



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 2, 2016 REPORT NO. HO-16-072

HEARING DATE: November 9, 2016

SUBJECT: Park Avenue Apartments - Process Three Decision.

PROJECT NUMBER: [491854](#)

OWNER/APPLICANT: Better Homes in San Ysidro, LLC. / Ricardo Reyes

SUMMARY:

Issue: Should the Hearing Officer approve the construction of five residential dwelling units on two contiguous lots located at 260 and 262 East Park Avenue within the San Ysidro Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 1729130.

Community Planning Group Recommendation: On June 20, 2016, the San Ysidro Community Planning Group voted unanimously to approve the project as proposed (Attachment 6).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 12, 2016, and the opportunity to appeal that determination ended October 26, 2016.

BACKGROUND

The 0.33-acre project site is located at 260 and 262 East Park Avenue in the RM-1-1 zone, the Residential Tandem Parking Overlay Zone and the Transit Area Overlay Zone within the San Ysidro Community Plan.

The vacant project site is comprised of two lots fronting East Park Avenue with an improved alley and multi-family residential to the east. To the north, west, and south there is single-family residences and Interstate 805 farther to the east. The site is relatively level with elevations ranging from 116 to 120 feet from south to north.

The project was originally issued a building permit via Project Tracking System No. 378128 on December 21, 2015, and trenching and utility installation began on December 29, 2015. In March of 2016, City staff issued a Stop Work Notice as the original plans did not represent two lots being developed which triggered the requirement for a Site Development Permit (SDP). The application was then deemed complete on June 14, 2016, for a Site Development Permit to develop five units as further described below.

DISCUSSION

Project Description

The Park Avenue Apartments project (Project) proposes five residential dwelling units for rent which would total approximately 8,991 square feet on two contiguous lots. Although the project would be within the density range in the San Ysidro Community Plan, the five units would be over the dwelling unit maximum allowance of three dwelling units within the RM-1-1 zone. If any multiple unit residential development exceeds the number of dwelling units indicated in [Table 126-05A](#) on lots which are consolidated or otherwise joined together for the purpose of accommodating the development, a SDP is required. The SDP is a Process Three decision by the Hearing Officer pursuant to San Diego Municipal Code Section [126.0502\(b\)\(4\)](#).

The Project proposes three, three-bedroom units and two, four-bedroom units within a two-story building with attached garages. The Project requires ten parking spaces, five of which would be provided within each unit via a garage and five within tandem spaces along the southern property line. The Project design would present the residential façade to the public right-of-way, while confining views of garage doors to the interior of the Project.

The proposed buildings incorporate façade off-sets, upper floor setbacks, a flat roof and textured stucco exterior finishes. The maximum height in the RM-1-1 zone is 30 feet and the Project proposes a maximum height of approximately 20 feet. The proposed development complies with the floor area ratio, height, setbacks, density, landscaping and all other applicable development regulations of the underlying zones. No deviations are proposed or required.

Access to the proposed development would be provided off East Park Avenue via a private driveway with egress to the improved alley. Public improvements provided by the project would include a new driveway, sidewalks along East Park Avenue to replace the existing damaged sidewalks, and landscaping.

San Ysidro Community Plan

The proposed Project site is designated for low-medium density uses at a density range of 10-15 dwelling units per acre by the San Ysidro Community Plan (Plan). The proposed development of five units on a 0.33-acres site conforms with the density designation.

One recommendation of the Plan is to provide attractive residential development that is compatible with adjacent land uses. Attention to building bulk and scale is important, and building articulation and architectural detail are recommended by the Plan. The proposed Project is consistent with the surrounding single-family and multi-family mix of housing in bulk and scale, as well as articulation.

The architectural detailing is more contemporary than the surrounding, older residential architectural styles, yet does not disturb the urban form or aesthetics of the neighborhood.

The Plan outlines urban form design guidelines for any new development. New projects should be oriented to the pedestrian by avoiding blank walls at the pedestrian level, articulation of building facades through the use of color, materials, architectural elements, recessed walls and landscaping. The Project's west elevation incorporates landscaping, wood siding, variations in color and building off-sets to comply with the Plan.

The Plan observes several recent multi-family housing developments have become "instant slums" because of the poor quality of design and lack of amenities, especially recreation and landscaping. Although the proposed development does not provide large recreation areas for the tenants, the site's close proximity to the Community Center, Recreation Center and San Ysidro Community Park provide the opportunity of new residents to recreate a landscaped setting in a meaningful way. The proposed Project would incorporate drought tolerant ground covers and shrubs as well as 24-inch box street trees (Marina Strawberry) within the street parkway to enhance the pedestrian experience.

The proposed development is consistent with the General Plan, which identifies the site for residential use, by providing higher density, multi-family development. The proposed buildings implement General Plan Policy UD-A.5 by contributing to a positive neighborhood character and relating to the neighborhood and community context. The Project proposes a design which is sensitive to the scale of the exiting neighborhood by limiting the maximum thirty foot height limit by almost ten feet. The subdued design does not contrast with the surrounding development.

As proposed, the Project would be consistent with the General Plan and San Ysidro Community Plan policies for residential development.

Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. As designed the project conforms to both the General Plan and the San Ysidro Community Plan. Staff has provided draft findings and conditions to support approval of the Project (Attachment 3 and 4). Staff recommends the Hearing Officer approve the Project as proposed.

ALTERNATIVES

1. Approve Site Development Permit No. 1729130, with modifications.
2. Deny Site Development Permit No. 1729130, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Renee Mezo
Development Project Manager

Attachments:

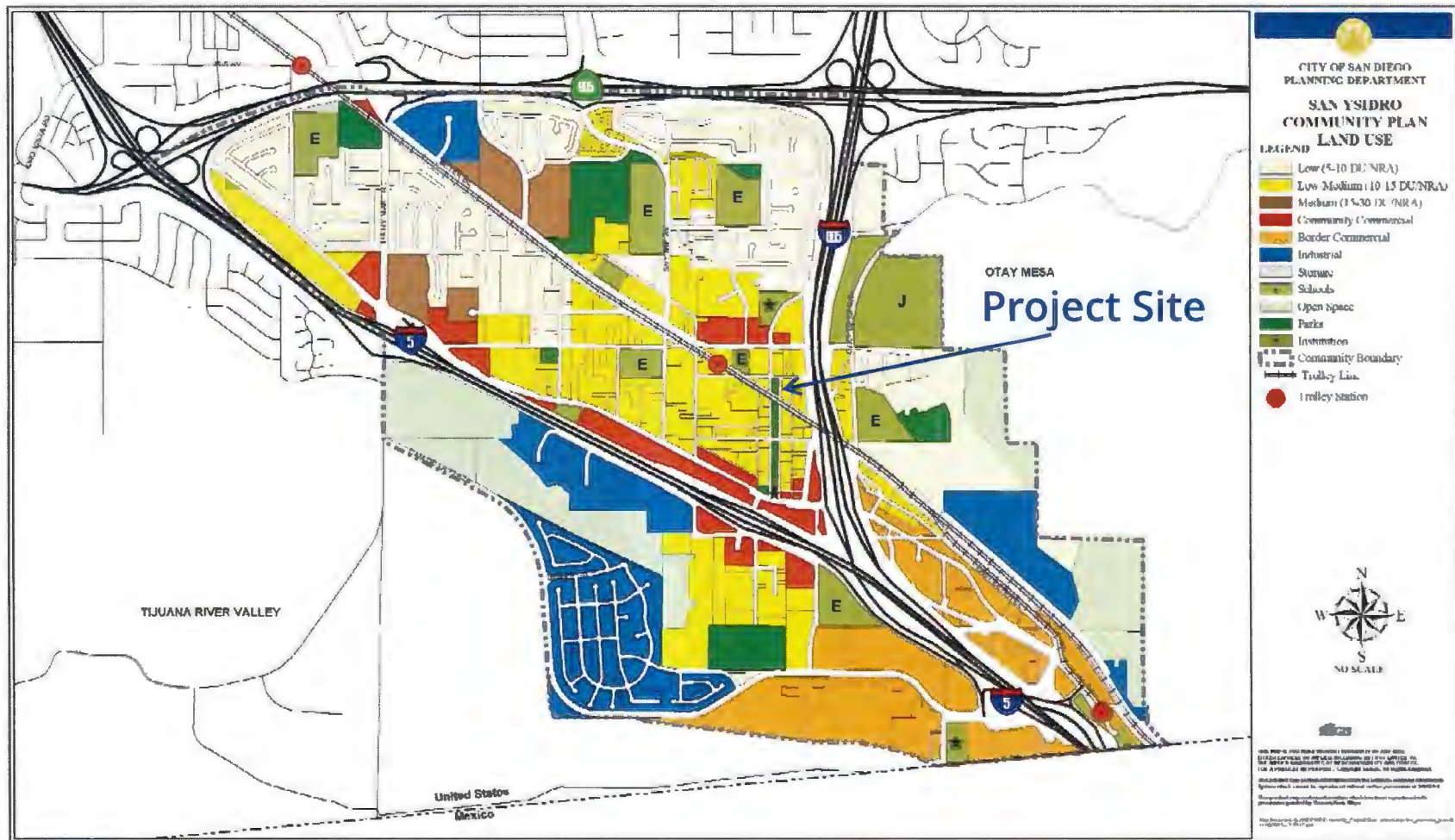
1. Project Location Map
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Permit Conditions
5. Environmental Exemption
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. Project Plans



Location Aerial Photo

PARK AVE APARTMENTS - 260 AND 262 EAST PARK AVENUE
PROJECT NO. 491854





Land Use Map

**PARK AVE APARTMENTS - 260 AND 262 EAST PARK AVENUE
PROJECT NO. 491854**



HEARING OFFICER RESOLUTION NO. _____
 SITE DEVELOPMENT PERMIT NO. 1729130
PARK AVENUE APARTMENTS, PROJECT NO. 491854
 DRAFT

WHEREAS, Better Homes in San Ysidro, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct five residential units on two contiguous lots (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit No. 1729130), on portions of a 0.33-acre site;

WHEREAS, the project site is located at 260 and 262 East Park Avenue in the RM-1-1 zone, the Residential Tandem Parking Overlay Zone and the Transit Area Overlay Zone within the San Ysidro Community Plan;

WHEREAS, the project site is legally described as Lots 59 and 60, Map No. 1174 filed on April 10, 1909;

WHEREAS, on November 9, 2016, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1729130 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 12, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination, NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated November 9, 2016.

FINDINGS:

Site Development Permit- Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The proposed Project site is designated for low-medium residential density uses at a density range of 10-15 dwelling units per acre by the San Ysidro Community Plan (Plan). The proposed development of five units on a 0.33-acres site conforms with the density designation.

One recommendation of the Plan is to provide attractive residential development that is compatible with adjacent land uses. Attention to building bulk and scale is also important, and building articulation and architectural detail are recommended by the Plan. The proposed Project is consistent with the surrounding single-family and multi-family mix of housing in bulk and scale, as well as articulation. The architectural detailing is more contemporary than the surrounding, older residential architectural styles, yet does not disturb the urban form or aesthetics of the neighborhood.

The Plan outlines urban form design guidelines for any new development. New projects should be oriented to the pedestrian by avoiding blank walls at the pedestrian level, articulation of building facades through the use of color, materials, architectural elements, recessed walls and landscaping. The Project's west elevation incorporates landscaping, wood siding, variations in color and building off-sets to comply with the Plan.

The Plan observes several recent multi-family housing developments have become "instant slums" because of the poor quality of design and lack of amenities, especially recreation and landscaping. Although the proposed development does not provide large recreation areas for the tenants, the site's close proximity to the Community Center, Recreation Center and San Ysidro Community Park provide the opportunity of new residents to recreate a landscaped setting in a meaningful way. The proposed Project would incorporate drought tolerant ground covers and shrubs as well as 24-inch box street trees, Marina Strawberry, within the street parkway to enhance the pedestrian experience.

The proposed development is consistent with the General Plan, which identifies the site for residential use, by providing higher density, multi-family development. The proposed buildings implement General Plan Policy UD-A.5 by contributing to a positive neighborhood character and relating to the neighborhood and community context. The Project proposes a design which is sensitive to the scale of the exiting neighborhood by limiting the height nearly 10 feet under the maximum thirty foot height limit. The subdued design does not contrast with the surrounding development. Therefore, as proposed, the Project would be consistent with the General Plan and San Ysidro Community Plan policies for residential development.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes five residential dwelling units (for rent) totaling 8,991 square feet on two contiguous lots. The 0.33-acre project site is located at 260 and 262 East Park Avenue in the RM-1-1 zone, the Residential Tandem Parking Overlay Zone and the Transit Area Overlay Zone within the San Ysidro Community Plan.

The proposed development will require building permits for new construction and facilities. Building permits require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards. These codes and standards will safeguard public health, safety, and welfare. The Fire Access Plan prepared for the proposed development has been prepared that demonstrates compliance with fire protection and life safety requirements regarding adequacy of hydrants, hose pull length, and emergency access. Public improvements required by this permit include replacing damaged sidewalks and installing street trees to further protect public health and safety. The project is also required to comply with seismic requirements of the California Building Code and utilization of standard construction practices which are verified at the building permit stage.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes three, three-bedroom units and two, four-bedroom units within a two-story building with attached garages. The project requires ten parking spaces, five of which are provided within each unit via a garage and five provided within tandem spaces along the southern property line. The proposed development is consistent with the floor area ratio, height, setbacks, parking, and all other applicable development regulations of the underlying zones. No deviations are proposed or required to approve the project.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1729130 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1729130, a copy of which is attached hereto and made a part hereof.

Renee Mezo
Development Project Manager
Development Services

Adopted on: November 9, 2016

IO#: 24006733

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006733

SITE DEVELOPMENT PERMIT NO. 1729130
PARK AVENUE APARTMENTS - PROJECT NO. 491854
HEARING OFFICER
DRAFT

This Site Development Permit No. 1729130 is granted by the Hearing Officer of the City of San Diego to Better Homes in San Ysidro, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0502(b)(4). The 0.33-acre site is located at 260 and 262 East Park Avenue in the RM-1-1 zone, the Residential Tandem Parking Overlay Zone and the Transit Area Overlay Zone within the San Ysidro Community Plan. The project site is legally described as: Lots 59 and 60, Map No. 1174 filed on April 10, 1909.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee and subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 9, 2016, on file in the Development Services Department.

The project shall include:

- a. The construction of five residential dwelling units for a total of 8,991 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 23, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

12. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

14. Owner/Permittee shall maintain a minimum of ten off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

15. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

16. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

17. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

18. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

19. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on November 9, 2016 and Resolution No. XXXX.

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

 Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: Park Avenue Apartments

Project No. / SCH No.: 491854

Project Location-Specific: 260-262 East Park Avenue, San Diego, CA 92173

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Site Development Permit (SDP) to construct five multi-family residential dwelling units, and five garages on two contiguous lots, totaling 8,911.5 square feet. The 0.33 acre site is located at 260-262 East Park Avenue in the San Ysidro Community Plan area. It is designated for multifamily residential use and is zoned RM-1-1.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Ricardo Reyes
 RAR Engineering
 2900 4TH Avenue, Ste 201
 San Diego, CA 92103
 (619) 293-0960

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Section 15303(b) (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, as described in the Project Description section of this notice, meets the criteria set forth in CEQA Section 15303 (b) which addresses the construction and location of limited numbers of new, small facilities or structures, specifically, in urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna H. McPherson /Senior Planner
Signature/Title

October 12, 2016

Date

Check One:

☒ (X) Signed By Lead Agency

Date Received for Filing with County Clerk or OPR:

☐ () Signed by Applicant



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Park Ave Apartments - SDP		Project Number: 491854	Distribution Date: 06/14/2016
Project Scope/Location: SAN YSIDRO (Process 3) Site Development Permit to construct five residential dwelling units totaling 8,991.50 square-feet on two contiguous lots. The 0.33-acre site is located at 260 and 262 East Park Avenue in the RM-1-1 zone(s) of the San Ysidro Community Plan area Council District 8.			
Applicant Name:		Applicant Phone Number:	
Project Manager: Renee Mezo	Phone Number: (619) 446-5001	Fax Number: (619) 446-5245	E-mail Address: RMezo@sandiego.gov
Committee Recommendations (To be completed for Initial Review): <div style="text-align: center; font-size: 1.5em; margin-top: 10px;">NONE</div>			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes <div style="font-size: 1.5em;">10</div>	Members No <div style="font-size: 1.5em;">0</div>	Members Abstain <div style="font-size: 1.5em;">0</div>
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: <div style="text-align: center; font-size: 1.5em; margin-top: 10px;">NONE</div>			
NAME: MICHAEL R FREEDMAN		TITLE: CHAIRMAN	
SIGNATURE: <i>Michael R. Freedman</i>		DATE: 6/20/2016	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Park Ave Apartments - SDP		Project Number: 491854	Distribution Date: 06/14/2016
Project Scope/Location: SAN YSIDRO (Process 3) Site Development Permit to construct five residential dwelling units totaling 8,991.50 square-feet on two contiguous lots. The 0.33-acre site is located at 260 and 262 East Park Avenue in the RM-1-1 zone(s) of the San Ysidro Community Plan area Council District 8.			
Applicant Name:		Applicant Phone Number:	
Project Manager: Renee Mezo	Phone Number: (619) 446-5001	Fax Number: (619) 446-5245	E-mail Address: RMezo@sandiego.gov
Project Issues (To be completed by Community Planning Committee for initial review): <div style="font-size: 2em; margin-top: 20px; margin-left: 100px;">NONE</div>			
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title

PARK AVE APARTMENTS

Project No. For City Use Only

491854

Project Address:

262 E. PARK AVE

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

[Handwritten signature]


Project Title: PARK AVE APARTMENTS	Project No. (For City Use Only)
--	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

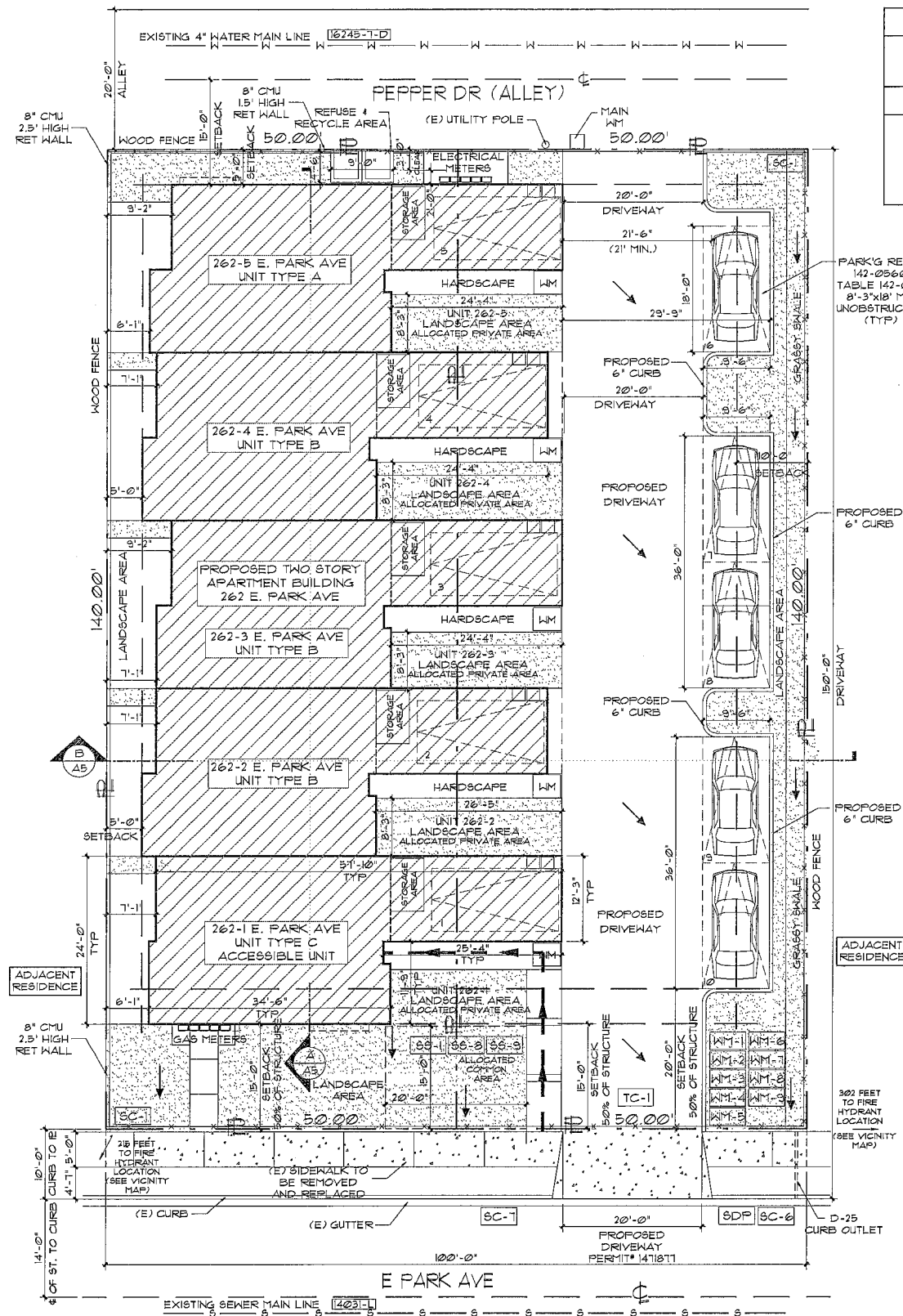
☒ Corporation
 ☒ Limited Liability -or-
 ☐ General) What State? _____ Corporate Identification No. 20140521062
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print): <u>BETTER HOMES IN SAN YSIDRO</u> <input checked="" type="checkbox"/>	Corporate/Partnership Name (type or print): _____
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: <u>2344 VIA SEGUNDO</u>	Street Address: _____
City/State/Zip: <u>SAN YSIDRO CA 92173</u>	City/State/Zip: _____
Phone No: <u>619-410-6948</u> Fax No: _____	Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): <u>JOSE A. DELENDEZ, JR.</u>	Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____	Title (type or print): _____
Signature :  Date: <u>5/25/16</u>	Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____	Corporate/Partnership Name (type or print): _____
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: _____	Street Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone No: _____ Fax No: _____	Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____	Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____	Title (type or print): _____
Signature : _____ Date: _____	Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____	Corporate/Partnership Name (type or print): _____
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: _____	Street Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone No: _____ Fax No: _____	Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____	Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____	Title (type or print): _____
Signature : _____ Date: _____	Signature : _____ Date: _____



SITE & WPCP PLAN

SCALE: 1" = 10'-0"

NORTH

LEGAL DESCRIPTION

ACCESSORS PARCEL : 638-150-0300 AND 638-150-0400
LEGAL DESCRIPTION : LOT 59 & 60 TR 1174

CODE COMPLIANCE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2018 EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, 2013 ENERGY CODE & 2013 CALIFORNIA GREEN BUILDING STANDARDS, AND WILL BE IN COMPLIANCE WITH THE CURRENT EDITION OF NFPA, CFC, TITLE 19 AND LOCAL SAN DIEGO MUNICIPAL CODES.

GENERAL NOTES:

PROJECT IS SUBJECT TO 2007 PERMIT BASED ON CONSTRUCTION PERMIT ISSUANCE DATE OF 12/21/2015 AND CONSTRUCTION ACTIVITY STARTED WITHIN 180 DAYS BASED ON INSPECTION REPORT DATED 5/19/2016.

FIRE SPRINKLERS NOTES:

BUILDING TO BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM NFPA 13 AND SHALL BE APPROVED BY FIRE DEPARTMENT. DEFERRED SUBMITTAL.

FIRE ALARM NOTES:

THIS BUILDING DOES NOT REQUIRE FIRE ALARM SYSTEM PER SECTION 907.2.9 EXCEPTION 1'.
AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COST INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.

OWNER SIGNATURE: _____

PARKING NOTES

ALL ON-SITE PARKING STALLS AND AISLE WIDTH SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LAND DEVELOPMENT CODE AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE.

NESTING BIRD DISCLOSURE

IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY CALIFORNIA FISH AND GAME CODE OR ANY REGULATION MADE PURSUANT THERETO.

NOISE NOTES:

THE PROJECT WILL COMPLY WITH THE NOISE ORDINANCE.

WATER & SEWER NOTES:

BFPD'S SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT OF WAY. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.

LEGEND

- DENOTES PROPOSED APARTMENT BUILDING OF 5,076 SQ. FT.
- PROPERTY LINE
- SETBACK LINE
- DIRECTION OF WATER DRAINAGE
- EXISTING WATER MAIN LINE
- EXISTING SEWER MAIN LINE
- INDICATES ACCESSIBLE PATH OF TRAVEL
- DENOTES NEW PUBLIC IMPROVEMENTS (SIDEWALK, DRIVEWAY, CURB OUTLET)

PROJECT DATA

SCOPE OF WORK :
- PROPOSED NEW APARTMENT BUILDING OF 8,635.5 SQ.FT. CONTAINING FIVE (5) UNITS.

OWNER : ANTONIO BELENDEZ
PROJECT ADDRESS : 262 E. PARK AVE
SAN DIEGO, CA 92173

ZONE : RM-1-I
CONSTRUCTION TYPE : TYPE V-B
OCCUPANCY : R-2
EXISTING LOT CONDITIONS: VACANT LOT
GROSS LOT AREA : 14,000 SQ. FT.
GEOLOGIC HAZARD CATEGORY: 53
EASEMENTS: NONE

BUILDING AREAS :
HABITABLE AREA : 7,501.5 SQ. FT.
GARAGE AREA : 1,490 SQ. FT.
TOTAL : 8,991.5 SQ. FT.
BUILDING 1st FLOOR AREA: 5,414 SQ.FT < 7,000 SQ.FT. ALLOWED
BUILDING 2nd FLOOR AREA: 3,577.5 SQ.FT < 7,000 SQ.FT. ALLOWED
TOTAL BUILDING AREA: 8,991.5 SQ.FT

TYPE A UNIT (1X) : FIRST FLOOR: 787 SQ.FT
SECOND FLOOR: 819 SQ.FT
GARAGE: 298 SQ.FT
TOTAL: 1,904 SQ.FT
TYPE B UNIT (3X) : FIRST FLOOR: 775 SQ.FT
SECOND FLOOR: 646.5 SQ.FT
GARAGE: 298 SQ.FT
TOTAL: 1,719.5 SQ.FT

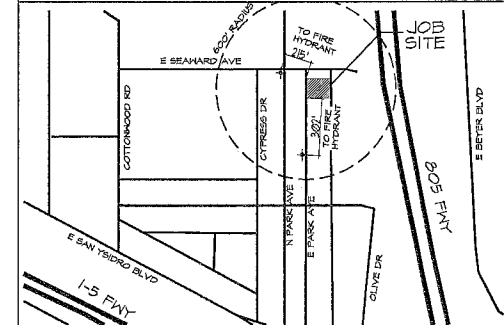
TYPE C UNIT (1X) : FIRST FLOOR: 812 SQ.FT
SECOND FLOOR: 819 SQ.FT
GARAGE: 298 SQ.FT
TOTAL: 1,929 SQ.FT

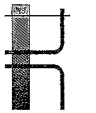
FLOOR AREA RATIO : 8,991.5 SQ. FT./14,000 SQ. FT. = 0.64
TOTAL BUILDING AREA/ LOT AREA : 0.64 < 0.75 ALLOWED
LOT COVERAGE : 5,414 SQ. FT./14,000 SQ. FT. = 39%
TOTAL BUILDING AREA/ LOT AREA : 39% < 50% ALLOWED
LANDSCAPE AREA: 2,881 SQ. FT.

DIRECTORY

DESIGNER/ STRUCTURAL ENGINEER: RICARDO REYES P.E.
RAR ENGINEERING
2900 4TH AVE. STE. 201
SAN DIEGO, CA. 92103
TEL. 619.293.0960
LANDSCAPE ARCHITECT: ANGELINA SOTELO
SOTELO LANDSCAPE ARCHITECTS
2643 4TH AVE
SAN DIEGO, CA. 92103
TEL. 619.719.6756

VICINITY MAP





RAR ENGINEERING
RICARDO A. REYER, P.E.
2900 FOURTH AVE. STE. 201
SAN DIEGO, CA 92103
PH: (619) 293-0950 FAX: (619) 293-0058



DESIGN AND PLANS REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF, RAR ENGINEERING. NONE OF SUCH DESIGN AND/OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF RAR ENGINEERING.

REVISIONS
◆ PRELIM SET
▲ ISSUE DATE
DATE DESCRIPTION

DATE	DESCRIPTION

PROJECT NAME:

PARK AVE APARTMENTS

ADDRESS:

262 E. PARK AVE, SAN DIEGO, CA 92173

SHEET TITLE: **FIRST FLOOR PLAN**

DATE: 8.10.16

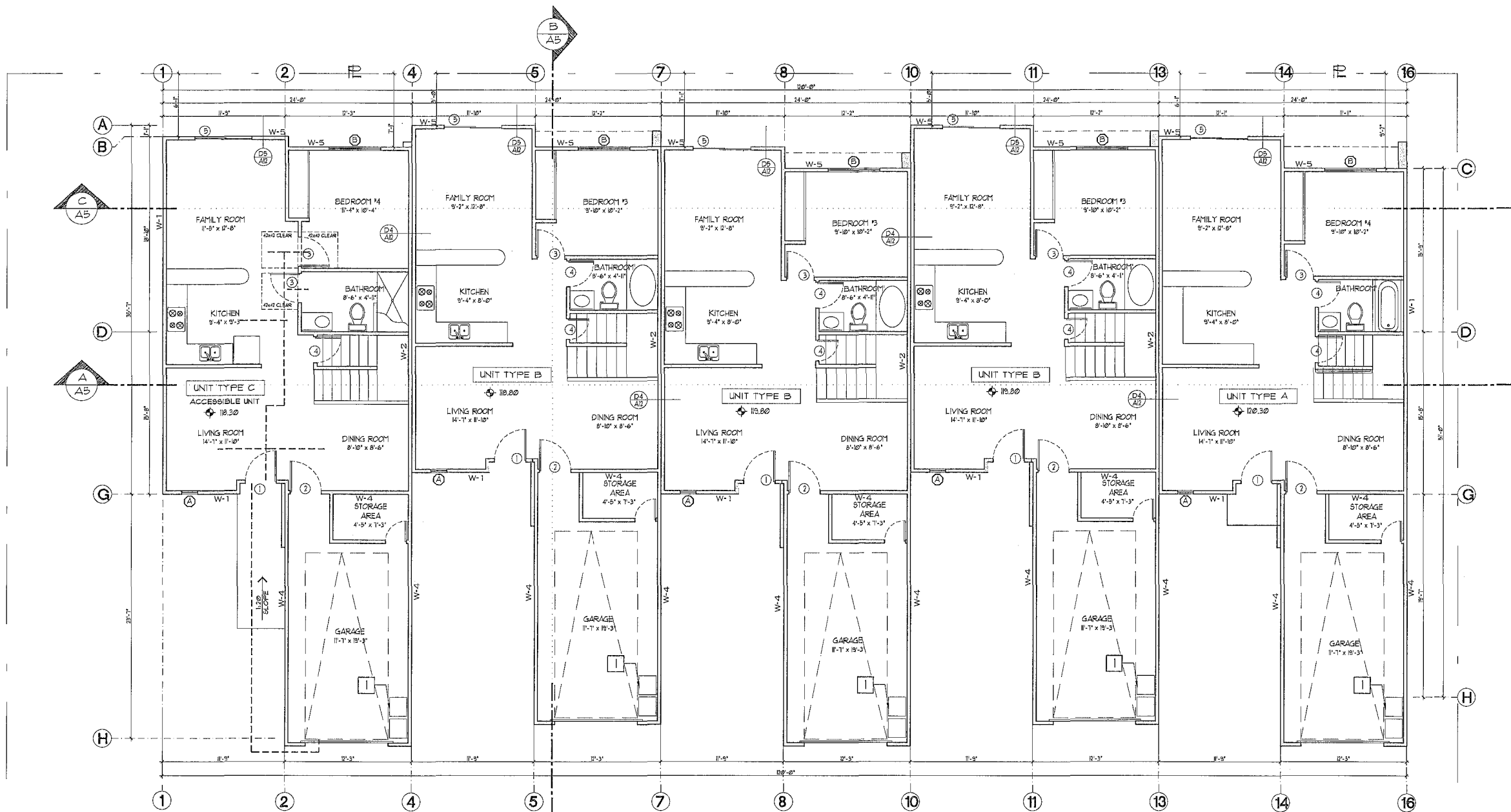
1ST SUBMITTAL

SCALE

DRAWN

JOB NO. 14-042

A-1



PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



GENERAL NOTES

- FINISH GRADE SHALL BE SLOPED AWAY FROM BUILDING TO PROVIDE POSITIVE DRAINAGE.
- ALL DIMENSIONS ARE TO FACE OF STUDS (R.O.S.) U.O.N. ALL WINDOW HEADERS TO BE 6'-8" ABOVE FINISH FLOOR U.O.N.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS @ THE JOB SITE AND SHALL BE RESPONSIBLE FOR ALL NEW WORK & CONDITIONS, BEFORE START OF WORK.
- CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES & CITY REQUIREMENTS.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED, INCLUDING UTILITY PIPING AND WIRING.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER-STRIPPED AND MANUFACTURED UNITS SHALL MEET A.N.S.I. STANDARDS FOR AIR INFILTRATION.
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY NATIONAL FENESTRATION RATING COUNCIL.
- DIMENSIONS INDICATED SHALL BE VERIFIED TO EXPOSE FACE OF EXISTING STUDS. ALIGN NEW WORK FOR A SMOOTH/FLUSH FINISH.
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- ALL NEW WINDOWS ARE VINYL FRAME (OR AS SELECTED BY OWNER) AND SHALL BE DUAL GLAZED & FULLY WEATHERED STRIPPED.

- PROPOSED CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE 2013 CALIFORNIA RESIDENTIAL CODE AND OTHER ORDINANCES OF LOCAL GOVERNING AUTHORITIES & LATEST EDITION OF U.M.C., U.P.C., N.E.C.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER AND OWNER BEFORE CONSTRUCTION AND/OR FABRICATION OF WORK.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE GENERAL CONTRACTOR OR OWNER BEFORE COMMENCEMENT OF WORK.
- THE DESIGNER WILL IN NO WAY BE RESPONSIBLE FOR ERRORS, OMISSIONS, AND/OR NEGLIGENCE OF THE BUILDER OR ANY OTHER DISCIPLINE IN CONNECTION WITH THE PROJECT AND HOW THE WORK IS PERFORMED IN SAFETY, IN OR ON ABOUT THE JOB SITE, OR METHODS OF PERFORMANCE.
- ANY CHANGES OR DEVIATIONS OF PLANS SHALL BE EXECUTED WITH A WRITTEN CHANGE ORDER SIGNED BY THE OWNER AND SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

- WINDOW & DOOR SIZES ARE NOMINAL. CONTRACTOR TO VERIFY W/ WINDOW MANUFACTURER FOR ACTUAL DIMENSIONS AND EXACT ROUGH OPENINGS BEFORE FRAMING STARTS.
- TAPE & PUTTY ALL DRYWALL JOINTS FOR A NEW CONDITION.
- COLORS, FINISHES & TEXTURES TO BE SELECTED BY OWNER.
- CONTRACTOR MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF OSHA.
- FASTENERS USED FOR EXTERIOR APPLICATIONS AND PRESERVATIVE OR FIRE TREATED MATERIAL MUST BE ZINC COATED/HOT DIPPED GALVANIZED TO PREVENT CORROSION/CHEMICAL REACTION (CRC 317.3.3 & 317.3.4).
- SEE SHEET STRUCTURAL SHEETS FOR ROOF FRAMING AND SHEATHING REQUIREMENTS.
- EXTEND NEW PLUMBING AND GAS VENTS AS REQUIRED, 6" ABOVE ROOF AS REQUIRED FOR WATER TIGHT CONDITION INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OF EFFORT.
- COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19 DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OF PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.

DEFERRED ITEMS

- IT IS UNDERSTOOD THAT PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS, AND THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY WITH THE EXCEPTION OF THE DEFERRED ITEMS LISTED.
- COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO DEVELOPMENT SERVICES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

KEY NOTES

- REFUSE & RECYCLE AREA

LEGEND

- INDICATES 2x STUD WALL.
- INDICATES WINDOW PER SCHEDULE. (SEE SHEET A-10)
- INDICATES DOOR PER SCHEDULE. (SEE SHEET A-10)
- W-X INDICATES WALL TYPE PER ASSEMBLY (SEE SHEET A-10)

ALLOWABLE AREA CALCULATION:

$$R2 = \text{ALLOWABLE } (1,000) + (1,000 \times 2) = 2,000$$

$$U = \text{ALLOWABLE } (5,500) + (5,500 \times 2) = 16,500$$

$$1492 + 3924 = \text{FIRST STORY}$$

$$16,500 \quad 21,000$$

$$.09 + .19 = .28 < 1 \text{ O.K.}$$

$$1492 + 7501.5 = \text{TOTAL}$$

$$16,500 \quad 21,000$$

$$.09 + .36 = 0.45 < 1 \text{ O.K.}$$

ALLOWABLE OPENING AREA CALCULATION:

$$\text{TOTAL ACTUAL WALL OPENINGS} = (33.3 \times 5) + (20 \times 5) = 266.5 \text{ S.F.}$$

$$\text{NORTH EXTERIOR WALL AREA} = 10,005 \text{ S.F.}$$

$$\text{ACTUAL \% OF WALL OPENINGS} = 266.5 / 10,005 \text{ S.F.} = 2.41 \%$$

$$2.41 < 25\% \text{ ALLOWABLE W/ NFPA 13 FIRE SPRINKLERS O.K.}$$

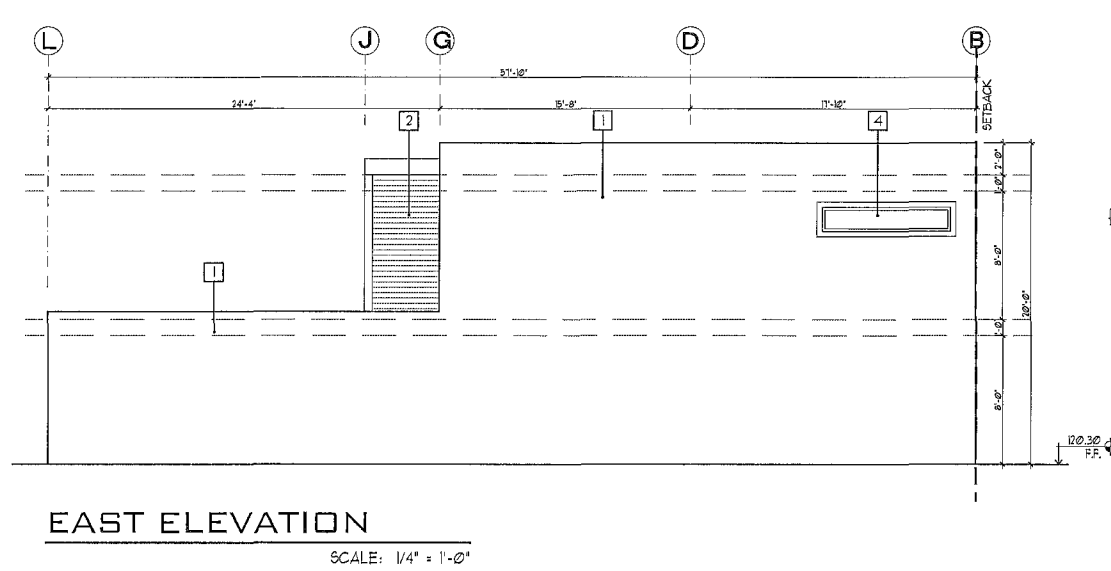
REVISIONS	
	PRE-BID SET ISSUE DATE
	POST-BID SET ISSUE DATE


PROJECT NAME: **PARK AVE APARTMENTS**

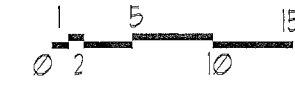
ADDRESS: **262 E. PARK AVE, SAN DIEGO, CA 92173**

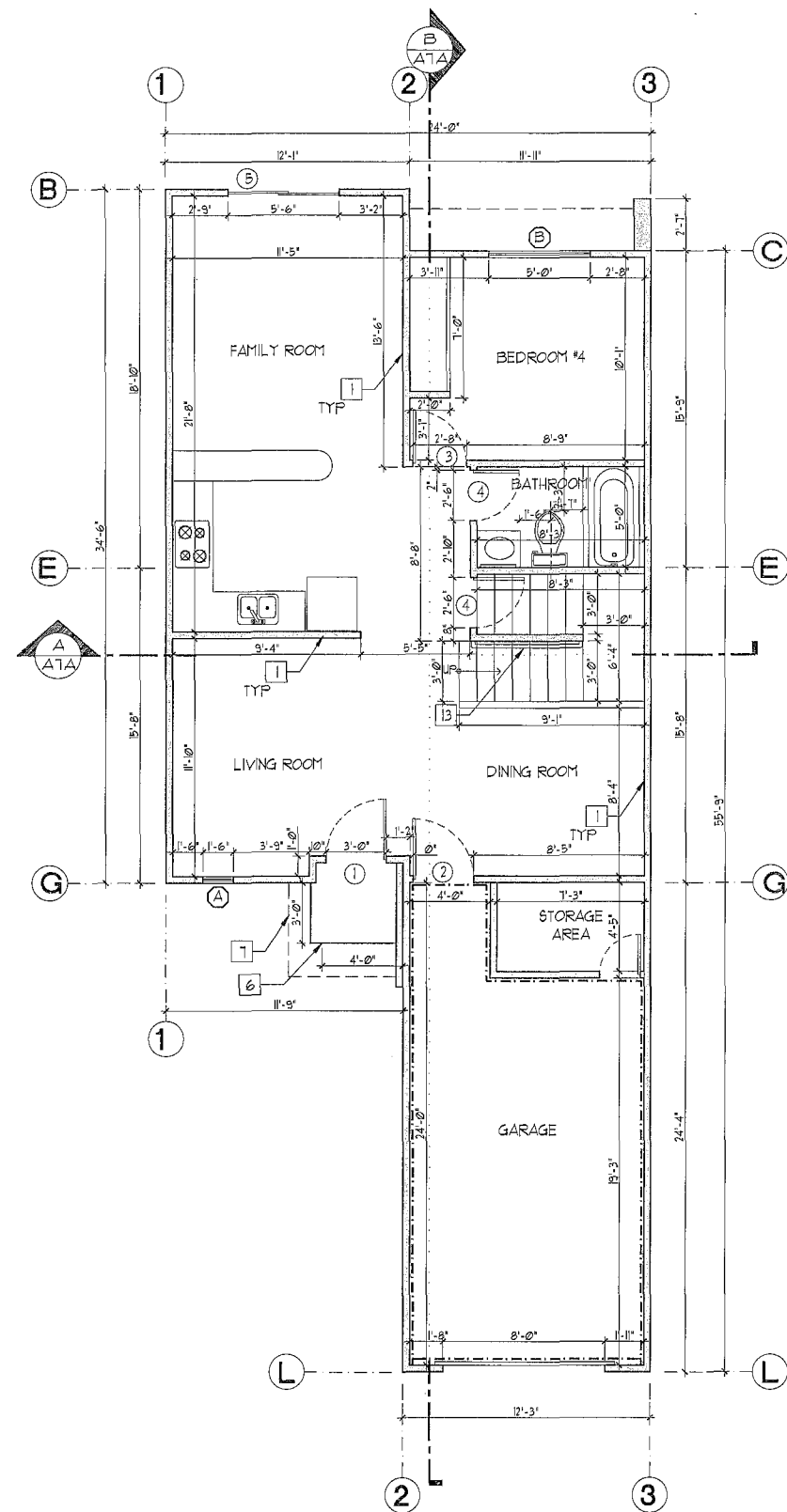
DATE	8.10.16
1ST SUBMITTAL	
SCALE	
DRAWN	
JOB NO.	14-042

A-4



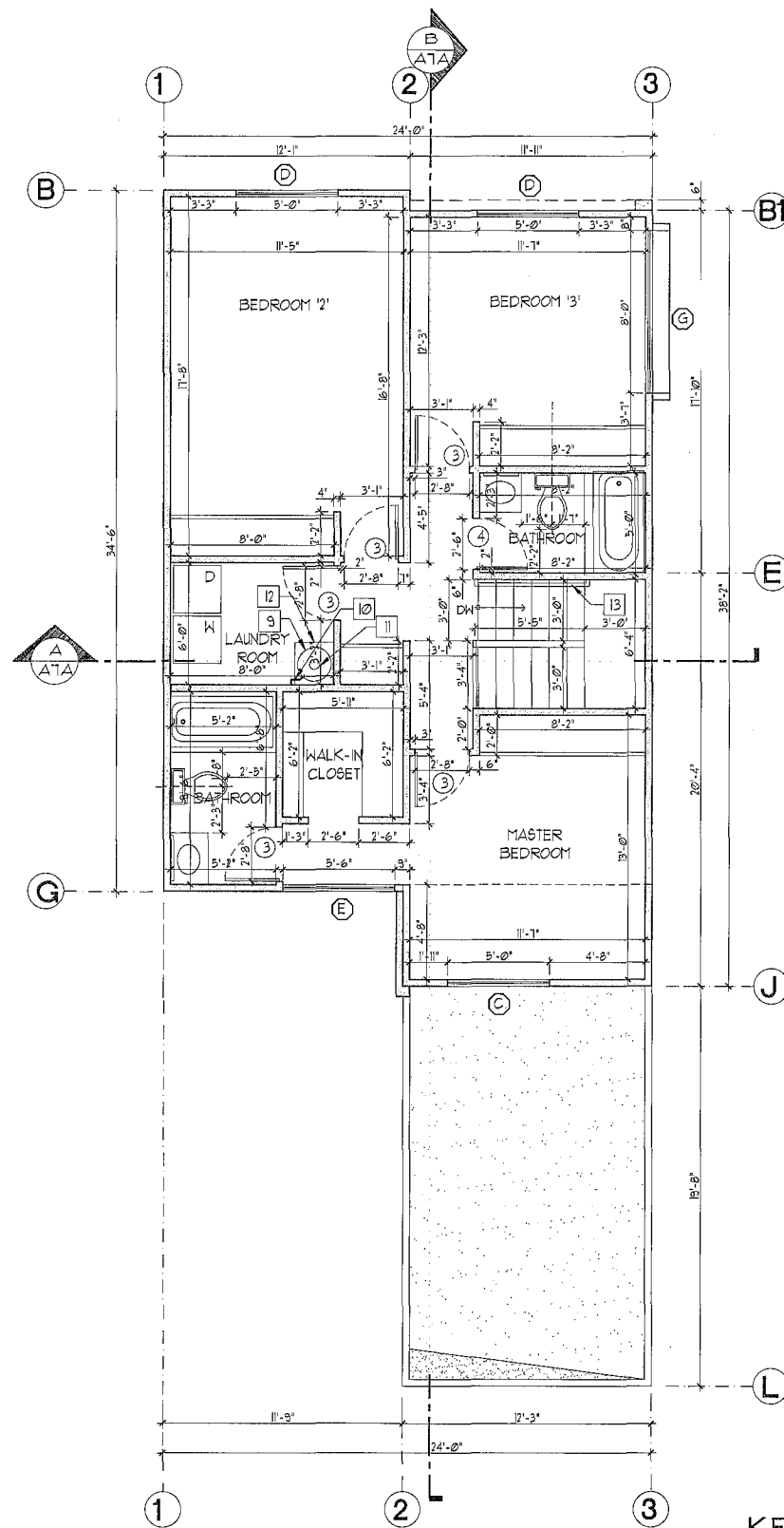
- # LEGEND
-  INDICATES STUCCO FINISH
- # KEY NOTES
- 1 1/8" STUCCO FINISH LIGHT COLOR
 - 2 4" WOOD SIDING LIGHT COLOR FINISH
 - 3 6" WOOD SIDING DARK COLOR FINISH
 - 4 WINDOW PER SCHEDULE
 - 5 DOOR PER SCHEDULE
 - 6 FINISH MATERIAL TO MATCH GARAGE DOOR.
 - 7 WIRE STRUCTURE FOR CLIMBING PLANTS





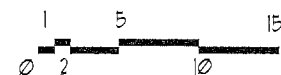
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES

FINISH GRADE SHALL BE SLOPED AWAY FROM BUILDING TO PROVIDE POSITIVE DRAINAGE.
ALL DIMENSIONS ARE TO FACE OF STUDS (F.O.S.) U.O.N.
ALL WINDOW HEADERS TO BE 6'-8" ABOVE FINISH FLOOR U.O.N.

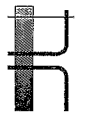
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS @ THE JOB SITE AND SHALL BE RESPONSIBLE FOR ALL NEW WORK & CONDITIONS. BEFORE START OF WORK.
- CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES & CITY REQUIREMENTS.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED, INCLUDING UTILITY PIPING AND WIRING.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER-STRIPPED AND MANUFACTURED UNITS SHALL MEET A.N.S.I. STANDARDS FOR AIR INFILTRATION.
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY NATIONAL FENESTRATION RATING COUNCIL.
- DIMENSIONS INDICATED SHALL BE VERIFIED TO EXPOSE FACE OF EXISTING STUDS. ALIGN NEW WORK FOR A SMOOTH/FLUSH FINISH.
- ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
- ALL NEW WINDOWS ARE VINYL FRAME (OR AS SELECTED BY OWNER) AND SHALL BE DUAL GLAZED & FULLY WEATHERED STRIPPED.
- PROPOSED CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE 2013 CALIFORNIA RESIDENTIAL CODE AND OTHER ORDINANCES OF LOCAL GOVERNING AUTHORITIES & LATEST EDITION OF U.M.C., U.P.C., N.E.C.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER AND OWNER BEFORE CONSTRUCTION AND/OR FABRICATION OF WORK.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY THE GENERAL CONTRACTOR OR OWNER BEFORE COMMENCEMENT OF WORK.
- THE DESIGNER WILL IN NO WAY BE RESPONSIBLE FOR ERRORS, OMISSIONS, AND/OR NEGLIGENCE OF THE BUILDER OR ANY OTHER DISCIPLINE IN CONNECTIONS WITH THE PROJECT AND HOW THE WORK IS PERFORMED IN SAFETY, IN OR ABOUT THE JOB SITE, OR METHODS OF PERFORMANCE.
- ANY CHANGES OR DEVIATIONS OF PLANS SHALL BE EXECUTED WITH A WRITTEN CHANGE ORDER SIGNED BY THE OWNER AND SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- WINDOW & DOOR SIZES ARE NOMINAL. CONTRACTOR TO VERIFY W/ WINDOW MANUFACTURER FOR ACTUAL DIMENSIONS AND EXACT ROUGH OPENINGS BEFORE FRAMING STARTS.
- TAPE & PUTTY ALL DRYWALL JOINTS FOR A NEW CONDITION.
- COLORS, FINISHES & TEXTURES TO BE SELECTED BY OWNER.
- CONTRACTOR MUST COMPLY WITH ALL APPLICABLE REQUIREMENTS OF OSHA.
- FASTENERS USED FOR EXTERIOR APPLICATIONS AND PRESERVATIVE OR FIRE TREATED MATERIAL MUST BE ZINC COATED/HOT DIPPED GALVANIZED TO PREVENT CORROSION/CHEMICAL REACTION (CRC 317.3.3 & 317.3.4).
- SEE SHEET STRUCTURAL SHEETS FOR ROOF FRAMING AND SHEATHING REQUIREMENTS.
- EXTEND NEW PLUMBING AND GAS VENTS AS REQUIRED, 6" ABOVE ROOF AS REQUIRED FOR WATER TIGHT CONDITION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OF EFFORT.

LEGEND

- INDICATES 2x4 STUD WALLS @ 16" O.C.
- INDICATES LOCATION SECTION VIEW.
- INDICATES DROPPED CEILING TO 8'-0" ABOVE FINISHED FLOOR ELEVATION.
- INDICATES DOOR SCHEDULE MARK, SEE SHEET A-5.
- INDICATES WINDOW SCHEDULE MARK, SEE SHEET A-5.
- INDICATES 5/8" TYPE 'X' DRYWALL, TO EXTEND UP TO ROOF SHEATHING.
- INDICATES 1-HR FLOOR FRAMING FLOOR ASSEMBLY FF-1 SHEET A-10.

KEY NOTES

- 2x4 @ 16" O.C. WALLS
- WALL HEATER SEE MANUF. SPECS
- 5/8" TYPE 'X' DRYWALL, TO EXTEND UP TO ROOF AND CEILING.
- WASHER & DRYER
- PROVIDE 4" DRYER EXHAUST DUCT TO EXTEND TO ROOF, W/ 90° ELBOW @ CONNECTION.
- ROOF PROJECTION OUTLINE
- 3" CONCRETE LANDING SLAB
- 42" HIGH GUARDRAIL
- NEW 50 GAL WATER HEATER (SEE DETAIL 1/A4)
- PAT VALVE DISCHARGE LINE ROUTE TO DRAINAGE
- FLUE ROUTING THROUGH ROOF ABOVE.
- PROVIDE A 18 IN HIGH PLATFORM FOR WATER HEATER
- 34-38" HIGH HANDRAIL PER DETAIL SHEET A10, (RAIL ENDS SHALL RETURN TO WALL).



RAR ENGINEERING
RICARDO A. REYES, P.E.
2900 FOURTH AVE. STE. 201
SAN DIEGO, CA 92103
PH: (619) 293-0950
FAX: (619) 293-3258



DESIGN AND PLANS REPRESENTED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF, RAR ENGINEERING. NONE OF SUCH DESIGN AND/OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF RAR ENGINEERING.

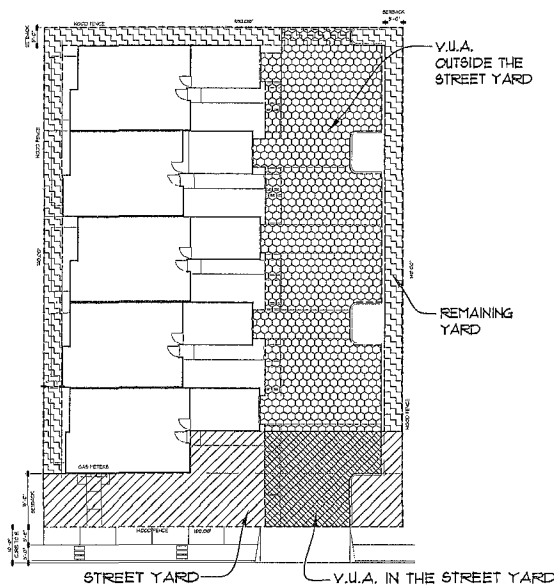
REVISIONS
◇ PREVIOUS SET
△ PREVIOUS SET
DATE DESCRIPTION

DATE	DESCRIPTION

SHEET TITLE: **UNIT TYPE 'A' FLOOR PLANS**
PROJECT NAME: **PARK AVE APARTMENTS**
ADDRESS: **262 E. PARK AVE, SAN DIEGO, CA 92173**

DATE: 8.10.16
1ST SUBMITTAL
SCALE:
DRAWN:
JOB NO.: 14-042

A-6A



GENERAL NOTES

PLANT MATERIAL REQUIREMENTS

(1) PLANTING OF INVASIVE PLANT SPECIES, AS DESCRIBED IN THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL, IS NOT PERMITTED.

(2) ALL EXISTING, INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE PREMISES WHEN THE COMBINATION OF SPECIES TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE PLANT MATERIAL THAT ARE ON OR OFF OF THE PREMISES.

(3) PLANT MATERIAL SPECIES SHALL BE USED THAT WILL CONTINUE TO MEET THE REQUIREMENTS OF THIS DIVISION AFTER INSTALLATION.

(4) TREE LOCATIONS SHALL BE MEASURED HORIZONTALLY FROM THE CENTERLINE OF THE TREE TRUNK AT PROPOSED GRADE.

(5) A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. THIS MINIMUM DIMENSION AND ROOT ZONE AREA MAY BE REDUCED WITH THE USE OF STRUCTURAL SOIL OR WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE ADJACENT IMPROVEMENTS.

(6) PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, DISEASE-FREE, GROWING CONDITION AT ALL TIMES.

(7) ALL PLANTING SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.

(8) ANY PLANT MATERIAL REQUIRED BY THIS DIVISION THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL SHOWN ON THE APPROVED PLAN. REQUIRED SHRUBS THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15-GALLON SIZE, AND REQUIRED TREES THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 60-INCH BOX SIZE MATERIAL. THE CITY MANAGER MAY AUTHORIZE ADJUSTMENT OF THE SIZE AND QUANTITY OF REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN INACCESSIBLE AREAS OR WHERE THE EXISTING PLANT IS REPLACED IS LARGER THAN A 15 GALLON SHRUB OR 60-INCH BOX TREE.

(9) TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.

(10) TREES REQUIRED BY THIS DIVISION SHALL BE MAINTAINED SO THAT ALL BRANCHES HAVE A CLEARANCE OF 6 FEET ABOVE THE WALKWAY GRADE AND SO THAT ALL BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY.

(11) SHRUBS REQUIRED BY THIS DIVISION SHALL BE WOODY OR PERENNIAL PLANTS THAT ARE LOW BRANCHING OR HAVE MULTIPLE STEMS.

(12) TREE ROOT BARRIERS OR STRUCTURAL SOIL SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE CITY MANAGER MAY WAIVE THIS REQUIREMENT WHERE THE COMBINATION OF SOIL CONDITIONS, ROOT ZONE AREA, ADJACENT IMPROVEMENTS, AND SELECTED TREE SPECIES CAN BE DEMONSTRATED TO PROVIDE CONDITIONS FOR HEALTHY TREE GROWTH THAT WILL NOT DAMAGE PUBLIC IMPROVEMENTS.

(13) NATIVE PLANT MATERIAL SHALL BE PLANTINGS THAT CAN SURVIVE WITHOUT IRRIGATION AFTER INITIAL PLANT ESTABLISHMENT.

(14) NATURALIZED PLANT MATERIAL SHALL BE PLANTINGS THAT CAN SURVIVE WITHOUT IRRIGATION AFTER INITIAL PLANT ESTABLISHMENT.

(15) PLANT MATERIALS SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(16) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(17) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(18) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(19) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(20) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(21) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(22) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(23) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(24) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(25) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(26) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(27) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(28) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(29) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(30) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

(31) PLANT MATERIAL SHALL BE GROUPED INTO HYDROZONES THAT CONSIST OF PLANT SPECIES HAVING SIMILAR WATER DEMAND AND BY THEIR SOIL, SUN, AND SHADE REQUIREMENTS.

(32) PLANT MATERIAL SHALL BE SELECTED TO MEET MAXIMUM APPLIED WATER ALLOWANCE AS DETERMINED BY THE WATER BUDGET FORMULA AND SPECIFICATIONS IN SECTION 142.0413(D).

STREET YARD

A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.

All least one-half of the required planting points shall be achieved with trees.

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area 2,738 sq. ft. x 0.05 = 136.9 sq. ft.	1,265 sq. ft.	166 sq. ft.

Planting Points Required (142.0404)	Plant Points Provided	Excess Points Provided
Total Area 2,738 sq. ft. x 0.05 = 136.9 points	349 points	239.1 points

Points achieved with trees: 62 points	(4) 24" BOX TREES + 20 PTS = 80 POINTS (26) 5 GAL. SHRUBS + 2 PTS = 52 POINTS (97) 1 GAL. SHRUBS + 1 PT = 97 POINTS 349 POINTS
---------------------------------------	---

REMAINING YARD 3 or more Dwelling Units

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x 1 = 60 # of buildings = 60	223 points	163 Points

(3) 24" BOX TREES + 20 PTS = 60 POINTS (75) 5 GAL. SHRUBS + 2 PTS = 150 POINTS (93) 1 GAL. SHRUBS + 1 PT = 93 POINTS 223 POINTS
--

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total V.I.A.: 4,231 sq. ft. x 0.05 = 211.5 points	416 points	204 points

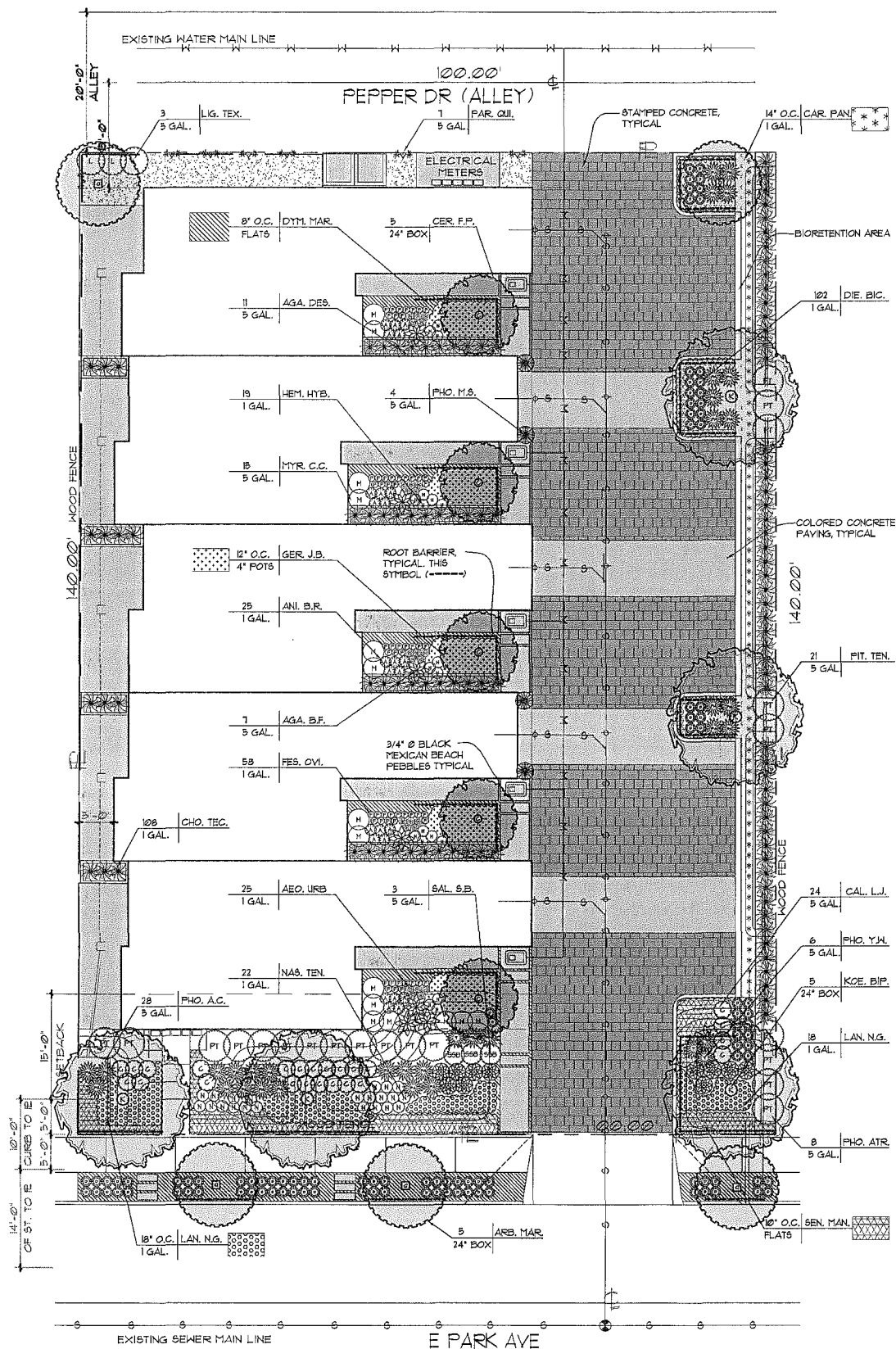
Points achieved through trees (at least half): 100 points	(9) 24" BOX TREES + 20 PTS = 180 POINTS (70) 5 GAL. SHRUBS + 2 PTS = 140 POINTS (80) 1 GAL. SHRUBS + 1 PT = 80 POINTS 400 POINTS
---	---

DESIGN STATEMENT

THE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE SHADE AND ENHANCE THE APPEARANCE OF THE UNITS WITH A CONTEMPORARY DESIGN, USING DROUGHT TOLERANT PLANTS AND FLOWERING TREES.

PLANT LIST

ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME
TREES				
ARB. MAR.	24" BOX	5	AREBUTUS MARINA-MULTI	MARINA STRAWBERRY TREE
KOE. BIP.	24" BOX	5	KOELREUTERIA PANICULATA	GOLDENRAIN TREE
CER. F.P.	24" BOX	5	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD
SHRUBS				
CAL. L.J.	5 GAL.	24	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLE BRUSH
CHO. TEC.	1 GAL.	108	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH
LAN. N.G.	5 GAL.	18	LANTANA NEW GOLD	GOLDEN SPREADING LANTANA
LIG. TEX.	5 GAL.	3	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET
MYR. C.C.	5 GAL.	15	MYRTUS COMMUNIS 'COMPACTA'	COMPACT MYRTLE
PIT. TEN.	5 GAL.	21	PITOSPORUM TENUIFOLIUM	KOHUHI
SAL. S.B.	5 GAL.	3	SALVIA SANTA BARBARA	SANTA BARBARA SAGE
ACCENT PLANTS				
AEO. URB.	1 GAL.	25	AECONIUM URBICUM	SALAD BOWL
AGA. B.F.	5 GAL.	1	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE
AGA. DES.	5 GAL.	11	AGAVE DESMETTIANA	SMOOTH AGAVE
ANI. B.R.	1 GAL.	25	ANZOZANTHOS 'BUSH RANGER'	BUSH RANGER KANGAROO PAW
DIE. BIC.	1 GAL.	102	DITES BICOLOR	BICOLOR AFRICAN IRIS
HEM. HYB.	1 GAL.	19	HEMEROCALLIS HYBRIDS	DAYLILY YELLOW EVERGREEN
NAS. TEN.	1 GAL.	22	NASSELLA TENUESIMA	MEXICAN FEATHER GRASS
PHO. ATR.	5 GAL.	8	PHORMIUM 'ATROPURPUREUM'	GIANT BRONZE NEW ZEALAND FLAX
PHO. A.C.	5 GAL.	28	PHORMIUM 'ATROPURPUREUM COMPACTUM'	PURPLE NEW ZEALAND FLAX
PHO. M.S.	5 GAL.	4	PHORMIUM 'MACRO SUNRISE'	MACRO SUNRISE NEW ZEALAND FLAX
PHO. Y.W.	5 GAL.	6	PHORMIUM 'YELLOW WAVE'	YELLOW WAVE NEW ZEALAND FLAX
VINES				
FAR. QUI.	5 GAL.	1	PARTHENOCISSUS QUINQUEFOLIA	CISSUS
GROUND COVER				
DYM. MAR.	FLATS	8" O.C.	DYMONDIA MARGARETAE	SILVER CARPET
FES. OVI.	1 GAL.	50	FESTUCA OVINA GLAUCA	BLUE FESCUE
GER. J.B.	4" POTS	12" O.C.	GERANIUM 'JOHNSONS BLUE'	JOHNSONS BLUE GERANIUM
LAN. N.G.	1 GAL.	18" O.C.	LANTANA NEW GOLD	NEW GOLD LANTANA
SEN. MAN.	FLATS	10" O.C.	SENECIO MANDRILASCAR	BLUE CHALK STICKS
BIOSWALE PLANTS				
CAR. PAN.	FLATS	14" O.C.	CAREX PANSA	CALIFORNIA MEADOW SAGE



LANDSCAPE CONCEPT PLAN

SCALE 1"=10'-0"



sotelo

2643 4th Avenue
San Diego CA 92103
phone 619.719.6756
angelina@sotelo-la.com
www.sotelo-la.com



PARK AVE.
APARTMENTS

260 E. PARK AVE.
SAN DIEGO, CA 92173

LANDSCAPE
DEVELOPMENT
PLAN

SHEET

L1.0