



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: September 14, 2016 [REPORT NO. HO-16-061](#)

HEARING DATE: September 21, 2016

SUBJECT: WU RESIDENCE - Process Three Decision

PROJECT NUMBER: [361774](#)

OWNER/APPLICANT: James Wu

SUMMARY:

Issue: Should the Hearing Officer approve the demolition of an existing structure and construction of a single dwelling unit at 7615 Hillside Drive in the La Jolla Shores Planned District Single-Family zone of the La Jolla Community Plan?

Staff Recommendation: Approve Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976.

Community Planning Group Recommendation: On July 9, 2014, the La Jolla Community Planning Association voted 12:2:1 to recommend approval of the project.

La Jolla Shores Advisory Board Recommendation: The La Jolla Shores Advisory Board will meet on September 19, 2016, to hear a presentation from the applicant's architect. If the Board has a quorum and takes action, the La Jolla Shores Advisory Board vote will be provided to the decision maker by City staff during the hearing.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 26, 2016, and the opportunity to appeal the determination ended June 10, 2016.

BACKGROUND

The La Jolla Community Plan land use map designates the site for very low density residential development at 0-5 dwelling units per acre (Attachment 1). The site is located at 7615 Hillside Drive in the La Jolla Shores Planned District Single-Family zone (Attachment 2). The site and surrounding properties are developed with single dwelling unit development (Attachment 3).

DISCUSSION

Required Approvals

The Wu Residence project requires a Coastal Development Permit for development within the Coastal Overlay Zone. A Site Development Permit is required for development within the La Jolla Shores Planned District.

Project Description

The Wu Residence project (Project) proposes to demolish the existing single dwelling unit on the site and construct an approximately 7,345-square-foot single dwelling unit structure with a basement, a three vehicle garage, pool, jacuzzi, landscaping, retaining walls and other minor improvements (Attachment 4). The Project would be two stories when viewed from Hillside Drive. The height of the building from Hillside Drive would be twenty-two feet five inches.

The maximum permitted structure height is specified in the applicable zone and defines the upper limits of the building envelope for a site. Within the Coastal Overlay Zone the maximum height is thirty feet. Height is measured vertically from the existing grade or proposed grade, whichever is lower, to form an imaginary plane parallel to grade, below which all buildings and structures must be located. A two-part calculation is required to measure structure height, a plumb line measurement and overall height measurement. The plumb line measurement is the structure height measured from all points on top of a structure to existing grade or proposed grade, whichever is lower, directly below each point. This measurement is taken vertically through the structure at each point where structure height is being measured. The overall structure height is measured from the lowest point of existing grade or proposed grade within five feet of the structure's perimeter (building wall, balcony, bay window, or similar architectural projection) or at the property line, whichever is closer, to the highest point of the structure, projected horizontally to directly above this lowest point of grade. The overall structure height may not exceed the maximum permitted structure height plus an amount equal to either the maximum grade differential within the structure's footprint or ten feet, whichever is less. The structure height shall not exceed the maximum at any one point. The Project does not exceed the maximum height allowed and is consistent with the regulations and the rules for the calculation of height.

The site has areas of both artificial fill and natural slopes of twenty-five percent or greater. That portion of the site with natural slopes does not meet the criteria of the San Diego Municipal Code to be classified as "*Steep Slopes*." These natural slopes are less than fifty vertical feet from top to bottom. All development is proposed within the area previously disturbed by placement of artificial fill and prior development. The areas of the site not previously disturbed would be preserved and provide for brush management Zone Two and revegetation where necessary. Brush management Zone Two is impact neutral and not counted as an impact to the site or diminish the value of the natural slopes.

All development will occur within the previously disturbed area of the site. A Biological Assessment was conducted for the site and prepared in accordance with the City's adopted Biological Guidelines. The conclusion of the assessment is the site contains non-native vegetation and urban disturbed lands and no environmentally sensitive lands. The project does not require any biological mitigation.

No impact to any environmentally sensitive lands will occur with the implementation of the project. The site is physically suitable for the design and siting of the proposed development.

Community Plan Analysis

The La Jolla Community Plan land use map designates the site for very low density residential development at 0-5 dwelling units per acre. The single dwelling unit development on the site will be consistent with the land use designation and density range of 0-5 dwelling units per acre. The Project as proposed conforms to a number of goals included in the Residential Element of the La Jolla Community Plan (adopted 2004). These goals include:

- Provide a high quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space.
- Promote the development of a variety of housing types and styles in La Jolla.
- Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.

The Project is designed to exemplify high quality residential architecture. The design utilizes high quality construction materials, the juxtaposition of form, geometric shapes, colors, and the horizontal and vertical relationship of line and sophistication of simplicity. Furthermore, the Project would contribute toward creating a harmonious visual relationship between new and older structures because it is consistent with the bulk and scale of other surrounding high quality single-family residential homes in the neighborhood and community.

According to the Community Character section of the Residential Element: "Single dwelling unit residential development in La Jolla covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with single dwelling unit development is the relationship between the bulk and scale of infill development to existing single dwelling units. New construction of single dwelling unit homes have tended to be larger in size than the traditional development in some neighborhoods."

The Project would create a development compatible with the existing residential scale of the surrounding neighborhood by constructing a structure less than the maximum height limit allowed, and would be compatible with the existing bulk and scale of the surrounding newer single dwelling unit residences. By complying with the height limits and surrounding scale, the Project would promote good design and would create harmonious visual relationship and transitions between new and older structures in the neighborhood.

The Project would conform to the landscape and streetscape guidelines as identified in the residential element of the La Jolla Community Plan and in Appendix E of the La Jolla Community Plan. The La Jolla Community Plan recommends the application of minimum side and rear yard setback requirements to achieve a separation between structures from adjacent properties in order to prevent a wall effect along the street face as viewed from the public right-of-way. Furthermore, side yard setbacks should be incrementally increased for wider lots. The Project would implement these recommendations by complying with the average setbacks within the neighborhood as

allowed by the La Jolla Shores Planned District. In consideration of all the foregoing, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program. Therefore, the proposed development will not adversely affect the applicable land use plan.

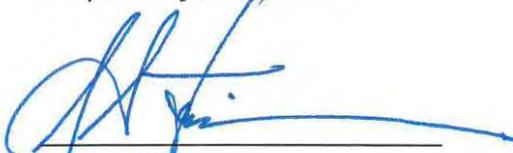
Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings (Attachment 5) and draft conditions (Attachment 6) to support approval of the Project. Staff recommends the Hearing Officer approve the Project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976, with modifications.
2. Deny Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



John S. Fisher
Development Project Manager

Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph
4. Proposed Site Plan
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. La Jolla Community Planning Association recommendation
8. Ownership Disclosure Statement
9. Remaining Project Plans
10. Project Data Sheet



Legend

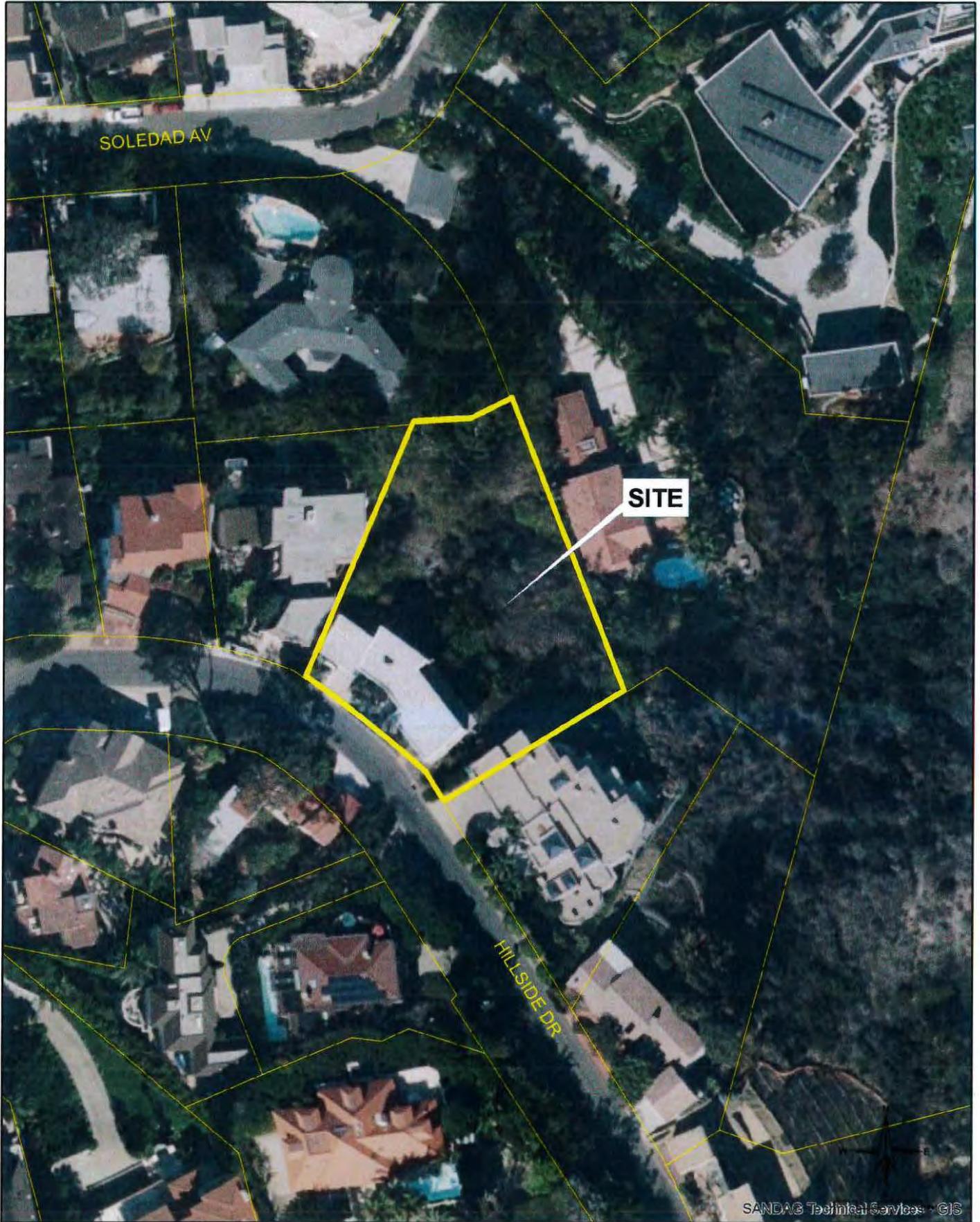
- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial
- Parks, Open Space
- Schools
- Cultural Complex
- Community Facilities



Community Land Use Map



La Jolla Community Plan
City of San Diego Planning Department



SANDAG Technical Services - GIS

Document Path: L:\GIS\POI\Community Planning\LA Jobs\CA_PROJECTS\LA_38205110_AerialMap.mxd
Date: 8/3/2016

SANGIS
 SanGIS is a web-based GIS application that provides a user-friendly interface for viewing and analyzing geographic information. It is designed to be used by a wide range of users, from casual viewers to power users. The application is built on a robust architecture that ensures high performance and scalability. It supports a variety of data sources and provides a rich set of tools for data manipulation and analysis. The application is easy to use and provides a consistent user experience across all devices. It is a powerful tool for managing and analyzing geographic information.

GENERAL NOTES

- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- EASEMENTS PER COUNTY RECORDER SEE CIVIL
- 3' HEIGHT RESTRICTION PER LOCAL CODE

LEGEND

- NEW BUILDING
- EXISTING RETAINING WALL
- EXISTING GRADE

1. SEE SHEET C-1 (GRADING & DRAINAGE) FOR ALL EXISTING AND PROPOSED UTILITIES ON THE SITE OR IN THE ADJACENT RIGHT OF WAY.
2. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-28-4
3. NO EXISTING BUS STOPS
4. NO FIRE HYDRANTS WITHIN 400 FEET

WU Residence
 7615 HILLSIDE DR., LA JOLLA, CA

REVISION DATE DESCRIPTION

REVISION DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

03/15/2014

SHEET NAME

SITE PLAN

A-1.1



1" = 10'

HEARING OFFICER RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 1272975
AND SITE DEVELOPMENT PERMIT NO. 1272976
WU RESIDENCE PROJECT NO. 361774

WHEREAS, JAMES SHYI-YUAN WU AND CATHY HUA-YING WU, husband and wife as joint tenants, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing structure and construct an approximately 7,345 square-foot two-story single-family dwelling unit with basement, a three-vehicle garage, pool, jacuzzi, landscaping, retaining walls and other minor improvements (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit Nos. 1272975 and 1272976), on portions of a 0.52-acre site;

WHEREAS, the project site is located at 7615 Hillside Drive in the La Jolla Shores Planned District Single-Family Zone of the La Jolla Community Plan;

WHEREAS, the project site is legally described as that portion of Lot 53 of La Jolla Hills, according to Map thereof No. 1479, filed October 10, 1912, lying easterly of a line described as follow: commencing at a point on the southwesterly line of Lot 53 which is 54.00 feet southeasterly, measured along said southwesterly line from the southwesterly corner of said lot; thence northeasterly in a straight line to a point in the northerly line of said lot which is 35.00 feet westerly from the northeasterly corner of said lot, together with the portion of the westerly half of Soledad Avenue as vacated and closed to public use immediately adjoining the above described land on the east;

WHEREAS, on September 21, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on May 26, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated September 21, 2016.

FINDINGS:

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The Wu Residence project (Project) will demolish the existing single dwelling unit on the site and construct an approximately 7,345-square-foot single dwelling unit structure with a basement, a three vehicle garage, pool, jacuzzi, landscaping, retaining walls and other minor improvements. The La Jolla Community Plan land use map designates the site for very low density residential development at 0-5 dwelling units per acre. The

single dwelling unit development on the site will be consistent with the land use designation and density range of 0-5 dwelling units per acre. The Project as proposed conforms to a number of goals included in the Residential Element of the La Jolla Community Plan (adopted 2004). These goals include:

- Provide a high quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space.
- Promote the development of a variety of housing types and styles in La Jolla.
- Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.

The Project is designed to exemplify high quality residential architecture. The design utilizes high quality construction materials, the juxtaposition of form, geometric shapes, colors, and the horizontal and vertical relationship of line and sophistication of simplicity. Furthermore, the Project would contribute toward creating a harmonious visual relationship between new and older structures because it is consistent with the bulk and scale of other surrounding high quality single family residential homes in the neighborhood and community.

According to the Community Character section of the Residential Element: "Single dwelling unit residential development in La Jolla covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with single dwelling unit development is the relationship between the bulk and scale of infill development to existing single dwelling units. New construction of single dwelling unit homes have tended to be larger in size than the traditional development in some neighborhoods."

The Project would create a development compatible with the existing residential scale of the surrounding neighborhood by constructing a structure less than the maximum height limit allowed, and would be compatible with the existing bulk and scale of the surrounding newer single-family residences. By complying with the height limits and surrounding scale, the Project would promote good design and would create harmonious visual relationship and transitions between new and older structures in the neighborhood.

The Project would conform to the landscape and streetscape guidelines as identified in the residential element of the La Jolla Community Plan and in Appendix E of the La Jolla Community Plan. The La Jolla Community Plan recommends the application of minimum side and rear yard setback requirements to achieve a separation between structures from adjacent properties in order to prevent a wall effect along the street face as viewed from the public right-of-way. Furthermore, side yard setbacks should be incrementally increased for wider lots. The Project would implement these recommendations by complying with all required setbacks. In consideration of all the foregoing, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the Project for this site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff, and the inspection of

construction to assure construction permits are implemented in accordance with the approved plans, and that the final construction will comply with all regulations. Therefore, the proposed development will not be detrimental to the health, safety, or general welfare of persons residing or working in the area.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The Project complies with all the relevant, applicable development regulations of the La Jolla Shores Planned District. The Project does not require any deviations or a variance. Therefore, the Project will comply with all relevant regulations of the Land Development Code.

Coastal Development Permit - Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The site is located at 7615 Hillside Drive in the La Jolla Shores Planned District Single-Family Zone of the La Jolla Community Plan area. The site at 7615 Hillside Drive is 0.44 miles or 2,335 feet in a straight line from the Pacific Ocean coastline and is not identified by the La Jolla Community Plan as having any existing physical accessway legally used by the public or any proposed public accessway in the Local Coastal Program land use plan. There are no public views to the Pacific Ocean shoreline or along the ocean and or other scenic coastal areas as specified in the Local Coastal Program land use plan from the site. From the site at 7615 Hillside Drive there are no existing views of the ocean and no such views are identified by the La Jolla Community Plan as the Local Coastal Program land use plan, therefore the project cannot enhance and/or protect views which does not exist. As such the Project will have no effect upon the public access and public recreation policies of Chapter 3 of the California Coastal Act. Therefore, the proposed coastal development will not encroach upon any existing physical accessway legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan; and the proposed coastal development will have no effect upon public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The site is located at 7615 Hillside Drive in the La Jolla Shores Planned District Single-Family Zone of the La Jolla Community Plan area. The site is within an urbanized area of the city developed with residential uses. The site has areas of both artificial fill and natural slopes of twenty-five percent or greater. The site contains no environmentally sensitive lands. All development is proposed within the area previously disturbed by placement of artificial fill and prior development. The areas of the site not previously disturbed would be preserved and provide for brush management Zone Two and revegetation where necessary. Brush management Zone Two is impact neutral and not counted as an impact to the site or the value of the natural slopes. The site has areas of both artificial fill and natural slopes of twenty-five percent or greater. That portion of the site with natural slopes does not meet the criteria of the San Diego Municipal Code to be classified as "Steep Slopes." These slopes are less than fifty vertical feet from top to bottom. All development is proposed within the area previously disturbed by placement of artificial fill and prior development. A Biological Assessment was conducted for the site and prepared in accordance with the City's adopted Biological Guidelines. The conclusion of the assessment is the site contains non-native vegetation and urban

disturbed lands and no environmentally sensitive lands. The project does not require any biological mitigation. No impact to any environmentally sensitive lands will occur with the implementation of the project. The site is not within or adjacent to the Multi-Habitat Planning Area. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The La Jolla Community Plan land use map designates the site for very low density residential development at 0-5 dwelling units per acre. The single dwelling unit development on the site will be consistent with the land use designation and density range of 0-5 dwelling units per acre. The adopted La Jolla Community Plan designates this site for residential use and the Project is consistent with this use. The Project as proposed conforms to a number of goals included in the Residential Element of the La Jolla Community Plan (adopted 2004). These goals include:

- Provide a high quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space.
- Promote the development of a variety of housing types and styles in La Jolla.
- Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures

The Project is designed to exemplify high quality residential architecture. The design utilizes high quality construction materials, the juxtaposition of form, geometric shapes, colors, and the horizontal and vertical relationship of line and sophistication of simplicity. Furthermore, the Project would contribute toward creating a harmonious visual relationship between new and older structures because it is consistent with the bulk and scale of other surrounding high quality single family residential homes in the neighborhood and community.

According to the Community Character section of the Residential Element: "Single dwelling unit residential development in La Jolla covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with single dwelling unit development is the relationship between the bulk and scale of infill development to existing single dwelling units. New construction of single dwelling unit homes have tended to be larger in size than the traditional development in some neighborhoods."

The Project would create a development compatible with the existing residential scale of the surrounding neighborhood by constructing a structure less than the maximum height limit allowed, and would be compatible with the existing bulk and scale of the surrounding newer single family residences. By complying with the height limits and surrounding scale, the Project would promote good design and would create harmonious visual relationship and transitions between new and older structures in the neighborhood.

The Project would conform to the landscape and streetscape guidelines as identified in the residential element of the La Jolla Community Plan and in Appendix E of the La Jolla Community Plan. The La Jolla Community Plan recommends the application of minimum side and rear yard setback requirements to achieve a separation between structures from adjacent properties in order to prevent a wall effect along the street face as viewed from the public right-of-way. Furthermore, side yard setbacks should be incrementally increased for wider lots. The Project would implement these recommendations by complying with all required setbacks. Therefore, in consideration of all the foregoing, the proposed development is in

conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed demolition of the existing single dwelling unit and construction of a new single dwelling unit conforms to the La Jolla Community Plan and all adopted relevant policies within the La Jolla Community Plan. The Project will be consistent with all regulations of the La Jolla Shores Planned District Single Family Zone as these regulations implement the regulations of the certified Implementation Program. The Project requires no deviations or variance to approve the Project as proposed. Therefore, in consideration of all the foregoing, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The site, located at 7615 Hillside Drive, is 0.44 miles or 2,335 feet in a straight line from the Pacific Ocean coastline and is not between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. As such the Project will have no effect upon the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1272975 and 1272976, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: September 21, 2016

Job Order No. 24004497

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004497

COASTAL DEVELOPMENT PERMIT NO. 1272975
AND SITE DEVELOPMENT PERMIT NO. 1272976
WU RESIDENCE PROJECT NO. 361774
HEARING OFFICER

This Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976 is granted by the Hearing Officer of the City of San Diego to JAMES SHYI-YUAN WU AND CATHY HUA-YING WU, husband and wife as joint tenants, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 1510.0101, et al, 126.0708 and 126.0504. The 0.52-acre site is located at 7615 Hillside Drive in the La Jolla Shores Planned District Single-Family Zone of the La Jolla Community Plan. The project site is legally described as that portion of Lot 53 of La Jolla Hills, according to Map thereof No. 1479, filed October 10, 1912, lying easterly of a line described as follow: commencing at a point on the southwesterly line of Lot 53 which is 54.00 feet southeasterly, measured along said southwesterly line from the southwesterly corner of said lot; thence northeasterly in a straight line to a point in the northerly line of said lot which is 35.00 feet westerly from the northeasterly corner of said lot, together with the portion of the westerly half of Soledad Avenue as vacated and closed to public use immediately adjoining the above described land on the east.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing structure and construct an approximately 7,345 square foot, two-story single-family dwelling unit with basement, a three-vehicle garage, pool, jacuzzi, landscaping, retaining walls and other minor improvements described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 21, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolish an existing structure and construct an approximately 7,345 square foot, two-story single-family dwelling unit with basement, a three vehicle garage, pool, jacuzzi, landscaping, retaining walls and other minor improvements;

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 6, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 1,132 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with

the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the enhanced paving, non-standard driveway, private storm drain, free standing walls, landscape and irrigation located within Hillside Drive right-of-way and public easement, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan. The Water Pollution Control Plan shall be prepared in accordance with current City Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of construction permits for grading, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A," on file in the Office of the Development Services Department.

19. Prior to issuance of construction permits for grading or building, the Owner/Permittee shall submit a landscape plan consistent with Approved Exhibit "A." The planting plan shall show the required thirty percent landscaped area in a crosshatch pattern and labeled "Landscape Area" [LDC 1510.0304(h)].

20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be

maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

21. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within thirty days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

22. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A," on file in the Office of the Development Services Department:

- a. Within Zone One, combustible accessory structures, including, but not limited to decks, trellises, gazebos, et cetera, shall not be permitted while non-combustible, one hour fire-rated, or heavy timber construction accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.
- b. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, fifty percent of the planting area shall be seeded with material that does not grow taller than twenty-four inches.

PLANNING/DESIGN REQUIREMENTS:

23. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 21, 2016 by Resolution HO-014-XX.

DRAFT

Permit Type/PTS Approval No.: CDP No. 1272975 and SDP No. 1272976
Date of Approval: September 21, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

DRAFT

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

JAMES SHYI-YUAN WU AND CATHY HUA-YING WU, husband and wife as joint tenants
Owner/Permittee

By _____
James Shyi-Yuan Wu
Owner

JAMES SHYI-YUAN WU AND CATHY HUA-YING WU, husband and wife as joint tenants
Owner/Permittee

By _____
Cathy Hua-Ying Wu
Owner

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



P.O. BOX 889
LA JOLLA
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900
<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Special Meeting – 9 July 2014

Attention: John S. Fisher, PM, City of San Diego

Project: Wu Residence
7615 Hillside Drive
PN: 361774

Motion: To support the action of the PRC that: **Vote: 12-2-1**
“Findings can be made for a Coastal
Development Permit and a Site
Development Permit to demolish the existing
structure and construct a 7,345 sq ft house
at 7615 Hillside Drive, Project No. 361774,
based on plans presented today, dated
March 15, 2014.”

Submitted by:

Joseph LaCava

9 July 2014

Joe LaCava, President
La Jolla CPA

Date



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title **Project No. For City Use Only**
 Wu Residence 361774

Project Address:
 7615 Hillside Drive, La Jolla, CA. 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 James Shy-Yuan Wu and Cathy Ying Wu
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
 1521 Nautilus Street
City/State/Zip:
 La Jolla, CA. 92037
Phone No: 858-456-4571 **Fax No:**
Signature: *[Signature]* **Date:** 3/5/14

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: **Fax No:**
Signature: **Date:**

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: **Fax No:**
Signature: **Date:**

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: **Fax No:**
Signature: **Date:**



RECORDING REQUESTED BY:

Taylor Escrow, Inc

Order No. 4165352 73713014232

Escrow No. 13-7761-WM

Parcel No. 352-051-10

Handwritten initials: P6, P7, P8

NOV 18, 2013 4:16 PM

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
Ernest J. Dronenburg, Jr., COUNTY RECORDER
FEES: 1536.00
OC: OC

AND WHEN RECORDED MAIL TO:

James-Shyi-Yuan Wu & Cathy Hua-Ying Wu
1521 Nautilus Street
La Jolla, CA 92037

PAGES: 2



GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) THAT DOCUMENTARY TRANSFER TAX IS \$1,518.00 and CITY \$0

- computed on full value of property conveyed, or
- computed on full value less liens or encumbrances remaining at the time of sale.
- unincorporated area: La Jolla, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
NRES-CA-LLC, a California Limited Liability Company

hereby GRANT(S) to James Shyi-Yuan Wu and Cathy Hua-Ying Wu, husband and wife as joint
tenants
the following described real property in the County of San Diego, State of California:

COMMONLY KNOWN AS: 7615 Hillside Drive, La Jolla, CA 92037
Complete legal description attached hereto and made a part hereof as Exhibit "A".
Date November 4, 2013

NRES-CA-LLC

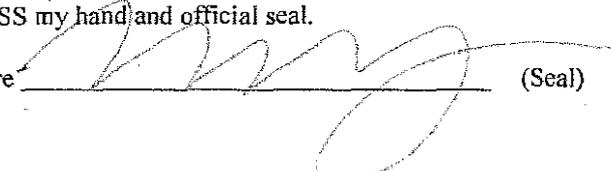
By: 
Jeremy Page, Member

STATE OF CALIFORNIA)
) S.S.
COUNTY OF Orange)

On November 5, 2013, before me, Fulees Vong, Notary Public,
personally appeared Jeremy Page who proved to me on the basis of
satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and
acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by
his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted,
executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



LEGAL DESCRIPTION

Real property in the City of LA JOLLA, County of San Diego, State of California, described as follows:

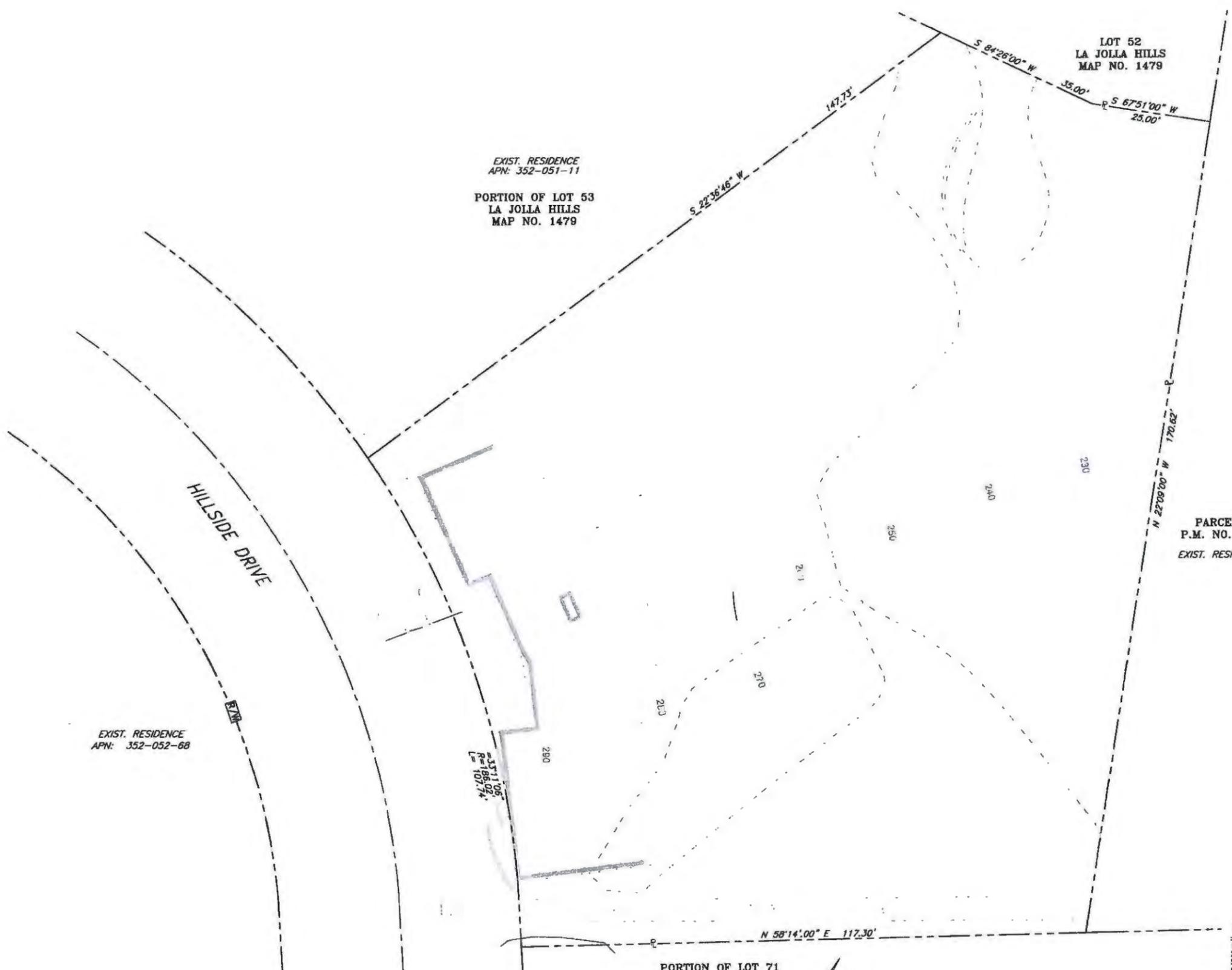
THAT PORTION OF LOT 53 OF LA JOLLA HILLS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1479, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 10, 1912, LYING EASTERLY OF A LINE DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHWESTERLY LINE OF LOT 53 WHICH IS 54.00 FEET SOUTHEASTERLY, MEASURED ALONG SAID SOUTHWESTERLY LINE FROM THE SOUTHWESTERLY CORNER OF SAID LOT; THENCE NORTHEASTERLY IN A STRAIGHT LINE TO A POINT IN THE NORTHERLY LINE OF SAID LOT WHICH IS 35.00 FEET WESTERLY FROM THE NORTHEASTERLY CORNER OF SAID LOT, TOGETHER WITH THE PORTION OF THE WESTERLY HALF OF SOLEDAD AVENUE AS VACATED AND CLOSED TO PUBLIC USE IMMEDIATELY ADJOINING THE ABOVE DESCRIBED LAND ON THE EAST.

APN: 352-051-10-00



WU Residence
7615 HILLSIDE DR, LA JOLLA, CA



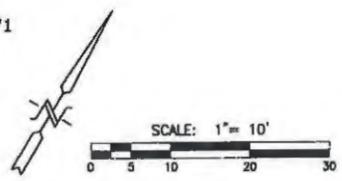
EXIST. RESIDENCE
APN: 352-051-11
PORTION OF LOT 53
LA JOLLA HILLS
MAP NO. 1479

LOT 52
LA JOLLA HILLS
MAP NO. 1479

PARCEL 2
P.M. NO. 3485
EXIST. RESIDENCE

EXIST. RESIDENCE
APN: 352-052-68

PORTION OF LOT 71
LA JOLLA HILLS
MAP NO. 1479



REC Civil Engineering-Environmental
2442 Second Avenue
San Diego, CA 92101
(619)232-9230 (619)232-9210 Fax
Consultants, Inc.

ENGINEER OF WORK

REC CONSULTANTS, INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
PH. (619) 232-9200

BRUCE A. ROBERTSON R.C.E. 48529 DATE
EXPRES ON 6/30/16



REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

07/20/2015

PRINCIPAL IN CHARGE

EXISTING TOPOGRAPHY

T-2



OWNER/APPLICANT

JAMES SHY-RUAN WU
1521 NAUTILUS STREET
LA JOLLA, CA 92037

APN

352-051-10

LEGAL DESCRIPTION

THAT PORTION OF LOT 53 OF LA JOLLA HILLS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1479 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 10, 1912, LYING EASTERLY OF A LINE DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHWESTERLY LINE OF LOT 53 WHICH IS 54.00 FEET SOUTHEASTERLY, MEASURED ALONG SAID SOUTHWESTERLY LINE FROM THE SOUTHWESTERLY CORNER OF SAID LOT; THENCE NORTHEASTERLY IN A STRAIGHT LINE TO A POINT IN THE NORTHERLY LINE OF SAID LOT WHICH IS 35.00 FEET WESTERLY FROM THE NORTHEASTERLY CORNER OF SAID LOT; TOGETHER WITH THE PORTION OF THE WESTERLY HALF OF SOLEDAD AVENUE AS VACATED AND CLOSED TO PUBLIC USE IMMEDIATELY ADJOINING THE ABOVE DESCRIBED LAND ON THE EAST.

SITE AREA

0.52 ACRES

GRADING TABULATION

AMOUNT OF DISTURBANCE AREA: 4,950 SF
HEIGHT OF CUT/FILL: CUT: 13' FILL: 1'
AMOUNT OF CUT: 1,140 CY
AMOUNT OF FILL: 8 CY
AMOUNT OF IMPORT/EXPORT OF SOIL: 1,132 CY EXPORT

TOPOGRAPHY SOURCE

FIELD SURVEY DATED FEBRUARY 6, 2014 BY:
REC CONSULTANTS, INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
(619) 232-9200

BENCH MARK

CITY OF SAN DIEGO VERTICAL BENCHMARK SWBP,
LOCATED AT THE INTERSECTION OF HILLSIDE DRIVE &
SOLEDAD AVENUE
ELEV: 228.895 M.L.S.

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS THE CENTERLINE OF HILLSIDE DRIVE AS SHOWN ON PARCEL MAP NO. 14727.

N 31°43'22" W

CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

- 1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.
- 2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.

NOTES:

- 1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 2. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

07/20/2015

PRINCIPAL IN CHARGE

GRADING & DRAINAGE

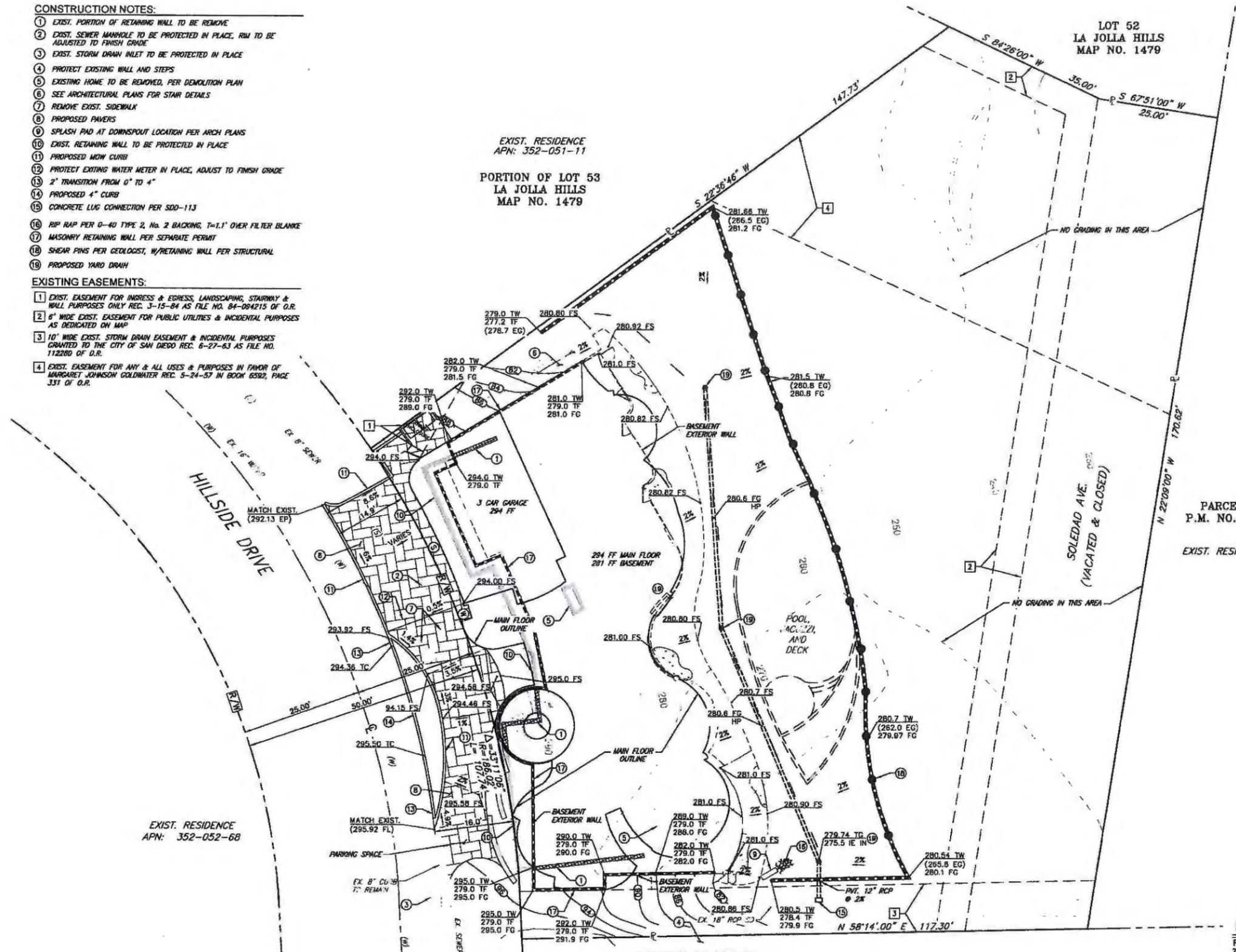
C-1

CONSTRUCTION NOTES:

- 1 EXIST. PORTION OF RETAINING WALL TO BE REMOVE
- 2 EXIST. SEWER MANHOLE TO BE PROTECTED IN PLACE, RM TO BE ADJUSTED TO FINISH GRADE
- 3 EXIST. STORM DRAIN INLET TO BE PROTECTED IN PLACE
- 4 PROTECT EXISTING WALL AND STEPS
- 5 EXISTING HOME TO BE REMOVED, PER DEMOLITION PLAN
- 6 SEE ARCHITECTURAL PLANS FOR STAIR DETAILS
- 7 REMOVE EXIST. SIDEWALK
- 8 PROPOSED PAVERS
- 9 SPLASH PAD AT DOWNSPOUT LOCATION PER ARCH PLANS
- 10 EXIST. RETAINING WALL TO BE PROTECTED IN PLACE
- 11 PROPOSED MOW CURB
- 12 PROTECT EXISTING WATER METER IN PLACE, ADJUST TO FINISH GRADE
- 13 2" TRANSITION FROM 0" TO 4"
- 14 PROPOSED 4" CURB
- 15 CONCRETE LUG CONNECTION PER SDD-113
- 16 RIP RAP PER 0-40 TYPE 2, No. 2 BACKING, T=1.1' OVER FILTER BLANKET
- 17 MASONRY RETAINING WALL PER SEPARATE PERMIT
- 18 SHEAR PINS PER GEOLOGIST, W/RETAINING WALL PER STRUCTURAL
- 19 PROPOSED YARD DRAIN

EXISTING EASEMENTS:

- 1 EXIST. EASEMENT FOR INGRESS & EGRESS, LANDSCAPING, STAIRWAY & WALL PURPOSES ONLY REC. 3-15-84 AS FILE NO. 84-084215 OF D.R.
- 2 6" WIDE EXIST. EASEMENT FOR PUBLIC UTILITIES & INCIDENTAL PURPOSES AS DEDICATED ON MAP
- 3 10' WIDE EXIST. STORM DRAIN EASEMENT & INCIDENTAL PURPOSES GRANTED TO THE CITY OF SAN DIEGO REC. 8-27-83 AS FILE NO. 112280 OF D.R.
- 4 EXIST. EASEMENT FOR ANY & ALL USES & PURPOSES IN FAVOR OF MARGARET JOHNSON GOLDWATER REC. 5-24-57 IN BOOK 6392, PAGE 331 OF D.R.



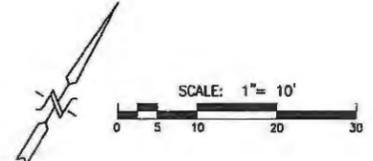
EXIST. RESIDENCE
APN: 352-051-11
PORTION OF LOT 53
LA JOLLA HILLS
MAP NO. 1479

SOLEDAD AVE. (VACATED & CLOSED)

PARCEL 2
P.M. NO. 3485
EXIST. RESIDENCE

PORTION OF LOT 71
LA JOLLA HILLS
MAP NO. 1479

EXIST. RESIDENCE
APN: 352-052-68



REC CONSULTANTS, INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
PH. (619) 232-9200

ENGINEER OF WORK

REC CONSULTANTS, INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
PH. (619) 232-9200

BRUCE A. ROBERTSON R.C.E. 48529 DATE





WU Residence
7615 HILLSIDE DR. LA JOLLA, CA

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

07/20/2015

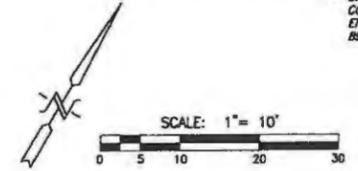
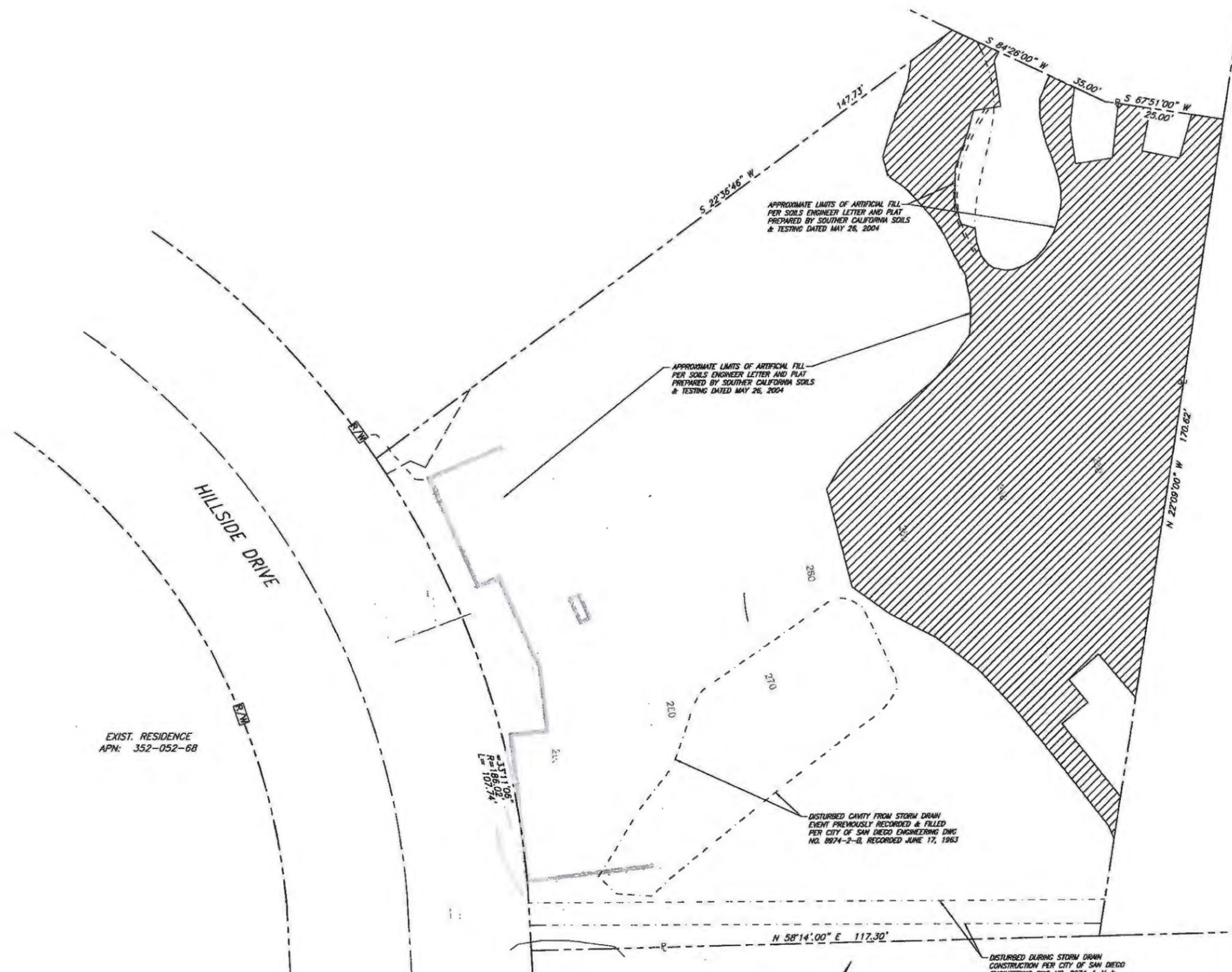
PRINCIPAL IN CHARGE

STEEP HILLSIDE ANALYSIS

C-3

STEEP HILLSIDE ANALYSIS DATE

DESCRIPTION	AREA	% OF SITE	SYMBOL
DISTURBED SLOPES OR SLOPES LESS THAN 25%	16,225 SF	72%	
NATURAL SLOPES GREATER THAN 25%	6,530 SF	28%	



REC Civil Engineering-Environmental
2442 Second Avenue
San Diego, CA 92101
(619)232-1130 (619)232-1210 Fax

ENGINEER OF WORK
REC CONSULTANTS, INC.
2442 SECOND AVENUE
SAN DIEGO, CA 92101
PH. (619) 232-9200

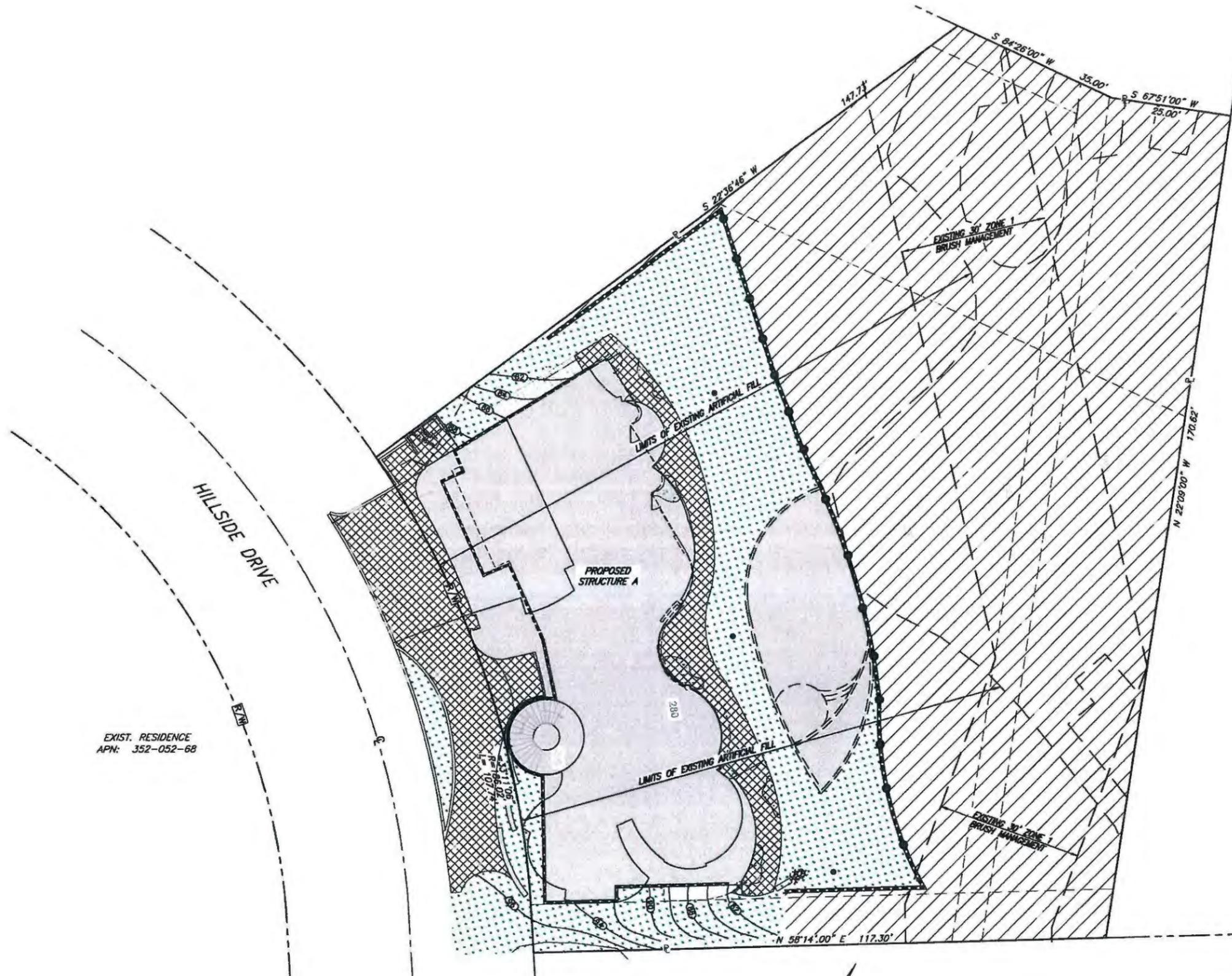
BRUCE A. ROBERTSON R.C.E. 48529 DATE
EXPIRES ON 6/30/16





1 419 828345 F 619 888244
 P O Box 84180 San Diego Ca 92118
 office@cdgi.com www.cdgi.com

WU Residence
 7615 HILLSIDE DR. LA JOLLA, CA



EXIST. RESIDENCE
 APN: 352-052-68

LOT COVERAGE ANALYSIS

LOT COVERAGE ANALYSIS PER SAN DIEGO MUNICIPAL CODE 113.0240:
 "LOT COVERAGE IS CALCULATED BY DIVIDING THE SQ. FT. OF THE
 STRUCTURE'S FOOTPRINT, MEASURED FROM THE OUTER SURFACE OF
 THE EXTERIOR WALLS OR SUPPORT STRUCTURE BY THE SQ. FT. OF
 THE LOT. LOT COVERAGE IS EXPRESSED AS A PERCENTAGE."

LOT SIZE = 22,775 SQ. FT.

FOOTPRINT AREA:

STRUCTURE A 3,090 SQ. FT.
 STRUCTURE POOL 985 SQ. FT.

TOTAL STRUCTURE FOOT PRINT AREA = 4,055 SQ. FT.

100 x (TOTAL STRUCTURE FOOT PRINT AREA ÷ LOT SIZE) = LOT COVERAGE

100 x (4,055 SQ. FT. ÷ 22,775 SQ. FT.) = 26.81%

LANDSCAPE AREA ANALYSIS

LANDSCAPE AREA PER SAN DIEGO MUNICIPAL CODE 103.0304.2 (m)
 (1) : IN THE SINGLE-FAMILY ZONE DESIGNATED ON THAT CERTAIN
 MAP REFERENCED IN SECTION 103.0301, ALL OF THE PROPERTY NOT
 USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL
 AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED WHICH MAY
 INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS
 LANDSCAPE AREA BE LESS THAN (30%) OF THE TOTAL PARCEL AREA.
 ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN
 CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND
 DEVELOPMENT MANUAL.

HARDSCAPE AREAS:

TOTAL HARDSCAPE AREA 2,360 SQ. FT.

100 x (HARDSCAPE AREA ÷ LOT SIZE) = HARDSCAPE AREA PERCENT

100 x (2,360 SQ. FT. ÷ 22,775 SQ. FT.) = 10.36%

EXISTING LANDSCAPE TO REMAIN = 100% - 26.81% - 10.36% = 62.83%

LANDSCAPE AREA + EXISTING LANDSCAPE TO REMAIN = LANDSCAPE AREA

LANDSCAPE AREA = 10.36% + 62.83% = 73.19%

MINIMUM LANDSCAPE AREA PERCENTAGE = 30%

LANDSCAPE AREA PERCENTAGE MUST BE > MINIMUM LANDSCAPE AREA PERCENTAGE

73.19% > 30%

LANDSCAPE AREA IS > MINIMUM LANDSCAPE AREA

TOTAL LANDSCAPE AREA IS 71.80%

POST CONSTRUCTION BMP LEGEND

- PROPOSED STRUCTURE FOOTPRINT
- PROPOSED HARDSCAPE: PATIOS, DECKS & DRIVEWAY
- LANDSCAPED AREAS
- EXISTING LANDSCAPE TO REMAIN CURRENTLY IN CONFORMANCE WITH BRUSH MANAGEMENT REGULATIONS

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

07/20/2015

PRINCIPAL IN CHARGE

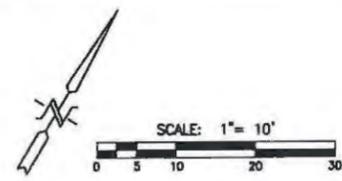
PROPOSED COVERAGE ANALYSIS

C-4

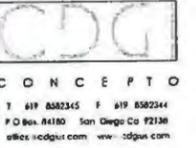
ENGINEER OF WORK

REC CONSULTANTS, INC.
 2442 SECOND AVENUE
 SAN DIEGO, CA 92101
 PH. (619) 232-9200

BRUCE A. ROBERTSON R.C.E. 48529 DATE
 EXPIRES ON 6/30/16



RIC Civil Engineering-Environmental
 2442 Second Avenue
 San Diego, CA 92101
 (619) 232-9200 (619) 232-9210 Fax
 Consultants, Inc.



WU Residence
7615 HILLSIDE DR. LA JOLLA, CA

EROSION CONTROL LEGEND

 EXISTING VEGETATION ON SLOPE UNDISTURBED
SHEET SHEET L-3 FOR ALL EXISTING SLOPE VEGETATION

LANDSCAPE CONCEPT NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL BE IN CONFORMANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL ORDINANCE AND REQUIREMENTS OF THE JOLLA SHORES PLANNED DISTRICT ORDINANCE
 - THIS PROJECTS ZONE 1 SHALL BE IRRIGATED BY A PERMANENT AUTOMATED SYSTEM WITH ALL VALVES AND PIPING INSTALLED BELOW GRADE. ZONE 2 TO USE ABOVE GROUND TEMPORARY IRRIGATION IN DISTURBED AND RE-VEGETATED AREAS.
 - THE SYSTEM WILL BE PROGRAMMED AND OPERATED TO MAXIMIZE THE EFFICIENCY OF THE SYSTEM AND LIMIT THE WATER CONSUMPTION. THE SYSTEM WILL BE DESIGNED TO ACHIEVE 100% COVERAGE
 - ALL PLANTING AREAS ARE TO RECEIVE A 3" LAYER OF ECO-MULCH
 - THE PROPERTY OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT LANDSCAPE AND IRRIGATION SYSTEMS
- THIS PROJECT IS LOCATED IN A LOW FIRE HAZARD ZONE THIS PROJECT PROPOSES TO PROVIDE A 35' WIDE ZONE 1, AND A ZONE 2 THAT WIDTH VARIES FROM 6.5 TO 40' DUE TO SITE CONDITIONS
- ZONE-1:** EXISTING LANDSCAPE SHALL HAVE AN AVERAGE MAXIMUM MATURE HIGH OF 24" OR LESS, OR WILL BE MAINTAINED AT 24" OR LESS
- ZONE-2:** INDIVIDUAL NON-IRRIGATED PLANT GROUPINGS OVER 18" IN HEIGHT MAY BE RETAINED, PROVIDED THEY DO NOT EXCEED 400 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 30% OF THE TOTAL ZONE-2 AREA. SHRUBS IN NEW PLANTING AREAS (IF NEEDED) SHALL HAVE AVERAGE MAXIMUM MATURE HEIGHT OF 24" OR LESS OR WILL BE MAINTAINED @ 24" OR LESS
- RE-VEGETATION: NO NEW SLOPE ARE PROPOSED ON THIS PROJECT SITE
 - REPLANTING OF EXISTING SLOPES: NO EXISTING SLOPE SHALL BE DISTURBED FOR THIS PROJECT
 - ALL LANDSCAPE PROVIDED TO MEET THE 30% AREA REQUIREMENTS SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE. ALL REQUIRED LANDSCAPE INSPECTIONS MUST BE OBTAINED PRIOR TO ISSUANCE OF THE FINAL INSPECTION
 - REFER TO THE CITY OF SAN DIEGO LDC, SECTION 142.0412 (g) & (h) FOR ADDITIONAL BRUSH MANAGEMENT REQUIREMENTS
 - NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE, NO-IRRIGATED AREAS ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
 - GRADES / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDROSEED TO PREVENT EROSION, IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITH 30 DAYS OF GRADING. HYDROSEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH
 - MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) 10 FEET
INTERSECTION (INTERSECTING CURB LINES OF TO STREET) -25 FEET
 - ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARD IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCES.
 - A MINIMUM ROOT ZONE OF 406F IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREAS SHALL BE 5 FEET, PER SDMC 142.0403(b)(5)
 - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OFF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(b)(10)
 - IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICE DEPARTMENT WITHIN 30 DAYS OF DAMAGE

REVISION	DATE	DESCRIPTION

PROJECT NUMBER _____

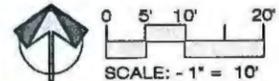
DRAWING DATE _____

09/02/2015

PRINCIPAL IN CHARGE _____

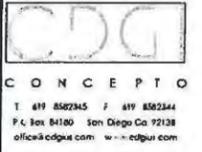
EROSION CONTROL PLAN

L-2



1417 BAHAMON ST.
OCEANSIDE, CA 92058
760-716-3100
CA 11A60296, C-279944865





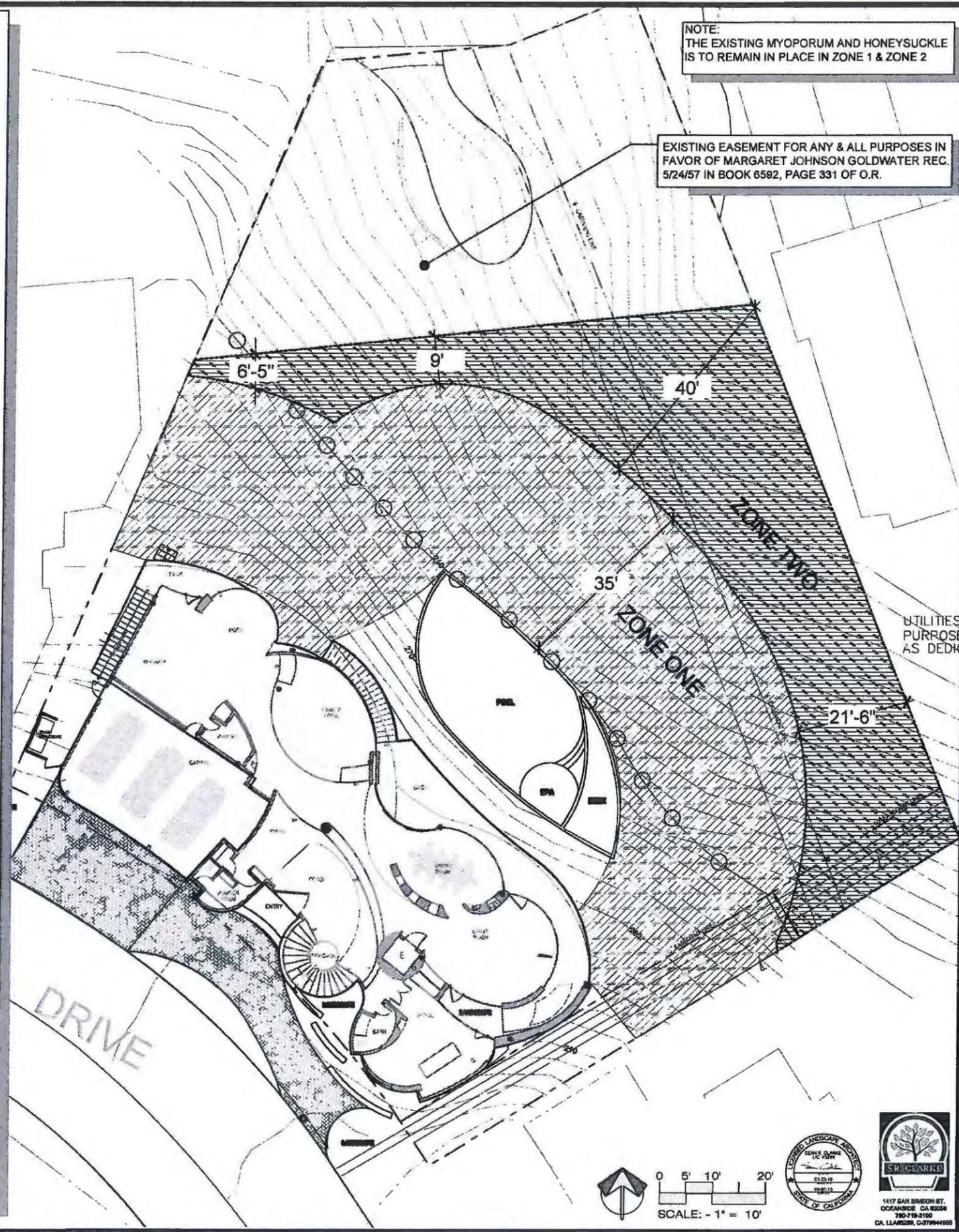
T 619 8062345 F 619 8062344
P.O. Box 84100 San Diego Ca 92138
office@cdgi.com www.cdgi.com

WU Residence
7615 HILLSIDE DR. LA JOLLA, CA

UTILITIES PURPOSES AS DEDICATED

NOTE:
THE EXISTING MYOPORUM AND HONEYSUCKLE IS TO REMAIN IN PLACE IN ZONE 1 & ZONE 2

EXISTING EASEMENT FOR ANY & ALL PURPOSES IN FAVOR OF MARGARET JOHNSON GOLDWATER REC. 5/24/57 IN BOOK 6592, PAGE 331 OF O.R.



BRUSH MANAGEMENT NOTES (SDMC142.0412):

- (g) ZONE ONE REQUIREMENTS
(1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
(2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
(3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
(4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
(5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
(A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
(B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
(6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
(7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.
(h) ZONE TWO REQUIREMENTS
(1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
(2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
(3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
(4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
(A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
(B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
(C) ALL NEW ZONE TWO PLANTING SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVER SPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEM SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
(D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
(6) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
(7) EXCEPT AS PROVIDED IN SECTION 142.0412(R), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.
(i) AN APPLICANT MAY REQUEST APPROVAL OF ALTERNATIVE COMPLIANCE FOR BRUSH MANAGEMENT IN ACCORDANCE WITH PROCESS ONE IF ALL OF THE FOLLOWING CONDITIONS EXIST:
(1) THE PROPOSED ALTERNATIVE COMPLIANCE PROVIDES SUFFICIENT DEFENSIBLE SPACE BETWEEN ALL STRUCTURES ON THE PREMISES AND CONTIGUOUS AREAS OF NATIVE OR NATURALIZED VEGETATION AS DEMONSTRATED TO THE SATISFACTION OF THE FIRE CHIEF BASED ON DOCUMENTATION THAT ADDRESSES THE TOPOGRAPHY OF THE SITE, EXISTING AND POTENTIAL FUEL LOAD, AND OTHER CHARACTERISTICS RELATED TO FIRE PROTECTION AND THE CONTEXT OF THE PROPOSED DEVELOPMENT.
(2) THE PROPOSED ALTERNATIVE COMPLIANCE MINIMIZES IMPACTS TO UNDISTURBED NATIVE OR NATURALIZED VEGETATION WHERE POSSIBLE WHILE STILL MEETING THE PURPOSE AND INTENT OF SECTION 142.0412 TO REDUCE FIRE HAZARDS AROUND STRUCTURES AND PROVIDE AN EFFECTIVE FIRE BREAK.
(3) THE PROPOSED ALTERNATIVE COMPLIANCE IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.
(j) IF THE FIRE CHIEF APPROVES ALTERNATIVE COMPLIANCE IN ACCORDANCE WITH THIS SECTION, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS IF APPROVED AS PART OF A DEVELOPMENT PERMIT, OR NOTED IN THE PERMIT FILE IF APPROVED AS PART OF A CONSTRUCTION PERMIT.

BRUSH MANAGEMENT NOTES (SDMC142.0412):

- (k) FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMEDIATE FIRE HAZARD EXISTS.
(l) BRUSH MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.
(m) WHERE SPECIFICALLY AUTHORIZED BY THE FIRE CHIEF, GOATS MAY BE USED FOR BRUSH MANAGEMENT IN ACCORDANCE WITH THE FOLLOWING:
(1) IN ORDER TO PREVENT ESCAPES, HARASSMENT FROM PREDATORS OR HUMANS, OR OVER BROWSING, GOATS SHALL BE MANAGED AND MONITORED 24 HOURS A DAY BY A CONTRACTOR WITH AT LEAST TWO YEARS EXPERIENCE IN RAISING, HANDLING, AND CONTROLLING OF GOATS. THE GOAT CONTRACTOR SHALL MAINTAIN A MINIMUM OF \$1 MILLION OF LIABILITY INSURANCE SUBJECT TO APPROVAL BY THE OFFICE OF THE CITY ATTORNEY.
(2) AT LEAST 10 BUSINESS DAYS PRIOR TO USING GOATS FOR BRUSH MANAGEMENT, THE PROPERTY OWNER SHALL APPLY TO THE FIRE RESCUE DEPARTMENT FOR A PERMIT TO USE GOATS FOR BRUSH MANAGEMENT. THE APPLICANT SHALL:
(A) OBTAIN AND SUBMIT WRITTEN PERMISSION FROM THE OWNER OF ANY PROPERTY THROUGH WHICH THE GOATS MUST GAIN ACCESS TO THE AREA TO BE BROWSED.
(B) PROVIDE WRITTEN NOTICE TO THE FIRE CHIEF AND ALL OWNERS AND RESIDENTS OF PROPERTY LOCATED IMMEDIATELY ADJACENT TO THE AREA TO BE BROWSED. THIS NOTICE SHALL IDENTIFY SECTIONS 44.0307 AND 142.0412(M) AS THE AUTHORITY FOR TEMPORARY USE OF GOATS.
(C) PROVIDE PHOTOGRAPHS OF THE EXISTING CONDITION OF THE SITE, AND A PLAN DESCRIBING THE METHODS TO BE EMPLOYED AND MEASURES TO RETAIN EXISTING VEGETATION IN COMPLIANCE WITH SECTION 142.0412(H).
(3) THE AREA TO BE BROWSED SHALL BE MEASURED, STAKED, AND APPROPRIATELY FENCED WITH TEMPORARY ELECTRICALLY CHARGED FENCING TO DELINEATE THE ZONE TWO BRUSH MANAGEMENT AREAS. SIGNS MUST BE POSTED AT 25-FOOT INTERVALS ALONG THE FENCE WARNING OF THE POSSIBILITY OF MILD ELECTRIC SHOCK.
(4) THE TIMING OF BRUSH MANAGEMENT ACTIVITIES SHALL COMPLY WITH SECTION 142.0412(D).
(5) WHILE GOATS ARE BROWSING:
(A) NO MORE THAN GOATS ARE PERMITTED ON A SINGLE ACRE OF THE PREMISES.
(B) GOATS SHALL BE MOVED ALONG PERIODICALLY SO THAT NO MORE THAN 50 PERCENT OF THE VEGETATION IS THINNED OR REDUCED.
(C) THE GOATS SHALL REMAIN WITHIN A SECURE ENCLOSURE AT ALL TIMES.
(D) GOATS SHALL BE MOVED INTO A SEPARATE HOLDING PEN AT NIGHT, WHICH SHALL BE LOCATED THE MAXIMUM DISTANCE REASONABLY PRACTICABLE FROM RESIDENCES.
(E) DROPPINGS IN THE HOLDING PEN, AND TO THE EXTENT REASONABLY POSSIBLE WITHIN THE BRUSH MANAGEMENT AREA, SHALL BE REMOVED AND PROPERLY DISPOSED OF DAILY IN ACCORDANCE WITH SECTION 44.0307.
(F) THE GOATS SHALL BE USED FOR BRUSH MANAGEMENT ONLY AND SHALL BE IMMEDIATELY REMOVED WHEN THE BRUSH THINNING HAS BEEN ACCOMPLISHED.
(G) NO LATER THAN 5 BUSINESS DAYS FROM THE DATE OF REMOVAL OF THE GOATS, THE APPLICANT SHALL NOTIFY THE FIRE CHIEF IN WRITING OF THE REMOVAL OF THE GOATS.
(7) THE FIRE RESCUE DEPARTMENT SHALL NOT APPROVE ANY PERMIT UNDER SECTION 142.0412(M) THAT WILL UTILIZE A CONTRACTOR DETERMINED BY THE CITY MANAGER TO HAVE NEGLIGENTLY PERFORMED BRUSH MANAGEMENT SERVICES WITHIN THE THREE PRIOR CALENDAR YEARS. ALL FACTS SUPPORTING SUCH A DETERMINATION SHALL BE PROVIDED TO THE APPLICANT IN WRITING, AND SHALL CONSTITUTE A FINAL DETERMINATION ON THE CITY'S BEHALF.
(n) WITHIN THE COASTAL OVERLAY ZONE, BRUSH MANAGEMENT FOR NEW SUBDIVISIONS SHALL NOT BE PERMITTED TO ENCRUCH INTO AN ENVIRONMENTALLY SENSITIVE HABITAT AREA (ESHA), EXCEPT THAT ENCROACHMENT MAY BE PERMITTED WHERE NECESSARY TO ACHIEVE A MAXIMUM DEVELOPMENT AREA OF 25 PERCENT INCLUDING ZONES ONE AND TWO. FOR PURPOSES OF THIS SECTION, ESHA SHALL INCLUDE SOUTHERN FORDUNES, TORREY PINES FOREST, COASTAL BLUFF SCRUB, MARITIME SUCCULENT SCRUB, MARITIME CHAPARRAL, NATIVE GRASSLANDS, OAK WOODLANDS, COASTAL SAGE SCRUB AND COASTAL SAGE SCRUB COMMUNITIES, AND ANY VEGETATIVE COMMUNITIES THAT SUPPORT THREATENED OR ENDANGERED SPECIES.

MISC. BRUSH MANAGEMENT NOTES:

- 1. CONDUCT REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE TO MINIMIZE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRE, EROSION AND SLOPE FAILURE. EACH PROPERTY IS UNIQUE THEREFORE PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.
2. THIS IS THE MOST CRITICAL AREA FOR FIRE SAFETY. KEEP ALL ORNAMENTAL PLANTS WELL WATERED, CLEAN RAIN GUTTERS AND DRAINAGE PIPES REGULARLY AND REMOVE ALL LEAVES FROM ROOFTOPS BEFORE THE FIRE SEASON BEGINS. PRUNE ALL TREES AND SHRUBS ON A REGULAR BASIS TO REDUCE COMBUSTIBLE MATERIAL AND PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
3. REMOVE DEAD WOODY PLANTS AND WEEDS. TO RETAIN SOIL WHEN REMOVING DEAD PLANT OR WEEDS, TRIM TO A WHOLE SHORT STUBBLE RATHER THAN EXCAVATING PLANT BY THE ROOTS. PRUNE NATIVE SHRUBS IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE FUEL. INSPECT DRAINAGE DEVICES ON SLOPES AFTER EACH STORM TO KEEP CLEAR OF DEBRIS AND SOIL. PERIODICALLY SHEAR GROUNDCOVERS AND REMOVE THATCH. PRUNE DEAD WOOD FORM SHRUBS AND TREES.
4. DUE TO RECENT FIRES, THE BRUSH MANAGEMENT ZONES ARE SUBJECT TO CHANGE. THE FIRE CHIEF MAY REQUIRE ADDITIONAL ZONE WIDTHS OR ARCHITECTURAL TREATMENT TO THE STRUCTURE.
5. NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE NON-IRRIGATED AREA ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
6. GRADED / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION. IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITHIN IN 30 DAYS OF GRADING HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
7. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASONS OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING BE CONSISTENT WITH THE CONDITIONS OF THE SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN.

LANDSCAPE AREA QUANTITIES

Table with 4 columns: Category, Total Area, and Acres. Rows include Total Site Area, Total Building Area, Total Landscape Area, Total Hardscape Area, and Total Existing Landscape Area to Remain.

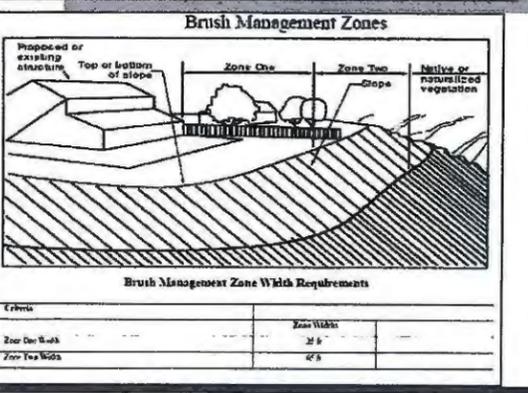


Table with columns: REVISION, DATE, DESCRIPTION. Includes a row for PROJECT NUMBER.

DRAWING DATE: 09/02/2015
PRINCIPAL IN CHARGE:

BRUSH MANAGEMENT PLAN

L-3



1417 SAN BERNARD ST. OCEANVIEW, CA 92054 760-718-3160 CA LICENSE # C07894885

WU Residence
 7615 HILLSIDE DR, LA JOLLA, CA

GENERAL NOTES

- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- EASEMENTS PER COUNTY RECORDER SEE CIVIL
- 30' HEIGHT RESTRICTION PER LOCAL CODE

SYMBOLS

-  NEW FRAMING WALLS
-  NEW RETAINING WALLS
-  (E) RETAINING WALLS TO BE DEMOLISHED
-  NOT INCLUDED IN GFA CALCULATION



REVISION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

03/15/2014

SHEET NAME

MAIN LEVEL

A-2.0



1/8" = 1'-0"

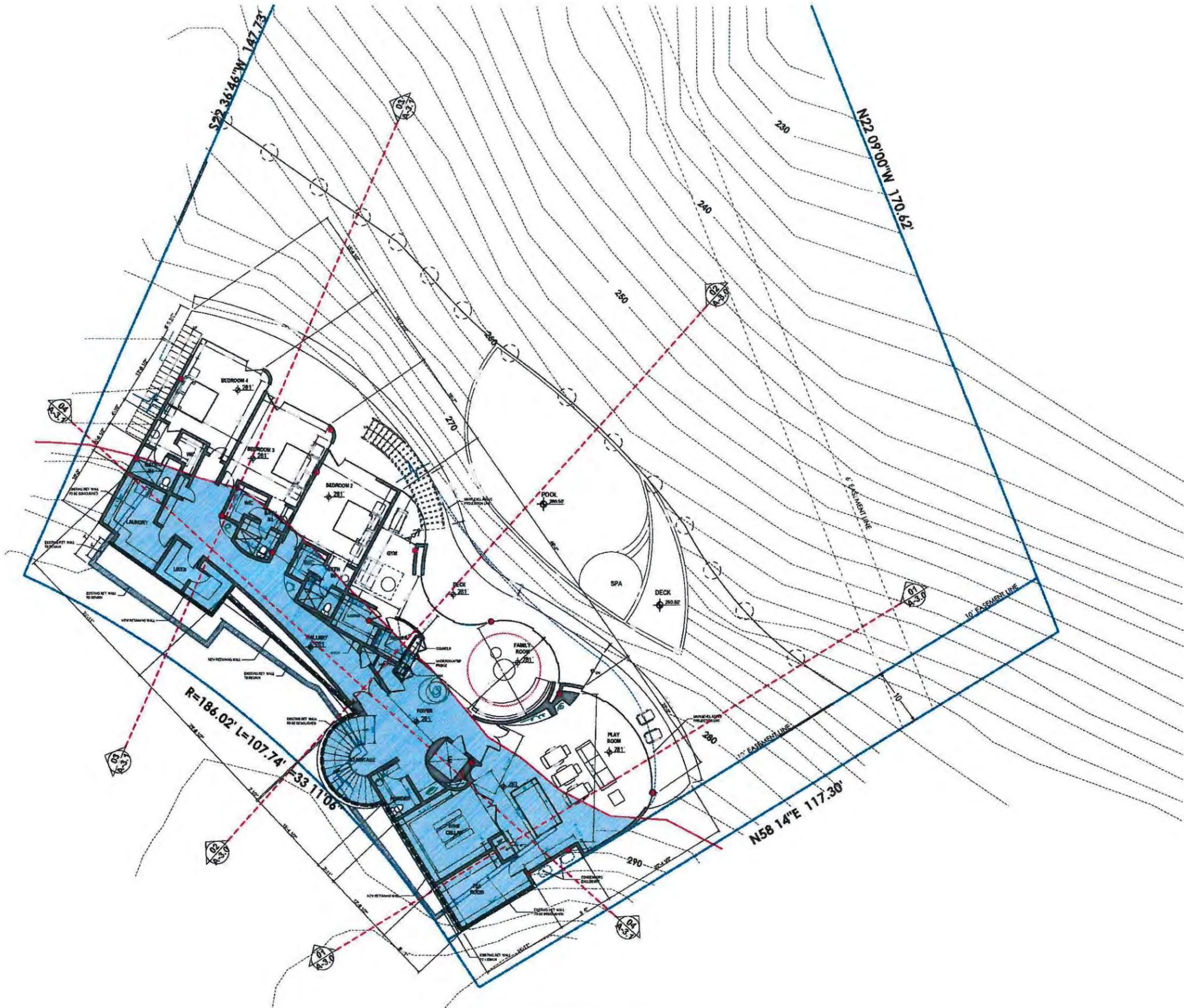
WU Residence
 7615 HILLSIDE DR. LA JOLLA, CA

GENERAL NOTES

- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
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- NEW FRAMING WALLS
- NEW RETAINING WALLS
- (E) RETAINING WALLS TO BE DEMOLISHED
- (E) RETAINING WALLS TO REMAIN
- NOT INCLUDED IN GFA CALCULATION



REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

03/15/2014

SHEET NAME

BASEMENT LEVEL

A-2.1



BASEMENT LEVEL

1/8" = 1'-0"

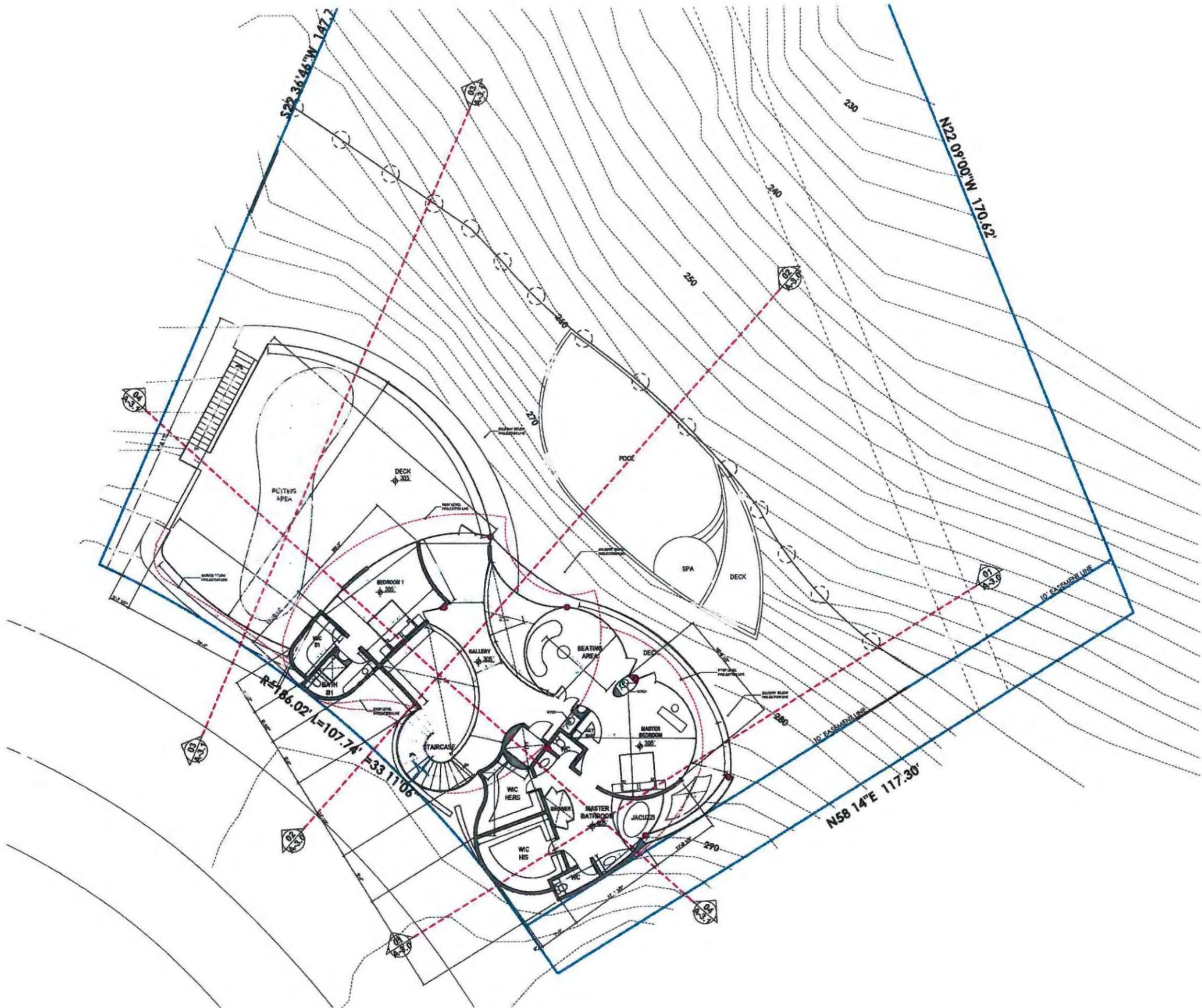
WU Residence
 7615 HILLSIDE DR., LA JOLLA, CA

GENERAL NOTES

- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- EASEMENTS PER COUNTY RECORDER SEE CIVIL
- BY HEIGHT RESTRICTION PER LOCAL CODE

SYMBOLS

-  NEW FRAMING WALLS
-  NEW RETAINING WALLS
-  RETAINING WALLS TO BE DEMOLISHED
-  NOT INCLUDED IN GFA CALCULATION



UPPER LEVEL

1/8" = 1'-0"

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

03/15/2014

SHEET NAME

UPPER LEVEL

A-2.2

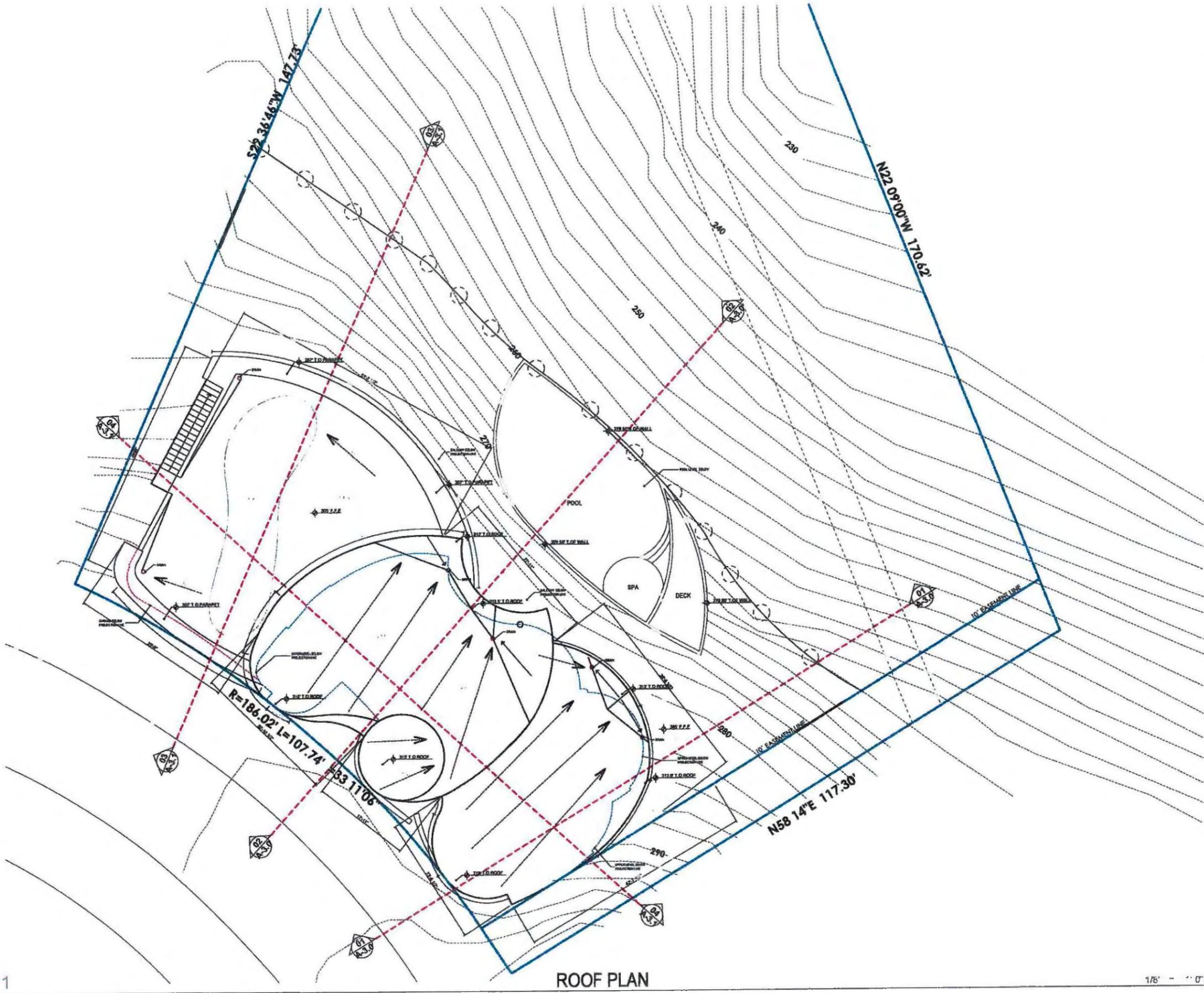


WU Residence
 7615 HILLSIDE DR., LA JOLLA, CA

ROOF NOTES
 -FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
 -SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
 -REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
 -EASEMENTS PER COUNTY RECORDER SEE CIVIL
 -30' HEIGHT RESTRICTION PER LOCAL CODE

SYMBOLS

-  NEW FRAMING WALLS
-  NEW RETAINING WALLS
-  (E) RETAINING WALLS TO BE DEMOLISHED



ROOF PLAN

1/8" = 1' 0"

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

03/15/2014

SHEET NAME

ROOF PLAN

A-2.3



GENERAL NOTES

PROPOSED BUILDING HEIGHT PER SAN DIEGO MUNICIPAL CODE 113.0270 (a) (6); THE OVERALL STRUCTURE HEIGHT IS MEASURED FROM THE LOWEST POINT OF EXISTING GRADE OR PROPOSED GRADE WITHIN 5 FEET OF THE STRUCTURE'S PERIMETER (BUILDING WALL, BALCONY, BAY WINDOW, OR SIMILAR ARCHITECTURAL PROJECTION) OR AT THE PROPERTY LINE WHICHEVER IS CLOSER, TO THE HIGHEST POINT OF THE STRUCTURE, PROJECTED HORIZONTALLY TO DIRECTLY ABOVE THIS LOWEST POINT OF GRADE, EXCEPT AS SPECIFIED IN SECTION 113.0270 (a) (6) THE OVERALL STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM PERMITTED STRUCTURE HEIGHT OF THE APPLICABLE ZONE PLUS AN AMOUNT EQUAL TO EITHER THE MAXIMUM GRADE DIFFERENTIAL WITHIN THE STRUCTURE'S FOOTPRINT OR 10 FEET, WHICHEVER IS LESS. IN NO CASE MAY THE STRUCTURE HEIGHT EXCEED THE MAXIMUM ALLOWED BY THE APPLICABLE ZONE AT ANY ONE POINT MEASURED PURSUANT TO SECTION 113.0270 (a) (3).

113.0270 (a) (7). STRUCTURE HEIGHT IS MEASURED SEPARATELY FOR EACH STRUCTURE THAT IS SEPARATED FROM ANOTHER STRUCTURE ON THE PREMISES BY 6 FEET OR MORE

113.030A (K) MAXIMUM BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL BE ERRECTED, CONSTRUCTED, ALTERED, MOVED OR ENLARGED TO A GREATER HEIGHT THAN THIRTY (30) FEET.

ACTUAL BUILDING HEIGHTS:

BUILDING: 33'-9"
 ACCESSORY STRUCTURE: 19'-5"

BUILDING: 33'-9" < 40'-0"
 THEREFORE BUILDING IS UNDER THE MAXIMUM HEIGHT REQUIREMENTS

ACCESSORY STRUCTURE (POOL): 19'-5" < 44'-0"
 THEREFORE ACCESSORY STRUCTURE IS UNDER THE MAXIMUM HEIGHT REQUIREMENTS

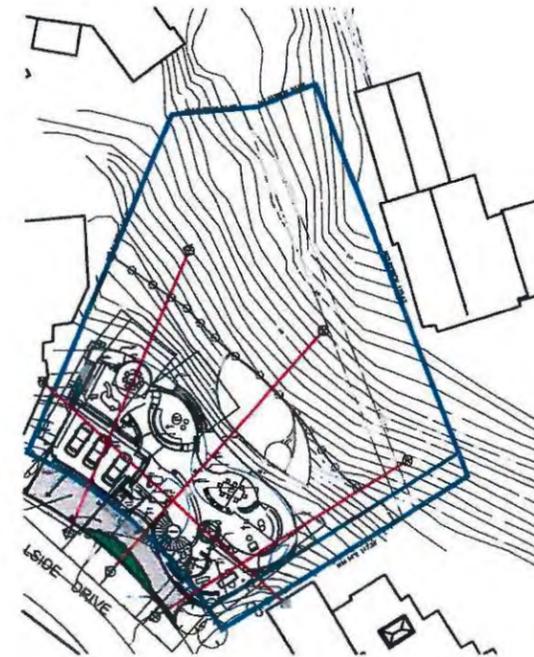
DISTANCE BETWEEN STRUCTURES:
 FROM BUILDING FOOTING TO ACCESSORY STRUCTURE FOOTING VARIES, MIN. 6'-6"
 6'-6" > 6'-0" (MIN. DISTANCE ALLOWED)

THEREFORE THE HEIGHTS FOR EACH STRUCTURE IS CALCULATED SEPARATELY

- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- EASEMENTS PER COUNTY RECORDER SEE CIVIL
- 30' HEIGHT RESTRICTION PER LOCAL CODE

SYMBOLS

- [Solid Line] NEW FRAMING WALLS
- [Hatched Area] NEW RETAINING WALLS
- [Dashed Line] RETAINING WALLS TO BE DEMOLISHED



SITE MAP

1/32" SCALE

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

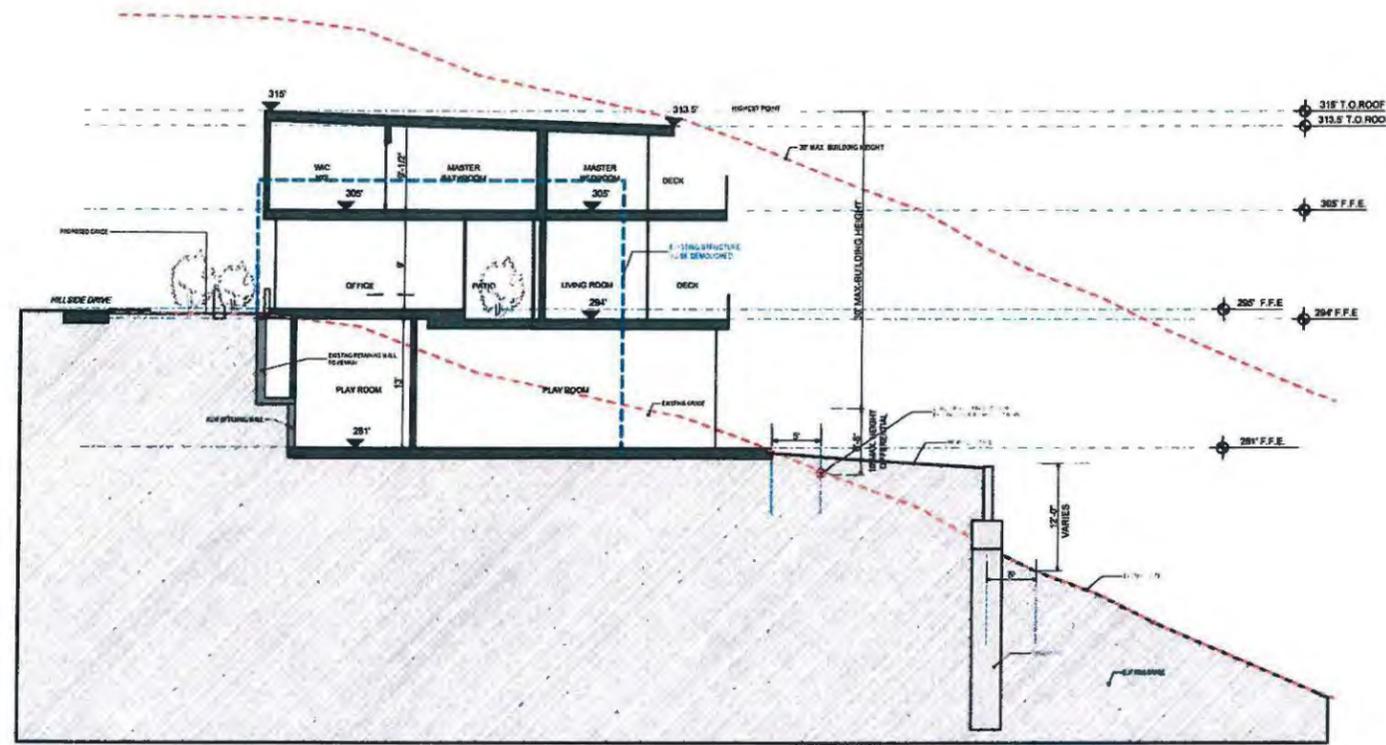
DRAWING DATE

03 /15/2014

SHEET NAME

SITE SECTIONS

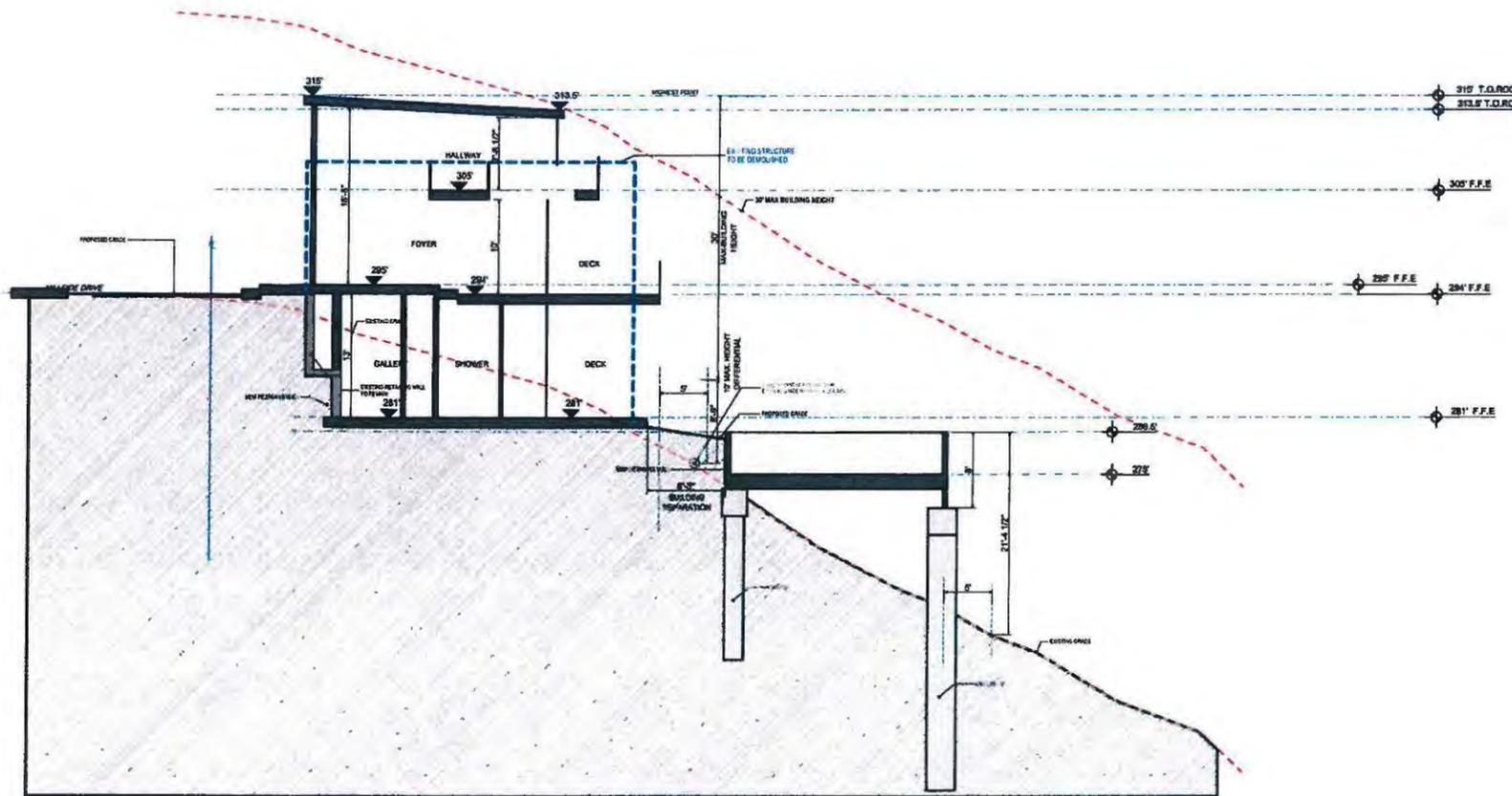
A-3.0



SITE SECTION 01

1/8" = 1'-0"

1



SITE SECTION 02

1/8" = 1'-0"

2

GENERAL NOTES

PROPOSED BUILDING HEIGHT PER SAN DIEGO MUNICIPAL CODE 113.0270 (a) (4), THE OVERALL STRUCTURE HEIGHT IS MEASURED FROM THE LOWEST POINT OF EXISTING GRADE OR PROPOSED GRADE WITHIN 5 FEET OF THE STRUCTURE'S PERIMETER (BUILDING WALL, BALCONY, BAY WINDOW, OR SIMILAR ARCHITECTURAL PROJECTION) OR AT THE PROPERTY LINE WHICHEVER IS CLOSER, TO THE HIGHEST POINT OF THE STRUCTURE, PROJECTED HORIZONTALLY TO DIRECTLY ABOVE THIS LOWEST POINT OF GRADE, EXCEPT AS SPECIFIED IN SECTION 113.0270 (a) (4) THE OVERALL STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM PERMITTED STRUCTURE HEIGHT OF THE APPLICABLE ZONE PLUS AN AMOUNT EQUAL TO EITHER THE MAXIMUM GRADE DIFFERENTIAL WITHIN THE STRUCTURE'S FOOTPRINT, OR 10 FEET, WHICHEVER IS LESS. IN NO CASE MAY THE STRUCTURE HEIGHT EXCEED THE MAXIMUM ALLOWED BY THE APPLICABLE ZONE AT ANY ONE POINT MEASURED PURSUANT TO SECTION 113.0270 (a) (3).

113.0270 (a) (7); STRUCTURE HEIGHT IS MEASURED SEPARATELY FOR EACH STRUCTURE THAT IS SEPARATED FROM ANOTHER STRUCTURE ON THE PREMISES BY 6 FEET OR MORE.

103.030A (K) MAXIMUM BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL BE ERRECTED, CONSTRUCTED, ALTERED, MOVED OR ENLARGED TO A GREATER HEIGHT THAN THIRTY (30) FEET.

ACTUAL BUILDING HEIGHTS:

BUILDING : 30'-9"
 ACCESSORY STRUCTURE : 19'-0"

BUILDING : 30'-9" < 40'-0"
 THEREFORE BUILDING IS UNDER THE MAXIMUM HEIGHT REQUIREMENTS

ACCESSORY STRUCTURE (POOL): 19'-0" < 40'-0"
 THEREFORE ACCESSORY STRUCTURE IS UNDER THE MAXIMUM HEIGHT REQUIREMENTS

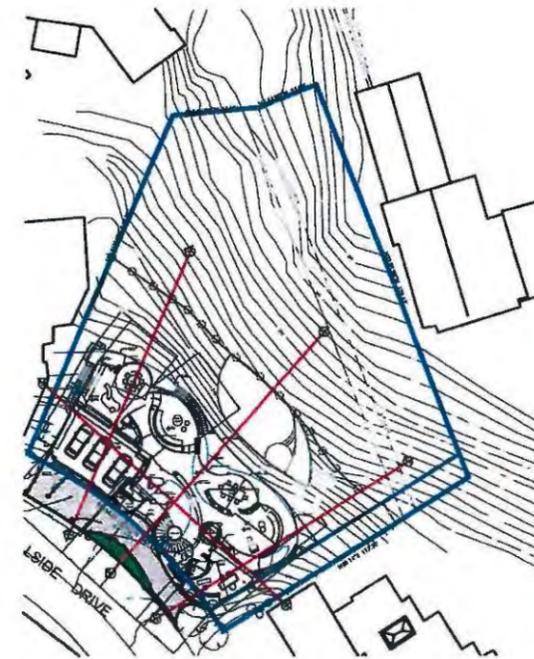
DISTANCE BETWEEN STRUCTURES:
 FROM BUILDING FOOTING TO ACCESSORY STRUCTURE FOOTING VARIES, MIN. 6'-6"
 6'-4" > 6'-0" (MIN. DISTANCE ALLOWED)

THEREFORE THE HEIGHTS FOR EACH STRUCTURE IS CALCULATED SEPARATELY

- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- EASEMENTS PER COUNTY RECORDER SEE CIVIL
- 30' HEIGHT RESTRICTION PER LOCAL CODE

SYMBOLS

- [Solid Line] NEW FRAMING WALLS
- [Hatched Area] NEW RETAINING WALLS
- [Dashed Line] EXISTING STRUCTURE TO BE DEMOLISHED



SITE MAP

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

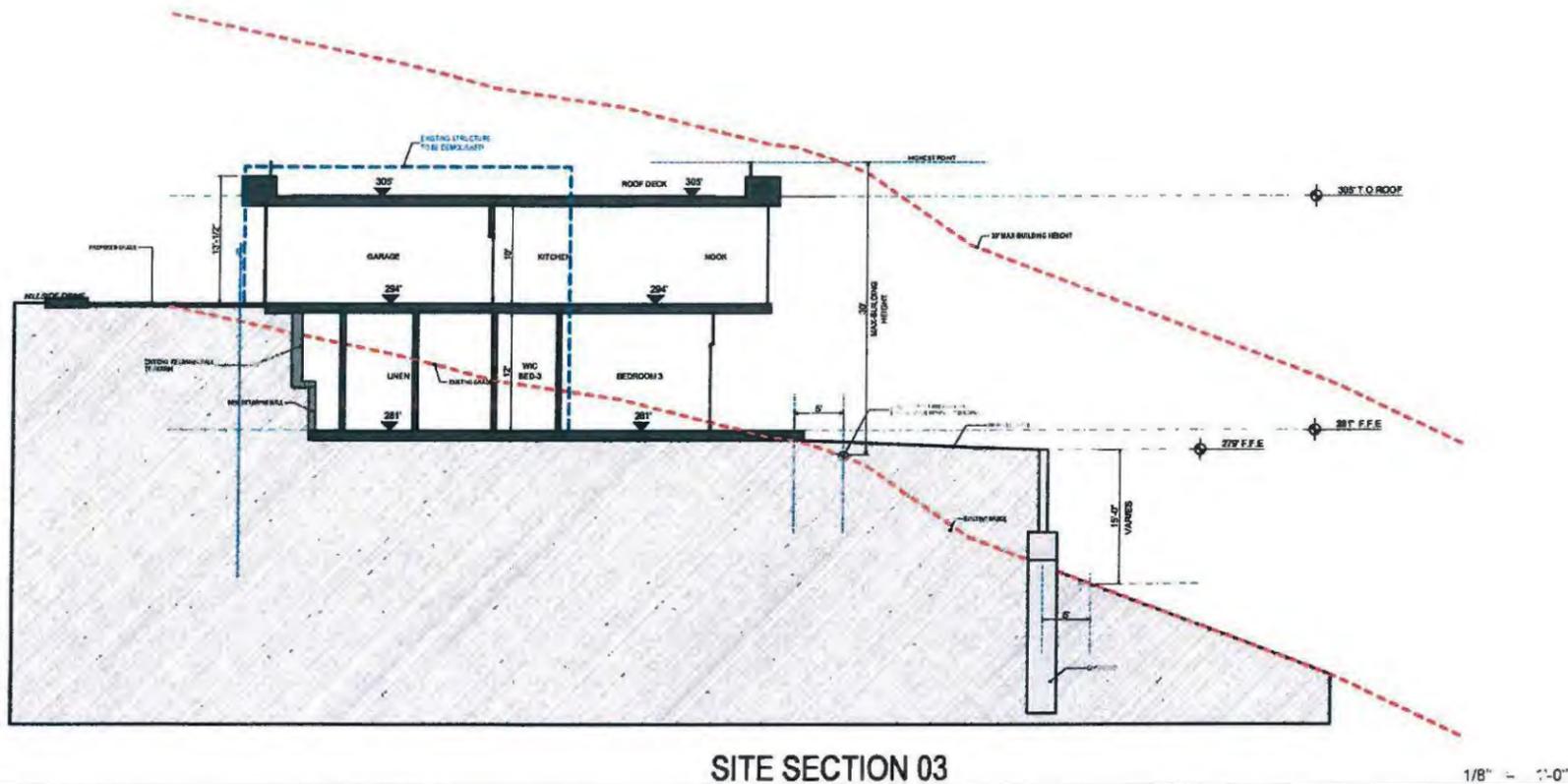
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03/15/2014

SHEET NAME

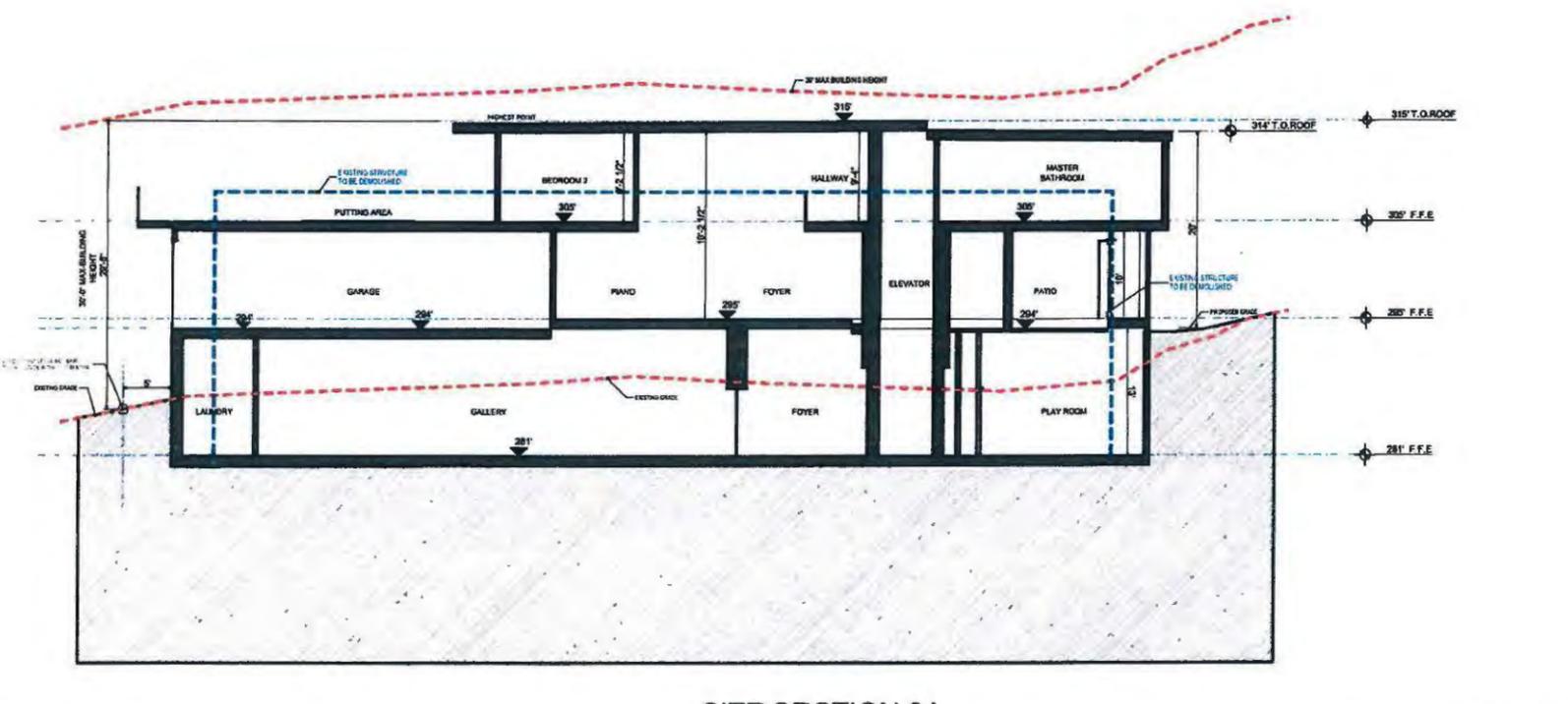
SITE SECTIONS

A-3.1



SITE SECTION 03

1



SITE SECTION 04

2

1/8" = 1'-0"

1/4" = 1'-0"

1/32" SCALE

GENERAL NOTES

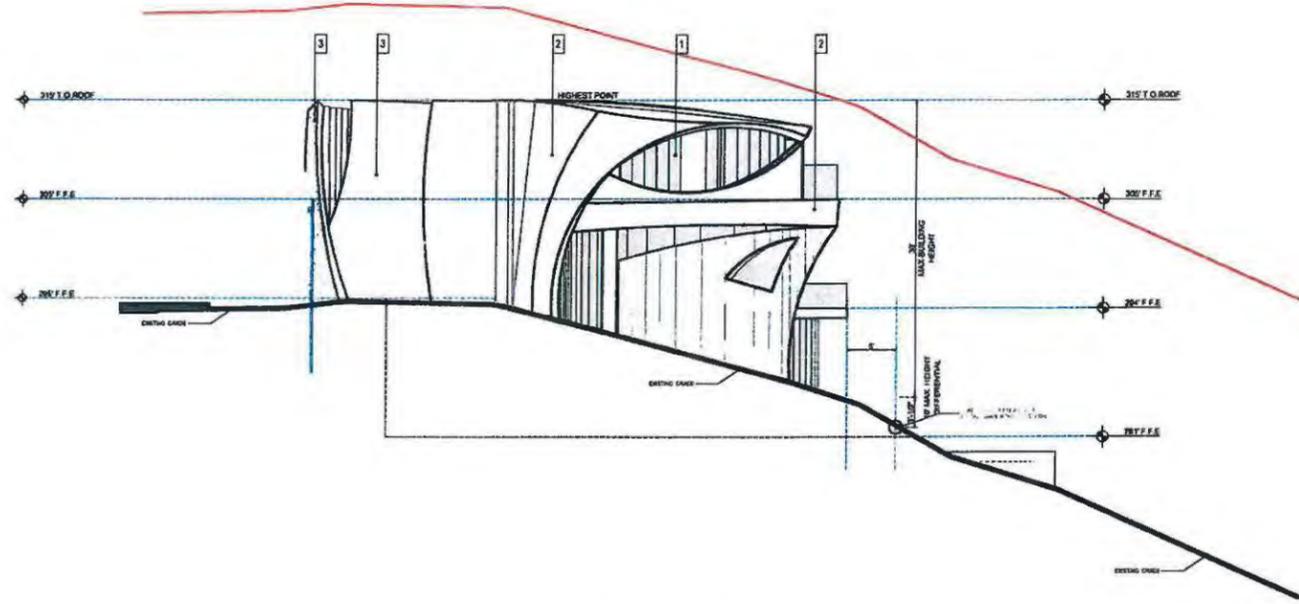
- FRONT YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- SIDE YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- REAR YARD SETBACK RELATIVE TO VICINITY PER LOCAL CODE
- EASEMENTS PER COUNTY RECORDER SEE CIVIL
- 30' HEIGHT RESTRICTION PER LOCAL CODE

SYMBOLS

- NEW FRAMING WALLS
- NEW RETAINING WALLS
- EXISTING RETAINING WALLS TO BE DEMOLISHED

LEGEND

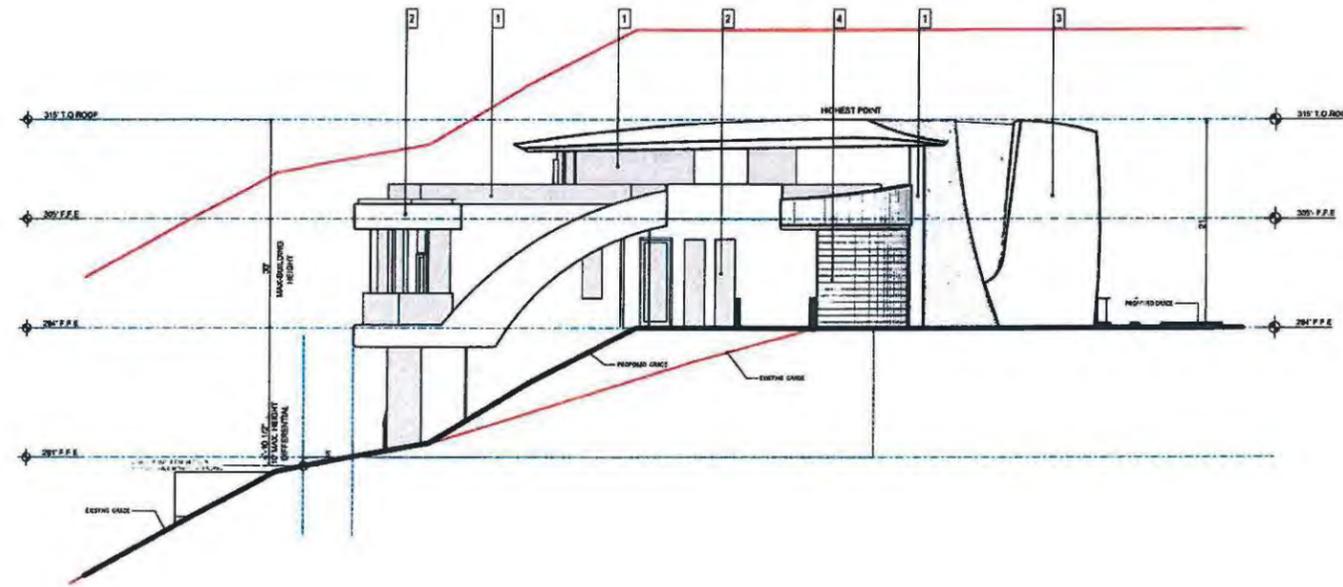
- 1** TEMPERED GLASS PANELS (PER SCHEDULE)
- 2** STUCCO FINISH (DESERT BEIGE)
- 3** CALIFORNIA GOLD PANEL SLATE
- 4** WOOD CLADD ENTRY DOOR
- 5** WOOD CLADD GARAGE DOOR
- 6** COPPER HIGHLIGHT (PER DETAIL)



EAST ELEVATION

1/8" = 1'-0"

1



WEST ELEVATION

1/3" = 1'-0"

2

REVISION DATE DESCRIPTION

REVISION	DATE	DESCRIPTION

PROJECT NUMBER

DRAWING DATE

03/15/2014

SHEET NAME

ELEVATIONS 2

A-4.2

WU Residence
 7615 HILLSIDE DR., LA JOLLA, CA

PROJECT DATA SHEET		
PROJECT NAME:	Wu Residence	
PROJECT DESCRIPTION:	Demolish the existing single dwelling unit on the site and construct an approximately 7,345-square-foot single dwelling unit structure with a basement, a three vehicle garage, pool, jacuzzi, landscaping, retaining walls and other minor improvements.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (0-5 DU/AC)	
ZONING INFORMATION:		
ZONE: La Jolla Shores Planned District Single-Family zone HEIGHT LIMIT: 30-foot maximum height limit LOT SIZE: N/A LOT COVERAGE: 0.60 maximum FRONT SETBACK: N/A (varies within the neighborhood) SIDE SETBACK: N/A (varies within the neighborhood) STREETSIDE SETBACK: N/A REAR SETBACK: N/A PARKING: 2		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential; LJSPD- Single-Family	Single Dwelling Unit Residential
SOUTH:	Very Low Density Residential; LJSPD- Single-Family	Single Dwelling Unit Residential
EAST:	Very Low Density Residential; LJSPD- Single-Family	Single Dwelling Unit Residential
WEST:	Very Low Density Residential; LJSPD- Single-Family	Single Dwelling Unit Residential
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 9, 2016 the La Jolla Community Planning Association voted 12:2:1 to recommend approval of the Project.	