



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 12, 2017 REPORT NO. HO-17-010

HEARING DATE: April 19, 2017

SUBJECT: ELKINS RESIDENCE. Process Three Decision

PROJECT NUMBER: [463101](#)

OWNER/APPLICANT: Thomas Elkins Zirpolo

### SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing single dwelling unit and construction of a single dwelling unit on a 0.18-acre site located at 8260 Paseo Del Ocaso in the La Jolla Community Plan and Local Coastal Program Land Use Plan area?

#### Staff Recommendations:

1. ADOPT Mitigated Negative Declaration No. 463101 and ADOPT the Mitigation, Monitoring, and Reporting Program; and
2. APPROVE Coastal Development Permit No. 1620093; and
3. APPROVE Site Development Permit 1620095.

#### Community Planning Group Recommendation:

February 2, 2016, the La Jolla Community Planning Association voted 11-5-1 to recommend approval of the proposed project without conditions (Attachment 9).

November 30, 2016, the La Jolla Shores Planned District Advisory Board voted 5-0-0 to recommend approval of the proposed development as a major project without conditions (Attachment 10).

Environmental Review: A Mitigated Negative Declaration No. 463101 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines, which address potential impacts to Historic Resources (Archeology). A Mitigation, Monitoring, and Reporting Program has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

## BACKGROUND

The project is located at 8260 Paseo Del Ocaso, south of Calle Frescotta (Attachment 1) within the La Jolla Community Plan and Local Coastal Program Land Use Plan area. The land use designation is Low Density Residential at a density range of 5-9 dwelling units per acre (Attachment 2) and zoned La Jolla Shores Planned District Single Family (LJSPD-SF) (Attachment 4). Additionally, the site is in the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, and the Parking Impact, and Residential Tandem Overlay Zones. The project site can accommodate one dwelling unit based on the community plan land use designation and single family zone. The aerial photographs show the surrounding properties as previously graded and developed with single dwelling units (Attachment 3).

The project site is an interior lot with frontage on Paseo Del Ocaso. The site has been previously graded and developed with a single dwelling unit constructed in 1947. A historical assessment was performed and City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

## DISCUSSION

The project proposes the demolition of an existing single dwelling unit and construction of a 4,981-square-foot, two-story single dwelling unit, over a 2,568-square foot basement on a 0.18-acre site. The proposed basement level consisting of game room, storage rooms, craft room, home theater, two-bathrooms and guestroom. The first floor includes four-bedrooms, four-bathrooms, one-powder room, elevator, family room, and two-car garage. The second floor includes one-bedroom, one office/bedroom, two-bathrooms, one-powder room, laundry room, kitchen, and living/dining room. The roof contains a roof deck as well as photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is located approximately 1,200-feet from the Pacific Ocean and not within the first public roadway paralleling the sea. The property is not within a designated viewshed or scenic overlook and does not contain intermittent or partial vista views as identified within the La Jolla Community Plan and Local Coastal Program Land Use Plan.

The site is approximately 22-feet above Mean Sea Level and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program, Multi-Habitat Planning Area (MSCP), and does not contain any Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 25-foot 11.5-inches, so the building and any projections will not exceed the maximum 30-foot height limit allowed by the Coastal Height Limitation Overlay Zone.

The La Jolla Community Plan, Residential Element goal recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural

features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The proposed development incorporates various horizontal and vertical offsetting planes and complies with the maximum allowable height of the zone and with the required setbacks. The combination of shake siding, lap siding, stone veneer, and wood accent trim in a palette of cream, olive and white exterior finishes with multiple pitched roof is coastal traditional in style and is consistent with what has been generally used in the surrounding development. The proposed setbacks, offsetting planes, variation in building materials, and stepped back garage help break up the structure bulk and scale. The architectural design provides continuity between the proposed development and the existing surrounding dwelling units and is therefore consistent with the La Jolla Community Plan.

The project is not requesting, nor does it require, any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process 2 Coastal Development Permit for coastal development in the Non Appealable Area 2 of the Coastal Overlay Zone, and a Process 3 Site Development Permit for development within the La Jolla Shores Planned District.

Conclusion:

The project is consistent with the recommended land use designation and Residential Element goals of the community plan and the regulations of the San Diego Municipal Code. Therefore, staff recommends the Hearing Officer to approve the project.

ALTERNATIVES:

1. ADOPT Mitigated Negative Declaration No. 463101 and ADOPT the Mitigation, Monitoring, and Reporting Program; and APPROVE Coastal Development Permit No. 1620093 and Site Development Permit No. 1620095 with modifications.
2. DO NOT ADOPT Mitigated Negative Declaration No. 463101 and DO NOT ADOPT the Mitigation, Monitoring, and Reporting Program; and DENY Coastal Development Permit No. 1620093 and Site Development Permit No. 1620095, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



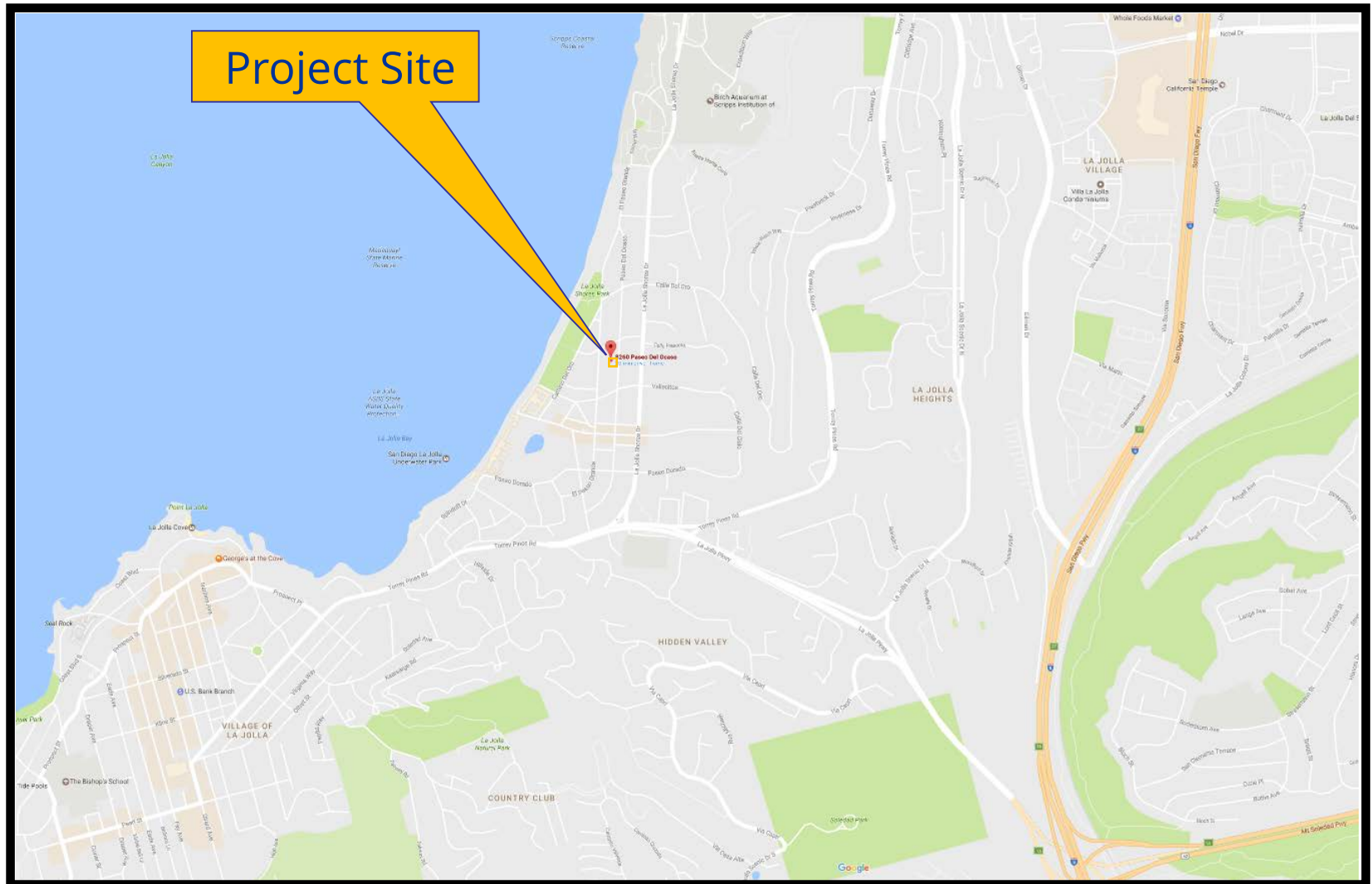
Karen Bucey,  
Development Project Manager

Attachments:

1. Location Map
2. Community Plan Land Use Map

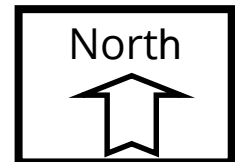
3. Aerial Photograph
4. Zoning Map
5. Project Data Sheet
6. Draft Resolution with Findings
7. Draft Permit with Conditions
8. Draft Environmental Resolution with MMRP (MND)
9. La Jolla Community Planning Association Recommendation
10. La Jolla Shores Planned District Advisory Board Recommendation
11. Ownership Disclosure Statement
12. Project Plans

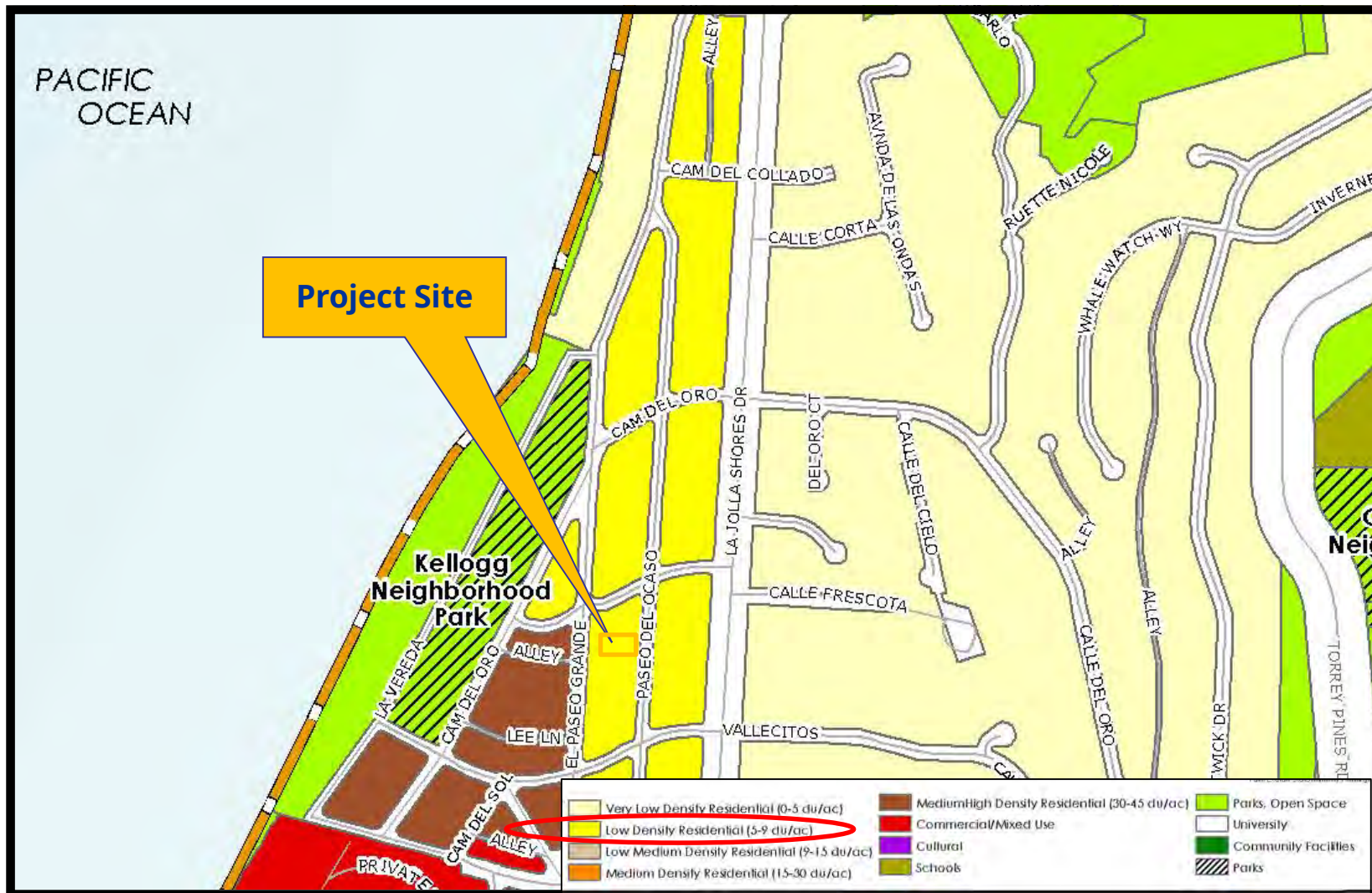




## Location Map

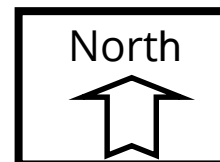
**Elkins Residence; Project No. 463101**  
**8260 Paseo Del Ocaso**





## La Jolla (Shores) Community Plan Land Use Map

Elkins Residence; Project No. 463101  
8260 Paseo Del Ocaso

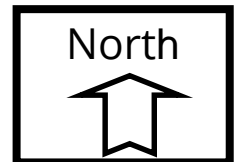


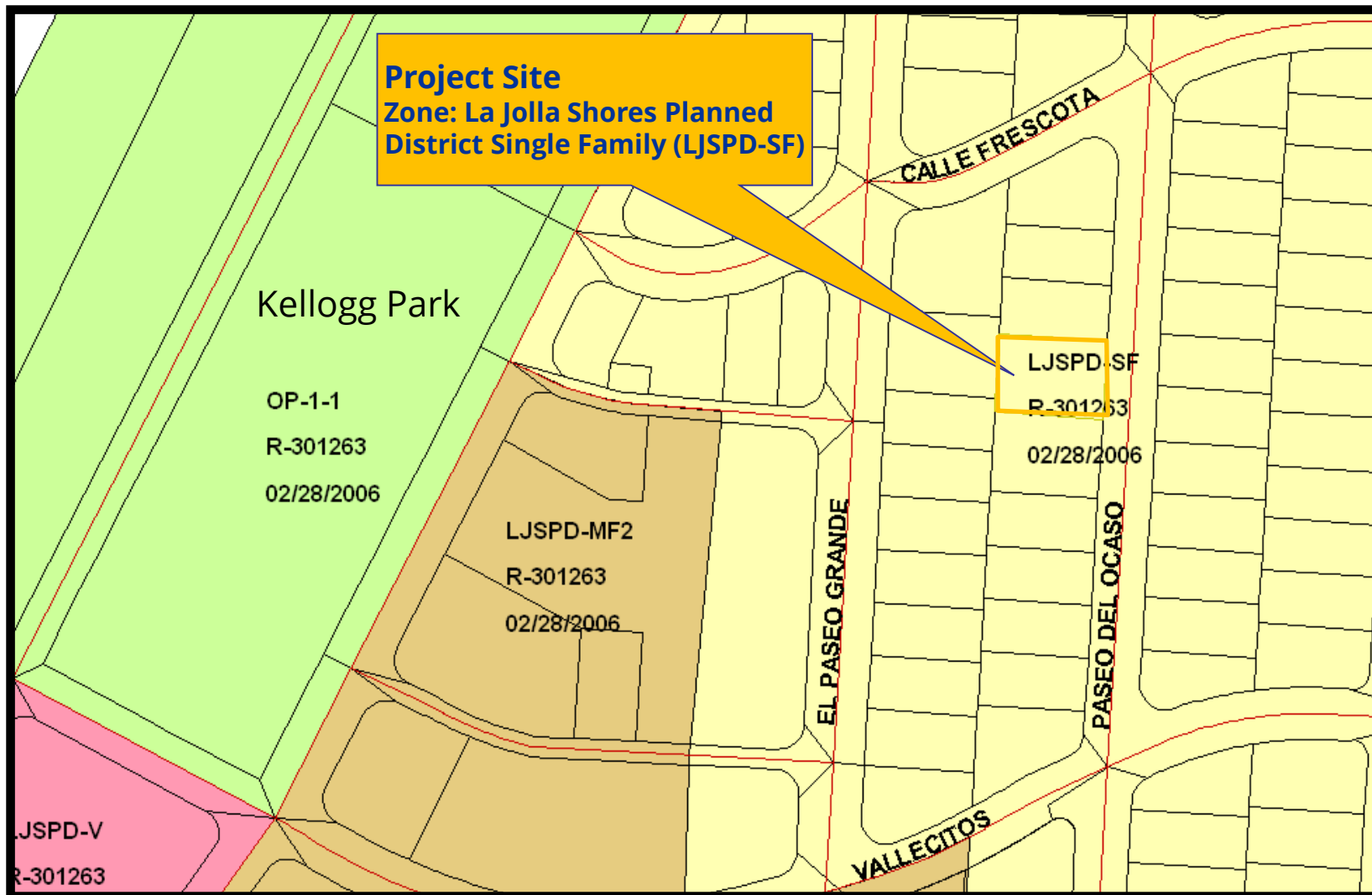




## Aerial Photograph

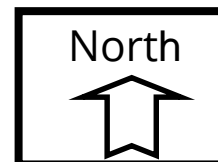
Elkins Residence; Project No. 463101  
8260 Paseo Del Ocaso





## Zoning Map

Elkins Residence; Project No. 463101  
8260 Paseo Del Ocaso





# PROJECT DATA SHEET

<b>Project Name:</b>	Elkins Residence – Project No. 463101	
<b>Project Description:</b>	Development permit to demolish an existing single dwelling unit and construct a two-story, 4,981-square-foot single dwelling unit.	
<b>Community Plan Area:</b>	La Jolla Community Plan and Local Coastal Program	
<b>Discretionary Actions:</b>	Coastal Development Permit / Site Development Permit	
<b>Community Plan Land Use Designation:</b>	Low Density Residential (5-9 DU/AC)	
<b>ZONING INFORMATION:</b>		
<b>Zone:</b>	La Jolla Shores Planned District Single Family zone (LJSDP-SF)	
<b>Height Limit:</b>	30-foot maximum Coastal Height	
<b>Lot Size:</b>	0.18 acres	
<b>Floor Area Ratio:</b>	No FAR requirement in La Jolla Shores Planned District	
<b>Front Setback:</b>	General Conformity to the Neighborhood	
<b>Side Setback:</b>	General Conformity to the Neighborhood	
<b>Streetside Setback:</b>	N/A	
<b>Rear Setback:</b>	General Conformity to the Neighborhood	
<b>Parking:</b>	2	
<b>Adjacent Properties:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>North:</b>	Low Density Residential (5-9 DU/AC); LJSDP-SF	Single Family Residential
<b>South:</b>	Low Density Residential (5-9 DU/AC); LJSDP-SF	Single Family Residential
<b>East:</b>	Low Density Residential (5-9 DU/AC); LJSDP-SF	Single Family Residential
<b>West:</b>	Low Density Residential (5-9 DU/AC); LJSDP-SF	Single Family Residential
<b>Deviation Requested:</b>	None	
<b>Community Planning Group Recommendations:</b>	<p>November 30, 2016 the La Jolla Shores Planned District Advisory Board voted 5-0-0 to recommend the development as a Major Project-Process 3 and in conformance to the La Jolla Shores Planned District.</p> <p>February 2, 2017 the La Jolla Community Planning Association (LJCPA) voted 11-5-1 to recommend approval of the project.</p>	

HEARING OFFICER RESOLUTION NO.  
COASTAL DEVELOPMENT PERMIT APPROVAL NO. 1620093  
SITE DEVELOPMENT PERMIT APPROVAL NO. 1620095  
**ELKINS RESIDENCE - PROJECT NO. 463101 [MMRP]**

WHEREAS, THOMAS ELKINS ZIPOLO, Owner/Permittee, filed an application with the City of San Diego for a permit for the demolition of an existing single dwelling unit and construction of a single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1620093 and No. 1620095), on portions of a 0.18-acre site;

WHEREAS, the project site is located at 8260 Paseo del Ocaso in the La Jolla Shores Planned District Single Family (LJSPD SF) zone of the La Jolla Community Plan, the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, and the Parking Impact, and Residential Tandem Overlay Zones;

WHEREAS, the project site is legally described as lot 4 and the northerly 25 feet of lot 5 in block 22, La Jolla Shores Unit No. 3, in the City of San Diego, County of San Diego, State of California according to the map thereof No. 2061, file in the office of the San Diego County Recorder, September 5, 1927;

WHEREAS, on April 19, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1620093 and Site Development Permit No. 1620095 pursuant to the Land Development Code of the City of San Diego; now therefore;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 19, 2017.

FINDINGS:

**I. Coastal Development Permit – Land Development Code Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The project proposes the demolition of an existing single dwelling unit and the construction of a 4,981-square-foot two-story residence over a 2,568-square-foot basement on a 0.18-acre site. The land use designation is Low Density Residential at a density range of 5-9 dwelling units per acre and within the La Jolla Shores Planned District Single Family zone. Additionally, the site is in the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, Parking Impact, and Residential Tandem Overlay Zones.



Paseo del Ocaso at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, view sheds or scenic overlooks within the adopted La Jolla Community Plan and Local Coastal Program Land Use Plan. The project will protect public views through a structure height of 25-feet, 11.5 inches and below the Coastal Height Limitation Overlay Zone maximum of 30 feet. Therefore, the project does not impact or encroach on any existing or proposed public accessway vista, or view shed and enhances and protects public views through design features, parkways, and setbacks consistent with the with the goals and policies of the certified Local Coastal Program.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands; and**

The project proposes the demolition of an existing single dwelling unit and the construction of a 4,981-square-foot two-story residence over a 2,568-square-foot basement on a 0.18-acre site. The subject property is 1,200 feet from the Pacific Ocean, 21.75 feet above Mean Sea Level and is located above the 100-year floodplain. The site is not within, or adjacent to, the Multiple Species Conservation Program/Multi-Habitat Planning Area (MSCP) and does not contain any other type of Environmental Sensitive Lands as defined in San Diego Municipal Code Section 113.0103.

A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA), which addresses potential impacts to Historical Resources (Archaeology and Paleontology); and a Mitigation, Monitoring, and Reporting Program (MMRP) would be implemented with this project to reduce the potential impacts to below a level of significance. Therefore, it has been determined that the development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and**

The project proposes the demolition of an existing single dwelling unit and the construction of a 4,981-square-foot two-story residence over a 2,568-square-foot basement on a 0.18-acre site. The land use designation is Low Density Residential at a density range of 5-9 dwelling units per acre and within the La Jolla Shores Planned District Single Family zone. Additionally, the site is in the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, Parking Impact, and Residential Tandem Overlay Zones.

The project site does not contain an access way to nearby beaches or the coastline, it is not within an environmentally sensitive habitat area or marine resources. The site is an infill development and has a residential land use designation and is not within a recreation or visitor serving retail area. The existing residential structure to be demolished has been reviewed under the Secretary of the Interior Standards and determined not to be a historic resource or located in a conservation area. The parcel is not designated a park or recreation area and the proposed development will not encroach upon, or impact the use or preservation of the recreational resources. The development is a market-rate single dwelling unit and the applicant does not propose the unit as affordable housing. The parcel is a mid-

block location 1,200 feet from the Pacific Ocean and is not in a coastal bluff area. The site has been previously graded and is level with a finished grade of 21.25 feet and therefore does not meet the definition for hillside development. The project has been design to reflect storm water management requirements, a water quality study and a geotechnical investigation technical report. The community plan land use designation for this site is Low Density Residential at a density range of 5-9 dwelling units per acre. The demolition of an existing residential unit and the construction of a new residential unit will not impact land use buildout or residential development. The geologic hazard classification for the site is 52, the site contains gently sloping to steep terrain, favorable geologic structure, and the site is not within the Alquist-Priolo earthquake fault zone. The development does not contain, nor is proposed for, community serving water, sewage, gas and electric utilities. Development of the site will not impact the exiting community utilities or future provision of services.

The visual quality of the site and community is preserved through a structure height of 25-feet, 11.5 inches, which complies with the regulations of the Coastal Height Limitation Overlay Zone. The height, bulk and scale of the project is reduced by a stepped back second floor, various pitched roof planes at the first and second floors, and articulation on all sides of the structure breaking up the massing, consistent with the La Jolla Community Plan residential Element. The entryway includes a pillared porch with pitched roof to provide a lighter element to the façade and help step down the structures size to pedestrian scale.

The project is not requesting nor does it require any deviations or variances from the applicable regulations. Therefore the development is in conformity with the Certified Local Coastal Program land use plan and certified implementation program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes the demolition of an existing single dwelling unit and the construction of a 4,981-square-foot two-story residence over a 2,568-square-foot basement on a 0.18-acre site. The subject property is 1,200 feet from the Pacific Ocean and is not located between the sea and the first public roadway paralleling the sea. Therefore, the finding is not applicable and the proposed development does not have to demonstrate conformance with the public access and recreation policies of the California Coastal Act as required by this finding.

## **II Site Development Permit – Land Development Code Section 126.0504(A)**

**1. The proposed development will not adversely affect the applicable land use plan;**

The project proposes the demolition of an existing single dwelling unit and the construction of a 4,981-square-foot two-story residence over a 2,568-square-foot basement on a 0.18-acre site. The site is in the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, and the Parking Impact, and Residential Tandem Overlay Zones. The structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to



generate at least 50 percent of the site's projected energy consumption in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project site is located at 8260 Paseo del Ocaso, south of Calle Frescota, in the in the La Jolla Community Plan and Local Coastal Program. The La Jolla Community Plan designates the site as Low Density Residential at a density range of 5-9 dwelling units per acre and the site is zoned as Single Family in the La Jolla Shores Planned District. The 0.18-acre site could accommodate one dwelling unit based on the applicable community plan land use designation and implementing zone.

The project is not requesting nor does it require any deviations or variances from the policy documents and applicable regulations and is consistent with the recommended land use designation and development standards in effect for this site, including conformance with the La Jolla Shores Planned District. Therefore, the proposed development will not adversely affect the applicable land use plan.

### **2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The project proposes the demolition of an existing single dwelling unit and the construction of a 4,981-square-foot two-story residence over a 2,568-square-foot basement on a 0.18-acre site. The site is in the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, and the Parking Impact, and Residential Tandem Overlay Zones. The structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the site's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The subject property is 1,200 feet from the Pacific Ocean, 21.75 feet above Mean Sea Level and is located above the 100-year floodplain. The development is conditioned to provide a new driveway and public sidewalk improvements. The site is not within or adjacent to the MSCP Area and does not contain any other type of Environmental Sensitive Lands as defined in San Diego Municipal Code Section 113.0103.

A Mitigated Negative Declaration No. 463101 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA), which addresses potential impacts to Historical Resources (Archaeology and Paleontology); and a Mitigation, Monitoring, and Reporting Program (MMRP) would be implemented with this project to reduce the potential impacts to below a level of significance.

The permit for the project includes conditions relevant to achieving project compliance with the applicable regulations in effect for this project. The permit conditions, such as the replacement of driveway, drains, curb and gutter have been determined to be necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The building plans and public improvement plans shall be reviewed, permitted, and inspected by the City for compliance with all applicable building, mechanical, electrical, fire code, and development regulations.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with development standards in effect for this site, including conformance with the La Jolla Shores Planned District. The project is conditioned to comply with the development regulations in effect for the subject property as described in Coastal Development Permit No. 1620093 and Site Development Permit No. 1620095. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project site is located at 8260 Paseo del Ocaso, south of Calle Frescota, in the in the La Jolla Community Plan and Local Coastal Program. The La Jolla Community Plan designates the site as Low Density Residential at a density range of 5-9 dwelling units per acre and the site is zoned as Single Family in the La Jolla Shores Planned District. The site is within the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zones, and the Residential Tandem Parking Overlay Zone.

The 0.18-acre site could accommodate one dwelling unit based on the applicable community plan land use designation and implementing LJSPD-SF zone. The project conforms to the Coastal Height Limitation Overlay Zone through design height of 25-feet, 11.5 inches, below the maximum allowable height of 30 feet. The height, bulk and scale of the project is reduced by a stepped back second floor, various pitched roof planes at the first and second floors, and articulation on all sides of the structure breaking up the massing, consistent with the La Jolla Community Plan residential Element. The entryway includes a pillared porch with pitched roof to provide a lighter element to the façade and help step down the structures size to pedestrian scale. The four-bedroom single dwelling unit meets the Parking Impact Overlay Zones, and the Residential Tandem Parking Overlay Zone by providing off-street garage parking.

The project is not requesting, nor does it require, any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation and development standards in effect for this site, such as setbacks, floor area ratio, structure height landscaping, including conformance with the La Jolla Shores Planned District.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1620093/Site Development Permit No. 1620095 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1620093 and No. 1620095, a copy of which is attached hereto and made a part hereof.

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Karen Bucey  
Development Project Manager  
Development Services

Adopted on: April 19, 2017

IO#: 24006401

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006401

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1620093 AND  
SITE DEVELOPMENT PERMIT NO. 1620095  
**ELKINS RESIDENCE-PROJECT NO. 463101 [MMRP]**  
HEARING OFFICER

This Coastal Development Permit No. 1620093 and Site Development Permit No. 1620095 is granted by the Hearing Officer of the City of San Diego to THOMAS ELKINS ZIPOLO, Owner and Permittee, pursuant to San Diego Municipal Code section 126.0708 and 126.0504. The 0.18-acre site is located at 8260 Paseo del Ocaso in the La Jolla Shores Planned District Single Family (LJSPD SF) zone of the La Jolla Community Plan, the Coastal Overlay Zone (Non Appealable Area 2), Coastal Height Limitation, and the Parking Impact, and Residential Tandem Overlay Zones. The project site is legally described as: lot 4 and the northerly 25 feet of lot 5 in block 22, La Jolla Shores Unit No. 3, in the City of San Diego, County of San Diego, State of California according to the map thereof No. 2061, files in the office of the San Diego County Recorder September 5, 1927.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee for the demolition of an existing single dwelling unit and construction of a 4,981-square-foot, two-story single dwelling unit, over a 2,568-square foot basement on a 0.18-acre site described and conditioned by size, dimension, quantity, type and location on the approved exhibits [Exhibit "A"] dated April 19, 2017 on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single dwelling unit and construction of a 4,981-square foot two-story residence over a 2,568-square foot basement. The basement level consisting of game room, storage rooms, craft room, home theater, two-bathrooms and guestroom. The first floor includes four-bedrooms, four-bathrooms, one-powder room, elevator, family room, and two-car garage. The second floor includes one-bedroom, one office/bedroom, two-bathrooms, one-powder room, laundry room, kitchen, and living/dining room. The roof contains a roof deck and photo voltaic panels;

## ATTACHMENT 7

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Two off-street parking;
- d. Pool and spa accessory improvements; and
- e. A roof-mounted photovoltaic system sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the San Diego Municipal Code.

### **STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the San Diego Municipal Code within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all San Diego Municipal Code requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 3, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

## ATTACHMENT 7

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owners/Permittees shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owners/Permittees of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owners/Permittees shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owners/Permittees shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owners/Permittees regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owners/Permittees shall not be required to pay or perform any settlement unless such settlement is approved by Owners/Permittees.

### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.
12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, NO. 463101, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.
13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, NO. 463101, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: **Historical Resources (Archeology and Paleontology)**.

### **CLIMATE ACTION PLAN (CAP) REQUIREMENTS:**

14. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."
15. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

### **ENGINEERING REQUIREMENTS:**

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains and trees/landscaping on Paseo Del Ocaso.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot driveway per current City Standards, adjacent to the site on Paseo Del Ocaso.
19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the following-reconstruction of the existing sidewalk with current City Standard sidewalk.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Paseo Del Ocaso.

## **ATTACHMENT 7**

21. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement to remove existing brick pavers from parkway section of Paseo Del Ocaso right of way.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
23. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WACO). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
24. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan.

### **GEOLOGY REQUIREMENTS:**

25. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

### **LANDSCAPE REQUIREMENTS:**

26. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square feet area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).
27. Prior to issuance of a grading or building permit, the Owner/Permittee shall submit a site/plot plan consistent with the plans submitted for a building permit showing the required 30 percent landscaped area in a crosshatch pattern and labeled "Landscape Area Diagram."
28. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'
29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.



## ATTACHMENT 7

30. Any modifications or changes to the "Landscape Area Diagram " and existing or proposed plant material, as shown on the approved Exhibit "A" Landscape Concept Plan, are permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance.
31. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.
33. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per San Diego Municipal Code 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.
34. Visibility areas adjacent to street corner intersections, driveways (on or off the premises) and alleys shall have no portion of any fence, wall or other structure exceeding three feet in height, this shall include landscaping other than trees.

### **PLANNING/DESIGN REQUIREMENTS:**

35. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.
36. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
37. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
38. A topographical survey conforming to the provisions of the San Diego Municipal Code may be required if it is determined, during construction, that there may be a conflict between the building(s)

## ATTACHMENT 7

under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

39. Storage of merchandise, material, or equipment including refuse containers shall be permitted only when incidental to a permitted use located on the same premises, and shall be completely enclosed within a building which shall consist of walls and a roof. No outdoor storage shall be permitted.

### INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 19, 2017 and [Approved Resolution Number].

## ATTACHMENT 7

CDP NO. 1620093 and SDP NO. 1620095  
April 19, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Karen Bucey  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_  
Thomas Elkins Zipolo

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
RESOLUTION NO.  
ELKINS RESIDENCE - PROJECT NO. 463101 [MMRP]  
MITIGATED NEGATIVE DECLARATION NO. 463101

WHEREAS, on December 10, 2015, Thomas Elkins Zirpolo submitted an application to the Development Services Department for a Coastal Development Permit and Site Development Permit for the Elkins Residence (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on April 19, 2017; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 463101 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

## ATTACHMENT 8

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
Karen Bucey  
Development Project Manager

ATTACHMENT(S):      Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**

**MITIGATION MONITORING AND REPORTING PROGRAM**

**COASTAL DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT**

**PROJECT NO. 463101**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No.463101 shall be made conditions of Coastal Development Permit / Site Development Permit as may be further described below.

**HISTORICAL RESOURCES (ARCHAEOLOGY)**

**I. Prior to Permit Issuance**

**A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

**B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines. If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the Principal Investigator and all persons involved in the archaeological monitoring of the project meet the qualifications established in the Historical Resources Guidelines.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**

**A. Verification of Records Search**

1. The Principal Investigator shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the Principal Investigator stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The Principal Investigator may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

**B. Principal Investigator Shall Attend Preconstruction Meetings**

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a preconstruction meeting that shall include the Principal Investigator, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related preconstruction meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
  - a. If the Principal Investigator is unable to attend the preconstruction meeting, the Applicant shall schedule a focused preconstruction meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
  - a. Prior to the start of any work that requires monitoring, the Principal Investigator shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
  - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the Principal Investigator shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.

- b. The Principal Investigator may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

### III. During Construction

#### A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the Principal Investigator and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
3. The Principal Investigator may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly **(Notification of Monitoring Completion)**, and in the case of ANY discoveries. The RE shall forward copies to MMC.

#### B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.



2. The Monitor shall immediately notify the Principal Investigator (unless Monitor is the PI) of the discovery.
3. The Principal Investigator shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The Principal Investigator and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
  - a. The Principal Investigator shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
  - b. If the resource is significant, the Principal Investigator shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
  - c. If the resource is not significant, the Principal Investigator shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. **Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the Principal Investigator, if the Monitor is not qualified as a PI. MMC will notify the

appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.

2. The Principal Investigator shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the Principal Investigator concerning the provenance of the remains.
  2. The Medical Examiner, in consultation with the Principal Investigator, will determine the need for a field examination to determine the provenance.
  3. If a field examination is not warranted, the Medical Examiner will determine with input from the Principal Investigator, if the remains are or are most likely to be of Native American origin.
- B. If Human Remains **ARE** determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
  2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
  3. The MLD will contact the Principal Investigator within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
  4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
  5. Disposition of Native American Human Remains will be determined between the MLD and the Principal Investigator, and, if:
    - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
    - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,

- c. In order to protect these sites, the Landowner shall do one or more of the following:
  - (1) Record the site with the NAHC;
  - (2) Record an open space or conservation easement on the site;
  - (3) Record a document with the County.
- d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

C. If Human Remains are **NOT** Native American

- 1. The Principal Investigator shall contact the Medical Examiner and notify them of the historic era context of the burial.
- 2. The Medical Examiner will determine the appropriate course of action with the Principal Investigator and City staff (PRC 5097.98).
- 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

**V. Night and/or Weekend Work**

A. If night and/or weekend work is included in the contract

- 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the preconstruction meeting.
- 2. The following procedures shall be followed.
  - a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, the Principal Investigator shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.

- b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
  - c. Potentially Significant Discoveries  
If the Principal Investigator determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
  - d. The Principal Investigator shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
- 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**VI. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
- 1. The Principal Investigator shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the Principal Investigator is unable to submit the Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**
    - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with State of California Department of Parks and Recreation  
The Principal Investigator shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical

Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the Principal Investigator for revision or, for preparation of the Final Report.
  3. The Principal Investigator shall submit revised Draft Monitoring Report to MMC for approval.
  4. MMC shall provide written verification to the Principal Investigator of the approved report.
  5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The Principal Investigator shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
  2. The Principal Investigator shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
  3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The Principal Investigator shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
  2. The Principal Investigator shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
  3. When applicable to the situation, the Principal Investigator shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.

D. Final Monitoring Report(s)

1. The Principal Investigator shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.



## La Jolla Community Planning Association

Ms. Karen Bucey  
Development Project Manager  
City of San Diego  
Development Services Dept.

Date: February 3, 2017

Subject: La Jolla Community Planning Association Findings

RE: "Elkins Residence"

On January 11th 2016 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed **ELKINS RESIDENCE: 8260 Paseo Del Ocaso** as an Action Item.

As Noticed:

**ACTION ITEM: ELKINS RESIDENCE 8260 Paseo Del Ocaso CDP/SDP**

Coastal Development / Site Development Permit to demolish an existing 1877 sq ft residential SDU and construct a new 5,377 sq ft two-story single family residence. Project includes a two-car garage, partial basement and 536 square foot roof deck. Project includes a two-car garage, partial basement and 536 sq ft roof deck. Project includes new outdoor enhancements including patios, a pool, spa and associated landscaping. The 0.18 acre (7866 sq ft) site is located at 8260 Paseo Del Ocaso within the Coastal Overlay Zone (Appealable) within LJSPD-SF base zone within Council District 1.

**PRC RECOMMENDATION:** Findings CAN be made for a Coastal Development Permit and Site Development Permit. 8-0-0

**LJCPA RECOMMENDATION:** Ratification of DPR Findings via Full Review, 11-5-1.

Sincerely,

Cindy Greatrex  
Chair  
858-456-7900

# La Jolla Shores Planned District (LJSPD)

## Advisory Board Agenda Item Record

**Project:** Elkins Residence PTS 463101

**Item:** B **Date:** 11/30/16

**Applicant:** Tim Golba

**Description:** CDP/SDP for demolition of existing single-family home w/ attached garage on a 7,886 sf lot and construct a new 2-story single family residence with basement, roof deck, and attached garage.

### Recommendation

- ☐ A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- ☒ B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- ☐ C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- ☐ D. Approval subject to the following modifications to ensure conformity to the LJSPD.

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- ☐ E. No recommendation due to a lack of four affirmative votes.
- ☐ F. Concept Review Only

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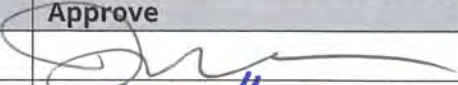
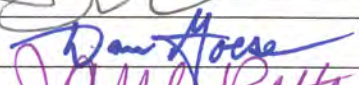
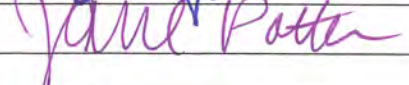
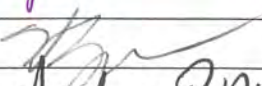
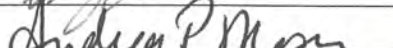


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### Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Herbert Lazerow		
Andrea Moser		

Absentees:

  
Chairperson





# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title**

Elkins Residence

**Project No. For City Use Only**

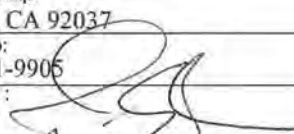
**Project Address:**

8260 Paseo Del Ocaso, La Jolla, CA 92037

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached** ☐ Yes ☒ No

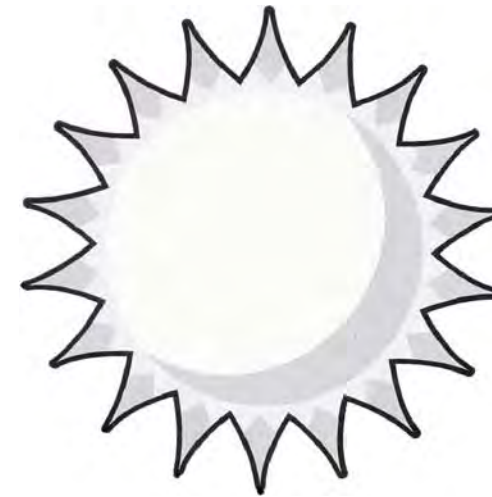
Name of Individual (type or print):  
Thom Elkins Zirpolo  
☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency  
 Street Address: 8260 Paseo Del Ocaso  
 City/State/Zip:  
La Jolla, CA 92037  
 Phone No: (619)231-9905 Fax No: (858)750-3471  
 Signature :  Date: 12/15/2015

Name of Individual (type or print):  
  
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:





# ELKINS RESIDENCE

8260 PASEO DEL OCASO  
LA JOLLA, CA



ARTISTIC RENDERING - CONCEPT ONLY

## COASTAL DEVELOPMENT PERMIT SET

Prepared By:  
Brian Yamagata  
Golba Architecture  
1940 Garnet Ave., Suite 100  
San Diego, CA 92109  
office: (619) 231-9905  
fax: (858) 750-3471

Project Address:  
8260 PASEO DEL OCASO  
LA JOLLA, CA 92037

Project Name:  
ELKINS RESIDENCE

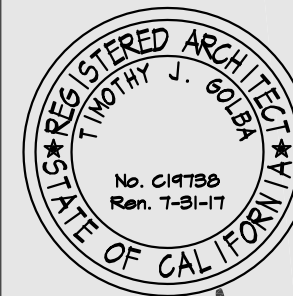
Sheet Title:  
COVER

Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3:  
Revision 2:  
Revision 1: 06-13-2016

Original Date: 12-17-15  
Sheet 1 of 14

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave., #100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

**ELKINS RESIDENCE**  
8260 PASEO DEL OCASO  
LA JOLLA, CA 92037





SPECIAL INSPECTIONS:

- GENERAL REQUIREMENTS:
1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION. THE LIST MUST BE PROJECT SPECIFIC AND MUST CONFORM TO THE REQUIREMENTS SPECIFIED IN BUILDING NEWSLETTER DS-311. SEE STRUCTURAL DRAWINGS FOR SUMMARY LIST.
  2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION INSTRUCTIONS MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
  3. "A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION."
  4. "AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE FIELD INSPECTION DIVISION FOR APPROVAL PRIOR TO FABRICATION."
  5. "A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS."

SYMBOLS

SHEET NUMBER

**A1.5**

SHEET NUMBER

CATEGORY NUMBER

DISCIPLINE LETTER

NORTH ARROW

ELEVATION MARKS

BUILDING SECTION MARKS

WALL SECTION MARKS

DOOR SYMBOL

WINDOW SYMBOL

BATT INSULATION

PLAN NOTE TARGET

CENTER LINE

ELEVATION TARGETS

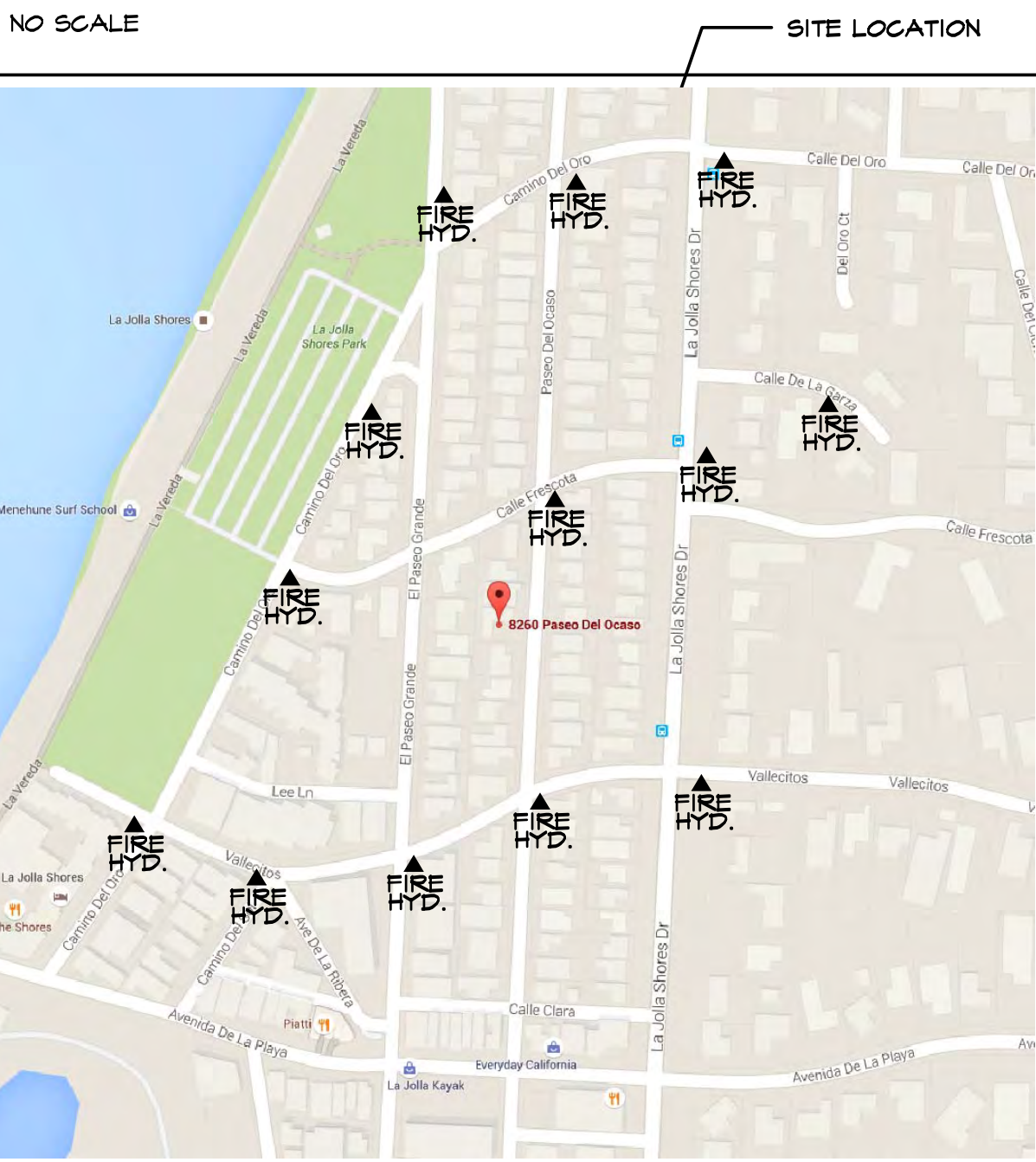
INTERIOR ELEVATION TARGETS

PLAN BLOW-UP DETAILS

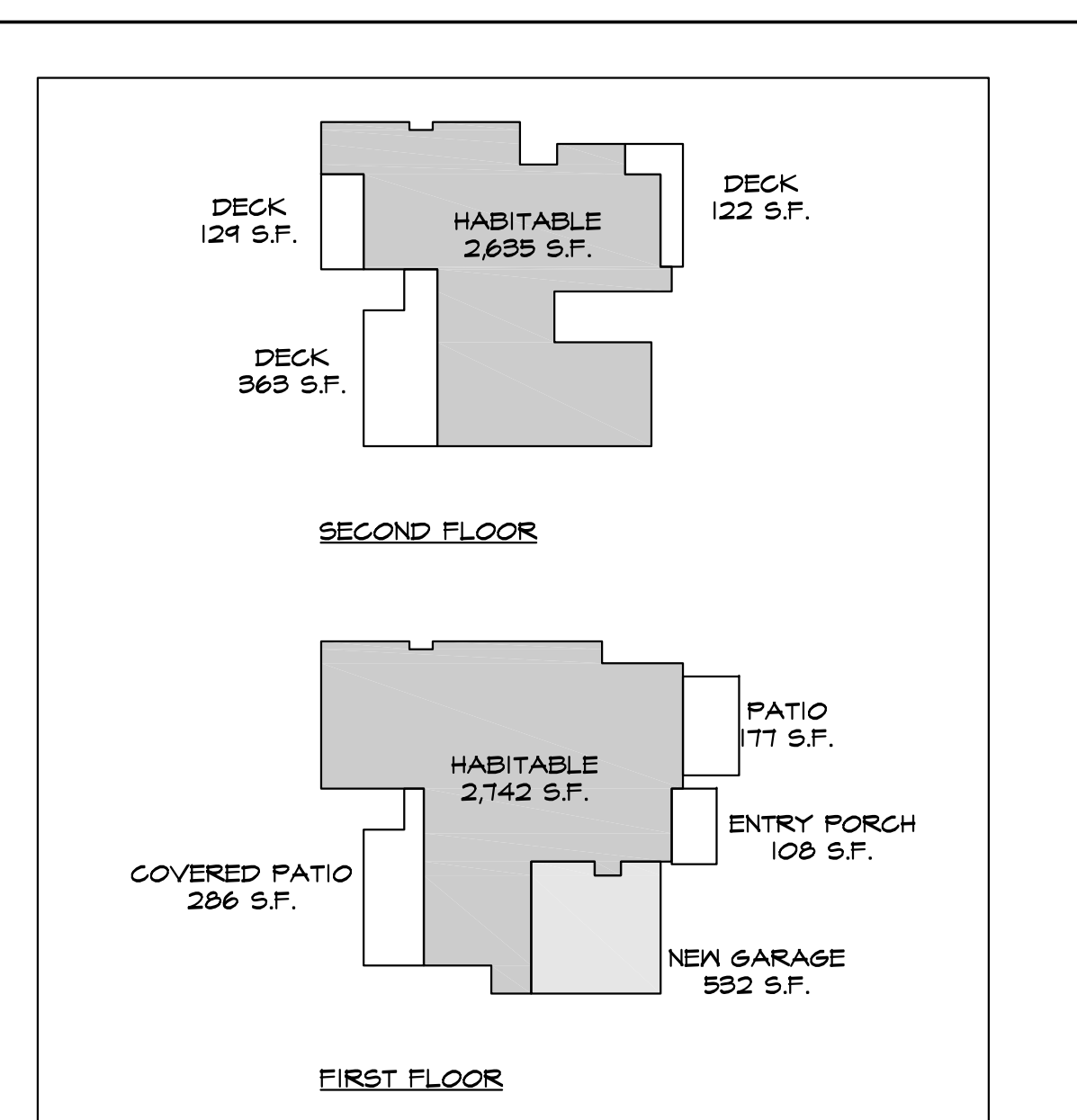
ABBREVIATIONS

ACOUS.	ACOUSTICAL	MATL.	MATERIAL
A.C.T.	ADJUSTABLE	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MECH.	MECHANICAL
A.F.F.	AT FINISHED FLOOR	MEMB.	MEMBRANE
AGG.	AGGREGATE	MEZZ.	MEZZANINE
ALUM.	ALUMINUM	MFR.	MANUFACTURER
ALT.	ALTERNATE	MIN.	MINIMUM
A.P.	ACCESS PANEL	MISC.	MISCELLANEOUS
APPROX.	APPROXIMATE	M.O.	MOVABLE
ARCH.	ARCHITECTURAL	MOV.	MOVABLE
ASPH.	ASPHALT	MTD.	MOUNTED
ASST.	ASSISTANT	MTL.	METAL
AUTO.	AUTOMATIC	MUL.	MULLION
BD.	BOARD	N.	NORTH
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
BOT.	BOTTOM	NO.	NUMBER
BUR.	BUILT UP ROOFING	NOM.	NOMINAL
CAB.	CABINET	N.T.S.	NOT TO SCALE
CIRC.	CIRCULATION	OA.	OVERALL
C.L.	CENTER LINE	O.C.	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
CLS.	CEILING	O.F.D.	OVERFLOW DRAIN
CLO.	CLOSET	OFF.	OFFICE
C.M.U.	CONCRETE MASONRY UNIT	OH.	OVERHEAD
COL.	COLUMN	OPNG.	OPENING
CONC.	CONCRETE	OPP.	OPPOSITE
CONF.	CONFERENCE	PAV.	PAVING
CONN.	CONNECTION	P.C.	PRE-CAST
CONSTR.	CONSTRUCTION	PL.	PLATE
CONT.	CONTINUOUS	PLAM.	PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLAS.	PLASTER
COORD.	COORDINATE	PLBS.	PLUMBING
CORR.	CORRIDOR	PLYMD.	PLYWOOD
CFT.	CARPET	PNL.	PANEL
C.J.	CONTROL JOINT	PNL.	PANEL
C.T.	CERAMIC TILE	POL.	POLISHED
CTR.	CENTER	PROP.	PROPERTY
C.W.	COLD WATER	P.S.F.	POUNDS PER SQUARE FOOT
DBL.	DOUBLE	P.S.I.	POUNDS PER SQUARE INCH
DEMO.	DEMOLITION	PTD.	PAINTED
DEPT.	DEPARTMENT	PTN.	PARTITION
DIA.	DIAMETER	PT.	POINT
DIAG.	DIAGONAL	QTY.	QUANTITY
DIFF.	DIFFUSER	R.	RUBBER
DIM.	DIMENSION	RECEP.	RECEPTION
DIV.	DIVISION	REINF.	REINFORCING
DN.	DOWN	R.O.W.	RIGHT OF WAY
D.P.	DAMP-PROOFING	RAD.	RADIUS
DR.	DOOR	R.B.	RUBBER BASE
DTL.	DETAIL	R.C.P.	ROOF DRAIN
EA.	EACH	REC.	RECESSED
EL.	ELEVATION	REF.	REFERENCE
ELAS.	ELASTOMERIC	REFR.	REFRIGERATOR
ELEC.	ELECTRICAL	REINFORC.	REINFORCED
EMER.	EMERGENCY	REQD.	REQUIRED
ENCL.	ENCLOSURE	RESL.	RESULTANT
ENGR.	ENGINEER	REV.	REVISION
ENT.	ENTRANCE	RFG.	ROOFING
E.J.	EXPANSION JOINT	RM.	ROOM
E.PNL.	ELECTRICAL PANEL	R.O.	ROUGH OPENING
EQ.	EQUAL	S.	SOUTH
EQUIP.	EQUIPMENT	SAN.	SANITARY
E.W.C.	ELECTRIC WATER COOLER	SCHED.	SCHEDULE
EXH.	EXHAUST	SECT.	SECTION
EXT.	EXISTING	SECUR.	SECURITY
EXP.	EXPANSION	S.F.	SQUARE FOOT
EXT.	EXTERIOR	SHR.	SHOWER
F.D.	FLOOR DRAIN	SHT.	SHEET
FDN.	FOUNDATION	SIM.	SIMILAR
F.E.	FIRE EXTINGUISHER	SL.	SLOPE
F.F.	FINISH FLOOR	STANDPIPE	STANDPIPE
F.H.G.	FIRE HOSE CABINET	SPEC.	SPECIFICATION
FIN.	FINISH	SPKR.	SPEAKER
FL.	FLOOR	SQ.	SQUARE
FLEX.	FLEXIBLE	S.S.T.	STAINLESS STEEL
FLOUR.	FLUORESCENT	STA.	STATION
FT.	FOOT	STD.	STANDARD
FRUN.	FURNITURE	STL.	STEEL
FURR.	FURRING	STOR.	STORAGE
FUT.	FUTURE	STRUC.	STRUCTURAL
GA.	GAUGE	SUSP.	SUSPENDED
GALV.	GALVANIZED	SYM.	SYMMETRICAL
GEN.	GENERAL	T.	TREAD
GL.	GLASS	T.O.	TOP OF
GND.	GROUND	T.&B.	TOP AND BOTTOM
GR.	GRADE	T.&G.	TONGUE AND GROOVE
GYP. BD.	GYP-SUM BOARD	TEL.	TELEPHONE
H.C.	HARD CORE	TEMP.	TEMPERED
H.DND.	HARDWARE	TER.	TERRAZZO
H.M.	HOLLOW METAL	THK.	THICK
HORIZ.	HORIZONTAL	TLT.	TOILET
HR.	HOUR	TOPO.	TOPOGRAPHY
HT.	HEIGHT	T.V.	TELEVISION
HTG.	HEATING	TYP.	TYPICAL
H.V.A.C.	HEATING, VENTILATION	UNEXC.	UNEXCAVATED
H.W.	HOT WATER	UNF.	UNFINISHED
IN.	INCH(ES)	UNO.	UNLESS OTHERWISE NOTED
INCLD.	INCLUDED	UTL.	UTILITY
INSUL.	INSULATED	VAC.	VACUUM
INT.	INTERIOR	V.C.T.	VINYL COMPOSITION TILE
INTERM.	INTERMEDIATE	VENT.	VENTILATION
JAN.	JANITOR	VERT.	VERTICAL
JT.	JOINT	VEST.	VESTIBULE
KIT.	KITCHEN	V.I.F.	VERIFY IN FIELD
LAM.	LAMINATE	VOL.	VOLUME
LAUN.	LAUNDRY	V.T.	VINYL TILE
LAV.	LAVATORY	W.	WEST
LB(S)	POUNDS	W.C.	WATER CLOSET
L.F.	LINEAR FOOT	W.F.	WIDE FLANGE
LT.	LIGHT	W.H.	WATER HEATER
MACH.	MACHINE	WIN.	WINDOW
MAINT.	MAINTENANCE	W.M.	WIRE MESH
MAS.	MASONRY	WTFG.	WATERPROOFING
		WT.	WATER
		W.W.F.	WELDED WIRE MESH
		YD.	YARD

VICINITY MAP/HYDRANT MAP



AREA DIAGRAM



CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT; AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS;
3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED; AND
7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER I, SECTION 4.

RESPONSIBLE CERTIFIED PROFESSIONAL NAME: REBECCA A MARQUEZ

SIGNATURE: DATE:

PROJECT DATA

PROJECT DESCRIPTION: THE PROJECT PROPOSES THE DEMOLITION AN EXISTING SINGLE FAMILY RESIDENCE. SCOPE WILL INCLUDE A NEW 4,981 SF TWO-STORY SINGLE-FAMILY RESIDENCE OVER BASEMENT WITH TWO-CAR GARAGE AND 508 SF ROOF DECK. PROJECT INCLUDES 1,721 SF OF PATIOS AND DECKS. SITE TO BE HARDSCAPED WITH NEW PATIOS, RETAINING WALLS, PAVING & STEPS. SCOPE INCLUDES POOL AND SPA. LANDSCAPE TO INCLUDE NEW PLANTED AREAS AND TURF.

SITE ADDRESS: 8260 PASEO DEL OCASO LA JOLLA, CA 92037

ASSESSORS PARCEL NUMBER: 346-231-17-00

LEGAL DESCRIPTION: LOT 4 & N. 25' LOT 5 IN BLOCK 22 OF SAN DIEGO, CA. MAP 2061

EXISTING DISCRETIONARY PERMITS: NONE

REQUIRED DISCRETIONARY PERMITS: COASTAL DEVELOPMENT PERMIT

YEAR EXISTING STRUCTURE WAS BUILT: 1950

EXISTING SOIL CONDITIONS: PREVIOUSLY GRADED & DISTURBED

LOT USE: EXISTING: SINGLE FAMILY RESIDENCE PROPOSED: SINGLE FAMILY RESIDENCE

COMMUNITY PLAN: LA JOLLA COMMUNITY PLAN AND LOCAL COASTAL PROGRAM LAND USE PLAN

LOT ZONING: LJSFPD-SF

OVERLAY ZONE DESIGNATION: PARKING IMPACT OVERLAY ZONE COASTAL HEIGHT OVERLAY ZONE COASTAL NON-APPEALABLE OVERLAY ZONE

LOT SIZE: 7,886 S.F.

MAX LOT COVERAGE: 60 MAX = 4,731 S.F. ALLOWED

OCCUPANCY: R-3

BUILDING CODES: 2013 CALIFORNIA RESIDENTIAL CODE, 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA ELECTRICAL CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA GREEN BUILDING CODE, 2013 CALIFORNIA FIRE CODE

CONSTRUCTION TYPE: TYPE VB 13D FIRE SPRINKLERS THROUGHOUT HOUSE AND GARAGE

NUMBER OF STORIES: EXISTING: 1 STORY PROPOSED: 2 STORY OVER BASEMENT

BUILDING HEIGHT: EXISTING: 20'-00" PROPOSED: 25'-11 1/2"

GEOLOGICAL HAZARD CATEGORY: 52

AREA CALCULATIONS

LOT COVERAGE:	60%
AREA OF SITE:	7,886 S.F.
ALLOWABLE COVERAGE:	4,731 S.F.
PROPOSED LOT COVERAGE:	3,147 S.F. < 4,731 S.F.
TOTAL PROPOSED AREA:	
FIRST FLOOR HABITABLE:	2,615 S.F.
SECOND FLOOR HABITABLE:	2,366 S.F.
TOTAL HABITABLE:	4,981 S.F.
HABITABLE F.A.R.:	4,981 SF / 7,886 SF = .632
GARAGE:	592 S.F.
AREA OF PATIOS AND DECKS:	
LEVEL 1 (COVERED ENTRY):	108 S.F.
LEVEL 1 (PATIOS):	463 S.F.
LEVEL 2 (DECKS):	614 S.F.
ROOF DECK:	508 S.F.
TOTAL:	1,721 S.F.
BASEMENT (EXEMPT):	2,560 S.F.
ABOVE GROUND F.A.R.:	5,513 SF / 7,886 SF = .70
(HABITABLE + GARAGE)	

LANDSCAPE REQUIREMENTS

LANDSCAPE REQ'S: (LA JOLLA SHORES PLANNED DISTRICT)

30% OF PARCEL TO BE LANDSCAPED, MINIMUM.

7,886 S.F. x .30 = 2,365 S.F.

PROPOSED LANDSCAPING: 2,370 S.F.

SHEET INDEX

GENERAL	
T1.0	COVER SHEET
T1.1	LEGEND AND PROJECT DATA
ARCHITECTURAL	
C1.0	TOPOGRAPHIC SURVEY
C1.1	GRADING/DRAINAGE PLAN
A0.0	SITE PLAN
A1.0	BASEMENT PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
LANDSCAPE	
L1.0	LANDSCAPE DEVELOPMENT PLAN
L1.1	LANDSCAPE DEVELOPMENT PLANTING PLAN

PROJECT DIRECTORY

OWNER:	THOM ELKINS 1940 GARNET AVE., SUITE 100 SAN DIEGO, CA 92104 TEL. (619) 231-4905
ARCHITECT:	GOLBA ARCHITECTURE, INC. 1940 GARNET AVE., SUITE 100 SAN DIEGO, CA 92104 TEL. (619) 231-4905 CONTACT: BRIAN YAMAGATA
LANDSCAPE:	NERI LANDSCAPE ARCHITECTURE 428 HORNBLAND ST., SUITE #3 SAN DIEGO, CA 92104 TEL. (858) 274-3222 CONTACT: JIM NERI

GENERAL PLAN DEVELOPMENT GOALS

THE PROPOSED INFILL DEVELOPMENT PROJECT AT 8260 PASEO DEL OCASO RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.

IN EFFORT TO REACH THESE GOALS THE PROJECT WILL EMPLOY THE FOLLOWING:

- SOLAR PHOTO VOLTAIC SYSTEM FOR GENERATING POWER ON SITE.
- HIGH EFFICACY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE
- ENERGY STAR APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL WINDOWS
- USE OF LOW VOC PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS AND OTHER FINISHES WHERE FEASIBLE.
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING/VENTILATION WITH OPERABLE WINDOWS
- WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE.
- USE OF PERMEABLE PAVING WHERE FEASIBLE.
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT.

Prepared By:  
Brian Yamagata  
Golba Architecture  
1940 Garnet Ave., Suite 100  
San Diego, CA 92104  
Office: (619) 231-4905  
Fax: (858) 750-3471

Project Address:  
8260 PASEO DEL OCASO  
LA JOLLA, CA 92037

Project Name:  
ELKINS RESIDENCE

Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3: 02-02-2017  
Revision 2: 08-23-2016  
Revision 1: 06-13-2016

Original Date: 12-17-15  
Sheet 2 Of 14

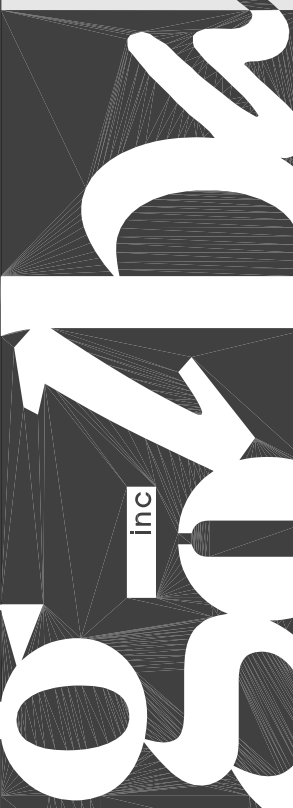
Sheet Title:

PROJECT DATA

GOLBA ARCHITECTURE inc  
Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave. #100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

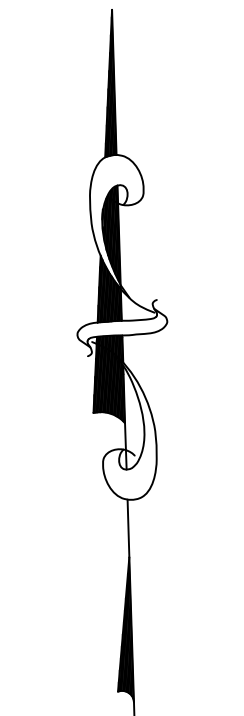
ELKINS RESIDENCE

8260 PASEO DEL OCASO  
LA JOLLA, CA 92037



T 1.1





SCALE 1"=10'

NOTES: THIS PLOT IS IN SUPPORT OF FUTURE  
SITE IMPROVEMENTS BY OTHERS

BOUNDARY BEARINGS & DISTANCES SHOWN ARE  
CALCULATED & RECORD FROM MAP NO. 2061

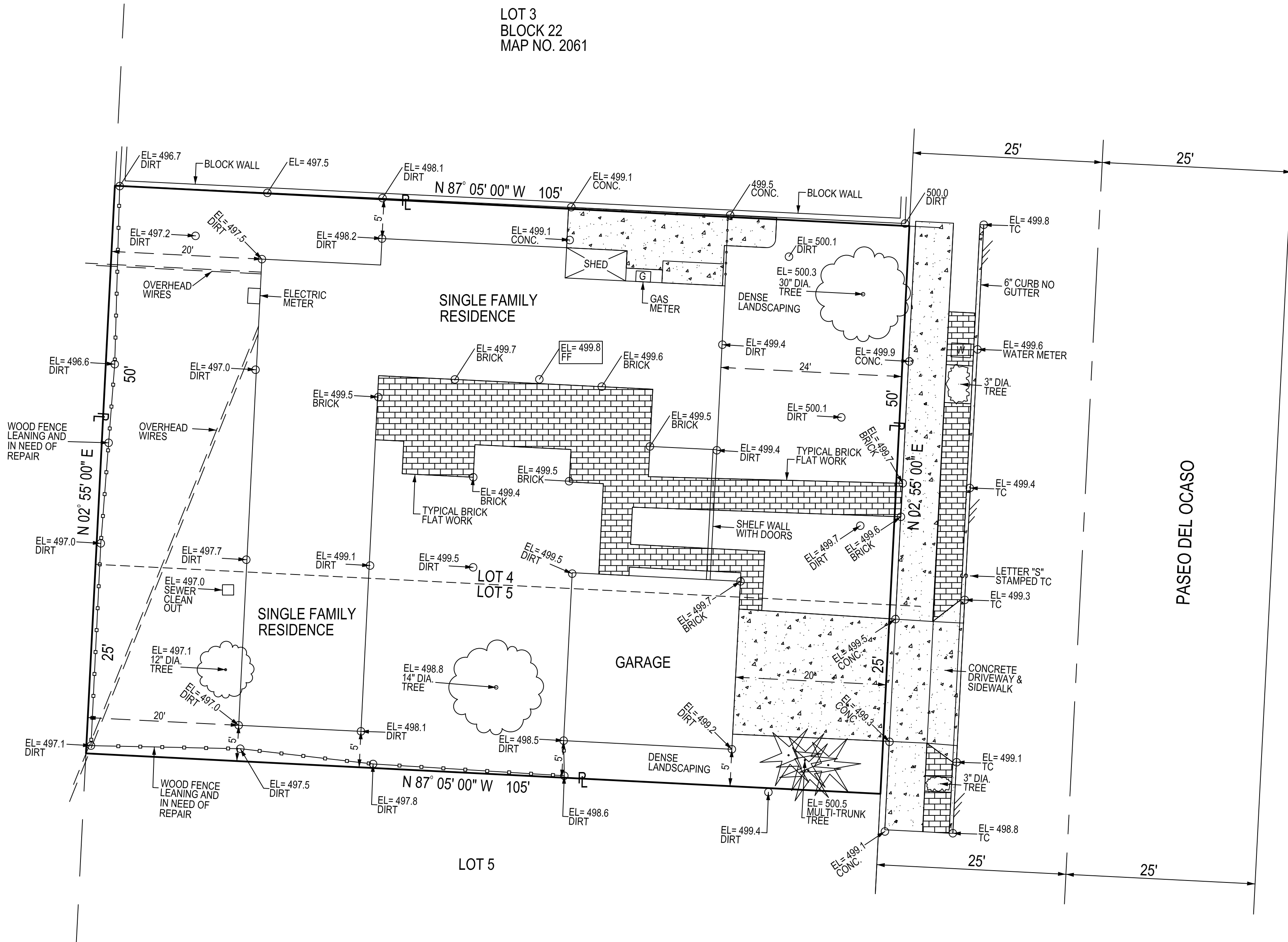
NOT ALL LANDSCAPE AND HOUSE FEATURES  
ARE SHOWN

ALL BUILDING TIE SHOTS TAKEN AT  
OUTSIDE WOOD, BRICK OR STUCCO WALL  
NO ROOF OR PATIO OVERHANG SHOWN

TC = TOP CURB  
CONC. = CONCRETE  
BLDG. = BUILDING  
PL = PROPERTY LINE

ELEVATION IS ASSUMED 500.0'  
@ POINT # 7, TAG LS 7046  
CORNER RECORD NO. 14238

NO ATTEMPT WAS MADE OR  
IMPLIED TO ESTABLISH PROPERTY  
LINE PER GRANT DEED NO. 2003-1096770  
RECORDED 09/09/2003



PLAT PREPARED BY:

"A QUICK SURVEY"  
2163 WOODLAND HEIGHTS GLEN  
ESCONDIDO, CA. 92026  
(760) 525-0694 CELL  
zilla5706-work@yahoo.com

MICHAEL THOMPSON, P.L.S. 5706

DATE

SITE MAP

PLAT PREPARED FOR:

SITE DATA:

DATE: 09-15-14  
JN 14-949

THOMAS ELKINS ZIRPOLO  
8260 PASEO DEL OSALO  
LA JOLLA, CA., 92037  
(619) 871-1005  
tez@elkinswhiz.com & tommy/ajolla@yahoo.com

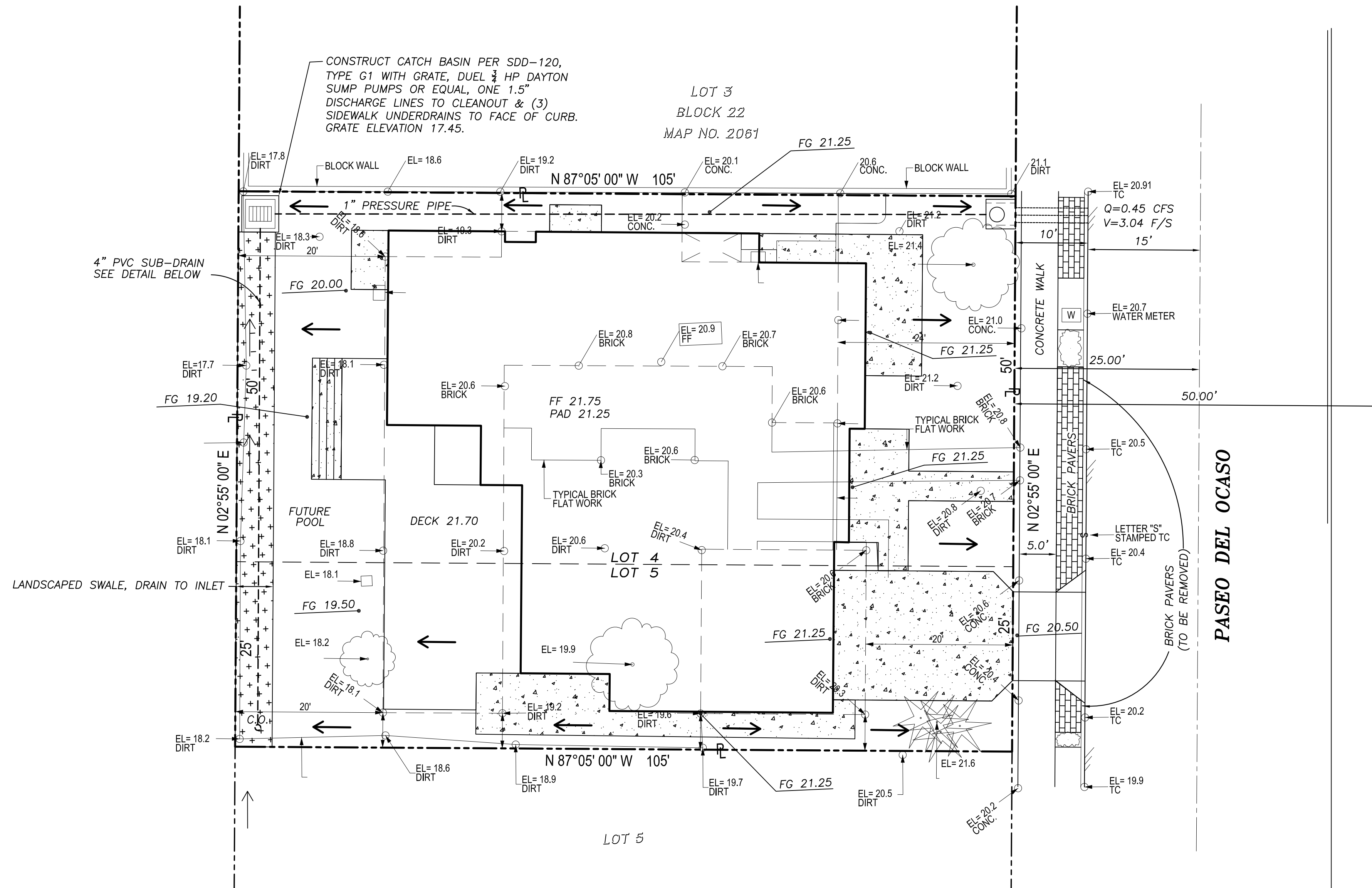
APN 346-231-17  
8260 PASEO DEL OSALO  
LA JOLLA, CA., 92037  
LOT 4 & THE NORTH 25' LOT 5  
BLOCK 22, MAP NO. 2061

AREA  
7,877 sq.ft. PLUS OR MINUS  
TB MAP=1227-H5

# GRADING / DRAINAGE PLAN



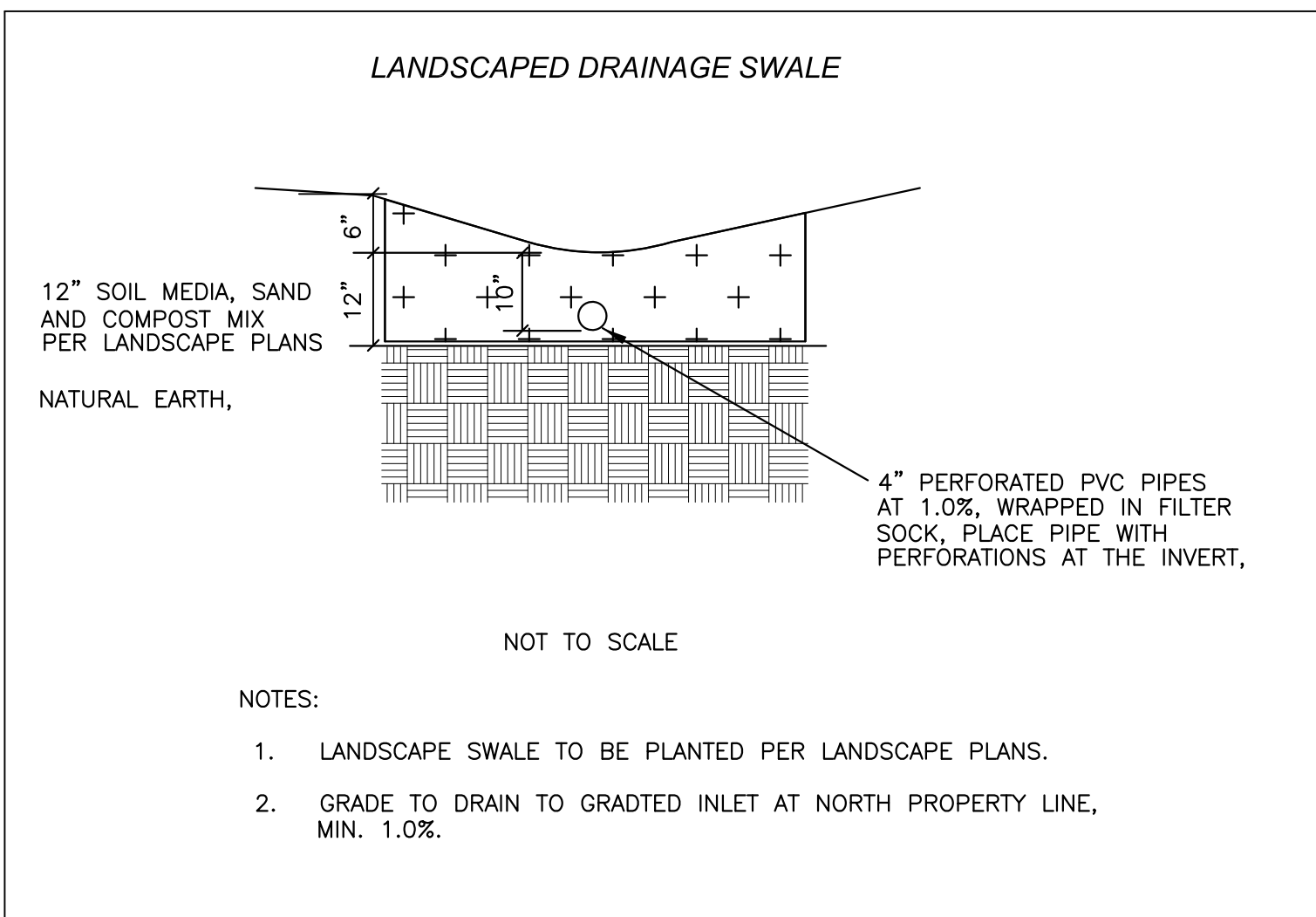
1. THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT, AS SHOWN ON THE SITE PLAN, IS PRIVATE AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT FROM THE CITY ENGINEER, FOR THE SIDEWALK UNDERDRAINS TREES AND LANDSCAPING ON PASEO DEL OCASO.
3. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL ASSURE, BY PERMIT AND BOND, THE FOLLOWING:
  - A. THE CONSTRUCTION OF A NEW 12 FOOT DRIVEWAY PER CURRENT CITY STANDARDS, ADJACENT TO THE SITE ON PASEO DEL OCASO.
  - B. THE RE-CONSTRUCTION OF THE EXISTING SIDEWALK WITH CURRENT CITY STANDARD SIDEWALK AND MAINTAINING THE CURRENT SCORING PATTERN AND PRESERVING THE CONTRACTOR'S STAMP ADJACENT TO THE PROJECT ON PASEO DEL OCASO, IF ANY.
  - C. TO REMOVE EXISTING CURB AND PAVERS FROM THE PARKWAY SECTION OF PASEO DEL OCASO.
  - D. SHALL SUBMIT A WATER POLLUTION CONTROL PLAN.
  - E. SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER (IN WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.



GRADING TABULATION:		TOTAL SITE AREA 7886 SF (0.1810 AC.)	
ITEM		AREA	%
TOTAL AMOUNT OF SITE TO BE GRADED		6,970 SF	88.4%
AMOUNT OF SITE WITH 25 PERCENT SLOPE OR >		0 SF	0.0%
AMOUNT OF SITE WITH SLOPES SUBJECT TO ESL		0 SF	0.0%
AMOUNT OF FILL	4 CY	AMOUNT OF CUT =	0 CY
MAX. DEPTH OF FILL	4 FT	MAX. DEPTH OF CUT	0 FT
MAX. HEIGHT OF FILL SLOPE	0 FT	MAX. HEIGHT OF CUT SLOPE	0 FT
IMPORT SOIL = 4 CY		RETAINING WALLS	LENGTH
STRUCTURAL SECTION IMPORT = 129 CY		MAX HEIGHT	0'

**NOTE:**

1. NO PROPOSED OR EXISTING BUS/TRANSIT STOPS ARE ADJACENT TO THIS SITE.
2. PRIVATE IMPROVEMENTS CONSIST OF CONSTRUCTION OF SINGLE FAMILY HOME, HARDSCAPE AND LANDSCAPING.
3. PUBLIC IMPROVEMENTS CONSIST OF REMOVE AND REPLACE DRIVEWAY. RE-USE WATER AND SEWER SERVICES.
4. DRAINAGE SYSTEM PROPOSED FOR THIS SITE: SHEET FLOW
5. THIS PROJECT IS LOCATED WITHIN ASBS WATERSHED. OWNER/PERMITEE WILL COMPLY WITH ALL REQUIREMENTS OF ASBS WATERSHED ACCORDINGLY.



**LEGEND:**

PROPERTY LINE  
SETBACK LINE  
BUILDING PAD  
PCC DRIVEWAY OPENING  
PCC SIDEWALK  
DIRECTION OF DRAINAGE

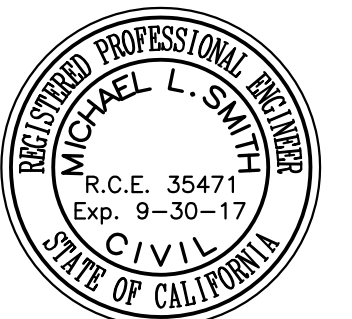
EXISTING SEWER LATERAL  
EXISTING WATER SERVICE  
EXISTING POWER POLE  
EXISTING FIRE HYDRANT  
EXISTING WALL  
EXISTING WATER METER

TC = TOP OF CURB	NG = NATURAL GRADE	GUT = GUTTER ELEVATION
TP = TOP OF PAVING	FF = FINISH FLOOR	GRT = GRATE ELEVATION
TW = TOP OF WALL	FG = FINISH GRADE	SCO = SEWER CLEAN OUT
BW = BOTTOM OF WALL	FL = FLOW LINE	SMH = SEWER MANHOLE

## ENGINEER OF WORK:

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.  
9665 CHESAPEAKE DRIVE, SUITE 445  
SAN DIEGO, CALIFORNIA 92123 (858) 565-8362  
PROJECT NO. 346-231-17  
DWG. NO. PASEQ DEL OCASO 8269 BASE.DWG

MICHAEL L. SMITH, R.C.E. 35471 DATE  
REGISTRATION EXPIRES SEPTEMBER 30, 2017

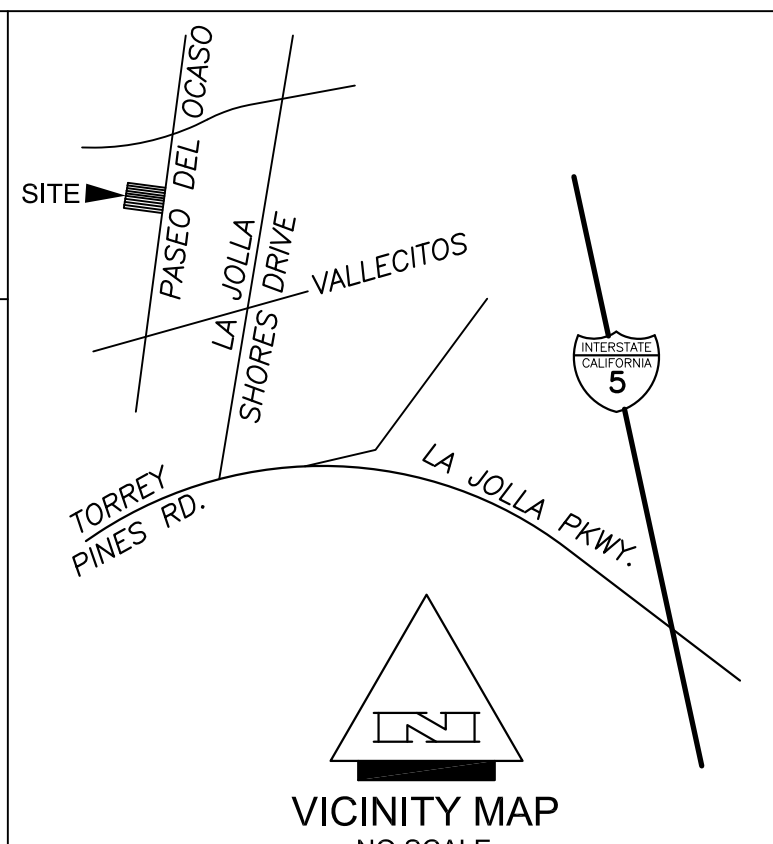


Prepared By:

SAN DIEGO LAND SURVEYING AND ENGINEERING, INC  
9665 CHESAPEAKE DRIVE, SUITE 445  
SAN DIEGO, CA 92123  
858-565-8362

Consultants:

Architect:  
GOLBA ARCHITECTURE, INC.  
1940 GARNET AVE., SUITE 100  
SAN DIEGO, CA.  
619-231-9905



Benchmark:

CITY OF SAN DIEGO BENCH MARK. BRASS PLUG  
LOCATED AT THE NORTHEAST CORNER OF EL PASEO  
GRANDE AND CALLE FRESCOTA. ELEV. = 10.555 M.L.S.

Project Legal Description:

THE NORTH 25 FEET OF LOT 5 AND ALL OF LOT 4 IN  
BLOCK 22 OF MAP NO. 2061 IN THE CITY OF SAN DIEGO,  
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA,  
FILED IN THE OFFICE OF THE COUNTY RECORDER OF  
SAN DIEGO COUNTY.

Lambert Coordinates: 252-1691

Project Name:

8260 PASEO DEL OCASO

Sheet Title:

GRADING/DRAINAGE PLAN

Project Soil Condition: Existing developed site.

Source of Topography:  
A field survey by others

Project Permits Required:

Project Data:

Construction Type: 5      Occupancy Classification: X  
Number of Stories: 2      Building Height: 30'  
Proposed use: Single Family Res.  
Existing use: Single Family Res.  
Zone Designation: X  
Building Code: X  
Year of Construction (exist. structure): X  
Gross Floor Area (GFA): X SF  
Floor Area Ratio (FAR): X

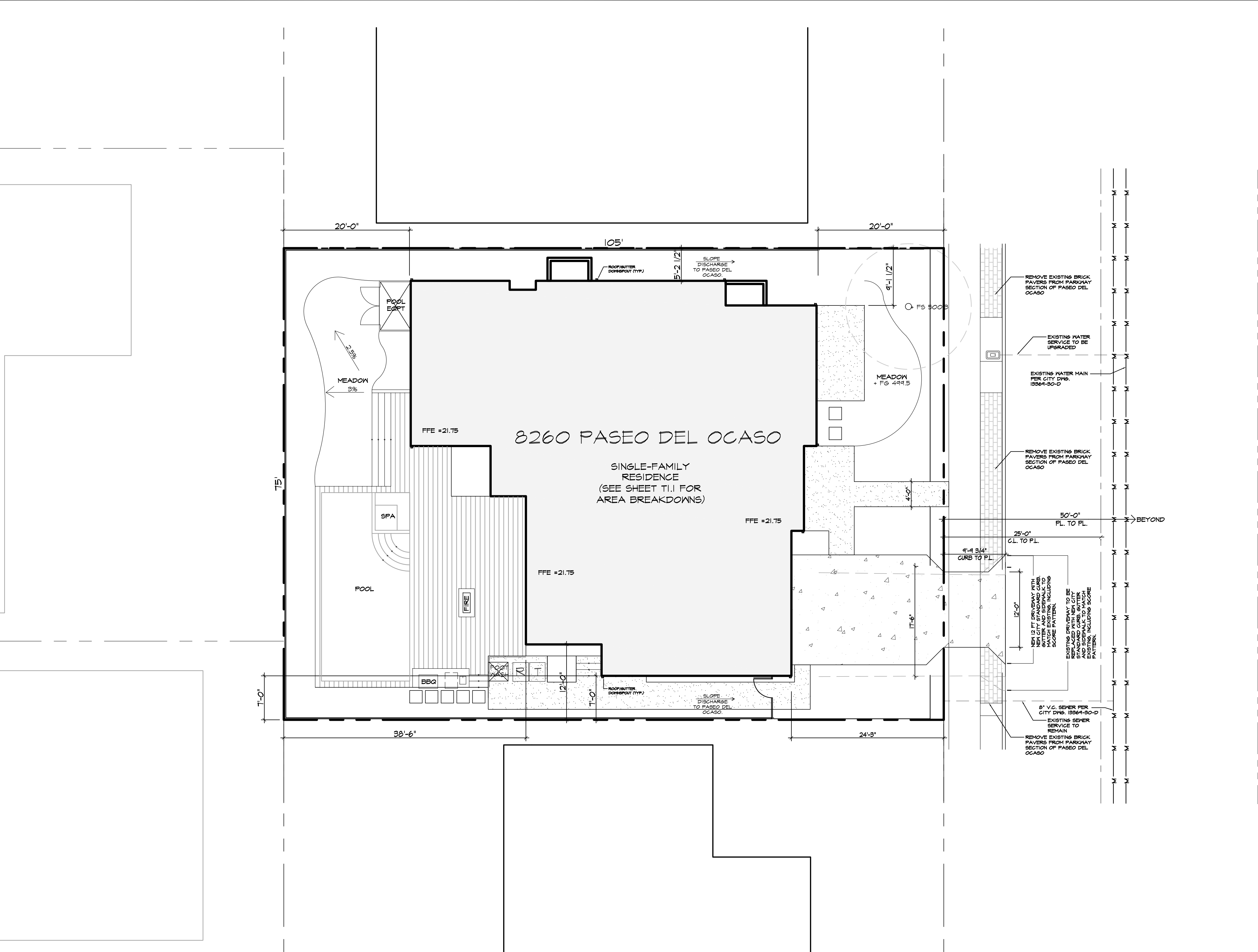
Project Address:

8260 PASEO DEL OCASO LA JOLLA, CA. 92037 A.P.N. 346-231-17	THOMAS E. ZIRPOLO 2150 1ST AVENUE SAN DIEGO, CA. 92101
--	--

Scale: 1" = 10'

Original Date: JUNE 30, 2016  
Revised: 11/28/2016  
Revised: Sheet 1 of 1





SITE LEGEND:

INDICATES PROPERTY LINE

INDICATES SETBACK LINE

NEW HARDSCAPE

EXISTING CONCRETE PAVING

AREA OF NEW FOOTPRINT

ELECTRIC METER

GAS METER

WATER METER

DIRECTION OF DRAINAGE

ROOF DRAIN, DISCHARGE INTO LANDSCAPE AREA

EXISTING CONTOURS

PROPOSED CONTOURS

SITE NOTES:

1.

THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMC SECTION 11B.0210.

2.

THERE ARE NO EXISTING OR PROPOSED BUS/ TRANSIT STOPS

3.

PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFG 901.4.4).

4.

METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDS&E.

5.

CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT

6.

THERE ARE NO EXISTING OR PROPOSED EASEMENTS.

THIS PROJECT IS LOCATED WITHIN ASBS WATERSHED. OWNER/PERMITEE WILL COMPLY WITH ALL REQUIREMENTS OF ASBS WATERSHED ACCORDINGLY.

THE APPLICANT WILL IMPLEMENT THE SPECIFIC HISTORICAL RESOURCES (ARCHAEOLOGY) MITIGATION, MONITORING AND REPORTING PROGRAM.

CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK				DATUM IS MEAN SEA LEVEL	
Primary Street	Secondary Street	Northin	Easting	Elevation	Comments
CALLE FRESCOTA	EL PASEO GRANDE	2526	16915	10.555	* NEBP
	LA JOLLA SHORES DRIVE	2528	16911	30.571	* NWBP
	LA JOLLA SHORES DRIVE	252	1692	31.106	BP ELY C/L

NOTE:  
NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.

PERMIT CONDITION NOTES:

1.

THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT, AS SHOWN ON THE SITE PLAN, IS PRIVATE AND SUBJECT TO APPROVAL BY THE CITY ENGINEER

2.

PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE SIDEWALK UNDERDRAINS AND TREES/LANDSCAPING ON PASEO DEL OCASO.

3.

PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL ASSURE, BY PERMIT AND BOND, THE FOLLOWING:

A)

THE CONSTRUCTION OF A NEW 12 FOOT DRIVEWAY PER CURRENT CITY STANDARDS, ADJACENT TO THE SITE ON PASEO DEL OCASO

B)

THE RE-CONSTRUCTION OF THE EXISTING SIDEWALK WITH CURRENT CITY STANDARD SIDEWALK AND MAINTAINING THE CURRENT SCORING PATTERN AND PRESERVING THE CONTRACTOR'S STAMP ADJACENT TO THE PROJECT ON PASEO DEL OCASO, IF ANY.

C)

TO REMOVE EXISTING BRICK PAVERS FROM THE PARKWAY SECTION OF PASEO DEL OCASO.

D)

SHALL SUBMIT A WATER POLLUTION CONTROL PLAN.

E)

SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER (IN WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

GRADING TABULATION TABLE - BASEMENT:

TOTAL AMOUNT OF SITE TO BE GRADED:	2,638.65 S.F.
NOTE: ALL BASEMENT GRADING IS WITHIN BUILDING FOOTPRINT	
% OF TOTAL SITE:	33.5%
NOTE: ALL BASEMENT GRADING IS WITHIN BUILDING FOOTPRINT	
AMOUNT OF CUT:	879.55 CUBIC YARDS
MAX DEPTH OF CUT:	9'-0"
AMOUNT OF FILL:	0 CUBIC YARDS
MAX DEPTH OF FILL:	N/A
MAX HEIGHT OF FILL SLOPE(S):	N/A
FILL SLOPE RATIO:	N/A
MAX HEIGHT OF CUT SLOPE(S):	N/A
CUT SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	879.55 CUBIC YARDS
RETAINING/CRIB WALLS:	N/A
MAX HEIGHT:	N/A

GRADING TABULATION TABLE - POOL:

TOTAL AMOUNT OF SITE TO BE GRADED:	421.21 S.F.
% OF TOTAL SITE:	5.3%
AMOUNT OF CUT:	62.4 CUBIC YARDS
MAX DEPTH OF CUT:	4'-0"
AMOUNT OF FILL:	0 CUBIC YARDS
MAX DEPTH OF FILL:	N/A
MAX HEIGHT OF FILL SLOPE(S):	N/A
FILL SLOPE RATIO:	N/A
MAX HEIGHT OF CUT SLOPE(S):	N/A
CUT SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	62.4 CUBIC YARDS
RETAINING/CRIB WALLS:	N/A
MAX HEIGHT:	N/A

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Golba Architecture  
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Fax: (858) 750-3471

Project Address:  
8260 PASEO DEL OCASO  
LA JOLLA, CA 92037

Project Name:  
ELKINS RESIDENCE

Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5: 02-02-2017  
Revision 4: 11-29-2016  
Revision 3: 10-05-2016  
Revision 2: 08-10-2016  
Revision 1: 06-13-2016

Original Date: 12-17-15  
Sheet 5 Of 14

Sheet Title:

SITE PLAN

GOLBA ARCHITECTURE

Architecture ■ Space Planning ■ Interior Design  
1940 Garnet Ave. # 100 San Diego California 92109  
Phone: (619) 231-9905 Fax: (858) 750-3471

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LA JOLLA, CA 92037

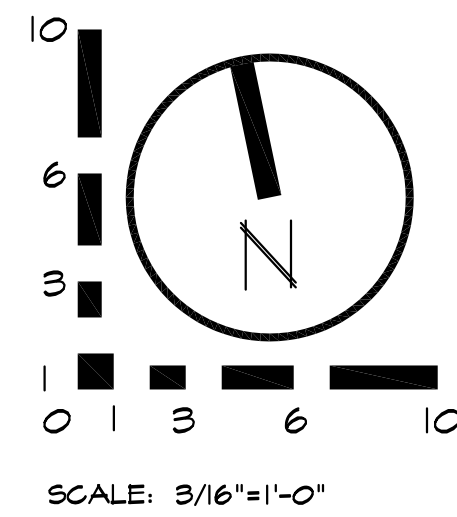
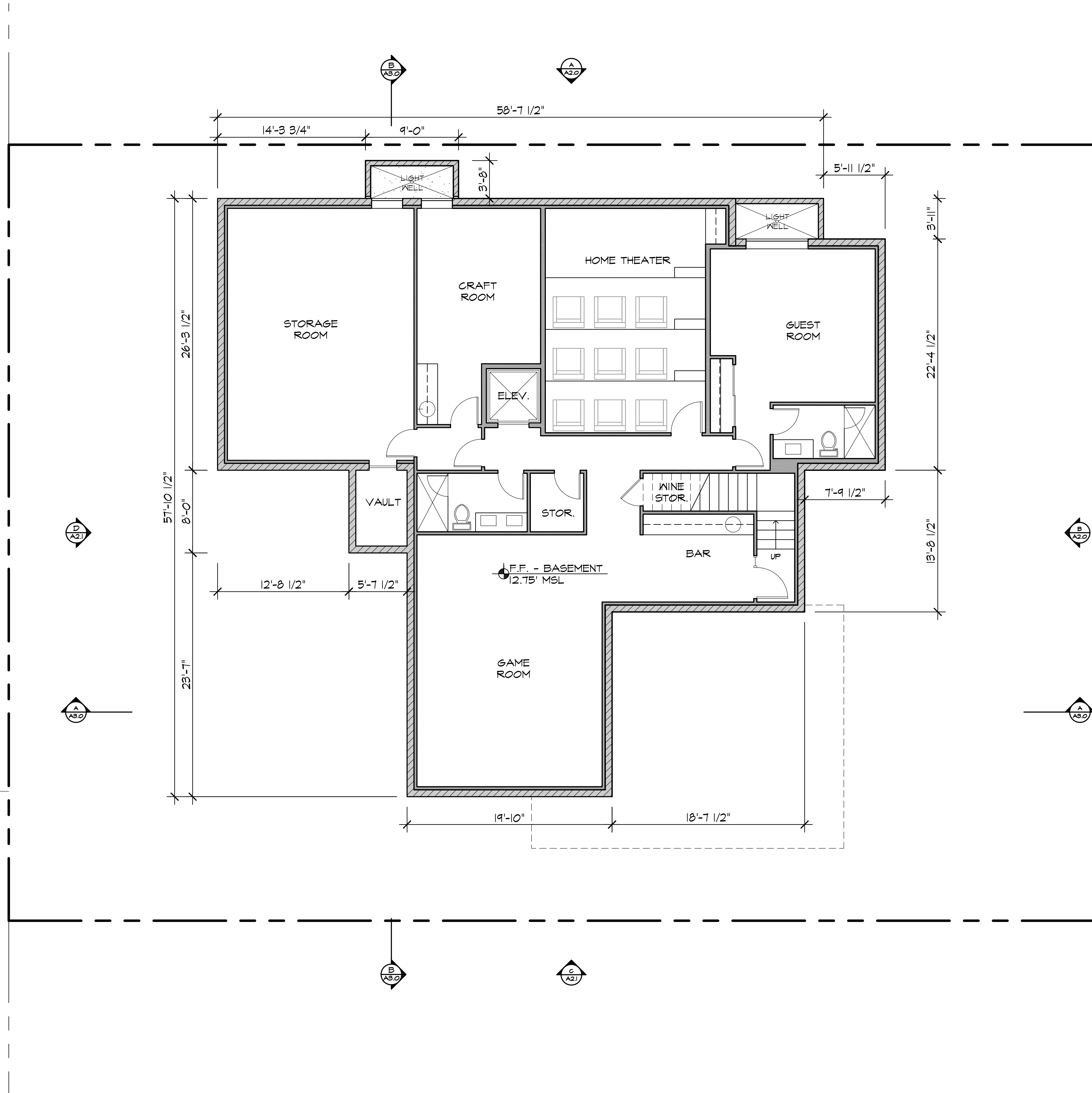
REGISTERED ARCHITECT  
PROF. J. GOLBA  
No. C1785  
Exp. 7-31-17  
STATE OF CALIFORNIA

GOLBA INC.

A0.0

Attachment 12





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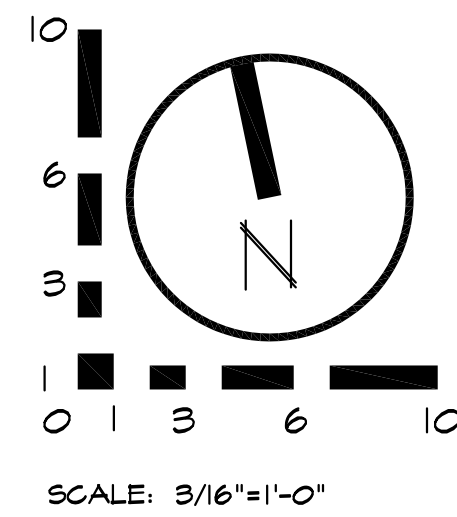
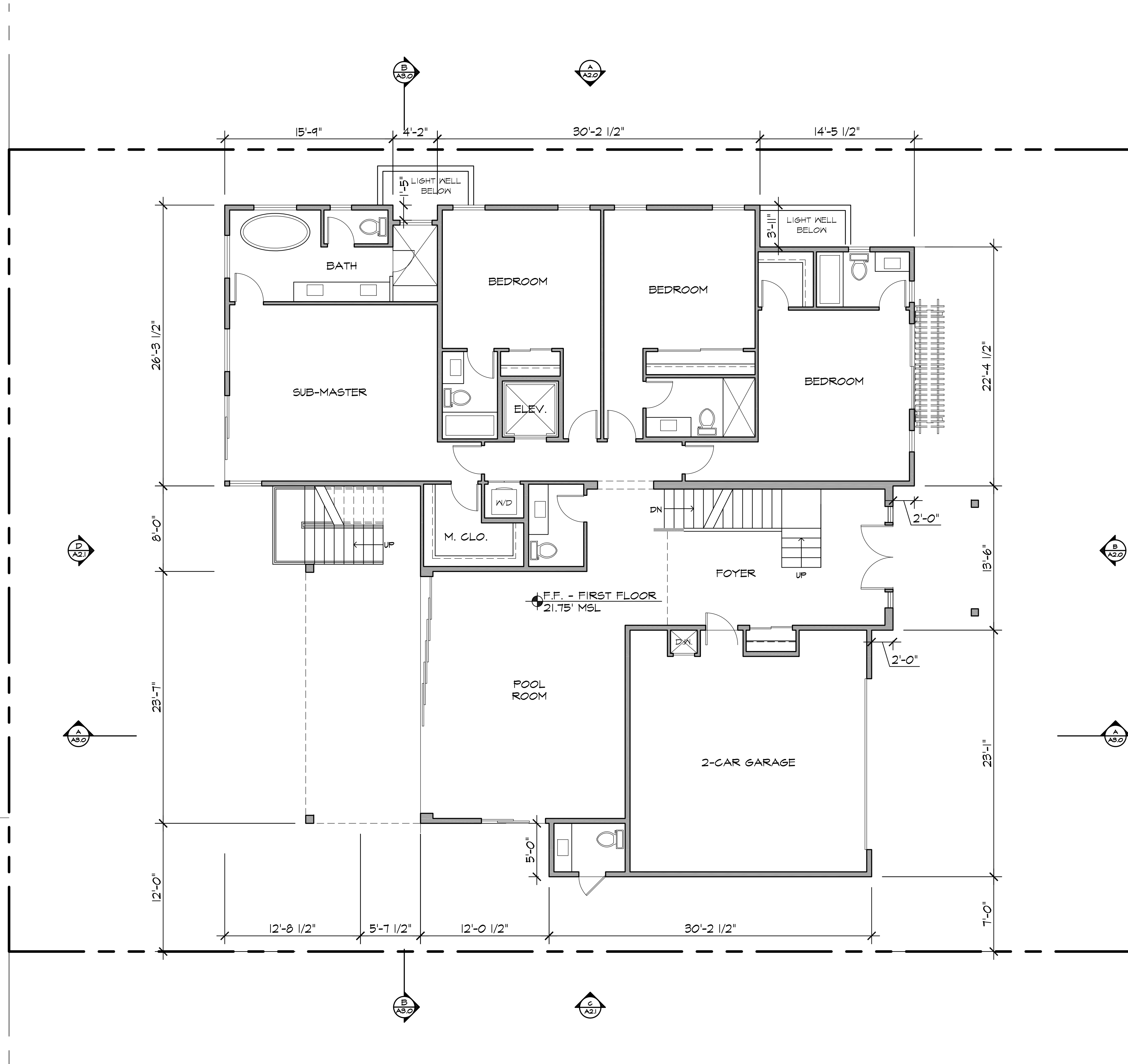
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Revision 5:  
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Revision 3:  
Revision 2: 02-02-2017  
Revision 1: 06-13-2016

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Sheet Title:  
**BASEMENT PLAN**



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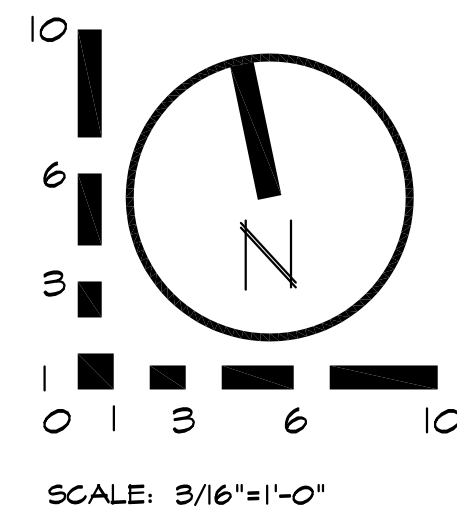
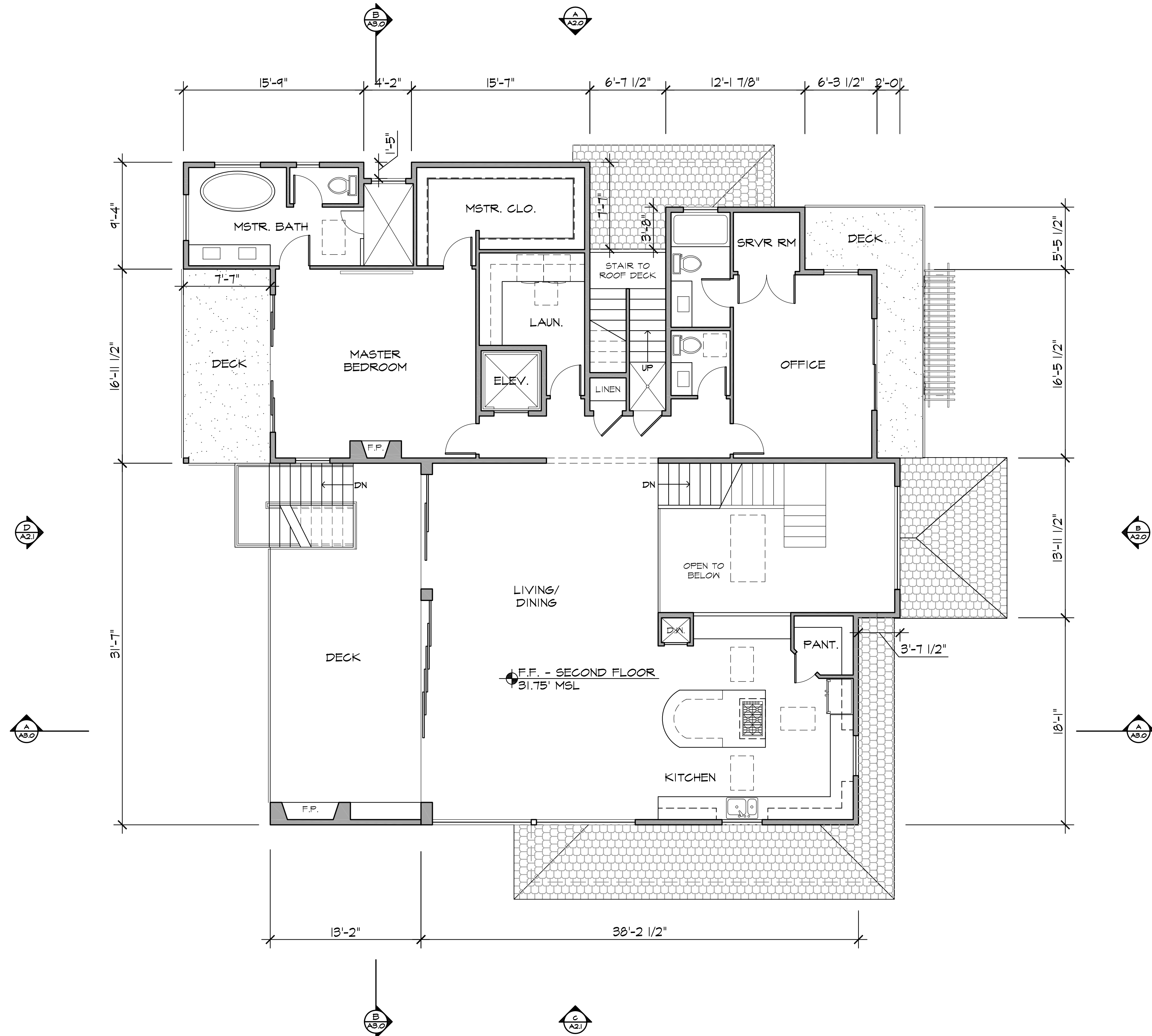
Project Name:  
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Revision 4:  
Revision 3:  
Revision 2: 02-02-2017  
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Original Date: 12-17-15  
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Sheet Title:  
**FIRST FLOOR  
PLAN**





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Project Address:  
8260 PASEO DEL OCASO  
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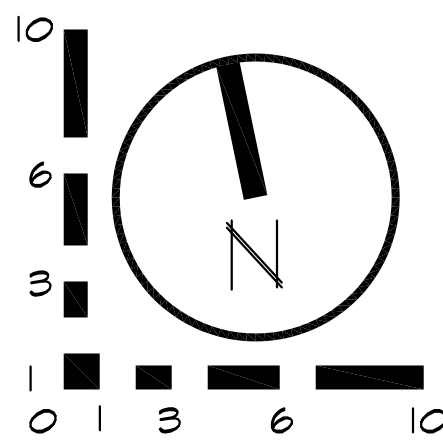
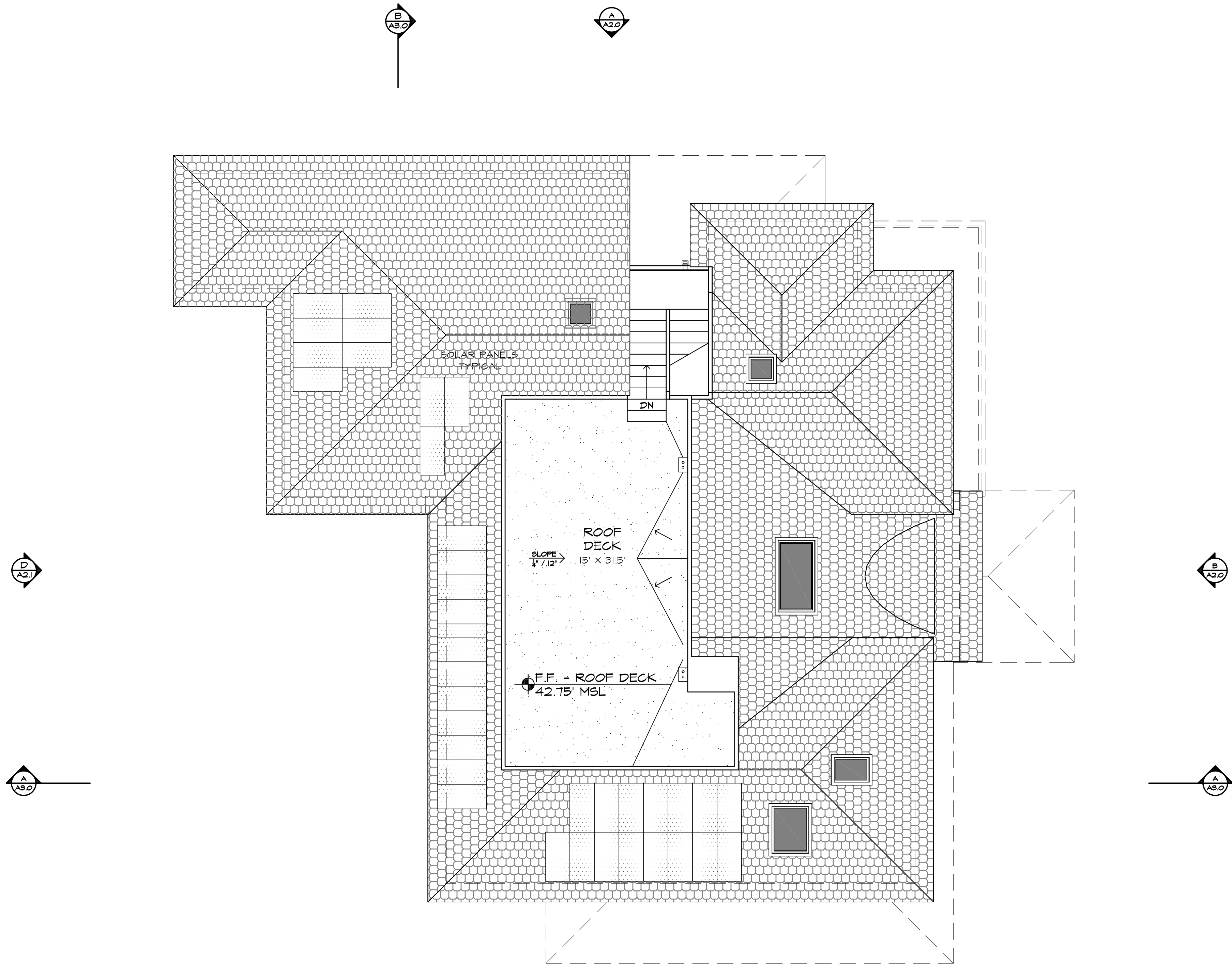
Project Name:  
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Revision 3:  
Revision 2: 02-02-2017  
Revision 1: 06-13-2016

Original Date: 12-17-15

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Sheet Title:  
**SECOND FLOOR  
PLAN**



SCALE: 3/16"=1'-0"

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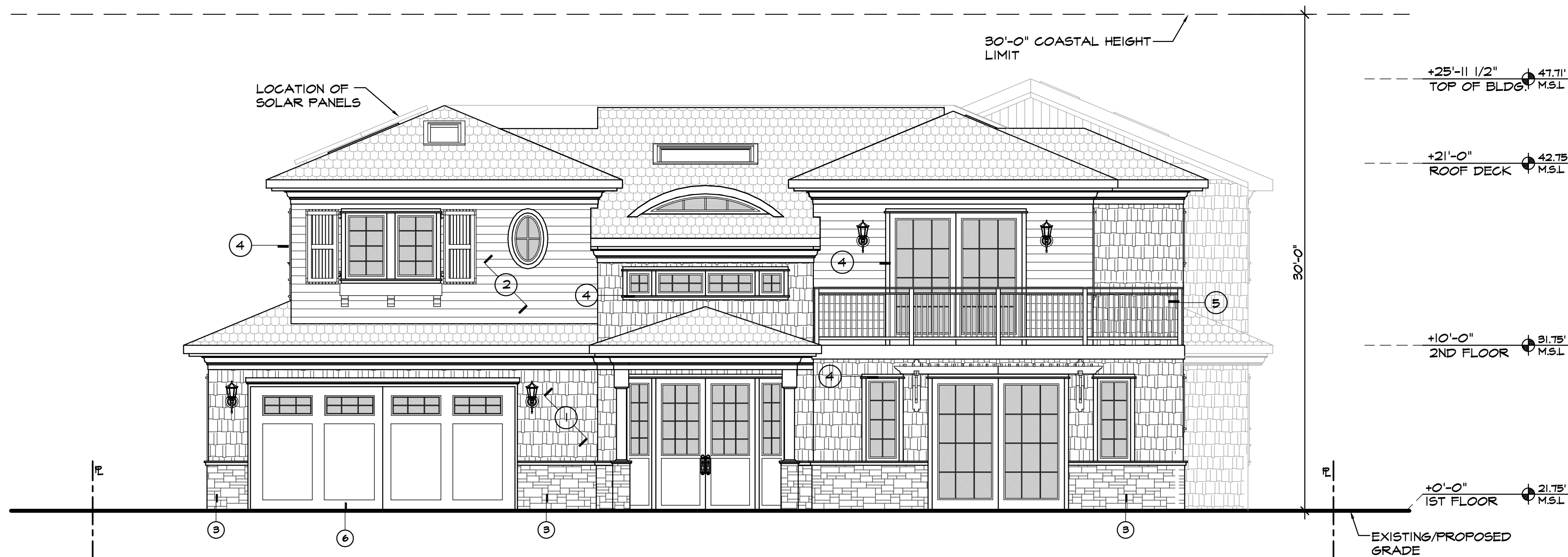
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Revision 3:  
Revision 2: 02-02-2017  
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Original Date: 12-17-15  
Sheet 9 OF 14

Sheet Title:  
ROOF PLAN



ELEVATION A - NORTH



ELEVATION B - EAST

ELEVATION NOTES:

- ① SHAKE SIDING PER OWNER APPROVAL  
INSTALLED PER MANUF. SPECS, (TYP.)
- ② LAP SIDING PER OWNER APPROVAL  
INSTALLED PER MANUF. SPECS, (TYP.)
- ③ STONE VENEER PER OWNER APPROVAL  
INSTALLED PER MANUF. SPECS, (TYP.)
- ④ WOOD ACCENT TRIM @ WINDOWS & DOORS,  
PAINTED (TYP.)
- ⑤ CUSTOM RAILING PER OWNER APPROVAL  
(TYP.)
- ⑥ ROLL-UP GARAGE DOOR PER OWNER  
APPROVAL INSTALLED PER MANUF. SPECS,  
(TYP.)

COLOR PALETTE:

LAP SIDING:	CREAM
SHAKE SIDING:	OLIVE
WOOD TRIM:	WHITE
FLASHING/COPING:	WHITE



SCALE: 3/16"=1'-0"

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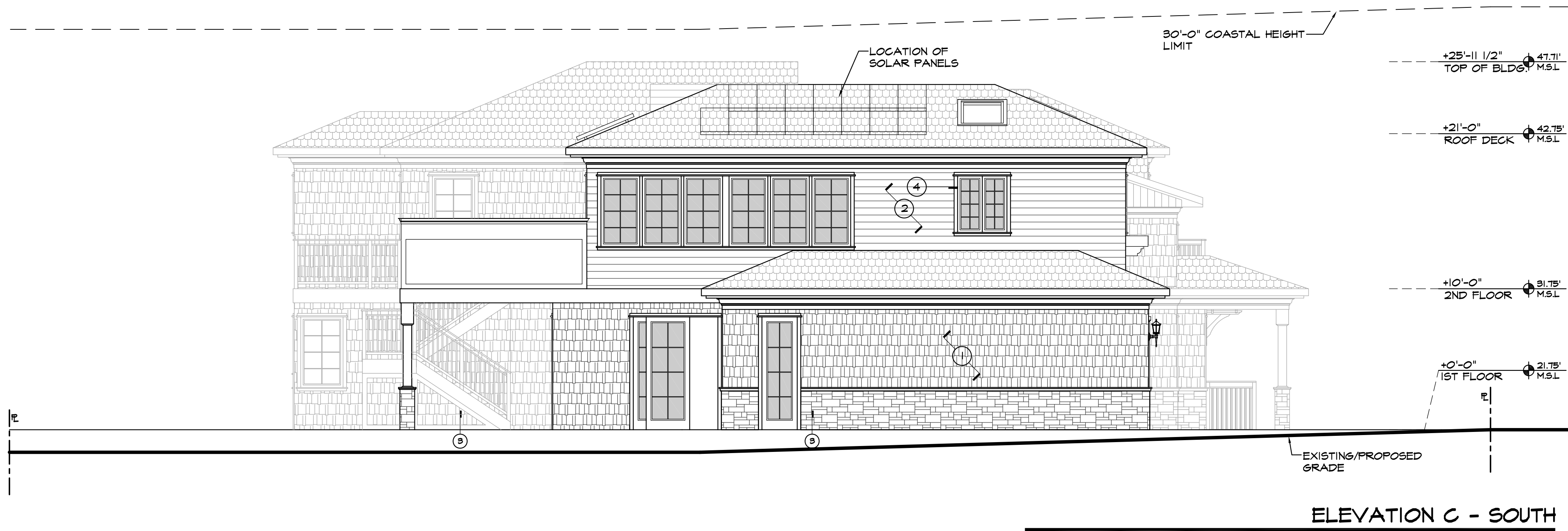
Revision 10:  
Revision 9:  
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Revision 6:  
Revision 5:  
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Revision 2: 02-07-2017  
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Original Date: 12-17-15

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Sheet Title:

EXTERIOR  
ELEVATIONS



#### ELEVATION NOTES:

- ① SHAKE SIDING PER OWNER APPROVAL  
INSTALLED PER MANUF. SPECS, (TYP.)
- ② LAP SIDING PER OWNER APPROVAL  
INSTALLED PER MANUF. SPECS, (TYP.)
- ③ STONE VENEER PER OWNER APPROVAL  
INSTALLED PER MANUF. SPECS, (TYP.)
- ④ WOOD ACCENT TRIM @ WINDOWS & DOORS,  
PAINTED (TYP.)
- ⑤ CUSTOM RAILING PER OWNER APPROVAL  
(TYP.)
- ⑥ ROLL-UP GARAGE DOOR PER OWNER  
APPROVAL INSTALLED PER MANUF. SPECS,  
(TYP.)

#### COLOR PALETTE:

LAP SIDING:	CREAM
SHAKE SIDING:	OLIVE
WOOD TRIM:	WHITE
FLASHING/COPING:	WHITE

0 1 3 6 10  
SCALE: 3/16"=1'-0"

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**Project Address:**  
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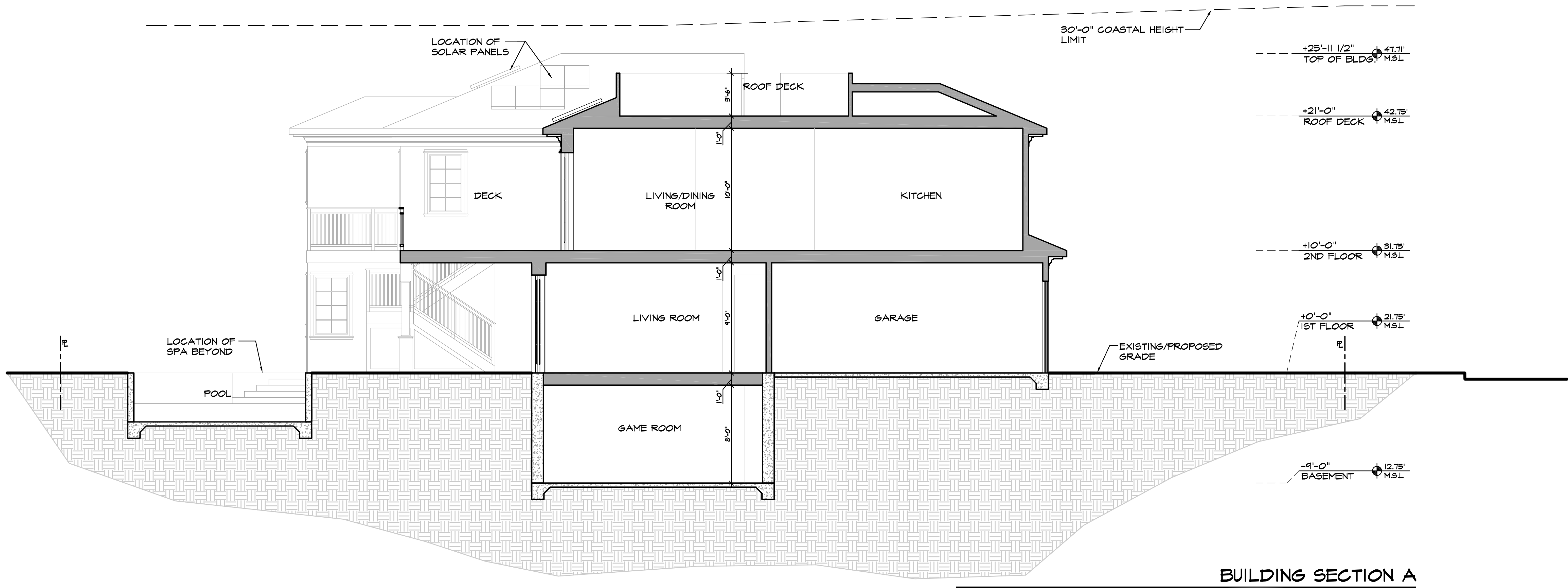
**Project Name:**  
ELKINS RESIDENCE

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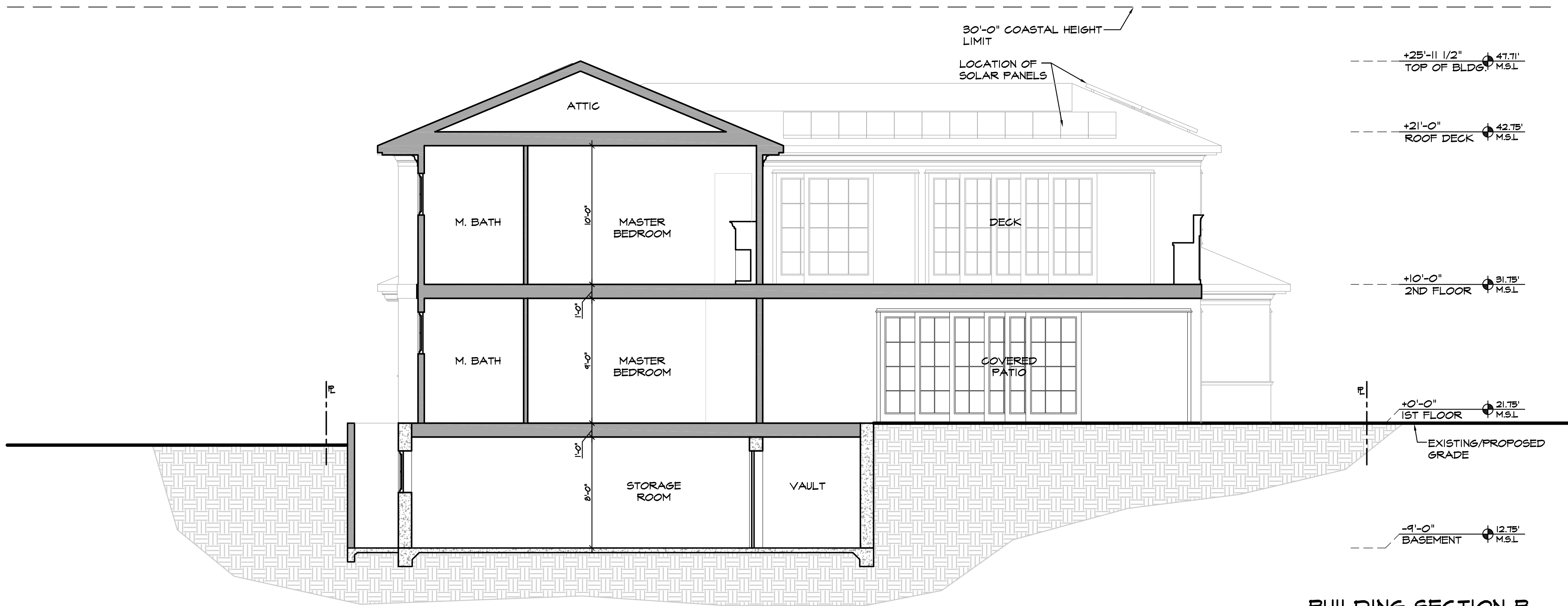
Original Date: 12-17-15  
Sheet 11 OF 14

Sheet Title:

## EXTERIOR ELEVATIONS



BUILDING SECTION A



BUILDING SECTION B

0 1 3 6 10  
SCALE: 3/16"=1'-0"

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Project Name:  
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Revision 2: 02-07-2017  
Revision 1: 06-13-2016

Original Date: 12-17-15  
Sheet 12 Of 14

Sheet Title:  
BUILDING  
SECTIONS



GENERAL NOTES:

1. THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
2. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
3. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS AND LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
4. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
5. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
6. ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM OF 10' BROWN TRUNK HEIGHT (BTH).
7. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
8. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
9. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
12. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
13. ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
14. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
15. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN

- IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
16. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5).
  17. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(B)(10).
  18. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
    1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
    2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
    3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
    4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IRRIGATION NOTES:

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM WITH AN IRRIGATION SUB-METER, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, SUBSURFACE INLINE DRIP SYSTEM. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
2. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
3. EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

DRAINAGE NOTES:

1. THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
2. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
3. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO A STORM DRAINAGE SYSTEM FLOWING TO A SUMP PUMP DISCHARGING TO THE STREET. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORM WATER CONVEYANCE SYSTEM.

LA JOLLA SHORES PDO NOTES:

1. IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
2. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
3. ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:  
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE  
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [LDC 1510.0304(H)].

TOTAL PARCEL AREA: 7,886 S.F.  
PLANTING AREA REQUIRED: 2,365 S.F. (30%)

PLANTING AREA PROVIDED: 2,370 S.F. (30%)  
EXCESS AREA PROVIDED: 5 S.F.

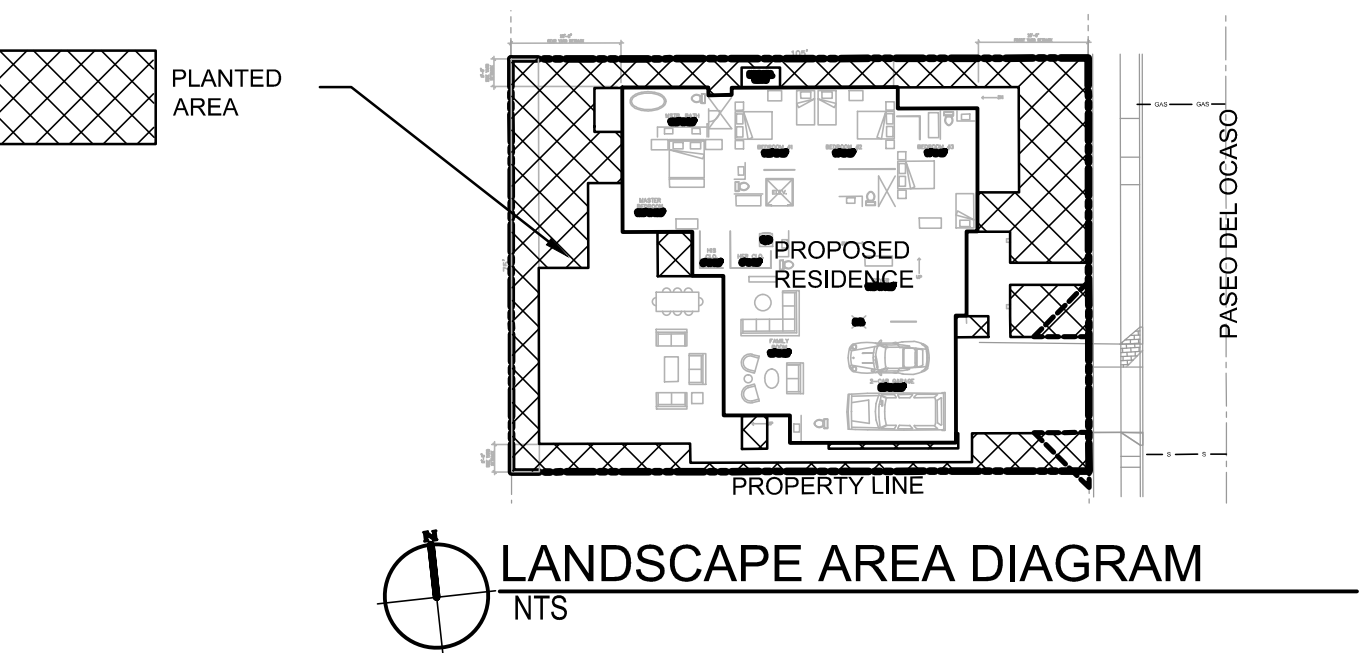
MINIMUM STREET TREE SEPARATION:

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET

NOTE: NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER UTILITIES.

LANDSCAPE CONCEPT STATEMENT

A SUBTROPICAL BEACH COTTAGE IS VISUALIZED FOR THIS SINGLE-FAMILY RESIDENCE TO FIT WITHIN THE CONTEXT THIS BEACH NEIGHBORHOOD CHARACTER. WITH THE GOAL OF PROVIDING THE ELKINS FAMILY WITH A GENEROUS OUTDOOR LIVING SPACE, WITH FEATURES SUCH AS A POOL AND SPA, DINING AND LOUNGING DECK, FIRE PIT, OUTDOOR KITCHEN, AND PRIVATE PATIOS, THIS CONCEPT MAXIMIZES THE ALLOWABLE NON-PLANTED AREA WITH FIVE SQUARE FEET OF PLANTING AREA IN EXCESS OF THE REQUIREMENT. WE'VE ARRANGED THE PAVED AREA TO SAVE THE MATURE MAGNOLIA IN FRONT AS IT IS AN ASSET FOR BEAUTY, PROPERTY VALUE, AND PRIVACY. TAKEN AS A WHOLE THE LANDSCAPE WILL PROVIDE A SETTING FOR THE ARCHITECTURAL STYLE, COMPATIBLE WITH THE SURROUNDING NEIGHBORHOOD AND IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE. ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.



LANDSCAPE KEY NOTES:

- EXISTING PAVING IN RIGHT-OF-WAY TO REMAIN
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING WATER METER TO REMAIN
- 10' VISIBILITY TRIANGLES - NO OBSTRUCTION INCLUDING LANDSCAPING OR WALLS IN THE VISIBILITY AREAS SHALL EXCEED 3 FEET IN HEIGHT (FENCE & GATE NOT TO EXCEED 3' IN THIS LOCATION)
- 3' HIGH PICKET FENCE
- 6' HIGH SIDE YARD GATE
- 6' HIGH SOLID PERIMETER FENCE
- NATURAL GAS FIREPIT
- FOOTWASH
- REFUSE/ RECYCLING RECEPTACLE
- BUILT-IN NATURAL GAS BARBECUE
- OVERHEAD WIRES TO BE BURIED
- BIORETENTION
- ASSUMED LOCATION OF EXISTING GAS LINE TO REMAIN
- EXISTING SEWER LATERAL

SYMBOL LEGEND :

BIORETENTION SWALE	375 SF
EXISTING SIDEWALK PAVING <i>Uncolored Concrete</i>	506 SF
HARDSCAPE PAVING 'A' Non-porous paving such as: <i>Integrally Colored Concrete</i> <i>Uncolored Concrete with Enhanced Finish</i>	990 SF
HARDSCAPE PAVING 'B' Non-porous paving such as: <i>Sealed &amp; weatherproofed lpe hardwood decking</i> <i>Sealed &amp; weatherproofed Redwood decking</i> <i>Medium Textured concrete tiles</i>	479 SF
HARDSCAPE PAVING 'A' Non-porous paving such as: <i>Colored concrete precast pavers</i> <i>Cut slate stone pavers</i> <i>Parquet hardwood tiles</i>	28 SF
3' HEIGHT PICKET FENCE	95 LF
6' HEIGHT SOLID FENCE	237 LF

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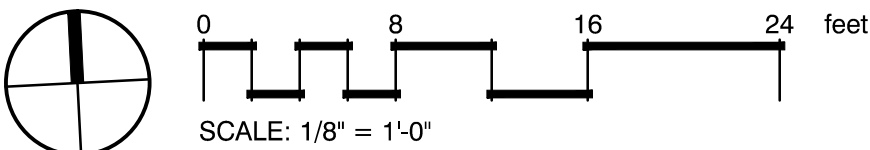
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8260 PASEO DEL OCASO  
LA JOLLA, CA 92037

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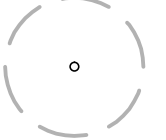

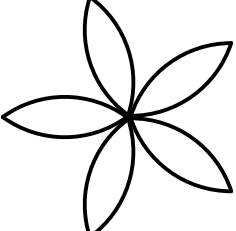
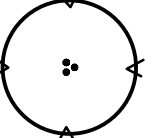
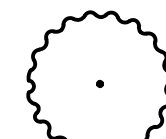


LANDSCAPE DEVELOPMENT PLAN


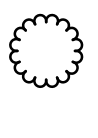
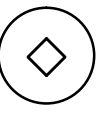


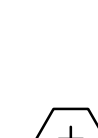


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Revision 13: X  
Revision 12: X  
Revision 11: X  
Revision 10: X  
Revision 9: X  
Revision 8: X  
Revision 7: X  
Revision 6: X  
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Revision 4: X  
Revision 3: X  
Revision 2: X  
Revision 1: X  
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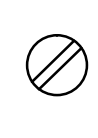





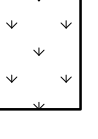


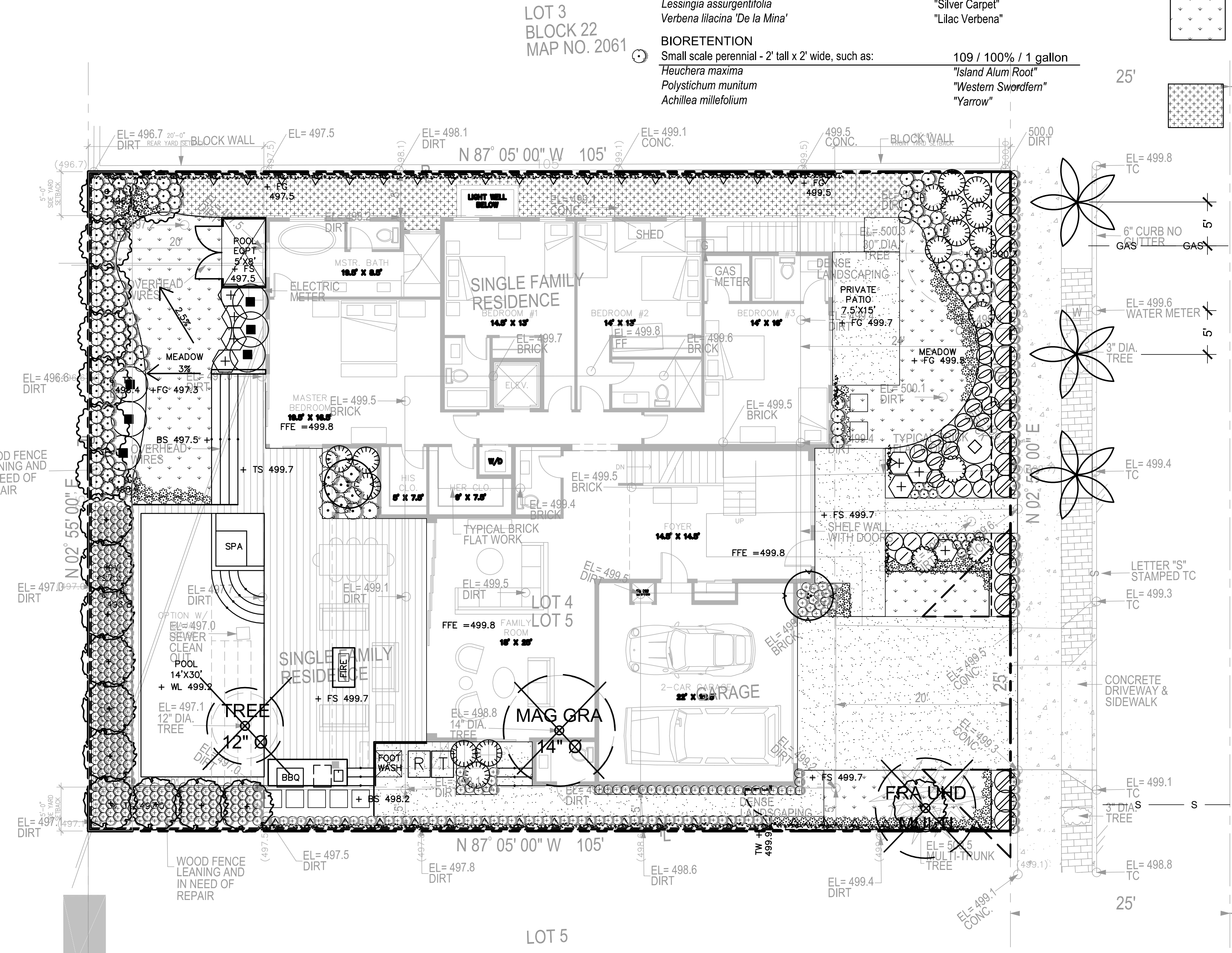


PLANTING LEGEND:

EXISTING PLANT MATERIAL LEGEND:		QTY / % / SIZE
	Existing trees to remain	1 / 100% / EXISTING
	Existing trees to be removed	3 / 100% / EXISTING
PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	STREET TREE	
	Palm - such as:	3 / 100% / 8" BTH
	SPECIMEN SHRUB	
	PRIVACY HEDGE	
	POOL HEDGE	

PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	EVERGREEN PERENNIAL BORDER	
	EVERGREEN PERENNIAL	
	EVERGREEN FLOWERING SHRUB	
	EVERGREEN ACCENT PERENNIALS	
	BIORETENTION GROUNDCOVER	
	FLOWERING SHRUB	
	FLOWERING PERENNIAL	
	BIORETENTION	

PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
	EVERGREEN BORDER PLANT	
	FLOWERING HEGDE	
	FLOWERING SHRUB	
	ACCENT VINES	
	FLOWERING MEADOW PLANT	
	ACCENT PLANT	
	MEADOW	
	EVERGREEN GROUNDCOVER	



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