



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 15, 2016 REPORT NO. HO-16-035
HEARING DATE: June 22, 2016
SUBJECT: EVANS RESIDENCE SDP. Process Three Decision
PROJECT NUMBER: [428297](#)
OWNER/APPLICANT: Richard and Leslie Evans/Richard Davidson-IS Architecture.

SUMMARY:

Issue: Should the Hearing Officer approve a 1,389-square-foot addition to an existing 1,932-square-foot single dwelling unit located at 8039 La Jolla Shores Drive, within the La Jolla Community Planning area?

Staff Recommendation:

1. Approve Site Development Permit No. 1509783.

Community Planning Group Recommendation: On October 1, 2015, the La Jolla Community Planning Association voted 7-0-0 to recommend approval of the proposed project without conditions/recommendations. On October 20, 2015 the La Jolla Shores Planned District Advisory Board, voted 4-0-0 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 19, 2016 and the opportunity to appeal that determination ended May 3, 2016.

BACKGROUND:

The 0.183-acre site is located at 8039 La Shores Drive. The project site is located within the La Jolla Shores Planned District (LJSPD)-SF Zone of the La Jolla Shores Planned District Ordinance (LJSPDO) within the La Jolla Community Plan and Local Coastal Program area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable 2 Area), and the Parking Impact Overlay Zone (Coastal/Beach), and Tandem Overlay Zone. The project site is also located in an area

designated for single-family residential (0-5 dwelling units/acre) in the La Jolla Community Plan and the proposal remains consistent with that land use.

Concurrent with the adoption of the La Jolla Shores Planned District Ordinance (LJSPDO), the City Council adopted architectural and design standards, by resolution, to be used in evaluating the appropriateness of any development for which a permit is applied for under the La Jolla Shores Planned District Ordinance SDMC Section [1510.0301](#). Therefore, conformance with the LJSPDO ensures conformance with the goals and policies of the La Jolla Community Plan. The LJSPDO provides standards to guide the development under the categories of Character of the Area, Design Principle, and Design Requirements, for evaluating consistency with Land Use Plans and the LJSPDO.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan welcomes change through innovation demonstrated by high-quality architectural design that is compatible with the surrounding neighborhood. The General Plan recommends that change is incremental and is accomplished, in part, utilizing City-wide zoning and the general design regulations within Planned Districts to create a "coherent image of the City as a whole." In La Jolla Shores, bulk and scale for single dwelling unit redevelopment is subject to the La Jolla Shores Planned District Ordinance. The LJSPDO addresses the use and density of structures that are located within the boundary of the La Jolla Shores Planned District Area (Figure 18, page 84).

The subject site is located in a neighborhood heavily vegetated along the east side of La Jolla Shores Drive with a parkway on both sides of this approximately 40-foot-wide street. Single-family homes of various ages and architectural styles, including Spanish and contemporary designs are represented within this neighborhood, which are predominantly one-story American contemporary homes. Within a 300-foot radius to the subject site is the beginning of the Commercial Center (CC) base zone along Avenida de la Playa. The proposal would change the architecture from its Spanish eclectic style to a Craftsman architectural design, with several gabled roof systems, façade articulation with offsets, multi-paned windows and a variety of surface treatments such as horizontal board siding, cobble stone decorative treatments at the entry gate and fireplace, and exposed rafters.

The bulk and scale and project design integrates into the existing character of the neighborhood. Per SDMC Section [1510.0304\(b\)\(4\)](#), building and structure setbacks shall be in general conformity with those in the vicinity. A lot survey of the lot sizes, gross floor area, and setbacks within a 300-foot radius of the proposed project has been provided, and contains photographs and addresses of the adjacent properties. The maximum allowable Lot Coverage is 0.60 in the SF zone of the La Jolla Shores Planned District per SDMC Section [1510.0304\(d\)](#). The project appears to be in general conformity with the surrounding neighborhood.

DISCUSSION

A La Jolla Shores Planned District Permit issued as a Site Development Permit per SDMC Section [1510.0201](#) is required for the addition and alteration of any existing structure within the La Jolla Shores Planned District. An application for a La Jolla Shores Planned District Permit, including fees or deposits, shall be processed in the same manner as an application for a Site Development

Permit, in accordance with SDMC Section [112.05.01](#) (Required Steps in Processing) and [126.05.01](#)(Site Development Permit Procedures).

The LJSPDO does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the LJSPDO contains language in the General Design regulations which references the character of the area and design principles. The La Jolla Community Plan places more importance on bulk and scale of the development. A lot survey of the lot sizes, gross floor area, and setbacks within a 300-foot radius of the proposed project of homes in the surrounding area found the project to be in conformance to bulk and scale and character of the surrounding homes. Pursuant to San Diego Municipal Code (SDMC) Section 1510.0304(b)(4), structure setbacks shall be in general conformity with those in the vicinity. The proposed development setbacks conform to those in the vicinity.

CONCLUSION:

As proposed, the project would remain consistent with the La Jolla Community Plan and conforms to the San Diego Municipal Code development regulations; bulk and scale requirements, maximum height limits, and structure setbacks, and also remain in general conformity with those in the vicinity. Staff has reviewed the proposed development and determined that the project complies with all applicable San Diego Municipal Codes.

The development will be in conformity with the land use plan and complies with all regulations and thus staff recommends the Hearing Officer approve Site Development Permit No. 1509783.

ALTERNATIVES

1. Approve Site Development Permit 1509783, with modifications.
2. Deny Site Development Permit 1509783, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

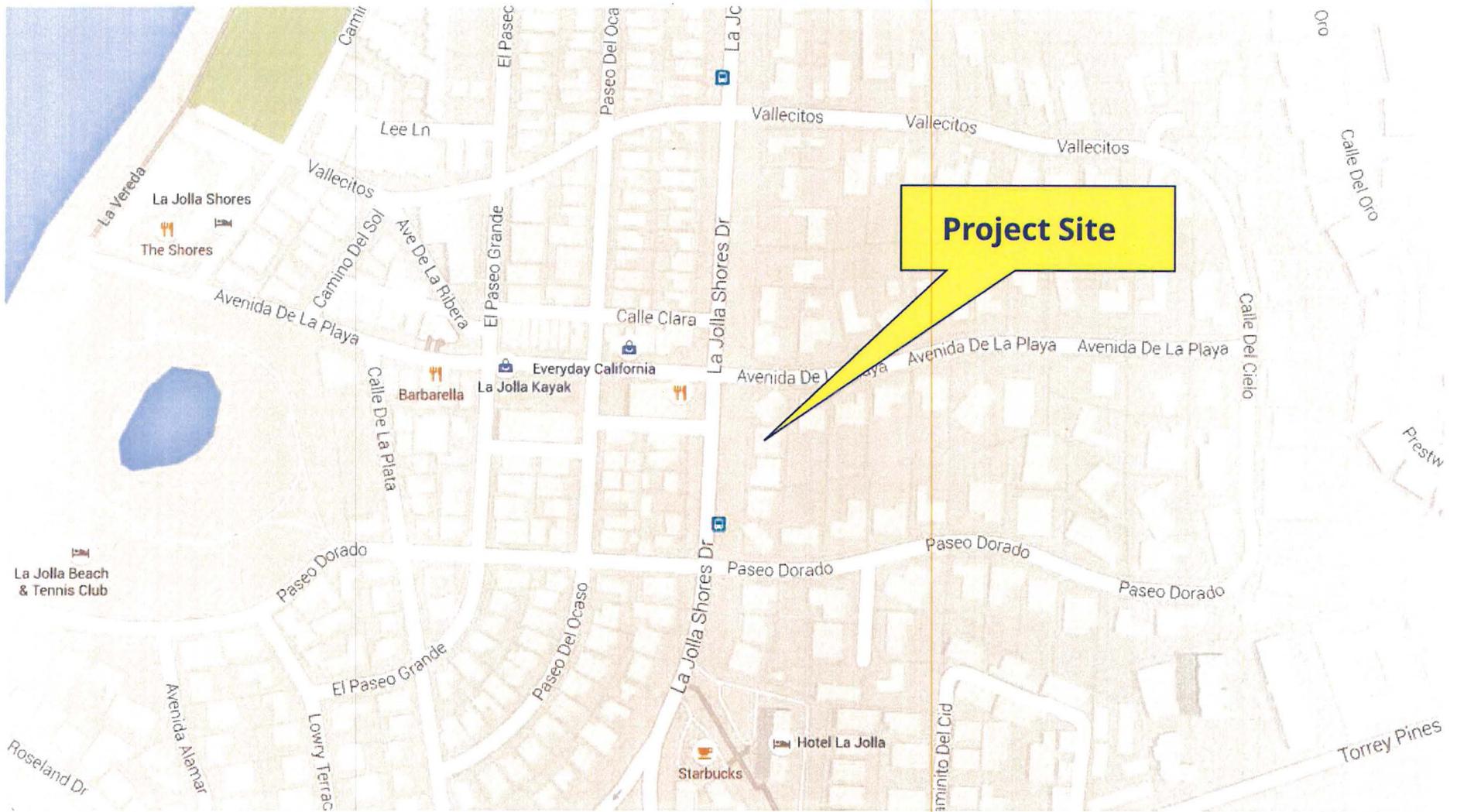


Gaetano Martedi, Development Project Manager

Attachments:

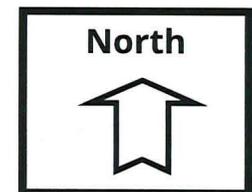
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions

7. Environmental Exemption
8. La Jolla Shores Advisory Board Recommendation
9. La Jolla Planning Association Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Project Location Map

EVANS RESIDENCE - 8039 LA JOLLA SHORES DRIVE
PROJECT NO. 428297





- Legend**
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
 - # Elementary School
 - J Junior High School
 - H High School
 - S School
 - L Library
 - F Fire Station
 - PO Post Office



Land Use Map

EVANS RESIDENCE - 8029 LA JOLLA SHORES DRIVE
 PROJECT NO. 428297





Location Aerial Photo

EVANS RESIDENCE – 8039 LA JOLLA SHORES DRIVE
PROJECT NO. 428297



PROJECT DATA SHEET

PROJECT NAME:	EVANS RESIDENCE SDP	
PROJECT DESCRIPTION:	A 1,389 square-foot addition and associated remodel at a site with an existing single dwelling unit.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Site Development Permit Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Low density residential at 5-9 dwelling units per acre (du/ acre) in the La Jolla Community Plan and Local Coastal Program.	
ZONING INFORMATION:		
ZONE:	LJSPD-SF Zone	
HEIGHT LIMIT:	30 feet	
LOT SIZE:	0.183 acres	
FLOOR AREA RATIO:	N/A	
FRONT SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
SIDE SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
STREETSIDE SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
REAR SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
PARKING:	N/A	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	LJSPD-SF Zone	Single Family Residential
SOUTH:	LJSPD-SF Zone	Single Family Residential
EAST:	LJSPD-SF Zone	Single Family Residential
WEST:	LJSPD-SF Zone	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 1, 2015 La Jolla Community Planning Association, voted 7-0-0 to recommend approval of the proposed project without conditions/recommendations. On October 20, 2015 the La Jolla Shores Planned District Advisory Board, voted 4-0-0 to recommend approval of the proposed project without conditions/recommendations.	

HEARING OFFICER RESOLUTION NO.
SITE DEVELOPMENT PERMIT NO. 1509783
EVANS RESIDENCE SDP - PROJECT NO. 428297

WHEREAS, RICHARD E. EVANS and LESLIE CLARK EVANS, Owners/Permittees, filed an application with the City of San Diego for a permit to construct an addition and remodel on a site with an existing dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1509783), on portions of a 0.183-acre site;

WHEREAS, the project site is located at 8039 La Jolla Shores Drive in the Single Family Zone of the La Jolla Shores Planned District, Coastal Overlay (Non-Appealable), Coastal Height Limitation Overlay, Parking Impact Overlay, and Tandem Parking Overlay Zones within the La Jolla Community Plan.

WHEREAS, the project site is legally described as: Lot 2 of Sycamore Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2866, filed in the Office of the County recorder of San Diego County, April 22, 1952;

WHEREAS, on June 22, 2016, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1509783, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 22, 2016.

FINDINGS:

Site Development Permit Findings Section 126.0504:

1. The proposed development will not adversely affect the applicable land use plan.

The project site is designated low density residential at 0-5 dwelling units per acre (du/ac) in the La Jolla Community Plan and Local Coastal Program. The project proposes an addition to a single dwelling unit on a legal lot.

The La Jolla Community Plan contains policies addressing design principles and community character. The La Jolla Community Plan places importance on bulk and scale of the development. Staff's review of a survey of homes in the surrounding area determined the project to be in conformance to bulk and scale and character of the surrounding homes, and the proposed setbacks for the project are also in general conformity with those in the vicinity.

A La Jolla Community Plan general theme is unity with variety. The La Jolla Community Plan and the La Jolla Shores Planned District Ordinance contains policies and regulations related to design and community character. The proposed modification is a change from a Spanish

eclectic style to a craftsman architectural design with several gabled roof systems, façade articulation with offsets, multi-paned, and a variety of surface treatments such as horizontal board siding, cobble stone decorative treatments at the entry gate and fireplace, and exposed rafters.

The proposed design, form, and siting of the proposed development, compliment and integrate with the surrounding neighborhood and are consistent with the goals and policies of the La Jolla Community Plan and the La Jolla Shores Planned District Ordinance theme of unity with variety. The project is therefore consistent with the recommended land use and density of the La Jolla Community Plan and will not adversely affect the La Jolla Community Plan Area.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project will incorporate construction Best Management Practices (BMP) necessary to comply with Chapter 14 Article 2, Division 1 of the San Diego Municipal Code. The project will prepare and implement a Water Pollution Control Plan in accordance with the guidelines in Appendix E of the City's Storm Water Standards. The project will enter into a Maintenance Agreement for ongoing permanent BMP maintenance. All Uniform Building, Fire, Plumbing, Electrical, and Mechanical Code requirements will be met with the proposed project. As the incorporation of BMP's, implementation of a Water Pollution Control Plan, and adherence to building codes protects public health and safety, the proposed project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed project complies with the relevant regulations of the Land Development Code. Conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Site Development Permit No. 1509783. No deviations or variances are required.

The La Jolla Shores Planned District Ordinance (LJSPDO) does not contain quantitative restrictions on Gross Floor Area (GFA). Bulk and scale are regulated through maximum coverage and height, and an analysis of general conformity with the surrounding neighborhood per the policies of the La Jolla Shores Planned District Ordinance (LJSPDO). The residences within the immediate area are diverse in their sizes, number of stories, and heights. The proposed 1,389-square-foot, single-story addition to an existing single-family, one-story, 1,932-square-foot single-story home conforms with all of the development standards of the La Jolla Shores Planned District Ordinance which includes, height, landscape, and architectural design. The project setbacks fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the vicinity as required by the Land Development Code (LDC).

The project is not requesting, nor does it require any deviations or variances from the applicable development regulation and policy documents. Therefore, the project is

consistent with and complies with the development regulations of the "SF" zone and all other pertinent regulations of the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, and Site Development Permit No. 1509783 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1509783, a copy of which is attached hereto and made a part hereof.

Gaetano Martedi
Development Project Manager
Development Services

Adopted on: June 22, 2016

IO#: 24005962

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24005962 SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1509783
EVANS RESIDENCE SDP-PROJECT NO. 428297

This Site Development Permit No. 1509783 is granted by the Hearing Officer of the City of San Diego to Richard E. Evans and Leslie Clark Evans, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] section 1510.0201 (La Jolla Shores Planned District Permit-Site Development Permit). The 0.183-acre site is located at 8039 La Jolla Shores Drive in the Single Family Zone of the La Jolla Shores Planned District, Coastal Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones within the La Jolla Community Plan. The project site is legally described as Lot 2 of Sycamore Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2866, filed in the Office of the County recorder of San Diego County, April 22, 1952;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an addition and remodel on a site with an existing dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 22, 2016, on file in the Development Services Department.

The project shall include:

- a. Construction of a 1,389-square-foot addition and remodel of an existing 1,932-square-foot single-family residence;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 7, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owners/Permittees signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owners/Permittees and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owners/Permittees for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owners/Permittees shall secure all necessary building permits. The Owners/Permittees is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owners/Permittees of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owners/Permittees shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owners/Permittees shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owners/Permittees of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owners/Permittees shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owners/Permittees shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owners/Permittees regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owners/Permittees shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

12. Prior to the issuance of any construction permit, the Owners/Permittees shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit the Owners/Permittees shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

14. Prior to issuance of any construction permits for structures (including shell), the Owners/Permittees shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).
15. Prior to issuance of a grading or building permit, the Owners/Permittees shall submit a site/plot plan consistent with the plans submitted for a building permit showing the required 30% landscaped area in a crosshatch pattern and labeled "Landscape Area Diagram."
16. In the event that a foundation only permit is requested by the Owners/Permittees, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."
17. The Owners/Permittees shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.
18. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owners/Permittees shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.
20. Provide the following note on the "Landscape Area Diagram": "All of the landscape to meet the 30% area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance prior to final inspection."
21. Any modifications or changes to the "Landscape Area Diagram" and existing or proposed plant material, as shown on the approved Exhibit "A" Landscape Concept Plan, are permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance.

PLANNING/DESIGN REQUIREMENTS:

22. There shall be compliance with the regulations of the underlying zone unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
23. The height of the building or structure shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
24. A topographical survey conforming to the provisions of the Municipal/Land Development Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the Owners/Permittees.
25. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
26. All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence.
27. All landscape material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material.
28. Storage of merchandise, material, or equipment including refuse containers shall be permitted only when incidental to a permitted use located on the same premises, and shall be completely enclosed within a building which shall consist of walls and a roof. No outdoor storage shall be permitted.
29. In accordance with SDMC Section 126.0704, any proposed demolition or removal of 50 percent or more of the exterior walls of the existing structure must comply with the Coastal Development Permit requirements at all times.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 22, 2016 and HO-__

Site Development Permit No. 1509783
Date of Approval: June 22, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Gaetano Martedi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Richard E. Evans
Owner/Permittee

By _____

Leslie Clark Evans
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project No.: **428297**Project Title: **Evans Residence**

Project Location-Specific: 8039 La Jolla Shores Drive, San Diego, California 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT is being requested for a 1,389 square-foot addition and remodel of an existing 1,932 square foot single family residence. The project is located at 8039 La Jolla Shores Drive within the La Jolla Shores Planned District - Single Family zone of the La Jolla Community Plan area, Coastal (Non-appealable-area 2) overlay zone Coastal Height Overlay Zone, Parking Impact (Coastal and Beach) Overlay Zone, and Residential Tandem Parking Overlay Zone. (LEGAL DESCRIPTION: Map 346 of Tract No. 2866 Sycamore Terrace Subdivision)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Richard Evans
 2163 Blackmore Court
 San Diego, California 92109
 (858) 483-3135

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15301 (Existing Facilities)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301 (Existing Facilities) which allows for additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet if the project is in an area where all public services and facilities are available to allow for maximum development permissible by the General Plan and the area in which the project is located is not environmentally sensitive. Furthermore, the exceptions listed in 15300.2 would not apply.

Lead Agency Contact Person: Morgan Dresser

Telephone: (619) 446-5404

If filed by applicant:

1. Attach certified document of exemption finding.

Revised 010410mjh

2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA


Signature/Title

Sr. Planner

April 19, 2016
Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: #4287297 Evans Residence Item: B Date: 10/20/2015

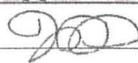
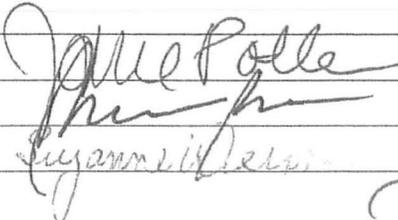
Applicant: Rick & Leslie Evans

Description: SDP & CDP (Process 3) for 1,389 SF + 400 garage added to the existing 1,932 SF house. Site size 0.85 acre. Presenter - Robert Davidson, Architect. House will be enlarged but remain single story. Plates which are now at 8 feet, will be raised to 9 feet, so house will be one foot higher.
Recommendation

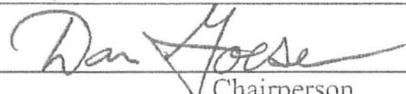
- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Nathaniel Fisher		
Dan Goese		
Jane Potter		
Susan Starr		
Susanne Weissman		

Absentees:


Chairperson



La Jolla Community Planning Association

ATTACHMENT 9

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us

Mail: PO Box 889, La Jolla, CA 92038

Web: <http://www.LaJollaCPA.org>

Voicemail: 858.456.7900

Email: info@LaJollaCPA.org

President: Cindy Greatrex
Vice President: Bob Steck
2nd Vice President: Joe LaCava
Secretary: Helen Boyden
Treasurer: Jim Fitzgerald

FINAL MINUTES

Regular Meeting | Thursday, 1 October 2015, 6:00 pm

Trustees present: Patrick Ahern, Helen Boyden, Tom Brady, Bob Collins, Mike Costello, Dolores Donovan, Janie Emerson, Jim Fitzgerald, Cindy Greatrex, David Little, Alex Outwater, Jim Ragsdale, Glen Rasmussen, Bob Steck, Ray Weiss, Brian Will

Trustees absent: Joe LaCava, Fran Zimmerman

1.0 Welcome and Call To Order: by Cindy Greatrex, President at 6:00pm. She asked those present to turn off their cell phones and announced that the meeting was being recorded by the LJCPA in audio only and by a private party who does not identify himself in both audio and video.

2.0 Adopt the Agenda

Approved Motion: To adopt the posted agenda correcting the date of the next LJCPA meeting in Item 16 to November 5, 2015. (Steck, Emerson: 9-0-1)

In favor: Boyden, Collins, Donovan, Emerson, Fitzgerald, Little, Ragsdale, Steck, Will
Abstain: Greatrex (Chair)

3.0 Meeting Minutes Review and Approval: 3 September 2015

Approved Motion: To approve the minutes of the September 3, 2015 LJCPA regular meeting as posted. (Collins, Fitzgerald: 10-0-1)

In favor: Boyden, Collins, Donovan, Emerson, Fitzgerald, Little, Ragsdale, Steck, Weiss, Will
Abstain: Greatrex (Chair)

4.0 Elected Officials – Information Only

4.1 Council District 1 – Council President Sherri Lightner

Rep: **Justin Garver**, 619-236-6611, JGarver@sandiego.gov Reported that Short Term Vacation Rentals were discussed by the Community Planners Committee on September 22nd and is scheduled to be taken up by the City's Code Monitoring Team and Technical Advisory Committee on October 14th and by the Planning Commission on Thursday December 3. On November 17th the City Council will hear the Public Utility Department's cost of service study and proposed water increase.

4.2 Mayor's Office – Mayor Kevin Faulconer

Rep: **Francis Barraza**, 619-533-6397, FBarraza@sandiego.gov was not present.

4.3 39th Senate District – State Senator Marty Block spoke about his career. He offered to help with constituent issues with state government agencies (see contact info of Sarah Fields) and described his sponsorship of constituent events. He outlined his legislative accomplishments and interests, including Community College 4-year degrees, protecting seniors, water issues and cell tower issues. When the legislature is in session, he holds local office hours every Friday; now when it is not in session, every day. His local Rep: **Sarah Fields**, 619-645-3133, Sarah.Fields@sen.ca.gov

4.4 78th Assembly District – Speaker of the Assembly Toni Atkins

Rep: **Toni Duran**, 619-645-3090, Toni.Duran@asm.ca.gov was not present.

4.5 Julio de Guzman, of the City Attorney Criminal division described the program for some arrested for

If a Sign Language Interpreter, aids for the visually impaired, or Assisted Listening Devices (ALDs) are required, please contact the City's Disability Services Coordinator at 619-321-3208 at least (5) five work days prior to the meeting date to insure availability.

misdemeanors and infractions to be offered time doing community clean-up in exchange for removing the criminal offense from their records. About 66% are currently accepting the offer.

5.0 President's Report – Information only unless otherwise noted.

- 5.1 Bylaw Amendment – Slotted for November 2015 City Council Review, no date as yet
- 5.2 Whitney Mixed Use – 182513 Appeal Hearing: City Council, October 5, 2:00
- 5.3 Short-Term Vacation Rental – Update sent to Membership and draft legislation recently adopted by the City Council is available at the LJCPA website, under the subhead :“Community Projects and Issues.”
- 5.4 Cost of Service Study Presentation – **Brent Eidson, Public Utilities Department** stated that the City Charge for Water Service (see Garvin Report above) is based on cost of service including, cost of water purchase from the County and Metropolitan Water District (LA) (85% to 90% of our water); replacing infrastructure; reduction in water usage, credit worthiness and local supply issues. Info may be found at sandiego.gov/water. All residents have been mailed a descriptive brochure.
- 5.5 La Jolla CIP Update: Hardcopy was made available describing the status of the proposed Capital Improvement projects submitted by the LJCPA.
- 5.6 **ACTION:** Appoint Alex Outwater to LJCPA Ad-Hoc Bylaws Committee

Approved Motion: To ratify the appointment of Trustee Outwater to the LJCPA Ad Hoc Bylaws Committee. (Emerson, Ahern: 12-0-3)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Ragsdale, Steck, Will
Abstain: Greatrex (Chair) Outwater (Candidate), Weiss (already on committee)

6.0 Non-Agenda Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

- 6.1 **City of San Diego – Community Planner: Karen Bucey**, KBucey@sandiego.gov stated that training on the Code Enforcement policies of the City will be offered on October 29th. RSVP is requested.
- 6.2 **UCSD - Planner: Anu Delouri**, adelouri@ucsd.edu, <http://commplan.ucsd.edu/> reported in absentia that UCSD has 12 construction projects in planning or construction. See website.

7.0 Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

Trustee Boyden cited section 1510.0107 (a) of the SDMC (LJSPDO section) which states that the provisions of Chapters 11, 12, 13; Divisions 1,2,5,6, and 8 of Chapter 14, Article 2; and Chapter 14, Articles 3,4,5,6,7 of the Land Development Code apply in the La Jolla Shores Planned District and thus can be considered in project evaluation by the LJCPA. She noted that the La Shores Planned District Advisory Board at past meetings she has attended has declined to evaluate concerns in these sections as not being their charge.

8.0 Officers' Reports

8.1 Treasurer

Beginning Balance as of 9/1/15	\$ 333.79
Income	
• Collections	\$ 91.00
○ CD Sales	<u>0</u>
Total Income	\$ 91.00
Expenses	
• LJ Rec Center Rent (Oct-Dec)	\$ 128.00
• PO Box Rental (1 yr.)	130.00

○ AT&T telephone	<u>75.70</u>
Total Expenses	<u>\$ 333.70</u>
Net Income/(Loss)	\$(242.70)
Ending Balance of 9/30/15	\$ 91.09

8.2 Secretary

Trustee Boyden stated that if you want your attendance recorded today, you should sign in at the back of the room. There are three sign-in lists: white ones for LJCPA members and government representatives and a yellow one for guests.

LJCPA is a membership organization open to La Jolla residents, property owners and local business owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org/. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You are entitled to attend without signing in, but only by providing proof of attendance can you maintain membership or become eligible for election as a trustee. You may document your attendance by signing in at the back, providing the Secretary before the end of the meeting a piece of paper with your printed full name, signature and a statement that you want your attendance recorded, or providing independently verifiable proof of attendance.

You can become a Member after attending one meeting and must maintain your membership by attending one meeting per year. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at three LJCPA meetings in the preceding 12-month period.

For complete membership information you should refer to the current LJCPA bylaws which can be found on the website. Refer to Article III, Section 1.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

9.1 Community Planners Committee

<http://www.sandiego.gov/planning/community/cpc/index.shtml> No report

9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> No report.

9.3 Ad Hoc Committee on Residential Single-Family (RS) Zoning Chair Sharon Wampler

reported the committee had met with Robert Vacchi of DSD to discuss solutions including the possibility of revising the categorical exclusion provisions. Twice monthly meetings are noticed by the regular LJCPA process. **Trustee/Committee Member Ragsdale** stated that they had had five meetings.

The following agenda items, when marked "Action Item," can be a *de novo* consideration of the Item.
Prior actions by committees/boards are listed for information only.

10.0 MARISMA TRAVEL CENTER NUP 1654 Marisma Way- Action Item

DPR Recommendation: Findings CAN be made for a Neighborhood Use Permit for the Home Occupation at 1654 Marisma Way only, limited to one client visit per week. 4-1-1.

Approved Motion: To continue the item to the November 5 meeting of the LCPC as the applicant was not present. (Ahern, Emerson: 11-1-1)

In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, Outwater, Ragsdale, Steck, Weiss, Will

Opposed: Little

Abstain: Greatrex (Chair)

11.0 KAPLAN-GASTON 5606 Dolphin Place- Action Item

DPR Recommendation: Findings CAN NOT be made for a Coastal Development Permit and Site Development for a 1st and 2nd story addition to an existing single family residence at 5606 Dolphin Place, because the project does not transition or relate well to other neighboring houses. It appears to have excessive hardscape and inadequate landscape, and it impacts too strongly on the neighboring house to the east where a careful transition from one to two stories was necessary. 4-1-1.

Sandra Brower, Attorney at Higgs, Fletcher and Mack, representing the applicants, stated that no Site Development Permit is required. She said that the 300 sf and 500 sf additions, to the first story and creating a second story for the now one-bedroom house, and adding a second bedroom were modest and required no variances and meet all city requirements. In response to neighbor concerns, they have lowered the height, made a second-story setback and opaqued the upstairs bathroom and stairway windows. Some changes presented here had not been seen by the DPR committee. The neighbors wanted more.

Architect Mel McGee described the changes in more detail. He noted that this is not a historic house and that the home to the west is two stories the whole length of the house so the Kaplan house has no view to the west, but they are siting the proposed second story to create a view to the southwest. Additionally there will be a privacy wall.

Owner Bob Kaplan, now working in DC, previously lived in San Diego, affiliated with UCSD. They are returning in San Diego to retire and to resume his affiliation with UCSD for research in cardiology. They would like the second bedroom for visiting grandchildren to use.

In opposition, **Attorney Julie Hamilton** representing Rick and Ann Kruse, the neighbors to the east, stated that the Kaplan project GFA should have included the carport (with three sides enclosed) which would have increased the FAR beyond the allowable. It is a unique architectural home. The proposed home is too tall and too close with a narrow side yard setback. It eliminates the Kruse's ocean view. There is also a guest house on the site now. She cited the fact that the bedrooms have outside entrances leads to the risk of it being used for STRVs.

Chair Greatrex stated that conjecture was not an acceptable argument.

Also speaking in opposition were neighbors **Richard Kruse, Portia Wadsworth and Carey Kincaid** Speaking in favor was **Ed Ward**, citing individual property rights.

Several trustees stated that the FAR issue was of concern. **Trustee Costello** said the house did not transition to the neighborhood. Other commenters were Trustees **Little, Will, Emerson, Ragsdale, Donovan, Ahern, Steck**. Trustees **Will** and **Ragsdale**, who are DPR members, had not been at the DPR meeting when this project was reviewed.

Approved Motion: To return the project to DPR for further review. (Ragsdale, Donovan: 9-5-1)

In favor: Boyden, Collins, Costello, Donovan, Emerson, Little, Outwater, Ragsdale, Will

Opposed: Ahern, Brady, Fitzgerald, Steck, Weiss

Abstain: Greatrex (Chair)

12.0 CONRAD PREBYS PERFORMING ARTS/EASEMENT VACATION 7600 Fay Ave- Action Item

DPR Recommendation: Findings CAN be made that made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit to demolish an existing retail building and construct a 44,014- square-foot, 2-story over basement level Performing Arts Center located at 7600 Fay Avenue. 6-0-1.

Christopher Beach, Artistic Director Emeritus of the La Jolla Music Society, noted that they were proposing a 500-seat auditorium with state of the art acoustics and a 150-seat cabaret type venue.

They will bookend an extensive courtyard opening onto the street. He noted that three subcommittees had unanimously approved the project. He introduced Conrad Prebys who was present at the hearing.

Ray Porfilio of Epstein Joslin Architects stated that the project lies at the low point of the street, between the Gaines and Spa Buildings. They will be expanding the size of the current 60" drain to 66" which will improve drainage in this major runoff site which will benefit other properties. They will be reducing the amount of impervious materials on the site. They are not increasing the "usage" but just moving their activities up the street from their current Sherwood Hall location. They will have six parking spaces on site. They have purchased 67 spaces at the Bank of American Building for daytime parking. For nighttime events they will be using parking in nearby office buildings, e.g. Schwab, PHP and Merrill Lynch as well as La Jolla Presbyterian Church. Attendees with tickets will be informed of the arrangement for each event. Valet parking in front of the complex will open up for public parking when there is no event. The FAR is 1.15, less than allowed in this Community Commercial Zone.

Dave Sorenson was also present.

Public comment in support: **Nancy Warwick, Kate Adams, Phyllis Pfeiffer, Charles Castle**, citing the many annual and regular community events that will be held in the facility.

Many trustees spoke favorably of the project. In answer to various trustee comments, it was stated that rents will be the same as they would in Sherwood Hall with discounts to non-profits. More details on the drain and parking were provided. They are unable to provide underground parking under the 500-seat auditorium as it is needed for air control and parking not possible in the drain area. Under the 150-seat cabaret, the area is so narrow that one could have only 15-20 spaces per level. **Marcella Escobar-Eck** stated that though there may not be contracts for parking, the requirement will be in the permit conditions—flexibility is needed.

Trustees commenting included: **Costello, Brady, Weiss, Little, Emerson, Collins, Donovan, Outwater, Fitzgerald.**

Approved Motion: To accept the DPR recommendation that the findings CAN be made that made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit to demolish an existing retail building and construct a 44,014- square-foot, 2-story over basement level Performing Arts Center located at 7600 Fay Avenue. (Weiss, Brady: 14-0-1)

In favor: Ahern, Boyden, Brady, Collins, Costello, Donovan, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

13.0 801 PEARL STREET- CONGER 801 Pearl Street- Action Item

DPR Recommendation: Findings CAN be made for a Coastal Development Permit and Site Development Permit and Tentative Map (Process 4) to remove an existing service station and construct a new mixed-use project with four retail units and 12 residential units with a subterranean garage: total development 23,340 sf, at 801 Pearl Street. With the request that the City complete the Environmental Study and study the issue of left hand turn lanes at Pearl Street and Eads Avenue, and add a stop sign at the top of the driveway ramp leading from this project. 5-0-1.

Presented by **Architects Jim Alcorn and Paul Benton**. **Architect Alcorn** described the project as 4 retail units totaling 5400 sf and 12 residential units situated on three parcels, two fronting on Pearl Street, the other on Eads. Because the parcels are in different zones, FARs, parking and other requirements will be averaged with the resultant FAR being 1.12. The underground garage will open onto Eads with a 5%-12%-5% gradient on the ramp. There will be 39 spaces where only 31 are required and they will be divided between those for retail customers and those individually assigned to specific residences with several for guests. With the gas station gone, three more street parking spaces will be freed up. This new version of the project will have greater setbacks than the previous one. They will have two stories with a 25' average

height, with 3' chimneys on top. There will be several street trees, including jacarandas on Eads. Two dumpsters will be situated in an indented loading zone in the alley. Exterior surfaces will be various shades of off white and terracotta tiles.

Connie Branscomb said she had owned a house six lots south of this project since 1966 and felt that previously Pearl

Street had been considered the divider between the area to the north and the R-2 properties.

Don Swortwood decried the continuing loss of character in La Jolla neighborhoods--that we've given it away.

Trustee Costello said he was pleased with the many changes in this new version. In response to other trustee questions, **Messrs. Alcorn and Benton** further described the averaging provisions of two different zones and the parking arrangements. **Trustees Brady, Weiss, Little, Will, Fitzgerald and Emerson** commented. **Trustee Ragsdale** inquired about the traffic count with respect to the environmental study. The traffic count indicated a decrease of 288 trips per day. Since there are fewer than 500 trips daily, no special environmental provisions are needed.

It was noted that traffic will increase on Eads, but substantially decrease on Pearl. The City is being asked to study the need for left turn lanes and exit stop sign.

Approved Motion: To accept the DPR recommendation that the findings CAN be made for a Coastal Development Permit and Site Development Permit and Tentative Map (Process 4) to remove an existing service station and construct a new mixed-use project with four retail units and 12 residential units with a subterranean garage: total development 23,340 sf, at 801 Pearl Street. With the request that the City complete the Environmental Study and study the issue of left hand turn lanes at Pearl Street and Eads Avenue, and add a stop sign at the top of the driveway ramp leading from this project. (Costello, Brady: 13-0-1)

In favor: Ahern, Boyden, Brady, Collins, Costello, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

14.0 SPEED LIMIT- PRESTWICK DRIVE Between Calle de Oro and Dunaway Drive- Action Item

T&T Recommendation: Findings CAN NOT be made for a City Staff proposal to increase speed limit between Calle de Oro and Dunaway Drive from 30 MPH to 35 MPH, pending receipt of resident petitions. 10-0-1.

Prestwick residents **Pat Miller** and **Susan Goulian** presented petitions signed by members of 82 households on Prestwick Drive asking that the speed limit not be raised from 30 MPH to 35 MPH to enable radar enforcement as the City proposed. **Trustee Ahern** estimated that there were about 111 homes on this street segment. Residents felt that raising the speed limit would just encourage drivers to go faster. It was pointed out that the continuing segments of the road, Calle del Oro and Dunaway Drive would remain at a lower speed limit and radar could be used there.

Chair Greatrex had spoken to T&T Chair Dave Abrams and he had indicated that he felt the matter was intended to go to the LJCPA. **Trustee/T&T Brady** and **T&T member Donna Aprea** indicated they thought T&T members wanted this to go direct to LJCPA, though others expressed concern that other groups might feel left out.

Approved Motion: To accept the recommendation of the T&T Board that the findings CAN NOT be made for a City Staff proposal to increase speed limit between Calle de Oro and Dunaway Drive from 30 MPH to 35 MPH. (Outwater, Ahern: 12-0-1)

In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

14.0 Consent Agenda- Action Item

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Phil Merten, 4th Tues, 4:00 pm
T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Thurs, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

→ See Committee minutes and/or agenda for description of projects, deliberations, and vote.

→ Anyone may request a consent item be pulled for full discussion by the LJCPA.

→ Items “pulled” from Consent Agenda are automatically trailed to the next LJCPA meeting.

T&T- No meeting in September. DPR- No Recommendations to LJCPA. PDO- No Recommendations to LJCPA.

15.1 Fan Residence 8295 Prestwick Drive

PRC Recommendation: Findings cannot be made for (Process 3) Coastal Development Permit and Site Development Permit to demolish an existing residence and construct a new 5,757 sq ft 2-story residence over 1,381 sq ft basement at 8295 Prestwick Dr. The 0.132 acre site is in the Single Family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1, because the proposed residence is not in compliance with PDO in that it does not conform to the character of the neighborhood. 4-2-1

15.2 Evans Residence, 8039 La Jolla Shores Drive SDP

PRC Recommendation:

Findings can be made for SDP, and for a CDP should that prove to be necessary, for a 1,389 sq ft addition and remodel of a 1,932 sq ft existing single family residence at 8039 La Jolla Shores Dr. The 0.183 acre site is in the SF zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1. 7-0-0

15.3 Davis Residence, 8430 La Jolla Shores Drive SDP

PRC Recommendation:

Findings can be made for an SDP to construct a 1,118 square-foot addition and associated remodel to an existing single family dwelling unit located at 8430 LJ Shores Drive, with a second-story north side setback of four feet, as noted on the plans before the Committee and dated 9-22-2015. The 0.13-acre site is located within the Coastal Overlay Zone (Non-Appealable) at 8430 La Jolla Shores Drive in the LJSPD – SF zone(s) of the La Jolla Shores Planned District within the La Jolla Community Plan area and Council District 1. 6-0-1.

Approved Motion: To accept the recommendations of the PRC for 15.1 Fan Residence 8295 Prestwick Drive that the findings cannot be made for (Process 3) Coastal Development Permit and Site Development Permit to demolish an existing residence and construct a new 5,757 sq ft 2-story residence over 1,381 sq ft basement at 8295 Prestwick Dr. The 0.132 acre site is in the Single Family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1, because the proposed residence is not in compliance with PDO in that it does not conform to the character of the neighborhood; for 15.2 Evans Residence, 8039 La Jolla Shores Drive SDP that the findings can be made for SDP, and for a CDP should that prove to be necessary, for a 1,389 sq ft addition and remodel of a 1,932 sq ft existing single family residence at 8039 La Jolla Shores Drive; and for 15.3 that the findings can be made for an SDP to construct a 1,118 square-foot addition and associated remodel to an existing single family dwelling unit located at 8430 LJ Shores Drive, with a second-story north side setback of four feet, as noted on the plans before the Committee and dated 9-22-2015 and forward the recommendations to the City. (Emerson, Weiss: 12-0-1)

In favor: In favor: Ahern, Boyden, Brady, Costello, Emerson, Fitzgerald, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex (Chair)

16.0 Adjourned at 9:30 pm to next LJCPA Meeting, Thursday, November 5, 6:00 pm



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: THE EVANS RESIDENCE Project No. For City Use Only _____

Project Address: 8039 LA JOLLA SHORES DRIVE, LA JOLLA CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): RICHARD EVANS
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 2163 BLACKMORE CT
 City/State/Zip: SAN DIEGO CA 92109
 Phone No: 858-483-3135 Fax No: 858-404-6941
 Signature: [Signature] Date: _____

Name of Individual (type or print): WESLIE EVANS
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 2163 BLACKMORE CT
 City/State/Zip: SAN DIEGO CA 92109
 Phone No: 858-483-3135 Fax No: _____
 Signature: [Signature] Date: 6.3.15

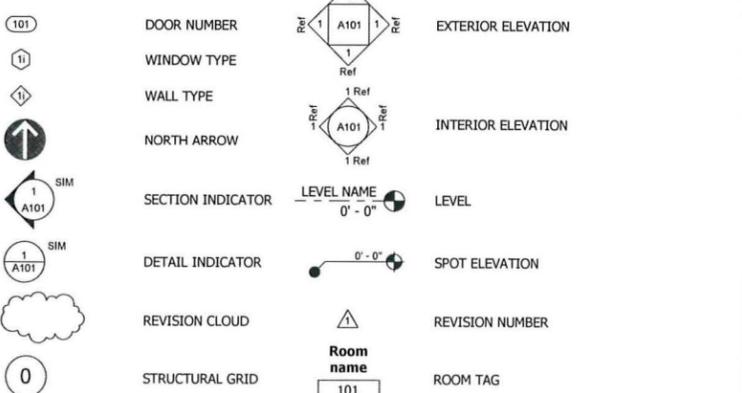
Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

ABBREVIATIONS

@	AT	GA	GAUGE	QT	QUARRY TILE
#	NUMBER/POUND	GALV	GALVANIZED	R	RISER/RADIUS
AB	ANCHOR BOLT	GB	GYPSUM BOARD	RA	RETURN AIR
ABC	AGGREGATE BASE COURSE	GC	GENERAL CONTRACTOR	RB	RUBBER BASE
AC	ASPHALT CONCRETE / AIR CONDITIONING	GI	GALVANIZED IRON	RC	REFLECTED CEILING PLAN
AD	ACCESS DOOR / AREA DRAIN	GL	GLASS / GLAZING	RD	ROOF DRAIN
ADD	ADDENDUM OR ADDITION	GR	GLU-LAM BEAM	RE	REFER / REFERENCE
ADJ	ADJACENT / ADJUSTABLE	GYP	GYPSUM	REFL	REFLECTED / REFLECTIVE
AFF	ABOVE EXISTING FINISH FLOOR	GYPB	GYPSUM WALLBOARD	REIN	REINFORCING
ALT	ALTERNATE	HB	HOSE BIB	REQD	REQUIRED
ALUM	ALUMINUM	HC	HOLLOW CORE	RESIL	RESILIENT
ANOD	ANODIZED	H CONC	HARDENED CONCRETE	RET	RETAINING
ARCH	ARCHITECT(URAL)	HDCP	HANDICAPPED	REV	REVISION / REVISED
ASPH	ASPHALT	HDR	HEADER	RF	RAISED FLOOR
AT	ACOUSTICAL TILE	HDKW	HARDWOOD	RFG	ROOFING
AV	AUDIO VISUAL	HDWR	HARDWARE	ROOM	ROOM
BD	BOARD	HM	HOLLOW METAL	RO	ROUGH OPENING
BFC	BELOW FINISH CEILING	HORIZ	HORIZONTAL	ROW	RIGHT OF WAY
BLDG	BUILDING	HR	HOUR	R T DPL	RECESSED TRASH DISPOSAL
BLK(G)	BLOCK(ING)	HT	HEIGHT	R TOW D	RECESSED TOWEL DISPENSER
BM	BEAM	HTG	HEATING	SAC	SUSPENDED ACOUSTICAL CEILING
B.M.	BENCH MARK	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SAT	SUSPENDED ACOUSTICAL TILE
B.O.	BOTTOM OF	HW	HOT WATER	SB	SLASH BLOCK
BOC	BOTTOM OF CONCRETE	HWH	HOT WATER HEATER	SC	SOLID CORE
BOT	BOTTOM	HZ	HORIZONTAL	SCHED	SCHEDULE
BTWN	BETWEEN	ID	INSIDE DIAMETER	S CON	SEALED CONCRETE
BRG	BEARING	IN	INCH	SD	STORM DRAIN
BLUR	BUILT-UP ROOF(ING)	INCL	INCLUDED	SECT	SECTION
CBU	CONCRETE BLOCK	INCL	INSULATION/INSULATING	SF	SQUARE FEET
CBM	CERAMIC	INT	INTERIOR	SHT	SHEET
CHAN	CHANNEL	INV	INVERT	SIM	SIMILAR
CI	CAST IRON	JAN	JANITOR	SND	SANITARY NAPKIN DISPENSER
CIP	CAST IN PLACE	JST	JOIST	SNDPL	SANITARY NAPKIN DISPOSAL
CL	CENTERLINE	JT	JOINT	SPECS	SPECIFICATIONS
CLG	CELLING	KIT	KITCHEN	SQ	SQUARE
CO	CLEAN OUT	KJ	KEYED JOINT	SS	STAINLESS STEEL
COORD	COORDINATE	KO	KNOCKOUT	S/S	SERVICE SINK
COR	CORRIDOR	LAM	LAMINATE(D)	STAGG	STAGGERED
CLOS	CLOSET	LAV	LAVATORY	STD	STANDARD
CLR	CORRUGATED METAL PIPE	LH	LEFT HAND	STL	STEEL
CMU	CONCRETE MASONRY UNIT	LI	LIVE LOAD	STRUC	STRUCTURAL
COL	COLUMN	LLH	LONG LEG HORIZONTAL	SUSP	SUSPENDED
CONC	CONCRETE	LLV	LONG LEG VERTICAL	SYM	SYMMETRICAL
CONJ	CONNECTION	LP	LOW POINT	SYST	SYSTEM
CONST	CONSTRUCTION	LWC	LIGHTWEIGHT CONCRETE	T	TREAD
CONT	CONTINUOUS	MAS	MASONRY	TBB	TOP AND BOTTOM
CONTR	CONTRACTOR	MATL	MATERIAL	TBG	TONGUE AND GROOVE
CPTC	CARPET	MAX	MAXIMUM	TBD	TO BE DETERMINED
CS	COUNTERSUNK	MECH	MECHANICAL	TD	TRASH DISPOSAL
CT	CERAMIC TILE	MEM	MEMBRANE	TEL	TELEPHONE
CTR	CENTER	MFR	MANUFACTURER	TEMP	TEMPERED
		MH	MAN HOLE	THK	THICK
		MIN	MINIMUM	TJ	TENANT IMPROVEMENT
		MISC	MISCELLANEOUS	TOJ	TOOLED JOINT
		MO	MASONRY OPENING	TLT	TILE
		MTD	MOUNTED	TN	TOE NAILED
		MTL	METAL	TOC	TOP OF CONCRETE
		N	NORTH	TOM	TOP OF MASONRY
		NA	NOT APPLICABLE	TOS	TOP OF STEEL
		NIC	NOT IN CONTRACT	TOW	TOP OF WALL
		NOM	NOMINAL	TWL D	TOWEL DISPENSER
		N-COM	NON-COMBUSTIBLE	TWL DPL	TOWEL DISPOSAL
		NTS	NOT TO SCALE	TRANS	TRANSFORMER/TRANSVERSE
		OC	ON CENTER	TYP	TYPICAL
		OD	OVERFLOW DRAIN / OUTSIDE DIAMETER	UBC	UNIFORM BUILDING CODE
		OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	UL	UNDERWRITERS LABORATORY
		OHI	OPPOSITE HAND	UNO	UNLESS NOTED OTHERWISE
		OPNG	OPENING	UTL	UTILITY
		OPF	OPPOSITE	VB	VAPOR BARRIER
		OVHD	OVERHEAD	VCT	VINYL COMPOSITION TILE
		PART	PARTITION	VENT	VENTILATOR/VENTILATION
		PARTB	PARTICLE BOARD	VERT	VERTICAL
		PC	PRECAST CONCRETE	VIF	VERIFY IN FIELD
		PD	PLANTER DRAIN	VR	VAPOR RETARDER
		PERP	PERPENDICULAR	VT	VERTICAL
		PIP	POLURED IN PLACE	VIF	VERIFY IN FIELD
		PL	PLATE	VR	VAPOR RETARDER
		PLAM	PLASTIC LAMINATE	VTR	VENT THROUGH ROOF
		PLAS	PLASTER	VW	VINYL WALL COVERING
		PLAST	PLASTIC	W	WITH
		PLYWD	PLYWOOD	W/O	WITHOUT
		PNL	PANEL	WC	WATER CLOSET
		PR	PAIR	WD	WOOD
		PR	PAIR	WH	WATER HEATER
		PSF	POUNDS PER SQUARE FOOT	WF	WALL FABRIC
		PSI	POUNDS PER SQUARE INCH	WP	WATERPROOFING
		PT	POST TENSIONED / PRESSURE TREATED	WPJ	WEAKENED PLANE JOINT
		PTS	POST TENSIONING SLAB	WR	WATER RESISTANT
		PVC	POLYVINYL CHLORIDE	WT	WEIGHT
				WVF	WELDED WIRE FABRIC
				WWM	WELDED WIRE MESH

SYMBOLS LEGEND



GENERAL PROJECT NOTES

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87(UFC/CFC SEC. 8701).
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (UFC/CFC SEC. 901.4.4, FHPS POLICY P-00-6).
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. (CAL CODE REGS., TIT. 19, SEC. 3.08, 3.21, UFC/CFC SEC. 2501.5.)
- ALL REQUIRED APPROVALS MUST BE OBTAINED FROM THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THE BUILDING IS OCCUPIED.
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THIS EQUIPMENT IS INSTALLED.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO BUILDING ELEVATION SHEETS FOR BUILDING HEIGHT DOCUMENTATION.

BUILDING CODE DATA

TYPE OF CONSTRUCTION:	TYPE V-B	SPRINKLERED:	NO
OCCUPANCY CLASSIFICATION:	R-3		
NUMBER OF STORIES:	2		
BUILDING HEIGHT:	< 30'-0"		
GOVERNING CODES:	CALIFORNIA BUILDING CODE	2013 EDITION	
	CALIFORNIA RESIDENTIAL CODE	2013 EDITION	
	CALIFORNIA ELECTRICAL CODE	2013 EDITION	
	CALIFORNIA ENERGY CODE	2013 EDITION	
	CALIFORNIA FIRE CODE	2013 EDITION	
	CALIFORNIA MECHANICAL CODE	2013 EDITION	
	CALIFORNIA PLUMBING CODE	2013 EDITION	
	CALIFORNIA HISTORIC BLDG. CODE	2013 EDITION	
	CALIFORNIA EXISTING BLDG. CODE	2013 EDITION	
	CALIFORNIA GREEN BLDG. STANDARD	2013 EDITION	
	SAN DIEGO COUNTY DEVELOPMENT CODE	2000+	
REQUIRED APPROVALS:	T.B.D.		

SPECIAL INSPECTION & OFFSITE FABRICATION

- SPECIAL INSPECTION: YES NO
- SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
- REFER TO SHEET ____ FOR "SPECIAL INSPECTION PROGRAM".
- A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
 - OFF-SITE FABRICATION: YES NO
 - AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
 - A CERTIFICATION OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
 - THE SPECIAL INSPECTOR MUST BE APPROVED BY THE CITY OF SAN DIEGO.
 - THE TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO.
 - A PROPERTY OWNER'S FINAL REPORT OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD, OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
 - AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
 - THE SPECIAL INSPECTIONS IDENTIFIED ARE IN ADDITION TO THOSE REQUIRED BY SEC. 108 OF THE BUILDING CODE AS AMENDED. SPECIAL INSPECTION IS NOT A SUBSTITUTE FOR INSPECTION BY A CITY INSPECTOR.

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION: YES NO

VICINITY MAP



- NOT TO SCALE
- KEYNOTES**
- FIRE HYDRANT LOCATIONS:
7955 LA JOLLA SHORES DR
LA JOLLA SHORES DR & PASEO DORADO (SOUTHWEST CORNER)
LA JOLLA SHORES DR & AVENIDA DE LA PLAYA (SOUTHWEST CORNER)
LA JOLLA SHORES DR & VALLECITOS CT (SOUTHEAST CORNER)
8083 EL PASEO GRANDE
AVENIDA DE LA PLAYA & PASEO DEL OCAJO (NORTHWEST CORNER)
 - BUS STOP LOCATIONS:
(NORTHBOUND) LA JOLLA SHORES DR & PASEO DORADO
(SOUTHBOUND) LA JOLLA SHORES DR & VALLECITOS CT

PROJECT DIRECTORY

OWNER
RICK & LESLIE EVANS
2163 BLACKMORE COURT
SAN DIEGO, CA 92109
V: 858.483.3135
E: lesleecevans@gmail.com

ARCHITECT
IS ARCHITECTURE
IONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD
LA JOLLA, CA 92037
V: 858.456.8555
E: robert@isarchitecture.com
ATTN: ROBERT DAVIDSON

CONTRACTOR
HILL CONSTRUCTION INC.
4626 ALBUQUERQUE ST., 2ND FLOOR
SAN DIEGO, CA 92109
V: 858.272.2975
E: ryan@hillconstructioncompany.com
ATTN: RYAN HILL

SURVEYOR
COFFEY ENGINEERING
10660 SCRIPPS RANCH BLVD, SUITE 102
SAN DIEGO, CA 92131
V: 858.331.0111
ATTN: JOHN COFFEY

STRUCTURAL ENGINEER
SIMPLY STRONG ENGINEERING
4020 30TH STREET
SAN DIEGO, CA 92104
V: 858.344.4534
E: evan@simplystrongeng.com
ATTN: EVAN COLES

OVERLAY ZONES

- STRUCTURAL OBSERVATION
- AIRPORT INFLUENCE AREA (AIA)
- (CUPD) FACILITY-DEFICIENT NEIGHBORHOODS
- CLAIREMONT MESA HEIGHT LIMIT
- COASTAL:
 - CITY
 - STATE
- COMMUNITY PLAN IMPLEMENTATION:
 - A
 - B
- FIRE BRUSH ZONES 300 FOOT BUFFER
- FIRE HAZARD SEVERITY ZONE
- FIRST PUBLIC ROAD-WAY
- MISSION TRAILS DESIGN DISTRICT NEIGHBORHOODS
- MOBILE HOME PARK
- PARKING IMPACT
- PRIME INDUSTRIAL LAND
- RESIDENTIAL TANDEM PARKING
- SENSITIVE COASTAL
- TRANSIT AREA
- URBAN VILLAGE
- NO OVERLAY ZONES

ENVIRONMENTALLY SENSITIVE LANDS

- CHECK IF PROPOSED SITE IS ON OR ADJACENT TO ...
- SENSITIVE BIOLOGICAL RESOURCES
 - COASTAL BEACHES
 - SENSITIVE COASTAL BLUFFS
 - 100 YEAR FLOODPLAIN

SCOPE OF WORK

ADDITION AND REMODEL OF SINGLE FAMILY HOME. WHOLE HOUSE REMODEL. EXISTING SINGLE STORY 1,932 SQ. FT. 4 BED 3 BATH HOME TO BECOME 3,321 SQ. FT. SINGLE STORY 4 BED 3 1/2 BATH HOME. NEW 6'-0" FENCE. NO PROPOSED DEVELOPMENT REGULATION DEVIATIONS. COASTAL EXEMPT - MORE THAN 50% REMAINING. SITE DEVELOPMENT PERMIT REQUIRED DUE TO LOCATION IN LA JOLLA SHORES PLANNED DISTRICT.

LEGAL DESCRIPTION

MAP 346 LOT 2 OF TRACT NO. 2866 SYCAMORE TERRACE SUBDIVISION.

PROJECT DATA

PROJECT NAME:	EVANS RESIDENCE
PROJECT ADDRESS:	8039 LA JOLLA SHORES DRIVE LA JOLLA, CALIFORNIA 92037
HISTORIC:	NO
U.R.M.:	NO
DATE BUILT:	1953
BASE ZONE:	N/A (LSPD-SF)
COMMUNITY PLAN:	LSPD-SF
GEOLOGICAL HAZARDS:	YES, 52
EARTHQUAKE BUFFER:	NO
FLOOD FEMA:	NO
MAP NUMBER:	346
BLOCK NUMBER:	SYCAMORE TERRACE SUBDIVISION
LOT NUMBER:	LOT 2 TR 2866
A.P.N.:	346-371-02-00

FLOOR AREA ANALYSIS

LOT SIZE:	7,997 SQ. FT.
F.A.R.:	N/A
LOT COVERAGE:	60% MAX
ALLOWABLE SQ. FOOTAGE:	N/A
GROSS FLOOR AREA:	3,321 SQ. FT.

SQUARE FOOTAGE

BUILDING AREA	EXISTING	ADDED	TOTAL
FIRST FLOOR	1,932	1,389	3,321
SECOND FLOOR	0	0	0
TOTAL BUILDING	1,932	1,389	03,321

AREA OF REMODEL	EXISTING	ADDED	TOTAL
NON-HABITABLE GARAGE	400	0	400
TOTAL ACCESSORY	400	0	400

DRAWING SHEET INDEX

A0-01	COVER SHEET
A0-02	JURISDICTION SPECIFIC NOTES & BMP'S
A1-01	SITE SURVEY
A1-02	SITE & LANDSCAPE PLAN
A1-03	SITE DEVELOPMENT PUBLIC NOTICING
A2-01	DEMOLITION FLOOR PLAN
A2-02	FLOOR PLAN
A2-03	ROOF PLAN
A3-01	EXTERIOR ELEVATIONS
A3-02	EXTERIOR ELEVATIONS
A4-01	SITE & BUILDING SECTIONS
A4-02	SITE & BUILDING SECTIONS
Grand total: 12	

IS ARCHITECTURE
IONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V: 858.456.8555 F: 858.456.8566
www.isarchitecture.com

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THE EVANS RESIDENCE

8039 LA JOLLA SHORES DRIVE
LA JOLLA, CA 92037

REVISIONS

NO.	NAME	DATE

PROJECT NUMBER
2015

PROJ. MNGR. RMD	DRAWN RMD
ISSUE DATE 03/9/2016	

COVER SHEET

A0-01

BMP CONSTRUCTION NOTES

SITE MANAGEMENT REQUIREMENTS

- 1. EXPOSED DISTURBED AREAS MUST HAVE EROSION PROTECTION BMPs PROPERLY INSTALLED. THIS WOULD INCLUDE ALL BUILDING PADS, UNFINISHED ROADS AND SLOPES. THE ONLY RELIEF FROM THIS REQUIREMENT FOR SLOPES GREATER THAN 3:1 (HOR TO VERT) IS IF THE SITE HAS PROPERLY-DESIGNATED DE-SILTING BASINS AT ALL DISCHARGE POINTS.
2. ADEQUATE PERIMETER PROTECTION BMPs MUST BE INSTALLED AND MAINTAINED. ADEQUATE SEDIMENT CONTROL BMPs MUST BE INSTALLED AND MAINTAINED. ADEQUATE BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING MUST BE INSTALLED AND MAINTAINED.
3. A MINIMUM OF 125% OF THE MATERIAL NEEDED TO INSTALL STANDBY BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION, AND TO PREVENT SEDIMENT DISCHARGES, MUST BE STORED ON SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs AS DESCRIBED BELOW ARE NOT CONSIDERED TO BE "EXPOSED" FROM PURPOSES OF THIS REQUIREMENT.
4. THE PROJECT PROPONENT MUST HAVE AN APPROVED "WEATHER TRIGGERED" ACTION PLAN AND HAVE THE ABILITY TO DEPLOY STANDBY BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT. A PREDICTED STORM EVENT IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN. ON REQUEST, THE PROJECT MUST PROVIDE PROOF OF THIS CAPABILITY.
5. DEPLOYMENT OF PHYSICAL OR VEGETATION EROSION CONTROL BMPs MUST COMMENCE AS SOON AS SLOPES ARE COMPLETED FOR ANY PORTION OF THE SITE. THE PROJECT PROPONENT MAY NOT CONTINUE TO RELY ON THE ABILITY TO DEPLOY STANDBY BMP MATERIALS TO PREVENT EROSION OF SLOPES THAT HAVE BEEN COMPLETED.
6. THE AREA THAT CAN BE CLEARED OR GRADED AND LEFT EXPOSED AT ONE TIME IS LIMITED TO THE AMOUNT OF ACREAGE THAT THE PROJECT CAN ADEQUATELY PROTECT PRIOR TO A PREDICTED RAINSTORM.
7. PERIMETER PROTECTION AND SEDIMENT CONTROL BMPs MUST BE UPGRADED IF NECESSARY TO PROVIDE SUFFICIENT PROTECTION FOR STORMS LIKELY TO OCCUR DURING THE RAINY SEASON.
8. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs MUST BE INSTALLED AND ESTABLISHED FOR ALL COMPLETED SLOPES PRIOR TO THE START OF THE RAINY SEASON. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP SHOWS THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENT MUST THEREFORE PUT A MORE ROBUST BMP IN PLACE.
9. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.
10. A DISTURBED AREA THAT IS NOT COMPLETED BUT THAT IS NOT BEING ACTIVELY GRADED MUST BE FULLY PROTECTED FROM EROSION IF LEFT FOR 10 OR MORE DAYS. THE ABILITY TO DEPLOY STANDBY BMP MATERIAL IS NOT SUFFICIENT FOR THESE AREAS. BMPs MUST ACTUALLY BE DEPLOYED.
11. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND PERMIT HOLDER TO SELECT, INSTALL AND MAINTAIN APPROPRIATE BMPs.

CITY OF S.D. GENERAL NOTES

- 1. "NOTICE TO THE APPLICANT / OWNER'S AGENT / ARCHITECT OR ENGINEER OF RECORD: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."
2. "NOTICE TO THE CONTRACTOR / BUILDER / INSTALLER SUB-CONTRACTOR / OWNER-BUILDER: BY USING THESE PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING, AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES."

CITY OF S.D. STEEL FABRICATOR NOTES

- 1. FABRICATOR MUST BE REGISTERED AND APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES FOR THE FABRICATION OF MEMBERS AND ASSEMBLIES ON THE PREMISES OF THE FABRICATOR'S SHOP.
2. FABRICATOR SHALL SUBMIT AN "APPLICATION TO PERFORM OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO THE COMMENCEMENT OF FABRICATION.
3. FABRICATOR SHALL SUBMIT A "CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF FABRICATED ITEMS AND ASSEMBLIES.

GENERAL NOTES - CAL-GREEN

- 1. LAVATORY FAUCETS: PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE.
2. SHOWER HEADS: PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE.
3. TOILETS: PROVIDE TOILETS WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH.
4. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
5. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2013 CGBSC SEC. 4.303.1.
6. PER 2013 CGBSC SEC. 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.
7. PER 2013 GREEN CODE SEC. 4.506.1, MECHANICAL AND EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCT TO TERMINATE OUTSIDE THE BUILDING.
B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
8. PER SECTION 4.406.1, JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
9. PER SECTION 4.408.1 AND CITY ORDINANCE, A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE.
10. PER SECTION 4.410.1, BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH.
11. PER SECTION 4.504.1, DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
12. THE MANUAL SHOULD INCLUDE, IN ADDITION TO OTHER ASPECTS, THE FOLLOWING:
A. DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
B. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
i. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
ii. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
iii. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
iv. LANDSCAPE IRRIGATION SYSTEMS
v. WATER RE-USE SYSTEMS
C. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
D. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
E. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS.
F. INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
G. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
H. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING BUT NOT LIMITED TO CAULKING, PAINTING, AND MAINTAINING PROPER GRADE AROUND THE BUILDING.
I. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
J. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.
13. PER SECTION 4.504.2.2 AND TABLE 4.504.3, PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
14. PER SECTION 4.504.2.2 AND TABLE 4.504.3, PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
15. PER SECTION 4.504.2.2 AND TABLE 4.504.3, AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS.
16. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES, COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.
17. PER SECTION 4.504.3, CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR, AND/OR THE BUILDING OWNER CERTIFYING THAT THE MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE.
18. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
A. VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
B. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN & SCHOOL PROGRAM.
C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS" VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350)
19. PER SECTION 4.504.5 AND TABLE 4.504.5, HARDWOOD PLYWOOD, PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND COMPOSITE WOOD USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD.
20. A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD/PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
22. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER.

Page 4 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist
7. New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not emmingling with flows from adjacent lands).
8. New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.
9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 8013, 8014, 8541, 7832-7834, or 7839-7839.
10. Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants port construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sq ft of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces of if they sheet flow to surrounding pervious surfaces.
PART F: Select the appropriate category based on the outcomes of PART C through PART E.
1. The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management.
Name of Owner or Agent: (Please Print) ROBERT DAVISON Title: AGENT OF OWNER
Signature: [Signature] Date: 3/9/2016

City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist Page 3 of 4
PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs.
If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" was checked for all questions in Part D, continue to Part E.
1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
• Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).
If "yes" is checked for any number in PART E, continue to PART F.
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project."
1. New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

Page 2 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist
PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.
Complete PART B and continued to Section 2
1. ASBS
a. Projects located in the ASBS watershed.
2. High Priority
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
3. Medium Priority
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
4. Low Priority
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.
SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.
PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual, are not subject to Permanent Storm Water BMPs.
If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements."
If "no" is checked for all of the numbers in Part C continue to Part D.
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
3. Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or resodding surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 445-5000
Storm Water Requirements Applicability Checklist FORM DS-560
Project Address: Project Number (for City Use Only):
SECTION 1. Construction Storm Water BMP Requirements
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.
For all project complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.
PART A: Determine Construction Storm Water Requirements.
1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity that results in ground disturbance and contact with storm water runoff?
3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
4. Does the project only include the following Permit types listed below?
• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot hole, curb and gutter replacement, and retaining wall encroachments.
Check one of the boxes to the right, and continue to PART B:
If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B.
If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 4-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.
If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.
1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandagov.com/development-services
Printed on recycled paper. Visit our web site at www.sandagov.com/development-services
Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (02-16)

IS ARCHITECTURE JONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD., LA JOLLA, CA 92037
V. 858.456.8555 F. 858.456.8566 www.isarchitecture.com
LICENSED ARCHITECT No. C-19425 STATE OF CALIFORNIA

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THE EVANS RESIDENCE
8039 LA JOLLA SHORES DRIVE LA JOLLA, CA 92037

Table with 3 columns: NO., NAME, DATE. Header: REVISIONS.

Table with 2 columns: PROJ. MNGR. RMD, DRAWN Author. Header: PROJECT NUMBER 2015.

ISSUE DATE 03/9/2016

JURISDICTION SPECIFIC NOTES & BMP'S

A0-02

EASEMENTS

EXCEPTIONS IDENTIFIED IN PRELIMINARY REPORT BY CALIFORNIA TITLE COMPANY, ORDER NO. 400-155506-37, DATED 11/12/2014 ARE AS FOLLOWS:

- 3 AN EASEMENT FOR UNNAMED AND INCIDENTAL PURPOSES AS DEDICATED AND DELINEATED ON MAP NO. 2866.
- 4 A BUILDING SET BACK LINE AS DEDICATED AND DELINEATED ON MAP NO. 2866
- 5 AN EASEMENT FOR UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION STRUCTURES AND INCIDENTAL PURPOSES AS PROVIDED IN AN INSTRUMENT RECORDED 6/6/1952 IN BOOK 4488 PAGE 92, O.R. TO BENEFIT AT&T

ROOFLINE NOTE

THE ROOFLINES SHOWN ON THIS PLAN WERE GENERATED FROM AN ADJOINING AERIAL SITE SURVEY. SUCH INFORMATION MAY BE LESS PRECISE THAN GROUND-BASED OBJECTS DEPICTED.

NOTES

1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR THE PURPOSES OF A SPECIFIC PROJECT, AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL BASED ON PROJECT REQUIREMENTS. CHANGES TO THE SCOPE, DESIGNER, OR LOCATION OF WORK MAY REQUIRE THAT ADDITIONAL SURVEYING BE PERFORMED TO SATISFY THE NEW REQUIREMENTS.
2. THIS IS A TOPOGRAPHIC SURVEY, NOT A BOUNDARY SURVEY OR RECORD OF SURVEY. THE PROPERTY LINES DEPICTED ON THIS PLAN ARE GENERATED FROM EXISTING PUBLIC RECORD MAPS, DRAWINGS, OR DESCRIPTIONS. THE PROPERTY LINES AND/OR EASEMENTS SHOWN HEREON HAVE BEEN INCLUDED TO REPRESENT THEIR APPROXIMATE LOCATIONS RELATIVE TO THE TOPOGRAPHIC FEATURES.
3. THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

LEGEND

DESCRIPTION	SYMBOL
PROPERTY LINE	— N45°45'45" W
STREET CENTERLINE	— E
PROPERTY LINE - OFFSITE	—
SPOT ELEVATION	100.00
EDGE OF PAVING	—
CONCRETE CURB & GUTTER	—
RETAINING WALL	—
CONTOUR	90
FENCE	—
BRUSHLINE / TREE CANOPY	—
POWER POLE	PP
TREE	—
BUILDING FOOTPRINT W/ ROOF LINE	—
BLOCK WALL	—
WATER METER	—
4" ROUND DRAIN	—
8" SQUARE DRAIN	—
TREE	—
FREE STANDING WALL	—

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	PP	POWER POLE
CL	CENTER LINE	PVMT	PAVEMENT
C	CONC	TB	TOP OF BERM
FF	FINISH FLOOR	TC	TOP OF CURB
FL	FLOW LINE	WM	WATER METER
GNV	GROUND NOT VISIBLE		
P	PROPERTY LINE		
PA	PLANTING AREA		

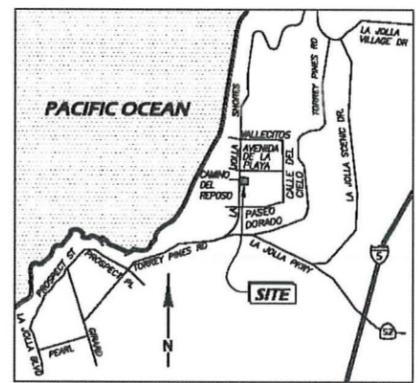
LEGAL DESCRIPTION

LOT 2 OF SYCAMORE TERRACE, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 2866, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 22, 1992.

APN: 346-371-02

BENCHMARK

NWBP AT THE CORNER OF LA JOLLA SHORES DRIVE AND PASEO DORADO. ELEV= 35.016 MSL, CITY OF SAN DIEGO VERT CONTROL BOOK



VICINITY MAP
THOMAS BROS. MAP 1227-HS
NO SCALE

TOPOGRAPHIC SURVEY
DATE OF SURVEY: 01/15/2014
PARTY CHIEF: C. SCHROEDER

DRAWN BY:	CS / DK
CHECKED BY:	JSC
ORIGINAL:	2/9/2014
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
TOPOGRAPHIC SURVEY	
SCALE:	1"=10'
C.O.	
SHEET 1 OF 1 SHEETS	

EVANS RESIDENCE
8039 La Jolla Shores Drive
La Jolla, CA 92037



COFFEY ENGINEERING, INC.
THOMAS BRODY COFFEY
1000 SCRIPPS BRANCH BLVD, SUITE 102, SAN DIEGO, CA 92131
PH: (619) 581-0111 FAX: (619) 581-0177

IS ARCHITECTURE
JONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD., LA JOLLA, CA 92037
V: 858-456-8555 F: 858-456-8566
www.isarchitecture.com



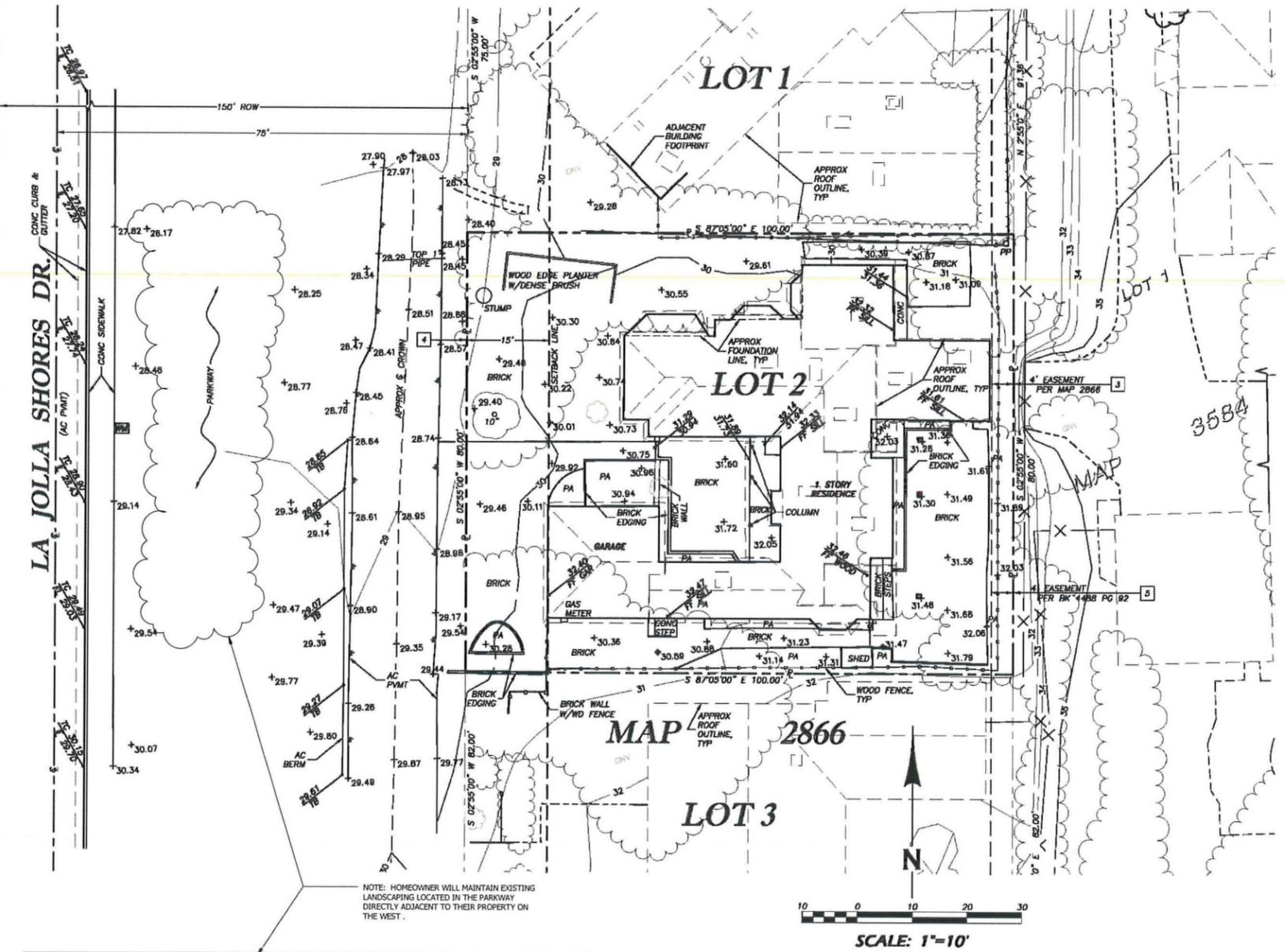
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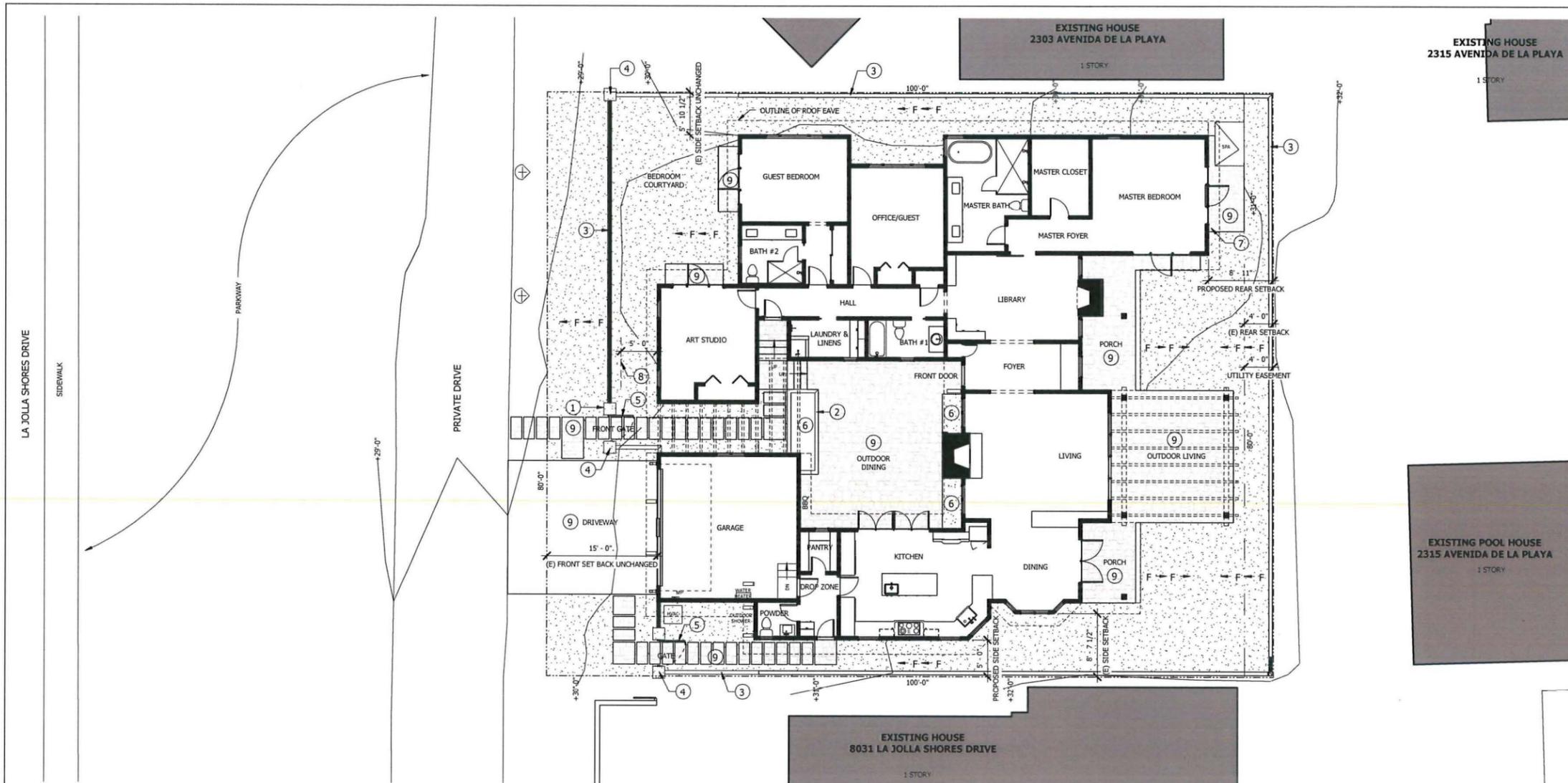
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REVISIONS		
NO.	NAME	DATE
1	REV-1	2014

PROJECT NUMBER 2015	
PROJ. MNGR. RMD	DRAWN COFFEY
ISSUE DATE 03/9/2016	

SITE SURVEY





KEYNOTES - SITE PLAN

- 1 PROVIDE BUILDING ADDRESS NUMBERS ON GATE, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (LFC 901.4.4). OWNER TO SELECT NUMBERS.
- 2 STUCCO PLANTER WALL. COLOR TBD.
- 3 STUCCO WALL +/- 6'-0" HIGH. COLOR TBD.
- 4 GATE/FENCE POST WITH RIVER ROCK STONE VENEER.
- 5 WOOD GATE.
- 6 PLANTING AREA.
- 7 PROP D REFERENCE DATUM TAKEN FROM EDGE OF HIGHEST GRADE AT THE BUILDING FOOTPRINT (GRADE DIFFERENCE OF SITE IS LESS THAN 10'-0"). REFERENCE DATUM IS 32'-4".
- 8 LOW DATUM MEASURED AT LOWEST GRADE 5'-0" FROM BUILDING FOOTPRINT. LOW DATUM IS 29'-9".
- 9 PERMEABLE PAVING. BRICK PAVERS OR FLAGSTONE T.B.D. PER OWNER.

GENERAL NOTES - SITE PLAN

1. EXISTING GRADE TO REMAIN UNCHANGED. THE PROJECT DOES NOT ALTER THE EXISTING GRADE OR DRAINAGE PATH.
2. **SITE DESIGN / LOW IMPACT DEVELOPMENT BMP'S.**
ROOF DRAINAGE BY SHEET FLOW AND/OR GUTTERS INTO SURROUNDING VEGETATION.
SD-1: OPTIMIZE SITE LAYOUT - THE SITE IS PREVIOUSLY GRADED AND WILL UTILIZE THE EXISTING TOPOGRAPHY.
SD-2: CONSERVE NATURAL SOIL - THE SITE IS PREVIOUSLY LANDSCAPED AND WILL UTILIZE THE EXISTING SOIL.
SD-3: MINIMIZE IMPERVIOUS AREA - HARDSCAPE WILL BE PERMEABLE AND LANDSCAPED AREA WILL BE 30% OR GREATER.
SD-4: MINIMIZE SOIL COMPACTION IN LANDSCAPED AREAS - AVOID COMPACTING SOIL WITH CONSTRUCTION EQUIPMENT AND/OR RE-TILL COMPACTED AREAS PRIOR TO PLANTING.
SD-5: DISPERSE IMPERVIOUS AREAS - ROOF SLOPED TO SHEET FLOW INTO LANDSCAPE AREA.
SD-6: COLLECT RUNOFF - PERMEABLE PAVEMENT ALLOWS WATER TO PASS THROUGH TO A GRAVEL BASE WHICH COLLECTS RUNOFF.
SD-7: LANDSCAPE WITH NATIVE OR DROUGHT TOLERANT SPECIES.
SD-8: HARVEST AND USE PRECIPITATION - THE OWNER MAY UTILIZE RAIN BARRELS.
3. NEW HARDSCAPE SHALL BE INSTALLED AS INDICATED.
4. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES.
5. EXISTING WATER AND SEWER SERVICES WILL REMAIN.
6. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
7. ALL LANDSCAPE MATERIAL SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPE MATERIAL.
8. STORAGE OF MERCHANDISE, MATERIAL, OR EQUIPMENT INCLUDING REFUSE CONTAINERS SHALL BE PERMITTED ONLY WHEN INCIDENTAL TO A PERMITTED USE LOCATED ON THE SAME PREMISES, AND SHALL BE COMPLETELY ENCLOSED WITHIN A BUILDING WHICH SHALL CONSIST OF WALLS AND A ROOF. NO OUTDOOR STORAGE SHALL BE PERMITTED.
9. A WATER POLLUTION CONTROL PLAN (WPCP) WILL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT.
10. THIS PROJECT IS LOCATED WITHIN LA JOLLA "AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE" (ASBS). IT WILL BE THE OWNER/PERMITEE'S RESPONSIBILITY TO COMPLY WITH ALL PERTINENT REQUIREMENTS.

SITE PLAN LEGEND

PROPERTY LINE: - - - - -
 SETBACK: - - - - -
 EASEMENT: - - - - -

SETBACKS:

ZONE: N/A (LJSPD-SF)
 F.A.R.: N/A
 LOT COVERAGE: 60%
 HEIGHT: 30
 LOT WIDTH: 80 FT.
 LOT DEPTH: 100 FT.
 MIN. SETBACKS:
 FRONT: N/A
 SIDE: N/A
 SIDE: N/A
 REAR: N/A
 PROVIDED SETBACKS:
 FRONT: 15'-0"
 SIDE: 5'-10 1/2"
 SIDE: 5'-0"
 REAR: 8'-11"

PLANTING AREA:
 REQUIRED: 30% OF LOT = 2,399 SQ. FT.
 PROVIDED: 2,795 SQ. FT.
 *ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE PRIOR TO FINAL INSPECTION.

GRADING DATA TABLE

AMOUNT OF CUT:	-96.58 CU. FT. (PAD FOOTINGS)
	-321.47 CU.FT. (CONT. FOOTINGS)
AMOUNT OF FILL:	0
TOTAL:	-418.05 CU. FT.

*NOTE: AMOUNT OF SOIL REMOVED EQUALS THE VOLUME OF NEW FOOTINGS (REFER TO STRUCTURAL DRAWINGS). NO NEW SOIL ADDED.

1 SITE PLAN & LANDSCAPE AREA DIAGRAM
 1/8" = 1'-0"

CONSTRUCTION BMP LEGEND

DESCRIPTION	STD DWG*	SYMBOL
LIMITS OF CONSTRUCTION AREA (PRESERVING EXISTING VEGETATION)	SS-2	- - - - -
DIRECTION/ COURSE OF FLOW		F → F →
FIBER ROLLS (STRAW WATTLES)	SC-5	▨
STABILIZED CONSTRUCTION ENTRANCE	TC-1	▣
MATERIALS DELIVERY AND STORAGE AREA	WM-1	WM-1
TEMPORARY TRASH/ SOLID WASTE	WM-5	WM-5
HAZARDOUS AND CONCRETE WASTE MANAGEMENT	WM-6, WM-8	WM-6
SANITARY WASTE (PORTABLE TOILET)	WM-9	WM-9
STREET SWEEPING	SC-7	(NO SYMBOL)

* STANDARD CALTRANS DRAWINGS (EC-5, WM-5, ETC.) AT:
<http://www.dot.ca.gov/>

IS ARCHITECTURE
 JONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD, LA JOLLA, CA 92037
 V: 858.456.8555 F: 858.456.8566
www.isarchitecture.com



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REVISIONS

NO.	NAME	DATE

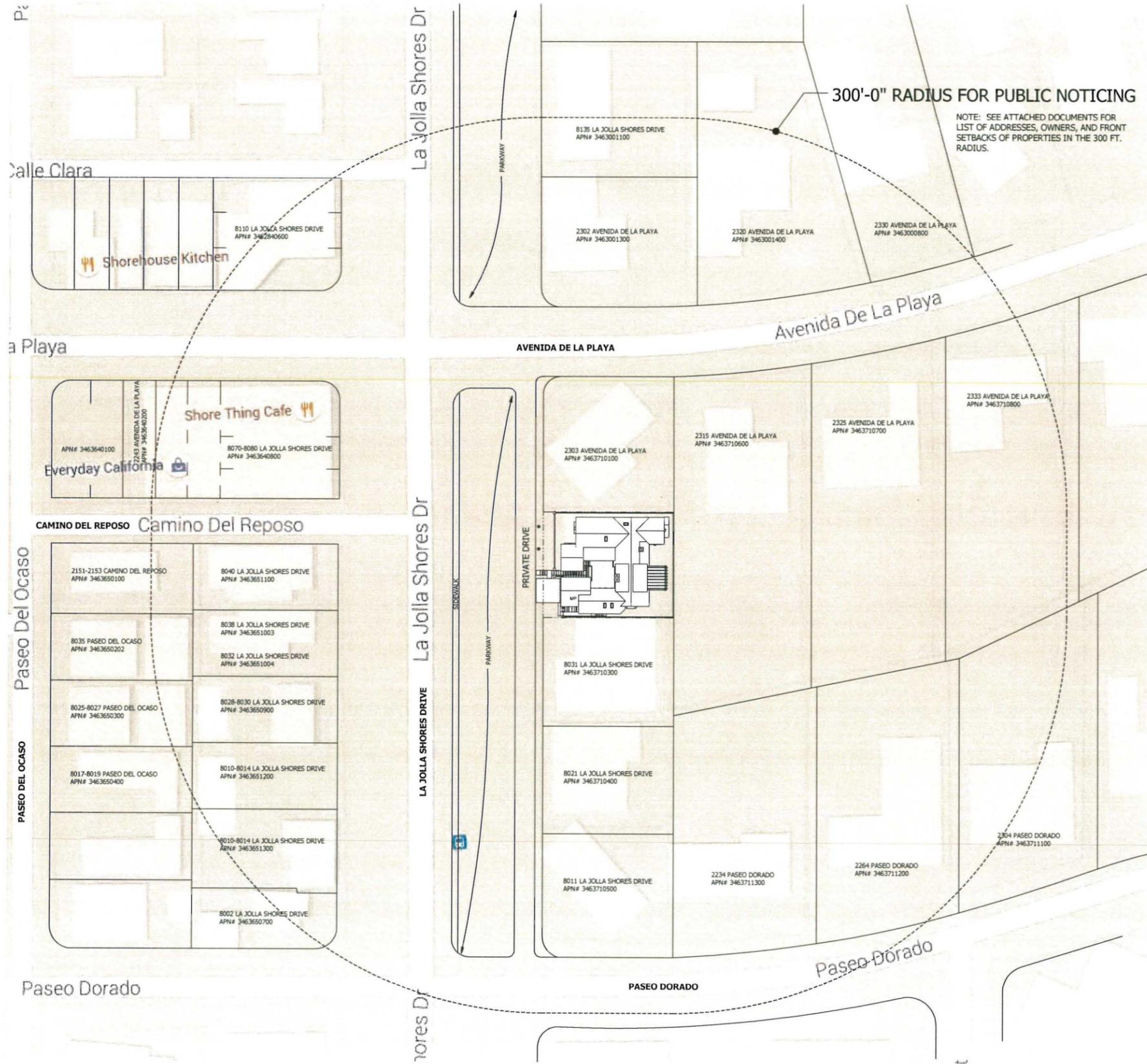
PROJECT NUMBER
2015

PROJ. MNGR. RMD	DRAWN RMD
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ISSUE DATE
03/9/2016

SITE & LANDSCAPE PLAN

A1-02



IS ARCHITECTURE
 JANE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD. LA JOLLA, CA 92037
 T: 858-456-8555 F: 858-456-8566
 www.isarchitecture.com



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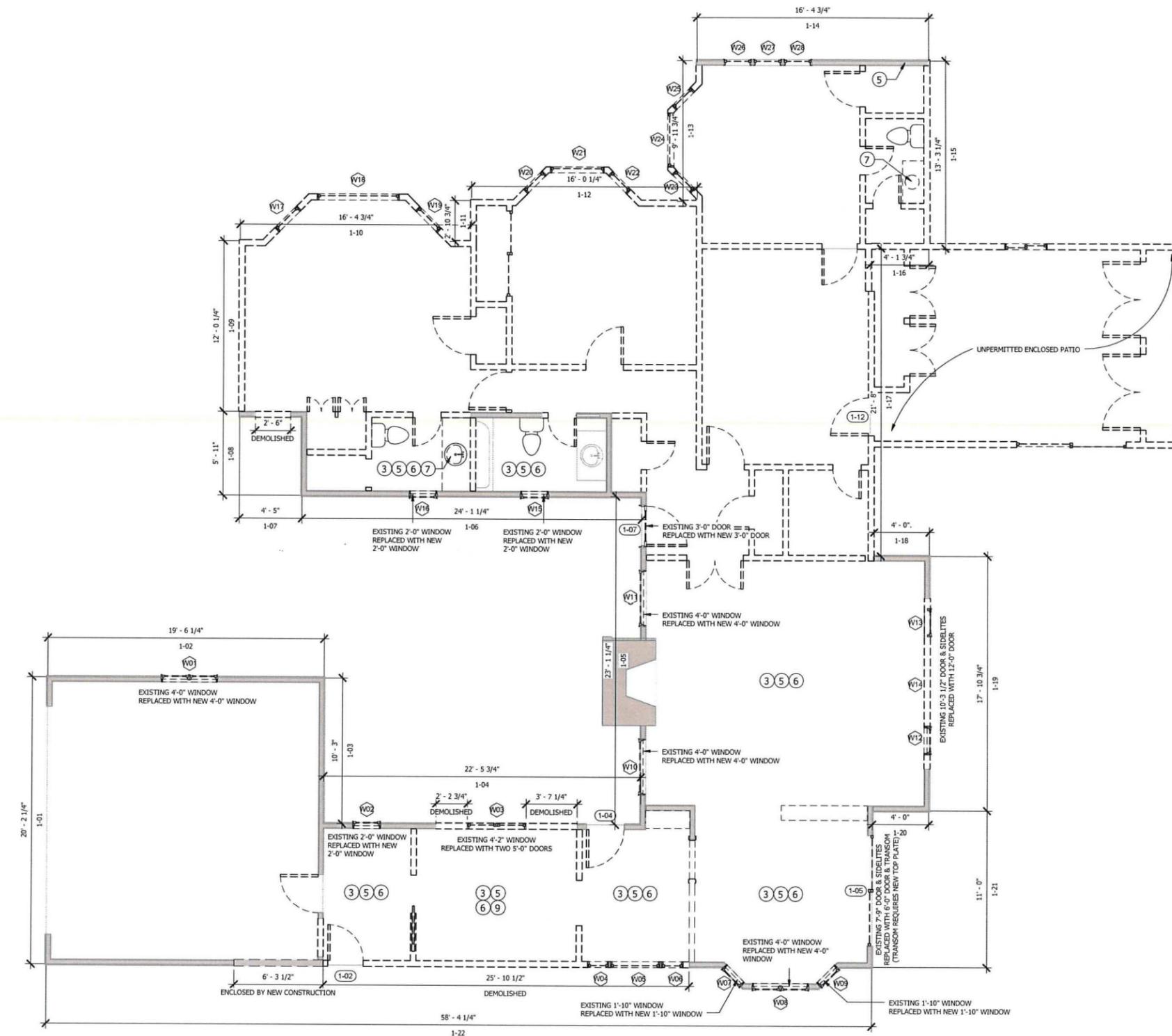
REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2015	
PROJ. MNGR. RMD	DRAWN BW
ISSUE DATE 03/9/2016	

SITE DEVELOPMENT PUBLIC NOTICING

① SITE DEVELOPMENT PUBLIC NOTICING
 1" = 40'-0"



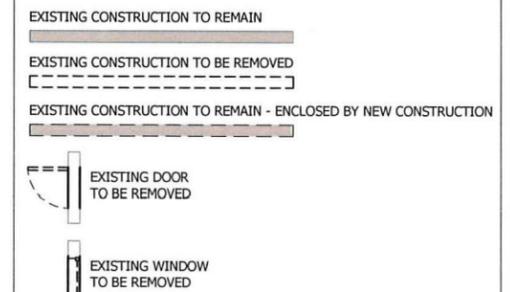


1 FIRST FLOOR - DEMO
1/4" = 1'-0"

COASTAL EXEMPTION CALCULATION OF PERIMETER LINEAR FOOTAGE

WALL	EXISTING	REMAINING	DEMOLISHED
FIRST FLOOR			
1-01	20' - 2 1/4"	20' - 2 1/4"	0' - 0"
1-02	19' - 6 1/4"	19' - 6 1/4"	0' - 0"
1-03	10' - 3"	10' - 3"	0' - 0"
1-04	22' - 5 3/4"	16' - 7 3/4"	5' - 10"
1-05	23' - 1 1/4"	23' - 1 1/4"	0' - 0"
1-06	24' - 1 1/4"	24' - 1 1/4"	0' - 0"
1-07	4' - 5"	1' - 11"	2' - 6"
1-08	5' - 11"	5' - 11"	0' - 0"
1-09	12' - 0 1/4"	0' - 0"	12' - 0 1/4"
1-10	16' - 4 3/4"	0' - 0"	16' - 4 3/4"
1-11	2' - 10 3/4"	0' - 0"	2' - 10 3/4"
1-12	16' - 0 1/4"	0' - 0"	16' - 0 1/4"
1-13	9' - 11 3/4"	0' - 0"	9' - 11 3/4"
1-14	16' - 4 3/4"	16' - 4 3/4"	0' - 0"
1-15	13' - 3 1/4"	0' - 0"	13' - 3 1/4"
1-16	4' - 1 3/4"	0' - 0"	4' - 1 3/4"
1-17	21' - 8"	0' - 0"	21' - 8"
1-18	4' - 0"	4' - 0"	0' - 0"
1-19	17' - 10 3/4"	16' - 2 1/4"	1' - 8 1/2"
1-20	4' - 0"	4' - 0"	0' - 0"
1-21	11' - 0"	5' - 0"	6' - 0"
1-22	58' - 4 1/4"	26' - 2 1/4"	32' - 2"
	EXISTING	REMAINING	DEMOLISHED
TOTAL	338' - 0 1/4"	193' - 5"	144' - 7 1/4"
		57% REMAINING	
(169'-1 3/8" = 50%)			

WALL LEGEND



GENERAL NOTES - DEMOLITION

1. ALL EXISTING EXTERIOR WINDOWS AND DOORS SHALL BE REMOVED.
2. ALL EXISTING INTERIOR DOORS SHALL BE REMOVED.
3. EXISTING ROOF FRAMING AND ROOFING SHALL BE REMOVED.
4. ORIGINAL FINISH FLOORING SHALL BE REMOVED.
5. EXISTING WALL & CEILING FINISHES SHALL BE REMOVED.
6. THE PROJECT IS IN THE COASTAL REGION AND MUST KEEP 50% OF THE EXISTING EXTERIOR WALLS INTACT TO BE COASTAL DEVELOPMENT EXEMPT.

KEYNOTES - DEMOLITION

- 1 REMOVE HOT WATER HEATER.
- 2 REMOVE HVAC.
- 3 REMOVE FINISH FLOOR.
- 4 REMOVE CASEWORK / BUILT-IN SHELVES.
- 5 REMOVE WALL FINISHES TO STUDS.
- 6 REMOVE CEILING FINISHES TO JOISTS.
- 7 REMOVE ALL BATHROOM FIXTURES, CASEWORK, FLOOR FINISHES, WALL FINISHES TO STUDS, AND CEILING FINISHES TO JOISTS.
- 8 REMOVE EXISTING DOORS AND WINDOWS AND REPLACE WITH NEW (SEE DOOR & WINDOW SCHEDULE)
- 9 REMOVE ALL KITCHEN FIXTURES, CASEWORK, FLOOR FINISHES, WALL FINISHES TO STUDS, AND CEILING FINISHES TO JOISTS.

IS ARCHITECTURE
JONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V: 858-456-8555 F: 858-456-8566
www.isarchitecture.com



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THE EVANS RESIDENCE

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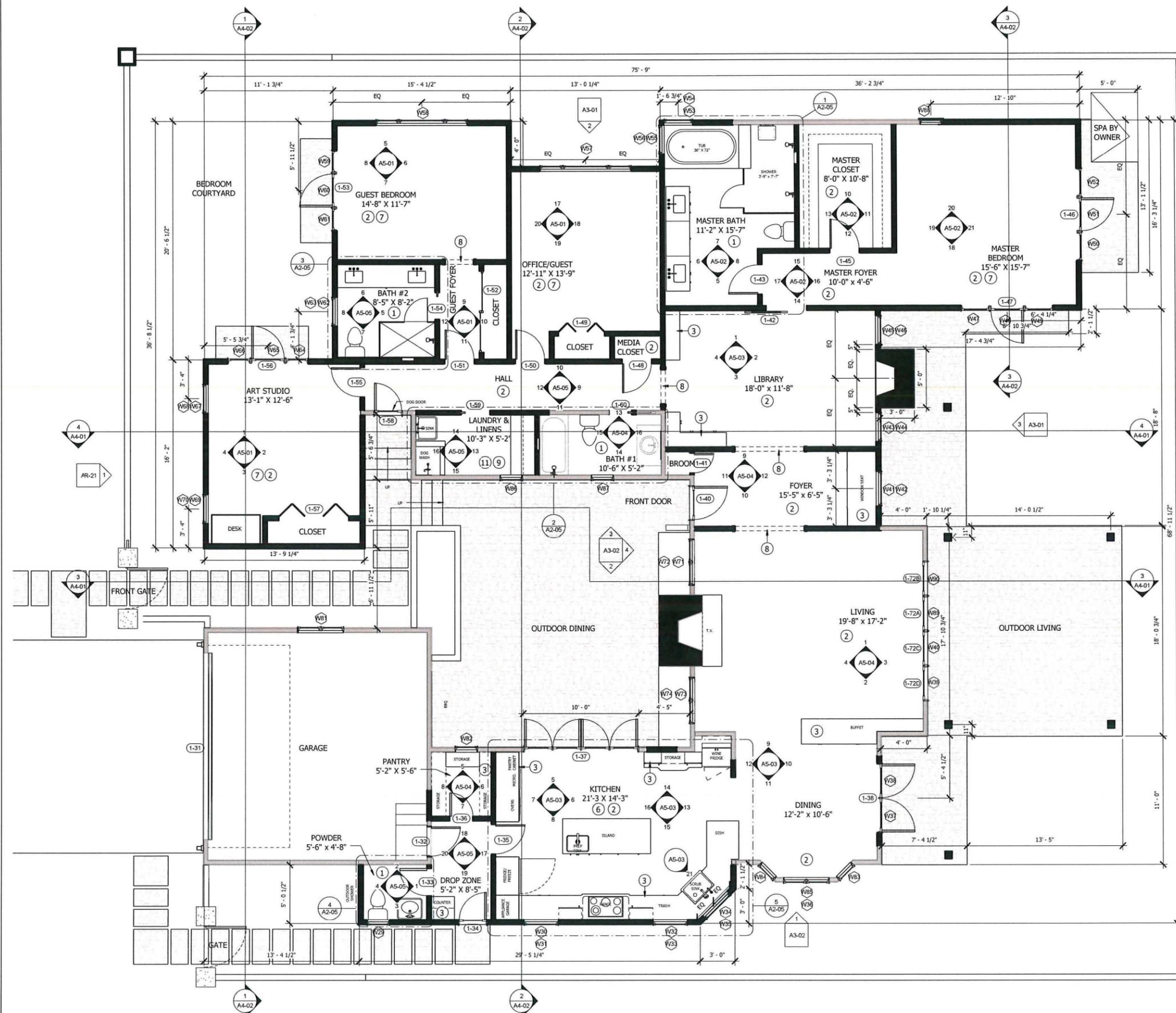
NO.	NAME	DATE

PROJECT NUMBER
2015

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ISSUE DATE
03/9/2016

DEMOLITION FLOOR PLAN



1 FIRST FLOOR
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- PROJECTS LOCATED IN A HIGH FIRE SEVERITY ZONE SHALL CONFORM WITH CBC CHAPTER 7A "MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDLIFE EXPOSURE."
- REFER TO WINDOW AND DOOR SCHEDULE FOR GLAZING. PROJECTS LOCATED IN A HIGH FIRE SEVERITY ZONE SHALL: BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257, OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.
- GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILINGS, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SWIMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
- WHERE DOORS SWING OUTWARD, THE FINISHED SURFACE OF THE EXTERIOR LANDING OR DECK SHALL BE WITHIN 1/2" OF THE DOOR THRESHOLD PER CBC 1008.1.6.
- ALL RESTROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS PROVIDE A MECHANICAL VENTILATION SYSTEM (EXHAUST FANS) CAPABLE OF PROVIDING FIVE COMPLETE AIR CHANGES PER HOUR AND DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3 FEET FROM ANY EXTERIOR OPENING. VENT EXHAUST FANS TO OUTSIDE AIR WITH BACK-DRAFT DAMPER.
- MINIMUM CLEARANCE FROM THE CENTER LINE OF WATER CLOSET TO FACE OF ADJACENT WALL TO BE 15" AND 24" CLEAR IN FRONT OF WATER CLOSET.
- PLUMBING FIXTURES AND HARDWARE SHALL COMPLY WITH CURRENT WATER CONSERVATION REQUIREMENTS. BACKFLOW PREVENTER TO BE PER C.P.C.

LOW FLOW TOILETS: 1.28 GALLONS PER FLUSH
SHOWER HEADS: 2.0 GALLONS PER MINUTE
LAVATORY FAUCETS: 1.5 GALLONS PER MINUTE
KITCHEN FAUCETS: 1.8 GALLONS PER MINUTE
- SHOWER PANS(S) SHALL BE HOT-MOPPED WITH 4" BUILT UP DAM UNLESS NOTED OTHERWISE. TILE FINISH PER INTERIOR ELEVATIONS AT SHOWER STALL FLOOR AND WALLS TO CEILING HEIGHT UNLESS OTHERWISE NOTED. TILE DETAILING PER CERAMIC TILE INSTITUTE STANDARDS.
- PROVIDE MINIMUM R-13 INSULATION AT EXTERIOR WALLS, R-13 INSULATION AT PLUMBING WALLS AND INTERIOR WALLS SURROUNDING BATHROOMS FOR SOUND ATTENUATION, R-19 FOR FLOORS, AND R-30 INSULATION IN ALL NEW ATTICS, PER CALIFORNIA'S ENERGY CODE TITLE 24, PART 6 REQUIREMENTS, UNLESS OTHERWISE NOTED.
- STAIRS SHALL HAVE 10" MIN. TREADS (RUN) AND 7.75" MAX - 4" MIN. RISER. TREADS SHALL BE OF UNIFORM SIZE AND SHAPE, EXCEPT LARGEST TREAD WITHIN ANY FLIGHT NOT TO EXCEED THE SMALLEST BY MORE THAN 3/8" PER 2013 CBC SEC. 1009.
- NEW FINISHES IN SELECT LOCATIONS, REFER TO PLANS ELEVATIONS AND SCHEDULES.

WALL LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW WALLS TO BE CONSTRUCTED / INFILLED: (MATCH ADJACENT EXISTING WALL THICKNESS)
- NEW DOOR (PER DOOR SCHEDULE)
- NEW WINDOW (PER WINDOW SCHEDULE)

KEYNOTES - FLOOR PLAN

- NEW BATHROOM FIXTURES, CASEWORK, FLOOR FINISHES, GYPSUM BOARD / WALL FINISHES, AND GYPSUM BOARD / CEILING FINISHES.
- NEW FINISH FLOOR.
- NEW CASEWORK / BUILT-INS (SEE INT. ELEVATIONS)
- NEW GYPSUM BOARD / WALL FINISHES (SEE INT. ELEVATIONS)
- NEW GYPSUM BOARD / CEILING FINISHES.
- NEW KITCHEN FIXTURES, CASEWORK, FLOOR FINISHES, GYPSUM BOARD / WALL FINISHES, AND GYPSUM BOARD / CEILING FINISHES.
- NEW WOOD WALL PANELING (SEE INT. ELEVATIONS)
- NEW CASED OPENING.
- NEW PLUMBING AND ELECTRICAL SERVICE FOR NEW CLOTHES WASHER AND DRYERS.
- NEW FRAMING, DOOR, AND WINDOWS. (SEE DOOR & WINDOW SCHEDULE)
- NEW LAUNDRY FIXTURES, CASEWORK, FLOOR FINISHES, GYPSUM BOARD / WALL FINISHES, AND GYPSUM BOARD / CEILING FINISHES. NEW ELEVATED DOG WASH WITH HAND SHOWER (SEE INT. ELEVATIONS)

IS ARCHITECTURE
JONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V. 858.456.8555 F. 858.456.8566
www.isarchitecture.com



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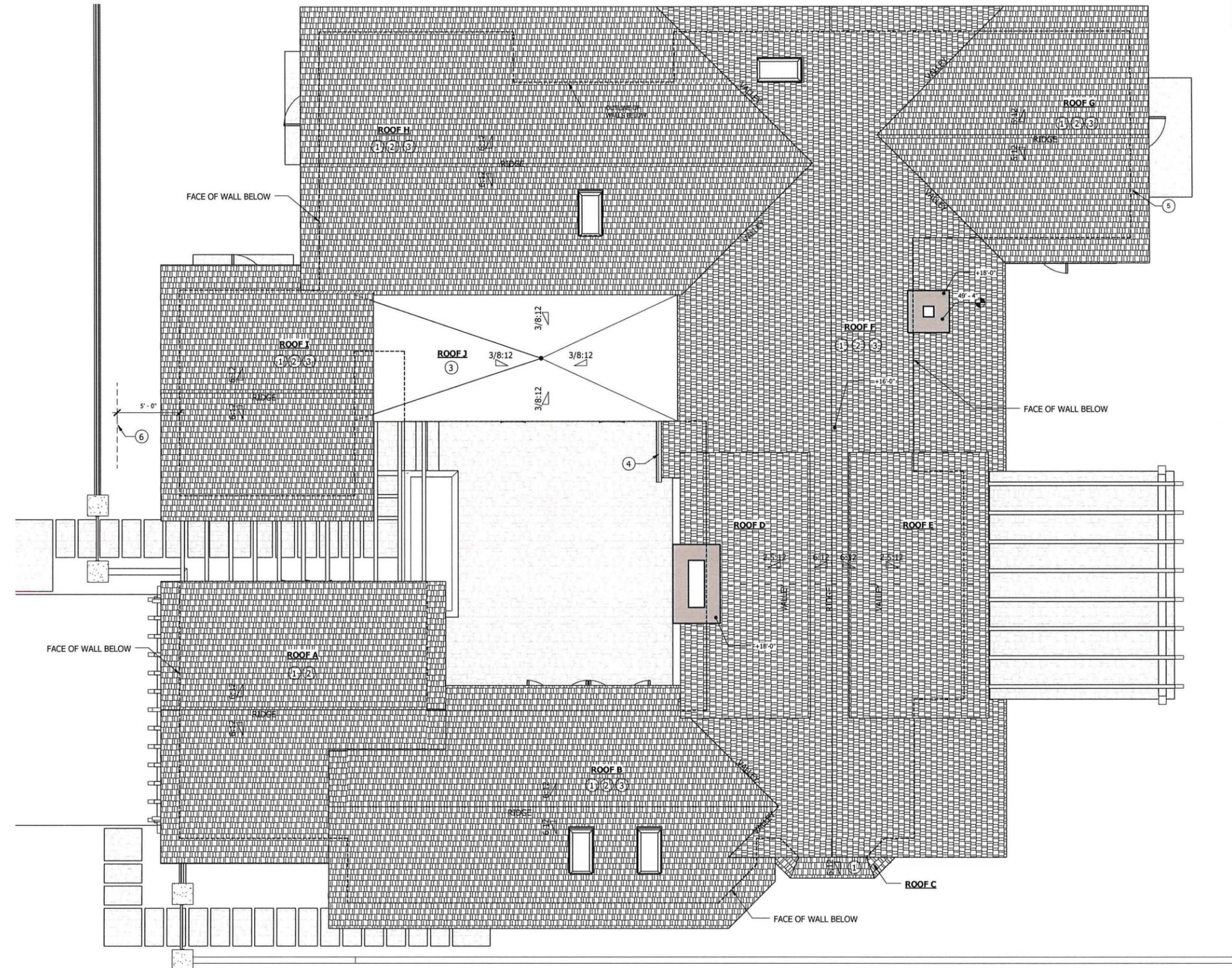
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FLOOR PLAN

A2-02



2 ROOF
1/4" = 1'-0"



ROOF VENTILATION CALCULATIONS

ROOF MARK	ROOF AREA (SQ. FT.)	REQ. VENT AREA (SQ. FT.)	REQ. VENT AREA (SQ. IN.)	NUMBER OF VENTS REQ.	NUMBER OF VENTS PROVIDED	VENT AREA PROVIDED (SQ. IN.)
A	398.29	N/A	N/A	N/A	N/A	N/A
B	498.88	ROOF AREA / 150 = 3.33	SF. VENT AREA * 144 = 478.92	SF. VENT AREA / SQ. IN. PER VENT = 478.92 / 36.5 = 13.1	14	511
C	11.49	ROOF AREA / 150 = 0.077	SF. VENT AREA * 144 = 11.03	SF. VENT AREA / SQ. IN. PER VENT = 11.03 / 36.5 = 0.3	1	36.5
D	121.10	ROOF AREA / 150 = 0.81	SF. VENT AREA * 144 = 116.26	SF. VENT AREA / SQ. IN. PER VENT = 116.26 / 36.5 = 3.2	4	146
E	137.08	ROOF AREA / 150 = 0.91	SF. VENT AREA * 144 = 131.6	SF. VENT AREA / SQ. IN. PER VENT = 131.6 / 36.5 = 3.6	4	146
F	835.23	ROOF AREA / 150 = 5.57	SF. VENT AREA * 144 = 801.8	SF. VENT AREA / SQ. IN. PER VENT = 801.8 / 36.5 = 22.0	22	803
G	296.15	ROOF AREA / 150 = 1.97	SF. VENT AREA * 144 = 284.3	SF. VENT AREA / SQ. IN. PER VENT = 284.3 / 36.5 = 7.8	8	292
H	724.03	ROOF AREA / 150 = 4.83	SF. VENT AREA * 144 = 695	SF. VENT AREA / SQ. IN. PER VENT = 695 / 36.5 = 19.0	20	730
I	254.35	ROOF AREA / 150 = 1.7	SF. VENT AREA * 144 = 244.18	SF. VENT AREA / SQ. IN. PER VENT = 244.18 / 36.5 = 6.7	7	255.5
J	258.99	ROOF AREA / 150 = 1.73	SF. VENT AREA * 144 = 246.63	SF. VENT AREA / SQ. IN. PER VENT = 246.63 / 36.5 = 6.8	7	255.5
TOTALS:			3,011.72		87	3,175.5

NOTE: THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED - (PER CBC 1203.2)

GENERAL NOTES - ROOF PLAN

- WHERE INDICATED, NEW CLASS "A" ROOFING ASSEMBLY, ROOFING TILE SHALL BE US-TILE (OR EQUAL TO MATCH EXISTING) ICC#ESR-1017: 1-PIECE, COLOR TO MATCH EXISTING.
- EXISTING ROOF TILES OVER EXISTING HOUSE TO REMAIN.
- RADIANT ROOF BARRIER REQUIRED AT NEW ROOF FRAMING.
- PROVIDE CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS. ALL FLASHING JOINTS TO BE SEALED WITH MASTIC OR SOLDERED.
- PROVIDE FIRESTOP AT EAVE ENDS TO PREVENT ENTRY OF FLAME OR EMBERS UNDER ROOFING MATERIAL.
- VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT SUCH VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATE IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE. COORDINATE LOCATIONS WITH ARCHITECT.
- ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.
- ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC.) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS OR SHALL BE PROTECTED BY LOUVERS AND 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ROTATION IN ONLY ONE DIRECTION.
- ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN (OR SNOW). THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.
- OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENING OF 1/4 INCH IN DIMENSION.
- ROOF MATERIAL FASTENERS SHALL BE RATED TO SUSTAIN A MINIMUM WIND OF 80 M.P.H.
- USE CORROSION RESISTIVE NAILS AND FASTENERS. AVOID CONTACT BETWEEN DISSIMILAR METALS.

GENERAL NOTES - DEMOLITION

- ALL EXISTING EXTERIOR WINDOWS AND DOORS SHALL BE REMOVED.
- ALL EXISTING INTERIOR DOORS SHALL BE REMOVED.
- EXISTING ROOF FRAMING AND ROOFING SHALL BE REMOVED.
- ORIGINAL FINISH FLOORING SHALL BE REMOVED.
- EXISTING WALL & CEILING FINISHES SHALL BE REMOVED.
- THE PROJECT IS IN THE COASTAL REGION AND MUST KEEP 50% OF THE EXISTING EXTERIOR WALLS INTACT TO BE COASTAL DEVELOPMENT EXEMPT.

KEYNOTES - ROOF PLAN

- NEW FINISH ROOF: GAF/ELK GRAND SEQUOIA IN "WEATHERED WOOD" COLOR ASPHALT COMPOSITE SHINGLES OVER 15 ASPHALT BUILDING PAPER. COPPER FLASHING (RIDGE, VALLEY, PENETRATION, EDGE, ETC.). CLASS A, ICC#
- NEW ROOF VENTILATION. CONTINUOUS RIDGE VENTS AND EAVE VENTS PER ROOF VENTILATION CALCULATION SCHEDULE BELOW.
- NEW ROOF FRAMING AND SHEATHING PER STRUCTURAL.
- GUTTER.
- PROP D REFERENCE DATUM TAKEN FROM EDGE OF HIGHEST GRADE AT THE BUILDING FOOTPRINT (GRADE DIFFERENCE OF SITE IS LESS THAN 10'-0"). REFERENCE DATUM IS 32'-4".
- LOW DATUM MEASURED AT LOWEST GRADE 5'-0" FROM BUILDING FOOTPRINT. LOW DATUM IS 29'-9".

IS ARCHITECTURE
JONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V. 858-456-8555 F. 858-456-8566
www.isarchitecture.com



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ROOF PLAN

A2-03

IS ARCHITECTURE
 JONE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD. LA JOLLA, CA 92037
 V. 858-456-8555 F. 858-456-8566
 www.isarchitecture.com



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EXTERIOR ELEVATIONS

A3-01

GENERAL NOTES - EXTERIOR

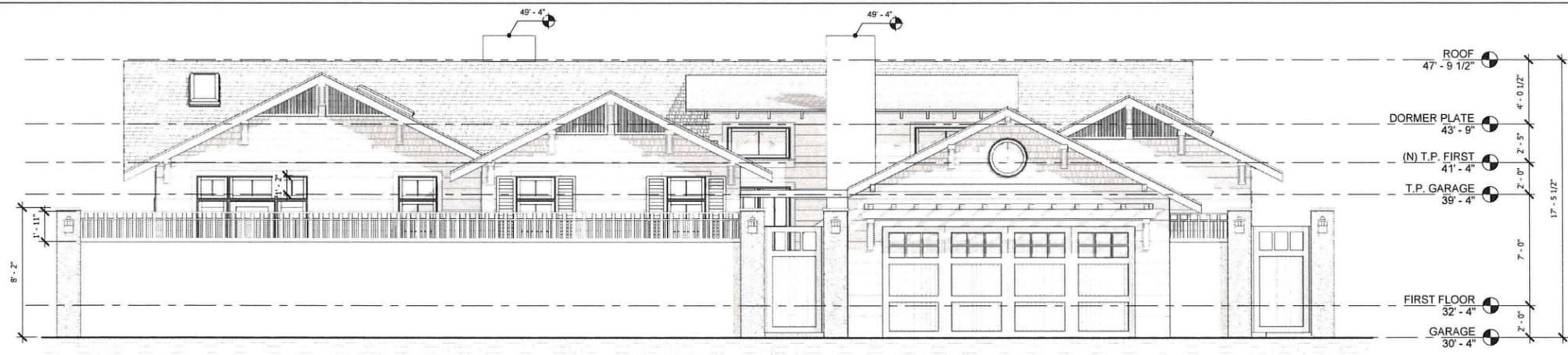
- EXTERIOR CLADDING/FINISH TO REMAIN UNLESS NOTED OTHERWISE. AT AREAS OF NEW WORK, CLADDING/FINISH SHALL BE INSTALLED/PATCHED SO AS TO CREATE A SEAMLESS APPEARANCE WHEN TRANSITIONING TO EXISTING.
- ALL WINDOWS AND DOORS ARE EXISTING UNLESS NOTED OTHERWISE. REFER TO THE WINDOW AND DOOR SCHEDULE.
- EXTERIOR TO BE PAINTED: HOUSE, TRIM, WINDOWS, DOORS, AND SITE WALLS/FENCES. OWNER TO SELECT COLORS, CONTRACTOR SHALL PROVIDE COLOR MOCK UP FOR APPROVAL.

LEGEND - EXTERIOR FINISHES

- NOTE: REFER TO EXTERIOR FINISH SCHEDULE FOR FINISHES.
- ◊E01 FIELD COLOR - LIGHT GRAY.
 - ◊E02 TRIM COLOR - WHITE TO MATCH EXISTING.

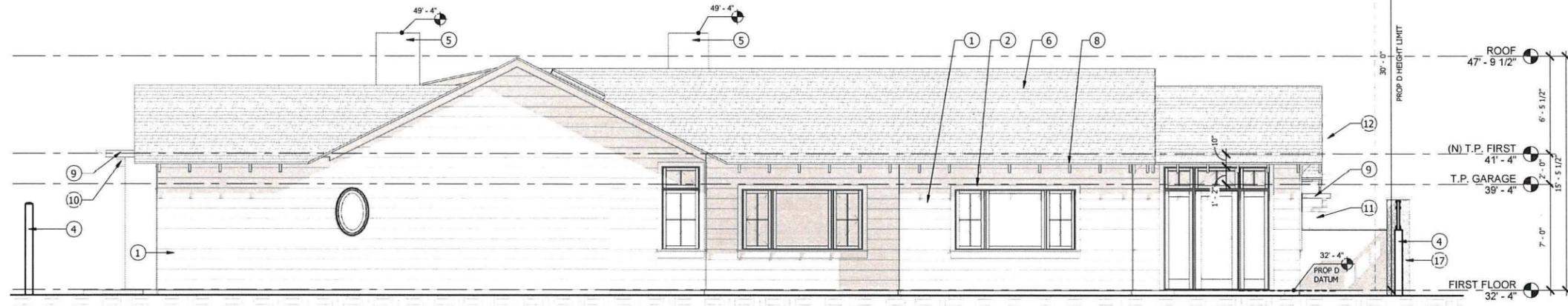
KEYNOTES - EXTERIOR

- HARDIPANEL CLAPBOARD SIDING. AT CORNERS, SIDING SHALL BE MITTERED.
- WINDOW TRIM PACKAGE TO BE HARDITRIM 4/4, SMOOTH.
- "ENDURIAN" EXTERIOR SHUTTERS BY TIMBERLANE. COLOR TO BE BLACK.
- STUCCO WALL +/- 6'-0" HIGH.
- NEW FRAMED CHIMNEY WITH STUCCO VENEER. RETAIN EXISTING WOOD BURNING FIREBOX.
- ASPHALT SHINGLE ROOFING. COLOR TO MATCH EXISTING.
- AT LOCATIONS WHERE EXISTING ROOF FRAMING IS TO REMAIN, PROVIDE NEW ROOF FINISH. ASPHALT SHINGLE ROOFING, COLOR TO MATCH EXISTING.
- OPEN EAVES AND RAFTER TAILS TO MATCH EXISTING.
- 4x WOOD TRELLIS MEMBER, PAINTED.
- 8x WOOD TRELLIS MEMBER, PAINTED.
- 4x6 WOOD KNEE BRACE, PAINTED.
- 4x FASCIA WOOD RAFTER TAILS, PAINTED.
- STUCCO PLANTER WALL.
- GUTTER.
- RAIN CHAIN, BRING WATER INTO PLANTED AREA BELOW.
- WOOD GATE.
- GATE/FENCE POST WITH RIVER ROCK STONE VENEER.
- HOUSE NUMBER LOCATION, VISIBLE FROM STREET.



1 WEST
1/4" = 1'-0"

30'-0" PROP D HEIGHT LIMIT
(CHANGE IN SITE ELEVATION IS LESS THAN 10'-0")



2 NORTH
1/4" = 1'-0"

30'-0" PROP D HEIGHT LIMIT
(CHANGE IN SITE ELEVATION IS LESS THAN 10'-0")



3 EAST
1/4" = 1'-0"



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GENERAL NOTES - EXTERIOR

- EXTERIOR CLADDING/FINISH TO REMAIN UNLESS NOTED OTHERWISE. AT AREAS OF NEW WORK, CLADDING/FINISH SHALL BE INSTALLED/PATCHED SO AS TO CREATE A SEAMLESS APPEARANCE WHEN TRANSITIONING TO EXISTING.
- ALL WINDOWS AND DOORS ARE EXISTING UNLESS NOTED OTHERWISE. REFER TO THE WINDOW AND DOOR SCHEDULE.
- EXTERIOR TO BE PAINTED: HOUSE, TRIM, WINDOWS, DOORS, AND SITE WALLS/FENCES. OWNER TO SELECT COLORS, CONTRACTOR SHALL PROVIDE COLOR MOCK UP FOR APPROVAL.

LEGEND - EXTERIOR FINISHES

- NOTE: REFER TO EXTERIOR FINISH SCHEDULE FOR FINISHES.
- ◊ ED1 FIELD COLOR - LIGHT GRAY.
 - ◊ ED2 TRIM COLOR - WHITE TO MATCH EXISTING.

KEYNOTES - EXTERIOR

- HARDIPANEL CLAPBOARD SIDING. AT CORNERS, SIDING SHALL BE MITERED.
- WINDOW TRIM PACKAGE TO BE HARDITRIM 4/4, SMOOTH.
- "ENDURIAN" EXTERIOR SHUTTERS BY TIMBERLANE. COLOR TO BE BLACK.
- STUCCO WALL +/- 6'-0" HIGH.
- NEW FRAMED CHIMNEY WITH STUCCO VENEER. RETAIN EXISTING WOOD BURNING FIREBOX.
- ASPHALT SHINGLE ROOFING. COLOR TO MATCH EXISTING.
- AT LOCATIONS WHERE EXISTING ROOF FRAMING IS TO REMAIN, PROVIDE NEW ROOF FINISH. ASPHALT SHINGLE ROOFING, COLOR TO MATCH EXISTING.
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- GATE/FENCE POST WITH RIVER ROCK STONE VENEER.
- HOUSE NUMBER LOCATION, VISIBLE FROM STREET.



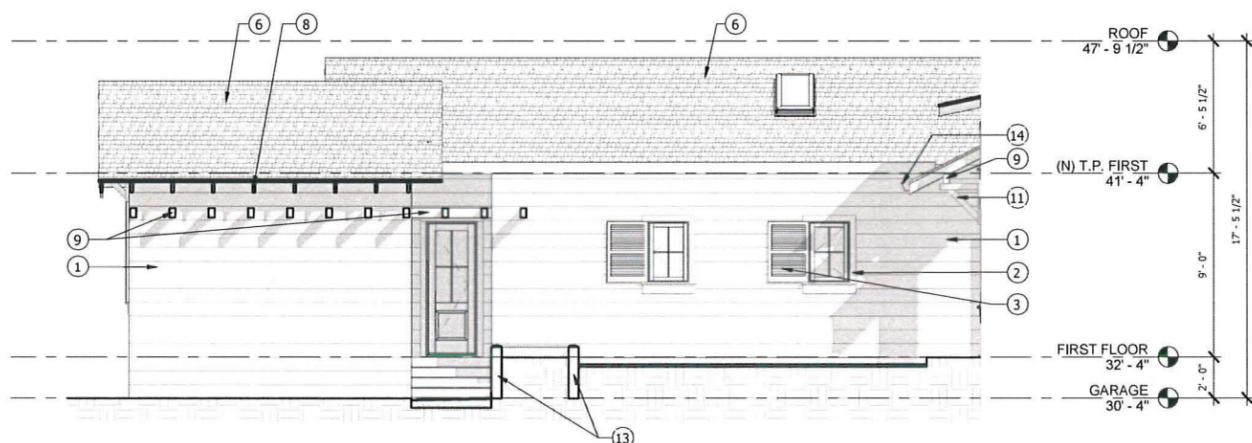
1 SOUTH
 1/4" = 1'-0"



4 COURTYARD - WEST
 1/4" = 1'-0"



2 COURTYARD - NORTH
 1/4" = 1'-0"



3 COURTYARD - SOUTH
 1/4" = 1'-0"

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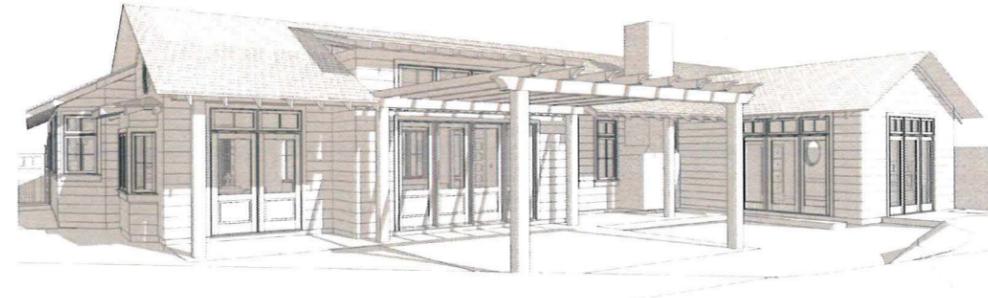
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EXTERIOR ELEVATIONS

A3-02



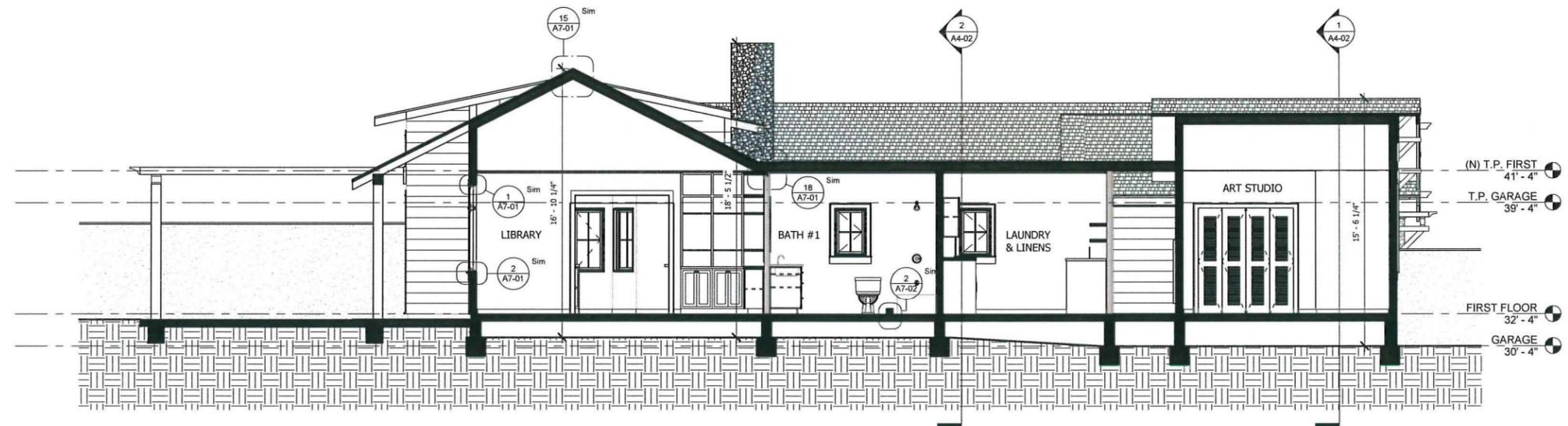
1 EXTERIOR - SOUTHWEST



2 EXTERIOR - SOUTHEAST



3 LATITUDINAL SECTION
1/4" = 1'-0"



4 LATITUDINAL SECTION1
1/4" = 1'-0"

IS ARCHITECTURE
 IONE R. STIEGLER, FAIA
 5649 LA JOLLA BLVD. LA JOLLA, CA 92037
 V. 858.456.8555 F. 858.456.8566
 www.isarchitecture.com



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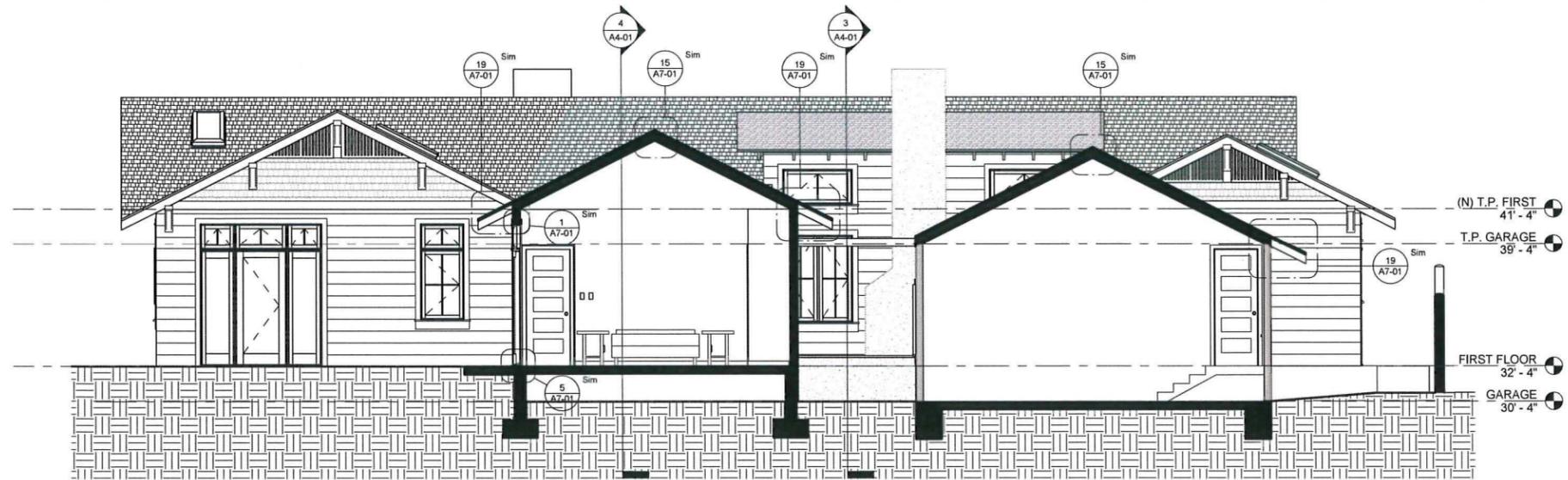
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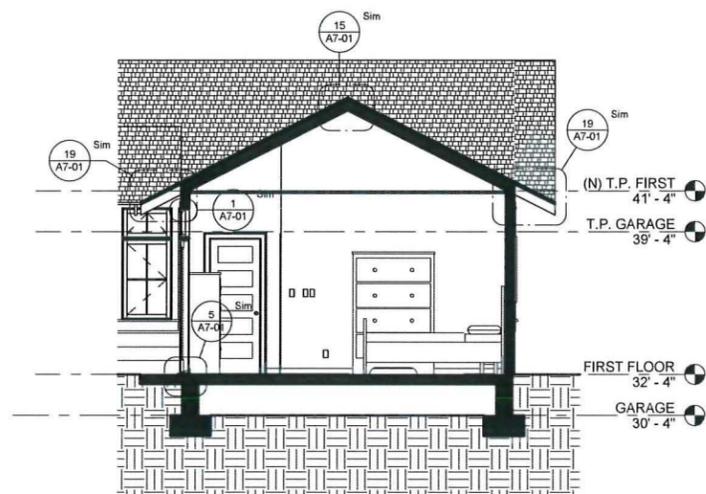
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① Section 4
 1/4" = 1'-0"



② Section 1
 1/4" = 1'-0"



③ Section 5
 1/4" = 1'-0"

REVISIONS

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PROJ. MNGR. DRAWN
 Checker Author

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**SITE
 &
 BUILDING
 SECTIONS**

A4-02