



THE CITY OF SAN DIEGO

Report to the Hearing Officer

HEARING DATE: September 21, 2016 REPORT NO. HO 16-060

SUBJECT: 6th and Hawthorn Townhomes - Process Three

PROJECT NUMBER: [443861](#)

OWNER/APPLICANT: City Mark Communities/Jeff Barfield

SUMMARY:

Issue: Should the Hearing Officer approve the construction of 21 condominium residential units at 525 Hawthorn Street in the Uptown Community Planning area?

Staff Recommendations:

1. Approve Site Development Permit No. 1552110; and
2. Approve Tentative Map Waiver No. 1770758

Community Planning Group Recommendation: On February 2, 2016, the Uptown Community Planning Group voted 13/2/1 to approve the project without additional recommendations (Attachment 7).

Environmental Review: The proposed activity is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 5, 2016 and the opportunity to appeal that determination ended July 19, 2016.

BACKGROUND

The 0.58-acre project site is located at 525 Hawthorn Street and is split zoned within the Mid-City Communities Planned District (MCCPD). The westerly portion of the site is MCCPD-CV-4 (0.34 acre), and the easterly portion is zoned MCCPD-MR-800B (0.24 acre). The project site is also within the Airport Approach, Airport Influence Area, Federal Aviation Authority Part 77, Tandem Parking and Transit Area Overlay Zones.

The project site is comprised of one lot and has three street frontages: Hawthorn Street on the north, 5th Avenue on the west, and 6th Avenue on the east. Surrounding development includes commercial and multi-family residential to the north, an existing parking lot to the south, Balboa Park to the east, and commercial development to the west. The site is relatively flat with elevations ranging from 195 feet to 200 feet south to north.

The site currently is developed with a K-12 private school (Balboa City School), which is proposed for demolition. The school has been reviewed and determined to not meet local designation criteria as a significant resource under adopted Historic Resource Board criteria.

The project site is located within the Airport Approach and Federal Aviation Authority (FAA) Part 77 Overlay Zones for the San Diego International Airport (Lindbergh Field). The project received a determination of no hazard from the FAA on August 11, 2015 and expires on February 11, 2017. In addition, the project has been conditioned to comply with the FAA and Airport approach regulations.

DISCUSSION

Project Description

The project proposes 21, two-bedroom, residential townhomes in four buildings (A-D) with private, tuck-under garages and exterior decks (three floors of residential over garage). The existing private school on the project site will be demolished. Building A would front 5th Avenue and contains nine units. Building B would front Hawthorn Street and contains two units. Building C would front 6th Avenue and contains seven units and Building D is internal to the site and would contain three units. The first floor contains the garages; the second through fourth contain the living areas (Attachment 9).

The proposed buildings incorporate façade off-sets, upper floor setbacks, and textured stucco exterior finishes. In addition to private exterior terraces, each unit has a flat rooftop available for usable, outdoor space. The townhomes are oriented with the long axis of each building in an east-west direction to take advantage of prevailing westerly breezes, and will be constructed to current Title 24 code requirements regarding energy efficiency and California Green Building Standards.

The maximum height in the CV-4 zone is 40 feet, but 50 feet is allowed for portions of a building above enclosed parking. The maximum height in the MR-800B zone is 50 feet, but 60 feet is allowed for portions of a building above enclosed parking. The proposed height of all the buildings will range from 34 to 45 feet.

The combined number of units allowed between the two zones is 23 dwelling units. The CV-4 zone does not have a maximum floor area ratio (FAR) and the proposed buildings within that zone (A, B and D) have an FAR of 1.47. The MR-800B zone allows a maximum FAR of 1.25 and Building C has a FAR of 0.78. The proposed development meets the FAR, height, setbacks, density, landscaping and all other applicable development regulations of the underlying zones and no deviations are proposed.

Access to the proposed development will be provided via a private driveway off of 6th Avenue. Public improvements include the new driveway on 6th Avenue, new sidewalks, new landscaping

along the public streets, and an upgrade to the accessible pedestrian ramp at the southwest corner of 6th Avenue and Hawthorn Street. All required parking will be accommodated onsite. The minimum parking requirement for the proposed project is 37 parking spaces within the transit and tandem area overlay zones and two motorcycle spaces. The project proposes to provide 45 on-site parking spaces all within garages, along with two motorcycle spaces.

Of the 21 proposed townhomes, 14 are within the CV-4 zone, and seven are within the MR-800B zone. The overall numbers of units are consistent with the density regulations under both zones. However, the San Diego Municipal Code (SDMC) Section [1512.0203](#) establishes unit thresholds that determine whether a Mid-City Communities Development Permit is required. The 14 units proposed in the CV-4 zone exceed the eleven unit threshold established in Table 1512.02A for lots greater than 100 feet in depth. Therefore, the project is required to obtain a Process Three, Mid-City Communities Development Permit, processed in the same manner as a Site Development Permit.

The project also requires a Process 3, Tentative Map Waiver in accordance with SDMC Section [125.0120\(b\)\(1\)](#) to create 21 residential condominium units on a single parcel that was previously mapped and monumented. According to SDMC Section 125.0440, Findings for a Tentative Map Waiver (Attachment 5), the decision maker may approve a Tentative Map Waiver if the decision maker finds that the proposed subdivision complies with the requirements of the Subdivision Map Act and the SDMC.

Uptown Community Plan

The project site contains two General Plan designations and two Uptown Community Plan designations. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan and Commercial/Residential Medium (15-29 dwelling units per acres (du/ac)) in the Uptown Community Plan. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan and Residential High (44-73 du/ac) in the Uptown Community Plan. The total density range when combined for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is consistent with the density in the community plan.

The Residential Element states that the Commercial/Residential designation allows either residential or commercial use. The Commercial Element states either general commercial, office or residential ranging from Very High to Medium is permitted and that developments with a mixture of uses are also encouraged. The Commercial Element also states that in contrast to areas designated for mixed-use, single-use residential projects are permitted in areas designated for Commercial/Residential use.

The proposed development is consistent with objectives of the Uptown Community Plan to locate medium and high density residential development adjacent to commercial areas, near transit and higher volume traffic corridors. The project is located along the higher traffic corridors of 5th and 6th Avenues. Public transit is readily available at the corners of 5th Avenue and Hawthorn Street and at 4th Avenue and Hawthorn Street.

The project implements applicable Urban Design Guidelines outlined in the Uptown Community Plan addressing Site Planning and Architecture, Streetscape Design and Landscaping, Vehicular Circulation and Pedestrian Circulation. The guidelines include:

- New construction and improvements to existing structures should be compatible with the existing architectural detail and overall appearance of the quality development in the surrounding neighborhood;
- Multifamily development incorporate wall texture variations, façade off-sets, upper floor setbacks and the utilization of varied roof forms; Patios, balconies, courtyards, pools or other recreationally amenities should be required for all residential projects to maximize usable open space;
- Articulate the design of buildings so they relate to the form and scale of surrounding structures through the use of compatible setbacks, building coverage and floor area ratios; Large flat rooftops should be considered as usable outdoor space that can be designed to accommodate commercial or recreational activities;
- Structures should be designed to utilize shade and breezes. Solar heating and cooling and improved insulation techniques should be employed;
- Street trees should be provided and existing trees preserved with all new development as appropriate; trees that must be removed should be replaced;
- The citywide landscape ordinance should be utilized to increase the amount of landscaping in, and enhance the appearance of the streetscape, private yard areas, and off-street parking lots. Low maintenance, drought tolerant plant material should be utilized;
- Where alley access is unavailable, street curb cuts should be minimized in number and width;
- Off-street parking should be placed underground and/or amply screened from the public right-of-way and adjacent residences; and
- Adequate sidewalk and parkway areas should be provided.

The proposed three-story residential-over-garage townhomes are consistent with the density and building scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed development reinforces street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. Building coverage and FAR are consistent with the existing zone, and other developments within the neighborhood.

The proposed project would incorporate drought tolerant ground covers and shrubs as well as 36-inch box Jacaranda street trees along all street frontages to enhance and reinforce the tree-lined corridors of the neighborhood. Existing trees, where appropriate, will be preserved.

The project proposes one curb cut along 6th Avenue. This one driveway opening provides access to all the proposed townhome units. All the units have tuck-under garages that are visible only from the interior of the project. This design presents the residential façade to the public right-of-way, while confining views of garage doors from the interior of the project. The project will provide new sidewalks along the 5th Avenue and Hawthorn Street frontages, replacing the existing and, in many areas, broken walkways. Also, the project will upgrade the pedestrian accessible ramp at the corner of 6th Avenue and Hawthorn Street to current accessibility standards.

General Plan

The proposed development is consistent with existing General Plan designations by providing higher density, multi-family development within the central urbanized core of the City. The proposed buildings implement General Plan Policy UD-A.5 by contributing to a positive neighborhood character and relating to the neighborhood and community context, and UD-B.1 by recognizing the quality of a neighborhood is linked to the overall quality of the built environment. The proposed project is consistent with the density and buildings scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed buildings implement General Plan Policies UD-A.6 and UD-B.4 by addressing street frontages with architectural and landscape interest to provide visual appeal to the streetscape and enhance the pedestrian experience, by reinforcing the street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. The proposed development also addresses General Plan Policy UD-B.5 to design or retrofit streets to improve walkability, strengthen connectivity, and enhance community identity, by replacing worn and broken sidewalks, upgrading the pedestrian ramp at the corner of 6th Avenue and Hawthorn, and installing street trees.

As proposed, the project would be consistent with the Uptown Community Plan and overall policies for mixed-use development related to the Land Use and Urban Design, Mobility, and Density elements contained in the General Plan.

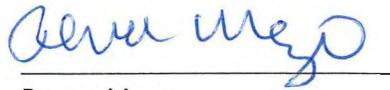
Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code and conforms to both the General Plan and the Uptown Community Plan. Staff has provided draft findings to support approval of the Project (Attachments 3 and 5) and draft conditions of approval (Attachment 4 and 5). Staff recommends the Hearing Officer approve the Project as proposed.

ALTERNATIVES

1. Approve Site Development Permit No. 1552110 and Tentative Map Waiver No. 1770758 with modifications.
2. Deny Site Development Permit No. 1552110 and Tentative Map Waiver No. 1770758, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Renee Mezo
Development Project Manager

Attachments:

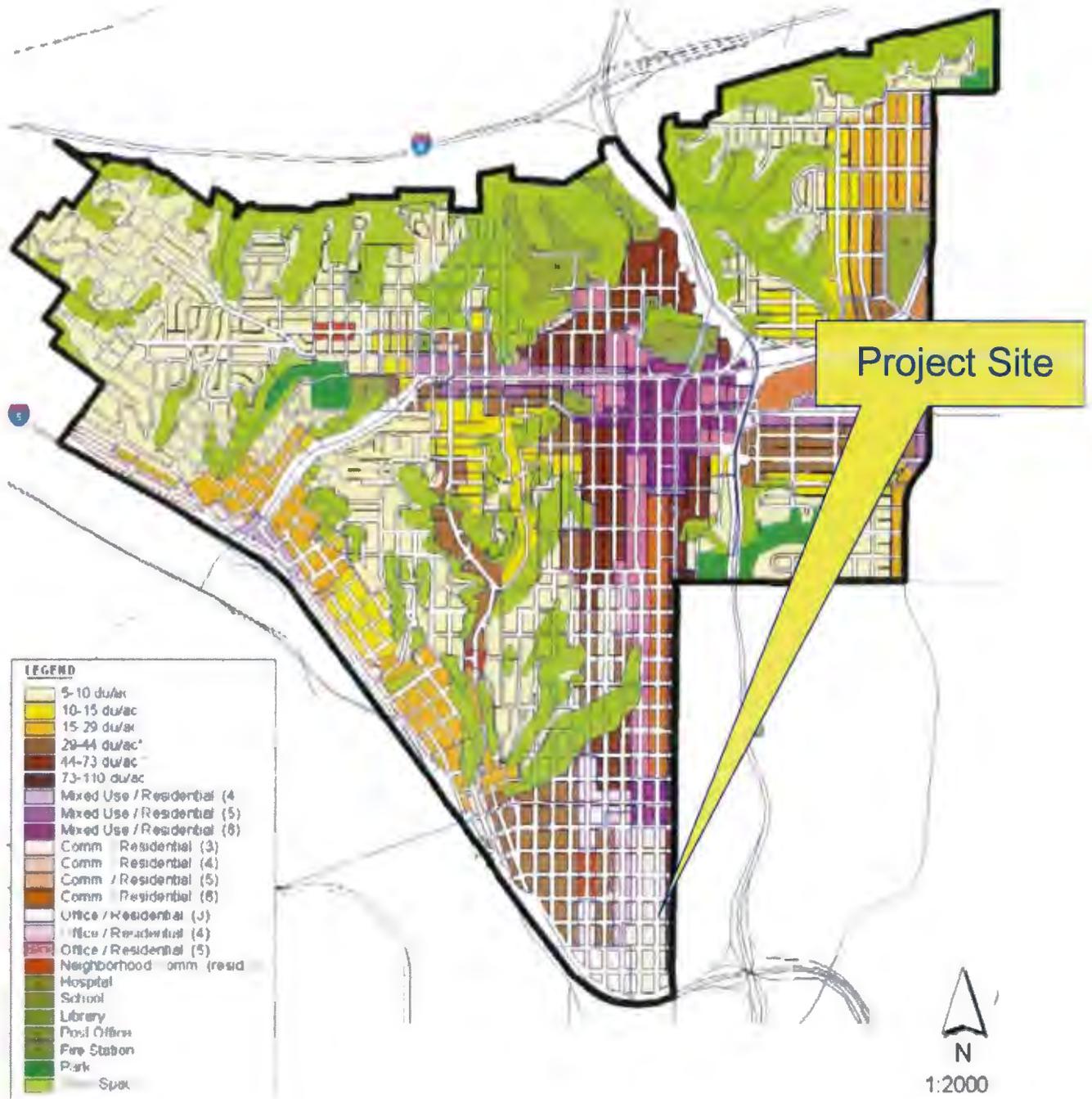
1. Project Location Map
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Draft Map Resolution and Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans (not the entire set)



Location Aerial Photo

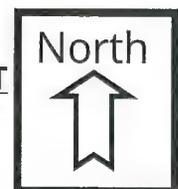
**6TH AND HAWTHORN TOWNHOMES - 525 HAWTHORN STREET
PROJECT NO. 443861**





Land Use Map

6TH AND HAWTHORN TOWNHOMES - 525 HAWTHORN STREET
PROJECT NO. 443861



HEARING OFFICER RESOLUTION NO. _____
 SITE DEVELOPMENT PERMIT NO. 1552110
6th AND HAWTHORN TOWNHOMES, PROJECT NO. 443681
 DRAFT

WHEREAS, CityMark BHR, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct 21 for-sale residential units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1552110), on portions of a 0.58-acre site;

WHEREAS, the project site is located at 525 Hawthorn Street and is split zoned within the Mid-City Communities Planned District. The westerly portion of the site is CV-4 (0.34 acre), and the easterly portion is zoned MR-800B (0.24 acre). The project site is also within the Airport Approach, Airport Influence Area, Federal Aviation Authority Part 77, Tandem Parking and Transit Area Overlay Zones within the Uptown Community Plan area;

WHEREAS, the project site is legally described as: Parcel 1 of Parcel Map No. 21338;

WHEREAS, on September 21, 2016, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1552110 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on July 5, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 21, 2016.

FINDINGS:

Site Development Permit- Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at the southwest corner of 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The project site contains two General Plan designations, two Uptown Community Plan designations, and two zones within the Mid-City Communities Planned District. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan, Commercial/Residential Medium (15-29 dwelling units per acres (du/ac)) in the Uptown Community Plan, and zoned MCCPD-CV-4 in the Mid-City Communities Planned District. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan, Residential High (44-73

du/ac) in the Uptown Community Plan, and zoned MCCPD-MR-800B in the Mid-City Communities Planned District. The total density range when combined for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is consistent with the density in the community plan.

The project is also located within the Airport Approach and Federal Aviation Authority (FAA) Part 77 Overlay Zones for the San Diego International Airport (Lindbergh Field). The project received a determination of no hazard from the FAA on August 11, 2015 and expires on February 11, 2017. In addition, the project has been conditioned to comply with the FAA and Airport approach regulations per the San Diego Municipal Code prior to the issuance of any construction permits.

General Plan

The proposed development is consistent with existing General Plan designations by providing higher density, multi-family development within the central urbanized core of the City. The proposed buildings implement General Plan Policy UD-A.5 by contributing to a positive neighborhood character and relating to the neighborhood and community context, and UD-B.1 by recognizing the quality of a neighborhood is linked to the overall quality of the built environment. The proposed project is consistent with the density and buildings scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed buildings implement General Plan Policies UD-A.6 and UD-B.4 by addressing street frontages with architectural and landscape interest to provide visual appeal to the streetscape and enhance the pedestrian experience, by reinforcing the street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. The proposed development also addresses General Plan Policy UD-B.5 to design or retrofit streets to improve walkability, strengthen connectivity, and enhance community identity, by replacing worn and broken sidewalks, upgrading the pedestrian ramp at the corner of 6th Avenue and Hawthorn, and installing street trees.

Uptown Community Plan

The project site contains two General Plan designations and two Uptown Community Plan designations. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan and Commercial/Residential Medium (15-29 dwelling units per acres (du/ac)) in the Uptown Community Plan. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan and Residential High (44-73 du/ac) in the Uptown Community Plan. The total density range when combined for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is consistent with the density in the community plan.

The Residential Element states that the Commercial/Residential designation allows either residential or commercial use. The Commercial Element states either general commercial, office or residential ranging from Very High to Medium is permitted and that developments with a mixture of uses are also encouraged. The Commercial Element also states that in contrast to areas designated for mixed-use, single-use residential projects are permitted in areas designated for Commercial/Residential use.

The proposed development is consistent with objectives of the Uptown Community Plan to locate medium and high density residential development adjacent to commercial areas, near transit and higher volume traffic corridors. The project is located along the higher traffic corridors of 5th and 6th Avenues. Public transit is readily available at the corners of 5th Avenue and Hawthorn Street and at 4th Avenue and Hawthorn Street.

The project implements applicable Urban Design Guidelines outlined in the Uptown Community Plan addressing Site Planning and Architecture, Streetscape Design and Landscaping, Vehicular Circulation and Pedestrian Circulation. The guidelines include:

- New construction and improvements to existing structures should be compatible with the existing architectural detail and overall appearance of the quality development in the surrounding neighborhood;
- Multifamily development incorporate wall texture variations, façade off-sets, upper floor setbacks and the utilization of varied roof forms; Patios, balconies, courtyards, pools or other recreationally amenities should be required for all residential projects to maximize usable open space;
- Articulate the design of buildings so they relate to the form and scale of surrounding structures through the use of compatible setbacks, building coverage and floor area ratios; Large flat rooftops should be considered as usable outdoor space that can be designed to accommodate commercial or recreational activities;
- Structures should be designed to utilize shade and breezes. Solar heating and cooling and improved insulation techniques should be employed;
- Street trees should be provided and existing trees preserved with all new development as appropriate; trees that must be removed should be replaced;
- The citywide landscape ordinance should be utilized to increase the amount of landscaping in, and enhance the appearance of the streetscape, private yard areas, and off-street parking lots. Low maintenance, drought tolerant plant material should be utilized;
- Where alley access is unavailable, street curb cuts should be minimized in number and width;
- Off-street parking should be placed underground and/or amply screened from the public right-of-way and adjacent residences; and
- Adequate sidewalk and parkway areas should be provided.

The proposed three-story residential-over-garage townhomes are consistent with the density and building scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed development reinforces street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. Building coverage and floor area ratio (FAR) are consistent with the existing zone, and other developments within the neighborhood.

The proposed project would incorporate drought tolerant ground covers and shrubs as well as 36-inch box Jacaranda street trees along all street frontages to enhance and reinforce the tree-lined corridors of the neighborhood. Existing trees, where appropriate, will be preserved.

The project proposes one curb cut along 6th Avenue. This one driveway opening provides access to all the proposed townhome units. All the units have tuck-under garages that are visible only from the interior of the project. This design presents the residential façade to the public right-of-way, while confining views of garage doors from the interior of the project. The project will provide new sidewalks along the 5th Avenue and Hawthorn Street frontages, replacing the existing and, in many areas, broken walkways. Also, the project will upgrade the pedestrian accessible ramp at the corner of 6th Avenue and Hawthorn Street to current accessibility standards.

As proposed, the project would be consistent with the Uptown Community Plan and overall policies for mixed-use development related to the Land Use and Urban Design, Mobility, and Density elements contained in the General Plan, therefore the project would not adversely impact the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The project site is bordered on three sides by public streets: Hawthorn Street on the north, 5th Avenue on the west, and 6th Avenue on the east. On the south, it is bounded by an existing parking lot.

The project is located within the Airport Approach and Federal Aviation Authority (FAA) Part 77 Overlay Zones for the San Diego International Airport (Lindbergh Field). The project received a determination of no hazard from the FAA on August 11, 2015 and expires on February 11, 2017. In addition, the project has been conditioned to comply with the FAA and Airport approach regulations per the San Diego Municipal Code.

The proposed development will require a demolition/removal permit for the existing onsite school in accordance with Article 9, Division 5 of the San Diego Municipal Code, which sets forth review of demolition/removal permits for compliance with standards necessary to safeguard public health, safety, and welfare. The proposed development also will require ministerial building permits for new construction and facilities. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development has been prepared that demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Public improvements include replacing worn and broken sidewalks, upgrading the pedestrian ramp at the corner of 6th Avenue and Hawthorn, and installing street trees to further protect public health and safety.

The project is required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction

practices, verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards, including fault rupture, would be less than significant.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at the southwest corner of 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The proposed development meets the FAR, height, setbacks, parking, and all other applicable development regulations of the underlying zones and no deviations are proposed.

Mid-City Communities Development Permit- Section 1512.0204(a)

1. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

The project proposes residential development of 21 two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at the southwest corner of 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The project site contains two General Plan designations, two Uptown Community Plan designations, and two zones within the Mid-City Communities Planned District. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan, Commercial/Residential Medium (15-29 dwelling units per acres (du/ac)) in the Uptown Community Plan, and zoned MCCPD-CV-4 in the Mid-City Communities Planned District. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan, Residential High (44-73 du/ac) in the Uptown Community Plan, and zoned MCCPD-MR-800B in the Mid-City Communities Planned District.

The combined number of units between the two zones is 23 dwelling units. The total density range combined for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is therefore consistent with the density of the underlying zones and the designation within the community plan.

General Plan

The proposed development is consistent with existing General Plan designations by providing higher density, multi-family development within the central urbanized core of the City. The proposed buildings implement General Plan Policy UD-A.5 by contributing to a positive neighborhood character and relating to the neighborhood and community context, and UD-B.1 by recognizing the quality of a neighborhood is linked to the overall quality of the built environment. The proposed project is consistent with the density and buildings scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed buildings implement General Plan Policies UD-A.6 and UD-B.4 by addressing street frontages with architectural and landscape interest to provide visual appeal to the streetscape and enhance the pedestrian experience, by reinforcing the street frontages along the 5th and 6th Avenue

corridors with street-level entries, consistent setbacks, and enhanced landscaping. The proposed development also addresses General Plan Policy UD-B.5 to design or retrofit streets to improve walkability, strengthen connectivity, and enhance community identity, by replacing worn and broken sidewalks, upgrading the pedestrian ramp at the corner of 6th Avenue and Hawthorn, and installing street trees.

Uptown Community Plan

The project site contains two General Plan designations and two Uptown Community Plan designations. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan and Commercial/Residential Medium (15-29 dwelling units per acres (du/ac)) in the Uptown Community Plan. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan and Residential High (44-73 du/ac) in the Uptown Community Plan. The total density range combined for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is consistent with the density in the community plan.

The Residential Element states that the Commercial/Residential designation allows either residential or commercial use. The Commercial Element states either general commercial, office or residential ranging from Very High to Medium is permitted and that developments with a mixture of uses are also encouraged. The Commercial Element also states that in contrast to areas designated for mixed-use, single-use residential projects are permitted in areas designated for Commercial/Residential use.

The proposed development is consistent with objectives of the Uptown Community Plan to locate medium and high density residential development adjacent to commercial areas, near transit and higher volume traffic corridors. The project is located along the higher traffic corridors of 5th and 6th Avenues. Public transit is readily available at the corners of 5th Avenue and Hawthorn Street and at 4th Avenue and Hawthorn Street.

The project implements applicable Urban Design Guidelines outlined in the Uptown Community Plan addressing Site Planning and Architecture, Streetscape Design and Landscaping, Vehicular Circulation and Pedestrian Circulation. The guidelines include:

- New construction and improvements to existing structures should be compatible with the existing architectural detail and overall appearance of the quality development in the surrounding neighborhood;
- Multifamily development incorporate wall texture variations, façade off-sets, upper floor setbacks and the utilization of varied roof forms; Patios, balconies, courtyards, pools or other recreationally amenities should be required for all residential projects to maximize usable open space;
- Articulate the design of buildings so they relate to the form and scale of surrounding structures through the use of compatible setbacks, building coverage and floor area ratios; Large flat rooftops should be considered as usable outdoor space that can be designed to accommodate commercial or recreational activities;
- Structures should be designed to utilize shade and breezes. Solar heating and cooling and improved insulation techniques should be employed;

- Street trees should be provided and existing trees preserved with all new development as appropriate; trees that must be removed should be replaced;
- The citywide landscape ordinance should be utilized to increase the amount of landscaping in, and enhance the appearance of the streetscape, private yard areas, and off-street parking lots. Low maintenance, drought tolerant plant material should be utilized;
- Where alley access is unavailable, street curb cuts should be minimized in number and width;
- Off-street parking should be placed underground and/or amply screened from the public right-of-way and adjacent residences; and
- Adequate sidewalk and parkway areas should be provided.

The proposed three-story residential-over-garage townhomes are consistent with the density and building scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed development reinforces street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. Building coverage and FAR are consistent with the existing zone, and other developments within the neighborhood.

The proposed project would incorporate drought tolerant ground covers and shrubs as well as 36-inch box Jacaranda street trees along all street frontages to enhance and reinforce the tree-lined corridors of the neighborhood. Existing trees, where appropriate, will be preserved.

The project proposes one curb cut along 6th Avenue. This one driveway opening provides access to all the proposed townhome units. All the units have tuck-under garages that are visible only from the interior of the project. This design presents the residential façade to the public right-of-way, while confining views of garage doors from the interior of the project. The project will provide new sidewalks along the 5th Avenue and Hawthorn Street frontages, replacing the existing and, in many areas, broken walkways. Also, the project will upgrade the pedestrian accessible ramp at the corner of 6th Avenue and Hawthorn Street to current accessibility standards.

As proposed, the project would be meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and will not adversely affect the Uptown Community Plan or the General Plan of the City of San Diego.

2. **The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, the proposed development will achieve architectural harmony with the surrounding neighborhood and community to the extent possible.**

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at the southwest corner of 6th Avenue and Hawthorn Street in the Uptown Community Plan area. Surrounding development include commercial and multi-family residential to the north, an existing parking lot to the south, Balboa Park to the east and commercial development to the west.

The site currently is developed with a K-12 private school (Balboa City School), which is proposed for demolition. The school has been reviewed and determined to not meet local designation criteria as a significant resource under adopted Historic Resource Board criteria.

The proposed three-story residential-over-garage townhomes are consistent with the density and buildings scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed development reinforces street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. Building coverage and floor area ratio (FAR) are consistent with the existing zone, and other developments within the neighborhood. The proposed buildings incorporate façade off-sets, upper floor setbacks, and textured stucco exterior finishes. In addition to private, exterior terraces, each unit has a flat rooftop available for usable, outdoor space.

The minimum parking requirement for the proposed project is 37 parking spaces within the transit and tandem area overlay zones and two motorcycle spaces. The project proposes to provide 45 on-site parking spaces all within garages along with two motorcycle spaces. As described above, the proposed development will achieve architectural harmony with the surrounding neighborhood and community to the extent possible.

3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The project site is bordered on three sides by public streets: Hawthorn Street on the north, 5th Avenue on the west, and 6th Avenue on the east. On the south, it is bounded by an existing parking lot.

The project is located within the Airport Approach and Federal Aviation Authority (FAA) Part 77 Overlay Zones for the San Diego International Airport (Lindbergh Field). The project received a determination of no hazard from the FAA on August 11, 2015 and expires on February 11, 2017. In addition, the project has been conditioned to comply with the FAA and Airport approach regulations per the San Diego Municipal Code.

The proposed development will require a demolition/removal permit for the existing onsite school in accordance with Article 9, Division 5 of the San Diego Municipal Code, which sets forth review of demolition/removal permits for compliance with standards necessary to safeguard public health, safety, and welfare. The proposed development also will require ministerial building permits for new construction and facilities. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development has been prepared that demonstrates compliance with fire

protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access.

The project is required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction practices, verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards, including fault rupture, would be less than significant.

Therefore, the proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

4. **For residential and mixed residential/commercial projects within the park-deficient neighborhoods shown on Map Number B-4104 that are not exempted by Section 1512.0203(b)(1)(A) or (B), the proposed development provides a minimum of 750 square feet of on-site usable recreational open space area per dwelling unit. The on-site usable recreational open space area shall not be located within any area of the site used for vehicle parking, or ingress and egress, and shall be configured to have a minimum of 10 feet in each dimension. The area will be landscaped and may also include hardscape and recreational facilities.**

The Mid-City Communities Planned District identifies facility deficient neighborhoods as those shown on Map No. B-4104. The Central Urbanized Planned District now incorporates all neighborhoods that are shown on Map No. B-4104 and those neighborhoods are no longer within the Mid-City Communities Planned District, therefore this finding does not apply.

5. **In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.**

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at the southwest corner of 6th Avenue and Hawthorn Street in the Uptown Community Plan area. Street lights are existing along 5th Avenue and 6th Avenue, along the project frontage. The project has been conditioned to conform to all current street lighting standards. As such, the project proposes one new street light adjacent to the site on Hawthorn Street.

6. **The proposed use will comply with the relevant regulations in the San Diego Municipal Code.**

The project proposes residential development of 21, two-bedroom townhomes in four buildings with private, tuck-under garages on a single parcel located at the southwest corner of 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The proposed development meets the FAR, height, setbacks, and all other applicable development regulations of the Mid-City Communities Planned District and no deviations are proposed.

The proposed development also complies with SDMC parking requirements, and the City's landscape ordinance.

The project site contains two General Plan designations, two Uptown Community Plan designations, and two zones within the Mid-City Communities Planned District. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan, Commercial/Residential Medium (15-29 dwelling units per acres (du/ac)) in the Uptown Community Plan, and zoned MCCPD-CV-4 in the Mid-City Communities Planned District. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan, Residential High (44-73 du/ac) in the Uptown Community Plan, and zoned MCCPD-MR-800B in the Mid-City Communities Planned District.

The combined number of units allowed between the two zones is 23 dwelling units. The total density range combined for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is therefore consistent with the density and use of the underlying zones and the designations within the community plan.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1552110 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1552110, a copy of which is attached hereto and made a part hereof.

Renee Mezo
Development Project Manager
Development Services

Adopted on: September 21, 2016
IO#: 24006183

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006183

SITE DEVELOPMENT PERMIT NO. 1552110
6th AND HAWTHORN TOWNHOMES, PROJECT NO. 443681
HEARING OFFICER
DRAFT

This Site Development Permit No. 1552110 is granted by the Hearing Officer of the City of San Diego to CityMark BHR, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 1512.0203(b)(2). The 0.58-acre site is located at 525 Hawthorn Street. The westerly portion of the site is zoned CV-4; and the easterly portion MR-800B, the project site is also within the Airport Approach, Airport Influence Area, Federal Aviation Authority Part 77, Tandem Parking and Transit Area Overlay Zones. The project site is legally described as: Parcel 1 of Parcel Map No. 21338.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing private school and construct 21 townhome units (for sale) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 21, 2016, on file in the Development Services Department. The project shall include:

- a. The demolition of the existing K-12 private school structures;
- b. The construction of 21 for-sale; two-bedroom residential townhomes in four buildings with private, tuck-under garages and exterior decks;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 5, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any construction permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

12. Prior to issuance of a construction permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

13. Prior to the issuance of any construction permits, the Owner/Permittee shall grant an aviation easement to the San Diego County Regional Airport Authority as the operator of the San

Diego International Airport for the purposes of aircraft operations, noise and other effects caused by the operation of aircraft, and for structure height if the same would interfere with the intended use of the easement. The Owner/Permittee shall use the avigation easement form provided by the San Diego County Regional Airport Authority. The avigation easement shall include conditions that the residences must be sound attenuated to 45 dB CNEL interior noise level and the structure shall be marked and lighted in accordance with FAA procedures.

14. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

ENGINEERING REQUIREMENTS:

15. The Site Development Permit shall comply with all Conditions of the Tentative Map Waiver No. 1770758.

16. The project proposes to export 4,600 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing curb, gutter, and sidewalk with current City Standard curb, gutter, and sidewalk, adjacent to the site on Fifth Avenue, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to construct a new 20-foot wide driveway to current City Standards adjacent to the site on 6th Avenue, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing curb ramp at the southwest corner of 6th Avenue and Hawthorn Street, with current City standard curb ramp Standard Drawing SDG-132 with truncated domes, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices (BMP) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
24. Prior to the issuance of any construction permits, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
25. Prior to the issuance of any construction permits the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

26. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees. In the event that the Landscape Plan and the Public Improvement Plan conflict, the Public Improvement Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit "A" Landscape Development Plan.
27. Prior to the issuance and any construction permits, landscape and irrigation plans substantially conforming to Exhibit "A," (Landscape Development Plan) shall be submitted to the Development Services Department for approval.
28. Any existing landscape to remain, as indicated on the approved plans, that is damaged during construction shall be replaced in kind to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

PLANNING/DESIGN REQUIREMENTS:

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
30. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

32. No fewer than 45 automobile and two motorcycle parking spaces shall be maintained on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and

shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

33. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

34. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

35. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

36. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

37. Prior to construction Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 21, 2016, Resolution No. XXXX.

RESOLUTION NO. _____
 DATE OF FINAL PASSAGE _____

A RESOLUTION OF THE HEARING OFFICER ADOPTING THE
 FINDINGS AND APPROVING MAP WAIVER NO. 1770758 FOR THE
6th AND HAWTHORN TOWNHOMES, PROJECT NO. 443681
DRAFT

WHEREAS, CityMark BHR, a California Limited Liability Company, Subdivider, and Michael Baker International/Engineer, submitted an application with the City of San Diego for Map Waiver No. 1770758, to waive the requirement for a Tentative Map for 21 for-sale condominium residential units. The 0.58-acre project site is located at 525 Hawthorn Street and is split zoned within the Mid-City Communities Planned District. The westerly portion of the site is CV-4 (0.34 acre), and the easterly portion is zoned MR-800B (0.24 acre). The project site is also within the Airport Approach, Airport Influence Area, Federal Aviation Authority Part 77, Tandem Parking and Transit Area Overlay Zones. The property is legally described as: Parcel 1 of Parcel Map No. 21338; and

WHEREAS, the map proposes the subdivision of a 0.58-acre site into one (1) lot for the creation of 21 residential condominium units; and

WHEREAS, on July 5, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 *et. seq.*) under CEQA Guidelines Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 21; and

WHEREAS, on September 21, 2016, the Hearing Officer of the City of San Diego considered Map Waiver No. 1770758, and pursuant to sections 125.0122 (map waiver) of the San Diego Municipal Code and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Map Waiver No.1770758:

1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

The project proposes 21 residential condominiums in four buildings with private, tuck-under garages on a single parcel located at 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The project site contains two General Plan designations, two Uptown Community Plan designations, and two zones within the Mid-City Communities Planned District. The portion of the project site adjacent to 5th Avenue is designated Multiple Use in the General Plan, Commercial/Residential Medium (15-29 dwelling units per acre (du/ac)) in the Uptown Community Plan, and zoned MCCPD-CV-4 in the Mid-City Communities Planned District. The portion of the project site adjacent to 6th Avenue is designated Residential in the General Plan, Residential High (44-73 du/ac) in the Uptown Community Plan, and zoned MCCPD-MR-800B in the Mid-City Communities Planned District. The combined number of units for both community plan designations is 15-28 du/ac. The project proposes 21 dwelling units and is therefore consistent with the density in the community plan.

The project is also located within the Airport Approach and Federal Aviation Authority (FAA) Part 77 Overlay Zones for the San Diego International Airport (Lindbergh Field). The project received a determination of no hazard from the FAA on August 11, 2015 which expires on February 11, 2017. In addition, the project has been conditioned to comply with the FAA and Airport approach regulations per the San Diego Municipal Code prior to the issuance of any construction permits.

General Plan

The proposed development is consistent with existing General Plan designations by providing higher density, multi-family development within the central urbanized core of the City. The proposed buildings implement General Plan Policy UD-A.5 by contributing to a positive neighborhood character and relating to the neighborhood and community context, and UD-B.1 by recognizing the quality of a neighborhood is linked to the overall quality of the built environment. The proposed project is consistent with the density and buildings scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed buildings implement General Plan Policies UD-A.6 and UD-B.4 by addressing street frontages with architectural and landscape interest to provide visual appeal to the streetscape and enhance the pedestrian experience, by reinforcing the street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. The proposed development also addresses General Plan Policy UD-B.5 to design or retrofit streets to improve walkability, strengthen connectivity, and enhance community identity, by replacing worn and broken sidewalks, upgrading the pedestrian ramp at the corner of 6th Avenue and Hawthorn, and installing street trees.

Uptown Community Plan

The Residential Element states that the Commercial/Residential designation allows either residential or commercial use. The Commercial Element states either general commercial, office or residential ranging from Very High to Medium is permitted and that developments with a mixture of uses are also encouraged. The Commercial Element also states that in contrast to areas designated for mixed-use, single-use residential projects are permitted in areas designated for Commercial/Residential use.

The proposed development is consistent with objectives of the Uptown Community Plan to locate medium and high density residential development adjacent to commercial areas, near transit and higher volume traffic corridors. The project is located along the higher traffic corridors of 5th and 6th Avenues. Public transit is readily available at the corners of 5th Avenue and Hawthorn Street and at 4th Avenue and Hawthorn Street.

The project implements applicable Urban Design Guidelines outlined in the Uptown Community Plan addressing Site Planning and Architecture, Streetscape Design and Landscaping, Vehicular Circulation and Pedestrian Circulation. The guidelines include:

- New construction and improvements to existing structures should be compatible with the existing architectural detail and overall appearance of the quality development in the surrounding neighborhood;
- Multifamily development incorporate wall texture variations, façade off-sets, upper floor setbacks and the utilization of varied roof forms; Patios, balconies, courtyards, pools or other recreationally amenities should be required for all residential projects to maximize usable open space;
- Articulate the design of buildings so they relate to the form and scale of surrounding structures through the use of compatible setbacks, building coverage and floor area ratios; Large flat rooftops should be considered as usable outdoor space that can be designed to accommodate commercial or recreational activities;

- Structures should be designed to utilize shade and breezes. Solar heating and cooling and improved insulation techniques should be employed;
- Street trees should be provided and existing trees preserved with all new development as appropriate; trees that must be removed should be replaced;
- The citywide landscape ordinance should be utilized to increase the amount of landscaping in, and enhance the appearance of the streetscape, private yard areas, and off-street parking lots. Low maintenance, drought tolerant plant material should be utilized;
- Where alley access is unavailable, street curb cuts should be minimized in number and width;
- Off-street parking should be placed underground and/or amply screened from the public right-of-way and adjacent residences; and
- Adequate sidewalk and parkway areas should be provided.

The proposed three-story residential-over-garage townhomes are consistent with the density and building scale of the more recent townhome developments on 6th Avenue, just north of the project site, and the mixed-use buildings along 5th Avenue. The proposed development reinforces street frontages along the 5th and 6th Avenue corridors with street-level entries, consistent setbacks, and enhanced landscaping. Building coverage and FAR are consistent with the existing zone, and other developments within the neighborhood.

The proposed project would incorporate drought tolerant ground covers and shrubs as well as 36-inch box Jacaranda street trees along all street frontages to enhance and reinforce the tree-lined corridors of the neighborhood. Existing trees, where appropriate, will be preserved.

The project proposes one curb cut along 6th Avenue. This one driveway opening provides access to all the proposed townhome units. All the units have tuck-under garages that are visible only from the interior of the project. This design presents the residential façade to the public right-of-way, while confining views of garage doors from the interior of the project. The project will provide new sidewalks along the 5th Avenue and Hawthorn Street frontages, replacing the existing and, in many areas, broken walkways. Also, the project will upgrade the pedestrian accessible ramp at the corner of 6th Avenue and Hawthorn Street to current accessibility standards.

As proposed, the project would be consistent with the Uptown Community Plan and overall policies for mixed-use development related to the Land Use and Urban Design, Mobility, and Density elements contained in the General Plan, therefore the proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes 21 residential condominiums in four buildings with private, tuck-under garages on a single parcel located at 6th Avenue and Hawthorn Street in the Uptown

Community Plan area. The proposed development meets the FAR, height, setbacks, parking, and all other applicable development regulations of the underlying zones and no deviations are proposed.

3. The site is physically suitable for the type and density of development.

The 0.58-acre project site is located at 525 Hawthorn Street and is split zoned within the Mid-City Communities Planned District. The westerly portion of the site is MCCPD-CV-4 (0.34 acre), and the easterly portion is zoned MCCPD-MR-800B (0.24 acre). The project site is also within the Airport Approach, Airport Influence Area, Federal Aviation Authority Part 77, Tandem Parking and Transit Area Overlay Zones.

The project site is comprised of one lot and has three street frontages: Hawthorn Street on the north, 5th Avenue on the west, and 6th Avenue on the east. Surrounding development includes commercial and multi-family residential to the north, an existing parking lot to the south, Balboa Park to the east, and commercial development to the west. The site is relatively flat with elevations ranging from 195 feet to 200 feet south to north.

The site currently is developed with a vacant K-12 private school (Balboa City School), which is proposed for demolition. The school has been reviewed and determined to not meet local designation criteria as a significant resource under adopted Historic Resource Board criteria. Access to the proposed development will be provided via a private driveway off of 6th Avenue. Public improvements include the new driveway on 6th Avenue, new sidewalks, new landscaping along the public streets, and an upgrade to the accessible pedestrian ramp at the southwest corner of 6th Avenue and Hawthorn Street. All required parking will be accommodated onsite. The minimum parking requirement for the proposed project is 37 parking spaces within the transit and tandem area overlay zones and two motorcycle spaces. The project proposes to provide 45 on-site parking spaces all within garages, along with two motorcycle spaces.

The combined number of units allowed between the two zones is 23 dwelling units. The CV-4 zone does not have a maximum floor area ratio (FAR) and the proposed buildings within that zone (A, B and D) have an FAR of 1.47. The MR-800B zone allows a maximum FAR of 1.25 and Building C has a FAR of 0.78. The proposed development meets the FAR, height, setbacks, density, landscaping and all other applicable development regulations of the Mid-City Communities Planned District and no deviations are proposed.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project proposes the creation of 21 residential condominium units. The 0.58-acre project site is located at 525 Hawthorn Street and is split zoned within the Mid-City Communities Planned District. The site is within an existing, developed, in-fill area and does not contain nor is adjacent to any fish or wildlife habitats, environmentally sensitive lands or Multiple Habitat Planning Area lands.

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

The project proposes 21 residential condominiums in four buildings with private, tuck-under garages on a single parcel located at 6th Avenue and Hawthorn Street in the Uptown Community Plan area. The project site is bordered on three sides by public streets: Hawthorn Street on the north, 5th Avenue on the west, and 6th Avenue on the east. On the south, it is bounded by an existing parking lot.

The project is located within the Airport Approach and Federal Aviation Authority (FAA) Part 77 Overlay Zones for the San Diego International Airport (Lindbergh Field). The project received a determination of no hazard from the FAA on August 11, 2015, which expires on February 11, 2017. In addition, the project has been conditioned to comply with the FAA and Airport approach regulations per the San Diego Municipal Code.

The proposed development will require a demolition/removal permit for the existing onsite school in accordance with Article 9, Division 5 of the San Diego Municipal Code, which sets forth review of demolition/removal permits for compliance with standards necessary to safeguard public health, safety, and welfare. The proposed development also will require ministerial building permits for new construction and facilities. Ministerial building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, which also establish standards to safeguard public health, safety, and welfare. The Fire Access Plan for the proposed development has been prepared that demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access.

The project is required to comply with seismic requirements of the California Building Code. Implementation of proper engineering design and utilization of standard construction practices, verified at the building permit stage, would ensure that the potential for impacts from regional geologic hazards, including fault rupture, would be less than significant.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

Existing public easements for public-rights of way, drainage and utility purposes will remain and the associated improvements will not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The project site is comprised of one lot and has three street frontages: Hawthorn Street on the north, 5th Avenue on the west, and 6th Avenue on the east. Surrounding development includes commercial and multi-family residential to the north, an existing parking lot to the south, Balboa Park to the east, and commercial development to the west. The site is relatively flat with elevations ranging from 195 feet to 200 feet south to north.

The proposed buildings incorporate façade off-sets, upper floor setbacks, and textured stucco exterior finishes. In addition to private exterior terraces, each unit has a flat rooftop available for usable, outdoor space. The townhomes are oriented with the long axis of each building in an east-west direction to take advantage of prevailing westerly breezes, and will be constructed to current Title 24 code requirements regarding energy efficiency and California Green Building Standards.

The design of the subdivision has taken into account the best use of the land to minimize grading. Conditions of the above referenced development permit have been adopted and the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The subdivision has been conditioned to comply with the City-wide Affordable Housing Regulations. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. Those needs were balanced against the needs for public services and the available fiscal and environmental resources and found that the proposed subdivision will not adversely impact the housing needs of the Uptown Community Plan area.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED that based on the Findings hereinbefore adopted by the Hearing Officer Map Waiver No. 1770758 is hereby granted to CityMark BHR, a California Limited Liability Company subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Renee Mezo
Development Project Manager
Development Services Department

ATTACHMENT: Map Waiver Conditions

Internal Order No. 24006183

HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP WAIVER NO. 1770758
6TH AND HAWTHORN - PROJECT NO. 443861
ADOPTED BY RESOLUTION NO. _____ ON _____
DRAFT

GENERAL

1. This Map Waiver will expire on October 5, 2019.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Certificate of Compliance unless otherwise noted.
3. A Certificate of Compliance shall be recorded in the Office of the San Diego County Recorder, prior to the Map Waiver expiration date.
4. Prior to the recordation of the Certificate of Compliance, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Certificate of Compliance shall conform to the provisions of Site Development Permit No. 1552110.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

7. Per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Subdivider shall install a new street light adjacent to the site on Hawthorn Street.
8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be

located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

9. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
10. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
11. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
12. The Subdivider shall comply with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980. Only those exceptions to the General Conditions which are shown on the Map Waiver and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

13. Prior to the issuance of a Certificate of Compliance, City staff will perform a field site visit to verify that all property corners, or property corner offsets have been set. If any property corners are missing, they must be set and a Corner Record or Record of Survey (whichever is applicable) shall be filed with the County Recorder pursuant to the Professional Land Surveyors Act. A copy of the Record of Survey or Corner Record shall be provided to the City.

INFORMATION:

- The approval of this Map Waiver by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Map Waiver will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Map Waiver, may protest the imposition within 90 days of the approval of this Map Waiver by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24006183

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: 6th and Hawthorn Townhomes

Project No. / SCH No.: 443861/N.A.

Project Location-Specific: 525 Hawthorn Street, San Diego, CA 92101

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: **SITE DEVELOPMENT PERMIT (SDP) and TENTATIVE MAP WAIVER** to allow for the demolition of an existing private education facility, and the construction of 21 residential townhome units, on a 0.58 acre site.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Russ Haley (Applicant), Citymark Communities, LLC (Firm), 3818 Park Boulevard, San Diego, California, 92103, (619) 231-1161

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: CEQA Exemption 15332 (In-Fill Development Projects)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project's proposal for new residential townhomes would be consistent with the existing land use designations (Commercial/Residential Medium and Residential High), and all applicable general plan policies as well as with applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than five acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species. The project would not result in any significant effects related to air quality, noise, traffic or water quality. The site can be adequately serviced by all required utilities and public services. In addition; the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna M

Senior Planner

July 5, 2016

Signature/Title

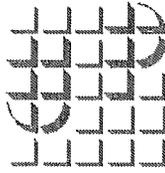
Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:



UPTOWN PLANNERS

FEBRUARY SPECIAL MEETING MINUTES

DATE: 2/02/16

Call to order by Tom Fox at 6:04

In attendance: Jim Mellos (Arrived at 6:09) Gary Bonner, Beth Jaworski (left early), Roy Dahl, Ken Tablang, Jennifer Pesqueira, Chris Ward, Mat Wahlstrom, Tom Fox, Bob Daniel, Matt Winter, Jay Newington, Kyle Heiskala, Michael Brennan, Ernie Bonn, Tom Mullaney

I. Call to Order and Introductions by Tom Fox

II. Adoption of Agenda and Rules of Order:

Daniel motions to add agenda item to appoint election sub-committee, to be heard after item IV.

III. Public Communication

IV. Special Order of Business: UPTOWN COMMUNITY PLAN – REVIEW OF DRAFT MOBILITY ELEMENT OF THE UPDATE OF THE UPTOWN COMMUNITY PLAN:

1. Potential Action Items – NON-MAP WAIVERS - 6th & Hawthorn Townhomes Mid-City Communities Development Permit. Follow-up presentation by the Applicant, Russ Haley of CityMark Communities for review and a request for a recommendation of approval of the proposed residential townhome project.

Board Discussion:

Mullaney: Street activation is problematic, suggests we wait for all City Staff cycle issues

Newington: Shares Mullaney's concerns

Wahlstrom: Clarifies with Marlon that the group can make a recommendation at this stage of the project review. Wants to ensure that

the cycle issue of maintaining half walls for the dens to prevent converting the units to three bedrooms is maintained and remains mystified why there still isn't any vehicle access from the project onto Hawthorn.

Daniel: Concerned about compliance with CV4 on 5th Ave

Dahl: Concerned about the community plan not being followed. Commercial should be included.

Fox: SANDAG bulb-outs should be included in the design. MAD will be forming in the next 12 months, request to stub out electric for mid-block acorn lights.

Jaworski: This project does not appear to reflect a regional character

Bonn: We have to follow the community plan. Questioned whether findings were met under the Site Development Permit. Cannot approve at this time

Bonner: This project conforms to the 1988 community plan which removes the most significant reason to vote against the project.

Tablang: Expresses desire for a commercial component

Brennan: Appreciates aesthetics of the project, plant material, building materials, conforms with 1988 plan, expresses desire for more density and a preference for commercial on 5th. Requests sidewalk improvements.

Ward: Does not appreciate characterization of the Bankers Hill community group. Would suggest they come back after City cycle issues have been addressed.

Kyle: Would like to have commercial but appreciates that the applicant has satisfied compliance with the current plan.

Board Motion

Chris Ward: Uptown Planners shall conditionally approve this project so long as all issues are resolved with City Staff in subsequent cycle issues report.

Second by Winter

Motion Passes

Vote: 13/2/1

(In favor) Bonner, Jaworski, Dahl, Tablang, Pesqueira, Ward, Wahlstrom, Fox, Daniel, Winter, Newington, Heiskala, Brennan

(Opposed) Bonn, Mullaney
Chair abstains

- V. Elections Sub-committee: Jaworski will chair the election committee while Bonn, Ward, and Marlon will serve with Daniel serving as alternate
Motion Passes
Vote: 15/0/1 chair abstains
(In favor) Bonner, Jaworski, Dahl, Tablang, Pesqueira, Ward, Wahlstrom, Fox, Daniel, Winter, Newington, Heiskala, Brennan, Bonn, Mullaney
Chair abstains

- VI. UPTOWN COMMUNITY PLAN – Review of the following elements of the Uptown Community Plan:
a. Land Use

Board Discussion

Winter: This plan is not much different than the current plan and does not see a reason to be opposed.

Mullaney: Staff proposal today is completely different than what was previously agreed to. This will take some time to review. He is supportive of transit oriented development and Climate Action Plan but not to the level of density proposed. Illustrations were shown to the board including large buildings. Suggests forming a subcommittee to work on land use.

Newington: Is taken aback by the proposed 109 DU proposed in the plan.

Wahlstrom: Property owners show how much they care about their properties by how they maintain them. Pernicanos is a prime example. Affordable housing will not follow increased development. We are being asked to take on a burden of density for the good of the City.

Daniel: Appreciates the development type occurring in Little Italy but feels that looming structures are problematic.

Jaworski: Concerned that proposed densities won't be achieved as units may be combined later for individual owners. (Jaworski leaves meeting)

Dahl: 301 University was a terrible project that was a result in a lot of compromises and it started the community plan update process. Discussions were had about density and heights. Density should be on the east side of Hillcrest along Park. The process of the plan update is regrettable, it should have been worked through an open process involving the community all along.

Fox: 6th ave at Pennsylvania becomes a bottleneck as people are accessing the freeway. Suggests a widening of 6th Ave.

Bonn: Community amenities will be an afterthought to new building. Requests an adequately sized zoning map. Public services should be increased along with density. Ministerial projects should have greater review. High densities proposed in the NP Plan on the east side of Park Blvd. will be mirrored in the Uptown Plan on the west side. 145 units on El Cajon Blvd. will not include Affordable Housing or amenities and 73 units from El Cajon Blvd. to University Ave. All the condo conversions in Uptown several years ago wiped out a lot of the affordable units for people working in the Medical Complex area as well as for seniors.

Bonner: Many community meetings have taken place over the years and the community got 85% of what they asked for. Recently the plan completely changed. Are we starting over? If so, we need large maps to review. Uptown has a 100-acre deficit of park land, we're not going to find additional land with the new proposed density.

Tablang: Echoes Bonner's comments, supportive of density around Park Blvd. Questions affordable housing in the new plan.

Brennan: Concerned about climate change and supportive of new density to allow us to reach the CAP goals. Supports staffs plan and suggests that we form a subcommittee to further discuss densities and heights. We should mirror density on Park Blvd from the North Park side. University Ave could be identified as a corridor that could drop a lane and provide for greater multi-modal options.

Ward: Concerned about incentives for density bonuses. We have had development but no associated community benefits. The proposed plan does not guarantee benefits. The difference between build-out in the current plan and recent draft versions is not that great. We are much closer to a final compromise than we may realize.

Heiskala: This plan is close to the 1988 community plan. Concerned about climate change. This discussion should be about where new density goes, not whether we have new density. New density could be proposed in certain areas. We should decide that as a board.

Mellos: We cannot increase density without taking care of traffic. Infrastructure needs to keep pace with density. I would not like to see the Los Angelization of San Diego.

- b. Urban Design (this discussion will be carried to the 16th) See motion 3 below.

Motion 1:

Mullaney: Uptown Planners shall form a Land Use subcommittee
Wahstrom seconds

Motion carries with a vote of 14/0/1

(In favor) Bonner, Dahl, Tablang, Pesqueira, Ward, Wahlstrom, Fox, Daniel, Winter, Newington, Heiskala, Brennan, Bonn, Mullaney
Chair abstains

Motion 2:

Daniel: Land Use subcommittee members shall be Wahlstrom, Bonn, Dahl, Brennan, Heiskala, Mullaney, Bonner
Wahlstrom seconds

Motion carries with a vote of 14/0/1

(In favor) Bonner, Dahl, Tablang, Pesqueira, Ward, Wahlstrom, Fox, Daniel, Winter, Newington, Heiskala, Brennan, Bonn, Mullaney
Chair abstains

Motion 3:

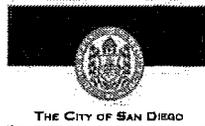
Daniel: Motions we table Urban Design until a later meeting
Dahl seconds

Motion carries with a vote of 14/0/1

(In favor) Bonner, Dahl, Tablang, Pesqueira, Ward, Wahlstrom, Fox, Daniel, Winter, Newington, Heiskala, Brennan, Bonn, Mullaney
Chair abstains

Heiskala motions to adjourn

Adjourned at 9:35



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other MCCDP

Project Title **Project No. For City Use Only**
 6th and Hawthorn Townhomes, MCCDP - PTS No. 443861

Project Address:
 525 Hawthorn Street, San Diego, CA

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title: 6th and Hawthorn Townhomes, MCCDP - PTS No. 443861	Project No. (For City Use Only)
---	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
 CITYMARK BHR LLC

Owner Tenant/Lessee

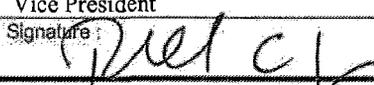
Street Address:
 3818 Park Boulevard

City/State/Zip:
 San Diego, CA 92103

Phone No: (619) 231-1161 Fax No: (619) 235-4691

Name of Corporate Officer/Partner (type or print):
 Russell C. Haley

Title (type or print):
 Vice President

Signature:  Date: 7/28/16

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

6TH & HAWTHORN

TENTATIVE MAP WAIVER NO. 1770758

FILED CONCURRENTLY WITH MCCPD PTS #443861

AN AVIGATION EASEMENT TO BE GRANTED TO THE SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY OVER ALL OF LOTS A, B, C, J, K, AND L OF BLOCK 243 OF HORTON'S ADDITION, MAP DB 13 PG 522 AS CONSOLIDATED BY LOT CONSOLIDATION TM/WAIVER NO. 1770758.

CERTIFICATION STATEMENT
I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

- I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS, AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
- I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
- I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
- MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
- SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
- IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
- THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

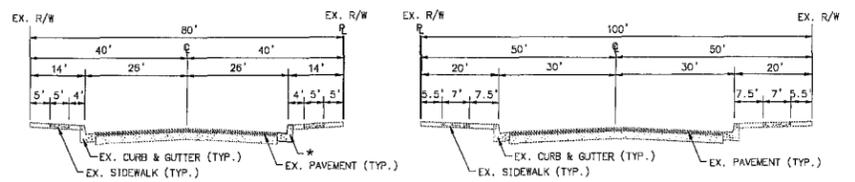
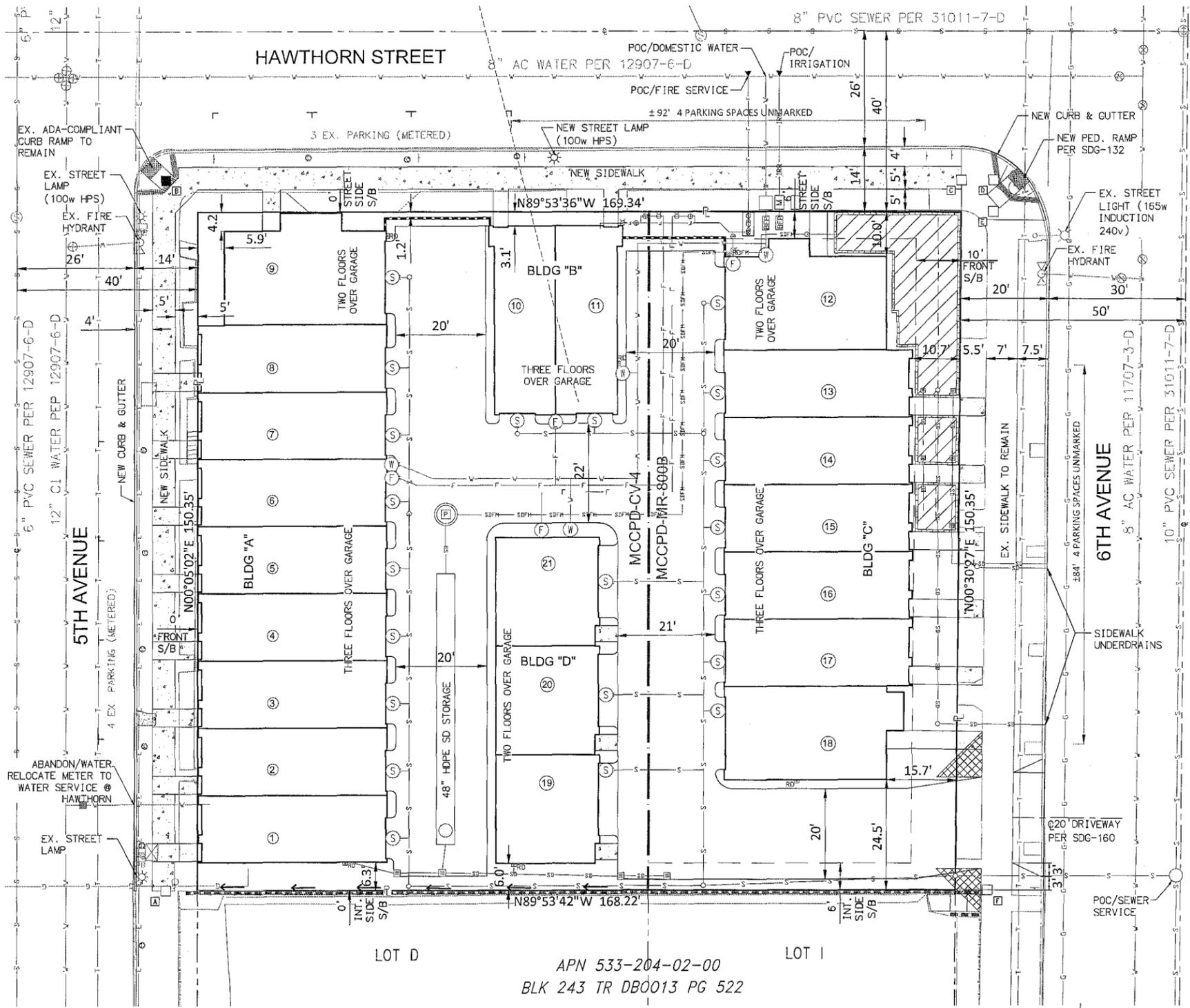
RESPONSIBLE CERTIFIED PROFESSIONAL:
Jeff Barfield 3/2/2016
JEFF BARFIELD, MCP DATE

NOTES

- NO OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY.
- NO ONSITE PUBLIC FACILITIES.
- SEE ASSOCIATED MCCPD PTS #443861 FOR SITE PLAN, ARCHITECTURAL PLANS, AND LANDSCAPE PLANS.
- NO ENVIRONMENTALLY SENSITIVE LANDS.
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.

LEGEND

PROPOSED IMPROVEMENTS	SYMBOL
6" CURB & GUTTER	[Symbol]
CONCRETE PAVEMENT	[Symbol]
CMU WALL (PVT)	[Symbol]
CMU WALL (MAX HEIGHT 2.6')	[Symbol]
STORM DRAIN (PVT)	[Symbol]
DOMESTIC WATER (PVT)	[Symbol]
FIRE SERVICE (PVT)	[Symbol]
SEWER (PVT)	[Symbol]
3" STORM DRAIN FORCE MAIN (PVT)	[Symbol]
STORM DRAIN CATCH BASIN (PVT)	[Symbol]
STORM DRAIN/SEWER TYPE CLEANOUT (PVT)	[Symbol]
STORM DRAIN PUMP (PVT)	[Symbol]
BIOFILTRATION BASIN	[Symbol]
WATER METER	[Symbol]
FIRE DEPARTMENT CONNECTION	[Symbol]
3/4" IRRIGATION METER	[Symbol]
REDUCED PRESSURE BACKFLOW PREVENTION DEVICE	[Symbol]
PROPOSED ROOF DRAIN DISCHARGE LOCATION	[Symbol]
STREET LAMP	[Symbol]
SIGHT VISIBILITY TRIANGLES	[Symbol]
PROPOSED TOWNHOME UNIT	[Symbol]
EXISTING IMPROVEMENTS	SYMBOL
ZONE LINE	[Symbol]
PROPERTY LINE/TMW BOUNDARY	[Symbol]
SETBACK LINE	[Symbol]
EXISTING WATER	[Symbol]
STREET CENTERLINE	[Symbol]
EXISTING SEWER	[Symbol]
EXISTING ELECTRICAL	[Symbol]
EXISTING GAS	[Symbol]
EXISTING TELEPHONE	[Symbol]
EXISTING EDGE OF PAVEMENT	[Symbol]
EXISTING STREET LAMP	[Symbol]
EXISTING STREETLIGHT	[Symbol]
EXISTING FIRE HYDRANT	[Symbol]
EXISTING RETAINING WALL	[Symbol]
EXISTING PEDESTRIAN RAMP	[Symbol]
EXISTING SIGN	[Symbol]
EXISTING PARKING METER	[Symbol]
EXISTING WATER METER	[Symbol]
EXISTING PULL BOX	[Symbol]
SET LEAD AND DISK STAMPED LS 7566	[Symbol]
FOUND LEAD & TACK, NO DISK, NO RECORD, ACCEPTED AS 7' OFFSET MONUMENT TO SOUTHWEST CORNER LOT C, BLOCK 243, RESET PER LEGEND	[Symbol]
FOUND LEAD MARKED "SD CITY SURVEYOR" PER CR 34554, HELD AS 7'X7' OFFSET BLOCK 243	[Symbol]
FD, LEAD & TACK, NO DISK, NO RECORD, ACCEPTED AS MONUMENT PER CR 5655, HELD AS 7'X7' OFFSET BLOCK 243, RESET PER LEGEND	[Symbol]
FOUND LEAD & TACK, NO DISK, ACCEPTED AS MONUMENT PER CR 5655, HELD AS 7'X7' OFFSET BLOCK 243, RESET PER LEGEND	[Symbol]
FD, LEAD & TACK, NO DISK, NO RECORD, ACCEPTED AS 7' OFFSET MONUMENT TO SOUTHWEST CORNER LOT J, BLOCK 243, RESET PER LEGEND	[Symbol]



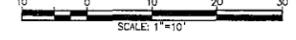
BUILDING SUMMARY

BUILDING	# OF UNITS IN BUILDING	# OF BEDROOMS IN EACH UNIT
A	9	2
B	2	2
C	7	2
D	3	2

SEE ASSOCIATED MCCPD FOR BUILDING DETAILS.



ENGINEER OF WORK
Jeff Barfield 3/2/2016
JEFF BARFIELD, R.C.E. 67951 DATE
EXP. 6-30-2017



CONDOMINIUM STATEMENT
THIS SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 21.

PROPOSED PROJECT/REQUIRED APPROVAL
PROJECT IS A TENTATIVE AND FINAL MAP WAIVER FOR 21 PROPOSED RESIDENTIAL CONDOMINIUM UNITS ON AN EXISTING PARCEL LOCATED AT THE SOUTHWEST CORNER OF HAWTHORN STREET AND 6TH AVENUE IN THE UPTOWN COMMUNITY (BANKERS HILL SUBAREA). SITE WILL BE ACCESSED VIA PRIVATE DRIVE OFF 6TH AVENUE. PROJECT REQUIRES A TENTATIVE AND FINAL MAP WAIVER. THIS TENTATIVE AND FINAL MAP WAIVER IS BEING PROCESSED CONCURRENTLY WITH A MID-CITY COMMUNITIES DEVELOPMENT PERMIT.

EXISTING USE
THE SITE CURRENTLY IS OCCUPIED BY A K-12 PRIVATE SCHOOL, TO BE DEMOLISHED. BASED ON PLAN-HISTORIC REVIEW (JODIE BROWN, 12/12/2014), THE EXISTING BUILDINGS ARE NOT CONSIDERED HISTORICALLY SIGNIFICANT.

LEGAL DESCRIPTION
PARCEL 1 OF PARCEL MAP NO. 212388, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, 04-12-16 AS FILE NO. 2016-7000156 OF OFFICIAL RECORDS.

ASSESSOR PARCEL NUMBER: 533-204-01

EXISTING ZONES: NO CHANGE PROPOSED
PORTION ADJACENT TO 5TH AVENUE: MCCPD-CV-4 (0.34 ACRE, 5,012 SF)
PORTION ADJACENT TO 6TH AVENUE: MCCPD-MR-800B (0.24 ACRE, 10,365 SF)
OVERLAY ZONES: AIRPORT APPROACH, AIRPORT INFLUENCE AREA (SDA), TRANSIT AREA, RESIDENTIAL TANDEM PARKING

GENERAL PLAN DESIGNATIONS: NO CHANGE PROPOSED
PORTION ADJACENT TO 5TH AVENUE: MULTIPLE USE
PORTION ADJACENT TO 6TH AVENUE: RESIDENTIAL

UPTOWN COMMUNITY LAND USE DESIGNATIONS: NO CHANGE PROPOSED
PORTION ADJACENT TO 5TH AVENUE: COMMERCIAL/RESIDENTIAL MEDIUM (15-29 DU/AC)
PORTION ADJACENT TO 6TH AVENUE: RESIDENTIAL HIGH (44-73 DU/AC)

SITE AREA: 0.58 ACRES (253,571 SQUARE FEET) GROSS AND NET

NO. OF EXISTING LOTS: 1

NO. OF PROPOSED LOTS: 1

NO. OF DWELLING UNITS: 21 RESIDENTIAL CONDOMINIUM UNITS

NAD 27 COORDINATES: 204-1720

NAD 83 COORDINATES: 1845-6281

SETBACKS
ZONE: MCCPD-CV-4
FRONT: 0' 5TH AVENUE
STREET SIDE: 0' HAWTHORN AVENUE
INTERIOR SIDE: 0'
ZONE: MCCPD-MR-800B
FRONT: 0' 6TH AVENUE
STREET SIDE: 0' HAWTHORN AVENUE
INTERIOR SIDE: 0'

BENCHMARK
THE BASIS OF ELEVATIONS FOR THIS MAP IS THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) PER THE CITY OF SAN DIEGO VERTICAL CONTROL NETWORK. NEEP LOCATED AT 5TH AVENUE AND GRAPE STREET. ELEVATION: 183.918 (FT.)

TOPOGRAPHIC SOURCE
RBF CONSULTING
9755 CLAREMONT MESA BOULEVARD
SAN DIEGO, CA 92124-1324
FIELD SURVEY 11-20-2014

GEOLOGIC HAZARD CATEGORY: 13

REFERENCE DRAWINGS
5TH AVENUE IMPROVEMENTS: STREET PER 38666-5-D, SEWER PER 12907-6-D, WATER PER 12907-6-D
6TH AVENUE IMPROVEMENTS: STREET PER 38666-7-D, SEWER PER 11707-3-D, WATER PER 31011-7-D
HAWTHORN STREET IMPROVEMENTS: STREET PER 38666-6-D, SEWER PER 31011-7-D, WATER PER 12907-6-D

PARKING CALCULATION
REQUIRED PARKING PER SDMC TABLE 142-05C FOR TWO-BEDROOM MULTIPLE DWELLING UNITS IN TRANSIT AREA: 1.75 VEHICLE SPACES PER UNIT AND 1.1 MOTORCYCLE SPACE PER UNIT
21 TWO-BEDROOM UNITS X 1.75 = 36.75 VEHICLE SPACES
21 TWO-BEDROOM UNITS X 0.1 = 2.1 MOTORCYCLE SPACES
TOTAL PARKING REQUIRED: 37 VEHICLE SPACES AND 2 MOTORCYCLE SPACES
TOTAL PARKING PROVIDED: 45 VEHICLE SPACES AND 2 MOTORCYCLE SPACES WITHIN (18) TWO-CAR AND (3) THREE-CAR GARAGES (ALL GARAGES PROVIDE FOR TANDEM PARKING)

BICYCLE RACKS NOT REQUIRED FOR DWELLING UNIT WITH GARAGE ACCESSIBLE ONLY BY RESIDENTS OF DWELLING UNIT PER FOOTNOTE NO. 5 TO SDMC TABLE 142-05C

LOADING SPACE NOT REQUIRED FOR MULTIPLE UNIT RESIDENTIAL COMPRISING 100,000 SF OR LESS PER SDMC TABLE 142-10B

*** PROJECT TEAM ***

OWNER CITYMARK BHR, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY BY: CITYMARK DEVELOPMENT LLC, A CALIFORNIA LIMITED LIABILITY COMPANY AS MANAGING MEMBER 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 231-1161	PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 614-5027
ARCHITECT THE MCKINLEY ASSOC., INC. 1518 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134	LANDSCAPE ARCHITECT MCGULLOUGH LANDSCAPE ARCHITECTURE 703 10TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID MCGULLOUGH TEL: (619) 296-9150

*** PROJECT LOCATION ***

UNIVERSITY ST
HAWTHORN ST
6TH AVE
BALBOA PARK
SITE 163
BALBOA PARK

TB 1289, A-1

CCS 83 COORDINATE = 1845N-6281E
LAMBERT COORDINATE = 204-1720

Prepared By: MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD, SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 614-5027	Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: 08/11/2016 Revision 3: 05/23/2016 Revision 2: 04/29/2016 Revision 1: 03/04/2016 Original Date: 12/17/2015
Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101	Sheet 1 of 1 PTS# 4-3861

Sheet Title:
TENTATIVE MAP WAIVER

Michael Baker INTERNATIONAL
9755 Claremont Mesa Blvd.
San Diego, CA 92124
Phone: (619) 614-5000
MBAKERINTL.COM

FILED: KATILYN 8/11/2016 1:41 PM

6TH & HAWTHORN MID-CITY COMMUNITIES DEVELOPMENT PERMIT

FILED CONCURRENTLY WITH TENTATIVE AND FINAL MAP WAIVER

AN AVIGATION EASEMENT TO BE GRANTED TO THE SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY OVER ALL OF LOTS A, B, C, J, K, AND L OF BLOCK 243 OF HORTON'S ADDITION, MAP DB 13 PG 522 AS CONSOLIDATED BY LOT CONSOLIDATION TM/WAIVER NO. 1770758.

CERTIFICATION STATEMENT

- I HEREBY ACKNOWLEDGE AND CERTIFY THAT:
- AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS, AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
 - HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESSES FOR THE PROPOSED PROJECT AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
 - HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
 - MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
 - SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
 - IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
 - THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME 1, CHAPTER 1, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL:

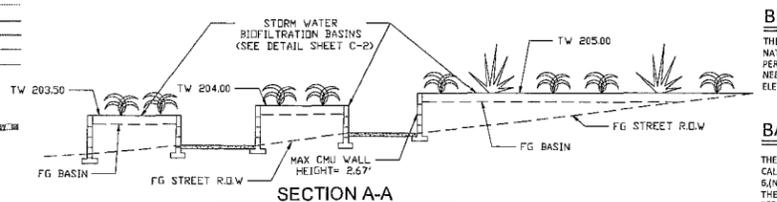
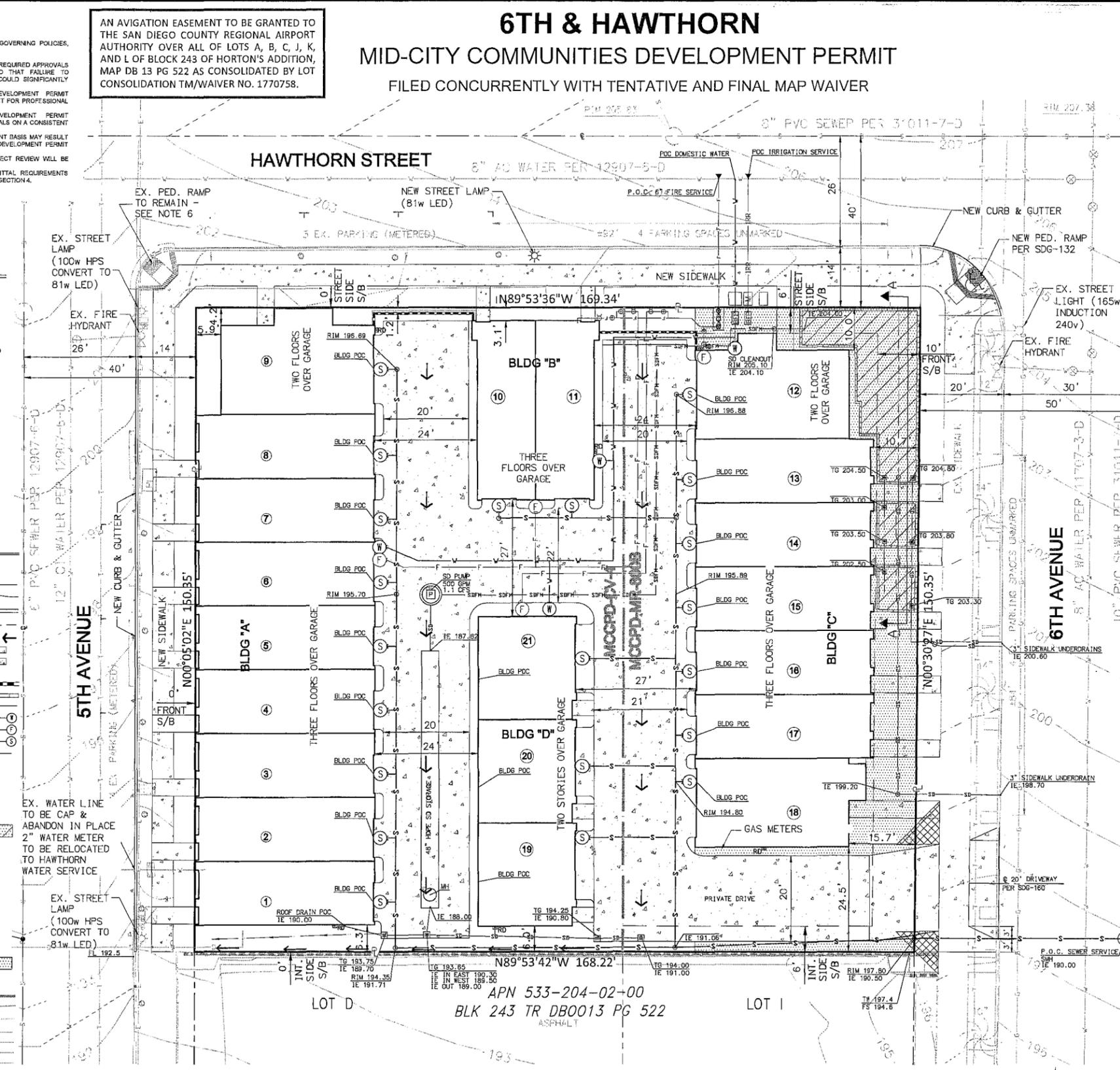
 JEFF BARFIELD, RCP
 3/2/2016

GENERAL NOTES

- ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFIED PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
- ALL ONSITE WATER AND SEWER FACILITIES ARE TO BE PRIVATE.
- ALL EXISTING UTILITIES IMPACTED BY PROPOSED BUILDING FOOTPRINTS OR OTHER SITE IMPROVEMENTS ARE TO BE DEMOLISHED AND REROUTED ACCORDINGLY.
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
- ENGINEERING REVIEW HAS DETERMINED THE EXISTING CURB RAMP AT THE SOUTHEAST CORNER OF HAWTHORN STREET AND 5TH AVENUE IS ADA-COMPLIANT.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 01 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX C OF THE CITY'S STORM WATER STANDARDS.
- IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW SERVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITY'S DIRECTOR AND THE CITY ENGINEER.
- ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 DB CNEL FOR ALL HABITABLE ROOMS.
- NO OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY.

LEGEND

IMPROVEMENT	STANDARD DWGS.	SYMBOL
DAYLIGHT LINE		
PROPOSED CONTOUR		
6" CURB & GUTTER	SDG-151	
GRADE BREAK		
DIRECTION OF FLOW		
CONCRETE PAVEMENT	SDG-155, SDG-156	
VEHICULAR CONCRETE PAVEMENT	SEE GEOTECH REPORT	
CMU WALL (PVT)	C-9	
CMU WALL (MAX HEIGHT = 2.67)		
STORM DRAIN (PVT)		
DOMESTIC WATER (PVT)		
FIRE SERVICE (PVT)		
SEWER (PVT)		
3" STORM DRAIN FORCE MAIN (PVT)	SDFM	
STORM DRAIN CATCH BASIN (PVT)		
STORM DRAIN/SEWER TYPE CLEANOUT (PVT)		
STORM DRAIN PUMP (PVT)		
BIOFILTRATION BASIN		
WATER METER	SDW-149	
FIRE DEPARTMENT CONNECTION		
STORM DRAIN PUMP (PVT)		
3/4" IRRIGATION METER		
REDUCED PRESSURE BACKFLOW PREVENTION DEVICE	SDW-155	
PROPOSED ROOF DRAIN DISCHARGE LOCATION		
STREET LAMP		
SIGHT VISIBILITY TRIANGLES		
PROPOSED TOWNHOME UNIT		
STREET YARD		
EXISTING IMPROVEMENTS		
ITEM		SYMBOL
ZONE LINE		
EXISTING MAJOR CONTOUR	(570)	
EXISTING MINOR CONTOUR	(572)	
EXISTING WATER		
EXISTING SEWER		
EXISTING ELECTRICAL		
EXISTING GAS		
EXISTING TELEPHONE		
PROPERTY LINE		
EXISTING EDGE OF PAVEMENT		
SETBACK LINE		
STREET CENTERLINE		
EXISTING STREET LAMP		
EXISTING STREETLIGHT		
EXISTING FIRE HYDRANT		
EXISTING RETAINING WALL		
EXISTING PEDESTRIAN RAMP		
EXISTING PARKING METER		
EXISTING SIGN		
EXISTING WATER METER		
EXISTING PULL BOX		



BENCHMARK
 THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) PER THE CITY OF SAN DIEGO VERTICAL CONTROL NETWORK. NEAR LOCATED AT 5TH AVENUE AND GRAPE STREET. ELEVATION: 183.918 (ft.)

BASIS OF COORDINATES
 THE BASIS OF COORDINATES FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (NAD83), ZONE 6(NRS2007, CRS EPOCH 2011) BASED LOCALLY ON THE FOLLOWING (CORS) CONTINUOUS OPERATING REFERENCE STATIONS.

STREET YARD
 STREET YARD REQUIRED=3,007 SF
 STREET YARD PROVIDED=3,200 SF

TOPOGRAPHY SOURCE
 RBF CONSULTING
 9755 CLAIREMONT MESA BOULEVARD
 SAN DIEGO, CA 92124-1924
 FIELD SURVEY
 11-20-2014

SHEET INDEX

1	C-1 SITE PLAN WITH UTILITIES	11	A3.1 BUILDING C FLOOR PLANS
2	C-2 GRADING PLAN	12	A3.2 BUILDING C FLOOR PLANS ROOF PLAN
3	C-3 EXISTING CONDITIONS	13	A3.3 BUILDING C SECTIONS
4	A0.1 SITE SECTIONS	14	A3.4 BUILDING C ELEVATIONS
5	A1.1 BUILDING A FLOOR PLANS	15	A4.1 BUILDING D FLOOR PLANS SECTIONS ROOF PLAN
6	A1.2 BUILDING A FLOOR PLANS ROOF PLAN	16	A4.2 BUILDING D ELEVATIONS
7	A1.3 BUILDING A SECTIONS	17	L-1 LANDSCAPE DEV. PLAN
8	A1.4 BUILDING A ELEVATIONS	18	L-2 STREET YARD CALC.
9	A2.1 BUILDING B FLOOR PLANS SECTIONS	19	L-3 IRRIGATION PLAN
10	A2.2 BUILDING B ELEVATIONS	20	L-4 PLANTING PLAN

DEVELOPMENT SUMMARY

PROPOSED USE
 PROJECT PROPOSES 21 TWO-BEDROOM TOWNHOMES WITHIN FOUR, NEW BUILDINGS ON A 0.58-ACRE SITE LOCATED AT 6TH & HAWTHORN (200E BROWN, 12/23/24). THE EXISTING BUILDINGS ARE NOT CONSIDERED HISTORICALLY SIGNIFICANT. EXISTING BUILDING CONSTRUCTED AROUND 1949.

EXISTING USE
 SITE CURRENTLY IS OCCUPIED BY A K-12 PRIVATE SCHOOL (BALBOA CITY SCHOOL) TO BE DEMOLISHED. BASED ON PLAN-HISTORIC REVIEW (200E BROWN, 12/23/24), THE EXISTING BUILDINGS ARE NOT CONSIDERED HISTORICALLY SIGNIFICANT. EXISTING BUILDING CONSTRUCTED AROUND 1949.

REQUIRED PERMIT/APPROVALS
 MID-CITY COMMUNITIES DEVELOPMENT PERMIT (SITE DEVELOPMENT PERMIT)
 TENTATIVE MAP & FINAL MAP WAIVER
 DEVIATIONS: NONE REQUIRED

LEGAL DESCRIPTION
 PARCEL 1 OF PARCEL MAP 21338, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREON ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, APRIL 12, 2016, DOC #2016-7000156.
 SITE ADDRESS: 525 HAWTHORN STREET
 ASSESSOR PARCEL NUMBER: 533-204-01
 TYPE OF CONSTRUCTION: BUILDINGS A, B, AND C: TYPE V-A BUILDING D: TYPE V-B
 OCCUPANCY: RESIDENCES: R-2 PRIVATE GARAGES: U

ZONING
 EXISTING LOTS A, B, C, ADJACENT TO 5TH AVENUE: MCCPD-CV4 (0.34 ACRE, 15,332 SF)
 EXISTING LOTS J, K, L, ADJACENT TO 6TH AVENUE: MCCPD-MR-8009 (0.34 ACRE, 10,363 SF)
 OVERLAY ZONES, ALL LOTS: AIRPORT APPROACH, AIRPORT INFLUENCE AREA, TRANSIT AREA, RESIDENTIAL TANDEM PARKING

GENERAL PLAN DESIGNATION
 EXISTING LOTS A, B, C, ADJACENT TO 5TH AVENUE: MULTIPLE USE
 EXISTING LOTS J, K, L, ADJACENT TO 6TH AVENUE: RESIDENTIAL MEDIUM (15-29 DU/AQ)
 UPTOWN COMMUNITY PLAN DESIGNATION
 EXISTING LOTS A, B, C, ADJACENT TO 5TH AVENUE: COMMERCIAL/RESIDENTIAL MEDIUM (15-29 DU/AQ)
 EXISTING LOTS J, K, L, ADJACENT TO 6TH AVENUE: RESIDENTIAL HIGH (44-73 DU/AQ)

TOTAL SITE AREA: 0.58 ACRE (25,975 SF) GROSS AND NET
FLOOR AREA RATIO (FAR) CALCULATIONS
 BUILDINGS A, B, AND D (MCCPD-CV4 ZONE): ALLOWED FAR: NO MAXIMUM
 22,041 SF GFA DIVIDED BY 15,012 SF SITE AREA = 1.47 FAR
 BUILDING C (MCCPD-MR-8009 ZONE): ALLOWED FAR: 1.25
 10,363 SF SITE AREA DIVIDED BY 8,300 SF SITE AREA = 1.25 FAR

COVERAGE
 MCCPD-CV4 ZONE - ALLOWED PERCENTAGE: NO LIMITATION
 MCCPD-MR-8009 - ALLOWED PERCENTAGE: 45%
 16,171 SF GFA (BUILDING C) DIVIDED BY 10,363 SF SITE AREA (LOTS J,K,L) = 44.5% FAR

DENSITY CALCULATION
 MCCPD-CV4 ZONE - ALLOWED DENSITY: 100/1,500 SF
 15,012 SF SITE AREA DIVIDED BY 1,500 = 10.00
 MCCPD-MR-8009 ZONE - ALLOWED DENSITY: 200/800 SF
 10,363 SF SITE AREA DIVIDED BY 800 SF = 12.95
 10.00 + 12.95 = 22.95 UNITS

TOTAL UNITS ALLOWED: 23 **TOTAL UNITS PROPOSED:** 21
GEOLOGIC HAZARD CATEGORY: 13

LANDSCAPE AREA: SEE SHEETS L-1 THROUGH L-4 FOR LANDSCAPE PLANS AND CALCULATIONS

PARKING CALCULATION
 REQUIRED PARKING PER SDMG TABLE 142-25C FOR TWO-BEDROOM MULTIPLE DWELLING UNITS IN TRANSIT AREA: 1.75 VEHICLE SPACES PER UNIT AND 0.1 MOTORCYCLE SPACE PER UNIT
 EXISTING ON-STREET PARKING SPACES: 15
 4 METERED SPACES ON 5TH AVENUE
 3 METERED AND 4 UNMARKED SPACES ON HAWTHORN ST.
 4 UNMARKED SPACES ON 6TH AVENUE
 EXISTING ON-STREET PARKING SPACES TO REMAIN: 14
 (LOSS OF ONE ON-STREET UNMARKED PARKING SPACE ON 6TH AVENUE)

21 TWO-BEDROOM UNITS X 1.75 = 36.75 VEHICLE SPACES
 21 TWO-BEDROOM UNITS X 0.1 = 2.1 MOTORCYCLE SPACES
 TOTAL PARKING PROVIDED: 45 VEHICLE SPACES AND 3 MOTORCYCLE SPACES WITHIN (18) TWO-CAR AND (3) THREE-CAR GARAGES, ALL PARKING WITH GARAGES ARE TANDEM SPACES

BICYCLE RACKS NOT REQUIRED FOR DWELLING UNIT WITH GARAGE ACCESSIBLE ONLY BY RESIDENTS OF DWELLING UNIT PER FOOTNOTE NO. 5 TO SDMG TABLE 142-25C

LOADING SPACE NOT REQUIRED FOR MULTIPLE UNIT RESIDENTIAL COMPRISING 100,000 SF OR LESS PER SDMG TABLE 142-109

PRIVATE EXTERIOR USABLE AREA CALCULATIONS
 50% OF ALL UNITS TO HAVE PRIVATE EXTERIOR USABLE AREA CONTAINED BY MIN 36-INCH HIGH BARRIER. PROJECT AVERAGE MINIMUM 50 SF PER UNIT. MIN SIZE OF 25 SF. MIN DIMENSION OF 5 FEET.

PRIVATE EXTERIOR USABLE AREA REQUIRED: 21 UNITS X 50 SF = 1,050 SF TOTAL
 PRIVATE EXTERIOR USABLE AREA PROVIDED:
 BUILDING A: 8 UNITS X 143 SF = 1,144 SF
 BUILDING B: 1 CORNER UNIT X 118 SF = 118 SF
 BUILDING C: 2 UNITS X 143 SF = 286 SF
 BUILDING D: 6 UNITS X 143 SF = 858 SF
 BUILDING C: 1 CORNER UNIT X 118 SF = 118 SF
 BUILDING D: 3 UNITS X 74 SF = 222 SF
 TOTAL EXTERIOR USABLE AREA PROVIDED = 2,475 SF

NEAREST TRANSIT: MTS ROUTES 3 AND 120 WITH STOPS AT 5TH AVENUE AND HAWTHORN

*** PROJECT TEAM ***

APPLICANT CITYMARK COMMUNITIES LLC 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 231-1151	OWNER CITYMARK BHR, LLC., 3818 PARK BLVD. SAN DIEGO, CA 92103	ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAIREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID MCCULLOUGH TEL: (619) 296-3153	



Prepared By: MICHAEL BAKER INTERNATIONAL
 9755 CLAIREMONT MESA BLVD., SUITE 100
 SAN DIEGO, CA 92124
 CONTACT: JEFF BARFIELD
 TEL: (858) 614-5027

Project Address: 525 HAWTHORN STREET
 SAN DIEGO, CA 92101

Project Name: 6TH & HAWTHORN

Original Date: 09/02/2015

Sheet 1 of 20
 P/S# 443861

Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4: 08/11/2016
 Revision 3: 04/29/2016
 Revision 2: 03/04/2016
 Revision 1: 12/17/2015

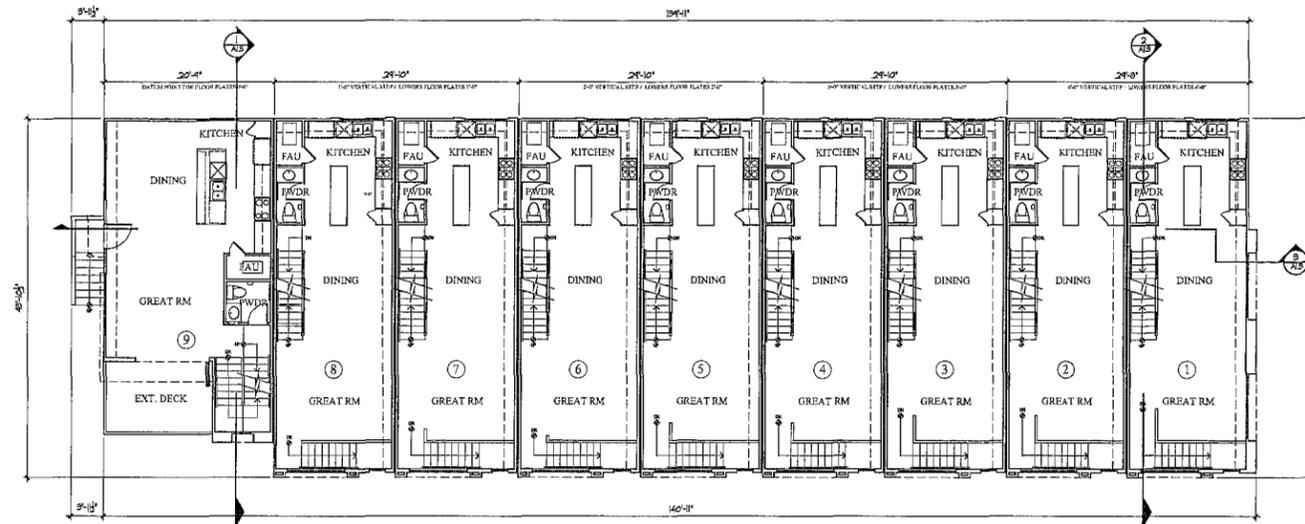
Sheet Title: SITE PLAN WITH UTILITIES

SHEET C-1

9755 Clairemont Mesa Blvd.
 San Diego, CA 92124
 Phone: (858) 614-5000
 MBAKER@TOL.COM

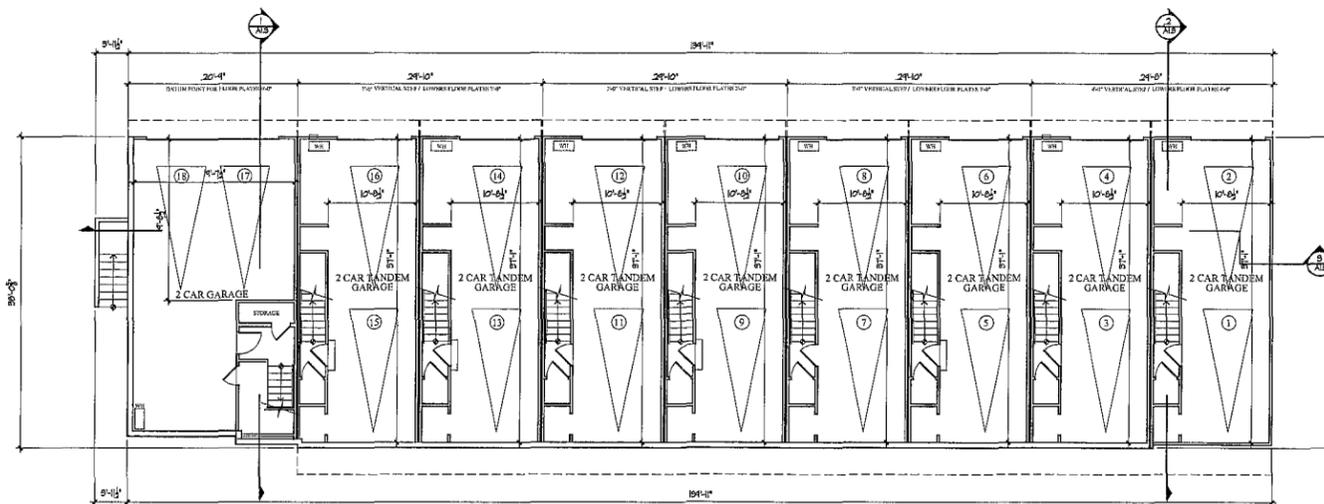
6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



BUILDING A - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
LIVABLE SPACE: 5,789 SQ.FT.



BUILDING A - FIRST FLOOR PLAN

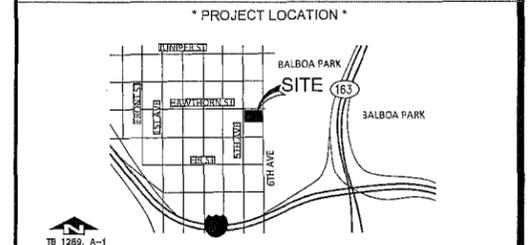
SCALE: 1/8" = 1'-0"
LIVABLE SPACE: 698 SQ.FT.
GARAGE: 4,551 SQ. FT.



BUILDING A - ENTRY PLAN

SCALE: 1/8" = 1'-0"

* PROJECT TEAM *		
APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 231-1161	OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101	ARCHITECT THE MCKINLEY ASSOC., INC 1318 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92109 CONTACT: DAVID MCCULLOUGH TEL: (619) 296-9150	



Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134	Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101	Project Name: 6TH & HAWTHORN	Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: 12/17/2015
Original Date: 05/02/2015	Sheet: 5 of 20	PTSP	

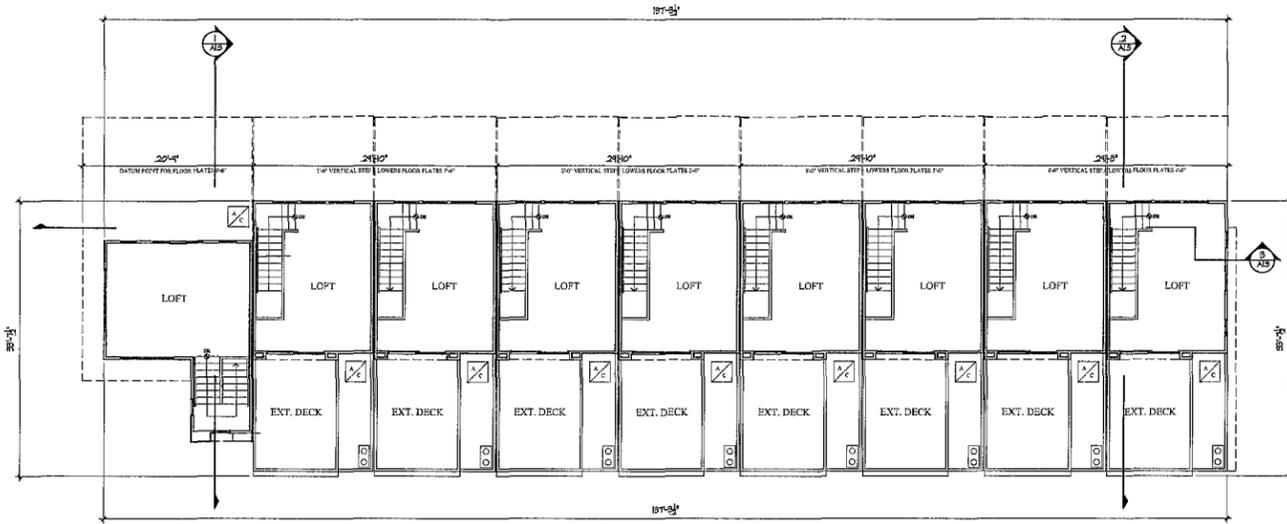
Sheet Title:
**BUILDING A
FLOOR PLANS**

SHEET A.1.1

1818 First Avenue, Suite 200
San Diego, CA 92101
Phone: (619) 238-1134

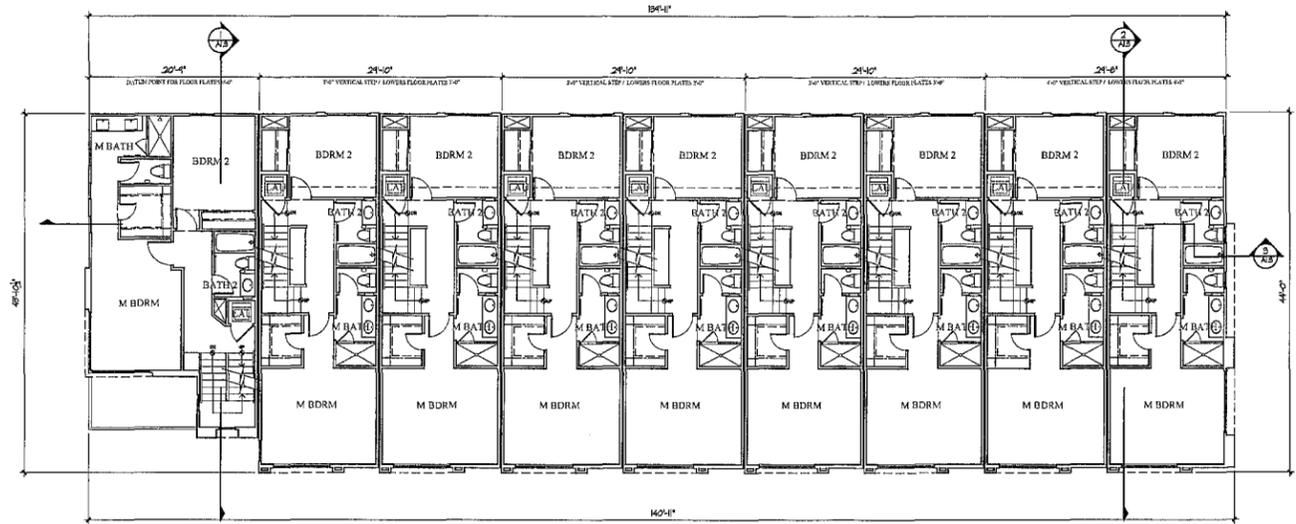
6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



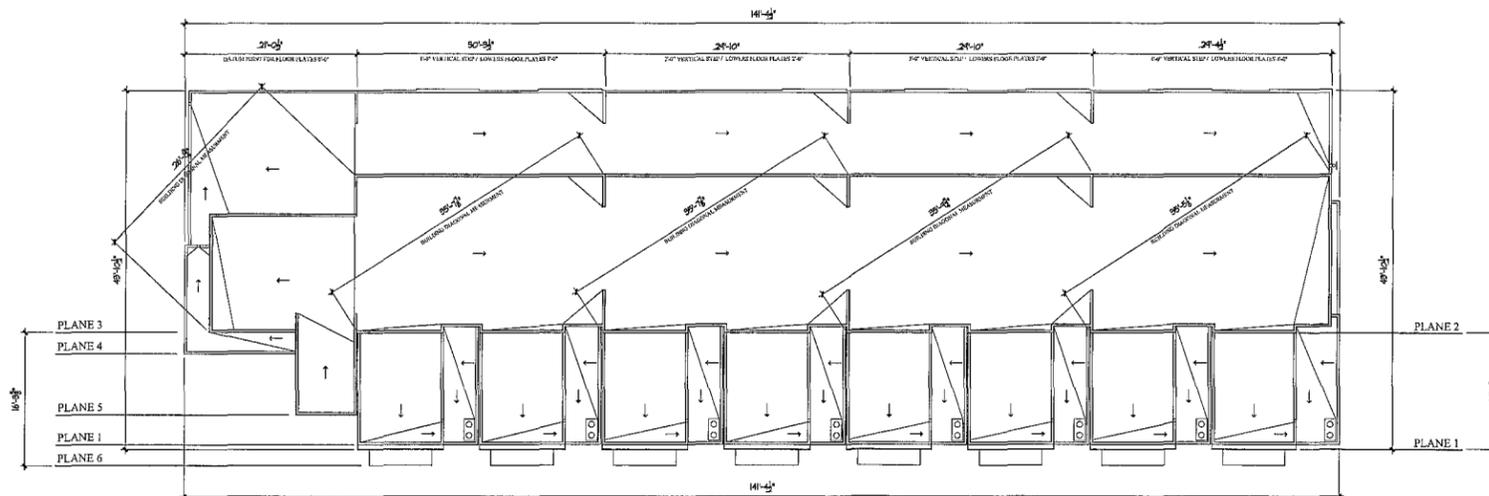
BUILDING A - FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"
LIVABLE SPACE: 2,527 SQ.FT.



BUILDING A - THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"
LIVABLE SPACE: 5,816 SQ.FT.

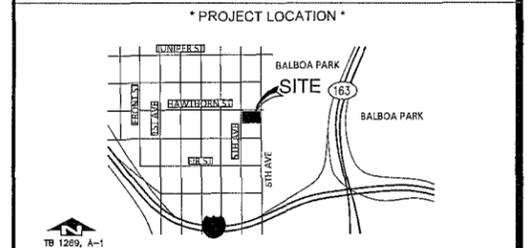


BUILDING A - ROOF PLAN

SCALE: 1/8" = 1'-0"

MAXIMUM DIAGONAL MEASUREMENT TO BE 127.8 FEET

* PROJECT TEAM *		
APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 238-1161	OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101	ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT McCULLOUGH LANDSCAPE ARCHITECTURE 705 16TH STREET, SUITE 100 SAN DIEGO, CA 92103 CONTACT: DAVID McCULLOUGH TEL: (619) 296-3150	



Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134	Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101	Project Name: 6TH & HAWTHORN	Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: 12/17/2015 Original Date: 09/02/2015 Sheet 5 of 20 PT/g
Sheet Title: BUILDING A FLOOR PLANS ROOF PLAN			CCS 83 COORDINATE = 1845N-6291E LAMBERT COORDINATE = 206-1721 SHEET A1.2 1818 First Avenue, Suite 200 San Diego, CA 92101 Phone: (619) 238-1134

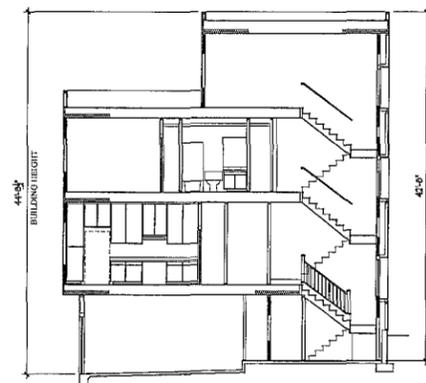
6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



BUILDING A - SECTION
SCALE: 1/8" = 1'-0"

3



BUILDING A - SECTION
SCALE: 1/8" = 1'-0"

1



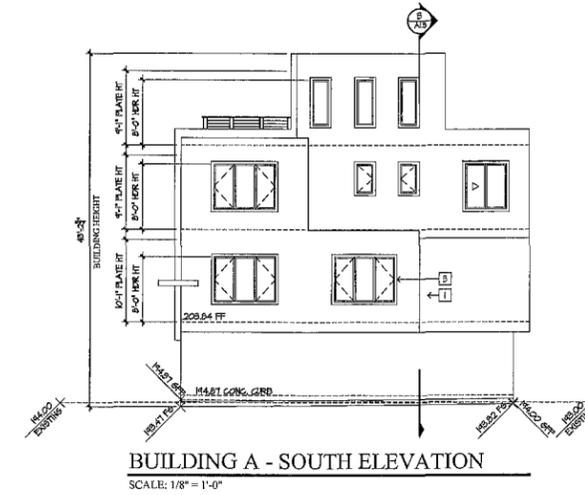
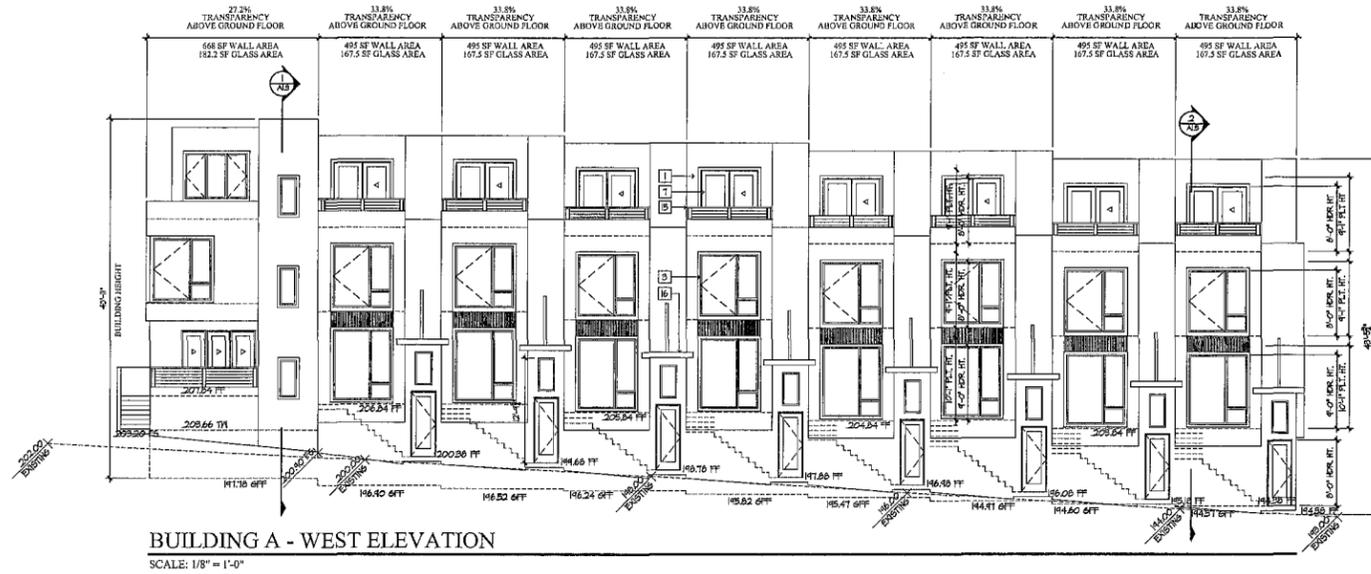
BUILDING A - SECTION
SCALE: 1/8" = 1'-0"

2

* PROJECT TEAM *																										
<p>APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSSELL HALEY TEL: (619) 231-1161</p>	<p>OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101</p>	<p>ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p>																								
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-3027</p>	<p>LANDSCAPE ARCHITECT McCULLOUGH LANDSCAPE ARCHITECTURE 708 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID McCULLOUGH TEL: (619) 296-3150</p>																									
* PROJECT LOCATION *																										
<p>CCS 83 COORDINATE = 1845N-6281E LAMBERT COORDINATE = 205-1721</p>																										
<p>Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p> <p>Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101</p> <p>Project Name: 6TH & HAWTHORN</p>	<table border="0" style="width: 100%;"> <tr> <td>Revision 10:</td> <td>_____</td> </tr> <tr> <td>Revision 9:</td> <td>_____</td> </tr> <tr> <td>Revision 8:</td> <td>_____</td> </tr> <tr> <td>Revision 7:</td> <td>_____</td> </tr> <tr> <td>Revision 6:</td> <td>_____</td> </tr> <tr> <td>Revision 5:</td> <td>_____</td> </tr> <tr> <td>Revision 4:</td> <td>_____</td> </tr> <tr> <td>Revision 3:</td> <td>_____</td> </tr> <tr> <td>Revision 2:</td> <td>_____</td> </tr> <tr> <td>Revision 1:</td> <td>12/17/2015</td> </tr> <tr> <td>Original Date:</td> <td>09/22/2015</td> </tr> <tr> <td>Sheet</td> <td>7 of 20</td> </tr> </table>		Revision 10:	_____	Revision 9:	_____	Revision 8:	_____	Revision 7:	_____	Revision 6:	_____	Revision 5:	_____	Revision 4:	_____	Revision 3:	_____	Revision 2:	_____	Revision 1:	12/17/2015	Original Date:	09/22/2015	Sheet	7 of 20
Revision 10:	_____																									
Revision 9:	_____																									
Revision 8:	_____																									
Revision 7:	_____																									
Revision 6:	_____																									
Revision 5:	_____																									
Revision 4:	_____																									
Revision 3:	_____																									
Revision 2:	_____																									
Revision 1:	12/17/2015																									
Original Date:	09/22/2015																									
Sheet	7 of 20																									
<p>Sheet Title: BUILDING A SECTIONS</p>		<p>SHEET A1.3</p>																								
<p>1818 First Avenue, Suite 200 San Diego, CA 92101 Phone: (619) 238-1134</p>																										

6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT

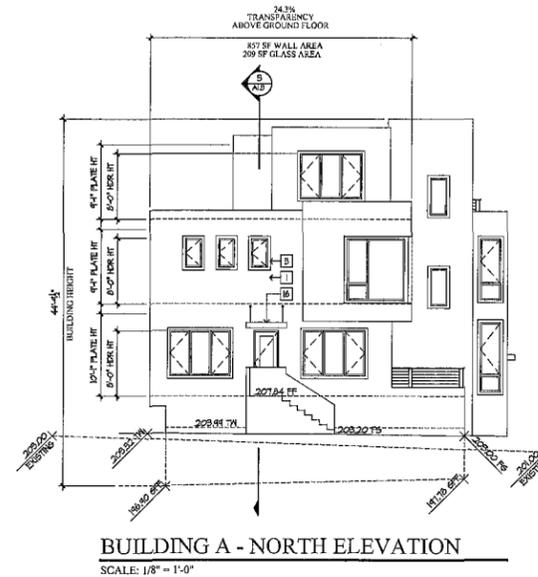
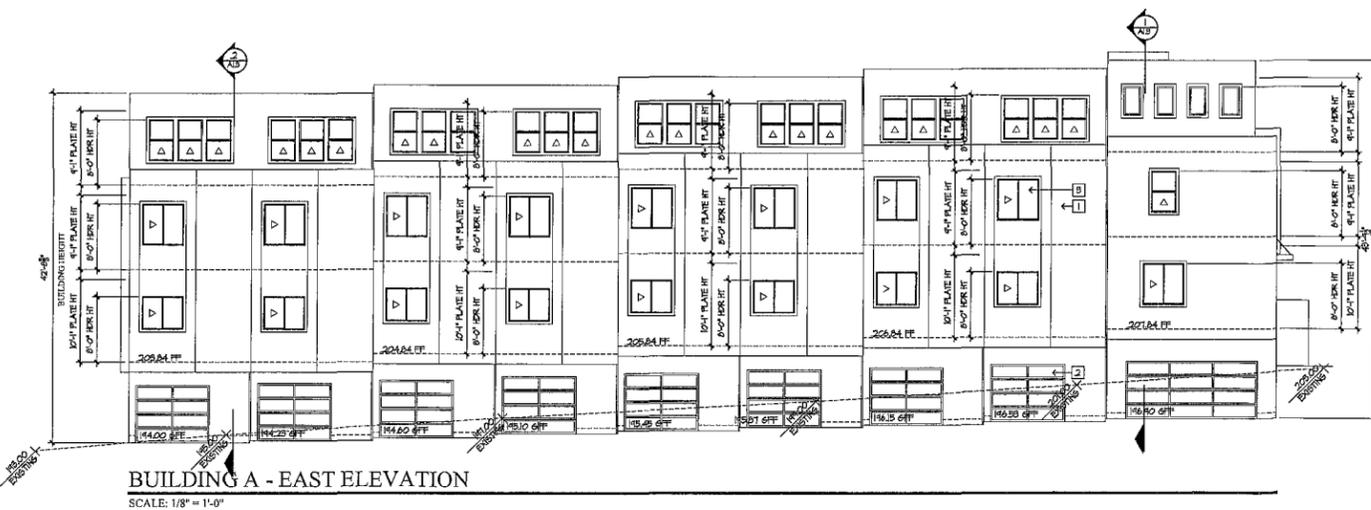


CONTEMPORARY DESIGN ELEMENTS

- MULTIPLE ROOF HEIGHTS
- RAISED ENTRY PORCH NORTHERLY UNIT
- RECESSED WINDOW 2"
- CELESTORY WINDOW ABOVE ENTRY DOOR
- AWNING OVER ENTRY DOOR & LIVING ROOM WINDOW
- HOPPER WINDOWS (INVERTED TRANSOM)

ELEVATION KEYNOTES

- | | |
|---|---|
| <ul style="list-style-type: none"> 1 MIN 1/8" STUCCO EXTERIOR OVER METAL LATH AND (2) LAYERS OF GRADE 17 PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE. PROVIDE 20 GA. 60H KEEL SCREED PER DETAIL (TOP/DO OR EQUAL). SEE COLOR SCHEMES FOR COLORS. TEXTURE: 16/20 SAND WITH A LIGHT LACE TEXTURE. 2 GARAGE DOOR 3 VINYL GLAZED FRAME WINDOWS WITH MANTIN BARS WHERE INDICATED. 4 4" HALF ROUND SEAMLESS ALUMINUM PRE-PANDED BUTTER OVER 2x4 REDWAIN FASCIA. 5 4" ROUND PRE-PANDED DOWNROUT, TYP. PROVIDE CONCRETE SPLASH BLOCK AT DISCHARGE. 6 PROVIDE STUCCO KEEL SCREED NOT LESS THAN 4" FROM GRADE. 6" AT GARAGE. 2" AT HARDSCAPE. 7 NOT USED 8 NOT USED 9 NOT USED 0 NOT USED | <ul style="list-style-type: none"> 1 PROVIDE STUCCO KEEL SCREED NOT LESS THAN 4" FROM GRADE. 6" AT GARAGE. 2" AT HARDSCAPE. 2 4 X 4 GALVANIZED SHEET METAL SCRIPPER. REFER TO DETAILS 20 4 25/AD 02 3 20 GA. 60H FLASHING AT WALLS ABOVE ROOF. 4 ELASTOMERIC DOWLING BY DESERT CRETE (100-BSR 166) 5 STEEL RAILING PER DETAIL 6 METAL AWNING 7 VERTICAL EXPANSION JOINT 8 HORIZONTAL EXPANSION JOINT 9 60# SAFELAG 100-BSR 1274 CAP SHEET BUILT UP ROOF TO BE GLASS 'A' ROOFING ASSEMBLY AND COMPLY WITH GFCI STANDARDS AND G20 TABLE 107.1.4.5 0 BUILDING ADDRESS SIGN - TO BE A MINIMUM OF 6-INCHES IN HEIGHT WITH A MINIMUM OF A MINIMUM OF A 6/16-INCH STROKE |
|---|---|



*** PROJECT TEAM ***

<p>APPLICANT CITYMARK DEVELOPMENT 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92103 CONTACT: RUSSELL HALEY TEL: (619) 238-1134</p>	<p>OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101</p>	<p>ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p>
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027</p>	<p>LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 708 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID MCCULLOUGH TEL: (619) 256-3150</p>	

*** PROJECT LOCATION ***

CCS 83 COORDINATE = 1845N-6281E
LAMBERT COORDINATE = 205-1721

<p>Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p> <p>Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101</p> <p>Project Name: 6TH & HAWTHORN</p>	<p>Revision 10: _____</p> <p>Revision 9: _____</p> <p>Revision 8: _____</p> <p>Revision 7: _____</p> <p>Revision 6: _____</p> <p>Revision 5: _____</p> <p>Revision 4: _____</p> <p>Revision 3: _____</p> <p>Revision 2: _____</p> <p>Revision 1: 15/17/2015</p> <p>Original Date: 09/02/2015</p> <p>Sheet 8 of 20</p> <p>PTS# _____</p>
---	---

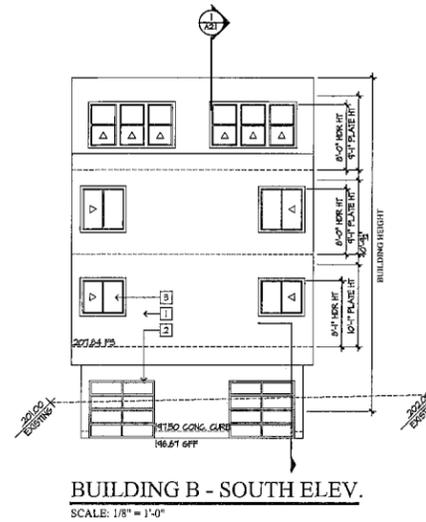
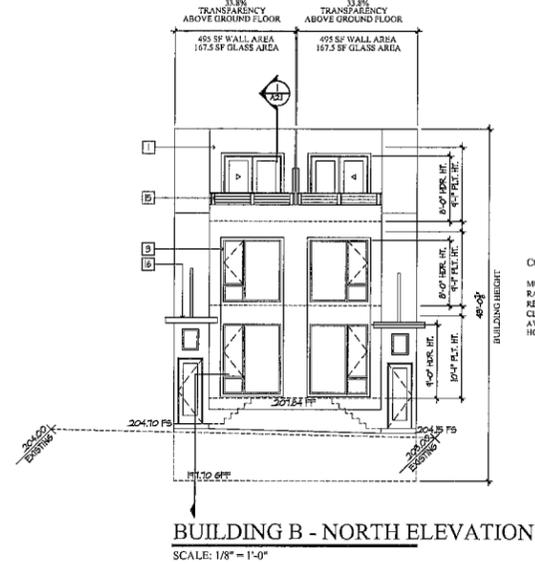
SHEET A1.4

BUILDING A ELEVATIONS

1818 First Avenue, Suite 200
San Diego, CA 92101
Phone: (619) 238-1134

6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT

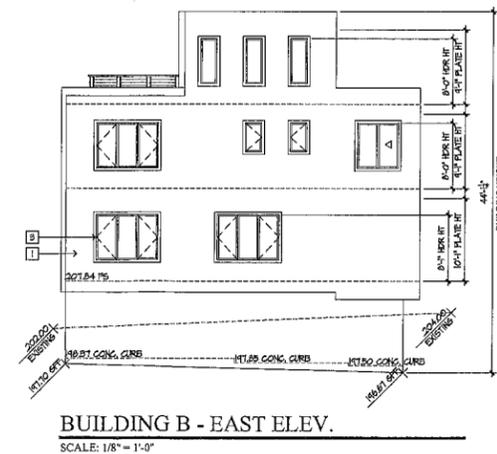
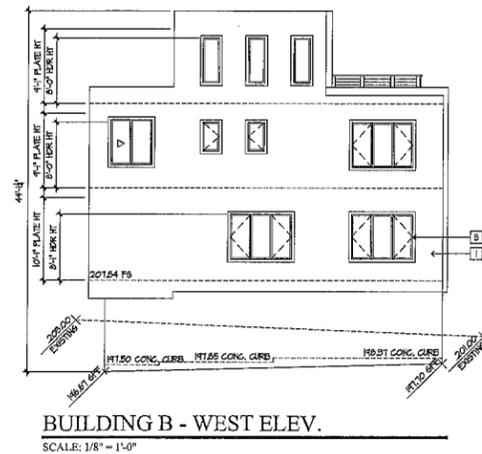


CONTEMPORARY DESIGN ELEMENTS

- MULTIPLE ROOF HEIGHTS
- RAISED ENTRY PORCH NORTHERLY UNIT
- RECESSED WINDOW 2'
- CLEARESTORY WINDOW ABOVE ENTRY DOOR
- AWNING OVER ENTRY DOOR
- HOPPER WINDOWS (INVERTED TRANSOM)

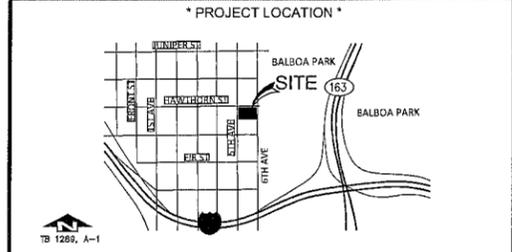
ELEVATION KEYNOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 MIN 1/8" STUCCO EXTERIOR OVER METAL LATH AND (2) LAYERS OF GRADE D PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE. PROVIDE 2# 6A 60M KEEP SCREED PER DETAIL 10/00 OR EQUAL. SEE COLOR SCHEDULE FOR COLOR/TEXTURE. 16/20 SAND WITH A LIGHT LAZE TEXTURE. 2 GARAGE DOOR 3 VINYL CLAD FRAME WINDOWS WITH MANTIN BARS WHERE INDICATED. 4 1/2" ALUMINUM PRE-PAINTED GUTTER OVER 2# RESAWN FASCIA. 5 4" ROUND PRE-PAINTED DOWNSPOUT, TYP. PROVIDE CONCRETE FLASH BLOCK AT DISCHARGE. 6 PROVIDE STUCCO KEEP SCREED NOT LESS THAN 4" FROM GRADE. 6" AT GARAGE, 2" AT HARDSCAPE. 7 NOT USED 8 NOT USED 9 NOT USED 10 NOT USED | <ul style="list-style-type: none"> 11 PROVIDE STUCCO KEEP SCREED NOT LESS THAN 4" FROM GRADE. 6" AT GARAGE, 2" AT HARDSCAPE. 12 4 X 4 GALVANIZED SHEET METAL SCUPPER. REFER TO DETAILS 20 4 25/ADJ.02 13 2# 6A 60M FLASHING AT WALLS ABOVE ROOF. 14 ELASTOMERIC DECKING BY DESERT CRETE (CC-ESR 166) 15 STEEL RAILING PER DETAIL 16 METAL AWNING 17 VERTICAL EXPANSION JOINT 18 HORIZONTAL EXPANSION JOINT 19 6"X 6" (6A) SLASH 100-ESR 1074 CAP SHEET BUILT UP ROOF TO BE GLASS 'A' ROOFING ASSEMBLY AND COMPLY WITH CGC STANDARDS AND CGC TABLE 1074.5 20 BUILDING ADDRESS SIGN - TO BE A MINIMUM OF 6-INCHES IN HEIGHT WITH A MINIMUM OF A MINIMUM OF A 0.15-INCH STROKE |
|--|---|



* PROJECT TEAM *

<p>APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 231-1161</p>	<p>OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101</p>	<p>ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p>
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 3755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027</p>	<p>LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID MCCULLOUGH TEL: (619) 255-3150</p>	



CCS 83 COORDINATE = 1845N-6281E
LAMBERT COORDINATE = 205-1721

<p>Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p> <p>Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101</p> <p>Project Name: 6TH & HAWTHORN</p>	<table border="0"> <tr><td>Revision 10:</td><td>_____</td></tr> <tr><td>Revision 9:</td><td>_____</td></tr> <tr><td>Revision 8:</td><td>_____</td></tr> <tr><td>Revision 7:</td><td>_____</td></tr> <tr><td>Revision 6:</td><td>_____</td></tr> <tr><td>Revision 5:</td><td>_____</td></tr> <tr><td>Revision 4:</td><td>_____</td></tr> <tr><td>Revision 3:</td><td>_____</td></tr> <tr><td>Revision 2:</td><td>_____</td></tr> <tr><td>Revision 1:</td><td>12/17/2015</td></tr> <tr><td>Original Date:</td><td>09/02/2015</td></tr> <tr><td>Sheet</td><td>10 of 20</td></tr> <tr><td>PTSp</td><td>_____</td></tr> </table>	Revision 10:	_____	Revision 9:	_____	Revision 8:	_____	Revision 7:	_____	Revision 6:	_____	Revision 5:	_____	Revision 4:	_____	Revision 3:	_____	Revision 2:	_____	Revision 1:	12/17/2015	Original Date:	09/02/2015	Sheet	10 of 20	PTSp	_____
Revision 10:	_____																										
Revision 9:	_____																										
Revision 8:	_____																										
Revision 7:	_____																										
Revision 6:	_____																										
Revision 5:	_____																										
Revision 4:	_____																										
Revision 3:	_____																										
Revision 2:	_____																										
Revision 1:	12/17/2015																										
Original Date:	09/02/2015																										
Sheet	10 of 20																										
PTSp	_____																										

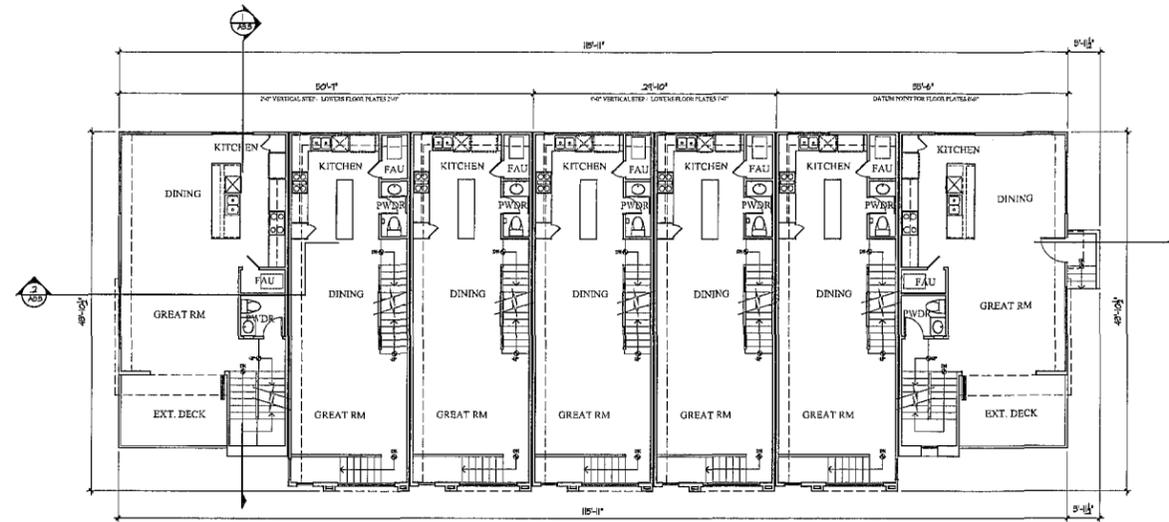
Sheet Title:
BUILDING B ELEVATIONS

SHEET A2.2

1818 First Avenue, Suite 200
San Diego, CA 92101
Phone: (619) 238-1134

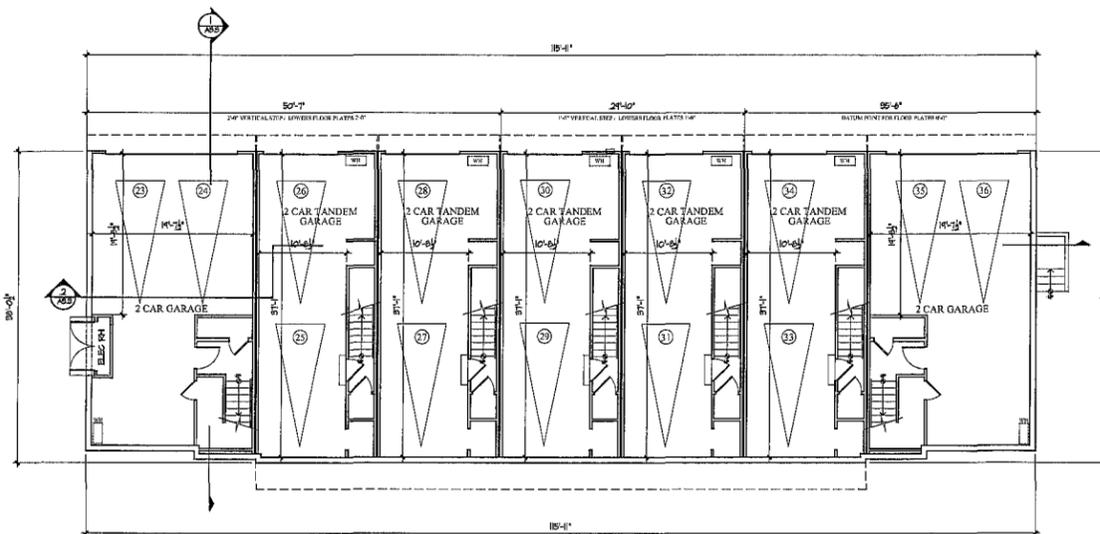
6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



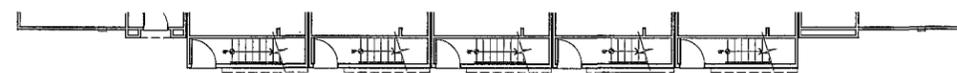
BUILDING C - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
LIVABLE SPACE: 4,549 SQ.FT.



BUILDING C - FIRST FLOOR PLAN

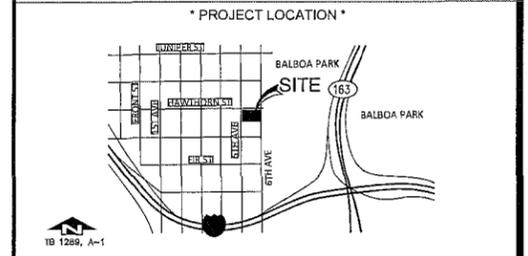
SCALE: 1/8" = 1'-0"



BUILDING C - ENTRY PLAN

SCALE: 1/8" = 1'-0"
LIVABLE SPACE: 615 SQ.FT.
GARAGE: 4,551 SQ.FT.

* PROJECT TEAM *		
APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 735-1161	OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101	ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92103 CONTACT: DAVID MCCULLOUGH TEL: (619) 256-3150	



* PROJECT LOCATION *	
Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134 Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101 Project Name: 6TH & HAWTHORN	CCS 83 COORDINATE = 1845N-6281E LAMBERT COORDINATE = 205-1721 Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: 12/17/2015 Original Date: 09/02/2015 Sheet 11 of 20 PTS# _____ SHEET A3.1 1818 First Avenue, Suite 200 San Diego, CA 92101 Phone: (619) 238-1134

Sheet Title:
**BUILDING C
FLOOR PLANS**

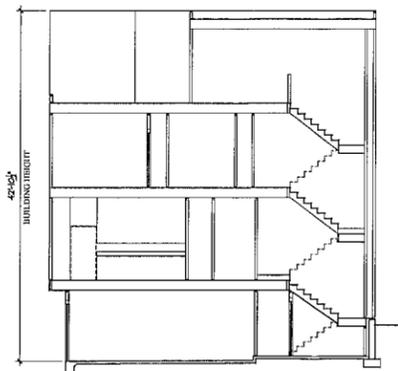
6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



BUILDING C - SECTION
SCALE: 1/4" = 1'-0"

2



BUILDING C - SECTION
SCALE: 1/4" = 1'-0"

1

* PROJECT TEAM *		
APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 238-1134	OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101	ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT McCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID McCULLOUGH TEL: (619) 296-3150	

* PROJECT LOCATION *	
	CCS 83 COORDINATE = 1815N-8281E LAMBERT COORDINATE = 205-1721

Prepared By: THE MCKINLEY ASSOCIATES 1818 FIRST AVENUE, SUITE 200 SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134 Project Address: 525 HAWTHORN STREET SAN DIEGO, CA 92101 Project Name: 6TH & HAWTHORN	Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: 12/17/2015 Original Date: 09/02/2015 Sheet 13 of 20 P.T.S. _____
--	---

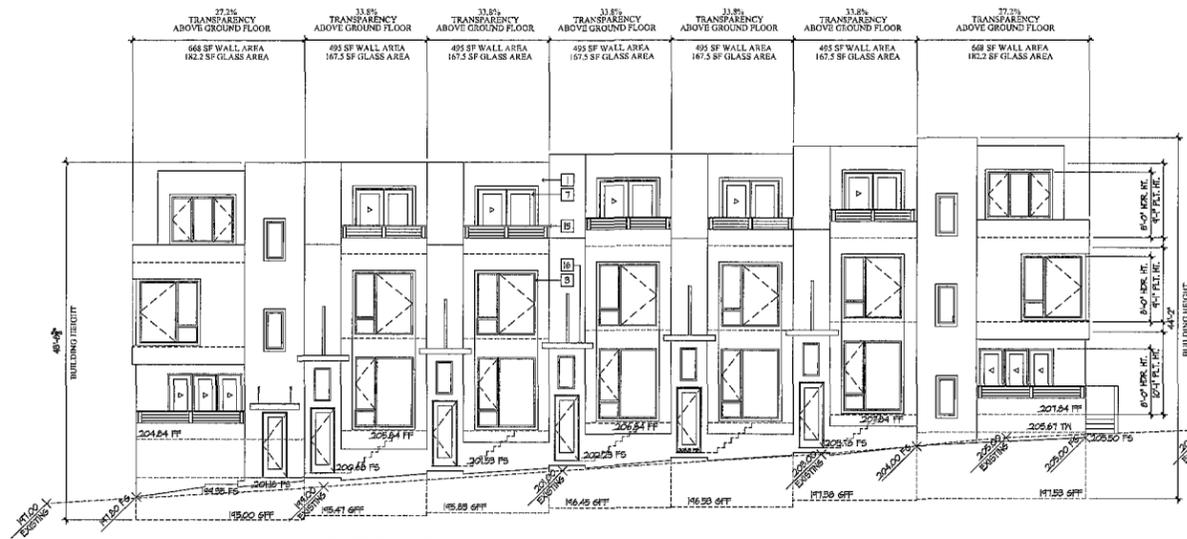
Sheet Title:
BUILDING C SECTIONS

SHEET A3.3

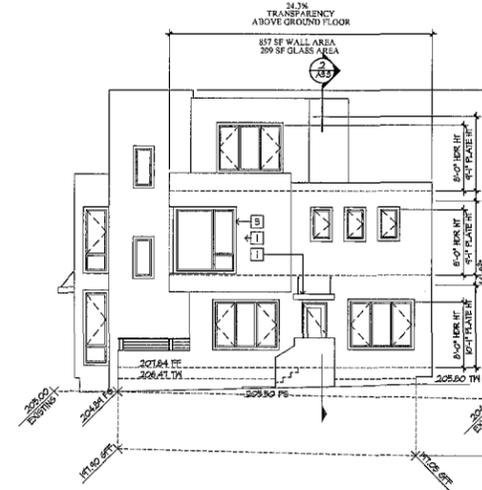
1818 First Avenue, Suite 200
San Diego, CA 92101
Phone: (619) 238-1134

6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



BUILDING C - EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING C - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

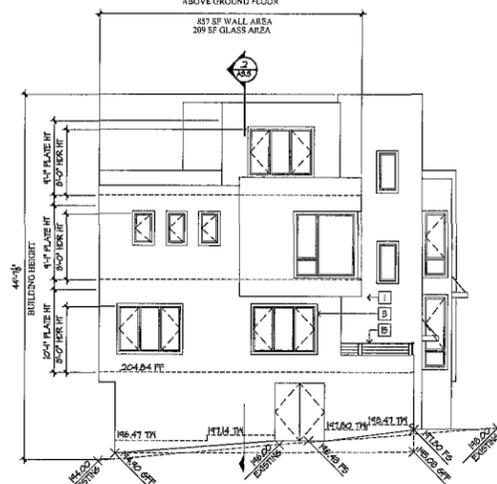
CONTEMPORARY DESIGN ELEMENTS
MULTIPLE ROOF HEIGHTS
RAISED ENTRY PORCH NORTHERLY UNIT
RECESSED WINDOW 2"
CLERESTORY WINDOW ABOVE ENTRY DOOR
WINDOW OVER ENTRY DOOR
CORNER WINDOW (VERTICAL TRANSM)

ELEVATION KEYNOTES

- | | |
|---|--|
| <ul style="list-style-type: none"> 1 MIN 1/8" STUCCO EXTERIOR OVER METAL LATH AND (2) LAYERS OF GRADE 17 PAPER OVER STRUCTURAL SHEATHING PER SHEAR WALL SCHEDULE. PROVIDE 26 GA. 68H KEEPS SCREED PER DETAIL EXPO OR EQUAL. SEE COLOR SCHEMES FOR COLORS TEXTURE. 1/2" SAND WITH A LIGHT LACE TEXTURE. 2 GARAGE DOOR 3 VINYL CLADD FRAME WINDOWS WITH MANTIN BARS WHERE INDICATED. 4 6" HALF ROUND SEAMLESS ALUMINUM PRE-PAINTED SLUTTER OVER 2x REBAR W/ FASCIA. 5 4" ROUND PRE-PAINTED DOWNSPOUT, TYP. PROVIDE CONCRETE FLASH BLOCK AT DISCHARGE. 6 PROVIDE STUCCO KEEPS SCREED NOT LESS THAN 4" FROM GRADE, 6" AT GARAGE, 2" AT HANDSCAPE 7 NOT USED 8 NOT USED 9 NOT USED 10 NOT USED | <ul style="list-style-type: none"> 11 PROVIDE STUCCO KEEPS SCREED NOT LESS THAN 4" FROM GRADE, 6" AT GARAGE, 2" AT HANDSCAPE 12 4 X 4 GALVANIZED SHEET METAL SCOPPER, REFER TO DETAILS 20 1 28/AD 02 13 26 GA. 68H FLASHING AT WALLS ABOVE ROOF. 14 ELASTOMERIC DISKING BY DESERT CRETE (CC-BR 466) 15 STEEL RAILING PER DETAIL 16 METAL AWNING 17 VERTICAL EXPANSION JOINT 18 HORIZONTAL EXPANSION JOINT 19 6x6 WAPALAS ICC-ESR 274 CAP SHEET BUILT UP ROOF TO BE GLASS W/ ROOFING ASSEMBLY AND COMPLETE WITH EGC STANDARDS AND 2x6 TABLE EXPL 1.9 20 BUILDING ADDRESS SIGN - TO BE A MINIMUM OF 6-INCHES IN HEIGHT WITH A MINIMUM OF A MINIMUM OF A 0.75-INCH STROKE |
|---|--|



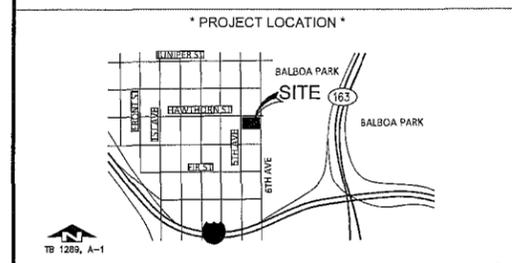
BUILDING C - WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING C - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

*** PROJECT TEAM ***

<p>APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 235-1161</p>	<p>OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101</p>	<p>ARCHITECT THE MCKINLEY ASSOC., INC 2818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 235-1134</p>
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESA BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 514-5027</p>	<p>LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 26TH STREET, SUITE 100 SAN DIEGO, CA 92103 CONTACT: DAVID MCCULLOUGH TEL: (619) 256-3150</p>	



CCS 83 COORDINATE = 1845N-8281E
LAMBERT COORDINATE = 205-1721

Prepared By:
THE MCKINLEY ASSOCIATES
1818 FIRST AVENUE, SUITE 200
SAN DIEGO, CA 92101
CONTACT: KIRK MCKINLEY
TEL: (619) 238-1134

Project Address:
525 HAWTHORN STREET
SAN DIEGO, CA 92101

Project Name:
6TH & HAWTHORN

Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: 12/17/2015

Original Date: 08/02/2015
Sheet 14 of 20
PTSP

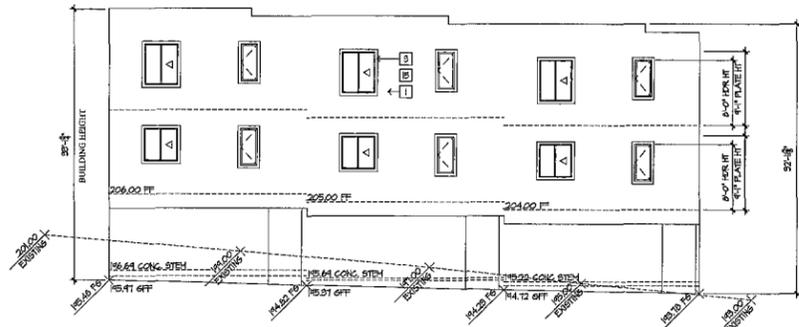
Sheet Title:
BUILDING C ELEVATIONS

SHEET A3.4

1818 First Avenue, Suite 200
San Diego, CA 92101
Phone: (619) 238-1134

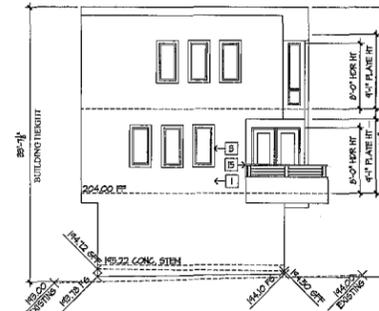
6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



BUILDING D - WEST ELEVATION

SCALE: 1/8" = 1'-0"

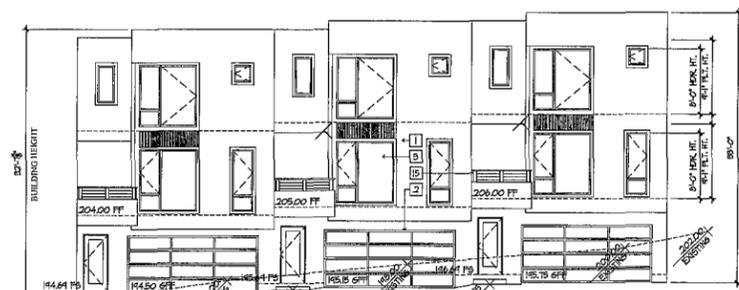


BUILDING D - SOUTH ELEV

SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 MIN 1/8" STUCCO EXTERIOR OVER METAL LATH AND (2) LAYERS OF GRADE 75 PAPER OVER STRUCTURAL SHEATHING PER BEAR WALL SCHEDULE. PROVIDE 26 GA. 60# NEEP SCAFFED PER DETAIL 12110 OR SOAIL. SEE COLOR SCHEDULES FOR COLORES TEXTURE. 1620 SAND WITH A LIGHT LACE TEXTURE. 2 GARAGE DOOR 3 VINYL GLAZO FRAME WINDOWS WITH MUNTIN BARS WHERE INDICATED. 4 6" HALF ROUND SEAMLESS ALUMINUM PRE-PAINTED GUTTER OVER 2x REMAIN FASCIA. 5 4" ROUND PRE-PAINTED DOWNSPOUT, TYP. PROVIDE CONCRETE SPLASH BLOCK AT DISCHARGE. 6 PROVIDE STUCCO KEEP SCAFFED NOT LESS THAN 4" FROM GRADE. 6" AT GARAGE, 2" AT HARDSCAPE 7 NOT USED 8 NOT USED 9 NOT USED 10 NOT USED | <ul style="list-style-type: none"> 11 PROVIDE STUCCO KEEP SCAFFED NOT LESS THAN 4" FROM GRADE. 6" AT GARAGE, 2" AT HARDSCAPE 12 4 X 4 GALVANIZED SHEET METAL SCUPPER. REFER TO DETAILS 2011, 25A/02/22 13 26 GA. 60# FLASHING AT WALLS ABOVE ROOF. 14 ELASTOMERIC DOWLING BY DESERT CRETE (CC-ESR 166) 15 STEEL RAILING PER DETAIL 16 METAL AWNING 17 VERTICAL EXPANSION JOINT 18 HORIZONTAL EXPANSION JOINT 19 6"x6" SIFUPLAS 100-ESR 1274 CAP SHEET BUILT UP ROOF TO BE GLASS W/ ROOFING ASSEMBLY AND COMPLY WITH CBC STANDARDS AND CBC TABLE 0511.4.2 20 BUILDING ADDRESS SIGN - TO BE A MINIMUM OF 6-INCHES IN HEIGHT WITH A MINIMUM OF A MINIMUM OF A 0.15-INCH STROKE |
|--|---|



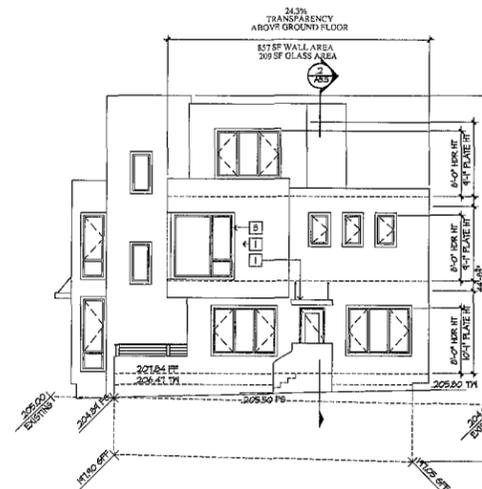
BUILDING D - EAST ELEVATION

SCALE: 1/8" = 1'-0"

CONTEMPORARY DESIGN ELEMENTS

- MULTIPLE ROOF HEIGHTS
- RECESSED WINDOW
- AWNING OVER ENTRY LIVING ROOM WINDOW
- HORIZONTAL WINDOW/INVERTED TRANSOM

AWNING

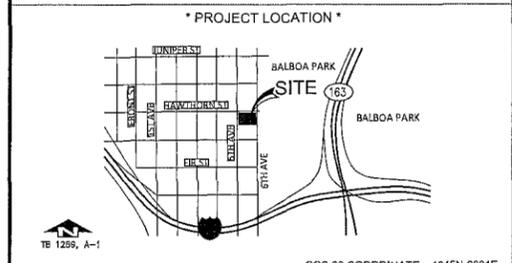


BUILDING C - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

*** PROJECT TEAM ***

<p>APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92109 CONTACT: RUSS HALEY TEL: (619) 231-3161</p>	<p>OWNER 525 HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101</p>	<p>ARCHITECT THE MCKINLEY ASSOC., INC. 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: KIRK MCKINLEY TEL: (619) 238-1134</p>
<p>PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAIREMONT MESA BLVD, SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (619) 614-5027</p>	<p>LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID MCCULLOUGH TEL: (619) 296-3150</p>	



CCS 83 COORDINATE = 1845N-6281E
LAMBERT COORDINATE = 205-1721

Prepared By:
THE MCKINLEY ASSOCIATES
1818 FIRST AVENUE, SUITE 200
SAN DIEGO, CA 92101
CONTACT: KIRK MCKINLEY
TEL: (619) 238-1134

Project Address:
525 HAWTHORN STREET
SAN DIEGO, CA 92101

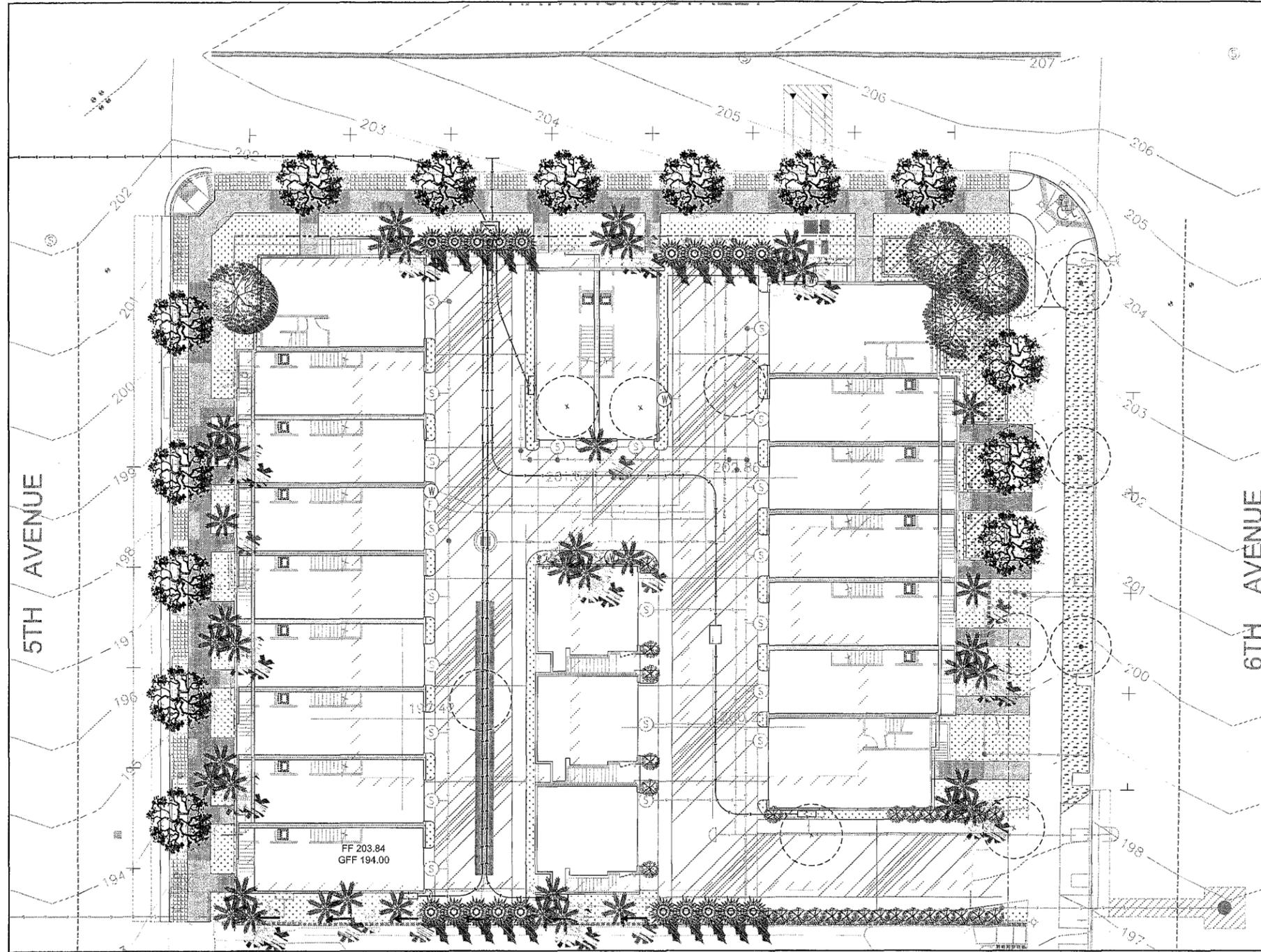
Project Name:
6TH & HAWTHORN

Sheet Title:
BUILDING D ELEVATIONS

<p>Revision 10: _____</p> <p>Revision 9: _____</p> <p>Revision 8: _____</p> <p>Revision 7: _____</p> <p>Revision 6: _____</p> <p>Revision 5: _____</p> <p>Revision 4: _____</p> <p>Revision 3: _____</p> <p>Revision 2: 12/17/2015</p> <p>Original Date: 09/02/2015</p> <p>Sheet 36 of 20</p> <p>PTS# _____</p>	<p>SHEET A4.2</p> <p>1818 First Avenue, Suite 200 San Diego, CA 92101 Phone: (619) 238-1134</p>
---	--

6TH & HAWTHORN

MID-CITY COMMUNITIES DEVELOPMENT PERMIT



CANDIDATE PLANT MATERIAL

TREES	DIMENSIONS	SIZE	FORM and FUNCTION
ACACIA STENOPHYLLA (SHADER TREE ACACIA)	15' SPREAD X 30' HEIGHT	24" BOX	DAT
JACARANDA MIMOSIFOLIA (JACARANDA)	20' SPREAD X 35' HEIGHT	24" BOX	DAT
ARECASTRUM ROMANZOFFIANUM (QUEEN PALM)	12' SPREAD X 35' HEIGHT	N/A	VAP
ARECASTRUM ROMANZOFFIANUM (QUEEN PALM)	12' SPREAD X 35' HEIGHT	10" BTH	VAP
EVERGREEN ACCENT SHRUB			
SYZYGIA COOPERI (AUSTRALIAN TREE FERN)	6-8' HT.	15 GAL	
DRACENA MARGINATA (DRAGON PALM)	6-8' HT.	15 GAL	
BAMBUSA SPP.	10-20' HT.	15 GAL	
FICUS SPP.	8-20' HT.	15 GAL	
EVERGREEN ACCENT SHRUB			
CUPRESSUS SEMPERVIRENS (ITALIAN CYPRUS)	15-30' HT.	15 GAL	
FELICIA SELLOWIANA (PINEAPPLE GUAVA)	6-8' HT., 6" O.C.	15 GAL	ESS
LIGUSTRUM JAPONICUM TEXANUM (TEXAS PRIVET)	3-4' HT., 6" O.C.	15 GAL	ESS
FICUS NITIDA GREEN GEM (GREEN GEM FIG)	3-4' HT., 6" O.C.	15 GAL	ESS
PHOENIX ROEBELENI (PYGMY DATE PALM)	(8' SPREAD)	15 GAL	EAS
RHAPHIOLIS MAJESTIC BEAUTY (INDIA HAWTHORN)	3-4' HT., 6" O.C.	15 GAL	ESS
EVERGREEN BORDER SHRUB/ACCENT SHRUB			
NANDINA DOMESTICA (DW. HEAVENLY BAMBOO)	2-3' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
PITCOPIRIUM CRASSIFOLIUM (DWARF KURO)	2' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
PHORNIUM TEXANUM FLAMINGO (NEW ZEALAND FLAX)	3-4' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
ALOE SPP. (ALOE)	3-4' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
JANPERUS SOLANATA 'BLUE STAR' (DWARF JUMPER)	2-3' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
MYRTUS COMMUNIS 'COMPTON' (DWARF MYRTLE)	2-3' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
EUCONYMUS JAP. 'SILVER PRINCESS' (DWARF EUCONYMUS)	2-3' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
BLUXUS MICROPHYLLA (JAPANESE BOKWOOD)	3' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
GALVA SPP. (GALVA)	3-4' HT., 3" O.C.	50% 1 GAL/50% 5 GAL	EAS
EVERGREEN SCREENING SHRUB			
CARISSA MACROCARPA (NATAL FLUM)	3-4' HT., 6" O.C.	50% 5 GAL/50% 15 GAL	ESS
FELICIA SELLOWIANA (PINEAPPLE GUAVA)	6-8' HT., 6" O.C.	50% 5 GAL/50% 15 GAL	ESS
ORNSIA OCCIDENTALIS (LAVENDER STARBLOOMER)	6-8' HT., 6" O.C.	50% 5 GAL/50% 15 GAL	ESS
LIGUSTRUM JAPONICUM TEXANUM (TEXAS PRIVET)	3-4' HT., 6" O.C.	50% 5 GAL/50% 15 GAL	ESS
FICUS NITIDA GREEN GEM (GREEN GEM FIG)	3-4' HT., 6" O.C.	50% 5 GAL/50% 15 GAL	ESS
PHOENIX ROEBELENI (PYGMY DATE PALM)	(8' SPREAD)	50% 5 GAL/50% 15 GAL	EAS
EVERGREEN GROUND COVER			
MISCANTHUS SPP. (MAIDENHAIR GRASS)	1' HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
CAREX SPP. (SEDGE)	1' HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
DESCHAMPSIA SPP. (TUFTED HAIR GRASS)	8" HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
ARISTIDA PURPUREA (PURPLE THREE AWE)	18" HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
HEUCHERA spp. (CORAL BELLS)	18" HT., 2" O.C.	50% 1 GAL/50% FLATS	EFGC
ALOE VAREGATA (ICEBERG ALOE)	1' HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
ECHINERIA spp. (ECHINERIA)	8" HT., 6" O.C.	50% 1 GAL/50% FLATS	EFGC
CITY APPROVED LID PLANT MATERIAL			
CAREX SPP. (SEDGE)	1' HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
DISTICHLIS SPICATA (SALT GRASS)	8" HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
NAEGLERIA PLICATA (PURP. F. NEEDLE GRASS)	18" HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
POLYSTICHUM MUNITUM (WESTERN SWORD FERN)	18" HT., 2" O.C.	50% 1 GAL/50% FLATS	EFGC
IMMULUS CARDINALIS (MONEY FLOWER)	2' HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
MULLEBERGIA ROSSII (DEER GRASS)	8" HT., 6" O.C.	50% 1 GAL/50% FLATS	EFGC
BOUTELOUA GRAEGLIS (BLUE GRAMA GRASS)	2' HT., 18" O.C.	50% 1 GAL/50% FLATS	EFGC
TURF GRASS			
WARM SEASON OF DROUGHT TOLERANT GRASS BLEND 900			

LONG TERM MAINTENANCE
ALL REQUIRED LANDSCAPE AREAS TO BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPED AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 14 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0405(B)(1).

ROOT BARRIER NOTE
NON-Biodegradable ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES PER LDC 142.0405.

DISTURBED AREA NOTE
ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.0404F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142.0411(A)).

INVASIVE PLANT NOTE
ALL EXISTING, INVASIVE PLANT SPECIES INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE PREMISES WHEN THE COMBINATION OF SPECIES, TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVAD E OTHER AREAS OF NATIVE PLANT MATERIAL THAT ARE ON OR OFF OF THE PREMISES.

UTILITY SCREENING
ALL WATER, SEWER, AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION.

PLANT MATERIAL NEAR SEWER LINES
NO TREE OR SHRUB EXCEEDING 2" IN HEIGHT SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC SEWER FACILITIES.

MULCHING NOTE
ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

DESIGN STATEMENT
THE LANDSCAPE DESIGN INTENT OF THE 6TH AND HAWTHORN DEVELOPMENT IS TO DEVELOP A CREATIVE, COMFORTABLE EXTERIOR ENVIRONMENT FOR THE OWNERS/TENANTS AS AN EXTENSION OF THEIR INTERIOR SPACES UTILIZING DROUGHT TOLERANT, ENVIRONMENTALLY SENSITIVE PLANT MATERIAL AND BUILDING PRODUCTS.

WATER CONSERVATION STATEMENT
IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN SOUTHERN CALIFORNIA, THE FOLLOWING MEASURES WILL BE INDENTIFIED TO REDUCE THE PROJECT'S DEMAND ON THE CITY OF SAN DIEGO'S AVAILABLE WATER SUPPLY:

- THE IRRIGATION SYSTEM WILL BE AUTOMATIC AND WILL INCORPORATE LOW VOLUME SPRAY EMITTERS AND CONVENTIONAL LOW ANGLE SPRAY HEADS. DRIP IRRIGATION SYSTEMS MAY BE EMPLOYED WHERE CONSIDERED TO BE EFFECTIVE AND FEASIBLE. IRRIGATION VALVES SHALL BE SERVICED TO ALLOW FOR THE SYSTEM OPERATION IN RESPONSE TO ORIENTATION AND EXPOSURE.
- TURF WILL BE RESTRICTED TO WALKY WAYS AND STREET FRONT AREAS AND/OR AREAS WHICH MAY RECEIVE SIGNIFICANT AMOUNTS OF USE AND ENJOYMENT BY THE HOTEL GUESTS. THE SPECIFIED TURF WILL HAVE RELATIVELY LOW WATER AND MAINTENANCE REQUIREMENTS. PLANT MATERIAL WILL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST, AND WEST EXPOSURES.
- SOIL WILL BE AMENDED AND PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND COVERAGE AND TO PROVIDE FOR MAXIMUM MOISTURE RETENTION AND REDUCED EVAPORATION FROM THE ROOT ZONE.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR THE PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT OF THE VEGETATION SELECTED.

FIRE NOTE
VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.

EXISTING TREE/LANDSCAPE NOTE
EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:

- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
- STOCKPILING, TOPSOIL, DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
- A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
- ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 90 DAYS OF DAMAGE.

FORM AND FUNCTION ABBREVIATIONS

B/CST	BROAD HEADED CANOPY SHADE TREE
VAT	VERTICAL ACCENT PALM
ESL	EVERGREEN SCREENING TREE
ESS	EVERGREEN SCREENING SHRUB
EAS	EVERGREEN ACCENT SHRUB
EFGC	EVERGREEN FLOWERING GROUND COVER
EFV	EVERGREEN FLOWERING VINE
EFAC	EVERGREEN ACCENT SUCCULENT
DAT	DECIDUOUS ACCENT TREE

*** PROJECT TEAM ***

APPLICANT CITYMARK DEVELOPMENT 3818 PARK BLVD. SAN DIEGO, CA 92103 CONTACT: RUSS HALEY TEL: (619) 238-3161	OWNER 6TH & HAWTHORN STREET, LLC 525 HAWTHORN STREET SAN DIEGO, CA 92101	ARCHITECT THE MCKINLEY ASSOC., INC 1818 FIRST AVE. SAN DIEGO, CA 92101 CONTACT: HIRSH MCKINLEY TEL: (619) 238-1134
PLANNER/CIVIL ENGINEER MICHAEL BAKER INTERNATIONAL 9755 CLAREMONT MESE BLVD., SUITE 100 SAN DIEGO, CA 92124 CONTACT: JEFF BARFIELD TEL: (858) 614-5027	LANDSCAPE ARCHITECT MCCULLOUGH LANDSCAPE ARCHITECTURE 703 16TH STREET, SUITE 100 SAN DIEGO, CA 92101 CONTACT: DAVID MCCULLOUGH TEL: (619) 296-3150	

*** PROJECT LOCATION ***

TO 125E, A-1

Prepared By:
MCCULLOUGH LANDSCAPE ARCH.
703 16TH ST, SUITE 100
SAN DIEGO, CA 92101
CONTACT: DAVID MCCULLOUGH
TEL: (619) 296-3150

Project Address:
525 HAWTHORN STREET
SAN DIEGO, CA 92101

Project Name:
6TH & HAWTHORN

Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____

Original Date: 04/29/2016
Sheet: 20 of 20
PTSP

PLANTING PLAN
SHEET L-4