



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 8, 2016 REPORT NO. HO-17-008

HEARING DATE: February 15, 2016

SUBJECT: Balboa Express Car Wash, Process Three Decision

PROJECT NUMBER: [469903](#)

OWNER/APPLICANT: Shahram Dehghani, The Art of Construction LLC /
Hannibal Petrossi, Architect

SUMMARY

Issue: Should the Hearing Officer approve the construction of a new automated car wash located at 6066 Balboa Avenue within the Clairemont Mesa Community Planning area?

Staff Recommendations:

1. Adopt Negative Declaration No. 469903; and
2. Approve Site Development Permit No. 1652413.

Community Planning Group Recommendation: On October 18, 2016 the Clairemont Mesa Planning Group voted 8-5-0 to recommend approval of the proposed project with a suggested condition for hours of operation.

Environmental Review: Negative Declaration No. 469903 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. Based on the Initial Study, it was determined that the proposed project will not have a significant effect on the environment.

BACKGROUND

The project site is located at 6066 Balboa Avenue on the northwest corner of Balboa Avenue and Mount Abernathy Avenue (Attachment 1). The site is within the Clairemont Mesa Community Plan area, the CC-1-3 Zone, the Community Plan Implementation Overlay Zone Type B (CPIOZ-B), the Clairemont Mesa Height Limitation Overlay Zone, and the Airport Land Use Compatibility Overlay Zone (for Marine Core Air Station (MCAS) Miramar and Montgomery Field airports) (Attachment 2). The Community Plan designates the area as "Community Core-Community Plan Implementation Overlay Zone" allowing commercial uses that serve the Clairemont Community. The underlying CC-1-3 zone allows commercial uses with a Floor Area Ratio of 2.0. The project is located within a

Transit Priority area and within Clairemont Mesa Balboa Avenue Revitalization Action Program (RAP). The RAP provides additional guidance for streetscape improvements to bring the Balboa Avenue corridor into compliance with City street standards and to improve pedestrian connections with safety as its primary goal. The project was reviewed by MCAS Miramar and Montgomery Field airports and determined to be consistent with airport noise and safety compatibility guidelines.

The project site is an irregularly shaped corner lot that was formerly a gas station. The site is relatively flat and is currently vacant. The prior gasoline service station was demolished and associated underground storage tanks (USTs) were removed in 2009. The County of San Diego Department of Environmental Health (DEH) issued a letter dated March 19, 2014 regarding the removal of the underground storage tanks through the Voluntary Assistance Program (VAP) and determined no further action was required at that time. It was also noted within the letter, however, that contaminated soil remained on the eastern portion of the site, and any contaminated soil excavated as part of future subsurface construction must be managed in accordance with the legal requirements at that time. As a result of the proposed work, the DEH has opened a VAP case for this proposed project to manage the removal of contaminated soils (Attachment 6).

The project site is immediately surrounded by community commercial centers to the north, west, and across Balboa Avenue to the south, a majority of which are big-box retail stores. A gas station is located east, across Mount Abernathy Avenue, and a residential senior-housing apartment complex, within the adjacent RS-1-7 Zone, is located to the northeast (Attachment 3).

DISCUSSION

Project Description

The project proposes a 3,822-square-foot, single-story automated carwash tunnel, office, equipment room, and restrooms, with rooftop and canopy solar arrays, on an approximate 0.572-acre site. The project includes 18 vacuuming stations (separate from the carwash) covered by canopies with solar arrays that are expected to produce 86% of the carwash electric demand. Public Improvements to the site include closure of two driveways, reconstruction of two existing driveways, and construction of new sidewalks, curbs, and gutters facing Mount Abernathy and Balboa Avenues. Site Improvements include grading and 5,215 square feet of landscaping surrounding the carwash and vacuuming areas. The building is located at the rear of the site, to the northwest corner. Vehicles enter the carwash from Balboa Avenue and exit through Mount Abernathy Avenue (Attachment 13).

The proposed development is estimated to generate 926 average daily trips with 69 cumulative inbound/outbound trips during the AM peak hour and 92 cumulative inbound/outbound trips during the PM peak hour. Balboa Avenue and Mt. Abernathy Avenue are calculated to operate acceptably without modifications to either roadway. The automated carwash features a water recycling system that cleans water used during the car wash process, reducing runoff on site and reducing water usage.

Development of the proposed project requires the approval of a Site Development Permit (SDP) for development within the CPIOZ-B, pursuant San Diego Municipal Code Section 126.0502(c)(1).

Community Plan Analysis

The site is designated as Community Core-CPIOZ Type B, identified as the Genesee Plaza Shopping Center, within the Clairemont Mesa Community Planning area. A primary goal of the core area is to provide commercial services for residents of Clairemont Mesa, with an emphasis on creating a "pleasant and convenient shopping environment" through unique architectural, sign, and landscaping themes with pedestrian walkways and bikeways. The applicant has chosen to achieve this through the use of architecture and the provision of landscaping.

The building is sited on the northwest corner of the property diagonally. The siting of the building is similar to the adjacent property across Balboa Avenue, where parking and landscaping is pushed to the corner fronting the property. The effect these two properties create an entry point to the Community Core through architecture, which would meet a main objective of the Community Plan. To meet additional goals of the community plan, extensive landscaping provides a focal point to the shopping center and community core. The effect of placing the majority of the landscaping to the corner of Mt. Abernathy Avenue and Balboa Avenue creates a focal point to the community and helps integrate the project into the surrounding development, further meeting the intent and objectives of the community plan.

The proposed project would also meet the goal of creating safe pedestrian linkages by minimizing the number of driveways within the project site. The project would close two curb cuts and propose a 25-foot driveway on Balboa Avenue and a 14-foot driveway on Mount Abernathy Way. New sidewalks, curb and gutter, and landscaping in the right of way would improve the pedestrian access to and around the surrounding development. To meet the safety recommendations of the RAP, circulation is limited to entering via Balboa Avenue and exiting through Mount Abernathy Way. Additionally, a new bus stop pad will be added along Balboa Avenue, in preparation for MTS to install a new bus stop shelter and benches at the adjacent bus stop.

Environmental Analysis / Health and Safety

A negative declaration has been prepared for the project in accordance with CEQA guidelines, which identifies and addresses potential environmental impacts. The project addresses Health and Safety concerns by managing any contaminated soils encountered during construction. As noted in the DEH letter dated March 19, 2014, contaminated soil excavated as part of this project must be managed in accordance with current legal requirements. The site was revaluated for Health and Safety measures and the project will implement a Soil Management Plan, as well as a Health and Safety Plan as project design conditions. Both plans were evaluated by the DEH and approved on July 13, 2016.

Construction of the proposed project would entail routine transport of potentially hazardous materials, including gasoline, oil solvents, cleaners, and paint. Proper Construction Best Management Practices (BMPs), preparation of a Stormwater Pollution Prevention Program (SWPPP), and hazardous material handling protocols would be required to ensure safe storage, handling, transport, use, and disposal of all hazard materials during the construction phase of the proposed project. The approved Soil Management Plan and Health and Safety Plans would address these issues specifically. Construction would require to adhere to any local standards set forth by the City and County of San Diego, as well as state and federal health and safety requirements that are

intended to minimize hazardous materials risks to the public, such as California Occupational Safety and Health Administration (CalOSHA) requirements, the Hazardous Waste Control Act, the California Accidental Release Prevention (CalARP) program, the California Health and Safety Code.

Community Planning Group

On October 18, 2016, the Clairemont Mesa Planning Group voted 8-5-0 to recommend approval of the project with the suggested condition that car wash hours of operation be limited to 6AM through 10PM over noise concerns. The applicants have agreed to this condition.

Staff response: Development on the site must comply with adopted City Council policies and the applicable regulations of the Land Development Code. The CC-1-3 Zone does not restrict the hours of operation for the proposed use. The hours of operation, however, are dependent on noise levels of the equipment. Per the applicant's consultants, "Noise levels are projected to range between 38.6 to 59.9 dBA. During daytime hours (7AM to 10PM), the project's operational noise level does not exceed the City's allowable noise limit (based on land use). The project's projected operable hours are from 6AM to 10PM. Therefore, the project would comply with the City's daytime and evening noise ordinance." Between the hours of 10PM and 6AM, the noise limit is 60dBA; the operation of the carwash would comply with the existing noise ordinance. Staff does not recommend restrictions on the hours of operation for the carwash.

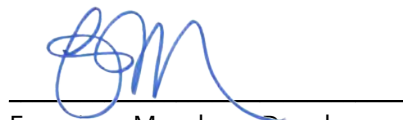
Conclusion

Staff has reviewed the proposed project and all issues identified through that review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The proposed car wash is consistent with the applicable recommendations and goals of the Clairemont Mesa Community Plan. Staff recommends the Hearing Officer approve the project as proposed without the condition of the Clairemont Mesa Planning Board.

ALTERNATIVES

1. Adopt Negative Declaration No. 469903 and approve Site Development Permit No. 1652413, with modifications.
2. Do not adopt Negative Declaration No. 469903 and deny Site Development Permit No. 1652413, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

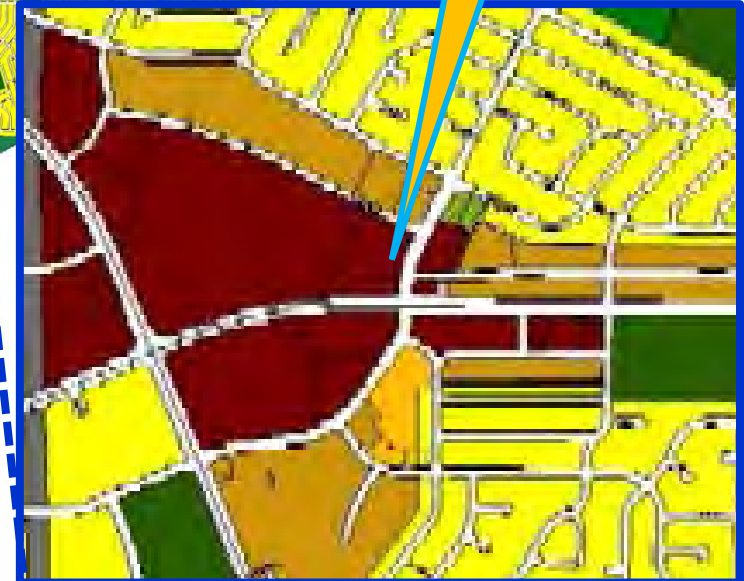
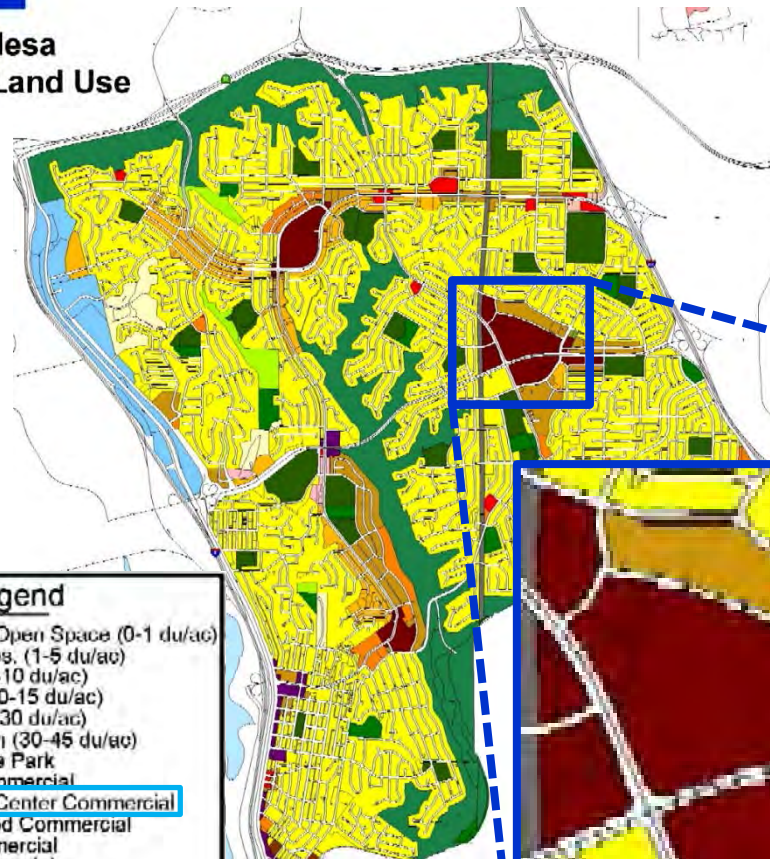
A handwritten signature in blue ink, appearing to read 'FM', is written over a horizontal line.

Francisco Mendoza, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. DEH Letter Dated March 19, 2016
6. DEH Letter Dated July 13, 2016
7. Draft Resolution with Findings
8. Draft Permit with Conditions
9. Draft Environmental Resolution (ND)
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans

**Clairemont Mesa
Community Plan Land Use**

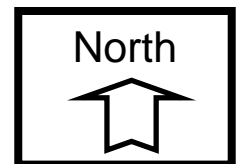


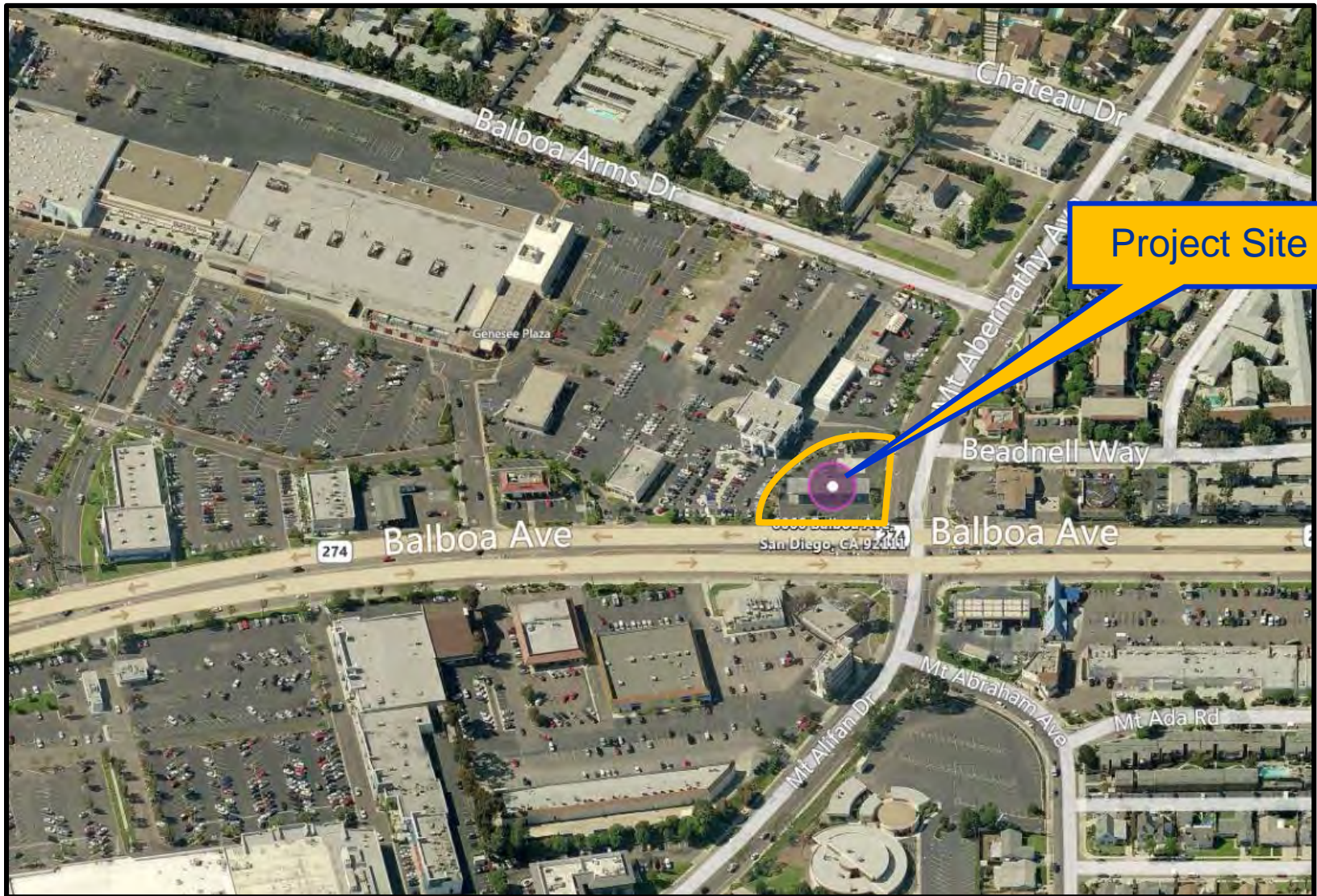
Project Site



Land Use Map

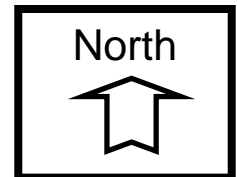
Balboa Express Carwash SDP / 6066 Balboa Avenue
PROJECT NO. 469903





Aerial Photograph

Balboa Express Carwash SDP / 6066 Balboa Avenue
PROJECT NO. 469903



PROJECT DATA SHEET		
PROJECT NAME:	Balboa Express Carwash SDP	
PROJECT DESCRIPTION:	Automated Carwash with Vacuum Stations	
COMMUNITY PLAN AREA:	Clairemont Mesa	
DISCRETIONARY ACTIONS:	Site Development Permit (within CPIOZ-B)	
COMMUNITY PLAN LAND USE DESIGNATION:	Community Commercial Core	
<p style="text-align: center;">ZONING INFORMATION:</p> <p>ZONE: CC-1-3 (intended to accommodate development with auto orientation)</p> <p>HEIGHT LIMIT: 30' limited by Clairemont Mesa Height Limitation</p> <p>LOT SIZE: 0.572-acres</p> <p>FLOOR AREA RATIO: 2.0 max (0.15 FAR proposed)</p> <p>SETBACKS: None required</p> <p>PARKING: 18 (includes 1 employee space, 2 motorcycle spaces).</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Community Commercial Core CC-1-3	Commercial Retail
SOUTH:	Community Commercial Core CC-1-3	Commercial Retail
EAST:	Community Commercial Core CC-1-3	Commercial Service Station (east) and Senior Residential Apartments (north east)
WEST:	Community Commercial Core CC-1-3	Commercial Retail
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 18, 2016, the Clairemont Mesa Planning Group voted 8-5-0 to recommend approval of the project with one recommended condition on hours of operation.	



JACK MILLER
Director

County of San Diego

ELIZABETH POZZEBON
Assistant Director

DEPARTMENT OF ENVIRONMENTAL HEALTH

P.O. BOX 129261, SAN DIEGO, CA 92112-9261
Phone: (858) 505-6700/1 (800) 253-9933

www.sdcdeh.org

March 19, 2014

Mr. Lee Hanley
Exxon Mobil
1464 Madera Road, Suite N #265
Simi Valley, CA 93065

RECEIVED MAR 26 2014

Dear Mr. Hanley:

UNAUTHORIZED RELEASE H12820-002
MOBIL STATION 18-F95
6066 BALBOA AVENUE, SAN DIEGO, CA 92111

This letter confirms the completion of a site investigation and corrective action for the underground storage tanks formally located at the above-described location. Thank you for your cooperation throughout this investigation. Your willingness and promptness in responding to our inquiries concerning the former underground storage tanks is greatly appreciated.

Based on information in the above-referenced file and with the provision that the information provided to this agency was accurate and representative of site conditions, this agency finds that the site investigation and corrective action carried out at your underground storage tanks site is in compliance with the requirements of subdivisions (a) and (b) of Section 25296.10 of the Health and Safety Code and with corrective action regulations adopted pursuant to Section 25299.3 of the Health and Safety Code, and that no further action related to the petroleum release at the site is required.

Claims for reimbursement of corrective action costs submitted to the Underground Storage Tank Cleanup Fund more than 365 days after the date of this letter or issuance or activation of the Fund's Letter of Commitment, whichever occurs later, will not be reimbursed unless one of the following exceptions applies:

- Claims are submitted pursuant to Section 25299.57, subdivision (k) (reopened UST case); or
- Submission within the timeframe was beyond the claimant's reasonable control, ongoing work is required for closure that will result in the submission of claims beyond that time period, or that under the circumstances of the case, it would be unreasonable or inequitable to impose the 365-day time period.

This notice is issued pursuant to subdivision (g) of Section 25296.10 of the Health and Safety Code. Please contact Ewan Moffat, at (858) 505-6856, if you have questions regarding this matter.

Sincerely,

JACK MILLER, Director
Department of Environmental Health
Site Assessment and Mitigation Program

cc: Mr. Jeff Aguilar, Cardino ERI

Case Closure Summary

Leaking Underground Fuel Storage Tank Program

I. AGENCY INFORMATION

DATE: March 18, 2014

Agency Name: COUNTY OF SAN DIEGO, ENVIRONMENTAL HEALTH, SAM	Address: P.O. BOX 129261
City/State/Zip: SAN DIEGO, CA 92112-9261	Phone: (858) 505-6856 FAX: (858) 694-3670
Responsible Staff Person: EWAN MOFFAT	Title: ENVIRONMENTAL HEALTH SPECIALIST

II. CASE INFORMATION

Site Facility Name: MOBIL 18F95				
Site Facility Address: 6066 BALBOA AVE., SAN DIEGO, CA 92111				
RB LUSTIS Case No: 9UT2112		Local Case No: H12820-002		LOP Case No: N/A
URF Filing Date: 8/3/2009		SWEEPS No: N/A		
Responsible Parties		Address		Phone Number
LEE HANLEY EXXON MOBIL		901 WEST ARROW HIGHWAY #473 SAN DIMAS, CA 91733		(951) 270-5163
Tank No.	Size in Gal.	Contents	Status	Date
T001	10,000 gallons	GASOLINE	CLOSED BY REMOVAL	8/19/09
T002	10,000 gallons	GASOLINE	CLOSED BY REMOVAL	8/19/09
T003	10,000 gallons	GASOLINE	CLOSED BY REMOVAL	8/19/09
T004	10,000 gallons	GASOLINE	CLOSED BY REMOVAL	8/19/09

III. RELEASE AND SITE CHARACTERIZATION INFORMATION

Cause Release: Elevated Levels of TPH Gasoline in Borings		Substance Released: Gasoline	
Site Characterization complete: YES		Date Approved By Oversight Agency: 8/15/2013	
Monitoring Wells Installed? YES		Number: 8	Proper Screened Interval? YES
Highest GW Depth B.G. Surface: 2.01'		Lowest Depth: 6.35'	Flow Direction: NORTH
Most Sensitive Current Use: BENEFICIAL GROUNDWATER USE: NONE DESIGNATED EXISTING BENEFICIAL SURFACE WATER USE: REC2 AND POTENTIAL: REC1			
Are Drinking Water Wells Affected? NO		Aquifer Name: 906.50-TECOLOTE HYDROLOGIC AREA	
Is Surface Water Affected? NO		Nearest SW name: TECOLOTE CREEK 1.5 MILES WEST	
Off-Site Beneficial Use Impacts (addresses/locations): NA			
Report(s) on file? YES		Where is Report(s) Filed? COUNTY OF SAN DIEGO, ENVIRONMENTAL HEALTH	
TREATMENT AND DISPOSAL OF AFFECTED MATERIAL			
Material	Amount (Include Units)	Action (Treatment or Disposal)	Date
Soil	28 Drums	Treatment, TPS Technologies, Adelanto, CA	7/31/09
Groundwater	200 Gallons	Treatment, Crosby & Overton, Long Beach CA	7/31/09
Tanks	4 Tanks	Disposal - Miramar Landfill, San Diego, CA	8/19/09
Groundwater	17,100 Gallons	Treatment, Crosby & Overton, Long Beach CA	8/19/09
Tank Rinsate	800 Gallon	Treatment, Demenno Kerdoon, Compton CA	8/19/09
Tank Rinsate	150 Gallons	Treatment, Crosby & Overton, Long Beach CA	8/19/09
Soil	255.28 Tons	Treatment, TPS Technologies, Adelanto, CA	8/24/09
Soil	2.97 Tons	Treatment, Soil Safe, Adelanto, CA	10/27/10
Groundwater	220 Gallons	Treatment, Crosby & Overton, Long Beach CA	10/27/10

Case Closure Summary

Leaking Underground Fuel Storage Tank Program

III. RELEASE AND SITE CHARACTERIZATION INFORMATION (Continued)

H12820-002

MAXIMUM DOCUMENTED CONTAMINANT CONCENTRATIONS -		MAXIMUM	REMAINING
SOIL			
Gasoline	=	2,268 mg/kg	= 2,268 mg/kg
Diesel	=	130 mg/kg	= 130 mg/kg
Benzene	=	4.5 mg/kg	= 4.5 mg/kg
Toluene	=	86.2 mg/kg	= 86.2 mg/kg
Ethyl benzene	=	36.5 mg/kg	= 36.5 mg/kg
Xylene (individual isomers or total)	=	238.5 mg/kg	= 238.5 mg/kg
Methyl-tert-butyl ether (MTBE)	=	3.0 mg/kg	= 3.0 mg/kg
TBA	=	15 mg/kg	= 15 mg/kg
WATER			
LPH		0 feet	0 feet
Gasoline	=	1,040 ug/l	= 1,040 ug/l
Benzene	=	330 ug/l	= 9.49 ug/l
Toluene	=	0.77 ug/l	< 0.5 ug/l
Ethyl benzene	=	1.6 ug/l	= 0.31 ug/l
Xylene (individual isomers or total)	=	7.5 ug/l	= 0.75 ug/l
Methyl-tert-butyl ether (MTBE)	=	170 ug/l	= 72.6 ug/l
TBA	=	24,700 ug/l	= 14,500 ug/l

Comments:

This site is currently a vacant lot.

The former release (H12820-001) involved a gasoline release from USTs that were removed in August 1986. The case was closed August 8, 1994.

This release (H12820-002) was discovered during a Phase II investigation in August 2009. The extent of soil contamination was further delineated with additional soil borings. All four tanks, piping and dispensers were removed in August 19, 2009 and all structures on site were demolished.

From 2009 to 2010, eight groundwater monitoring wells were installed at which time the groundwater plume was delineated. Groundwater samples from monitoring wells related to the Arco Station 1986 (Release #H15189-001), located east of the site (6130 Balboa Ave), and Shell (Release #H13176-002), located southeast of the site (6125 Balboa Ave), were also used to delineate the plume.

A July 13, 2013 Corrective Action Plan (CAP) was submitted. The suggested clean up method, natural attenuation, was approved.

The consultant proposed natural attenuation because:

- No LPH has been detected on the groundwater.
- The plume is shrinking.
- No supply wells are within a ¼ mile of this site.
- Groundwater is designated as having no beneficial uses.
- Most utilities are above the groundwater table, per the consultant. However, an 18-inch diameter stormdrain, an 8-inch sewer line and navy fuel line beneath the sidewalk on Balboa Ave and Mount Albernathy Avenue are located at a depth of approximately 10' bgs which is below the groundwater table. However, the limited area of dissolved contaminants detected beneath this site indicates a low risk of environmental exposure, per the consultant.
- Based on degradation analyses, it is estimated that benzene in groundwater will degrade to MCL's of 1ppb within one year using MW-4 groundwater benzene data.
- It is estimated that MtBE in groundwater will degrade to MCL's of 13 ppb within one year using MW-2 groundwater MtBE data.

The health risk is less than one in a million (6.24×10^{-7}) excess cancer risk based on benzene groundwater concentrations in groundwater. There are no buildings on this site.

The consultant states that approximately 37.5 cubic yards of soil remain on site with over 100 mg/kg TPHg. This soil is located in the area on the east side of the property (boring DV6 southeast of former tank T0004) to a depth of approximately 4' bgs.

Other than removal of tanks, piping, dispensers and pumping of groundwater from tank cavity, no other form of active cleanup has occurred on the site. DEH concurs with the consultant's conclusions and recommendations and approves case closure.

Case Closure Summary

Leaking Underground Fuel Storage Tank Program

IV. CLOSURE**H12820-002**

Does completed corrective action protect existing beneficial uses per the Regional Board Basin Plan? YES

Does completed corrective action protect potential beneficial uses per the Regional Board Basin Plan YES

Does corrective action protect public health for current land use? YES

Case oversight completed based upon the following site use: COMMERCIAL

Site Management Requirements:

ANY CONTAMINATED SOIL EXCAVATED AS PART OF SUBSURFACE CONSTRUCTION WORK MUST BE MANAGED IN ACCORDANCE WITH THE LEGAL REQUIREMENTS AT THAT TIME.

Should corrective action be reviewed if land use changes? YES

Monitoring Wells Decommissioned: YES

Number Decommissioned: 8*

Number Retained: NA

List Actions Taken: NOTICE OF REIMBURSEMENT / LOCAL

List Enforcement Actions Rescinded: NONE

V. LOCAL AGENCY REPRESENTATIVE DATA

Name: TONY V. SAWYER, PG 4345, CHg 40

Title: HYDROGEOLOGIST

Signature: 

Date: 3-19-14

VI. RWQCB NOTIFICATION

Date Submitted to RB: N/A – Non Beneficial

RB Response: N/A

RWQCB Staff Name: N/A

Title: N/A

Date: N/A

VII. ADDITIONAL COMMENTS, DATA, ETC.

* A permit application has been received for the destruction of the existing monitoring wells on-site.
The permit number is DEH-2014-LWMP 000813.

This document and the related CASE CLOSURE LETTER, shall be retained by the lead agency as part of the official site file.



County of San Diego

ELISE ROTHSCILD
DIRECTOR

DEPARTMENT OF ENVIRONMENTAL HEALTH
LAND AND WATER QUALITY DIVISION
P.O. BOX 129261, SAN DIEGO, CA 92112-9261
Phone: (858) 565-5173 Fax: (858) 514-6853
www.sdcdeh.org

AMY HARBERT
ASSISTANT DIRECTOR

July 13, 2016

Mr. Shahram Dehghani
Art of Construction, LLC
10724 Wilshire Blvd., Suite #1506
Los Angeles, CA 90024

Dear Mr. Dehghani:

VOLUNTARY ASSISTANCE PROGRAM - DEH CASE – DEH2016 LSAM 000379
RESPONSE LETTER
BALBOA EXPRESS CAR WASH
6066 BALBOA AVENUE, SAN DIEGO, CA 92111

Staff of the Department of Environmental Health, Site Assessment and Mitigation Program (SAM) have reviewed the June 22, 2016 *Soil Management Plan* (SMP) prepared by Frey Environmental. The report describes the scope of work for the segregation, reuse and disposal of soils to be excavated at this site during a grading project for the construction of a future car wash. Soil on site will be excavated up to 4 feet below grade. The report discusses segregation and sampling protocols if impacted soils are noted. The SMP, including the sampling protocols and parameters, is *approved*. Please note that any off-site reuse of soils will require a conditional waiver from the Regional Water Quality Control Board (RWQCB).

In addition, SAM staff have also reviewed the June 22, 2016 *Community Health and Safety Plan* (CHSP), also submitted by Frey Environmental. The report addresses proposed safeguards for the community due to the excavation, stockpiling and loading of soils generated during the grading project. The report describes the proposed methods for the application of water to control dust, the use of Photo Ionization Detectors (PID) to monitor hydrocarbon vapors and the protocols to be followed if PID readings are noted. The report further discusses methods of noise control, BMP's and emergency planning. It also contains a sample public notification. The CHSP, and format of public notification, is also *approved*.

If you have any questions, please call me at (858) 505-6856.

Sincerely,

Ewan Moffat
PG, CHg

Digitally signed by Ewan Moffat PG, CHg
DN: cn=Ewan Moffat PG, CHg, o=DEH,
ou=SAM,
email=ewanko@sdcounty.ca.gov, c=US
Date: 2016.07.13 15:51:06 -07'00'

Ewan Moffat PG 7207, CHg 972, Project Manager
Site Assessment and Mitigation Program

cc: Mr. Ed Rands, Frey Environmental.

HEARING OFFICER RESOLUTION NO. HO-XXXX
SITE DEVELOPMENT PERMIT NO. 1652413
BALBOA EXPRESS CARWASH - PROJECT NO. 469903

WHEREAS, The Art Of Construction, LLC, a California limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct an automated carwash (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1652413), on portions of a 0.572-acre site;

WHEREAS, the project site is located at 6066 Balboa Avenue in the CC-1-3 Zone, the Clairemont Mesa Height Overlay, and the Community Plan Implementation Overlay Zone (CPIOZ) Type B zones of the Clairemont Mesa Community Plan;

WHEREAS, the project site is legally described as Lot 6 of Balboa Shopping Center, Resubdivision No. 1, Map No. 6256, December 30, 1968;

WHEREAS, on February 15, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1652413 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated February 15, 2017.

FINDINGS:

Section 126.0504(a) - Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan.

The project site is designated as Community Core – Community Plan Implementation Overlay Zone Type B within the Clairemont Mesa Community Plan. The plan allows commercial uses and the proposed car wash is consistent with this designation.

The proposed project would implement the Commercial Element goals and recommendations of the community plan of providing a “pleasant and convenient shopping environment” through unique architectural and landscape themes with updated pedestrian improvements. The building is sited on the northwest corner of the property diagonally. The siting of the building is similar to the adjacent property across Balboa Avenue, where parking and landscaping is pushed to the corner fronting the property. The effect these two properties create is an entry point to the Community Core through architecture, which is one of the main objectives of the Community Plan.

In order to meet additional goals of the community plan, extensive landscaping provides a focal point to the shopping center and create a park-like setting. The effect of placing the majority of the landscaping to the corner of Mt. Abernathy Avenue and Balboa Avenue creates a focal point to the community and helps integrate the project into the surrounding development, further meeting the intent and objectives of the community plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project site is an irregularly shaped corner lot that was formerly a gas station. The site is relatively flat and is currently vacant. The gasoline service station was demolished and underground storage tanks (USTs) were removed in 2009 under the jurisdiction of the County of San Diego Department of Environmental Health (DEH). The DEH issued a letter dated March 19, 2014 regarding the removal of the underground storage tanks through the Voluntary Assistance Program (VAP) and no further action was required, however, it was also noted within the letter that contaminated soil remained on the eastern portion of the site. Any contaminated soil excavated as part of future subsurface construction must be managed in accordance with the legal requirements at that time. As a result of the proposed work, the DEH has opened a VAP case for the project to manage the removal of contaminated soils.

A negative declaration has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines, which identifies and addresses these potential impacts. No impacts were considered to be significant, however, as noted in the DEH letter dated March 19, 2014, contaminated soil excavated as part of this project must be managed in accordance with legal requirements. With the redevelopment of the site, ground disturbance activities will occur, and as such, the site was reevaluated for Health and Safety measures and the project will implement a Soil Management Plan, as well as a Health and Safety Plan, as project design conditions. Both plans were evaluated and approved on July 13, 2016 by the County of San Diego – Department of Public Health.

Construction of the proposed project would entail routine transport of potentially hazardous materials, including gasoline, oil solvents, cleaners, and paint. Proper construction Best Management Practices (BMPs), preparation of a Stormwater Pollution Prevention Plan (SWPPP), and hazardous material handling protocols would be required to ensure safe storage, handling, transport, use, and disposal of all hazard materials during the construction phase of the proposed project. Construction would also be required to adhere to any local standards set forth by the City and County of San Diego, as well as state and federal health and safety requirements that are intended to minimize hazardous materials risks to the public, such as California Occupational Safety and Health Administration (CalOSHA) requirements, the Hazardous Waste Control Act, the California Accidental Release Prevention (CalARP) program, the California Health and Safety Code.

Site improvements on the property include the reduction in number of curb cuts (reduced to two driveway cuts) and new sidewalks, curb and gutters, and ADA-compliant driveways. New City Standard sidewalks with landscaping in the public right of way improve the pedestrian linkages for the public, which provides a safer public environment. New driveway curb cuts are ADA-compliant which improves the accessibility and safety of pedestrians walking in the public right of way. As a result of these project design features and contaminated soil removal, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is designated as Community Core – Community Plan Implementation Overlay Zone Type B within the Clairemont Mesa Community Plan. The underlying CC-1-3 Zone allows commercial development at a 2.0 Floor Area Ratio (FAR). The project proposes approximately 3,800 square feet on the 0.573-acre (approximately 25,000 square feet) lot for an FAR of 0.15. The project proposes no deviations from the underlying zone and is consistent with the applicable regulations of the CC-1-3 Zone, therefore, the development will comply with the regulations of the Land Development Code pursuant to the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1652413 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1652413, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on: February 15, 2017

IO#: 24006467

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006467

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1652413
BALBOA EXPRESS CARWASH - PROJECT NO. 469903
HEARING OFFICER

This Site Development Permit No. 1652413 is granted by the Hearing Officer of the City of San Diego to The Art Of Construction, LLC, a California limited liability company, Owner/Permittee pursuant to San Diego Municipal Code [SDMC] section 126.0504(a). The 0.572-acre site is located at 6066 Balboa Avenue in the CC-1-3 Zone, the Clairemont Mesa Height Overlay, and the Community Plan Implementation Overlay Zone (CPIOZ) Type B zones of the Clairemont Mesa Community Plan area. The project site is legally described as Lot 6 of Balboa Shopping Center, Resubdivision No. 1, Map No. 6256, December 30, 1968.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an automated carwash described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 15, 2017, on file in the Development Services Department.

The project shall include:

- a. A 3,822-square-foot automated carwash with vacuum stations.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March 3, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL DESIGN REQUIREMENTS:

11. The Owner/Permittee shall implement and ensure compliance with the "Soil Management Plan - Balboa Express Car Wash Project," approved by the County of San Diego Department of Environmental Health, dated September 22, 2016.

12. The Owner/Permittee shall implement and ensure compliance with the "Community Health and Safety Plan - Balboa Express Car Wash Project", approved by the County of San Diego Department of Environmental Health, dated September 22, 2016.

13. After issuance of a Grading Permit, but prior to the issuance of a Building Permit, the applicant shall provide a letter (Concurrence Letter) to the City Engineer, verifying that the County of San Diego Department of Environmental Health concurs that human health, water resources, and the environment are adequately protected from any contamination that may have been present on the site and the applicant has complied fully with the approved Soil Management Plan, as well as, the Community Health and Safety Plan.

14. The approved Soil Management Plan and the Community Health and Safety Plan (verbatim) shall be provided on ALL approved construction drawings for the development of the site. A copy of these plans shall be maintained at the project site at all times of development. The Owner/Permittee is responsible to ensure compliance with said condition.

15. Per Section VII. Hazards and Hazardous Materials (c) of the project's Initial Study, An approved traffic control and trucking plan shall be incorporated and implemented inclusive of the project's Health and Safety Plan to avoid transportation of hazardous materials within one-quarter mile of any existing schools.

CLIMATE ACTION PLAN REQUIREMENTS:

16. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

17. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

18. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of the non-utilized 42-foot driveway with current City Standard curb, gutter and sidewalk, adjacent to the site on Balboa Avenue, satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 14-foot- driveway, adjacent to the site on Mt. Abernathy Avenue, to the satisfaction of the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing west driveway with a current City Standard 25-foot-wide driveway, adjacent to the site on Balboa Avenue, to the satisfaction of the City Engineer.

22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing curb, gutter, and sidewalk per current City Standards, adjacent to the site on Balboa Avenue and Mt. Abernathy Avenue.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

25. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

26. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

27. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A," satisfactory to the City Engineer.
32. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

34. No fewer than eighteen (18) off-street parking spaces (with 1 accessible parking space provided) and two (2) motorcycle spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the San Diego Municipal Code (SDMC), and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
35. Trash pickup shall occur outside hours of business operation.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPDs), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.
37. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.
38. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.
39. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
40. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on February 15, 2017 and [Approved Resolution Number].

ATTACHMENT 8

Site Development Permit No. 1652413
Date of Approval: February 15, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

THE ART OF CONSTRUCTION, LLC
a California Limited Liability Company
Owner/Permittee

By _____
Shahram Dehghani
Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER HO-XXXX-2
BALBOA EXPRESS CAR WASH SDP – PROJECT NO. 469903
ADOPTED ON FEBRUARY 15, 2017

WHEREAS, on February 22, 2016, Hannibal Petrossi submitted an application to the Development Services Department for SITE DEVELOPMENT PERMIT No. 1652413 for the BALBOA EXPRESS CAR WASH SDP (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on February 15, 2017; and

WHEREAS, the Hearing Officer considered the issues discussed in Negative Declaration No. 469903 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record, including the Initial Study and any comments received, that there is no substantial evidence that the Project will have a significant effect on the environment (with the incorporation of mandatory Project Design Conditions), and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the DEVELOPMENT SERVICES DEPARTMENT, 1222 FIRST AVENUE, SAN DIEGO, CA 92101.

BE IT FURTHER RESOLVED, that DEVELOPMENT SERVICES STAFF is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED: DEVELOPMENT PROJECT MANAGER

By: _____
Francisco Mendoza, DEVELOPMENT PROJECT MANAGER



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Balboa Express Carwash SDP	Project Number: 469903	Distribution Date: 2/24/2016
Project Scope/Location: CLAIREMONT MESA (Process 3) Site Development Permit for the construction of a 3,822 self service car wash with office and equipment room at 6066 Balboa Ave. The 0.572 acre site is in the CC-1-3 zone, Community Plan Implementation Overlay Zone-B within the Clairemont Mesa Community Plan Area. Council District 6.		
Applicant Name: SHARAM DEHGANI		Applicant Phone Number: 619.453.5008
Project Manager: Sandra Teasley FRANCISCO MENDOZA	Phone Number: (619) 321-3208 446-5433	Fax Number: (619) 321-3200
E-mail Address: STeasley@san-diego.gov FMendoza		
Committee Recommendations (To be completed for Initial Review): 		
<input type="checkbox"/> Vote to Approve	Members Yes	Members No
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	8	5
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No
<input type="checkbox"/> Vote to Deny	Members Yes	Members No
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		<input type="checkbox"/> Continued
CONDITIONS: LIMITATION OF HOURS OF OPERATION FROM 6AM TO 10 PM		
NAME: NAVEEN H. WANEY		TITLE: VICE CHAIR CCPG / CHAIR PROJECT REVIEW
SIGNATURE: <i>Naveen H. Waneey</i>		DATE: 10/21/10
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.		



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other

Project Title **BALBOA EXPRESS CAR WASH** Project No. For City Use Only **469903**

Project Address:
6066 BALBOA AVENUE, SAN DIEGO CA 92111

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:


Project Title: BALBOA EXPRESS CARWASH	Project No. (For City Use Only) 469903
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General) What State? _____ Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☒ No

Corporate/Partnership Name (type or print): THE ART OF CONSTRUCTION, LLC <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 10920 WILSHIRE BLVD. STE 150-9252 City/State/Zip: LOS ANGELES, CA 90024 Phone No: (619) 453-5008 Fax No: _____ Name of Corporate Officer/Partner (type or print): SHARAM DEGHANI Title (type or print): MANAGER Signature:  Date: 01.19.2015	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.



100 HUNTER, ST. N. SUITE 200
NEWPORT BEACH, CA 92660
TEL: (949) 833-0346
FAX: (949) 833-1143
E-MAIL: INFO@KROSSERASSOC.COM

PROJECT

LEGEND	PROJ. DIRECTORY	DEVELOPMENT SUMMARY	GENERAL NOTES	SHEET INDEX
<div>DOOR SYMBOL</div> <div>WINDOW SYMBOL</div> <div>SECTION</div> <div>DETAIL</div> <div>INTERIOR ELEVATION (RESTROOMS)</div> <div>EXIT SIGN</div> <div>INTERIOR ELEVATION</div> <div>PATH OF TRAVEL</div>	<div>PROJECT LOCATION :</div> <div>6066 BALBOA AVENUE SAN DIEGO, CALIFORNIA</div> <div>OWNERS :</div> <div>ART OF CONSTRUCTION, LLC 10750 WILSHIRE BLVD. # 100-1052 LOS ANGELES, CA 90024 (415) 453-5000</div> <div>DESIGNER :</div> <div>PETROSSI AND ASSOCIATES, INC. 3600 BRISTOL STREET N. SUITE 210 NEWPORT BEACH, CA 92660 (714) 833-3340</div> <div>SOIL ENGINEER :</div> <div>SOIL PACIFIC, INC. 475 N. ECHOFF, SUITE A ORANGE, CA 92668 (714) 878-2883</div> <div>CIVIL ENGINEER :</div> <div>TOTAL ENGINEERING, INC. 195 AVENIDA NAVARRO SAN CLEMENTE, CA 92672 (949) 482-8886</div> <div>STRUCTURAL ENGINEER:</div> <div>WILLIAM SHIPPON & ASSOCIATES, INC. 23 ORCHARD SUITE 250 LAKE FOREST, CA 92630 (949) 206-9229</div> <div>MECHANICAL/PLUMBING/ ELECTRICAL ENGINEER:</div> <div>MECHANICAL BUILDING SYSTEM ENGINEERING, INC. 6400 VICKYVIEW DR. WEST HILLS, CA 92081 (818) 348-5506</div> <div>LANDSCAPE ARCHITECT :</div> <div>JOHN PETERS & ASSOCIATES 12 VILLAGE SQUARE WEST RIDGEWAY, CO 80432 (303) 628-9887</div>	<div>I. SCOPE OF WORK :</div> <div>CONSTRUCTION OF NEW SELF SERVICE CARWASH WITH EXTERIOR VACUUM SYSTEM. EXISTING USE : GAS STATION AND CURRENTLY VACANT. PROPOSED USE : EXPRESS CARWASH.</div> <div>II. REQUIRED DISCRETIONARY PERMIT :</div> <div>SITE DEVELOPMENT PERMIT.</div> <div>III. CODE DATA:</div> <div>2003 CALIFORNIA BUILDING CODE 2003 CALIFORNIA MECHANICAL CODE 2003 CALIFORNIA PLUMBING CODE 2003 CALIFORNIA ELECTRICAL CODE 2003 CALIFORNIA ENERGY CODE 2003 CALIFORNIA GREEN BUILDING CODE</div> <div>ZONING :</div> <div>CC-1-3 ZONE AND CLAREMONT MESA COMMUNITY PLAN AREA AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (Y/CAB MIRAVIA/PORTCHERRY FIELD) / AIRPORT INFLUENCE REVIEW AREA 2(AA PART 1) NOTICING AREA), CLAREMONT MESA HEIGHT LIMITATION AND COMMUNITY PLAN PERMIT (CPOC "B") OVERLAY ZONE.</div> <div>TYPE OF CONSTRUCTION :</div> <div>V-B</div> <div>OCCUPANCY :</div> <div>B, B-2</div> <div>SPRINKLER :</div> <div>NO</div> <div>STORY :</div> <div>1</div> <div>OCCUPANCY LOAD :</div> <div></div> <div>OFFICE AREA :</div> <div>795 / 100 = 8</div> <div>EQUIPMENT ROOM AREA :</div> <div>1055 / 300 = 4</div> <div>CARWASH TUNNEL :</div> <div>1365 / 100 = 10</div> <div>TOTAL</div> <div>32</div> <div>IV. SITE :</div> <div>LEGAL DESCRIPTION :</div> <div>LOT 6 BALBOA SHOPPING CENTER MAP NUMBER 6256</div> <div>ASSESSOR PARCEL NUMBER :</div> <div>361-261-0000</div> <div>LOT AREA :</div> <div>24,300 SF. (0.572 AC.)</div> <div>LANDSCAPE AREA :</div> <div>9,215 SF. (21%)</div> <div>LOT COVERAGE :</div> <div>(75.3%)</div> <div>V. BUILDING AREA :</div> <div>OFFICE INCLUDING RESTROOMS & PASSAGEWAY :</div> <div>795 SF.</div> <div>EQUIPMENTS ROOM :</div> <div>1055 SF.</div> <div>CARWASH TUNNEL :</div> <div>1365 SF.</div> <div>TOTAL BUILDING AREA :</div> <div>3,022 SF.</div> <div>VI. PARKING :</div> <div>STANDARD STALLS :</div> <div>18</div> <div>ACCESSIBLE STALL :</div> <div>1</div> <div>TOTAL :</div> <div>19</div> <div>1. THIS SET OF DOCUMENTS ARE CONSIDERED AS ONE UNIT AND SHALL NOT BE CONSIDERED COMPLETE OR WHOLE IF DOCUMENTS ARE SEPARATED IN ANY MANNER. DOCUMENTS SHALL NOT BE SEPARATED FOR THE PURPOSES OF SUBMITTING A BID PROPOSAL OR FOR THE SEPARATE PHASE OF ANY CONSTRUCTION.</div> <div>2. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS (DO NOT SCALE DRAWINGS) AND FIELD VERIFICATION SHALL BE MADE BY THE GENERAL CONTRACTOR AND OR SUBCONTRACTOR BEFORE BIDDING. ANY DISCREPANCY IN DIMENSIONS AND OR DRAWINGS AND OR GRAPHIC REPRESENTATION AND OR ACTUAL FIELD MEASUREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF PETROSSI & ASSOC. INC. AND RESOLVED PRIOR TO THE SIGNING OF CONSTRUCTION CONTRACT AND OR COMMENCEMENT OF ANY RELATED MATERIAL ORDERING AND OR WORK.</div> <div>3. THIS PROJECT MUST BE BUILT FROM THE CITY APPROVED PRINTS, WHICH ARE TO REMAIN ON SITE AT ALL TIMES FOR USE BY ALL INVOLVED TRADES AND INSPECTORS.</div> <div>4. NO SUBSTITUTIONS OR CHANGES TO APPROVED DRAWINGS CAN BE MADE WITHOUT CONCURRENCE OF THE OWNER AND PETROSSI & ASSOCIATES, INC.</div> <div>5. ALL WORK MATERIAL, METHODS, ETC. SHALL CONFORM TO ALL GOVERNING BUILDING CODES, REGULATIONS AND AGENCIES.</div> <div>6. PROVIDE PIPE GUARDS AT ALL ABOVE GROUND UTILITY EQUIPMENT AS DICTATED BY GOVERNING AGENCIES.</div> <div>7. CONTRACTOR TO CONFIRM THAT PROPER FINISH GRADE ELEVATIONS HAVE BEEN PROVIDED AT THE PERIMETER OF THE BUILDING AND ADJOINING AREAS. REFER TO BUILDING PLANS. REPORT TO ARCHITECT/ENGINEER ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ROUGH GRADING.</div> <div>8. GOVERNING CODES AND FIRE DEPARTMENT FIELD INSPECTOR SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS (NFC).</div> <div>9. EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED WHEN THE FACE OF AN EXIT SIGN IS ILLUMINATED FROM AN EXTERNAL SOURCE. IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (CBC 1015.2). THE EXIT SIGN SHALL BE ILLUMINATED AT ALL TIME TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2102 (CBC 1015.6.1).</div> <div>10. ALL TOILET ROOMS SHALL BE VENTILATED WITH 5 MINUTE AIR CHANGES BY MECHANICAL MEANS. SEE APPLICABLE DRAWINGS.</div> <div>11. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.</div> <div>12. ALL PENETRATIONS OF 1-HOUR FIRE RESISTIVE CONSTRUCTION SHALL BE PROTECTED WITH APPROVED FIRE ASSEMBLIES, SECTION 714, CBC.</div> <div>13. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306 OF CBC.</div> <div>14. ALL WOOD STUDS ARE 2x6 AT 16" O.C. UNLESS NOTED OTHERWISE.</div> <div>15. EVERY EXIT DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.</div> <div>16. EXIT DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD.</div> <div>17. ALL EXPOSED ELECTRICAL EQUIPMENT SHALL BE PAINTED TO MATCH ADJACENT SURFACES.</div> <div>18. THE GENERAL CONTRACTOR SHALL FURNISH A HYDRAULICALLY CALCULATED AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR SHALL PREPARE SHOP DRAWINGS AND OBTAIN APPROVALS FROM THE BUILDING FIRE DEPARTMENT AND OTHER REQUIRED GOVERNING AGENCIES.</div> <div>19. THESE DOCUMENTS ARE THE PROPERTY OF PETROSSI & ASSOCIATES AND OWNER. NO PART OF THESE DOCUMENTS (DRAWINGS AND SPECIFICATIONS) SHALL BE USED FOR ANY OTHER PROJECT EXCEPT FOR THIS PROJECT WITHOUT THE PRIOR WRITTEN CONSENT OF PETROSSI & ASSOCIATES INC.</div> <div>20. COMBUSTIBLE MATERIAL (WOOD) IN DUCTS AND RETURN AIR PLENUMS SHALL HAVE A FLAME-SPREAD RATING 25 AND A SMOKE-DEVELOPED RATING < 50.</div> <div>21. FIRE DAMPERS ARE REQUIRED AT DUCT PENETRATION OR AREA OR OCCUPANCY SEPARATION WALLS. HORIZONTAL EXIT WALLS, FIRE-RATED SHAFT FIRE-RESISTIVE FLOOR-CEILING ROOF-CEILING ASSEMBLIES, AND FIRE-RATED CORRIDOR WALLS OR CEILING WHEN ANY EXTENSION OF THE DUCT LEAD TO AN OPENING INTO THE CORRIDOR. SEE ALL DAMPERS ON THE MECHANICAL PLAN.</div>	<div>T-1 TITLE SHEET</div> <div>A-1 SITE PLAN</div> <div>A-2 SITE SECTIONS</div> <div>A-3 FLOOR PLAN</div> <div>A-4 ROOF PLAN</div> <div>A-5 EXTERIOR ELEVATIONS</div> <div>1-D CIVIL TITLE SHEET</div> <div>2-D GRADING PLAN</div> <div>3-D EROSION CONTROL PLAN</div> <div>LS-2 PLANTING PLAN</div> <div>LS-6 LANDSCAPE DIAGRAM</div>	

AP. = ACQUISITONAL PANEL	GC. = GENERAL CONTRACTOR
APF. = ABOVE FINISH FLOOR	GL. = GALVANIZED IRON
ALPH. = ALUMINUM	GYP. = GYPSUM
ANDC. = ANDCISE	HMTD. = HOUNDED
AC. = ASPHALTIC PAVING	MC. = MASONRY OPENING
AC. = AIR CONDITIONING	N. = NEW
ABR. = AUTOMATIC SPRINKLER	N/C. = NOT IN CONTRACT
BR. = BRASH	OC. = ON CENTER
BLDG. = BUILDING	OD. = OVERFLOO DRAIN
BRD. = BOARD	OA. = OVERFLOO SCUPPER
CLA. = CEILING	PD. = PROPERTY LINE
CL. = CENTER LINE	REP. = REPRESENTATIVE
CLR. = CLEAR	RF. = ROOF DRAIN
COL. = COLUMN	RT. = RETAILER
CONC. = CONCRETE	SC. = SOLID CORE
CT. = CERAMIC TILE	ST. = STANDARD
DA. = DRAIN INOUT	TD. = TOP OF CONCRETE
E. = EXISTING	TD. = TOOL JOINT
DR. = DRAIN	TJ. = TOP OF HAMORY
ED. = ELEC. DRINKING	TA. = TOP OF STRUCTURE
EL. = ELEC. WATER COOLER	TF. = TOP OF PARAPET
EXP. = EXPOSED	TY. = TYPICAL
FIN. = FINISH	W. = WITH
FUR. = FLOOR	WL. = WATER HEATER
FD. = FLOOR DRAIN	W/C. = CENTER LINE
FGC. = FACE OF CONCRETE	UNO. = UNLESS NOTED OTHERWISE
FOY. = FACE OF MASONRY	
FOA. = FACE OF BRD	
FA. = FINISH SURFACE	

ABBREVIATIONS

AP. = ACoustICAL PANEL	GC. = GENERAL CONTRACTOR
APF. = ABOVE FINISH FLOOR	GL. = GALVANIZED IRON
ALUM. = ALUMINUM	GYP. = GYPSUM
AND. = ANDRZE	HTD. = HEATED
AC. = ASPHALTIC PAVING	HTG. = HEATING
AC. = AIR CONDITIONING	HTG. = HEATING
ASR. = AUTOMATIC SPRINKLER	HTG. = HEATING
BLK. = BLOCK	HTG. = HEATING
BLD. = BUILDING	HTG. = HEATING
BRO. = BOARD	HTG. = HEATING
CL. = CEILING	HTG. = HEATING
CL. = CEILING LINE	HTG. = HEATING
CL. = CLEAR	HTG. = HEATING
CL. = COLUMN	HTG. = HEATING
CL. = CONCRETE	HTG. = HEATING
CL. = CERAMIC TILE	HTG. = HEATING
CL. = COIN SPOT	HTG. = HEATING
CL. = EXISTING	HTG. = HEATING
CL. = ELEC. CHIMNEY	HTG. = HEATING
CL. = ELEC. CHIMNEY JOINT	HTG. = HEATING
CL. = ELEC. WATER COOLER	HTG. = HEATING
CL. = EXPOSED	HTG. = HEATING
CL. = FINISH	HTG. = HEATING
CL. = FLOOR	HTG. = HEATING
CL. = FLOOR DRAIN	HTG. = HEATING
CL. = FACE OF CONCRETE	HTG. = HEATING
CL. = FACE OF MASONRY	HTG. = HEATING
CL. = FACE OF STUD	HTG. = HEATING
CL. = FINISH SURFACE	HTG. = HEATING

VICINITY MAP



BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

DRAWING

TITLE SHEET

DRAWING

CHECKED BY:

DATE: 2-2-2016

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY:

SHEET NO.: 1 OF 1

T-1

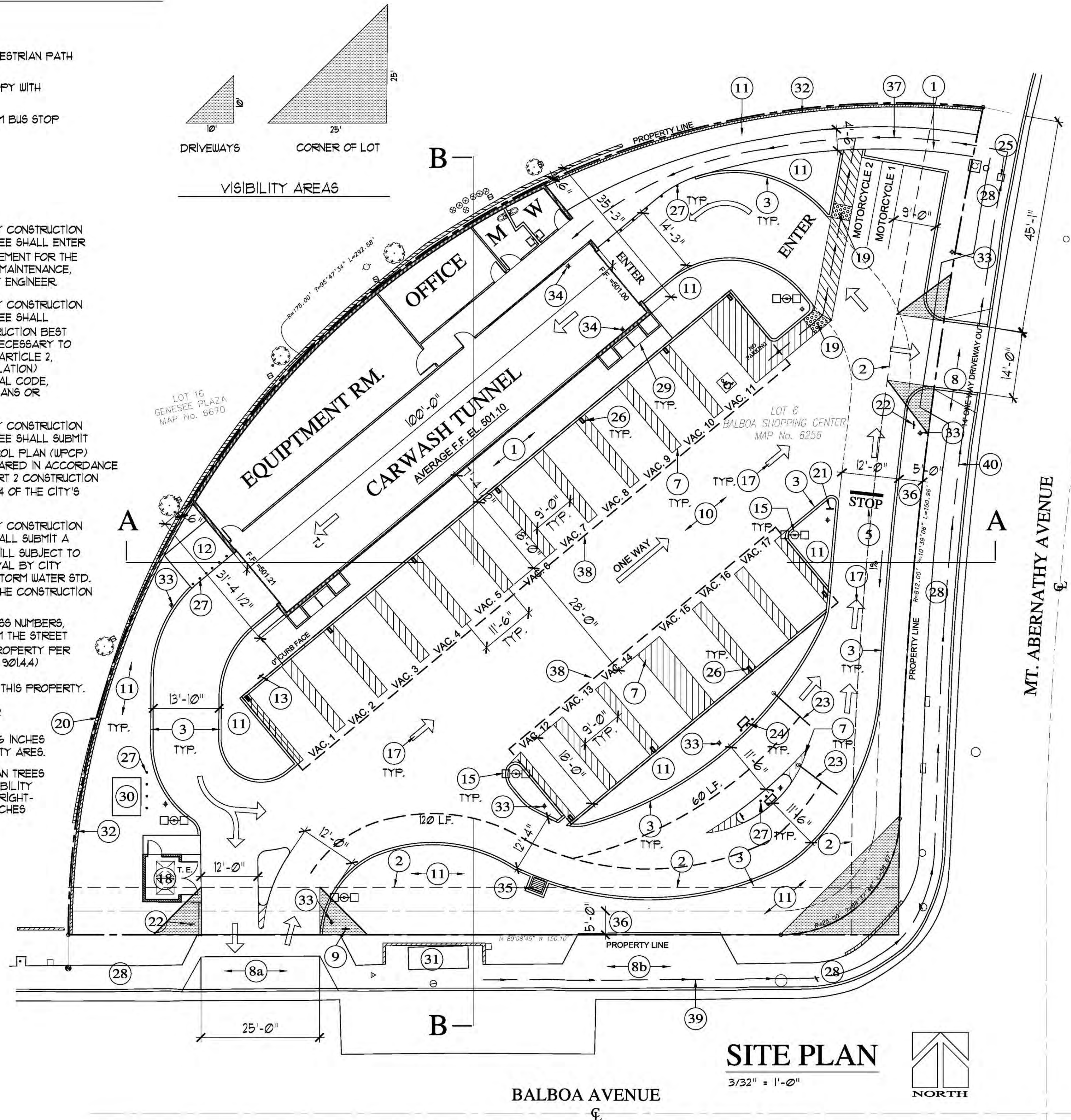
CAD FILE

JOB NO. 341P-2015

SITE PLAN KEYED NOTES :

- 1 CONC. SIDEWALK W/ EXPANSION JOINTS @ 4'-0" O.C. AND TOOL JOINTS @ 12'-0" O.C.
- 2 SETBACKS LINE
- 3 CONC. CURB AT PLANTER
- 4 CONC. CURB.
- 5 4" WIDE HIGHWAY WHITE PAINTED LETTERING "STOP" (2 COATS)
- 6 4" WIDE BLUE COLOR PAINTED STRIPS (2 COATS)
- 7 PAINT 4" WIDE PARKING STRIPING W/ HIGHWAY WHITE PAINT (2 COATS)
- 8a RECONSTRUCT THE EXISTING DRIVEWAY WITH CURRENT CITY STD. CONCRETE DRIVEWAY, SEE CIVIL DRAWINGS.
- 8b CLOSURE OF NON-UTILIZED DRIVEWAY, AND REPLACE WITH CURRENT CITY STD. CURB, GUTTER AND SIDEWALK, SEE CIVIL DWGS.
- 9 PERSONS WITH DISABILITIES ENTRANCE SIGN.
- 10 PAVING SEE CIVIL DWGS.
- 11 LANDSCAPE AREA - REFER TO LANDSCAPE DRAWINGS
- 12 11'-6" x 8'-0" x 4" THK. FLAT AND LEVEL CONC. PAD FOR VACUUM EQUIPMENTS
- 13 HANDICAP PARKING SIGN
- 14 INTERNATIONAL SYMBOL ACCESSIBILITY.
- 15 LIGHT POLE - REFER TO ELECTRICAL & STRUCT. DWGS.
- 16 NOT USED
- 17 PAINTED DIRECTIONAL ARROWS HIGHWAY WHITE PAINT (2 COATS)
- 18 80 SQ. FT. TRASH ENCLOSURE.
- 19 TRUNCATED DOMES.
- 20 EXISTING CMU WALL
- 21 POSTED SIGN TO READ "STOP"
- 22 POSTED SIGNS TO READ "RIGHT TURN ONLY" AND "EXIT ONLY" (DOUBLE SIGNS)
- 23 GATE ARM
- 24 PAY MACHINE
- 25 WATER METER
- 26 COLUMN OF SOLAR CANOPY
- 27 STEEL BOLLARD.
- 28 EXISTING SIDEWALK
- 29 VENDING MACHINE
- 30 SDG&E TRANSFORMER PAD
- 31 BUS STOP WITH NEW SHELTER PROVIDED BY MTS.
- 32 6' HIGH CMU WALL PER CITY STANDARD PAINTED OFF WHITE.
- 33 LOCATION OF INFORMATIONAL GROUND MOUNTED SIGNS, TYPICAL FOR TOTAL OF 10 UNO.
- 34 LOCATION OF INFORMATIONAL WALL MOUNTED SIGNS FOR TOTAL OF 2
- 35 18" CONCRETE DRAINBOX

- 36 SETBACK
 - 37 MINIMUM 48" WIDE PEDESTRIAN PATH FROM PUBLIC STREET
 - 38 LINE OF VACUUM CANOPY WITH SOLAR PANELS
 - 39 PATH OF TRAVEL FROM BUS STOP THRU PUBLIC WALK
- NOTES:
- 1) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - 2) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1, (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - 3) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP) THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARD CHAPTER 4 OF THE CITY'S STORM WATER STANDARD.
 - 4) PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL SUBJECT TO FINAL REVIEW AND APPROVAL BY CITY ENGINEER BASED ON THE STORM WATER STD. IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.
 - 5) PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6 (UFC 901.4.4)
 - 6) THERE IS NO EASEMENT ON THIS PROPERTY.
 - 7) FOR SITE SECTIONS SEE A-2
 - 8) NO OBJECT HIGHER THAN 36 INCHES ARE PROPOSED IN VISIBILITY AREAS.
 - 9) NO VEGETATION, OTHER THAN TREES WITHIN PORTION OF THE VISIBILITY AREAS LIES WITHIN PUBLIC RIGHT-OF-WAY WILL EXCEED 24 INCHES IN HEIGHT.



SITE PLAN

3/32" = 1'-0"



150 BRISTOL ST. N. SUITE 200
NEWPORT BEACH, CA 92660
TEL: (949) 833-1340
FAX: (949) 833-1145
E-MAIL: RPB@PRTROSSASSOC.COM

PROJECT

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

DRAWING

SITE PLAN

DRAWING:

CHECKED BY:

DATE: 8-29-2016

ISSUED FOR:

REVIEW:

PLAN CHECK:

BIDDING:

PERMIT:

CONSTRUCTION:

DRAWN BY:

SHEET NO. 2 OF 1

A-1

CAD FILE

JOB NO. 341P-0115

REVISIONS :	BY :

DESIGNED BY



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PROJECT

BALBOA EXPRESS CARWASH
6066 BALBOA AVENUE
SAN DIEGO, CA.

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SITE PLAN SECTIONS

DRAWING:

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DATE: 2-2-2016

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

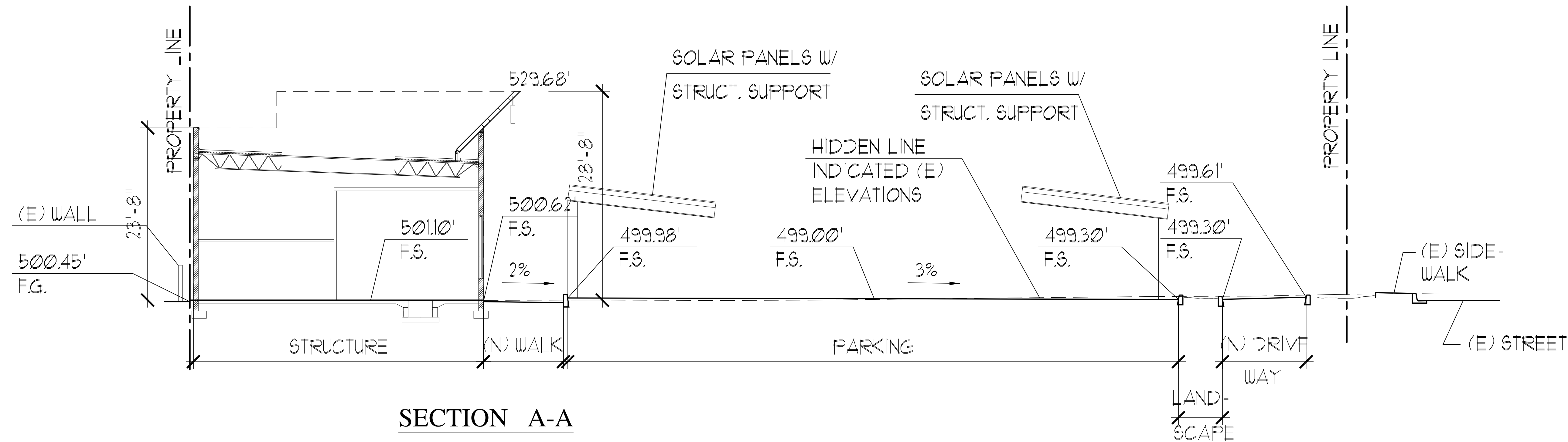
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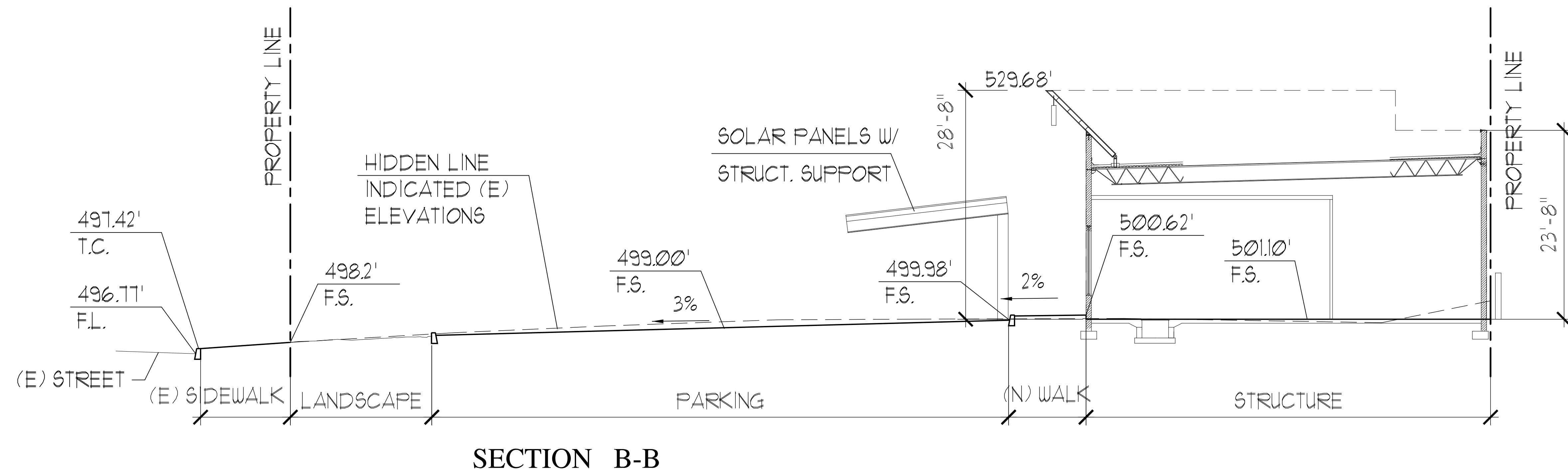
A-2

CAD FILE

JOB NO. 341P-0115



SECTION A-A



SECTION B-B

SITE PLAN SECTIONS

1/8" = 1'-0"

[illegible]

**1300 BRISTOL ST. N. SUITE 270
NEWPORT BEACH, CA 92660**
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PROJECT

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

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FLOOR PLAN

DRAWING:

CHECKED BY:

DATE: 4-27-2016

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCT

DRAIN BY :

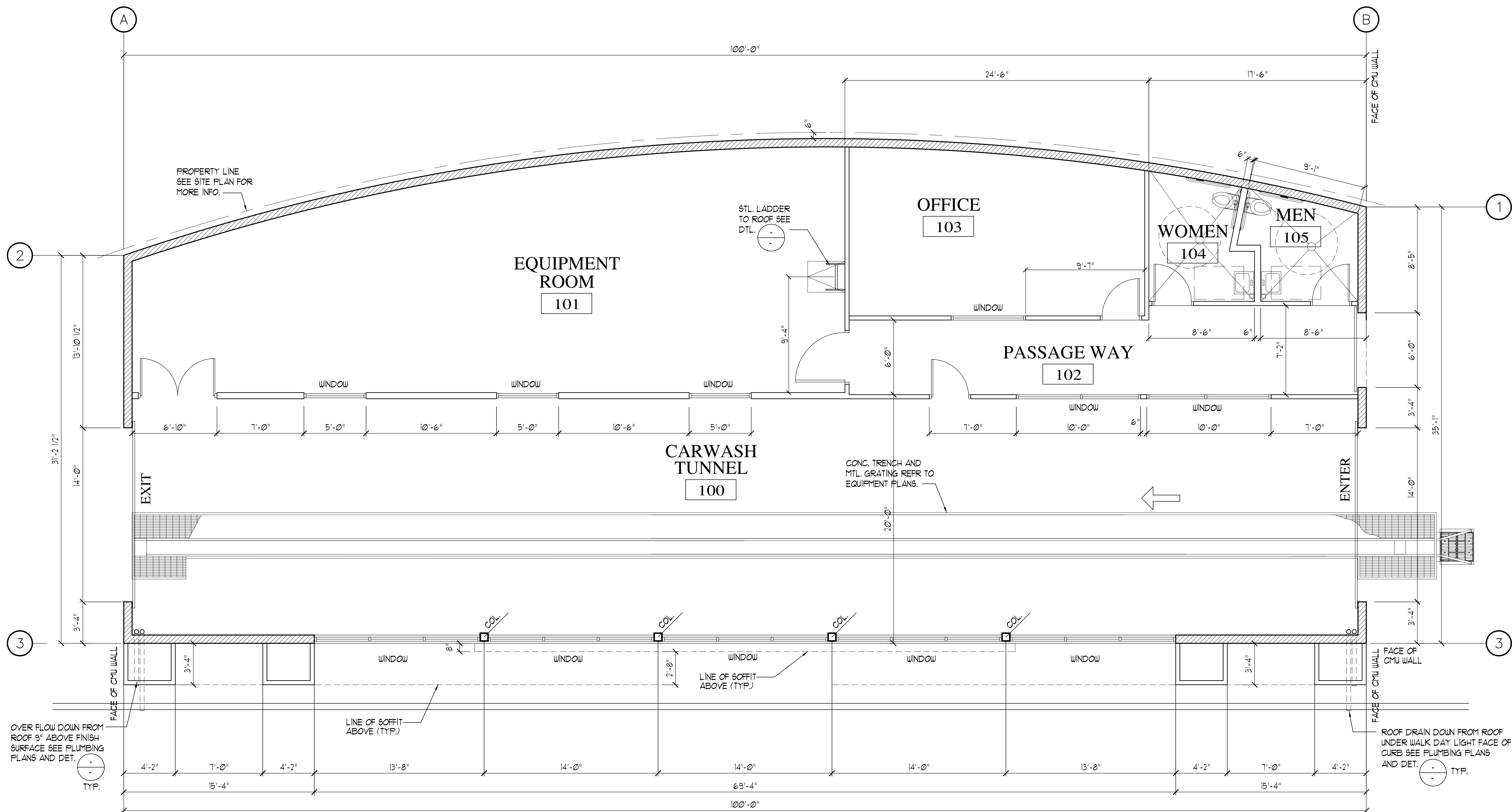
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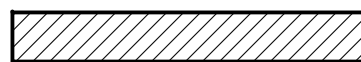
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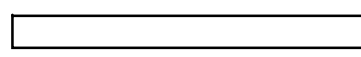
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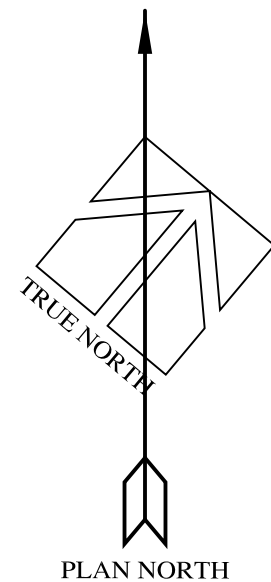


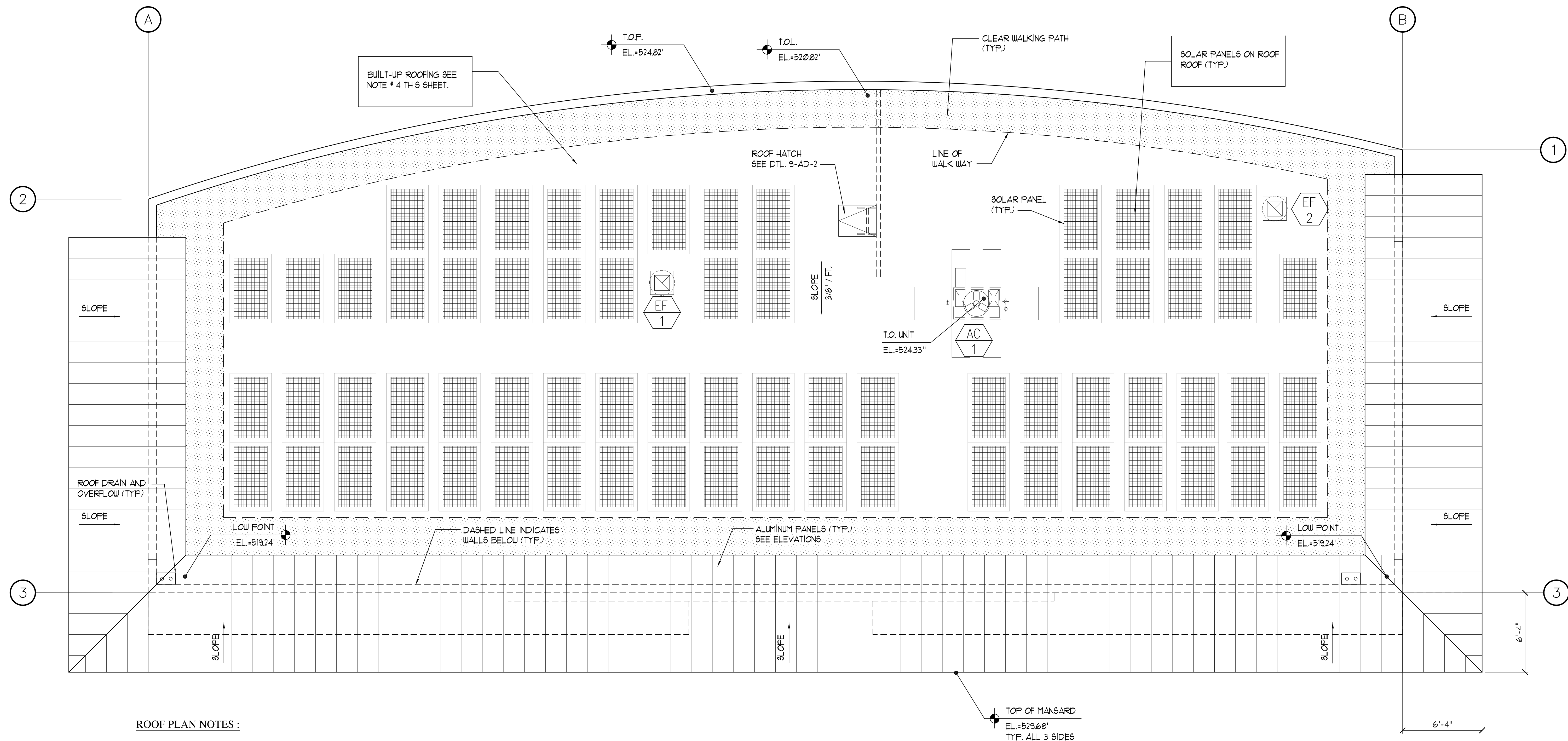
8" CMU WALLS



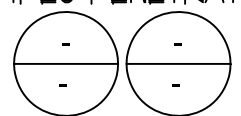
METAL STUDS WALL

FLOOR PLAN

$$1/4'' = 1' - \emptyset'$$


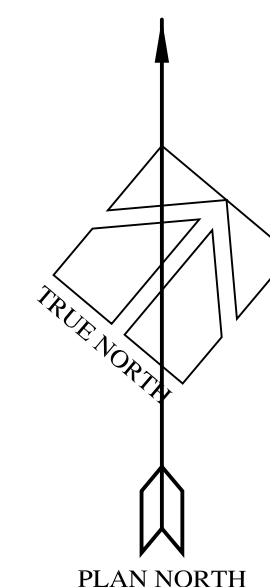


ROOF PLAN NOTES :

1. VERIFY SIZES AND LOCATIONS OF ALL OPENINGS, PLATFORMS, ETC. WITH EACH RESPECTIVE CONTRACTOR.
2. CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF ROOF AREA PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING OF ROOF.
3. ALL A/C UNITS SHALL BE PLACED ON PLATFORMS IN AREAS PROVIDED FOR MECHANICAL EQUIPMENT (SEE ALSO NOTE # 2 ABOVE)
4. BUILT-UP ROOFING SHALL BE FIRE RETARDANT WITH "CLASS A" RATING AS MANUFACTURED BY "JOHNS MANVILLE" 4GNC-CR, MECHANICALLY FASTENED FIBER GLASS BASE SHEET WITH 2 TYPE VI ROOFING FELT FOLLOWED TITLE 24 COMPLIANT GRANULATED CAP SHEET. ESTIMATED WEIGHT OF 160 LBS. PER SQUARE. UL # TGFJR 10161
5. ALL ROOF MOUNTED EQUIPMENT SHALL BE PROVIDE WITH PLYWOOD CRICKETS AS REQUIRED, FOR POSITIVE DRAINAGE (TYPICAL)
6. ROOF CRICKETS WHERE OCCURS SHALL BE CONSTRUCTED FROM 2x4 FRAMING AT 16" O/C. AND COVERED WITH 3/4" PLYWD. SHEATHING. MAINTAIN MINIMUM SLOPE OF 3/8" / FOOT.
8. FOR ALL ROOFTOP EQUIPMENT REFER TO MECHANICAL AND REFRIGERATION DRAWINGS.
9. FOR ALL PIPES PENETRATING THRU ROOF REFER TO DETAILS 
10. SYSTEM HAS SIZED FOR MIN. RAIN INTENSITY OF 3" PER HOUR
11. FOR ROOF TOP UNITS PLATFORM REFER TO STRUCTURAL DRAWINGS
12. FOR ROOF AND OVERFLOW DRAINS SEE PLUMBING PLAN

ROOF PLAN

1/4" = 1'-0"



REVISIONS :	BY :



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PROJECT

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

DRAWING

ROOF PLAN

DRAWING:

CHECKED BY:

DATE: 4-27-2016

ISSUED FOR:

REVIEW

PLAN CHECK

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PERMIT

CONSTRUCTION

DRAWN BY :

SHEET NO:

A-4

CAD FILE

JOB NO. 341P-0115

LEGEND :

- ① ALUMINUM SIDING PANELS :
"UNA-CLAD" UC 500 FLUSH PANEL (20")
COLOR : MEDIUM (ROMAN) BRONZE R22-E.30
- ② STONE VENEER :
BY "CORONADO STONE"
PRO-LEDGE, COLOR : CHABLIS
- ③ SKIM COATS EXTERIOR PLASTER :
1/2" SKIM COAT WITH INTEGRAL COLOR BY
LA HABRA COLOR TO MATCH "DUNN EDWARDS"
a. DE6191 MODERN IVORY
b. DE6208 TUSCAN MOSAIC
- ④ EXTERIOR PLASTER FINISH :
EXTERIOR CEMENT PLASTER WITH INTEGRAL COLOR BY
LA HABRA COLOR TO MATCH "DUNN EDWARDS"
a. DE6206 DESERT SUEDE WITH MEDIUM MACHINE APPLIED FINISH
APPLY MONOCHEM AQUASIAL WATERPROOFING SYSTEM. (TYP.)
b. DE6208 TUSCAN MOSAIC WITH MEDIUM MACHINE APPLIED FINISH
APPLY MONOCHEM AQUASIAL WATERPROOFING SYSTEM. (TYP.)
- ⑤ METAL CHANNEL SCREED :
BY "FRY REGLET" MODEL DC5-50-200
PAINT TO MATCH ADJACENT. (TYP.)
- ⑥ ALUMINUM FRONT WINDOW :
MANUFACTURED BY "US ALUMINUM" CENTER GLAZED
SERIES 400-S, COLOR CLASSIC BRONZE 391B503
- ⑦ ROLLING GRILLE :
REFER TO PLAN AND SCHEDULED.
- ⑧ LIGHT FIXTURES :
EXTERIOR LIGHT FIXTURE REFER TO
ELECTRICAL DUGS.
- ⑨ VENTILATION WALL LOUVER :
WALL LOUVER BY "ARCHITECTURAL LOUVER"
MODEL *E4J5 WHITE WITH INTERNAL SCREEN.
- ⑩ EXPANSION JOINT :
"KEENE" PLASTER EXPANSION SCREED
PAINT TO MATCH ADJACENT PLASTER
- ⑪ BUSINESS SIGN :
SIGN UNDER SEPARATE PERMIT.
- ⑫ STREET ADDRESS NUMBERS :
BLDG. STREET NUMBER TO BE PLACED SUCH THAT IT IS VISIBLE
AND LEGIBLE FROM FROM STREET. NUMBERS TO BE A MIN. OF
6" HIGH - PER CITY OF SAN DIEGO ORDINANCES / CODES.
COLOR TO MATCH ADJACENT.
- ⑬ VENDING MACHINE
VENDING MACHINE BY OTHERS

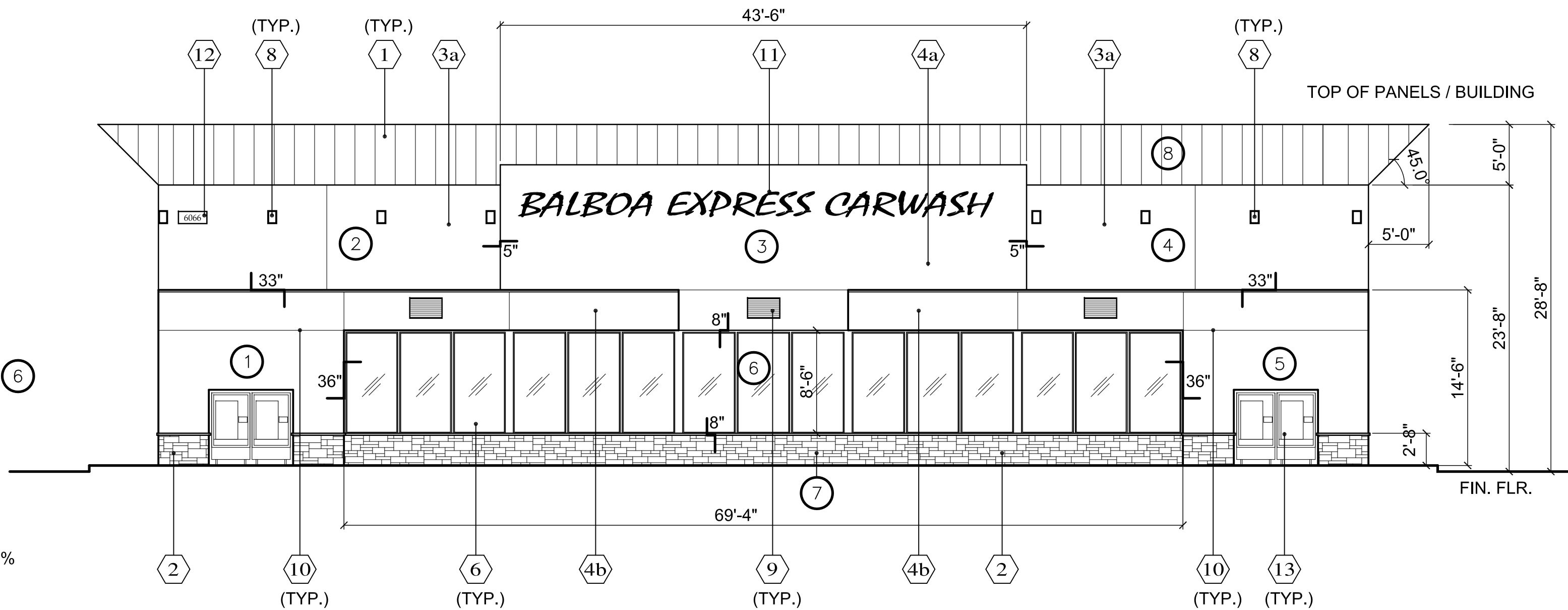
OFFSETTING PLANES	
PLANES ② & ④	OFFSETTING BY 3"
PLANES ③ & ⑦	OFFSETTING BY 8"
PLANES ① & ⑤	OFFSETTING BY 36"

ALL PLANES ARE OFFSET FROM ORIGINAL PLANE ⑥

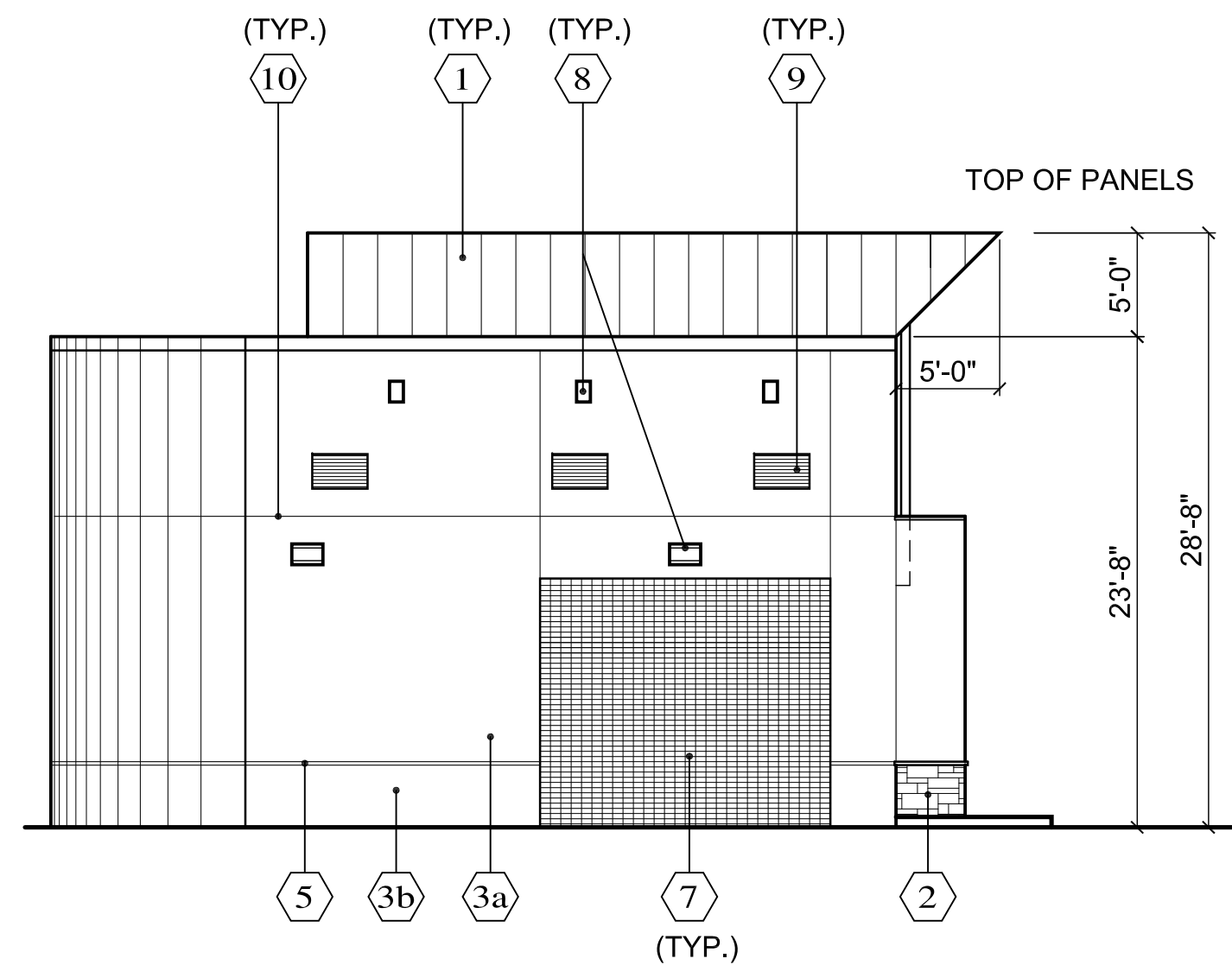
PLANE ⑧ IS A CORNICE AND ON ANGLE

—X— INDICATES HORIZONTAL PLANE OFFSET

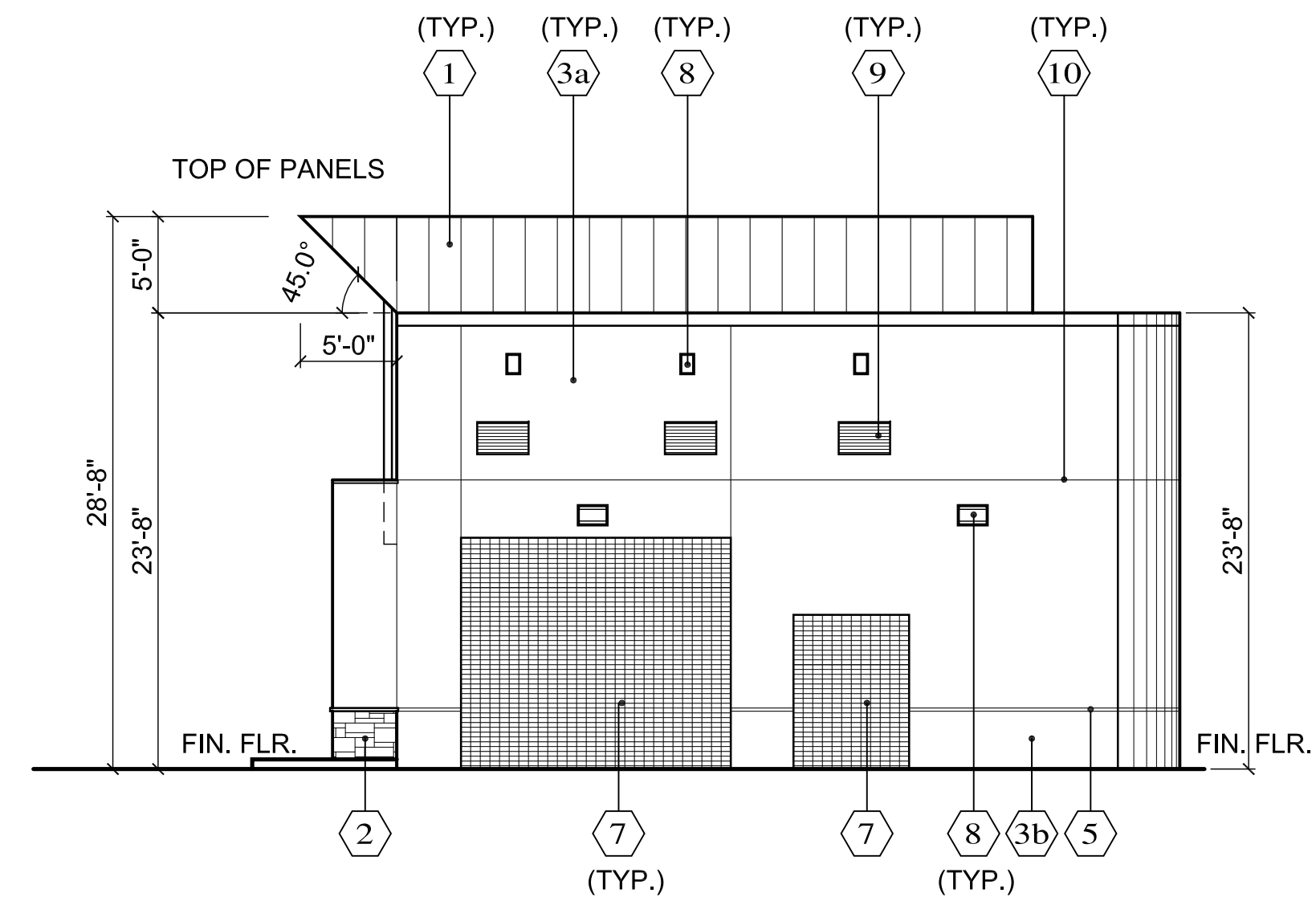
PLANE ⑦ IS GREATER THAN 5% OF FACADE
AND ALL OTHERS ARE LARGER BUT LESS THAN 50%



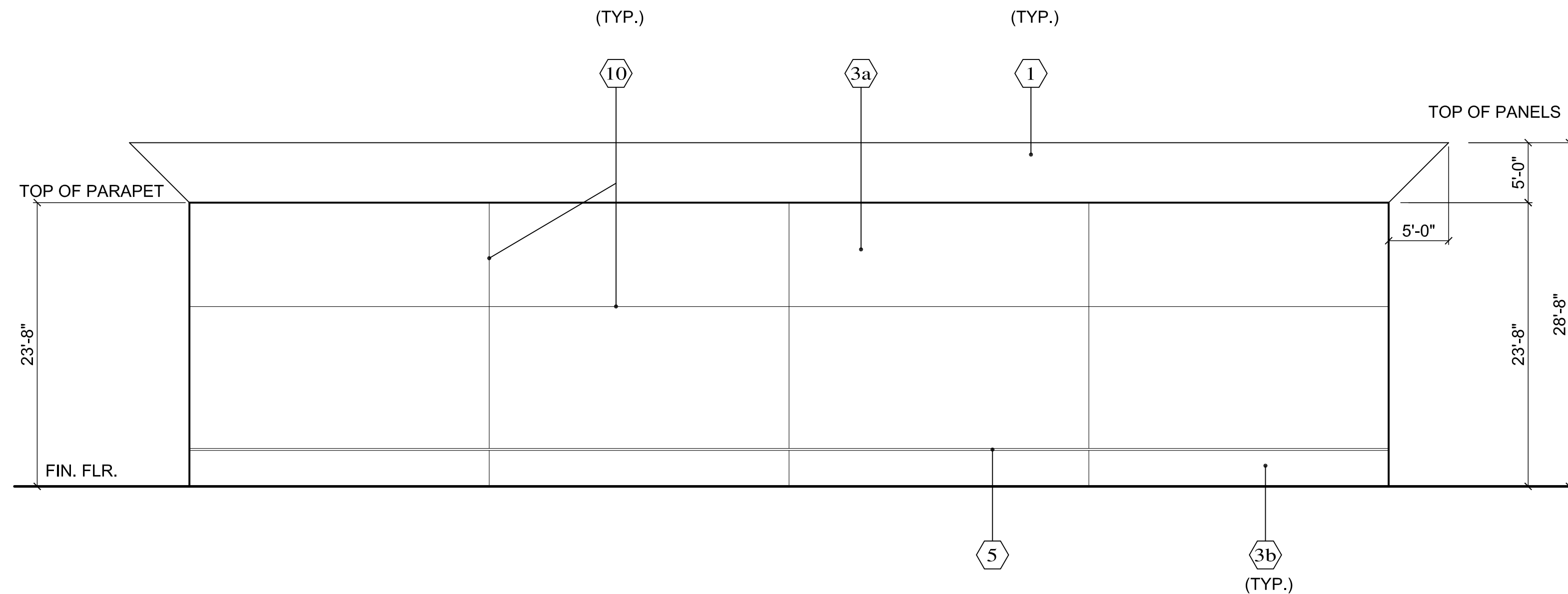
SOUTH ELEVATION

 $1/8" = 1'-0"$ 

EAST ELEVATION

 $1/8" = 1'-0"$ 

WEST ELEVATION

 $1/8" = 1'-0"$ 

NORTH ELEVATION

 $1/8" = 1'-0"$

REVISIONS :	BY :



1300 BRISTOL ST. N. SUITE 270
NEWPORT BEACH, CA 92660
TEL: (949) 833-3340
FAX: (949) 833-1145
E-MAIL: HP@PETROSSIASSOC.COM

PROJECT

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

DRAWING

ELEVATIONS

DRAWING:

CHECKED BY:

DATE: 4-27-2016

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY :

SHEET NO:

A-5

CAD FILE

JOB NO. 341P-0115

PLANT LEGEND

	ARECASTRUM ROMANZOFFIANUM QUEEN PALM	VERTICLE ACCESS TREE 10' @ 10' B.T.	POINTS 150
	ALBIZIA JULIBRISSIN SILK TREE	FLOWERING TREE 20' @ 24" BOX	400
	CARISSA GRANDIFLORA 'TUTTLEI' TUTTLE NATAL PLUM	FLOWERING EVERGREEN SHRUB 68' @ 5 GALLON	136
	PHORMIUM 'PLATT'S BLACK' PLATT'S BLACK NEW ZEALAND FLAX	VERTICLE ACCENT SHRUB 214' @ 5 GALLON	428
	PHOTINIA FRASERI PHOTINIA	PERIMETER SCREEN SHRUB 34' @ 5 GALLON	68
			1,182 TOTAL POINTS
	AGAPANTHUS AFRICANUS 'PETER PAN' DWARF LILY-OF-THE-NILE	LOW FLOWERING SHRUB (695) 1 GALLON @ 15" O.C.	

NOTE:

ALL PLANTED AREAS NOT SHOWING THE GROUND COVER SYMBOL ABOVE TO RECEIVE MULCH PER NOTE BELOW.

ALL PLANTED AREAS TO RECEIVE 3" DEEP (GROUND COVER) MULCH PER DETAILS AND NOTES PROVIDED HEREIN.

ALL EXISTING TREES TO BE REMOVED PRIOR TO COMMENCEMENT OF WORK.

LANDSCAPE CALCULATION

DESCRIPTION	AREA	% OF VUA	REQ AREA	PROVIDED	PTS REQ	PTS PROV.
STREET YARD	24,908	25%	6,227	6,230	312	355
VUA INSIDE	20,119	5%	1,006	3,831	1,006	1,130
VUA OUTSIDE	937	3%	28	275	28	52

- 2 ARECASTRUM ROMANZOFFIANUM
24" BOX QUEEN PALM
- 25 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX
- 14 PHOTINIA FRASERI
5 GAL PHOTINIA
- 5 ALBIZIA JULIBRISSIN
24" BOX SILK TREE
- 9 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX
- 8 CARISSA GRANDIFLORA 'TUTTLEI'
5 GAL TUTTLE NATAL PLUM

- 21 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX
- 22 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX
- 6 ALBIZIA JULIBRISSIN
24" BOX SILK TREE
- 3 ARECASTRUM ROMANZOFFIANUM
24" BOX QUEEN PALM
- 14 PHOTINIA FRASERI
5 GAL PHOTINIA

- 3 CARISSA GRANDIFLORA 'TUTTLEI'
5 GAL TUTTLE NATAL PLUM
- 5 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX

LANDSCAPE NOTES:

All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

MINIMUM TREE SEPARATION DISTANCE
Traffic signals / stop signs – 20 feet
Underground utility lines – 5 feet (10' for sewer)
Above ground utility structures – 10 feet
Driveway (entries) – 10 feet
Intersections (intersecting curb lines of two streets) – 25 feet

Maintenance: All required landscape areas shall be maintained by Owner, Landscape and irrigation areas in the public right-of-way shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).

Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the San Diego Municipal Code, Section 142.0403(b)(10).

Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDMC 142.0411.

Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball.

If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.

UNDERGROUND SERVICE ALERT
SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @ 1-800-422-4133 TWO (2) WORKING DAYS BEFORE YOU DIG. WEB ADDRESS: WWW.DIGALERT.ORG

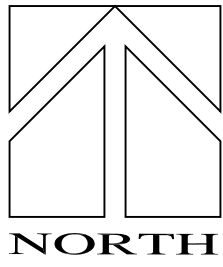
- 96 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX
- 57 CARISSA GRANDIFLORA 'TUTTLEI'
5 GAL TUTTLE NATAL PLUM
- 3 ALBIZIA JULIBRISSIN
24" BOX SILK TREE
- 6 PHOTINIA FRASERI
5 GAL PHOTINIA

- 5 ARECASTRUM ROMANZOFFIANUM
24" BOX QUEEN PALM
- 6 ALBIZIA JULIBRISSIN
24" BOX SILK TREE

- 36 PHORMIUM 'PLATT'S BLACK',
5 GAL PLATT'S BLACK NEW ZEALAND FLAX

PLANTING PLAN

3/32" = 1'-0"



DESIGNED BY
Popeye's
LANDSCAPE
INC.

130 BRISTOL ST. N. SUITE 270
NEWPORT BEACH, CA 92660
TEL: (949) 833-3360
FAX: (949) 833-1145
E-MAIL: HP@PETROSSIASSOC.COM

PROJECT

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

DRAWING

PLANTING PLAN

DRAWING:

CHECKED BY:

DATE: 9-20-2016

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY:

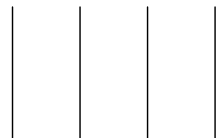
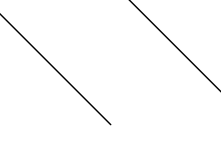
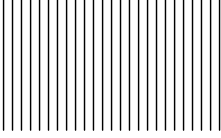
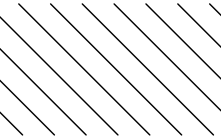
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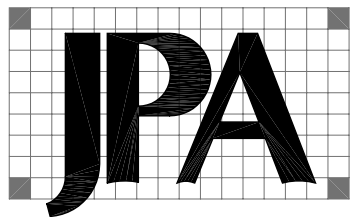
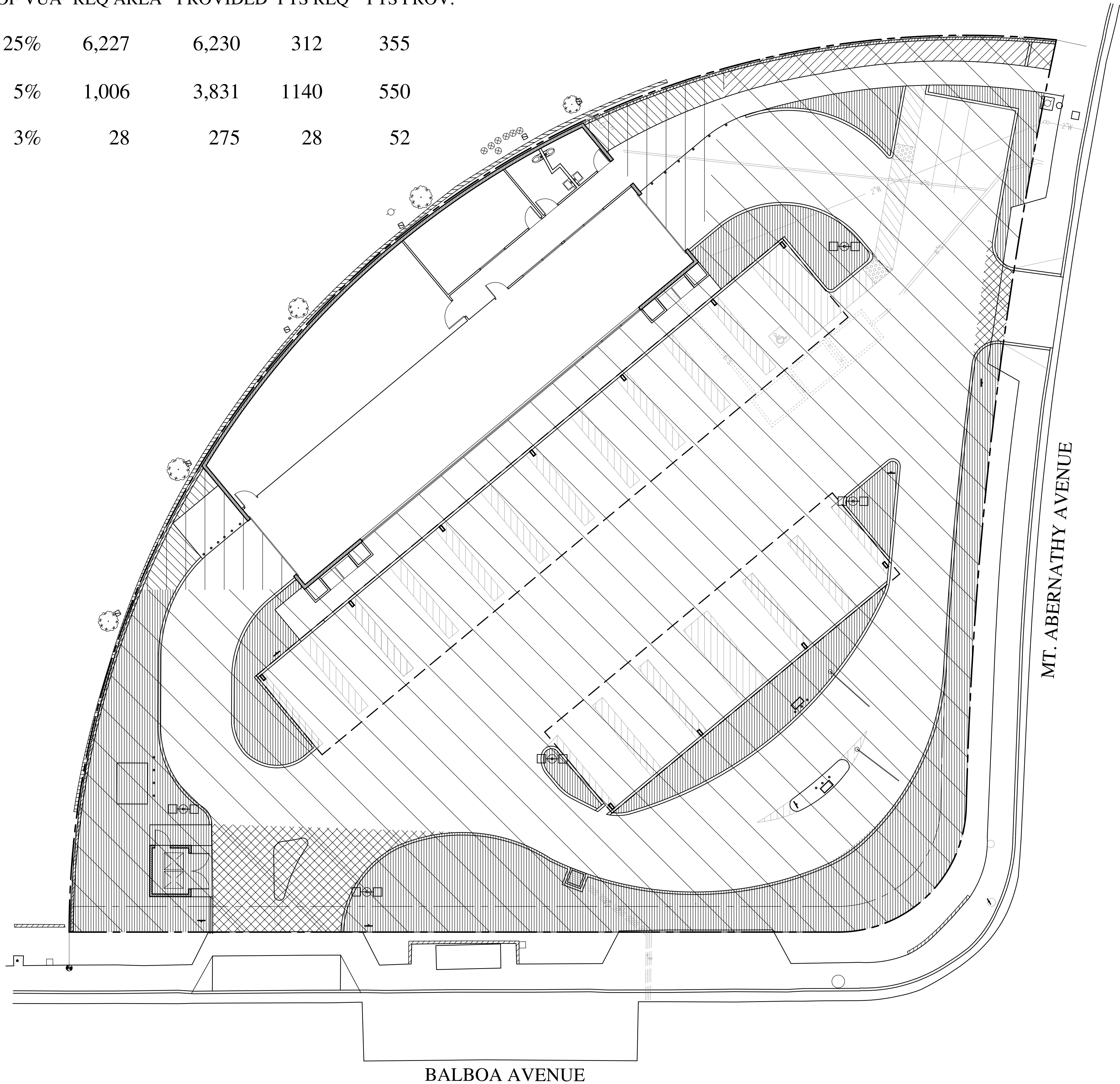
LS-1

CAD FILE

JOB NO. POPEYE'S MV

LEGEND

SYMBOL	DESCRIPTION	AREA	% OF VUA	REQ AREA	PROVIDED	PTS REQ	PTS PROV.
	STREET YARD	24,908	25%	6,227	6,230	312	355
	VUA INSIDE	20,119	5%	1,006	3,831	1140	550
	VUA OUTSIDE	937	3%	28	275	28	52
	INSIDE PLANTER						
	OUTSIDE PLANTER						



JOHN PETERS & ASSOCIATES
112 VILLAGE SQUARE WEST
RIDGWAY, CO 81432
(970) 626-9887



130 BRISTOL ST. N. SUITE 270
NEWPORT BEACH, CA 92660
TEL: (949) 833-3360
FAX: (949) 833-1145
E-MAIL: HP@PETROSSIASSOC.COM

PROJECT

BALBOA EXPRESS CARWASH

6066 BALBOA AVENUE
SAN DIEGO, CA.

DRAWING

LANDSCAPE DIAGRAM

DRAWING

CHECKED BY:

DATE: 9-20-2016

ISSUED FOR:

REVIEW

PLAN CHECK

BIDDING

PERMIT

CONSTRUCTION

DRAWN BY:

SHEET NO.: 6 OF 6

LS-6

CAD FILE

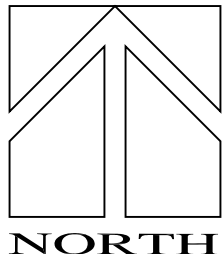
JOB NO. POPEYE'S MV



UNDERGROUND SERVICE ALERT
SECTION 4216 & 4217 OF THE GOVERNMENT CODE REQUIRES A
DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A
"PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT
I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE @
1-800-422-4133 TWO (2) WORKING DAYS BEFORE YOU DIG. @
WEB ADDRESS: WWW.DIGALERT.ORG

LANDSCAPE CALULATION DIAGRAM

3/32" = 1'-0"



GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL *A PERMIT/ *A NOTICE TO PROCEED HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET.SEQ.).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
7. ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
8. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 627-3200.
9. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
10. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
11. AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
12. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
13. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET ____ FOR MIX AND SPECIFICATIONS.

GROUND WATER DISCHARGE NOTES

1. ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2008-0002 NPDES CAG919002.
2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2007-0034 NPDES NO. CAG919001.

BMP DESCRIPTION	POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS				
	STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:				
	O&M RESPONSIBLE PARTY DESIGNEE: PROPERTY OWNER / HOA / CITY / OTHER				
	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	SHEET NUMBER(S)
SITE DESIGN	MONTHLY	AS REQ'D.	CLEANING, CLEARING, REPLACEMENT, ETC.	LUMP SUM	2-D
SOURCE CONTROL	MONTHLY	AS REQ'D.	CLEANING, CLEARING, REPLACEMENT, ETC.	LUMP SUM	2-D
TREATMENT CONTROL	N/A	N/A	N/A	N/A	N/A
HMP FACILITY					

CONSTRUCTION CHANGE TABLE				
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

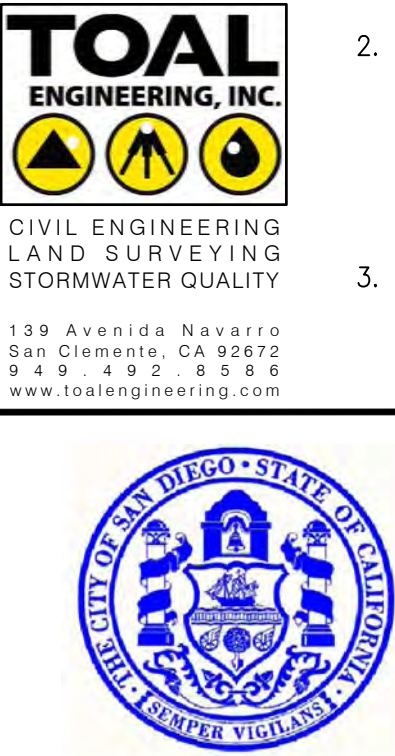
WARNING

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

ADAM L. TOAL R.C.E. NO. 59275 EXP. DATE



DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

6. FOR SOIL FILL SEE CITY RECORD S - XXXXXX

HOSS EFTEKHARI	R.C.E.	DATE
-	C.E.G.	DATE
SOIL PACIFIC, INC. 675 N. ECKHOFF, SUITE A, ORANGE, CA 92668 TEL: (714) 879-1203		

*IF THE SOILS ENGINEER (R.C.E. OR G.E.) AND CERTIFIED ENGINEERING GEOLOGIST (C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

GRADING PLANS FOR:
PROPOSED CAR WASH FACILITY

OWNER/APPLICANT

SHAHRAM DEGHANI
10724 WILSHIRE BLVD., #1506, LOS ANGELES, CA 90024
TEL: (619) 453-5008

SITE ADDRESS

6066 BALBOA AVENUE, SAN DIEGO, CA 92111

TOPOGRAPHY SOURCE

TOAL ENGINEERING, INC. - 139 AVENIDA NAVARRO, SAN CLEMENTE, CA 92672
TOPO SOURCE METHOD: FIELD COLLECTED WITH FOCUS 30 TOTAL STATION
TOPO SOURCE DATE: AUGUST 12, 2015

BENCHMARK

BENCHMARK NOTE: MOUNT ABERNATHY AVENUE & BEADNELL WAY / ELEVATION 361.661'
SOUTHEAST (SE) BRASS PLUG PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK

SURVEYOR'S NOTE: SUBTRACT 137.49' FROM ELEVATIONS SHOWN HEREON TO ACHIEVE MEAN SEA LEVEL DATUM PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.

TOTAL DISTURBED AREA

24,907 SQ. FT. (0.572 ACRES) - ENTIRE SITE

GRADING QUANTITIES

GRADED AREA _____ 0.572 [ACRES] MAX. CUT DEPTH: 4 [FT]
CUT QUANTITIES _____ 1,740 [CYD] MAX CUT SLOPE RATIO (2:1 MAX): 20:1
FILL QUANTITIES _____ 1,755 [CYD] MAX. FILL DEPTH: 1.5 [FT]
IMPORT _____ 15 [CYD] MAX FILL SLOPE RATIO (2:1 MAX): 20:1

~~THIS PROJECT PROPOSES TO EXPORT _____ CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.~~

ASSESSORS PARCEL NUMBER

APN: 3612611800

EXISTING LEGAL DESCRIPTION

LOT 6 OF BALBOA SHOPPING CENTER, RESUBDIVISION NO. 1, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6256, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON DECEMBER 30, 1968.

SHEET INDEX

SHEET DESCRIPTION	SHEET #
PRECISE GRADING PLAN - TITLE SHEET	1-D
PRECISE GRADING PLAN	2-D
EROSION CONTROL PLAN	3-D

PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

TRAFFIC CONTROL NOTE

(DELETE IF GREATER THAN 5000 ADT)

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-446-5150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

STORM WATER PROTECTION NOTES

1. THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. R9-2013-0001; AND RISK LEVEL/TYPE: CHECK ONE BELOW
- ☒ WPCP
- ☐ CGP RISK LEVEL 1 ☐ CGP LUP TYPE 1
- ☐ CGP RISK LEVEL 2 ☐ CGP LUP TYPE 2
- ☐ CGP RISK LEVEL 3 ☐ CGP LUP TYPE 3
2. CHECK ONE:
- ☐ THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
- ☐ THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
- ☒ NOT APPLICABLE
3. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP OR SWPPP AS APPLICABLE.

WORK TO BE DONE

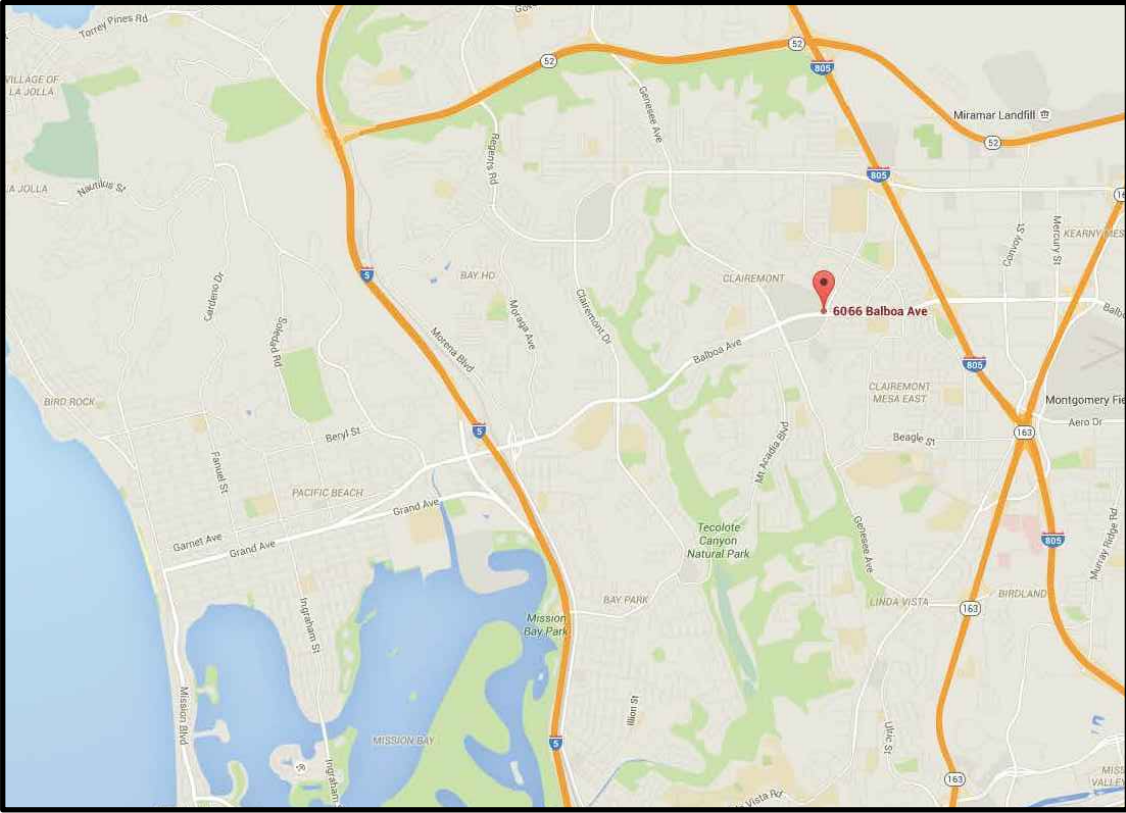
THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO. PITS070112-01	DESCRIPTION STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION
PITS070112-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2012 EDITION
PITS070112-04	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PITS070112-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION

STANDARD DRAWINGS:

DOCUMENT NO. PITS070112-03	DESCRIPTION CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION
PITS070112-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION



VICINITY MAP

NO SCALE

ENGINEERING PERMIT NO: _____

DISCRETIONARY PERMIT NO: _____

WDID NO: _____

RETAINING WALL PROJECT NO: _____

CONSTRUCTION SITE
STORM WATER PRIORITY: _____

PRIVATE CONTRACT

GRADING PLANS FOR
TITLE SHEET
6066 BALBOA AVENUE, SAN DIEGO, CA
LOT 6, BALBOA SHOPPING CENTER (MAP 6256)

CITY OF SAN DIEGO, CALIFORNIA Development Services Department SHEET 1 OF 3 SHEETS				I.D. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER				V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				
CONTRACTOR		DATE STARTED _____	1-D	
INSPECTOR		DATE COMPLETED _____		

NOTE TO CONTRACTOR:
CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL DRAIN PIPES. CONTACT CIVIL ENGINEER TO FIELD VERIFY LOCATION, SIZE, AND DEPTH OF DRAIN SYSTEM.

BENCHMARK NOTE: MOUNT ABERNATHY AVENUE & BEADNELL WAY / ELEVATION 361.661'
SOUTHEAST (SE) BRASS PLUG PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK

TOPOGRAPHY NOTE: SURVEY PREPARED BY TOAL ENGINEERING, INC.
DATA COLLECTED USING FOCUS 30 TOTAL STATION
SURVEY DATE: AUGUST 12, 2015
DATUM: ASSUMED AT TIME OF SURVEY DUE TO LOCAL MONUMENTS HAVING BEEN DESTROYED (SEE SURVEYOR'S NOTE BELOW).

SURVEYOR'S NOTE: SUBTRACT 137.49' FROM ELEVATIONS SHOWN HEREON TO ACHIEVE MEAN SEA LEVEL DATUM PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.

GENESSEE PLAZA
SHOPPING CENTER

LOT 16
GENESSEE PLAZA
MAP No. 6670

PROPOSED CAR WASH
PAD=499.92

LOT 6
BALBOA SHOPPING CENTER
MAP No. 6256
0.572 AC (24,907 sq. ft.)

LEGEND	
	PERVIOUS CONCRETE PAVING
	CONCRETE PAVING
	CONTOUR (EXISTING)
	CONTOUR (PROPOSED)
	SPOT ELEVATION (PROPOSED)
	SPOT ELEVATION (MATCH EXISTING)
	PROPOSED DRAIN LINE
	PROPOSED SCREEN WALL (NON-RETAINING)
	DOWNSPOUT
FF	FINISH FLOOR
FG	FINISH GRADE
FL OR	FLOW LINE
FS	FINISH SURFACE
HP	HIGH POINT
INV	INVERT
P.L. OR	PROPERTY LINE
PA	PLANTER AREA
R.O.W. OR R/W	RIGHT OF WAY
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL

DEVELOPMENT STATISTICS

SITE AREA	24,907 S.F.	0.572 AC
DISTURBED AREA	24,907 S.F.	0.572 AC
SITE AREA BREAKDOWN		
	IMPERVIOUS	PERVIOUS
PRE-PROJECT	16,380 S.F.	8,527 S.F.
NEW OR REPLACEMENT	3,800 S.F.	
POST-PROJECT	3,800 S.F.	21,107 S.F.

SOIL TYPE

CHESTERTON FINE SANDY LOAM SOILS (CIB; OBJECTID 78) PER SOIL SURVEY GEOGRAPHIC (S SURGO) DATABASE FOR SAN DIEGO COUNTY.

UTILITY NOTE:

UTILITY LINES SHOWN HEREON PER THE CITY OF SAN DIEGO'S SanGIS MAP LAYERS AND IMPROVEMENT PLANS ON FILE IN THE CITY'S RECORDS OFFICE INCLUDING: 10677-4-D, 10677-6-D, 9740-5-D, 12073-4-D, 10208-11-D, AND 4098-D.

UTILITY LATERAL CONNECTION NOTE:

CONTRACTOR SHALL CONFIRM SIZE, DEPTH, MATERIAL, AND CONDITION OF EXISTING WATER SERVICE, WATER METER, AND SEWER LATERAL PRIOR TO COMMENCEMENT OF ONSITE SEWER AND WATER WORK. CONTRACTOR TO REPLACE OR UPGRADE UTILITY LATERALS, IF NECESSARY.

ADDITIONAL NOTES

- ALL ROOFS SHALL BE GUTTERED AND DOWNSPOUTS SHALL OUTLET ONTO PERVIOUS CONCRETE SURFACE.
- PAD ELEVATIONS BASED ON 5" CONCRETE SLAB OVER 2" SAND OVER 15 MIL VISQUEEN OVER 2" SAND OVER 4" OF 1/2" (OR LARGER) CLEAN AGGREGATE PER STRUCTURAL PLANS. CONTRACTOR TO VERIFY PAD W/ STRUCTURAL ENGINEER AND SOILS ENGINEER PRIOR TO GRADING.
- UNLESS SPECIFIED OTHERWISE, WHERE AN INTERIOR OR EXTERIOR UTILITY TRENCH IS PROPOSED PARALLEL TO A BUILDING FOOTING, THE BOTTOM OF THE TRENCH SHOULD NOT BE LOCATED BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE OUTSIDE BOTTOM EDGE OF THE ADJACENT FOOTING. WHERE THIS CONDITION EXISTS, THE ADJACENT FOOTING SHOULD BE DEEPENED SUCH THAT THE BOTTOM OF THE UTILITY TRENCH IS LOCATED ABOVE THE 1:1 PROJECTION.
- FOR FOOTING AND FOUNDATION DESIGN SEE STRUCTURAL PLANS.
- ALL RECOMMENDATIONS IN THE PROJECT SOILS REPORT PREPARED BY SOIL PACIFIC, INC. (DATED SEPTEMBER 24, 2015; J.N. A-5035-15), AND ALL ADDENDA, ARE CONSIDERED A PART OF THESE PLANS.

CONSTRUCTION NOTES

- CONSTRUCT PERVIOUS CONCRETE PAVING PER MANUFACTURER'S SPECIFICATIONS.
- CONSTRUCT 6" CONCRETE CURB PER CITY OF SAN DIEGO STD. SDG-150.
- CONSTRUCT 6" CURB & GUTTER (TYPE G) PER CITY OF SAN DIEGO STD. SDG-151.
- INSTALL 4" ϕ PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
- INSTALL 18" SQ. CONC. DRAINBOX (BROOKS 1818CB OR EQUAL).
- OUTLET 4" ϕ PIPE THRU CURB PER CITY OF SAN DIEGO STD. D-27.
- RECONSTRUCT DRIVEWAY APPROACH AS SHOWN.
- REMOVE DRIVEWAY APPROACH & REPLACE WITH CURRENT CITY STANDARD CURB, GUTTER, AND SIDEWALK.
- INSTALL 2" ϕ PVC SCHEDULE 40 DOMESTIC WATER PIPE.
- INSTALL PVC SCHEDULE 40 SEWER PIPE. SIZE PER PLAN.
- INSTALL PRIVATE SEWER CLEANOUT.

GRADING PLANS FOR
PROPOSED CAR WASH FACILITY
6066 BALBOA AVENUE, SAN DIEGO, CA
LOT 6, BALBOA SHOPPING CENTER (MAP 6256)

CITY OF SAN DIEGO, CALIFORNIA Department of Public Works SHEET 2 OF 3 SHEETS				I.D. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER				V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
				187-6276 & 6277 NAD83 COORDINATES
				239-1715 LAMBERT COORDINATES
AS-BUILTS				
CONTRACTOR	DATE STARTED _____		DATE COMPLETED _____	
INSPECTOR			2-D	

TOAL
ENGINEERING, INC.

CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY
139 Avenida Navarro
San Clemente, CA 92672
949.492.8586
www.toalengineering.com

ADAM L. TOAL R.C.E. NO. 59275 EXP. _____ DATE _____

ORIGINAL SCALE: 1"=10'

BENCHMARK NOTE: MOUNT ABERNATHY AVENUE & BEADNELL WAY / ELEVATION 361.661' SOUTHEAST (SE) BRASS PLUG PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK

TOPOGRAPHY NOTE: SURVEY PREPARED BY TOAL ENGINEERING, INC. DATA COLLECTED USING FOCUS 30 TOTAL STATION SURVEY DATE: AUGUST 12, 2015 DATUM: ASSUMED AT TIME OF SURVEY DUE TO LOCAL MONUMENTS HAVING BEEN DESTROYED (SEE SURVEYOR'S NOTE BELOW).

SURVEYOR'S NOTE: SUBTRACT 137.49' FROM ELEVATIONS SHOWN HEREON TO ACHIEVE MEAN SEA LEVEL DATUM PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.

- NOTES:**
- THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER, SEDIMENT, AND CONTAMINATED RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES.
 - SEE ALSO WATER POLLUTION CONTROL PLAN (WPCP) PREPARED BY TOAL ENGINEERING, INC.
 - DESIGNATED ON-SITE LANDSCAPE AREAS SHALL BE PLANTED WITH PERMANENT VEGETATION WITHIN 30 DAYS OF COMPLETION OF GRADING TO PROMOTE FINAL STABILIZATION OF THE PROJECT SITE.
- LEGEND**
- XX-X BMP DESIGNATION IN CALIFORNIA STORMWATER BMP HANDBOOK – CONSTRUCTION, LATEST EDITION, BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.
- GRAVEL BAG BERM SE-6

EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL		
SE-1	SILT FENCE	EMPLOY SILT FENCE ALONG FRONTAGE IF GRAVEL BAG BERM IS INADEQUATE.
SE-6	GRAVEL BAG BERM	GRAVEL BAGS SHALL BE PLACED (2 HIGH, 2 WIDE) ALONG ENTIRE STREET FRONTAGE. PLACE BERM ALONG REAR P.L. IF MORE THAN 30 DAYS WILL ELAPSE BETWEEN REMOVAL OF EXISTING WALL/CURB AND CONSTRUCTION OF NEW WALL. ALSO PLACE BAGS AS CHEVRONS IN PUBLIC STREET DURING R.O.W. WORK ONLY.
SE-7	STREET SWEEPING AND VACUUMING	VISIBLE SEDIMENT TRACKING SHALL BE SWEEPED OR VACUUMED ON A DAILY BASIS.
SE-10	STORM DRAIN INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS TO REDUCE SEDIMENT INTRODUCTION TO THE DRAIN SYSTEM.
WIND EROSION CONTROL		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	WITH LIMITED SOIL IMPORT/EXPORT, CONSTRUCTION TRAFFIC IS PRIMARILY DROP OFF AND PICK-UP OF SUPPLIES, EQUIPMENT, AND WASTE. RUMBLE STRIPS OR SHAKER PLATES SHALL BE USED AT THE SITE EXIT, AS SHOWN.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE STORED AND USED IN ACCORDANCE WITH PRODUCT DIRECTIONS.
WM-2	MATERIAL DELIVERY AND STORAGE	IF MATERIALS ARE STORED ON SITE, THEY SHALL BE STORED IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND.
WM-3	STOCKPILE MANAGEMENT	MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
	SPILL REPORTING	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL, BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY OF SAN DIEGO.
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT	ON-SITE FACILITIES (I.E. PORTA-POTTIES) SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRINDING OPERATIONS	VACUUM OR OTHERWISE COLLECT SHAVINGS OR SLURRIES FROM PAVING OPERATIONS. AND, PROTECT DOWNSTREAM INLETS DURING WORK.
NS-6	ILLEGAL CONNECTION / DISCHARGE	CONTRACTOR SHALL REPORT ILLEGAL CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE ENGINEER AND THE CITY INSPECTOR AND SHALL TAKE NO FURTHER ACTION UNTIL DIRECTED.
NS-7	POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-8	VEHICLE AND EQUIPMENT CLEANING	ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9	VEHICLE AND EQUIPMENT FUELING	ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE	ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

EROSION CONTROL PLAN

GRADING PLANS FOR
PROPOSED CAR WASH FACILITY
6066 BALBOA AVENUE, SAN DIEGO, CA
LOT 6, BALBOA SHOPPING CENTER (MAP 6256)

CITY OF SAN DIEGO, CALIFORNIA Development Services Department SHEET 3 OF 3 SHEETS					I.D. NO.
FOR CITY ENGINEER					PROJECT NO.
DESCRIPTION	BY	APPROVED	DATE	FILMED	V.T.M.
ORIGINAL	XXX				
					187-6276 & 6277 NAD83 COORDINATES
					239-1715 LAMBERT COORDINATES
AS-BUILTS					
CONTRACTOR INSPECTOR		DATE STARTED	DATE COMPLETED		3-D

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ADAM L. TOAL	R.C.E. NO. 59275	EXP.	DATE
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NOTE: THIS PLAN FOR EROSION CONTROL MEASURES ONLY.

