



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 8, 2017 REPORT NO. HO-17-005

HEARING DATE: February 15, 2017

SUBJECT: ESTEREL DRIVE. Process Three Decision

PROJECT NUMBER: [480979](#)

OWNER/APPLICANT: ESTEREL PLACE, LLC/Permit Solutions

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single dwelling unit and construction of a single dwelling unit, with a companion unit totaling 6,129 square feet within the La Jolla Community Planning area?

Staff Recommendation:

Approve Site Development Permit No.1692188.

Community Planning Group Recommendation: On July 7, 2016 the La Jolla Project Review Committee, voted 5-0-0 to recommend approval of the proposed project without conditions/recommendations. On August 4, 2016, the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the proposed project without conditions/recommendations.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on November 10, 2016, and the opportunity to appeal that determination ended November 29, 2016.

BACKGROUND

Project Description:

The project proposes to demolish an existing single dwelling unit and to construct a single dwelling unit, with a companion unit totaling 6,129 square feet. The 0.49-acre project site is located at 7734

Esterel Drive within the La Jolla Shores Planned District (LJSPD)-SF Zone of the La Jolla Shores PDO (LJSPDO), within the La Jolla Community Plan and Local Coastal Program area, and the Coastal Height Limitation Overlay Zone. The project site is designated for very low density (0-5 Dwelling Units/acre) residential in the La Jolla Community Plan (LJCP).

A La Jolla Shores Planned District Permit issued as a Site Development Permit per SDMC Section [1510.0201](#) is required for the addition and alteration of any existing structure within the La Jolla Shores Planned District. An application for a La Jolla Shores Planned District Permit, including fees or deposits, shall be processed in the same manner as an application for a Site Development Permit, in accordance with SDMC Section [112.05.01](#) (Required Steps in Processing) and [126.05.01](#) (Site Development Permit Procedures).

DISCUSSION

The Hearing Officer may approve a Site Development Permit if the Findings of the San Diego Municipal Code Section 126.0504 can be affirmed. The project must show consistency with the applicable community plan, not be detrimental to health, safety, and welfare, and be comparable with the land development code requirements.

The building walls proposed consist of a mixture of earth-tone stucco, wood siding and stone to create variety textures but consistent with the surrounding neighborhood. The site consists of decorative concrete drives, stone paver walkways and stone paver exterior patios. The house was designed with a structure following the grade of the site with a low profile roof to protect the scenic vistas to the ocean from the surrounding neighborhood. The proposed project setback of fifteen (15) feet conforms to the general setback of fifteen (15) to forty (40) feet of the homes in the surrounding neighborhood. The site is identified as single-family in the La Jolla Shores Community Plan.

Staff has reviewed the proposed development and determined that the proposed design, form, and citing of the proposal, integrates with the surrounding neighborhood, consistent with the goals and policies of the La Jolla Community Plan theme of unity with variety. The residences within the immediate area are diverse in their sizes, number of stories, and heights.

The proposed demolition of an existing single dwelling unit and construction of a single dwelling unit, with a companion unit for a total of 6,129 square feet conforms to all of the development standards of the La Jolla Shores Planned District Ordinance (LJSPDO) which includes, height, landscape, and architectural design. Setbacks fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the vicinity.

Community Plan Analysis:

The project site is located at 7734 Esterel Drive in the La Jolla Shores Planned District (LJSPD)-SF Zone of the La Jolla Shores PDO (LJSPDO) and the La Jolla Community Plan (LJCP). The project site is located within an urbanized area of the La Jolla community. The site is immediately adjacent to a two-story multi-family dwelling unit complex to the west, a two-story multi-family dwelling unit building to the south, and a two-story single family dwelling unit to the east.

The LJSPDO does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the LJSPDO contains language in the General Design regulations which references the character of the area and design principles. Pursuant to San Diego Municipal Code (SDMC) Section 1510.0304(b)(4), structure setbacks shall be in general conformity with those in the vicinity. A lot survey of the lot sizes, gross floor area, and setbacks within a 300' radius of the proposed project has been provided. The survey also contains photographs and addresses of the site and adjacent properties. The maximum allowable Lot Coverage is 0.60 in the SF zone of the La Jolla Shores Planned District per Section 1510.0304(d). The project appears to be in general conformity with the surrounding neighborhood.

The La Jolla Community Plan does not identify any existing or proposed public accessway on or adjacent to the site, nor, a view corridor on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property.

The proposed project and required public improvements are consistent with the policies, goals, and objectives of the applicable land use plan. The proposed project complies with all applicable development regulations of the Shores Planned District (LJSPD)-SF Zone of the La Jolla Shores PDO (LJSPDO) and the La Jolla Community Plan (LJCP), including height, setback, density, landscaping, and parking and would remain consistent with the La Jolla Community Plan. The project as proposed bulk and scale requirements will remain in general conformity with those in the vicinity.

Therefore, the development will be in conformity with the land use plan and complies with all regulations.

ALTERNATIVES

1. Approve Site Development Permit No. 1692188, with modifications.
2. Deny Site Development Permit No. 1692188, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Gaetano Martedi
Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings

6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans

Shores Tower
Owners Association

Vacation Rentals by Jenn

Project Site

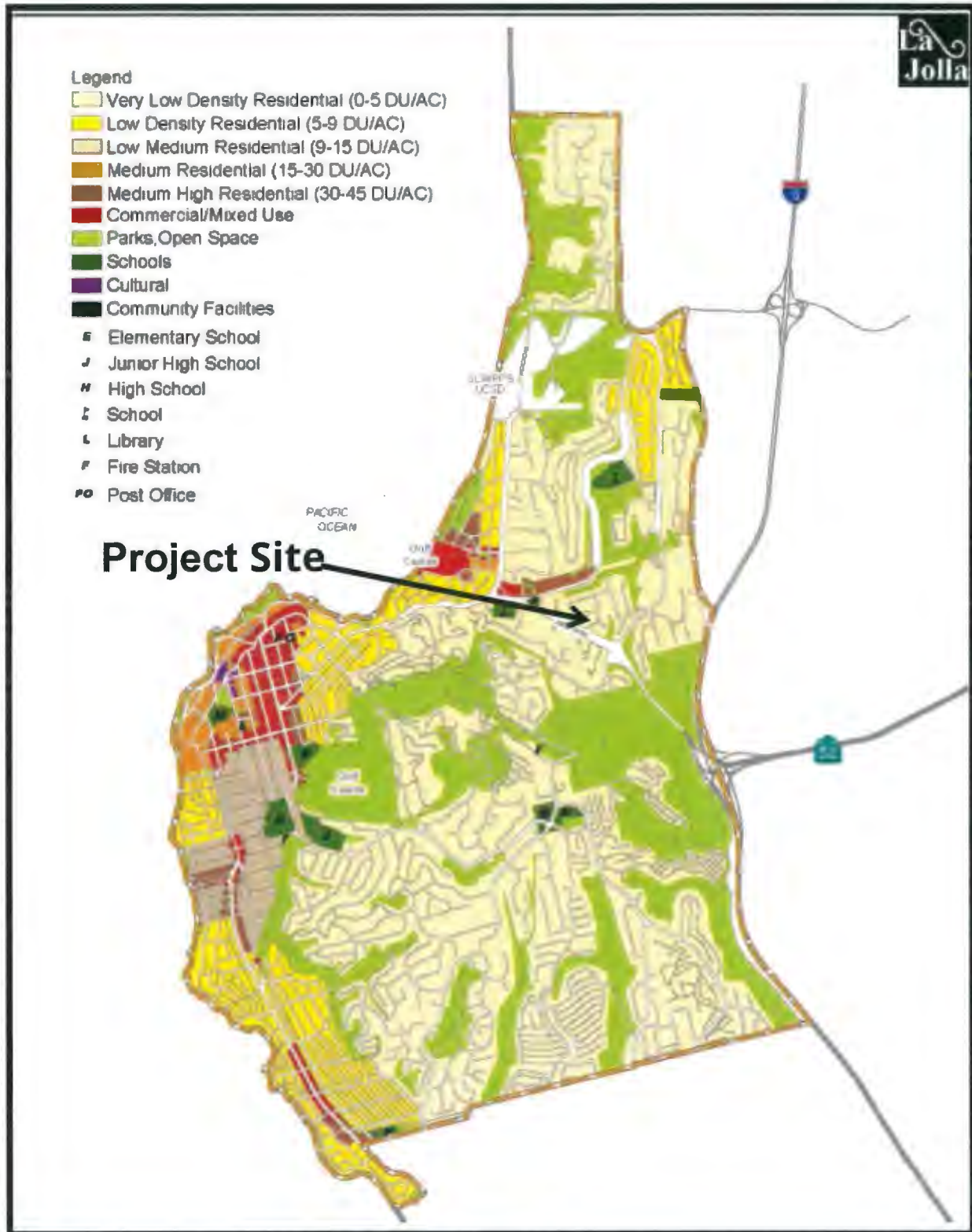


Project Location Map

Esterel Drive Site Development Permit/ 7734 Esterel Drive
PROJECT NO. 480979

North





Land Use Map

Esterel Drive Site Development Permit/ 7734 Esterel Drive
PROJECT NO. 480979





Aerial Photo

Esterel Drive Site Development Permit / 7734 Esterel Drive
PROJECT NO. 480979



PROJECT DATA SHEET		
PROJECT NAME:	ESTEREL DRIVE	
PROJECT DESCRIPTION:	Demolition of an existing single dwelling unit and construction of a single dwelling unit with a companion unit with a total of 6,129 square feet located at 7734 Esterel Drive.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Site Development Permit Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Very low density residential at 0-5 dwelling units per acre (du/ acre) in the La Jolla Community Plan and Local Coastal Program.	
<p style="text-align: center;">ZONING INFORMATION:</p> <p>ZONE: LJSPD-SF Zone</p> <p>HEIGHT LIMIT: 30 feet</p> <p>LOT SIZE: 0.49 acres</p> <p>FLOOR AREA RATIO: N/A</p> <p>FRONT SETBACK: In conformance to La Jolla Planned District Bulk & Scale & Setbacks</p> <p>SIDE SETBACK: In conformance to La Jolla Planned District Bulk & Scale & Setbacks</p> <p>STREETSIDE SETBACK: In conformance to La Jolla Planned District Bulk & Scale & Setbacks</p> <p>REAR SETBACK: In conformance to La Jolla Planned District Bulk & Scale & Setbacks</p> <p>PARKING: N/A</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	LJSPD-SF Zone	Single Family Residential
SOUTH:	LJSPD-SF Zone	Single Family Residential
EAST:	LJSPD-SF Zone	Single Family Residential
WEST:	LJSPD-SF Zone	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 4, 2016, the La Jolla Community Planning Group voted 13-0-1 to recommend approval of the proposed project without recommendations	

HEARING OFFICER
RESOLUTION NO. HO-
SITE DEVELOPMENT PERMIT NO. 1692188
ESTEREL DRIVE-PROJECT NO. 480979

WHEREAS, ESTEREL PLACE, LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single family dwelling and for the construction of a single dwelling unit with a companion unit with a total of 6,129 square-feet (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. APPROVAL NO. 1692188), on portions of a 0.49-acre-site;

WHEREAS, the project site is located at 7734 Esterel Drive in the Single Family (SF) Zone of the La Jolla Shores Planned District and the Coastal Height Limitation Overlay Zone of the La Jolla community Plan, within Council District 1;

WHEREAS, the project site is legally described as Lot 10 of Azure Coast, Unit No. 1 in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4995, filed in the Office of the County Recorder of San Diego County, June 20, 1962;

WHEREAS, on February 15, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1692188 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on November 10, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520. NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 15, 2017.

FINDINGS:

Site Development Permit Findings Section 126.0504:

1. The proposed development will not adversely affect the applicable land use plan.

The project site is designated very low density residential at 0-5 dwelling units per acre (du/acre) in the La Jolla Community Plan and Local Coastal Program. The project proposes the demolition of existing single dwelling unit and to construct a single dwelling unit with a companion unit with a total of 6,129 square feet on a 0.49-acre site maintaining a density of 2.04 du/acre. The La Jolla Community Plan contains policies addressing design principles and community character. The La Jolla Community Plan places importance on bulk and scale of the development. Staff's review of a survey of homes in the surrounding area determined

the project to be in conformance to bulk and scale and character of the surrounding homes, and the proposed setbacks for the project are also in general conformity with those in the vicinity.

The La Jolla Community Plan general theme is unity with variety. The building walls proposed consist of a mixture of earth-tone stucco, wood siding and stone to create variety textures but consistent with the surrounding neighborhood. The site consists of decorative concrete drives, stone paver walkways and stone paver exterior patios. The house was designed with a structure following the grade of the site with a low profile roof to protect the scenic vistas to the ocean from the surrounding neighborhood. The proposed project setback of fifteen (15) feet conforms to the general setback of fifteen (15) to forty (40) feet of the homes in the surrounding neighborhood.

The proposed design, form, and citing of the proposed development, and as designed, integrates with the surrounding neighborhood and are consistent with the goals and policies of the La Jolla Community Plan theme of unity with variety. Therefore, the proposed project will not adversely affect the La Jolla Community Plan Area.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project will incorporate construction Best Management Practices (BMP) necessary to comply with Chapter 14 Article 2, Division 1 of the San Diego Municipal Code. The project will prepare and implement a Water Pollution Control Plan in accordance with the guidelines in Appendix E of the City's Storm Water Standards. The project will enter into a Maintenance Agreement for ongoing permanent BMP maintenance. All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code requirements will be met through building permit review. Meeting these storm water and building code requirements ensure public health and safety.

Construction of a current City Standard twenty-foot wide driveway, and curb and gutter, adjacent to the site on Esterel Drive will also be included in the proposed project.

Therefore, the proposed project will not be detrimental to the public health safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 7734 Esterel Drive in the Single Family "SF" Zone of the La Jolla Shores Planned District within the La Jolla Community Plan and the Coastal Height Limitation Overlay Zone.

The Planned District Ordinance (PDO) does not contain quantitative restrictions on Gross Floor Area (GFA). Bulk and scale are regulated through maximum coverage and height, and an analysis of general conformity with the surrounding neighborhood per the policies of the La Jolla Community Planned District Ordinance (LJCPDO). The residences within the immediate area are diverse in their sizes, number of stories, and heights. The proposed

demolition of existing single dwelling unit and to construct a single dwelling unit with a companion unit with a total of 6,129 square-feet conforms to all of the development standards of the La Jolla Shores Planned District Ordinance which includes, height, landscape, and architectural design. The proposed project setback of fifteen (15) feet conforms to the general setback of fifteen (15) to forty (40) feet of the homes in the surrounding neighborhood. Setbacks fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the vicinity as required by the Land Development Code (LDC).

Companion units are defined as "a dwelling unit that is an accessory use for a single dwelling unit on a residential lot that provides complete living facilities, including a kitchen, independent of the primary dwelling unit." The Companion Unit provides these accessories and therefore conforms to San Diego Municipal Code (SDMC) Section 141.0302.

The project is not requesting nor does it require any deviations or variances from the applicable development regulation and policy documents. Therefore, the project is consistent with and complies with the development regulations of the "SF" zone and all other pertinent regulations of the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1692188 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. APPROVAL NO. 1692188, a copy of which is attached hereto and made a part hereof.

Gaetano Martedi
Development Project Manager
Development Services

Adopted on: February 15, 2017

IO#: 24006571

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006571

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1692188
ESTEREL DRIVE PROJECT NO. 480979
HEARING OFFICER

This Site Development Permit No. 1692188 is granted by the Hearing Officer of the City of San Diego to ESTEREL PLACE, LLC, Owner, pursuant to San Diego Municipal Code [SDMC] section 1510.0201 (La Jolla Shores Planned District Permit - Site Development Permit). The 0.49-acre site is located at 7734 Esterel Drive in the Single Family (SF) Zone of the La Jolla Shores Planned District and the Coastal Height Limitation Overlay Zone of the La Jolla community Plan, within Council District 1. The project site is legally described as: Lot 10 of Azure Coast, Unit No. 1 in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 4995, filed in the Office of the County Recorder of San Diego County, June 20, 1962.

The project shall include:

- a. The demolition of an existing single family dwelling and the construction of a single dwelling unit with a companion unit with a total of 6,129 square feet.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has

been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 1, 2020.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying

applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 280 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains in the Esterel Drive Right-of-Way.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of non-utilized driveway, with current City curb and gutter, adjacent to the site on Esterel Drive, satisfactory to the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 20-foot wide driveway, adjacent to the site on Esterel Drive, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

21. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

23. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per §142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

25. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

27. Owner/Permittee shall maintain a minimum of Three (3) (Two for single dwelling unit and One for companion unit) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

CLIMATE ACTION PLAN (CAP) REQUIREMENTS:

30. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

31. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 15, 2017 and HO- .

Site Development Permit No. 1692188
Date of Approval: February 15, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Gaetano Martedi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ESTEREL PLACE LLC
Owner/Permittee

By _____
Jeffrey Marks
Managing Member

By _____
Jane Marks
Managing Member

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: ☒ Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

☐ Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: ESTEREL DRIVE SDP

Project No. / SCH No.: 480979

Project Location-Specific: 7724 Esterel Drive, San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: SITE DEVELOPMENT PERMIT (SDP) for the demolition of an existing single family dwelling unit and the construction of a new single family dwelling unit with a companion unit totaling 6,129 square feet. The proposed project site is located at 7734 Esterel Drive, in the Single Family (SF) Zone of the La Jolla Shores Planned District, within the La Jolla community plan area and the Coastal Height Limitation Overlay Zone, Council District 1. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with all public utilities in place to serve the residence.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Brian Longmore, Permit Solutions PO Box 503943, San Diego, CA 92150, 858-603-9478

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: 15301 (Existing facilities) and 15303 (New construction)
- ☐ Statutory Exemptions:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures). The exemptions are appropriate because 15301 allows for the demolition of one single-family residence and 15303 allows for the construction of up to three single family residences. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

Lead Agency Contact Person: Courtney Holowach


Telephone: (619) 446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☒ No

ATTACHMENT 7

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 SENIOR PLANNER
Signature/Title

11/30/2016
Date

Check One:

☒ (X) Signed By Lead Agency

☐ () Signed by Applicant

Date Received for Filing with County Clerk or OFR:



To Whom It May Concern:

At the August 4th 2016 meeting of the La Jolla Community Association, the following project was approved:

7734 ESTEREL DRIVE 7734 Esterel Drive CONSENT CALENDAR

La Jolla (Process 3) Site Development Permit for the demolition of existing 2,136 sq ft single dwelling unit and construction of a single dwelling unit with a companion unit with total area of 6,129 square feet. The 0.53 acre site is at 7734 Esterel Drive in LJSPD-SF zone of the La Jolla community plan area within Council District 1.

PRC RECOMMENDATION: Findings can be made for a Site Development Permit. 5-0-0.

LCPA RECOMMENDATION: Motion to Approve Consent Agenda (Donovan/Steck) In favor: Ahern, Boyden, Brady, Collins, Courtney, Donovan, Emerson, Little, Rasmussen, Shannon, Steck, Weiss, Will. Abstain: Greatrex (Chair). Motion carries 13-0-1.

Thank you,

Cindy Greatrex
Chair



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Project No. For City Use Only

480979

Project Address:

7734 Estrel Dr., La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title: _____	Project No. (For City Use Only) 980977
----------------------	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General) What State? _____ Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print):
Estevael Place, LLC

☒ Owner ☐ Tenant/Lessee

Street Address:
2733 St. Laurent Place

City/State/Zip:
La Jolla, CA 92037

Phone No: (619) 261-7217 Fax No: (858) 546-1706

Name of Corporate Officer/Partner (type or print):
Jeffrey Marks

Title (type or print):
Manager

Signature: [Signature] Date: 3/23/2016

Corporate/Partnership Name (type or print): _____

☐ Owner ☐ Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

☐ Owner ☐ Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

☐ Owner ☐ Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

☐ Owner ☐ Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

☐ Owner ☐ Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

PROPOSED RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA
CALIFORNIA, 92037

DEVELOPMENT SUMMARY	VICINITY MAP																																										
<p>THIS PROJECT CONSISTS OF:</p> <p>1. THE DEMOLITION OF THE EXISTING RESIDENCE: 4 BEOROOM, 2 BATH, 2,136 SQ. FT. SPLIT LEVEL CALIFORNIA RANCH STYLE, SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.</p> <p>2. THE PROPOSED CONSTRUCTION OF NEW RESIDENCE, CONSISTING OF: FOYER, STUDY, KITCHEN, PANTRY, GREAT ROOM DINING, MASTER BEOROOM WITH MASTER BATHROOM AND A BALCONY, TWO BEOROOM, ONE GUEST BEOROOM, TWO AND HALF BATHROOM THREE DECKS, COMPANION UNIT AND GARAGE FOR THREE CARS.</p>																																											
<p>PROJECT DIRECTORY:</p> <p>OWNER: ESTEREL PLACE, LLC 2733 ST LAURENT PL LA JOLLA, CALIFORNIA 92037 PHONE: 858-922-8080 CONTACT: STEVE ROYCE</p> <p>ARCHITECT: MKA, INC. ARCHITECTURE & PLANNING 7510 CLAIREMONT MESA BLVD., SUITE 207 SAN DIEGO, CA. 92111 858-268-8176 phone 858-724-1556 fax 858-442-3513 mobile CONTACT: MICHAEL KINOSHITA - michaelk@mkainc.net</p> <p>CIVIL: K & S ENGINEERING, INC. 7801 MISSION CENTER COURT, SUITE 100 SAN DIEGO, CA. 92108 619-296-5555 phone CONTACT: HOSSEIN ZOMORRODI</p> <p>LANDSCAPE: HUTTER DESIGNS, INC. LANDSCAPE ARCHITECTS 3645 RUFFIN ROAD, SUITE 235 619-337-4044 phone 619-342-8528 fax CONTACT: STEVEN H. HUTTER</p>	<p>SHEET INDEX</p> <table><tbody><tr><td>1</td><td>T1</td><td>TITLE SHEET / PROJECT INFORMATION</td></tr><tr><td>2</td><td>A0.1</td><td>SITE PLAN</td></tr><tr><td>3</td><td>A1.1</td><td>FLOOR PLANS</td></tr><tr><td>4</td><td>A1.2</td><td>ROOF PLANS</td></tr><tr><td>5</td><td>A2.1</td><td>EXTERIOR ELEVATIONS</td></tr><tr><td>6</td><td>A3.1</td><td>SITE/BUILDING SECTIONS</td></tr><tr><td>7</td><td>PS.1</td><td>PHOTOGRAPHIC SURVEY</td></tr><tr><td>8</td><td>C1</td><td>GRADING PLAN</td></tr><tr><td>9</td><td>C2</td><td>SECTION AND DETAILS</td></tr><tr><td>10</td><td>C3</td><td>EROSION CONTROL PLAN</td></tr><tr><td>11</td><td>C4</td><td>EXISTING TOPOGRAPHIC SURVEY</td></tr><tr><td>12</td><td>L1</td><td>LANDSCAPING PLAN</td></tr><tr><td>13</td><td>L2</td><td>LANDSCAPE AREA DIAGRAM</td></tr><tr><td>14</td><td>S1</td><td>NEIGHBORHOOD SURVEY</td></tr></tbody></table>	1	T1	TITLE SHEET / PROJECT INFORMATION	2	A0.1	SITE PLAN	3	A1.1	FLOOR PLANS	4	A1.2	ROOF PLANS	5	A2.1	EXTERIOR ELEVATIONS	6	A3.1	SITE/BUILDING SECTIONS	7	PS.1	PHOTOGRAPHIC SURVEY	8	C1	GRADING PLAN	9	C2	SECTION AND DETAILS	10	C3	EROSION CONTROL PLAN	11	C4	EXISTING TOPOGRAPHIC SURVEY	12	L1	LANDSCAPING PLAN	13	L2	LANDSCAPE AREA DIAGRAM	14	S1	NEIGHBORHOOD SURVEY
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<p>LEGAL OESCRPTION: LOT 10 OF AZURE COAST, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4995, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 20, 1962.</p> <p>ASSESSOR PARCEL NUMBER: 346-600-05-00</p> <p>TYPE OF CONSTRUCTION: V-B SPRINKLERED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>OCCUPANCY CLASSIFICATION(S): R-3 & U RESIDENTIAL SF</p> <p>ZONING: LJSPO-SF (LA JOLLA SHORES PLANNED DISTRICT-SINGLE FAMILY)</p> <p>GROSS SITE (LOT) AREA: 20,383 SF, OR 0.49 ACRES</p> <p>FLOOR AREA: MAIN RESIDENCE: 4,308 SF COMPANION UNIT: 578 SF GARAGES: 1,243 SF TOTAL AREA: 6,129 SF</p> <p>ALLOWABLE LOT COVERAGE: 60% 20,383 SQ.FT. (0.60)*= 12,230 SQ.FT. ACTUAL LOT COVERAGE: 23% (4,720 SF/ 20,383 SF = 0.23) 23% < 60%</p> <p>FLOOR AREA RATIO: (FAR) 0.27</p> <p>BUILDING SETBACKS: SDMC 4'-0" WHEN YOU HAVE OPENINGS SDMC 15'-0" CCR</p> <p>PROPOSED PROJECT SETBACK: 15'-0"</p> <p>EXISTING USE: 2136 SF RESIDENCE (TO BE REMOVED)</p> <p>PROPOSED USE: RESIDENTIAL</p> <p>GEOLOGIC HAZARD CATEGORY: 25</p> <p>LANDSCAPE AREA SQUARE FOOTAGE: 12,429 SF 54%</p>	<p>DRAWING USE APPROVALS</p> <p>THE ARCHITECT IS DEEMED OWNERS OF THEIR INSTRUMENTS OF SERVICE, INCLUDING THE DRAWINGS AND SPECIFICATIONS. THE CONTRACT DOCUMENTS ARE COPYRIGHT PROTECTED AS NOTED ON THE DRAWINGS. IF THE OWNER FAILS TO MAKE PAYMENT TO THE ARCHITECT, SUCH FAILURE SHALL BE CONSIDERED SUBSTANTIAL NONPERFORMANCE AND CAUSE FOR TERMINATION OR SUSPENSION OF SERVICES. IN ADDITION, WE (AND ANY ASSOCIATED ENGINEERING CONSULTANTS) WILL COORDINATE WITH CITY OFFICIALS TO SUSPEND ANY CITY APPROVALS OR FIELD INSPECTIONS UNTIL PAYMENT IS SATISFIED AS A REVOKE OF OUR CONTRACT PERMIT DOCUMENTS AS AN INSTRUMENT OF THE ARCHITECT.</p>																																										
<div><p>martorana - kinoshita associates, inc.</p><p>7510 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556</p><p>LA JOLLA SHORES PLANNED DISTRICT PERMIT (SITE DEVELOPMENT PERMIT)</p><p>NEW RESIDENCE 7734 ESTEREL DRIVE LA JOLLA, CALIFORNIA 92037</p><table><thead><tr><th>ISSUE</th><th>DATE</th></tr></thead><tbody><tr><td>COMPLETENESS REVIEW</td><td>3-29-16</td></tr><tr><td>FULL SUBMITTAL</td><td>5-2-16</td></tr><tr><td>CYCLE 1 RE-SUBMITTAL</td><td>7-6-16</td></tr><tr><td>CYCLE 2 RE-SUBMITTAL</td><td>8-30-16</td></tr></tbody></table><div><div>1</div><div>OF 14</div></div></div>		ISSUE	DATE	COMPLETENESS REVIEW	3-29-16	FULL SUBMITTAL	5-2-16	CYCLE 1 RE-SUBMITTAL	7-6-16	CYCLE 2 RE-SUBMITTAL	8-30-16																																
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NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037

STAMP
SUBMITTAL PHASE
CHAIRMAN'S FILE
TITLE SHEET DEVELOPMENT SUMMARY
PLANS DATE 6-27-16
BY USER/DATE 5-2-16 FULL SUBMITTAL
SHEET NUMBER T1

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NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037

SITE NOTES:

- 1 PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-00-6 (UFC 901.4.4).
- 2 NO TRANSIT STOP ADJACENT TO THE PROJECT.
- 3 VISIBILITY TRIANGLES PER SDMC 113-02SS. NO OBSTRUCTIONS INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3'-0" IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT OF WAY THAT IS LOCATED WITHIN THE VISIBILITY AREAS SHALL NOT EXCEED 24" IN HEIGHT MEASURED FROM THE TOP OF THE ADJACENT CURB.
- 4 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- 5 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SDMC, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- 6 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

EASEMENTS:

- (A) - EXISTING C.C. & R.'S PER RECORDED DOCUMENT NO. 82894 DATED MAY 13, 1993.
- (B) - EXISTING 25 FT. SETBACK PER MAP NO. 4995.
- (C) - EXISTING 10 FT. SEWER EASEMENT PER MAP NO. 4995.

SITE AREA	
BLDG. FOOTPRINT	4720 SQ. FT.
IMPERVIOUS AREA	3234 SQ. FT.
LANDSCAPE AREA	12429 SQ. FT.
TOTAL	20,383 SQ. FT.

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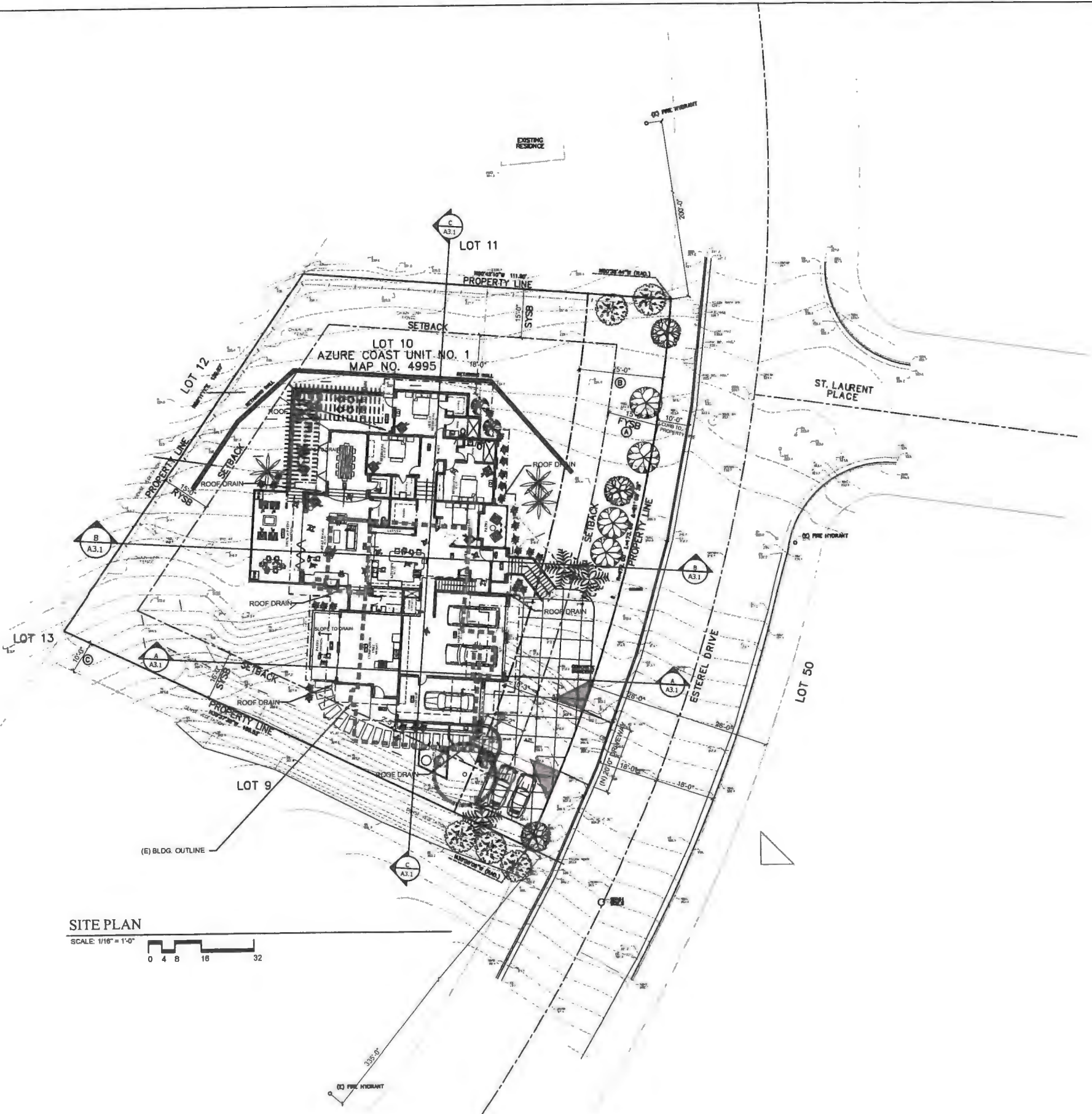
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LA JOLLA SHORES PLANNED DISTRICT PERMIT
(SITE DEVELOPMENT PERMIT)

NEW RESIDENCE
7734 ESTEREL DRIVE
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
COMPLETENESS REVIEW	3-29-16
FULL SUBMITTAL	5-5-16
CYCLE 1 RE-SUBMITTAL	7-5-16
CYCLE 2 RE-SUBMITTAL	8-30-16

2
OF 14



SITE PLAN
SCALE: 1/16" = 1'-0"
0 4 8 16 32



A0.1

[illegible]

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



7510 CLAREMONT MESA BLVD SUITE 207 • SAN DIEGO • CALIFORNIA • 92111 • PHONE 619/238-8178 • FAX 619/724-1150

ISSUE	DATE
COMPLETENESS REVIEW	3-29-16
FULL SUBMITAL	5-2-15
CYCLE 1 RE-SUBMITTAL	7-6-16
CYCLE 2 RE-SUBMITTAL	8-30-16

3

OF 14

FLOOR PLANS

6-27-16

5-2-16 FULL SUBMITTAL

A1.1

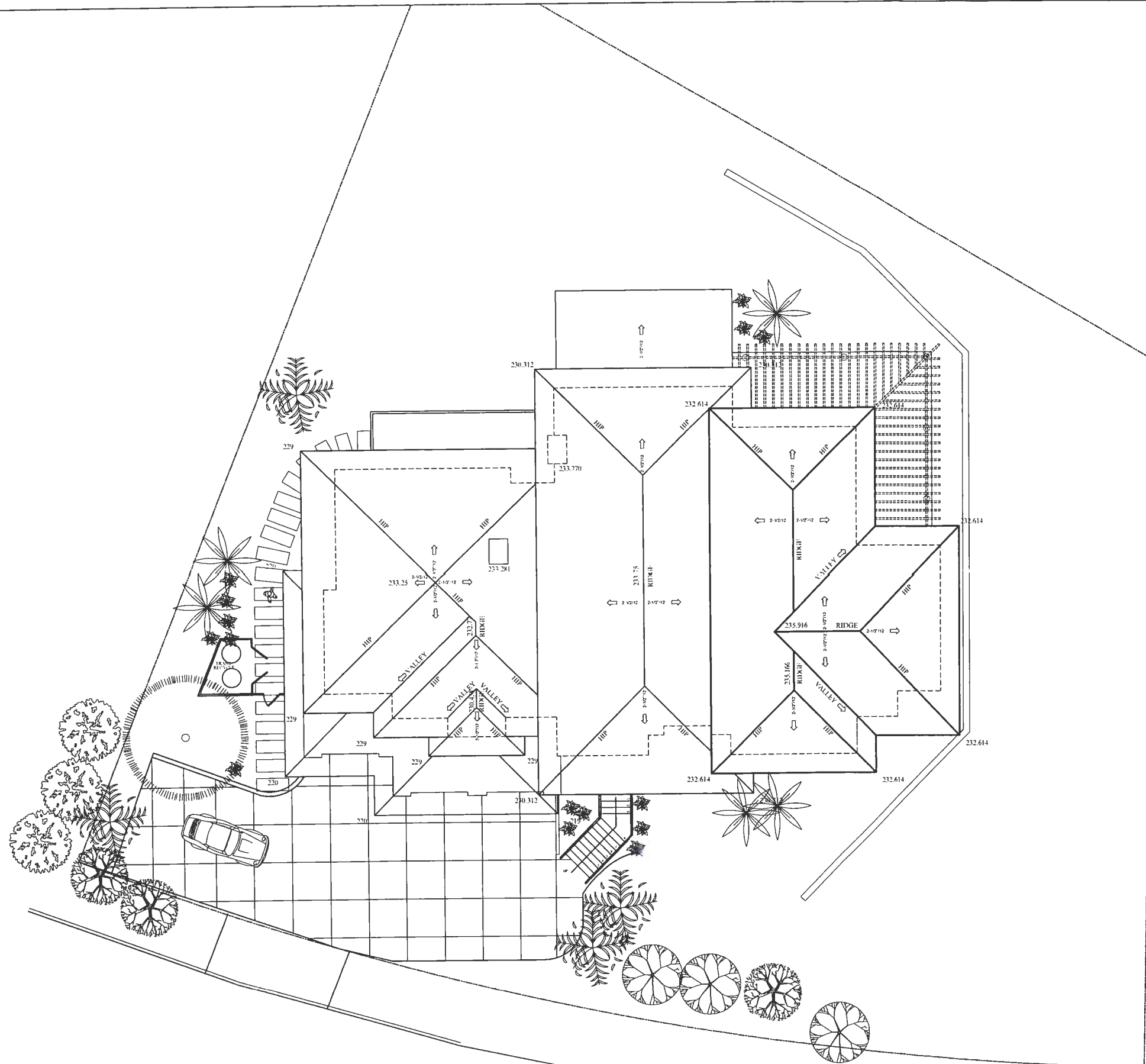


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[illegible]

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



ROOF PLAN

SCALE 1/8" = 1'-0"



7910 CLAIEMONT MESA BLVD. SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE 616/266-8176 - FAX 616/724 1556

NEW RESIDENCE
7734 ESTEREL DRIVE
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
COMPLETENESS REVIEW	3-29-16
FULL SUBMITTAL	5-2-16
CYCLE 1 RE-SUBMITTAL	7-6-16
CYCLE 2 RE-SUBMITTAL	8-30-16

4

OF 14

STAMP
SUBMIT #1 TRADE
DATE AND TIME
ROOM PLAN
PLUMB DATE
3-29-2016
NO RESERVE
5-2-16 FULL SUBMITTAL
5-2-16 11:00AM
A1.2

A1.2

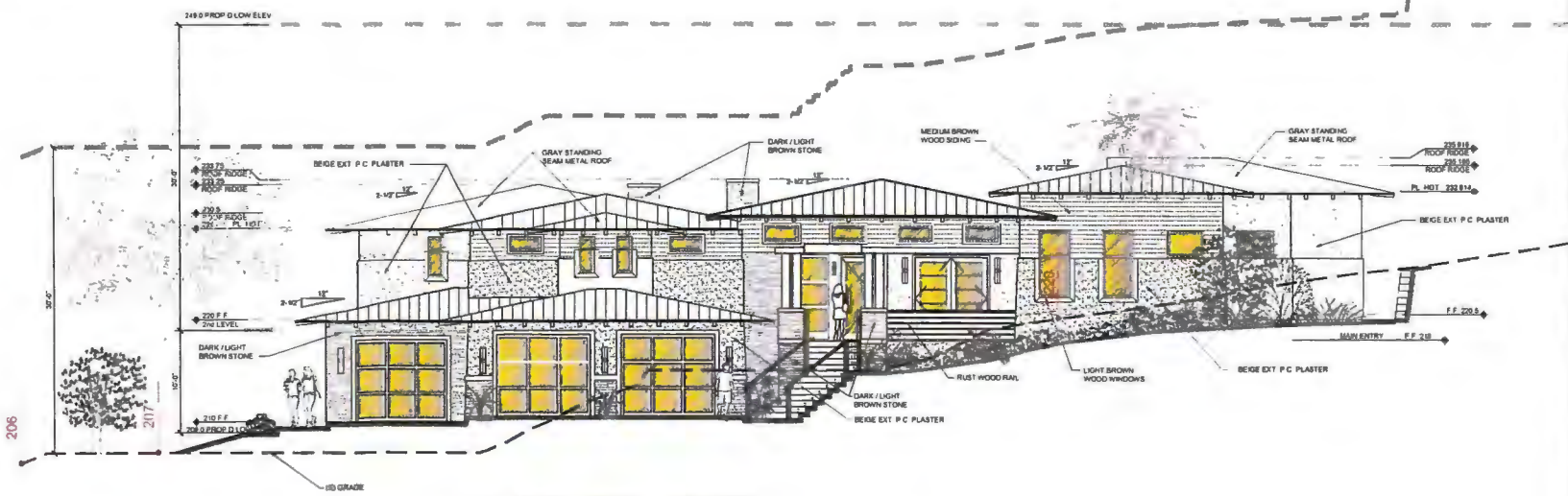
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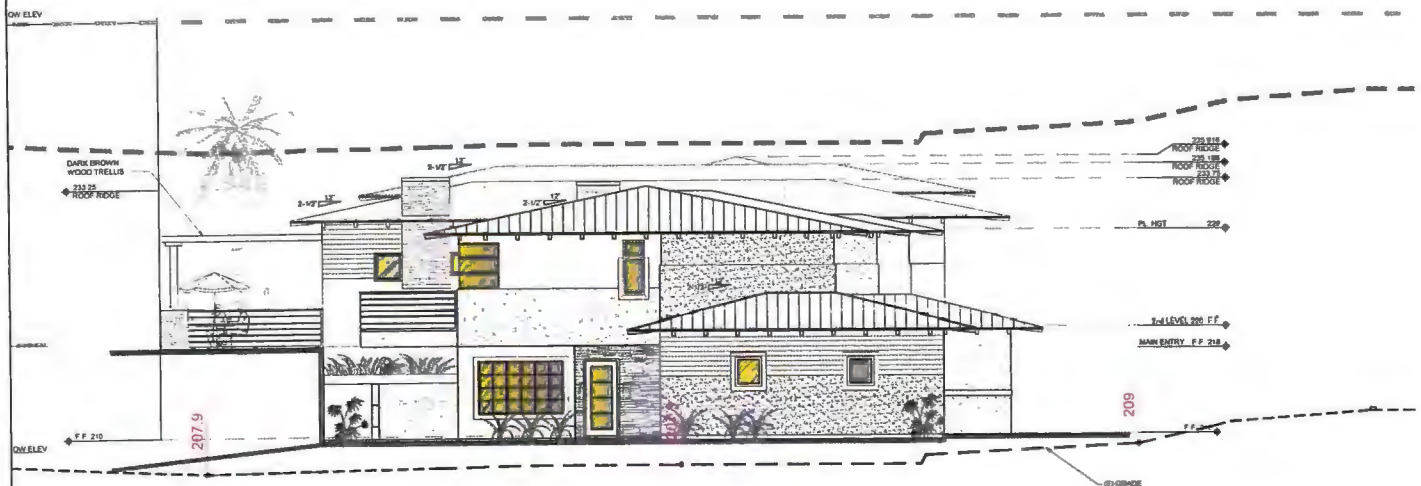
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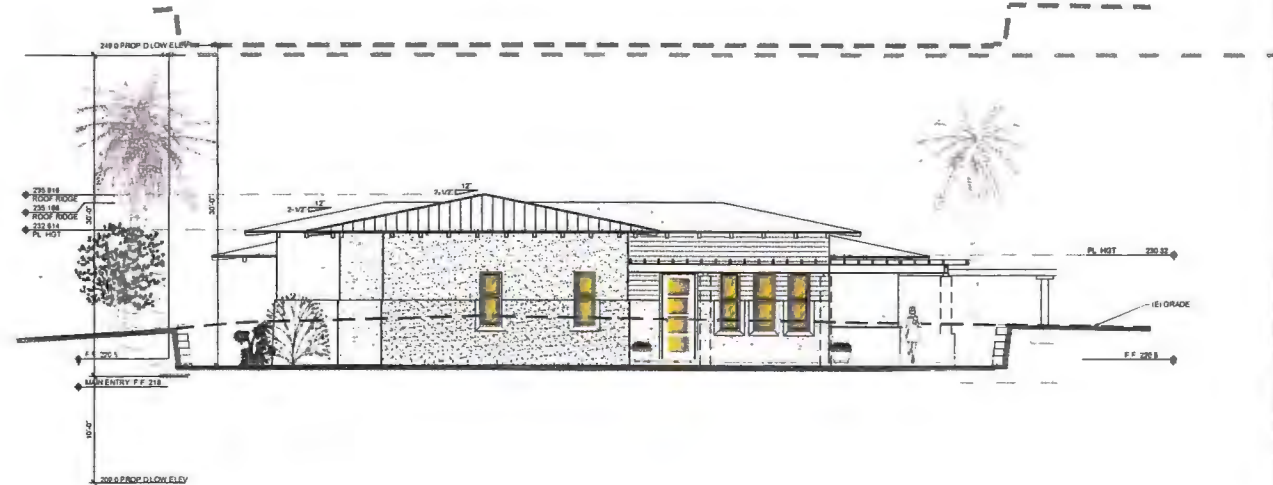
NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



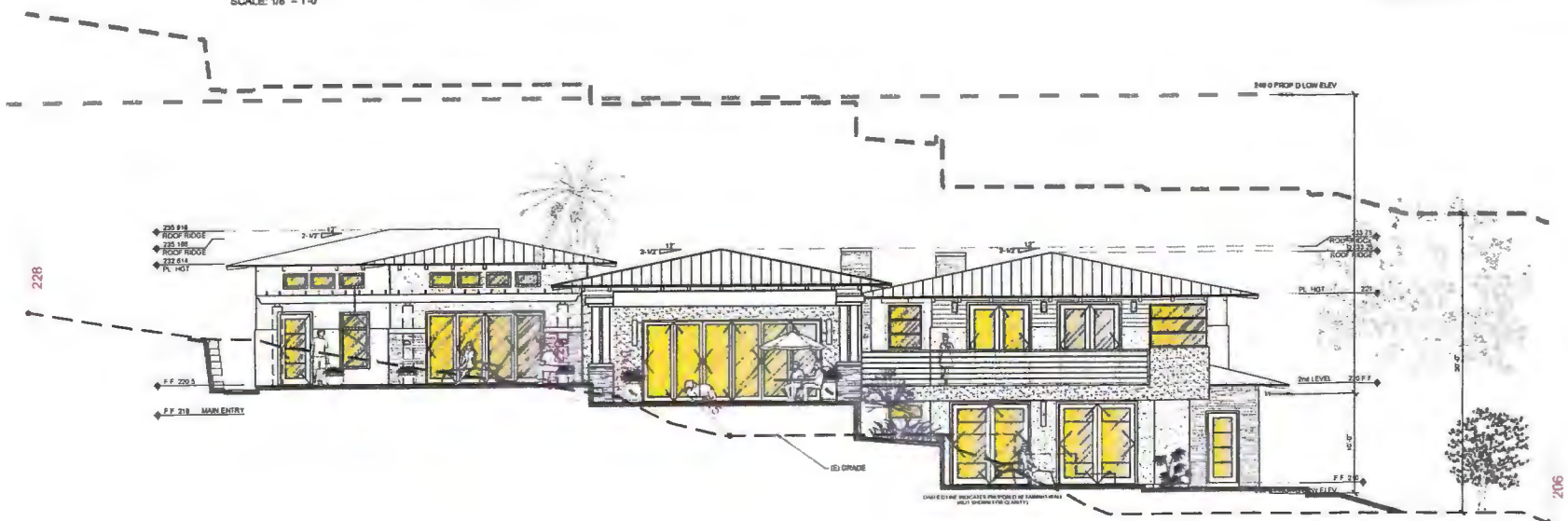
EAST ELEVATION - STREET
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



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LA JOLLA SHORES PLANNED DISTRICT PERMIT
(SITE DEVELOPMENT PERMIT)

NEW RESIDENCE
7734 ESTEREL DRIVE
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
COMPLETENESS REVIEW	3-25-16
FULL SUBMITTAL	5-2-16
CYCLE 1 RE-SUBMITTAL	7-6-16
CYCLE 2 RE-SUBMITTAL	8-30-16

5
OF 14

STAMP
SUBMITTAL PHASE
DRAWING TITLE
EXTERIOR ELEVATIONS
PLANS DATE
6-27-16
REVISIONS
5-2-16 FULL SUBMITTAL
SHEET NUMBER
A2.1

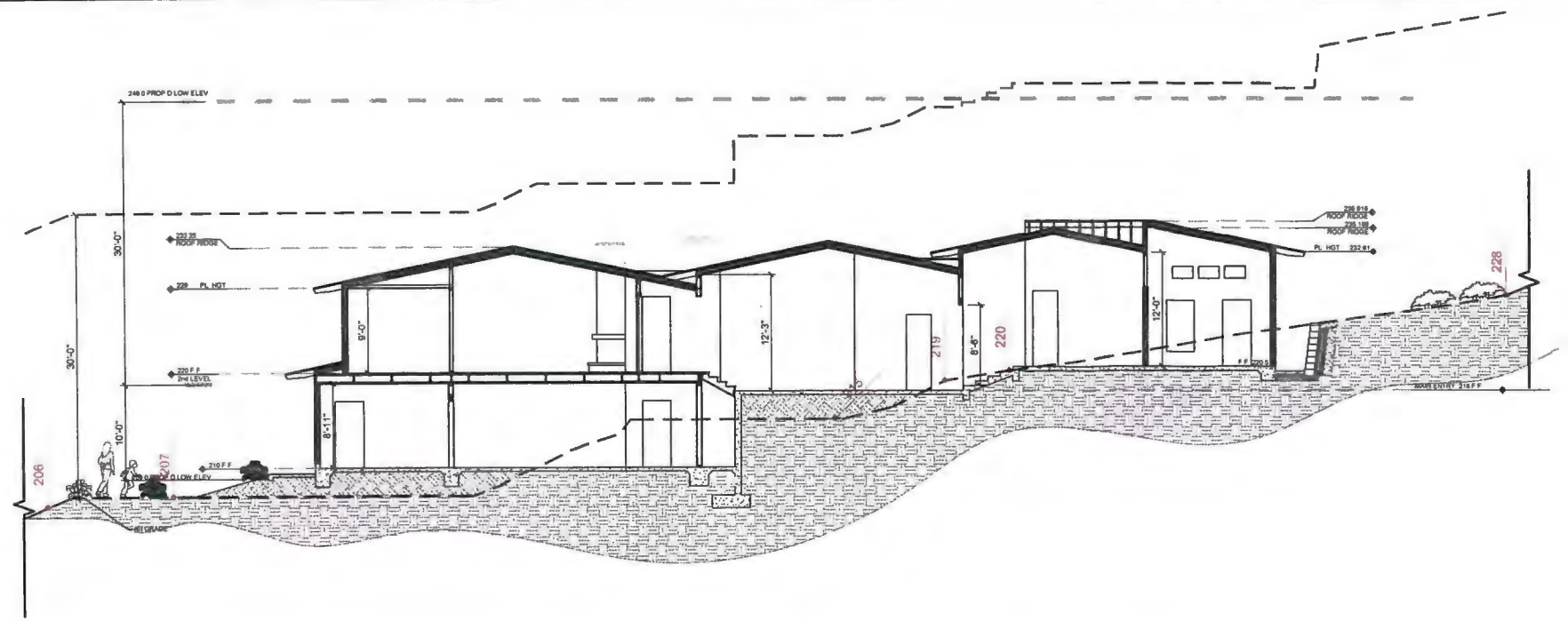
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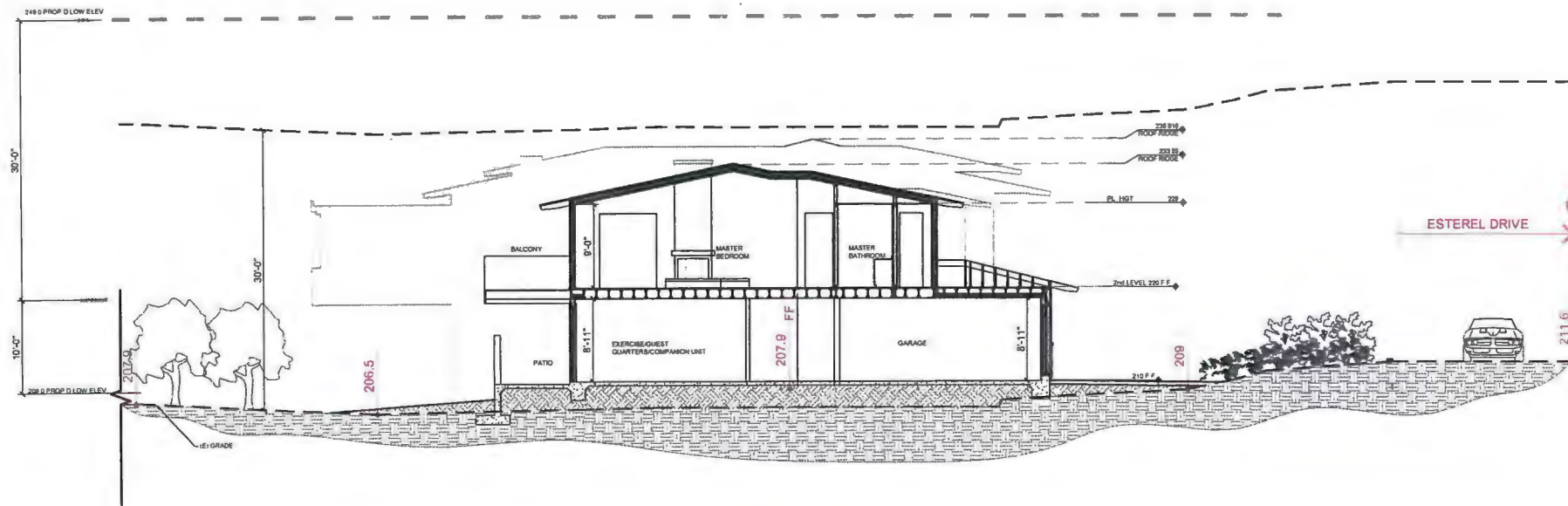
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7510 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



SITE EAST/BUILDING SECTION
SCALE: 1/8" = 1'-0"



SITE SOUTH/BUILDING SECTION
SCALE: 1/8" = 1'-0"

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7510 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

LA JOLLA SHORES PLANNED DISTRICT PERMIT
(SITE DEVELOPMENT PERMIT)

NEW RESIDENCE
7734 ESTEREL DRIVE
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
COMPLETENESS REVIEW	3-29-16
FULL SUBMITTAL	5-2-16
CYCLE 1 RE-SUBMITTAL	7-6-16
CYCLE 2 RE-SUBMITTAL	8-30-16

6

OF 14

STAMP
SUBMITAL PERIOD
DRAWING TITLE
SITE/BUILDING SECTION
PLANNED DATE
6-27-16
REVISIONS
5-2-16 FULL SUBMITTAL
SHEET NUMBER
A3.1





PHOTO 1



PHOTO 6



PHOTO 2



PHOTO 7



PHOTO 3



PHOTO 8



PHOTO 4



PHOTO 9

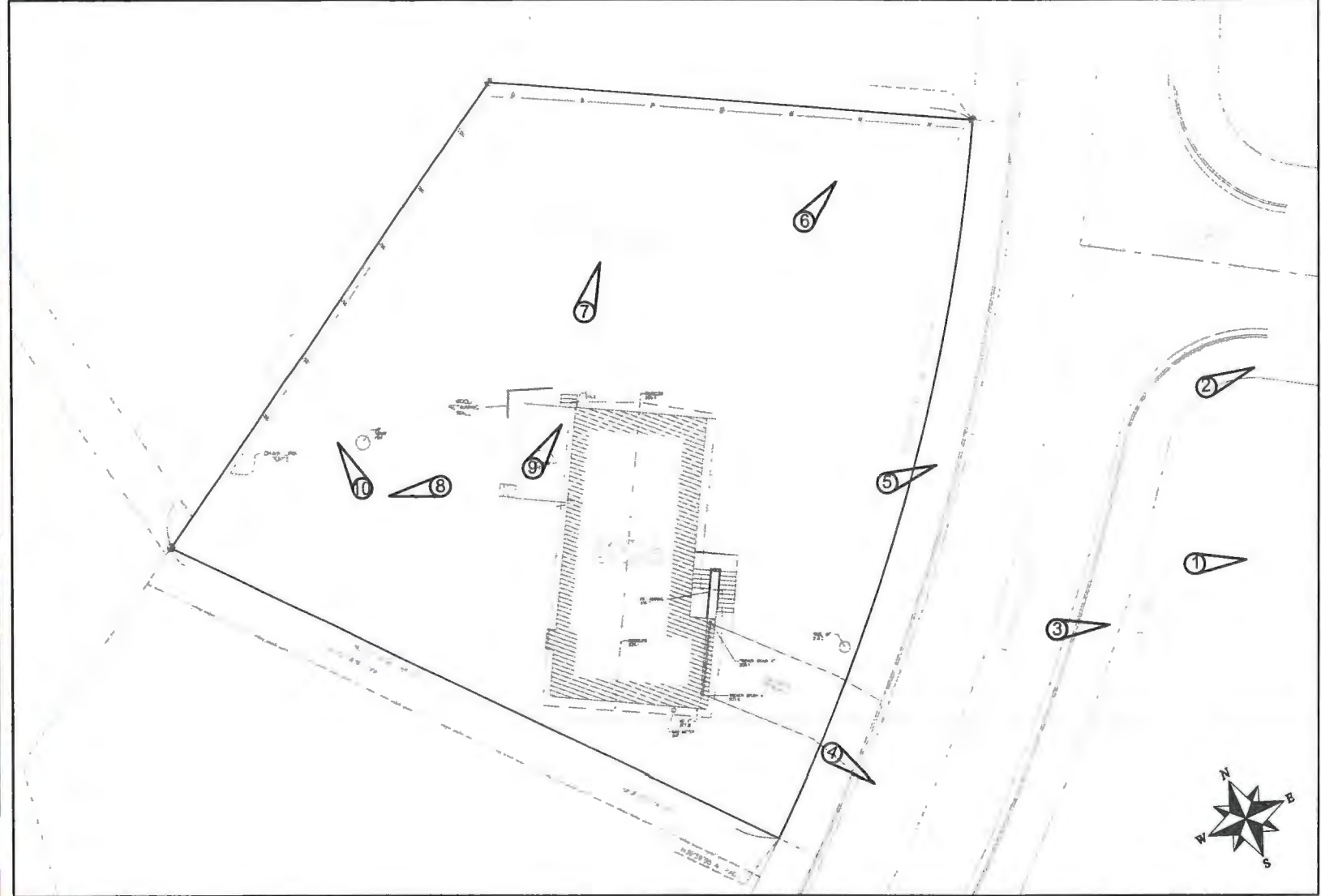


PHOTO 5



PHOTO 10

7734 ESTEREL DR. PHOTOGRAPHIC SURVEY
NO SCALE



7734 ESTEREL DR. PHOTOGRAPHIC SURVEY- KEY MAP
SCALE: 1/16" = 1'-0"



VICINITY MAP

PROJECT SITE

martorana - kinoshita associates, inc.

7510 CLAIREMONT MESA BLVD., SUITE 207 - SAN DIEGO - CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

LA JOLLA SHORES PLANNED DISTRICT PERMIT
(SITE DEVELOPMENT PERMIT)

NEW RESIDENCE
7734 ESTEREL DRIVE
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
COMPLETENESS REVIEW	3-29-16
FULL SUBMITTAL	5-2-16
CYCLE 1 RE-SUBMITTAL	7-6-16
CYCLE 2 RE-SUBMITTAL	8-30-16

7

OF 14

STAMP
SUBMITTAL PHASE
DRAWING TITLE
PHOTOGRAPHIC SURVEY
PLANS DATE
3-29-2016
REVISIONS
5-2-16 FULL SUBMITTAL
DRAWN BY
PS1

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MKA
ARCHITECTURE
&
PLANNING



K&S ENGINEERING, INC.
Planning - Engineering - Surveying
7801 Mission Center-Suite 100 San Diego, CA 92108
(619) 286-5565 Fax: (619) 286-5564

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037

STAMP
SCHEMATIC PANEL
DRAWING TITLE
GRADING PLAN
PLANNED DATE
March 14, 2016
REVISIONS
1. June 29, 2016
2. August 29, 2016
SHEET NUMBER
C1

TOPOGRAPHY SOURCE:

COASTAL LAND SOLUTIONS, INC.
TEL: (760) 230-6023
DATED APRIL 23, 2015

BENCH MARK:

CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK TOP
OF M-10 CENTER LINE CONTROL MONUMENT LOCATED AT
THE INTERSECTION OF ESTEREL DRIVE & SAN TROPEZ
PLACE
ELEV: 234.86
DATE: NOV029

SPECIAL NOTES:

1. ALL STORM WATER RUNOFF FROM THE PROPOSED DEVELOPMENT SHALL BE DIRECTED TO LANDSCAPE LOW-IMPACT DEVELOPMENT SWPS AS SHOWN.
2. THIS PROJECT WILL NOT DISCHARGE ANY STORM WATER RUNOFF DIRECTLY INTO THE LA JOLLA ASSO.

GRADING QUANTITIES

GRADED AREA 0.33 [ACRES]
CUT QUANTITIES 623 [CYD]
FILL QUANTITIES 343 [CYD]
EXPORT 280 [CYD]

THIS PROJECT PROPOSES TO EXPORT 280 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREEN BOOK"), 2015 EDITION AND REGIONAL SUPPLEMENTAL AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

EARTHWORK QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO SHORING, LOSSES DUE TO CLEARING, OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR SHOULD VERIFY QUANTITIES PRIOR TO BIDDING.

LEGEND:**EXISTING IMPROVEMENTS**

ITEM
PROJECT BOUNDARY
CENTERLINE
RIGHT OF WAY
WATER MAIN
SEWER MAIN
6" CURB & GUTTER
SPOT ELEVATION

SYMBOL**PROPOSED IMPROVEMENTS****ITEM**

CATCH BASIN 18"x18"
CATCH BASIN 6"x6"
DRIVEWAY 20' WIDE PER SDG-101
SIDEWALK UNDERDRAIN PER RSD D-27
MASONRY RETAINING WALL
CRIB WALL
OUT 2:1 SLOPE
FILL 2:1 SLOPE
6" PVC STORM DRAIN PIPE
EARTHEN SWALE
DAYLIGHT LINE
CONCRETE DITCH RSD-75 TYPE B
SEWER LATERAL
WATER LATERAL
ROOF DRAIN

SYMBOL**ABBREVIATIONS**

DWY	DRIVEWAY	MTR	METER
EG	EXISTING GROUND	SCD	SEWER CLEANOUT
EX	EXISTING	SMH	SEWER MANHOLE
FTE	FINISH FLOOR ELEVATION	ST	STREET LIGHT
FL	FLOW LINE	PS	PULL BOX
FS	FINISH SURFACE	TC	TOP OF CURB
IE	INVERT ELEVATION	WM	WATER METER
MH	MANHOLE		

CONSTRUCTION NOTES:

1. CONSTRUCT 20' DRIVEWAY PER SDG-101
2. RELOCATE EXISTING WATER SERVICE OUTSIDE DRIVEWAY
3. CONSTRUCT SIDEWALK UNDERDRAIN
4. RELOCATE EXISTING SEWER LATERAL
5. RELOCATE EXISTING MAIL BOX
6. EXISTING TELEPHONE PEDESTAL PROTECT IN PLACE
7. CLOSE EXISTING DRIVEWAY AND REPLACE WITH FULL HEIGHT CITY STD CURB & GUTTER

SITE ADDRESS

7734 ESTEREL DRIVE LA JOLLA CA, 92037

APN:

346-800-05-00

LEGAL DESCRIPTION

LOT 10 OF MAP NO. 4995

EASEMENTS

- A. EXISTING C.C. & R.'S PER RECORDED DOCUMENT NO. 82894 DATED MAY 13, 1963
- B. EXISTING 25FT SETBACK PER MAP NO. 4995
- C. EXISTING 10FT SEWER EASEMENT PER MAP NO. 4995

LOT AREA

20,383 S.F. - 0.46 ACRES

14,565 S.F. - 0.33 ACRES

PROPOSED

IMPERVIOUS AREA

7,854 S.F. - 0.18 ACRES

PERVIOUS AREA

12,429 S.F. - 0.28 ACRES

EXISTING

IMPERVIOUS AREA

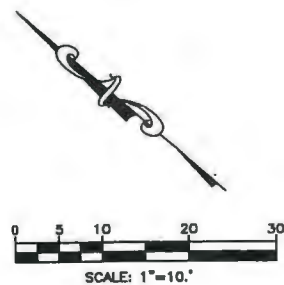
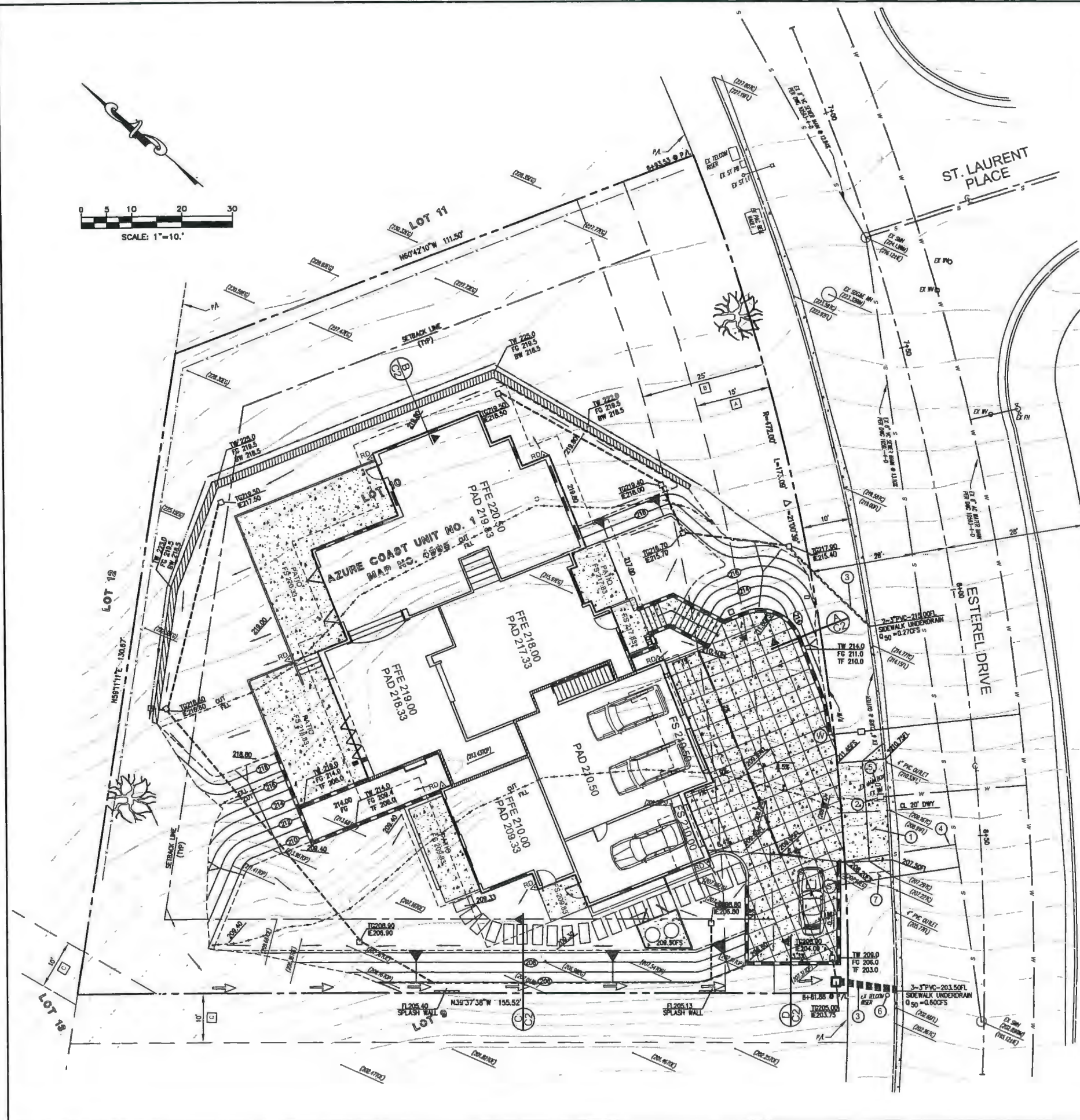
2,783 S.F. - 0.06 ACRES

PERVIOUS AREA

17,590 S.F. - 0.40 ACRES

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:
AREA 0.33 AC. % OF TOTAL SITE 71
AMOUNT OF CUT: 623 CUBIC YARDS
MAXIMUM DEPTH OF CUT: 4.9 FEET
AMOUNT OF FILL: 343 CUBIC YARDS
MAXIMUM DEPTH OF FILL: 4.7 FEET
MAXIMUM HEIGHT OF FILL SLOPE: 4 FEET
2:1 SLOPE RATIO
MAXIMUM HEIGHT OF CUT SLOPE: 4.9 FEET
2:1 SLOPE RATIO
AMOUNT EXPORT SOIL: 280 CUBIC YARDS
RETAINING WALL:
MASONRY: LENGTH 175 FEET. LANDSCAPED: LENGTH 157 FEET.
MAXIMUM HEIGHT 10 FEET. MAXIMUM HEIGHT 5 FEET.

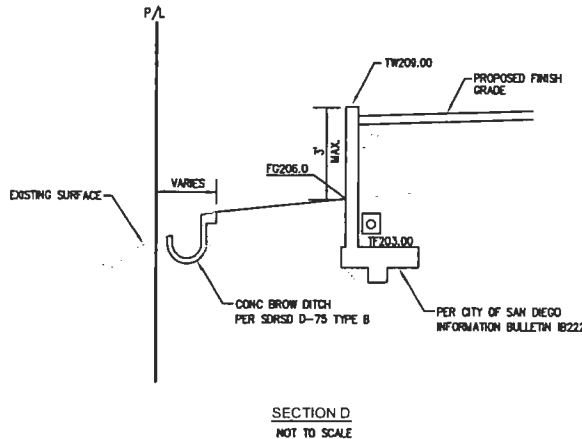
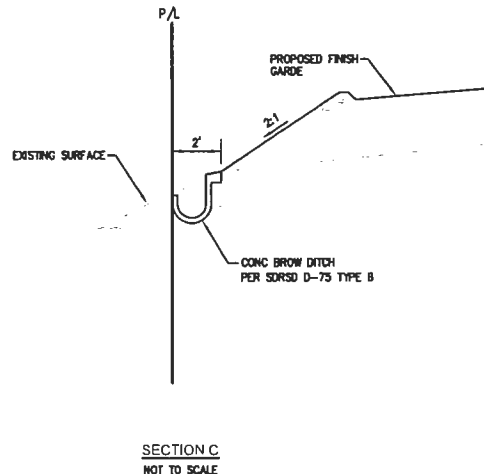
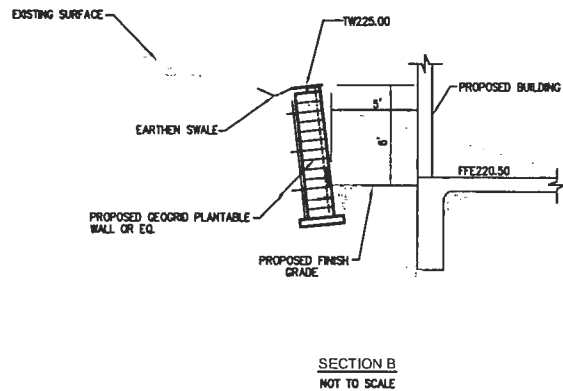
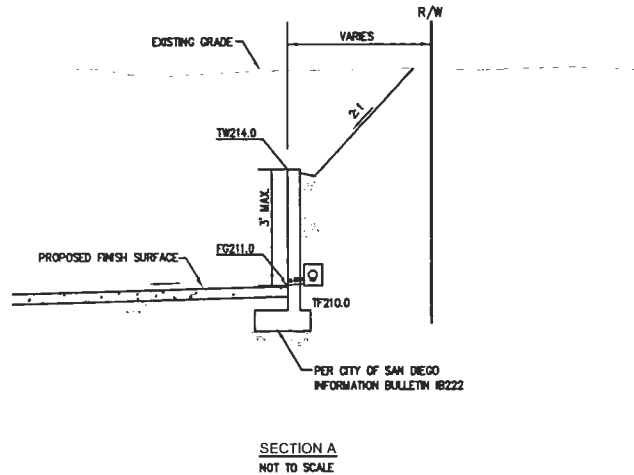
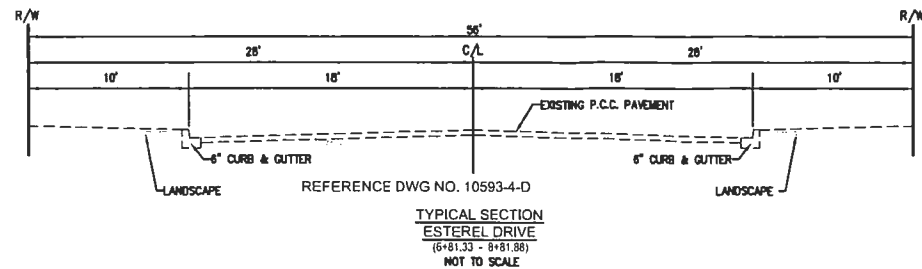


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NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



STAMP
SUBMITTAL PHASE:
DRAWING TITLE SECTION AND DETAILS
IN ISSUE DATE March 14, 2016
REVISIONS 1. June 29, 2016 2. August 29, 2016
SHEET LABEL C2

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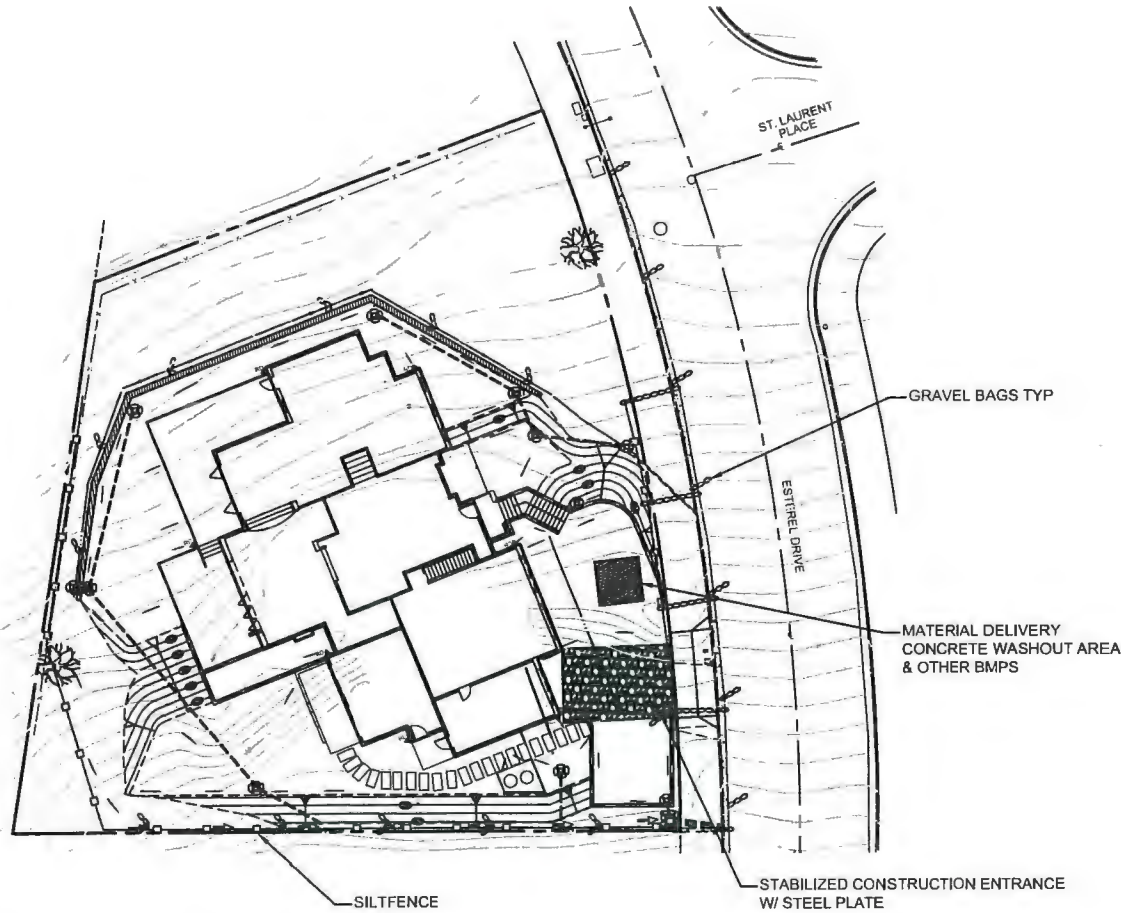
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NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037

BMP LEGEND	CODE	SYMBOL
DESCRIPTION		
CONSTRUCTION BMP'S		
GRAVEL BAGS	SE-8, SE-10 (CASGA)	
SILT FENCE	SE-1 (CASGA)	
STABILIZED CONSTRUCTION ENTRANCE/EXIT W/ STEEL PLATES	TC-1 (CASGA)	
MATERIAL DELIVERY AND STORAGE... (SEE PLAN FOR OTHER BMP'S)	WM-1, WM-2, WM-5, WM-6, WM-8, WM-9, WM-10	
DRAINAGE STRUCTURE FLOW	-	

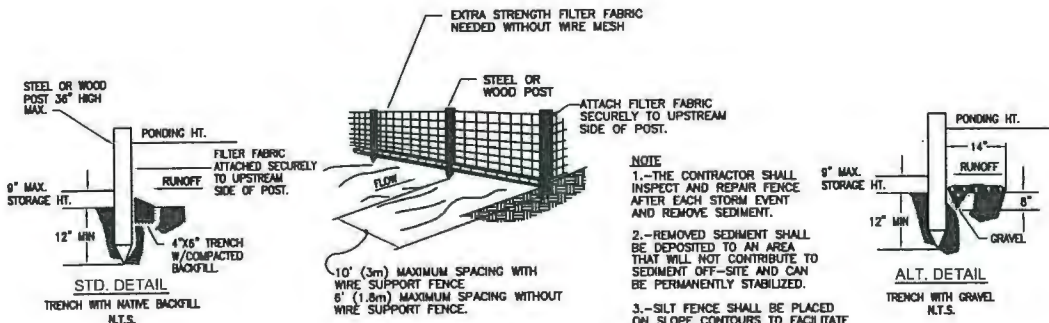
EROSION AND SEDIMENT CONTROL NOTES

- TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
 2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
 3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.0' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
 4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
 5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
 6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
 7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
 8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
 9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
 14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
 15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

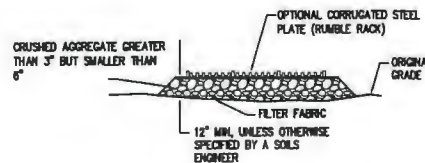


- NOTES:
1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
 2. FOR WASHOUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE.
 3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMED OR CONTAINED, DRIED, PICKED UP AND DISPOSED OF PROPERLY.

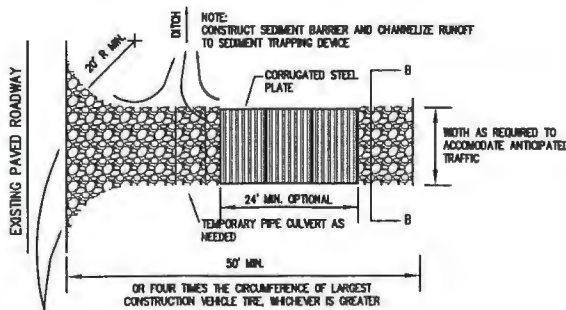
CONCRETE WASTE MANAGEMENT
WM-8
N.T.S.



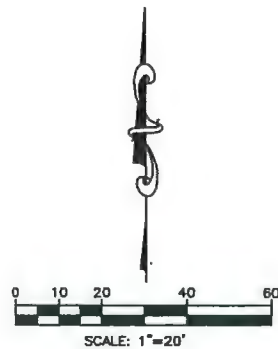
SILT FENCE
SE-1
N.T.S.



SECTION B-B
N.T.S.



PLAN
N.T.S.
STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1
N.T.S.



SCALE: 1"=20'

STAMP
SUBMITTAL PHASE
DRAWING TITLE
EROSION CONTROL PLAN
PL AND DATE
March 14, 2016
REVISIONS
1. June 29, 2016
2. August 29, 2016
SHEET NUMBER
C3



HDI
LANDSCAPE
ARCHITECTS
◆◆◆

Huter Designs, Inc. Landscape Architects

3645 RUFFIN ROAD, SUITE 235 SAN DIEGO, CALIFORNIA 92123
PHONE (619) 337-4044 FAX (619) 342-8528 Email steve@huterdesigns.com

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



PRELIMINARY
NOT FOR
CONSTRUCTION





LANDSCAPE
CONCEPT PLAN

DATE 3-8-2016

1 Revised per comments
Dated 7-5-2016

L.1

PLANT LEGEND				NOTE: MIN. OF 2" LAYER OF MULCH FOR ALL LEVEL LANDSCAPE AREAS (TYPICAL)	
STREET TREES				(3) EXISTING / (3) 24" BOX	
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	HT X SPD		
	OLEA EUROPAEA "Fruitless Species" OLIVE TREES (Only Fruitless Species accepted) "SWAN HILL," "MAJESTIC BEAUTY," OR "WILSONI" CULTIVARS.	24" BOX	8'x4'		
	RHUS LANCEA AFRICAN SUMAC	24" BOX	8'x4'		
THEME / SCREEN TREES				EXISTING / 24" BOX	
	AGONIS FLEXUOSA PEPPERMINT TREE	24" BOX	6'x3'		
	FICUS RETUSA INDIAN LAUREL FIG	24" BOX	8'x4'		
	CASSIA LEPTOPHYLLA GOLD MEDALLION TREE	24" BOX	8'x4'		
	RHUS LANCEA AFRICAN SUMAC	24" BOX	7'x4'		
SLOPE TREES				EXISTING / 24" BOX	
	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL	6'x3'		
	PISTACHIA CHINENSIS CHINESE PISTACHE	15 GAL	7'x4'		
	RHUS LANCEA AFRICAN SUMAC	15 GAL	7'x4'		
SLOPE SHRUBS				EXISTING / 24" BOX	
SYMBOL	JUNIPERUS HORIZONTALIS "Wiltonii" BLUE RUG JUNIPER	1 GAL	16"x16"		
	MIMULUS AURANTIACUS STICKY MONKEY FLOWER	5 GAL	16"x16"		
	LANTANA CAMARA "Gold Mound" YELLOW LANTANA	1 GAL	16"x16"		
	RIBES SPECIOSUM FLOWERING GOOSEBERRY	5 GAL	16"x16"		
ACCENT PLANTS				70% 15 GAL 30% 20" BOX	
SYMBOL	CYCAS REVOLUTA SAGO PALM	15 GAL	18"x18"		
	PHORMIUM TENAX SPECIES PURPLE NEW ZEALAND FLAX	5 GAL	4'x4'		
	PHOENIX ROEBELENI PYGMY DATE PALM		18"x18"		
	STRELITZIA REGINAE BIRD OF PARADISE		18"x18"		
MEDIUM SHRUBS				10% 15 GAL 70% 5 GAL 20% 1 GAL	
SYMBOL	AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL	12"x12"		
	ANZIGOZANTHOS FLAVIDUS KANGAROO PAW	5 GAL	12"x12"		
	CISTUS PURPUREUS ORCHID ROCK ROSE	1 GAL	8"x8"		
	COMPROSMIA R. VARIEAGATA VARIEGATED MIRROR PLANT	1 GAL	8"x8"		
	CALLISTEMON CIT. 'LITTLE JOHN' DWARF BOTTLEBRUSH	5 GAL	18"x18"		
	MYRTUS COMMUNIS COMPACTA COMPACT MYRTLE	1 GAL	8"x8"		
	PITTOSPORIUM 'GOLF BALL' GOLF BALL MOCK ORANGE	5 GAL	18"x18"		
	PHORMIUM TENAX 'ATROPURPUREUM' PURPLE NEW ZEALAND FLAX	5 GAL	4'x4'		
	LA VENDULA ANGUSTIFOLIA 'Munstead' RUSSIAN LAVENDER	5 GAL	24"x24"		
	NANDINA 'FIRE POWER' COMPACT HEAVENLY BAMBOO	1 GAL	24"x24"		
	ROSMARINUS OFFICINALIS ROSEMARY	1 GAL	8"x8"		
	VIBURNUM TINUS LAVASTRUS	5 GAL	24"x24"		
LOW ACCENTS				100% 1 GAL	
SYMBOL	FESTUCA GLAUCA BLUE FESCUE	1 GAL	24"x24"		
	HEMEROCALLIS HYBRIDS DAYLILIES	1 GAL	24"x24"		
	TULBAGHIA VIOLACEA SOCIETY GARLIC	1 GAL	24"x24"		
VINES				100% 5 GAL	
SYMBOL	DISTICTUS BUCCINATORIA RED TRUMPET VINE	5 GAL	16"x16"		
	PANDOREA JASMINOIDES BOWER VINE	5 GAL	16"x16"		
GROUND COVER				1 GAL / FLATS	
	CEANOTHUS G.H. 'YANKEE POINT' CEANOIUS	1 GAL	24" O.C.		
	DYMONDIA MARGARETAE SILVER CARPET	FLATS	18" O.C.		
	MYOPORIUM PARVIFOLIUM PROSTRATE MYOPORIUM	FLATS	18" O.C.		
	MARATHRUM FASCICULATUM DROUGHT TOLERANT FESCUE	50D			
LANDSCAPE CALCULATIONS					
STREET TREES ON ESTEREL STREET					
LENGTH OF STREET FRONTAGE				173'	
STREET TREES REQUIRED (1 PER 30')				5.75	
STREET TREES PROVIDED				6	
MINIMUM TREE SEPARATION DISTANCES ARE AS FOLLOWS:					
TRAFFIC SIGNALS -				20 FEET	
UNDERGROUND UTILITY LINES -				5 FEET	
ABOVE GROUND UTILITY STRUCT. -				10 FEET	
DRIVEWAY (Entries) -				10 FEET	
INTERSECTION of 2 Streets -				25 FEET	
SEWER LINE				10 FEET	

EXISTING STREET TREES ON-SITE TO REMAIN:			
NO.	DESCRIPTION	CALIPER	TO REMAIN:
①	OLEA EUROPAEA – OLIVE TREE	36"	
②	CITRINUS SPP. – BOTTLEBRUSH TREE	10"	
③	CITRINUS SPP. – BOTTLEBRUSH TREE	12"	
EXISTING TREES ON-SITE TO BE REMOVED:			
NO.	DESCRIPTION	CALIPER	TO BE REMOVED:
④	OLEA EUROPAEA – OLIVE TREE (DYING)	15"	
⑤	PINUS THUNBERGII – JAPANESE PINE	8"	
⑥	OLEA EUROPAEA – OLIVE TREE	28"	
⑦	OLEA EUROPAEA – OLIVE TREE	30"	
⑧	OLEA EUROPAEA – OLIVE TREE	17"	
⑨	PINUS PINEA – ITALIAN STONE PINE	48"	
⑩	YUCCA GLORIOSA – SPANISH DAGGER	12"	
⑪	NORFOLK ISLAND PINE	8"	

NOTE: OWNER TO REMOVE EXISTING CARPOBROTUS ICE PLANT (INVASIVE).

SITE AMENITIES	
SYMBOL	DESCRIPTION
	FUTURE POOL / BOCCIE BALL PASSIVE PLAY AREA
	OUTDOOR BBQ AREA OUTDOOR DINING
	PATIO WITH FREE STANDING FIREPLACE SEATING AREA
	LOW ENTRY COLUMNS (2) W/ MAILBOX
	ENHANCED PAVING FOR DRIVEWAY AND PROJECT ENTRY STEPS

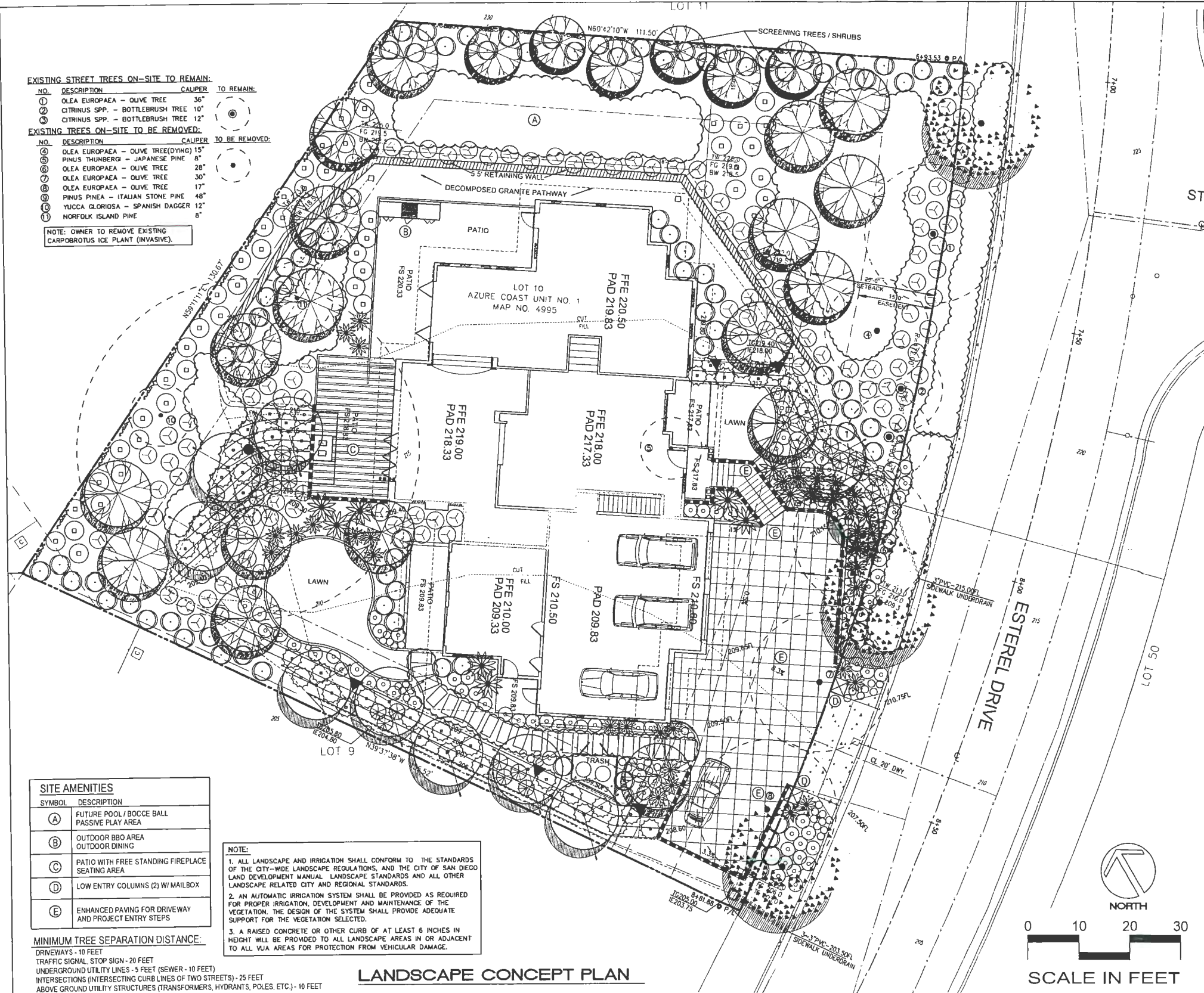
MINIMUM TREE SEPARATION DISTANCE:
DRIVEWAYS - 10 FEET
TRAFFIC SIGNAL STOP SIGN - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, POLES, ETC.) - 10 FEET

NOTES:
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. WE WILL USE A COMBINATION OF LOW PRECIPITATION ROTORS AND DRIP IRRIGATION.

NOTE:
1. A MINIMUM ROOT ZONE 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET PER THE SAN DIEGO MUNICIPAL CODE - SDMC 142.0403(b)(5).
2. TREE ROOT BARRIERS "DEEP ROOT UB-24" SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, STREET PAVEMENT, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOTBALL.

MAINTENANCE NOTE:
1. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

LANDSCAPE CONCEPT PLAN





HDI
LANDSCAPE
ARCHITECTS
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Hutter Designs, Inc. Landscape Architects

3645 RUFFIN ROAD, SUITE 235 SAN DIEGO, CALIFORNIA 92123
PHONE (619) 337-4044 FAX (619) 342-8528 Email steve@hutterdesigns.com

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037



PRELIMINARY
NOT FOR
CONSTRUCTION

LANDSCAPE
AREA DIAGRAM

PLANS DATE

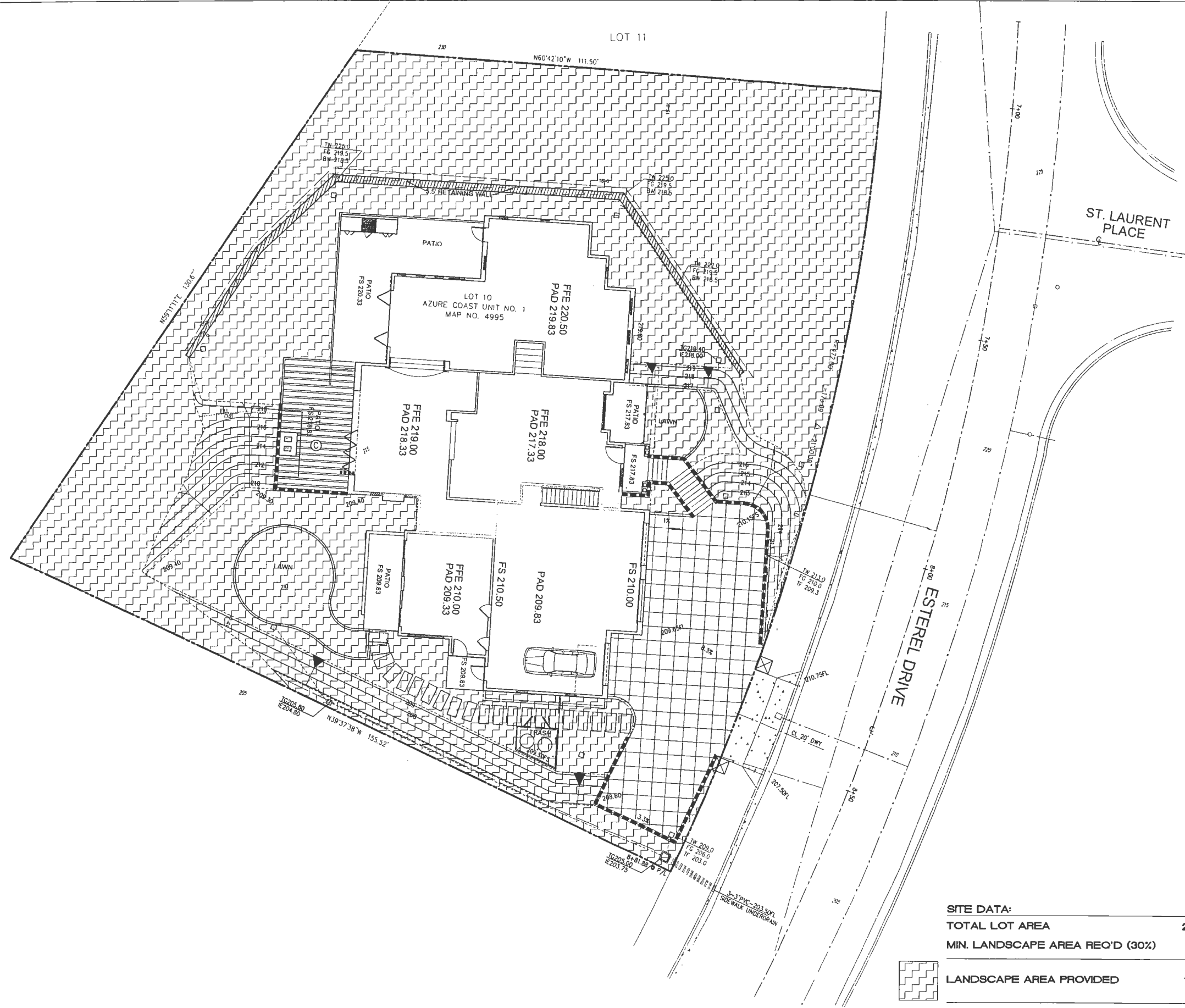
3-8-2016

REVISIONS

1 Revised per comments
Dated 7-5-2016

SHEET NUMBER

L.2

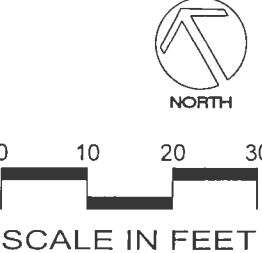


SITE DATA:

TOTAL LOT AREA	20,383 SF
MIN. LANDSCAPE AREA REQ'D (30%)	6,115 SF

	LANDSCAPE AREA PROVIDED	12,429 SF
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LANDSCAPE AREA DIAGRAM



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MKA
ARCHITECTURE
&
PLANNING
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◆ **martorana - kinoshita associates, inc.**

7510 CLAREMONT MESA BLVD., SUITE 207 - SAN DIEGO, CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

NEW RESIDENCE FOR:
7734 ESTEREL DR.
LA JOLLA - CALIFORNIA - 92037

NOTES:
ALL DIMENSIONS SHOW APPROX. \pm 12"

martorana - kinoshita associates, inc.

7510 CLAREMONT MESA BLVD., SUITE 207 - SAN DIEGO, CALIFORNIA - 92111 - PHONE: 858/268-8176 - FAX: 858/724-1556

LA JOLLA SHORES PLANNED DISTRICT PERMIT
(SITE DEVELOPMENT PERMIT)

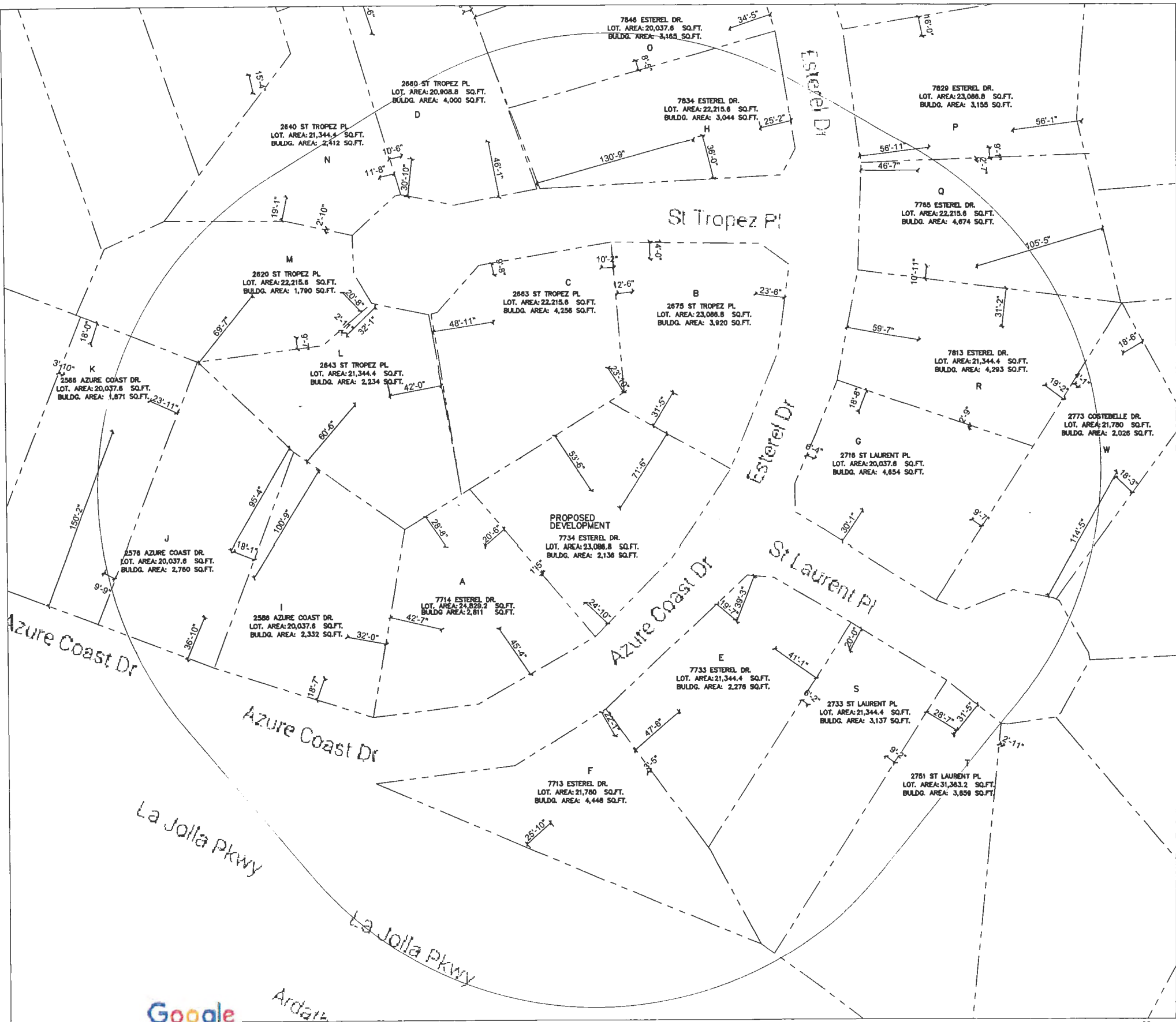
NEW RESIDENCE
7734 ESTEREL DRIVE
LA JOLLA, CALIFORNIA 92037

ISSUE	DATE
COMPLETENESS REVIEW	3-29-16
FULL SUBMITTAL	5-2-16
CYCLE 1 RE-SUBMITTAL	7-6-16
CYCLE 2 RE-SUBMITTAL	8-30-16

14
OF 14



SURROUNDING NEIGHBORHOOD SURVEY
SCALE: 1" = 40'



STAMP
SUBMITAL PHASE
DRAWING TITLE
LA JOLLA SHORES PLANNED DISTRICT SURVEY
PLANS DATE
3-29-16
REVISIONS
5-2-16 FULL SUBMITTAL
SHEET NUMBER
S1