



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 8, 2016 REPORT NO. HO-16-33
HEARING DATE: June 15, 2016
SUBJECT: Davis Residence SDP, Process Three Decision
PROJECT NUMBER: [435040](#)
OWNER/APPLICANT: Margaret S. Davis/ Robert Davidson-IS Architecture.

SUMMARY:

Issue: Should the Hearing Officer approve a 1,118-square-foot addition to an existing single dwelling unit located at 8430 La Jolla Shores Drive, within the La Jolla Community Planning area?

Staff Recommendations:

1. ADOPT Mitigated Negative Declaration (MND) No. 435040 and ADOPT Mitigation Monitoring and Reporting Program (MMRP); and
2. Approve Site Development Permit No.1695532.

Community Planning Group Recommendation: On June 16, 2015 the La Jolla Shores Planned District Advisory Board, voted 4-0-0 to recommend approval of the proposed project without conditions/recommendations. On October 1, 2015 La Jolla Community Planning Association, voted 6-0-1 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following areas: **Historical Resources (Archaeology)**. Mitigated Negative Declaration No. 435040 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared for the project and will be implemented which will reduce any potential impacts identified in the environmental review process, to a level below significance.

BACKGROUND

The 0.13-acre site is located at 8430 La Shores Drive. The project site is located within the La Jolla Shores Planned District (LJSPD)-SF Zone of the La Jolla Shores PDO (LJSPDO) within the La Jolla Community Plan and Local Coastal Program area, the Coastal Height Limitation Overlay Zone, the

Coastal Overlay Zone (Non-Appealable 2 Area), and the Parking Impact Overlay Zone (Coastal/Beach). The project site is also located in an area designated for low density (5-9 Dwelling Units/acre) residential in the La Jolla Community Plan (LJCP) and the proposal would remain consistent with that land use. The proposed project is also located in an area identified as single-family in the La Jolla Shores Community Plan and would be consistent with that land use.

The LJSPDO does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the LJSPDO contains language in the General Design regulations which references the character of the area and design principles. The La Jolla Community Plan places more importance on bulk and scale of the development. Staff survey of homes in the surrounding area found the project to be in conformance to bulk and scale, and character of the surrounding homes. Pursuant to 1510.0304(b)(4), the proposed structure setbacks for the residence are in general conformity with those in the vicinity.

The project site is located on the City of San Diego's Historical Resources Sensitivity Map and within the La Jolla Shores Archaeological Study Area. Projects within this area are subject to review for potential impacts to archaeological resources. This area has historically been subject to archaeological and Native American evaluations to determine if the project has the potential to impact historical resources. This project would require ground disturbing activities which could potentially impact historical resources. Staff determined that due to the project's location and redevelopment of the site, archaeological monitoring would be required during ground-disturbing activities.

EAS staff determined that a California Environmental Quality Act (CEQA) Determination of Mitigated Negative Declaration (MND) was the appropriate Environmental document for this project. Appropriate mitigation measures for Historical Resources – Archaeological, are included within the MND.

DISCUSSION

The Hearing Officer may approve a Site Development Permit if the Findings of the San Diego Municipal Code Section 126.0504 can be affirmed. The project must show consistency with the applicable community plan, not be detrimental to health, safety, and welfare, and be comparable with the land development code requirements. Staff has reviewed the proposed development and determined that the proposed design, form, and citing of the proposal, which would include a stone paver driveway, brick walkway, cedar fence and gate, as well as a Sequoia "weathered wood" colored roof, integrates with the surrounding neighborhood, consistent with the goals and policies of the La Jolla Community Plan theme of unity with variety. The residences within the immediate area are diverse in their sizes, number of stories, and heights. The proposed 1,118-square-foot, two-story addition to an existing single-family, one-story, 1,330-square-foot home conforms with all of the development standards of the La Jolla Shores Planned District Ordinance (LJSPDO) which includes, height, landscape, and architectural design. Setbacks fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the vicinity.

The LJSPDO does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the LJSPDO contains language in the General Design regulations which references the character of the area and design principles. Pursuant to San Diego Municipal Code

(SDMC) Section 1510.0304(b)(4), structure setbacks shall be in general conformity with those in the vicinity. A lot survey of the lot sizes, gross floor area, and setbacks within a 300' radius of the proposed project has been provided. The survey also contains photographs and addresses of the site and adjacent properties. The maximum allowable Lot Coverage is 0.60 in the SF zone of the La Jolla Shores Planned District per Section 1510.0304(d). The project appears to be in general conformity with the surrounding neighborhood.

As proposed, the home with proposed addition would remain consistent with the La Jolla Community Plan and would conform to bulk and scale requirements, maximum height limits, and structure setbacks, and also remain in general conformity with those in the vicinity. Therefore, the development will be in conformity with the land use plan and complies with all regulations.

ALTERNATIVES

1. Approve Site Development Permit No. 1695532, with modifications.
2. Deny Site Development Permit No. 1695532, if the findings required to approve the project cannot be affirmed.

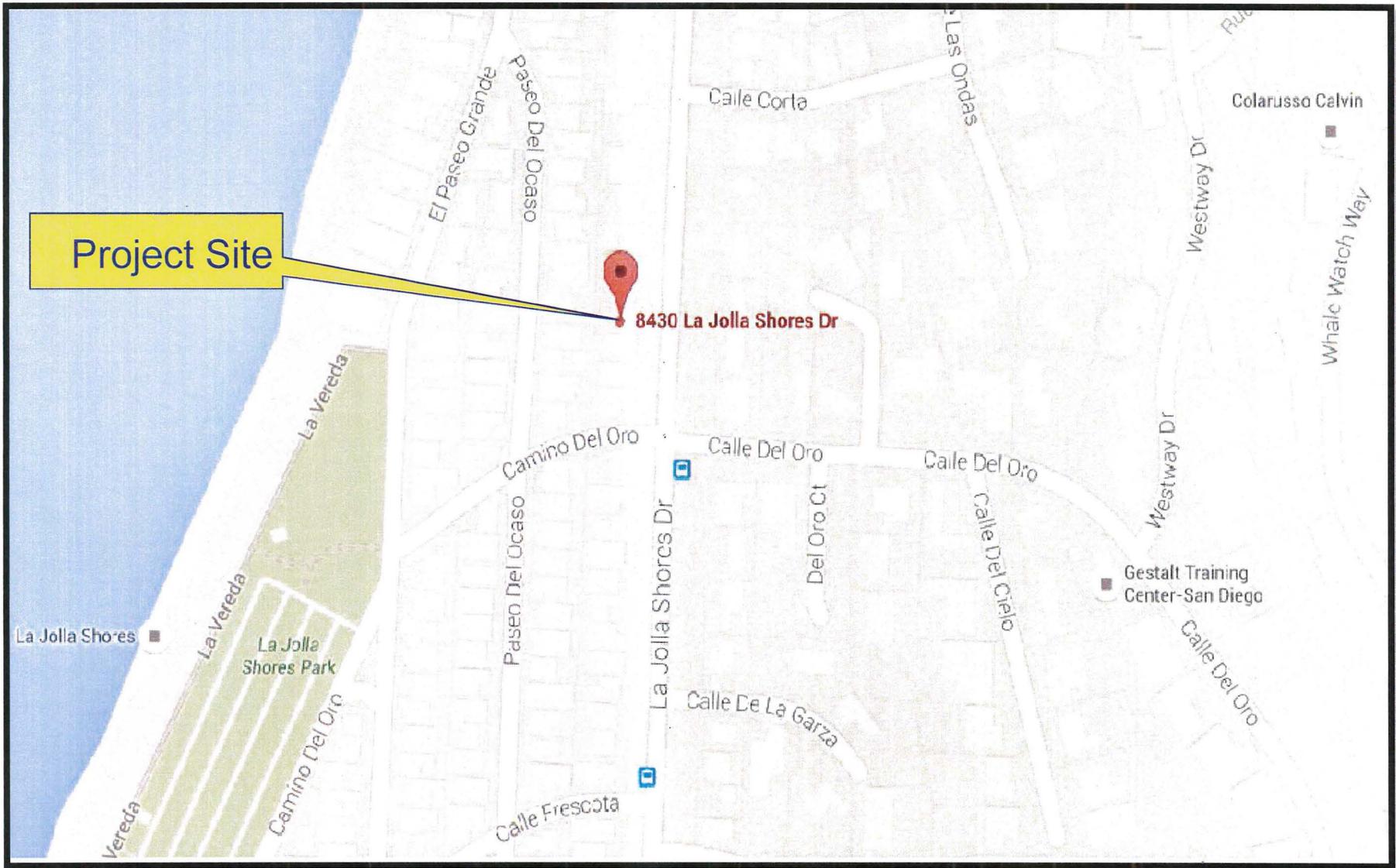
Respectfully submitted,



Gaetano Martedi, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Environmental Resolution with MMRP (MND)
8. La Jolla Shores Advisory Board Recommendation
9. La Jolla Planning Association Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

DAVIS RESIDENCE SDP - 8430 LA JOLLA SHORES DRIVE
PROJECT NO. 435040

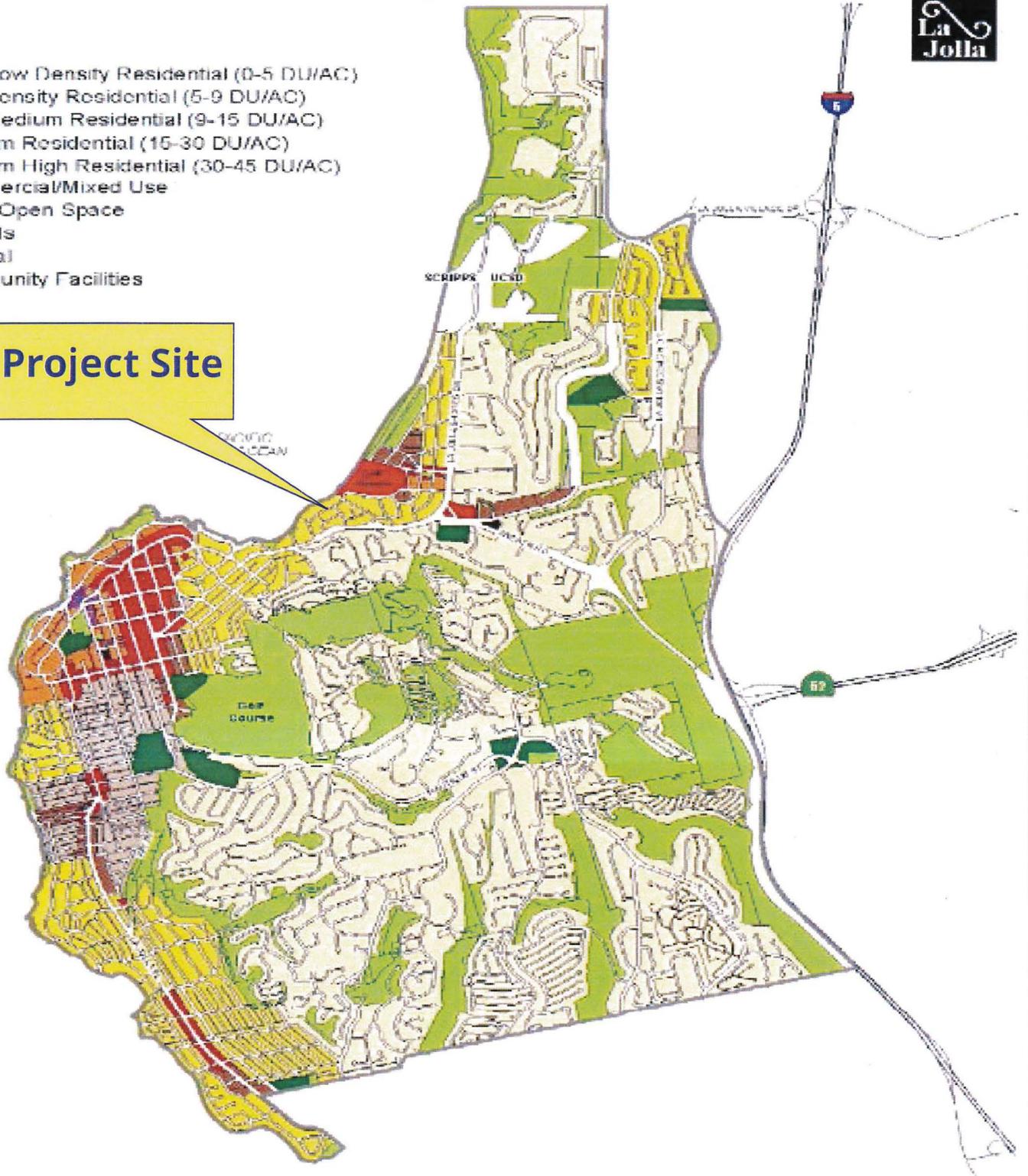




Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks/Open Space
- Schools
- Cultural
- Community Facilities

Project Site



Land Use Map

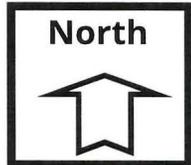
**DAVIS RESIDENCE SDP - 8430 LA JOLLA SHORES DRIVE
PROJECT NO. 435040**





Location Aerial Photo

**DAVIS RESIDENCE SDP - 8430 LA JOLLA SHORES DRIVE
PROJECT NO. 435040**



PROJECT DATA SHEET

PROJECT NAME:	DAVIS RESIDENCE SDP	
PROJECT DESCRIPTION:	A 1,118 square-foot addition and associated remodel at a site with an existing single dwelling unit.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Site Development Permit Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Low density residential at 5-9 dwelling units per acre (du/ acre) in the La Jolla Community Plan and Local Coastal Program.	
ZONING INFORMATION:		
ZONE:	LJSPD-SF Zone	
HEIGHT LIMIT:	30 feet	
LOT SIZE:	0.13 acres	
FLOOR AREA RATIO:	N/A	
FRONT SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
SIDE SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
STREETSIDE SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
REAR SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
PARKING:	N/A	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	LJSPD-SF Zone	Single Family Residential
SOUTH:	LJSPD-SF Zone	Single Family Residential
EAST:	LJSPD-SF Zone	Single Family Residential
WEST:	LJSPD-SF Zone	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On June 16, 2015 the La Jolla Shores Planned District Advisory Board, voted 4-0-0 to recommend approval of the proposed project without conditions/recommendations. On October 1, 2015 La Jolla Community Planning Association, voted 6-0-1 to recommend approval of the proposed project without conditions/recommendations.	

HEARING OFFICER RESOLUTION NO .
SITE DEVELOPMENT PERMIT NO. 1695532
DAVIS RESIDENCE SDP - PROJECT NO. 435040
[MMRP]

WHEREAS, MARGARET SIEMS DAVIS, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 1,118-square-foot addition on a site with an existing dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1695532), on portions of a 0.13-acre site;

WHEREAS, the project site is located at 8430 La Jolla Shores Drive in the in the Single Family Zone of the La Jolla Shores Planned District, Coastal Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones within the La Jolla Community Plan Area;

WHEREAS, the project site is legally described as Lot 13 in Block 17 of La Jolla Shores, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1913, filed in the Office of the recorder of San Diego County, June 3, 1926;

WHEREAS, on June 15, 2016, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1695532 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 15, 2016.

FINDINGS:

Site Development Permit Findings Section 126.0504:

1. The proposed development will not adversely affect the applicable land use plan.

The project site is designated low density residential at 5-9 dwelling units per acre (du/ acre) in the La Jolla Community Plan and Local Coastal Program. The project proposes an addition to an existing dwelling unit on a 0.13-acre lot maintaining a density of 7.69 du/acre. The La Jolla Community Plan contains policies addressing design principles and community character. The La Jolla Community Plan places importance on bulk and scale of the development. Staff's review of a survey of homes in the surrounding area determined the project to be in conformance to bulk and scale and character of the surrounding homes, and the proposed setbacks for the project are also in general conformity with those in the vicinity.

The La Jolla Community Plan general theme is unity with variety. The proposed design, form, and citing of the proposed development, which include a stone paver driveway, brick walkway, cedar fence and gate, as well as a Sequoia "weathered wood" colored roof, and as designed, integrates with the surrounding neighborhood and are consistent with the goals

and policies of the La Jolla Community Plan theme of unity with variety. Therefore, the proposed project will not adversely affect the La Jolla Community Plan Area.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project will incorporate construction Best Management Practices (BMP) necessary to comply with Chapter 14 Article 2, Division 1 of the San Diego Municipal Code. The project will prepare and implement a Water Pollution Control Plan in accordance with the guidelines in Appendix E of the City's Storm Water Standards. The project will enter into a Maintenance Agreement for ongoing permanent BMP maintenance. All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code requirements will be met through building permit review. Meeting these storm water and building code requirements ensure public health and safety. Therefore, the proposed project will not be detrimental to the public health safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 8430 La Jolla Shores Drive in the "SF" Zone of the La Jolla Shores Planned District within the La Jolla Community Plan, Coastal Overlay Zone (non-appealable), Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone.

The Planned District Ordinance (PDO) does not contain quantitative restrictions on Gross Floor Area (GFA). Bulk and scale are regulated through maximum coverage and height, and an analysis of general conformity with the surrounding neighborhood per the policies of the La Jolla Community Planned District Ordinance (LJCPDO). The residences within the immediate area are diverse in their sizes, number of stories, and heights. The proposed 1,118-square-foot, two-story addition to an existing single-family, one-story, 1,330-square-foot home conforms with all of the development standards of the La Jolla Shores Planned District Ordinance which includes, height, landscape, and architectural design. Setbacks fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the vicinity as required by the Land Development Code (LDC).

The project is not requesting nor does it require any deviations or variances from the applicable development regulation and policy documents. Therefore, the project is consistent with and complies with the development regulations of the "SF" zone and all other pertinent regulations of the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1695532 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1695532, a copy of which is attached hereto and made a part hereof.

Gaetano Martedi
Development Project Manager
Development Services
Adopted on: June 15, 2016

IO#: 24006072

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006072

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1695532
DAVIS RESIDENCE SDP- PROJECT NO. 435040
[MMRP]

This Site Development Permit No. 1695532 is granted by the Hearing Officer of the City of San Diego to MARGARET SIEMS DAVIS, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 1510.0201 (La Jolla Shores Planned District Permit - Site Development Permit). The 0.13-acre site is located at 8430 La Jolla Shores Drive in the Single Family Zone of the La Jolla Shores Planned District, Coastal Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones within the La Jolla Community Plan. The project site is legally described as Lot 13 in Block 17 of La Jolla Shores, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1913, filed in the Office of the recorder of San Diego County, June 3, 1926;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an addition and remodel on a site with an existing dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 15, 2016, on file in the Development Services Department.

The project shall include:

- a. Construct a 1,118-square-foot addition;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 29, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 435040, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 435040 to the satisfaction of the Development Services Department and the City Engineer.

14. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources (Archaeology)

ENGINEERING REQUIREMENTS:

15. The project proposes to export 9 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

19. All of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped which may include native materials and in no case shall this landscape areas be less than thirty percent of the total parcel area.

PLANNING/DESIGN REQUIREMENTS:

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 15, 2016 and Approved
Resolution No .

Site Development Permit No. 1695532
Date of Approval: June 15, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Gaetano Martedi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Margaret Siems Davis
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on July 16, 2015, Robert Davidson submitted an application to the Development Services Department for a Site Development Permit for the Davis Residence Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on June 15, 2016; and

WHEREAS, under Charter section 280(a) (2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 435040 prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

ATTACHMENT 7

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA92101 or City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Gaetano Martedi,
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

Site Development Permit No. _____

PROJECT NO. 435040

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No.435040 shall be made conditions of Site Development Permit No. _____ as may be further described below.

A. GENERAL REQUIREMENTS – PART I
Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II
Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

- Qualified Archaeologist
- Qualified Native American Monitor

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) #435040 and /or Environmental Document # 435040, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

Not Applicable

4. MONITORING EXHIBITS

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required

mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

HISTORICAL RESOURCES (ARCHAEOLOGY)

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction**A. Monitor(s) Shall be Present During Grading/Excavation/Trenching**

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction**

activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.

2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
 4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly **(Notification of Monitoring Completion)**, and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.
- C. Determination of Significance
1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the**

amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.

- c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE** determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,

- c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
 - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.
- D. If Human Remains are **NOT** Native American
- 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 - 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

ATTACHMENT 7

3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

La Jolla Shores Planned District Advisory Board

Meeting Minutes for June 16, 2015

615 Prospect Street, La Jolla, California 92037

Trustee	Attendance	Trustee	Attendance
Dolores Donovan	Yes	Jane Potter	Yes
Nathaniel Fisher	Yes	Susan Starr	No
Dan Goese	Yes	Susanne Weissman	No

1. **Call to Order:** 10:06 am
2. **Approval of the Agenda**
Motion: Donovan/ Fisher to approve the agenda as presented. 4/0/0
3. **Approval of Minutes**
Motion: Donovan/ Fisher to approve the minutes as presented. 4/0/0
4. **Public Comment:**
 - Ion Stiegler – Chairperson of the LJPDO subcommittee remarked on the subcommittees recent discussions regarding the City prohibition on wood roofs. There is a provision for replacement or repair of wood roofing on historic structures under the review of Historic Resources staff. Discussion included the potential that the City did not appropriately enact a prohibition and further should provide for wood roofing systems that meet the City’s fire code requirements.
5. **Project Review**

ACTION ITEMS

A. **Project:** 424773 - The Davis Residence

Address: 8430 La Jolla Shores Drive APN: 346-082-3000

Project Contact: Robert Davidson, robert@JSarchitecture.com, (858) 456-8555

Description: The project involves adding a second story addition to a single story house and enlarging the existing first floor family room. The existing 994 sq. ft. house sits on a 5,497 SF lot. The project will add 1,118 SF massed at the back of the house bringing the total size to 2,112 SF. A 49 SF garden shed will be added to the north side of the garage. The house, built in 1941, has already undergone a single disciplinary review by the City of San Diego Historic Staff where it was deemed to not meet local designation criteria as an individually significant resource (Project

Number 402110). Coastal Non Appealable -2 (N-APP-2) and zone: LJSPD-SF.

Comments:

- The requirement for a Site Development Permit is an expense (average \$19,000) that is approximately 5 percent of the project budget and an unreason hardship.
- The proposed project addition represents a 110 percent increase in size.
- The existing and proposed structure with the addition is smaller than the average residential size in the vicinity
- 31 percent lot coverage a third of the allowed building size.
- The project retains the setbacks. The rear yard is currently 49 feet deep and will be reduced to 43” with the addition.
- The existing development has drainage issues. The project will replace the garage slab and add a slot drain on the hardscape side to address current and future drainage.
- Trustees commented that recommending the project as minor in nature would be inconsistent with previous recommendations and would set precedence for future projects. A site Development Permit review is warranted.

Motion: Fisher/Donovan. Approve project as major project (process 3) and in conformance with the La Jolla Shores Planned District. 4/0/0

B. Project: PTS 387418 “The Cottages at 8010”

Address: 8010 La Jolla Shores Drive APN: 346-365-12-00; 346-365-13-00

Project Contact: Sasha Varone, 619-231-9905, svarone@golba.com

Description: Coastal Development Permit (CDP) and Tentative Map (TM). The project proposes to demolish an existing three unit apartment building with detached 5 car garage to construct six detached single family Cottages with attached garages ranging in size from 1,577 square feet to 1,683 square feet on a 12,129 square foot lot located in the MF-1 zone.

Comments:

- Two units along the frontage will be heavily stepped back and reduced third floors to soften the frontage.
- Three large trees will be retained in the right of way screening the front of the project.
- The six detached 3-story residential structures have small footprints of approximately 20x30’. Each units has two bedrooms, 4 of the six units also have dens.
- A tentative map will be processed so that the units can be sold separately.
- An attached two car garage is provided for each unit. Two additional visitor spaces are proposed onsite.

Motion: Donovan/Potter. Approve project as major project (process 3) and in conformance with the La Jolla Shores Planned District. 4/0/0

C. Project: 418580 - Feuerstein Residence**Address:** 8351 Del Oro Court APN 346-180-14-00**Project Contact:** Tim Martin AIA, 858-349-3474, tim@martinarchitecture.com**Description:** Coastal Development Permit and Site Development permit (Process 3) to demolish an existing 2,647 SF single family residence and construct of new 2-story single family residence. 8,170 SF habitable, 669 SF attached garage and 744 SF detached garage with pool, retaining walls and landscaping. The 0.68 acre site is in the Single Family Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), and Coastal Height Limitation Overlay Zone.**Comments:**

- The home design is Nantucket style.
- Narrow street frontage drives residential design
- The majority of the structure is one story with two areas that are second story. A small portion of the second story is visible from the street.
- The front set back is 22', a rear set back of 12', and side setbacks of 12' and 6'.
- Chimney and one ridge at 30' height limit.
- Stepped 5' retaining wall along Calle De La Garza with a cedar fence above to provide a barrier for the pool.
- Bio retention will be along the rear property line to filter the water and recharge the groundwater.
- Two Italian Stone Pines are proposed for the front yard in addition to an ornamental tree. Trustee Donovan commented on her preference for trees of a height that do not exceed the maximum height of the house.

Motion: Potter /Fisher. Approve project as major project (process 3) and in conformance with the La Jolla Shores Planned District. 4/0/0**D. Project:** 422882 - Mirkarimi Addition/Remodel**Address:** 7830 Via Capri APN:353-170-01**Project Contact:** Bart M Smith, (760) 753-2464 b.smith@dznpartners.com**Description:** The project is a 568 SF addition and remodel to an existing 2,173sf one-story single-family residence on a 20,005 SF residential lot. Work includes the addition at the front part of the house a new powder/laundry room. Remodel of master bedroom & bathroom. Demo exterior power room & laundry room. Relocate kitchen to front of house and expand. Infill walls in the great room and dining room and add new square footage. Add new windows and door openings as well as new skylight in hallway. Infill wall in garage. Demo fireplace. The project is within the La Jolla Community Plan, LJSPD-SF Zone, Coastal (N-APP-2), and Coastal Height Limit Overlay Zone.**Comments:**

- Coastal Development permit exempt as the project will retain 57 percent of the exterior walls.

- Mansard roof embellishments will be removed reducing the overall structure height by several inches.
- The renovation will be a modern ranch in style.

Motion: Fisher/ Donovan. Approve project as minor project (process 1) and in conformance with the La Jolla Shores Planned District. 4/0/0

E. Project: 418222- Taylor Residence

Address: 2327 Vallecitos APN: 346-300-03

Project Contact: Mark House, 619-557-0579 markhouse@houseanddodge.com

Description: Coastal Development Permit (CDP) and Site Development Permit (SDP) to demolish an existing single family residence and construct a new 1,938 square-foot one-story residence, trellis, covered patio, and landscape walls on a 0.47 acre site. Project located in the La Jolla Shores Planned District Single Family Zone Coastal (Non-appealable) Overlay and Coastal Height Limitation Overlay zones.

Comments:

- Existing home to be demolished.
- A single story Spanish style residence is proposed
- 240'x70' lot and the proposed floor area ration is 0.09
- Structure height is 18' 9" on the north and 25' at the side elevation.
- Trustee asked the project proponent to check the covenants for property view restriction.
- The La Jolla Planned District calls for the protection of property values by avoiding structural encroachment.

Motion: Fisher/ Potter. Approve project as major project (process 3) and in conformance with the La Jolla Shores Planned District. 4/0/0

F. Project: 391587-West Remodel Project

Project was not heard because applicant was not in attendance.

Minutes taken by
Karen Bucey, Senior Planner
City Planning
1222 First Avenue, MS 413
San Diego CA 92101



La Jolla Community Planning Association

ATTACHMENT 9

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us

Mail: PO Box 889, La Jolla, CA 92038

Web: <http://www.LaJollaCPA.org>

Voicemail: 858.456.7900

Email: info@LaJollaCPA.org

President: Cindy Greatrex
Vice President: Bob Steck
2nd Vice President: Joe LaCava
Secretary: Helen Boyden
Treasurer: Jim Fitzgerald

FINAL MINUTES

Regular Meeting | Thursday, 1 October 2015, 6:00 pm

Trustees present: Patrick Ahern, Helen Boyden, Tom Brady, Bob Collins, Mike Costello, Dolores Donovan, Janie Emerson, Jim Fitzgerald, Cindy Greatrex, David Little, Alex Outwater, Jim Ragsdale, Glen Rasmussen, Bob Steck, Ray Weiss, Brian Will

Trustees absent: Joe LaCava, Fran Zimmerman

1.0 Welcome and Call To Order: by Cindy Greatrex, President at 6:00pm. She asked those present to turn off their cell phones and announced that the meeting was being recorded by the LJCPA in audio only and by a private party who does not identify himself in both audio and video.

2.0 Adopt the Agenda

Approved Motion: To adopt the posted agenda correcting the date of the next LJCPA meeting in Item 16 to November 5, 2015. (Steck, Emerson: 9-0-1)

In favor: Boyden, Collins, Donovan, Emerson, Fitzgerald, Little, Ragsdale, Steck, Will

Abstain: Greatrex (Chair)

3.0 Meeting Minutes Review and Approval: 3 September 2015

Approved Motion: To approve the minutes of the September 3, 2015 LJCPA regular meeting as posted. (Collins, Fitzgerald: 10-0-1)

In favor: Boyden, Collins, Donovan, Emerson, Fitzgerald, Little, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

4.0 Elected Officials – Information Only

4.1 Council District 1 – Council President Sherri Lightner

Rep: **Justin Garver**, 619-236-6611, JGarver@sandiego.gov Reported that Short Term Vacation Rentals were discussed by the Community Planners Committee on September 22nd and is scheduled to be taken up by the City's Code Monitoring Team and Technical Advisory Committee on October 14th and by the Planning Commission on Thursday December 3. On November 17th the City Council will hear the Public Utility Department's cost of service study and proposed water increase.

4.2 Mayor's Office – Mayor Kevin Faulconer

Rep: **Francis Barraza**, 619-533-6397, FBarraza@sandiego.gov was not present.

4.3 39th Senate District – State Senator Marty Block spoke about his career. He offered to help with constituent issues with state government agencies (see contact info of Sarah Fields) and described his sponsorship of constituent events. He outlined his legislative accomplishments and interests, including Community College 4-year degrees, protecting seniors, water issues and cell tower issues. When the legislature is in session, he holds local office hours every Friday; now when it is not in session, every day. His local Rep: **Sarah Fields**, 619-645-3133, Sarah.Fields@sen.ca.gov

4.4 78th Assembly District – Speaker of the Assembly Toni Atkins

Rep: **Toni Duran**, 619-645-3090, Toni.Duran@asm.ca.gov was not present.

4.5 Julio de Guzman, of the City Attorney Criminal division described the program for some arrested for

If a Sign Language Interpreter, aids for the visually impaired, or Assisted Listening Devices (ALDs) are required, please contact the City's Disability Services Coordinator at 619-321-3208 at least (5) five work days prior to the meeting date to insure availability.

misdemeanors and infractions to be offered time doing community clean-up in exchange for removing the criminal offense from their records. About 66% are currently accepting the offer.

5.0 President's Report – Information only unless otherwise noted.

- 5.1 Bylaw Amendment – Slotted for November 2015 City Council Review, no date as yet
- 5.2 Whitney Mixed Use – 182513 Appeal Hearing: City Council, October 5, 2:00
- 5.3 Short-Term Vacation Rental – Update sent to Membership and draft legislation recently adopted by the City Council is available at the LJCPA website, under the subhead :“Community Projects and Issues.”
- 5.4 Cost of Service Study Presentation – **Brent Eidson, Public Utilities Department** stated that the City Charge for Water Service (see Garvin Report above) is based on cost of service including, cost of water purchase from the County and Metropolitan Water District (LA) (85% to 90% of our water); replacing infrastructure; reduction in water usage, credit worthiness and local supply issues. Info may be found at sandiego.gov/water. All residents have been mailed a descriptive brochure.
- 5.5 La Jolla CIP Update: Hardcopy was made available describing the status of the proposed Capital Improvement projects submitted by the LJCPA.
- 5.6 **ACTION:** Appoint Alex Outwater to LJCPA Ad-Hoc Bylaws Committee

Approved Motion: To ratify the appointment of Trustee Outwater to the LJCPA Ad Hoc Bylaws Committee. (Emerson, Ahern: 12-0-3)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Ragsdale, Steck, Will
Abstain: Greatrex (Chair) Outwater (Candidate), Weiss (already on committee)

6.0 Non-Agenda Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

- 6.1 **City of San Diego – Community Planner: Karen Bucey**, KBucey@sandiego.gov stated that training on the Code Enforcement policies of the City will be offered on October 29th. RSVP is requested.
- 6.2 **UCSD - Planner: Anu Delouri**, adelouri@ucsd.edu, <http://commplan.ucsd.edu/> reported in absentia that UCSD has 12 construction projects in planning or construction. See website.

7.0 Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

Trustee Boyden cited section 1510.0107 (a) of the SDMC (LJSPDO section) which states that the provisions of Chapters 11, 12, 13; Divisions 1,2,5,6, and 8 of Chapter 14, Article 2; and Chapter 14, Articles 3,4,5,6,7 of the Land Development Code apply in the La Jolla Shores Planned District and thus can be considered in project evaluation by the LJCPA. She noted that the La Shores Planned District Advisory Board at past meetings she has attended has declined to evaluate concerns in these sections as not being their charge.

8.0 Officers' Reports

8.1 Treasurer

Beginning Balance as of 9/1/15	\$ 333.79
Income	
• Collections	\$ 91.00
○ CD Sales	<u>0</u>
Total Income	\$ 91.00
Expenses	
• LJ Rec Center Rent (Oct-Dec)	\$ 128.00
• PO Box Rental (1 yr.)	130.00

○ AT&T telephone	<u>75.70</u>
Total Expenses	<u>\$ 333.70</u>
Net Income/(Loss)	\$(242.70)
Ending Balance of 9/30/15	\$ 91.09

8.2 Secretary

Trustee Boyden stated that if you want your attendance recorded today, you should sign in at the back of the room. There are three sign-in lists: white ones for LJCPA members and government representatives and a yellow one for guests.

LJCPA is a membership organization open to La Jolla residents, property owners and local business owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You are entitled to attend without signing in, but only by providing proof of attendance can you maintain membership or become eligible for election as a trustee. You may document your attendance by signing in at the back, providing the Secretary before the end of the meeting a piece of paper with your printed full name, signature and a statement that you want your attendance recorded, or providing independently verifiable proof of attendance.

You can become a Member after attending one meeting and must maintain your membership by attending one meeting per year. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at three LJCPA meetings in the preceding 12-month period.

For complete membership information you should refer to the current LJCPA bylaws which can be found on the website. Refer to Article III, Section 1.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

9.1 Community Planners Committee

<http://www.sandiego.gov/planning/community/cpc/index.shtml> No report

9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> No report.

9.3 Ad Hoc Committee on Residential Single-Family (RS) Zoning Chair Sharon Wampler

reported the committee had met with Robert Vacchi of DSD to discuss solutions including the possibility of revising the categorical exclusion provisions. Twice monthly meetings are noticed by the regular LJCPA process. **Trustee/Committee Member Ragsdale** stated that they had had five meetings.

The following agenda items, when marked "Action Item," can be a *de novo* consideration of the Item.
Prior actions by committees/boards are listed for information only.

10.0 MARISMA TRAVEL CENTER NUP 1654 Marisma Way- Action Item

DPR Recommendation: Findings CAN be made for a Neighborhood Use Permit for the Home Occupation at 1654 Marisma Way only, limited to one client visit per week. 4-1-1.

Approved Motion: To continue the item to the November 5 meeting of the LCPA as the applicant was not present. (Ahern, Emerson: 11-1-1)

In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, Outwater, Ragsdale, Steck, Weiss, Will

Opposed: Little

Abstain: Greatrex (Chair)

11.0 KAPLAN-GASTON 5606 Dolphin Place- Action Item

DPR Recommendation: Findings CAN NOT be made for a Coastal Development Permit and Site Development for a 1st and 2nd story addition to an existing single family residence at 5606 Dolphin Place, because the project does not transition or relate well to other neighboring houses. It appears to have excessive hardscape and inadequate landscape, and it impacts too strongly on the neighboring house to the east where a careful transition from one to two stories was necessary. 4-1-1.

Sandra Brower, Attorney at Higgs, Fletcher and Mack, representing the applicants, stated that no Site Development Permit is required. She said that the 300 sf and 500 sf additions, to the first story and creating a second story for the now one-bedroom house, and adding a second bedroom were modest and required no variances and meet all city requirements. In response to neighbor concerns, they have lowered the height, made a second-story setback and opaqued the upstairs bathroom and stairway windows. Some changes presented here had not been seen by the DPR committee. The neighbors wanted more.

Architect Mel McGee described the changes in more detail. He noted that this is not a historic house and that the home to the west is two stories the whole length of the house so the Kaplan house has no view to the west, but they are siting the proposed second story to create a view to the southwest. Additionally there will be a privacy wall.

Owner Bob Kaplan, now working in DC, previously lived in San Diego, affiliated with UCSD. They are returning in San Diego to retire and to resume his affiliation with UCSD for research in cardiology. They would like the second bedroom for visiting grandchildren to use.

In opposition, **Attorney Julie Hamilton** representing Rick and Ann Kruse, the neighbors to the east, stated that the Kaplan project GFA should have included the carport (with three sides enclosed) which would have increased the FAR beyond the allowable. It is a unique architectural home. The proposed home is too tall and too close with a narrow side yard setback. It eliminates the Kruse's ocean view. There is also a guest house on the site now. She cited the fact that the bedrooms have outside entrances leads to the risk of it being used for STRVs.

Chair Greatrex stated that conjecture was not an acceptable argument.

Also speaking in opposition were neighbors **Richard Kruse, Portia Wadsworth and Carey Kincaid**. Speaking in favor was **Ed Ward**, citing individual property rights.

Several trustees stated that the FAR issue was of concern. **Trustee Costello** said the house did not transition to the neighborhood. Other commenters were Trustees **Little, Will, Emerson, Ragsdale, Donovan, Ahern, Steck**. Trustees **Will** and **Ragsdale**, who are DPR members, had not been at the DPR meeting when this project was reviewed.

Approved Motion: To return the project to DPR for further review. (Ragsdale, Donovan: 9-5-1)

In favor: Boyden, Collins, Costello, Donovan, Emerson, Little, Outwater, Ragsdale, Will

Opposed: Ahern, Brady, Fitzgerald, Steck, Weiss

Abstain: Greatrex (Chair)

12.0 CONRAD PREBYS PERFORMING ARTS/EASEMENT VACATION 7600 Fay Ave- Action Item

DPR Recommendation: Findings CAN be made that made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit to demolish an existing retail building and construct a 44,014- square-foot, 2-story over basement level Performing Arts Center located at 7600 Fay Avenue. 6-0-1.

Christopher Beach, Artistic Director Emeritus of the La Jolla Music Society, noted that they were proposing a 500-seat auditorium with state of the art acoustics and a 150-seat cabaret type venue.

They will bookend an extensive courtyard opening onto the street. He noted that three subcommittees had unanimously approved the project. He introduced Conrad Prebys who was present at the hearing.

Ray Porfilio of Epstein Joslin Architects stated that the project lies at the low point of the street, between the Gaines and Spa Buildings. They will be expanding the size of the current 60" drain to 66" which will improve drainage in this major runoff site which will benefit other properties. They will be reducing the amount of impervious materials on the site. They are not increasing the "usage" but just moving their activities up the street from their current Sherwood Hall location. They will have six parking spaces on site. They have purchased 67 spaces at the Bank of American Building for daytime parking. For nighttime events they will be using parking in nearby office buildings, e.g. Schwab, PHP and Merrill Lynch as well as La Jolla Presbyterian Church. Attendees with tickets will be informed of the arrangement for each event. Valet parking in front of the complex will open up for public parking when there is no event. The FAR is 1.15, less than allowed in this Community Commercial Zone.

Dave Sorenson was also present.

Public comment in support: **Nancy Warwick, Kate Adams, Phyllis Pfeiffer, Charles Castle**, citing the many annual and regular community events that will be held in the facility.

Many trustees spoke favorably of the project. In answer to various trustee comments, it was stated that rents will be the same as they would in Sherwood Hall with discounts to non-profits. More details on the drain and parking were provided. They are unable to provide underground parking under the 500-seat auditorium as it is needed for air control and parking not possible in the drain area. Under the 150-seat cabaret, the area is so narrow that one could have only 15-20 spaces per level. **Marcella Escobar-Eck** stated that though there may not be contracts for parking, the requirement will be in the permit conditions—flexibility is needed.

Trustees commenting included: **Costello, Brady, Weiss, Little, Emerson, Collins, Donovan, Outwater, Fitzgerald.**

Approved Motion: To accept the DPR recommendation that the findings CAN be made that made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit to demolish an existing retail building and construct a 44,014- square-foot, 2-story over basement level Performing Arts Center located at 7600 Fay Avenue. (Weiss, Brady: 14-0-1)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

13.0 801 PEARL STREET- CONGER 801 Pearl Street- Action Item

DPR Recommendation: Findings CAN be made for a Coastal Development Permit and Site Development Permit and Tentative Map (Process 4) to remove an existing service station and construct a new mixed-use project with four retail units and 12 residential units with a subterranean garage: total development 23,340 sf, at 801 Pearl Street. With the request that the City complete the Environmental Study and study the issue of left hand turn lanes at Pearl Street and Eads Avenue, and add a stop sign at the top of the driveway ramp leading from this project. 5-0-1.

Presented by **Architects Jim Alcorn and Paul Benton**. **Architect Alcorn** described the project as 4 retail units totaling 5400 sf and 12 residential units situated on three parcels, two fronting on Pearl Street, the other on Eads. Because the parcels are in different zones, FARs, parking and other requirements will be averaged with the resultant FAR being 1.12. The underground garage will open onto Eads with a 5%-12%-5% gradient on the ramp. There will be 39 spaces where only 31 are required and they will be divided between those for retail customers and those individually assigned to specific residences with several for guests. With the gas station gone, three more street parking spaces will be freed up. This new version of the project will have greater setbacks than the previous one. They will have two stories with a 25' average

height, with 3' chimneys on top. There will be several street trees, including jacarandas on Eads. Two dumpsters will be situated in an indented loading zone in the alley. Exterior surfaces will be various shades of off white and terracotta tiles.

Connie Branscomb said she had owned a house six lots south of this project since 1966 and felt that previously Pearl

Street had been considered the divider between the area to the north and the R-2 properties.

Don Swortwood decried the continuing loss of character in La Jolla neighborhoods--that we've given it away.

Trustee Costello said he was pleased with the many changes in this new version. In response to other trustee questions, **Messrs. Alcorn and Benton** further described the averaging provisions of two different zones and the parking arrangements. **Trustees Brady, Weiss, Little, Will, Fitzgerald and Emerson** commented. **Trustee Ragsdale** inquired about the traffic count with respect to the environmental study. The traffic count indicated a decrease of 288 trips per day. Since there are fewer than 500 trips daily, no special environmental provisions are needed.

It was noted that traffic will increase on Eads, but substantially decrease on Pearl. The City is being asked to study the need for left turn lanes and exit stop sign.

Approved Motion: To accept the DPR recommendation that the findings CAN be made for a Coastal Development Permit and Site Development Permit and Tentative Map (Process 4) to remove an existing service station and construct a new mixed-use project with four retail units and 12 residential units with a subterranean garage: total development 23,340 sf, at 801 Pearl Street. With the request that the City complete the Environmental Study and study the issue of left hand turn lanes at Pearl Street and Eads Avenue, and add a stop sign at the top of the driveway ramp leading from this project. (Costello, Brady: 13-0-1)

In favor: Ahern, Boyden, Brady, Collins, Costello, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

14.0 SPEED LIMIT- PRESTWICK DRIVE Between Calle de Oro and Dunaway Drive- Action Item

T&T Recommendation: Findings CAN NOT be made for a City Staff proposal to increase speed limit between Calle de Oro and Dunaway Drive from 30 MPH to 35 MPH, pending receipt of resident petitions. 10-0-1.

Prestwick residents **Pat Miller** and **Susan Goulian** presented petitions signed by members of 82 households on Prestwick Drive asking that the speed limit not be raised from 30 MPH to 35 MPH to enable radar enforcement as the City proposed. **Trustee Ahern** estimated that there were about 111 homes on this street segment. Residents felt that raising the speed limit would just encourage drivers to go faster. It was pointed out that the continuing segments of the road, Calle del Oro and Dunaway Drive would remain at a lower speed limit and radar could be used there.

Chair Greatrex had spoken to T&T Chair Dave Abrams and he had indicated that he felt the matter was intended to go to the LJCPA. **Trustee/T&T Brady** and **T&T member Donna Aprea** indicated they thought T&T members wanted this to go direct to LJCPA, though others expressed concern that other groups might feel left out.

Approved Motion: To accept the recommendation of the T&T Board that the findings CAN NOT be made for a City Staff proposal to increase speed limit between Calle de Oro and Dunaway Drive from 30 MPH to 35 MPH. (Outwater, Ahern: 12-0-1)

In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

14.0 Consent Agenda- Action Item

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Lone Stiegler, 2nd Mon, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Phil Merten, 4th Tues, 4:00 pm
T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Thurs, 4:00 pm

The Consent Agenda allows the LJCPC to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPC. The public may comment on consent items.

- See Committee minutes and/or agenda for description of projects, deliberations, and vote.
- Anyone may request a consent item be pulled for full discussion by the LJCPC.
- Items “pulled” from Consent Agenda are automatically trailed to the next LJCPC meeting.

T&T- No meeting in September. DPR- No Recommendations to LJCPC. PDO- No Recommendations to LJCPC.

15.1 Fan Residence 8295 Prestwick Drive

PRC Recommendation: Findings cannot be made for (Process 3) Coastal Development Permit and Site Development Permit to demolish an existing residence and construct a new 5,757 sq ft 2-story residence over 1,381 sq ft basement at 8295 Prestwick Dr. The 0.132 acre site is in the Single Family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1, because the proposed residence is not in compliance with PDO in that it does not conform to the character of the neighborhood. 4-2-1

15.2 Evans Residence, 8039 La Jolla Shores Drive SDP

PRC Recommendation:

Findings can be made for SDP, and for a CDP should that prove to be necessary, for a 1,389 sq ft addition and remodel of a 1,932 sq ft existing single family residence at 8039 La Jolla Shores Dr. The 0.183 acre site is in the SF zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1. 7-0-0

15.3 Davis Residence, 8430 La Jolla Shores Drive SDP

PRC Recommendation:

Findings can be made for an SDP to construct a 1,118 square-foot addition and associated remodel to an existing single family dwelling unit located at 8430 LJ Shores Drive, with a second-story north side setback of four feet, as noted on the plans before the Committee and dated 9-22-2015. The 0.13-acre site is located within the Coastal Overlay Zone (Non-Appealable) at 8430 La Jolla Shores Drive in the LJSPP – SF zone(s) of the La Jolla Shores Planned District within the La Jolla Community Plan area and Council District 1. 6-0-1.

Approved Motion: To accept the recommendations of the PRC for 15.1 Fan Residence 8295 Prestwick Drive that the findings cannot be made for (Process 3) Coastal Development Permit and Site Development Permit to demolish an existing residence and construct a new 5,757 sq ft 2-story residence over 1,381 sq ft basement at 8295 Prestwick Dr. The 0.132 acre site is in the Single Family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1, because the proposed residence is not in compliance with PDO in that it does not conform to the character of the neighborhood; for 15.2 Evans Residence, 8039 La Jolla Shores Drive SDP that the findings can be made for SDP, and for a CDP should that prove to be necessary, for a 1,389 sq ft addition and remodel of a 1,932 sq ft existing single family residence at 8039 La Jolla Shores Drive; and for 15.3 that the findings can be made for an SDP to construct a 1,118 square-foot addition and associated remodel to an existing single family dwelling unit located at 8430 LJ Shores Drive, with a second-story north side setback of four feet, as noted on the plans before the Committee and dated 9-22-2015 and forward the recommendations to the City. (Emerson, Weiss: 12-0-1)

In favor: In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

16.0 Adjourned at 9:30 pm to next LJCPC Meeting, Thursday, November 5, 6:00 pm



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: The Davis Residence Project No. For City Use Only: _____

Project Address: 8430 La Jolla Shores Drive, La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of individual (type or print): Margaret S. Davis

Owner Tenant/Lessee Redevelopment Agency

Street Address: 8430 La Jolla Shores Dr

City/State/Zip: La Jolla CA 92037

Phone No: 858 220 9024 Fax No: _____

Signature: [Signature] Date: 4/19/15

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

ABBREVIATIONS

@	AT	GA	GALVE	QT	QUARRY TILE
#	NUMBER/POUND	GALV	GALVANIZED	R	RISER/RADIUS
AB	ANCHOR BOLT	GC	GENERAL CONTRACTOR	RA	RETURN AIR
ABC	AGGREGATE BASE COURSE	GL	GALVANIZED IRON	RB	RUBBER BASE
AC	ASPHALT CONCRETE / AIR CONDITIONING	GL	GLASS / GLAZING	RC	REFLECTED CEILING PLAN
AD	ACCESS DOOR / AREA DRAIN	GLB	GLU-LAM BEAM	RD	ROOF DRAIN
ADD	ADDENDUM OR ADDITION	GR	GRADE	RE	REFER / REFERENCE
ADJ	ADJACENT / ADJUSTABLE	GYP	GYPSON	REFL	REFLECTED / REFLECTIVE
AEFF	ABOVE EXISTING FINISH FLOOR	GYPB	GYPSON WALLBOARD	REIN	REINFORCING
AFF	ABOVE FINISHED FLOOR	HB	HOSE BIB	REQD	REQUIRED
ALT	ALTERNATE	HC	HOLLOW CORE	RESIL	RESILIENT
ALUM	ALUMINUM	H CONC	HARDENED CONCRETE	RET	RETAINING
ANOD	ANODIZED	HDCP	HANDICAPPED	REV	REVISION / REVISED
ARCH	ARCHITECT(URAL)	HDR	HEADER	RF	RAISED FLOOR
ASPH	ASPHALT	HWD	HARDWOOD	RFG	ROOFING
AT	ACOUSTICAL TILE	HWR	HARDWARE	RM	ROOM
AV	AUDIO VISUAL	HM	HOLLOW METAL	RO	ROUGH OPENING
BD	BOARD	HT	HORIZONTAL	ROW	RIGHT OF WAY
BFC	BELOW FINISH CEILING	HR	HOUR	R T DPL	RECESSED TRASH DISPOSAL
BLDG	BUILDING	HTG	HEATING	R TOW D	RECESSED TOWEL DISPENSER
BLK(ING)	BLOCK(ING)	HTG	HEATING	SAC	SUSPENDED ACOUSTICAL CEILING
BM	BEAM	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SAT	SUSPENDED ACOUSTICAL TILE
B.M.	BENCH MARK	HW	HOT WATER	SB	SPLASH BLOCK
B.O.	BOTTOM OF	HWH	HOT WATER HEATER	SC	SOLID CORE
BOC	BOTTOM OF CONCRETE	HZ	HORIZONTAL	SCHED	SCHEDULE
BOI	BOTTOM	ID	INSIDE DIAMETER	S CONC	SEALED CONCRETE
BTWN	BETWEEN	IN	INCH	SD	STORM DRAIN
BRG	BEARING	INCL	INCLUDED	SECT	SECTION
BUR	BUILT-UP ROOF(ING)	INSUL	INSULATION/INSULATING	SF	SQUARE FEET
CMU	CONCRETE BLOCK	INT	INTERIOR	SHT	SHEET
CER	CERAMIC	INV	INVERT	SH	SIMILAR
CHAN	CHANNEL	JAN	JANITOR	SHD	SANITARY NAPKIN DISPENSER
CI	CAST IRON	JT	JOINT	SNPLD	SANITARY NAPKIN DISPOSAL
CIP	CAST IN PLACE	KIT	KITCHEN	SPECS	SPECIFICATIONS
CJ	CONTROL JOINT	KJ	KEYED JOINT	SQ	SQUARE
CL	CENTERLINE	KO	KNOCKOUT	SS	STAINLESS STEEL
CLG	CEILING	LAM	LAMINATE(D)	STAGG	STAGGERED
CO	CLEAN OUT	LAV	LAVATORY	STD	STANDARD
COORD	COORDINATE	LH	LEFT HAND	STL	STEEL
COR	CORRIDOR	LL	LIVE LOAD	STRUC	STRUCTURAL
CLOS	CLOSET	LLH	LONG LEG HORIZONTAL	SUSP	SUSPENDED
CLR	CLEAR	LP	LOW POINT	SYM	SYMMETRICAL
CMU	CORRUGATED METAL PIPE	LWC	LIGHTWEIGHT CONCRETE	SYST	SYSTEM
CHU	CONCRETE MASONRY UNIT	M	MASONRY	T	TREAD
COL	COLUMN	MATL	MATERIAL	T&B	TOP AND BOTTOM
CONC	CONCRETE	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
CONN	CONNECTION	MECH	MECHANICAL	TD	TO BE DETERMINED
CONST	CONSTRUCTION	MEM	MEMBRANE	TR	TRASH DISPOSAL
CONT	CONTINUOUS	MFRG	MANUFACTURER	TEL	TELEPHONE
CONTR	CONTRACTOR	MH	MAN HOLE	TEMP	TEMPERED
CPT/C	CARPET	MIN	MINIMUM	THK	THICK
CS	COUNTERSUNK	MISC	MISCELLANEOUS	TI	TENANT IMPROVEMENT
CT	CERAMIC TILE	MO	MASONRY OPENING	TJ	TOOLED JOINT
CTR	CENTER	MTD	MOUNTED	TLT	TOILET
DBL	DOUBLE	MTL	METAL	TOE	TOE NAILED
DET	DETAIL	N	NORTH	TOC	TOP OF CONCRETE
DF	DRINKING FOUNTAIN	NA	NOT APPLICABLE	TOM	TOP OF MASONRY
DIA	DIAMETER	NIC	NOT IN CONTRACT	TOS	TOP OF STEEL
DIAG	DIAGONAL	NOM	NOMINAL	TOW	TOP OF WALL
DIFF	DIFFUSER	N-COM	NON-COMBUSTIBLE	TWL D	TOWEL DISPENSER
DIM	DIMENSION	NTS	NOT TO SCALE	TWL DPLTOWEL	DISPOSAL
DL	DEAD LOAD	OC	ON CENTER	TRANS	TRANSFORMER/TRANSVERSE
DN	DOWN	OFOI	OWNER FURNISHED OWNER INSTALLED	TYP	TYPICAL
DP	DAMP PROOFING	OFCH	OWNER FURNISHED CONTRACTOR INSTALLED	UBC	UNIFORM BUILDING CODE
DR	DOOR	OH	OPPOSITE HAND	UL	UNDERWRITER'S LABORATORY
DS	DOWN SPOUT	OPNG	OPENING	UNO	UNLESS NOTED OTHERWISE
DTI	DETAIL	OPP	OPPOSITE	UTIL	UTILITY
DWG	DRAWING	OVHD	OVERHEAD	VB	VAPOR BARRIER
DWR	DRAWER	PART	PARTITION	VCT	VINYL COMPOSITION TILE
(E)	EXISTING	PARTBO	PARTICLE BOARD	VENT	VENTILATOR/VENTILATION
EA	EACH	PC	PRECAST CONCRETE	VERT	VERTICAL
EB	EXPANSION BOLT	PD	PLANTER DRAIN	VIF	VERIFY IN FIELD
EC	EXPOSED CONSTRUCTION	PERP	PERPENDICULAR	VR	VAPOR RETARDER
EJ	EXPANSION JOINT	PIP	POURED IN PLACE	VT	VERTICAL
EL	ELEVATION	PL	PLATE	VTR	VENT THROUGH ROOF
ELEC	ELECTRICAL	PLAM	PLASTIC LAMINATE	W	WITH
ELEV	ELEVATOR	PLAS	PLASTER	W/O	WITHOUT
EMER	EMERGENCY	PLAST	PLASTIC	WC	WATER CLOSET
ENC	ENCLOSURE	PLYWD	PLYWOOD	WD	WOOD
EP	ELECTRICAL PANEL	PNL	PANEL	WDW	WINDOW
EQ	EQUAL	PR	PAIR	WH	WATER HEATER
EQUIP	EQUIPMENT	PSF	POUNDS PER SQUARE FOOT	WF	WALL FABRIC
EXP	EXPANSION	PSI	POUNDS PER SQUARE INCH	WP	WATERPROOFING
EXT	EXTERIOR	PT	POST TENSIONED / PRESSURE TREATED	WR	WEAKENED PLANE JOINT
FA	FRESH AIR	PTS	POST TENSIONING SLAB	WR	WATER RESISTANT
FB	FLAT BAR	PVC	POLYVINYL CHLORIDE	WT	WEIGHT
FD	FLOOR DRAIN			WRF	WELDED WIRE FABRIC
FDN	FOUNDATION			WWM	WELDED WIRE MESH
FEC	FIRE EXTINGUISHER CABINET				
FF	FINISH FLOOR				
FG	FINISH GRADE				
FHC	FIRE HOSE CABINET				
FIN	FINISHED				
FLR	FLOOR(ING)				
FLUOR	FLUORESCENT				
FO	FINISHED OPENING / FACE OF				
FOC	FACE OF CONCRETE				
FORM	FACE OF MASONRY				
FOW	FACE OF WALL				
FP	FIREPROOF				
FS	FLOOR SINK				
FT	FOOT/FEET				
FTG	ROOTING				
FURR	FURRING				
FVC	FIRE VALVE CABINET				

SYMBOLS LEGEND

(101)	DOOR NUMBER		EXTERIOR ELEVATION
(1)	WINDOW TYPE		
(1)	WALL TYPE		INTERIOR ELEVATION
	NORTH ARROW		
	SECTION INDICATOR	LEVEL NAME 0' - 0"	LEVEL
	DETAIL INDICATOR	0' - 0"	SPOT ELEVATION
	REVISION CLOUD		REVISION NUMBER
	STRUCTURAL GRID	Room name 101	ROOM TAG

GENERAL PROJECT NOTES

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87(UFC/CFC SEC. 8701).
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (UFC/CFC SEC. 901.4.4, FHPS POLICY P-00-6).
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. (CAL CODE REGS., TIT. 19, SEC. 3.08, 3.21, UFC/CFC SEC. 2501.5.)
- ALL REQUIRED APPROVALS MUST BE OBTAINED FROM THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THE BUILDING IS OCCUPIED.
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THIS EQUIPMENT IS INSTALLED.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO BUILDING ELEVATION SHEETS FOR BUILDING HEIGHT DOCUMENTATION.

BUILDING CODE DATA

TYPE OF CONSTRUCTION:	TYPE V-B	SPRINKLERED: NO
OCCUPANCY CLASSIFICATION:	R-3 (DETACHED GARAGE - U)	
NUMBER OF STORIES:	2	
BUILDING HEIGHT:	< 30'-0"	
GOVERNING CODES:	CALIFORNIA BUILDING CODE 2013 EDITION CALIFORNIA RESIDENTIAL CODE 2013 EDITION CALIFORNIA ELECTRICAL CODE 2013 EDITION CALIFORNIA ENERGY CODE 2013 EDITION CALIFORNIA FIRE CODE 2013 EDITION CALIFORNIA MECHANICAL CODE 2013 EDITION CALIFORNIA PLUMBING CODE 2013 EDITION CALIFORNIA HISTORIC BLDG. CODE 2013 EDITION CALIFORNIA EXISTING BLDG. CODE 2013 EDITION CALIFORNIA GREEN BLDG. STANDARD 2013 EDITION SAN DIEGO COUNTY DEVELOPMENT CODE 2000+	
REQUIRED APPROVALS:	T.B.D.	

SPECIAL INSPECTION & OFFSITE FABRICATION

- SPECIAL INSPECTION: YES NO
- SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
- RETROFIT ANCHOR BOLTS AND HOLDOWN ANCHORS USING HIGH STRENGTH ADHESIVE.
- REFER TO SHEET S1 FOR "SPECIAL INSPECTION PROGRAM".
- A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
 - AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
 - A CERTIFICATION OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
 - THE SPECIAL INSPECTOR MUST BE APPROVED BY THE CITY OF SAN DIEGO.
 - THE TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO.
 - A PROPERTY OWNER'S FINAL REPORT OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD, OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
 - AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO ABRICATION.
 - THE SPECIAL INSPECTIONS IDENTIFIED ARE IN ADDITION TO THOSE REQUIRED BY SEC. 108 OF THE BUILDING CODE AS AMENDED. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR.

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION: YES NO

VICINITY MAP



- KEYNOTES:
- FIRE HYDRANT LOCATIONS:
LA JOLLA SHORES DRIVE & CALLE CORTA (SOUTHEAST CORNER)
LA JOLLA SHORES DRIVE & CAMINO DEL COLLADO (SOUTHWEST CORNER)
LA JOLLA SHORES DRIVE & CAMINO DEL ORO (SOUTHWEST CORNER)
LA JOLLA SHORES DRIVE & CAMINO DEL ORO (SOUTHWEST CORNER)
PASO DEL OCASO & CAMINO DEL ORO (SOUTHWEST CORNER)
8470 PASO DEL OCASO
 - BUS STOP LOCATIONS:
(NORTHBOUND) LA JOLLA SHORES DRIVE & CALLE DE ORO
(SOUTHBOUND) LA JOLLA SHORES DRIVE & CAMINO DEL COLLADO

PROJECT DIRECTORY

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OVERLAY ZONES

- STRUCTURAL OBSERVATION
- AIRPORT INFLUENCE AREA (AIA)
- (CUPD) FACILITY-DEFICIENT NEIGHBORHOODS
- CLAIREMONT MESA HEIGHT LIMIT
- COASTAL HEIGHT LIMIT
- COASTAL:
 - CITY
 - STATE
- COMMUNITY PLAN IMPLEMENTATION:
 - A
 - B
- FIRE BRUSH ZONES 300 FOOT BUFFER
- FIRE HAZARD SEVERITY ZONE
- FIRST PUBLIC ROAD-WAY
- MISSION TRAILS DESIGN DISTRICT
- MOBILE HOME PARK
- PARKING IMPACT
- PRIME INDUSTRIAL LAND
- RESIDENTIAL TANDEM PARKING
- SENSITIVE COASTAL
- TRANSIT AREA
- URBAN VILLAGE
- NO OVERLAY ZONES

ENVIRONMENTALLY SENSITIVE LANDS

- CHECK IF PROPOSED SITE IS ON OR ADJACENT TO ...
- SENSITIVE BIOLOGICAL RESOURCES
 - COASTAL BEACHES
 - STEEP HILLSIDES
 - SENSITIVE COASTAL BLUFFS
 - 100 YEAR FLOODPLAIN

SCOPE OF WORK

ADDITION TO SINGLE FAMILY HOME. ADD SECOND STORY WITH TWO BEDROOMS AND TWO BATHROOMS. ENLARGE EXISTING FIRST FLOOR LIVING ROOM. ENLARGE EXISTING GARAGE TO ACCOMMODATE GARDEN TOOL STORAGE.

NOTE: LA JOLLA SHORES PLANNED DISTRICT REQUIRES A SITE DEVELOPMENT PERMIT. NO DEVELOPMENT REGULATION DEVIATIONS ARE PROPOSED. COASTAL PERMIT IS NOT REQUIRED DUE TO MORE THAN 50% OF EXISTING WALLS REMAINING.

PROJECT DATA

PROJECT NAME: DAVIS RESIDENCE
PROJECT ADDRESS: 8430 LA JOLLA SHORES DRIVE
LA JOLLA, CA 92037

HISTORIC: NO
U.R.M.: NO
DATE BUILT: 1941
BASE ZONE: LUSPD-SF
COMMUNITY PLAN: LA JOLLA SHORES
GEOLOGICAL HAZARDS: YES - 52
EARTHQUAKE BUFFER: NO
FLOOD FEMA: NO
MAP NUMBER: 1913
BLOCK NUMBER: 17
LOT NUMBER: 13
A.P.N.: 346-082-30-00

SETBACKS

ZONE: RS-1-7
F.A.R.: N/A
HEIGHT: 30'-0"

LOT WIDTH: 49.87 FT.
LOT DEPTH: 110 FT.

MIN. SETBACKS:
FRONT: N/A
SIDE: 4'-0" WITH OPENINGS, 0'-0" WITHOUT
SIDE: 4'-0" WITH OPENINGS, 0'-0" WITHOUT
REAR: N/A

PROVIDED SETBACKS:
FRONT: 17'-7 1/2"
SIDE: 4'-0" AT 2ND FLOOR, 1'-9" AT 1ST FLOOR (EXISTING, UNCHANGED)
SIDE: 12'-6"
REAR: 43'-6"

HIGHEST ROOF ELEVATION: 57'- 5 1/2"
HIGHEST ELEVATION (CHIMNEY) 60'-6"
LOW REFERENCE DATUM: 31'-3"
HIGH REFERENCE DATUM: 34'-3"
PLUMB LINE HEIGHT (HIGH POINT): 28'-3"

OVERALL STRUCTURE HEIGHT: 29'-3"
(HEIGHT + GRADE DIFFERENTIAL)

LEGAL DESCRIPTION

LOT 13, BLOCK 17, MAP 1913, (LA JOLLA SHORES UNIT NO. 1)

FLOOR AREA ANALYSIS

LOT SIZE: 5,497 SQ. FT.
F.A.R.: N/A
LOT COVERAGE: 60% MAX.
ALLOWABLE SQ. FOOTAGE: N/A
GROSS FLOOR AREA: 2,127 SQ. FT.

SQUARE FOOTAGE

BUILDING AREA	EXISTING	ADDED	TOTAL
FIRST FLOOR	994	305	1,299
SECOND FLOOR	0	813	828
TOTAL BUILDING	994	1118	2,127

NON - HABITABLE	EXISTING	ADDED	TOTAL
GARAGE	366	49	415
BALCONY		124	539
TOTAL ACCESSORY	366	49	539

DRAWING SHEET INDEX

- A0-01 COVER SHEET
 - A0-02 JURISDICTION SPECIFIC NOTES & BMP'S
 - A1-01 SITE SURVEY
 - A1-02 SITE PLAN
 - A1-03 SITE DEVELOPMENT PUBLIC NOTICING
 - A2-01 DEMOLITION PLANS
 - A2-02 FLOOR PLANS
 - A2-03 ROOF PLAN
 - A2-04 MECHANICAL, ELECTRICAL, PLUMBING, FIRE-SAFETY, & CEILING PLANS
 - A3-01 EXTERIOR ELEVATIONS
 - A3-02 EXTERIOR ELEVATIONS
 - A4-01 BUILDING SECTIONS
- Grand total: 12

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THE DAVIS RESIDENCE

8430 LA JOLLA SHORES DRIVE
LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2015	
PROJ. MNGR. RMD	DRAWN RMD
ISSUE DATE 03/07/16	

COVER SHEET

A0-01

CITY OF S.D. STEEL FABRICATOR NOTES

- 1. FABRICATOR MUST BE REGISTERED AND APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES FOR THE FABRICATION OF MEMBERS AND ASSEMBLIES ON THE PREMISES OF THE FABRICATOR'S SHOP.
2. FABRICATOR SHALL SUBMIT AN "APPLICATION TO PERFORM OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO THE COMMENCEMENT OF FABRICATION.
3. FABRICATOR SHALL SUBMIT A "CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF FABRICATED ITEMS AND ASSEMBLIES.

STORM WATER QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01, NPDES NO. CAS010875. www.swrcb.ca.gov/rwqcb9/programs/sd_stormwater.html

AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE http://clerkdoc.sannet.gov/rightsite/getcontent/local.pdf?dmw_objectid=090014518008cc43).

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP)

- 1. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEM DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY.
2. ALL STOCKPILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

BMP CONSTRUCTION NOTES

SITE MANAGEMENT REQUIREMENTS

- 1. EXPOSED DISTURBED AREAS MUST HAVE EROSION PROTECTION BMPs PROPERLY INSTALLED. THIS WOULD INCLUDE ALL BUILDING PADS, UNFINISHED ROADS AND SLOPES.
2. ADEQUATE PERIMETER PROTECTION BMP's MUST BE INSTALLED AND MAINTAINED.
3. ADEQUATE SEDIMENT CONTROL BMP's MUST BE INSTALLED AND MAINTAINED.
4. ADEQUATE BMP's TO CONTROL OFF-SITE SEDIMENT TRACKING MUST BE INSTALLED AND MAINTAINED.
5. A MINIMUM OF 125% OF THE MATERIAL NEEDED TO INSTALL STANDBY BMP's NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION, AND TO PREVENT SEDIMENT DISCHARGES, MUST BE STORED ON SITE.
6. THE PROJECT PROPONENT MUST HAVE AN APPROVED "WEATHER TRIGGERED" ACTION PLAN AND HAVE THE ABILITY TO DEPLOY STANDBY BMP's AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT.
7. PREVENT EROSION OF SLOPES THAT HAVE BEEN COMPLETED.

THE AREA THAT CAN BE CLEARED OR GRADED AND LEFT EXPOSED AT ONE TIME IS LIMITED TO THE AMOUNT OF ACREAGE THAT THE PROJECT CAN ADEQUATELY PROTECT PRIOR TO A PREDICTED RAINSTORM.

PERIMETER PROTECTION AND SEDIMENT CONTROL BMP's MUST BE UPGRADED IF NECESSARY TO PROVIDE SUFFICIENT PROTECTION FOR STORMS LIKELY TO OCCUR DURING THE RAINY SEASON.

10. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMP's MUST BE INSTALLED AND ESTABLISHED FOR ALL COMPLETED SLOPES PRIOR TO THE START OF THE RAINY SEASON. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO.

11. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMP's PRIOR TO A PREDICTED RAINSTORM.

12. A DISTURBED AREA THAT IS NOT COMPLETED BUT THAT IS NOT BEING ACTIVELY GRADED MUST BE FULLY PROTECTED FROM EROSION IF LEFT FOR 10 OR MORE DAYS.

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND PERMIT HOLDER TO SELECT, INSTALL AND MAINTAIN APPROPRIATE BMP's.

CITY OF S.D. GENERAL NOTES

- 1. "NOTICE TO THE APPLICANT / OWNER'S AGENT / ARCHITECT OR ENGINEER OF RECORD: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."
2. "NOTICE TO THE CONTRACTOR / BUILDER / INSTALLER SUB-CONTRACTOR / OWNER-BUILDER: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."

OWNER'S CERTIFICATE

STANDARD SINGLE FAMILY RESIDENTIAL PROJECT FOR POST CONSTRUCTION BMP'S

I/WE THE UNDERSIGNED AS OWNER(S) OF THE PROPERTY AS: 8430 LA JOLLA SHORES DRIVE, LA JOLLA, CA 92037

UNDERSTAND THAT IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE, LAND DEVELOPMENT MANUAL - STORM WATER STANDARDS, THIS PROJECT IS REQUIRED TO "IDENTIFY POLLUTANTS FROM THE PROJECT AREA" AND INCORPORATE "SITE DESIGN" AND "SOURCE CONTROL" BMP'S.

I CERTIFY TO THE BEST OF MY KNOWLEDGE, POLLUTANTS ANTICIPATED BY THE PROPOSED LAND ARE AS FOLLOWS:

- SEDIMENTS
- NUTRIENTS
- TRASH & DEBRIS
- OXYGEN DEMANDING SUBSTANCES
- OIL & GREASE
- BACTERIA & VIRUSES
- PESTICIDES

I WILL INCORPORATE THE FOLLOWING INTO THE SITE DESIGN:

- MAINTAIN PRE-DEVELOPMENT RUNOFF CHARACTERISTICS
- MINIMIZE IMPERVIOUS FOOT PRINT, CONSTRUCTING WALKWAYS, PATIOS AND DRIVEWAYS WITH PERMEABLE SURFACES.
- CONSERVE NATURAL AREAS.
- USE NATURAL DRAINAGE SYSTEMS AS APPROVED TO LINED SWALES OR UNDERGROUND DRAINAGE SYSTEMS.
- DRAIN ROOF TOPS, WALKWAYS, PATIOS, AND DRIVEWAYS, INTO ADJACENT LANDSCAPING PRIOR TO THE PUBLIC DRAINAGE SYSTEM.
- PRESERVE EXISTING NATIVE TREES AND SHRUBS
- PROTECT ALL SLOPES FROM EROSION

ADDITIONALLY I/WE WILL:

- MINIMIZE THE USE OF PESTICIDES
- USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPE DESIGN - INCORPORATING RAIN SHUTOFF DEVICES AND FLOW RESTRICTORS

I/WE WILL MAINTAIN THE ABOVE STANDARD PERMANENT BMP'S IN PERPETUITY.

OWNER(S) Margaret S. Davis
OWNER(S) [Signature] DATE 5/11/2015

GENERAL NOTES - CAL-GREEN

- 1. LAVATORY FAUCETS: PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE.
2. SHOWER HEADS: PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE.
3. TOILETS: PROVIDE TOILETS WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH.
4. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION.
5. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2013 CGBC SEC. 4.303.1.
6. PER 2013 CGBC SEC. 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
7. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB. PER 2013 GREEN CODE SEC 4.506.1, MECHANICAL AND EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
8. PER SECTION 4.406.1, JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
9. PER SECTION 4.408.1 AND CITY ORDINANCE, A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE.
10. PER SECTION 4.410.1, BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
11. PER SECTION 4.504.1, DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
12. THE MANUAL SHOULD INCLUDE, IN ADDITION TO OTHER ASPECTS, THE FOLLOWING:
A. DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
B. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
I. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
II. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
III. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
IV. LANDSCAPE IRRIGATION SYSTEMS
V. WATER RE-USE SYSTEMS
C. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
D. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
E. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.
F. INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
G. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
H. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING BUT NOT LIMITED TO CAULKING, PAINTING, AND MAINTAINING PROPER GRADE AROUND THE BUILDING.
I. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
J. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
13. PER SECTION 4.504.2.1 ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
14. PER SECTION 4.504.2.2 AND TABLE 4.504.3, PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
15. PER SECTION 4.504.2.2 AND TABLE 4.504.3, AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MTR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
16. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES, COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
17. PER SECTION 4.504.3, CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
18. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
A. VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
B. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM.
C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
19. PER SECTION 4.504.5 AND TABLE 4.504.5, HARDWOOD PLYWOOD, PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND COMPOSITE WOOD USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD.
20. A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD/PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
22. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER.
23. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS SHALL BE INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED.

Page 2 of 2 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist. Includes sections for Part C (Select appropriate category based on the outcome of Parts A & B), Part D (Determine Construction Phase Storm Water Requirements), and Part E (Determine Construction Site Priority).

City of San Diego Development Services Storm Water Requirements Applicability Checklist FORM DS-560. Includes sections for Part A (Determine if Exempt from Permanent Storm Water BMP Requirements) and Part B (Determine if Subject to Priority Development Project Requirements).

IS ARCHITECTURE IONE R. STIEGLER, FAIA. 5649 LA JOLLA BLVD, LA JOLLA, CA 92037. LICENSED ARCHITECT No. C-19425.

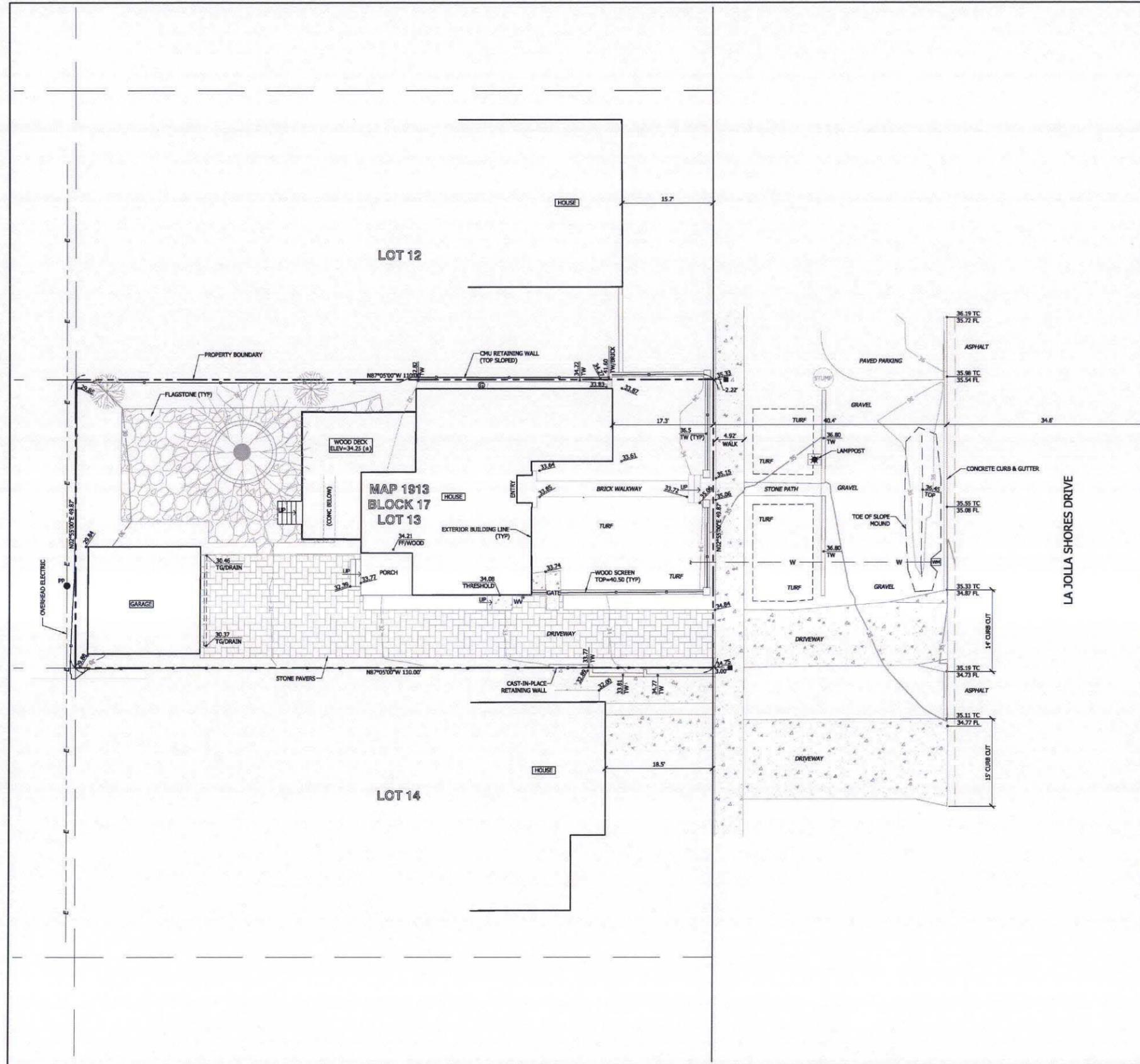
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THE DAVIS RESIDENCE 8430 LA JOLLA SHORES DRIVE LA JOLLA, CA 92037

Table with columns: NO., NAME, DATE. Includes PROJECT NUMBER 2015, PROJ. MNGR. RMD, DRAWN RMD, ISSUE DATE 03/07/16.

JURISDICTION SPECIFIC NOTES & BMP'S

A0-02



PROPERTY LEGAL DESCRIPTION
 LOT 13, BLOCK 17, MAP 1913 (LA JOLLA SHORES UNIT NO. 1)
ASSESSORS PARCEL NUMBER
 346-083-30
BASIS OF ELEVATIONS
 CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 MONUMENT DESCRIPTION: BRASS PLUG/TOP OF CURB
 LOCATION: SOUTHEAST CORNER OF LA JOLLA SHORES DRIVE AND CAMINO DEL ORD
 DATUM: NGVD 29
 ELEVATION: 35.79 FEET

NOTE
 THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES BY THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

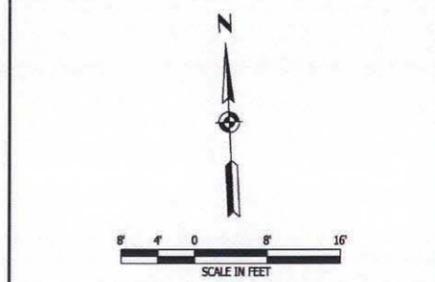
LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.

LEGEND

- PROPERTY LINE
- CENTER LINE
- LOT LINE
- RIGHT OF WAY
- EDGE OF CONCRETE
- CURB & GUTTER
- CMU WALL
- CONCRETE SURFACE
- GROUND CONTOUR (5' INTERVAL)
- GROUND CONTOUR (1' INTERVAL)
- (NOTE: LABEL ORIENTATION INDICATES POSITIVE SLOPE)
- BOUNDARY LINE DATA
- SPOT ELEVATION
- FOUND BOUNDARY MONUMENT
- TREE (TRUNK DRAWN TO SCALE)

ABBREVIATIONS

AP ANGLE POINT	MH MANHOLE
BLDG BUILDING	PP UTILITY POLE
CMU CONCRETE MASONRY UNIT	ROW RIGHT OF WAY
CONC CONCRETE	SS SANITARY SEWER
DI DRAIN INLET	TC TOP OF CURB
EL ELEVATION	TG TOP OF GRATE (DRAIN)
FF FINISHED FLOOR	TW TOP OF WALL
FL FLOWLINE	TYP TYPICAL
GB GRADE BREAK	WM WATER METER
	WV WATER VALVE



PROFESSIONAL LAND SURVEYOR
 VERNON V. FRANKS
 No. 7927
 EXPIRES 12-31-2015
 STATE OF CALIFORNIA

METROPOLITAN MAPPING
 3712 30TH STREET
 SAN DIEGO, CA 92104
 (619) 564-6091
 metromapsd@gmail.com

REVISIONS:

NO.	NAME	DATE

DAVIS RESIDENCE
 8430 LA JOLLA SHORES DRIVE
 SAN DIEGO, CA 92037

SURVEY DATE
 NOVEMBER 18, 2014
 MAP/DRAWING DATE
 DECEMBER 4, 2014
 SCALE: 1/8"=1'-0"
 DRAWN BY: VF
 JOB No: _____
 SHEET TITLE:

TOPOGRAPHIC SURVEY

IS ARCHITECTURE
 JONE R. STEIGLER, FAIA
 5649 LA JOLLA BLVD., LA JOLLA, CA 92037
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 EXPIRES 10-31-17
 STATE OF CALIFORNIA

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THE DAVIS RESIDENCE
 8430 LA JOLLA SHORES DRIVE
 LA JOLLA, CA 92037

REVISIONS

NO.	NAME	DATE

PROJECT NUMBER
 2015
 PROJ. MNGR. | DRAWN
 RMD | V.F.
 ISSUE DATE
 03/07/16

SITE SURVEY

A1-01

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REVISIONS

NO.	NAME	DATE

PROJECT NUMBER
2015

PROJ. MNGR. RMD
DRAWN RMD

ISSUE DATE
03/07/16

SITE PLAN

A1-02

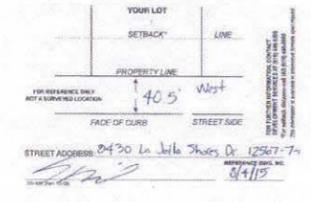
GENERAL NOTES - SITE PLAN

1. U.N.O. ALL EXISTING LANDSCAPING TO REMAIN - PROTECT IN PLACE. SITE SHALL BE RETURNED TO OWNER IN SAME OR BETTER CONDITION THAN AT OUTSET OF PROJECT.
2. THE PROJECT DOES NOT ALTER THE EXISTING GRADE OR DRAINAGE PATH.
3. NO WORK PROPOSED IN THE PUBLIC RITE OF WAY.
4. ROOF DRAINAGE BY GUTTERS INTO SURROUNDING LAWN & VEGETATION.
5. THE PROPOSED ADDITION/REMODEL WILL NOT ALTER NOR CHANGE THE DIRECTION OF THE EXISTING SITE DRAIN.
6. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES.
7. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
8. ARCHAEOLOGICAL AND NATIVE AMERICAN MONITORING WILL BE PROVIDED DURING EXCAVATION. THE PALEONTOLOGICAL MONITORING WILL ONLY BE PROVIDED IF MORE THAN 10,000 CUBIC YARDS OF EARTH IS EXCAVATED OR IF EXCAVATION IS DEEPER THAN 10 FEET. AS CURRENTLY DESIGNED, THE PROJECT WILL NOT REQUIRE PALEONTOLOGICAL MONITORING.
9. SHOULD ANY ADDITIONAL WORK BE REQUIRED DUE TO FURTHER GEOTECHNICAL INVESTIGATION, THE GEOTECHNICAL CONSULTANT MUST COORDINATE WITH THE ARCHAEOLOGIST AND CITY STAFF PRIOR TO THE ONSET OF ANY WORK ON THE PROPERTY. A NATIVE AMERICAN REPRESENTATIVE MUST BE CONSULTED PRIOR TO ANY GEOTECHNICAL OR ARCHAEOLOGICAL WORK ON THE PROPERTY.
10. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY.
11. REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION SUCH AS CURB TO PROPERTY LINE, CURB TO CENTERLINE, EXISTING PUBLIC IMPROVEMENTS, ETC.

KEYNOTES - SITE PLAN

- 1 PER 2013 RESIDENTIAL CODE SECTION R302.1 AND TABLE R302.1(1); WALLS PARALLEL TO AND WITHIN 5 FEET OF THE PROPERTY LINE SHALL BE 1 HOUR FIRE RESISTANCE RATED - WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 WITH EXPOSURE FROM BOTH SIDES. ONE HOUR CONSTRUCTION PER: CBC TABLE 721.1(2) ITEM 15-1 TO BE 7/8" CEMENT PLASTER OVER 2x4 STUDS @ 16" O.C. FILLED WITH MINERAL WOOL INSULATION AND FINISHED WITH 5/8" TYPE "X" GYPSUM BOARD AT INTERIOR.
- 2 PER 2013 RESIDENTIAL CODE SECTION R302.1, EXCEPTION 1 TO TABLE R302.1(1); WALLS, PROJECTIONS, OPENINGS, OR PENETRATIONS IN WALLS PERPENDICULAR TO AND WITHIN 5 FEET OF THE PROPERTY LINE NEED NOT BE FIRE RESISTANCE RATED.
- 3 EXISTING FRONT GATE. NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY.
- 4 REPLACE EXISTING STONE PATIO WITH NEW FLAGSTONE PERMEABLE PAVEMENT PATIO. SET IN LANDSCAPE STONE OR DECOMPOSED GRANITE TO BE SELECTED BY OWNER. MORTAR SET STONE STEPS FROM HOUSE TO PATIO TO MATCH PATIO.
- 5 DOWNSPOUT LOCATION. SLOPE CONTINUOUS ROOF GUTTERS TO DOWNSPOUT LOCATIONS.
- 6 NEW HOUSE NUMBERS FOR FRONT GATE AND STREET MONUMENT. HOUSE NUMBERS SHOULD BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY #40-6.
- 7 PROP D REFERENCE DATUM TAKEN FROM EDGE OF HIGHEST GRADE AT THE BUILDING FOOTPRINT (GRADE DIFFERENCE OF SITE IS LESS THAN 10'-0"). HIGH DATUM IS 34'-3".
- 8 NEW WOOD FRAMED STUCCO & CEDAR FENCE WITH CEDAR GATE TO MATCH EXISTING AT FRONT YARD. NO ACCESS GATE SHALL SWING OPEN INTO THE PUBLIC RIGHT-OF-WAY.
- 9 AT AREAS OF NEW CONSTRUCTION, NO ROOF EAVE SHALL BE PARALLEL TO AND WITHIN 2'-0" OF THE PROPERTY LINE PER 2013 RESIDENTIAL CODE SECTION R302.1 AND TABLE R302.1(1)
- 10 LOW DATUM MEASURED AT LOWEST GRADE 5'-0" FROM BUILDING FOOTPRINT. LOW DATUM IS 31'-3".

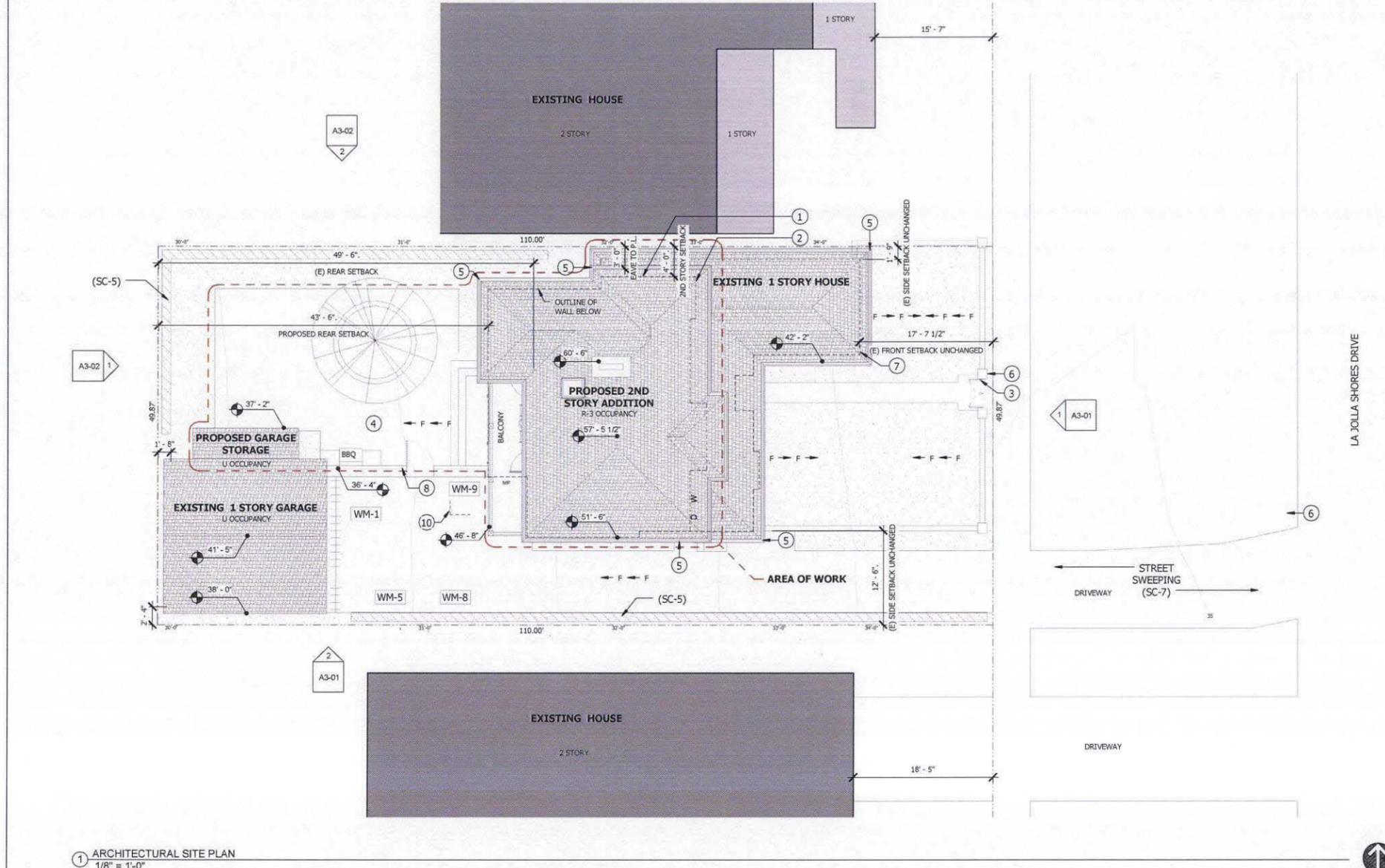
CURB TO PROPERTY LINE



GRADING DATA TABLE

AMOUNT OF CUT:	-35.66 CU. FT. (PAD FOOTINGS)
	-204.42 CU. FT. (CONT. FOOTINGS)
AMOUNT OF FILL:	0
TOTAL:	-240.07 CU. FT.
DEPTH OF CUT:	1'-6"

*NOTE: AMOUNT OF SOIL REMOVED EQUALS THE VOLUME OF NEW FOOTINGS (REFER TO STRUCTURAL DRAWINGS). NO NEW SOIL ADDED.



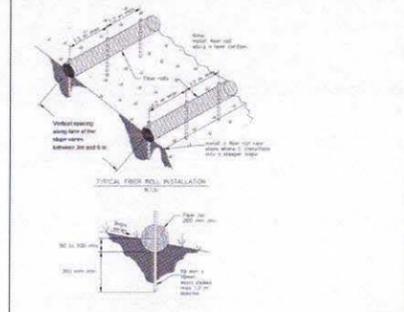
1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

BMP LEGEND

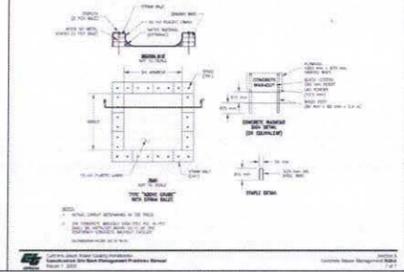
DESCRIPTION	STD. DWG.*	SYMBOL
LIMITS OF CONSTRUCTION AREA (PRESERVING EXISTING VEGETATION)	SS-2	-----
DIRECTION/ COURSE OF FLOW		F → F →
FIBER ROLLS (STRAW WATTLES)	SC-5	▨
STABILIZED CONSTRUCTION ENTRANCE	TC-1	▨
MATERIALS DELIVERY AND STORAGE AREA	WM-1	WM-1
TEMPORARY TRASH/ SOLID WASTE	WM-5	WM-5
HAZARDOUS AND CONCRETE WASTE MANAGEMENT	WM-6, WM-8	WM-6, WM-8
SANITARY WASTE (PORTABLE TOILET)	WM-9	WM-9
STREET SWEEPING	SC-7	(NO SYMBOL)

* STANDARD CALTRANS DRAWINGS (EC-5, WM-5, ETC.) AT: <http://www.dot.ca.gov/>

Fiber Rolls SC-5



Concrete Waste Management WM-8



Page 2 of 2 City of San Diego - Development Services Department - "Minor" Water Pollution Control Plan (MWPCP)

STEP 2: IDENTIFY CONSTRUCTION STORM WATER BMPs

Unprotected construction sites have the potential to discharge sediment and other pollutants into local waterways. All construction projects are required to reduce pollution to the maximum extent practicable by implementing best management practices (BMPs). Section 5 of the Storm Water Standards Manual outlines the requirements for Construction Stormwater BMPs. There are five categories.

1. Erosion control practices
2. Velocity reduction
3. Sediment control practices
4. Offsite sediment tracking control
5. General site and materials management

BMPs from each of the five categories must be used together as a system in order to prevent potential discharges.

If you answer "Yes" to any of the questions below, your project is subject to Table 1 on the following page (Minimum Required Standard Construction Stormwater BMPs). As noted in the table, please select at least the minimum number of required BMPs, or as many as are feasible for your project. If no BMP is selected, an explanation must be given in the line provided. The following questions are intended to aid in determining construction BMP requirements for your project, please check box either "Yes" or "No".

1. Will there be soil disturbing activities that will result in exposed soil areas? (This includes minor grading and trenching.) Reference Table Items A	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2. Will there be asphalt paving, including patching? Reference Table Items C and E	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
3. Will there be slurries from mortar mixing, curing, or concrete saw cutting? Reference Table Items C and E	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
4. Will there be solid waste from concrete demolition and removal, wall construction, or form work? Reference Table Items C and E	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
5. Will there be stockpiling (soil, cement, asphalt, concrete, solid waste) for over 24 hours? Reference Table Items C and E	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
6. Will there be decontaminating operations? Reference Table Items C and C	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
7. Will there be temporary on-site storage of construction materials, including mortar mix, raw landscaping and soil stabilization materials, treated lumber, rebar, and plastic mortar bracing materials? Reference Table Items D and E	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
8. Will trash or solid waste product be generated from this project? Reference Table Items E	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
9. Will construction equipment be stored on site (e.g., fluids, oils, tracks, etc.)? Reference Table Items E	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
10. Will Portable Sanitary Restrooms ("Porta-potty") be used on the site? Reference Table Items E	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

City of San Diego - Development Services Department - "Minor" Water Pollution Control Plan (MWPCP) Page 3 of 2

TABLE 1
MINIMUM REQUIRED STANDARD CONSTRUCTION STORMWATER BMPs
(Storm Water Standards Manual)

Minimum Required Best Management Practices	CALTRANS Stormwater Handbook Detail	Check at least one BMP from each section below	If your project requires an BMP from any of the sections below, explain within spaces provided
A. Select Erosion Control Method			
Vegetative Stabilization (Planting) (Stormwater)	SS-2, SS-4	<input type="checkbox"/>	
Hydraulic Stabilization (Hydroseeding) (Stormwater)	SS-4	<input type="checkbox"/>	
Handed Fiber Mats or Stabilized Fiber Mats (Stormwater)	SS-3	<input type="checkbox"/>	
Physical Stabilization (Storm Control) (Stormwater)	SS-7	<input type="checkbox"/>	
Lot Surface Protection Detail	SS-2	<input type="checkbox"/>	
Mulch, Straw, Woodchips, Soil Application	SS-4, SS-8	<input checked="" type="checkbox"/>	
B. If Result of Disturbing Operations is concentrated, velocity must be controlled using an energy dissipater			
Energy Dissipater Outlet Protection	SS-10	<input type="checkbox"/>	
C. Select Sediment Control method for all disturbed areas (Choose at least one)			
Silt Fence	SC-1	<input type="checkbox"/>	
Fiber Rolls (Strom Wattles)	SC-5	<input checked="" type="checkbox"/>	
Grass Bags	SC-4, SC-6	<input type="checkbox"/>	
Decontaminating	SC-2	<input type="checkbox"/>	
Storm Drain Inlet Protection	SC-18	<input type="checkbox"/>	
D. Select method for preventing offsite tracking of sediment (choose at least one)			
Stabilized Construction Entrance	TC-1	<input type="checkbox"/>	
Stationed Soil Wash	TC-3	<input type="checkbox"/>	
Strom Sweeper & Vacuuming	SC-7	<input checked="" type="checkbox"/>	
E. Select the General Site Management BMPs for each waste that will be on site			
Material Delivery & Storage	WM-1	<input checked="" type="checkbox"/>	
Spill Prevention & Control	WM-4	<input checked="" type="checkbox"/>	
Concrete Waste Management	WM-6	<input checked="" type="checkbox"/>	
Hazardous Waste Management	WM-8	<input checked="" type="checkbox"/>	
Sanitary Waste Management	WM-9	<input checked="" type="checkbox"/>	
Hazardous Waste Management	WM-6	<input type="checkbox"/>	

The applicant must print and sign the following certification before a permit will be issued:
 I have read and understand that the City of San Diego has adopted measures for managing stormwater runoff, including storm water from construction and land development activities. I certify that the BMPs selected on this form will be implemented to minimize the potential negative impacts of this project's construction and land development activities on water quality. Further steps to control, monitor, document, or verify the selected BMPs to ensure their effectiveness. I also understand that compliance with the City Storm Water Standards may result in enforcement by the City, including fines, order and court orders, or other action.

Signature: *[Signature]* Date: 3/4/2015

City of San Diego
 1222 First Ave., MS-202
 San Diego, CA 92101
 (619) 448-3000

"Minor" Water Pollution Control Plan (MWPCP) FORM DS-570
 October 2012

MWPCP REQUIREMENTS

The City requires a Water Pollution Control Plan (WPCP), a Minor Water Pollution Control Plan (MWPCP) or a Storm Water Pollution Prevention Plan (SWPPP), for all construction projects that have potential for storm water pollution. Some construction project types, with an interior plumbing, electrical and mechanical work, may be considered exempt. The appropriate plan is determined by the following guidelines:

1. Any project subject to the Construction General Permit (CGP) (typically projects with 1 acre or more of ground disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (permit which requires a SWPPP) is not required for the project, see below.
2. The following approval types (see Item DS-2022) require a WPCP, Grading, Public Right-of-Way, and Demolition/Removal. Exemptions may be made following use of this MWPCP for minor work.
3. The following approval types (see Item DS-2023) require a WPCP whenever a substantial for Drainage and Grading activity is required. Exemptions may be made following use of this MWPCP for minor work.
4. This MWPCP may be utilized for projects that create less than 1,000 sq ft of ground disturbance and have less than a 5% elevation differential over the entire project area.

NOTE: It is the responsibility of the project owner to ensure that all construction activities comply with local and state regulations, including San Diego Municipal Code Section 58.03. The guidance and template provided here for the applicant's convenience and do not absolve responsibility on part of the project owner to determine the appropriate level of BMP planning and implementation to prevent pollutant discharges.

STEP 1: IDENTIFY RELEVANT PROJECT INFORMATION

Applicant Name: **RUBEN DAVIS** Contact Name: **ROBERT DAVISON** Project Number: **424773**

Contact Information:
 Mailing Address: **8430 LA JOLLA SHORES DR., LA JOLLA, CA 92037**
 Telephone No: **858-462-8555** E-mail Address: **rda1@isarchitecture.com**

Project Information:
 Address: **8430 LA JOLLA SHORES DRIVE** City: **LA JOLLA** State: **CA** Zip Code: **92037**
 San Diego, CA

APR 30 2015 10:30 AM
 Permit Application Number: **1436196**

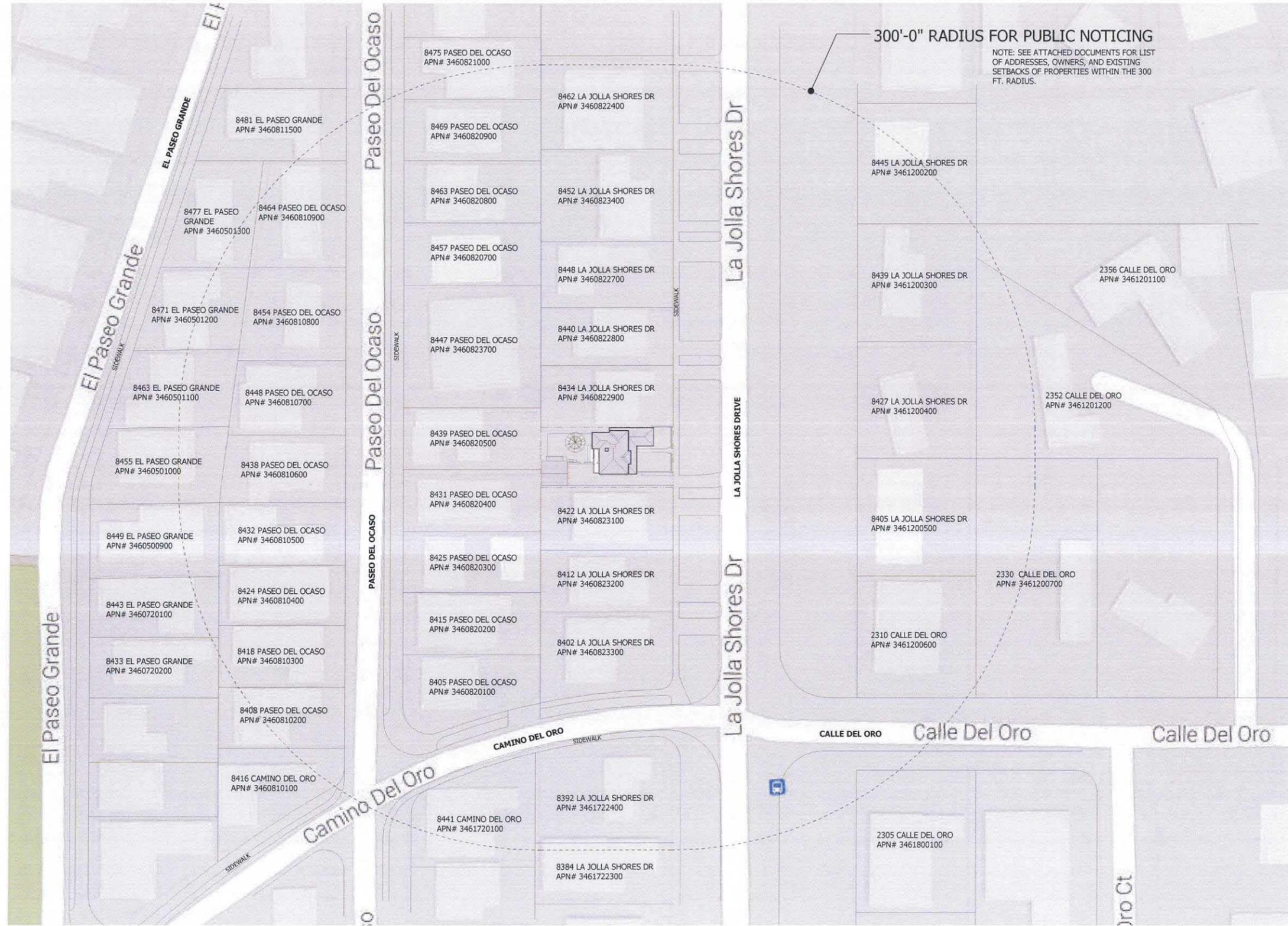
Final Project Description:
 Addition of single family home. Add second story with two bedrooms and two bathrooms. Enlarge existing front porch living room. Enlarge existing garage to accommodate garden and storage.

Estimated Project Start Date: **4/8/2015** Estimated Project Finish Date: **8/8/2015**
 Estimated Amount of Disturbed Area: **387 sq ft** Estimated Elevation over and over Project Area: **(+10 to +20) ft**

Total Lot Size in sq ft: **5,477 sq ft**

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
 (Sign required. See instructions in appendix to determine format for returns with deadline.)
 DS-570 (10-12)

424773



① SITE DEVELOPMENT PUBLIC NOTICING
1" = 40'-0"

IS ARCHITECTURE
JONE R. STIEGLER, FAIA

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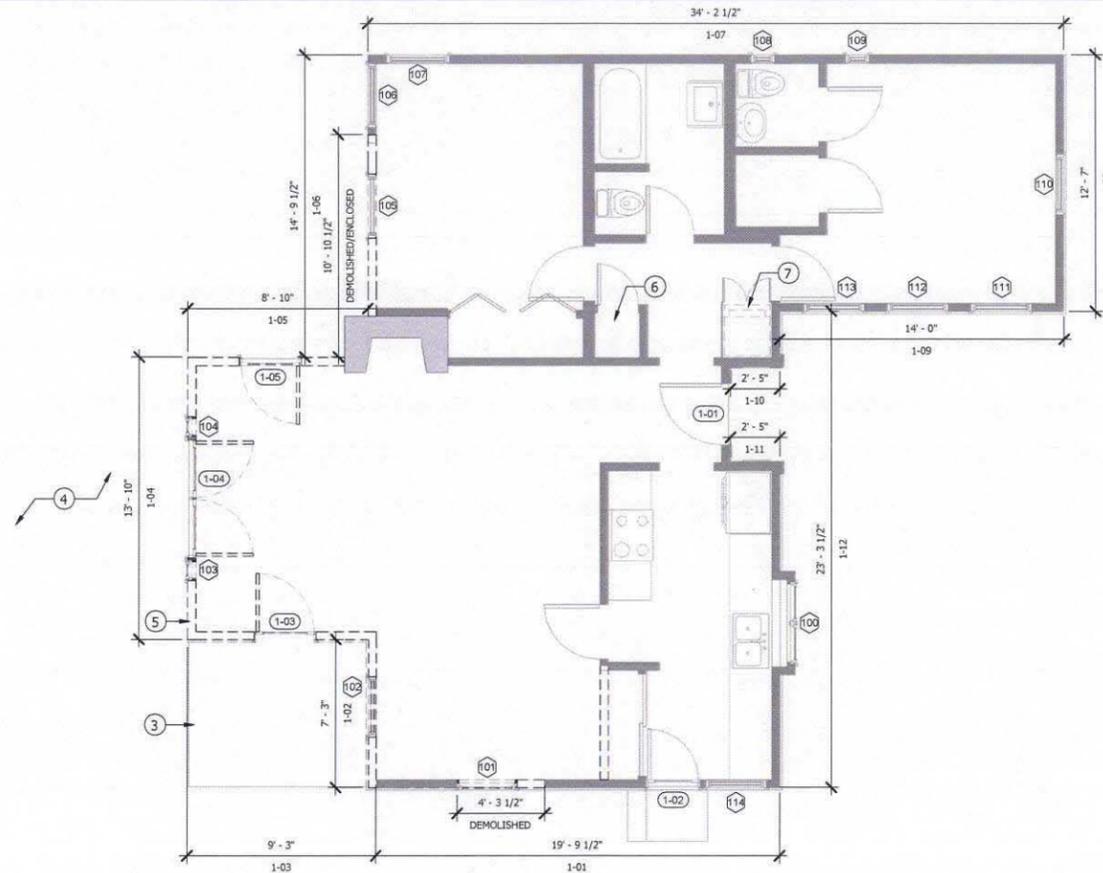
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LA JOLLA, CA 92037

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NO.	NAME	DATE

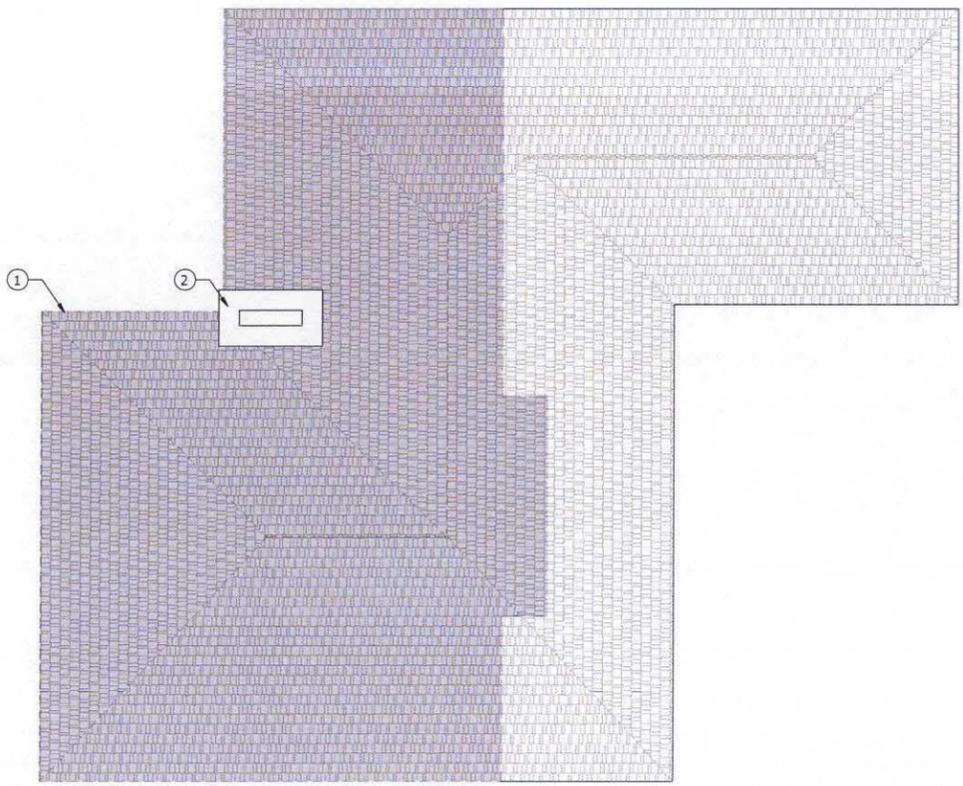
PROJECT NUMBER 2015	
PROJ. MNGR. RMD	DRAWN BW
ISSUE DATE 03/07/16	

SITE DEVELOPMENT PUBLIC NOTICING

A1-03



1 FIRST FLOOR - DEMO
1/4" = 1'-0"



2 ROOF - DEMOLITION
1/4" = 1'-0"

COASTAL EXEMPTION CALCULATION OF PERIMETER LINEAR FOOTAGE

WALL	EXISTING	REMAINING	DEMOLISHED
FIRST FLOOR			
1-01	19' - 9 1/2"	15' - 6"	4' - 3 1/2"
1-02	7' - 3"	0' - 0"	7' - 3"
1-03	9' - 3"	0' - 0"	9' - 3"
1-04	13' - 10"	0' - 0"	13' - 10"
1-05	8' - 10"	0' - 0"	8' - 10"
1-06	14' - 9 1/2"	3' - 11"	10' - 10 1/2"
1-07	34' - 2 1/2"	34' - 2 1/2"	0' - 0"
1-08	12' - 7"	12' - 7"	0' - 0"
1-09	14' - 0"	14' - 0"	0' - 0"
1-10	2' - 5"	2' - 5"	0' - 0"
1-11	2' - 5"	2' - 5"	0' - 0"
1-12	23' - 3 1/2"	23' - 3 1/2"	0' - 0"
SUBTOTAL (1st)	162' - 8"	110' - 9 1/2"	52' - 0 1/2"
TOTAL	EXISTING 162' - 8"	REMAINING 108' - 4"	DEMOLISHED 54' - 4"
		67% REMAINING	
(81'-4" = 50%)			

WALL LEGEND



GENERAL NOTES - DEMOLITION

- ALL EXISTING WINDOWS AND DOORS SHALL REMAIN, UNLESS NOTED OTHERWISE.
- ALL EXISTING EXTERIOR DOORS SHALL REMAIN, UNLESS NOTED OTHERWISE.
- EXISTING ROOF FRAMING AND ROOFING SHALL REMAIN INTACT, UNLESS NOTED OTHERWISE.
- ORIGINAL FLOORING SHALL REMAIN, UNLESS NOTED OTHERWISE.
- EXISTING WALLS & CEILING FINISHES SHALL REMAIN INTACT, UNLESS NOTED OTHERWISE.
- THE PROJECT IS IN THE COASTAL REGION AND MUST KEEP 50% OF THE EXISTING EXTERIOR WALLS INTACT TO BE COASTAL DEVELOPMENT EXEMPT.
- PROTECT IN PLACE ALL CONSTRUCTION THAT IS EXISTING TO REMAIN.

KEYNOTES - DEMOLITION

- REMOVE EXISTING ROOF AND ROOF FRAMING.
- EXISTING FIREPLACE TO REMAIN. MASONRY CHIMNEY TO BE REBUILT AND HEIGHTENED. REMOVE ONLY AS REQUIRED TO COMPLETE NEW WORK.
- PORCH TO BE ENCLOSED. REMOVE EXISTING PORCH FRAMING AS REQUIRED TO COMPLETE NEW WORK.
- EXISTING WOOD DECK TO BE DEMOLISHED. (E) STONE PATIO TO BE REPLACED WITH NEW SAND SET STONE PATIO OF EQUAL OR SMALLER SIZE THAN EXISTING. REFER TO SITE SURVEY & SITE PLAN.
- REMOVE EXISTING ELECTRICAL PANEL.
- REMOVE EXISTING FURNACE.
- REMOVE EXISTING WASHER DRYER AND CAP UTILITIES. RETAIN WASHER AND DRYER AND REINSTALL IN NEW LOCATION.

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V. 858-456-8555 F. 858-456-8566
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LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

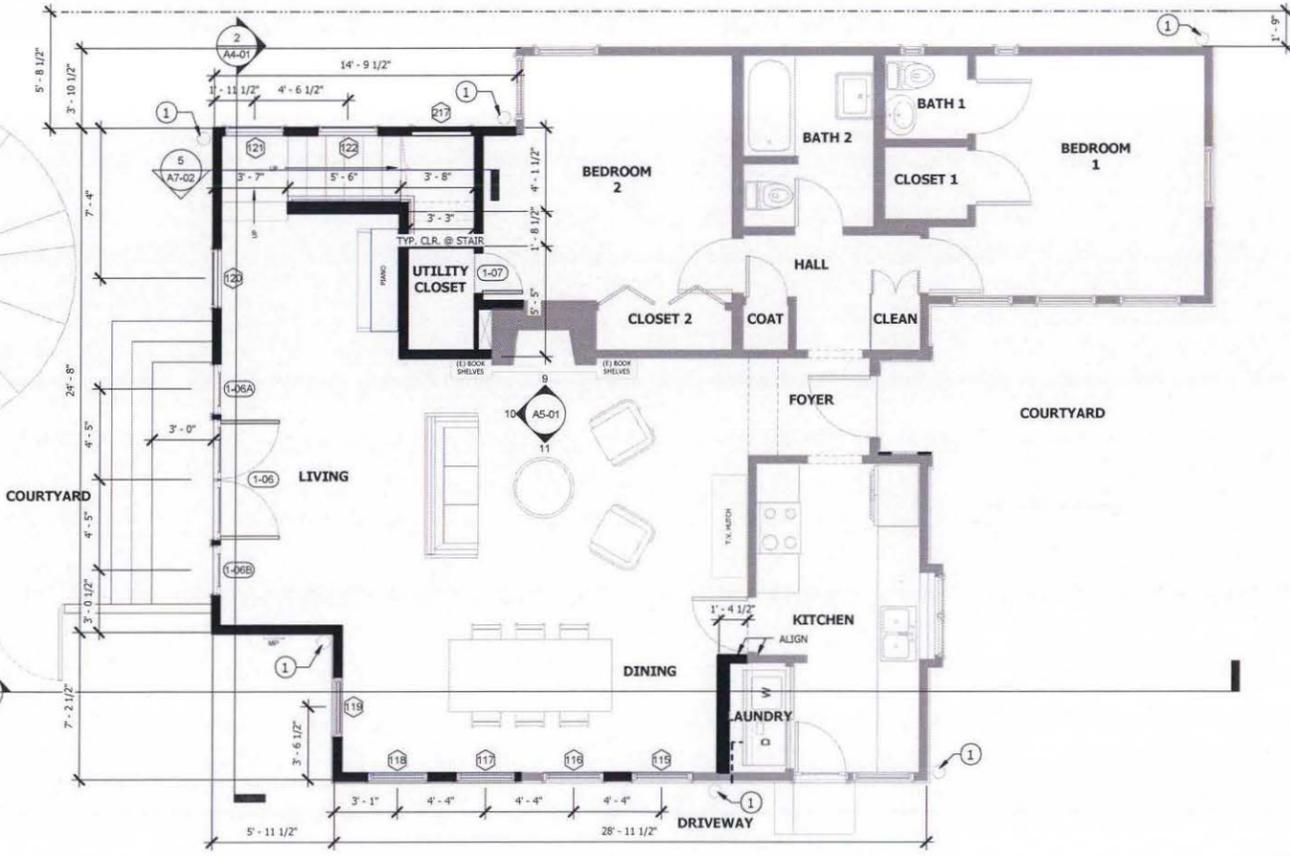
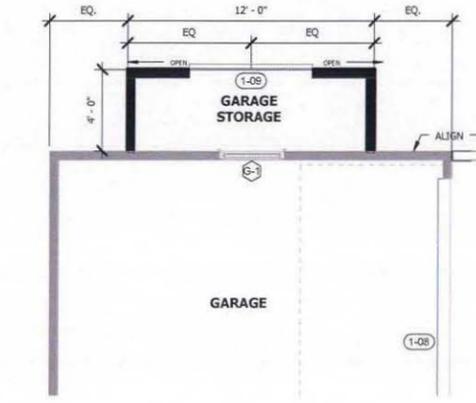
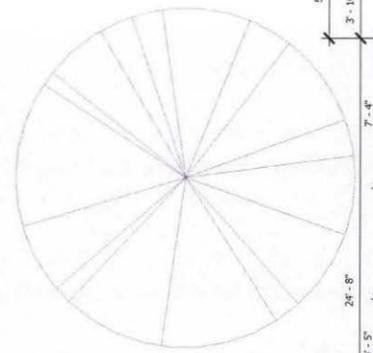
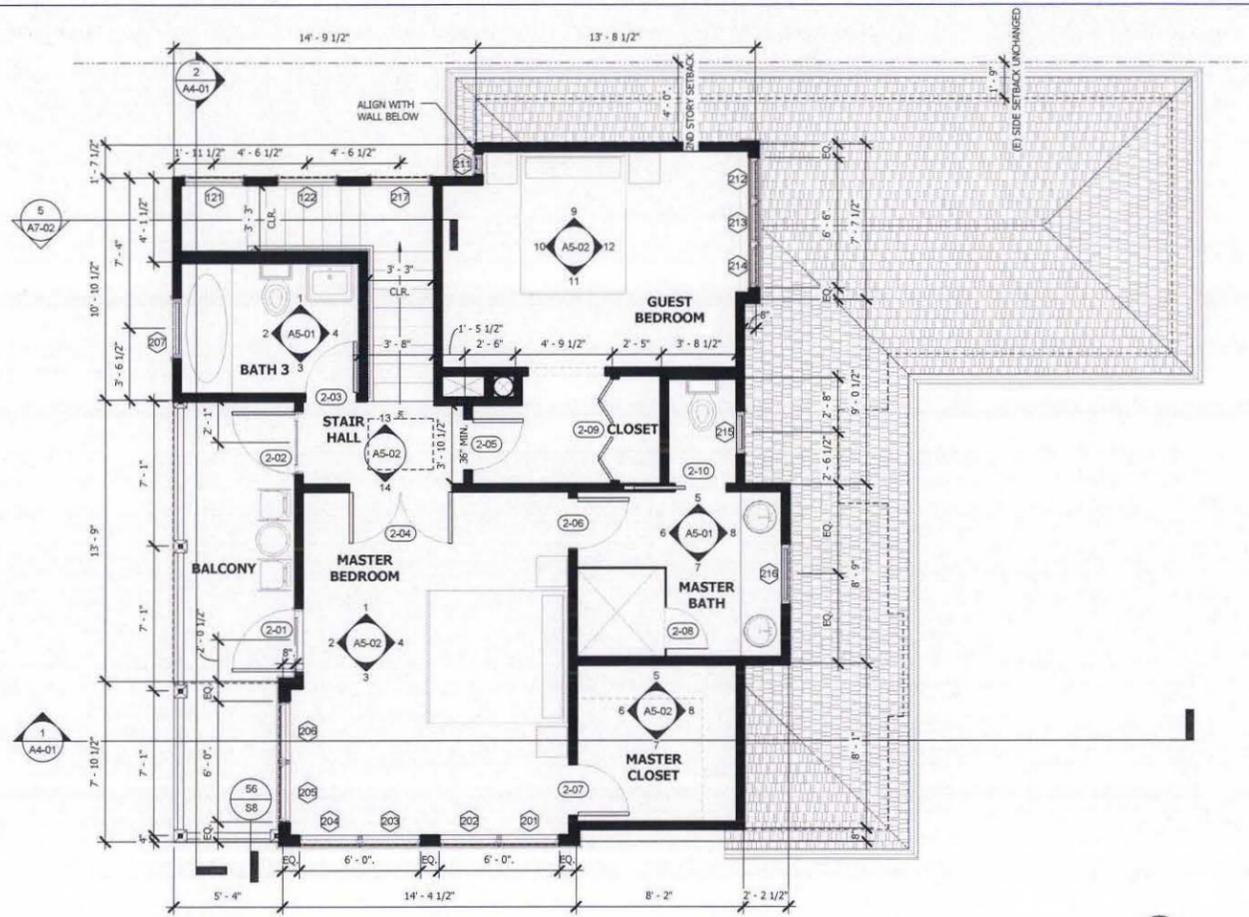
PROJECT NUMBER 2015	
PROJ. MNGR. RMD	DRAWN RMD
ISSUE DATE 03/07/16	

DEMOLITION PLANS

A2-01

WALL/FLOOR/ROOF LEGEND

EXISTING CONSTRUCTION TO REMAIN
 NEW TO BE CONSTRUCTED / INFILLED:
 (MATCH ADJACENT EXISTING WALL THICKNESS)



GENERAL NOTES - FLOOR PLAN

- PROJECTS LOCATED IN A HIGH FIRE SEVERITY ZONE SHALL CONFORM WITH CBC CHAPTER 7A "MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDLIFE EXPOSURE."
- REFER TO WINDOW AND DOOR SCHEDULE FOR GLAZING. PROJECTS LOCATED IN A HIGH FIRE SEVERITY ZONE SHALL: BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
- WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
- ALL RESTROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS PROVIDE A MECHANICAL VENTILATION SYSTEM (EXHAUST FANS) CAPABLE OF PROVIDING FIVE COMPLETE AIR CHANGES PER HOUR AND DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3 FEET FROM ANY EXTERIOR OPENING. VENT EXHAUST FANS TO OUTSIDE AIR WITH BACK-DRAFT DAMPER.
- MINIMUM CLEARANCE FROM THE CENTER LINE OF WATER CLOSET TO FACE OF ADJACENT WALL TO BE 15" AND 24" CLEAR IN FRONT OF WATER CLOSET.
- PLUMBING FIXTURES AND HARDWARE SHALL COMPLY WITH CURRENT WATER CONSERVATION REQUIREMENTS. BACKFLOW PREVENTER TO BE PER C.P.C.
 LOW FLOW TOILETS: 1.28 GALLONS PER FLUSH
 SHOWER HEADS: 2.0 GALLONS PER MINUTE
 LAVATORY FAUCETS: 1.5 GALLONS PER MINUTE
 KITCHEN FAUCETS: 1.8 GALLONS PER MINUTE
- SHOWER COMPARTMENTS AND BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6'-0" ABOVE THE FLOOR. SHOWER PANS(S) SHALL BE HOT-MOPPED WITH 4" BUILT UP DAM UNLESS NOTED OTHERWISE. TILE FINISH PER INTERIOR ELEVATIONS AT SHOWER STALL FLOOR AND WALLS TO CEILING HEIGHT UNLESS OTHERWISE NOTED. TILE DETAILING PER CERAMIC TILE INSTITUTE STANDARDS.
- PROVIDE MINIMUM R-13 INSULATION AT EXTERIOR WALLS, R-13 INSULATION AT PLUMBING WALLS AND INTERIOR WALLS SURROUNDING BATHROOMS FOR SOUND ATTENUATION, R-19 FOR FLOORS, AND R-30 INSULATION IN ALL NEW ATTICS, PER CALIFORNIA'S ENERGY CODE TITLE 24, PART 6 REQUIREMENTS, UNLESS OTHERWISE NOTED.
- STAIRS SHALL HAVE 10" MIN. TREADS (RUN) AND 7.75" MAX-4" MIN. RISER. TREADS SHALL BE OF UNIFORM SIZE AND SHAPE, EXCEPT LARGEST TREAD WITHIN ANY FLIGHT NOT TO EXCEED THE SMALLEST BY MORE THAN 3/8" PER 2013 CBC SEC. 1009.
- NEW FINISHES IN SELECT LOCATIONS, REFER TO PLANS ELEVATIONS AND SCHEDULES.
- PROVIDE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT COMPLIES WITH ALL OF THE FOLLOWING: MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (5 SQ. FT. AT GRADE), MINIMUM 20 IN. NET CLEAR OPENING WIDTH. MIN 24 IN. NET CLEAR OPENING HEIGHT.

KEYNOTES - FLOOR PLAN

- STORM WATER ENERGY DISSIPATORS. STORM WATER ENERGY DISSIPATORS WILL BE INSTALLED TO OBTAIN THE GOALS OF THE SAN DIEGO DRAINAGE DESIGN MANUAL, WHICH IS TO REDUCE VELOCITY AT STORM WATER DISCHARGE LOCATIONS. POST-PROJECT STORM WATER DISCHARGE OUTFLOWS ARE EQUAL TO OR LESS THAN THE PRE-PROJECT CONDITIONS.

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FLOOR PLANS

A2-02



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ROOF PLAN

A2-03

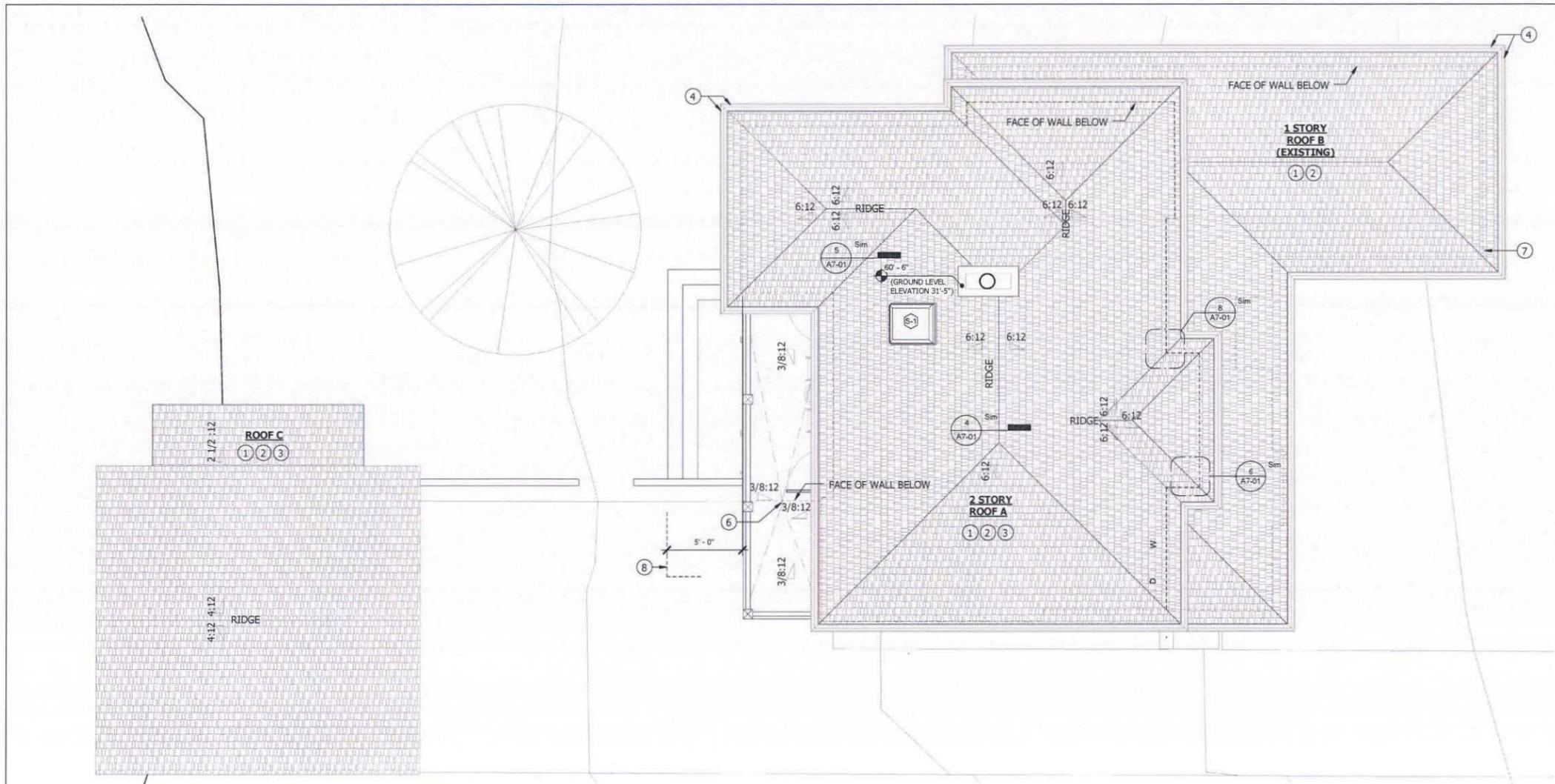
GENERAL NOTES - ROOF PLAN

- WHERE INDICATED, NEW CLASS "A" ROOFING ASSEMBLY, ROOFING TILE SHALL BE US-TILE (OR EQUAL TO MATCH EXISTING) ICC#ESR-1017: 1-PIECE, COLOR TO MATCH EXISTING.
- EXISTING ROOF TILES OVER EXISTING HOUSE TO REMAIN.
- RADIANT ROOF BARRIER REQUIRED AT NEW ROOF FRAMING.
- PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS, ALL FLASHING JOINTS TO BE SEALED WITH MASTIC OR SOLDERED.
- PROVIDE FIRESTOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT SUCH VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE. COORDINATE LOCATIONS WITH ARCHITECT.
- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.
- ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS OR SHALL BE PROTECTED BY LOUVERS AND 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ROTATION IN ONLY ONE DIRECTION.
- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN (OR SNOW). THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENING OF 1/4 INCH IN DIMENSION.
- ROOF MATERIAL FASTENERS SHALL BE RATED TO SUSTAIN A MINIMUM WIND OF 80 M.P.H.
- USE CORROSION RESISTIVE NAILS AND FASTENERS. AVOID CONTACT BETWEEN DISSIMILAR METALS.
- HIGHEST ROOF ELEVATION: 57'-5 1/2"
HIGHEST ELEVATION (CHIMNEY): 60'-6"
REFERENCE DATUM (LOW): 31'-3"
REFERENCE DATUM (HIGH): 34'-3"
PLUMB LINE HEIGHT: 28'-3"

OVERALL STRUCTURE HEIGHT: 29'-3"
(HEIGHT + GRADE DIFFERENTIAL)

KEYNOTES - ROOF PLAN

- NEW FINISH ROOF: GAF/ELK GRAND SEQUOIA IN "WEATHERED WOOD" COLOR ASPHALT COMPOSITE SHINGLES OVER 15# ASPHALT BUILDING PAPER. COPPER FLASHING (RIDGE, VALLEY, PENETRATION, EDGE, ETC.).
- NEW ROOF VENTILATION. CONTINUOUS RIDGE VENTS AND EAVE VENTS PER ROOF VENTILATION CALCULATION SCHEDULE BELOW.
- NEW ROOF FRAMING AND SHEATHING PER STRUCTURAL.
- NEW CONTINUOUS GUTTERS - AMERIMAX K-STYLE 5" WHITE ALUMINUM. SEE SITE PLAN FOR GUTTER LOCATIONS.
- ROOF DECK - DEX-O-TREX. SEE DETAIL 11/A7-01.
- BALCONY DRAIN; DISCHARGED TO STORM WATER ENERGY DISSIPATORS BELOW.
- PROP D REFERENCE DATUM TAKEN FROM EDGE OF HIGHEST GRADE AT THE BUILDING FOOTPRINT (GRADE DIFFERENCE OF SITE IS LESS THAN 10'-0"). HIGH DATUM IS 34'-3".
- LOW DATUM MEASURED AT LOWEST GRADE 5'-0" FROM BUILDING FOOTPRINT. LOW DATUM IS 31'-3".

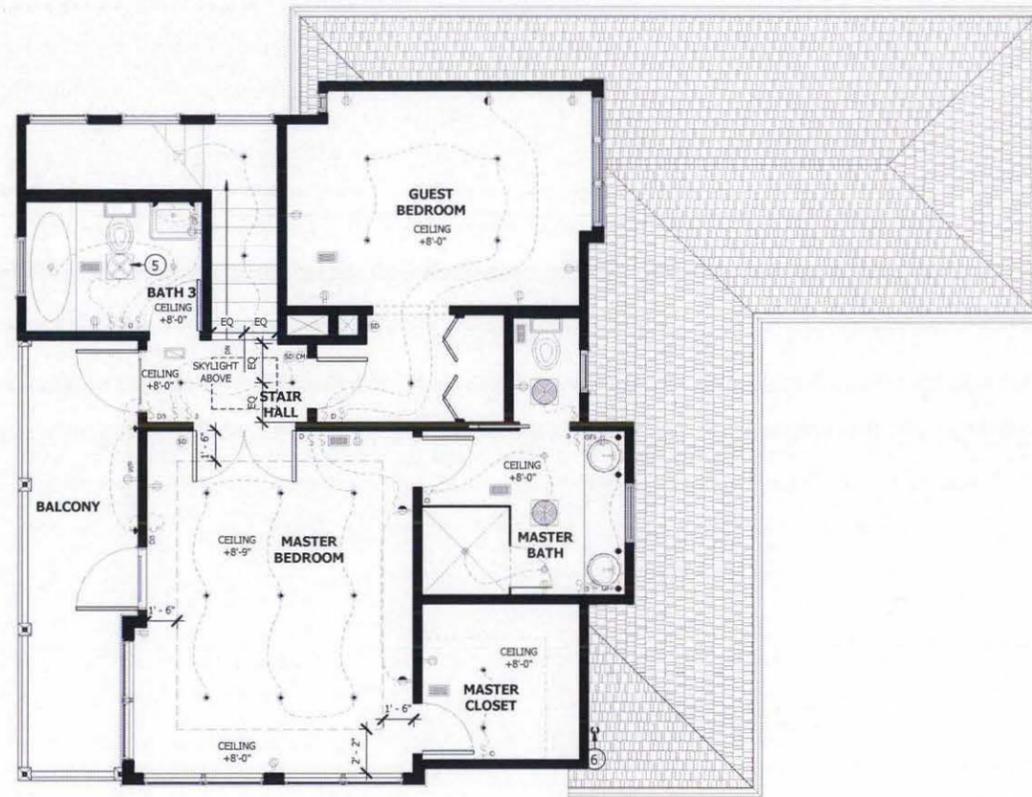


2 ROOF
1/4" = 1'-0"

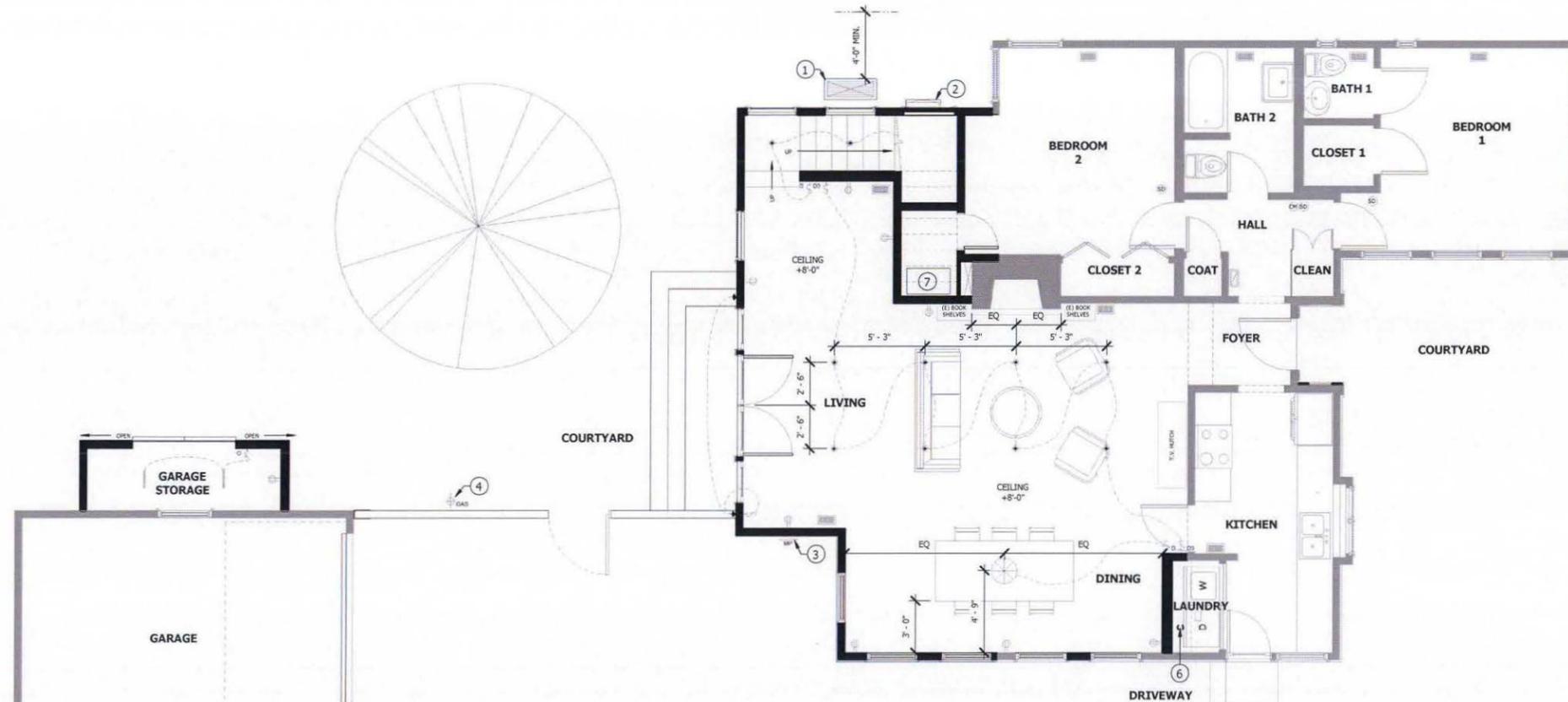
ROOF VENTILATION CALCULATIONS

ROOF MARK	ROOF AREA (SQ. FT.)	REQ. VENT AREA (SQ. FT.)	REQ. VENT AREA (SQ. IN.)	NUMBER OF VENTS REQ.	NUMBER OF VENTS PROVIDED	VENT AREA PROVIDED (SQ. IN.)
A	1025	ROOF AREA/150 = 6.84	SF. VENT AREA * 144 = 1025.6	15	26	949 SQ. IN.
B	563	ROOF AREA/150 = 3.76	SF. VENT AREA * 144 = 542	15	15	547 SQ. IN.
C	58	N/A	N/A	N/A	N/A	N/A
TOTALS:			1463.6 SQ. IN.	41	41	1496 SQ. IN.

NOTE: BRANDGUARD RV2031 OR EQUAL CONTINUOUS RIDGE VENTS AT ALL RIDGES.
NOTE: THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED - (PER CBC 1203.2)



2 ELECTRICAL - SECOND FLOOR
1/4" = 1'-0"



1 ELECTRICAL - FIRST FLOOR
1/4" = 1'-0"



GENERAL NOTES - ELECTRICAL

1. THIS ELECTRICAL PLAN MAY NOT SHOW ALL REQUIRED OUTLETS. REFER TO NATIONAL ELECTRICAL CODE AND APPLIANCE CUT SHEETS FOR FINAL DETERMINATION OF NUMBER AND PLACEMENT OF ELECTRICAL OUTLETS. ALL LIGHTING TO COMPLY WITH 2013 TITLE 24.
2. REFER TO GENERAL CONSTRUCTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. ELECTRICAL CONTRACTOR TO VERIFY USE OF CORRECT DIMMERS TO TYPE OF LIGHT FIXTURE. LOW VOLTAGE, LINE VOLTAGE AND FLUORESCENT FIXTURES REQUIRE A DIFFERENT DIMMER TYPE.
4. HIGH EFFICACY AND LOW EFFICACY FIXTURES ARE SWITCHED SEPARATELY.
5. RECESSED FIXTURES INSTALLED IN INSULATED CEILINGS ARE RATED "ICAT" AND CERTIFIED ASTM E283 OR EQUIVALENT. INSTALLATION IS AIRTIGHT.
6. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTING EXISTING WIRING TO DETERMINE EXTENT OF ELECTRICAL UPGRADE NECESSARY.
7. PROVIDE GFI PROTECTED CIRCUITS AT ALL LOCATIONS REQUIRED BY NEC, ARTICLE 210-8(a) AND WITHIN 6'-0" OF ALL SINKS.
8. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
9. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE OTHER ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
10. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING POLLUTION ORDINANCE.
11. ALL INCANDESCENT EXTERIOR LIGHTING MUST HAVE MOTION CONTROL SENSORS WITH AUTO-OFF OPERATION. EXTERIOR MOTION SENSORS MUST INCLUDE PHOTO CONTROL TO KEEP LIGHTS OFF DURING DAYLIGHT HOURS.

KEYNOTES - ELECTRICAL

NOTE: REFER TO "SCHEDULES - LIGHTING, MECHANICAL, ELECTRICAL, PLUMBING, EQUIPMENT" FOR SYMBOL LEGENDS.

1. NEW HEAT PUMP HVAC SYSTEM AND NEW DUCTWORK FOR ENTIRE HOUSE.

INSTALL PER SECTION 131.0461(5) WHICH ALLOWS EQUIPMENT TO BE LOCATED IN SIDE YARDS PROVIDED MECHANICAL EQUIPMENT IS 4'-0" FROM PROPERTY LINE OR COMPLIES WITH APPLICABLE SOUND LEVEL LIMITS IN ACCORDANCE WITH SECTION 59.5.0401.

HEATING CAPACITY: HSPF/COP = 8.3, 59,000-53,400BTU
COOLING CAPACITY: SEER = 14, EER = 11.7
2. TANKLESS HOT WATER HEATER RINNAI #R50LSI, OR EQUAL. 0.2 GALLON, MINIMUM 0.82 ENERGY FACTOR.
3. NEW 200 AMP ELECTRICAL PANEL.
4. NEW GAS STUB-OUT FOR OWNER PROVIDED BBQ GRILL.
5. 70 CFM MIN. BATH & IAQ FAN. CONTINUOUS OPERATING 1 SONE EXHAUST FAN. FAN TO HAVE A TIMER SWITCH WITH MANUAL OFF.
6. DRYER VENT TO RUN VERTICALLY FROM BACK OF DRYER OUT THROUGH FIRST FLOOR ROOF ABOVE (LESS THAN 12 FEET IN LENGTH). THE MAXIMUM HORIZONTAL AND VERTICAL LENGTH SHALL NOT EXCEED 14 FEET WITH TWO OFFSETS. THE MAXIMUM LENGTH IS REDUCED 2 FEET FOR EACH ADDITIONAL BEND. THE DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3'-0" FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING, PER 2013 CBC. ALL EXHAUST DUCTS AND DRYER VENTS SHALL HAVE AUTOMATIC OR BACK DRAFT DAMPERS.
7. NEW FAN UNIT FOR HEAT PUMP. ALL ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL BE PROTECTED WITH 5/8" GYPSUM BOARD ON THE ENCLOSED SIDE.

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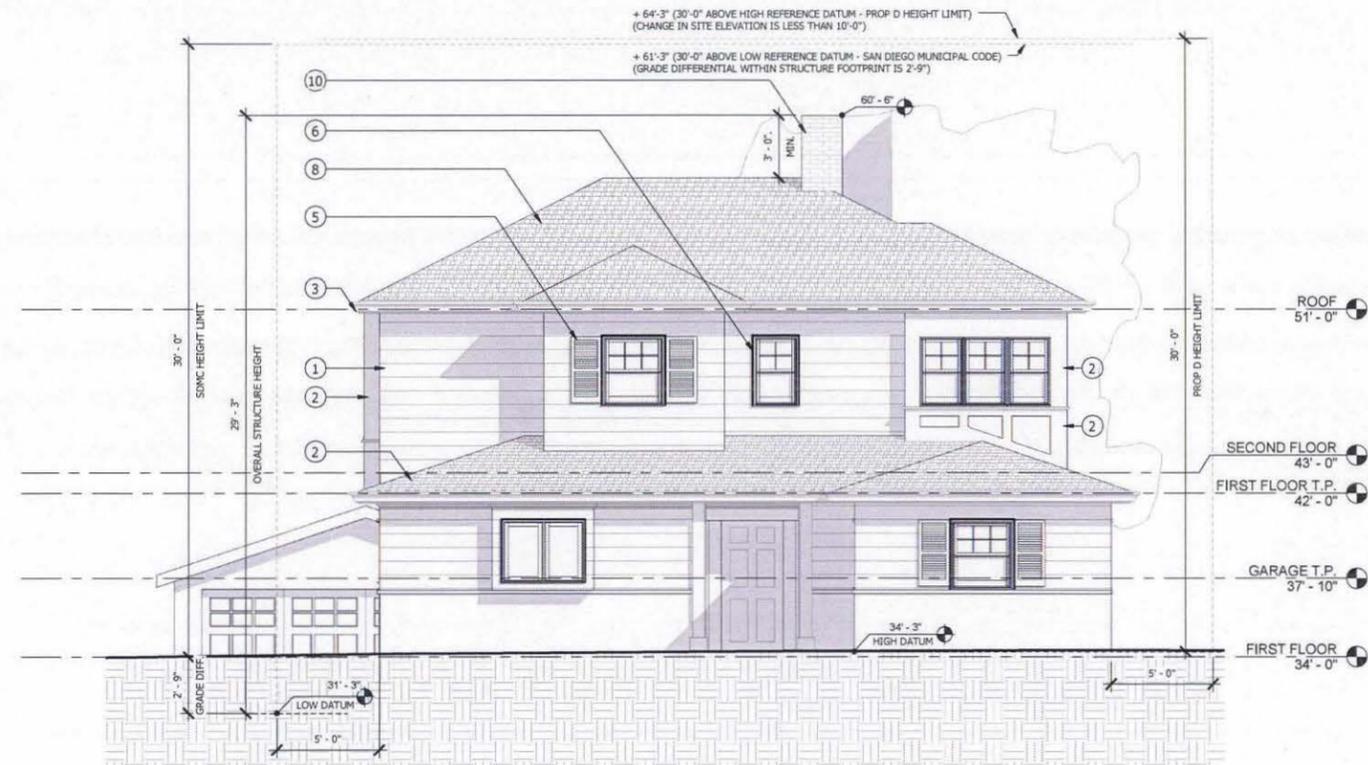
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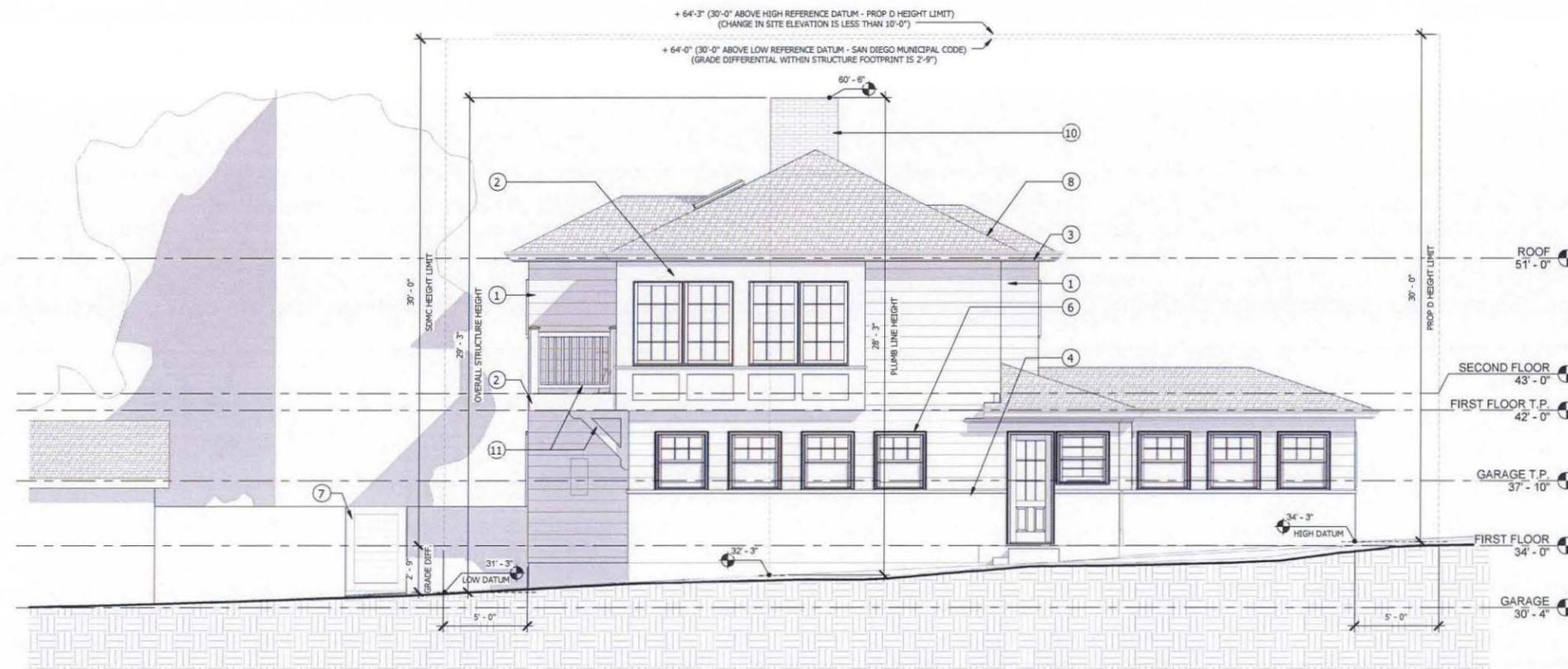
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**MECHANICAL,
ELECTRICAL,
PLUMBING,
FIRE-SAFETY,
&
CEILING
PLANS**

A2-04



1 EAST
1/4" = 1'-0"



2 SOUTH
1/4" = 1'-0"

GENERAL NOTES - EXTERIOR

1. EXTERIOR CLADDING/FINISH TO REMAIN UNLESS NOTED OTHERWISE. AT AREAS OF NEW WORK, CLADDING/FINISH SHALL BE INSTALLED/PATCHED SO AS TO CREATE A SEAMLESS APPEARANCE WHEN TRANSITIONING TO EXISTING.
2. ALL WINDOWS AND DOORS ARE EXISTING UNLESS NOTED OTHERWISE. REFER TO THE WINDOW AND DOOR SCHEDULE.
3. EXTERIOR TO BE PAINTED: HOUSE, TRIM, WINDOWS, DOORS, AND SITE WALLS/FENCES. OWNER TO SELECT COLORS, CONTRACTOR SHALL PROVIDE COLOR MOCK UP FOR APPROVAL.
4. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

LEGEND - EXTERIOR FINISHES

NOTE: REFER TO EXTERIOR FINISH SCHEDULE FOR FINISHES.

- ◊E01 TRIM COLOR - WHITE TO MATCH EXISTING.
- ◊E02 FIELD COLOR - YELLOW TO MATCH EXISTING.
- ◊E03 STUCCO COLOR - INTEGRAL GRAY COLOR TO MATCH EXISTING.

KEYNOTES - EXTERIOR

- 1 CLEAR ALL HEART REDWOOD COLONIAL LAP SIDING TO MATCH EXISTING. AT CORNERS, SIDING SHALL BE MITTERED TO MATCH EXISTING.
- 2 SMOOTH FIBER CEMENT HARDPANEL SIDING AND TRIM.
- 3 GUTTER, FASCIA, BOXED EAVE, AND SOFFIT VENTS TO MATCH THE EXISTING.
- 4 STUCCO AND REDWOOD TRIM CAP TO MATCH THE EXISTING.
- 5 "ENDURIAN" EXTERIOR SHUTTERS BY TIMBERLANE. COLOR TO BE BLACK.
- 6 WINDOW TRIM PACKAGE PER WINDOW MANUFACTURER(TYPICAL - SEE WINDOW SCHEDULE).
- 7 CEDAR GATE IN STUCCO AND CEDAR FENCE TO MATCH FENCE AT FRONT GARDEN.
- 8 ASPHALT ROOFING - GAF "GRAND SEQUOIA". COLOR TO BE "WEATHERED WOOD".
- 9 STUCCO TO MATCH EXISTING.
- 10 NEW FRAMED CHIMNEY WITH BRICK VENEER. RETAIN EXISTING WOOD BURNING FIREBOX. BRICK VENEER TO BE PRIMERO THIN BRICK BOSTONIAN BY PACIFIC CLAY.
- 11 BALCONY GUARD RAIL AND BALCONY BRACKET. PAINT GRADE MAHOGANY, REDWOOD, OR CEDAR.
- 12 CLEAR ALL HEART REDWOOD COLONIAL LAP SIDING RUN VERTICALLY TO MATCH EXISTING GARAGE SIDING. AT CORNERS, SIDING SHALL BE BUTT-JOINTED TO MATCH EXISTING.
- 13 AT LOCATIONS WHERE EXISTING ROOF FRAMING IS TO REMAIN, PROVIDE NEW ROOF FINISH. ASPHALT ROOFING - GAF "GRAND SEQUOIA". COLOR TO BE "WEATHERED WOOD".
- 14 MATCH EXISTING OPEN EAVES AND RAFTER TAILS AT GARAGE.

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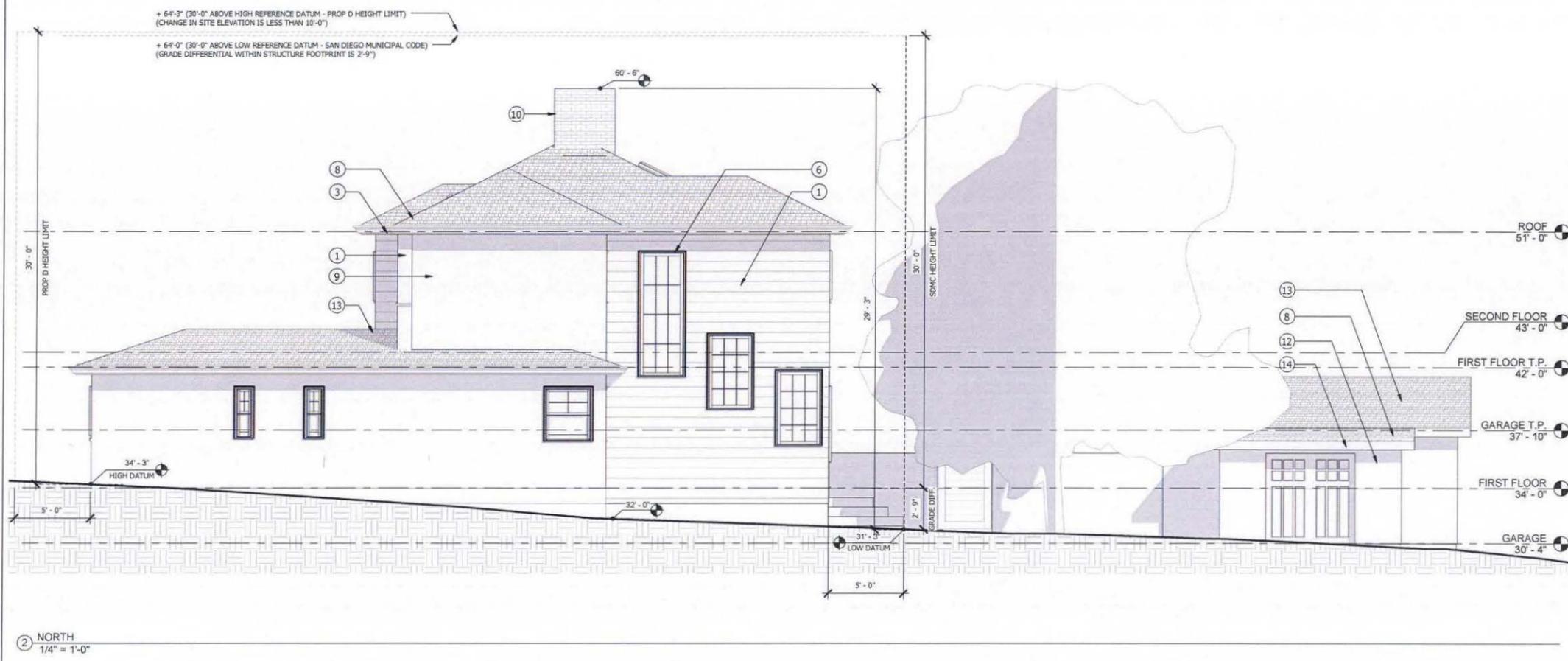
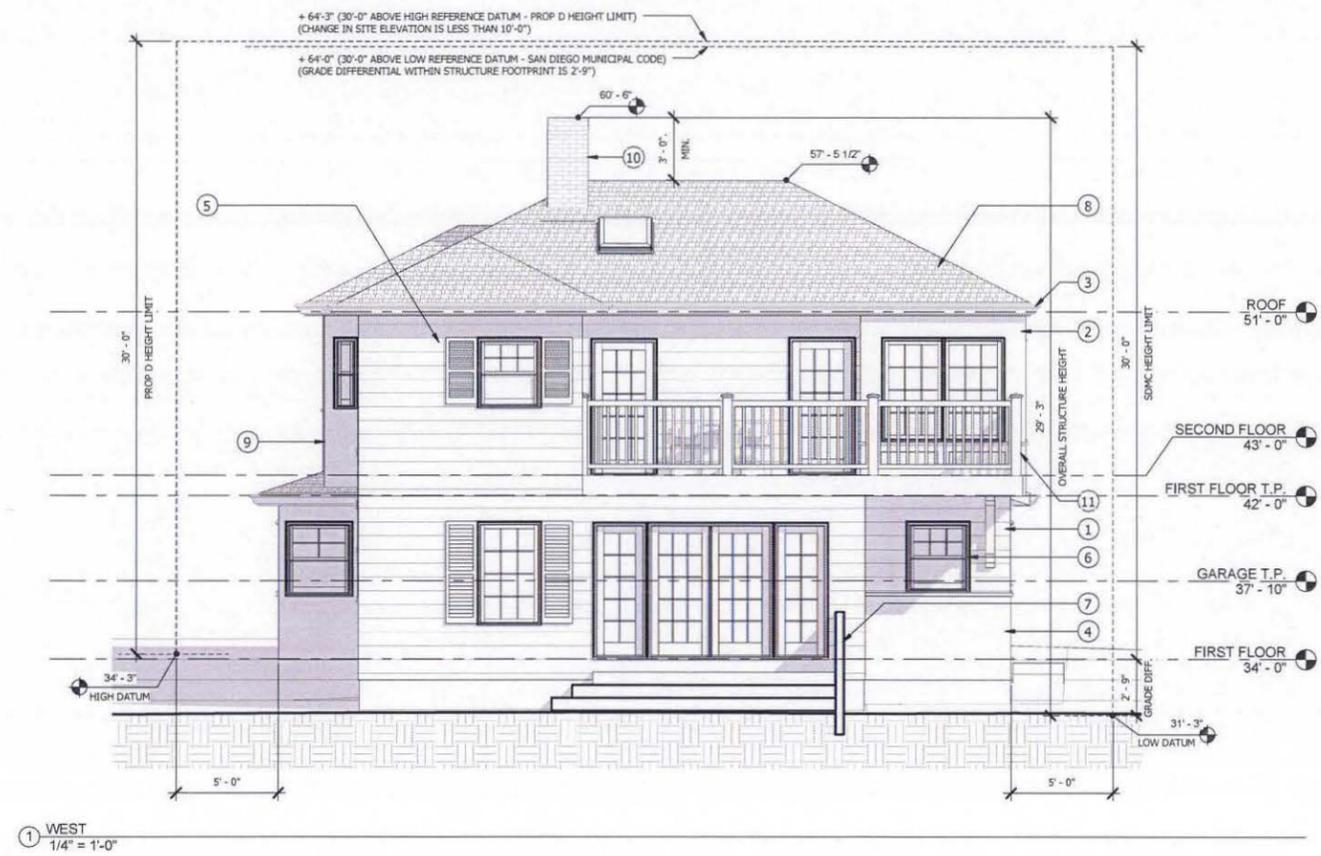
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EXTERIOR ELEVATIONS

A3-01



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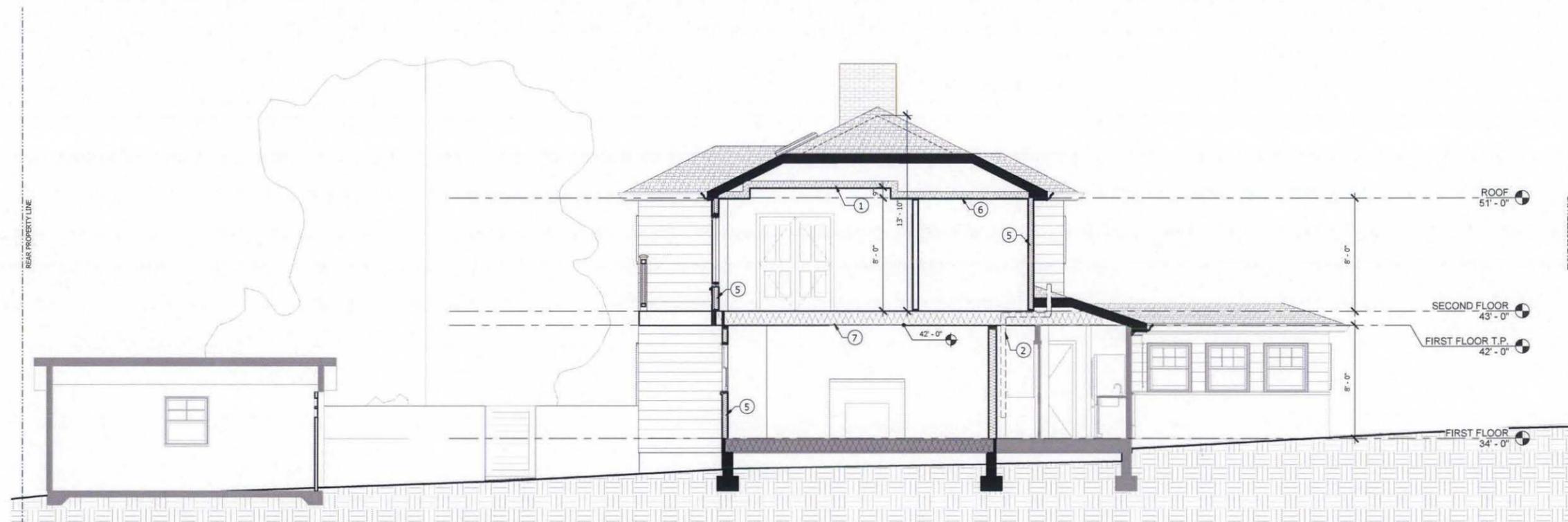
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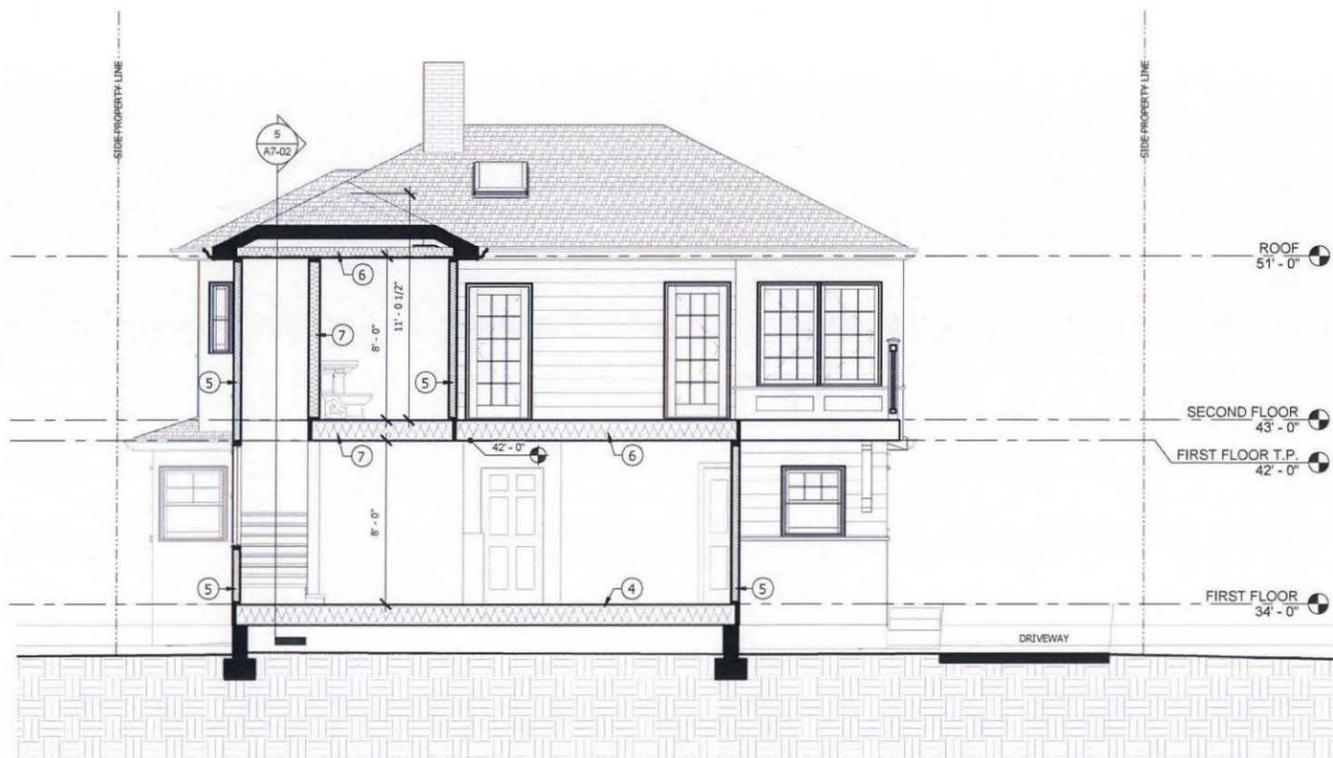
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EXTERIOR ELEVATIONS

A3-02



1 LATITUDINAL BLDG. SECTION
1/4" = 1'-0"



2 LONGITUDINAL BLDG. SECTION
1/4" = 1'-0"

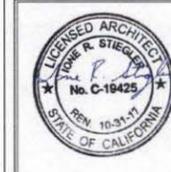
WALL/FLOOR/ROOF LEGEND

EXISTING CONSTRUCTION TO REMAIN
 NEW TO BE CONSTRUCTED / INFILLED:
 (MATCH ADJACENT EXISTING WALL THICKNESS)

KEYNOTES - SECTIONS

- 1 TRAY CEILING IN MASTER.
- 2 4" DRYER VENT <12'-0" RUN WITH 3 OFFSETS.
- 3 ORIGINAL NON-INSULATED CONSTRUCTION.
- 4 R-19 INSULATION AT NEW RAISED FLOORS.
- 5 R-13 INSULATION AT NEW EXTERIOR WALLS.
- 6 R-30 INSULATION AT NEW ROOFS.
- 7 SOUND ATTENUATION INSULATION AT FLOORS OVER HABITABLE LIVING SPACE AND BATHROOM WALLS.

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BUILDING SECTIONS

A4-01