	\$474,677
Soft Costs	\$52.85 psf	<u>\$1,313,585</u>	\$52.85	\$101,045
Marketing		<u>\$5,000</u>	\$0.20	\$385
Const. Loan Fee	2.0%	\$136,900	\$5.51	\$10,531
Const. Loan Interest		\$547,600	\$22.03	\$42,123
Contingency	5.0%	<u>\$374,220</u>	<u>\$15.06</u>	<u>\$28,786</u>
Total Project Costs		\$10,013,474	\$402.88	\$770,267
Less: Loan Amount		<u>\$6,845,002</u>		
Initial Investment:		\$3,168,472		



## 1398 Leita Street

### Alternative 1: For-Sale Rehab Single-Family Residential

#### FINANCING

Loan Amount	\$1,077,030
Loan to Cost	90.00%
Interest Rate	7.50%

#### LAND

Land Value	\$860,000
Land S.F.	26,800 S.F.
Land \$/S.F.	\$32 per S.F.
Land Value Per Unit	\$860,000 per Unit
Land Value Per Residential S.F	\$893.97 per FAR Foot

#### INVESTMENT PERFORMANCE

Total Gross Revenue	\$650 psf	\$625,300
Cost of Sale	5.0%	(\$31,265)
Total Net Revenue		\$594,035
Development Costs		(\$1,310,468)
Gross Profit		(\$716,433)
Margin on Total Cost		-54.7%
Margin on Gross Revenue		-114.6%
Equity Investment		\$233,438
Return On Investment (ROI)		-307%
NPV @ 10% for 3 Years		(\$538,266)

#### DEVELOPMENT SUMMARY

Unit Type	# of Units	Avg. S.F	Sale Price	\$/S.F.
Rehab	1	962	\$625,300	\$650
Total/Average	1	962	\$625,300	\$650
Total Residential S.F.		962 S.F.		

#### CONSTRUCTION BUDGET

		Total Cost	Cost Per S.F.	Cost/Unit
Land Cost		\$860,000	\$893.97	\$860,000
Due Diligence		\$0	\$0.00	\$0
Res. Construction	\$350.00 psf	\$336,700	\$350.00	\$336,700
Soft Costs	\$0.00 psf	incl.	\$0.00	\$0
Marketing		\$0	\$0.00	\$0
Const. Loan Fee	1.5%	\$16,155	\$16.79	\$16,155
Const. Loan Interest		\$80,777	\$83.97	\$80,777
Contingency	5.0%	\$16,835	\$17.50	\$16,835
Total Project Costs		\$1,310,468	\$1,362.23	\$1,310,468
Less: Loan Amount		\$1,077,030		
Initial Investment:		\$233,438		

## 1398 Leita Street

Alternative 2: For-Sale Three Single-Family Residential

### FINANCING

Loan Amount	\$2,414,033
Loan to Cost	68.36%
Interest Rate	8.00%

### LAND

Land Value	\$860,000
Land S.F.	26,800 S.F.
Land \$/S.F.	\$32 per S.F.
Land Value Per Unit	\$286,667 per Unit
Land Value Per Residential S.F	\$127.41 per FAR Foot

### INVESTMENT PERFORMANCE

Total Gross Revenue	\$489 psf	\$3,300,000
Cost of Sale	5.0%	(\$165,000)
Total Net Revenue		\$3,135,000
Development Costs		(\$3,531,288)
Gross Profit		(\$396,288)
Margin on Total Cost		-11.2%
Margin on Gross Revenue		-12.0%
Equity Investment		\$1,117,255
Return On Investment (ROI)		-35%
NPV @ 10% for 3 Years		(\$297,737)

### DEVELOPMENT SUMMARY

Unit Type	# of Units	Avg. S.F	Avg. Sale Price	\$/S.F.
Single Family	3	2,250	\$1,100,000	\$489
Total/Average	3	2,250	\$1,100,000	\$489
Total Residential S.F.		6,750 S.F.		

### CONSTRUCTION BUDGET

	Total Cost	Cost Per S.F.	Cost/Unit
Land Cost	\$860,000	\$127.41	\$286,667
Due Diligence	\$0	\$0.00	\$0
On Site Costs	\$303,635	\$44.98	\$101,212
Res. Construction	\$300 psf	\$300.00	\$675,000
Soft Costs	0% incl.	\$0.00	\$0
Marketing	\$0	\$0.00	\$0
Const. Loan Fee	2.0%	\$7.15	\$16,094
Const. Loan Interest	\$193,123	\$28.61	\$64,374
Contingency	5.0%	\$15.00	\$33,750
Total Project Costs	\$3,531,288	\$523.15	\$1,177,096
Less: Loan Amount	\$2,414,033		
Initial Investment:	\$1,117,255		



## Corporate Profile

### London Moeder Advisors

#### REPRESENTATIVE SERVICES

Market and Feasibility Studies	Development Services	Litigation Consulting
Financial Structuring	Fiscal Impact	Workout Projects
Asset Disposition	Strategic Planning	MAI Valuation
Government Processing	Capital Access	Economic Analysis

**London Moeder Advisors (formerly The London Group)** was formed in 1991 to provide real estate advisory services to a broad range of clientele. The firm principals, Gary London and Nathan Moeder, combine for over 60 years of experience. We have analyzed, packaged and achieved capital for a wide variety of real estate projects. Clients who are actively pursuing, developing and investing in projects have regularly sought our advice and financial analysis capabilities. Our experience ranges from large scale, master planned communities to urban redevelopment projects, spanning all land uses and development issues of all sizes and types. These engagements have been undertaken principally throughout North America and Mexico.

A snapshot of a few of the services we render for both the residential and commercial sectors:

- **Market Analysis** for mixed use, urban and suburban properties. Studies concentrate on market depth for specific products, detailed recommendations for product type, absorption and future competition. It also includes economic overviews and forecasts of the relevant communities.
- **Financial Feasibility Studies** for new projects of multiple types, including condominium, apartment, office, and master-planned communities. Studies incorporate debt and equity needs, sensitivity analyses, rates of return and land valuations.
- **Litigation support/expert witness services** for real estate and financial related issues, including economic damages/losses, valuations, historic market conditions and due diligence. We have extensive deposition, trial, mediation and arbitration experience.
- **Investment studies for firms acquiring or disposing of real estate.** Studies include valuation, repositioning projects and portfolios, economic/real estate forecasts and valuation of partnerships. Often, the commercial studies include the valuation of businesses.
- **Estate Planning services** including valuation of portfolios, development of strategies for disposition or repositioning portfolios, succession planning and advisory services for high net worth individuals. We have also been involved in numerous marriage dissolution assignments where real estate is involved.
- **Fiscal Impact, Job Generation and Economic Multiplier Effect Reports**, traditionally prepared for larger commercial projects and in support of Environmental Impact Reports. We have been retained by both developers and municipalities for these reports. The studies typically relate to the tax revenues and employment impacts of new projects.

The London Group also draws upon the experience of professional relationships in the development, legal services, financial placement fields as well as its own staff. Clients who are actively investigating and investing in apartment projects, retail centers, commercial projects, mixed use developments and large master plans have regularly sought our advice and financial analysis capabilities.

**San Diego:** 825 10<sup>th</sup> Ave | San Diego, CA 92101 | (619) 269-4010  
**Carlsbad:** 2792 Gateway Road #104 | Carlsbad, CA 92009 | (619) 269-4012





THE CITY OF SAN DIEGO

## MEMORANDUM

DATE: Nov. 25, 2019

TO: Suzanne Segur, Senior Planner/ HRB Liaison, Development Services Department

FROM: Marcia Smith, Economic Development Specialist, Economic Development Department

SUBJECT: 1398 Lieta St., Peer Review of Economic Alternatives Analysis

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### INTRODUCTION

Per your request, the City of San Diego Economic Development Department (EDD) has undertaken a peer review of the Economic Alternative Analysis prepared by London Moeder Advisors pertaining to the three development scenarios at 1398 Lieta St., San Diego, CA 92110. Located in the Bay Park neighborhood of the Clairemont Mesa Community Planning Area, the 0.62-acre property (APN 430-680-09-00) currently contains a 962-square-foot single-story home and 25,838 square feet of undeveloped, dormant land. The elevated site is at the western end of Tonopah Avenue and southern end of Lieta Street, perched above Morena Boulevard on its west. It is bordered by single-family detached homes on its southeast side and a 70-unit apartment complex of the Sarn-Smith subdivision on its northeast side.

For context, the City of San Diego continues to face a critical need for housing, particularly affordable housing. Also, the City is in the process of comprehensively updating Clairemont's 30-year-old community plan with considerations for the City's housing shortage, transit-oriented development and mobility and sustainability goals. Each scenario of the proposed project is compatible with the Urban Design Element goals stated in the August 2019 working draft of the Clairemont Plan to enhance "the Clairemont's major attributes such as its canyons, distinct single-family neighborhoods, its connection to Mission Bay, and its commercial centers."<sup>1</sup> According to the Clairemont Engaged website encouraging community outreach for and participation in the plan update, Clairemont's existing residents and growing population seeks greater variety in housing types and price ranges.<sup>2</sup> The proposed project presents a scenario that aligns with those needs.

EDD has received the development proposal for the Base Project: the demolition of the existing 962-square-foot home and the construction of 12 R-3 Class, three-story, market-rate townhomes (two-

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<sup>1</sup> Working Draft Urban Design Element. (Aug. 2019). Clairemont Community Plan. Retrieved from [https://9ff67c5d-1cd1-49a0-b96c-ff60f299d49e.filesusr.com/ugd/a513cc\\_224d5eb202b04783b2134043e2644bca.pdf](https://9ff67c5d-1cd1-49a0-b96c-ff60f299d49e.filesusr.com/ugd/a513cc_224d5eb202b04783b2134043e2644bca.pdf)

<sup>2</sup> Clairemont Engaged. (2017). "About Clairemont Engaged." Retrieved from <https://www.clairemontplan.org/about>

and three-bedroom units) and one R-3 Class three-story, three-bedroom, affordable-rate townhome. The average net-unit size of the townhomes would be 1,912 square feet. Two alternatives were also provided: (Alternative 1) the rehabilitation of the 962-square-foot-home and the restoration of the undeveloped land to agricultural use; (Alternative 2) the demolition of the 962-square-foot home, the construction of three standard single-family homes with an average home size of 2,250 square feet, and the retaining of the remaining former farm land as a dormant site. London Moeder Advisors has prepared an Economic Alternative Analysis, which includes feasibility analyses, a statement of probable costs from unnamed developer and London Moeder Advisors, and projected sales prices based on market study of surrounding area comparable sales.

The City of San Diego Development Services Department (DSD) has asked that EDD conduct a peer review of London Moeder Advisors' Economic Alternative Analysis to determine 1) whether the assumptions and conclusions used in the analysis are acceptable; and 2) if any of the alternatives are economically feasible, that is, able to be financed and generate a reasonable rate of return.

## KEY FINDINGS

### Threshold Feasibility Questions (2)

- 1) EDD reviewed the assumptions and analyzed viability of the Base Project and two alternatives and finds the assumptions, estimates, valuation and conclusion to be reasonable and acceptable.
  - The 962-square-foot single-family home, according to the analysis, is a "non-historic" structure.<sup>3</sup> But the 0.62-acre parcel upon which the structure stands, the Alzo and Komume Sogo Farm, is in the Register of Designated Historical Resources as Site No. 1305 under Criterion A:

The resource reflects a special element of the Issei/Japanese-American agricultural practices within the Mission Bay area during the 1930s through the 1950s and the restrictive property rights/ ownership measures taken against minorities, specifically Japanese nationals, during the 1930s through the 1950s.<sup>4</sup>

The designation, which excludes structures located on the parcel, is for the period of significance 1937-1983. Neither EDD nor London Moeder Advisors includes permit fees related to the historical review in the economic feasibility analyses. EDD therefore assumes that all three development scenarios are permissible at this location.
  - The Base Project calls for one of 13 townhomes to be designated at affordable housing, which will be offered for sale at \$350,000. This more than satisfies the City of San Diego's Inclusionary Affordable Housing Ordinance<sup>5</sup>, which applies to new development of 2 or more units and requires at least 5% of the condominium conversions to be set aside for households earning no more than 100% of the area median income, subject to the San Diego Housing Commission. The Base Project sets aside 7.6% of dwelling units (1 of 13

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<sup>3</sup> London Moeder Advisors. (August 19, 2019). 1398 Lieta Street Economic Alternative Analysis. San Diego.

<sup>4</sup> California Historical Resources Inventory Database. (n.d.). City of San Diego, 1398 Lieta St. Retrieved from [http://sandiego.cfwebtools.com/search.cfm?local=true&res\\_id=17981&local\\_id=1&display=resource&key\\_id=3340](http://sandiego.cfwebtools.com/search.cfm?local=true&res_id=17981&local_id=1&display=resource&key_id=3340)

<sup>5</sup> City of San Diego Development Services Department. (July 2018). Information Bulletin 532: Requirements for Inclusionary Affordable Housing.

units). The \$350,000 sale price would entail a \$60,000 (17%) down payment, a 30-year fixed loan term (4.125%) and estimated \$1,996 monthly payments. The \$1,996 payments would be affordable, i.e., less than 30% of the owner's monthly income for a household earning the \$86,300 AMI in 2019, as designated by the San Diego Housing Commission<sup>6</sup> ( $\$86,300/12 * .30 = \$2,158$ ). The proposal from Alternative 2, which calls for the construction of three standard single-family homes, does not appear to have a line item associated with an Inclusionary Affordable Housing Fee, which would make that alternative even more economically infeasible.

- The assumption of a 12-month construction period is reasonable considering other similar residential construction projects in the San Diego region.
- The Base Project's three-story design meets the 30-foot height limitation of the current and proposed Clairemont Mesa Community Plan. This limitation preserves public view of Mission Bay and allows homeowners to take advantage of the vista as well.
- The residential construction costs provided by the developer and London Moeder Advisors for the Base Project (\$248.27 per square foot), Alternative 1 (\$350 psf) and Alternative 2 (\$300 psf) are each above the most recent 2018 San Diego Area Chapter International Code Council Valuation Schedule<sup>7</sup> for R-3 residential dwellings (\$201.82 psf). EDD, however, does not consider the projected costs to be excessive because these dwellings, either townhomes or single-family homes, are larger units averaging 1,908 square feet for the townhomes and 2,250 square feet for the single-family homes. Also, according the Economic Alternative Analysis, the homes, with the exception of the affordable-rate townhome, are expected to supplement Clairemont's housing stock selection as high-quality, 2-plus-bedroom offerings that warrant premium pricing (>\$850,000). Average buildable ranges for a custom residential dwelling or specialty build in San Diego run \$225-\$350 per square foot, according to several developers.
- Also, the expectation that the properties will be sold at the list price upon completion of construction is acceptable, barring a sudden economic downturn, a looming recession or drop in consumer confidence. Redfin scores the Bay Park market as "78 Very Competitive" within the past three months, with homes sold within 1% of their list price and go pending in between 9 and 16 days.<sup>8</sup> New builds, especially 3-bedroom ones with expansive, unobstructed views of Mission Bay, within a 3-mile radius of the location are rare. Moreover, the Base Project's 3-bedroom townhomes can be expected to be in high demand because older neighboring multifamily units do not feature more than two bedrooms and single-family detached homes rarely hit this seller's market.
- The calculated sales prices for the townhomes are slightly high, and the calculated prices for single-family homes are modestly low—but all reasonable, competitive and corroborated by a survey of comparable sales in the surrounding market on Zillow.com, Redfin.com and CoStar. Redfin, for example, reports November's median list price for homes at \$850,000.

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<sup>6</sup> San Diego Housing Commission. San Diego Housing Commission Income and Rent Calculations. (2019). Retrieved from <https://www.sdhc.org/wp-content/uploads/2018/06/AMI-Rent-Chart.pdf>

<sup>7</sup> San Diego Area Chapter International Code Council. (Feb. 2018). 2018 Valuation Schedule. Retrieved from <https://iccsandiego.org/wp-content/uploads/2019/04/Valuation-Schedule-2018-ICCSD.pdf>

<sup>8</sup> Redfin website. (2019). 1398 Lieta St. Retrieved from <https://www.redfin.com/CA/San-Diego/1398-Lieta-St-92110/home/5218681>



London Moeder Advisors uses an average sales price for the 12 market-rate townhomes of \$1,044,833, or \$556 per square foot. That is 9% higher than Redfin's Bay Park market statistic of \$508 median per square foot, which is likely weighted down the area's older properties. Alternative 2's single-family homes are estimated to list at \$1,100,000 (\$489 per square foot), which appears to be significantly below what the market will bear. A market study using Zillow.com's Zestimates@ shows four of 17 single-family detached homes in the 1400 block of Lieta Street at \$1.36 million, \$1.28 million, \$1.12 million and \$1.04 million. The 17 properties average \$608 per square foot, which is 24% higher than Alternative 2's asking price. Still, the pricing for both dwelling types can be considered acceptable.

- Given the preceding discussion on the reasonable and acceptable assumptions for the input data in all three scenarios, it follows that the projections for Margins on Revenue and Margins on Cost are accurate and reasonable. The Base Project, with its 19.2% Margin on Revenue and 25.4% Margin on Cost, is the only economic feasible project. It should be noted at that Base Project's 19.2% Margin on Revenue, which drops significantly to account for the sale of the affordable-rate townhome, is just above the 15% threshold that London Moeder Advisors considers economically feasible and worthy of financing. Industry construction data recommend a 21-25% gross margin on new construction. Both Alternative 1 and 2 create significant negative returns, even when raising the sales prices, rendering these options infeasible.

- 2) EDD considers the Base Project the only economically feasible option of the projects presented. Use of the 0.62-acre lot for single-family home construction exposes the developer potentially to significant reductions of project value and rising construction costs without bringing new types of housing to Bay Park.

For any questions about this review, please do not hesitate to contact me by phone at 619-236-6461 or by email at [marcias@sandiego.gov](mailto:marcias@sandiego.gov).

Thank you,



Marcia C. Smith

Economic Research Specialist

Economic Development Department

MCS

cc: Christina Bibler, Director, Economic Development Department

Lydia Moreno, Deputy Director, Economic Development Department