



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: August 29, 2016 REPORT NO. HO-16-052

HEARING DATE: September 7, 2016

SUBJECT: SHASTA STREET TM & CDP. PROCESS THREE DECISION

PROJECT NUMBER: [447822](#)

OWNER/APPLICANT: Clara M. Walker, Clara Maria Walker Family Trust/Claude-Anthony Marengo, Marengo Morton Architects

### SUMMARY:

Issue: Should the Hearing Officer approve the construction of a two-unit residential project located at 3804 Shasta Street within the Pacific Beach Community Planning Area?

### Staff Recommendations:

1. Approve Tentative Map No. 1680944.
2. Approve Coastal Development Permit No. 1575412.

Community Planning Group Recommendation: On March 23, 2016, the Pacific Beach Planning Group voted 12-0-0 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 25, 2016 and the opportunity to appeal that determination ended April 11, 2016.

### BACKGROUND

The 0.12-acre-site is located at 3804 Shasta Street in the RM-1-1 zone within the Parking Impact Overlay Zone (PIOZ) (Coastal and Beach Impact Areas), Residential Tandem Parking Overlay Zone (RTPOZ), Coastal Height Limitation Overlay Zone (CHLOZ), Coastal Overlay Zone (Non-Appealable Area) within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan.

The proposed project will require a Tentative Map per [San Diego Municipal Code \(SDMC\) Section 125.0430](#), to construct two condominium residential units. The proposed project will also require a

Coastal Development Permit for development located within the Coastal Overlay Zone per [SDMC Section 126.0707\(b\)](#).

## DISCUSSION

### Project Description:

The project proposes to demolish an existing single dwelling unit and construct a two story, two-unit duplex with roof deck within the RM-1-1 residential zone.. Each unit will contain two bedrooms. Unit 1 is 1,949 square feet with 659 square feet of deck area and three parking spaces. Unit 2 is 1,828 square feet with 672 square feet of deck area and two parking spaces. A total of five parking spaces are being provided where five are required. The overall development is 3,778 square feet where 3,779.3 square feet is allowed. The floor area ratio (FAR) is 0.75 and is consistent with the allowable FAR. The project has been designed to be consistent with the community plan and to comply with applicable development regulations including land use intensity, height, setback, floor area ratio, landscaping and parking. No deviations are requested.

The applicant is required to underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code and to underground any new service run to any new or proposed structures within the subdivision as well. Public improvements, including new driveways, an improved alley, and sidewalk, will be constructed to the satisfaction of the City Engineer.

The two-unit residential project will be subject to Inclusionary Housing regulations and will be required to pay in-lieu fees, prior to Building Permit issuance as outlined in the [San Diego Municipal Code \(SDMC\) Section 142.13](#).

### Community Plan Analysis:

The Pacific Beach Community plan designates the proposed project site for Low Medium Density Residential land use at a density of 9-15 dwelling units per acre (du/ac), and the proposed density of two du/ac (two units on a 0.12-acre-site) is in conformance with this designation. The RM-1-1 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 3,000 square feet of lot area and the 0.12-acre-site can accommodate two residential units. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development. The subdivision of this parcel into two residential condominium units is consistent with the Pacific Beach Community Plan land use designation.

The City of San Diego General Design Guide encourages a variety of roof types for new and infill development in Pacific Beach, including but not limited to flat and pitched roofs. A variety of roof types helps to provide visual interest and minimize the bulk and scale of development. The proposed conceptual design is characteristic of modern architecture as it is simplified with an emphasis on rectangular, horizontal and vertical lines with a flat roof.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan also welcomes change through innovation demonstrated by architectural design that is compatible with the surrounding neighborhood.

Development in Pacific Beach presents an eclectic mix of architectural styles. These styles include a variety of roofs, materials, height, and bulk and scale.

The Pacific Beach Community Plan does not identify an existing or proposed view corridor or public access way on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property.


Conclusion:

The project has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. The proposed subdivision and development of two residential condominium units has been designed to comply with all applicable development regulations of the RM-1-1 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested. Staff has reviewed the project and determined that the proposed design, form, and siting of the proposed development will be in conformity with the land use plan and complies with all regulations.

ALTERNATIVES

1. Approve Tentative Map No. 1680944 and Coastal Development Permit No. 1575412, with modifications.
2. Deny Tentative Map No. 1680944 and Coastal Development Permit No. 1575412, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

  
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Jeffrey W. Robles, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution
8. Draft Map Conditions
9. Environmental Exemption
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans
13. Tentative Map



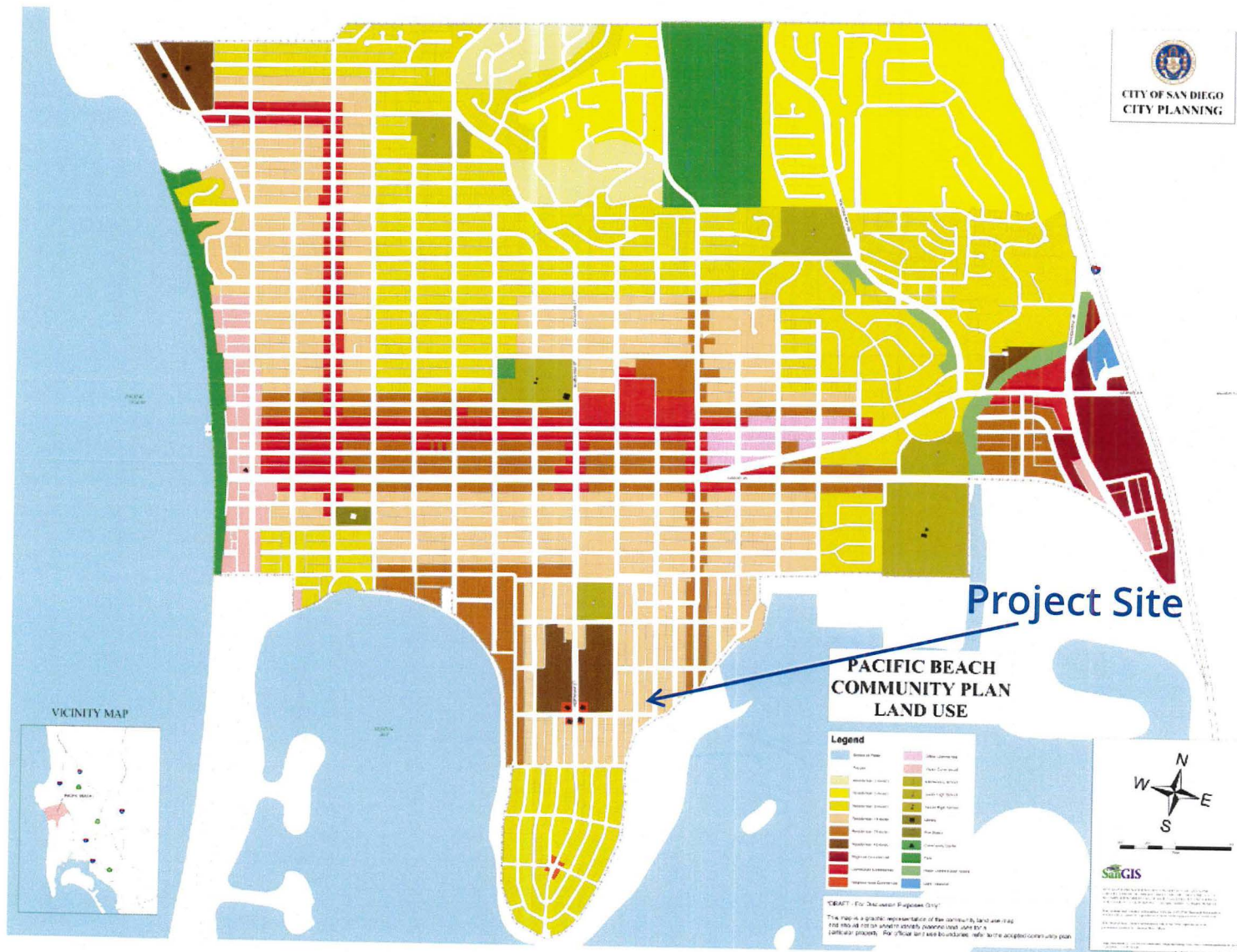


## Project Location Map

**Shasta Duplex CDP- 3804 Shasta Street**  
**PROJECT NO 447822**







# Land Use Map

SHASTA DUPLEX CDP - 3804 SHASTA STREET

PROJECT NO. 447822







**Location Aerial Photo**

**Shasta Duplex CDP - 3804 Shasta Street**  
**PROJECT NO 447822**







## PROJECT DATA SHEET

<b>Project Name:</b>	SHASTA RESIDENCE	
<b>Project Description:</b>	Demolish existing single dwelling unit and construct two story, two unit duplex	
<b>Community Plan Area:</b>	Pacific Beach	
<b>Discretionary Actions:</b>	Coastal Development Permit (CDP), Tentative Map (TM)	
<b>Community Plan Land Use Designation:</b>	Low Medium Density Residential (9-15 DU/AC)	
<b>ZONING INFORMATION:</b>		
	<b>Zone:</b> RM-1-1 Multi-family residential	
	<b>Height Limit:</b> 30 Feet. Project proposes: 28 feet 11 inches	
	<b>Lot Size:</b> 0.12 acres	
	<b>Floor Area Ratio:</b> 0.75 FAR of the site. Project proposes: 0.75	
	<b>Front Setback:</b> 15 feet. Project proposes: 15	
	<b>Side Setback:</b> 5 feet. Project proposes: 5 feet	
	<b>Streetside Setback:</b> 10 feet. Project proposes: 10 feet	
	<b>Rear Setback:</b> 5 feet. Project proposes: 5 feet	
	<b>Parking:</b> 5 spaces	
<b>Adjacent Properties:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>North:</b>	RM-1-1	Multi Family Residential
<b>South:</b>	RM-1-1	Multi Family Residential
<b>East:</b>	RM-1-1	Multi Family Residential
<b>West:</b>	RM-1-1	Multi Family Residential
<b>Deviation Requested:</b>	None	
<b>Community Planning Group Recommendation:</b>	Approve 12-0-0	

HEARING OFFICER  
RESOLUTION NO.  
COASTAL DEVELOPMENT PERMIT NO. 1575412  
**SHASTA STREET TM & CDP**  
**PROJECT NO. 447822**

WHEREAS, Clara M. Walker, Clara Maria Walker Family Trust, Owner/Permittee filed an application with the City of San Diego for a Coastal Development Permit and Tentative Map for the demolition of an existing residence and for the construction of two condominium units, as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit No. 1575412, on portions of a 0.12 acre-site;

WHEREAS, the project site is located at 3804 Shasta Street in the Coastal (Non-Appealable) Overlay Zone, Parking Impact Overlay Zone (PIOZ) (Coastal and Beach Impact Areas), Residential Tandem Parking Overlay Zone (RTPOZ) and Coastal Height Limit Overlay Zone (CHLOZ) within the RM-1-1 zone, of the Pacific Beach Community Plan and Local Coastal Program Land Use Plan;

WHEREAS, the project site is legally described as: Lots 25 and 26, Block 26, of Fortuna Park Addition, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 894, filed in the office of the County Recorder of San Diego County, January 22, 1903.

WHEREAS, on September 7, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1575412, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on March 25, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 7, 2016.

**Coastal Development Permit - Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the demolition of an existing single family dwelling and construction of a 3,778 square-foot duplex. The 0.12-acre site is located at 3804 Shasta Street, within the RM-1-1 zone of the Pacific Beach Community Plan area within the Coastal (Non-Appealable)



Overlay Zone, Parking Impact Overlay Zone (PIOZ) (Coastal and Beach Impact Areas), Residential Tandem Parking Overlay Zone (RTPOZ) and Coastal Height Limit Overlay Zone (CHLOZ). The Pacific Beach Community plan designates the proposed project site for Low Medium Density Residential land use at a density of 9-15 dwelling units per acre (du/ac), and the proposed density of two du/ac (two units on a 0.12-acre site) is in conformance with this designation.

The City's adopted Local Coastal Program (LCP) Land Use Plan does not identify an existing or proposed physical access way on or adjacent to the site, nor a public view corridor. The proposed project will be consistent with the height of existing structures within the neighborhood. The project is completely contained within private property. Therefore, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan.

The proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan by not encroaching into any scenic coastal area or public views as identified in the Local Coastal Program being within the 30-foot height limit.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project was determined to be exempt from the California Environmental Quality Act pursuant to Section 15303, New Construction or Conversion of Small Structures. The site does not contain nor is adjacent to environmentally sensitive lands. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes the demolition of an existing single dwelling and construction of a 3,778 square-foot duplex. The 0.12-acre site is located at 3804 Shasta Street, within the RM-1-1 zone of the Pacific Beach Community Plan area within the Coastal Overlay Zone (non-appealable), and the Coastal Height Limit Overlay Zone. The project site is designated for Low-Medium Density multi-family residential development, permitting 9-15 dwelling units per acre. The proposed project is consistent with this density allowing one to two dwelling units.

The City's adopted Local Coastal Program (LCP) Land Use Plan does not identify an existing or proposed physical access way on or adjacent to the site, nor a public view corridor. The proposed project will be consistent with the height of existing structures within the neighborhood. The project is completely contained within private property, and as such, the project would not encroach upon any existing physical access way.

The Pacific Beach Community Plan's Residential Element contains a recommendation that new developments be compatible with surrounding developments. The character of the neighborhood along Shasta Street is a mixture of architectural building forms, masses and articulation of structures. Existing residential housing in the vicinity of the project site includes newer three-story condominiums, duplexes, single and multi-family homes. Architectural styles dating from the 1950's to the present are represented. The proposed development is reflective of the architectural design and scale characteristic of homes in the vicinity, and is consistent with the General Plan and Pacific Beach Community Plan goals encouraging neighborhood "compatibility and continuity".

The proposed project complies with the RM-1-1 zone and applicable regulations of the Land Development Code. The proposed development will meet the land use designation of the certified Implementation Program including compliance with the San Diego Municipal Code development regulations including building height, setbacks and floor area ratio. No deviations or variances are requested.

The Pacific Beach Community Plan recommends that multi-story buildings avoid "walling off" public views and incorporate building articulation techniques including front, side and rear and upper story step backs. The proposed project is two stories at a height of approximately 29 feet which is less than the maximum permitted height of 30 feet. The proposed design incorporates building doors, windows, roof top decks, a variety of finishes and building materials to help create visual rhythms and patterns that break down the horizontal and vertical scale of the building.

Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The proposed development is located on private property on a peninsula within Mission Bay. The Bay is approximately 600 feet to the east and approximately 0.33 miles to the west. The site is not located between the nearest public roadways (Crown Point Drive to the east or Riviera Drive to the west) and the sea or the shoreline of any body of water located within the Coastal Overlay Zone.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1575412 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1575412, a copy of which is attached hereto and made a part hereof.



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Jeffrey W. Robles  
Development Project Manager  
Development Services

Adopted on: September 7, 2016

IO#: 24006230

DRAFT

**RECORDING REQUESTED BY**

**PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006230

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1575412  
**SHASTA DUPLEX CDP/TM - PROJECT NO. 447822**  
HEARING OFFICER

This Coastal Development Permit No. 1575412 is granted by the Hearing Officer of the City of San Diego to Clara M. Walker, Clara Maria Walker Family Trust, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0707. The 0.12-acre site is located at 3804 Shasta Street in the RM-1-1 zone of the Pacific Beach Community Plan. The project site is legally described as: Lots 25 and 26, Block 26, of Fortuna Park Addition, Map No. 894, filed in the Office of the County Recorder of San Diego County, January 22, 1903.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and construct a duplex (condominiums) described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated September 7, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single dwelling unit and construction of a 3,778 square-foot duplex (condominiums) structure;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Five off-street parking spaces;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 22, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications or alterations to the construction plans are prohibited unless appropriate applications or amendments to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" conditions. Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove or modify the proposed permit and the conditions contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

11. The Coastal Development Permit shall comply with Tentative Map No. 1680944.

12. The project proposes no export of material from the project site. Any excavated material shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2012 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A", satisfactory to the City Engineer.



15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot wide driveway per current City Standards, adjacent to the site on Shasta Street, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter, and sidewalk, adjacent to the site on La Playa Avenue, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing sidewalk with current City Standard a non-contiguous sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Shasta Street, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the replacement of the existing sidewalk with current City Standard a non-contiguous sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on La Playa Avenue, satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.
20. The Owner/Permittee shall maintain the existing curb ramp/reconstruct existing curb ramp at the southwest corner of property adjacent to the alley, with current City Standard curb ramp Standard Drawing SDG-137 and SDG-132 with truncated domes, satisfactory to the City Engineer.
21. The Owner/Permittee shall maintain/reconstruct existing curb ramp at the southeast corner of property at the intersection of Shasta Street and La Playa Avenue, with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with truncated domes, satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
24. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines of the City's Storm Water Standards.
25. Any party, on whom fees, dedications, reservations or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

**PLANNING/DESIGN REQUIREMENTS:**

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
27. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer if property is for sale.
28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**AFFORDABLE HOUSING REQUIREMENTS:**

29. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC 142.1301 et seq.). The project will be required to pay an inclusionary affordable housing fee per Chapter 14, Article 2, Division 13 of the San Diego Municipal Code (SDMC) prior to Building Permit issuance.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

30. All proposed publicly maintained water and sewer facilities must be designed and constructed in accordance with the criteria established within the City of San Diego's most current water and sewer facility design guidelines, regulations, standards, and practices pertaining thereto.
31. All public water and sewer facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Public Utilities Department Director and the City Engineer.
32. The City does not warrant existing public sewer laterals to be suitable for reuse. Prior to reuse, an existing public sewer lateral must be inspected by a California Licensed Plumbing Contractor using closed-circuit television (CCTV) to verify that the lateral is in good condition, free of all debris, and properly connected to a public sewer main.
33. Prior to any grading permit being issued, any existing water and/or sewer service connection to the City's public water and/or sewer mains which must be replaced in order to adequately serve the proposed development must be killed at the main (water), or abandoned at the property line (sewer), and replaced with a new permitted service.
34. All water services to the site (including domestic, irrigation and fire) are required to pass through a private above ground back flow prevention device (BFPD). BFPDs are typically located just

outside the public ROW in-line with the water service. The Public Utilities Department does not allow BFPDs to be located below grade or within any structure.

35. Prior to any grading permit being issued for a development which proposes to construct or retain a sewer lateral which enters the public ROW under (or within 2' of) a driveway apron, the appropriate City record drawing (D-sheet) must be amended to identify the lateral in question as 'PRIVATE' and reference the required County Recorded EMRA Number which authorizes its location within the public ROW. All new sewer laterals so constructed must be built in accordance with detail F2-6 (City's Sewer Design Guide) which must be copied onto the construction drawings that are used to permit the work.

36. Water and sewer capacity charges will be due at the time of building permit issuance. Capacity charges, as well as service and meter size, are determined by the Water Meter Data Card, which is completed during the building plan review process. Any questions regarding water and sewer capacity fees should be addressed to Information and Application Services (619-446-5000).

37. The Owner/Permittee will be required to file CC&Rs, written to the satisfaction of the Public Utilities Department Director, to ensure the future operation and maintenance of all private water and sewer facilities that serve more than a single titled unit or lot.

38. No trees or shrubs exceeding three feet in height at maturity are permitted within five feet (5') of any public water facilities or ten feet (10') of any public sewer facilities.

**TRANSPORTATION REQUIREMENTS:**

39. No fewer than five off-street parking spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the San Diego Municipal Code (SDMC), and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

**LANDSCAPE REQUIREMENTS:**

40. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label and dimension a 40 square-foot area around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

41. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40

square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

42. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

43. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party, on whom fees, dedications, reservations or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer  
of the City of San Diego on September 7, 2016 and [Approved Resolution Number].



AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
NAME  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Clara M. Walker, Clara Walker Family Trust**  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER RESOLUTION NUMBER HO-  
TENTATIVE MAP NO. 1680944  
SHASTA STREET TM & CDP - PROJECT NO. 447822

WHEREAS, Clara M. Walker, Clara Maria Walker Family Trust, Owner/Permittee, and Robert J. Bateman, Surveyor, submitted an application to the City of San Diego for a Tentative Map (TM) and a Coastal Development Permit (CDP) for the demolition of an existing residence and the construction of two dwelling units at 3804 Shasta Street; Unit 1 is 1,949 square feet and Unit 2 is 1,828 square feet. The project site is located north of La Playa Avenue and south of Fortuna Street in the Pacific Beach Community Plan area. The property is legally described as: Lots 25 and 26, Block 26, of Fortuna Park Addition, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 894, filed in the office of the County Recorder of San Diego County, January 22, 1903 and as described in Exhibit "A;" and

WHEREAS, the Map proposes the Subdivision of a 0.12-acre-site into one lot for a two-unit residential condominium; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on September 7, 2016, the Hearing Officer of the City of San Diego considered Tentative Map No. 1680944, and pursuant to San Diego Municipal Code section(s) 125.0440, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 1680944:

**1. The proposed subdivision and its design or improvements are consistent with the policies, goals and objectives of the applicable land use plan.**

The project proposes combining lots 25 and 26 for the development of two residential condominium ownerships on one lot for two proposed dwelling units. The project site is located at 3804 Shasta Avenue, at the northeast corner of Shasta Street and La Playa Avenue. The Pacific Beach Community plan designates the proposed project site for Low - Medium Density Residential land use at a density of 9-15 dwelling units per acre (du/ac), and the proposed density of two du/ac (two units on 0.12-acre-site) is in conformance with this designation. The RM-1-1 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 3,000 square feet of lot area and the 0.12-acre-site can accommodate two residential units. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development.

The City of San Diego General Design Guide encourages a variety of roof types for new and infill development in Pacific Beach, including but not limited to flat and pitched roofs. A variety of roof types helps to provide visual interest and minimize the bulk and scale of development. The proposed conceptual design is characteristic of modern architecture as it is simplified with an emphasis on rectangular, horizontal and vertical lines with a flat roof.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan also welcomes change through innovation demonstrated by architectural design that is compatible with the surrounding neighborhood. Development in Pacific Beach presents an eclectic mix of architectural styles. These styles include a variety of materials, height, and bulk and scale.

The Pacific Beach Community Plan does not identify an existing or proposed public access way on or adjacent to the site, nor, a view corridor on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property.

The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines and development standards in effect for this site per the adopted Pacific Beach Community Plan and Local Coastal Program, San Diego Municipal Code (SDMC), General Plan, and the Subdivision Map Act.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The project site is located at 3804 Shasta Avenue, the northwest corner of Shasta Street and La Playa Avenue. The site is located in the RM-1-1 Zone within the Pacific Beach Community Plan (PBCP), Local Coastal Program Area, Coastal Overlay Zone (Non-Appealable) and the Coastal Height Limitation Overlay Zone. The PBCP designates the proposed project site for Low Medium Density Residential and allows a density of 9-15 DU/AC. The project site, occupying 0.12 acres, could accommodate two dwelling units based on the underlying zone and one to two dwelling units based on the community plan.

The project proposes combining Lots 25 and 26 for the development of two residential condominium ownerships on one lot for the proposed single-family dwelling units.

The applicant is required to underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code and to underground any new service run to any new or proposed structures within the subdivision as well. The project proposes no deviations or variances. Therefore, the project complies with the applicable zoning and development regulations of the Land Development Code.

**3. The site is physically suitable for the type and density of development.**

The Pacific Beach land use plan designates the proposed project site for Low Medium Density Residential use at a density of 9-15 dwelling units per acre (du/ac). The proposed density of two du/ac (two units on 0.12-acre-site) is in conformance with the Residential Subarea of the Community Plan.

The Residential Land Use Designations and RM-1-1 zone allow multiple dwelling units on a single-parcel. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development.

Therefore, the project is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project site is located within an urbanized environment where there are no watercourses or environmentally sensitive lands harboring fish or wildlife on or adjacent to the site. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15303 (New Construction or Conversion of Small Structures) of the State CEQA Guidelines.



Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety and welfare.**

The project has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Site specific conditions within the permit include reconstruction of the existing curb ramps on both sides of the alley entrance, reconstruct the sidewalk on La Playa Avenue, construct a driveway to current City Standards adjacent to the site on Shasta Street, enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, incorporating construction Best Management Practices, underground existing and/or proposed public utility systems and service facilities, underground any new service run to any new or proposed structures within the subdivision, and that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. Incorporating these conditions into the permit will help avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area.

Prior to issuance of any construction permit for the proposed development, the construction documents shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing, and Fire Code requirements to assure the structures will meet or exceed the current regulations and the standards for public improvements, including construction of new driveways, alleyway, and sidewalk, to the satisfaction of the City Engineer. The City's review of the construction documents, issuance of construction permits, and inspection of the project will ensure that the development will be safe and built according to the required standards.

Therefore, the design of the subdivision will not be detrimental to the public health, safety and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The 0.12-acre project site does not contain any public easements that have been acquired by the public at large for access through or use of property within the proposed subdivision. Therefore, the design of the subdivision or the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The two-building units provide windows on all elevations, allowing for ample natural light at all times of the year. The units have exterior private decks or patios that will have direct sunlight for portions of the day. The proposed two condominiums on this 0.12-acre-site will not impede or inhibit any future passive or natural heating and cooling opportunities. The future construction of the multi-family homes would not be impeded or inhibited from incorporating any future passive or natural heating and cooling opportunities. With the design of the proposed subdivision, each structure will have the opportunity, through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project proposes the development of two residential condominium units on a 0.12-acre-site. The proposed addition of two residential condominium units is consistent with the recommended density, and the housing needs anticipated in this area, per the Pacific Beach land use plan, and will result in a net increase of one dwelling unit on the subject site.

The City's Housing Element of the General Plan recommends policies and programs to address the issue of balanced community housing assistance needs of low- and moderate-income families. The proposed development is subject to the Inclusionary Affordable Housing Ordinance. The project will be required to pay an inclusionary affordable housing fee per the [San Diego Municipal Code \(SDMC\) Section 142.13](#) prior to Building Permit issuance.

Balanced needs for public facilities were taken into consideration with the development of the Pacific Beach land use plan, and the projected build-out with the applicable zone designations. Existing infrastructure including sidewalks, improved streets, schools, public transit, small businesses, shopping, access to Mission Bay and Crown Point park and other multi-family residences in the surrounding area supports the proposed development. The subdivision of this parcel into two residential condominium units is consistent with the Pacific Beach Community Plan.

The decision maker has reviewed the administrative record including the project plans, the environmental determination, and has considered the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs of public services and the available fiscal and environmental resources, and found the addition of two residential

condominium units on the 0.12-acre-site is consistent with the housing needs anticipated for the Pacific Beach Community Plan area.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, hereby granted to Clara Maria Walker Family Trust subject to the attached conditions which are made a part of this resolution by this reference.

By \_\_\_\_\_

Jeffrey W. Robles  
Development Project Manager  
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006230

HEARING OFFICER  
CONDITIONS FOR TENTATIVE MAP NO. 1680944

SHASTA DUPLEX CDP/TM - PROJECT NO. 447822

ADOPTED BY RESOLUTION NO. HO-\_\_\_\_\_ ON SEPTEMBER 7, 2016

**GENERAL**

1. This Tentative Map will expire September 22, 2019
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map unless otherwise noted.
3. Prior to the Tentative Map expiration date a Final Map, to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Map shall conform to the provisions of Coastal Development Permit No. 1575412 and Tentative Map No. 1680944.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

**ENGINEERING**

7. Prior to the issuance of a Certificate of Compliance, taxes must be paid on this property pursuant to section 66492 of the Subdivision Map Act. A tax certificate, recorded in the office of the County Recorder, must be provided to satisfy this condition.



8. Prior to the recordation of the Certificate of Compliance, the Subdivider shall set monumentations and file a Corner Record in the office of the County Recorder. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
9. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
10. The Subdivider shall dedicate and improve an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.
11. The Subdivider shall reconstruct the existing curb ramps on both sides of the alley entrance, adjacent to the site, with current City Standard Drawing SDG-136 with truncated domes, , satisfactory to the City Engineer.
12. The Subdivider shall reconstruct the sidewalk on La Playa Avenue maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on La Playa Avenue, satisfactory to the City Engineer.
13. The Subdivider shall construct a driveway to current City Standards adjacent to the site on Shasta Street, satisfactory to the City Engineer.
14. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
15. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

**MAPPING**

16. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
17. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6", and the official datum is the "North American Datum of 1983".
18. The Tentative Map shall:

- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.
19. A Parcel Map is required to consolidate the existing lots into one lot and to subdivide the ownership interest as a condition of the tentative map.
  20. Prior to the recordation of the Parcel Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

**LANDSCAPING**

21. Prior to issuance of any engineering permits for right-of-way improvements, the Subdivider shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
22. Prior to issuance of any construction permits for structures, the Subdivider shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).
23. The Subdivider shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace

it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**INFORMATION:**

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24006230

## NOTICE OF EXEMPTION

*(Check one or both)*

TO:  Recorder/County Clerk  
 P.O. Box 1750, MSA-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

Project No.: 447822

Project Title: **Shasta Duplex**

Project Location-Specific: The project site is located at 3804 Shasta Street, San Diego, California 92109, within the Pacific Beach Community Planning Area

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A Tentative Map and Coastal Development Permit 15-75412 (CDP) for the demolition of an existing single-dwelling unit and construction of a 5,109 square-foot duplex. Unit 1 is proposed to contain approximately 1,721 SF of livable space, 228 SF of garage area, and approximately 660 SF of exterior deck area. Unit 2 is proposed to contain approximately 1,606 SF of livable space, 222 SF of garage area, and approximately 673 SF of exterior deck area. The 0.12-acre site is located at 3804 Shasta Street. The project site is designated low-medium density residential (9-14 dwelling units per acre) and within the RM-1-1 zone (Residential - Multiple Unit, allows a maximum of one dwelling unit per 3,000 square feet of lot area). Additionally, the project is located Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Residential Tandem Parking Overlay Zone, Parking Impact Overlay Zone (Coastal and Beach), and the Pacific Beach Community Plan and Local Coastal Program, and Council District 2. (LEGAL DESCRIPTION: Lot 25 and 26, Block 26, Subdivision - Fortuna Park Addition, Map 894).

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Claude-Anthony Marengo  
 7724 Girard Avenue, Second Floor  
 San Diego, CA 92037  
 (858) 459-3769

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: Section 15303 (New Construction or Conversion Of Small Structures), Section 15315 (Minor Land Divisions)
- Statutory Exemptions:

Reasons why project is exempt The City of San Diego conducted an environmental review that determined that the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 (New Construction or



Conversion of Small Structures) which addresses the construction and location of limited numbers of new, small facilities, such as a duplex or similar multi-family residential structure, totaling no more than four dwelling units.

In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. Additionally, the project meets the criteria of State CEQA Guidelines Section 15315 (Minor Land Divisions), which concerns the division of property in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels when the division is in conformance with the General Plan and zoning, no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel does not have an average slope greater than 20 percent. Furthermore, the exceptions listed in 15300.2 would not apply.

Lead Agency Contact Person: Chris Tracy, AICP

Telephone: (619) 446-5381

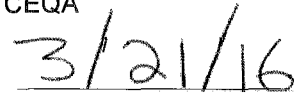
If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title



Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:



# Pacific Beach Planning Group

[www.pbplanning.org](http://www.pbplanning.org)

Pacific Beach Taylor Library  
 4275 Cass Street, San Diego, CA 92109  
 Wednesday, March 23, 2016: 6:30-8:30 pm  
**MINUTES**

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## 4:30 - 6:30 PBPG Election

### Item 1 - 6:30 Call to Order, Quorum

Members present: Amy Gordon, Baylor Triplett, Brian Curry, Deborah Conca, Eve Anderson, Harry Couch, Henish Pulickal, Jim Morrison, Joe Wilding, Marcia Nordstrom, Pat Dobson, Paula Gandolfo, Tony Franco.

Members absent: Chris Olson, James Krokee, Scott Chipman, William Ramirez.

### Item 2 Current Agenda - Modifications and Approval

Joe 1st, Harry 2nd to approve the agenda. 8-0-0

### Item 3 February 24, 2016 Minutes - Modifications and Approval

Joe 1st, Pat 2nd to approve the minutes. 8-0-0

### Item 4 – 6:35 Chair’s Report

Presenter: Brian J. Curry

- Pacific Beach Drive project will happen. June 16 - August 16. There were 40 bids.
- Michael Prinz, our planner representative: Sandag held a workshop here last December. Henish is on the subcommittee. Next meeting will be late April or early May. Will soon have a website. There is a targeted outreach with Circulate San Diego. All input will be weighed equally. Trying to develop recommendations - combining some of the great number of meetings. The De Anza folks haven’t heard of this. Michael Prinz will attend our planning meetings on a quarterly basis at a minimum. He will be happy to be here as needed.

### Item 5 – 6:40 Non-Agenda Public Comments

(Note: 2 minutes maximum per speaker)

Issues *not* on Agenda and within the jurisdiction of Pacific Beach Planning Group.

- Sara Berns (executive director of Discover PB) - updates: The Business Awards April 24 at the Catamaran Hotel. Look at the website.
- Henish Pulickal: Meeting etiquette - our comments should be polite, considerate, and thoughtful and to the point. Peter Thompson - Emerging technology for Sandag. Put driverless vehicles on the agenda for the next traffic subcommittee.
- Jeff Marston: The Citizens’ Plan for San Diego is a ballot initiative for the November ballot to prohibit expansion on the waterfront. Put on a future agenda for complete information.
- Don Gross: CIP Procedures 000-32. Planning groups need to read this council policy document. It is 5 pages long.
- Gordon Froehlich: Parking meter alternatives: free street parking is good. Don’t be like LA with paid beach parking. A committee needs to be formed to help raise money. Little Italy has raised over \$2 million. Hotels need to raise parking fees. The citizens of San Diego already pay for beach parking through their taxes.
- Mike Beltran: Crosswalks in PB are death traps. Be sure to make eye contact with drivers. Put your hand out. Nonverbal communication is very important.

### Item 6 – 6:46

### Government Offices Report (Information Item)

Item 7 – 6:46 **Development Subcommittee (Action Item)**

Presenter: Henish Pulickal

## 1) PTS 447822 / 3804 Shasta St / RM-1-1

CDP to demolish older SFD and construct duplex.

Subcommittee recommends motion to approve.

This is a corner lot. 2 units, 2 stories. 1,949.2 & 1,828.8 = 3,778 square feet, which is the maximum allowed. All access is on the front side. 24 feet 6 inches is the highest height. Contemporary style with stone and stucco. The project meets setback & height limits. Low shrubs, gates, patios are on the front to be more neighbor friendly. 2 bedrooms = 5 parking spots.

Jim Morrison 1st, Tony 2nd to approve. 12-0-0

## 2) PTS 434796 / 1731 Thomas Ave / RM-1-1

CDP to demolish older SFD on two lots and construct (2) SFDs.

Subcommittee recommends motion to approve.

50% expandable solar system. Front facing doors and windows. 2 single family homes with 4 bedrooms, 2 parking spaces per home, small roof deck, double doors open to the front decks. Old Spanish design. The 2 homes are mirror image design with broken up elevations.

Pat Dobson 1st, Debbie Conca 2nd to approve. 10-2-0 (The no's are for parking concerns.)

## 3) PTS 453635 / 3985 Honeycutt / RM-1-1

CDP to demolish older SFD on two lots and construct (2) SFDs.

Subcommittee recommends motion to approve.

*Not here.*

## 4) PTS 444380 / 804 Beryl St &amp; 4915 Mission Blvd / RM-1-1

Map Waiver and CDP to convert (2) detached units to condos.

Subcommittee recommends motion to approve.

Condo project. Could conserve 6% of the old units. Two 4 bedroom units with 5 parking spots. No new construction. 2 garages and a car port.

Jim Morrison 1st and Baylor 2nd. 11-0-0 to approve.

## 5) PTS 429967 / 944 Law St / RM-1-1

CDP to demolish older SFD on two lots and construct (2) SFDs.

Subcommittee recommends motion to approve.

3 bedrooms, 2 parking spots, meets height regulations. Front facing doors. Detached carports - enter through the alley (1 per house). Pitched roof is set up for solar panels (400 square feet) if desired.

Jim Morrison 1st, Pat Dobson 2nd. 10-1-0 (no for parking concerns)

Item 6 - 7:20 **Government Offices Report (Information Item)**Presenter: Liezl Mangoonan - *here now so inserted into the meeting.*

Lots of good discussion at the PB Town Council meeting with Councilmember Lorie Zapf - Deco bikes, parking meters (Lorie is **against**), STVRs, homelessness - needing future conversations regarding aggressiveness. Contact Liezel with questions and concerns.

Joe Wilding: take note of drug dealing on the end of Reed.

Homeless coalition - Father Joe &amp; churches programs.

Mike Beltran: we need to find ways to keep \$ in PB - need to find revenue streams.

15-25 police officers assigned for all of the Northern area. Way too light for 42 square miles!

Item 8 – 7:42 **Traffic & Parking (Action Item)**

Presenter: Michael Beltran

## 1) Loring Street (Foothill to Mission Blvd.)

Approve painted crosswalks in all intersections from Mission Blvd to Foothill.

Add sharrows in both directions and consider future traffic calming measures.

Motion: Add shadows in both directions and consider future traffic calming measures.

Harry Couch (retired policeman): Crosswalks cause a false sense of security.  
Mike Beltran 1st, Eve Anderson 2nd. 8-5-0 - motion passes

2) Cass Street & Tourmaline - request for crosswalk

Approve painted crosswalks on all four corners of Cass Street & Tourmaline + stencils.  
Mike Beltran 1st, Jim Morrison 2nd. 9-4-0 (No's - crosswalks are deadly.)

3) Fogg Street & Culver Street

Request repaving and have city break the road construction summer moratorium.  
Motion: request a waiver for road construction during the summer moratorium to avoid a difficult traffic situation when school is in session.  
Mike Beltran 1st, Joe Morrison 2nd. 13-0-0

Item 9 – 8:15 **Election Subcommittee (Information Item)**

Presenter: Debbie Conca

Today's election results: Karl Rand, Baylor Triplett, Henish Pulickal, Amy Gordon (most votes with 6!), and Tony Franco (commercial) elected for the next 2-year term. Billy Ramirez termed out.

Vacancies still open after today's election - 1 commercial and 4 residential. Will appoint next meeting.

Item 10 **Other Subcommittees and Reports (Time Permitting)**

Special events: there will be a bicycle race on May 17th. The Amgen Race is on par with the Tour d' France.

Brazil Day - change to Saturday.

Item 11 – 8:08 **Adjournment**

**PBPG General Meeting:** Wednesday, April 27, 2016 6:30-8:30 pm





City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title** \_\_\_\_\_ **Project No. For City Use Only** \_\_\_\_\_

Shasta Duplex

**Project Address:**

3804 Shasta Street, San Diego, CA 92109

**Part I - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

**Name of Individual (type or print):**  
 Clara M Walker, Clara Maria Walker Family Trust  
 Owner  Tenant/Lessee  Redevelopment Agency  
**Street Address:**  
 1819 Hornblend St., Apt 4  
**City/State/Zip:**  
 San Diego, CA 92109  
**Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_  
**Signature:** *Clara M. Walker* **Date:** 9/28/15

**Name of Individual (type or print):**  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
**Street Address:**  
 \_\_\_\_\_  
**City/State/Zip:**  
 \_\_\_\_\_  
**Phone No:** \_\_\_\_\_ **Fax No:** \_\_\_\_\_  
**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

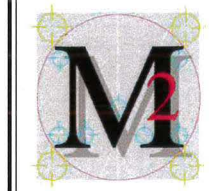
**Name of Individual (type or print):**  
 \_\_\_\_\_  
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**Street Address:**  
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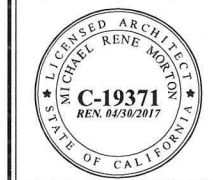


# SHASTA RESIDENCE

3804 SHASTA STREET  
SAN DIEGO, CA 92109



**Marengo Morton Architects**  
7724 Girard Ave.  
Second Floor  
La Jolla, CA 92037  
Tel. (858) 459-3769  
Fax. (858) 459-3768  
Michael Morton AIA  
Claude Anthony Marengo Desa



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SHASTA RESIDENCE  
3804 SHASTA STREET  
SAN DIEGO, CA, 92109

REVISIONS  
2015-09-29 COMPLETENESS SUB.  
2016-01-05 RESUBMITTAL  
2016-04-12 RESUBMITTAL  
2016-06-08 RESUBMITTAL

PHASE COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM

DRAWN BY AM

DATE 07-05-2016

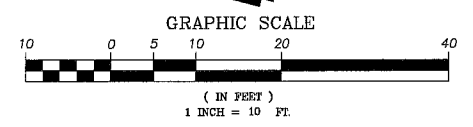
Marengo Morton Architects, Inc. is providing, by agreement with certain parties, electronic documents. The parties recognize that data, plans, specifications, reports, documents, or other information recorded as or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to electronic alteration, copies, reproduction, conversion, media degradation, software error, or human error. All such documents are provided to the parties for informational purposes only and not as an original product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The agreed and intended best copies with the best signature of the Architect of Record are the Architect's Instruments of Service and are the only true copies of the documents.

SHEET TITLE  
TITLE SHEET  
**T-1.1**  
SHEET 1 OF

ATTACHMENT 12

BASIS FOR STRUCTURAL DESIGN	SPECIAL INSPECTION & OFF-SITE FABRICATION	SHEET INDEX	SCOPE OF WORK	PROJECT DATA																																																																																																
<p>FOUNDATIONS / SOILS CRITERIA: <input checked="" type="checkbox"/> SOILS ENGINEER: REPORT NO.:</p>	<p>SPECIAL INSPECTION: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>REFER TO SHEET S1A FOR "SPECIAL INSPECTION PROGRAM".</p> <p>1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION. OFF-SITE FABRICATION: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p> <p>2. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.</p> <p>3. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.</p> <p>NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.</p> <p>NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.</p>	<p>ARCHITECTURAL T-1.1 TITLE SHEET</p> <p>TOPO SURVEY</p> <p>A-1.1 PROPOSED SITE PLAN A-1.2 PROPOSED BMP PLAN A-2.1 PROPOSED FIRST FLOOR PLAN A-2.2 PROPOSED SECOND FLOOR PLAN A-4.1 PROPOSED ROOF PLAN A-5.1 PROPOSED NORTH ELEVATIONS A-5.2 PROPOSED SOUTH ELEVATIONS A-5.3 PROPOSED EAST ELEVATIONS A-5.4 PROPOSED WEST ELEVATIONS A-6.1 PROPOSED SECTIONS A-6.2 PROPOSED SECTIONS A-6.3 PROPOSED SECTIONS</p> <p>L-1.1 LANDSCAPE PLAN - GROUND FLOOR L-1.2 LANDSCAPE PLAN - ROOF</p>	<p><b>PROJECT PROPOSED TO DEMOLISH EXISTING SINGLE DWELLING UNIT AND CONSTRUCT A TWO STORY, TWO UNIT DUPLEX WITH ROOF DECK. UNIT 1 IS 1,949.2 SF WITH 659.6 SF OF DECK AREA AND THREE PARKING SPACES. UNIT 2 IS 1,828.8 SF WITH 672.6 SF OF DECK AREA AND TWO PARKING SPACES. TOTAL AREA IS 3,778 SF. PER PACIFIC BEACH COMMUNITY PLAN AREA.</b></p>	<p>PROJECT INFORMATION PROJECT ADDRESS: 3804 SHASTA STREET LA JOLLA, CA 92109 ASSESSORS PARCEL NUMBER: 424-531-02-00 LEGAL DESCRIPTION: LOT: 25&amp;26 BLOCK: 26 Map Ref: 000894 Abbreviated Description: LOT: 25&amp;26 BLK: 26 CITY: SAN DIEGO SUBD: FORTUNA PARK ADDITION 000894 BLK 26* LOT 25&amp;26* City/Muni/Twp: SAN DIEGO</p> <p>YEAR BUILT: 1956 BUILDING CODE: CALIFORNIA BLDG. CODE (CBC), 2013 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2013 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2013 EDITION CALIFORNIA PLUMBING CODE (CPC), 2013 EDITION CITY OF SAN DIEGO MUNICIPAL CODE (SDMC)</p> <p>OCCUPANCY TYPE: R-3 NUMBER OF DWELLINGS: ALLOWED:2 PROPOSED:2 CONSTRUCTION TYPE: V-B NUMBER OF STORIES: ALLOWED:3 PROPOSED:3</p> <p>LOT AREA: 5,039.0 S.F., 0.12 ACRES ZONING INFORMATION ZONE: RM - 1-1 OVERLAY ZONES: Coastal Height Limit, Coastal Parking Impact, Residential Tandem Parking.</p> <p>GEO HAZARD ZONE:</p> <table border="1"> <thead> <tr> <th>SETBACKS</th> <th>ALLOWED</th> <th>PROPOSED</th> <th>DIFFERENCE</th> </tr> </thead> <tbody> <tr> <td>FRONT (STREET FRONTAGE):</td> <td>15'-0"</td> <td>15'-0"</td> <td>0'-0"</td> </tr> <tr> <td>STREET SIDE:</td> <td>10'-0"</td> <td>10'-0"</td> <td>0'-0"</td> </tr> <tr> <td>SIDE:</td> <td>5'-0"</td> <td>5'-0"</td> <td>0'-0"</td> </tr> <tr> <td>REAR:</td> <td>5'-0"</td> <td>5'-0"</td> <td>0'-0"</td> </tr> <tr> <td>BUILDING HEIGHT LIMITATIONS:</td> <td>30'-0"</td> <td>28'-11"</td> <td>1'-1"</td> </tr> <tr> <td>Max. FLOOR AREA RATIO (F.A.R.):</td> <td>0.75</td> <td>0.75</td> <td></td> </tr> <tr> <td>PARKING SPACES:</td> <td>5</td> <td>5</td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>BUILDING AREAS:</th> <th>UNIT 1</th> <th>UNIT 2</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>FIRST FLOOR</td> <td>695.7 S.F.</td> <td>625.2 S.F.</td> <td>1,320.9 S.F.</td> </tr> <tr> <td>SECOND FLOOR</td> <td>1,025.5 S.F.</td> <td>981.6 S.F.</td> <td>2,007.1 S.F.</td> </tr> <tr> <td>RESIDENTIAL AREA:</td> <td>1,721.2 S.F.</td> <td>1,606.8 S.F.</td> <td>3,328.0 S.F.</td> </tr> <tr> <td>GARAGE AREA:</td> <td>228.0 S.F.</td> <td>222.0 S.F.</td> <td>450.0 S.F.</td> </tr> <tr> <td>NON-RESIDENTIAL AREA:</td> <td>228.0 S.F.</td> <td>222.0 S.F.</td> <td>450.0 S.F.</td> </tr> <tr> <td>PROJECT TOTAL:</td> <td>1,949.2 S.F.</td> <td>1,828.8 S.F.</td> <td>3,778.0 S.F.</td> </tr> <tr> <td>SECOND FLOOR DECK AREA</td> <td>269.1 S.F.</td> <td>152.6 S.F.</td> <td>421.7 S.F.</td> </tr> <tr> <td>ROOF DECK AREA</td> <td>390.5 S.F.</td> <td>520.0 S.F.</td> <td>910.5 S.F.</td> </tr> <tr> <td>LANDSCAPE REQUIRED:</td> <td colspan="3">1,133.4 S.F.</td> </tr> <tr> <td>LANDSCAPE PROVIDED:</td> <td colspan="3">3,268.1 S.F.</td> </tr> <tr> <td>LOT AREA</td> <td colspan="3">5,039.00 S.F.</td> </tr> <tr> <td>PROPOSED F.A.R.</td> <td colspan="3">3,778.0 S.F.</td> </tr> <tr> <td>ALLOWABLE F.A.R.</td> <td colspan="3">3,779.3 S.F.</td> </tr> <tr> <td>EXISTING IMPERVIOUS AREA</td> <td colspan="3"></td> </tr> <tr> <td>PROPOSED IMPERVIOUS AREA</td> <td colspan="3"></td> </tr> </tbody> </table>	SETBACKS	ALLOWED	PROPOSED	DIFFERENCE	FRONT (STREET FRONTAGE):	15'-0"	15'-0"	0'-0"	STREET SIDE:	10'-0"	10'-0"	0'-0"	SIDE:	5'-0"	5'-0"	0'-0"	REAR:	5'-0"	5'-0"	0'-0"	BUILDING HEIGHT LIMITATIONS:	30'-0"	28'-11"	1'-1"	Max. 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<p><b>STRUCTURAL NOTES</b></p> <p>1. PROP "D" HEIGHT LIMIT AREA <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.</p>	<p><b>DEFERRED SUBMITTALS</b></p> <p>Note: Plans for the deferred submittal shall be submitted in a timely manner that allows a minimum of 30 working days for initial plan review. All comments related to the deferred submittal must be addressed to the satisfaction of the Plan Check Division prior to approval of the submittal items. LDM Vol. 1, Ch. 1, Sec. 2.</p> <p>1. NFPA 13 Automatic Sprinkler System</p>	<p><b>PROJECT TEAM</b></p> <p><b>OWNER'S</b> Robert Linton 3510 Ingraham Street, Suite 200 San Diego, CA 92109</p> <p><b>ARCHITECT</b> Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo cmarengo@san-r.com Cell: (619) 417-1111</p> <p><b>SURVEY</b> San Diego Land Surveying &amp; Engineering, Inc. 9665 Chesapeake Drive, Suite 445 San Diego, CA 92123 Telephone: (858) 565-4362 Fax: (858) 565-4354 Contact: Robert Bateman</p>	<p><b>VICINITY MAP</b></p>	<p><b>STRUCTURAL OBSERVATION</b></p> <p>STRUCTURAL OBSERVATION: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS: 1. REFER TO SHEET S1A FOR "STRUCTURAL OBSERVATION PROGRAM".</p> <p>STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN, OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.</p>																																																																																																





**LEGAL DESCRIPTION:**

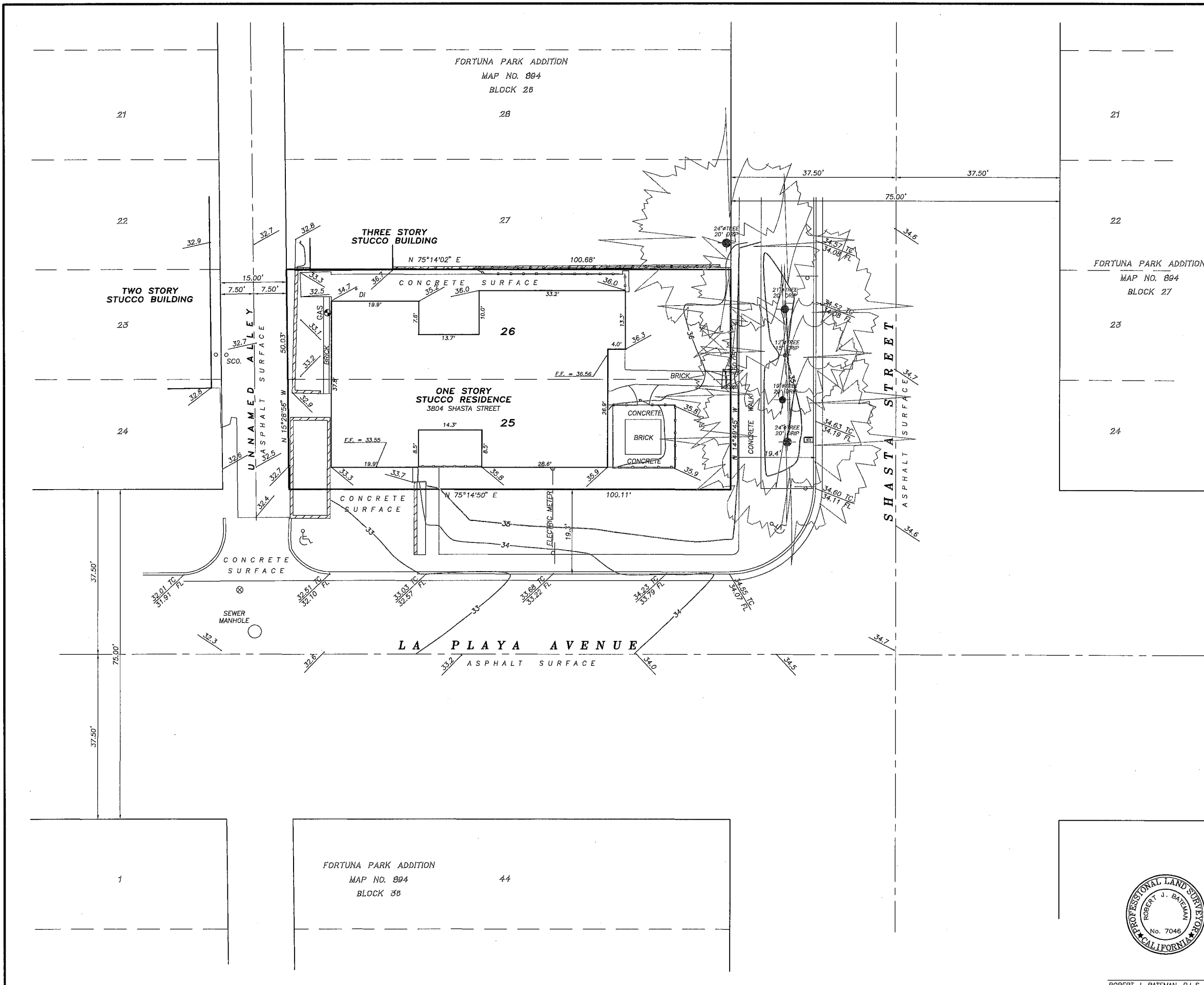
LOTS 25 AND 26 IN BLOCK 26 OF FORTUNA PARK ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 894, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 22, 1903.

**BENCH MARK:**

CITY OF SAN DIEGO BENCH MARK:  
NORTHEAST BRASS PLUG AT THE INTERSECTION OF CROWN POINT DRIVE AND SHASTA STREET. ELEVATION = 31.115 M.S.L.

**LEGEND:**

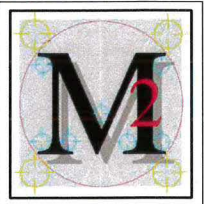
- INDICATES WATER METER
- INDICATES UTILITY POLE
- INDICATES GUY SUPPORT POLE
- INDICATES FINISHED FLOOR
- INDICATES LANDSCAPED AREA
- INDICATES PLANTER
- INDICATES SEWER LATERAL
- INDICATES WATER SERVICE
- INDICATES SEWER LINE
- INDICATES WATER LINE
- INDICATES WOOD FENCE
- INDICATES WROUGHT IRON GATE
- INDICATES WALL
- INDICATES PROPERTY LINE



ROBERT J. BATEMAN, P.L.S. 7046

<b>TOPOGRAPHICAL SURVEY</b>		
For the exclusive use of: <b>ROB LINTON</b> 1341 OLIVER AVENUE SAN DIEGO, CALIFORNIA 92109		
<b>San Diego Land Surveying &amp; Engineering, Inc.</b>		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1354 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 05-11-2015	Revised:	Revised:
Scale: 1"=10'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Shasta Street 3804 TOPO		A.P.N. 424-531-02

ATTACHMENT 12



**Marengo Morton Architects**  
 7724 Girard Ave.  
 Second Floor  
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PHASE  
 COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM

DRAWN BY JK

DATE 07-05-2016

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, electronic (digital) documents. The parties accept that their data, plans, specifications, reports, documents, or other information recorded on or transmitted or otherwise made available by electronic means, including but not limited to, "CAD documents" are subject to digital manipulation, alteration, deletion, modification, corruption, loss, misinterpretation, software error, or human error. Accordingly, all such documents are provided for the parties for informational purposes only and are not intended to be used as a legal document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the signature of the Architect of Record are the Architect's Instruments of Service and are the only true and correct documents of record.

SHEET TITLE  
 PROPOSED SITE PLAN  
**A-1.1**  
 SHEET 3 OF

ATTACHMENT 12

### GENERAL SITE NOTES

- THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.
- ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
- THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT OFFICE.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
- ALL GRADES SHOWN / PROPOSED ARE EXISTING.
- NO EXISTING OR PROPOSED BUS STOPS ON SITE.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-604 (LFC 901.4.4)
- NO EXISTING OR PROPOSED EASEMENTS ON THIS PROPERTY.
- NO OFF-STREET PARKING SPACES FOR THIS PROPERTY.
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN. IF NEW SERVICES ARE REQUIRED, SHOW THE WATER AND SEWER MAINS, INCLUDING THE NEW LATERALS THAT SERVE THE PROJECT. CALL OUT THE CITY IMPROVEMENT PLAN NUMBERS.
- PROJECT SHALL PROVIDE ONE ADDITIONAL PARKING SPACE, WHICH MAY BE ON-STREET ADJUTING THE SUBJECT PROPERTY AND SHALL CONFORM TO SDMC SECTION 142.0525(d).
- NO TREES OR SHRUBS WHOSE HEIGHT WILL 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
- EXISTING WATER & SEWER LATERAL SERVICE WILL REMAIN AND BE REUSE WITH PROPOSED DWELLING UNIT.
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT.

### KEYNOTES

- DRAINAGE DISCHARGE CURB OUTLET & SIDEWALK UNDER-DRAIN. ALL SITE DRAINAGE DISCHARGES TO LA PLAYA AVENUE.
- CONCRETE CATCH BASIN, BROOKS 1212 WITH TRAFFIC GRATE, SUMP PUM AND BMP FILTER, SEE DETAILS 2 & 4/A-10.1.
- RECONSTRUCT A NON-CONTIGUOUS SIDEWALK PER SDG-155, MAINTAINING THE EXISTING SIDEWALK SCORING PATTERN AND PRESERVING THE CONTRACTOR'S STAMP, ADJACENT TO THE SITE ON LA PLAYA AVENUE, INCLUDING TRANSITION TO THE EXISTING ADA COMPLIANT CURB RAMP AND THE ALLEY ADJACENT TO THE PROJECT.
- 20'-0" x 8'-0" PARKING SPACE PER SDMC SECTION 142.0525(d)
- EXISTING CURB RAMP TO REMAIN PER CURRENT CITY STANDARD CURB RAMP STANDARD DRAWING SDG-130 AND SDG-132 WITH TRUNCATED DOMES.
- PROPOSED CURB AND GUTTER PER STANDARD DRAWING SDG-151.
- RECONSTRUCT THE SIDEWALK, MAINTAINING THE EXISTING SIDEWALK SCORING PATTERN AND PRESERVING THE CONTRACTOR'S STAMP, ADJACENT TO THE SITE ON SHASTA STREET.
- PROPOSED STANDARD CURB, GUTTER & SIDEWALK PER CITY STANDARD (SDG-160, SDG-164)
- EXISTING PUBLIC SEWER MAIN PER CITY CONSTRUCTION DRAWING D22760-2-D, 8" PVC.
- EXISTING PUBLIC WATER MAIN PER CITY CONSTRUCTION DRAWING 1261-D, 8" AC.

### SITE PLAN LEGEND

- 3" PVC SUBTERRANEAN DRAIN PIPE, SIDEWALK UNDERDRAIN & CURB OUTLET, & DIRECTION OF FLOW
- SURFACE DRAINAGE PATTERN
- DRAINAGE CATCH BASIN WITH BMP FILTER
- TRENCH DRAIN
- SITE AREA DRAIN
- PERVIOUS CONCRETE DRIVEWAY
- IMPERVIOUS HARDSCAPE - CONCRETE WALKWAY
- IMPERVIOUS HARDSCAPE - STONE OR TILE PER CLIENT
- LANDSCAPING - GRASS AREA; SEE L-1.1 FOR SPECIFICATIONS
- LANDSCAPING - PLANTER AREA

### DISTURBED AREA QUANTITIES

TOTAL PROJECT AREA	5,039.00 S.F.
EXISTING IMPERVIOUS AREA	3,405.2 S.F.
PROPOSED IMPERVIOUS AREA	4,142.3 S.F.
TOTAL DISTURBED AREA	4,774 S.F.

### GRADING QUANTITIES

GRADING AREA	4,774 S.F.
CUT QUANTITIES	44 C.Y.
MAX. CUT DEPTH	1'-0"
FILL QUANTITIES	44 C.Y.
MAX. FILL DEPTH	1'-0"
MAX. FILL SLOPE RATIO (2:1 MAX.)	

THIS PROJECT PROPOSED TO EXPORT 0 C.Y. OF MATERIAL FROM THIS SITE

NOTES:  
 1) ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.  
 2) THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL; ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

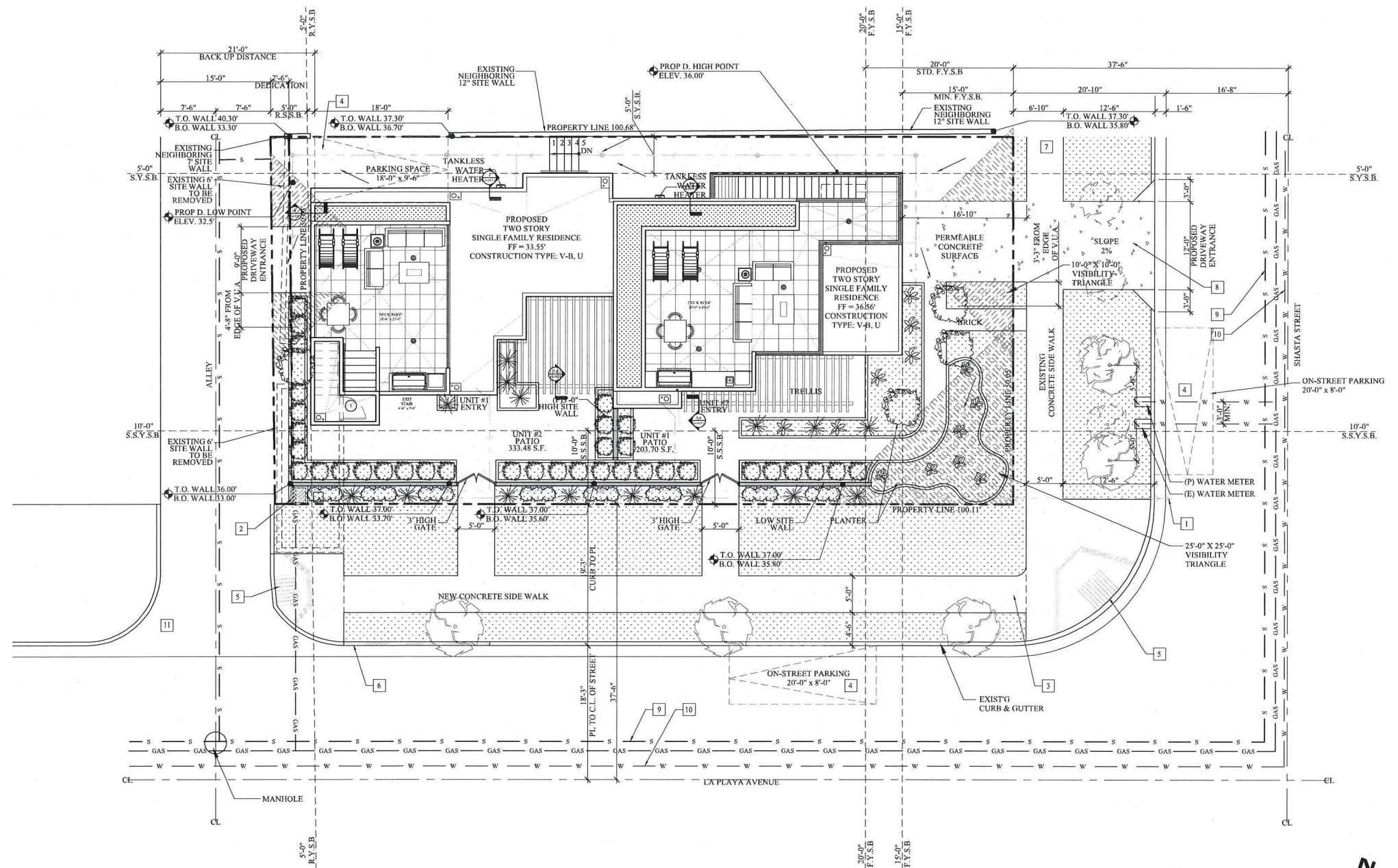
### PARKING CALCULATIONS

AUTOMOBILE:  
 TWO-BEDROOM UNITS: 2.25 SPACES/DU x 2 DU = 4.5 => 5 AUTOMOBILE PARKING SPACES REQUIRED.

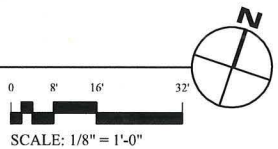
MOTORCYCLE:  
 TWO-BEDROOM UNITS: 0.1 SPACES/DU x 2 DU = .02 => 0 MOTORCYCLE PARKING SPACES

BICYCLE:  
 TWO-BEDROOM UNITS: 0.5 SPACES/DU x 2 DU = 1.0 => 1 BICYCLE PARKING SPACES

\* BICYCLE RACKS ARE NOT REQUIRED FOR A DWELLING UNIT WITH A GARAGE ACCESSIBLE ONLY BY RESIDENCE OF THE DWELLING UNIT.

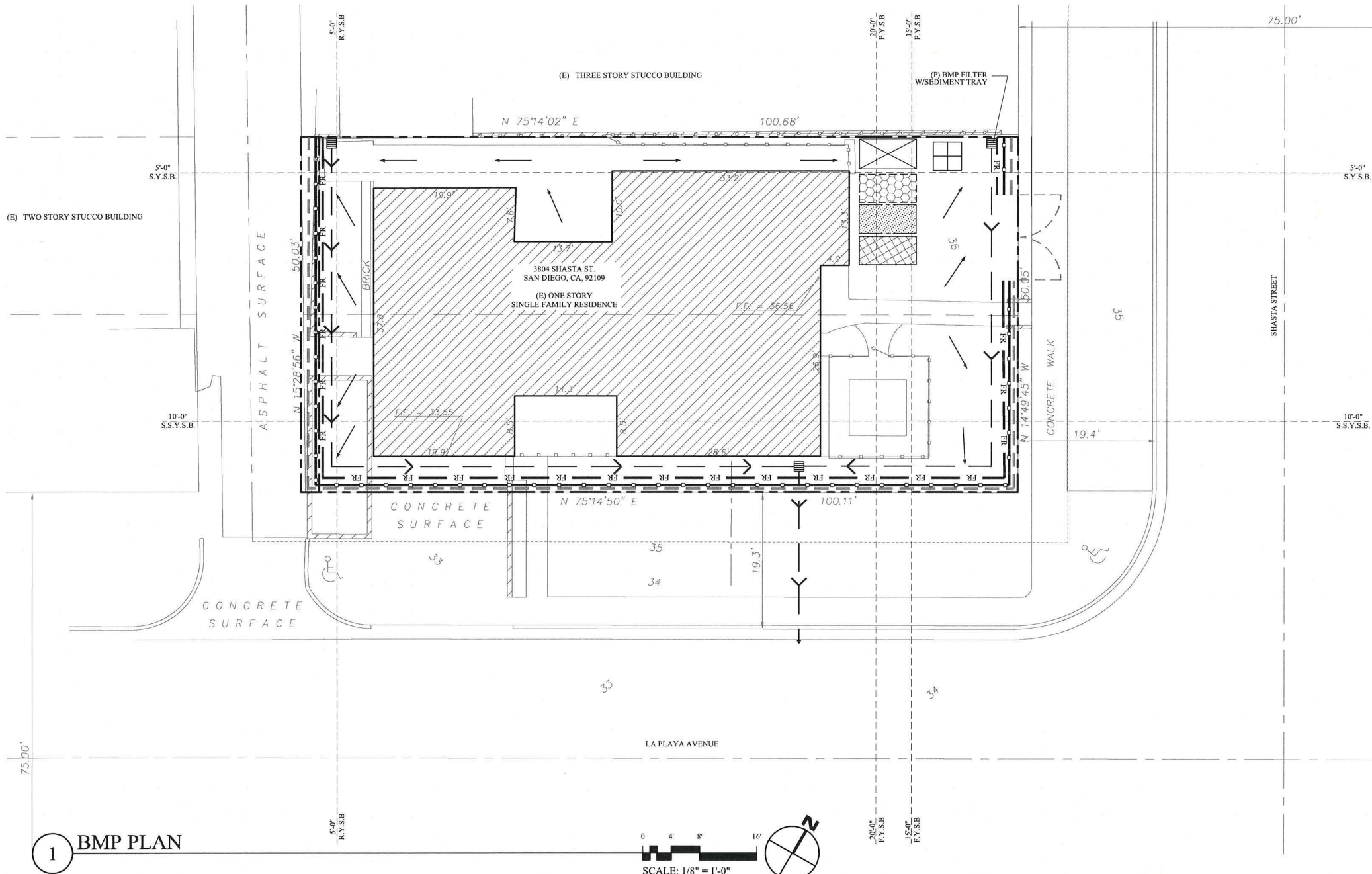


1 PROPOSED SITE PLAN



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### BMP LEGEND

- PROPERTY LINE
- 6'-0" SITE FENCE
- SILT FENCE PER CALTRANS STORMWATER HANDBOOK DETAIL SE-1
- FR FIBER ROLLS PER CALTRANS STORMWATER HANDBOOK DETAIL SE-5
- WASHOUT AREA PER CALTRANS STORMWATER HANDBOOK DETAIL WM-8
- CORRUGATED STEEL PANELS AT CONSTRUCTION ENTRANCE/EXIT PER CALTRANS STORMWATER HANDBOOK DETAIL TC-1
- MATERIAL STORAGE AND STAGING AREA PER CALTRANS STORMWATER HANDBOOK DETAILS WM-1, WM-3, WM-1
- AREA OF PAVING & GRINDING PER CALTRANS STORMWATER MANUAL DETAIL NS-3
- LIMIT OF SOIL DISTURBANCE
- GRAVEL BAGS PER CALTRANS STORMWATER HANDBOOK DETAIL SE-6
- POTABLE TOILET PER CALTRANS STORMWATER HANDBOOK WM-9
- VEHICLE WASH AREA PER CALTRANS STORMWATER HANDBOOK DETAIL NS-8
- VEHICLE FUELING AREA PER CALTRANS STORMWATER HANDBOOK DETAIL NS-9
- 4" PVC SUBTERRANEAN DRAIN PIPE @ 1/2" PER FOOT SLOPE
- DRAINAGE DIRECTION

- ### BMP NOTES
- BMP SCHEDULE TO BE PROVIDED PER CALTRANS STORMWATER HANDBOOK DETAIL EC-1
  - EXISTING VEGETATION TO BE MAINTAINED WHERE POSSIBLE PER CALTRANS STORMWATER HANDBOOK DETAIL EC-2
  - WATER USE TO BE MINIMIZED PER CALTRANS STORMWATER HANDBOOK DETAIL NS-1
  - CONTRACTOR TO REPORT ILLEGAL DISCHARGE PER CALTRANS STORMWATER HANDBOOK DETAIL NS-6
  - POTABLE WATER TO BE MANAGED PER CALTRANS STORMWATER HANDBOOK DETAIL NS-7
  - CONCRETE CURING AND FINISHING TO BE MANAGED PER CALTRANS STORMWATER HANDBOOK DETAIL NS-12, NS-14
  - SOLID AND HAZARDOUS WASTE TO BE MANAGED PER CALTRANS STORMWATER HANDBOOK DETAIL WMS-5, WMS-6
  - CONTAMINATED SOILS TO BE MANAGED PER CALTRANS STORMWATER HANDBOOK DETAIL WM-7
  - LIQUID WASTE FROM DRILLING TO BE MANAGED PER CALTRANS STORMWATER HANDBOOK DETAIL WM-10
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

# 1 BMP PLAN

City of San Diego  
Development Services  
325 La Jolla Village Drive  
San Diego, CA 92161  
415-493-3300

### Storm Water Requirements Applicability Checklist

FORM DS-560  
February 2016

Project Address: 3804 SHASTA STREET, SAN DIEGO, CA

Project Number: 2015-09-29

**SECTION 1. Construction Storm Water BMP Requirements**  
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resource Control Board.

**For all project complete PART A. If project is required to submit a SWPPP or WPCP, continue to PART B.**

**PART A: Determine Construction Phase Storm Water Requirements.**

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharge Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)  
 Yes, SWPPP required, skip questions 2-4.  No, next question.
- Does the project propose construction or drainage activities including but not limited to clearing, grading, grading, excavation, or any other activity that results in ground disturbance and contact with storm water runoff?  
 Yes, WPCP required, skip 3-4.  No, next question.
- Does the project involve activities requiring a minimum regional line and grade hydraulic capacity, or original project of the facility? Projects such as pipeline, utility, replacement.  
 Yes, WPCP required, skip 4.  No, next question.
- Does the project only include the following Permit types listed below?  
Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Sign Permit.  
 Yes, WPCP required, skip 4.  No, next question.
- Individual Right of Way Permits that exclusively include any ONE of the following activities: water service, sewer lateral or utility activity.  
 Yes, WPCP required, skip 4.  No, next question.
- Right of Way Permits with a project footprint less than 150 linear feet that exclusively include any ONE of the following activities: curb, sidewalk and driveway apron replacement, pot hole, curb and gutter replacement, and resurfacing of all city roadways.  
 Yes, to be developed request.  No, to be developed request.

Check one of the boxes to the right and continue to PART B.

If you checked "Yes" to questions 1, 2, 3, or 4, a SWPPP is REQUIRED. Continue to PART B.

If you checked "No" to questions 1, 2, 3, or 4, a WPCP is REQUIRED. If the project involves less than 5,000 square feet of ground disturbance AND less than 1,000 linear feet of ground disturbance, a WPCP is required. Continue to PART B.

If you checked "No" for all questions 1, 2, 3, and 4, and checked "Yes" for question 5, PART B does not apply and no document is required. Continue to Section 2.

Page 2 of 4 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

**PART B: Determine Construction Site Priority.**  
This presentation must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on the project's risk to water quality. The City has aligned the best definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and resulting water risk. Additional inspection is required for projects within the Area of Special Biological Resource (ASBR) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects, rather, it determines the frequency of inspection that will be conducted by city staff.

**Complete PART B and determine to Section 2**

- ASBR  
a. Projects located in the ASBR watershed.  
 High Priority
- High Priority  
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBR watershed.  
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBR watershed.  
 Medium Priority
- Medium Priority  
a. Projects 1 acre or more but not subject to an ASBR or high priority designation.  
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBR watershed.  
 Low Priority
- Low Priority  
a. Projects requiring a Water Pollution Control Plan but not subject to ASBR, high or medium priority designation.

**SECTION 2. Permanent Storm Water BMP Requirements.**  
Additional information for determining the requirements is found in the Storm Water Standards Manual.

**PART C: Determine if Not Subject to Permanent Storm Water Requirements.**  
Projects that are non-remediated maintenance, or other minor and categorized as "low development project" or "redevelopment project" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C, continue to Part D.

- Does the project only include exterior residential and/or the project entirely within an existing impervious structure and does not have the potential to create new impervious surface?  
 Yes  No
- Does the project only include the reconstruction of overhead or underground utilities without creating new impervious surface?  
 Yes  No
- Does the project fall under routine maintenance? Examples include, but are not limited to, roof or exterior structure surface replacement, resurfacing or resurfacing surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grading, curbs, and gutter repair).  
 Yes  No

Page 3 of 4 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

**PART D: PDP Exempt Requirements.**  
PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt".

If "no" is checked for all questions in Part D, continue to Part E.

Does the project ONLY include new or rebuilt sidewalks, bicycle lanes, or trails that:  
- Are designed and constructed to direct storm water runoff to adjacent vegetated areas or other non-removable permeable areas?  
- Are designed and constructed to be hydraulically disconnected from paved streets and roads?  
- Are designed and constructed with permeable pavements or surfaces in accordance with the lower Streets guidelines in the City's Storm Water Standards Manual?  
 Yes, PDP exempt requirements apply.  No, next question.

Does the project ONLY include resurfacing or repaving existing paved alleys, streets, or roads designed and constructed in accordance with the Green Streets guidelines in the City's Storm Water Standards Manual?  
 Yes, PDP exempt requirements apply.  No, project not exempt, PDP requirements apply.

**PART E: Determine if the Project is a Priority Development Project (PDP).**  
Projects that meet one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F.

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

- New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, educational, and public development projects on public or private land.  Yes  No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- New development or redevelopment of a restaurant. Facilities that will prepared food and drinks for consumption, including outdoor seating and drive-thru service, stands selling prepared foods and drinks for immediate consumption (SD, SLD, and other food stand development) and/or replace 5,000 square feet or more of impervious surface.  Yes  No
- New development or redevelopment of an existing site of 10,000 square feet or more of impervious surface that will create and/or replace 5,000 square feet or more of impervious surface.  Yes  No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface collectively over the project site.  Yes  No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface collectively over the project site.  Yes  No

Page 4 of 4 City of San Diego - Development Services Department - Storm Water Requirements Applicability Checklist

**PART F: Select the appropriate category based on the outcomes of PART C through PART E.**

- The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is a PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining project requirements and construction plan management.

Name of Owner or Agent: CLAUDE ANTHONY MARENGO  
Signature: [Signature] Title: ARCHITECT

**Marengo Morton Architects**  
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Claude Anthony Marengo DSA

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SHASTA RESIDENCE  
3804 SHASTA STREET  
SAN DIEGO, CA, 92109

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REVISIONS  
2015-09-29 COMPLETNESS SUB.  
2016-01-05 RESUBMITTAL  
2016-04-12 RESUBMITTAL  
2016-06-08 RESUBMITTAL

---

PHASE: COASTAL

---

PROJECT NO. 2015-21

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REVIEWED BY: CAM

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DRAWN BY: JRL

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DATE: 07-05-2016

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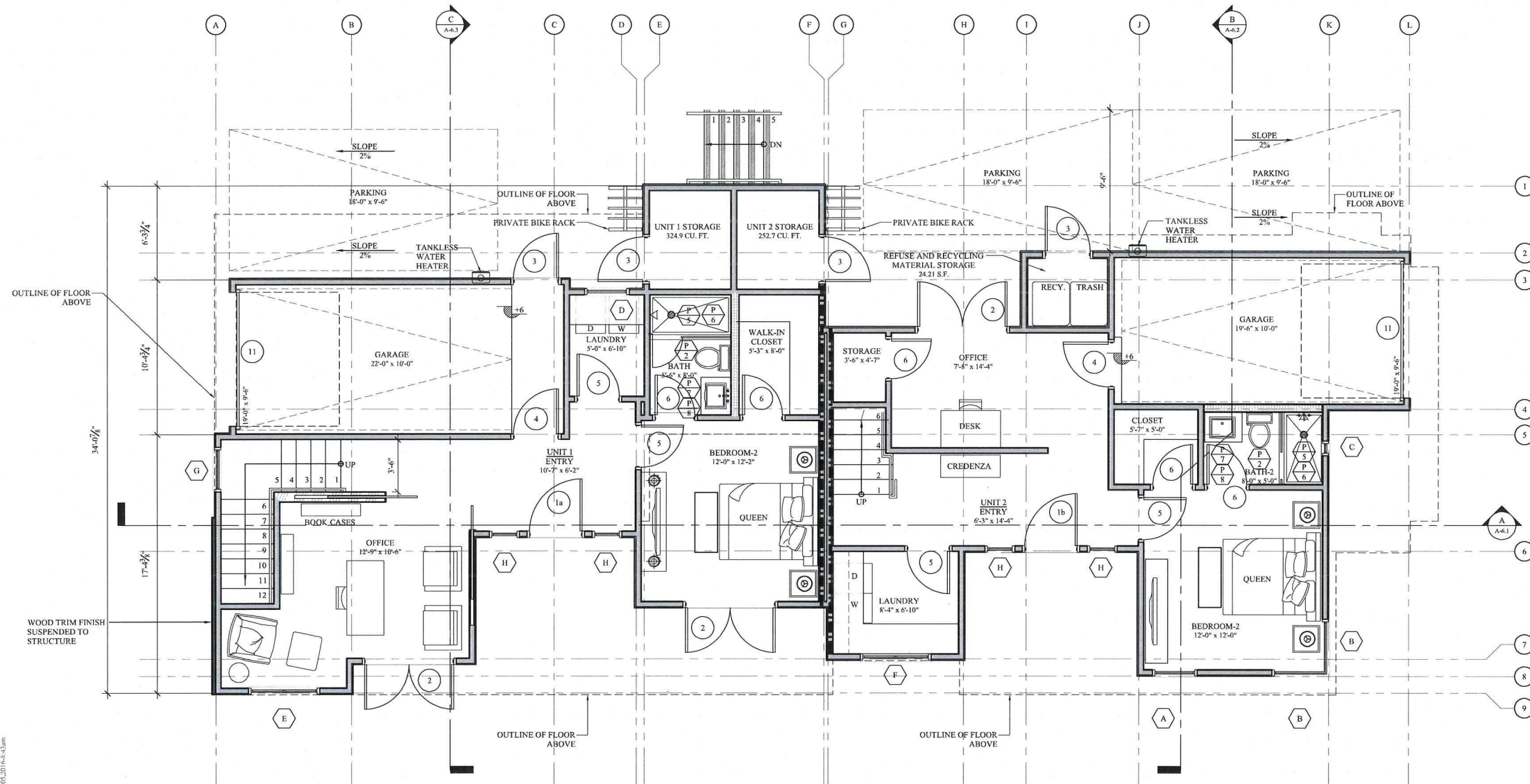
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A-1.2

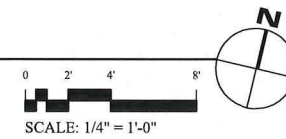
SHEET 4 OF

ATTACHMENT 12





1 PROPOSED FIRST FLOOR PLAN



FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1
- D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.  
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas  
R-13 Batt Insulation at all accessible interior walls for sound control.  
R-30 Batt Insulation at Ceiling & Roof Areas.  
R-4.5 Insulation Wrap On All New Hot Water Piping.  
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240fxmg instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGP10NAMER, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate of 120 cfm.
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- T. Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2
- U. Plumbing fixtures to be of high efficiency (faucet <2 or 1.5 gpm, shower <2 or 1.75 gpm, toilet <1.3 or 1.1 gpf)

FLOOR PLAN LEGEND

- NEW 2 X 4 STUD WALL @ 16" O.C. W/PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
  - NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
  - NEW 2X4 INTERIOR DOUBLE STUD PARTY WALL. SEE DETAIL S/A-10.7.1
  - ONE HOUR CONSTRUCTION  
2 X WOOD STUD @ 16" O.C. W/5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL S/A10.3.
  - NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
  - NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
  - SMOKE DETECTOR - PERM WIRED TO BUILDING POWER W/ BATTERY BACK-UP. VERIFY IN FIELD FOR EXISTING CONDITIONS
  - FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
  - KEYNOTE BOX TO ALLOW FOR SPECS AND INFO WHERE SPACE IS LIMITED
  - NEW DOOR, INSTALLED 4 1/2" U.O.N.  
NEW DOOR, INSTALLED 4 1/2" U.O.N.
  - PROPOSED EXTERIOR LIGHTING
  - EXISTING STRUCTURE DIMENSION
  - PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FDN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.



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	2016-06-08 RESUBMITTAL

PHASE COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM

DRAWN BY AM

DATE 07-05-2016

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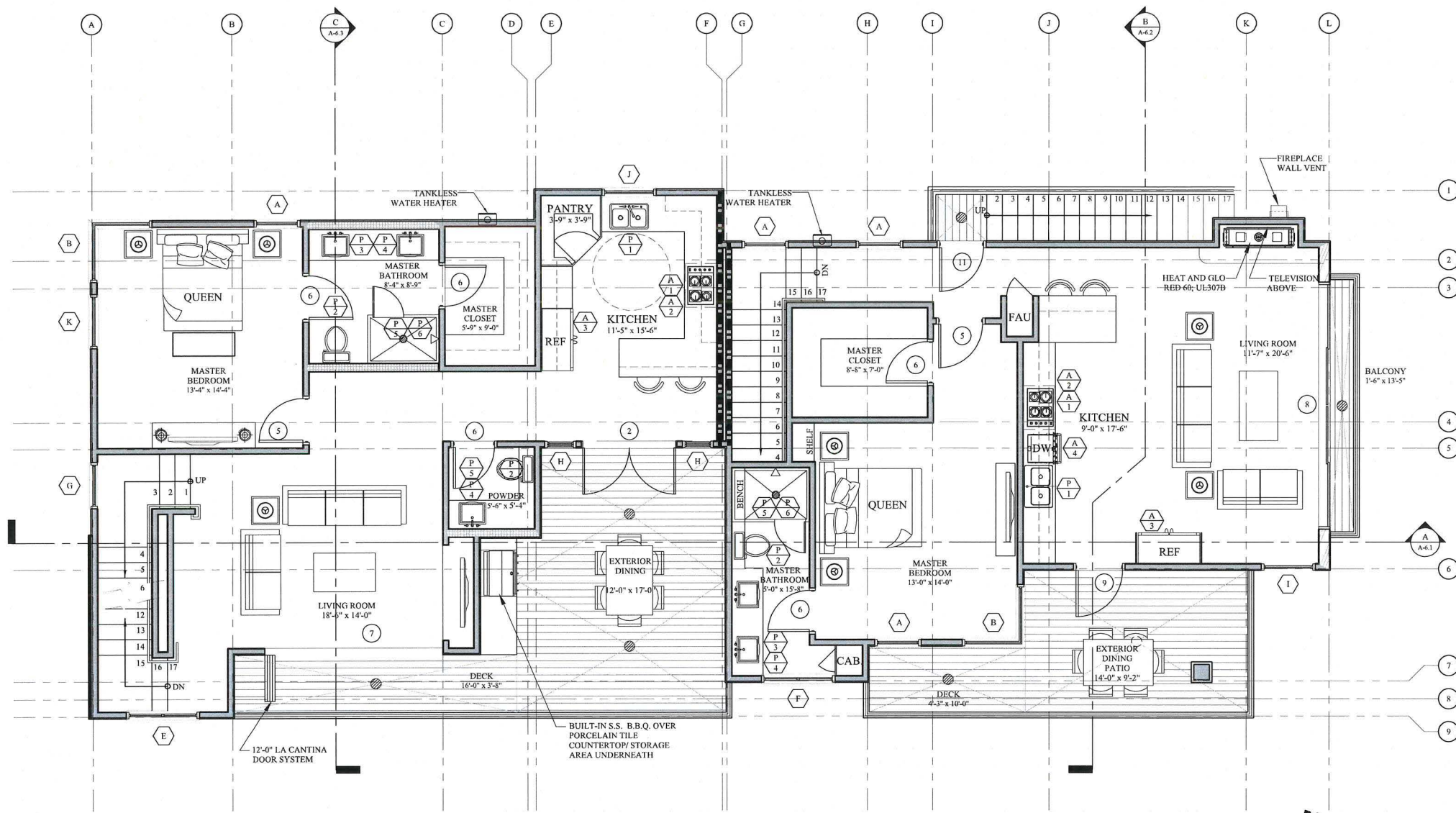
SHEET TITLE PROPOSED FIRST FLOOR PLAN

A-2.1  
SHEET 5 OF

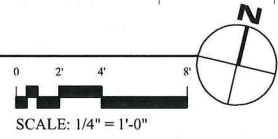
ATTACHMENT 12

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1 PROPOSED SECOND FLOOR PLAN



FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1
- D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.  
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas  
R-13 Batt Insulation at all accessible interior walls for sound control.  
R-30 Batt Insulation at Ceiling & Roof Areas.  
R-4.5 Insulation Wrap On All New Hot Water Piping.  
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquasart 240fmg instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGP10NAMER, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1
- O. Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC)
- P. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- Q. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with type X gypsum board or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
- R. WHOLE BUILDING VENTILATION: Indoor Air Quality Exhaust fan with ventilation rate of 120 cfm
- S. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum No.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- T. Shower compartment and bathtubs with installed shower heads shall be finished with a non-absorbent surface that extends to a height not less than 6 feet above floor. CRC R307.2
- U. Plumbing fixtures to be of high efficiency (faucet <2 or 1.5 gpm, shower <2 or 1.75 gpm, toilet <1.3 or 1.1 gpf)

FLOOR PLAN LEGEND

- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
  - NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
  - NEW 2X4 INTERIOR DOUBLE STUD PARTY WALL SEE DETAIL S/A-10.7.1
  - ONE HOUR CONSTRUCTION 2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL S/A10.3.
  - NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
  - NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
  - SMOKE DETECTOR - PERM. WIRING TO BUILDING POWER W/ BATTERY BACK-UP. VERIFY IN FIELD FOR EXISTING CONDITIONS
  - FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
  - KEYNOTE BOX TO ALLOW FOR SPECS AND INFO WHERE SPACE IS LIMITED
  - NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
  - PROPOSED EXTERIOR LIGHTING
  - EXISTING STRUCTURE DIMENSION
  - PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

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SHASTA RESIDENCE  
3804 SHASTA STREET  
SAN DIEGO, CA, 92109

REVISIONS  
2015-09-29 COMPLETENESS SUB.  
2016-01-05 RESUBMITTAL  
2016-04-12 RESUBMITTAL  
2016-06-08 RESUBMITTAL

PHASE  
COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM

DRAWN BY AM

DATE 07-05-2016

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SHEET TITLE PROPOSED SECOND FLOOR PLAN

**A-2.2**  
SHEET 6 OF

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### STORM DRAINAGE NOTES

- The primary storm drainage system shall connect to the building storm water that connects to an underground public sewer.
- The secondary roof drainage system shall discharge above grade, in a location observable by the building occupants or maintenance personnel.

### HEIGHT NOTES

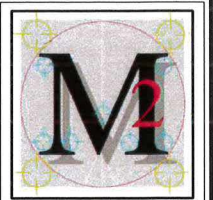
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT. PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE.

### ROOF NOTES

- Roofing Underlayment slope 3:12 or less: "Ice and Water Shield" by W.R. Grace, ESR-1677, or "Winter Guard HT" by Certain Teed Corp. ESR-1492 (or architect approved eqv.). Install per manufacturer's instructions. Install a #40 fiberglass reinforced felt sheet over roof membrane.
- Counter-slopes: 1/2" per 12" (minimum) towards drains created using G-26 (latex-cement) flooring underlayment by Crossfield Products Corp.
- Roof Edge Drip, Metal Flashing, Panel Clips and Counter Flashing: All exterior flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Hem all exposed edges.
- Built-Up Roofing System: By GAF, GAFGLAS 4-Ply Hot Mopped Modified Bitumen Mineral Surfaced Roofing System. Provide a 1/4" per foot minimum roof slope. Install per manufacturer's instruction. Roofing system shall have a minimum 10 year labor and material warranty. Per specification Division 7.1, section G. For Flashing, "Springlock" flashing system, Type STX, by Fry Reglet Corp. Material 26 ga. Provide "Windlok" clips and prefabricated mitered corner sections. Install per manufacturer's specifications. Roofing system shall be a UL class "A" rated, ICC Report ESR-1274.
- Flashing Vent: ABS plastic to be flashed with Carlisle-Syntec TPO Pre-Molded pipe flashing.
- Parapet, Transitions and other Horizontal Stucco Surface Waterproofing: Membrane waterproofing shall be JIFBY SEAL 140/650 by Protecto Wrap. Extend membrane a minimum of 6" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. ESR-1127.
- Roof Drain: Roof drain shall be TPO-RD2NH - 2" TPO-slab no-hub bottom outlet drain by Thunderbird Products with A.B.S. dome strainer. Telephone (800) 658-2473. Provide 3" I.D. ABS drain lines with min 1/2" slope. Connect to building storm water.
- Fireplace Vent: Fireplace vent shall be Type B Stainless Steel as required by fireplace manufacturer. Minimum size mesh in spark arrestor shall be 1/2". Mesh shall be stainless steel or copper.
- Roof Vent: TPO Pre-molded roof venting see detail 6/A-10.4.1
- Clay Tile Roofing: Roofing shall be two-piece Mission Tile, to be "Carnel Blend by US Tile, ESR-1017. Provide a 3x3" Sample of Mock of Tile Pattern N and Color For Owner and Architects Approval Prior to Ordering Material. Install with Random Exposure Pattern. Provide 20% Random Field Boosters. Install with Random Instructions Over 40# Roofing Felt Underlayment at Roof With a Minimum of 3 to 12 Slope. All Roofing Materials shall be Class "A".
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of non-combustible materials.
- Drip edge flashing used at the free edges of roofing materials shall be non-combustible.
- Valley flashings shall be not less than 0.019" (#26 copper gauge) corrosion-resistant metal installed over a min. 36"-wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley.
- Turbine attic vents shall be equipped to allow one-way direction rotation only and shall not free spin in both directions.
- Enclosed rafter assemblies not required to be vented per CRC R806.5.
- The entire roof shall be covered with a fire-retardant roof covering that is at least Class 'A' when the area of the addition to the existing building is more than twenty-five percent (25%) of the original floor area of the building [SDMC 149.0902(a)(2)].

### ROOF PLAN LEGEND

- FLAT ROOFING; SLOPE 1/4" PER PLAN
- ROOF DECK FLOORING. SEE DETAIL 4/A-10.3.1
- WOOD TRELLIS MEMBER; TYP. SEE DETAIL 5/A-10.3.1
- ROOF DRAIN; TYP. SEE DETAIL 2/A-10.4.1
- DECK DRAIN; TYP. SEE DETAIL 3/A-10.3.1



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PHASE  
COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM

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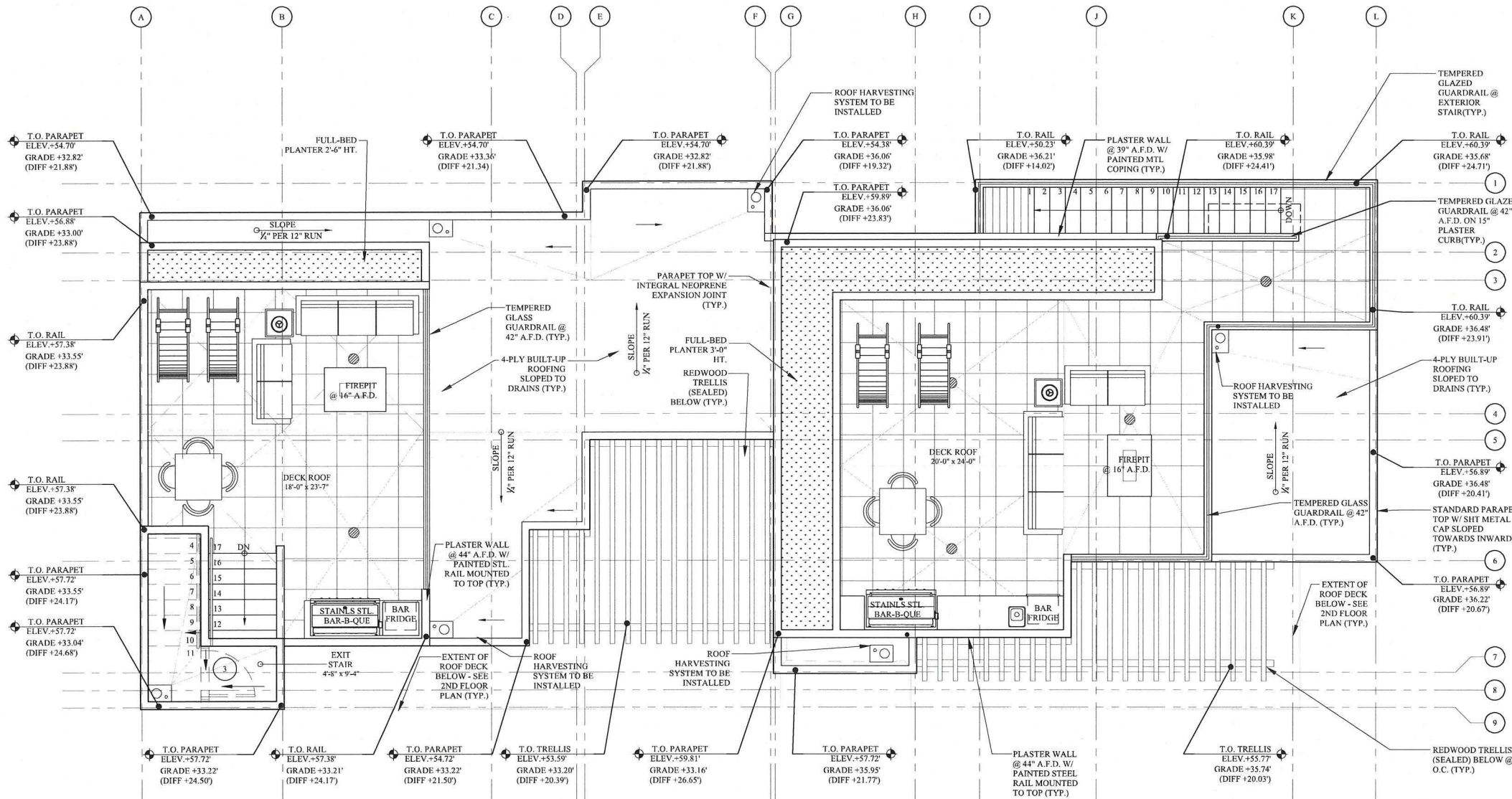
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SHEET TITLE PROPOSED ROOF PLAN

**A-4.1**  
SHEET 7 OF

ATTACHMENT 12



**1 PROPOSED ROOF DECK FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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PHASE  
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PROJECT NO. 2015-21

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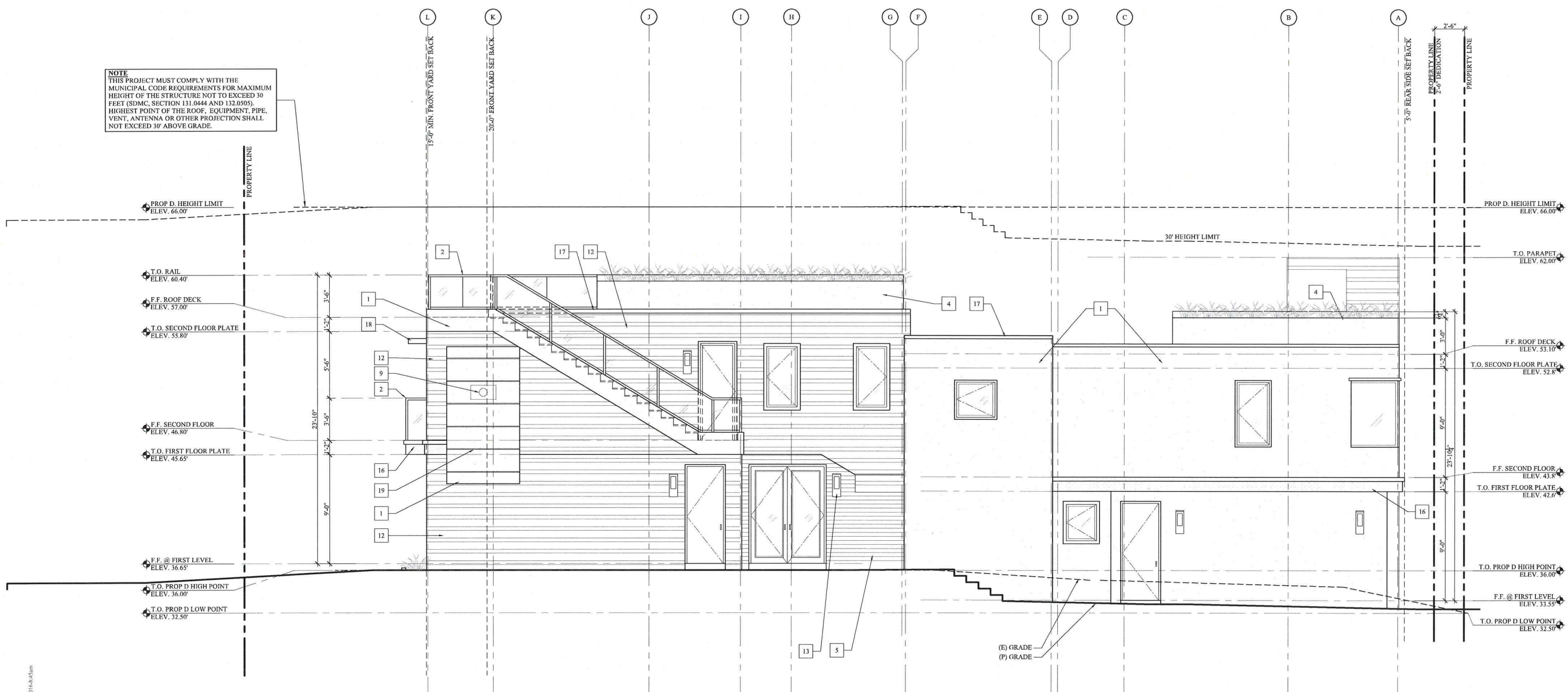
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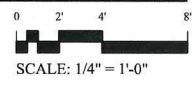
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SHEET TITLE  
PROPOSED  
NORTH ELEVATION  
**A-5.1**  
SHEET 8 OF

**NOTE**  
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTION 131.0444 AND 132.0595). HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.



## 1 PROPOSED NORTH ELEVATION



### ELEVATION NOTES

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.
- C. REFER TO SHEET A-6.1 AND A-6.2 FOR BUILDING SECTIONS.
- D. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A-8.1 AND A-8.2. ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER C.B.C. SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISIONS TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- E. INSTALL PLASTER CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS. IF JOINTS ARE NOT SHOWN, SEE SHEET SP-2 DIV. 09-200 3B CRITERIA WITH THE APPROVAL OF THE ARCHITECT FOR LOCATIONS.
- F. PER PACIFIC BEACH COMMUNITY PLAN, DESIGN PROMOTES THE DEVELOPMENT OF A VARIETY OF HOUSING TYPES AND STYLES IN PACIFIC BEACH TO PROVIDE A GREATER OPPORTUNITY FOR HOUSING THAT IS BOTH AFFORDABLE AND ACCESSIBLE BY EVERYONE.
- G. PER PACIFIC BEACH COMMUNITY PLAN, DESIGN STRIVES TO ENHANCE RESIDENTIAL NEIGHBORHOODS BY ESTABLISHING AND MAINTAINING STREET TREE PATTERNS AND PROMOTING GENERAL MAINTENANCE AND IMPROVEMENT OF RESIDENTIAL PROPERTIES.
- H. PER PACIFIC BEACH COMMUNITY PLAN, DESIGN STRIVES TO IMPLEMENT DESIGN STANDARDS FOR MULTI- AND SINGLE-FAMILY DEVELOPMENT TO ENSURE THAT PROPERTIES REFLECT THE SCALE AND CHARACTER OF THE ESTABLISHED NEIGHBORHOOD.

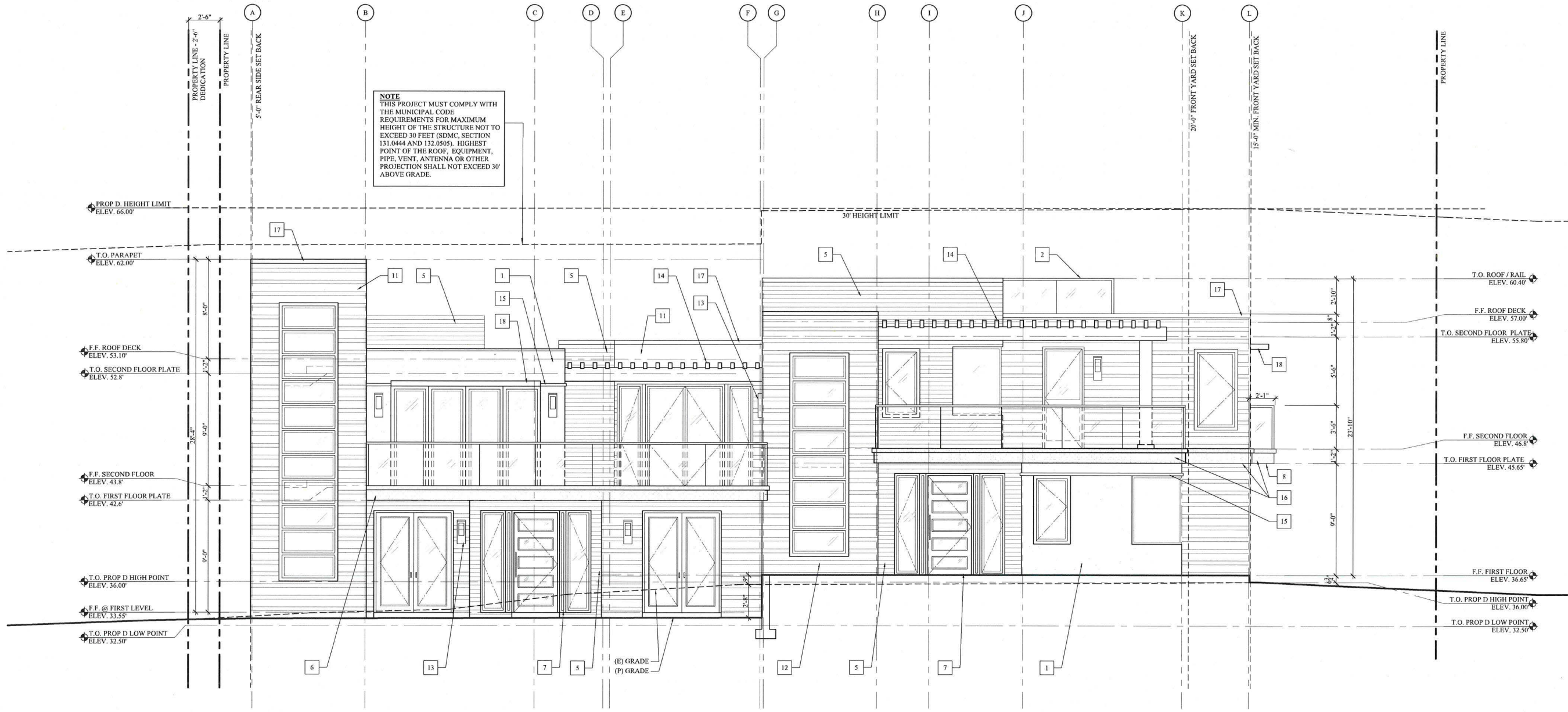
### ELEVATION KEYNOTES

- |    |   |    |  |
|----|---|----|--|
| 1  | EXTERIOR STUCCO; SANTA BARBARA FINISH, COLOR: X-55 FRENCH VANILLA (BASE 100) BY LA HABRA NOTE | 11 | JAMES HARDIE SIDING, COLOR: TIMBER BARK; ALTERNATE BETWEEN 4" AND 6" WIDE FLANKS   |
| 2  | GLASS GUARDRAIL; SEE DETAIL SHEET 1/A-10.3.1 FOR SPECIFICATIONS                               | 12 | JAMES HARDIE SIDING, COLOR: BOOTHBAY BLUE; ALTERNATE BETWEEN 4" AND 6" WIDE FLANKS |
| 3  | (E) SITE WALL   | 13 | EXTERIOR WALL LIGHT; DAWN WS-W2223-GH BY MODERN FORMS                              |
| 4  | PLANTER, SEE DETAIL 7/A-10.4.1 FOR SPECIFICATIONS   | 14 | TRELLIS; PAINTED WITH HOUND (CL 2682M) BY FRAZEE PAINT                             |
| 5  | EXTERIOR TILE; 5" X 32" MISINGI SUBER BY ARIZONA TILE   | 15 | STAINLESS STEEL BREAK METAL BANDING, SEE DTL. 9/A-10.2.2                           |
| 6  | "AZEK" FRIEZE BOARD, COLOR TO MATCH JAMES HARDIE SIDING, TIMBER BARK                          | 16 | "AZEK" FRIEZE BOARD, COLOR TO MATCH STUCCO - FRENCH VANILLA                        |
| 7  | BREAK METAL TO MATCH DOOR/WINDOW FRAME COLOR/FINISH   | 17 | STAINLESS STEEL BREAK METAL PARAPET CAP  |
| 8  | ENCROACHMENT INTO SETBACK PERMITTED PER SEC. 131.0461(a) SDMC.                                | 18 | STAINLESS STEEL AWNING, SEE DTL. 7/A-10.2.2  |
| 9  | FIREPLACE DIRECT WALL VENT  | 19 | ALIGN STUCCO CONTROL JOINTS W/ ADJACENT SIDING                                     |
| 10 | (P) 3'-0" HIGH SITE WALL  |    |  |

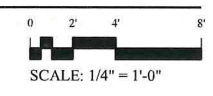
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ATTACHMENT 12





2 PROPOSED SOUTH ELEVATION



**NOTE**  
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**ELEVATION NOTES**

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- B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.
- C. REFER TO SHEET A-6.1 AND A-6.2 FOR BUILDING SECTIONS.
- D. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A-8.1 AND A-8.2. ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER C.B.C. SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISIONS TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- E. INSTALL PLASTER CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS. IF JOINTS ARE NOT SHOWN, SEE SHEET SP-2. DIV. 09-200 3B CRITERIA WITH THE APPROVAL OF THE ARCHITECT FOR LOCATIONS.
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**ELEVATION KEYNOTES**

- |    |   |    |  |
|----|---|----|--|
| 1  | EXTERIOR STUCCO; SANTA BARBARA FINISH, COLOR: X-55 FRENCH VANILLA (BASE 100) BY LA HABRA NOTE | 11 | JAMES HARDIE SIDING, COLOR: TIMBER BARK; ALTERNATE BETWEEN 4" AND 6" WIDE PLANKS   |
| 2  | GLASS GUARDRAIL, SEE DETAIL SHEET 1/A-10.3.1 FOR SPECIFICATIONS                               | 12 | JAMES HARDIE SIDING, COLOR: BOOTHBAY BLUE; ALTERNATE BETWEEN 4" AND 6" WIDE PLANKS |
| 3  | (E) SITE WALL   | 13 | EXTERIOR WALL LIGHT; DAWN WS-W2223-GH BY MODERN FORMS                              |
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| 10 | (P) 3'-0" HIGH SITE WALL  |    |  |



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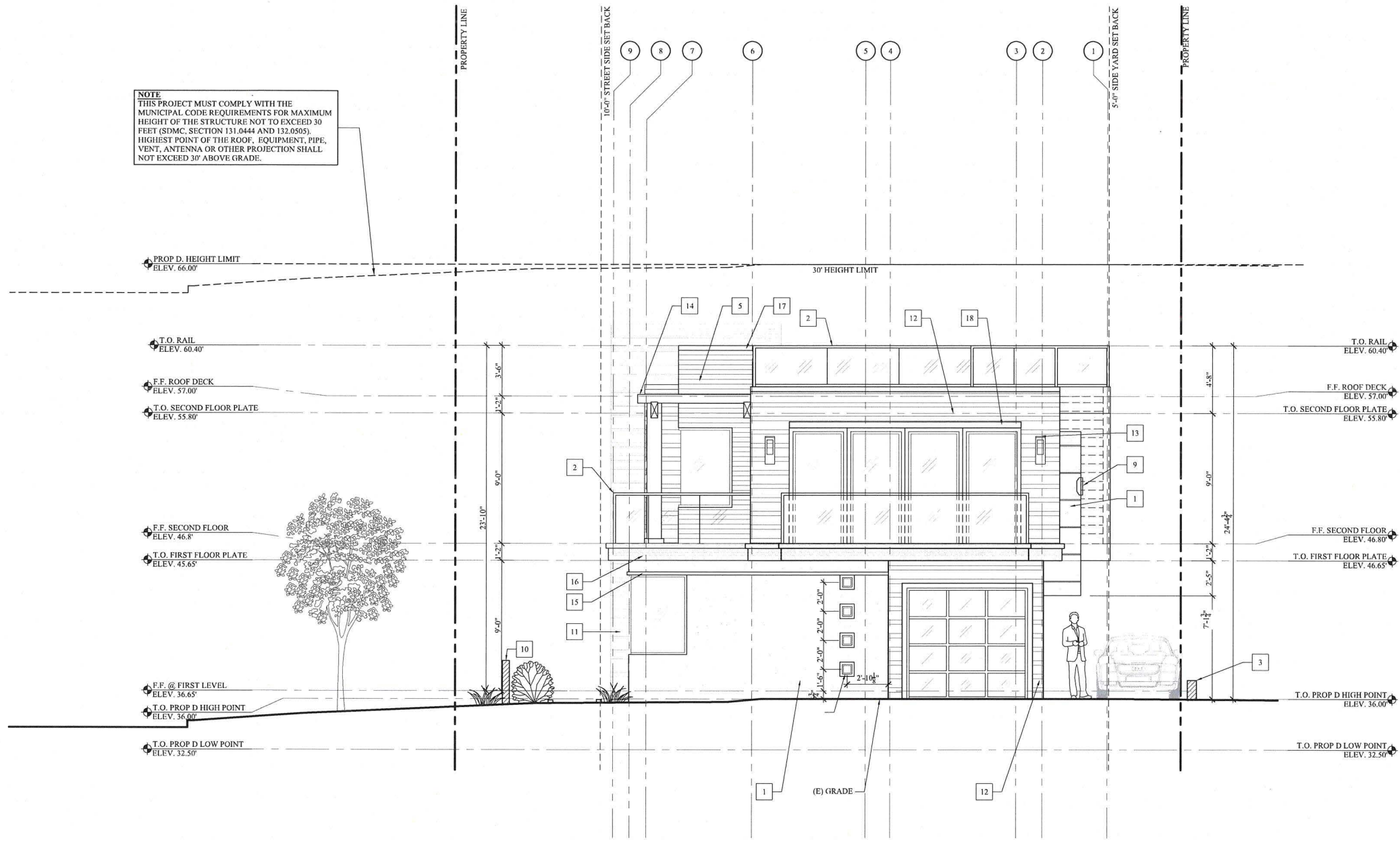
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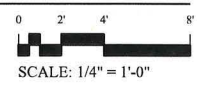
SHEET TITLE  
 PROPOSED SOUTH ELEVATION  
**A-5.2**  
 SHEET 9 OF



**NOTE**  
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC SECTION 131.0444 AND 132.0505). HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.



**3 PROPOSED EAST ELEVATION**

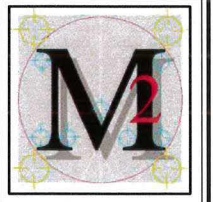


**ELEVATION NOTES**

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.
- C. REFER TO SHEET A-6.1 AND A-6.2 FOR BUILDING SECTIONS.
- D. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A-8.1 AND A-8.2. ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER C.B.C. SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISIONS TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.
- E. INSTALL PLASTER CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS. IF JOINTS ARE NOT SHOWN, SEE SHEET SP-2 DIV. 09-200 3B CRITERIA WITH THE APPROVAL OF THE ARCHITECT FOR LOCATIONS.
- F. PER PACIFIC BEACH COMMUNITY PLAN, DESIGN PROMOTES THE DEVELOPMENT OF A VARIETY OF HOUSING TYPES AND STYLES IN PACIFIC BEACH TO PROVIDE A GREATER OPPORTUNITY FOR HOUSING THAT IS BOTH AFFORDABLE AND ACCESSIBLE BY EVERYONE.
- G. PER PACIFIC BEACH COMMUNITY PLAN, DESIGN STRIVES TO ENHANCE RESIDENTIAL NEIGHBORHOODS BY ESTABLISHING AND MAINTAINING STREET TREE PATTERNS AND PROMOTING GENERAL MAINTENANCE AND IMPROVEMENT OF RESIDENTIAL PROPERTIES.
- H. PER PACIFIC BEACH COMMUNITY PLAN, DESIGN STRIVES TO IMPLEMENT DESIGN STANDARDS FOR MULTI- AND SINGLE-FAMILY DEVELOPMENT TO ENSURE THAT PROPERTIES REFLECT THE SCALE AND CHARACTER OF THE ESTABLISHED NEIGHBORHOOD.

**ELEVATION KEYNOTES**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>1 EXTERIOR STUCCO, SANTA BARBARA FINISH, COLOR-X-55 FRENCH VANILLA (BASE 100) BY LA HABRA NOTE</li> <li>2 GLASS GUARDRAIL, SEE DETAIL SHEET 1/A-10.3.1 FOR SPECIFICATIONS</li> <li>3 (E) SITE WALL</li> <li>4 PLANTER, SEE DETAIL 7/A-10.4.1 FOR SPECIFICATIONS</li> <li>5 EXTERIOR TILE ; 5" X 32" MISINGI SUBER BY ARIZONA TILE</li> <li>6 "AZEK" FRIEZE BOARD, COLOR TO MATCH JAMES HARDIE SIDING, TIMBER BARK</li> <li>7 BREAK METAL TO MATCH DOOR/WINDOW FRAME COLOR/FINISH</li> <li>8 ENCROACHMENT INTO SETBACK PERMITTED PER SEC. 131.0461(a) SDMC.</li> <li>9 FIREPLACE DIRECT WALL VENT</li> <li>10 (P) 3'-0" HIGH SITE WALL</li> </ul> | <ul style="list-style-type: none"> <li>11 JAMES HARDIE SIDING, COLOR: TIMBER BARK; ALTERNATE BETWEEN 4" AND 6" WIDE PLANKS</li> <li>12 JAMES HARDIE SIDING, COLOR: BOOTHBAY BLUE; ALTERNATE BETWEEN 4" AND 6" WIDE PLANKS</li> <li>13 EXTERIOR WALL LIGHT; DAWN WS-W2223-GH BY MODERN FORMS</li> <li>14 TRELLIS, PAINTED WITH HOUND (CL 2682M) BY FRAZEE PAINT</li> <li>15 STAINLESS STEEL BREAK METAL BANDING, SEE DTL. 9/A-10.2.2</li> <li>16 "AZEK" FRIEZE BOARD, COLOR TO MATCH STUCCO - FRENCH VANILLA</li> <li>17 STAINLESS STEEL BREAK METAL PARAPET CAP</li> <li>18 STAINLESS STEEL AWNING, SEE DTL. 7/A-10.2.2</li> <li>19 ALIGN STUCCO CONTROL JOINTS W/ ADJACENT SIDING</li> </ul> |
|---|---|



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3804 SHASTA STREET  
SAN DIEGO, CA, 92109

REVISIONS

2015-09-29	COMPLETENESS SUB.
2016-01-05	RESUBMITTAL
2016-04-12	RESUBMITTAL
2016-06-08	RESUBMITTAL

PHASE **COASTAL**

PROJECT NO. 2015-21

REVIEWED BY **CAM**

DRAWN BY **AM**

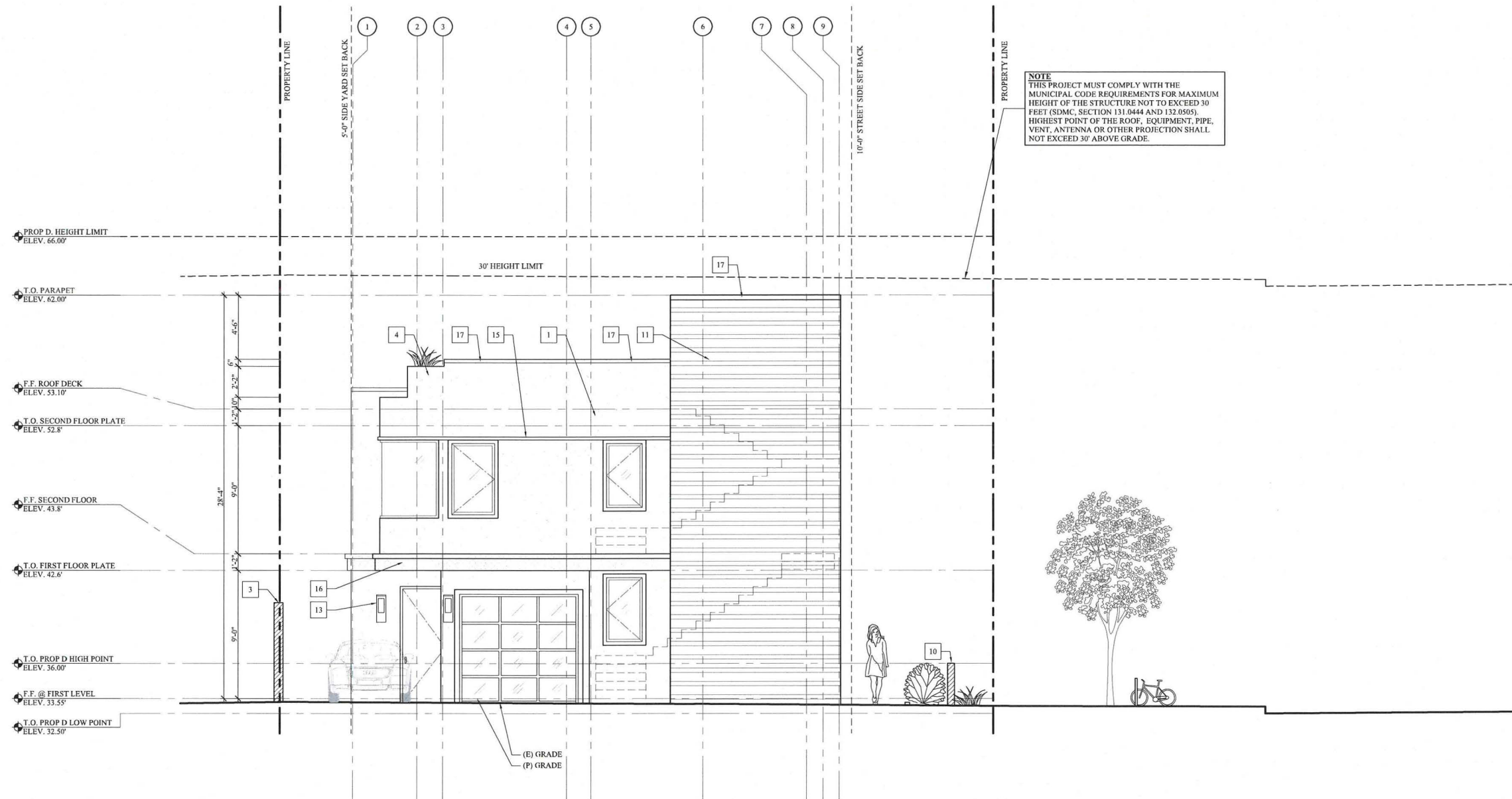
DATE **07-05-2016**

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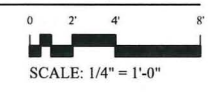
SHEET TITLE  
**PROPOSED EAST ELEVATION**  
**A-5.3**  
SHEET 10 OF

ATTACHMENT 12





4 PROPOSED WEST ELEVATION



**ELEVATION NOTES**

- A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
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**ELEVATION KEYNOTES**

- |    |   |    |  |
|----|---|----|--|
| 1  | EXTERIOR STUCCO; SANTA BARBARA FINISH, COLOR: X-55 FRENCH VANILLA (BASE 100) BY LA HABRA NOTE | 11 | JAMES HARDIE SIDING, COLOR: TIMBER BARK; ALTERNATE BETWEEN 4" AND 6" WIDE PLANKS   |
| 2  | GLASS GUARDRAIL, SEE DETAIL SHEET 1/A-10.3.1 FOR SPECIFICATIONS                               | 12 | JAMES HARDIE SIDING, COLOR: BOOTHBAY BLUE; ALTERNATE BETWEEN 4" AND 6" WIDE PLANKS |
| 3  | (E) SITE WALL   | 13 | EXTERIOR WALL LIGHT: DAWN WS-W2223-GH BY MODERN FORMS                              |
| 4  | PLANTER, SEE DETAIL 7/A-10.4.1 FOR SPECIFICATIONS   | 14 | TRELLIS: PAINTED WITH HOUND (CL 2682M) BY FRAZEE PAINT                             |
| 5  | EXTERIOR TILE; 5" X 32" MISING SUBER BY ARIZONA TILE  | 15 | STAINLESS STEEL BREAK METAL BANDING, SEE DTL. 9/A-10.2.2                           |
| 6  | "AZEK" FRIEZE BOARD, COLOR TO MATCH JAMES HARDIE SIDING, TIMBER BARK                          | 16 | "AZEK" FRIEZE BOARD, COLOR TO MATCH STUCCO - FRENCH VANILLA                        |
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| 9  | FIREPLACE DIRECT WALL VENT  | 19 | ALIGN STUCCO CONTROL JOINTS W/ ADJACENT SIDING                                     |
| 10 | (P) 3'-0" HIGH SITE WALL  |    |  |



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 2016-06-08 RESUBMITTAL

PHASE COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM

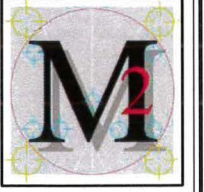
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SHEET TITLE  
 PROPOSED WEST ELEVATION  
**A-5.4**  
 SHEET 11 OF

ATTACHMENT 12



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PHASE COASTAL

PROJECT NO. 2015-21

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DATE 07-05-2016

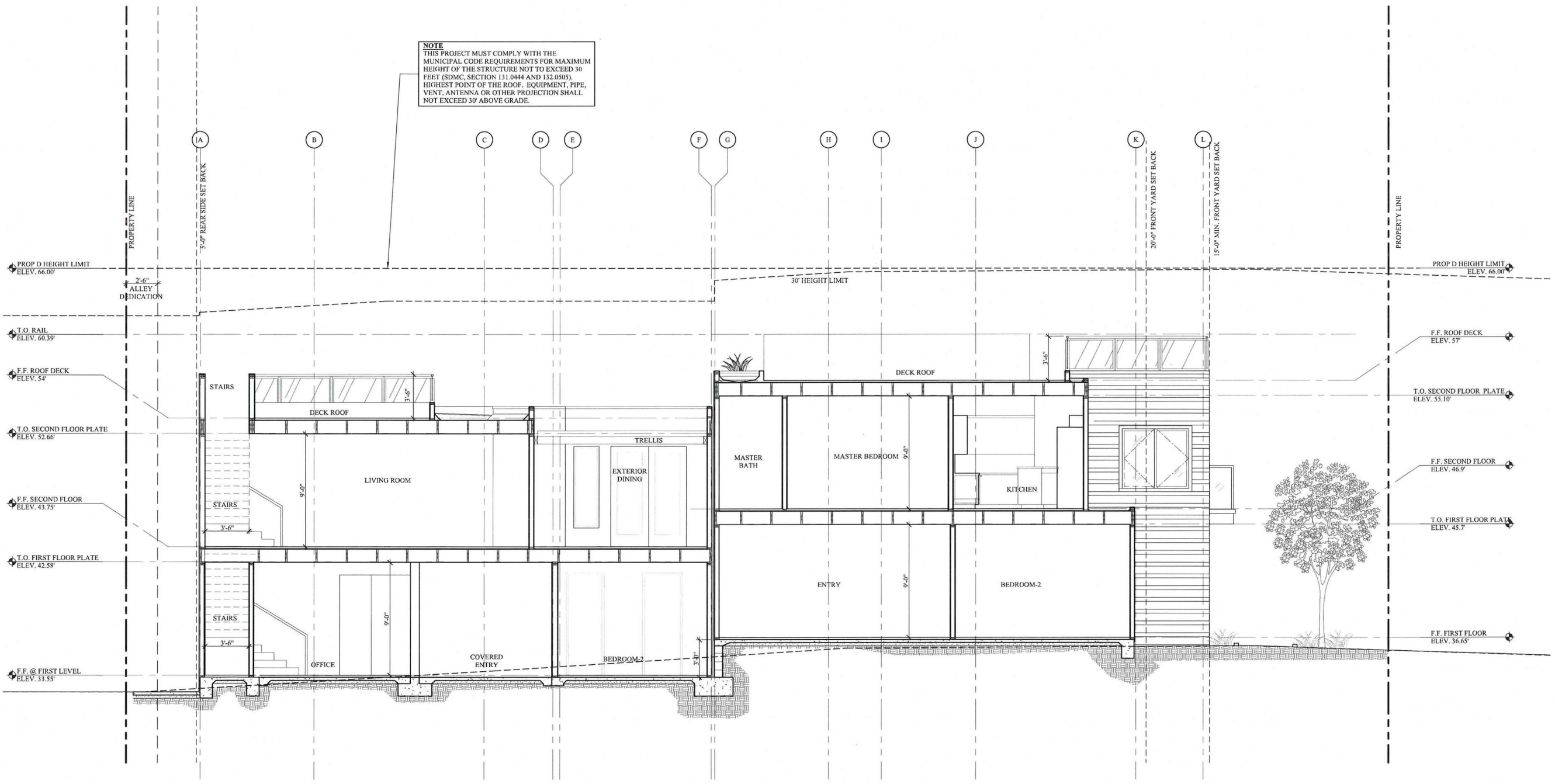
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SHEET TITLE PROPOSED SECTIONS

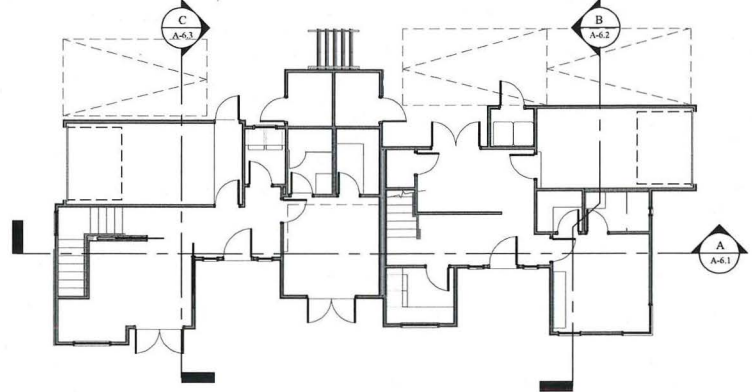
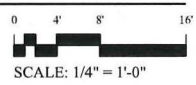
## A-6.1

SHEET 12 OF

ATTACHMENT 12



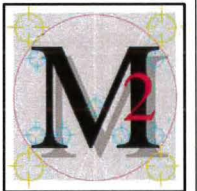
### A SECTION



### KEY MAP: NTS

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 2016-06-08 RESUBMITTAL



PHASE **COASTAL**

PROJECT NO **2015-21**

REVIEWED BY **CAM**

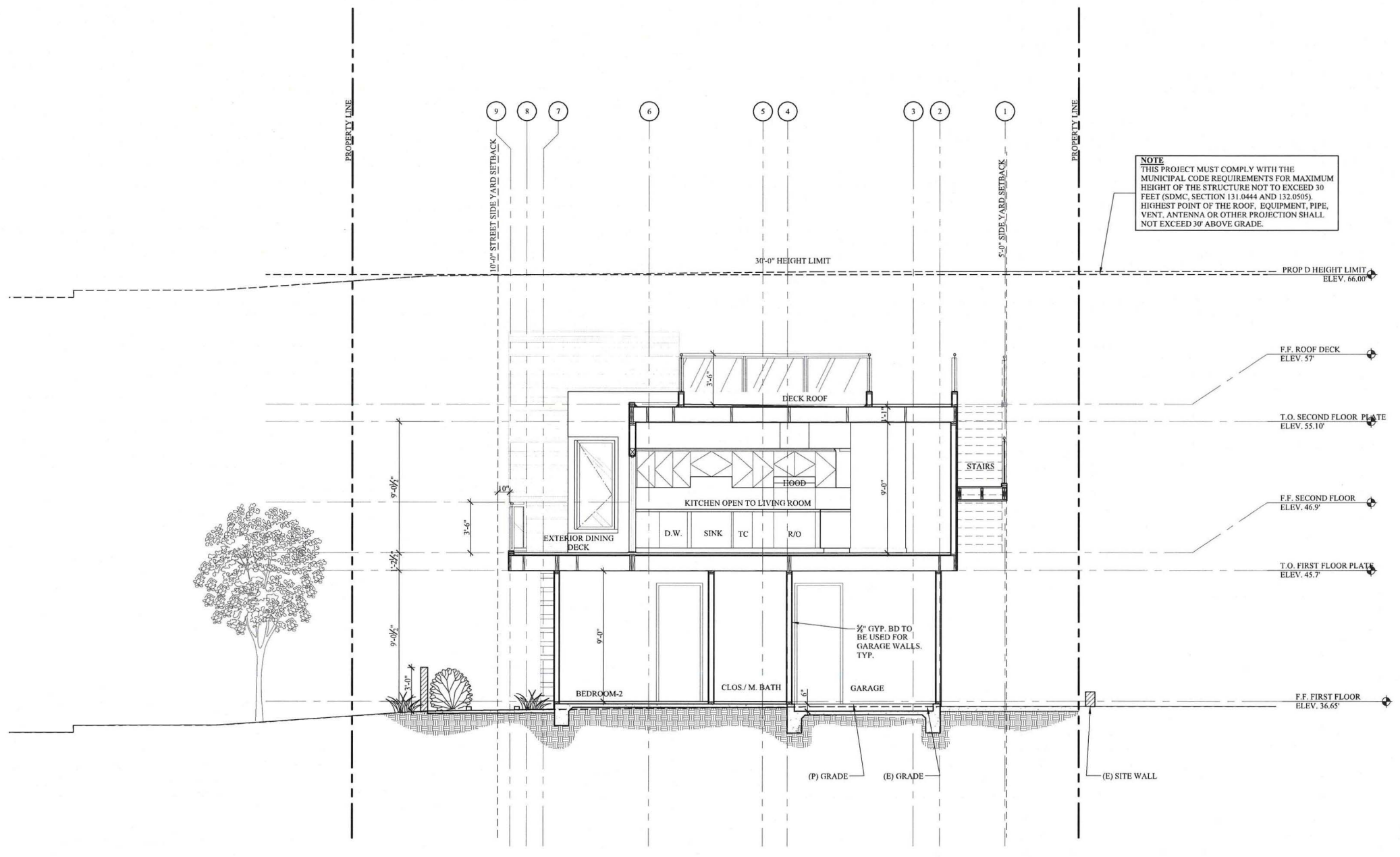
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DATE **07-05-2016**

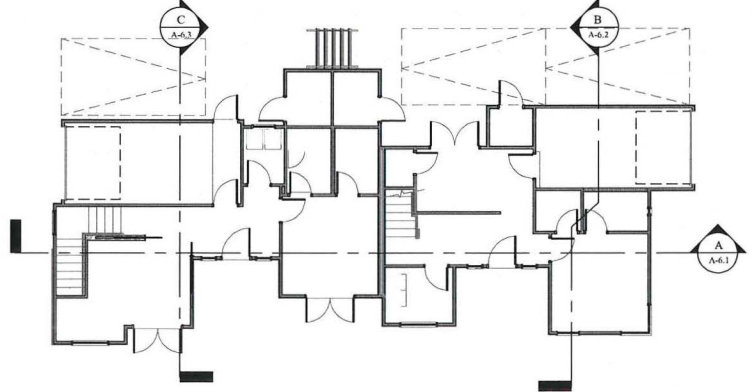
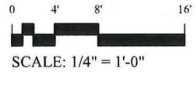
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SHEET TITLE **PROPOSED SECTIONS**

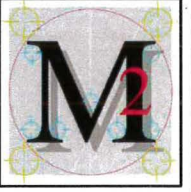
**A-6.2**  
 SHEET 13 OF



**B SECTION**



**KEY MAP: NTS**



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PHASE COASTAL

PROJECT NO. 2015-21

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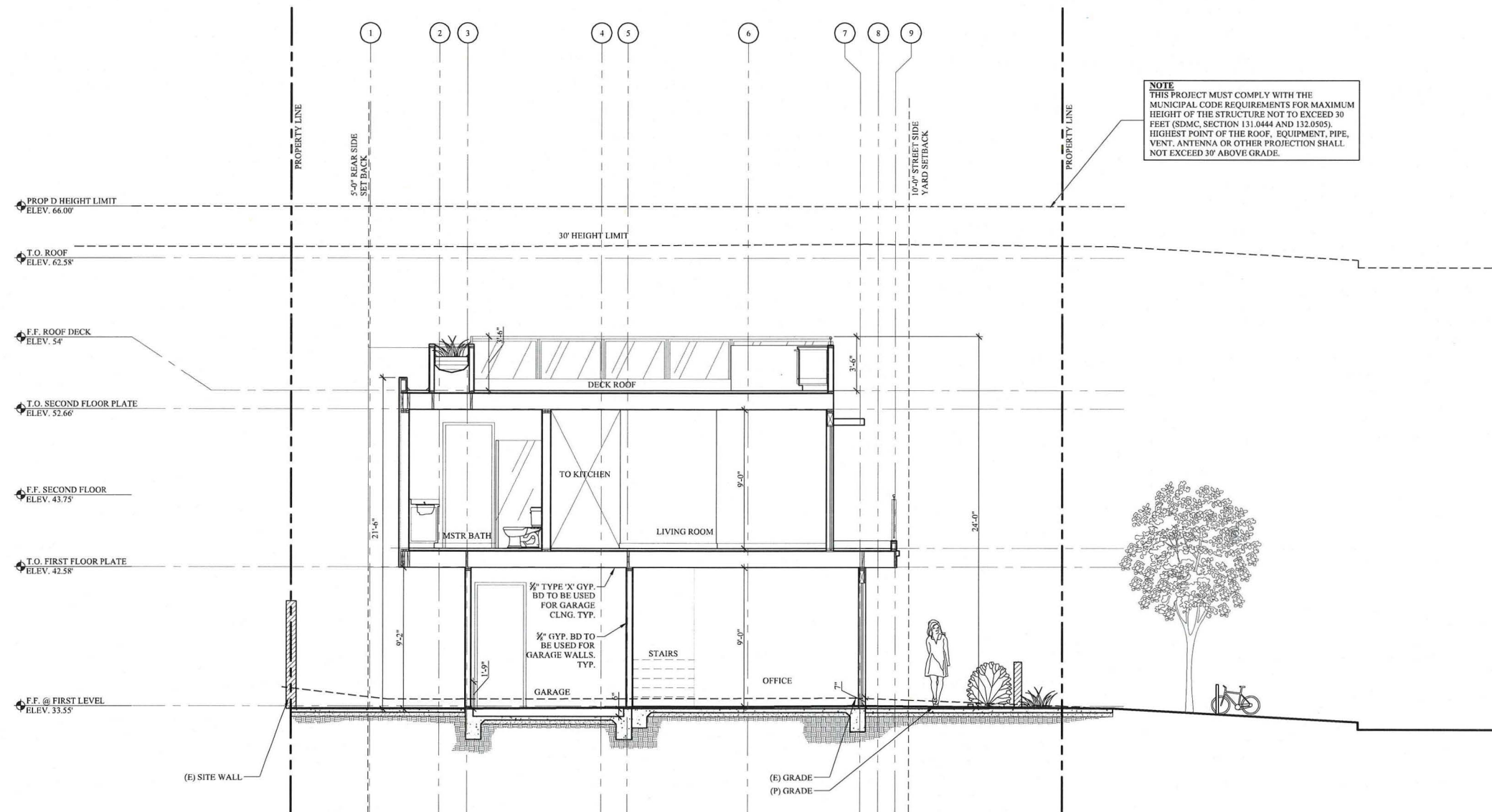
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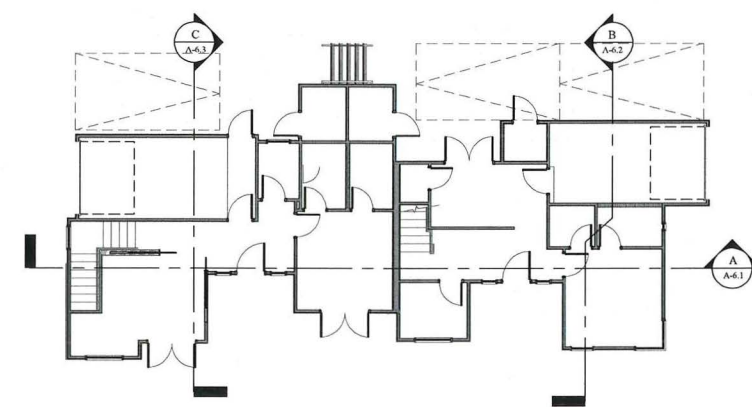
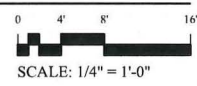
SHEET TITLE PROPOSED SECTIONS

**A-6.3**

SHEET 14 OF



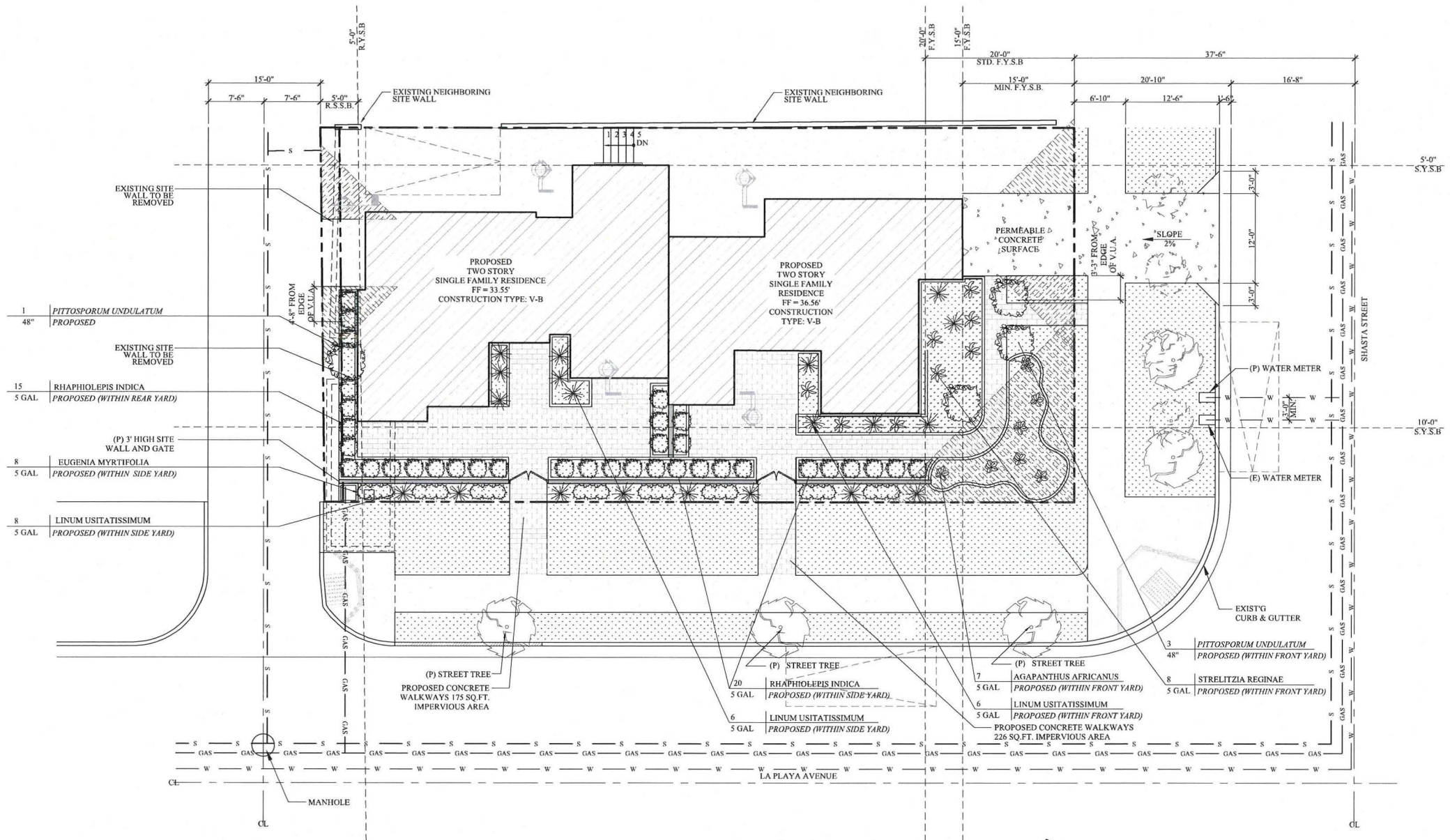
**(C) SECTION**



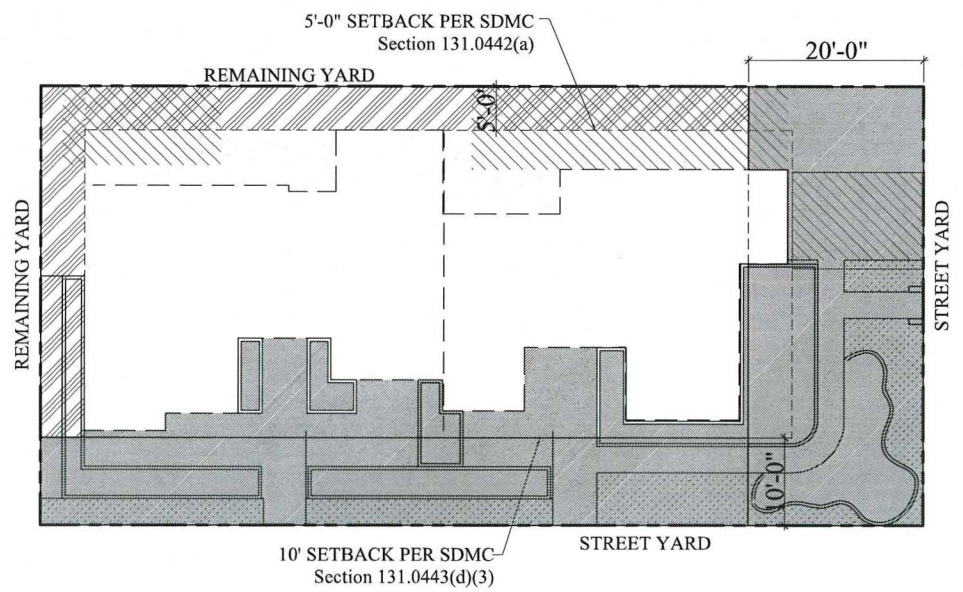
**KEY MAP: NTS**

ATTACHMENT 12





1 PROPOSED LANDSCAPE PLAN - GROUND FLOOR



YARD DIAGRAM - NTS

WATER CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) =	
$(ET_0)(0.62) [(0.55)(LA) + (0.45)(SLA)]$ $(41)(0.62) [(0.55)(1,808 \text{ Sq. Ft.}) + (0.45)(0)] = 25,277.65 \text{ Gal./Yr.}$	
ESTIMATED TOTAL WATER USE (ETWU) =	
$[(ET_0)(0.62)] [(PF \times HA/IE) + SLA]$ $[(41)(0.62)] [(4 \times 1,808/8) + 0] = 22,979.68 \text{ Gal./Yr.}$	

LANDSCAPE CALCULATIONS

STREET YARD		
Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area: 1,808 sq. ft. x 50% = 904 sq. ft.	964 sq. ft.	60 sq. ft.
Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area: 1,808 sq. ft. x 0.05 = 91 points	406 points	315 points
Points achieved with trees: 300 points		
REMAINING YARD		
Plant Points required [142.0405(b)(2)]	Plant Points Provided	Excess Points Provided
60 points in remaining yard	108 points	48 points
VEHICULAR USE AREA		
Planting Area Required [142.04D]	Planting Area Provided	Excess Points Provided
Total Area: 40 sq. ft. per tree	162 sq. ft.	
(Landscape areas within 5' of Vehicular Use Area may be counted toward the VUA requirement in addition to or in lieu of those described for Vehicular Use Areas less than 6,000 s.f.)		
Planting Points Required [142.04D]	Plant Points Provided	Excess Points Provided
Total Area: 165 sq. ft. x 0.05 = 9 points	100 points	91 points

LANDSCAPE LEGEND

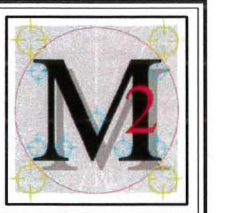
- EXISTING LANDSCAPE**
- Qty: 4 (E) SILVER DOLLAR GUM TREE - *Eucalyptus Polyanthemus*  
PROPOSE TO REMOVE
- PROPOSED LANDSCAPE**
- Qty: 4 VICTORIAN BOX - *Pittosporum Undulatum*  
Points 100 | 20'-0" High, 20'-0" Wide, Type- Canopy 48" box
  - Qty: 20 FLAX - *Linum Usitatissimum*  
Points 2 | 18" High, 12" Wide - Type- Small Scale - 5 Gallon
  - Qty: 7 LILY OF THE NILE - *Agapanthus Africanus*  
Points 2 | 18" High, 24" Wide - Type- Small Scale - 5 Gallon
  - Qty: 8 BIRD OF PARADISE - *Strelitzia Reginae*  
Points 2 | 6'-0" High, 5'-0" Wide - Type- Screen- 5 Gallon
  - Qty: 35 INDIAN HAWTHORN - *Rhapidolesis Indica*  
Points 2 | 3'-0" High, 24" Wide - Type- Canopy 5 Gall
  - Qty: 8 BRUSH CHERRY - *Eugenia Myrtifolia*  
Points 2 | 8'-0" High, 5'-0" Wide - Type- Broadleaf- 5 Gallon
  - Qty: 5 MAGNOLIA - *Magnolia Grandiflora*  
Points 100 | 25'-0" High, 20'-0" Drip Line Type- Canopy - 48" Box
- PERVIOUS CONCRETE DRIVEWAY  
IMPERVIOUS HARDSCAPE WALKWAYS  
IMPERVIOUS HARDSCAPE STONE OR TILE WALKWAYS PER CLIENT  
ST. AUGUSTINE - *Stenotaphrum Secundatum*  
Height 3", Type - Turf From Sod  
CALIFORNIA MEADOW SEDGE - *Carex Pensa*  
Height 6", Plant in 18" deep of growth medium  
REMAINING YARD  
STREET YARD  
VEHICLE USE AREA

LANDSCAPE NOTES

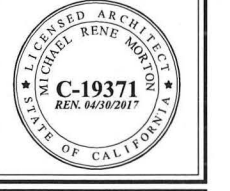
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF SAN DIEGO PLANNED DISTRICT ORDINANCE, THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- LONG TERM MAINTENANCE: ALL REQUIRED LANDSCAPE AND IRRIGATION SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. ALL LANDSCAPE AND IRRIGATION IN THE PUBLIC RIGHT OF WAY SHALL ALSO BE MAINTAINED BY THE OWNER.
- TREE ROOT BARRIERS: A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION OF THIS AREA SHALL BE 5 FEET, PER LDC 142.0403 (b)(5).
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3", EXCLUDING AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- MINIMUM TREE SEPARATION DISTANCE:  
TRAFFIC SIGNALS (STOP SIGN) 20 FEET  
UNDERGROUND UTILITY LINES 5 FEET  
ABOVE GROUND UTILITY STRUCTURES 10 FEET  
DRIVEWAY (ENTRIES) 10 FEET  
STREET INTERSECTIONS 25 FEET  
SEWER LINES 10 FEET
- ALL REQUIRED LANDSCAPED AREAS SHALL BE PERMANENTLY IRRIGATED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
- IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY-DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- FOUR (4) EXISTING TREES TO BE REMOVED
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- NO TREES OR SHRUBS WHOSE HEIGHT WILL REACH 3'-0" AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

LANDSCAPE DESIGN STATEMENT

- The landscape design intent of this plan is to create a multiple planular landscape trays that reinforce and complement the project architecture. The Architecture creates transition zones that will be softened with landscape screening elements.
- The landscape species chosen represent a Semi-Tropical plant palette of deep green and broad leaf plants. Birds of paradise soften the wall and screening plants line the site walls dividing the two units.
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- The irrigation system will be a drip system for plants and spray for turf areas. Irrigation will feed off an irrigation sub-meter. The owners will be responsible for landscape maintenance.



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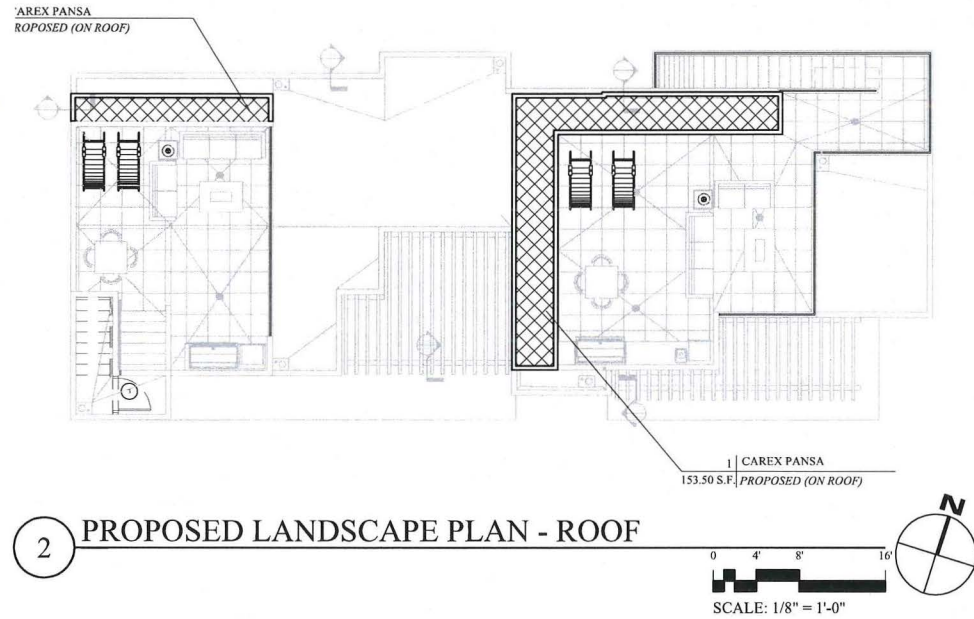
SHASTA RESIDENCE  
3804 SHASTA STREET  
SAN DIEGO, CA, 92109

REVISIONS	2015-09-29 COMPLETENESS SUB.
	2016-01-05 RESUBMITTAL
	2016-04-12 RESUBMITTAL
	2016-06-08 RESUBMITTAL
PHASE	COASTAL
PROJECT NO.	2015-21
REVIEWED BY	CAM
DRAWN BY	JK
DATE	07-05-2016

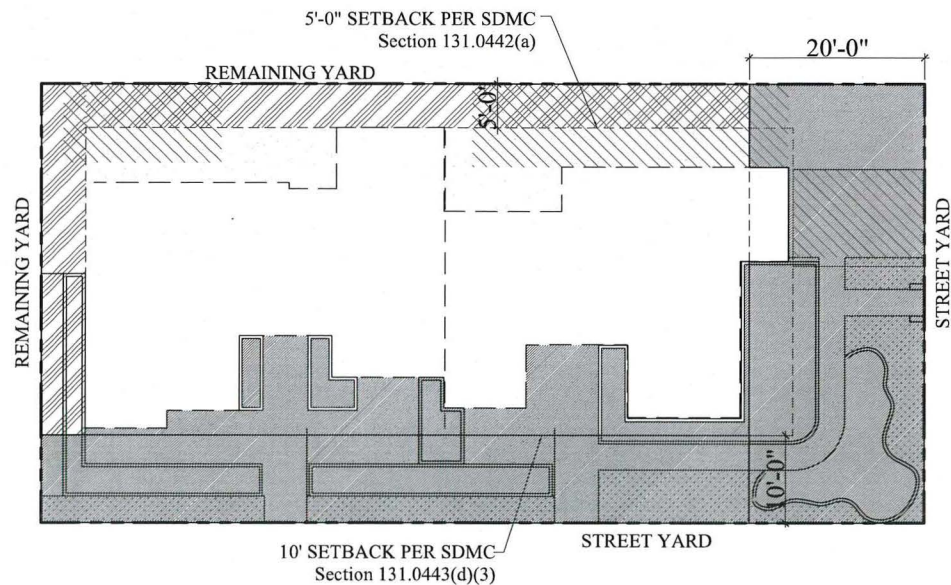
LANDSCAPE PLAN  
**L-1.1**  
SHEET OF

C:\Temp\Temp\Library\Projects\2015\12\3804 Shasta Duplex\CA\ADD Drawing\Architectural\CD Phase\Sheets\L-1\_Shasa.dwg, Jul 05 2016, 8:53am





2 PROPOSED LANDSCAPE PLAN - ROOF



YARD DIAGRAM - NTS

LANDSCAPE LEGEND

EXISTING LANDSCAPE

Qty. 4 (E) SILVER DOLLAR GUM TREE - *Eucalyptus Polyanthemus*  
PROPOSE TO REMOVE

PROPOSED LANDSCAPE

Qty. 4 VICTORIAN BOX - *Pittosporum Undulatum*  
Points 100 | 20'-0" High, 20'-0" Wide, Type- Canopy 48" box

Qty. 20 FLAX - *Linum Usitatissimum*  
Points 2 | 18" High, 12" Wide - Type- Accent - 5 Gallon

Qty. 7 LILY OF THE NILE - *Agapanthus Africanus*  
Points 2 | 18" High, 24" Wide - Type- Small Scale - 5 Gallon

Qty. 8 BIRD OF PARADISE - *Strelitzia Reginae*  
Points 2 | 6'-0" High, 5'-0" Wide - Type- Screen - 5 Gallon

Qty. 25 INDIAN HAWTHORN - *Rhaphiolepis Indica*  
Points 2 | 3'-0" High, 24" Wide - Type- Canopy 5 Gal

Qty. 8 BRUSH CHERRY - *Eugenia Myrsinifolia*  
Points 2 | 8'-0" High, 5'-0" Wide Type- Broadleaf - 5 Gallon

Qty. 5 MAGNOLIA - *Magnolia Grandiflora*  
Points 100 | 25'-0" High, 20'-0" Drip Line Type- Canopy - 48" Box

- PERVIOUS CONCRETE  
DRIVEWAY
- IMPERVIOUS HARDSCAPE  
WALKWAYS
- IMPERVIOUS HARDSCAPE  
STONE OR TILE WALKWAYS PER CLIENT
- ST. AUGUSTINE - *Stenotaphrum Secundatum*  
Height 3", Type - Turf From Sod
- CALIFORNIA MEADOW SEDGE - *Carex Pansa*  
Height 6", Plant in 18" deep of growth medium
- REMAINING YARD
- STREET YARD
- VEHICLE USE AREA

LANDSCAPE NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF SAN DIEGO PLANNED DISTRICT ORDINANCE, THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
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- FOUR (4) EXISTING TREES TO BE REMOVED
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WATER CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) =  
 $(ET_o)(0.62) [(0.55)(LA) + (0.45)(SLA)]$   
 $(41)(0.62) [(0.55)(1,808 \text{ Sq. Ft.}) + (0.45)(0)] = 25,277.65 \text{ Gal./Yr.}$

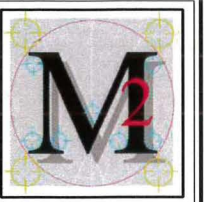
ESTIMATED TOTAL WATER USE (ETWU) =  
 $[(ET_o)(0.62)](PF \times HA/IE) + SLA$   
 $[(41)(0.62)](4 \times 1,808/8) + 0 = 22,979.68 \text{ Gal./Yr.}$

LANDSCAPE CALCULATIONS

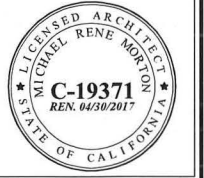
STREET YARD		
Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided
Total Area: 1,808 sq. ft. x 50% = 904 sq. ft.	964 sq. ft.	60 sq. ft.
Planting Points Required [142.0404]	Plant Points Provided	Excess Points Provided
Total Area: 1,808 sq. ft. x 0.05 = 91 points	406 points	315 points
Points achieved with trees: 300 points		
REMAINING YARD		
Plant Points required [142.0405(b)(2)]	Plant Points Provided	Excess Points Provided
60 points in remaining yard	108 points	48 points
VEHICULAR USE AREA		
Planting Area Required [142.041D]	Planting Area Provided	Excess Area Provided
Total Area: 40 sq. ft. per tree (Landscape areas within 5' of Vehicular Area may be counted toward the VUA requirement in addition to or in lieu of those described for Vehicular Use Areas less than 6,000 s.f.)	162 sq. ft.	
Planting Points Required [142.041D]	Plant Points Provided	Excess Points Provided
Total Area: 165 sq. ft. x 0.05 = 9 points	100 points	91 points

LANDSCAPE DESIGN STATEMENT

- The landscape design intent of this plan is to create a multiple planular landscape trays that reinforce and complement the project architecture. The Architecture creates transition zones that will be softened with landscape screening elements.
- The landscape species chosen represent a Semi-Tropical plant palette of deep green and broad leaf plants. Birds of paradise soften the wall and screening plants line the site walls dividing the two units. Plant selection will be Semi-tropical and drought resistant planting; if native species are available, they may be substituted.
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SHASTA RESIDENCE  
 3804 SHASTA STREET  
 SAN DIEGO, CA, 92109

REVISIONS  
 2015-09-29 COMPLETENESS SUB.  
 2016-01-05 RESUBMITTAL  
 2016-04-12 RESUBMITTAL  
 2016-06-08 RESUBMITTAL

PHASE  
 COASTAL

PROJECT NO. 2015-21

REVIEWED BY CAM  
 DRAWN BY JK

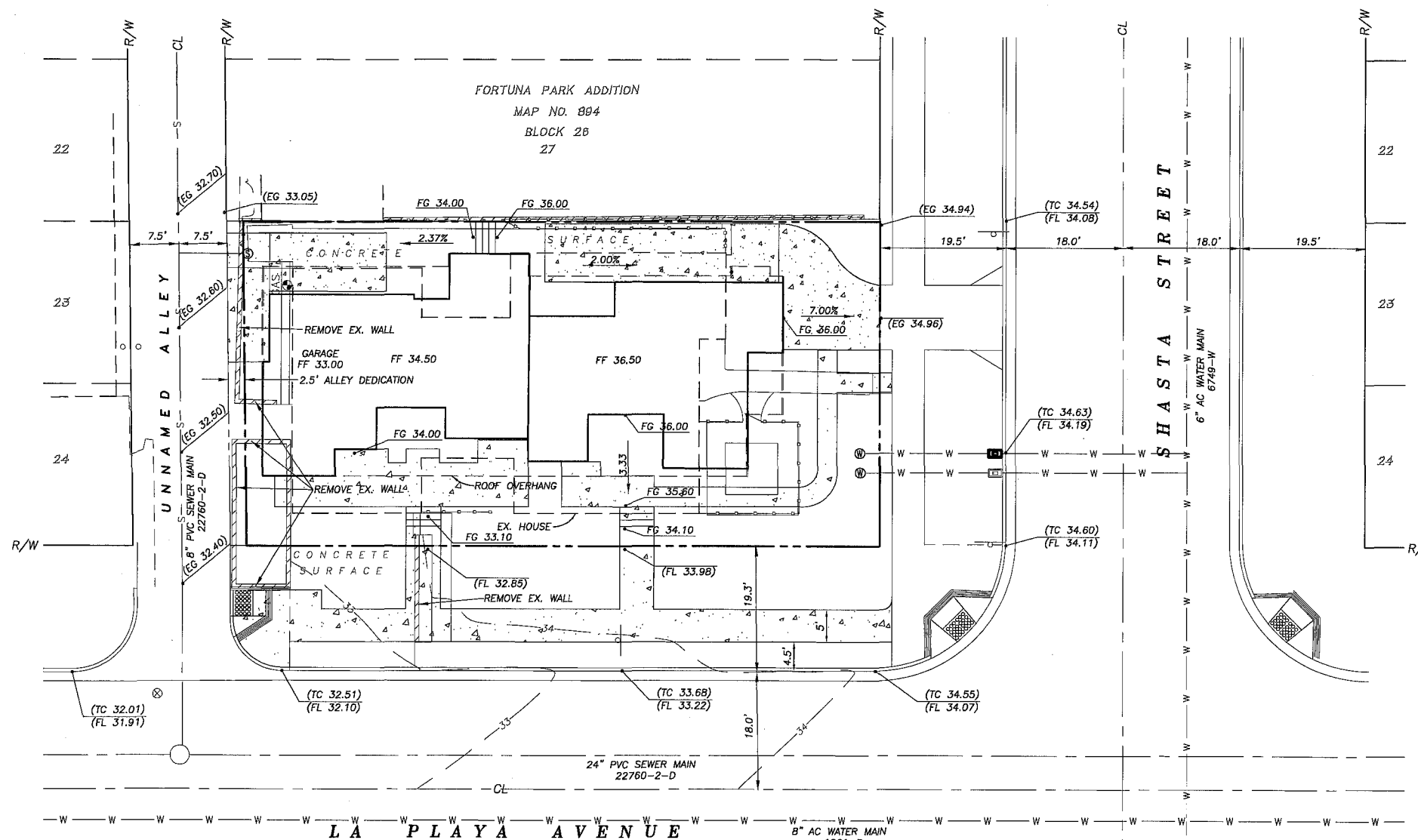
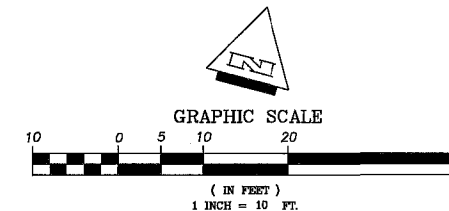
DATE 07-05-2016

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SHEET TITLE  
 LANDSCAPE PLAN  
**L-1.2**  
 SHEET OF

# 3804 SHASTA STREET

## Conceptual Grading Plan



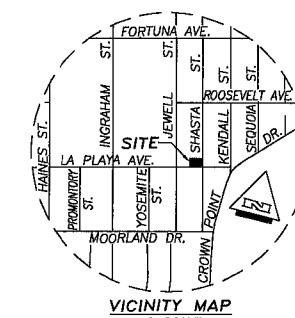
- LEGEND:**
- ⊗ INDICATES WATER METER
  - ⊙ INDICATES WATER GATE VALVE
  - INDICATES SIGN
  - ♣ INDICATES PEDESTRIAN RAMP
  - SC0 INDICATES SEWER CLEAN OUT
  - TC INDICATES TOP OF CURB
  - FL INDICATES FLOW LINE
  - INDICATES STREET LIGHT
  - INDICATES WOOD FENCE
  - ▬▬▬ INDICATES WALL
  - ⊖ INDICATES SEWER LATERAL
  - ⊕-W INDICATES WATER SERVICE
  - W—W— INDICATES WATER LINE
  - S—S— INDICATES SEWER LINE
  - INDICATES PROPERTY LINE/TENTATIVE MAP BOUNDARY

**PROFESSIONAL LAND SURVEYOR:**  
 SAN DIEGO LAND SURVEYING & ENGINEERING, INC.  
 9665 CHESAPEAKE DRIVE, SUITE 445  
 SAN DIEGO, CALIFORNIA 92123 (858) 565-8362  
 APN 424-531-02 SHASTA STREET 3804 BASE.DWG  
 MICHAEL L. SMITH, RCE 35471  
 07-01-2016  
 DATE



Prepared By:  
 SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.  
 9665 CHESAPEAKE DRIVE, SUITE 445  
 SAN DIEGO, CA 92123-1354  
 PHONE: 858-565-8362  
 FAX: 858-565-4354 EMAIL: rbateman@sdlse.com

Consultants:



Basis of Bearings:  
 THE 17' OFFSET LINE TO THE EASTERLY  
 RIGHT-OF-WAY OF SHASTA STREET SOUTH OF  
 ROOSEVELT AVENUE, AS SHOWN ON CORNER  
 RECORD 6964. I.E. N 14°49'45" W

Benchmark:  
 CITY OF SAN DIEGO BENCH MARK:  
 NORTHEAST BRASS PLUG AT THE INTERSECTION OF  
 CROWN POINT DRIVE AND SHASTA STREET.  
 ELEVATION = 31.115 M.S.L.

Project Legal Description:  
 LOTS 25 AND 26 IN BLOCK 28 OF FORTUNA PARK  
 ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF  
 SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO  
 MAP THEREOF NO. 894, FILED IN THE OFFICE OF THE  
 COUNTY RECORDER OF SAN DIEGO COUNTY,  
 JANUARY 22, 1903.

Project Name:  
 3804 SHASTA STREET

Project Address:  
 3804 Shasta Avenue  
 San Diego, CA 92109

Project Owner:  
 Clara M. Walker Family Trust  
 1819 Homblend St.  
 San Diego, CA 92109

Project Soil Condition: Existing developed site.

Source of Topography:  
 Field survey by San Diego Land Surveying on 05-07-2015

Project Permits Required:  
 Tentative Map  
 Coastal Development Permit

Project Data:  
 Number of Stories: 2  
 Proposed use: Residential  
 Existing use: Residential  
 Zone Designation: RM-1-1  
 Year of Construction (exist. structure): 1956

LAMBERT COORDINATES:  
 NAD 27 = 226-1897 NAD 83 = 1,868-6,258

A.P.N. 424-531-02

Sheet Title:  
 Conceptual Grading Plan  
 PTS No. 447822

Scale: 1" = 10'  
 Original Date: January 28, 2016  
 Revised: April 11, 2016  
 Revised: May 13, 2016

Project Soil Condition: Existing developed site.

Source of Topography:  
 Field survey by San Diego Land Surveying on 05-07-2015

Project Permits Required:  
 Tentative Map  
 Coastal Development Permit

Project Data:  
 Number of Stories: 2  
 Proposed use: Residential  
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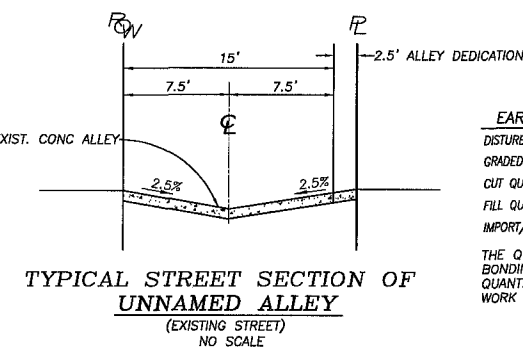
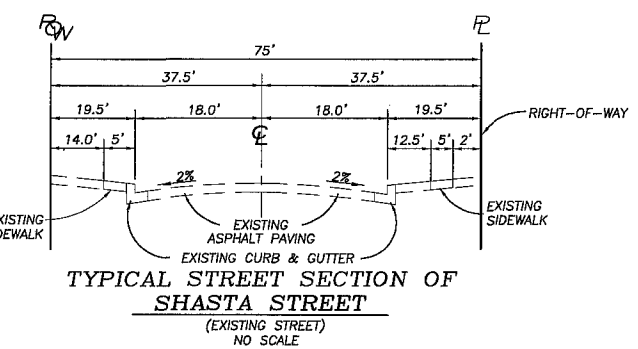
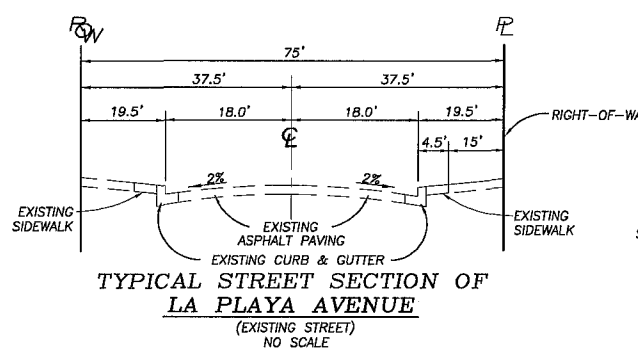
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 San Diego, CA 92109

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Sheet Title:  
 Conceptual Grading Plan  
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Scale: 1" = 10'  
 Original Date: January 28, 2016  
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 Revised: May 13, 2016



**EARTHWORK QUANTITIES:**

DISTURBED AREA	0.1096 [ACRES]	
GRADED AREA	0.1096 [ACRES]	
CUT QUANTITIES	44 [CYD]	LESS THAN MAX. CUT DEPTH 1'
FILL QUANTITIES	44 [CYD]	LESS THAN MAX. FILL DEPTH 1'
IMPORT/EXPORT	0 [CYD]	EXPORT NONE

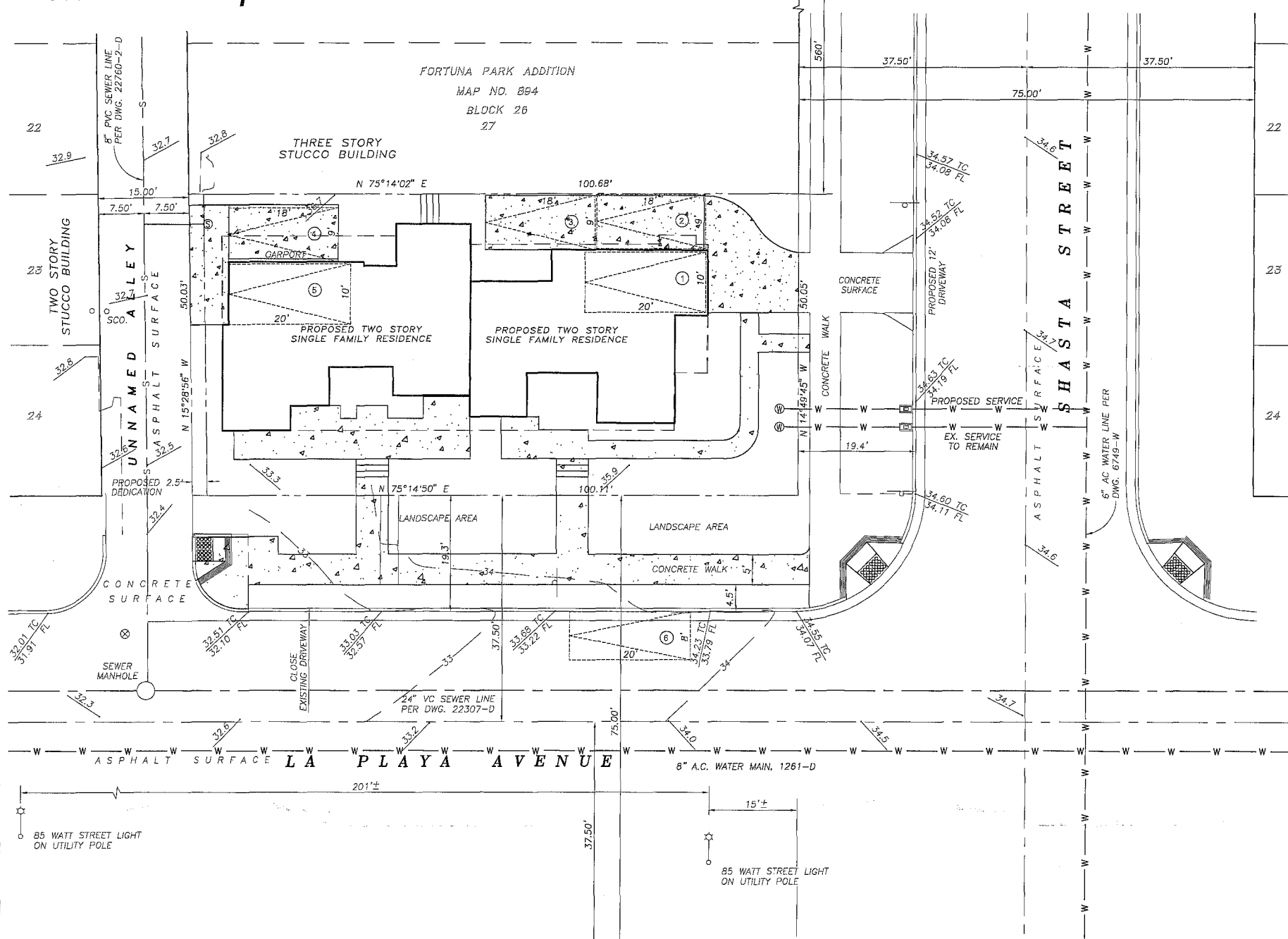
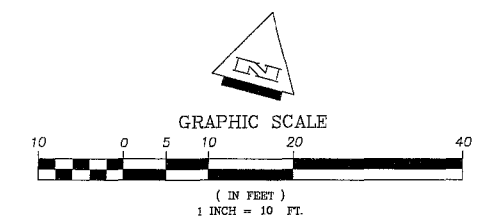
THE QUANTITIES ABOVE ARE THE ENGINEER'S ESTIMATE AND FOR BONDING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER OF WORK BEFORE STARTING WORK.

ATTACHMENT 12

# 3804 SHASTA STREET

## Tentative Map No. 1680944

ROOSEVELT AVENUE



### UTILITY TABLE:

UTILITY	OVERHEAD	UNDERGROUND
CATV	X	
ELECTRIC	X	
GAS		X
TELEPHONE	X	

### LEGEND:

- ⊠ INDICATES WATER METER
- ⊙ INDICATES WATER GATE VALVE
- ⊕ INDICATES SIGN
- ⌒ INDICATES PEDESTRIAN RAMP
- ⊕ INDICATES SEWER CLEAN OUT
- TC INDICATES TOP OF CURB
- FL INDICATES FLOW LINE
- ⊕ INDICATES STREET LIGHT
- ⊕ INDICATES SEWER LATERAL
- ⊕ INDICATES WATER SERVICE
- ⊕ INDICATES WATER LINE
- ⊕ INDICATES SEWER LINE
- ⊕ INDICATES PARKING SPACE (9.0'x18.0') AND NUMBER
- ⊕ INDICATES PROPERTY LINE/TENTATIVE MAP BOUNDARY

### ZONING INFORMATION

EXISTING AND PROPOSED ZONE: RM-1-1  
 COMMUNITY PLAN NAME: PACIFIC BEACH  
 OVERLAY ZONES: AIRPORT ENVIRONS, AIRPORT APPROACH  
 COASTAL HEIGHT LIMIT, COASTAL (CITY)

### CITY OF SAN DIEGO

#### DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:  
TENTATIVE MAP TO CREATE 2 RESIDENTIAL CONDOMINIUM DWELLING UNITS AND FILE A LOT CONSOLIDATION PARCEL MAP
- STREET ADDRESS: 3804 SHASTA STREET  
 N  S  E  W SIDE  
 BETWEEN LA PLAYA AVENUE AND ROOSEVELT AVENUE
- SITE AREA:  
 TOTAL SITE AREA (GROSS): (5,024 SF) 0.12 ACRE  
 NET SITE AREA: (5,024 SF) 0.12 ACRE
- DENSITY: (RESIDENTIAL)  
 MAXIMUM NO. DWELLING UNITS ALLOWED PER ZONE: 2  
 NUMBER OF EXISTING UNITS TO REMAIN ON SITE: 0  
 NUMBER OF PROPOSED DWELLING UNITS ON SITE: 2  
 TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 2
- YARD/SETBACK STANDARD MINIMUM  
 STREET YARD: 20' 15'  
 STREET SIDE YARD: 10' 10'  
 INTERIOR YARD(S): 8' 5'  
 REAR YARD: 5' 5'
- PARKING:  
 PARKING CRITERIA:  
 RESIDENTIAL  COMMERCIAL  INDUSTRIAL  
 MIXED USE  OTHER

TYPE OF UNIT	NUMBER OF TYPE	PARKING REQUIRED PER UNIT	TOTAL PER TYPE
2 BR UNIT	1	2.25	2
TOTAL REQUIRED BY ZONE			4.50
TOTAL PROVIDED ON-SITE			5

### MONUMENTATION & MAPPING

ALL PROPERTY CORNERS WILL BE SET AND A PARCEL MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON SAID MAP.

### EXISTING IMPROVEMENTS

WATER DRAWING NO. 6749-W  
 SEWER DRAWING NO. 22760-2-D

### EXISTING & PROPOSED EASEMENTS:

THERE ARE NO EXISTING EASEMENTS ON SITE  
 THERE ARE NO PROPOSED EASEMENTS.

### DEVELOPMENT NOTES:

- THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS IS 2.
- NUMBER OF EXISTING LOTS = 2  
 NUMBER OF PROPOSED LOTS = 1
- THERE IS NO BUS STOP ADJACENT TO THE SITE.

### OWNER/DEVELOPER:

CLARA M. WALKER FAMILY TRUST  
 1819 HORNBLAND STREET  
 SAN DIEGO, CA 92109

CLARA M. WALKER, OWNER

### PROFESSIONAL LAND SURVEYOR:

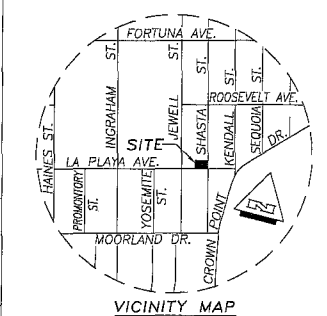
SAN DIEGO LAND SURVEYING & ENGINEERING, INC.  
 9665 CHESAPEAKE DRIVE, SUITE 445  
 SAN DIEGO, CALIFORNIA 92123 (658) 565-8362

Robert J. Bateman 07-01-2016  
 ROBERT J. BATEMAN, P.L.S. 7046 DATE



Prepared By:  
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 SAN DIEGO, CA 92123-1354  
 PHONE: 858-565-8362  
 FAX: 858-665-4354 EMAIL: rbateman@sdise.com

### Consultants:



Basis of Bearings:  
 THE 17' OFFSET LINE TO THE EASTERLY RIGHT-OF-WAY OF SHASTA STREET SOUTH OF ROOSEVELT AVENUE, AS SHOWN ON CORNER RECORD 6864. I.E. N14°49'46" W

Benchmark:  
 CITY OF SAN DIEGO BENCH MARK:  
 NORTHEAST BRASS PLUG AT THE INTERSECTION OF CROWN POINT DRIVE AND SHASTA STREET.  
 ELEVATION = 31.115 M.S.L.

Project Soil Condition: Existing developed site.

Project Legal Description:  
 LOTS 25 AND 26 IN BLOCK 26 OF FORTUNA PARK ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 894, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 22, 1903.

Source of Topography: Field survey by San Diego Land Surveying on 05-07-2015

Project Permits Required:  
 Tentative Map  
 Coastal Development Permit

Project Data:  
 Number of Stories: 2  
 Proposed use: Residential  
 Existing use: Residential  
 Zone Designation: RM-1-1  
 Year of Construction (exist. structure): 1958

LAMBERT COORDINATES:  
 NAD 27 = 226-1697 NAD 83 = 1,868-6,257  
 A.P.N. 424-531-02

Project Name:  
 3804 SHASTA STREET

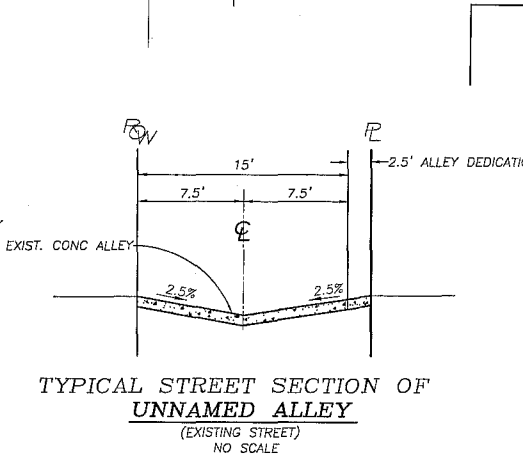
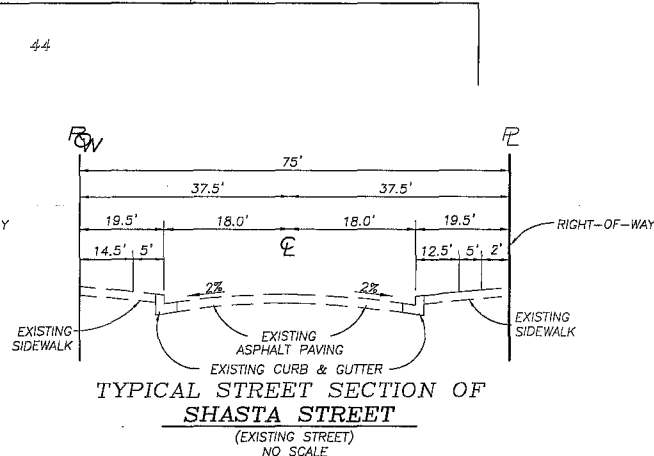
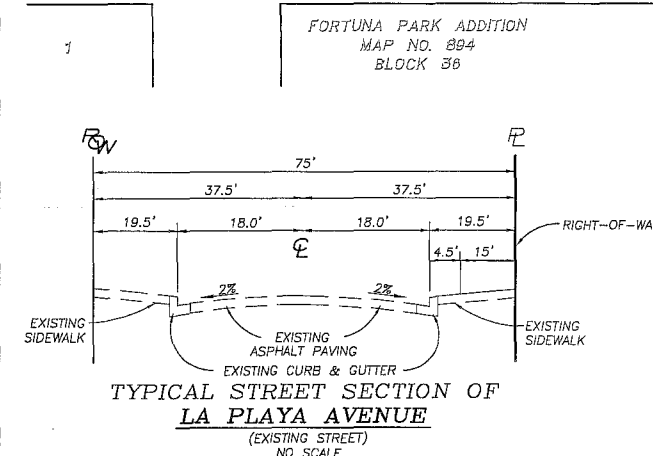
Project Address:  
 3804 Shasta Avenue  
 San Diego, CA 92109

Project Owner:  
 Clara M. Walker Family Trust  
 1819 Hornbland St.  
 San Diego, CA 92109

Sheet Title:  
 Tentative Map No. 1680944  
 PTS No. 447822

Scale: 1" = 10'  
 Original Date: September 8, 2015 Revised: May 13, 2016  
 Revised: February 2, 2016  
 Revised: March 29, 2016

Sheet 1 of 1



ATTACHMENT 13