



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 7, 2016 REPORT NO. HO-16-083

HEARING DATE: December 14, 2016

SUBJECT: FAN RESIDENCE. Process Three Decision

PROJECT NUMBER: [425611](#).

OWNER/APPLICANT: FAN FAMILY TRUST/Island Architects

SUMMARY:

Issue: Should the Hearing Officer approve the demolition of a single family residence and construction of a new single family residence at 8295 Prestwick Drive within the La Jolla Community Planning area?

Staff Recommendation: APPROVE an application for Coastal Development Permit No. 1489121; and Site Development Permit No. 1489122.

La Jolla Shores Advisory Committee Recommendation: On October 20, 2015 the La Jolla Shores Advisory Committee voted 5-0 to recommend approval of the proposed project.

Community Planning Group Recommendation: On January 7, 2016, the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities) and 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 9, 2016 and the opportunity to appeal that determination ended September 23, 2016.

BACKGROUND

The project would demolish an existing residence and pool built in 1964, and would construct a new, 6,255-square-foot, two-story single family residence over basement, and a new pool. The 0.606-acre site is located at 8295 Prestwick Drive in the La Jolla Planned District-Single Family (LJPD-SF) Zone within the Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. The site has a relatively flat construction area at the front of the site and the rear portion of the site contains

Environmentally Sensitive Lands (ESL) in the form of Steep Hillside and Sensitive Biological Resources. The project site is also adjacent to Sensitive Biological Resources. The existing home is more than 45 years old, but the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The project requires a Coastal Development Permit (CDP) as the project proposes development within the Coastal Zone and a Site Development Permit due to the project's adjacency to Steep Hillside and Biological Resources. The project will provide a new 15-foot-wide driveway and will close the non-utilized driveway with current City Standard curb, gutter and sidewalk adjacent to the site on Prestwick Drive. The project was reviewed for compliance with the LJPD-SF Zone development requirements including density, setbacks and parking. No deviations are proposed with the proposed single family home.

The project proposes a 30-foot building height in compliance with the 30-foot maximum height allowed under the Coastal Height Overlay Zone. The project is consistent with the recommended residential land use designation in the La Jolla Community Plan and the requirements of La Jolla Planned District –Single Family Zone.

DISCUSSION

Project Description

The project proposes to demolish an existing 3,366-square-foot, two-story residence and pool on the site and construct a new, 6,255-square-foot, two-story single family residence over a basement and construct a new pool. The new home would include four bedrooms, elevator and basement with three-(3) car garage. The second floor includes a covered terrace and an exercise room. The new pool will be relocated to the rear of the property. The garage would be accessed from Prestwick Drive.

Environmentally Sensitive Lands

The project site contains Steep Hillside and Sensitive Biological Resources. The Natural Resources & Open Space System of the La Jolla Community Plan (pp. 39 - 43) contains specific goals and recommendations regarding development in areas of steep hillside, open space systems and identified public views. Furthermore, the purpose of these regulations is to protect, preserve and, where damaged restore, the environmentally sensitive lands of San Diego and the viability of the species, supported by those lands (SDMC Section 143.0101). The project is sensitive to the natural resources on site by remaining within the existing disturbed area of the existing residential home and, therefore, minimizes grading, landform alteration, and encroachment into environmentally sensitive lands (steep hillside and sensitive biological resources).

Community Plan Analysis

The proposed project is located in an area identified as Very Low Density (0-5 DU/acre) residential and as open space within the La Jolla Community Plan (LJCP). The residential use of the property is consistent with the land use designation. The Plan recommends that there shall be no encroachments within the open space designation of the La Jolla Community Plan and the project

would be consistent with that recommendation. All development on steep hillsides located in La Jolla or La Jolla Shores Community Plan areas shall, in addition to meeting all other requirements of this section, be found consistent with the Hillside Development Guidelines set forth in the La Jolla - La Jolla Shores Local Coastal Program land use plan [SDMC Section 143.0142(h)]. The project was reviewed against these regulations and found to be consistent.

Conclusion

Staff has determined that the project complies with the development regulations of the LJPD-SF Zone and all other applicable sections of the San Diego Municipal Code. In addition, staff has drafted findings supporting project approval for the Hearing Officer's consideration. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1489121 and Site Development Permit No. 1489122, with modifications.
2. Deny Coastal Development Permit No. 1489121 and Site Development Permit No. 1489122, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Morris E. Dye", is written over a horizontal line.

Morris E. Dye, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans

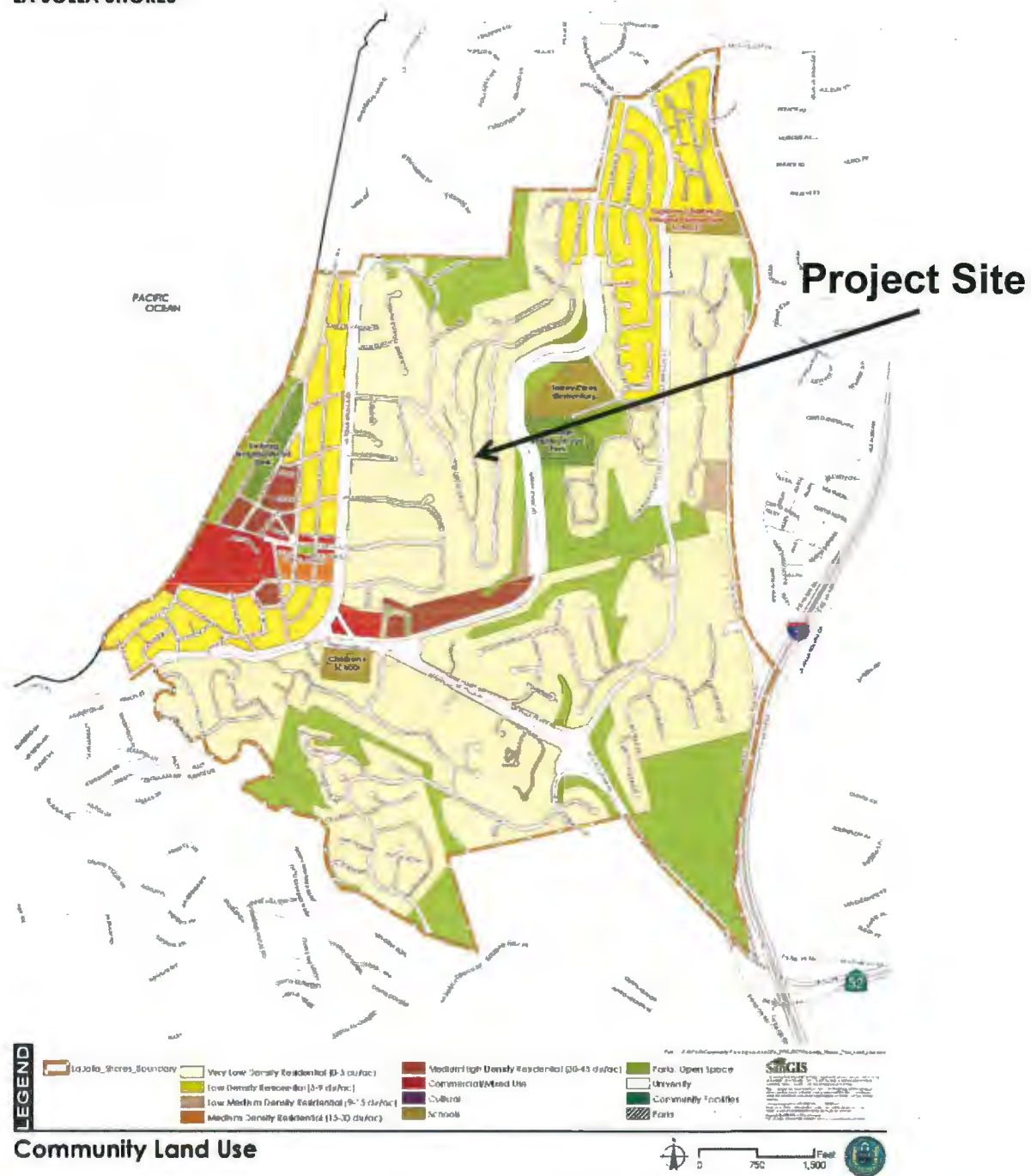


Project Location Map

Fan Residence, 8295 Prestwick Drive
PROJECT NO. 425611



LA JOLLA SHORES



Land Use Map

Fan Residence, 8295 Prestwick Drive
PROJECT NO. 425611





ATTACHMENT 3



Aerial Photos

Fan Residence, 8295 Prestwick Drive

PROJECT NO. 425611



PROJECT DATA SHEET

PROJECT NAME:	FAN RESIDENCE	
PROJECT DESCRIPTION:	Demolish existing residence and pool and construct single family residence and pool on a 0.606-acre site at 8295 Prestwick Drive.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Residential	
ZONING INFORMATION: ZONE: LJPD-SF Zone. HEIGHT LIMIT: 30 Feet. LOT SIZE: 26,398 SF, 0.606 acre. FLOOR AREA RATIO: 0.237 FRONT SETBACK: PDO: 15 Feet, 30 Feet Proposed. SIDE SETBACK: NA STREETSIDE SETBACK: NA REAR SETBACK: NA PARKING: Two (2) required, three (3) provided.		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	LJSPD-SF	Residential
SOUTH:	LJSPD-SF	Open Space
EAST:	OP-1-1	Residential
WEST:	LJSPD-SF	Residential
DEVIATION REQUESTED:	No Deviations requested.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 7, 2016, the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the project without conditions. On October 20, 2015, the La Jolla Shores Advisory Board voted 5-0 to recommend approval of the project.	

HEARING OFFICER RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 1489121
SITE DEVELOPMENT PERMIT NO. 1489122
FAN RESIDENCE CDP/SDP, PROJECT NO. 425611

WHEREAS, FAN FAMILY TRUST., Owner/Permittee, filed an application with the City of San Diego to demolish the existing single family residence and construct a 6,255 square-foot, two-story residence over a garage basement and construct a pool (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1489121 and 1489122) on portions of a 0.606-acre site;

WHEREAS, the project site is located at 8295 Prestwick Drive in the SF zone of the La Jolla Community Plan area;

WHEREAS, the project site is legally described as: the real property in the City of San Diego, County of San Diego, State of California, described as: Lot 37 of Prestwick Estates, Unit No. 1, according to Map thereof No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego County (APN 346-212-02).

WHEREAS, on December 14, 2016, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1489121 and Site Development Permit No. 1489122 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 14, 2016.

FINDINGS:

Coastal Development Permit - Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 0.606-acre site is located at 8295 Prestwick Drive and approximately one half mile from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Prestwick Drive at this location is not designated as a view corridor with views toward the Pacific Ocean and is not identified as containing intermittent or partial vistas along the property. The property is not designated as a viewshed or scenic overlook, and does not contain any public accessways as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). The site contains Environmentally Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC), Section 113.0103. The project site is located in a built urbanized location and avoids the adjacent sensitive biology and steep hillsides by respecting the existing disturbed area of the existing home.

An Environmental Exemption was prepared for the project according to California Environmental Quality Act (CEQA) Guidelines. The project meets the criteria set forth in CEQA Section 15301 (I) 1 which allows the demolition and removal of individual small structures including a single family residence and, in urbanized areas, up to three single family residences to be demolished under the exemption. The project is also exempt under Section 15303 (New Construction). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The 0.606-acre site is located at 8295 Prestwick Drive and approximately one half mile from the Pacific Ocean and in the SF zone of the La Jolla Community Plan area and the Local Coastal Program Land Use Plan. Prestwick Drive at this location is not designated as a view corridor with views toward the Pacific Ocean and is not identified as containing intermittent or partial vistas along the property. The property is not designated as a viewshed or scenic overlook, and does not contain any public accessways as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The Natural Resources & Open Space System of the La Jolla Community Plan (pp. 39 - 43) contains specific goals and recommendations regarding development in areas of steep hillsides, open space systems and identified public views. The project is sensitive to the natural resources on site by remaining within the existing disturbed area of the existing residential home and, therefore, minimizes grading, landform alteration, and encroachment into environmentally sensitive lands (steep hillsides and sensitive biological resources). Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified

Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The property is not located between the sea and the first public roadway paralleling the sea. Prestwick Drive at this location is not designated as a view corridor with views toward the Pacific Ocean and is not identified as containing intermittent or partial vistas along the property. The property is not designated as a viewshed or scenic overlook, and does not contain any public accessways as identified within the adopted La Jolla Community Plan and Local Coastal Program Land Use Plan.

Therefore, the proposed development does not have to comply with the public access and recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit - Section 126.0504

Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The 0.606-acre site is located at 8295 Prestwick Drive and approximately one half mile from the Pacific Ocean and in the SF zone of the La Jolla Community Plan area and the Local Coastal Program Land Use Plan. Prestwick Drive at this location is not designated as a view corridor with views toward the Pacific Ocean and is not identified as containing intermittent or partial vistas along the property. The property is not designated as a viewshed or scenic overlook, and does not contain any public accessways as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan.

The Natural Resources & Open Space System of the La Jolla Community Plan (pp. 39 - 43) contains specific goals and recommendations regarding development in areas of steep hillsides, open space systems and identified public views. The project is sensitive to the natural resources on site by remaining within the existing disturbed area of the existing residential home and, therefore, minimizes grading, landform alteration, and encroachment into environmentally sensitive lands (steep hillsides and sensitive biological resources). Therefore, the development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project is required by permit condition to construct a City Standard 15-foot driveway for access to the project, will close any non-utilized driveways at the site with City Standard curb, gutter and sidewalk. The Owner/Permittee will be required to submit a Water Pollution Control Plan (WPCP) prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards. As the project will construct a City Standard driveway, and will submit a Water Pollution Control Plan, the proposed development will not be detrimental to the public health safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project has been designed to meet setback and height restrictions and requirements. Pool equipment will be placed no closer than four (4) feet from the property line as required by Section 145.3110 of the Land Development Code. The proposed walls and fences comply with placement and height regulations as required by Land Development Code Section 113.0270(b). The project does not require any deviations to the Land Development Code. As the project complies with setback, height, pool equipment, and wall and fence requirements of the Land Development Code, and requires no deviations, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project site currently has a single family home with a pool that would be demolished and a new home and pool would be constructed within the previously disturbed area of the existing home and pool. The site is relatively flat and would require minimal grading to construct the new home and pool. The Environmentally Sensitive Lands on the property in the form of Sensitive Biology and Steep Hillides are located to the rear of the site and would not be impacted by the proposed project. Furthermore, a Covenant of Easement will be placed over the sensitive resource area at the rear of the lot, preventing development in this area. Given that the proposal would replace a single family home and pool with a single family home and pool within the previously disturbed area of the site, and the Environmentally Sensitive Lands in the form of Steep Hillides and Sensitive Biology would be avoided, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project site currently has a single family home with a pool that would be demolished and a new home and pool would be constructed within the previously disturbed area of the existing home and pool. The site is relatively flat and would require minimal grading to construct the new home and pool. The Steep Hillside at the rear of the property would not be disturbed as the project would be constructed on the previously disturbed portion of the site and a Covenant of Easement preventing development in this area will be recorded. A Hydrology Calculation prepared for the proposed project shows that the project meets the Basic Objectives and Basic Policy on drainage design required by the City of San Diego Drainage Manual. The project manages increases in runoff discharge rates and durations that are likely to cause increased erosion, silt pollution generation or other impacts to beneficial uses and stream habitat due to increased erosive force. Brush Management Zones 1 and 2 have been incorporated into the project design and have been found to meet all Landscaping and Fire Code requirements.

As the project replaces the existing home and pool on the previously disturbed portion of the site, does not disturb the adjacent Steep Hillside, would not cause increased erosion, silt pollution or other impacts to beneficial uses and stream habitat due to increased erosive force, and Brush Management Zones 1 and 2 have been incorporated into the project design and have been found to meet all Landscaping and Fire Code requirements, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project site currently has a single family home with a pool that would be demolished and a new home and pool would be constructed within the previously disturbed area of the existing home and pool. The Environmentally Sensitive Lands on the property in the form of Sensitive Biology and Steep Hillside are located to the rear of the site and would not be impacted by the proposed project. In addition, a Covenant of Easement will be placed over the Steep Hillside portion of the lot, preventing development in this area and protecting the sensitive resource. Given that the proposal would replace a single family home and pool with a single family home and pool within the previously disturbed area of the site, and the Environmentally Sensitive Lands in the form of Steep Hillside and Sensitive Biology would be avoided, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project site is not located within the Multiple Species Conservation Program (MSCP) Subarea and would have no MSCP-related impacts. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

A Hydrology Calculation prepared for the proposed project shows that the project meets the Basic Objectives and Basic Policy on drainage design required by the City of San Diego Drainage Manual. The project manages increases in runoff discharge rates and durations that are likely to cause increased erosion, silt pollution generation or other impacts to beneficial uses and stream habitat due to increased erosive force. As such, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

Based on the environmental review conducted in accordance with CEQA Sections, it has been determined that the proposed project would be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction) of the State CEQA Guidelines, and, therefore, given there are no expected environmental impacts associated with the project, no mitigation is proposed or required. Therefore, this finding is not applicable to this project.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1489121/Site Development Permit No. 1489122 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 1489121/Site Development Permit No. 1489122, a copy of which is attached hereto and made a part hereof.

Morris E. Dye
Development Project Manager
Development Services

Adopted on: December 14, 2016

IO#: 24005904
3-3-16

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24005904

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1489121
SITE DEVELOPMENT PERMIT NO. 1489122
FAN RESIDENCE PROJECT NO. 425611
HEARING OFFICER

This Coastal Development Permit No. 1489121/Site Development Permit No. 1489122 is granted by the Hearing Officer of the City of San Diego to the Fan Family Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0704 and 126.0504. The 0.606-acre site is located at 8295 Prestwick Drive in the SF zone of the La Jolla Community Plan area. The project site is legally described as: the real property in the City of San Diego, County of San Diego, State of California, described as: Lot 37 of Prestwick Estates, Unit No. 1, according to Map thereof No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego County (APN 346-212-02).

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing two-story residence and pool, and construct a 6,255 square-foot two-story residence over a garage basement and construct a pool as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 14, 2016, on file in the Hearing Officer.

The project shall include:

- a. Demolish the existing single family residence and pool.
- b. Construct a 6,255 square-foot two-story residence over a garage basement and construct a pool.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking
- e. Public and private accessory improvements determined by the Hearing Officer to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA

Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 29, 2019.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Hearing Officer; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standards 15-foot-wide concrete driveway, adjacent to the site on Prestwick Drive. Curb opening shall be located a minimum of three (3)-foot from the side property line extended, satisfactory to the City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Prestwick Drive, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
20. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of construction permits for grading or building, the Permittee or Subsequent Owner shall submit a landscape plan consistent with Approved Exhibit "A" [Landscape Development Plan]. The planting plan shall show the required 30% landscaped area in a crosshatch pattern and labeled "Landscape Plan" [LDC 1510.0304(h)]. The plan shall also show the location of the required Street Trees as per Section 142.0610 of the Land Development Code, Public Facility Regulations.
22. Any modifications or changes to the "Landscape Plan" and existing or proposed plant material, as shown on the Approved Exhibit "A," Landscape Development Plan, is permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance [LDC 1510.0304(h)].
23. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

24. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards.
25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.
26. The Permittee or Subsequent Owner shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit 'A', Brush Management Plan, on file in the Office of the Development Services Department.
27. Prior to issuance of any construction permits for grading, Landscape Construction Documents required for the construction permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit 'A.'
28. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit 'A' and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412 (Ordinance 19413).
29. The Brush Management Program shall consist of two zones consistent with the Brush Management Regulations of the Land Development Code Section 142.0412 as follows: Zone-1 shall extend from the rear façade (east) to 5' beyond the retaining wall. Any portion of the structure falling within 35' of the edge of shall have upgraded window/door openings to dual glazed/dual tempered/ or in the case of the covered terrace, shall be 1 hr fire rated or heavy timber construction. A 65' Zone-2 shall extend up the hill from a line 5' east of the retaining wall towards the eastern property line.
30. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.
31. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."
32. In Zone One, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis Section [LAS] and the Environmental Analysis Section [EAS].

33. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, 50% of the planting area shall be seeded with material that does not grow taller than 24 inches.

PLANNING/DESIGN REQUIREMENTS:

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

37. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

38. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

TRANSPORTATION REQUIREMENTS

39. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

40. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 14, 2016 and Approved Resolution Number ____ .

COASTAL DEVELOPMENT PERMIT NO. 1489121

SITE DEVELOPMENT PERMIT NO. 1489122

Date of Approval: December 14, 2016

AUTHENTICATED BY THE CITY OF SAN DIEGO HEARING OFFICER

Morris E. Dye
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Fan Family Trust

Owner

By _____
Siuman Fan
Trustee

Fan Family Trust

Owner

By _____
Maria Fan
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

DATE OF NOTICE: September 9, 2016

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. : 24005904

PROJECT NO: 425611
PROJECT NAME: Fan Residence
COMMUNITY PLAN AREA: La Jolla
COUNCIL DISTRICT: 1
LOCATION: 8295 Prestwick Drive, San Diego, California 92037

PROJECT DESCRIPTION: The project proposes a COASTAL DEVELOPMENT PERMIT and a SITE DEVELOPMENT PERMIT for the demolition of a 3,366-square foot existing single dwelling unit and the construction of a new 5,865-square foot two-story single dwelling unit over a 1,386-square foot basement garage. The project also consists of the demolition of an existing pool with the replacement of a new pool in a slightly different location, as well as associated landscape and hardscape. The 0.606- acre project site is located at 8295 Prestwick Drive in the Single Family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, and Parking Impact Overlay Zone (Coastal).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer (Process 3)

ENVIRONMENTAL DETERMINATION: Categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and 15303 (New Construction).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301(l) (1) (Existing Facilities) which allows for the demolition and removal of individual small structures including one single-family residence and in urbanized areas, up to three single-family residences may be demolished under this exemption. The project also meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include but are not limited to on single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not



La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us

Mail: PO Box 889, La Jolla, CA 92038

Web: <http://www.LaJollaCPA.org>

Voice mail: 858.456.7900

Email: info@LaJollaCPA.org

President: Cindy Greatrex

Vice President: Bob Steck

2nd Vice President: Joe LaCava

Secretary: Helen Boyden

Treasurer: Jim Fitzgerald

DRAFT MINUTES

Regular Meeting | Thursday, 7 January 2016, 6:00 pm

Trustees present: Patrick Ahern, Helen Boyden, Tom Brady, Mike Costello, Dolores Donovan, Janie Emerson, Jim Fitzgerald, Cindy Greatrex, Joe LaCava, David Little, Alex Outwater, Jim Ragsdale, Bob Steck, Ray Weiss, Brian Will, Fran Zimmerman
 Trustee absent: Bob Collins
 Vacant: One Seat, term ending in 2018

- 1.0 Welcome and Call To Order by Cindy Greatrex, President**, at 6:04 pm who announced that the meeting was being recorded-- in audio by the LJCPA and in video by a party who does not wish to be identified. She also asked that all mobile devices be silenced.

2.0 Adopt the Agenda

Approved Motion: To adopt the motion as posted (Fitzgerald, Steck: 13-0-1).

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, LaCava, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex, (Chair)

3.0 Meeting Minutes Review and Approval: 3 December 2015

Approved Motion: To approve the minutes as distributed (Donovan, Ragsdale: 13-0-2).

In favor: Ahern, Boyden, Costello, Donovan, Emerson, Fitzgerald, LaCava, Little, Outwater, Ragsdale, Steck, Weiss, Will

Abstain: Greatrex, (Chair), Brady (absent)

4.0 Elected Officials – Information Only

4.1 Council District 1 – Council President Sherri Lightner

Rep: Justin Garver, 619-236-6611, JGarver@sandiego.gov reported that the City has created a web Page www.sandiego.gov/el-nino that provides information about El Nino preparedness. Sherri Lightner was unanimously elected to continue to serve as City Council President and the Council approved the City of San Diego Climate Action Plan. The Mayor's annual State of the City Address is slated to be Thursday, January 14th.

4.2 Mayor's Office – Mayor Kevin Faulconer

Rep: Francis Barraza, 619-533-6397, FBarraza@sandiego.gov was not present

4.3 39th Senate District – State Senator Marty Block

Rep: Sarah Fields, 619-645-3133, Sarah.Fields@sen.ca.gov was not present.

4.4 78th Assembly District – Speaker of the Assembly Toni Atkins Rep:

TBD

5.0 President's Report – Information only unless otherwise noted.

- 5.1 Bylaw Amendment** to conform to 600-24: Review at Smart Growth & Land Use Committee, Jan 20. City

DRAFT Agenda, Thursday, 7 January 2016
 Regular Meeting of the La Jolla Community Planning Association
 Page 6 of 29

Council Review Date, in either January or February

5.2 Maintenance Assessment District Presentation, Julie Bronstein Executive Director of La Jolla Community

Foundation-San Diego Foundation; Phyllis Pfeiffer, President & GM of Union-Tribune Community Press told about "Enhance La Jolla" a 501 (c)(3) being established by the La Jolla Community Foundation. The organization is being led by a board of volunteer residential and business property owners and chaired by Mark Dibella. Their goal is to establish a MAD (Maintenance Assessment District) in a central area in La Jolla Village with about 1250 parcels. This will be funded by a fixed fee on residential properties and variable fees for commercial properties. The fees will appear on the property tax bill. It will seek additional donations to also fund CIPs (Capital Improvement Projects). In order to go into effect it needs to be approved by a simple majority of the property owners, weighted by parcel size. Then it needs passage by the City Council. They are hoping for approval by July 16 so that funds would be available by 2017. The initial provisions would have a five-year lifetime. The City, the largest property owner, would pay about \$50,000 a year and would be in favor. The Bird Rock assessment district has been a success.

Dave Schwab and Sally Miller commented as did Trustees Costello, LaCava, Outwater, Emerson, Weiss, Ahern and Ragsdale.

5.3 Recommendation to City of San Diego on Item # 9 in Tenth Update to the LDC.

Trustee LaCava, Chair of the Community Planners Committee reported that the Tenth Update has 38 different proposed changes, of which the CPC referred 4-5 to individual Community Planning Groups for action, making its own decision on the remainder. Issue #9 proposes establishing a new path leading to ministerial approval for projects in the Coastal Development Zone in addition to the current 50% rule; a complete teardown could qualify if the developer adhered to a height limit of 27' (30' is now allowed) and restricted the FAR to 80% of the allowable. Trustee LaCava made a motion which was a slight variant of a recommendation of the Ad Hoc Committee on Residential Single Family- (RS) Zoning (which recommendation had been emailed to the trustees) asking the City to suspend action on this subject for a year. He indicated that Issue #9 had been rushed through without thorough consideration and review. Trustee Costello presented a list of substitute criteria. It was argued that such a list proposed at this time would likely not get consideration.

Trustees Donovan, Boyden, Little, Ragsdale, Fitzgerald, Weiss, Ahern, Zimmerman and Brady also commented.

Approved Motion: The La Jolla Community Planning Association asks the City of San Diego to suspend action on Issue #9 of the 10th Update to the Land Development Code for one year. A one-year suspension will enable the community of La Jolla, and other coastal communities, to craft tailored criteria for a Coastal Residential Development Overlay Zone with ministerial processing for single-family residences. The adoption of this overlay zone could replace the Coastal Development Permit process for those projects that comply with the criteria of the zone, enabling regulatory relief from the existing costly and time-consuming discretionary processes while more effectively implementing the La Jolla Community and Coastal Development Plan. (LaCava, Emerson: 11-3-1).

In favor: Ahern, Boyden, Brady, Donovan, Emerson, Fitzgerald, LaCava, Ragsdale, Steck, Weiss, Will

Opposed: Costello, Little, Zimmerman

Abstain: Greatrex (Chair)

5.4 Update on Children's Pool: Monica Munoz, Senior Public Information Officer (President to proxy;

Ms. Munoz will make a presentation in February) Interior work on the Lifeguard Station will continue, but the remaining exterior work cannot be completed until after the pupping season. It was stated that the new retaining wall was needed for structural support and compliance with storm water regulations and can be removed in the future.

5.5 Sewer Groups Update: Rex Narvaez & Sheila Gamueda, City of SD Public Works and Right-of-Way

Design Division—they reported that they will replace-in-place 1.8 miles of sewer and are in the process of bidding the contract. Work is expected to start in November 2016, but the project includes 26 locations city wide, so an exact La Jolla start date is not known. The streets will be

repaved with concrete where it exists now and slurry sealed otherwise. The La Jolla streets, including West Muirlands Drive, are not affected by the summer moratorium. They will be coordinating with the schools.

Sally Miller and Tricia Riha commented.

6.0 Non-Agenda Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

6.1 City of San Diego – Community Planner: will be Marlon Pangilinan.

6.2 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://commplan.ucsd.edu/> stated that construction of the Center

for Novel Therapeutics in the Science Research Park would begin this quarter. The ten or eleven units of Mesa housing built in the 1960's would be demolished and replaced with several residential buildings, one of which would be 9 stories tall. She thanked those who had attended the meet-and-greet at Revelle College in December and would like to open an invitation for another one for all UCPA members.

6.3 Others

Bob Whitney asked that the Ad Hoc Committee on Residential Single-Family (RS) Development be disbanded as of the February meeting, as there was no point in it existing if the UCPA trustees were just going to revise. Trustee Weiss commented that recommendations from the UCPA were its responsibility to make and it was in the UCPA purview to alter subcommittee recommendations. President Greatrex stated that the committee would be disbanded after it made its report at the February meeting.

Phil Merten asked that a special meeting be called to review two other proposals in the 10th Update to the Land Development Code—those with respect to visibility triangles and the method of calculating GFA in mixed use development. He had expected it to be an action item at this meeting.

Sally Miller asked that Anu Delouri be called on earlier in the meeting.

Tony Crisafi asked who had pulled the Huennekens project.

Ed Comartin announced that he was running for a trustee seat.

7.0 Trustee Comment

Trustee Little said that Diane Kane ought to have given the report for the Ad Hoc Committee on Single-Family Residential Development and that Phil Merten's concerns about the 10th Update ought to have been heard tonight and asked for a Special Meeting to consider those issues.

Trustee Costello suggested Bylaws revisions should be made to allow only La Jolla Residents to serve as trustees.

8.0 Officers' Reports

8.1 Treasurer

Trustee Fitzgerald reported that he had filed the annual 199-N form with the state. He thanked those present for their previous generous contributions to the UCPA expense fund and noted that there would be a \$500 allowance from the City but that additional donations were needed to cover expenses.

Beginning Balance as of 12/1/15	\$ 302.96
Income	
• Collections	\$ 128.00
• CD Sales	5.00
Total Income	\$ 133.00
Expenses	
• Rec Center Rent (Jan-June 2016)	\$ 254.00
• AT&T telephone	\$ 69.55
Total Expenses	\$ 323.55

Net Income/(Loss)	\$(190.55)
Ending Balance of 12/31/15	\$ 112.41

8.2 Secretary

Trustee Boyden stated that if you want your attendance recorded today, you should sign in at the back of the room. There are three sign-in lists: white ones for LICPA members and government representatives and a yellow one for guests.

LICPA is a membership organization open to La Jolla residents, property owners and local business owners at least 18 years of age. Eligible visitors wishing to join the LICPA need to submit an application, copies of which are available at the sign-in table or on-line at the LICPA website: www.lajollacpa.org/. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March.

You are entitled to attend without signing in, but only by providing proof of attendance can you maintain membership or become eligible for election as a trustee. You may document your attendance by signing in at the back, providing the Secretary before the end of the meeting a piece of paper with your printed full name, signature and a statement that you want your attendance recorded, or providing independently verifiable proof of attendance.

You can become a Member after attending one meeting and must maintain your membership by attending one meeting per year. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at three LICPA meetings in the preceding 12-month period.

For complete membership information you should refer to the current LICPA bylaws which can be found on the website. Refer to Article III, Section 1.

9.0 Reports from Ad Hoc and non-LICPA Committees - Information only unless noted.

- 9.1 Community Planners Committee <http://www.sandiego.gov/planning/community/cpc/index.shtml> No report.
- 9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html> No report.
- 9.3 Ad Hoc Committee on Residential Single-Family (RS) Zoning – Final Report due next month.

10.0 Consent Agenda- Action Items

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LICPA.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tuesday, 4:00 pm

PRC – La Jolla Shores Permit Review Committee, Chair Phil Merten, 4th Tuesday, 4:00 pm

The Consent Agenda allows the LICPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LICPA. The public may comment on consent items.

à See Committee minutes and/or agenda for description of projects, deliberations, and vote.

- à Anyone may request a consent item be pulled for full discussion by the LJCPA.
- à Items "pulled" from Consent Agenda are automatically trailed to the next LJCPA meeting.

10.1 VISTA DEL MAR 6651-6653 Vista Del Mar Avenue CDP

(Process 3) Coastal Development Permit to demolish two existing residential units currently of 1124 SF and construction of two new units totaling 3,933 square feet: a 2770 SF front unit and 1160 SF rear unit, and 5 parking spaces. The 0.12-acre (5,325 sf) site is located at 6651 & 6653 Vista Del Mar Avenue in the RM-1-1 zone, Coastal Overlay Zone (Appealable), Parking Impact overlay zone, Geologic Hazard Area 52, in the La Jolla Community Plan.

DPR Recommendation: Findings **CAN** be made for a CDP, SDP and demolition permit for two existing residential units and construction of two new units totaling 3,933 square feet: a 2770 sf front unit and 1160 sf rear unit, and 5 parking spaces 4-0-1.

10.2 EADS DUPLEX CONDO 7363 Eads Avenue CDP

(Process 3) Coastal Development Permit and Map Waiver to demolish an existing 576 SF residence and construct two detached residential condominium units totaling 5,250 SF located at 7363 Eads Ave. The 0.160 acre site is in the RM-1-1 zone, Coastal (non-appealable) overlay zone within the La Jolla Community Plan area.

DPR Recommendation: Findings **CAN** be made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit to demolish an existing residence and construct two detached residential condominium units totaling 5,250 SF located at 7363 Eads Ave (3-2-1).

10.3 1250 PROSPECT 1250 Prospect Street Façade Improvement

There is no change in use and the existing building will not be increased in floor area or glass area. All setbacks and coverage will remain as existing. The building exterior will remain primarily stucco, but be repainted from the current pink color to a light beige – this conforms to the PDO 150.C. The building trim will be the same green color that is existing with occasional dark warm grey used with the handrails and other minor trim. Rooftop equipment screens will be installed as requested by the LJCPA during the George's Ocean View Terrace permit review: PDO 159.0408 Mechanical Screening. The awnings that currently extend across the sidewalk will be removed and permanent entrance covers and trellises will be installed but not over the sidewalk. The sidewalk will be returned to City standard and the non-conforming tile will be removed: PDO 159.0405 Streetscape Development Regulations/Encroachment Permits.

PDO Recommendation: Findings **CAN** be made that façade improvement conforms with PDO (10-0-0).

10.4 HUENNEKENS RESIDENCE 8476 Westway Drive SDP and CDP (Pulled by two neighbors)

Site Development Permit and Coastal Development Permit for a 1,692 square-foot addition and associated interior remodel to an existing single family dwelling unit. The 0.50-acre site is located within the Coastal Overlay Zone (Non-Appealable) at 8476 Westway Drive in the LSPD-SF zone(s) of the La Jolla Shores Planned District within the La Jolla Community Plan area, Council District 1. Original SF 3952.

PRC Recommendation: Findings **CAN** be made for project 443644 for a Site Development Permit and a Coastal Development Permit 5-0-0.

10.5 LA JOLLA HALF MARATHON- KIWANIS

Request for Temporary Road Closures and No Parking areas for the La Jolla Half Marathon on April 24, 2016. No Parking Signs have April 8-10 dates but it is only Friday night April 8 and all day Sunday April 10 when it is really needed directly in front of the Park to set up their production. Staff will remove the No Parking signs at the top of Coast Blvd on Saturday April 9 to avoid disruption to nearby businesses as they have done in the past. Street Closures from the top of Coast Boulevard to Girard and Prospect Streets are mainly needed for

Sunday April 10, the day of the Event.

T&T Recommendation: Findings CAN be made 8-0-0.

10.6 LA JOLLA CONCOURS D' ELEGANCE

Request for Temporary Road Closures and No Parking Areas related to 12th annual event on April 8, 9, 10 2016.

Saturday April 23 AM: No Parking begins at Cove set up; 8 am finish line set up begins at Ellen Browning Scripps

Park. Sunday April 24 3:30 am: Event Staff and Security arrive at Finish Line to close Streets adjacent to Cove.

7:30 am Half Marathon and 5K Start in Del Mar. 11 AM: Course opens to vehicles and remaining participants

become pedestrians

T&T Recommendation: Findings CAN be made 8-0-0.

NOTE: Item 10.4 Huennekens residence has been pulled and will be scheduled for a de novo hearing at the February 3, 2016 LICPA regular meeting.

Approved Motion: To accept the recommendations of the DPR Committee that for 10.1 VISTA DEL MAR 6651-6653 Vista Del Mar Avenue CDP that the findings CAN be made for a CDP, SDP and demolition permit for two existing residential units and construction of two new units totaling 3,933 square feet: a 2770 sf front unit and 1160 sf rear unit, and 5 parking spaces 4-0-1 and that for 10.2 EADS DUPLEX CONDO 7363 Eads Avenue CDP that the findings CAN be made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit to demolish an existing residence and construct two detached residential condominium units totaling 5,250 SF located at 7363 Eads Ave (3-2-1); and to accept the recommendation of the PDO Committee for 10.3 1250 PROSPECT 1250 Prospect Street Façade Improvement that the findings CAN be made that façade improvement conforms with PDO (10-0-0); and to accept the recommendations of the T&T Board for 10.5 LA JOLLA HALF MARATHON- KIWANIS that the findings can be made for Temporary Road Closures and No Parking areas for the La Jolla Half Marathon on April 24, 2016 and for 10.6 LA JOLLA CONCOURS D'ELEGANCE that the findings can be made for Temporary Road Closures and No Parking Areas related to 12th annual event on April 8, 9, 10 2016 and forward the recommendations to the City (Emerson, Ahern: 13-0-2)

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, LaCava, Ragsdale, Steck, Weiss, Will, Zimmerman

Abstain: Greatrex (Chair), Little (hadn't been able to review)

11.0 NGALA RESIDENCE 5612-5646 Rutgers Road CDP and SDP

ACTION ITEM (Process 2) Coastal Development Permit for proposed Lot Line Adjustments of approximately 6327 sq ft from 5612 - 5646 Rutgers Rd and 1511 Copa de Oro to 1550 Via Corona. The 26,082 sq ft site is located in the La Jolla Community Plan area and the Coastal Non-Appealable Overlay zone.

DPR Recommendation: Findings CAN be made that the proposed project conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit for proposed Lot Line Adjustments of approximately 6327 SF from 5612 - 5646 Rutgers Rd and 1511 Copa de Oro to 1550 Via Corona 5-3-1.

Mark Brenczk presented, stating that this was a lot line adjustment affecting 6 properties. All of the owners are in agreement. One of the properties had a use easement on land at the level of his property about 20' higher than the owner's land and mistook his rights and built a wall, resulting in lawsuits and the current agreement to adjust the lot lines.

Trustee Costello had voted against it at DPR because one of the lots was already substandard and the lot line adjustment would cause it to lose additional square footage. 10,000 sf is standard in this zone and one lot would be reduced from 9794 sf to 8820 sf.

Sally Miller and Trustees Donovan, Fitzgerald and LaCava also commented.

Approved Motion: To ratify the action of the DPR Committee that the findings CAN be made that the proposal for the Ngala residence, 5612-5646 Rutgers Road, conforms to the La Jolla Community Plan for a Coastal Development Permit and Site Development Permit for proposed Lot Line Adjustments of approximately 6327 SF from 5612 - 5646 Rutgers Rd and 1511 Copa de Oro to 1550 Via Corona. (Fitzgerald, Will: 13-0-1)

In favor: Ahern, Boyden, Brady, Fitzgerald, LaCava, Little, Steck, Weiss, Will, Zimmerman

Opposed: Costello, Donovan, Emerson
 Abstain: Greatrex (Chair)

12.0 FAN RESIDENCE 8295 Prestwick Drive CDP and SDP

ACTION ITEM CDP and SDP to demolish an existing residence and construct a new 5,757 SF 2-story residence over a 1,381 SF basement on a 0.132 acre lot located at 8295 Prestwick Drive in the Single Family (SF) zone of the La Jolla Shores Planned District, Coastal (Non-appealable) overlay zone within the La Jolla Community Plan Area. Council District 1. Original SF 3,366.

PRC Recommendation: Findings **CAN** be made for a CDP and SDP to demolish an existing residence and construct a new 5,757 SF 2-story residence over a 1,381 SF basement on a 0.132 acre lot 3-2-0.

Presented by Tony Crisafi and staff from Island Architects. They decided to demolish and rebuild rather than remodel in order to reduce the prominence of the driveway and garage. In response to feedback from neighbors, they increased the north setback, removed a front fence, increased the width of the greenway, articulated the roof, and lowered the pad by one foot. The pad had been raised to allow for a below level garage with a gated single-width driveway with room to park a car behind the gate. The top of the chimney is 29' from the existing grade. The landscaped area has been increased to 67% and the hardscape reduced to 33%. There are other modern homes and two-story homes in the area. The square footage of the house is being increased by 1500 sf plus basement. The sweet gum trees are approved by the city and a mat foundation including the garage is being used. The property will drain to the street. Walls are allowed up to the property line. PRC members opposing had been concerned about bulk and scale and possible appearance of a third story.

Sally Miller, Peggy Davis, Kim Whitney and Trustees Costello, Emerson and Little commented.

Approved Motion: To ratify the action of the PRC that for the Fan residence at 8295 Prestwick Drive that the findings **CAN** be made for a CDP and SDP to demolish an existing residence and construct a new 5,757 SF 2-story residence over a 1381 SF basement on a 0.132 acre lot (Little, Will: 13-0-1).

In favor: Ahern, Boyden, Brady, Costello, Donovan, Emerson, Fitzgerald, LaCava, Little, Steck, Weiss, Will, Zimmerman.

Abstain: Greatrex (Chair)

13.0 EDDIE V's RESTAURANT 1298 Prospect Street Request for Additional Valet Parking Spaces

ACTION ITEM Requesting four more valet spaces in addition to the four existing valet spaces at 1298 Prospect Street.

T&T Recommendation: Findings **CAN** be made to approve Two Additional Valet Parking Spaces with Modifications to Signage to clearly indicate a 2-hour parking zone during non-valet hours for all the valet spaces; staffing at a level of 1 per 10 cars; institution of a free Parking Validation Program for the benefit of area merchants; and an annual review from LJT&T. The two new valet spaces are to be only for the hours 6pm to 11pm seven days each week 7-1-0.

Presented by CA Marengo and Eddie V's Manager Christophe Cevasco. These are public valets. The landlord provides parking available to employees. The free Parking Validation covering business from Cave Street to just before Donovan's program has been well received.

Bob Whitney, and Trustees Brady, LaCava and Zimmerman commented.

Approved Motion: To ratify the action of the T&T board that by Eddie V's Restaurant at 1298 Prospect Street that the findings **CAN** be made to approve Two Additional Valet Parking Spaces with Modifications to Signage to clearly indicate a 2-hour parking zone during non-valet hours for all the valet spaces; staffing at a level of 1 per 10 cars; institution of a free Parking Validation Program for the benefit of area merchants; and an annual review from LJT&T. The two new valet spaces are to be made to approve Two Additional Valet Parking Spaces with Modifications to Signage to clearly indicate a

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 425611Fan Residence
8295 PrestwickItem: 8 Date: 10/20/2015Applicant: Tania & Bill Fan

Description: CDP & SDF (Process 3) for demolition of 4,097-SF 2-story
home & constructing new 2-story 5,865 SF above & 1,155 SF
underground 3-car garage.

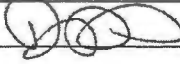
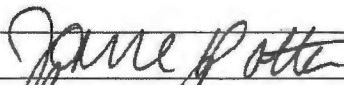
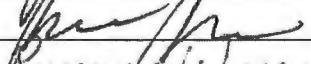
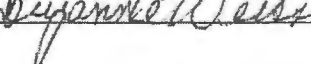
Recommendation

- ☐ A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- ☒ B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council.
- ☐ C. Denial. The project does not conform to the LJSPD as adopted by the City Council.
- ☐ D. Approval subject to the following modifications to ensure conformity to the LJSPD.

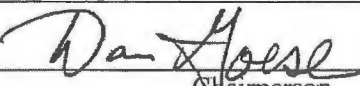
Subject to
to providing
pad 1 foot
raising only 13 ft.

- ☐ E. No recommendation due to a lack of four affirmative votes.
- ☐ F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Nathaniel Fisher		
Dan Goese		
Jane Potter		
Susan Starr		
Susanne Weissman		

Absentees:


 Chairperson



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other

Project Title

FAN RESIDENCE

Project No. For City Use Only

Project Address:

8295 PRESTWICK DRIVE, LA JOLLA CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

Bill Fan *Siuman Fan*

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

P.O. Box 501828

City/State/Zip:

San Diego CA 92150

Phone No:

(619) 818-0982

Fax No:

Signature:

[Signature]

Date:

3/10/15

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Maria Fan

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

P.O. Box 501828

City/State/Zip:

San Diego CA 92150

Phone No:

(619) 204-9078

Fax No:

Signature:

[Signature]

Date:

3/10/15

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

An architectural sketch of a modern, multi-story building. The building features large glass windows and balconies, suggesting a contemporary design. It is situated on a raised platform, with a low wall in the foreground. The sketch is rendered in a simple, line-art style.

10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1

ELEVATION MARKER

A diamond-shaped symbol with the number 101 inside. It is used to mark a specific elevation point. The symbol is labeled with "101" and "ELEVATION MARKER".

DETAIL MARKER

A circular symbol with the number 101 inside. It is used to mark a specific detail point. The symbol is labeled with "101" and "DETAIL MARKER".

SECTION MARKER

A diamond-shaped symbol with the number 101 inside. It is used to mark a specific section point. The symbol is labeled with "101" and "SECTION MARKER".

WINDOW TYPE INDICATOR

A symbol consisting of a circle with the number 101 inside. It is used to indicate the type of window. The symbol is labeled with "101" and "WINDOW TYPE INDICATOR".

DOOR TYPE INDICATOR

A symbol consisting of a circle with the number 101 inside. It is used to indicate the type of door. The symbol is labeled with "101" and "DOOR TYPE INDICATOR".

MATCH LINE/DATUM POINT

A symbol consisting of a circle with the number 101 inside. It is used to indicate a match line or datum point. The symbol is labeled with "101" and "MATCH LINE/DATUM POINT".

REVISION INDICATOR

A symbol consisting of a circle with the number 101 inside. It is used to indicate a revision. The symbol is labeled with "101" and "REVISION INDICATOR".

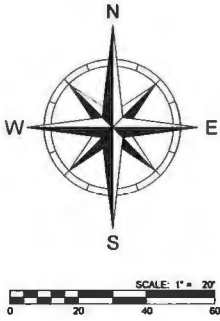
OTHER

A collection of various symbols used in civil engineering drawings, including symbols for walls, doors, windows, and other structural elements. The symbols are labeled with their respective names and descriptions.

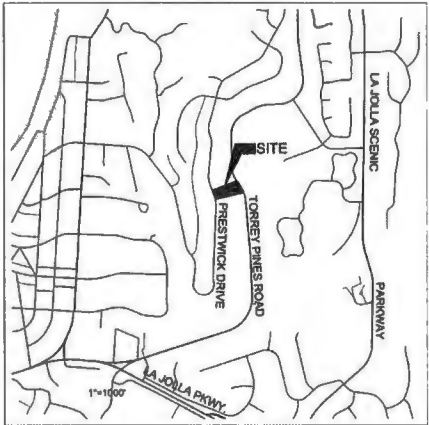
DRAWING INDEX	
DWG#	DRAWING TITLE
T1	TITLE SHEET
T2	ISLAND ARCHITECTS GENERAL NOTES
C.1	TOPOGRAPHIC SURVEY
C.2	PRELIMINARY GRADING PLAN
C.3	SLOPE ANALYSIS
A1.1	SITE PLAN
A1.1a	DEMO PLAN
A1.1b	AREA CALCULATION PLANS
A2.0	BASEMENT PLAN
A2.0a	BASEMENT DIMENSION PLAN
A2.1	FIRST FLOOR PLAN
A2.1a	FIRST FLOOR DIMENSION PLAN
A2.2	SECOND FLOOR PLAN
A2.2a	SECOND FLOOR DIMENSION PLAN
A2.3	ROOF PLAN
A4.1	EXTERIOR ELEVATIONS

CONSULTANTS	CITY STANDARD TITLE BLOCK
<u>ARCHITECTS</u> TONY CRISAFI, DIBBEL PATTERSON ISLAND ARCHITECTS 7620 HEISLER AVENUE LA JOLLA, CALIFORNIA 92037 PH (858) 459-9291 FAX (858) 458-0351 PROJECT MANAGER: CORRI DEL CASTILLO	A4.0 EXISTING ELEVATIONS A5.1 A5.2 BUILDING SECTIONS A5.3 BUILDING SECTIONS L1.0 LANDSCAPE PLAN L1.1 BRUSH MANAGEMENT PLAN L1.2 BRUSH MANAGEMENT PROGRAM
<u>SOILS ENGINEER</u> GEOTECHNICAL EXPLORATION INCORPORATED (GBI) 7400 TRADE STREET SAN DIEGO, CA 92121 PH (858) 549-7222 FAX (858) 549-1804 CONTACT: JAY HEBER	PREP BY: _____ Location: <u>Island Architects</u> _____ <u>Coord. in Corri del Castillo</u> _____ <u>7620 Heisler Avenue</u> _____ <u>La Jolla, CA 92037</u> _____ Phone: <u>GBI</u> (858) 459-9291 _____ <u>Direct</u> (858) 849-2851 _____ Street Address: <u>8374 Paulson Ln</u> _____ <u>La Jolla, CA 92037</u> _____ Project Name: <u>Ran Bonobras</u> _____ _____ _____ Sheet Title: <u>TITLE SHEET</u> _____ _____ _____
<u>CIVIL ENGINEER/SURVEYOR</u> PASCO LARET SUITER & ASSOCIATES 533 NORTH HIGHWAY 101, SUITE A SOLANA BEACH, CA 92075 PH (858) 250-4212 FAX (858) 250-4812 CONTACT: PAUL E. GIOBELLA	Revised 1 to: _____ Revised 12: _____ Revison 11: _____ Revison 10: _____ Revison 09: _____ Revison 08: _____ Revison 07: _____ Revison 06: _____ Revison 05: <u>August 7, 2016</u> Revison 04: <u>July 13, 2016</u> Revison 03: <u>May 18, 2016</u> Revison 02: <u>February 23, 2016</u> Revison 01: <u>August 08, 2015</u> Original Date: <u>05/18/2015</u> Sheet: _____ of _____ DEP# _____

PRELIMINARY GRADING PLAN + TOPOGRAPHIC MAP FOR:
FAN RESIDENCE
8295 PRESTWICK DRIVE
LA JOLLA, CA 92037



VICINITY MAP



NOTES

PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AND BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

IF SIDEWALK WILL BE CONSTRUCTED ALONG THE PROJECT SITE ON PRESTWICK DRIVE, THE EXISTING DRIVEWAY AND ITS SLOPE WILL BE RECONSTRUCTED TO MEET THE CITY'S STANDARD AND HORIZONTAL ACCIDES.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPPC). THE WPPC SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX C OF THE CITY'S STORM WATER STANDARDS.

SPECIAL NOTES

1. WALL HEIGHTS SHOWN ON THIS PLAN REPRESENT REMAINING PORTIONS OF WALLS ONLY. PLEASE SEE LANDSCAPE PLAN FOR NON-RETAINING WALL HEIGHTS AND FENCES.

2. THIS PLAN FOR PRELIMINARY GRADING AND DRAINAGE PURPOSES ONLY. NOT FOR CONSTRUCTION. FINAL GRADING PLAN TO BE SUBMITTED TO CITY OF SAN DIEGO PRIOR TO CONSTRUCTION.

3. ROOF DRAINS SHALL BE CONNECTED TO PRIVATE DRAIN SYSTEM AND ROUTED THROUGH STORM FILTER UNIT BEFORE LEAVING THE SITE.



TOPOGRAPHY SURVEY
SCALE: 1" = 20'

PROJECT INFORMATION

CLIENT: FAN
ADDRESS: 8295 PRESTWICK DRIVE, LA JOLLA, CA 92037
PHONE: 314-212-40

ABBREVIATED LEGAL DESCRIPTION

LOT 37 OF PRESTWICK ESTATES, IN THE CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 4392 FILED IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A LINE CALCULATED FROM POINTS ALONG PRESTWICK DRIVE AS SHOWN ON MAP NO. 4392 FILED IN THE OFFICE OF COUNTY RECORDER OF SAID COUNTY, BE: 81°14'54" AS SHOWN ON THIS PLAN

SURVEY NOTES

- THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DECISIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDS OR FIELD DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
- EASEMENTS SHOWN ARE PLOTTED FROM MAPS AVAILABLE AT THE TIME OF THE SURVEY. A TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THE SURVEY.
- ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO BRASS PLUG BENCHMARK LOCATED AT THE SOUTHEAST CORNER RETURN AT THE INTERSECTION OF BARNES DRIVE AND PRESTWICK DRIVE, ELEVATION 347.41 FEET (1905-29 DATUM).
- SOME SITE FEATURES ARE BASED ON 1"=40' SCALE AERIAL MAPPING FROM AERIAL PHOTO SURVEYS, FLIGHT DATE 4-07-2004. MAPPING MAY NOT REFLECT CURRENT CONDITIONS OUTSIDE SUBJECT SURVEY AREA AND HAS NOT BEEN VERIFIED.
- CONTOURS ARE DERIVED FROM AERIAL MAPPING AND ARE NOT INTENDED FOR DESIGN PURPOSES. REFER TO MEASURED SPOT ELEVATIONS.

LEGEND

FOUND LEAD & DISK RICE 1932 PER MAP 4392

AT 6.00' OFFSET

FOUND LEAD & DISK AS INDICATED AT 6.00' OFFSET

FOUND 2" IRON PIPE RICE 1932 PER MAP 4392

RECORD BOUNDARY DATA PER MAP 4392

PROPERTY LINE

RIGHT-OF-WAY LINE

CENTER LINE

ADJOINING PROPERTY LINE

THE LINE / REFERENCE LINE

FENCE LINE

WALL

INDEX CONTOUR LINE

INTERMEDIATE CONTOUR LINE

CONCRETE SURFACE

ASPHALT SURFACE

SEWER CLEANSOUT

GROUND SURFACE

TOP OF 6" CURB

TOP ROOF

GAS METER

COMMUNICATION RISER

FINISH SURFACE

FINISH FLOOR

SEWER MANHOLE

FIRE HYDRANT

WATER VALVE

CONC

ASPH

CO

GS

TC

RF

GM

CR

FS

FF

SMH

FH

WV



PASCO LARET SUITER & ASSOCIATES

CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
535 North Highway 101, Ste A, Solana Beach, CA 92075
ph 858.259.8212 | fx 858.259.4812 | pascoengineering.com

PLANS PREPARED UNDER THE SUPERVISION OF

DATE: 04-18-15
R.C.E. NO. 71651
EXP. 12-31-15

PREPARED BY:

Name: PASCO LARET SUITER & ASSOC.

No. 71651, STATE A

SOLANA BEACH, CA 92075

Phone: (858) 259-8212

Project Address:

8295 PRESTWICK DRIVE

LA JOLLA, CA 92037

Project Name:

FAN RESIDENCE

Sheet Title:

TOPOGRAPHY SURVEY

Revision 14:

Revision 13:

Revision 12:

Revision 11:

Revision 10:

Revision 9:

Revision 8:

Revision 7:

Revision 6:

Revision 5:

Revision 4:

Revision 3:

Revision 2:

Revision 1:

Original Date:

MAY 18, 2015

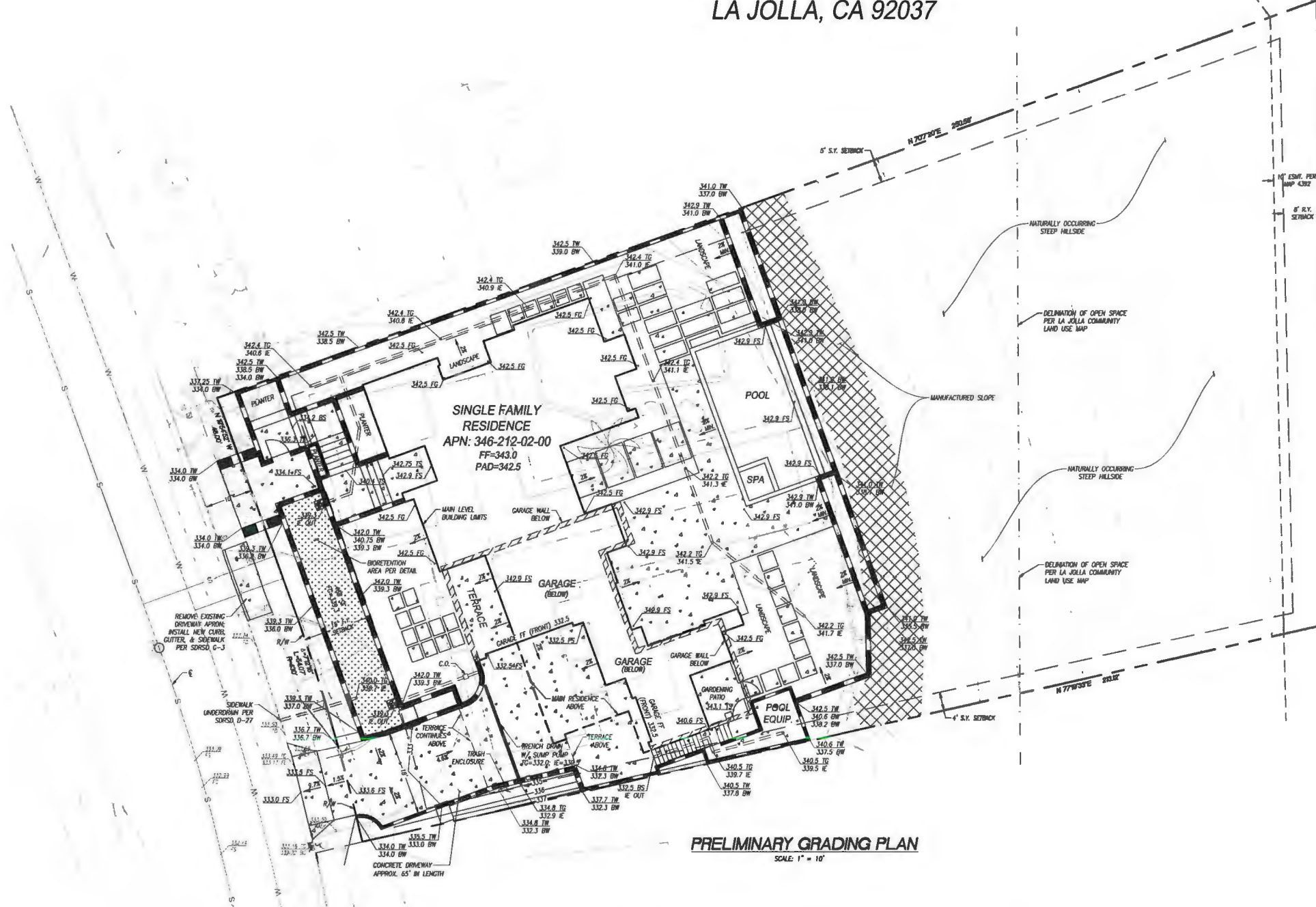
Sheet:

3 of 22

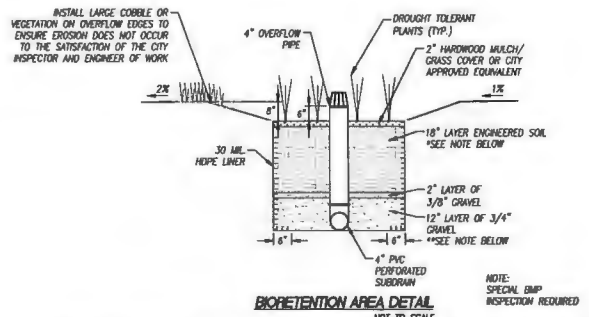
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C.1

PRELIMINARY GRADING PLAN
8295 PRESTWICK DRIVE
LA JOLLA, CA 92037

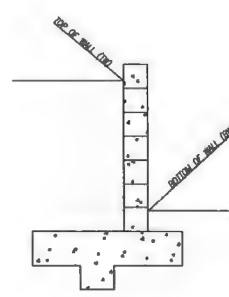


PRELIMINARY GRADING PLAN
SCALE: 1" = 10'



* BIORETENTION "ENGINEERED SOIL" LAYER SHALL BE MINIMUM 24" DEEP "SANDY LOAM" SOIL MIX WITH NO MORE THAN 5% CLAY CONTENT. THE MIX SHALL CONTAIN 50-60% SAND, 20-30% COMPOST OR HARDWOOD MULCH, AND 20-30% TOPSOIL, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS, AND ALSO FREE OF NOxious WEEDS.

** 3/4" CRUSHED ROCK LAYER SHALL BE A MINIMUM OF 12" BUT MAY BE DEEPENED TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE DETAIL. THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CALCULATION. TYPICALLY, THE SURFACE AREA OF THE BIORETENTION BASIN IS 1/8 OF THE IMPERVIOUS AREA DRAINING TO IT. ALL BIORETENTION PLANTERS TO BE DEEPENED AT LEAST 6" BELOW ADJACENT FINISHED SURFACE.



TYPICAL WALL ELEVATION
LOCATIONS SHOWN ON PLAN
NOT TO SCALE

SITE INFORMATION

OWNER: SUBAN AND MARIA FAN
ADDRESS: 8295 PRESTWICK DRIVE
APN: 346-212-02-00
AREA: 26,389 SF (0.61 AC)

GRADING TABULATIONS

TOTAL AREA TO BE GRADED: 12,442 SF
AMOUNT OF CUT: 810 CUBIC YARDS
MAXIMUM DEPTH OF CUT OUTSIDE OF THE BUILDING: 5.5 FEET
AMOUNT OF FILL: 1140 CUBIC YARDS
MAXIMUM DEPTH OF FILL OUTSIDE OF THE BUILDING: 4.5 FEET
AMOUNT OF IMPORT SOIL: 830 CUBIC YARDS

EARTHWORK QUANTITIES INCLUDE EXCAVATION FOR BUILDING AND SITE GRADING AS SHOWN ON THIS PLAN. QUANTITIES DO NOT INCLUDE RESHEDGING.

LEGAL DESCRIPTION

LOT 145 OF MARILYN VILLAGE UNIT NO. 3, ACCORDING TO MAP THEREOF NO. 3554 FILED IN THE OFFICE OF THE COUNTY RECORDER NOVEMBER 26, 1995.

TOPOGRAPHY

PASCO LARET SUITER & ASSOCIATES
535 N. COAST HWY 101, SUITE A
SOLANA BEACH, CA 92075
959-259-8212
DATE: JANUARY 22, 2013

BENCHMARK

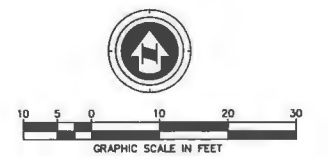
THE PROJECT BENCHMARK IS THE EAST BRASS PLUG AT THE INTERSECTION OF MARILYN VILLAGE UNIT NO. 3 AND MARILYN STREET, PER THE CITY OF SAN DIEGO VERTICAL CONTROL BOOK, ELEVATION = 313.991.

LEGEND

- PROPOSED SITE RETAINING WALL
- PROPOSED SITE SCREEN WALL
- BUILDING RETAINING WALL
- EXISTING RETAINING WALL
- RECESSED LANDSCAPE PLANTER FOR STORMWATER TREATMENT
- MANUFACTURED SLOPE
- AREA DRAIN INLET AND GRATE
- CLEANOUT
- PVC DRAIN PIPE (SIZE AND SLOPE PER PLAN)
- LIMIT OF WORK

ABBREVIATIONS

- BW BOTTOM OF WALL ELEVATION
- BS BOTTOM OF STAIR ELEVATION
- EX EXISTING
- FF FINISH FLOOR ELEVATION
- FG FINISH GRADE ELEVATION
- FS FINISH SURFACE ELEVATION
- IE INVERT ELEVATION
- TG TOP OF GRADE ELEVATION
- TS TOP OF STAIR ELEVATION
- TW TOP OF WALL ELEVATION
- WL WATER LEVEL ELEVATION



PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
335 North Highway 101, Ste A, Solana Beach, CA 92075
ph 959.259.8212 | fx 959.259.4812 | pascoengineering.com

PLANS PREPARED UNDER THE SUPERVISION OF
DATE: 04-16-15
R.C.E. NO. 71851
EXP. 12-31-15
BRYAN H. ARDUINO

PREPARED BY:
Name: PASCO LARET SUITER & ASSOC.
SPE N. HWY 101, SUITE A
SOLANA BEACH, CA 92075
Phone: (959) 259-8212

Project Address:
8295 PRESTWICK DRIVE
LA JOLLA, CA 92037

Project Name:
FAN RESIDENCE

Sheet Title:
PRELIMINARY GRADING PLAN

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	AUGUST 8, 2015
Original Date:	MAY 18, 2015
Sheet:	4 of 22
DEP#:	

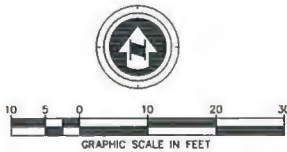
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PRELIMINARY GRADING PLAN
8295 PRESTWICK DRIVE
LA JOLLA, CA 92037



SLOPE ANALYSIS LEGEND				
MIN. SLOPE	MAX. SLOPE	AREA(SF)	% OF LOT	COLOR
0.0%	24.99%	12318.2	53.3	Yellow
25%	100%	10775.5	46.7	Orange

SLOPE ANALYSIS
SCALE: 1" = 10'



PASCO LARET SUITER & ASSOCIATES
CIVIL ENGINEERING + LAND PLANNING + LAND SURVEYING
535 North Highway 101, Ste A, Solana Beach, CA 92075
ph 858.259.8212 | fx 858.259.4812 | pascoengineering.com

PLANS PREPARED UNDER THE SUPERVISION OF
DATE: 04-16-15
R.C.E. NO. 71651
EXP. 12-31-15
BRIAN M. ARDOLINO

PREPARED BY:	Revision 14:
Name: PASCO LARET SUITER & ASSOC.	Revision 13:
545 N. HWY. 101, SUITE A	Revision 12:
SOLANA BEACH, CA 92075	Revision 11:
Phone: (858) 259-8212	Revision 10:
	Revision 9:
	Revision 8:
	Revision 7:
	Revision 6:
	Revision 5:
	Revision 4:
	Revision 3:
	Revision 2:
	Revision 1:
Project Address:	Original Date:
8295 PRESTWICK DRIVE	MAY 18, 2015
LA JOLLA, CA 92037	
Project Name:	Sheet:
FAN RESIDENCE	5 of 22
	DEP#:
Sheet Title:	
SLOPE ANALYSIS	



13. Whether data controllers collect information from sensors on continuous or episodic basis that is not for local control but for a separate real-time or near-real-time sensor which connects to communication - (i.e. the controller and the sensor-based calculation are not required to have close proximity)

14. NO BUG SPOOLS WITHIN THE VICINITY OF THIS PROJECT

15. THE PROPERTY'S BIOLOGICAL RESOURCES ON THIS PROPERTY, PER BIOLOGICAL RESOURCES LETTER REPORT

16. THE PROPERTY'S HISTORICAL SCORE DURING EVIDENCE OF SIGNIFICANT OUTBURST BY INVASIVE SPECIES DURING THE PAST 10 YEARS, PER BIOLOGICAL ECOLOGISTS, ITS REPORT OF PRELIMINARY OR OTHER SCIENTIFIC INVESTIGATION

17. GRADING OR PAVED ROAD DISTURBED SCORE AND DISTURBED CULTURAL SCORE, THIS REMAINS AS THE DISTURBED SCORE

18. EVIDENCE OF SIGNIFICANT OUTBURST ON THE UPPER PORTION OF THE SCORE CONSISTING OF 2 TO 3 FEET OF PULSED AND SEVERAL WOODEN RETAINING WALLS DUE TO APPROPRIATE

19. 130 FEET

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BIDS

2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY AND SHALL BE MAINTAINED IN A CONDITION TO BE REUSED.

3. A COMPLETE TRAFFIC CONTROL SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.

5. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

REFER TO L4-DSCAPE PLAN FOR TREES AND PLANTING.

WATER POLLUTION CONTROL BEST MANAGEMENT PRACTICES

MATERIALS USED TO INSTALL STAIRWAY BMPs NECESSARY TO COMPLETELY PROTECT EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES MUST BE STORED ON SITE.

PERFORMANCE STANDARDS

SITE MANAGEMENT

WATER BODIES ARE PROPERLY IMPLEMENTED AND FUNCTIONING EFFECTIVELY, AND TO IDENTIFY MAINTENANCE (E.G. SEDIMENT REMOVAL) AND REPAIR NEEDS.

THE WEATHER SHALL BE MONITORED ON A 5 DAY FORECAST PLAN AND A FULL BWP PROTECTION PLAN SHALL BE SUBMITTED WHEN THERE IS A LOW OR GREATER CHANCE OF RAIN.

PREPARED BY:		DATE:	
NAME	_____	DATE	_____
CLASS	_____	DATE	_____
SECTION	_____	DATE	_____

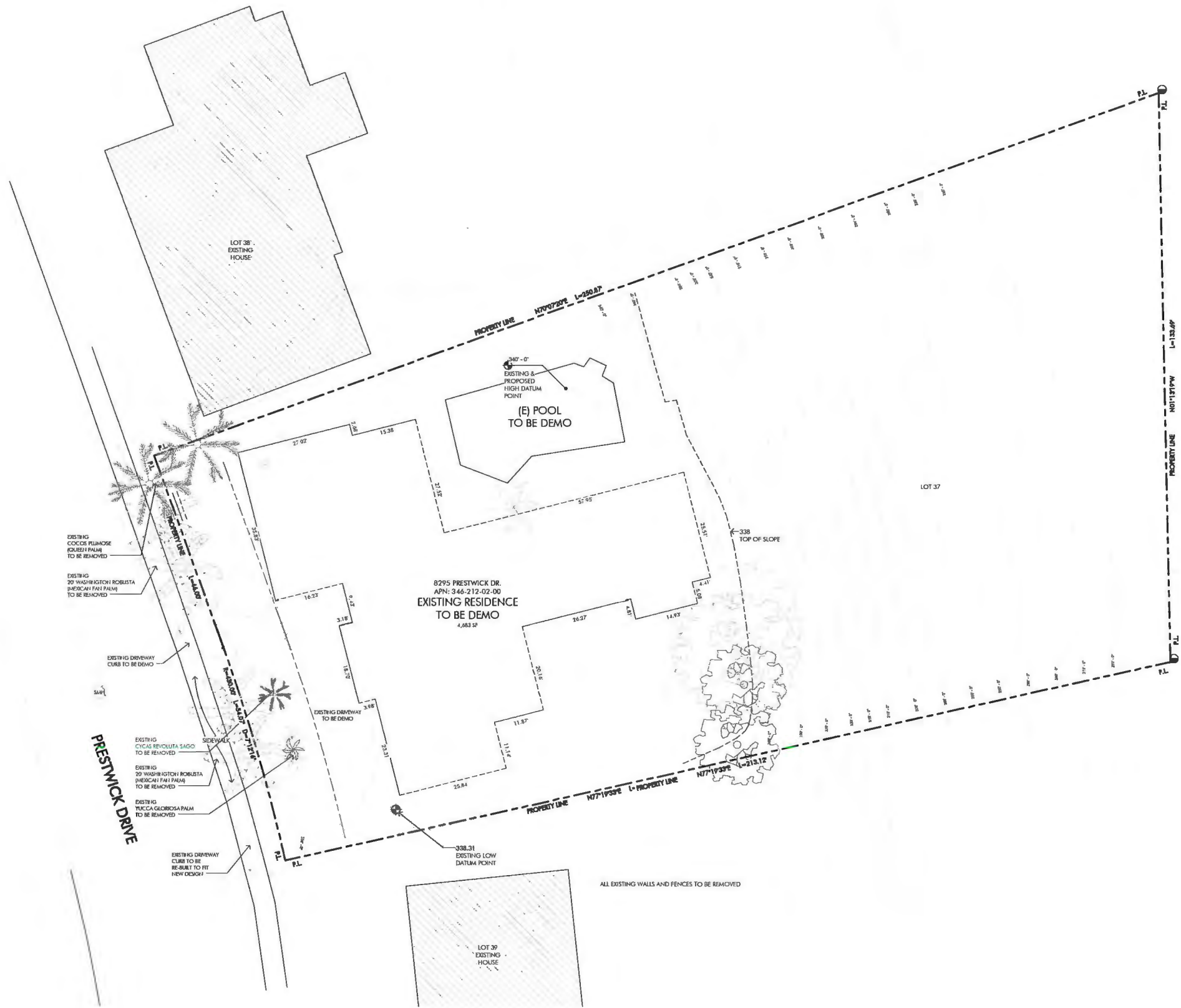
8790 Prosser Ln
 Los Angeles, CA 90037

Phone: 01-_____
 Phone: 06-_____
 Fax: 05-_____
 E-mail: 01-_____

SHEET NO. _____ SITE PLAN _____

DATE _____ 6/20 _____

DEP # _____



DEMO PLAN 1" = 10'-0"

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
Home:	Contract: Cort del Castillo	Revision 13:	
	7626 Henshel Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
Phone:	Cell: (858) 459-9291	Revision 10:	
	Direct: (858) 869-2851	Revision 09:	
Street Address:	8295 Prestwick Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
		Revision 06:	
		Revision 05:	August 2, 2016
Project Name:	Fan Residence	Revision 04:	July 13, 2016
		Revision 03:	May 16, 2016
		Revision 02:	February 23, 2016
		Revision 01:	August 08, 2015
Client Title:	DEMO PLAN	Original Date:	05/18/2015
		Sheet:	7 of 20
		DEF #:	

ISLAND ARCHITECTS
DREW PATTERSON, R.A. | TONY CERRA, R.A.
10000 JEFFERSON AVENUE
SUITE 200
SAN FRANCISCO, CA 94134



DATE:	05/18/2015
BY:	TONY CERRA
CHECKED BY:	DREW PATTERSON
DATE:	05/18/2015
BY:	DREW PATTERSON
CHECKED BY:	TONY CERRA
DATE:	05/18/2015
BY:	TONY CERRA
CHECKED BY:	DREW PATTERSON

REVISION

1. PRELIMINARY

2. PRELIMINARY

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4. PRELIMINARY

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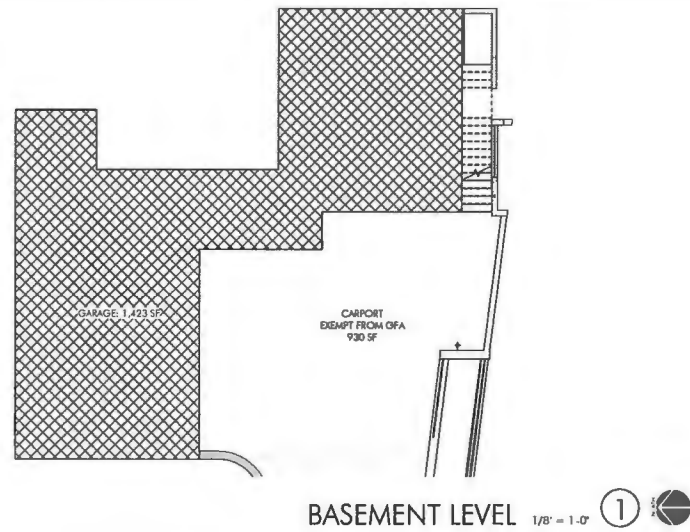
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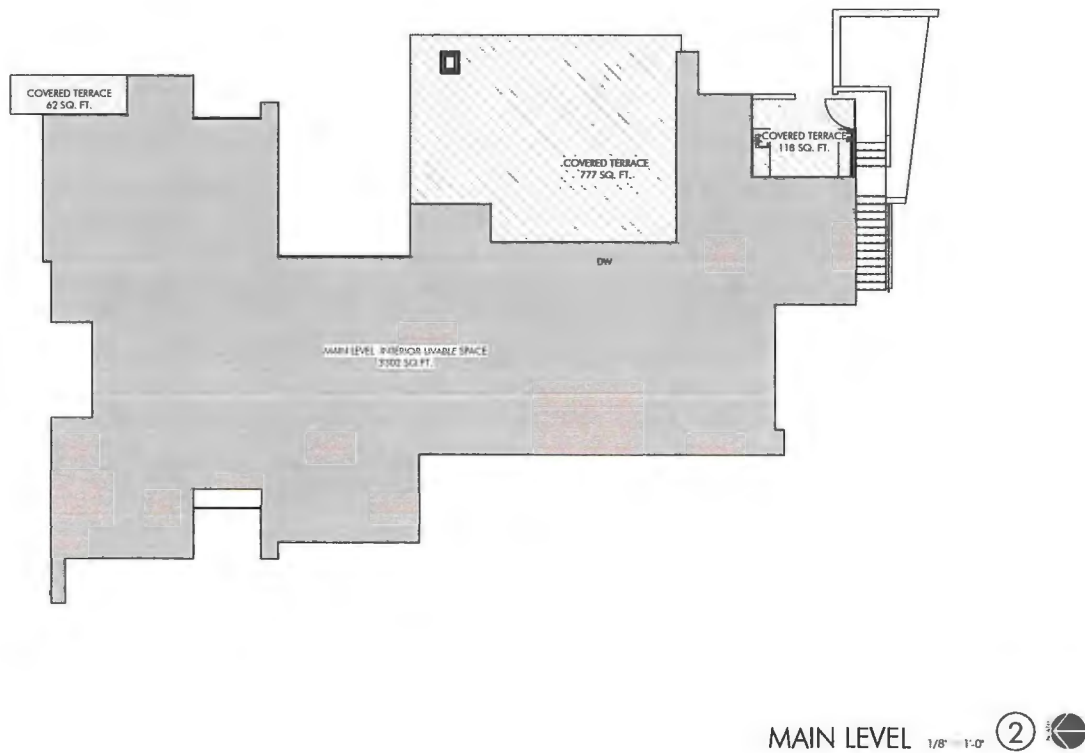
FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA CA. 92037

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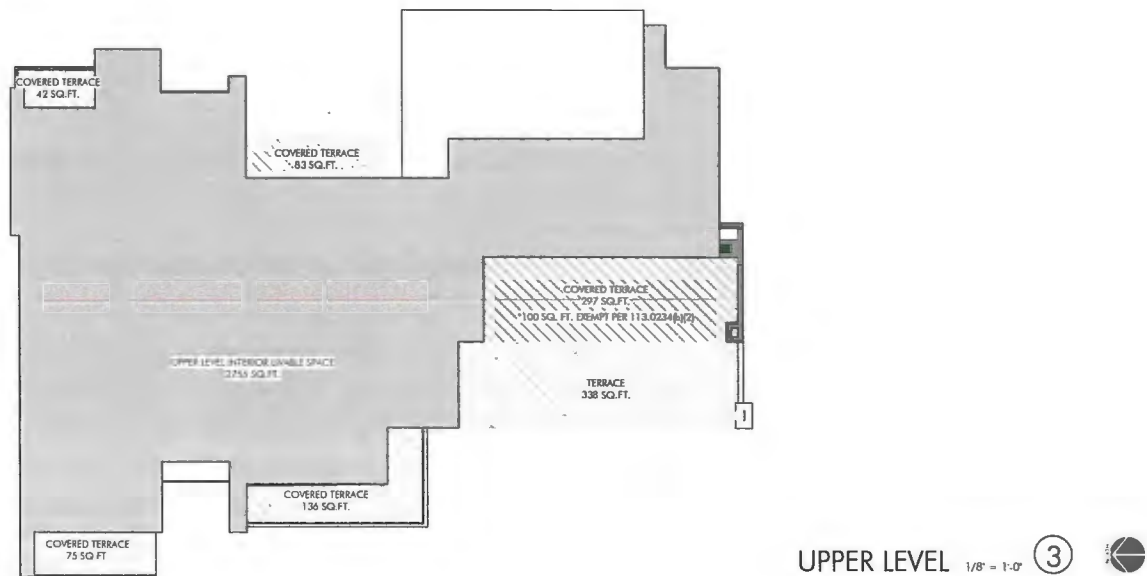
DEMO PLAN



PROPOSED BASEMENT
TOTAL: 1,423 SQ. FT.
Garage 1,423 SF (Non-Habitable/Exempt from GFA)
Carport 930 SF (Exempt from GFA)



PROPOSED MAIN LEVEL COVERED AREA
TOTAL: 3,302 SQ. FT.
COVERED TERRACE
EXEMPT FROM GFA
957 SQ. FT.



PROPOSED UPPER LEVEL COVERED AREA
TOTAL: 2,756 SQ. FT.
PROPOSED COVERED TERRACE
TOTAL: 971 SQ. FT.
COUNTABLE TOWARDS GFA
197 SQ. FT. *
EXEMPT FROM GFA
774 SQ. FT.

HABITABLE		
MAIN LEVEL	INCLUDED IN GFA	3,302 S.F.
UPPER LEVEL	INCLUDED IN GFA	2,756 S.F.
TOTAL:		6,058 S.F.
NON-HABITABLE		
LOWER LEVEL GARAGE	EXCLUDED IN GFA	1,423 S.F.
TOTAL:		1,423 S.F.
BALCONIES AND TERRACES		
LOWER LEVEL CARPORT	EXCLUDED FROM GFA	930 S.F.
MAIN LEVEL TERRACES	EXCLUDED FROM GFA	957 S.F.
UPPER LEVEL TERRACES	INCLUDED IN GFA	197 S.F.
UPPER LEVEL TERRACES	EXCLUDED IN GFA	774 S.F.
TOTAL:		2,858 S.F.

*F.A.R. NOTE:
100 SF OF TERRACES AND BALCONIES NOT INCLUDED IN F.A.R. PER
S.D.A.C. SEC. 113.0234(h)(2), WHERE APPLICABLE.

ISLAND ARCHITECTS



Copyright Island Architects	9011
CDR #	2014-4000
OWNER	IF
PROJECT NAME	LOC
DATE	DATE
10-10-2015	10/14/15
10-10-2015	10/14/15
10-10-2015	10/14/15
10-10-2015	10/14/15
10-10-2015	10/14/15
10-10-2015	10/14/15

REVISION

DESCRIPTION

FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA, CA 92037

A1.1b

AREA CALCULATION PLANS

08/02/2016

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
FOR:	Contract: Cost del Caudillo	Revision 13:	
	7826 Hensel Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
Phone:	Cell: (619) 459-9291	Revision 10:	
	Direct: (619) 869-2851	Revision 09:	
Street Address:	8295 Prestwick Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
Project Name:	Fan Residence	Revision 06:	
		Revision 05:	August 2, 2014
		Revision 04:	July 13, 2014
		Revision 03:	May 14, 2014
		Revision 02:	February 23, 2014
		Revision 01:	August 08, 2013
Sheet Title:	AREA CALCULATION PLANS	Original Date:	05/18/2015
		Sheet:	8 of 20
		DEP #:	

ISLAND ARCHITECTS
DREW PATTERSON, R.A. | TONY CRASSETT, R.A.
10101 15th St, Suite 200
San Diego, CA 92161
Tel: 619.594.9331



Copyright: Island Architects	2015
Drawn by: DP	2014-08-05
Rev. A: MSL: TCC	
DATE: 08/15/15	
08-12-2015: DP & TCC	
08-02-2015: TCC Revisions	
07-13-2015: TCC Revisions	
06-18-2015: TCC Revisions	
05-02-2015: TCC Revisions	

REVISIONS

1. 08/02/2016

2. 08/02/2016

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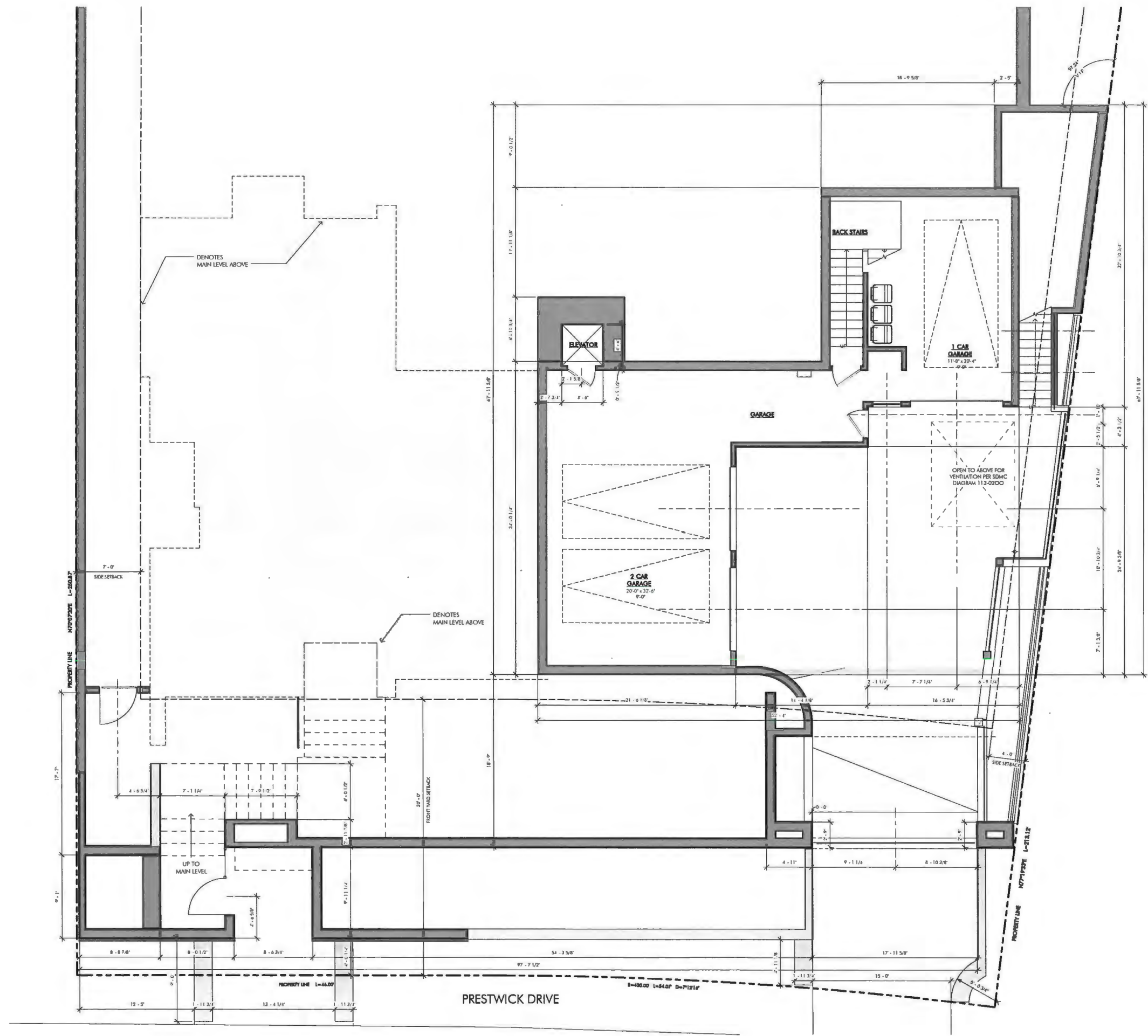
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FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA CA. 92037

A2.0a

BASEMENT
DIMENSION PLAN

8 02 2016



BASEMENT LEVEL - DIMENSIONED PLAN 1/4" = 1'-0"

CITY STANDARD TITLE BLOCK

PREPARED BY:		
Name:	Mixed Architecture	Revision 14:
	Concilio Casa del Cuchillo	Revision 13:
	7826 Humboldt Avenue	Revision 12:
	Los Jolito, CA 92037	Revision 11:
Phone:	OW: (858) 459-7291	Revision 10:
	DMac: (858) 849-7851	Revision 09:
Street Address:		Revision 08:
	8734 Peachtree Dr.	Revision 07:
	Los Jolito, CA 92037	Revision 06:
		Revision 05: August 7, 2016
Project Name:		Revision 04: July 13, 2016
	Pen Residences	Revision 03: May 18, 2016
		Revision 02: February 23, 2016
		Revision 01: August 08, 2015
Sheet Title:		Original Date: 08/18/2015
	BASEMENT DIMENSION PLAN	Sheet: 10 of 20
		DWG:



Weighted average	2013
CS #	2013-2014
BAWA ET	50
ACR	20%
ATE	80%
2015	SDP & CDP
2015	CDP for adjusting 1
2016	CDP for adjusting 2
2016	CDP for adjusting 3
2016	CDP for adjusting 4

REVISION	
DESCRIPTION	DATE

NEW CONSTRUCTION WALL
SITE WALL

PREPARED BY: _____

Name: Isabel Arbolita
Conchito Con del Castillo
7626 Huerfano Avenue
La Jolla, CA 92037

Phone: CR (858) 454-0901
Dial (858) 868-2851

School Address: 8296 Peachtree Dr.
La Jolla, CA 92037

Project Name: _____

Pen Residence

School Title: _____

FIRST FLOOR PLAN

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 09: _____

Revision 08: _____

Revision 07: _____

Revision 06: _____

Revision 05: August 7, 2016

Revision 04: July 13, 2016

Revision 03: May 19, 2016

Revision 02: February 23, 2016

Revision 01: August 08, 2015

Original Dates: 05/18/2015

Sheet: 11 of 20

DSP#:

FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA CA. 92037

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9.02.2016

MAIN LEVEL NOTED FLOOR PLAN 1/4" = 1'-0"

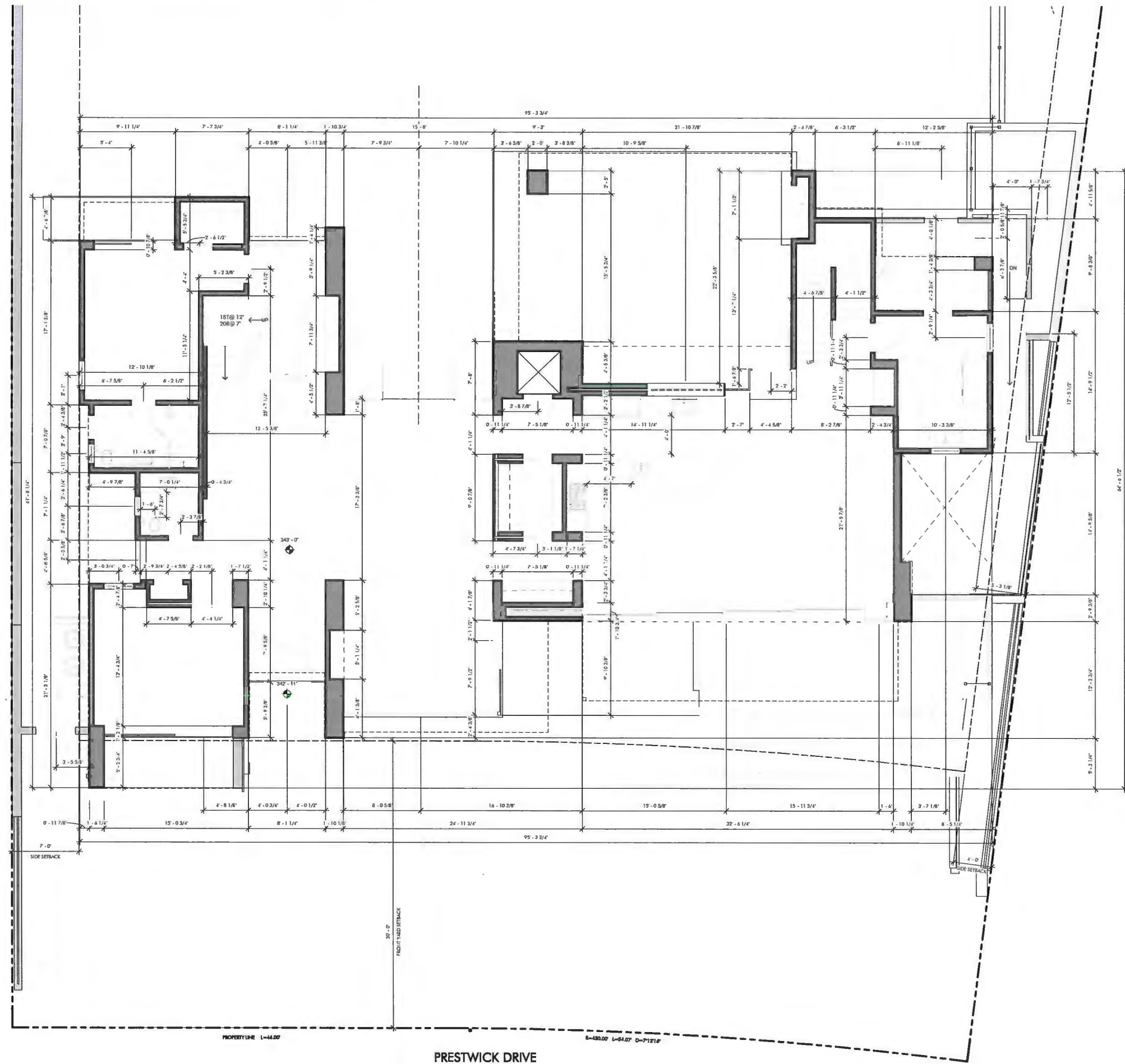


Project started April 2011		2011
CE #	2011-6-4000	
REMARKS	SF	
REG. MOD.	J207	
DATE	VALUE	
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02/20/15	CCP for a cement	
02/20/15	CCP for a cement	
02/20/15	CCP for a cement	
02/20/15	CCP for a cement	
02/20/15	CCP for a cement	
REVISIONS		
DESCRIPTION	DATE	

FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA CA. 92037

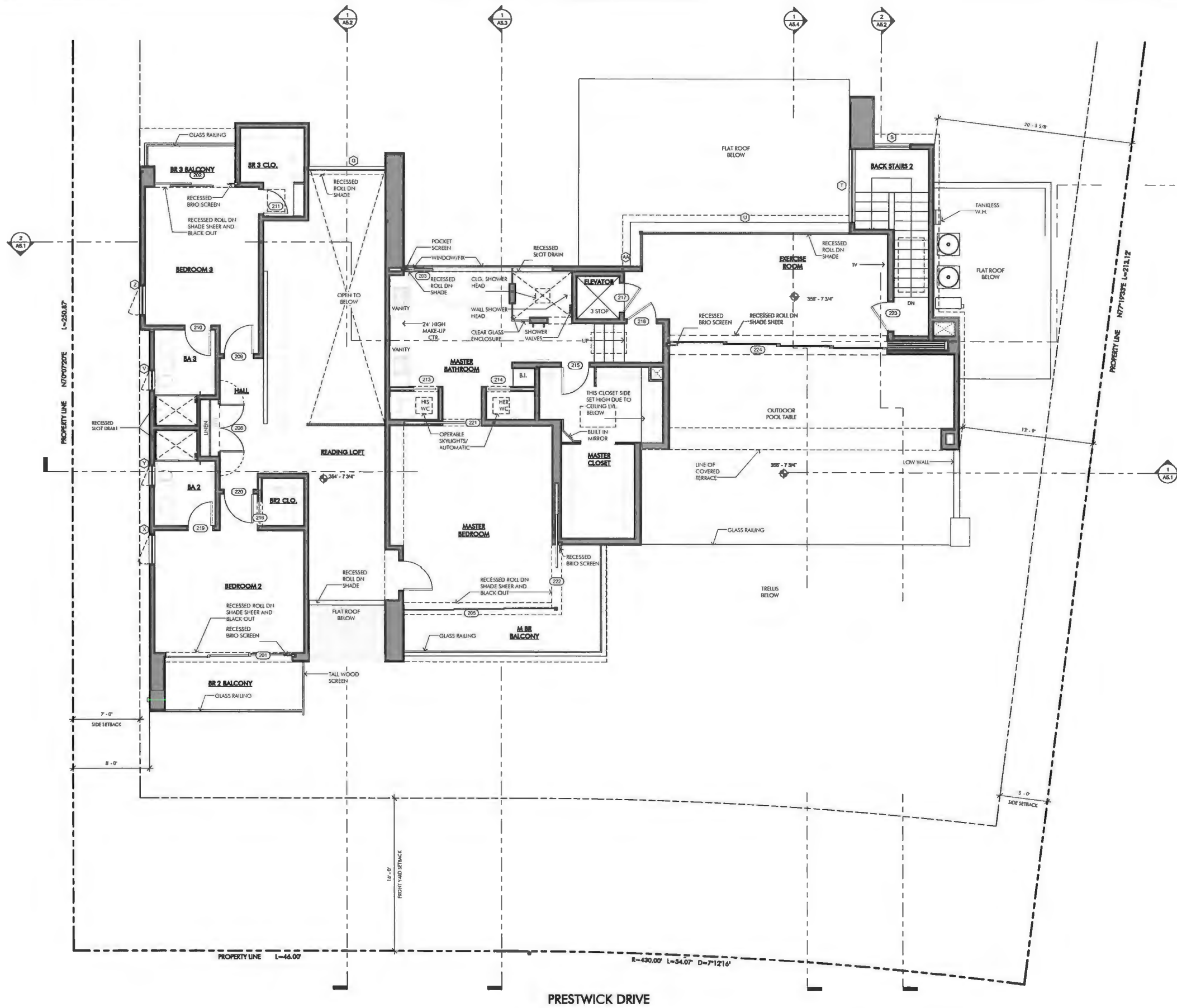
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8 02.2016



MAIN LEVEL FLOOR PLAN - DIMENSIONED PLAN 1/4" = 1'-0"

CITY STANDARD TITLE BLOCK	
PREPARED BY:	
Name:	Isabel Archibach
	Revision 14:
	Revision 13:
	Revision 12:
	Revision 11:
	Revision 10:
	Revision 09:
	Revision 08:
	Revision 07:
	Revision 06:
	Revision 05: August 3, 2016
	Revision 04: July 15, 2016
	Revision 03: May 18, 2016
	Revision 02: February 23, 2016
	Revision 01: October 08, 2015
	Original Date: 05/18/2015
Sheet Title:	FIRST FLOOR DIMENSION PLAN
Sheet:	12 of 20
DEP #:	



UPPER LEVEL NOTED FLOOR PLAN 1/4" = 1'-0"

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
Home:	Contract: Con del Castillo	Revision 13:	
	7626 Henshal Avenue	Revision 12:	
	Los Angeles, CA 90037	Revision 11:	
Phone:	Cell: (818) 459-9291	Revision 10:	
	Direct: (818) 869-2851	Revision 09:	
Street Address:	8276 Prestwick Dr.	Revision 08:	
	Los Angeles, CA 90037	Revision 07:	
Project Name:	Fan Residence	Revision 06:	
		Revision 05:	August 2, 2016
		Revision 04:	July 13, 2016
		Revision 03:	May 18, 2016
		Revision 02:	February 23, 2016
		Revision 01:	August 08, 2015
Sheet Title:	SECOND FLOOR PLAN	Original Date:	08/18/2015
		Sheet:	13 of 20
		DPF#:	

FAN RESIDENCE
8276 PRESTWICK DR. LA JOLLA, CA. 92037

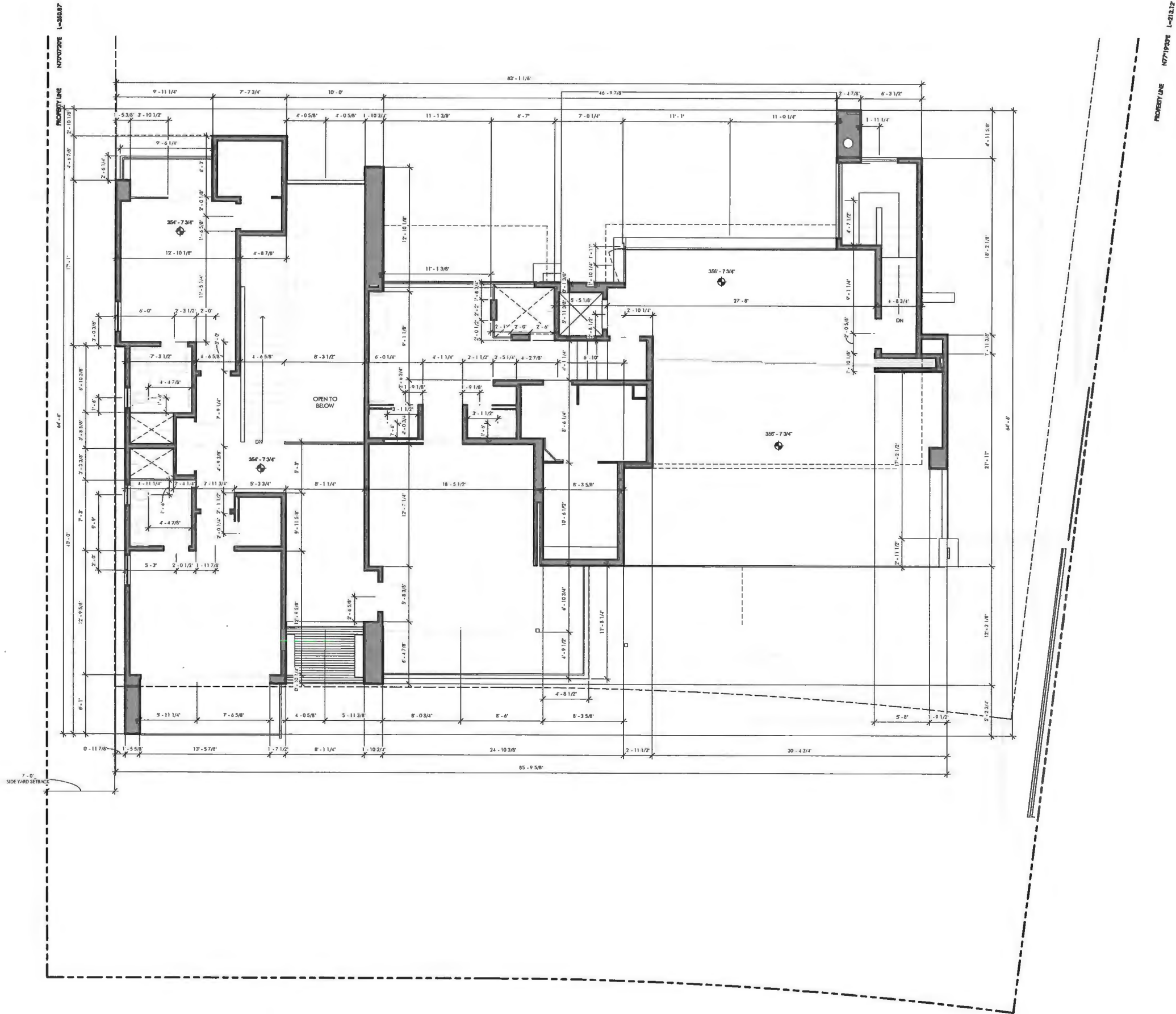
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SECOND FLOOR PLAN

08/02/2016

ISLAND ARCHITECTS
DREW PATTERSON, R.A. | TONY TRUJILLO, R.A.
707 HENSHAL AVENUE
LOS ANGELES, CA 90037
TEL: 818 459 9291 FAX: 818 459 9291



Project Name:	Fan Residence
Project Address:	8276 Prestwick Dr., Los Angeles, CA 90037
Project Phone:	(818) 459-9291
Project Fax:	(818) 869-2851
Project Email:	info@islandarchitects.com
Project Website:	www.islandarchitects.com
Project Date:	08/18/2015
Project Status:	Final
Project Notes:	



UPPER LEVEL FLOOR PLAN - DIMENSIONED PLAN 1/4" = 1'-0"

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
Name:	Conchita Cruz del Castillo	Revision 13:	
	7626 Henschel Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
Phone:	Cell: (858) 459-9291	Revision 10:	
	Office: (858) 849-2851	Revision 09:	
Sheet Address:	8296 Prestwick Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
Project Name:	Fan Residence	Revision 06:	August 2, 2016
		Revision 05:	July 12, 2016
		Revision 04:	May 18, 2016
		Revision 03:	February 23, 2016
		Revision 02:	August 08, 2015
Sheet Title:	SECOND FLOOR DIMENSION PLAN	Original Date:	05/18/2015
		Sheet:	14 of 20
		DWG #:	

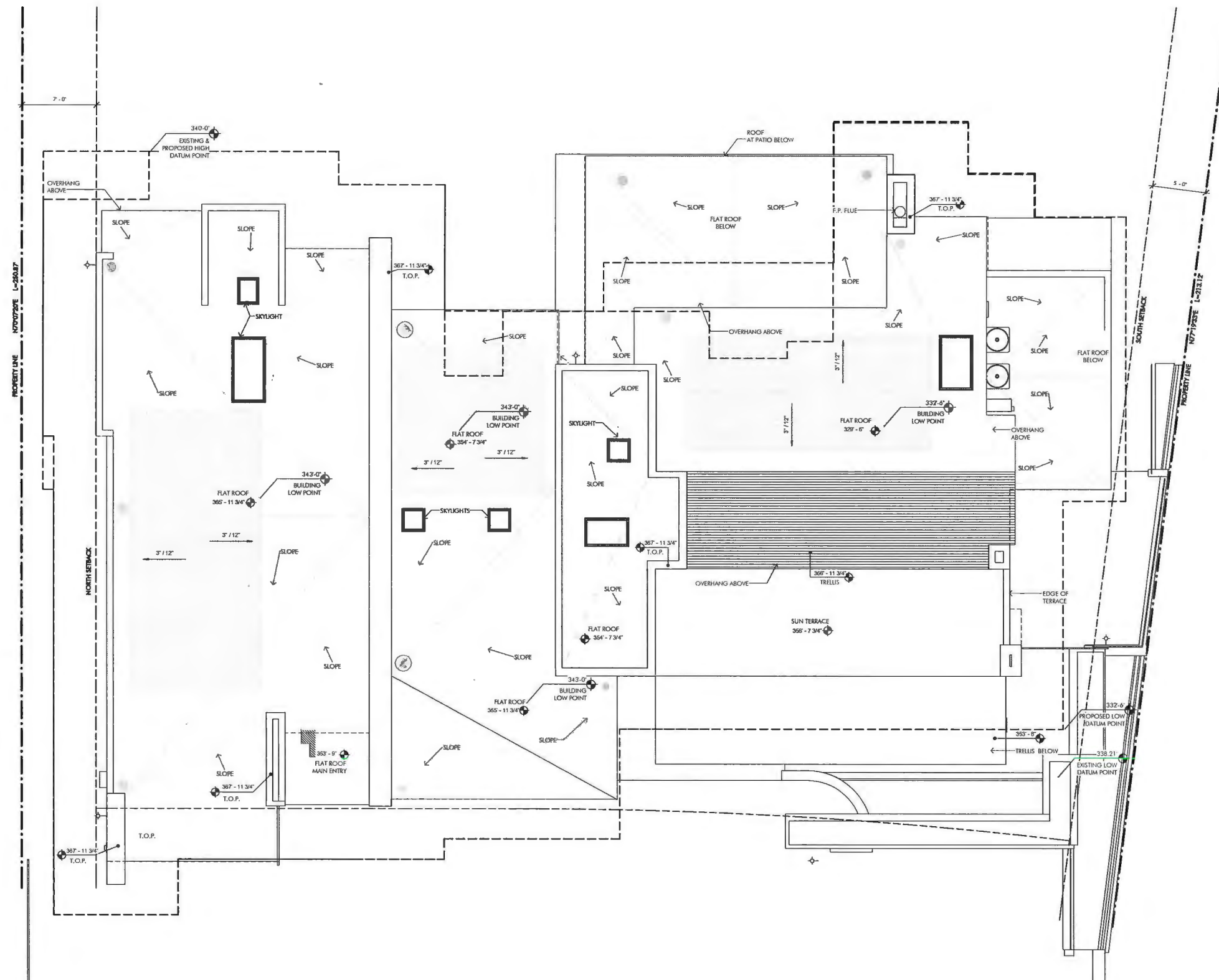
FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA CA 92037

A2.2a
SECOND FLOOR
DIMENSION PLAN

ISLAND ARCHITECTS
DAVE PATTERSON, R.A. TONY CERRATO, R.A.
7626 HENSCHEL AVENUE
LA JOLLA, CA 92037
TEL: 858 459 9291



Project Name:	FAN RESIDENCE
Client:	Conchita Cruz del Castillo
Architect:	Island Architects
Engineer:	Dave Patterson
Contract No.:	
Scale:	AS SHOWN
Date:	05/18/2015
Drawn By:	DP
Checked By:	TC
Project No.:	
Sheet No.:	14 of 20



ALL FLAT ROOF TO BE BUILT-UP ROOFING CLASS 'A' ASSEMBLY.
AGGREGATE ROOF SURFACE FINISH CONTRACTOR TO PROVIDE WATERPROOFING PER SPECIFICATIONS PROVIDED BY MANUFACTURER.

ALL SKYLIGHTS TO BE BRISTOL ESR-3177

FLAT ROOF TO SLOPE A MINIMUM OF 3/8" PER 12"

ROOF LEGEND

CDS = Concealed Downspout
DS = Downspout
T.O.P. = Top Of Wall
--- = Gutter

*All locations to be reviewed by Contractor.

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
FOR:	Contract: Casa del Castillo	Revision 13:	
	7026 Hesperia Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
Phone:	Cell: (858) 459-9291	Revision 10:	
	Direct: (858) 649-2851	Revision 09:	
Street Address:	8296 Prestwick Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
		Revision 06:	
Project Name:	Fan Residence	Revision 05:	August 2, 2015
		Revision 04:	July 13, 2015
		Revision 03:	May 18, 2015
		Revision 02:	February 23, 2015
		Revision 01:	August 08, 2015
Sheet Title:	ROOF PLAN	Original Date:	05/18/2015
		Sheet:	15 of 20
		DEP #:	

ROOF PLAN 1/4" = 1'-0"



ISLAND ARCHITECTS
DREW PATTERSON, R.A. TONY CASARFI, R.A.
1000 LA JOLLA VILLAGE DRIVE
LA JOLLA, CA 92037



Design: Drew Patterson	05/15
Drawn: Tony Casarfi	05/15
Checked: Drew Patterson	05/15
Scale: 1/4" = 1'-0"	
Project: 8296 Prestwick Dr.	
Sheet: 15 of 20	
Client: Fan Residence	
Location: La Jolla, CA	
Architect: Island Architects	
Address: 1000 La Jolla Village Drive	
City: La Jolla, CA 92037	
Phone: (858) 459-9291	
Fax: (858) 649-2851	
Email: info@islandarchitects.com	
Website: www.islandarchitects.com	

FAN RESIDENCE
8296 PRESTWICK DR. LA JOLLA, CA 92037

A2.3
ROOF PLAN



DATE:	05/18/2015
BY:	D.P.
CHECKED BY:	T.C.
PROJECT:	FAN RESIDENCE
DATE:	05/18/2015
BY:	D.P.
CHECKED BY:	T.C.
PROJECT:	FAN RESIDENCE
DATE:	05/18/2015
BY:	D.P.
CHECKED BY:	T.C.
PROJECT:	FAN RESIDENCE

REVISIONS

1. 05/18/2015

2. 05/18/2015

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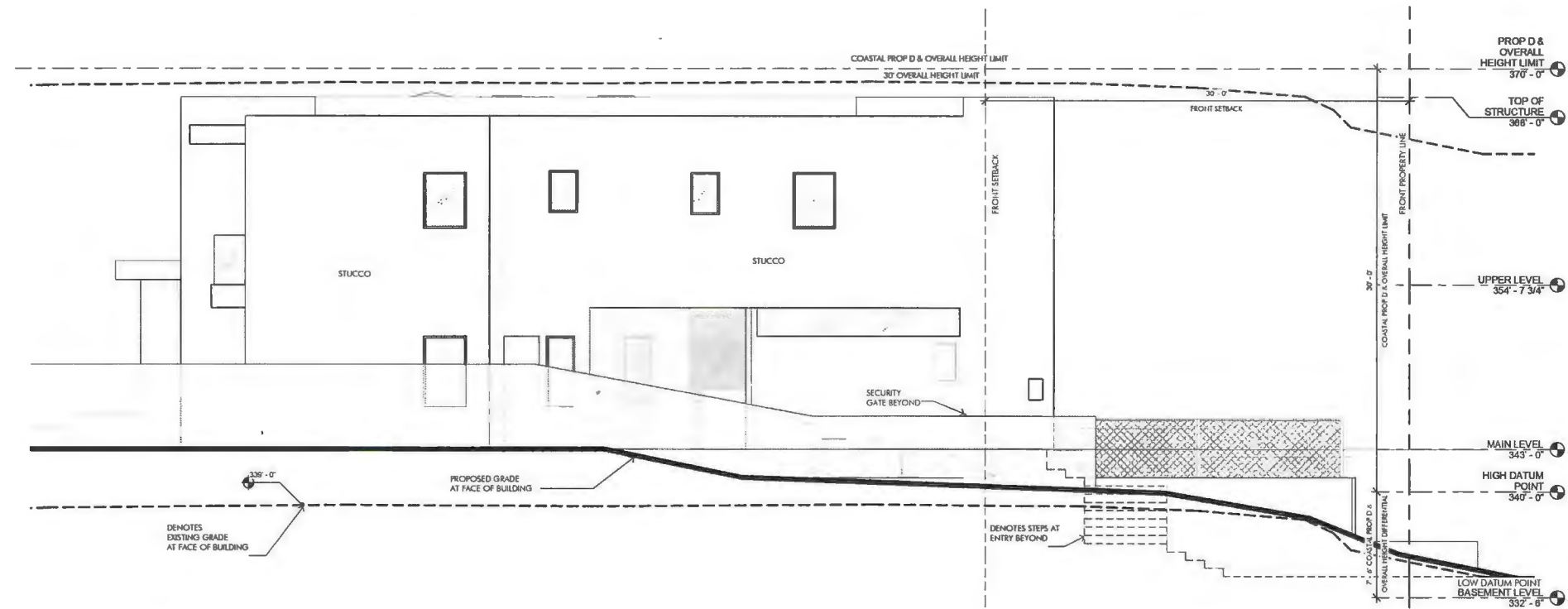
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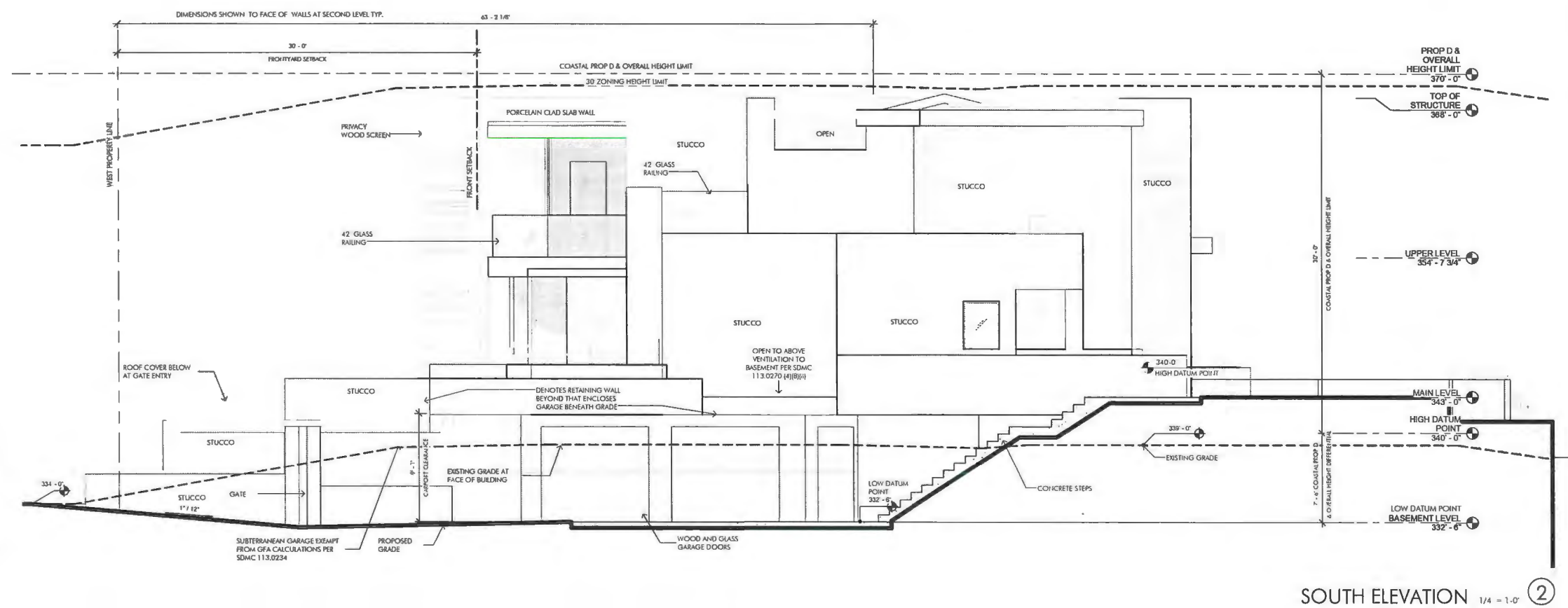
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228. 05/18/2015



NORTH ELEVATION 1/4" = 1'-0" ①



SOUTH ELEVATION 1/4" = 1'-0" ②

MATERIAL SCHEDULE

FRONT DOOR:	MAHOGANY-NATURAL
DRIVEWAY GATE:	ARENA-NEOLITH TILE SLAB (CREAM COLOR)
STUCCO FINISH:	SANTA BARBARA FINISH (SMOOTH)
STUCCO COLOR:	CHENILLE - OMEGA (OFF WHITE)
RAILING:	DARK BRONZE
WOOD SCREEN:	PHILIPPINE MAHOGANY
METAL WINDOWS:	DARK BRONZE
STONE ACCENT:	VILLEBOIS GRIS (BEIGE-GREY)
DRIVEWAY STONE:	ST-5 WALNUT STONE PAVING (BROWN-BEIGE)
PLANTERS:	BARRO-NEOLITH TILE SLAB (DARK BROWN)
FLAT ROOF:	WHITE PEBBLE - POUR ON BINDER
TRELLIS:	ALUMINUM STEEL - CASHMERE (CREAM COLOR)

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
FOR:	Contract: Con del Castillo	Revision 13:	
	7826 Henschel Avenue	Revision 12:	
	Los Angeles, CA 90037	Revision 11:	
Phone:	Cell: (818) 426-9293	Revision 10:	
	Direct: (818) 869-2851	Revision 09:	
Street Address:	8296 Prestwick Dr.	Revision 08:	
	Los Angeles, CA 90037	Revision 07:	
Project Name:	Fan Residence	Revision 06:	
		Revision 05:	August 2, 2014
		Revision 04:	July 13, 2014
		Revision 03:	May 18, 2014
		Revision 02:	February 23, 2014
		Revision 01:	August 08, 2013
Sheet Title:	EXTERIOR ELEVATIONS	Original Date:	05/18/2015
		Sheet:	17 of 20
		DEP:	

ISLAND ARCHITECTS
DREX PATTERSON, R.A. | TONY CRAMPTON, R.A.
LA 90037



DATE:	08/02/2016
DESIGNED BY:	D.P.
CHECKED BY:	T.C.
SCALE:	AS SHOWN
PROJECT:	FAN RESIDENCE
SHEET:	17 OF 20

REVISIONS

NO.	DESCRIPTION	DATE
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1. 08/02/2016

2. 08/02/2016

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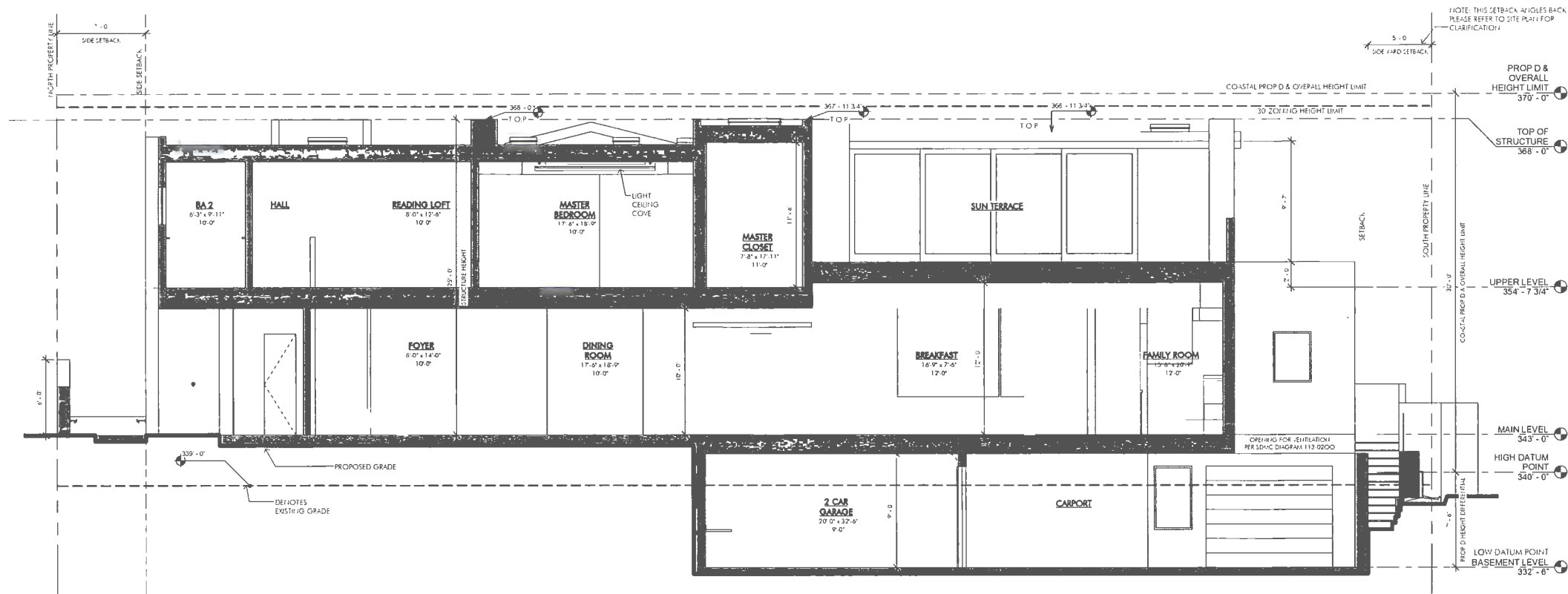
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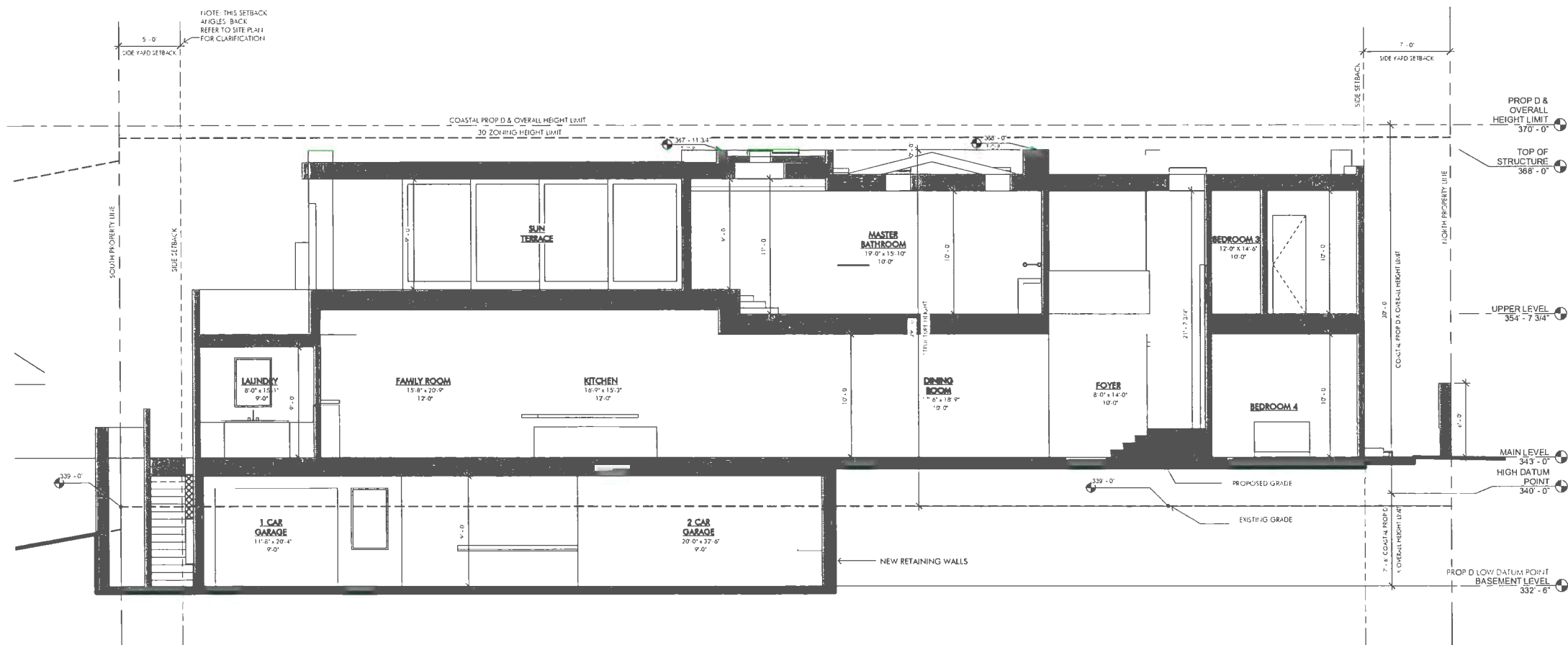
125. 08/02/2016



DATE	05/18/2015
BY	ISLAND ARCHITECTS
PROJECT	FAN RESIDENCE
LOCATION	8295 PRESTWICK DR. LA JOLLA, CA 92037
OWNER	MR. & MRS. J. & K. FAN
ARCHITECT	ISLAND ARCHITECTS
ENGINEER	ISLAND ARCHITECTS
LANDSCAPE ARCHITECT	ISLAND ARCHITECTS
INTERIOR DESIGNER	ISLAND ARCHITECTS
GENERAL CONTRACTOR	ISLAND ARCHITECTS
CONSTRUCTION MANAGER	ISLAND ARCHITECTS
DATE	05/18/2015
BY	ISLAND ARCHITECTS



SECTION A 1/4 - 1.0 ①



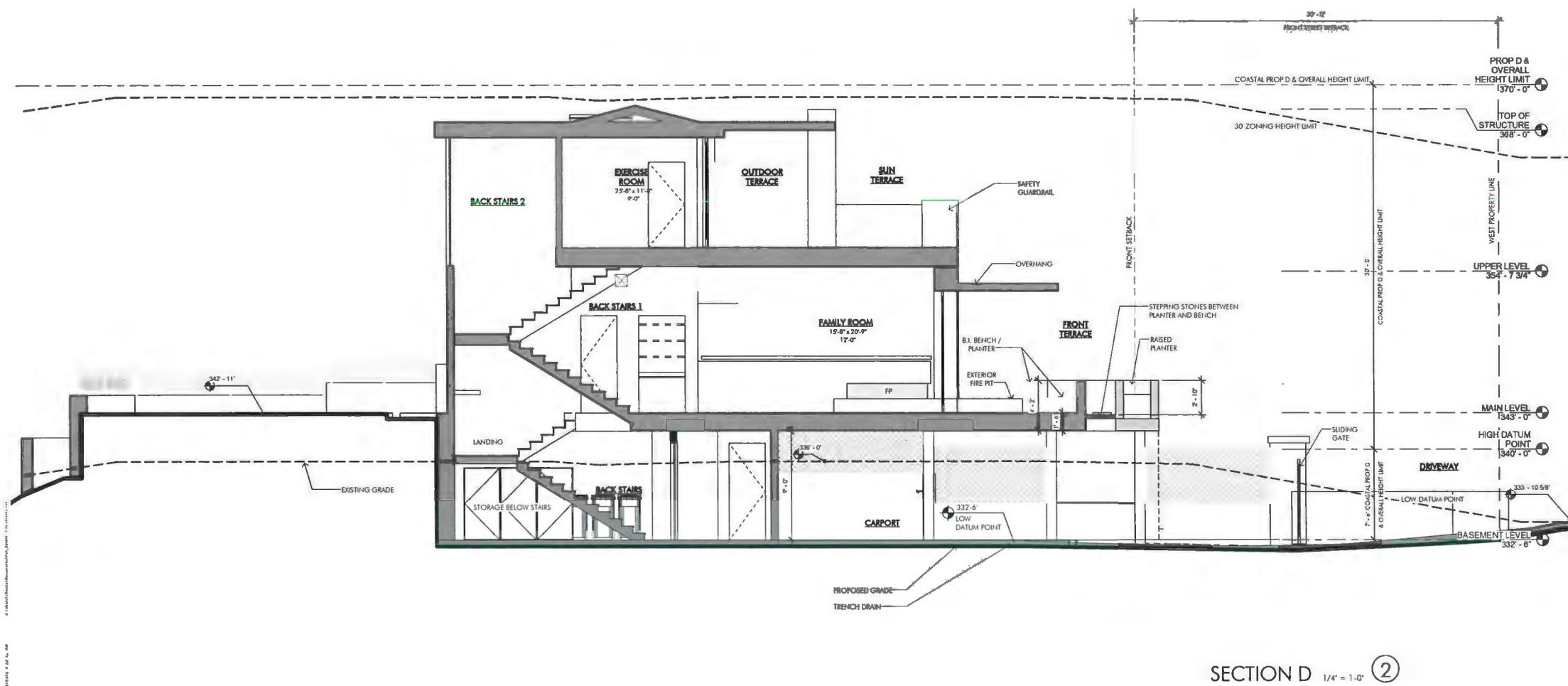
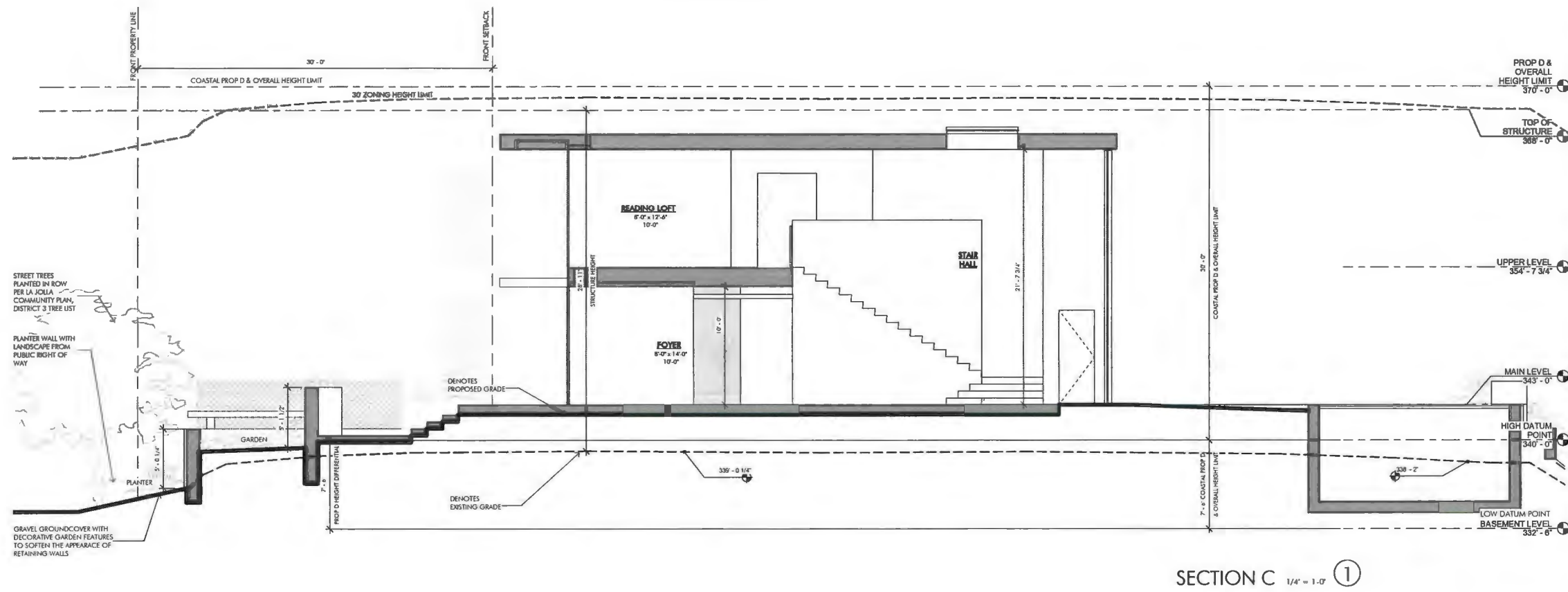
SECTION B 1.4 - 1.0 ②

MATERIAL SCHEDULE:

FRONT DOOR:	MAHOGANY-NATURAL
DRIVEWAY GATE:	ARETIAN-REDUPH TILE SLAB (CREMA COLOP)
STUCCO FINISH:	SALITA-BARBARA-FINISH (SMOOTH)
STUCCO COLOR:	CHEVILLE - OMEGA (OFF-WHITE)
RAILINGS:	DARK BRONZE
WOOD SCREENS:	PHILIPPE-MAHOGANY
METAL WINDOWS:	DARK BRONZE
STONE ACCENT:	VILLEBOIS-GRIS (BIGE GREY)
DRIVEWAY STONE:	ST-5 WALNUT STONE PAVING (BROWN BRIDGE)
PLANTERS:	BARKO - HEOLITH THE SLAB (DARK BROWN)
FLAT ROOF:	WHITE PEBBLE - POUR ON BINDER
TRELLIS:	ALUMINUM STEEL - CASHMERE (CREMA COLOR)

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revised 14:	
DATE:	05/18/2015	Revised 13:	
PROJECT:	8295 PRESTWICK DR. LA JOLLA, CA 92037	Revised 12:	
OWNER:	MR. & MRS. J. & K. FAN	Revised 11:	
ARCHITECT:	ISLAND ARCHITECTS	Revised 10:	
ENGINEER:	ISLAND ARCHITECTS	Revised 09:	
LANDSCAPE ARCHITECT:	ISLAND ARCHITECTS	Revised 08:	
INTERIOR DESIGNER:	ISLAND ARCHITECTS	Revised 07:	
GENERAL CONTRACTOR:	ISLAND ARCHITECTS	Revised 06:	
CONSTRUCTION MANAGER:	ISLAND ARCHITECTS	Revised 05:	
DATE:	05/18/2015	Revised 04:	
BY:	ISLAND ARCHITECTS	Revised 03:	
PROJECT:	8295 PRESTWICK DR. LA JOLLA, CA 92037	Revised 02:	
OWNER:	MR. & MRS. J. & K. FAN	Revised 01:	
ARCHITECT:	ISLAND ARCHITECTS	Original Date:	05/18/2015
ENGINEER:	ISLAND ARCHITECTS	Sheet:	18 of 20
LANDSCAPE ARCHITECT:	ISLAND ARCHITECTS	DEP#	



MATERIAL SCHEDULE

FRONT DOOR:	MAHOGANY-NATURAL
DRIVEWAY GATE:	ARENA-NEOLITH TILE SLAB (CREAM COLOR)
STUCCO FINISH:	SANTA BARBARA FINISH (SMOOTH)
STUCCO COLOR:	CHEVILE - OMEGA (OFF WHITE)
RAILING:	DARK BRONZE
WOOD SCREEN:	PHILIPPINE MAHOGANY
METAL WINDOWS:	DARK BRONZE
STONE ACCENT:	VILLEROIS GRIS (BEIGE-GREY)
DRIVEWAY STONE:	ST-3 WALNUT STONE PAVERS (BROWN-BEIGE)
PLANTERS:	BARRO - NEOLITH TILE SLAB (DARK BROWN)
PLANT ROOM:	WHITE PEBBLE - POLAR CON SANDER
TRELLIS:	ALUMINUM STEEL - CASHMERE (CREAM COLOR)

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revised 14:	
Drawn:	Island Architects	Revised 13:	
Checked:	Conrado Cortez	Revised 12:	
Project Name:	8295 Prestwick Avenue	Revised 11:	
Project No.:	LA 92037	Revised 10:	
Client:	CHL (858) 459-9291	Revised 09:	
Project Address:	Direct (858) 649-2851	Revised 08:	
Project Location:	8295 Prestwick Ave.	Revised 07:	
Project City:	La Jolla, CA 92037	Revised 06:	
Project State:	CA	Revised 05:	August 2, 2014
Project Zip:	92037	Revised 04:	July 13, 2014
Project Date:		Revised 03:	May 19, 2014
Project Title:	Plan Residence	Revised 02:	February 23, 2014
Project Sheet:		Revised 01:	August 08, 2013
Project Date:	05/18/2015	Revised 00:	
Project Sheet:	19	Revised 00:	
Project Title:	BUILDING SECTIONS	Revised 00:	
Project Sheet:		Revised 00:	

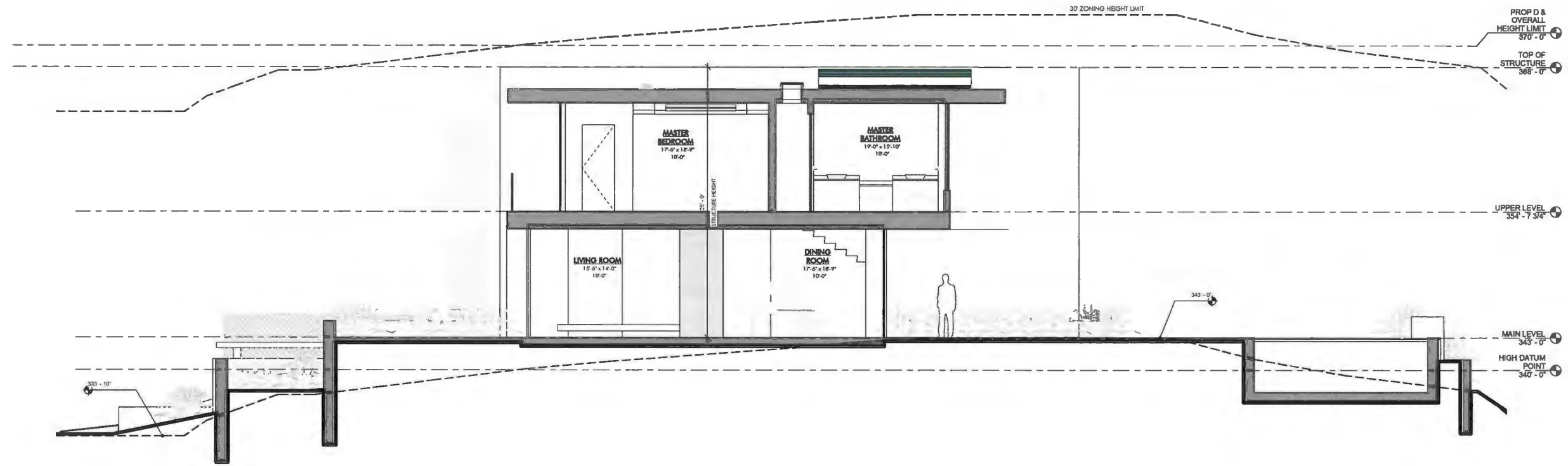
ISLAND ARCHITECTS
 JOSEY PATTERSON, P.A., TONY CRANE, P.A.
 2125 HERRILL AVENUE
 LA JOLLA, CA 92037
 TEL: 858 459 9291



Project No.:	LA 92037
Project Name:	8295 Prestwick Avenue
Project City:	La Jolla, CA
Project State:	CA
Project Zip:	92037
Project Date:	05/18/2015
Project Sheet:	19
Project Title:	BUILDING SECTIONS
Project Sheet:	

FAN RESIDENCE
 8295 PRESTWICK DR. LA JOLLA, CA 92037

A5.2
 BUILDING SECTIONS



SECTION E 1/4" = 1'-0" ①

CITY STANDARD TITLE BLOCK

PREPARED BY:		Revision 14:	
Island Architects		Revision 13:	
Contract: Corral del Castillo		Revision 12:	
7926 Hensell Avenue		Revision 11:	
La Jolla, CA 92037		Revision 10:	
Phone: (619) 459-4291		Revision 09:	
Direct: (619) 549-2851		Revision 08:	
Street Address:		Revision 07:	
8295 Prestwick Dr.		Revision 06:	
La Jolla, CA 92037		Revision 05:	August 7, 2019
		Revision 04:	July 13, 2016
Project Name:		Revision 03:	May 18, 2016
Fan Residence		Revision 02:	February 23, 2016
		Revision 01:	August 08, 2015
Sheet Title:		Original Date:	05/16/2015
BUILDING SECTIONS		Sheet:	20 of 20
		DEP#:	

ISLAND ARCHITECTS
DREW PATTERSON, R.A. | TONY CARAFI, R.A.
LA JOLLA, CA 92037



Project Name:	8295 Prestwick Dr.
Project Address:	La Jolla, CA 92037
Project Phone:	(619) 459-4291
Project Email:	info@islandarchitects.com
Project Date:	05/16/2015
Project Status:	Final
Project Notes:	

FAN RESIDENCE
8295 PRESTWICK DR. LA JOLLA CA 92037

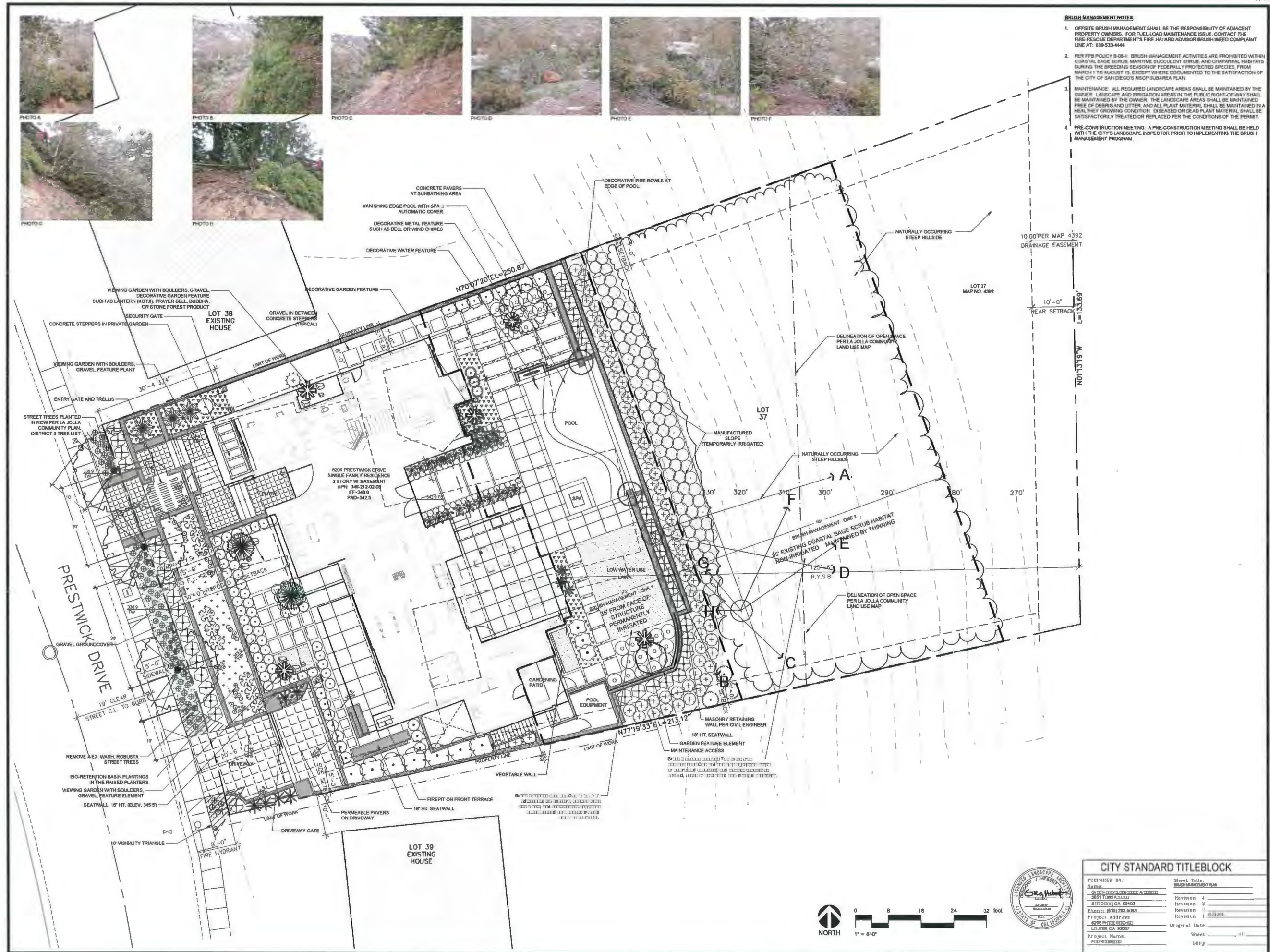
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BUILDING SECTIONS

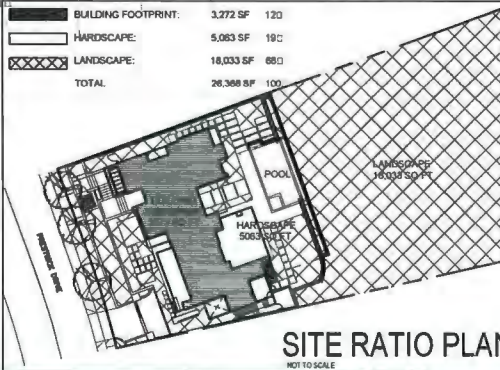
BRUSH MANAGEMENT PLAN

PROJECT #	15 30
DRWING	CHLA
SCALE	1" = 8'-0"

L 1.1

SHEET 2 OF 3





GENERAL NOTES:

1. PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS FOR GRADING OR BUILDING, THE PERMITTEE OR SUBSEQUENT OWNER SHALL SUBMIT A LANDSCAPE PLAN COMPLYING WITH APPROVED EXISTING + LANDSCAPE DEVELOPMENT PLAN. THE PLANNING PLAN SHALL SHOW THE REQUIRED SLOPE LANDSCAPED AREA IN A MANNER THAT IS CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN. THE LOCATION OF PLANTING SHALL BE IDENTIFIED BY THE PERMITTEE OR SUBSEQUENT OWNER WITHIN THE LANDSCAPE DEVELOPMENT PLAN. PLANTING FOR REGULATIONS SHALL BE IDENTIFIED BY THE PERMITTEE OR SUBSEQUENT OWNER WITHIN THE LANDSCAPE DEVELOPMENT PLAN. PLANTING FOR REGULATIONS SHALL BE IDENTIFIED BY THE PERMITTEE OR SUBSEQUENT OWNER WITHIN THE LANDSCAPE DEVELOPMENT PLAN. PLANTING FOR REGULATIONS SHALL BE IDENTIFIED BY THE PERMITTEE OR SUBSEQUENT OWNER WITHIN THE LANDSCAPE DEVELOPMENT PLAN.
2. LANDSCAPE DEVELOPMENT PLAN IS SUBMITTED FORTHWITH THE PERMITTING LANDSCAPE PLAN TO THE MANAGER AND REQUIREMENTS OF THE LAJOLLA STREET'S LANDSCAPE DEVELOPMENT PLAN SHALL BE MAINTAINED IN A DURABLE, BOUND AND LITTER FREE CONDITION AT ALL TIMES. REVERSE PLANTING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THE PERMIT.
3. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
4. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
5. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
6. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
7. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
8. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
9. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
10. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
11. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
12. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
13. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LANDSCAPE DEVELOPMENT PLAN, LANDSCAPE STANDARDS.
14. ALL OF THE LANDSCAPE TO BE PLANTED OR REPLANTED SHALL BE IDENTIFIED AS REQUIRED BY THE LAJOLLA STREET'S PLANNING PLAN IDENTIFY DEDUCTIVE ORIGINALLY

RIGHT-OF-WAY NOTES:

1. 1-2" BOX TREE REQUIRED PER 30' OF STREET FRONTAGE
100' 0" STREET FRONTAGE (48 00' 1/4 07')
100' 0" 330' + 3 STREET TREES REQUIRED

2. NON-Biodegradable ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLANTED WITHIN 5 FEET OF PUBLIC IMPROVEMENT INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WALKS. IF ANY PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREE DO NOT WRAP BARRIER AROUND THE ROOT BALL.

<u>MINIMUM TREE SEPARATION DISTANCE</u>	
<u>IMPROVEMENT</u>	<u>MINIMUM DISTANCE TO STREET TREE</u>
TRAFFIC SIGNALS (STOP SIGNS)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY ENTRIES	10 FEET
INTERSECTIONS	25 FEET
(INTERSECTING CURB LINES OF TWO STREETS)	



CITY STANDARD TITLEBLOCK

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Project Name: _____

PEPPERIDGE

Sheet Title: _____

LANDSCAPE PLAN

Revision 4 _____

Revision 3 _____

Revision 2 _____

Revision 1 02/23/04

Original Date: _____

Sheet: _____ of _____

DRP# _____

BRUSH MANAGEMENT PROGRAM

1. General Maintenance - Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
2. Brush Management Zone 1 - This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the first season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
3. Brush Management Zone 2 - Seasonal maintenance in this zone should include removal of dead woody plants, eradication of woody species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.
4. Long-term Maintenance Responsibility - All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of the OWNER [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.

San Diego Municipal Code Chapter 14: General Regulations (9-2014)

Table 142-04H
Brush Management Zone Width Requirements

Criteria	Zone Width
Zone One Width	35 ft
Zone Two Width	45 ft

- (g) Zone One Requirements
- (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
- (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, patios, play structures, and non-habitable gazebos that are located within brush management Zone One shall be of noncombustible, one hour fire-rated or heavy timber construction.
- (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistant.
- (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
- (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
- (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) Zone Two Requirements
- (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
- (2) No structures shall be constructed in Zone Two.
- (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
- (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
- (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
- (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
- (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
- (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.
- (D) Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
- (6) Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.
- (7) Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-04H cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.

SAN DIEGO MUNICIPAL CODE
LAND DEVELOPMENT CODE
LANDSCAPE STANDARDS

SECTION III: BRUSH MANAGEMENT

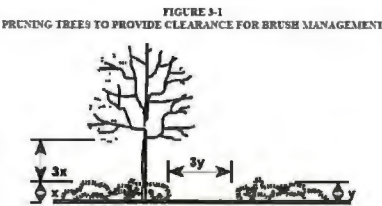
3-1 BRUSH MANAGEMENT - DESCRIPTION

Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.

3-2 BRUSH MANAGEMENT- REQUIREMENTS

3.2-1 Basic requirements - All Zones

- 3.2-1.01 For zone two, plants shall not be cut below six inches.
- 3.2-1.02 Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.
- 3.2-1.03 Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.



- 3.2-1.04 All plants or plant groupings except cacti, succulents, trees and tree-form shrubs shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).
- 3.2-1.05 Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).
- 3.2-2 Zone 1 Requirements - All Structures
- 3.2-2.01 Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").
- 3.2-2.02 Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.
- 3.2-2.03 Maintain all plantings in a succulent condition.
- 3.2-2.04 Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.
- 3.2-3 Zone 2 Requirements - All Structures
- 3.2-3.01 Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.



CITY STANDARD TITLEBLOCK

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FAN RESIDENCE
8295 PLYMOUTH DRIVE, LOJAN, CA 92037

BRUSH MANAGEMENT PROGRAM

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