



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 2, 2016 REPORT NO. HO-16-067
HEARING DATE: November 9, 2016
SUBJECT: Prestwick Residence, Process Three Decision
PROJECT NUMBER: [449597](#)
OWNER/
APPLICANT: Prestwick Real Estate Irrevocable Trust
Cori Del Castillo, Island Architecture

SUMMARY:

Issue: Should the Hearing Officer approve the demolition of a dwelling unit and the construction of a new dwelling unit over basement with a pool and associated site improvements on a 0.50-acre site located in the La Jolla Shores Planned District within the La Jolla Community Plan and Local Coastal Program Land Use Plan?

Staff Recommendations:

1. Adopt Mitigated Negative Declaration (MND) No. 449597 and ADOPT Mitigation Monitoring Reporting Program (MMRP); and
2. Approve Site Development Permit No. 1572438 and Coastal Development Permit No. 1572436.

Community Planning Group Recommendation: On February 4, 2016, the La Jolla Community Planning Association voted 8-2-1 to recommend approval of the project with no conditions (Attachment 8).

Other Recommendation: On March 21, 2016, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the project with no conditions (Attachment 9).

Environmental Review: Mitigated Negative Declaration No. 449597 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation Monitoring and Reporting Program has been prepared and will be implemented, which will reduce, to below a level of significance, any potential impacts identified in the environmental review process (Attachment 7).

BACKGROUND

The project site is located at 8194 Prestwick Drive (Attachment 1). The property is in the Single-Family (SF) Zone of the La Jolla Shores Planned District (LJSPD), and the Coastal Overlay (Non-Appealable Area 2), Coastal Height Limitation Overlay, and the Parking Impact (Coastal Impact Area) Overlay Zones, within the La Jolla Community Plan and Local Coastal Program (LJCP) land use plan. The underlying SF Zone allows for the development of a single dwelling unit on the site. The project site land use designation is Very Low Density Residential (0-5 dwelling units per acre) (Attachment 2). The 0.50-acre (21,663-square-foot) site could accommodate one dwelling unit based on the underlying zone and 0-2 dwelling units based on the LJCP. Surrounding properties are developed with custom designed one and two-story dwelling units, also located in the SF Zone and designated for Very Low Density Residential use. The project site is a westerly descending lot with a grade differential of approximately 83 feet. The site was developed in 1975 with a 3,058-square-foot dwelling unit and attached garage.

DISCUSSION

Pursuant to San Diego Municipal Code (SDMC) Section [1510.0201](#), a La Jolla Shores Planned District Permit administered as a Process Three Site Development Permit (SDP) is required for the erection of a new building or structure, or the remodeling, alteration, addition, or demolition of any existing building or structure within the LJSPD. A Coastal Development Permit (CDP) is required for all coastal development of a premise within the Coastal Overlay Zone in accordance with SDMC Section [126.0702](#). The project proposes to demolish the existing structures and construct a new dwelling unit with accessory structures on a site located within the LJSPD and Coastal Overlay Zone, and therefore, requires a SDP and CDP.

Project Description

The project proposes to demolish an existing 3,058-square-foot dwelling unit and attached garage, and construct a new, 5,350-square-foot dwelling unit consisting of 4,180-square-foot first floor with a 907-square-foot three-car garage, and a 263-square-foot covered entry patio over a 1,836-square-foot basement. The project also includes an 894-square-foot pool equipment/storage structure, a pool, BBQ area, terraces, patios and associated hardscape/landscape improvements.

La Jolla PDO Analysis

The La Jolla Shores Planned District Ordinance (PDO) encourages originality and diversity in architecture with “unity with variety” as the guiding principle. The structure as designed is compatible with the character of the area with respect to form, materials, and color. The project proposes a low profile structure, similar to the existing development along the west side of Prestwick Drive and incorporates architectural and design features in conformance with the general design regulations of the PDO. The project includes an entry courtyard and incorporates varied setbacks. Exterior material and color consist of off white/cream color stucco finish, natural color window and door frames, cream colored stone accent walls, and light grey pebble stone roof.

The PDO further requires structure setbacks to be in general conformity with those in the vicinity, except for buildings with openings facing the side property line, which require a minimum four-foot

setback from the property line. A comparative building setback survey of properties within a 300-foot radius of the project site shows a wide range of front, side, and rear yard setbacks exist in the neighborhood as follows: Front yard setbacks of 10 feet to 40 feet; side yard setbacks of 4 feet to 39 feet; and rear yard setbacks of 23 feet to 133 feet. The project proposes a front yard setback of 13 feet, side yard setbacks of 6 feet, and a rear yard setback of 106 feet. Staff has determined that the proposed setbacks are in general conformity with the other properties in the vicinity. Furthermore, the project's proposed overall structure height of 28 feet, 6 inches, complies with the 30-foot Coastal Height Limitation Overlay Zone and PDO requirements. The proposed lot coverage of 24 percent complies with the 60 percent maximum allowed, and the proposed landscaping of 56 percent of the project site exceeds the minimum 30 percent requirement of the PDO. The project meets all development regulations and requires no deviations.

Community Plan and Local Coastal Program Analysis

The LJCP designates the site and surrounding areas to the north, south, east, and west as Very Low Density Residential (0-5 dwelling units/acre). The proposed dwelling unit is consistent with the community plan land use designation. The residential element of the LJCP includes recommendations to maintain and enhance the existing neighborhood character, and to promote visual harmony in the transitions between new and existing structures (page 76). The project site is located in a residential neighborhood that is developed with one and two-story single-family dwelling units of various architectural styles, bulk and scale. Properties along the west side of Prestwick Drive consist of westerly descending lots improved with low-profile dwelling units as viewed from Prestwick Drive. The project proposes a low profile one-story structure over basement compatible with the existing residential character of the neighborhood. As recommended by the LJCP, the project incorporates façade articulation and architectural details, including use of varied front setbacks, materials and colors, and terracing to help reduce perceived structure bulk and scale, and facilitate the transition in scale between the proposed structure and the older structures.

The project site is located approximately half a mile from the Pacific Ocean. The project is not located near any public access, view cone, view corridor, viewshed, or scenic overlook as identified within the LJCP land use plan. Prestwick Drive is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP land use plan (Attachment 10). The project incorporates plan recommendations to help protect public visual resources through structure height, setback, and terracing (page 45). The property is a westerly descending lot with an elevation range of approximately 320 feet above MSL along the east property line adjacent to Prestwick Drive to approximately 237 feet above MSL at the southwest property corner. The project proposes an overall structure height of 28 foot, 6 inches, which is less than the 30-foot maximum allowed, with a structure height of approximately 12 feet, measured from the garage finished grade elevation (319 feet, 6 inches) to the top of parapet (331 feet, 8 inches), along the façade adjacent to Prestwick Drive. The project proposes interior side setbacks of 6 feet. The proposed development will be contained within the existing legal lot area and in general conformity with the established heights and setbacks in the neighborhood. Due to its location, the project will not impact any identified public access, view cone, view corridor, viewshed, or scenic overlook, and the incorporation of the above referenced plan recommendations into project design will help to preserve public views of the ocean from Prestwick Drive.

Environmental Analysis

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following area: Paleontological Resources. The project site is underlain by fill soils and Ardath Shale Formation. Ardath Shale Formation has a high sensitivity for paleontological resources. Grading operations would entail approximately 1,370 cubic yards of cut, with a maximum cut depth of 14 feet. Consequently, the project has the potential to disturb or destroy paleontological resources. Paleontological resources monitoring is recommended during all phases of construction excavation and grading to ensure sensitive resources are not present or impacted by the project. A Mitigated Negative Declaration (MND) No. 449597 has been prepared for the project in accordance with the California Environmental Quality Act (CEQA) and a Mitigation, Monitoring, and Reporting Program (MMRP) requiring paleontological monitoring will be implemented with the project to reduce the potential impact to below a level of significance.

Conclusion

Staff has reviewed the application for the Site Development Permit and Coastal Development Permit and has determined that the project complies with all applicable regulations and policy documents. The project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted General Plan, LJCP/LCP Land Use Plan, the LJSPDO, and the SDMC. Therefore, staff recommends the Hearing Officer approve the Site Development Permit and Coastal Development Permit.

ALTERNATIVES

1. Adopt Mitigated Negative Declaration No. 449597 and Adopt the Mitigation, Monitoring, and Reporting Program; and Approve Site Development Permit No. 1572438 and Coastal Development Permit No. 1572436, with modifications.
2. Do not adopt Mitigated Negative Declaration No. 449597 and Do Not Adopt the Mitigation, Monitoring, and Reporting Program; and Deny Site Development Permit No. 1572438 and Coastal Development Permit No. 1572436, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

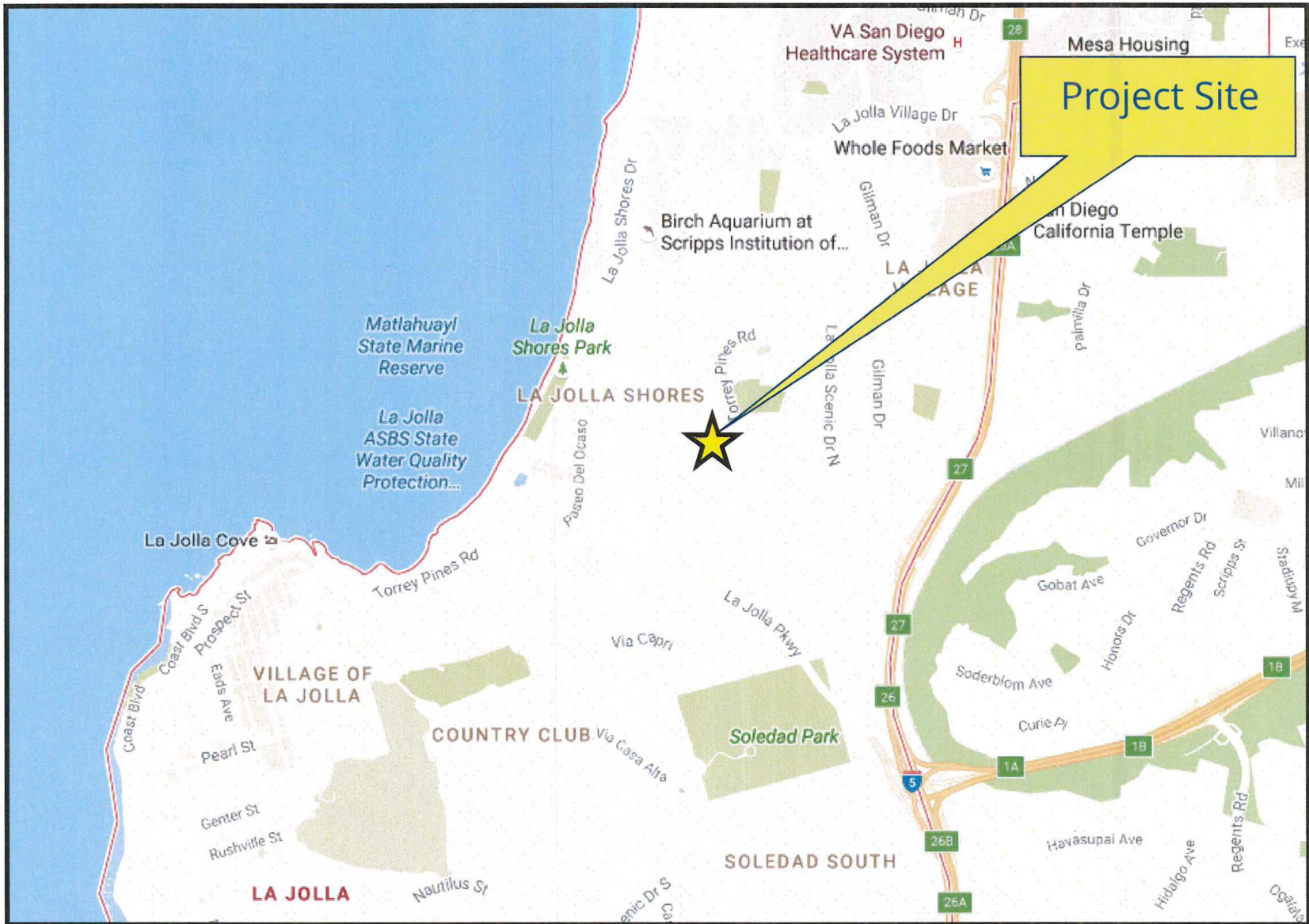


Firouzeh Tirandazi, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph

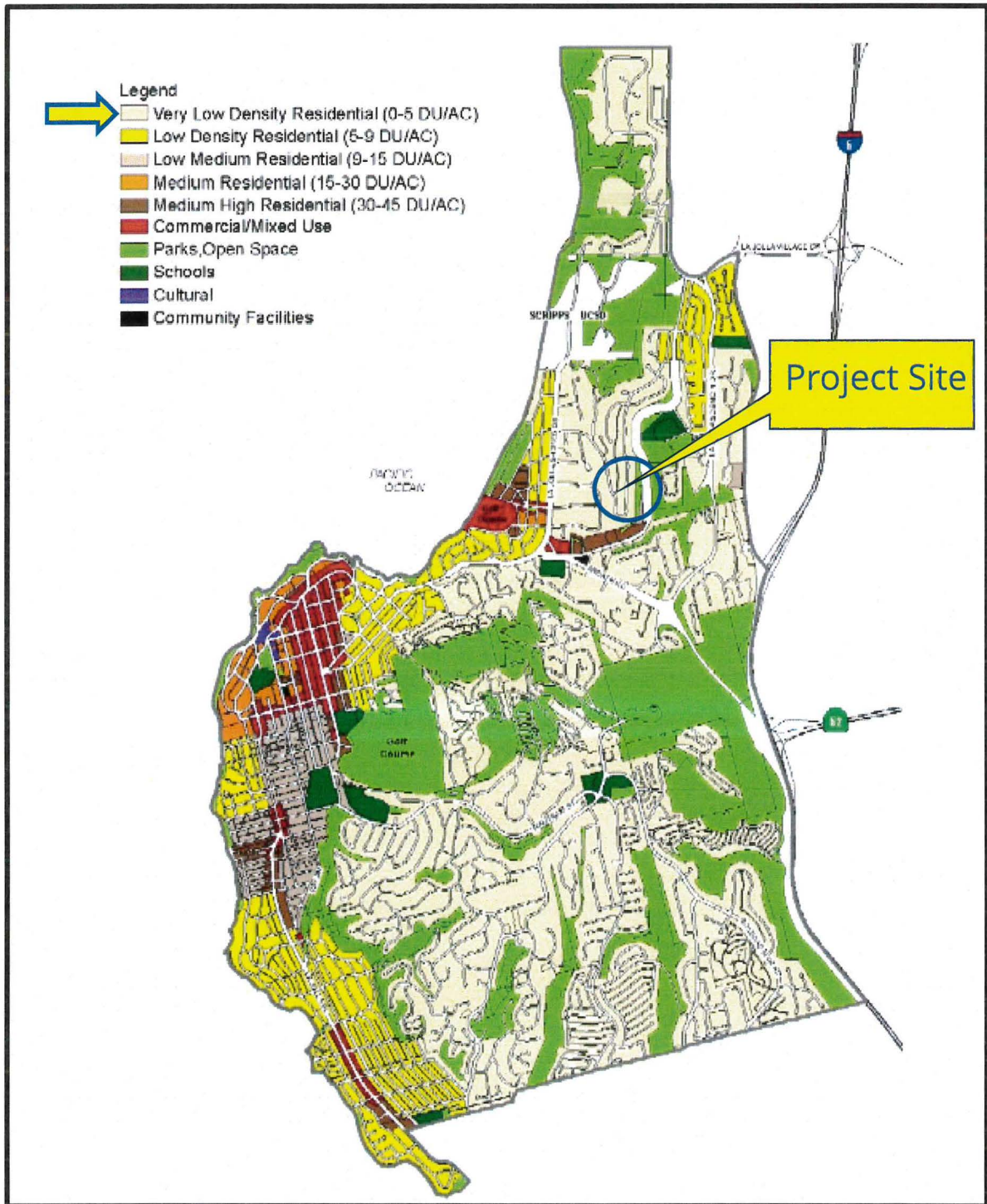
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Environmental Resolution with MMRP
8. La Jolla Community Planning Association Recommendation
9. La Jolla Shores Planned District Advisory Board Recommendation
10. Community Plan – Identified Public Vantage Points
11. Ownership Disclosure Statement
12. Project Plans
13. Climate Action Plan Consistency Checklist



Location Map

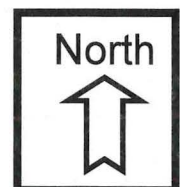
PRESTWICK RESIDENCE- Project No. 449597
8194 Prestwick Drive





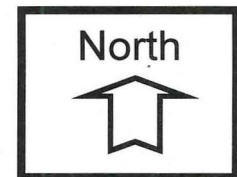
La Jolla Land Use Map

PRESTWICK RESIDENCE- Project No. 449597
8194 Prestwick Drive





Aerial Photograph
PRESTWICK RESIDENCE - Project No. 449597
8194 Prestwick Drive



PROJECT DATA SHEET

PROJECT NAME:	Prestwick Residence	
PROJECT DESCRIPTION:	Demolition of an existing 3,058-square-foot dwelling unit and attached garage, and construction of a new, approximately 5,350-square-foot dwelling unit, consisting of a 4,180-square-foot first floor with a 907-square-foot three-car-garage, and a 263-square-foot covered entry patio over a 1,836-square-foot basement, with associated accessory improvements.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Site Development Permit and Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential at 0-5 dwelling units per acre (du/ac)	
ZONING INFORMATION:		
ZONE:	LJSPD-SF Zone	
HEIGHT LIMIT:	30-foot maximum height limit; 28.6 feet proposed	
LOT SIZE:	0.5 acre	
FLOOR AREA RATIO:	N/A	
FRONT SETBACK:	General Conformity to the Neighborhood; 13 feet proposed	
SIDE SETBACK:	General Conformity to the Neighborhood; 6 feet proposed	
STREETSIDE SETBACK:	General Conformity to the Neighborhood; n/a	
REAR SETBACK:	General Conformity to the Neighborhood; 106 feet proposed	
PARKING:	2	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential; LJSPD-SF Zone	Single Family Residential
SOUTH:	Very Low Density Residential; LJSPD-SF Zone	Single Family Residential
EAST:	Very Low Density Residential; LJSPD-SF Zone	Single Family Residential
WEST:	Very Low Density Residential; LJSPD-SF Zone	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 21, 2016, the La Jolla Shores Planned District Advisory Board voted 4-0-0 to recommend approval of the proposed project with no conditions. On February 4, 2016, the La Jolla Community Planning Association voted 8-2-1 to recommend approval of the project with no conditions.	

HEARING OFFICER RESOLUTION NO. HO-_____
 SITE DEVELOPMENT PERMIT NO. 1572438
 AND COASTAL DEVELOPMENT PERMIT NO. 1572436
PRESTWICK RESIDENCE - PROJECT NO. 449597
[MMRP]

WHEREAS, PRESTWICK REAL ESTATE IRREVOCALBE TRUST, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing dwelling unit and construct a new 5,350-square-foot dwelling unit with an attached garage over basement (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1572438 and 1572436, on portions of a 0.50-acre site;

WHEREAS, the project site is located at 8194 Prestwick Drive in the Single Family (SF) Zone of the La Jolla Shores Planned District, and the Coastal (Non-Appealable Area 2), Coastal Height Limitation, and the Parking Impact (Coastal Impact Area) Overlay Zones, within the La Jolla Community Plan and Local Coastal Program land use plan;

WHEREAS, the project site is legally described as Lot 69 of Prestwick Estates Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego County, November 13, 1959;

WHEREAS, on November 9, 2016, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1572438 and Coastal Development Permit No. 1572436 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated November 9, 2016.

FINDINGS:

Site Development Permit – Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The Prestwick Residence project proposes to demolish an existing dwelling unit, and construct an approximately 5,350-square-foot dwelling unit with an attached garage over basement and accessory improvements on an approximately 0.50-acre property located at 8194 Prestwick Drive in the Single Family (SF) Zone of the La Jolla Shores Planned District (LJSPD). The project site land use designation is Very Low Density Residential use at 0-5 dwelling units per acre in the La Jolla Community Plan and Local Coastal Program (LJCP) land use plan. The proposed dwelling unit is consistent with the land use designation.

The residential element of the LJCP includes several recommendations to maintain and enhance existing neighborhood character, and promote visual harmony in the transitions between new and existing structures (pages 76). The project site is located in a residential

neighborhood that is developed with one and two-story single-family dwelling units of various architectural styles, bulk and scale. Properties along the west side of Prestwick Drive consist of westerly descending lots improved with low-profile dwelling units as viewed from Prestwick Drive. The project proposes a low profile one-story structure over basement compatible with the existing residential character of the neighborhood. As recommended by the LJCP, the project incorporates façade articulation and architectural details, including use of varied front setbacks, materials and colors, and terracing to help reduce perceived structure bulk and scale, and facilitate the transition in scale between the proposed structure and the older structures within the neighborhood.

The project site is located approximately half a mile from the Pacific Ocean. The project is not located near any public access, view cone, view corridor, viewshed, or scenic overlook as identified within the LJCP land use plan. Prestwick Drive is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP land use plan. The project incorporates plan recommendations to help protect public visual resources through structure height, setback, and terracing (page 45).

The property is a westerly descending lot with an elevation range of approximately 320 feet above mean sea level (MSL) along the east property line adjacent to Prestwick Drive to approximately 237 feet above MSL at the southwest property corner. The project proposes an overall structure height of 28 feet, 6 inches, which is less than the 30 feet allowed, with a structure height of approximately 12 feet measured from the garage finished grade elevation (319 feet, 6 inches) to the top of parapet (331 feet, 8 inches) along the façade adjacent to Prestwick Drive. The project proposes interior side setbacks of 6 feet. The proposed development will be contained within the existing legal lot area and in general conformity with the established heights and setbacks in the neighborhood. Due to its location, the project will not impact any identified public access, view cone, view corridor, viewshed, or scenic overlook, and the incorporation of the above referenced plan recommendations into project design will help to preserve public views of the ocean from Prestwick Drive. The project has been found to be consistent with the LJCP land use plan, and therefore, the proposed single-family dwelling unit will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District and the Coastal Overlay Zone. The discretionary permit controlling the development and continued use of this site contains specific regulatory conditions ensuring compliance with all applicable regulations and policies. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing in the surrounding area. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all building, electrical, mechanical, fire, and plumbing codes. Compliance with these regulations during and after construction will be enforced through building inspections completed by the City's building inspectors. Furthermore, this project has been reviewed pursuant to the California Environmental

Quality Act, and the environmental analysis did not find any significant impacts to public health and safety. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed project has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District, applicable regulations of the Municipal Code, and the Coastal Overlay Zone. The La Jolla Shores Planned District Ordinance (PDO) encourages originality and diversity in architecture with “unity with variety” as the guiding principle. The structure as designed is compatible with the character of the area with respect to form, materials, and color. The PDO further requires structure setbacks to be in general conformity with those in the vicinity, and any building with openings to observe a minimum side setback of four feet from the property line. Based on a survey of properties in the neighborhood showing a comparative range of building setbacks, staff has determined that the proposed project setbacks are in general conformity with the other properties in the vicinity. As designed, the project’s proposed overall structure height of 28 feet, 6 inches complies with the 30-foot Coastal Height Limitation Overlay Zone and PDO requirements. The proposed lot coverage of 24 percent complies with the 60 percent maximum allowed, and the proposed landscaping of 56 percent of the project site exceeds the minimum 30 percent requirement. The project incorporates architectural and design features in conformance with the general design regulations of the PDO. Exterior material and color will consist of off white/cream color stucco finish, natural color window and door frames, cream colored stone accent walls, and light grey pebble stone roof. The project is not requesting nor does it require any deviations or variances from the applicable development regulation and policy documents. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

Coastal Development Permit – Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 0.50-acre project site is an interior lot located approximately half a mile from the Pacific Ocean. There is no existing or proposed public accessway to the beach on or adjacent to the project site as identified in the LJCP land use plan. Additionally, the project site is not located near any view cone, view corridor, viewshed, or scenic overlook as identified within the LJCP Land use plan. Prestwick Drive is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP land use plan. The project incorporates plan recommendations to protect public visual resources through structure height, setback, and terracing (page 45).

The property is a westerly descending lot with an elevation range of approximately 320 feet above MSL along the east property line adjacent to Prestwick Drive to approximately 237 feet above MSL at the southwest property corner. The project proposes an overall structure height of 28 foot, which is less than the 30-foot maximum allowed, with a structure height of approximately 12 feet measured from the garage finished grade elevation (319 feet, 6 inches) to the top of parapet (331 feet, 8 inches) along the facade adjacent to Prestwick Drive. The project proposes interior side setbacks of 6 feet. The proposed development will be contained within the existing legal lot area and in general conformity with the established heights and setbacks in the neighborhood. Due to its location, the project will not impact any identified public access, view cone, view corridor, viewshed, or scenic overlook, and the incorporation of the above referenced plan recommendations into project design help preserve public views of the ocean from Prestwick Drive. Based on the above, the project will have no effect upon any existing physical access way legally used by the public or any proposed public accessway, and will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the LJCP/LCP land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site has been previously graded and developed. The site is currently improved with a dwelling unit and located within a fully developed residential neighborhood. Per the project's geology report dated August 18, 2016, prepared by Geotechnical Exploration, Inc., the western portion of the project site consists of an approximately 60-foot high, westerly descending fill over natural slope. Therefore, the project does not contain steep hillsides as defined in San Diego Municipal Code (SDMC) Section 113.0103. A review of the geology report and site photos also indicate the existing site vegetation consists of ornamental landscaping with shrubbery and a few trees. The project site does not contain any environmentally sensitive lands as defined in SDMC Section 113.0103. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project conforms to the LJCP land use designation of 0-5 dwelling units per acre. The project site is located approximately half a mile from the Pacific Ocean. There is no existing or proposed public accessway to the beach on or adjacent to the project site as identified in the LJCP land use plan. Additionally, the project site is not located near any view cone, view corridor, viewshed, or scenic overlook as identified within the LJCP Land use plan. Prestwick Drive is identified as having intermittent or partial vista views as illustrated on Figure 9 of the LJCP land use plan. The project incorporates plan recommendations to protect public visual resources through structure height, setback, and terracing (page 45).

The property is a westerly descending lot with an elevation range of approximately 320 feet above MSL along the east property line adjacent to Prestwick Drive to approximately 237 feet above MSL at the southwest property corner. The project proposes an overall structure

height of 28 feet, 6 inches, which is less than the 30-foot maximum allowed, with a structure height of approximately 12 feet measured from the garage finished grade elevation (319 feet, 6 inches) to the top of parapet (331 feet, 8 inches) along the facade adjacent to Prestwick Drive. The project proposes interior side setbacks of 6 feet. The proposed development will be contained within the existing legal lot area and in general conformity with the established heights and setbacks in the neighborhood. Due to its location, the project will not impact any identified public access, view cone, view corridor, viewshed, or scenic overlook, and the incorporation of the above referenced plan recommendations into project design will help preserve public views of the ocean from Prestwick Drive. The project is not requesting nor does it require any deviations or variances from the applicable regulation and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified LJCP land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is an approximately 0.50-acre interior lot located approximately half a mile from the Pacific Ocean. The property is not located between the ocean and the first public roadway (La Vereda) paralleling the ocean located within the Coastal Overlay Zone. Therefore, the proposed development and approval of the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1572438 and Coastal Development Permit No. 1572436 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1572438 and 1572436, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: _____

IO#: 24006251

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006251

SITE DEVELOPMENT PERMIT NO. 1572438 AND
 COASTAL DEVELOPMENT PERMIT NO. 1572436
PRESTWICK RESIDENCE - PROJECT NO. 449597 [MMRP]
 HEARING OFFICER

This Site Development Permit No. 1572438/Coastal Development Permit No. 1572436 is granted by the Hearing Officer of the City of San Diego to PRESTWICK REAL ESTATE IRREVOCABLE TRUST, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504 and 126.0708. The 0.50-acre site is located at 8194 Prestwick Drive in the Single Family (SF) Zone of the La Jolla Shores Planned District, and the Coastal (Non-Appealable Area 2), Coastal Height Limitation, and the Parking Impact (Coastal Impact Area) Overlay Zones, within the La Jolla Community Plan and Local Coastal Program area. The project site is legally described as: Lot 69 of Prestwick Estates Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego County, November 13, 1959.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing dwelling unit and construct a new approximately 5,350-square-foot dwelling unit consisting of a 4,180-square-foot main level with a 907-square-foot attached garage over an 1,836-square-foot basement as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 9, 2016, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing approximately 3,058-square-foot dwelling unit and attached garage;
- b. Construction of an approximately 5,350-square-foot dwelling unit consisting of a 4,180-square-foot first floor with a 907-square-foot attached garage and a 263-square-foot entry courtyard over a 1,836-square-foot walk-out basement, an 894-square-foot pool equipment/storage structure, covered terraces, patios, and a pool;
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 26, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration NO. 449597, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration NO. 449597, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be complied with to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue area:

- **Paleontological Resources**

CLIMATE ACTION PLAN (CAP) REQUIREMENTS:

14. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

15. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

GEOLOGY REQUIREMENTS:

16. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

17. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

ENGINEERING REQUIREMENTS:

18. The project proposes to export 410 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

19. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Prestwick Drive.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standards 20-foot wide concrete driveway, adjacent to the site on Prestwick Drive.
23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
24. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
25. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
26. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

27. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual and the La Jolla Shores Planned District, 1510.0304(h).
28. Prior to issuance of construction permits for structures, the Owner/Permittee shall submit a Landscape Construction Plan consistent with Approved Exhibit "A," Landscape Development Plan. The Landscape Construction Plan shall show the required 30% landscaped area in a crosshatch pattern labeled "Landscape Area per the La Jolla Shores PDO, 1510.0304(h)." The plan shall provide tabulation of required and actual landscape area provided. The plan shall also show the location of the required Street Trees as per Section 142.0610 of the Land Development Code, Public Facility Regulations.
29. Modifications or changes to the Landscape Construction Plan, including existing or proposed plant material and hardscape, shall be permitted provided the resulting landscape still meets the minimum area requirements of the La Jolla Shores Planned District Ordinance and conforms to the City-wide Grading Regulations and Public Facilities Regulations.

30. The Permittee/Owner shall be responsible for the maintenance of all required landscape improvements, including in the right-of-way, consistent with the Landscape Standards. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

32. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

33. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 9, 2016 and Resolution No. _____.

Permit Type/PTS Approval No.: SDP No. 1572438 and CDP No. 1572436
Date of Approval: _____

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**PRESTWICK REAL ESTATE IRREVOCABLE
TRUST**
Owner/Permittee

By _____
Maria E. Gutierrez De Coppel,
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. HO- _____
PRESTWICK RESIDENCE - PROJECT NO. 449597 [MMRP]
MITIGATED NEGATIVE DECLARATION NO. 449597
ADOPTED ON _____

WHEREAS, on October 8, 2015, Prestwick Real Estate Irrevocable Trust, Owner/Permittee submitted an application to the Development Services Department for a Coastal Development Permit and Site Development Permit for the Prestwick Residence (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on November 9, 2016; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 449597 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Firouzeh Tirandazi
Development Project Manager

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM****PRESTWICK RESIDENCE – PROJECT NO. 449597**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 449597 shall be made conditions of Site Development Permit No. 1572438 and Coastal Development Permit No. 1572436, as may be further described below.

PALEONTOLOGICAL RESOURCES**I. Prior to Permit Issuance****A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction**A. Verification of Records Search**

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading

Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.

3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

Council District 1. Original SF 2867.

PRC Recommendation: Findings CANNOT be made to approve a Coastal Development Permit/Site Development Permit to demolish an existing single dwelling unit and construct a new 10,938 square foot two story single dwelling unit with garage attached 5-0-1.

Trustee Donovan recused herself and left the room for the duration of this item.

Matt Peterson, and architect **Natalie Arango**, representing the applicants spoke. **Mr. Peterson** stated that there had been a project previously approved by the LJCPA and granted a permit for this lot, but the permit had expired. This project is proposed in the same envelope as the previously permitted project. In response to concerns expressed by Ms. Donovan changes had been made including removing a terrace, lowering the east and south elevations by 3', the north and south wings moved 4' east, the parapet lowered and reducing the GFA to 10,585 sf. The height is 16.8 feet above street level and the previously approved plan was at 17'. Both higher than the existing roof, but lower than the allowable. **Engineer Patrick Deboer** also commented with respect to soils. **Architect Paul Benton** also spoke.

Information developed was that there would be a mat foundation and stability would be improved by a two-pump system draining to the street, reducing the flow by 83%.

Dennis Stryker representing the adjacent neighbor, stated that the side wings of the project extended much further back than customary in the neighborhood, utilizing the string line analogy, and would invade the privacy of his client. In response to a query about windows on the wing facing that neighbor's property, the applicants stated that there were no windows on the second floor and the first floor window view would be obscured by the fence between the properties. It was noted that from below this looked like a three-story building and comments were made about setting a precedent. Applicant's reps noted that many other homes on the hillside presented similar rear elevations as seen from below and that the string line was only operative next to the shoreline.

Kim Whitney and the following trustees commented: **Zimmerman, Little, Boyden, Outwater, Emerson, Weiss.**

Approved Motion: To ask the applicant to return to the LJCPA next month and address the issues raised. (Boyden, Steck: 8-2-1)

In favor: Ahern, Boyden, Brady, LaCava, Little, Ragsdale, Steck, Weiss, Zimmerman

Opposed: Emerson

Abstain: Greatrex (Chair)

15.0 COPPEL RESIDENCE 8194 Prestwick Drive CDP, SDP

ACTION ITEM (Process 3) Site Development Permit and Coastal Development Permit. Demolish of an existing 465 sq. ft. garage and 2593 sq. ft. single family residence in order to develop a new 4220 single-story family residence in addition to a 1790 SF walkout basement and a 899 SF 3-car garage and a 925 SF underground mechanical storage room and a 925 SF underground mechanical storage room.

PRC Recommendation: Findings for an SDP and CDP **CAN** be made for the demolition of an existing 2593 sq. ft. single family residence with a 465 sq. ft. garage in order to develop a new 4220 SF one-story single family residence in addition to a 1790 SF walk-out basement, a 899 SF 3-car garage and a 925 SF underground mechanical and storage room. 4-0-0.

No one was present in opposition. There was no presentation, though the applicant was present.

Approved Motion: To ratify the PRC motion that the findings for an SDP and CDP CAN be made for the demolition of an existing 2593 sq. ft. single family residence with a 465 sq. ft. garage in order to develop a new 4220 SF one-story single family residence in addition to a 1790 SF walk-out basement, a 899 SF 3-car garage and a 925 SF underground mechanical and storage room. (LaCava, Weiss: 8-2-1)

In favor: Ahern, Boyden, Brady, Donovan, Emerson, LaCava, Ragsdale, Weiss

Opposed: Zimmerman

Abstain: Greatrex (Chair) Little (no presentation), Steck (absent at PRC)

16.0 President's Report

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 449597 –Prestwick Residence

Item: B **Date:** 3/21/16

Applicant: Cori del Castillo, Island Architects

Description:

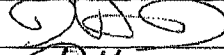



Site Development Permit and Coastal Development Permit to demolish an existing 2,593 sf single-family residence and 465 sf garage on a 21,663 sf lot (0.50 acres) and develop a new 4,220 sf one-story, single-family residence including a 1,790 sf walk-out basement, 899 sf garage, and 925 sf underground mechanical and storage room.

Recommendation


- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		

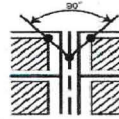
Absentees:


Chairperson

1. Torrey Pines City Park
2. La Jolla Farms Road
3. Scripps Natural Reserve
4. Bluff - top easement at La Jolla Shores Lane
5. Ellentown Road
6. La Jolla Shores Drive from Torrey Pines Rd.
7. La Jolla Shores Dr.
(looking south from the vicinity of Scripps Institution of Oceanography)
8. Allen Field
9. Bordeaux Ave., western half
10. El Paseo Grande after it turns east
11. Camino del Oro after it turns east
12. Whale Watch Way
13. Cliffridge Park
14. Kollogg Park
15. Calle Frescola
16. Prestwick Drive
17. Vallecitos
18. Avenida de la Playa
19. Calle del Cielo
20. Pottery Canyon Park
21. Costabelle Drive
22. Spindrift Drive, South of the Marine Room Restaurant
23. Charlotte Park at the foot of Charlotte Street
24. Coast Blvd., Children's Pool, Shell Beach, Ellen B. Scripps Park & La Jolla Cove
25. Prospect St. and Cave Street
26. Coast Walk
27. North end of Park Row
28. View of La Jolla Shores from Torrey Pines Road
29. Public open space on Torrey Pines Road between St. Louis Terrace and Calle de la Plata
30. Azure Coast Drive
31. Hidden Valley Road
32. Ardath Road
33. Girard Avenue
34. Jenner Street
35. View corridor easement through 7963 Prospect Place to ocean
36. Easement across from John Coal Book Store from Prospect Street and Recreation Center
37. Hillside Drive (portions)
38. Caminito Avola/Via Avola
39. Via Siena at Hillside Drive
40. Rue Denise
41. Portions of La Jolla Scenic Drive South
42. Mt. Soledad, north of Ardath Road
43. Rue Adriane
44. Rue Michael
45. Senn Way
46. Rue de Roark
47. Coast Blvd. Park and South Coast Blvd.
48. View corridor at southwest side of Scripps Hotel site, from Prospect Street
49. La Jolla Community Center Park, Cuvier Street
50. From top of Cuvier Street at Prospect
51. Via Capri (portions)

View Cone

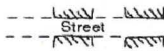
Defined by 90° angle radiating lines from public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each corner property closest to the ocean or shoreline.



note: All views are to a coastal body of water

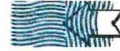
View Corridor

Unobstructed framed view down a public right-of-way



Viewshed

Usually from high elevations looking down over large areas

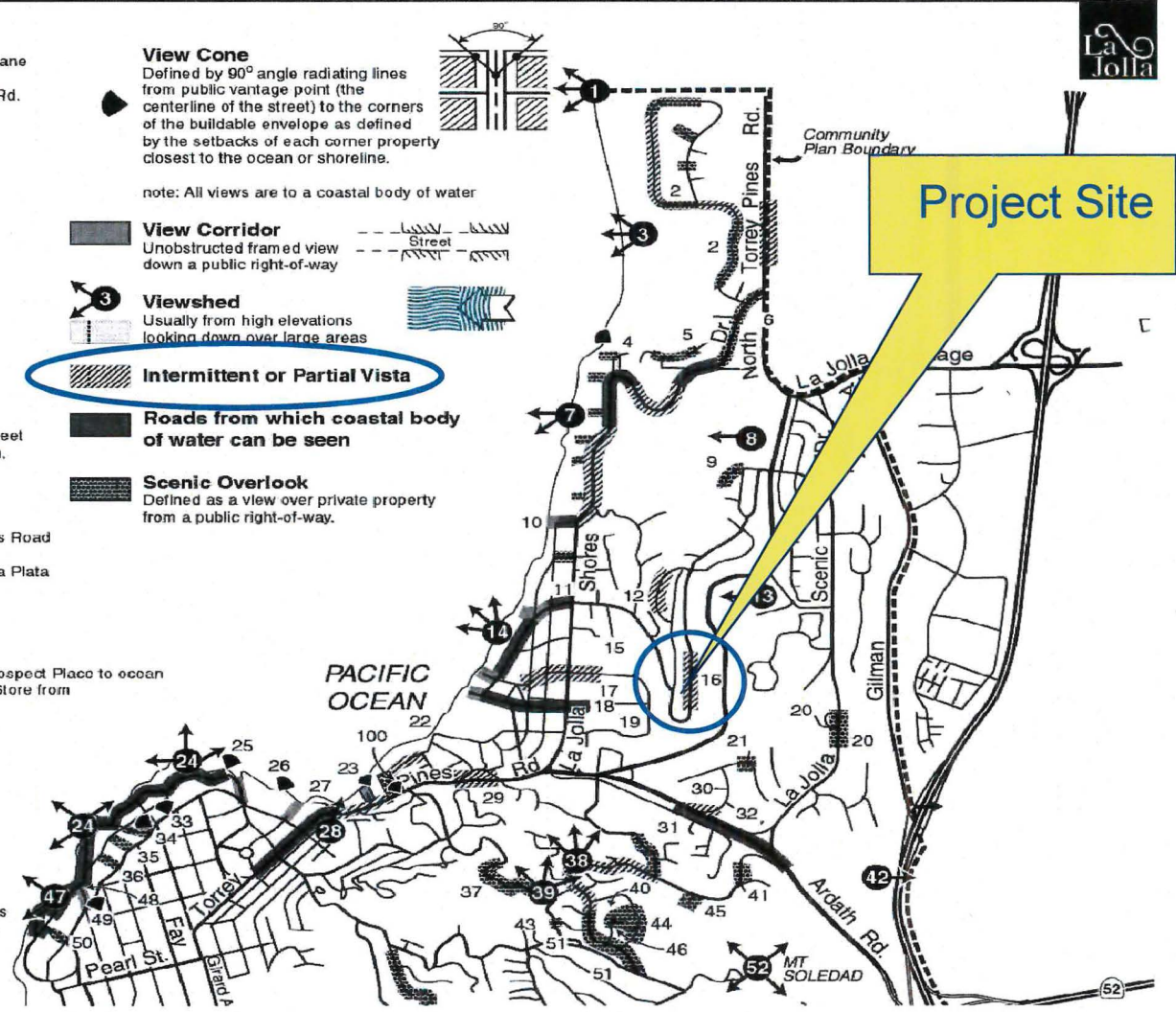


Intermittent or Partial Vista

Roads from which coastal body of water can be seen

Scenic Overlook

Defined as a view over private property from a public right-of-way.



Identified Public Vantage Points (Figure 9)

PRESTWICK RESIDENCE- Project No. 449597
8194 Prestwick Drive





City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

ATTACHMENT 11
Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title _____ Project No. For City Use Only _____

Prestwick Residence

Project Address:

8194 Prestwick Drive La Jolla, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Rodolfo Coppel

Owner Tenant/Lessee Redevelopment Agency

Street Address:
 8895 Towne Centre Drive Suite 105

City/State/Zip:
 San Diego, CA 92122

Phone No:
 (858) 245-1282

Fax No:

Signature:

Date:

7/22/15

Name of Individual (type or print):
 Maria Coppel

Owner Tenant/Lessee Redevelopment Agency

Street Address:
 8895 Towne Centre Drive Suite 105

City/State/Zip:
 San Diego, CA 92122

Phone No:
 (858) 245-1282

Fax No:

Signature:

Date:

MEGCoppel 7/22/2015

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

PRESTWICK RESIDENCE

SDP & CDP SUBMITTAL

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST**
DEMOLISH OF EXISTING 465 SQ. FT. GARAGE AND 2973 SQ. FT. SINGLE FAMILY RESIDENCE IN ORDER TO BUILD A NEW ONE STORY SINGLE FAMILY RESIDENCE CONSISTING OF A WALK-OUT STORAGE BASEMENT OF 1836 SQ. FT. AND A 4180 SQ. FT. MAIN LEVEL WITH A 907 SQ. FT. ATTACHED GARAGE AND 874 SQ. FT. MECHANICAL ROOM.
- STREET ADDRESS**
8194 PRESTWICK DRIVE, LA JOLLA, CA 92037
(Check one) H I W O
Between CALLE DEL CRO and WHALE WATCH WAY.
- SITE AREA**
Total Site Area (gross): 0.50 Ac. 21,663 SQ. FT. Sq. Ft.
Net Site Area 0.50 Ac. 21,663 SQ. FT. Sq. Ft.
(Net site area includes extent of streets and public dedications)
- COVERAGE DATA**
Total Building Area (ground floor): 0.15 Ac. 5,044 SQ. FT.
Total Landscape/Open Space Area: 0.28 Ac. 12,093 SQ. FT.
Total Hardtop/Paved Area: 0.10 Ac. 4,266 SQ. FT.
Allowed Floor Area Ratio (FAR) N/A Gross Floor Area (GFA) 5,350 SF Sq. Ft.
Proposed Floor Area Ratio (FAR) .24
- DENSITY (Residential)**
Maximum no. dwelling units allowed per zone: 1
Number of existing units to remain on site: 1
Number of proposed dwelling units on site: 1
Total number of units provided on the site: 1
- YARD/SETBACK**
Front Yard: Required N/A Ft. Proposed 12'-0"
Side Yard: Required N/A Ft. Proposed 6'-0"
Rear Yard: Required N/A Ft. Proposed 6'-0"
City Approved Setback from Coastal Sea Cliff Buffer Zone: 10'-0" PERCENT OF SLOPE (MAIN LEVEL)
Setback from MAIN HOUSE: Required N/A Ft. Proposed N/A
- PARKING**
Parking Criteria: Residential Commercial Industrial Mixed Use Other
Total number of spaces required by zone: 2
Total number of spaces provided on-site: 2 spaces

SCOPE OF WORK ATTACHMENT 12

DEMOLISH OF EXISTING 465 SQ. FT. GARAGE AND 2973 SQ. FT. SINGLE FAMILY RESIDENCE IN ORDER TO BUILD A NEW ONE STORY SINGLE FAMILY RESIDENCE CONSISTING OF A WALK-OUT STORAGE BASEMENT OF 1836 SQ. FT. AND A 4180 SQ. FT. MAIN LEVEL WITH A 907 SQ. FT. ATTACHED GARAGE AND 874 SQ. FT. MECHANICAL ROOM.

PROJECT INFORMATION

OWNER: RODOLFO & MARIA COPPEL 8975 Torrey Centre Dr., Suite 105 San Diego, CA 92122	GROSS SITE AREA: 21,663 SQ. FT.	APPROVALS
SITE ADDRESS: 8194 PRESTWICK DRIVE, LA JOLLA, CA 92037	PARKING REQUIREMENTS: 2	OCCUPANCY: RS
A.P.N.: 346-383-03-00	YEAR BUILT: 1975	
ZONE: LUPD-SF	BUILDING HEIGHT: 28'-0"	
LEGAL DESCRIPTION: LOT 47, TR 4392	NUMBER OF STORES: EXISTING: 1 PROPOSED: 1 WITH BASEMENT	

FAR CALCULATIONS

HABITABLE	LOWER LEVEL	1836 SF	NOT INCLUDED IN GFA
COVERED PATIO (NOT INCL. GFA)	4180 SF	INCLUDED IN GFA	
TOTAL HABITABLE: 6015 SF			
NON HABITABLE	STORAGE	894 SF	NOT INCLUDED IN GFA
GARAGE	907 SF	INCLUDED IN GFA	
TOTAL NON-HABITABLE: 1,801 SF			

COVERED ENTRANCE PATIO (INCL. IN GFA)	263 SQ. FT.
COVERED TERRACE (NOT INCL. GFA)	1,435 SQ. FT.
COVERED PATIO (NOT INCL. GFA)	1,258 SQ. FT.
TOTAL COVERED TERRACES AND BALCONIES	2,957 SF
TOTAL GROSS FLOOR AREA:	5,350 SF
TOTAL COUNTABLE TOWARDS FAR:	5,350 SF
PROPOSED FAR:	.24
TOTAL HABITABLE:	6,015 SF
TOTAL NON-HABITABLE:	1,801 SF

DEFERRED SUBMITTALS

1. RESIDENTIAL FIRE SPRINKLERS
THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLERS PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R312 HAS BEEN DEFERRED.
TO AVOID DELAYS IN CONSTRUCTION, PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 90 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WITH THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FUNDING/REGULATORY INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.

PROPOSED DEVELOPMENT RATIOS

BUILDING FOOTPRINT	5,044	SQ. FT.	24%
LANDSCAPE RATIO	12,093	SQ. FT.	56%
LANDSCAPE RATIO	2,066	SQ. FT.	10%
LOT TOTAL:	21,663	SQ. FT.	100%

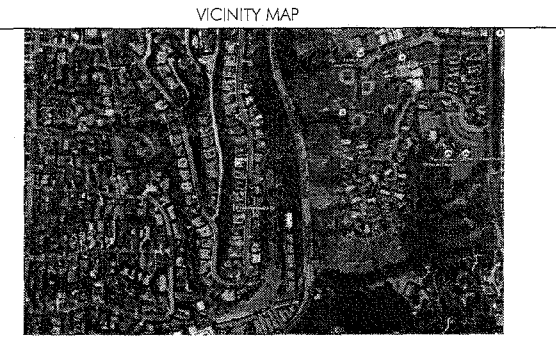
PARCEL INFORMATION

Base Zone: **LUPD-SF** Planned District (if Applicable): **NB**
 Ordinance (Check one): Local Ordinance State Ordinance
 Coastal Height Limit Coastal (C/A) Fire Break Zones 300 Buffer Fire Hazard Severity Zone
 Parking Impact
Environmentally Sensitive Lands: Does the project site contain or is it adjacent to any site that contains any of the following Environmentally Sensitive Lands as identified in the National Coastal Setback Ordinance (11/8/2007):
 Yes No Sensitive Biological Resources Yes No Sensitive Coastal Bluffs
 Yes No Steep Hillside Yes No 100-Year Floodplain
 Yes No Coastal Easements
Historic District: Yes No (If Yes) Name: N/A
 Designated Historic Yes No
Geologic Hazard Categories: 2a Earthquake Fault Buffer Yes No
Appendix:
 222 Notification App. Yes No (If Yes, see Information Bulletin 520, Federal Aviation Administration Notification and Evaluation Process)

PLAN ANALYSIS

TYPE OF CONSTRUCTION
TYPE VB

APPLICABLE CODES
ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:
 2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA FIRE PREVENTATION CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2010 CALIFORNIA ENERGY CODE
 THIS PROJECT SHALL COMPLY WITH THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24), WHICH ADOPTS THE 2012 IBC, 2012 LFC, 2012 IMC, 2012 EBC, 2012 NEC AND IBC. THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30" ABOVE GRADE (SEE 11.23.2 (1)). ALL REQ. PERMITS MUST BE OBTAINED FROM PER PLAN CHECK BEFORE THE BUILDING IS OCCUPIED. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA, TITLE 24 C.C.R. AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.



SYMBOLS AND LEGEND

ELEVATION MARKER	OTHER
1011.10	WOOD
1011.10	INSULATION (BATT OR BOARD)
1011.10	WATER (CONTIGUOUS) / W/ INTRUSION
WINDOW TYPE INDICATOR	DOOR TYPE INDICATOR
MATCH LINE/DATUM POINT	REVISION INDICATOR
WINDOW TYPE INDICATOR	REVISION INDICATOR
DOOR TYPE INDICATOR	WALLS

CONSULTANTS

ARCHITECTS ISLAND ARCHITECTS 2600 RIVERVIEW AVENUE LA JOLLA, CALIFORNIA 92037 PH: (858) 459-9791 FAX: (858) 456-0951 PROJECT MANAGER: CORIE DE CASTILLO CCASTILLO@ISLANDARCH.COM	SOILS ENGINEER GEO TECHNICAL EXPLORATION, INC. 7420 TRADE STREET SAN DIEGO, CA 92121 PH: (858) 549-7222 FAX: (858) 549-1000 CONTACT: JAY HEBER
CIVIL ENGINEER / SURVEYOR PASCO LAUREL SMITH & ASSOCIATES 535 N. HIGHWAY 101 SUITE A SOLANA BEACH, CA 92075 PH: 658-259-8212 FAX: 658-259-8712 BRIAN ANDERSON, P.E., QSD BANDUN@PISMAENGINEERING.COM	

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:
 1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
 2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
 3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
 4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
 5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
 6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
 7. THE SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM SUBMITTAL REQUIREMENTS CONTAINED IN LAND DEVELOPMENT HANDBOOK, VOLUME 1, CHAPTER 1, SECTION 4.
 RESPONSIBLE CERTIFIED PROFESSIONAL NAME: EDWARD SUTTON
 SIGNATURE: [Signature] DATE: 10-2015

DRAWING INDEX

DWG#	DRAWING TITLE
TITLE SHEETS	TITLE SHEET
C1	TOPOGRAPHIC SURVEY
C2	PRELIMINARY GRADING PLAN
C3	SCAPE ANALYSIS
ARCHITECTURAL	
A1.1	SITE PLAN
A1.2	SITE SECTIONS
A2.0	LOWER LEVEL PLAN
A2.1	MAIN LEVEL PLAN
A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
LANDSCAPE	
L1	LANDSCAPE DEVELOPMENT PLAN

CITY STANDARD TITLE BLOCK

PREPARED BY: Name: Island Architects Contact: Corie de Castillo 7420 Trade Avenue La Jolla, CA 92037	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 09: Revision 08: Revision 07: Revision 06: Revision 05: Revision 04: Revision 03: Revision 02: Revision 01:
Phoned: Office: (858) 459-9791 Direct: (858) 456-0951	Original Date: 10-7-2015
Project Name: Prestwick Residence	Original Date: 10-7-2015
Sheet Title: L1	Sheet: 1 of 13 DWG#

ABBREVIATIONS

S. CENTERLINE	D.V. DOWN DOOR OPENING	G.L. GLASS	O.D. OVERFLOW DRAIN	SHE. SHOWER
SH. SHOWER OR ROUND	D.O. DOWN DOOR	G.R. GRADE	O.H. OVERHEAD	S.H. SHEET
ESTING	D.P. DOWNPOUT	G.P. GYP. BOARD	G.C. GYPSUM BOARD	S.M. SKULL
A.B.V. ABOVE	D.W. DRIP WAUHER	G.V.B. GYP. BO.	H. HOOR	S.O. SOLID
A.C.C.S. ACCIDENTAL	D.S. DRYWALL	H.E. HOOR	H.S.B. HOOR	S.P. SPECIFICATIONS
A.D. AREA DRAIN	D.T. DRYWALL	H.M. HOOR	H.L. HOOR	S.S. STAINLESS STEEL
A.F.F. ADJUSTABLE	E.A. EACH	H.W. HARDWOOD	H.M. HOOR	S.T. STONE
A.F.F. ADJACENT FINISH GRADE	E.S. EXPANSION JOINT	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
AGGR. AGGREGATE	E.L. EVAPORATION	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
ALUM. ALUMINUM	E.P. ENCLOSED	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
APPROX. APPROXIMATE	E.Q. EQUIPMENT	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
ARCL. ARCHITECT	E.M.P. EMERALD	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
B.O. BOARD	E.H. EMBROID	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
B.R. BRICK	E.S. EXPANSION	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
B.L.C. BLOCK	E.H. EMBROID	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
B.L.C. BLOCK	E.H. EMBROID	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL
B.L.C. BLOCK	E.H. EMBROID	H.M. HOOR	H.L. HOOR	S.T. STAINLESS STEEL

ABBREVIATIONS

CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
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ABBREVIATIONS

CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
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ISLAND ARCHITECTS
DIREX: PATTERSON, R.A. | TONY CRIBARI, R.A.
2102 HERSCHEL AVENUE
LA JOLLA, CA 92037
TEL: (858) 459-9791

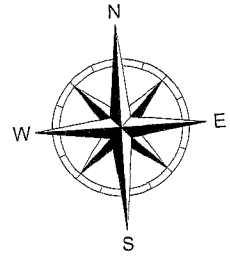
NOT FOR CONSTRUCTION

PRESTWICK RESIDENCE
8194 Prestwick Dr., La Jolla, CA 92037

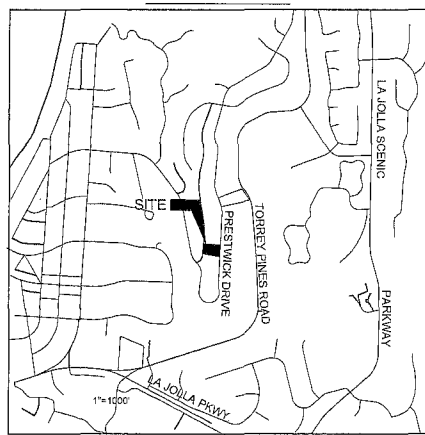
05.09.2016

TITLE SHEET

PRELIMINARY GRADING PLAN + TOPOGRAPHIC MAP FOR: PRESTWICK RESIDENCE 8194 PRESTWICK DRIVE LA JOLLA, CA 92037



VICINITY MAP



NOTES:

PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AND BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

IF SIDEWALK WILL BE CONSTRUCTED ALONG THE PROJECT SITE ON PRESTWICK DRIVE, THE EXISTING DRIVEWAY AND ITS SLOPE WILL BE RECONSTRUCTED TO MEET THE CITY'S STANDARD AND MUNICIPAL CODES.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

SPECIAL NOTES:

1. ELEVATIONS SHOWN ON THIS PLAN REPRESENT RETAINING PORTIONS OF WALLS ONLY. PLEASE SEE LANDSCAPE PLAN FOR NON-RETAINING WALL HEIGHTS AND FINISHES.
2. THIS PLAN FOR PRELIMINARY GRADING AND DRAINAGE PURPOSES ONLY. NOT FOR CONSTRUCTION. FINAL GRADING PLAN TO BE SUBMITTED TO CITY OF SAN DIEGO PRIOR TO CONSTRUCTION.
3. ROOF DRAINS SHALL BE CONNECTED TO PRIVATE DRAIN SYSTEM AND ROUTED THROUGH STORM FILTER UNIT BEFORE LEAVING THE SITE.

OWNER'S CERTIFICATE POST-CONSTRUCTION BMP'S

I, (NAME), THE UNDERSIGNED, AS OWNER(S) OF THE PROPERTY DESCRIBED AS LOT 37 OF PRESTWICK ESTATES, IN THE CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 4392 FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, UNDERSTAND THAT IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE, LAND DEVELOPMENT MANUAL - STORM WATER STANDARDS, THIS PROJECT IS REQUIRED TO IDENTIFY POLLUTANTS FROM THE PROJECT AREA AND INCORPORATE "SITE DESIGN" AND "SOURCE CONTROL" BMP'S.

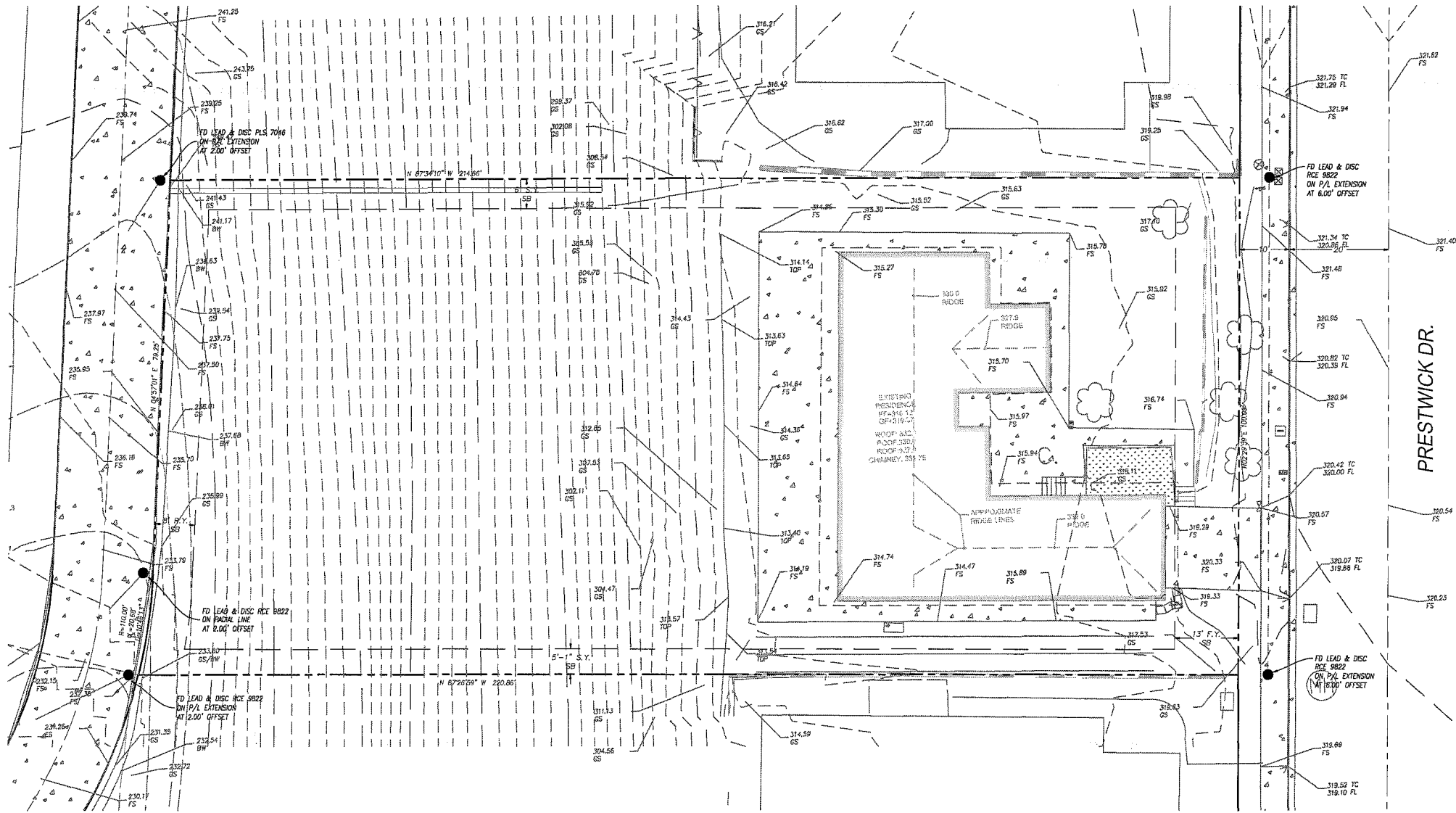
I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT POTENTIAL AND ANTICIPATED POLLUTANTS ASSOCIATED WITH THE PROPOSED LAND USE ARE AS FOLLOWS:
SEDIMENTS, NUTRIENTS, TRASH & DEBRIS, OXYGEN DEMANDING SUBSTANCES, OIL & GREASE, BACTERIA & VIRUSES, AND PESTICIDES.

I/WE WILL INCORPORATE THE FOLLOWING INTO THE SITE DESIGN:
MAINTAIN PRE-DEVELOPMENT RUNOFF CHARACTERISTICS;
MINIMIZE IMPERVIOUS FOOTPRINT BY CONSTRUCTING WALKWAYS, PATIO AND DRIVEWAYS WITH PERMEABLE SURFACES; CONSERVE NATURAL GAS; USE NATURAL DRAINAGE SYSTEMS AS OPPOSED TO LEACH SWALES OR UNDERGROUND DRAINAGE SYSTEMS; DRAIN ROOF TOPS, WALKWAYS, PATIOS AND DRIVEWAYS INTO ADJACENT LANDSCAPING PRIOR TO DISCHARGING TO THE PUBLIC DRAINAGE SYSTEM; PRESERVE EXISTING NATIVE TREES AND SHRUBS; PROTECT ALL SLOPES FROM EROSION.

ADDITIONALLY I/WE WILL:
MINIMIZE THE USE OF PESTICIDES AND USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPE DESIGN - INCORPORATING RAIN SHEDDERS AND FLOW REDUCERS.

I/WE WILL MAINTAIN THE ABOVE STANDARD BMP'S IN PERPETUITY.

OWNER(S) _____ DATE _____



TOPOGRAPHY SURVEY
SCALE: 1" = 10'

PROJECT INFORMATION

ADDRESS: 8194 PRESTWICK DRIVE, LA JOLLA, CA
APN: 346-333-03-00

ABBREVIATED LEGAL DESCRIPTION

LOT 69 OF PRESTWICK ESTATES UNIT NO.1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 13, 1959.

SURVEY NOTES

1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. ELEVATIONS SHOWN ARE PLOTTED FROM MAPS AVAILABLE AT THE TIME OF THE SURVEY. A TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THE SURVEY.
3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO BRASS PLUG BENCHMARK LOCATED AT THE SOUTHWEST CURB RETURN AT THE INTERSECTION OF INVERNESS DRIVE AND PRESTWICK DRIVE, ELEVATION 347.41 FEET (NAD83-89 DATUM). SOME SITE FEATURES ARE BASED ON 1"=40' SCALE AERIAL MAPPING FROM MORENO AERIAL SURVEYS, FLIGHT DATE 4-07-2000. MAPPING MAY NOT REFLECT CURRENT CONDITIONS OUTSIDE SUBJECT SURVEY AREA AND HAS NOT BEEN VERIFIED. CONTOURS ARE DERIVED FROM SAID AERIAL MAPPING AND ARE NOT INTENDED FOR DESIGN PURPOSES. REFER TO MEASURED SPOT ELEVATIONS.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- SETBACK LINE
- MASONRY RETAINING WALL
- INDEX CONTOUR LINE
- INTERMEDIATE CONTOUR LINE
- CONCRETE SURFACE
- ROOF DOWNSPOUT
- TOP OF 6" CURB
- FINISH SURFACE
- FINISH FLOOR
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE



PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
535 North Highway 101, Ste A, Solana Beach, CA 92075
ph 858.259.8212 | fx 858.259.4812 | pls@engineering.com

PLANS PREPARED UNDER THE SUPERVISION OF
DATE: 08-04-15
R.C.E. NO. 21651
BRIAN M. ARDOLINO
EXP. 12-31-15

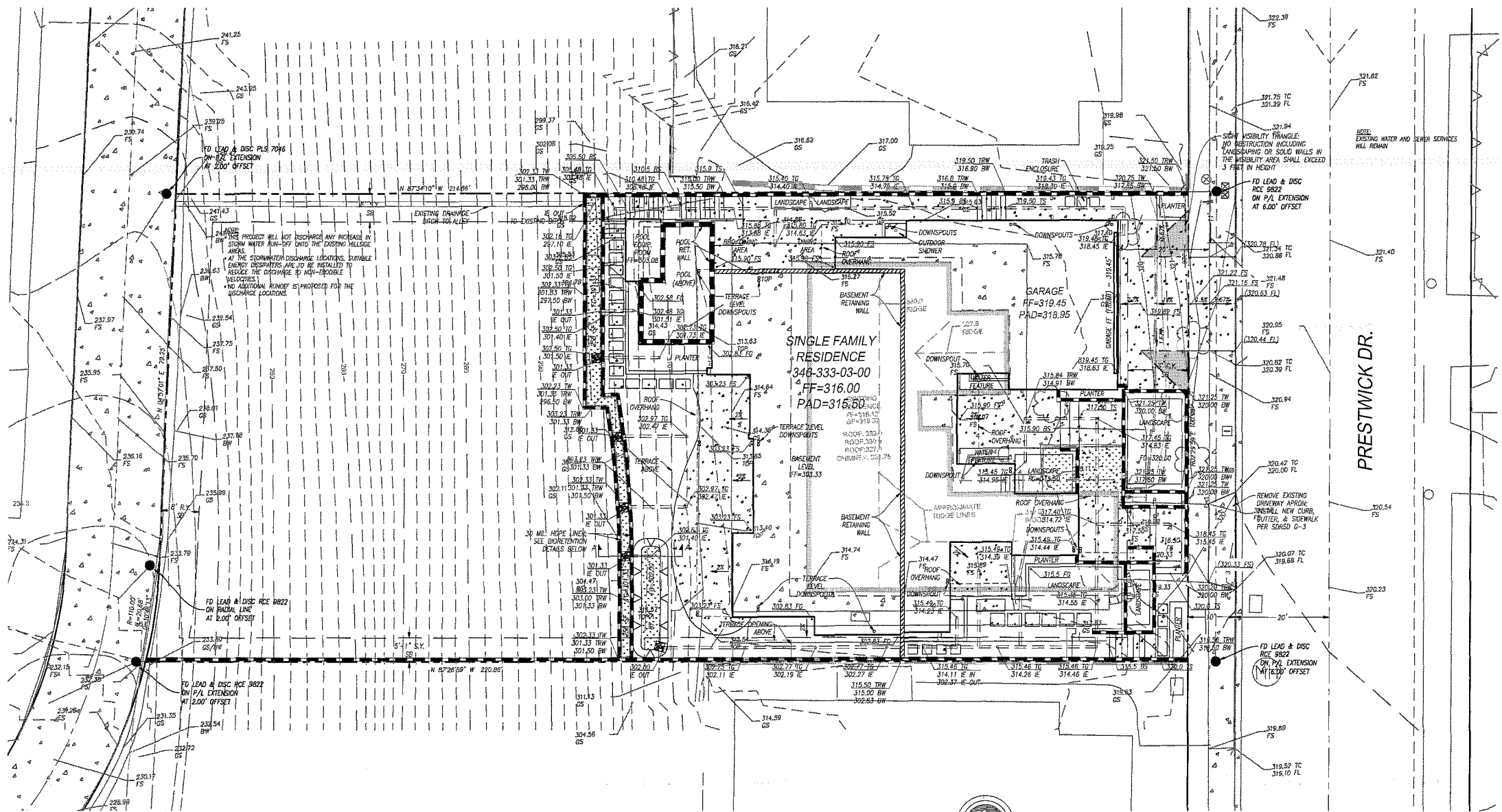
PREPARED BY: Name: PASCO LARET SUITER & ASSOC 535 N HWY 101, SUITE A SOLANA BEACH, CA 92075 Phone: (858) 259-8212	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: Revision 3: Revision 2: Revision 1:
Project Address: 8194 PRESTWICK DRIVE LA JOLLA, CA 92037	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: Revision 3: Revision 2: Revision 1:
Project Name: PRESTWICK RESIDENCE	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 9: Revision 8: Revision 7: Revision 6: Revision 5: Revision 4: Revision 3: Revision 2: Revision 1:
Sheet Title: PRELIMINARY GRADING PLAN	Original Date: AUGUST 4, 2015 Sheet: 1 of 3 DEP#:

C.1

PRELIMINARY GRADING PLAN

8194 PRESTWICK DRIVE

LA JOLLA, CA 92037



SITE INFORMATION

OWNER: RODOLFO AND MARIA COPPEL
 ADDRESS: 8194 PRESTWICK DRIVE
 APN: 346-333-03-00
 AREA: 21,667 SF (0.50 AC)

GRADING TABULATIONS (OUTSIDE BLDG. FOOTPRINT)

TOTAL AREA TO BE GRADED:	12589 SF
AMOUNT OF CUT:	880 CUBIC YARDS
MAXIMUM DEPTH OF CUT OUTSIDE OF THE BUILDING:	13 FEET
AMOUNT OF FILL:	270 CUBIC YARDS
MAXIMUM DEPTH OF FILL OUTSIDE OF THE BUILDING:	4 FEET
AMOUNT OF EXPORT SOIL:	410 CUBIC YARDS

GRADING TABULATIONS (WITHIN BLDG. FOOTPRINT)

REMEDIAL GRADING:	640 CUBIC YARDS
MAXIMUM DEPTH OF REMEDIAL GRADING:	3 FEET
AMOUNT OF CUT:	1370 CUBIC YARDS
MAXIMUM DEPTH OF CUT WITHIN BUILDING FOOTPRINT:	14 FEET
AMOUNT OF FILL:	0 CUBIC YARDS
MAXIMUM DEPTH OF FILL WITHIN BUILDING FOOTPRINT:	0 FEET

LEGAL DESCRIPTION

LOT 89 OF PRESTWICK ESTATES UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 13, 1959.

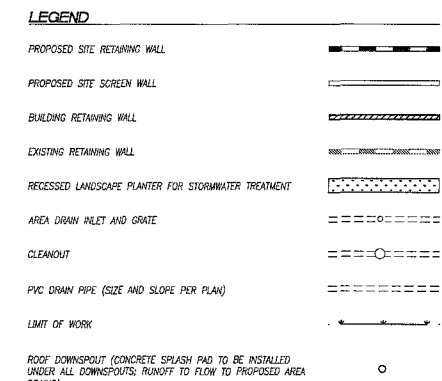
(AS DESCRIBED IN QUTOLAM DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT 2014-0523088)

TOPOGRAPHY

PASCO LARET SUTER & ASSOCIATES
 535 N. COAST HWY 101, SUITE A
 SOLANA BEACH, CA 92075
 656-259-8212
 DATE: JANUARY 22, 2013

BENCHMARK

THE PROJECT BENCHMARK IS THE EAST BRASS PLUG AT THE INTERSECTION OF MURLANDS VISTA WAY AND NAUTILUS STREET, PER THE CITY OF SAN DIEGO VERTICAL CONTROL BOOK, ELEVATION = 313.991.

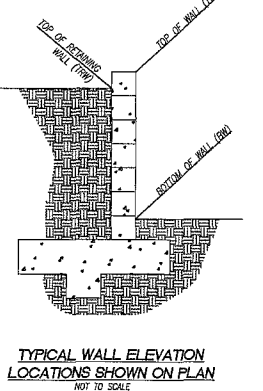
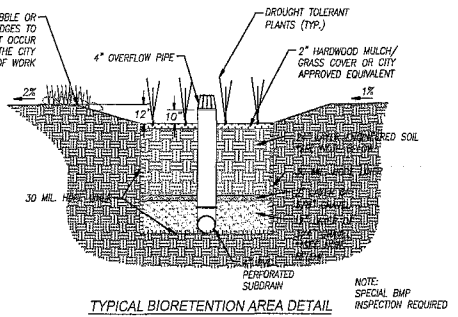
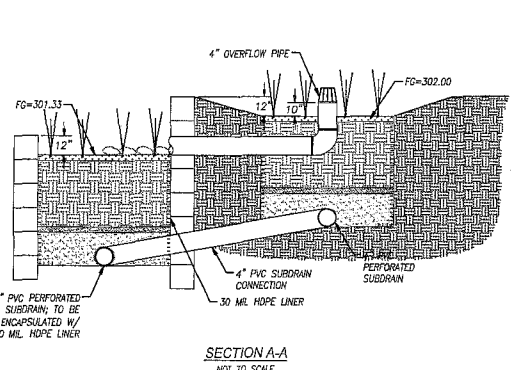


ABBREVIATIONS

BW	BOTTOM OF WALL ELEVATION
BS	BOTTOM OF STAIR ELEVATION
EX	EXISTING
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE ELEVATION
FS	FINISH SURFACE ELEVATION
IE	INVERT ELEVATION
TO	TOP OF GRADE ELEVATION
TS	TOP OF STAIR ELEVATION
TW	TOP OF WALL ELEVATION
TRW	TOP OF RETAINING WALL ELEVATION
WL	WATER LEVEL ELEVATION

- NOTES**
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE Ongoing PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP).
 - DURING THE MINISTERIAL REVIEW OF THE PROJECT, A SITE-SPECIFIC GEOTECHNICAL INVESTIGATION WITH ADDITIONAL SUBSURFACE EXPLORATIONS WILL BE PERFORMED FOR THE PROPOSED DEVELOPMENT AND A GEOTECHNICAL REPORT WILL BE SUBMITTED IN ACCORDANCE WITH THE CITY OF SAN DIEGO SUBORDINATE. BASED ON THE RESULTS OF THE SITE-SPECIFIC GEOTECHNICAL INVESTIGATION, CHARACTERISTICS AND LOCATION OF THE STORM WATER DETENTION/INFILTRATION SYSTEM MAY BE MODIFIED TO THE SATISFACTION OF THE CITY ENGINEER.

PRELIMINARY GRADING PLAN
SCALE: 1" = 10'



* BIORETENTION "ENGINEERED SOIL" LAYER SHALL BE MINIMUM 24" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50-60% SAND, 20-30% COMPOST OR HARDWOOD MULCH, AND 20-30% TOPSOIL, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR DEFECTS, AND ALSO FREE OF NOXIOUS WEEDS.

** 3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 12" BUT MAY BE DEEPENED TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE DETAIL. THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CALCULATION. TYPICALLY, THE SURFACE AREA OF THE BIORETENTION BASIN IS 1/4 OF THE IMPERVIOUS AREA DRAINING TO IT. ALL BIORETENTION PLANTERS TO BE DEPRESSED AT LEAST 6" BELOW ADJACENT FINISHED SURFACE.



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Project Address: 8194 PRESTWICK DRIVE
 LA JOLLA, CA 92037

Project Name: PRESTWICK RESIDENCE

Sheet Title: PRELIMINARY GRADING PLAN

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: _____
 Revision 1: _____

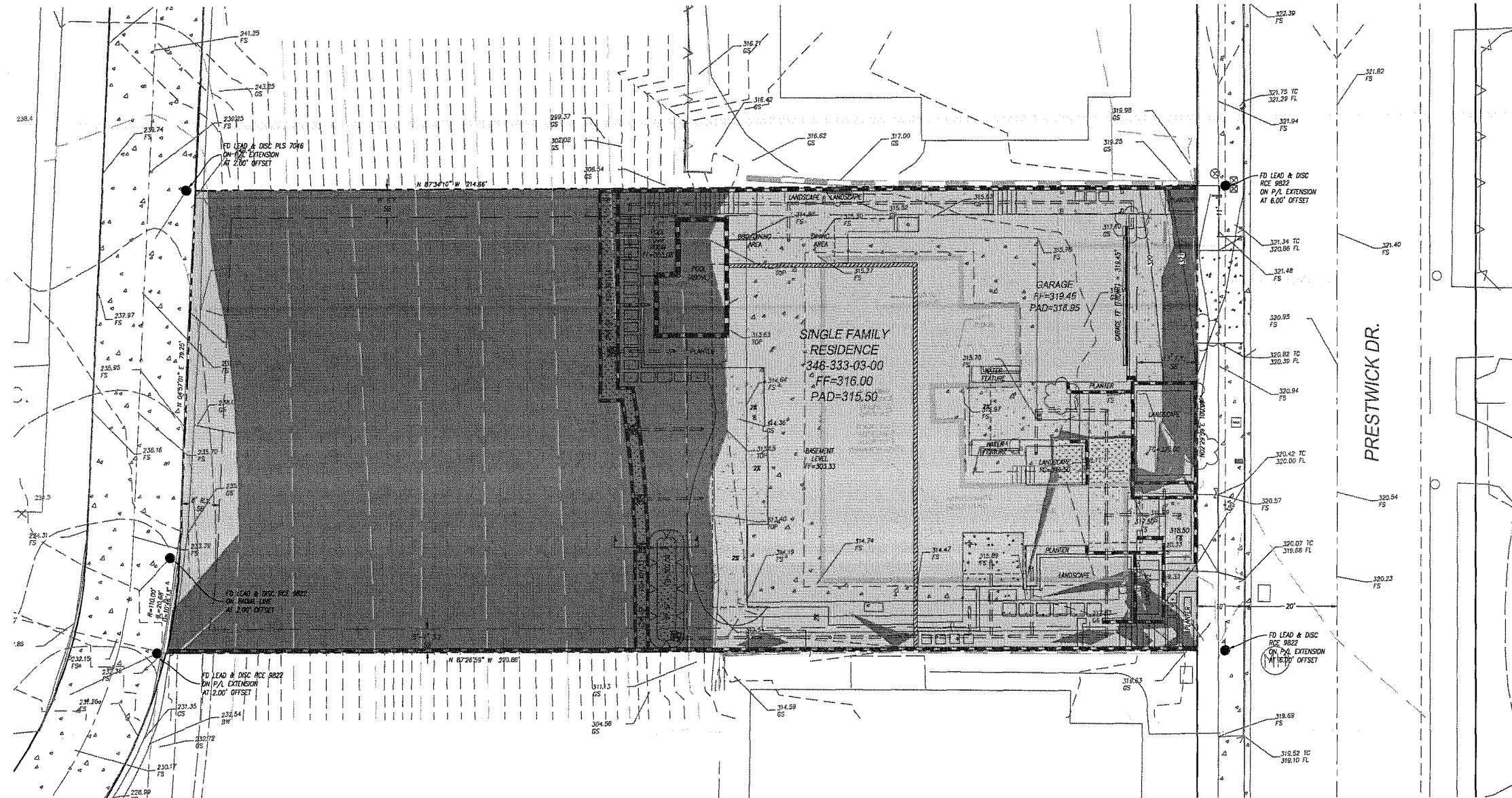
Original Date: AUGUST 4, 2015

Sheet: 2 of 3

DEF#: _____

PLANS PREPARED UNDER THE SUPERVISION OF
 DATE: 08-04-15
 R.C.E. NO. 21651
 EXP. 12-31-15

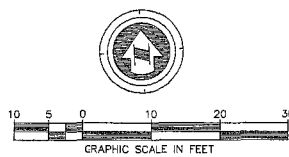
PRELIMINARY GRADING PLAN
8194 PRESTWICK DRIVE
LA JOLLA, CA 92037



SLOPE ANALYSIS
SCALE: 1" = 10'

SLOPE ANALYSIS LEGEND

MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)	COLOR	% OF LOT
0.00%	24.90%	1024.68	[Pattern]	47%
25.00%	100%	1143.47	[Pattern]	53%



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PLANS PREPARED UNDER THE SUPERVISION OF
DATE: 07-30-15
R.C.E. NO. 21651
BRIAN M. ARDOLINO
EXP. 12-31-15

PREPARED BY: PASCO LARET SUITER & ASSOC.
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Phone: (858) 259-8212

Project Address: 8194 PRESTWICK DRIVE LA JOLLA, CA 92037

Project Name: PRESTWICK RESIDENCE

Sheet Title: SLOPE ANALYSIS

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	_____

Original Date: AUGUST 4, 2015
Sheet: 3 of 3
DEP#:

C.3

SITE NOTES

1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
2. PER FPPS POLICY #00-4 (MPC #01.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDAC SECTIONS 131.0444 AND 132.0505) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
4. THE HIGHEST POINT OF ANY ROOF EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.
5. ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
6. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (M.P.C. #01.4.4).
7. FIRE HYDRANTS, 10" @ 4" @ 0-0' FROM PROPERTY USE SITE PLAN. REFER TO SEWERING PLAN FOR REQUIRED 8" DIA. PERMANENT BVA, AND WPC.
8. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
9. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 1. Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plant needs as weather conditions change.
 2. Weather-based controllers without integral rain sensors or communication systems that access local rainfall shall have a separate wind or weather rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
 3. The height of the proposed development shall conform with the 30' maximum structure height and the overall structure height measurements in accordance with SDAC Section 132.0270.

STORM WATER QUALITY NOTES CONSTRUCTION BMPs

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01-NRPL NO. CAS0108788 (AVAILABLE AT: http://www.sandcwb.ca.gov/nrpl097/programs/sd_stormwater.htm)

NOTES 1-4 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
2. ALL STOCKPILES OF UNCOMPACTED SOIL AND / OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROL. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE FOUNDED IN PLACE ON THE SITE.
4. ALL EROSION / SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PROJECT WILL REQUIRE TO IMPLEMENT SPECIFIC PALEONTOLOGICAL RESOURCES MITIGATION/MONITORING AND RECORDING PROGRAM

[Empty box for program details]

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TEL: 858-592-2222



NOT FOR CONSTRUCTION

Contract Number	2016
Job No.	PRESTWICK
Drawn By	AJW
Project No.	0400
Date	05/16/16
Scale	AS SHOWN
Revised	
Checked	
Reviewed	
Approved	



SITE PLAN 1" = 10'-0" ①

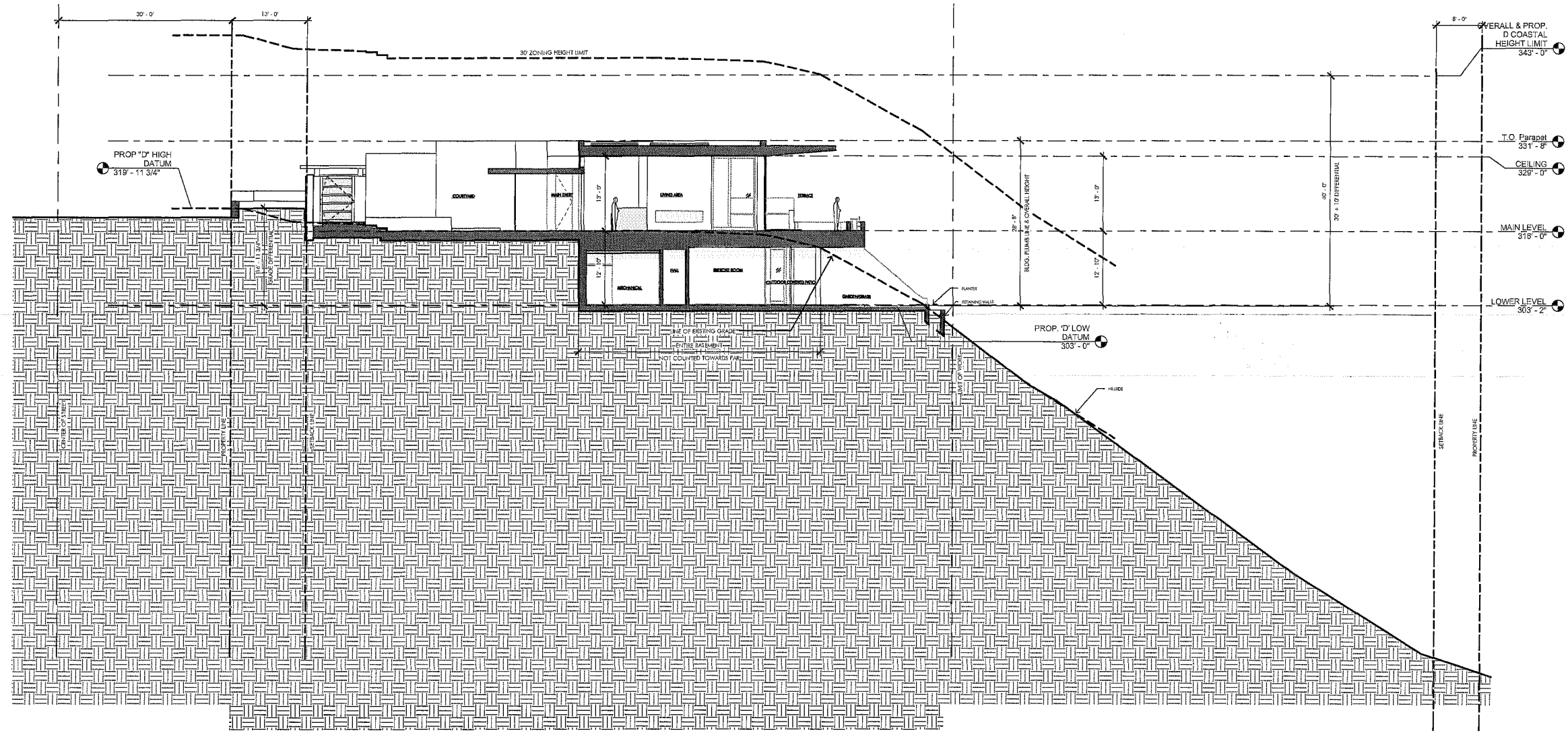
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PREPARED BY:	Island Architects	Revision 14:	
Names:	Concept: Curt Old Castillo	Revision 13:	
	7424 Hacienda Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
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	Direct: (858) 997-2851	Revision 09:	
Sheet Address:	8194 Prestwick Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
Project Name:	Prestwick Residence	Revision 06:	
		Revision 05:	
		Revision 04:	05-04-2016
		Revision 03:	09-17-2016
		Revision 02:	
		Revision 01:	
Sheet Title:	SITE PLAN	Original Date:	10-7-2015
		Scale:	1" = 10'-0"
		DP#:	

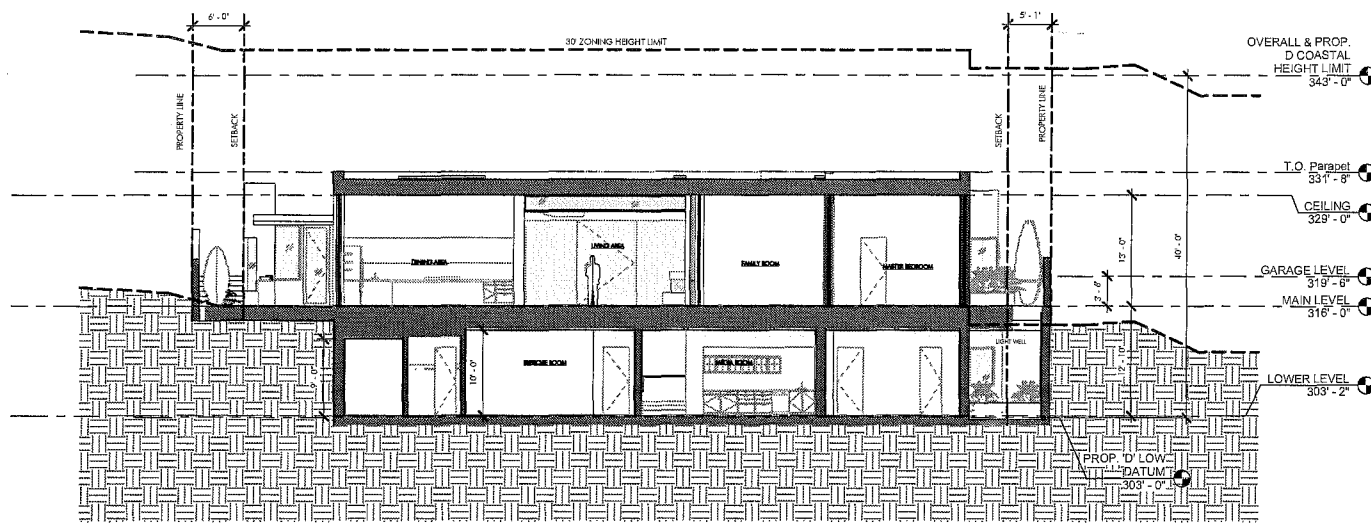


PRESTWICK RESIDENCE
8194 Prestwick Dr., La Jolla CA 92037

A1.1
SITE PLAN



SITE SECTION 1 1/8" = 1'-0" ①



SITE SECTION 2 1/8" = 1'-0" ②

CITY STANDARD TITLE BLOCK

PREPARED BY: Name: Island Architects Contact: Carl del Castillo 7526 Marichel Avenue Los Alamitos, CA 92037 Phone: CA (956) 459-9291 Direct: (956) 849-2851 Street Address: 8194 Prestwick Dr., La Jolla, CA 92037 Project Name: Prestwick Residence Sheet Title: SECTION	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 09: Revision 08: Revision 07: Revision 06: Revision 05: Revision 04: Revision 03: 05-06-2016 Revision 02: 02-17-2014 Revision 01: Original Date: 10-7-2015 Sheet: 4 of 19 Date:
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ISLAND ARCHITECTS
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 TONY PATTERSON, R.A. | TONY CENSATI, R.A.
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NOT FOR CONSTRUCTION

COUNTY: SAN DIEGO CITY: SAN DIEGO DISTRICT: 13 ZONING: R-1 PROJECT: PRESTWICK RESIDENCE SHEET: SECTION DATE: 10/7/2015 BY: TONY CENSATI	REVISIONS NO. DATE DESCRIPTION 01 02-17-2014 02 05-06-2016 03 10-07-2015 04 05 06 07 08 09 10 11 12 13 14
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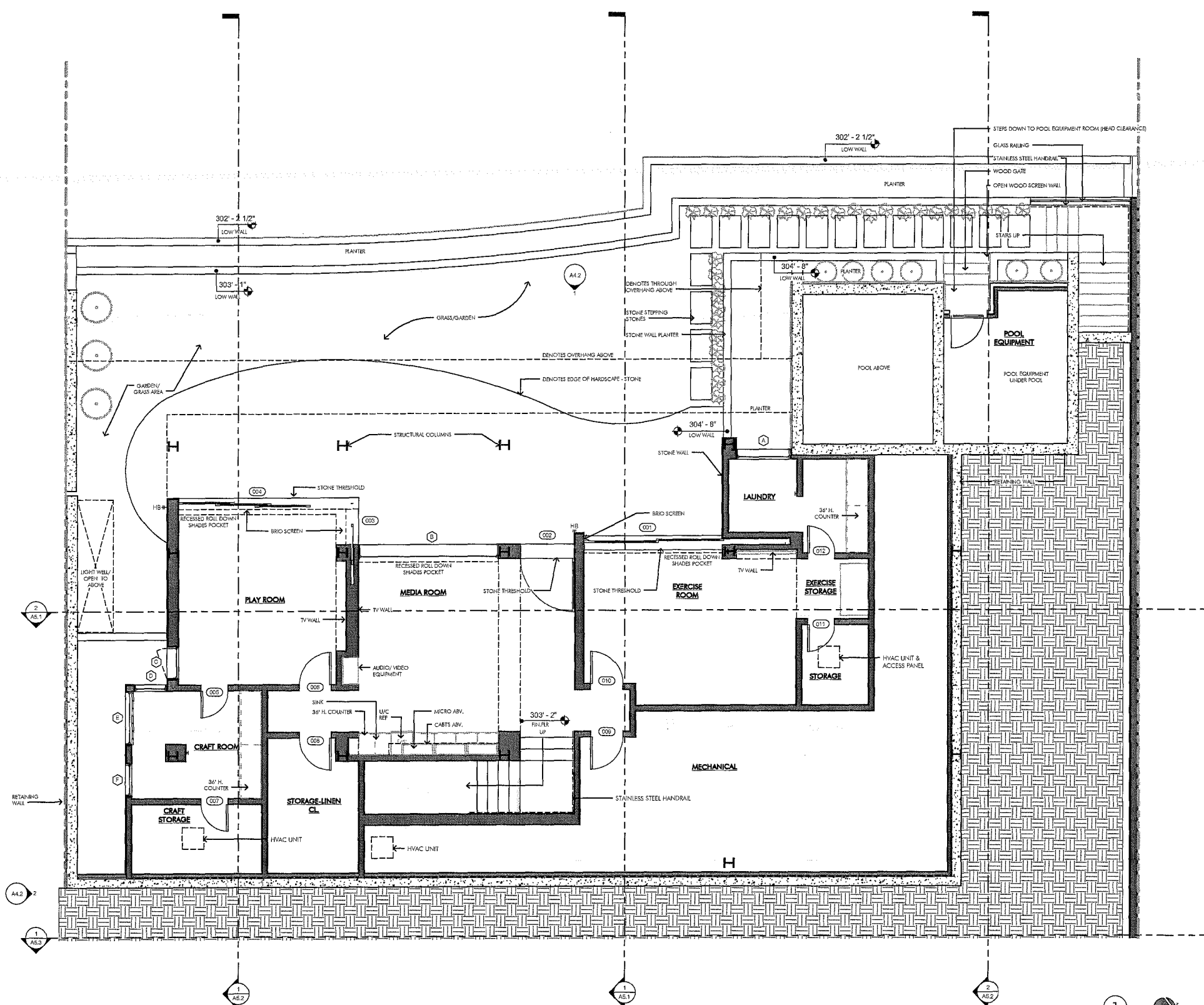
PRESTWICK RESIDENCE
 8194 Prestwick Dr., La Jolla, CA 92037

A1.2
 SITE SECTIONS



NOT FOR CONSTRUCTION

Client: West Avenue	2013
Job #: PRESTWICK	
Designer: Author	
Reviewer: Author	
Date: 05/05/2016	
Scale: 1/4" = 1'-0"	
Sheet: A2.0	
Project: PRESTWICK RESIDENCE	



LOWER LEVEL PLAN 1/4" = 1'-0" ①

CITY STANDARD TITLE BLOCK	
PREPARED BY:	Revision 14:
Name: Island Architects	Revision 13:
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2720 MacArthur Avenue	Revision 11:
La Jolla, CA 92037	Revision 10:
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Direct: (619) 849-2851	Revision 08:
Sheet Address: 8194 Prestwick Dr.	Revision 07:
La Jolla, CA 92037	Revision 06:
Project Name: Prestwick Residence	Revision 05:
Revision 04:	Revision 04:
Revision 03:	Revision 03:
Revision 02:	Revision 02:
Revision 01:	Revision 01:
Original Date: 10-7-2015	Original Date: 05-06-2016
Sheet Title: LOWER LEVEL PLAN	Sheet: 7 of 13
DEP#:	DEP#:

PRESTWICK RESIDENCE
 8194 Prestwick Dr., La Jolla CA 92037

A2.0
 LOWER LEVEL PLAN

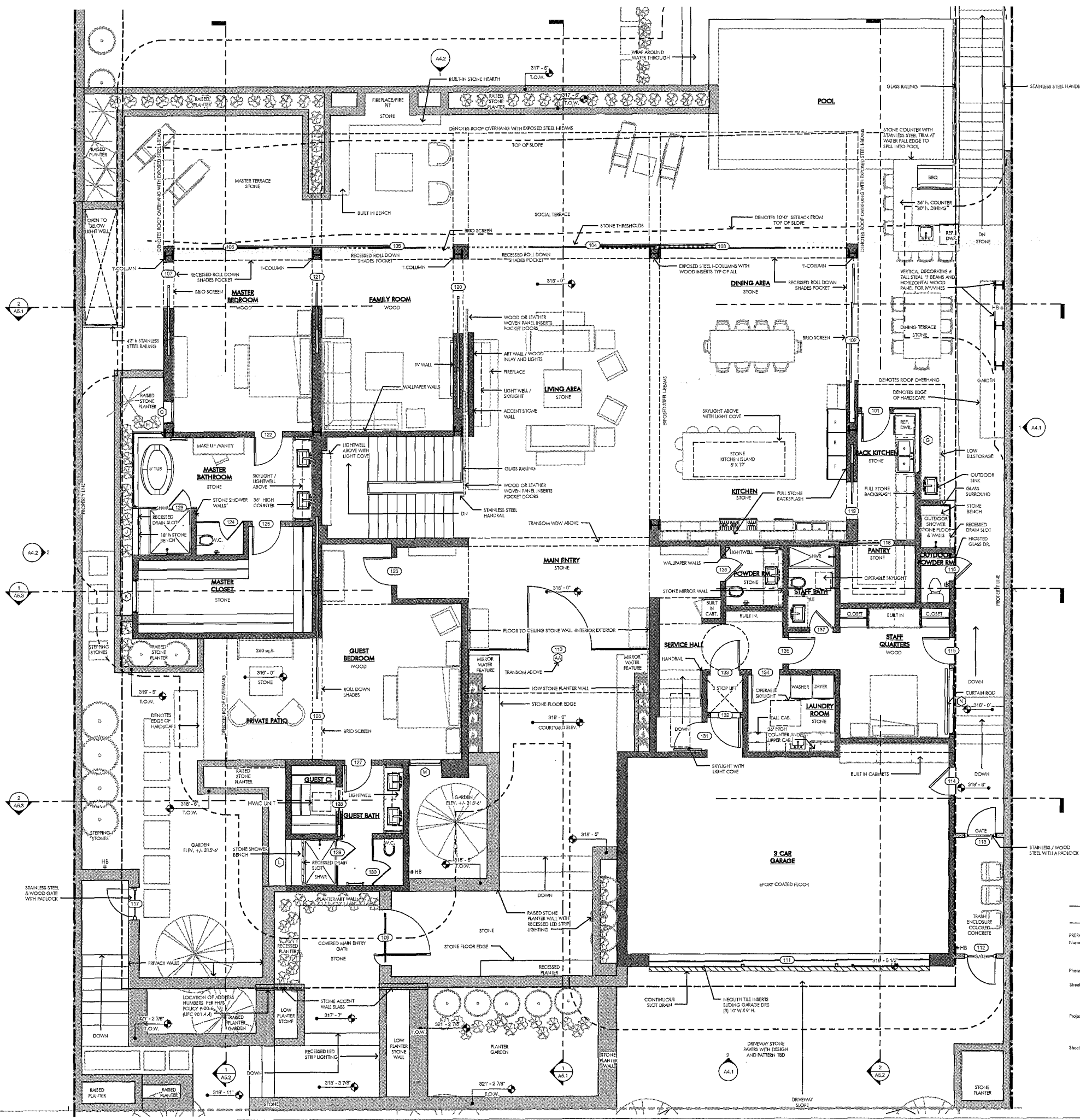


NOT FOR CONSTRUCTION

Client/Architect	2015
IC/A	10/10/15
Drawn by	Author
Proj. Mgr.	Designer
Date	10/15/15
Scale	1/4" = 1'-0"

ISSUANCE

1. GENERAL NOTES



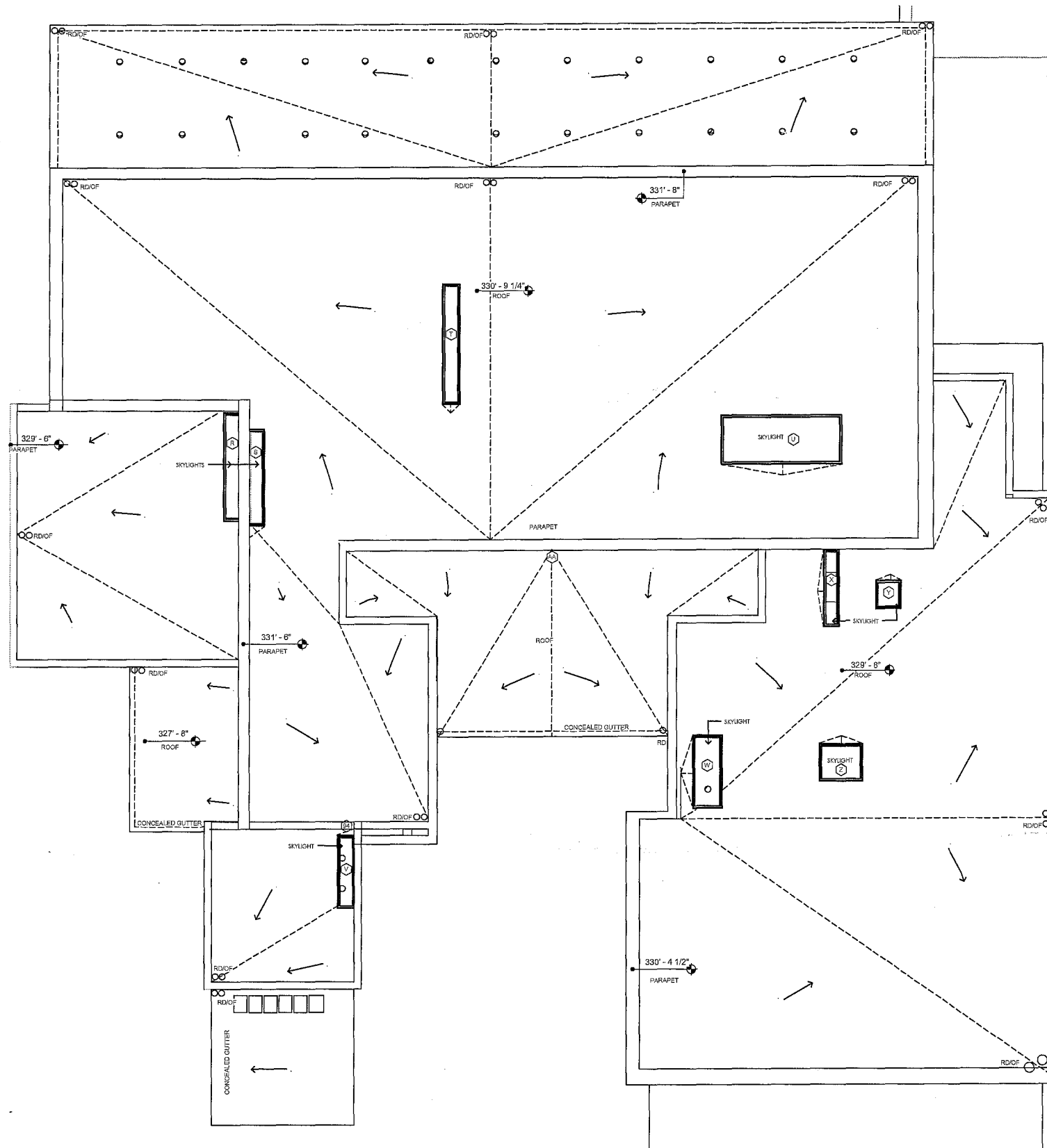
MAIN LEVEL PLAN 1/4" = 1'-0" ①

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
Name:	Contract: Corti del Castillo	Revision 13:	
	7670 Hemlock Avenue	Revision 12:	
	Los Altos, CA 94027	Revision 11:	
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	OR: (650) 869-2851	Revision 09:	
Street Address:	8794 Prestwick Dr.	Revision 08:	
	Los Altos, CA 94027	Revision 07:	
Project Name:	Prestwick Residence	Revision 06:	
		Revision 05:	
Sheet Title:	MAIN LEVEL PLAN	Revision 04:	
		Revision 03:	05-04-2016
		Revision 02:	02-17-2016
		Revision 01:	
		Original Date:	10-7-2015
		Sheet:	8 of 13
		DEF:	

PRESTWICK RESIDENCE
8194 Prestwick Dr., Los Jolito CA 92037

A2.1
MAIN LEVEL PLAN



ROOF NOTES: ATTACHMENT 12

1. ALL RIDGE DIMENSIONS ARE CALLED OUT TO TOP OF SHEATHING
2. ALL ELEVATIONS LOCATED AT EDGE OF WALLS ARE TO TOP OF PLATE
3. ALL PLATE HTS. ARE TAKEN ABOVE FINISH LEVEL F.F. = 0'-0" (EL. = _____)
4. DIMENSIONS SHOWN AT CHIMNEY CAPS ARE TO FINISH MATERIAL
5. ALL SKYLIGHTS TO BE FLAT, TINTED GLAZING & BRONZE FRAME SKYLIGHT.
6. RADIANT BARRIER SHEATHING TO BE USED OVER INTERIOR & ATTIC SPACES

ROOF LEGEND

- CDS = Concealed Downspout
- DS = Downspout
- = Gutter
- = DOWN SPOUT LOCATIONS
- = SCUPPER LOCATIONS

*All locations to be reviewed by Contractor.

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	_____
Name:	Contact: Cort del Cretillo	Revision 13:	_____
	7626 Henschel Avenue	Revision 12:	_____
	La Jolla, CA 92037	Revision 11:	_____
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Sheet Address:	8174 Prestwick Dr.	Revision 08:	_____
	La Jolla, CA 92037	Revision 07:	_____
		Revision 06:	_____
		Revision 05:	_____
Project Name:	Prestwick Residence	Revision 04:	_____
		Revision 03:	_____
		Revision 02:	_____
		Revision 01:	_____
Sheet Title:	Roof Plan	Original Date:	10-7-2015
		Sheet:	s. of 19
		DEP#:	_____

ROOF PLAN 1/4" = 1'-0" ①

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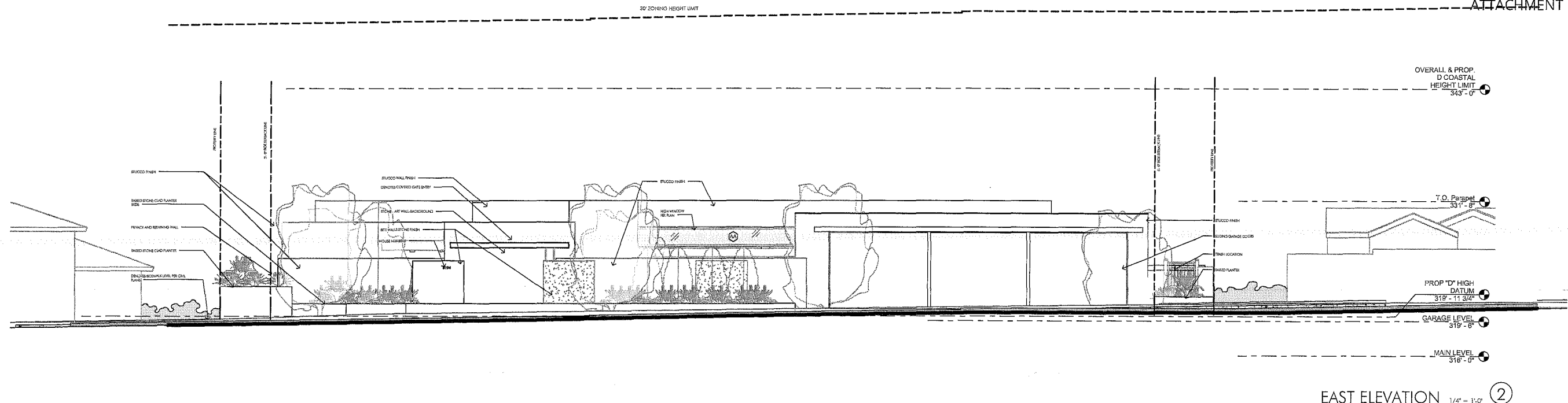
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Client: Island Architects	2015
Job #: 150101	RESIDENCE
Design By: Author	
Checked By: Designer	
Date: 10/7/2015	
Scale: 1/4" = 1'-0"	
Sheet: _____	
Project: _____	
Phase: _____	
Discipline: _____	
Author: _____	
Designer: _____	
Checker: _____	
Project Manager: _____	
Client Representative: _____	

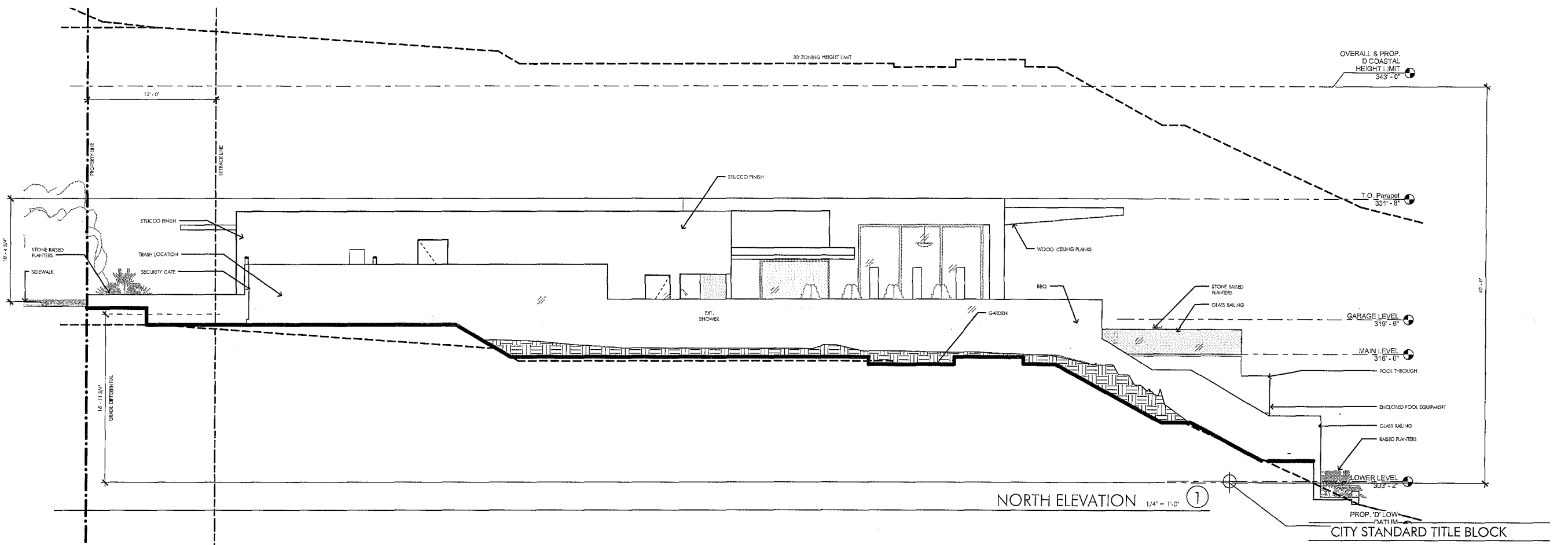
PRESTWICK RESIDENCE
8174 Prestwick Dr., La Jolla CA 92037

A2.3
ROOF PLAN

05/06/2016



EAST ELEVATION 1/4" = 1'-0" (2)



NORTH ELEVATION 1/4" = 1'-0" (1)

EXTERIOR MATERIAL COLOR AND FINISHES

- DRIVEWAY STONE:** BUSH HAMMERED VENATA - BLEND OF BROWN AND RED AND BEIGE TONES
- GARAGE SLIDING DOORS:** PORCELAIN NEOLITH GAMA COLORFEEL - CREAM COLOR
- WINDOW AND DOOR FRAMES:** STAINLESS STEEL - LIGHT NATURAL STEEL COLOR
- STUCCO COLOR:** OFF WHITE/ CREAM REGINA
- STONE ACCENTS WALL:** BRUSHED DORATO - CREAM COLORED STONE W/ BROWN & GREY VEINS
- WOOD TRELLIS:** DUINE SOLID NATURAL - WHITE WASH
- PLANTERS:** PORCELAIN NEOLITH PIETRA DI OSSO - BEIGE COLOR
- FLAT ROOF:** PEBBLE STONE - LIGHT GREY COLOR

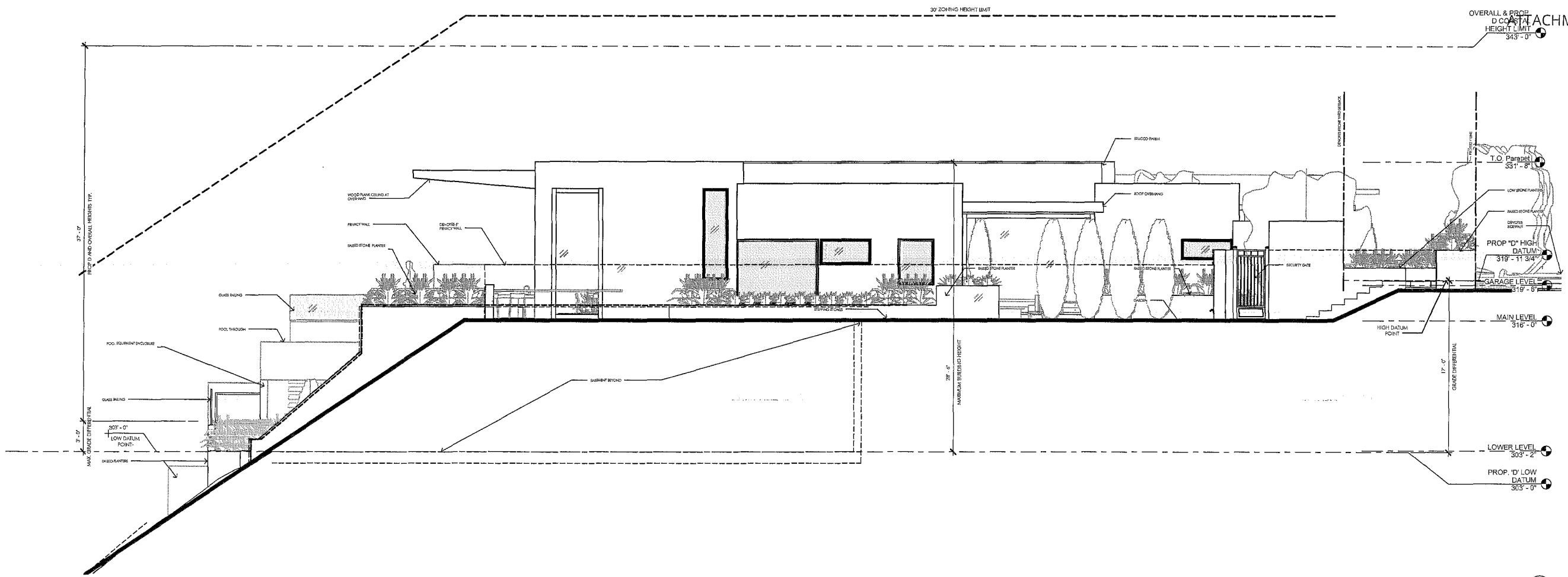
PREPARED BY:		REVISIONS:	
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Project Name:	Prestwick Residence	Revision 10:	
Sheet Title:	EXTERIOR ELEVATIONS	Revision 09:	
		Revision 08:	
		Revision 07:	
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		Revision 04:	
		Revision 03:	
		Revision 02:	05-26-2016
		Revision 01:	05-17-2016
		Original Date:	10-7-2015
		Sheet:	10 of 10
		DEP#:	

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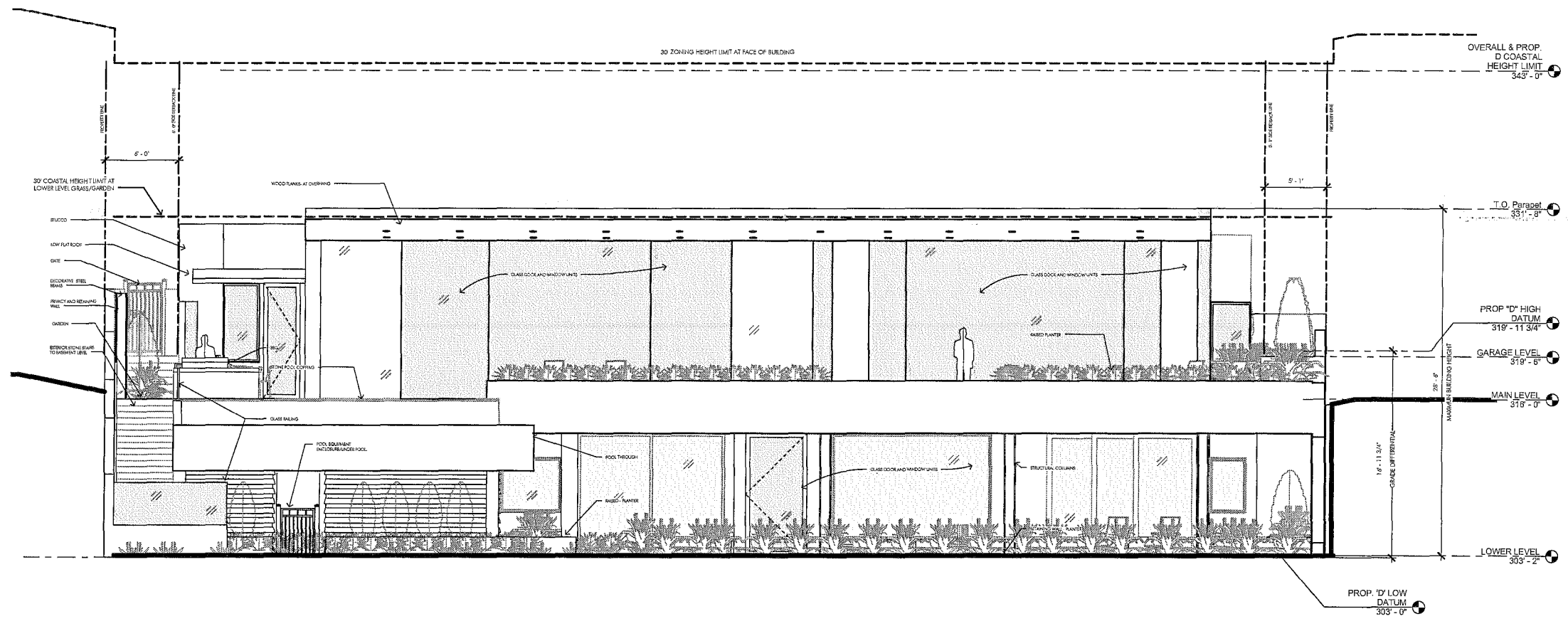
PRESTWICK RESIDENCE
 8194 Prestwick Dr., La Jolla CA 92037

A4.1
 EXTERIOR ELEVATIONS

05/08/2016



South Elevation 1/4" = 1'-0" (2)



West Elevation 1/4" = 1'-0" (1)

- EXTERIOR MATERIAL COLOR AND FINISHES**
- DRIVEWAY STONE:** BUSH HAMMERED VENATA - BLEND OF BROWN AND RED AND BEIGE TONES
 - GARAGE SLIDING DOORS:** PORCELAIN NEOLITH GAMMA COLORFEEL - CREAM COLOR
 - WINDOW AND DOOR FRAMES:** STAINLESS STEEL - LIGHT NATURAL STEEL COLOR
 - STUCCO COLOR:** OFF WHITE/ CREAM COLOR
 - STONE FLOOR EXTERIOR:** CREAM REGINA
 - STONE ACCENTS WALL:** BRUSHED DORATO - CREAM COLORED STONE W/ BROWN & GREY VEINS
 - WOOD TRELLIS:** DUNE SOLID NATURAL - WHITE WASH
 - PLANTERS:** PORCELAIN NEOLITH PIETRA DI OSSO - BEIGE COLOR
 - FLAT ROOF:** PEBBLE STONE - LIGHT GREY COLOR

CITY STANDARD TITLE BLOCK

PREPARED BY:		Island Architects		Revision 14:	
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Street Address:		8194 Prestwick Dr.		Revision 08:	
		Los Angeles, CA 92027		Revision 07:	
Project Name:		Prestwick Residence		Revision 06:	
				Revision 05:	
				Revision 04:	
				Revision 03:	
				Revision 02:	
				Revision 01:	
Original Date:		05-04-2016			
		02-17-2016			
		10-7-2015			
Sheet Title:		PRELIMINARY		11 of 12	
				DEP#:	

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 8194 Prestwick Dr., La Jolla CA 92037

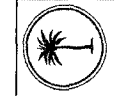
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 EXTERIOR ELEVATIONS

05/08/2016

NOT FOR CONSTRUCTION

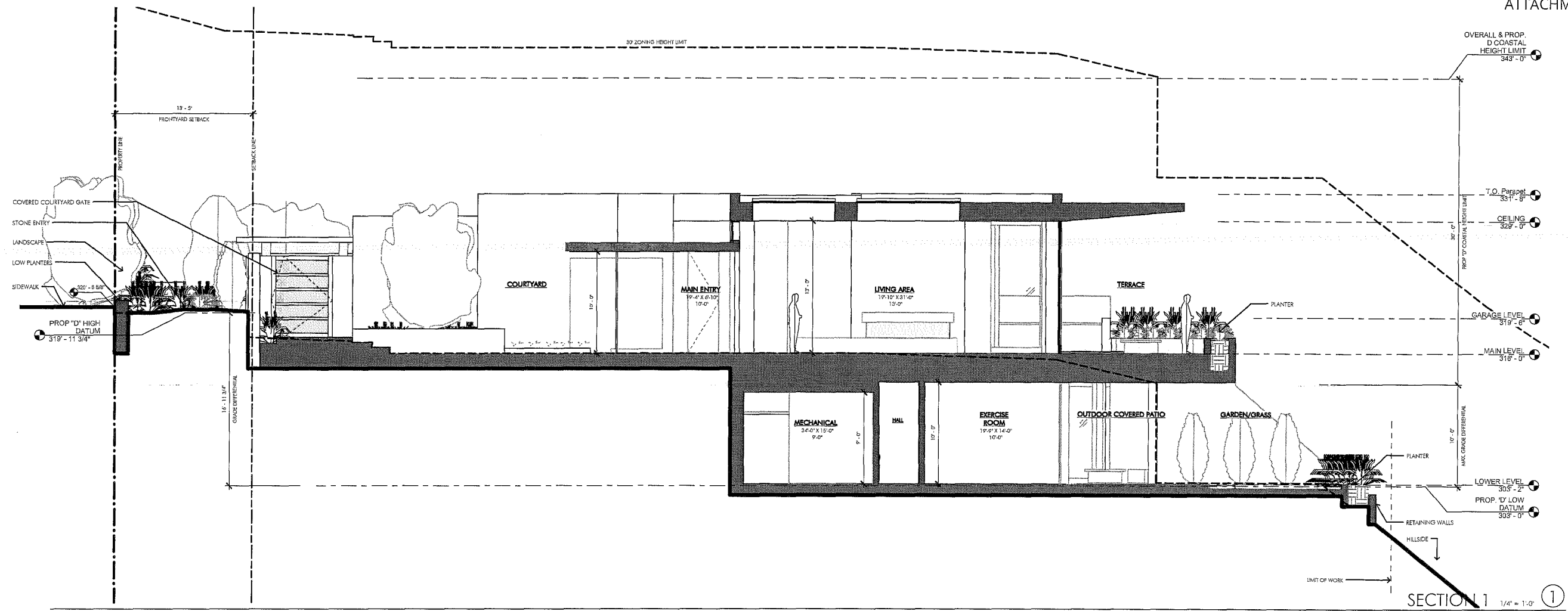
DATE:	05/08/2016
BY:	Tony Crane
CHECKED BY:	Drew Patterson
SCALE:	AS SHOWN
REVISIONS:	
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4:	
5:	
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7:	
8:	
9:	
10:	
11:	
12:	
13:	
14:	

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 LA JOLLA, CA 92037
 TEL: 619.451.1234

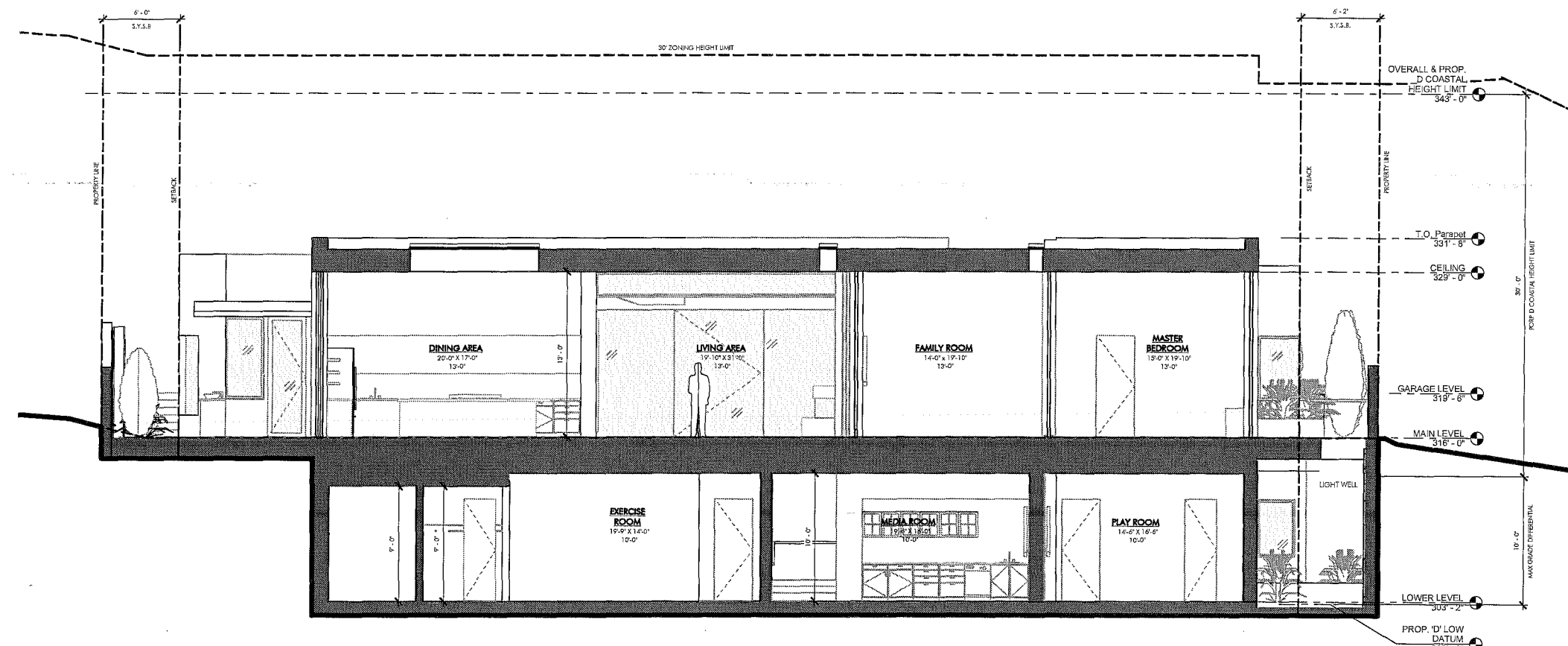


NOT FOR CONSTRUCTION

Copyright Island Architects 2015
 Date: 10/20/15
 Drawn by: Tony Crisafi
 PLO: Drew Patterson
 Date: 10/20/15
 Title: Building Section



SECTION 1 1/4" = 1'-0" (1)



SECTION 2 1/4" = 1'-0" (2)

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
Name:	Carlitos Cortes Castillo	Revision 13:	
Address:	2224 HERRING AVENUE LA JOLLA, CA 92037	Revision 12:	
Phone:	Cell: (619) 459-9291 Direct: (619) 669-2851	Revision 11:	
Sheet Address:	8194 Prestwick Dr. La Jolla, CA 92037	Revision 10:	
Project Name:	Prestwick Residence	Revision 09:	
Sheet Title:	BUILDING SECTIONS	Revision 08:	
		Revision 07:	
		Revision 06:	
		Revision 05:	
		Revision 04:	
		Revision 03:	
		Revision 02:	05.04.2014
		Revision 01:	02.17.2014
		Original Date:	10-7-2015
		Sheets:	13 of 13
		DEP#:	

PRESTWICK RESIDENCE
 8194 Prestwick Dr., La Jolla CA 92037

A5.1
 BUILDING SECTIONS



CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION

- ❖ The Checklist is required only for projects subject to CEQA review.²
- ❖ If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in [Chapter 11: Land Development Procedures](#) of the City's Municipal Code.
- ❖ The requirements in the Checklist will be included in the project's conditions of approval.
- ❖ The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application Information

Contact Information

Project No./Name: PTS 449597 / Prestwick Residence CDP/SDP

Property Address: 8194 Prestwick Dr. La Jolla CA. 92037

Applicant Name/Co.: Island Architects / Cori del Castillo

Contact Phone: (858) 869-2851 Contact Email: _____

Was a consultant retained to complete this checklist? Yes No If Yes, complete the following

Consultant Name: _____ Contact Phone: _____

Company Name: _____ Contact Email: _____

Project Information

1. What is the size of the project (acres)? 0.50 acre (21,661 sf)

2. Identify all applicable proposed land uses:

Residential (indicate # of single-family units): 1

Residential (indicate # of multi-family units): _____

Commercial (total square footage): _____

Industrial (total square footage): _____

Other (describe): _____

3. Is the project located in a Transit Priority Area? Yes No

4. Provide a brief description of the project proposed: Demolish existing 2593 sf SFR and 465 sf. garage construct a new 4180 sf. one story SFR with a 907 sf. attached garage and 1836 walk-out basement and 894 sf. storage room. Various site improvements consist of hardscape, landscape areas and pool.

² Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

*City Council Approved
July 12, 2016*



CAP CONSISTENCY CHECKLIST QUESTIONS

Step 1: Land Use Consistency

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

Step 1: Land Use Consistency		
Checklist Item (Check the appropriate box and provide explanation and supporting documentation for your answer)	Yes	No
<p>1. Is the proposed project consistent with the existing General Plan and Community Plan land use and zoning designations?³ <u>OR</u>,</p> <p>2. If the proposed project is not consistent with the existing land use plan and zoning designations, does the project include a land use plan and/or zoning designation amendment that would result in an equivalent or less GHG intensive project when compared to the existing designations?; <u>OR</u>,</p> <p>3. If the proposed project is not consistent with the existing land use plan and zoning designations, and includes a land use plan and/or zoning designation amendment that would result in an increase in GHG emissions when compared to the existing designations, would the project be located in a Transit Priority Area (TPA) and implement CAP Strategy 3 actions, as determined in Step 3 to the satisfaction of the Development Services Department?</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

If **"Yes,"** proceed to Step 2 of the Checklist. For questions 2 and 3 above, provide estimated project emissions under both existing and proposed designation(s) for comparison. For question 3 above, complete Step 3.

If **"No,"** in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts unless the decision maker finds that a measure is infeasible in accordance with CEQA Guidelines Section 15091. Proceed and complete Step 2 of the Checklist.

³ This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.

Step 2: CAP Strategies Consistency

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that involve permits that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures.⁴ All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the [Greenbook](#) (for public projects).

Step 2: CAP Strategies Consistency			
Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A x
Strategy 1: Energy & Water Efficient Buildings			
<p>1. <i>Cool/Green Roofs.</i></p> <ul style="list-style-type: none"> • Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)?; <u>OR</u> • Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code?; <u>OR</u> • Would the project include a combination of the above two options? <p>Check "N/A" only if the project does not include a roof component.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>2. <i>Plumbing fixtures and fittings</i></p> <p>With respect to plumbing fixtures or fittings provided as part of the project, would those low-flow fixtures/appliances be consistent with each of the following:</p> <p>Residential buildings:</p> <ul style="list-style-type: none"> • Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi; • Standard dishwashers: 4.25 gallons per cycle; • Compact dishwashers: 3.5 gallons per cycle; and • Clothes washers: water factor of 6 gallons per cubic feet of drum capacity? <p>Nonresidential buildings:</p> <ul style="list-style-type: none"> • Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in Table A5.303.2.3.1 (voluntary measures) of the California Green Building Standards Code (See Attachment A); and • Appliances and fixtures for commercial applications that meet the provisions of Section A5.303.3 (voluntary measures) of the California Green Building Standards Code (See Attachment A)? <p>Check "N/A" only if the project does not include any plumbing fixtures or fittings.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

⁴ Actions that are not subject to Step 2 would include, for example: 1) discretionary map actions that do not propose specific development, 2) permits allowing wireless communication facilities, 3) special events permits, 4) use permits that do not result in the expansion or enlargement of a building, and 5) non-building infrastructure projects such as roads and pipelines. Because such actions would not result in new occupancy buildings from which GHG emissions reductions could be achieved, the items contained in Step 2 would not be applicable.

Step 2: CAP Strategies Consistency			
Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A
Strategy 2: Clean & Renewable Energy			
<p>3. <i>Energy Performance Standard / Renewable Energy</i></p> <p>Is the project designed to have an energy budget that meets the following performance standards when compared to the Title 24, Part 6 Energy Budget for the Proposed Design Building as calculated by Compliance Software certified by the California Energy Commission (percent improvement over current code):</p> <ul style="list-style-type: none"> • Low-rise residential – 15% improvement? • Nonresidential with indoor lighting OR mechanical systems, but not both – 5% improvement? • Nonresidential with both indoor lighting AND mechanical systems – 10% improvement?⁵ <p>The demand reduction may be provided through on-site renewable energy generation, such as solar, or by designing the project to have an energy budget that meets the above-mentioned performance standards, when compared to the Title 24, Part 6 Energy Budget for the Proposed Design Building (percent improvement over current code).</p> <p>Note: For Energy Budget calculations, high-rise residential and hotel/motel buildings are considered non-residential buildings.</p> <p>Check "N/A" only if the project does not contain any residential or non-residential buildings.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Strategy 3: Bicycling, Walking, Transit & Land Use			
<p>4. <i>Electric Vehicle Charging</i></p> <ul style="list-style-type: none"> • <u>Single-family projects</u>: Would the required parking serving each new single-family residence and each unit of a duplex be constructed with a listed cabinet, box or enclosure connected to a raceway linking the required parking space to the electrical service, to allow for the future installation of electric vehicle supply equipment to provide an electric vehicle charging station for use by the resident? • <u>Multiple-family projects of 10 dwelling units or less</u>: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents? • <u>Multiple-family projects of more than 10 dwelling units</u>: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official? Of the total listed cabinets, boxes or enclosures provided, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents? 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

⁵ CALGreen defines mechanical systems as equipment, appliances, fixtures, fittings and/or appurtenances, including ventilating, heating, cooling, air-conditioning and refrigeration systems, incinerators and other energy-related systems.

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A x
<ul style="list-style-type: none"> Non-residential projects: If the project includes new commercial, industrial, or other uses with the building or land area, capacity, or numbers of employees listed in Attachment A, would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official? Of the total listed cabinets, boxes or enclosures provided, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use? <p>Check "N/A" only if the project is does not include new commercial, industrial, or other uses with the building or land area, capacity, or numbers of employees listed in Attachment A.</p>			

Strategy 3: Bicycling, Walking, Transit & Land Use
(Complete this section if project includes non-residential or mixed uses)

<p>5. <i>Bicycle Parking Spaces</i></p> <p>Would the project provide more short- and long-term bicycle parking spaces than required in the City's Municipal Code (Chapter 14, Article 2, Division 5)?⁶</p> <p>Check "N/A" only if the project is a residential project.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>																		
<p>6. <i>Shower facilities</i></p> <p>If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include changing/shower facilities in accordance with the voluntary measures under the California Green Building Standards Code as shown in the table below?</p> <table border="1" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th style="background-color: #0070c0; color: white;">Number of Tenant Occupants (Employees)</th> <th style="background-color: #0070c0; color: white;">Shower/Changing Facilities Required</th> <th style="background-color: #0070c0; color: white;">Two-Tier (12" X 15" X 72") Personal Effects Lockers Required</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">0-10</td> <td style="text-align: center;">0</td> <td style="text-align: center;">0</td> </tr> <tr> <td style="text-align: center;">11-50</td> <td style="text-align: center;">1 shower stall</td> <td style="text-align: center;">2</td> </tr> <tr> <td style="text-align: center;">51-100</td> <td style="text-align: center;">1 shower stall</td> <td style="text-align: center;">3</td> </tr> <tr> <td style="text-align: center;">101-200</td> <td style="text-align: center;">1 shower stall</td> <td style="text-align: center;">4</td> </tr> <tr> <td style="text-align: center;">Over 200</td> <td style="text-align: center;">1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants</td> <td style="text-align: center;">1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants</td> </tr> </tbody> </table> <p>Check "N/A" only if the project is a residential project, or if it does not include nonresidential development that would accommodate over 10 tenant occupants (employees).</p>	Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (12" X 15" X 72") Personal Effects Lockers Required	0-10	0	0	11-50	1 shower stall	2	51-100	1 shower stall	3	101-200	1 shower stall	4	Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (12" X 15" X 72") Personal Effects Lockers Required																			
0-10	0	0																			
11-50	1 shower stall	2																			
51-100	1 shower stall	3																			
101-200	1 shower stall	4																			
Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants																			

⁶ Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the project's bicycle parking requirements.

Step 2: CAP Strategies Consistency

Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A x																		
<p>7. <i>Designated Parking Spaces</i></p> <p>If the project includes an employment use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?</p> <table border="1" data-bbox="298 489 870 892"> <thead> <tr> <th>Number of Required Parking Spaces</th> <th>Number of Designated Parking Spaces</th> </tr> </thead> <tbody> <tr> <td>0-9</td> <td>0</td> </tr> <tr> <td>10-25</td> <td>2</td> </tr> <tr> <td>26-50</td> <td>4</td> </tr> <tr> <td>51-75</td> <td>6</td> </tr> <tr> <td>76-100</td> <td>9</td> </tr> <tr> <td>101-150</td> <td>11</td> </tr> <tr> <td>151-200</td> <td>18</td> </tr> <tr> <td>201 and over</td> <td>At least 10% of total</td> </tr> </tbody> </table> <p>This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.</p> <p>Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces. The required designated parking spaces are to be provided within the overall minimum parking requirement, not in addition to it.</p> <p>Check "N/A" only if the project is a residential project, or if it does not include an employment use in a TPA.</p>	Number of Required Parking Spaces	Number of Designated Parking Spaces	0-9	0	10-25	2	26-50	4	51-75	6	76-100	9	101-150	11	151-200	18	201 and over	At least 10% of total	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Number of Required Parking Spaces	Number of Designated Parking Spaces																				
0-9	0																				
10-25	2																				
26-50	4																				
51-75	6																				
76-100	9																				
101-150	11																				
151-200	18																				
201 and over	At least 10% of total																				
<p>8. <i>Transportation Demand Management Program</i></p> <p>If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes:</p> <p>At least one of the following components:</p> <ul style="list-style-type: none"> • Parking cash out program • Parking management plan that includes charging employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools • Unbundled parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the life of the development <p>And at least three of the following components:</p> <ul style="list-style-type: none"> • Commitment to maintaining an employer network in the SANDAG iCommute program and promoting its RideMatcher service to tenants/employees • On-site carsharing vehicle(s) or bikesharing • Flexible or alternative work hours • Telework program • Transit, carpool, and vanpool subsidies 	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>																		

Step 2: CAP Strategies Consistency			
Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A <small>*</small>
<ul style="list-style-type: none"> • Pre-tax deduction for transit or vanpool fares and bicycle commute costs • Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either onsite or within 1,320 feet (1/4 mile) of the structure/use? <p>Check "N/A" only if the project is a residential project or if it would not accommodate over 50 tenant-occupants (employees).</p>			

NON-APPLICABLE

Step 3: Project CAP Conformance Evaluation (if applicable)

The third step of the CAP consistency review only applies if Step 1 is answered in the affirmative under option 3. The purpose of this step is to determine whether a project that is located in a TPA but that includes a land use plan and/or zoning designation amendment that would result in an increase in GHG emissions when compared to the existing designations, is nevertheless consistent with the assumptions in the CAP because it would implement CAP Strategy 3 actions. The following questions must each be answered in the affirmative and fully explained.

1. Would the proposed project implement the General Plan's City of Villages strategy in an identified Transit Priority Area (TPA) that will result in an increase in the capacity for transit-supportive residential and/or employment densities?

Considerations for this question:

- Does the proposed land use and zoning designation associated with the project provide capacity for transit-supportive residential densities within the TPA?
- Is the project site suitable to accommodate mixed-use village development, as defined in the General Plan, within the TPA?
- Does the land use and zoning associated with the project increase the capacity for transit-supportive employment intensities within the TPA?

2. Would the proposed project implement the General Plan's Mobility Element in Transit Priority Areas to increase the use of transit?

Considerations for this question:

- Does the proposed project support/incorporate identified transit routes and stops/stations?
- Does the project include transit priority measures?

3. Would the proposed project implement pedestrian improvements in Transit Priority Areas to increase walking opportunities?

Considerations for this question:

- Does the proposed project circulation system provide multiple and direct pedestrian connections and accessibility to local activity centers (such as transit stations, schools, shopping centers, and libraries)?
- Does the proposed project urban design include features for walkability to promote a transit supportive environment?

4. Would the proposed project implement the City of San Diego's Bicycle Master Plan to increase bicycling opportunities?

Considerations for this question:

- Does the proposed project circulation system include bicycle improvements consistent with the Bicycle Master Plan?
- Does the overall project circulation system provide a balanced, multimodal, "complete streets" approach to accommodate mobility needs of all users?

5. Would the proposed project incorporate implementation mechanisms that support Transit Oriented Development?

Considerations for this question:

- Does the proposed project include new or expanded urban public spaces such as plazas, pocket parks, or urban greens in the TPA?
- Does the land use and zoning associated with the proposed project increase the potential for jobs within the TPA?
- Do the zoning/implementing regulations associated with the proposed project support the efficient use of parking through mechanisms such as: shared parking, parking districts, unbundled parking, reduced parking, paid or time-limited parking, etc.?

6. Would the proposed project implement the Urban Forest Management Plan to increase urban tree canopy coverage?

Considerations for this question:

- Does the proposed project provide at least three different species for the primary, secondary and accent trees in order to accommodate varying parkway widths?
- Does the proposed project include policies or strategies for preserving existing trees?
- Does the proposed project incorporate tree planting that will contribute to the City's 20% urban canopy tree coverage goal?



CLIMATE ACTION PLAN CONSISTENCY CHECKLIST ATTACHMENT A

This attachment provides performance standards for applicable Climate Action Plan (CAP) Consistency Checklist measures.

Table 1 Roof Design Values for Question 1: Cool/ Green Roofs supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan				
Land Use Type	Roof Slope	Minimum 3-Year Aged Solar Reflectance	Thermal Emittance	Solar Reflective Index
Low-Rise Residential	≤ 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	16
High-Rise Residential Buildings, Hotels and Motels	≤ 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	16
Non-Residential	≤ 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	16

Source: Adapted from the [California Green Building Standards Code \(CALGreen\)](#) Tier 1 residential and non-residential voluntary measures shown in Tables A4.106.5.1 and A5.106.11.2.2, respectively. Roof installation and verification shall occur in accordance with the CALGreen Code.

CALGreen does not include recommended values for low-rise residential buildings with roof slopes of ≤ 2:12 for San Diego's climate zones (7 and 10). Therefore, the values for climate zone 15 that covers Imperial County are adapted here.

Solar Reflectance Index (SRI) equal to or greater than the values specified in this table may be used as an alternative to compliance with the aged solar reflectance values and thermal emittance.

NON-APPLICABLE

Table 2 Fixture Flow Rates for Non-Residential Buildings related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Fixture Type	Maximum Flow Rate
Showerheads	1.8 gpm @ 80 psi
Lavatory Faucets	0.35 gpm @ 60 psi
Kitchen Faucets	1.6 gpm @ 60 psi
Wash Fountains	1.6 [rim space(in.)/20 gpm @ 60 psi]
Metering Faucets	0.18 gallons/cycle
Metering Faucets for Wash Fountains	0.18 [rim space(in.)/20 gpm @ 60 psi]
Gravity Tank-type Water Closets	1.12 gallons/flush
Flushometer Tank Water Closets	1.12 gallons/flush
Flushometer Valve Water Closets	1.12 gallons/flush
Electromechanical Hydraulic Water Closets	1.12 gallons/flush
Urinals	0.5 gallons/flush

Source: Adapted from the [California Green Building Standards Code \(CALGreen\)](#) Tier 1 non-residential voluntary measures shown in Tables A5.303.2.3.1 and A5.106.11.2.2, respectively. See the [California Plumbing Code](#) for definitions of each fixture type.

Where complying faucets are unavailable, aerators rated at 0.35 gpm or other means may be used to achieve reduction.

Acronyms:
gpm = gallons per minute
psi = pounds per square inch (unit of pressure)
in. = inch

NON-APPLICABLE

Table 3 Standards for Appliances and Fixtures for Commercial Application related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan		
Appliance/Fixture Type	Standard	
Clothes Washers	Maximum Water Factor (WF) that will reduce the use of water by 10 percent below the California Energy Commissions' WF standards for commercial clothes washers located in Title 20 of the California Code of Regulations.	
Conveyor-type Dishwashers	0.70 maximum gallons per rack (2.6 L) (High-Temperature)	0.62 maximum gallons per rack (4.4 L) (Chemical)
Door-type Dishwashers	0.95 maximum gallons per rack (3.6 L) (High-Temperature)	1.16 maximum gallons per rack (2.6 L) (Chemical)
Undercounter-type Dishwashers	0.90 maximum gallons per rack (3.4 L) (High-Temperature)	0.98 maximum gallons per rack (3.7 L) (Chemical)
Combination Ovens	Consume no more than 10 gallons per hour (38 L/h) in the full operational mode.	
Commercial Pre-rinse Spray Valves (manufactured on or after January 1, 2006)	Function at equal to or less than 1.6 gallons per minute (0.10 L/s) at 60 psi (414 kPa) and <ul style="list-style-type: none"> • Be capable of cleaning 60 plates in an average time of not more than 30 seconds per plate. • Be equipped with an integral automatic shutoff. • Operate at static pressure of at least 30 psi (207 kPa) when designed for a flow rate of 1.3 gallons per minute (0.08 L/s) or less. 	
Source: Adapted from the California Green Building Standards Code (CALGreen) Tier 1 non-residential voluntary measures shown in Section A5.303.3. See the California Plumbing Code for definitions of each appliance/fixture type.		
Acronyms: L = liter L/h = liters per hour L/s = liters per second psi = pounds per square inch (unit of pressure) kPa = kilopascal (unit of pressure)		

NON-APPLICABLE

Table 4 Size-based Trigger Levels for Electric Vehicle Charging Requirements for Non-Residential Buildings related to Question 10: Electric Vehicle Charging supporting Strategy 3: Bicycling, Walking, Transit & Land Use of the Climate Action Plan	
Land Use Type	Size-based Trigger Level
Hospital	500 or more beds OR Expansion of a 500+ bed hospital by 20%
College	3,000 or more students OR Expansion of a 3,000+ student college by 20%
Hotels/Motels	500 or more rooms
Industrial, Manufacturing or Processing Plants or Industrial Parks	1,000 or more employees OR 40 acres or more of land area OR 650,000 square feet or more of gross floor area
Office buildings or Office Parks	1,000 or more employees OR 250,000 square feet or more of gross floor area
Shopping centers or Trade Centers	1,000 or more employees OR 500,000 square feet or more of gross floor area
Sports, Entertainment or Recreation Facilities	Accommodate at least 4,000 persons per performance OR Contain 1,500 or more fixed seats
Transit Projects (including, but not limited to, transit stations and park and ride lots).	All
Source: Adapted from the Governor's Office of Planning and Research's (OPR's) Model Building Code for Plug-In Electric Vehicle Charging	

Prestwick Residence CDP/SDP Project (Project No. 449597)

CAP CONSISTENCY CHECKLIST SUPPORTING DOCUMENTATION**Land Use Consistency**

The project is consistent with the land use designations in the City's General Plan (Residential) and the Community Plan and La Jolla Shores PDO. The project is a single-family residence replacing an existing single-family residence in an existing, completely developed residential neighborhood and the subject lot is one in which no other Land Use is permitted by right at this location.

CAP Strategies Consistency**STRATEGY 1: ENERGY & WATER EFFICIENT BUILDINGS**

1. **Cool/Green Roofs** -The project will include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under the *California Green Building Standards Code*.
2. **Plumbing fixtures and fittings**- The project will use low-flow fixtures and appliances that are consistent with the following:
 - a. - Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi;
 - b. - Standard dishwashers: 4.25 gallons per cycle;
 - c. - Compact dishwashers: 3.5 gallons per cycle; and
 - d. -Clothes washers: water factor of 6 gallons per cubic feet of drum capacity.

STRATEGY 2: CLEAN & RENEWABLE ENERGY

3. **Clean & Renewable Energy**- The project is designed to have an energy budget that shows a 15% improvement when compared to Title 24 (2013), Part 6 Energy Budget for Proposed Design Building as calculated by Compliance Software certified by the California Energy Commission. The demand reduction will be provided through the list below of sustainable design features of this single family home:

STRATEGY 3: BICYCLE, WALKING, TRANSIT & LAND USE

4. **Electric Vehicle Charging** - A total of 1 parking space will be provided with a listed cabinet, box, or enclosure connected to a conduit linking the parking spaces with electrical service in a manner approved by the building and safety official. This will allow for the future installation of electric vehicle supply equipment to provide an electric vehicle charging station for use by the resident.
5. **Bicycle Parking Spaces** -non-applicable for Single-Family Residential Projects per the City of San Diego CAP consistency checklist.
6. **Shower Facilities**- non-applicable for Single-Family Residential Projects per the City of San Diego CAP consistency checklist.
7. **Designated Parking Spaces**- non-applicable for Single-Family Residential Projects per the City of San Diego CAP consistency checklist.
8. **Transportation Demand Management Program**- non-applicable for Single-Family Residential Projects per the City of San Diego CAP consistency checklist.