



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: January 11, 2017 [REPORT NO. HO-17-003](#)

HEARING DATE: January 18, 2017

SUBJECT: LPE AERO CUP - Process Three Decision.

PROJECT NUMBER: [449777](#)

OWNER/APPLICANT: San Diego Community College District, Owner/Thierry Pasquet, Le Lycée Français et International de San Diego, Applicant

SUMMARY:

Issue: Should the Hearing Officer approve a private educational facility at a 2.76-acre site in the IP-2-1 zone located at 8401-8461 Aero Drive within the Kearny Mesa Community Plan area?

Staff Recommendations:

1. Adopt Mitigated Negative Declaration No. 412987 and Adopt the Mitigation Monitoring and Reporting Program; and
2. Approve Conditional Use Permit No. 1582012.

Community Planning Group Recommendation: On October 19, 2016, the Kearny Mesa Community Planning group voted 8:0:1 to recommend approval of the project.

Environmental Review: A Mitigated Negative Declaration No. 449777 has been prepared for the Project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation Monitoring and Reporting Program has been prepared and will be implemented which will reduce, to a level of insignificance, all potential impacts identified in the environmental review process.

BACKGROUND

The Kearny Mesa Community Plan (Plan) designates the site for industrial uses and business parks (Attachment 1). The proposed project is located at 8401- 8461 Aero Drive within the IP-2-1 zone in the Kearny Mesa Community Plan (Attachment 2). The Overlay Zones on the site include the Airport Land Use Compatibility, Airport Influence Area review area 1, FAA Part 77 Notification Area for Montgomery Field, and Airport Safety zone 6. The existing structure does not require a FAA Part 77

notice for a Determination of No Hazard to Air Navigation. The site and surrounding properties are developed with a mixture of industrial and commercial uses (Attachment 3).

DISCUSSION

Project Description

The LPE Aero CUP project (Project) proposes a private kindergarten through twelfth grade educational facility at a 2.76-acre site in the IP-2-1 zone located at 8401- 8461 Aero Drive (Attachment 4). The site is currently developed with a two-story commercial building, parking, landscaping and other minor improvements. The existing building would require a remodel to the interior to reconfigure the floor plan for a school use. The school proposes a maximum enrollment of 540 students. The applicant proposes to phase their improvements and use in three phases. The first phase would remodel the first floor of the existing building for school uses, limit student enrollment from 185 to 200 students and lease the upper floor for California Uniform Building Code (UBC) "B" occupancy allowed uses. The second phase would increase the student enrollment to 297 students, improve a portion of the upper floor for school use and lease the remaining portion of the upper floor for UBC "B" occupancy allowed uses. The third and final phase would increase student enrollment to the maximum 540 students and utilize the entire building for school uses.

The existing parking lot on the site would be re-configured to provide a new parking layout and an 8,100 square-foot school playground. The new school use and site improvements do not require additional landscaping. The site contains no environmentally sensitive lands. The site is physically suitable for the design and siting of the proposed development.

Required Approvals

The Project requires a Conditional Use Permit to allow a school in accordance with San Diego Municipal Code (SDMC) Section 131.0622, Use Regulations Table 131-06B. The proposed use is further regulated by the Separately Regulated Institutional Use in SDMC Section 141.0407. Staff review of the proposed Project has concluded the proposal is consistent with all relevant applicable regulations of the San Diego Municipal Code and policies adopted by the City Council.

Transportation Impact

The Applicant submitted a transportation impact analysis prepared by LOS Engineering, dated August 2016, for the proposed Project. The conclusion of the analysis is the project may result in a cumulative transportation impact along Aero Drive from Kearny Villa Road to Aero Court. With the required mitigation measure as a condition of the Conditional Use Permit, traffic impacts would be less than significant.

Community Plan Analysis

The Kearny Mesa Community Plan (Plan) designates the site for industrial uses and business parks (Attachment 1). The site is not within an area designated as Prime Industrial Land. The abutting and or adjacent uses in the adjacent community of Serra Mesa include residential, an elementary school and a neighborhood park.

The potential redevelopment of the site with a school represents a loss of industrial land uses, yet would not be inconsistent with the pattern of development within the vicinity. The current development pattern is a transition from industrial uses to educational facilities, residential and commercial uses.

The Plan describes the conflicting uses of industrial with the current land use pattern and recognizes there may be other more appropriate land use designations for this area of Kearny Mesa. The West Aero Drive Land Use Study (Study) (October 25, 2005) provides background information to support a conclusion the proposed land use is consistent with the Plan based upon the Study which summarizes the area as "other than industrial, and includes activities such as private schools, religious facilities, and offices. The area is dominated by non-industrial uses and is generally avoided by industrial users due to these conflicting uses."

The General Plan (GP) discusses schools in the Public Facilities, Services and Safety Element. The GP goal of educational facilities is stated as a system that offers quality education in an "equitable, technologically equipped, aesthetically pleasing, sustainable, supportive of optimal teaching, safe, healthy" environment. The GP policy recognizes the opportunity for diverse schools should be available to students to make the choice of a neighborhood school as well as a school in an educational setting outside of the student's neighborhood. Therefore, the proposed development is consistent with these policies and will not adversely affect the applicable land use plan.

Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with relevant adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings (Attachment 5) and draft conditions (Attachment 6) to support approval of the Project. Staff recommends the Hearing Officer approve the Project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976, with modifications.
2. Deny Coastal Development Permit No. 1272975 and Site Development Permit No. 1272976, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



John S. Fisher
Development Project Manager

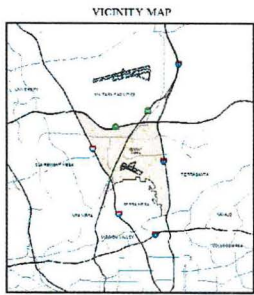
Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph
4. Proposed Site Plan
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Kearny Mesa Community Planning recommendation
8. Ownership Disclosure Statement
9. Remaining Project Plans
10. Project Data Sheet
11. Draft Environmental Resolution

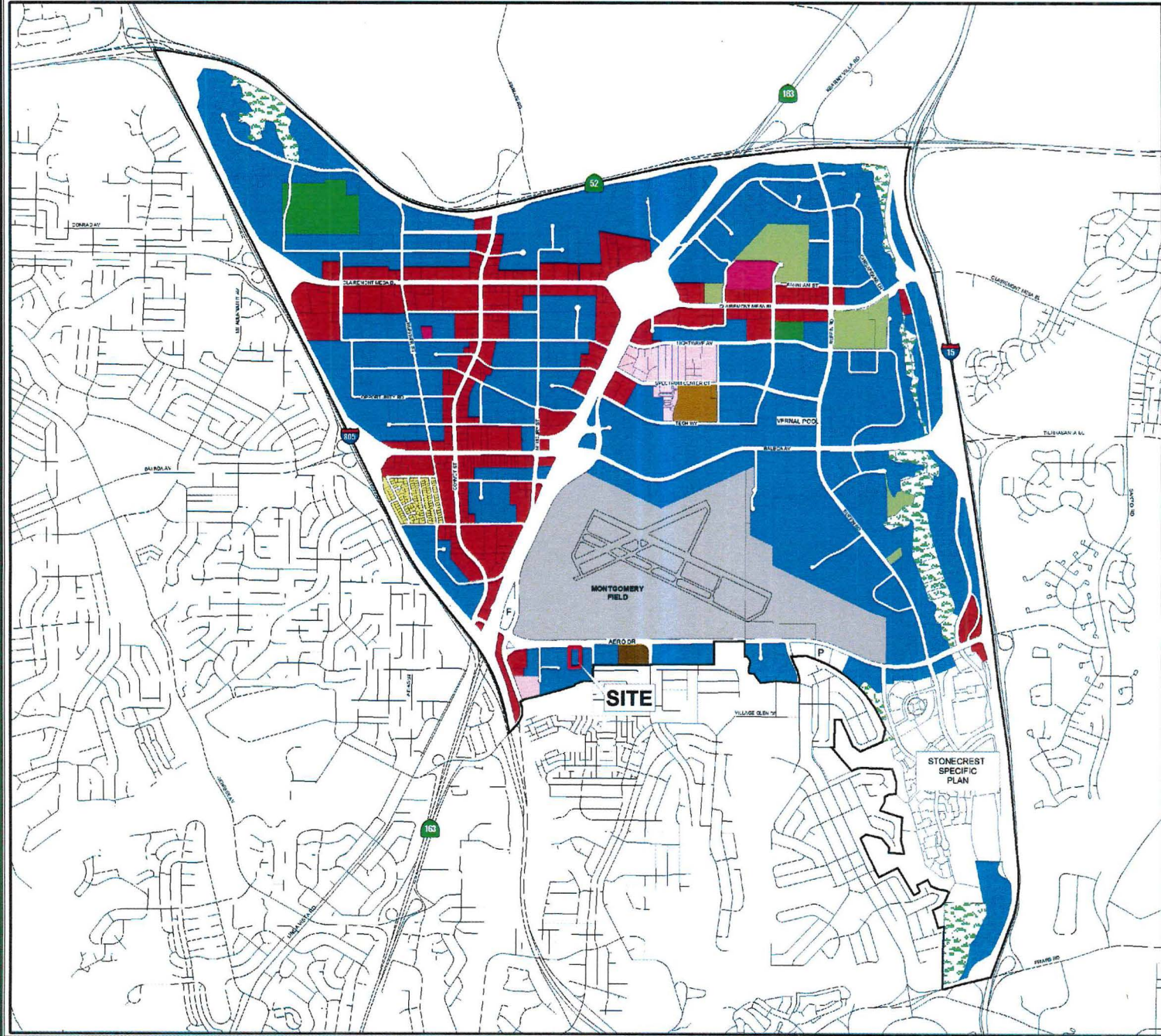
KEARNY MESA COMMUNITY PLAN LAND USE

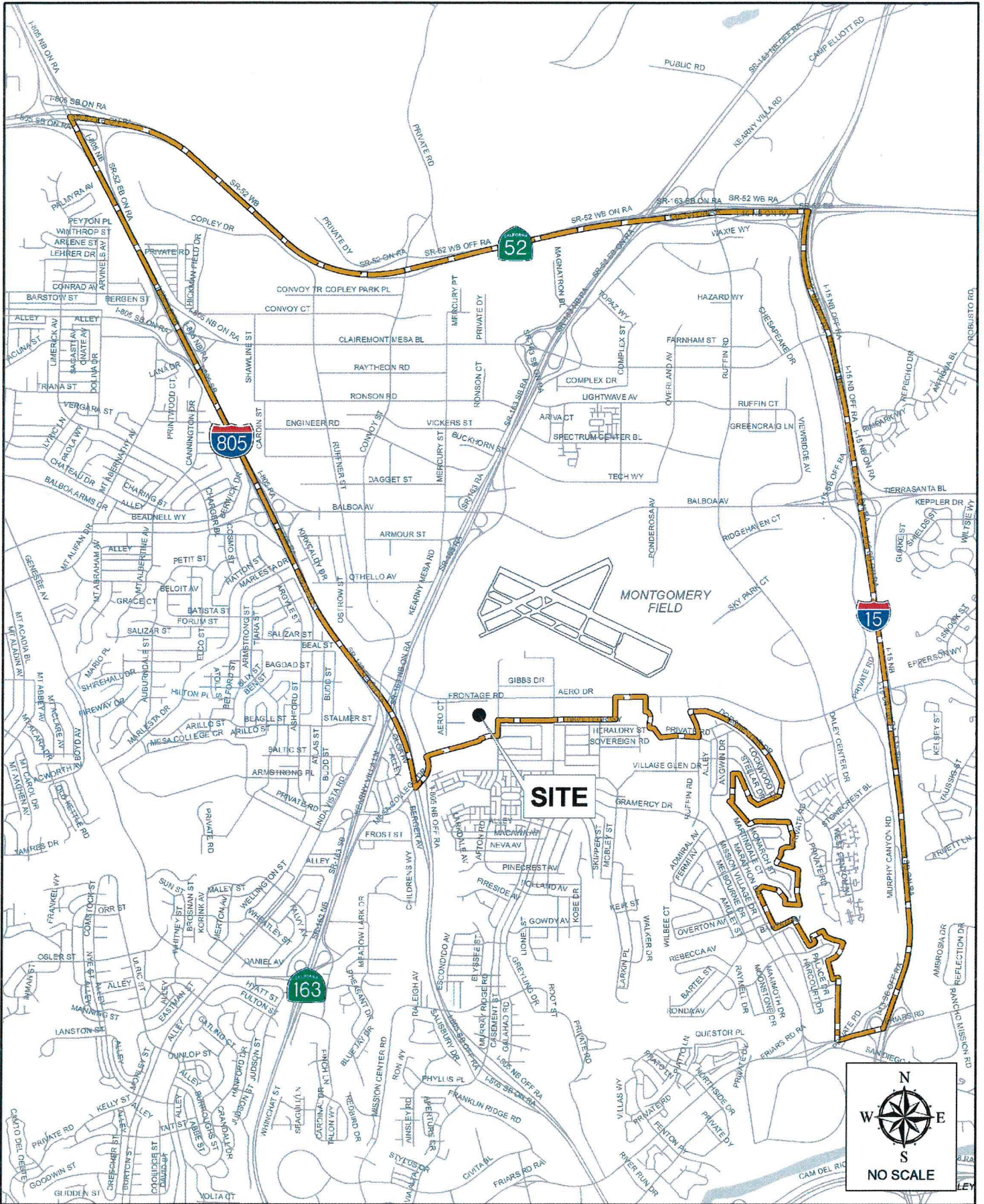

**CITY OF
 SAN DIEGO**
**CITY PLANNING &
 COMMUNITY INVESTMENT**

- LEGEND**
- Industrial and Business Parks
 - General Commercial
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential
 - Mixed Use Commercial
 - Residential
 - General Aviation Airport
 - Fire/Police Stations
 - County Facilities
 - Community Parks
 - Open space
 - Utility



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Vicinity Map

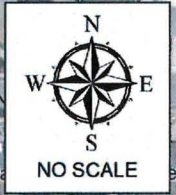
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2012 San Diego Imagery Acquisition Partnership (Flight Date: 6, 2012)



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Aerial Map

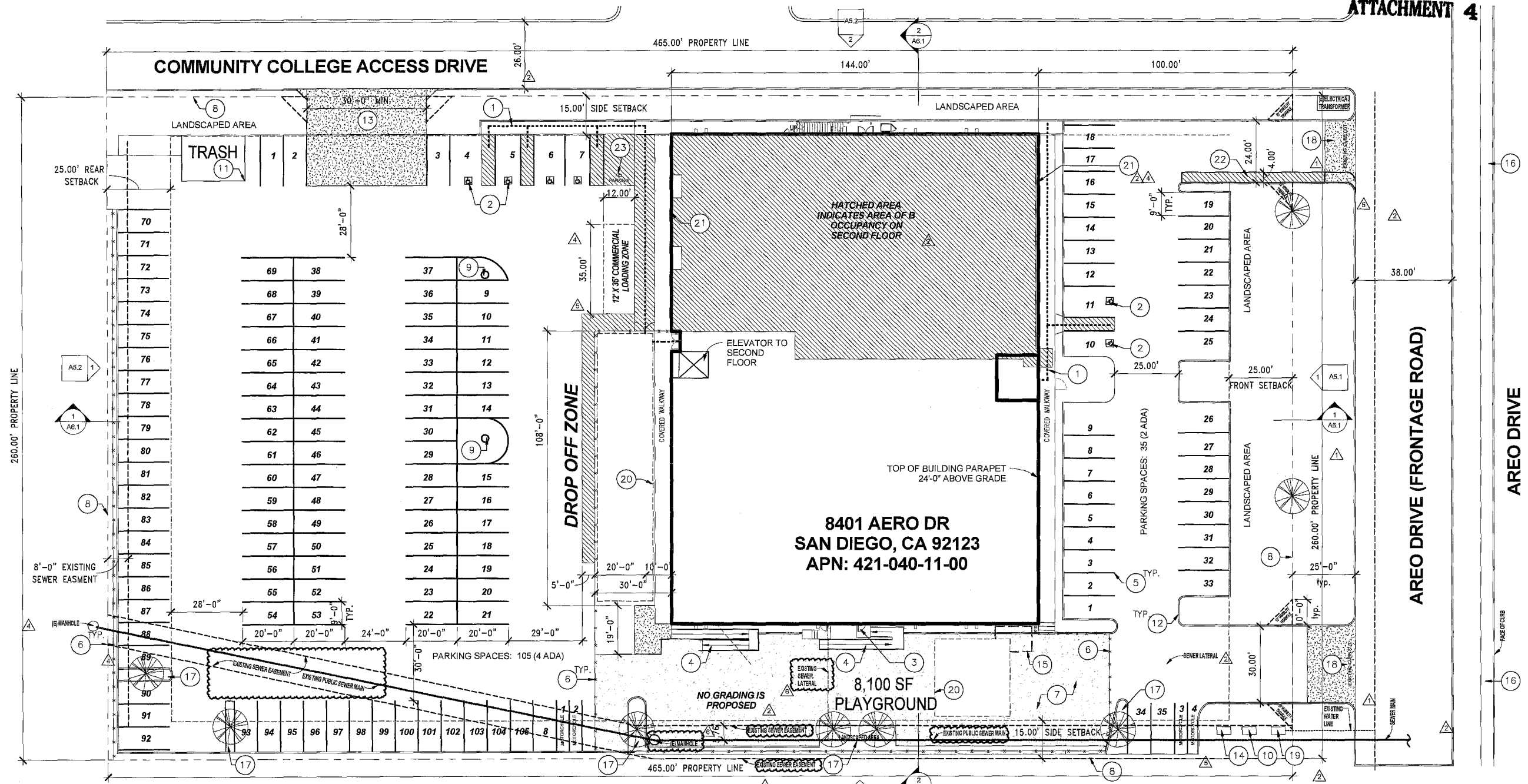
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9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5
9-22-2016	DELTA 6

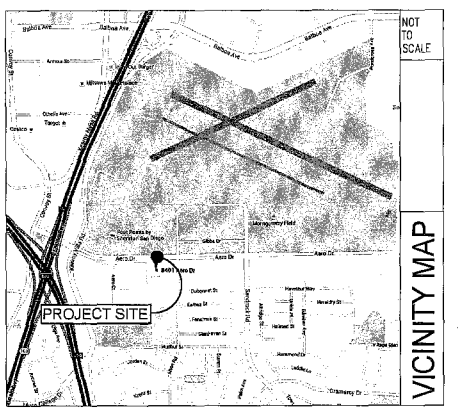


1 SITE PLAN
1" = 20'-0"

PARKING CALCULATIONS

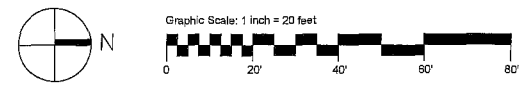
SEE SHEET A5.2 FOR PARKING BREAKDOWNS FOR EACH PHASE

USE	# PROVIDED	# REQ'D
PARKING SPACES	140 PROVIDED	94 (MAX)
ADA SPACES	6 PROVIDED	4
MOTORCYCLE SPACES	4 PROVIDED	3
BIKE SPACE	10 PROVIDED	7
LOADING SPACE	1 PROVIDED	1



KEY NOTES - SITE PLAN:

- 1 DASHED LINE INDICATES PATH OF TRAVEL FROM DISABLED PARKING STALLS TO PRIMARY ENTRANCE OF THE BUILDING
- 2 NEW DISABLED PERSON PARKING STALLS
- 3 NEW EXTERIOR DOOR
- 4 NEW CONCRETE RAMP, SEE ELEVATION SHEET A5.1
- 5 NEW PARKING STRIPING
- 6 6'-0" HIGH CHAIN LINK FENCE
- 7 REPAVES PLAYGROUND AREA, GRIND AND OVERLAY OF NEW ASPHALT PLAYGROUND AREA
- 8 PROPERTY LINE
- 9 NEW LIGHT POLE ON EXISTING POLE BASE
- 10 EXISTING DOMESTIC WATER BACKFLOW PREVENTOR TO REMAIN
- 11 EXISTING TRASH ENCLOSURE TO REMAIN
- 12 EXISTING CURB TO REMAIN, TYPICAL
- 13 REPAVE HATCHED AREA FOR SITE ACCESS ONTO AERO PLACE, EASEMENT FOR EXISTING DRIVEWAY PER LETTER FROM BUILDING OWNER ON SHEET A6.1
- 14 NEW FIRE SPRINKLER BACKFLOW
- 15 EXISTING GUARD BOOTH TO BE REMOVED
- 16 EXISTING CONTIGUOUS CONCRETE PUBLIC SIDEWALK ALONG AERO DRIVE
- 17 EXISTING LANDSCAPED ISLAND WITH EXISTING TREE TO REMAIN
- 18 RECONSTRUCT DRIVEWAYS TO CURRENT CITY STANDARDS WITH SDG-163 COMMERCIAL CONCRETE DRIVEWAYS
- 19 EXISTING WATER SERVICE AND METER TO BE ABANDONED AND NEW WATER SERVICE AND METER TO BE INSTALLED 30' (MIN.) FROM THE EXISTING WATER SERVICE
- 20 NEW COVERED TRELLIS
- 21 BIKE PARKING, MINIMUM 5 BIKE CAPACITY RACK AT EACH LOCATION NOTED
- 22 HATCH INDICATES NEW AREA OF DRIVE ISLE TO BE WIDENED WITH NEW ASPHALT
- 23 "NO PARKING" TO BE STENCILED ON AREA IN 12" HIGH WHITE LETTERS



NOTES:

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
2. THERE ARE NO EASEMENTS ON EXISTING PROPERTY
3. NO GRADING IS PROPOSED IN PROJECT
4. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities
5. All proposed public water and sewer facilities, including services and meters, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices pertaining thereto.
6. The Owner/Permittee shall be responsible for any damage caused to City of San Diego sewer facilities in the vicinity of the project site, due to the construction activities associated with this project, in accordance with Municipal Code section 142.0607. In the event that any such facility loses integrity then, the Owner/Permittee shall repair or reconstruct any damaged public sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.

ORIGINAL SHEET PREPARATION DATE:
10-7-2015
SHEET REVISION DATE:
9-22-2016

ALL IDEAS, DESIGNS, PLANS, AND SPECIFICATIONS AND OTHER PROJECT DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA ARE THE PROPERTY OF TREVIN M. SCHALL ARCHITECTS INC. AND MAY NOT BE REPRODUCED OR USED WITHOUT THE WRITTEN PERMISSION OF TREVIN M. SCHALL ARCHITECTS INC.



FAA CERTIFICATION

I TREVIN M. SCHALL do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

HEARING OFFICER RESOLUTION NO. [REDACTED]
CONDITIONAL USE PERMIT NO. 1582012
LPE AERO CUP - PROJECT NO. 449777 [MMRP]

WHEREAS, SAN DIEGO COMMUNITY COLLEGE DISTRICT, Owner, and LE LYCEE FRANCAIS ET INTERNATIONAL DE SAN DIEGO, Permittee, filed an application with the City of San Diego for a permit to operate a private kindergarten through twelfth grade educational facility within an existing 55,296 square foot, two-story commercial building, with interior building and exterior site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1582012), on portions of a 2.76-acre site;

WHEREAS, the project site is located at 8401-8461 Aero Drive in the IP-2-1 zone of the Kearny Mesa Community Plan area;

WHEREAS, the project site is legally described as Lot "D" of Research Park, according to Map thereof No. 3568, filed December 20, 1956;

WHEREAS, on January 18, 2017, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1582012 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated January 18, 2017.

FINDINGS:

Findings for all Conditional Use Permits – SDMC Section 126.0305

(a) The proposed development will not adversely affect the applicable land use plan.

The LPE Aero CUP project (Project) proposes a private kindergarten through twelfth grade educational facility at a 2.76-acre site in the IP-2-1 zone located at 8401-8461 Aero Drive. The site is currently developed with a two-story commercial building, parking, landscaping and other minor improvements. The existing building would require a remodel to the interior to reconfigure the floor plan for a school use. The school proposes a maximum enrollment of 540 students. The Permittee proposes to phase their improvements and use in three phases. The first phase would remodel the first floor of the existing building for school uses, limit student enrollment from 185 to 200 students and lease the upper floor for "B" occupancy allowed uses. The second phase would increase the student enrollment to 297 students, improve a portion of the upper floor for school use and lease the remaining portion of the upper floor for "B" occupancy allowed uses. The third and final phase would increase student enrollment to the maximum 540 students and utilize the entire building for school uses.

The Kearny Mesa Community Plan designates the site for industrial uses and business parks. The site is not within an area designated as Prime Industrial Land. The abutting and or adjacent uses in

the adjacent community of Serra Mesa include residential, an elementary school and a neighborhood park.

The potential redevelopment of the site with a school represents a loss of industrial land uses, yet would not be inconsistent with the pattern of development within the vicinity. The current development pattern is a transition from industrial uses to educational facilities, residential and commercial uses.

The Kearny Mesa Community Plan describes the conflicting uses of industrial and the current land use pattern and recognizes there may be other more appropriate land use designations for this area of Kearny Mesa. The West Aero Drive Land Use Study (Study) (October 25, 2005) provides background information to support a conclusion the proposed land use is consistent with the Kearny Mesa Community Plan based upon the Study which summarizes the area as "other than industrial, and includes activities such as private schools, religious facilities, and offices. The area is dominated by non-industrial uses and is generally avoided by industrial users due to these conflicting uses."

The General Plan discusses schools in the Public Facilities, Services and Safety Element. The General Plan goal of educational facilities is stated as a system that offers quality education in an "equitable, technologically equipped, aesthetically pleasing, sustainable, supportive of optimal teaching, safe, healthy" environment. The General Plan policy recognizes the opportunity for diverse schools should be available to students to make the choice of a neighborhood school as well as a school in an educational setting outside of the student's neighborhood. Therefore, the proposed development is consistent with these policies and will not adversely affect the applicable land use plan.

One of the primary goals of the Kearny Mesa Community Plan Commercial Element is to provide commercial services to employees within industrially designated areas by encouraging supporting commercial uses to locate within these developments. The Project will be consistent with and support the Commercial Element goal by providing a private school in the area which could be used by parents employed in the vicinity. The private school will be available to serve the existing community. Further, consistent with the Commercial Element, the Project will be located and designed in a manner that minimizes disturbance to other existing industrial and office users. Therefore, the proposed development will not adversely affect the applicable land use plan.

(b) The proposed development will not be detrimental to the public health, safety, and welfare.

The Project will not be detrimental to public health, safety and welfare in that the permit controlling the continued use of the Project for this site contains specific conditions addressing compliance with the City's codes, policies, and regulations, as well as other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations, and the inspection of construction to assure construction permits are implemented in accordance with the approved plans, and that the final construction will comply with all regulations. Therefore, the proposed development will not be detrimental to the health, safety, or general welfare of persons residing or working in the area.

(c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed Project has been designed to comply with the regulations of the Land Development Code and all development criteria for the IP-2-1 zone. The Project will be established within an existing building constructed in 1976. The existing building met all the required regulations of the Land Development Code at the time the construction permit was issued in 1976. No deviations or variances are requested or required to grant the approval of the proposed Project. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

(d) The proposed use is appropriate at the proposed location.

The Project will occupy a portion of a commercial building currently used as professional offices on a site developed for commercial office use. The Project is consistent with all relevant regulations of the San Diego Municipal Code that apply to the proposed use. All necessary utilities are available and are provided to the site, including water, sanitary sewer, electricity, telephone, and other common utilities. The site has the necessary parking to serve the Project. The Project is consistent with the Industrial Business Park designation and Commercial Element of the Kearny Mesa Community Plan and no adverse affects will result from granting the Conditional Use Permit at this location. Therefore, the proposed use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1582012 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1582012, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: January 18, 2017

IO#: 24006254

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006254

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1582012

LPE AERO CUP PROJECT NO. [MMRP]

Hearing Officer

This Conditional Use Permit No. 1582012 is granted by the Hearing Officer of the City of San Diego to San Diego Community College District, Owner, and Le Lycee Francais et International de San Diego, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 2.76-acre site is located at 8401-8461 Aero Drive in the IP-2-1 zone of the Kearny Mesa Community Plan. The project site is legally described as Lot "D" of Research Park, according to Map thereof No. 3568, filed December 20, 1956.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to operate a private kindergarten through twelfth grade educational facility within an existing 55,296 square foot, two-story commercial building, interior building and exterior site improvements described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 18, 2017, on file in the Development Services Department.

The project shall include:

- a. Operation of a private kindergarten through twelfth grade educational facility within an existing 55,296 square foot, two-story commercial building, interior building and exterior site improvements;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE typically 3 years, including the appeal time].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 449777, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 449777, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Circulation/Transportation

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
16. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing driveways per current City Standards, SDG-163, adjacent to the site on Aero Drive, satisfactory to the City Engineer.

PLANNING/DESIGN REQUIREMENTS:

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
19. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

TRANSPORTATION REQUIREMENTS:

20. A minimum of 94 automobile spaces (including 4 standard accessible spaces and 1 van accessible space), 1 commercial loading zone, 3 motorcycle spaces, and 7 bicycle spaces with rack(s) are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate decision-maker.
21. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of the western driveway of a twenty-four-foot-wide City standard driveway, on Aero Drive Frontage Road, satisfactory to the City Engineer.
22. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of the eastern driveway of a thirty-foot-wide City standard driveway, on Aero Drive, satisfactory to the City Engineer.

23. The Owner/Permittee shall provide and maintain the required visibility area along the property line on both sides of the western and eastern driveway on Aero Drive Frontage Road, as shown on the Exhibit "A." No obstacles higher than 36 inches shall be located within this area.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

24. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed school, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

25. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

26. The Owner/Permittee shall be responsible for any damage caused to City of San Diego sewer facilities in the vicinity of the project site, due to the construction activities associated with this project, in accordance with Municipal Code section 142.0607. In the event that any such facility loses integrity then, the Owner/Permittee shall repair or reconstruct any damaged public sewer facility in a manner satisfactory to the Public Utilities Director and the City Engineer.

27. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

28. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on January 18, 2017 by Resolution No. X.

DRAFT

Permit Type/PTS Approval No.: CUP No. 1582012
Date of Approval: January 18, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

San Diego Community College District
Owner

By _____
Christopher Manis
Vice Chancellor, Facilities Management

Le Lycee Francais et International de San Diego
Permittee

By _____
Thierry Pasquet
Chairman

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

**Community Planning
Committee
Distribution Form Part 2**

Project Name: LPE Aero CUP		Project Number: 449777	Distribution Date: 6/22/2016
Project Scope/Location: Conditional Use Permit for a private K-12th Educational Facility on the first floor of an existing 55,296 sq ft, 2-story commercial building at 8401- 8461 Aero Dr. The 2.76 acre site is in the IP-2-1 zone within the Kearny Mesa Community Plan Area. Council District 7.			
Applicant Name: Thierry Pasquet, Le Lycée Français de San Diego		Applicant Phone Number: (858) 274-2890	
Project Manager: John S. Fisher	Phone Number: (619) 446-5231	Fax Number: (619) 321-3200	E-mail Address: jsfisher@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 8	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: NONE			
NAME: JEFFREY SALLER		TITLE: CHAIR KMP6	
SIGNATURE: <i>[Signature]</i>		DATE: 10-19-16	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title 8401 AERO DRIVE SANDIEGO 92123 Project No. For City Use Only _____

Project Address:
8401 AERO DRIVE, SAN DIEGO, CA - 92123

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
THIERRY PASQUET
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
3219 Clairemont Mesa Blvd.
 City/State/Zip:
San Diego CA 92117
 Phone No: (650) 274 2890 Fax No: _____
 Signature: [Signature] Date: 6/12/2015

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
3375 CAMINO DEL RIO SOUTH #310
 City/State/Zip:
SAN DIEGO, CA 92108
 Phone No: 619 388 6546 Fax No: 619 388 6509
 Signature: [Signature] Date: 12 June 15

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title:

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? Corporate Identification No. Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): Lycee Francais International of SD
Owner Tenant/Lessee
Street Address: 3219 Clairemont Mesa Blvd
City/State/Zip: San Diego CA 92117
Phone No: (658) 274 2890 Fax No:
Name of Corporate Officer/Partner (type or print): Thierry Pasquet
Title (type or print): Director
Signature: [Signature] Date: 6/12/15

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

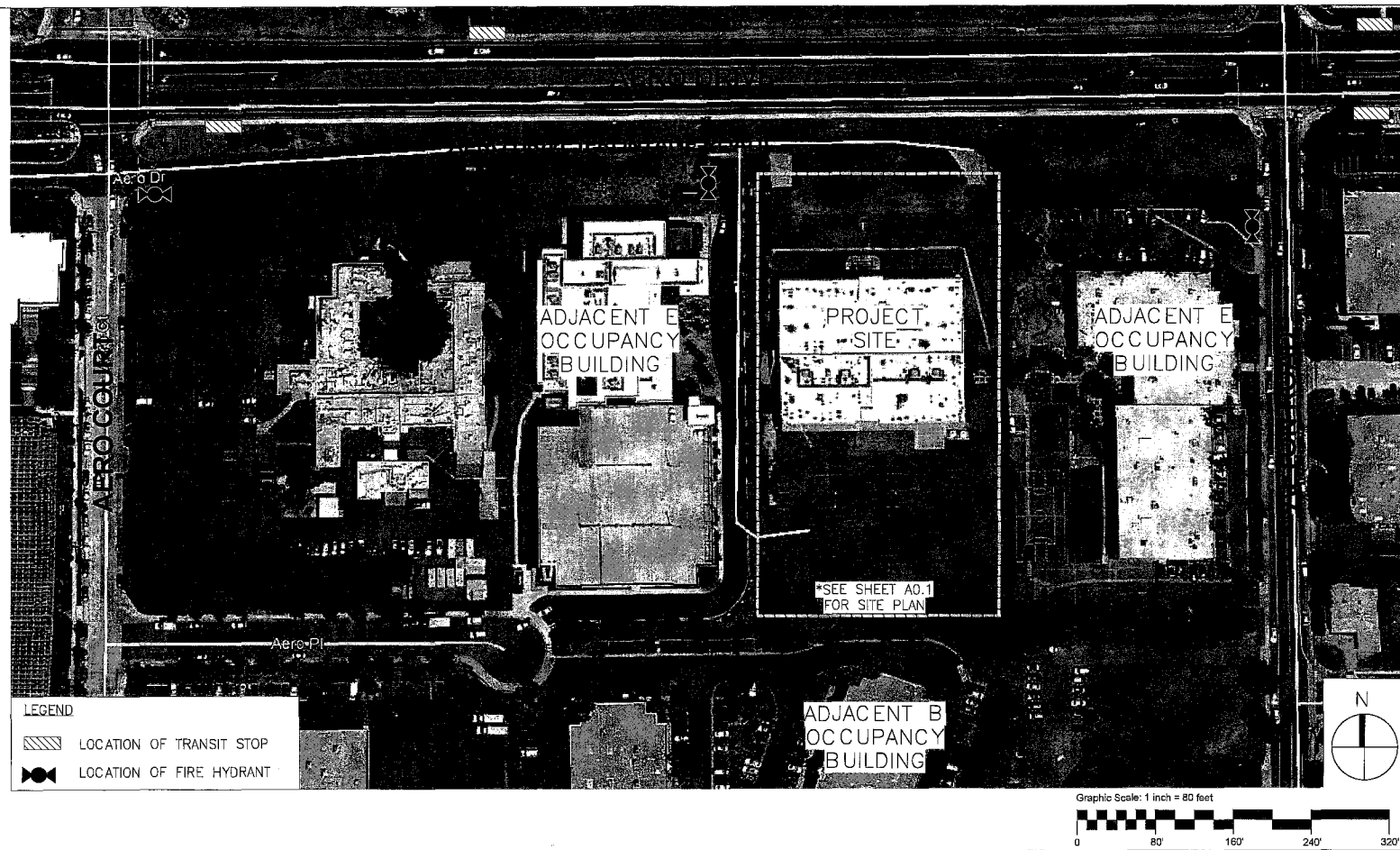
Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address: 3375 Camino del Rio South #310
City/State/Zip: SAN DIEGO CA 92108
Phone No: 619 388 6546 Fax No: 619 388 6509
Name of Corporate Officer/Partner (type or print): CHRIS MANIS
Title (type or print): VICE CHANCELLOR, FACILITIES MANAGEMENT
Signature: [Signature] Date: 12 Jun 15

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

Corporate/Partnership Name (type or print):
Owner Tenant/Lessee
Street Address:
City/State/Zip:
Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):
Title (type or print):
Signature: Date:

AERIAL PHOTO OF SURROUNDING AREA SCALE: 1" = 80'-0"



ALL IDEAS, DESIGNS, PLANS, AND SPECIFICATIONS AND OTHER PROJECT DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA ARE THE PROPERTY OF TREVIN SCHALL ARCHITECTS INC. AND MAY NOT BE REPRODUCED OR USED WITHOUT THE WRITTEN PERMISSION OF TREVIN SCHALL ARCHITECTS INC.

GENERAL NOTES

- 1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH STATE, FEDERAL AND LOCAL CODE, ORDINANCES, LAWS AND CALIFORNIA BUILDING CODE 2013 EDITION, STATE OF CALIFORNIA AND CITY AMENDMENTS.
- 2. THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ANY OTHER APPLICABLE REGULATIONS: CA. BUILDING CODE, 2013 ED. CA. MECHANICAL CODE, 2013 ED. CA. PLUMBING CODE, 2013 ED. CA. ELECTRICAL CODE, 2013 ED. CA. FIRE CODE, 2013 ED. CA. GREEN BLDG. STAND., 2013 ED.
- 3. THE CONTRACTOR SHALL VISIT THE SITE, VERIFY ALL DIMENSIONS BEFORE SUBMITTING A BID, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- 4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
- 5. ALL HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR, UNLESS OTHERWISE NOTED.
- 6. SIGNAGE IS SUBJECT TO SEPARATE PERMITS.
- 7. PROVIDE ADEQUATE BACKING FOR ALL INDICATED FIXTURES, SIGN J-BOXES, GRAB BARS, ROOF MOUNTED FIXTURES, ETC. WHERE INDICATED.
- 8. SUSPENDED CEILING SHALL COMPLY WITH SECTION 808, CBC
- 9. INTERIOR FINISHES MUST CONFORM TO REQUIREMENTS OF CHAPTER 8, CBC
- 10. NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING WHICH EXCEEDS THE QUANTITIES LISTED IN CBC TABLE 307.1 (1) AND 307.1 (2).
- 11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
- 12. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS. VERIFY WITH ARCHITECT.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF ALL SAFETY DEVICES INCLUDING SHORING AND BRACING AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH CURRENT FEDERAL, STATE AND LOCAL SAFETY AND HEALTH STANDARDS, LAWS, ORDINANCES AND REGULATIONS.
- 14. CONTRACTOR SHALL PROVIDE MANUFACTURERS CUT SHEETS ON ALL ENGINEERED WOOD TRUSSES TO THE BUILDING OFFICIAL, AND RECEIVE APPROVAL PRIOR TO THE ERECTION OF ROOF FRAMING.
- 15. INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARD PER SECTION 110.8 ENERGY EFFICIENCY STANDARDS (E.E.S.)
- 16. DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 110.8 ENERGY EFFICIENCY STANDARDS (E.E.S.)
- 17. CUSTOMERS, PATRONS AND VISITORS SHALL BE PROVIDED WITH PUBLIC TOILET FACILITIES IN STRUCTURES AND TENANT SPACES INTENDED FOR PUBLIC UTILIZATION. THE NUMBER OF PLUMBING FIXTURES LOCATED WITHIN THE REQUIRED TOILET FACILITIES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 2902.1 FOR ALL USERS. EMPLOYEES SHALL BE PROVIDED WITH TOILET FACILITIES IN ALL OCCUPANCIES. EMPLOYEE TOILET FACILITIES SHALL EITHER BE SEPARATE OR COMBINE EMPLOYEE AND PUBLIC TOILET FACILITIES PER CBC SECTION 2902.3
- 18. STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR-WATER SUPPLY PIPING.
- 19. WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.8.

SHEET INDEX

ARCHITECTURAL

TS	TITLE SHEET
A0.1	SITE PLAN
A1.0	PHOTOGRAPHIC KEY MAP
A1.1	PHOTOGRAPHIC SURVEY
A1.2	PHOTOGRAPHIC SURVEY
A2.1	FLOOR PLAN - FIRST FLOOR
A2.2	FLOOR PLAN - SECOND FLOOR
A4.1	ROOF PLAN
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A6.1	SITE SECTIONS

PROJECT DIRECTORY

TENANT
LA PETITE ECOLE
3219 CLAIREMONT MESA BLVD
SAN DIEGO CA 92117
GERALD GAUCHER
858-775-7689
ggoucher@aol.com

ARCHITECT
TREVIN SCHALL ARCHITECTS INC.
5173 WARING ROAD - SUITE 91
SAN DIEGO, CALIFORNIA 92120
TREVIN SCHALL
(858) 692-3835
tschall@schallarchitects.com
JOHN O'MALLEY
(858) 815-3529
jomalley@schallarchitects.com

BUILDING OWNER:
SAN DIEGO COMMUNITY COLLEGE DISTRICT
3375 CAMINO DEL RIO S,
SAN DIEGO, CA 92108
(619) 388-6500

PROJECT DESCRIPTION

CONDITIONAL USE PERMIT FOR A K-12 PRIVATE SCHOOL. CHANGE OF OCCUPANCY FROM B TO E FOR EDUCATIONAL USE. BUILDING IS CURRENTLY VACANT, LAST PERMITTED AS A "B" OCCUPANCY. LAST OCCUPIED BY SDCCD CONTINUING EDUCATION PROGRAM

SCHOOL OPERATIONS INFO.

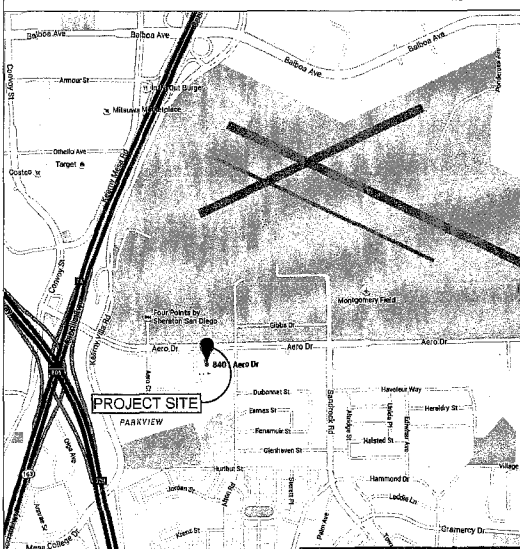
SCHOOL HOURS: 9AM TO 3:30 PM
EXPECTED ENROLLMENT OF 540 STUDENTS

1ST PHASE: (UPON APPROVAL) A MOVE EXISTING CHILDREN = 185 TO 200 STUDENT ENROLMENT, LEASE PORTION OF BUILDING LABELED B OCCUPANCY ON SITE PLAN

2ND PHASE (5 YEARS AFTER APPROVAL) - INCREASE GRADE & NUMBER OF CHILDREN TO 297 STUDENTS, LEASE PORTION OF BUILDING LABELED B OCCUPANCY ON SITE PLAN

3RD PHASE (10 YEARS AFTER APPROVAL) - INCREASE GRADE AND NUMBER OF CHILDREN = 540 ENTIRE BUILDING TO BE OCCUPIED B SCHOOL UNDER E OCCUPANCY

VICINITY MAP



ORIGINAL SHEET PREPARATION DATE: 10-7-2015

SHEET REVISION DATE: 2-08-2016

PROJECT NO: 2015083

SHEET TITLE: TITLE SHEET

SHEET NO: TS

SHEET NO: 1 OF 11

FIRE DEPARTMENT NOTES

- 1. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. (CFC 105.4.4)
- 2. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A-10BC SHALL BE PROVIDED WITHIN 75' MAXIMUM TRAVEL DISTANCE FOR EACH 8,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. (CFC 906)
- 3. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES; HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS; BASEMENT PIPE INLETS; AND OTHER FIRE PROTECTION SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (CFC 901.2)
- 4. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CHAPTER 14. (CFC 1401.1)
- 5. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO SECTION 96.0209 OF THE SAN DIEGO MUNICIPAL CODE AND CBC 501.2.
- 6. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. (CFC 807)
- 7. FIRE EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CFC 903 AND COMPLY WITH STANDARDS 903.3.
- 8. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRONICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 20 OR MORE. (CFC 903.4)
- 9. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC 907.
- 10. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (CFC 907.1.1)
- 11. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. (CFC 903.4.2)
- 12. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE REGULATIONS (CCR), TITLE 19.
- 13. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL, AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC 1415.1.
- 14. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 14, WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 26.
- 15. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 14, WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 26.
- 16. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR BE PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED A TYPE I OR IA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3
- 17. EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- 18. OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.
- 19. THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATH.

ABBREVIATIONS

&	AND	EXT.	EXTERIOR	PC.	PRE-CAST
◊	ANGLE	F. A.	FIRE ALARM	PL.	PLATE
@	AT	F. D.	FLOOR DRAIN	P. LAM.	PLASTIC LAMINATE
C	CENTERLINE	FDN.	FOUNDATION	P.	PLASTER
○	DIAMETER OR ROUND	F. F.	FIRE EXTINGUISHER	PLYWD.	PLYWOOD
○	DIAMETER OR ROUND PERPENDICULAR	F. H. C.	FIRE EXTINGUISHER CAB.	PR.	PAIR
T	TRAP	FIN.	FIRE HOSE CABINET	PT.	POINT
#	POUND OR NUMBER	FL.	FINISH FLOOR	P.T. DISP.	PAPER TOWEL DISPENSER
		FLASH.	FLASHING	Q. T.	QUARRY TILE
		FLOR.	FLOOR	REC.P.	RECEPTACLE
		F. O. B.	FACE OF BLOCK	RAD.	RADIUS
		F. O. C.	FACE OF CONCRETE	R. D.	ROOF DRAIN
		F. O. F.	FACE OF FINISH	REF.	REFERENCE
		F. O. S.	FACE OF STUD	REF. R.	REFRIGERATOR
		F.R.T.	FIRE RETARDANT TREATED	REIN.F.	REINFORCED
		F. S.	FOOT OR FEET	REQ.	REQUIRED
		FT.	FOOTING	RM.	ROOM
		FTG.	FLOORING	R.O.	ROUGH OPENING
		FURR.	FURRING	R.S.	ROUGH SAWN
		GA.	GAUGE	R.S.W.	RESAWN
		GALV.	GALVANIZED	R.W.L.	RAIN WATER LEADER
		G.B.	GRAB BAR		
		G.I.	GALVANIZED IRON		
		GR.	GRADE		
		GYP.	GYPSONUM		
		H. B.	HOSE BIBB		
		H. C.	HOLLOW CORE		
		HDWD.	HARDWOOD		
		HDW.	HARDWARE		
		H. M.	HOLLOW METAL		
		HORIZ.	HORIZONTAL		
		HGT.	HEIGHT		
		I. D.	INSIDE DIAMETER		
		INSUL.	INSULATION		
		INT.	INTERIOR		
		JT.	JOINT		
		LAM.	LAMINATE		
		LAV.	LAVATORY		
		MAX.	MAXIMUM		
		M. C.	MEDICINE CABINET		
		MECH.	MECHANICAL		
		MET.	METAL		
		MFR.	MANUFACTURER		
		MIN.	MINIMUM		
		MISC.	MISCELLANEOUS		
		M. O.	MASONRY OPENING		
		M.T.D.	MOUNTED		
		N.	NORTH		
		N. I. C.	NOT IN CONTRACT		
		NO. OR #	NUMBER		
		N.T.S.	NOT TO SCALE		
		O. A.	OVERALL		
		OBS.	OBSOLETE		
		O. C.	ON CENTER		
		O. D.	OUTSIDE DIAMETER		
		OPH.	OPPOSITE HAND		
		OPNG.	OPENING		
		OPP.	OPPOSITE		

SYMBOL LEGEND

ROOM NAME AND NUMBER	101	Room name
DOOR NUMBER	101	
WINDOW NUMBER	11	
KEYNOTE	1	
WALL TYPE	11	
SECTIONS	DRAWING NUMBER	SHEET NUMBER
DETAILS	DRAWING NUMBER	SHEET NUMBER

BUILDING DATA

SITE LOCATION:
HEADING NORTH ON I-805 TAKE EXIT 20A TO MERGE ONTO KEARNY VILLA RD. TURN RIGHT ON AERO DR. TURN RIGHT AT THE 1ST CROSS STREET ONTO AERO CT. TURN LEFT AT THE 1ST CROSS STREET ONTO AERO DR

BUILDING ADDRESS:
8401 AERO DR
SAN DIEGO, CA 92123
APN: 421-040-11-00

BUILDING INFORMATION:
THIS PROJECT SHALL COMPLY WITH TITLE 24 & 2013 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (CEnc) AND 2013 CALIFORNIA FIRE CODE.

LEGAL DESCRIPTION:
LOT "D" RESEARCH PARK, MAP 3568

GROSS SITE AREA: 121,097 SF

SPRINKLERS: YES

TYPE OF CONSTRUCTION: V-B

OCCUPANCY GROUP: E AND B

NUMBER OF STORIES: 2 STORIES

YEAR ORIGINALLY BUILT: 1975

SQUARE FOOTAGE: 54,000 SF

GEOLOGIC HAZARD CATEGORY: 52

BASE ZONE: IP-2-1 - Kearny Mesa Community Plan.

OVERLAY ZONES:
-Airport Land Use Compatibility, Airport Influence Area (Review Area 1),
-FAA Part 77 Notification Area (Montgomery Field height ranging from 442'-452'AMSL)
-Airport Safety (Zone 6)



SCHALL ARCHITECTS
5173 WARING ROAD, SUITE 91
SAN DIEGO, CA 92120
858-616-3525
www.schallarchitects.com

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9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5

PROJECT DESCRIPTION

CONDITIONAL USE PERMIT FOR A K-12 PRIVATE SCHOOL. CHANGE OF OCCUPANCY FROM B TO E FOR EDUCATIONAL USE. BUILDING IS CURRENTLY VACANT, LAST PERMITTED AS A "B" OCCUPANCY. LAST OCCUPIED BY SDCCD CONTINUING EDUCATION PROGRAM

SCHOOL OPERATIONS INFO.

SCHOOL HOURS: 9AM TO 3:30 PM
EXPECTED ENROLLMENT OF 540 STUDENTS

1ST PHASE: (UPON APPROVAL) A MOVE EXISTING CHILDREN = 185 TO 200 STUDENT ENROLMENT, LEASE PORTION OF BUILDING LABELED B OCCUPANCY ON SITE PLAN

2ND PHASE (5 YEARS AFTER APPROVAL) - INCREASE GRADE & NUMBER OF CHILDREN TO 297 STUDENTS, LEASE PORTION OF BUILDING LABELED B OCCUPANCY ON SITE PLAN

3RD PHASE (10 YEARS AFTER APPROVAL) - INCREASE GRADE AND NUMBER OF CHILDREN = 540 ENTIRE BUILDING TO BE OCCUPIED B SCHOOL UNDER E OCCUPANCY

VICINITY MAP



ORIGINAL SHEET PREPARATION DATE: 10-7-2015

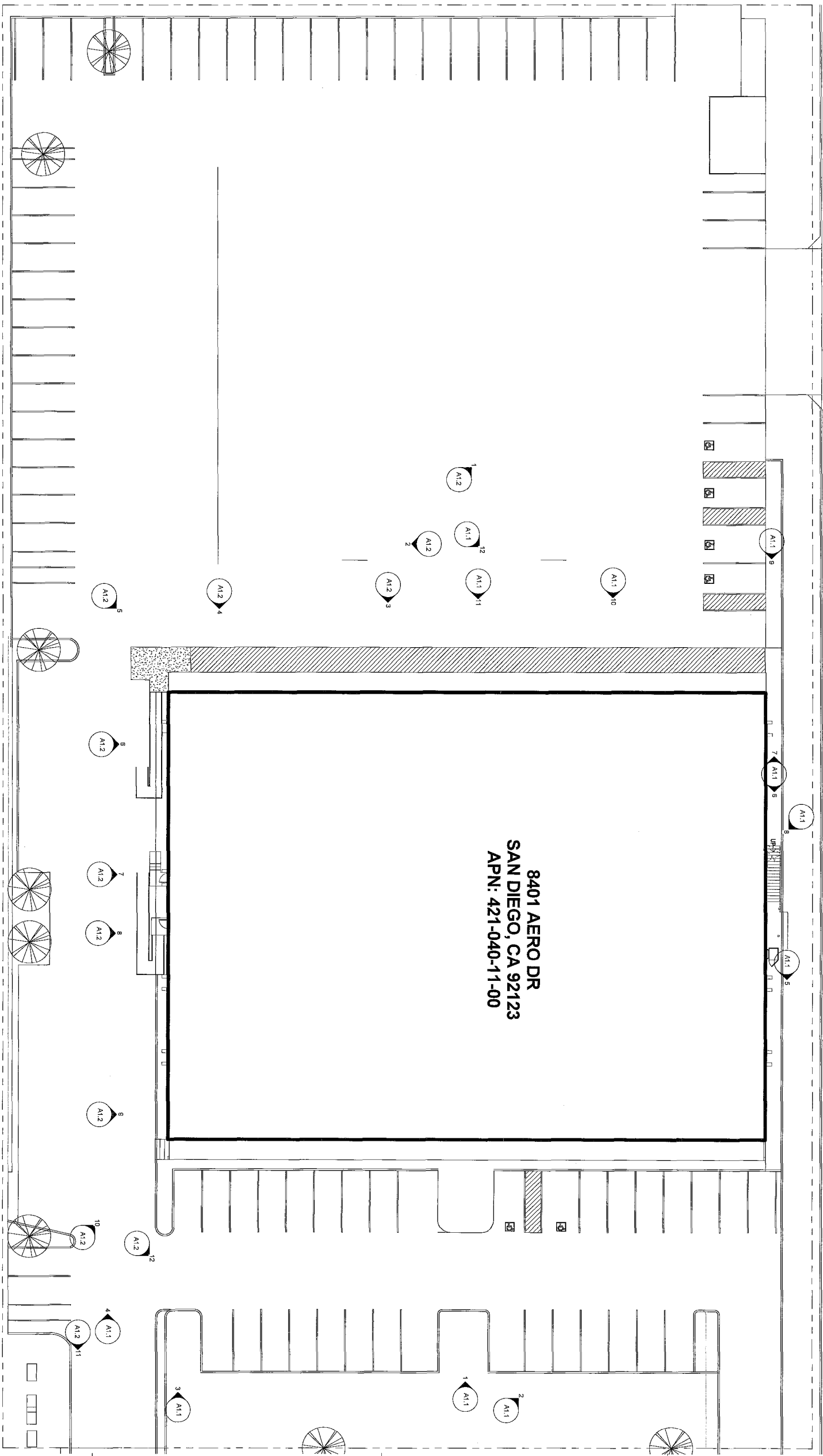
SHEET REVISION DATE: 2-08-2016

PROJECT NO: 2015083

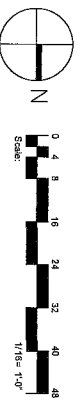
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SHEET NO: TS

SHEET NO: 1 OF 11



1 PHOTOGRAPHIC KEY MAP
1/16" = 1'-0"



ORIGINAL SHEET
PREPARATION DATE:
10-7-2015
SHEET REVISION DATE:
10/7/2015



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3-15-2015	PRELIMINARY REVIEW
10-7-2015	CRP
11-4-2015	DETA 1
2-09-2016	DETA 2
4-25-2016	DETA 3
6-17-2016	DETA 4
8-22-2016	DETA 5

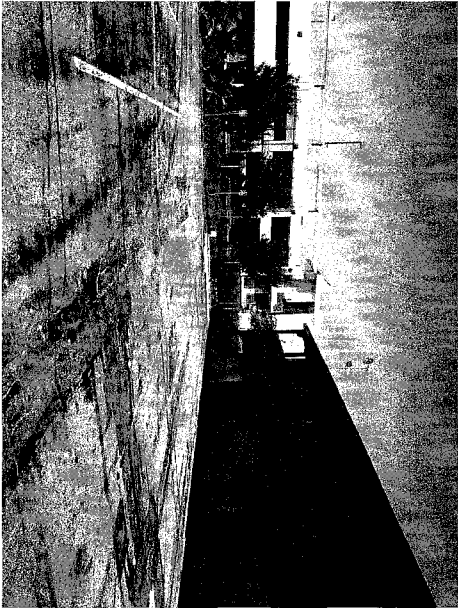
LA PETITE ECOLE
8401 AERO DRIVE
SAN DIEGO, CA 92123

PROJECT NO:
2015083
SHEET TITLE:
PHOTOGRAPHIC
KEY MAP

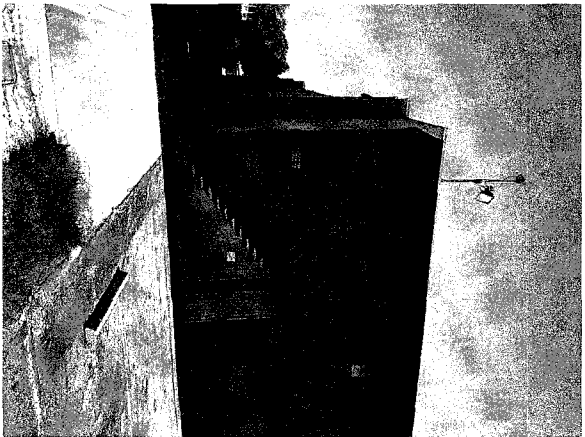
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A1.0

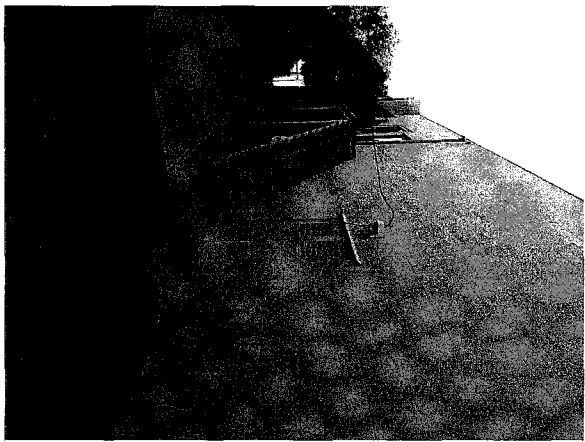
SHEET NO: 3 OF 11



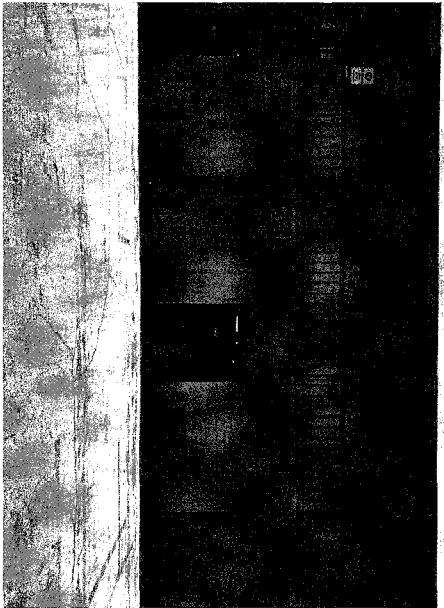
12 PHOTO 12



9 PHOTO 9



6 PHOTO 6



10 PHOTO 10



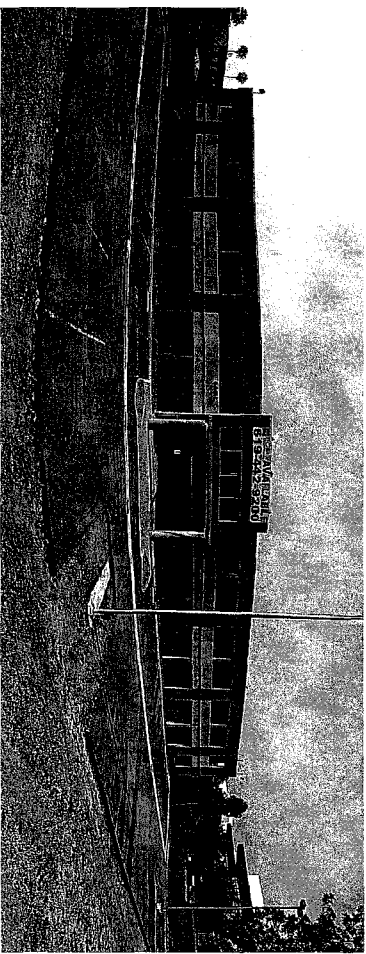
7 PHOTO 7



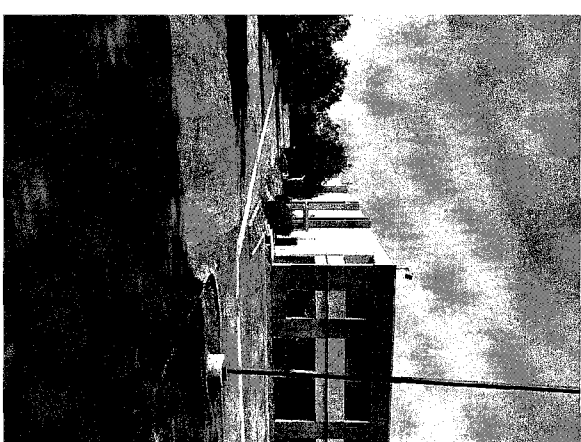
11 PHOTO 11



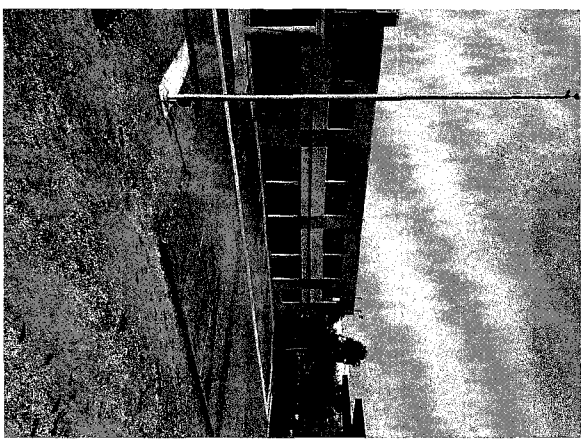
8 PHOTO 8



1 PHOTO 1



4 PHOTO 4



2 PHOTO 2



5 PHOTO 5



3 PHOTO 3

9-16-2015	PRELIMINARY REVIEW	DELTA 1
10-7-2015	CUF	
11-4-2015		DELTA 1
2-09-2018		DELTA 2
4-25-2018		DELTA 3
5-17-2018		DELTA 4
5-22-2018		DELTA 5



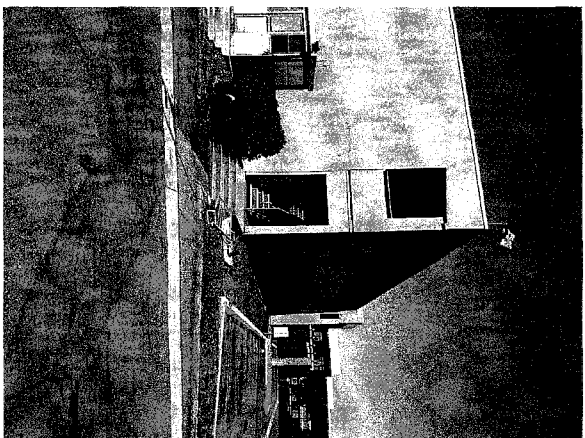
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PROJECT NO:
 2015083
 SHEET TITLE:
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 SURVEY

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 PREPARATION DATE:
 10-7-2015
 SHEET REVISION DATE:
 10/7/2015

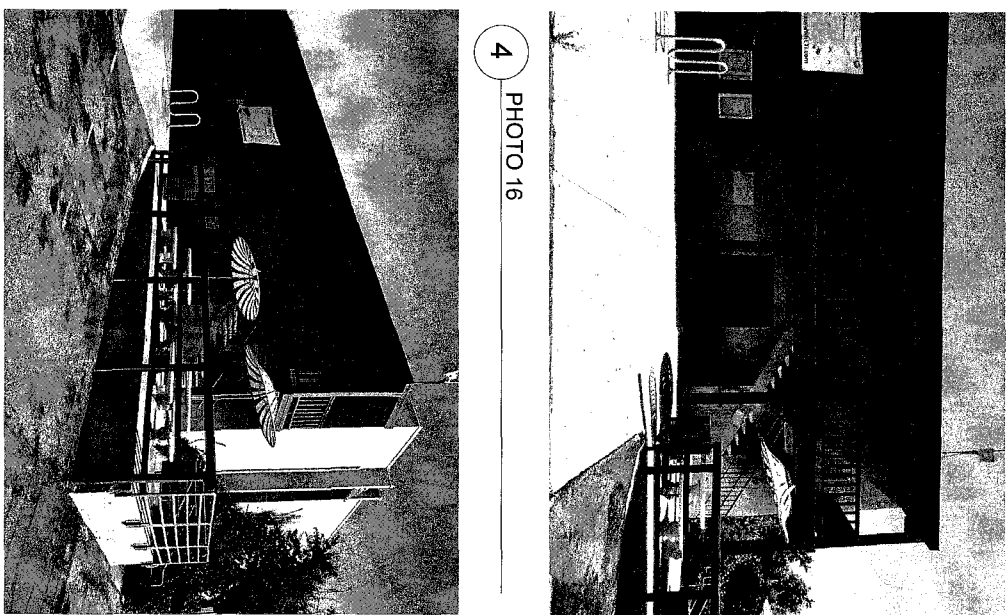
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A1.1
 SHEET NO. 4 OF 11



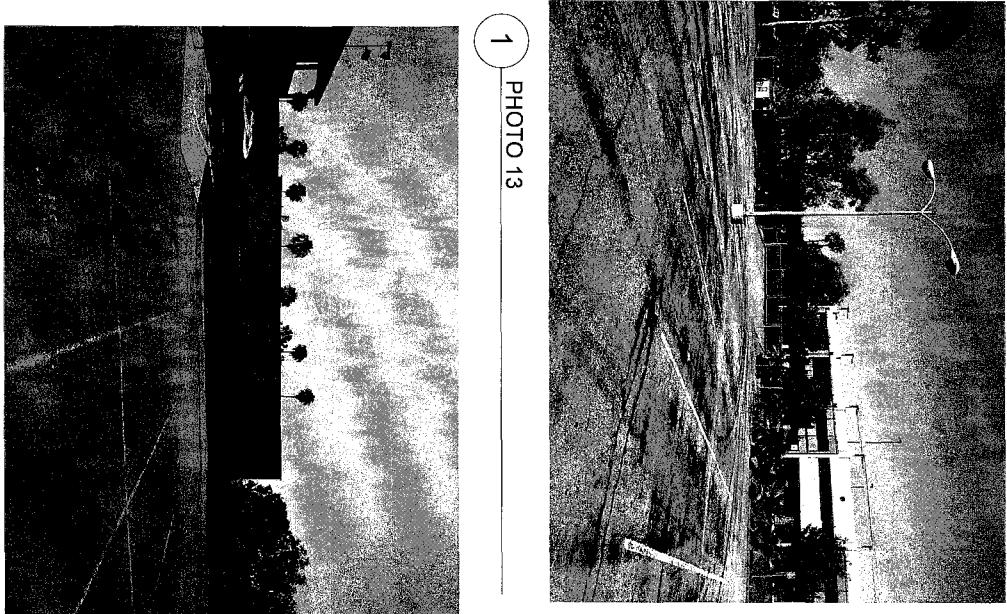
10 PHOTO 22



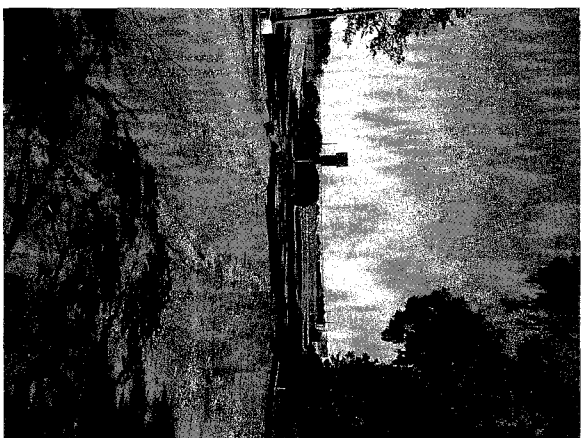
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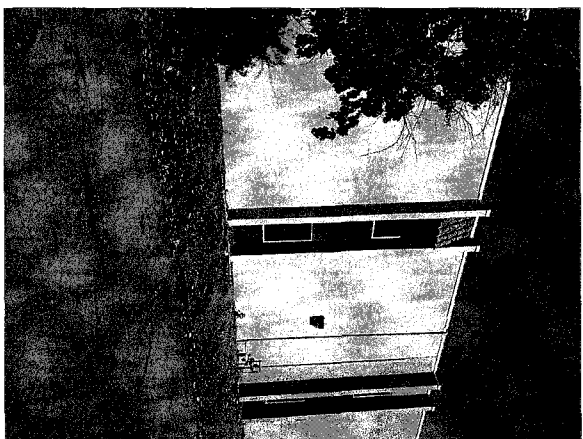
4 PHOTO 16



1 PHOTO 13



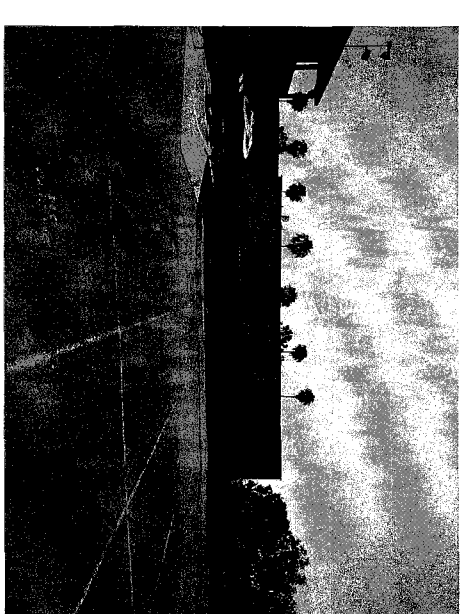
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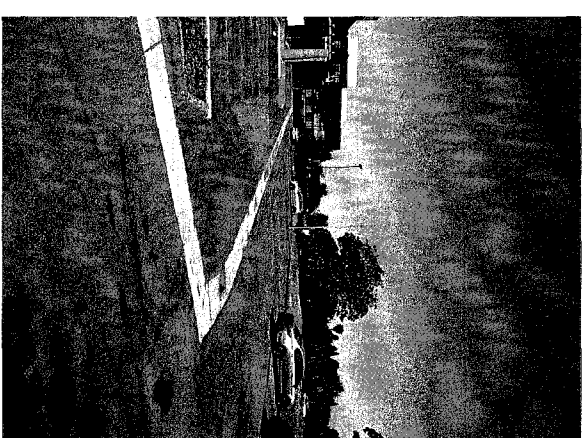
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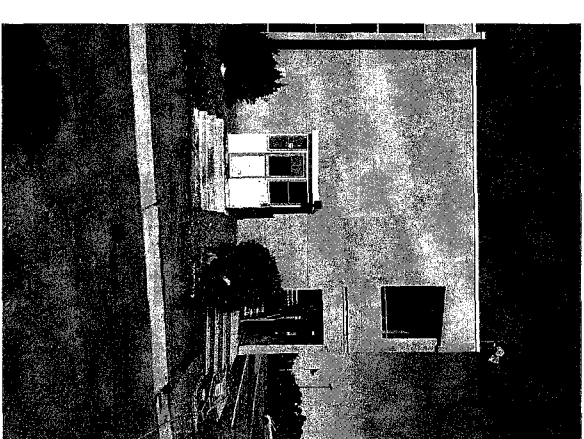
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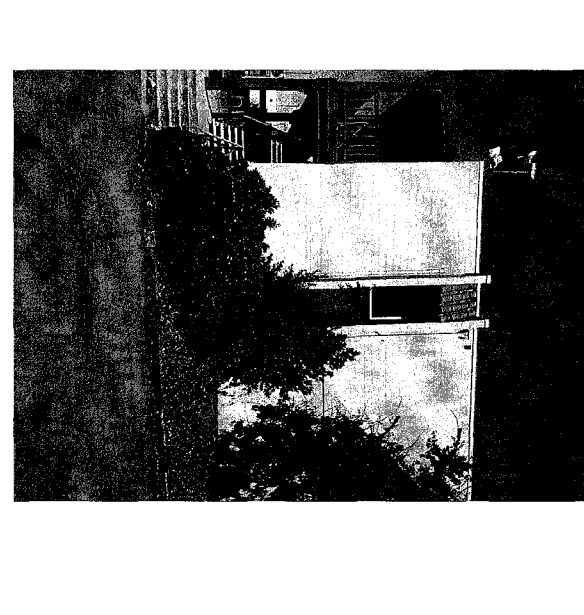
2 PHOTO 14



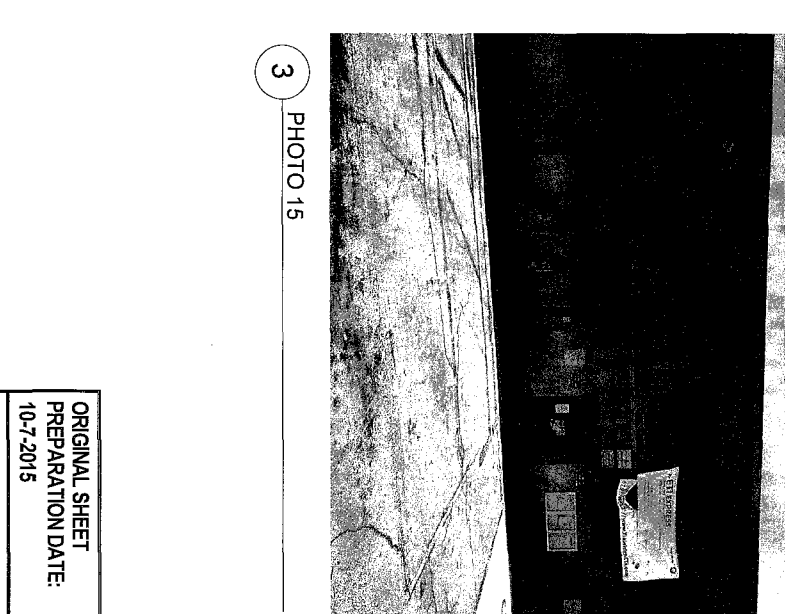
12 PHOTO 24



9 PHOTO 21



6 PHOTO 18



3 PHOTO 15

ORIGINAL SHEET
PREPARATION DATE:
10-7-2015
SHEET REVISION DATE:
10/7/2015



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9-15-2015	PRELIMINARY REVIEW
10-7-2015	CFP
11-4-2015	DETA 1
2-09-2016	DETA 2
4-29-2016	DETA 3
6-17-2016	DETA 4
8-22-2016	DETA 5

LA PETITE ECOLE
8401 AERO DRIVE
SAN DIEGO, CA 92123

PROJECT NO:
2015083
SHEET TITLE:
PHOTOGRAPHIC
SURVEY

SHEET NO:

A1.2

SHEET NO. 5 OF 11



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9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5

LA PETITE ECOLE
 8401 AERO DRIVE
 SAN DIEGO, CA 92123

PROJECT NO:
 2015083
 SHEET TITLE:
 FLOOR PLAN
 FIRST FLOOR

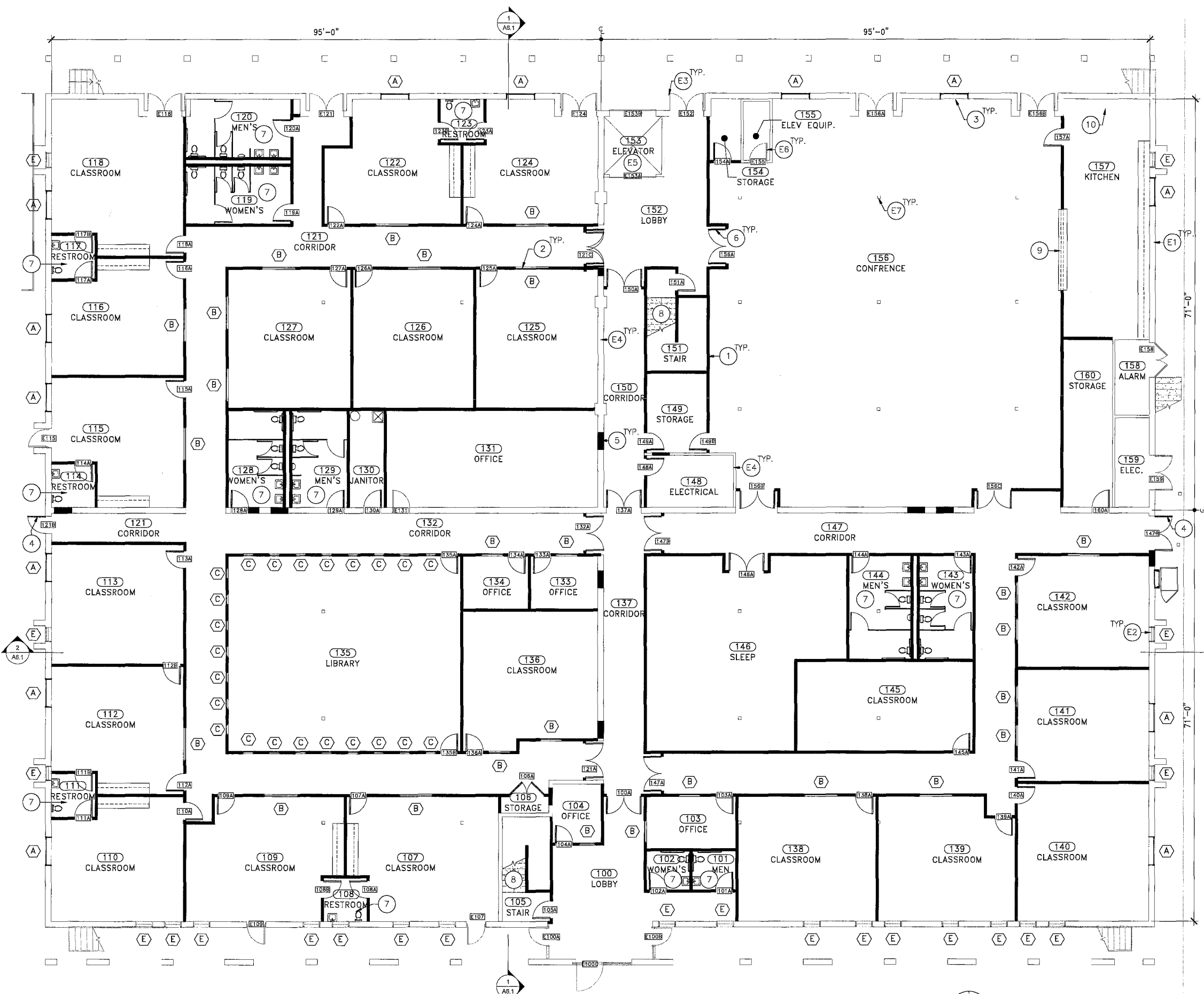
SHEET NO:
A2.1
 SHEET NO: 6 OF 11

KEYNOTES: FLOOR PLAN

- (E1) EXISTING EXTERIOR WALL TO REMAIN, TYPICAL
- (E2) EXISTING EXTERIOR WINDOW TO REMAIN, TYPICAL
- (E3) EXISTING EXTERIOR DOOR TO REMAIN, TYPICAL
- (E4) EXISTING INTERIOR WALL TO REMAIN, TYPICAL
- (E5) EXISTING ELEVATOR PROVIDING ADA ACCESS TO SECOND FLOOR TO REMAIN
- (E6) EXISTING INTERIOR DOOR TO REMAIN, TYPICAL
- (E7) EXISTING STRUCTURAL COLUMN TO REMAIN, TYPICAL
- (1) HATCH INDICATES LOCATION NEW FULL HEIGHT INTERIOR PARTITION WALL, TYPICAL
- (2) NEW INTERIOR WINDOW, TYPICAL
- (3) NEW EXTERIOR WINDOW, TYPICAL
- (4) NEW EXTERIOR DOOR
- (5) INFILL HATCHED AREA WITH NEW WALL
- (6) NEW INTERIOR DOOR, TYPICAL
- (7) NEW ADA COMPLIANT RESTROOM
- (8) NEW ADA COMPLIANT STAIR AND HANDRAILS
- (9) PASSTHROUGH WINDOW
- (10) NEW PLUMBING FIXTURES

LEGEND

- (E) EXISTING EXTERIOR WINDOW TO REMAIN
- (A) NEW 5'X5' FIXED EXTERIOR WINDOW
- (B) NEW FIXED INTERIOR WINDOW, 4' HIGH, WIDTH VARIES
- NEW WALL
- - - - - EXISTING WALL



1 FLOOR PLAN - FIRST FLOOR
 1/8" = 1'-0"



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9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5

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SAN DIEGO, CA 92123

PROJECT NO:
2015083

SHEET TITLE:
FLOOR PLAN
SECOND FLOOR

SHEET NO:

A2.2

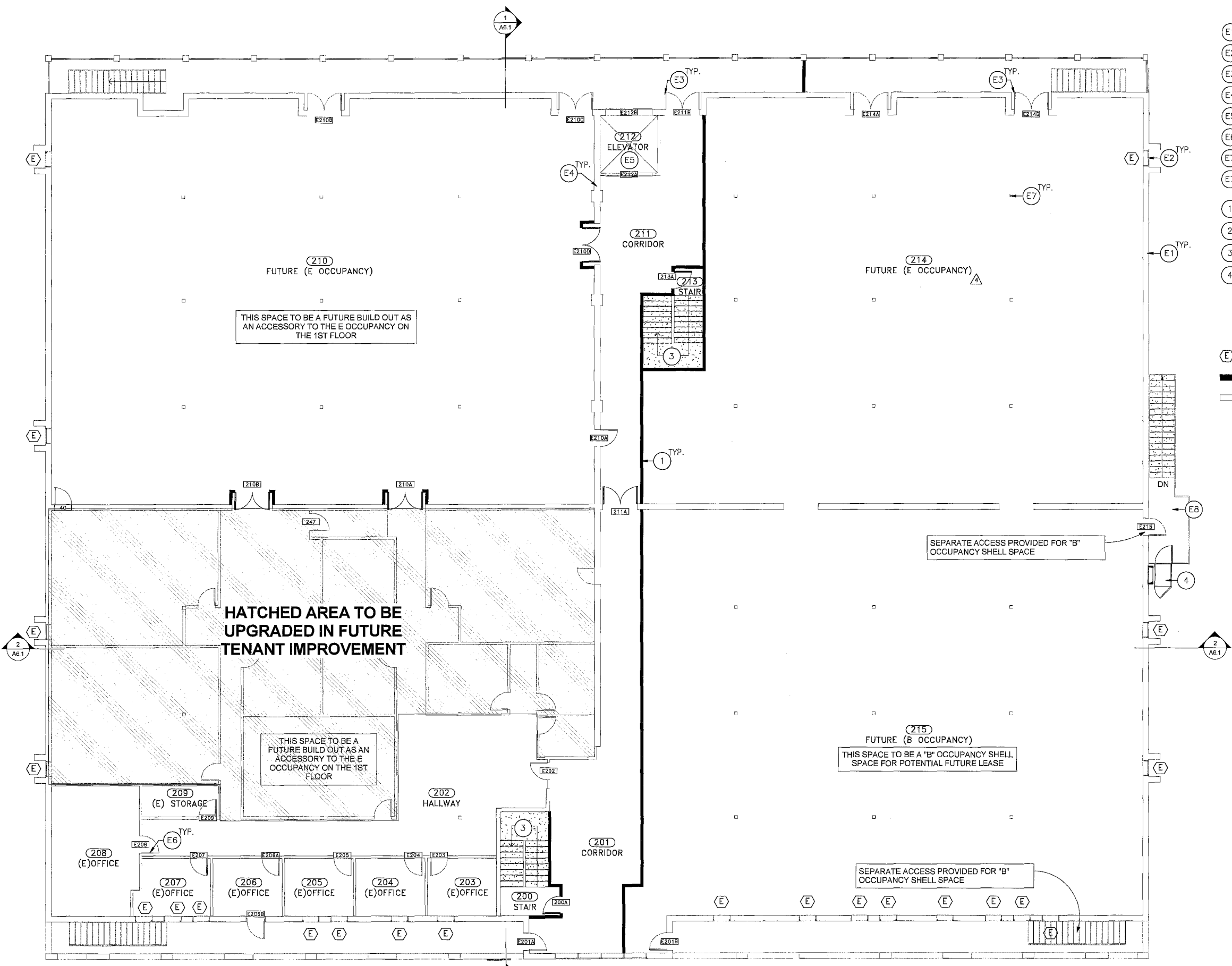
SHEET NO: 7 OF 11

KEYNOTES: FLOOR PLAN

- (E1) EXISTING EXTERIOR WALL TO REMAIN, TYPICAL
- (E2) EXISTING EXTERIOR WINDOW TO REMAIN, TYPICAL
- (E3) EXISTING EXTERIOR DOOR TO REMAIN, TYPICAL
- (E4) EXISTING INTERIOR WALL TO REMAIN, TYPICAL
- (E5) EXISTING ELEVATOR PROVIDING ADA ACCESS TO FIRST FLOOR TO REMAIN
- (E6) EXISTING INTERIOR DOOR TO REMAIN, TYPICAL
- (E7) EXISTING STRUCTURAL COLUMN TO REMAIN, TYPICAL
- (E7) EXISTING STAIR TO REMAIN
- ① HATCH INDICATES LOCATION NEW FULL HEIGHT INTERIOR PARTITION WALL, TYPICAL
- ② NEW INTERIOR DOOR, TYPICAL
- ③ NEW ADA COMPLAINT STAIR AND HANDRAILS
- ④ NEW ADA COMPLAINT CHAIR LIFT TO PROVIDE ACCESS TO THE SECOND FLOOR

LEGEND

- (E) EXISTING EXTERIOR WINDOW TO REMAIN
- NEW WALL
- EXISTING WALL



1 FLOOR PLAN - SECOND FLOOR
1/8" = 1'-0"

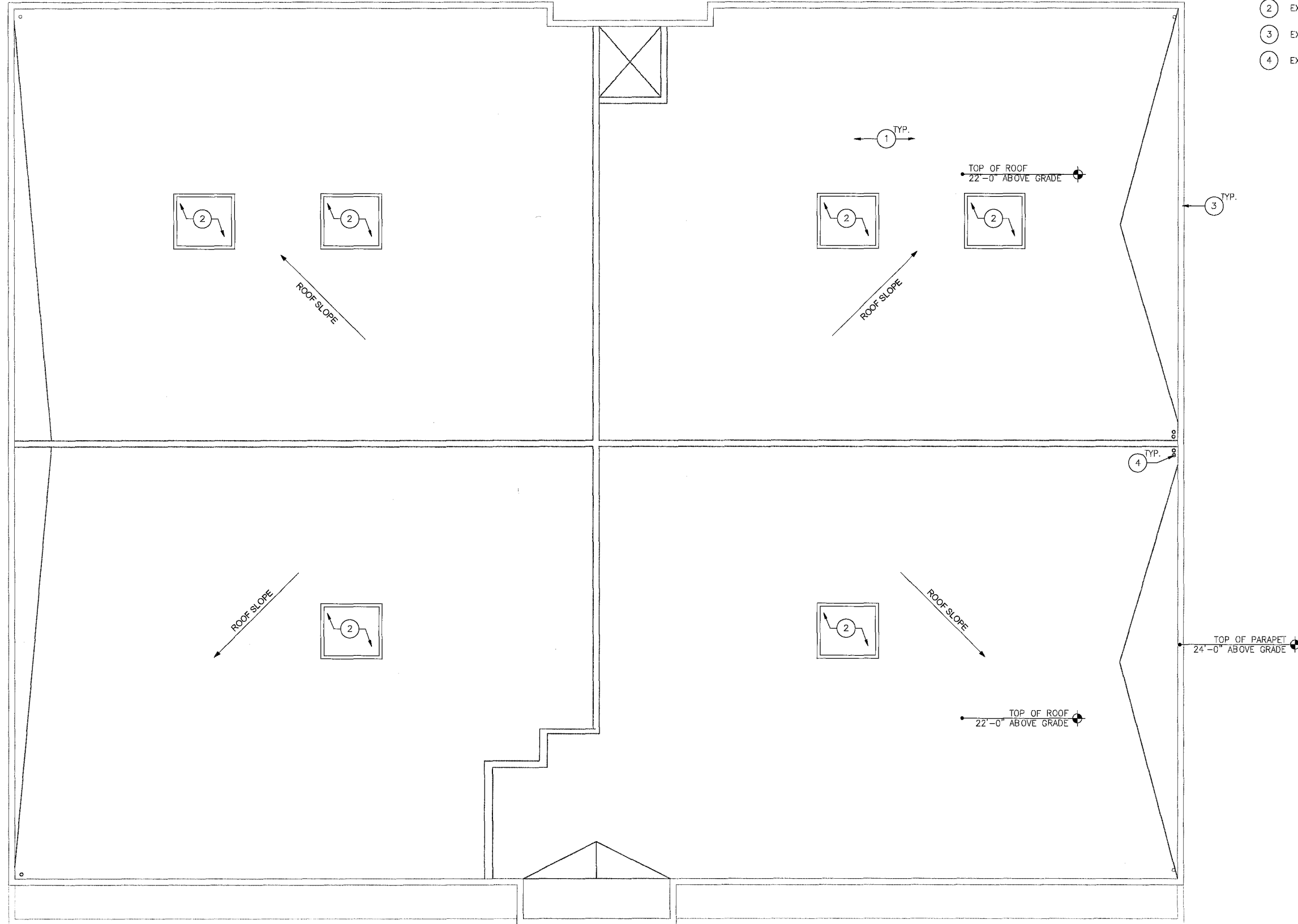


ORIGINAL SHEET
PREPARATION DATE:
10-7-2015

SHEET REVISION DATE:
10/17/2016

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KEYNOTES: ROOF PLAN

- ① EXISTING ROOF SURFACE TO REMAIN, TYPICAL
- ② EXISTING ROOF MECHANICAL UNIT TO REMAIN
- ③ EXISTING PARAPET TO REMAIN, TYPICAL
- ④ EXISTING ROOF DRAIN TO REMAIN, TYPICAL



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ALL WORK SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT IF THE ARCHITECT IS NOT THE ARCHITECT OF RECORD FOR THE PROJECT.



9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
9-22-2016	DELTA 5

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PROJECT NO:
 2015083
 SHEET TITLE:
 ROOF PLAN

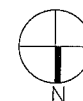
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A4.1

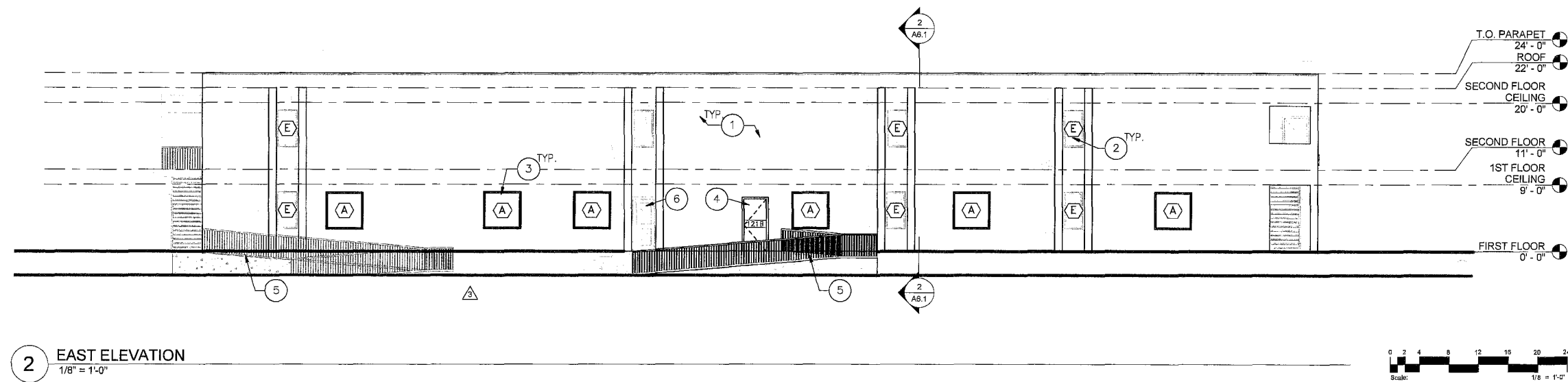
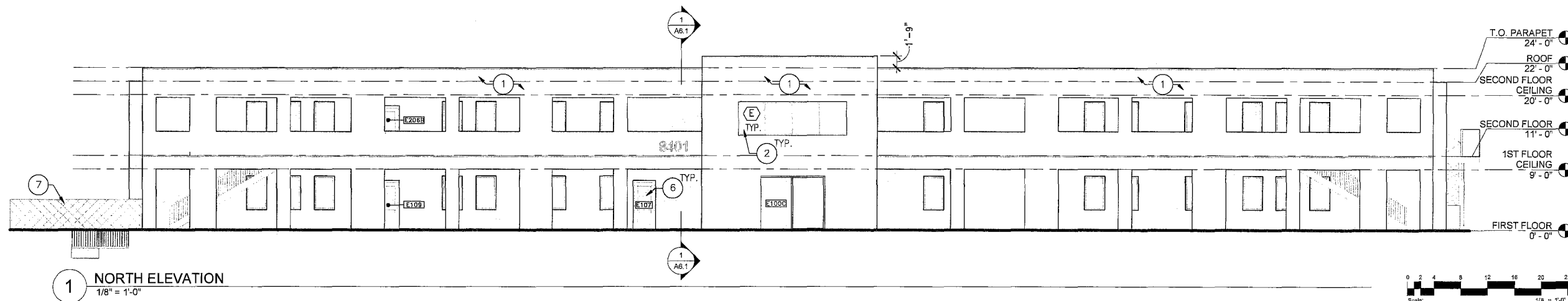
SHEET NO: 8 OF 11

ORIGINAL SHEET
 PREPARATION DATE:
 10-7-2015
 SHEET REVISION DATE:
 10/7/2015

1 ROOF
 1/8" = 1'-0"



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KEYNOTES ELEVATIONS

- ① PAINT EXISTING EXTERIOR STUCCO WALLS & COLUMNS, TYPICAL
- ② EXISTING EXTERIOR WINDOW TO REMAIN, TYPICAL
- ③ NEW 5X5' FXED EXTERIOR WINDOW
- ④ NEW EXTERIOR DOOR
- ⑤ NEW CONCRETE RAMP WITH HANDRAILS
- ⑥ EXISTING EXTERIOR DOOR TO REMAIN, TYPICAL
- ⑦ 4'-0" HIGH CHAIN LINK FENCE

LEGEND

- Ⓔ EXISTING EXTERIOR WINDOW TO REMAIN
- Ⓐ NEW FIXED 5'X5' EXTERIOR WINDOW, WIDTH VARIES



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9-15-2015	PRELIMINARY REVIEW
10-7-2015	CMP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5

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PROJECT NO:
 2015083
 SHEET TITLE:
 EXTERIOR ELEVATIONS

SHEET NO:
A5.1
 SHEET NO: 9 OF 11

ORIGINAL SHEET
 PREPARATION DATE:
 10-7-2015
 SHEET REVISION DATE:
 4-25-2016



9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-06-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5

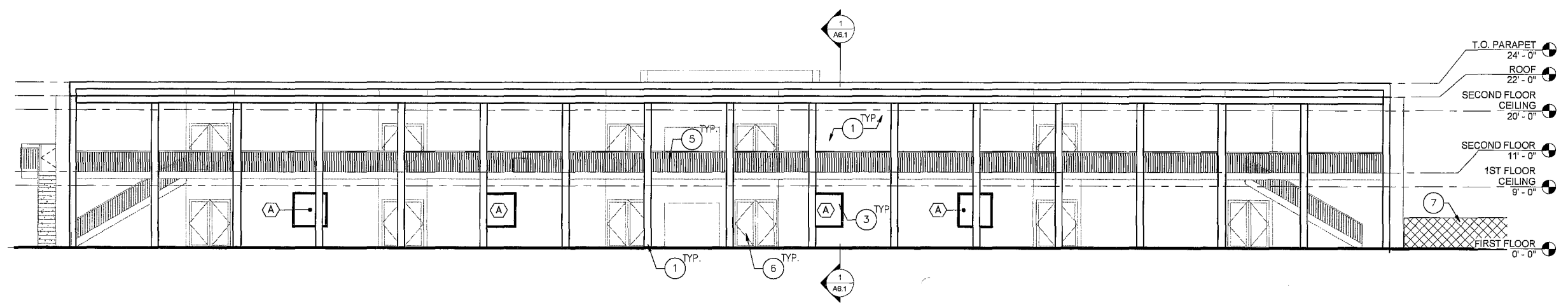
LA PETITE ECOLE
 8401 AERO DRIVE
 SAN DIEGO, CA 92123

PROJECT NO:
2015083
 SHEET TITLE:
EXTERIOR ELEVATIONS

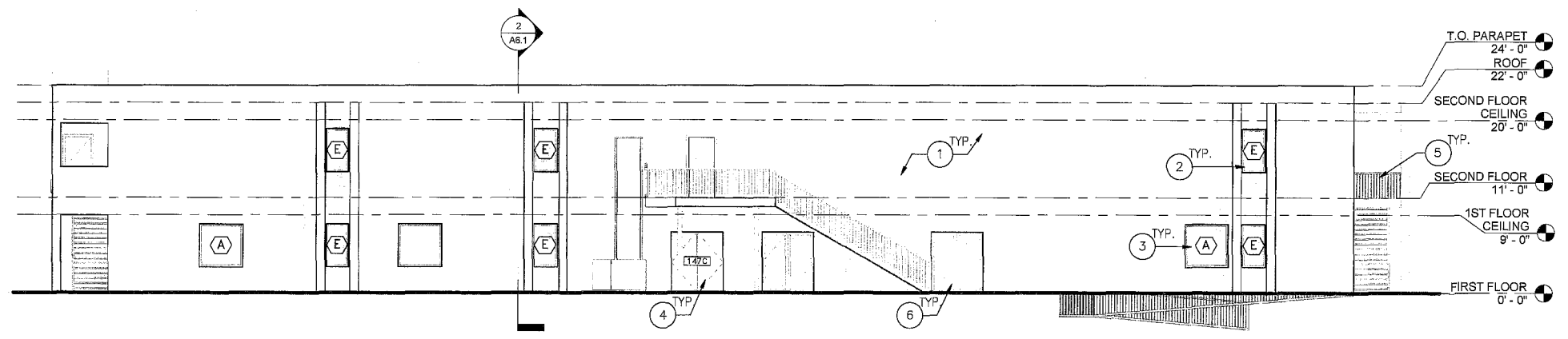
SHEET NO:

A5.2

SHEET NO: 10 OF 11



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

State of California Child Care Parking Requirements
 Infants (0 - 18mo.) = 1 staff / 4 children
 Toddlers (18 - 36 mo.) = 1 staff / 6 children
 Pre-school (36 mo. - 5 yrs) = 1 staff / 12 students
 K - 9th grade = 1 staff / 14 students
 10th - 12th grade = 1 space / 5 students
 (Accessory Office): 3.3 space/1,000 SF

City Parking Requirements
 (Commercial Offices) 5 spaces/1,000 SF

First phase parking counts

# Classes	Grade	Students/Class	Total per grade	Teachers Per Grade
1	Toddler	6	12	2
2	Preschool	12	24	2
3	Pre-kindergarten	12	36	3
2	Kindergarten	14	28	2
2	1st grade	10	20	2
2	2nd grade	12	24	2
1	3rd grade	18	18	2
1	4th grade	11	11	1
1	5th grade	10	10	1
1	6th grade	2	2	1
TOTAL			183	18

6,125 SF COMMERCIAL OFFICES 2ND FLOOR 31 SPACES REQUIRED
 12,500 SF OFFICES (ACCESSORY TO E) 42 SPACES REQUIRED
 TODDLER (12 students / 6 = 2) 2 SPACES REQUIRED
 PRESCHOOL (58 students / 12 = 4.83) 5 SPACES REQUIRED
 GRADES K - 9 (113 students / 14 = 8.07) 10 SPACES REQUIRED
 OFFICE 1ST FLOOR (976 SF) 4 SPACES REQUIRED
TOTAL REQUIRED 94 TOTAL
 PARKING PROVIDED: 140 - 6 ADA

State of California Child Care Parking Requirements
 Infants (0 - 18mo.) = 1 staff / 4 children
 Toddlers (18 - 36 mo.) = 1 staff / 6 children
 Pre-school (36 mo. - 5 yrs) = 1 staff / 12 students
 K - 9th grade = 1 staff / 14 students
 10th - 12th grade = 1 space / 5 students
 (Accessory Office): 3.3 space/1,000 SF

City Parking Requirements
 (Commercial Offices) 5 spaces/1,000 SF

Second Phase parking counts

# Classes	Grade	Students/Class	Total Per Grade	Teachers Per Grade
1	Toddler	6	12	2
2	Preschool	12	24	2
3	Pre-K	12	36	3
3	Kindergarten	12	36	3
3	1st grade	12	36	3
3	2nd grade	12	36	3
3	3rd grade	12	36	3
3	4th grade	12	36	3
3	5th grade	12	36	3
1	6th grade	3	3	1
1	7th grade	3	3	1
1	8th grade	3	3	1
Total			297	28

6,125 SF COMMERCIAL OFFICES 2ND FLOOR 31 SPACES REQUIRED
 4,000 SF OFFICES (ACCESSORY TO E) 14 SPACES REQUIRED
 TODDLER (12 students / 6 = 2) 2 SPACES REQUIRED
 PRESCHOOL (60 students / 12 = 5) 5 SPACES REQUIRED
 GRADES K - 9 (225 students / 14 = 16.07) 17 SPACES REQUIRED
 OFFICE 1ST FLOOR (976 SF) 4 SPACES REQUIRED
TOTAL REQUIRED 73 TOTAL
 PARKING PROVIDED: 140 - 6 ADA

State of California Child Care Parking Requirements
 Infants (0 - 18mo.) = 1 staff / 4 children
 Toddlers (18 - 36 mo.) = 1 staff / 6 children
 Pre-school (36 mo. - 5 yrs) = 1 staff / 12 students
 K - 9th grade = 1 staff / 14 students
 10th - 12th grade = 1 space / 5 students
 (Accessory Office): 3.3 space/1,000 SF

City Parking Requirements
 (Commercial Offices) 5 spaces/1,000 SF

Third Phase parking counts

# Classes	Grade	kids/class	Total/level	Teachers Per Grade
3	Toddler	6	36	6
3	Preschool	12	36	3
4	Pre-k - Junior K	12	48	4
4	Kindergarten	12	48	4
4	1st grade	12	48	4
4	2nd grade	12	48	4
4	3rd grade	12	48	4
4	4th grade	12	48	4
4	5th grade	12	48	4
2	6th grade	12	24	2
2	7th grade	12	24	2
2	8th grade	12	24	2
2	9th grade	12	24	2
1	10th grade	12	12	1
1	11th grade	12	12	1
1	12th grade	12	12	1
45 classes			540	48

4,000 SF OFFICES (ACCESSORY TO E) 14 SPACES REQUIRED
 TODDLER (36 students / 6 = 6) 6 SPACES REQUIRED
 PRESCHOOL (84 students / 12 = 7) 7 SPACES REQUIRED
 GRADES K - 9 (384 students / 14 = 27.4) 28 SPACES REQUIRED
 GRADES 10-12 (36 STUDENTS/6) 6 SPACES REQUIRED
TOTAL REQUIRED 63 TOTAL
 PARKING PROVIDED: 140 - 6 ADA

KEYNOTES ELEVATIONS

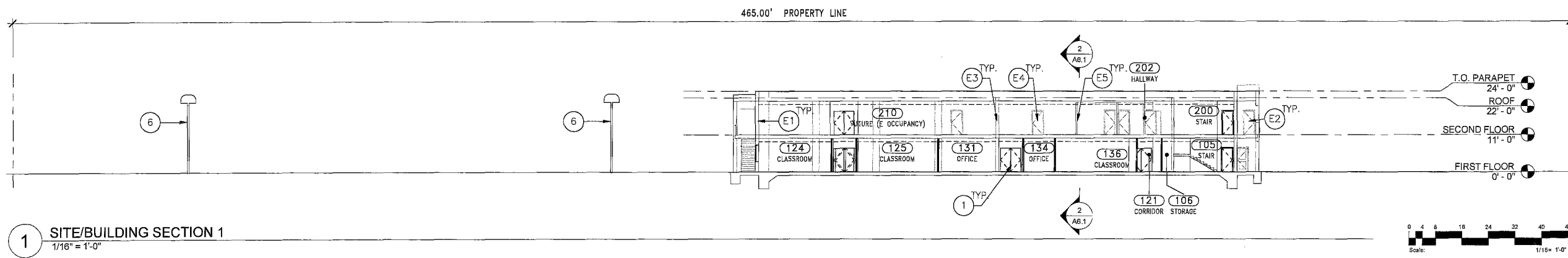
- ① PAINT EXISTING EXTERIOR STUCCO WALLS & COLUMNS, TYPICAL
- ② EXISTING EXTERIOR WINDOW TO REMAIN, TYPICAL
- ③ NEW 5X5' FXED EXTERIOR WINDOW
- ④ NEW EXTERIOR DOOR
- ⑤ NEW GAURD RAIL TOP @ 42" A.F.F. TYPICAL
- ⑥ EXISTING EXTERIOR DOOR TO REMAIN, TYPICAL
- ⑦ 4'-0" HIGH CHAIN LINK FENCE

LEGEND

- (E) EXISTING EXTERIOR WINDOW TO REMAIN
- (A) NEW FIXED 5'X5' EXTERIOR WINDOW, WIDTH VARIES

ORIGINAL SHEET PREPARATION DATE:
10-7-2015
 SHEET REVISION DATE:
8-22-2016

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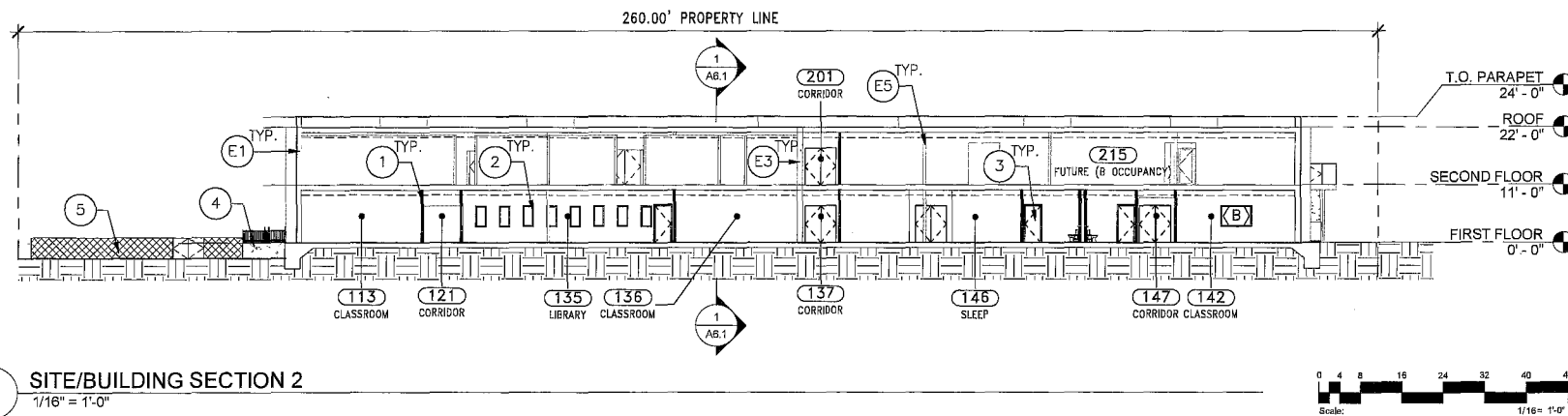
1 SITE/BUILDING SECTION 1
1/16" = 1'-0"

KEYNOTES: SITE SECTIONS

- E1 EXISTING EXTERIOR WALL TO REMAIN, TYPICAL
- E2 EXISTING EXTERIOR DOOR TO REMAIN, TYPICAL
- E3 EXISTING INTERIOR WALL TO REMAIN, TYPICAL
- E4 EXISTING INTERIOR DOOR TO REMAIN, TYPICAL
- E5 EXISTING STRUCTURAL COLUMN TO REMAIN, TYPICAL
- 1 HATCH INDICATES LOCATION NEW FULL HEIGHT INTERIOR PARTITION WALL, TYPICAL
- 2 NEW INTERIOR WINDOW, TYPICAL
- 3 NEW INTERIOR DOOR, TYPICAL
- 4 NEW CONCRETE RAMP WITH HANDRAILS
- 5 NEW 4'-0" HIGH CHAIN LINK FENCE
- 6 NEW LIGHT POLE

LEGEND

- NEW WALL
- EXISTING WALL



2 SITE/BUILDING SECTION 2
1/16" = 1'-0"

08



SAN DIEGO COMMUNITY COLLEGE DISTRICT

1075 La Jolla Village Road
San Diego, California 92161, 3845
619-594-9100
4219 COLLEGE | MESA COLLEGE | MIRAMAR COLLEGE | CONTINUING EDUCATION

Facilities Management
Vice President
Operations Director
Maintenance Management
Real Estate Director
619-594-6546
619-598-6509

October 26, 2015

Lycée Français et International of San Diego
Attn: Thierry Pasquet, Director
3219 Chateaufort Mesa Boulevard
San Diego, CA 92117

Ladies and Gentlemen:

This letter is to express the intent of the San Diego Community College District (District) to grant an easement for the benefit of La Petite Ecole across the eastern edge of the property located at 8355 Aero Drive for the purpose of granting vehicular access to the neighboring property located at 8401 Aero Drive. The easement will allow nonexclusive use of the existing driveway that runs between the two properties and connects with both Aero Place on the south and Aero Drive Frontage Road on the north.

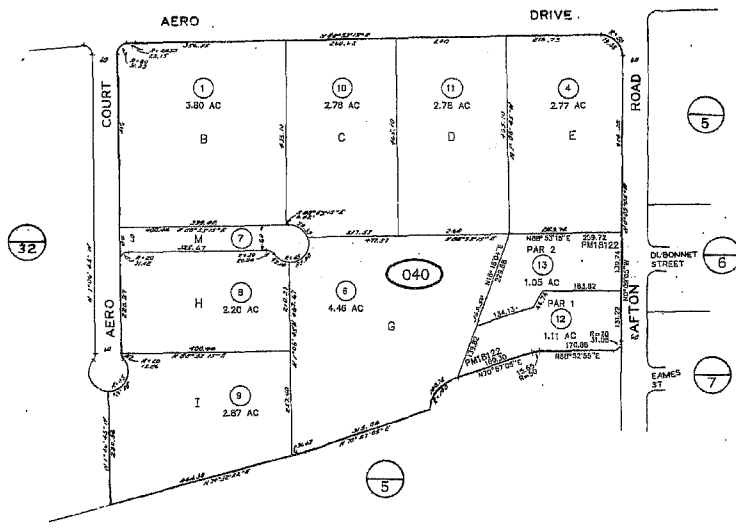
The creation of the easement shall be conditioned on the successful negotiation of the terms of a lease between the District and La Petite Ecole for the property located at 8401 Aero Drive and the easement shall exist for the duration of that lease.

Should you have any questions, please contact me or David Backensto at 619-388-6546.

Sincerely,

Christopher Manis
Vice Chancellor, Facilities Management

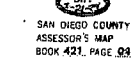
cc: Mike Conger, ECP Commercial
David Backensto, SDCCD



10/19/98 SM

BLK	OLD	NEW	CUT
040	2	10	11/24/72
	3	11/50	76/3/80
	5	11/50	77/5/80
	7	11/50	77/5/80
	8	12/10	93/1/81

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.



3 ASSESSORS MAP

MAP 3568 - RESEARCH PARK
NOV 03 1998



DATE	REVISION
9-15-2015	PRELIMINARY REVIEW
10-7-2015	CUP
11-4-2015	DELTA 1
2-08-2016	DELTA 2
4-25-2016	DELTA 3
6-17-2016	DELTA 4
8-22-2016	DELTA 5

LA PETITE ECOLE
8401 AERO DRIVE
SAN DIEGO, CA 92123

PROJECT NO:
2015083

SHEET TITLE:
SITE SECTIONS & ASSESSORS MAP

SHEET NO:

ORIGINAL SHEET PREPARATION DATE:
10-7-2015

SHEET REVISION DATE:
2-08-2016

A6.1
SHEET NO: 11 OF 11

PROJECT DATA SHEET		
PROJECT NAME:	LPE AERO CUP	
PROJECT DESCRIPTION:	Private kindergarten through twelfth grade educational facility at a 2.76-acre site in the IP-2-1 zone located at 8401-8461 Aero Drive.	
COMMUNITY PLAN AREA:	Kearny Mesa	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial uses and business parks	
<u>ZONING INFORMATION:</u>		
ZONE: IP-2-1 zone HEIGHT LIMIT: No height limit LOT SIZE: 40,000 minimum LOT COVERAGE: N/A FRONT SETBACK: 20' minimum - 25' standard SIDE SETBACK: 15' minimum STREETSIDE SETBACK: N/A REAR SETBACK: 25' PARKING: 94		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	General Aviation Airport; Unzoned	Montgomery Field
SOUTH:	Industrial uses and business parks; IP-2-1	Industrial uses and business parks
EAST:	Industrial uses and business parks; IP-2-1	Industrial uses and business parks
WEST:	Industrial uses and business parks; IP-2-1	Industrial uses and business parks
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 19, 2016, the Kearny Mesa Community Planning group voted 8:0:1 to recommend approval of the project.	

RESOLUTION NUMBER R- [REDACTED]

ADOPTED ON January 18, 2017

WHEREAS, on November 9, 2015, Thierry Pasquet submitted an application to Development Services Department for a Conditional Use Permit for the LPE AERO CUP (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and WHEREAS, the issue was heard by the Hearing Officer on January 18, 2017 and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 449777 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the

changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
John S. Fisher

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

DRAFT

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

CUP

PROJECT NO. 449777

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 449777 shall be made conditions of the CUP as may be further described below.

I. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. GENERAL REQUIREMENTS – PART I**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II**Post Plan Check (After permit issuance/Prior to start of construction)**

1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

None

Note:

Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) #449777 and /or Environmental Document #449777, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency. **Not Applicable**

4. MONITORING EXHIBITS

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE:

Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be

required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Traffic

The owner/permittee shall pay a fair share of 21.5% towards the impacted segment of Aero Drive (being approximately 750 feet of the overall 3,370 feet of improvements identified in KM-T20 in the Kearny Mesa Public Facilities Financing Plan) when enrollment of 449 students is reached, satisfactory to the City Engineer. As part of the mitigation measure, the Owner/Permittee shall submit the student enrollment figure each year to the City Engineer/Transportation Development by September 15th. With mitigation measures in place traffic impacts would be less than significant.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.