



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 22, 2017 REPORT NO. HO-17-018
HEARING DATE: March 29, 2017
SUBJECT: 3rd AVENUE HOMES. Process Three Decision
PROJECT NUMBER: 399750
OWNER/APPLICANT: Darren Bwy

Issue: Should the Hearing Officer approve the demolition of an existing single-family dwelling unit and detached garage, and the construction of six attached residential units, located at 3745 3rd Avenue in the Uptown Community Plan area?

Staff Recommendation: APPROVE Site Development Permit No. 1396602.

Community Planning Group Recommendation: On August 15, 2015, the Uptown Planners voted 14-0-1 to approve the project, without conditions.

Environmental Review - The project was determined to be exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 (b) (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 31, 2017, and the opportunity to appeal that determination ended February 14, 2017.

BACKGROUND

The 0.15-acre site is located at 3745 3rd Avenue (Attachment 1) in the RM 3-9 Zone, within the Hillcrest Neighborhood of the Uptown Community Plan area (Attachment 2). The site is surrounded by multi-family dwelling developments, with several single-family residences located directly across the street.

The site is designated for high density residential uses and the surrounding areas are designated for both Neighborhood Commercial and Multi-Family Residential uses by the Uptown Community Plan.

The project site is currently improved with an existing 1,327-square-foot single-family residence, and a detached garage that were constructed in 1927. A review of the existing site was conducted by City staff to determine if potentially significant historic resources exist on the site in accordance with San Diego Municipal Code (SDMC) Section 143.0212. Based on the documentation provided, staff determined that the property does not meet local designation criteria as an individually significant historic resource under any adopted Historic Resource Board Criteria. In addition, on March 27, 2014, the Historical Resources Board voted not to designate this property as a historical resource. The site is not within or adjacent to any Multiple Species Conservation Program (MSCP) lands and does not contain Environmentally Sensitive Lands (ESL) as defined in SDMC section 113.0103.

On February 6, 2017, the property was rezoned from the MR-800B Zone of the Mid-City Planned District Ordinance to the citywide RM-3-9 Zone, both of which allow for high density residential development. The allowed density for the MR 800B Zone was one dwelling unit per 800 square feet of lot area for a maximum of eight units allowed on site. The RM-3-9 Zone allows one dwelling unit per 600 square feet of lot area for a maximum 11 units allowed on site. Because the project application was deemed completed on January 1, 2015, prior to the effective date of the rezone, the applicant has the option and has chosen to process the project under the MR-800B Zone. According to SDMC section 1512.0203, the project requires a Mid-City Communities Development Permit, processed as a Process 3 Site Development Permit (SDP), Hearing Officer Decision, to request deviations to the development regulations of the MR-800B Zone as described below.

DISCUSSION

The project proposes the demolition of an existing single-family dwelling unit and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages (one for each unit), providing 12 off-street vehicle parking spaces and two motorcycle spaces. All six units will have three bedrooms, two and a half bathrooms, kitchens, dining areas, and living areas with balconies.

The Uptown Community Plan designates the 0.15-acre site for High Residential 44-73 dwelling units per acre. Based on this land use designation seven to 11 dwelling units would be allowed on this project site. The applicant initially submitted a four unit project. However, they were encouraged by staff to add additional dwelling units to the proposed project. The applicant has proposed six units, which do not fall within the recommended Community Plan density range of seven to 11 units given the lot size constraints and the applicant electing to develop three bedroom units. The Uptown Community Plan encourages the provision of a wide variety of housing types for all age, income and social groups. The project meets the land use requirements for both the Old Uptown Community Plan and for the New Uptown Community Plan.

Three bedroom units are not typical in this area, and the project would provide six, three-bedroom units in an area that largely consists of one- to two-bedroom units, thereby providing a wider variety of housing types, and meeting the needs of families in the Uptown Community.

Deviations:

The Mid-City Communities Planned District Ordinance, SDMC Section 1512.0203(b)(4), allows projects to deviate from the applicable development regulations, including but not limited to required yards, offsetting planes, lot coverage and floor area ratio, with the approval of a Mid-City Communities Development Permit, which is processed as a Site Development Permit. This allows an applicant greater flexibility than a strict application of the regulations would allow, provided that specific additional findings can be made. The deviations must be consistent with the purpose and intent of the underlying zone and must be appropriate for the location. The requested deviations are as follows:

Front Setback - The project will have a front setback of 8.5 feet where a 10-foot front setback is required. This is a deviation of 15% from the requirement.

Side Setback –Third Floor - The project will have a side setback of five feet on the south side at the third floor where an eight-foot side setback at the third floor is required. This is a deviation of 37.5% from the requirement.

Side Setback – Fourth Floor - The project will have a side setback of five feet on the south side at the fourth floor where an 11-foot side setback at the fourth floor is required. This is a deviation of 54.5% from the requirement.

Rear Setback – First and Second Floors - The project will have a rear setback of zero feet at the first and second floors where a one-foot rear setback is required. Staff supports the deviation, because a 2.5-foot alley dedication adjacent to the project site is required.

Rear Setback – Third and Fourth Floors - The project will have a rear setback of zero feet at the third and fourth floors where a seven-foot rear setback is required for all floors above the second. This is a 100% deviation from the requirements.

Transparency – First Floor - The project does not provide the minimum transparency for the first floor street wall as required by SDMC section 1512.0312(b) (3). This is a 100% deviation from the requirements. Staff supports this deviation because a landscaped trellis is proposed to soften the appearance of the wall.

The deviations were analyzed by staff to determine consistency with the goals and recommendations of the community plan and the purpose and intent of the Planned District Ordinance. The proposed deviations will not adversely affect the General Plan or the Uptown Community Plan.

Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported. Therefore, the proposed development will comply

with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 5) and draft conditions of approval (Attachment 6). Staff recommends the Hearing Officer approve Site Development Permit No. 1396602.

ALTERNATIVES

1. Approve Site Development Permit No. 1396602, with modifications.
2. Deny Site Development Permit No. 1396602, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Derrick Johnson (D.J.), Development Project Manager

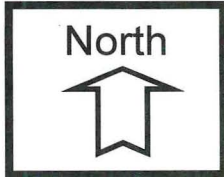
Attachments:

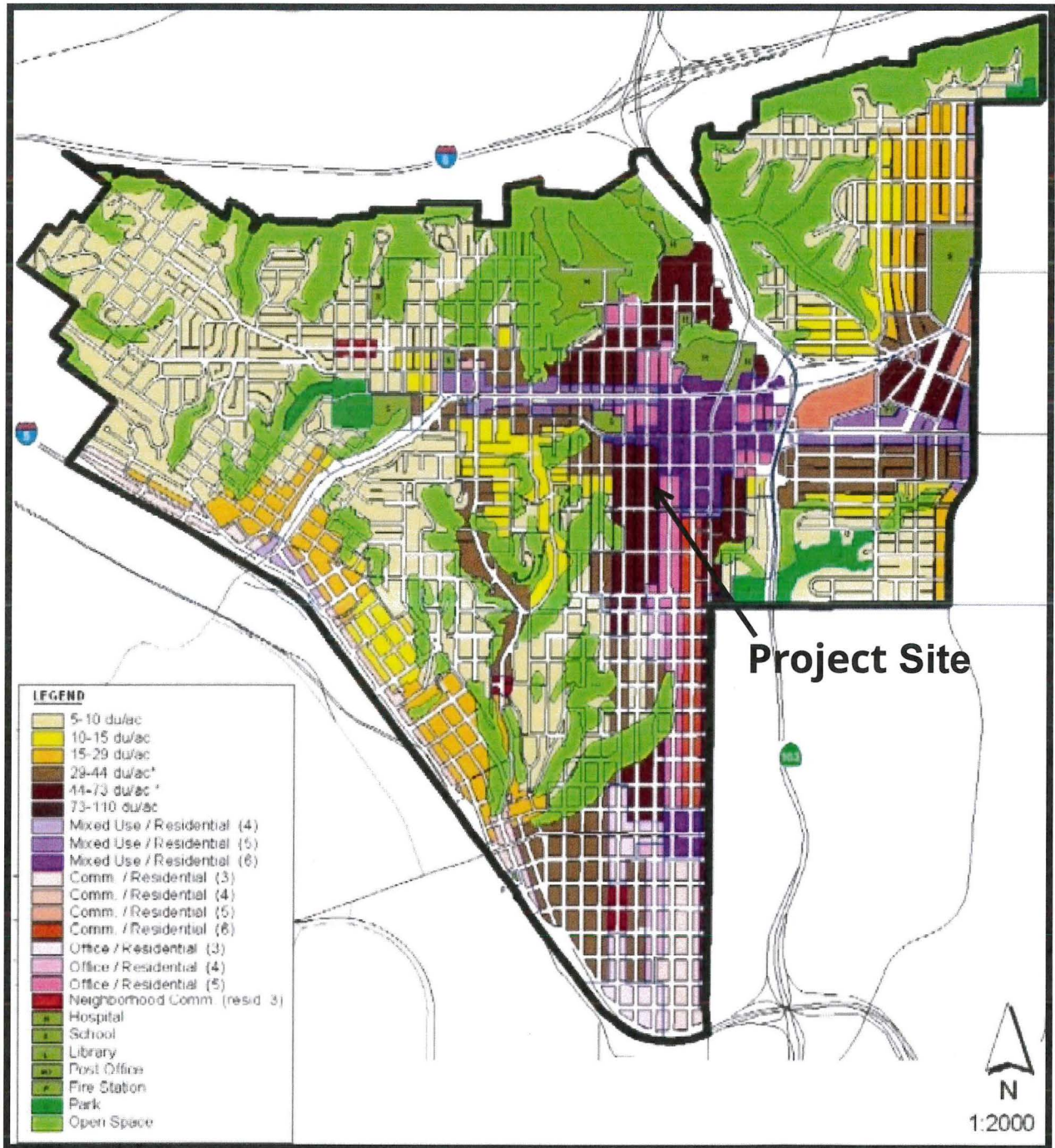
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map

3rd Avenue Homes Site Development Permit - 3745 3rd Avenue
PROJECT NO. 399750

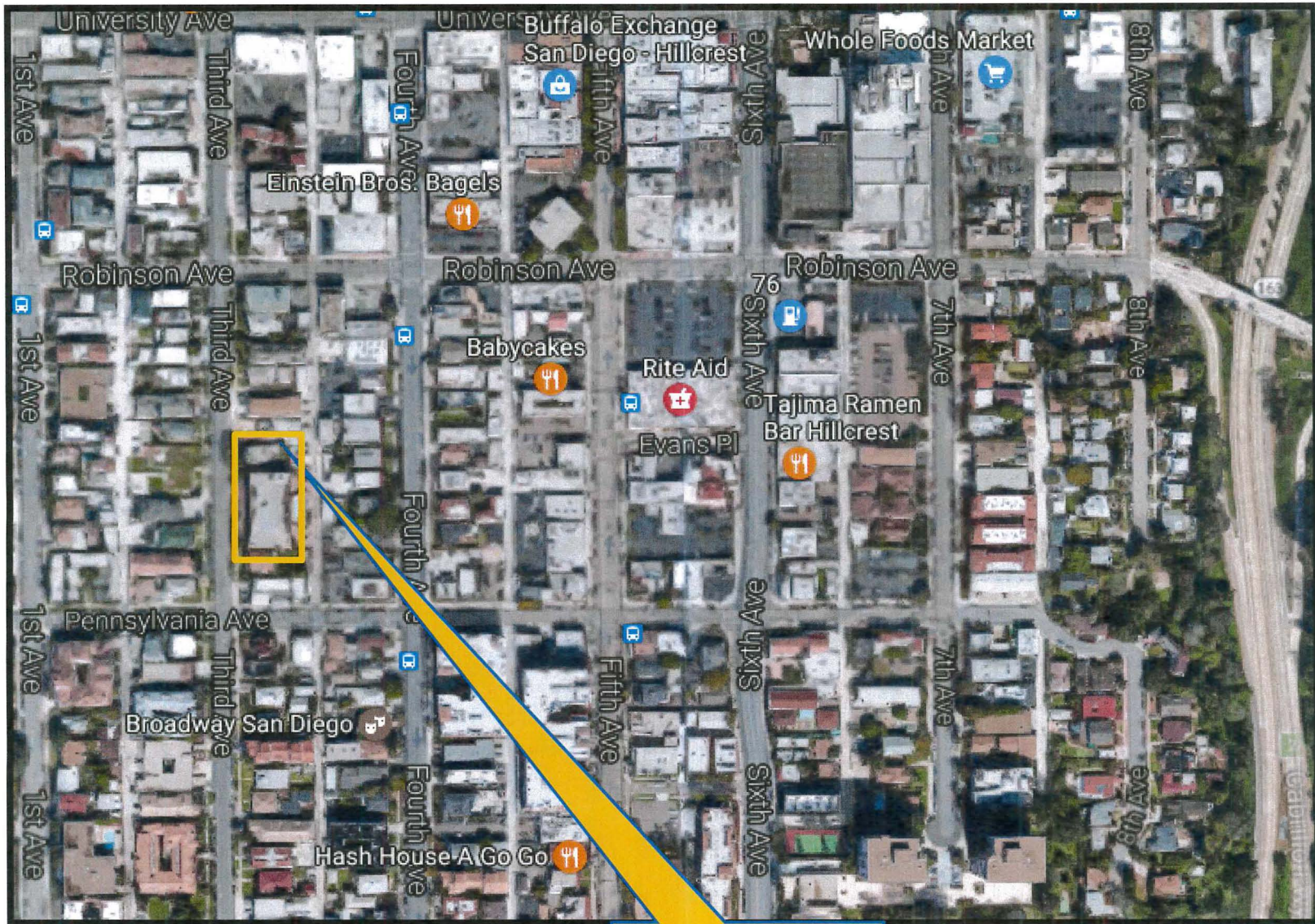




Land Use Map

3rd Avenue Homes Site Development Permit - 3745 3rd Avenue
PROJECT NO. 399750



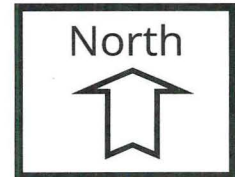


Project Site



Aerial Photo

3rd Avenue Homes Site Development Permit - 3745 3rd Avenue
PROJECT NO. 399750





PROJECT DATA SHEET

Project Name:	399750 – 3 rd Avenue Homes	
Project Description:	Uptown (Process 3) Site Development Permit to demolish an existing residence and construct 6 attached residential units totaling 12,408 sq. ft. with deviations located at 3745 3rd Ave. The 6,750 sq. ft. site is located in the MCCPD-MR-800B zone of the Mid City Communities Planned District in Council District 3.	
Community Plan Area:	Uptown Community Plan Area	
Discretionary Actions:	Process 3 – Site Development Permit	
Community Plan Land Use Designation:	High density residential development	
ZONING INFORMATION:		
	Zone: MCCPD-MR-800B Height Limit: 50 ft. 60 ft. where a building is over enclosed parking Lot Size: 6,750 sq. ft. Floor Area Ratio: 1.25 Front Setback: 10' Side Setback: 6' Rear Setback: 1', alley Parking: 12 automobile parking spaces.	
Adjacent Properties:	Land Use Designation & Zone	Existing Land Use
North:	Residential - High : 45-73 Du/Ac & MR-800B	Multi-family Residential/Vacant Lots
South:	Residential - High : 45-73 Du/Ac & MR-800B	Multi-family Residential
East:	Office Commercial : 0-73 Du/Ac & NP-1	Multi-family Residential
West:	Residential - High : 45-73 Du/Ac & MR-800B	Multi-family Residential
Deviation Requested:	Front Setback - The project will have a front setback of 8.5 feet where a 10-foot front setback is required. Side Setback –Fourth Floor - The project will have a side setback of five-feet on the south side at the third floor where an eight-foot side setback at the third floor is required. Side Setback – Fourth Floor - The project will have a side setback of five-feet on the south side at the fourth floor where an 11-foot side setback at the fourth floor is required. Rear Setback – First Floor - The project will have a rear setback of 0-feet at the first & second floors where a one-foot rear setback is required. Rear Setback – Third and Fourth Floor - The project will have a rear setback of 0-feet at the third and fourth floors where a seven-foot rear	

	<p>setback is required for all floors above the second.</p> <p>Transparency - First Floor - The project does not provide the minimum transparency for the first floor street wall.</p>
<p>Community Planning Group Recommendation:</p>	<p>On August 15, 2015, the Uptown Planners voted 14-0-1 to approve the project, without conditions.</p>

HEARING OFFICER
RESOLUTION NO. [REDACTED]
SITE DEVELOPMENT PERMIT NO. 1396602
3rd AVENUE HOMES - PROJECT NO. 399750

WHEREAS, Darren Bwy, Owner/Permittee, filed an application with the City of San Diego for a permit to allow the demolition of an existing single-family dwelling unit and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six, two-car garages, (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1396602) on a 0.15-acre site;

WHEREAS, the project site is located at 3745 3rd Avenue in the RM-3-9 Zone of the Uptown Community Plan area;

WHEREAS, the project site is legally described as Lot 4, Block 2 of Brookes Addition, Map No. 596, San Diego County;

WHEREAS, on March 29, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1396602 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 31, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (b) (New Construction or Conversion of Small Structures and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated March 29, 2017.

FINDINGS:

Site Development Permit – SDMC Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages. The Uptown Community Plan designates the 0.15-acre site for High Residential 44-73 dwelling units per acre. The project meets the land use requirements for both the Old Uptown Community Plan and for the New Uptown Community Plan. Based on this land use designation the Community Plan recommends seven to 11 dwelling units would be allowed on this project site. The applicant has proposed six units, which does not fall within the recommended Community Plan density range given the lot size constraints and the applicant electing to develop three bedroom units. The

Uptown Community Plan encourages the provision of a wide variety of housing types for all age, income, and social groups. The project would provide six three-bedroom units in an area that largely consists of one- to two-bedroom units, thereby providing a wider variety of housing types, and meeting the needs of families. Three bedroom units are not typical in this area, and the project would provide six, three-bedroom units in an area that largely consists of one- to two-bedroom units, thereby providing a wider variety of housing types, and meeting the needs of families in the Uptown Community.. Therefore, the proposed six residential units comply with the purpose and intent of the land use designation and will not adversely affect the Uptown Community Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

Adequate levels of essential public services are available to serve the project, including police, fire, and emergency medical services. The project is located in a developed residential neighborhood and the addition of six dwelling units is consistent with the existing use and intensity of the area. The site is served by developed streets and public utility facilities with access to be provided from two City standard driveways on 3rd Avenue. In addition, any existing non-standard and damaged public improvements, including curb, gutter and sidewalk would be replaced.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of this site contain specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations. Also, conditions of approval require the review and approval of all construction plans by professional staff to ensure the project will comply with all building code regulations. The project will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and all applicable regulations. Therefore, the proposed development will not adversely affect the applicable land use plan.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code. The project proposes the demolition of an existing single-family dwelling unit and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages, providing 12-off-street vehicle parking spaces and two motorcycle spaces. All six units will have three bedrooms, two and a half bathrooms, kitchens, dining areas, and living areas with balconies. The project requires six deviations to the MR-800B Zone development regulations. The Mid-City Communities Planned District Ordinance, SDMC Section 1512.0203(b)(4), allows projects to deviate from the applicable development regulations, including but not limited to required yards, offsetting planes, lot coverage and floor area ratio, with the approval of a Mid-City Communities Development Permit, which is processed as a Site Development Permit. This allows an applicant greater flexibility than a strict application of the regulations would allow, provided that specific additional findings can be made. The deviations are consistent with the purpose and intent of the underlying zone and are appropriate for the location.

The requested deviations are as follows:

Front Setback - The project will have a front setback of 8.5 feet where a 10-foot front setback is required. This is a deviation of 15% from the requirement. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Side Setback –Third Floor - The project will have a side setback of five feet on the south side at the third floor where an eight-foot side setback at the third floor is required. This is a deviation of 37.5% from the requirement. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Side Setback – Fourth Floor - The project will have a side setback of five feet on the south side at the fourth floor where an 11-foot side setback at the fourth floor is required. This is a deviation of 54.5% from the requirement. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Rear Setback – First and Second Floors - The project will have a rear setback of zero feet at the first and second floors where a one-foot rear setback is required. Staff supports the deviation, because a 2.5-foot alley dedication adjacent to the project site is required. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Rear Setback – Third and Fourth Floors - The project will have a rear setback of zero feet at the third and fourth floors where a seven-foot rear setback is required for all floors above the second. This is a 100% deviation from the requirements. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported

Transparency – First Floor - The project does not provide the minimum transparency for the first floor street wall as required by M.C. 1512.0312(b) (3). This is a 100% deviation from the requirements. Staff supports this deviation because a landscaped trellis is proposed to soften the appearance of the wall.

The deviations were analyzed by staff to determine consistency with the goals and recommendations of the community plan and the purpose and intent of the Planned District Ordinance. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

1. Conformance with Community Plan and Design Manuals. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the following documents, as applicable to the site: the Mid-City Community Plan, the Greater North Park Community Plan, the State University Community Plan, the Uptown Community Plan, the Mid-City Design Plan (California State Polytechnic University, Pomona; Graduate studies in Landscape Architecture; June, 1983), Design Manual for the Normal Heights Demonstration Area and the City Heights Demonstration Area (HCH Associates and Gary Coad; April, 1984), The Design Study for the Commercial Revitalization of El Cajon Boulevard (Land Studio, Rob Quigley, Kathleen McCormick), The North Park Design Study, Volume 1, Design Concept and Volume 2, Design Manual (The Jerde Partnership, Inc. and Lawrence Reed Moline, Ltd.), Sears Site Development Program (Gerald Gast and Williams-Kuebelbeck and Assoc.; 1987) and will not adversely affect the Greater North Park Community Plan, the Uptown Community Plan or the General Plan of the City of San Diego.

The project proposes the demolition of an existing single family dwelling unit and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages. The Uptown Community Plan designates the 0.15-acre site for High Residential 44-73 dwelling units per acre. Based on this land use designation seven to 11 dwelling units would be allowed on this project site. The applicant initially submitted a four unit project. However, they were encouraged by staff to add additional dwelling units to the proposed project. The applicant has proposed six units, which do not fall within the recommended Community Plan density range of seven to 11 units given the lot size constraints and the applicant electing to develop three bedroom units. The Uptown Community Plan encourages the provision of a wide variety of housing types for all age, income and social groups. The project meets the land use requirements for both the Old Uptown Community Plan and for the New Uptown Community Plan.

Three bedroom units are not typical in this area, and the project would provide six, three-bedroom units in an area that largely consists of one- to two-bedroom units, thereby providing a wider variety of housing types, and meeting the needs of families in the Uptown Community. Please see finding No.1 one above in the Site Development Permit for additional information.

2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

The proposed development is compatible with the design standards of the Mid-City Communities Planned District Ordinance which requires a comparative analysis of the surrounding development, open space requirements and conformance to the Uptown Community Plan.

This infill development is designed to respect the character of the surrounding community. Both multi-family and single-family residential are the primary existing land

uses of the immediate neighborhood and the proposed multi-family development maintains that character. The project will be compatible with the appearance of the existing neighborhood and will incorporate façade, articulation and architectural details similar in scale, color and appearance of the existing development.

3. No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

Adequate levels of essential public services are available to serve the project, including police, fire, and emergency medical services.

The project is located in a developed residential neighborhood and the addition of six dwelling units is consistent with the existing use and intensity of the area. The site is served by developed streets and public utility facilities with access to be provided from two City standard driveways on 3rd Avenue. In addition, any existing non-standard and/or damaged public improvements, including curb, gutter and sidewalk would be replaced.

The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of this site contain specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations. Also, conditions of approval require the review and approval of all construction plans by professional staff to ensure the project will comply with all building code regulations. The project will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and all applicable regulations.

4. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consist with the San Diego Municipal Code.

The project has been conditioned to provide adequate neighborhood-serving security lighting consistent with the San Diego Municipal Code on site, or a street light must be provided within 150 feet of the property. Therefore, adequate lighting would be provided consistent with the Municipal Code.

5. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.

The project proposes the demolition of an existing single-family dwelling unit and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages, providing 12-off-street vehicle parking spaces and two motorcycle spaces.

All six units will have three bedrooms, two and a half bathrooms, kitchens, dining areas, and living areas with balconies. The project requires six deviations to the MR-800B Zone.

The Mid-City Communities Planned District Ordinance, SDMC Section 1512.0203(b)(4), allows projects to deviate from the applicable development regulations, including, but not limited to required yards, offsetting planes, lot coverage and floor area ratio, with the approval of a Mid-City Communities Development Permit, which is processed as a Site Development Permit. This allows an applicant greater flexibility than a strict application of the regulations would allow, provided that specific additional findings can be made.

The deviations are consistent with the purpose and intent of the underlying zone and are appropriate for the location and results in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the zone. Please see finding No. 3 of the Site Development Permit above for additional information.

The requested deviations are as follows:

Front Setback - The project will have a front setback of 8.5 feet where a 10-foot front setback is required. This is a deviation of 15% from the requirement. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Side Setback –Third Floor - The project will have a side setback of five feet on the south side at the third floor where an eight-foot side setback at the third floor is required. This is a deviation of 37.5% from the requirement. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Side Setback – Fourth Floor - The project will have a side setback of five feet on the south side at the fourth floor where an 11-foot side setback at the fourth floor is required. This is a deviation of 54.5% from the requirement. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Rear Setback – First and Second Floors - The project will have a rear setback of zero feet at the first and second floors where a one-foot rear setback is required. Staff supports the deviation, because a 2.5-foot alley dedication adjacent to the project site is required. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Rear Setback – Third and Fourth Floors - The project will have a rear setback of zero feet at the third and fourth floors where a seven-foot rear setback is required for all floors above the second. This is a 100% deviation from the requirements. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported.

Transparency – First Floor - The project does not provide the minimum transparency for the first floor street wall as required by M.C. 1512.0312(b) (3). This is a 100% deviation from the requirements. Staff supports this deviation because a landscaped trellis is proposed to soften the appearance of the wall.

The deviations were analyzed by staff to determine consistency with the goals and recommendations of the community plan and the purpose and intent of the Planned District Ordinance. Due to the small site dimensions and the provision of three bedroom units consistent with the community plan the deviations can be supported. The deviations are allowed with approval of a Site Development Permit. Staff supports the requested deviations and believes the project as currently proposed results in a project consistent with the purpose and intent of the MR-800B Zone, the community plan and the existing surrounding land uses. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1396602 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1396602, a copy of which is attached hereto and made a part hereof.



Derrick Johnson (D.J.)
Development Project Manager
Development Services

Adopted on: March 29, 2017

IO#:24005385

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24005385

SITE DEVELOPMENT PERMIT NO. 1396602
3rd AVENUE HOMES - PROJECT NO. 399750
HEARING OFFICER

This Site Development Permit No. 1396602 is granted by the Hearing Officer of the City of San Diego to Darren Bwy, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 1512.0203. The 0.15-acre site is located at 3745 3rd Avenue, in the RM-3-9 Zone, within the Hillcrest Neighborhood of the Uptown Community Plan area. The project site is legally described as: Lot 4, Block 2 of Brookes Addition, Map No. 596, San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Darren Bwy, Owner/Permittee for the demolition of an existing single-family dwelling unit, and the construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 29, 2017, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing 1,327-square-foot single - family residence, and a detached garage;
- b. Construction of a 12,408-square-foot, three-story, six-unit residential building, over six two-car garages;
- c. A front setback of 8.5 feet where a 10-foot front setback is required.
- d. Side Setback - Third Floor -The project will have a side setback of five feet on the south side at the third floor where an eight-foot side setback at the third floor is required.
- e. Side Setback - Fourth Floor -The project will have a side setback of five feet on the south side at the fourth floor where an 11-foot side setback at the fourth floor is required.
- f. Rear Setback - First and Second Floors - The project will have a rear setback of zero-feet at the first and second floors where a one-foot rear setback is required.

- g. Rear Setback – Third and Fourth Floors The project will have a rear setback of zero feet at the first and second floors where a one-foot rear setback is required.
- h. Transparency – First Floor - The project does not provide the minimum transparency for the first floor street wall as required by M.C. 1512.0312(b) (3). This is a 100% deviation from the requirements. Staff supports this deviation because a landscaped trellis is proposed to soften the appearance of the wall.
- i. A minimum 12-off street parking spaces are required at all times;
- j. Landscaping (planting, irrigation and landscape related improvements);
- k. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer’s requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 13, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter.

However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permit, the Owner/Permittee shall dedicate and assure by permit and bond the improvement of an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway, on 3rd Avenue, with City Standard curb and gutter, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for private storm drain, landscape and irrigation located within 3rd Avenue Right-Of-Way, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of public improvement plans, landscape construction plans consistent with this development permit shall be submitted for approval. Improvement plans shall take into account a 40-square-foot area around each required tree which is unencumbered by utilities.

20. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees. In the event that the Landscape Plan and the Public Improvement Plan conflict, the Public Improvement Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit "A" Landscape Development Plan.

21. Prior to building permit issuance, landscape and irrigation plans substantially conforming to Exhibit "A" (Landscape Development Plan) shall be submitted to the Development Services Department for approval.

22. Any existing landscape to remain, as indicated on the approved plans, that is damaged during construction shall be replaced in kind to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

PLANNING/DESIGN REQUIREMENTS:

23. Owner/Permittee shall maintain a minimum of 12-off-street parking spaces and two motorcycle spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

Prior to the issuance of the Occupancy Permit the Owner/Permittee shall demonstrate to the satisfaction of the City Engineer, that the project has provided adequate neighborhood-serving security lighting consistent with the San Diego Municipal Code on site, or a street light must be provided within 150 feet of the property.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director, the City Engineer.

28. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

29. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities or five feet of any water facilities.

30. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

31. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices at the time of building permit issuance.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 29, 2017 and Resolution No.

ATTACHMENT 6

Site Development Permit No. 1396602
Date of Approval: March 29, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Derrick Johnson (DJ)
Development Project Manager

NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Darren Bwy
Owner/Permittee

By _____
Darren Bwy
Owner

NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: 3rd Avenue Homes SDP

Project No. / SCH No.: 399750/N.A.

Project Location-Specific: 3745 3rd Avenue, San Diego, California 92103

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: **SITE DEVELOPMENT PERMIT (SDP)** to demolish an existing residence, and to allow the construction of six attached residential units, each over a 2 car garage with deviations for setbacks, Floor Area Ratio (FAR), transparency, and architectural design features, on a 6,750 square foot site.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Gerardo Garcia (Agent), Aguilar Homes, Inc. (Firm), 875 Bowsprit Road, Chula Vista, CA 91914, (619) 794-3268

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: CEQA Exemption 15303 (b) (New Construction or Conversion of Small Structures)
 Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 which addresses the construction and location of limited numbers of new, small facilities, or structures. In urbanized areas, this exemption applies to apartments, duplexes and similar structures designed for not more than six dwelling units. In addition; the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

ATTACHMENT 7

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Anna M. [Signature] Senior Planner

Signature/Title

January 31, 2017

Date

Check One:

Signed By Lead Agency

Signed by Applicant

Date Received for Filing with County Clerk or OPR:

From: [Michael Brennan](#)
To: [Johnson, Derrick](#)
Cc: [Leo Wilson](#)
Subject: Re: 3rd Ave Homes SDP-PTS NO. 399750
Date: Thursday, February 16, 2017 1:12:31 PM

Gentlemen,

This is what I have from that meeting, DRAFT minutes:

3745 Third Ave SDP:

Juan Quemalo: Allowed 8 units, building only 6 units. Building height includes 3 stories over garage, 46' height. They are requesting deviations for setbacks.

Dalour: What is the height A: 46' height

Robert Eiford: Will trees in front will be removed? A: trees will remain

Unknown: Have you considered the existing craftsman as historic? They have completed historical review.

Bob D. What is the footprint of the building? A: 25'x124'

James W.: Is that a parking lot (shows laptop screen)

Jay N. Motion to approve as presented, second by Mat W.

Motion approved

14-0-1 chair abstains

-Michael

On Feb 16, 2017, at 12:00 PM, Johnson, Derrick <DNJohnson@saniego.gov> wrote:

Hi Leo,

Did you ever find the official vote for this project. We are now ready to go to a public hearing and need the CPG vote. Thanks DJ

Derrick Johnson (D. J.)
Development Project Manager
City of San Diego
Development Services Dept.
1222 First Avenue M.S. 401
San Diego, CA 92101
Voice: (619) 446-5477
Fax: (619) 446-5499
Email: dnjohnson@saniego.gov

CONFIDENTIAL COMMUNICATION

This electronic mail message and any attachments are intended only for the use of the



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title Project No. For City Use Only
 3RD AVE HOMES 399750

Project Address:
 3745 3RD AVE SAN DIEGO, CA 92103

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

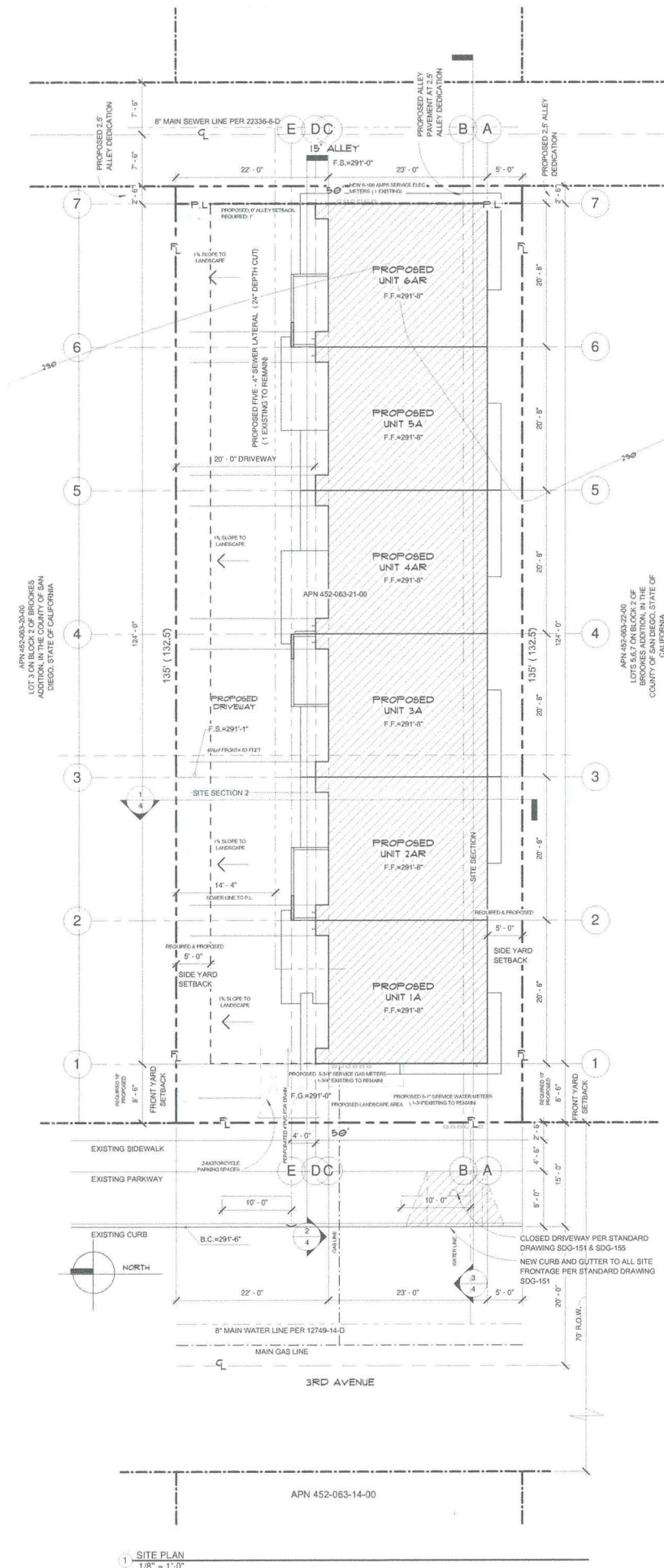
Additional pages attached Yes No

Name of Individual (type or print):
 DAREEN BUNY
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 3457 STETSON AVE
 City/State/Zip:
 SAN DIEGO CA 92122
 Phone No: (858) 405-6651 Fax No:
 Signature: Date: NOV 26/14

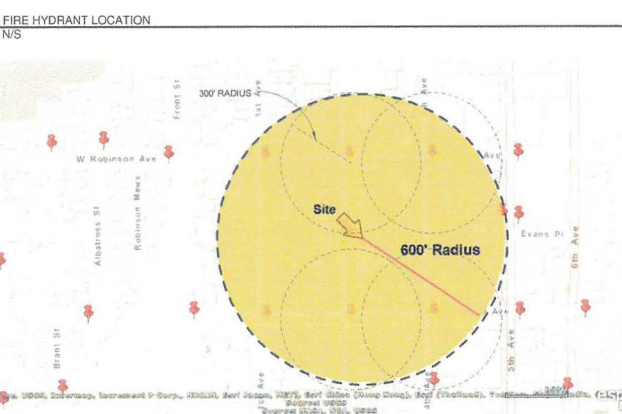
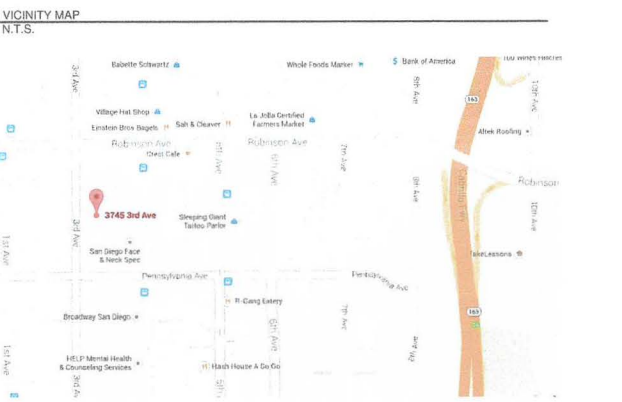
Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:



1 SITE PLAN
1/8" = 1'-0"



-NO EASEMENTS ON SITE.
-NO BUS STOP.
-PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-006 (UFC 901.4.4).
-BENCHMARK: THIRD AVENUE & ROBINSON AVENUE, NVBP, ELEVATION: 289.96 M.S.L.
-TOPOGRAPHIC INFORMATION PER ORTHOPHOTO IMAGE PREPARED FROM PHOTOGRAPHIC DATUM 11-6-78 PER CITY OF SAN DIEGO CALIFORNIA DOC. 210-1719.TIFF
-AMOUNT OF EXCAVATION FOR FOUNDATION AND UTILITIES: 105 C.Y.
-TOTAL AREA TO BE GRADED: 369 SF. (LANDSCAPING AREA)
-LEVEL LOT: MAX. HEIGHT OF CUT/FILL SLOPE: 12 INCHES
-All drainage to be directed to landscape areas and then re-directed to street.

PROPOSED LANDSCAPE SHOULD UTILIZE DROUGHT TOLERANT AND/OR NATIVE SPECIES.
ANY PROPOSED DESIGN OR REPLACEMENT OF SIDEWALKS SHOULD BE IN SUBSTANTIAL CONFORMANCE WITH THE HISTORIC DESIGN OF SIDEWALKS ON ADJACENT PROPERTIES INCLUDING LOCATION, WIDTH, ELEVATION, SCORING PATTERN, TEXTURE, COLOR, AND MATERIAL.
CONTRACTOR DATE STAMPS ARE ALSO CONSIDERED SIGNIFICANT HISTORIC MARKINGS TO BE PRESERVED IN PLACE OR RELOCATED AND SET NEARBY.

VICINITY MAP
N.T.S.

GARAGE CALCULATION
N.T.S.

Minimum required parking spaces for multiple dwelling units
GARAGE CALCULATION PER TABLE 142-05C

Unit	Basic	Transit Area
2-3 Bedrooms	2.5	2.0

Required 12 parking spaces.
Proposed 2 parking spaces per unit (enclosed) 12 total.
Motorcycle spaces required 2 Provided 2

Site located within the transit area radius described in Chapter 13, Article 2, Division 10 (Transit Area/Overlay Zone)
The minimum parking stall dimension and drive aisles must comply with SDMC section 142.0560.

CONSTRUCTION AREAS
N.T.S.

Lot size 6,750 SF
Lot Cover = 45% = 3,037.5 SF max. Proposed = 2,919 SF
F.A.R. = 1.25% = 8,437 sf max. + area of garages (bonus 2,919 = 11,356 sf max.
Proposed = 9,489 sf
F.A.R. = 0.75 in 40% of lot = 5,062 of Max. Proposed = 3,550 sf (at 40% front)
unit 1A = 1,561.5 + Garage (486.5 sf)
unit 2AR = 1,561.5 + Garage (486.5 sf)
unit 3A = 1,561.5 + Garage (486.5 sf)
unit 4AR = 1,561.5 + Garage (486.5 sf)
unit 5A = 1,561.5 + Garage (486.5 sf)
unit 6AR = 1,561.5 + Garage (486.5 sf)
total sf = 9,489 sf 2,919 sf

Enclosed parking area excluded from F.A.R. per Table 1512-03G (2)
F.A.R. Bonus area per Table 1512-03G (4)

Sheet List	
Sheet Number	Sheet Name
1	Cover Sheet
2	Floor Plans
3	Elevations
4	Site /Sections
5	Roof Plan
6	Landscape Plan
7	Fire Department

PROJECT DATA
N.T.S.

SCOPE:
Demolish of existing 1,327 SF one story, single family residence built in 1927 that include:
-3 Bedrooms
-2 Full bathrooms
-1 Car garage;
and proposed to build 6 Attached, 3 level single family residences (1,561 SF) over 2 car garage each;
-2 Car Garage (486.5 SF)
-3 Bedrooms
-2 1/2 bathrooms
-Kitchen & dining area
-Living area with balcony

PROPOSED SETBACK DEVIATION PER TABLE 151203-E (A) (up to optional zero setback)

- a) Proposed Deviation at Ground Level:
-Front setback:
proposed 7'-6" setback (standard 10')
-Rear setback:
dedication of 2.5' and 0' set-back at alley
- b) Proposed Deviation at Level 1
-Front setback:
proposed 7'-6" setback (standard 10')
-Rear setback:
dedication of 2.5' and 0' set-back at alley
- c) Proposed Deviation at Level 2
-Front setback:
proposed 7'-6" setback (standard 10')
-Side setback:
Proposed setback of 5' & 8' (standard 8')
-Rear setback:
Dedication of 2.5' and 0' set-back at alley (standard 7')
- d) Proposed Deviation at Level 3
-Front setback:
proposed 7'-6" setback (standard 10')
-Side setback:
Proposed setback of 5' & 8' (standard 11')
-Rear setback:
Dedication of 2.5' and 0' set-back at alley (standard 7')
- e) Approval for Site Development Permit

ADDRESS:
3745 THIRD AVE.
SAN DIEGO, CA 92103
APN:
452-063-21-00

LEGAL DESCRIPTION:
LOT 4 ON BLOCK 2 OF BROOKES ADDITION, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO.596, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON APRIL 23, 1889.

OWNER:
MR. DARREN BWY (858) 405-6651
3745 THIRD AVE.
SAN DIEGO, CA 92103

ZONE MCPPD MR-800B Overlay Zone, San Diego International Airport Influence Area.
OCCUPANCY R2U-1
BLDG. TYPE V/B
SPRINKLER YES
STORIES 3/OVER GARAGE
LOT COVER 0.45
FAR 1.25
Geologic Hazard Category 52
Existing Use: Multi-family residence Proposed Use: Multi-family residence

PROJECT TEAM
N.T.S.

OWNER: DARREN BWY (858) 405-6651
3457 STETSON AVE
SAN DIEGO, CA 92122
DESIGNER: JUAN QUEMADO (619) 921-4433
juanquemado@yahoo.com
875 BOWSPRINT RD
CHULA VISTA CA 91914
STRUCTURAL ENGINEER: JUAN G. NOE (619) 201-4652
juanog73@gmail.com
875 BOWSPRINT RD
CHULA VISTA, CA 91914
BRUSH/MANAGEMENT / LANDSCAPE: DANNY BELGAR (619) 585-3040

APPLICABLE CODES
N.T.S.

PROJECT SHALL COMPLY TO:
2013 CALIFORNIA BUILDING CODE (BASED ON 2009 IBC) . 2013 CALIFORNIA RESIDENTIAL CODE, 2013 CMC (BASED ON 2009 UMC) . 2013 CPC (BASED ON 2009 UPC) . 2013 CEC (BASED ON 2008 NEC) AND 2013 CFC (BASED ON 2009 IFC) . 2013 CGBSC, 2008 CEC, AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF SAN DIEGO

3rd AVENUE HOMES	
Prepared By: Darren Bwy 3457 Stetson Ave. San Diego, CA 92122 (858) 405-6651	Revision I Revision II Revision III
Project Address: 3745 3rd Ave. San Diego, CA 92103	Original Date : November 10 2014
Project Name: 3rd Ave Homes	
Title Sheet: COVER SHEET/SITE PLAN	sheet 1 of 8

3RD AVE. HOMES
3745 3RD AVE. SAN DIEGO, CA 92103

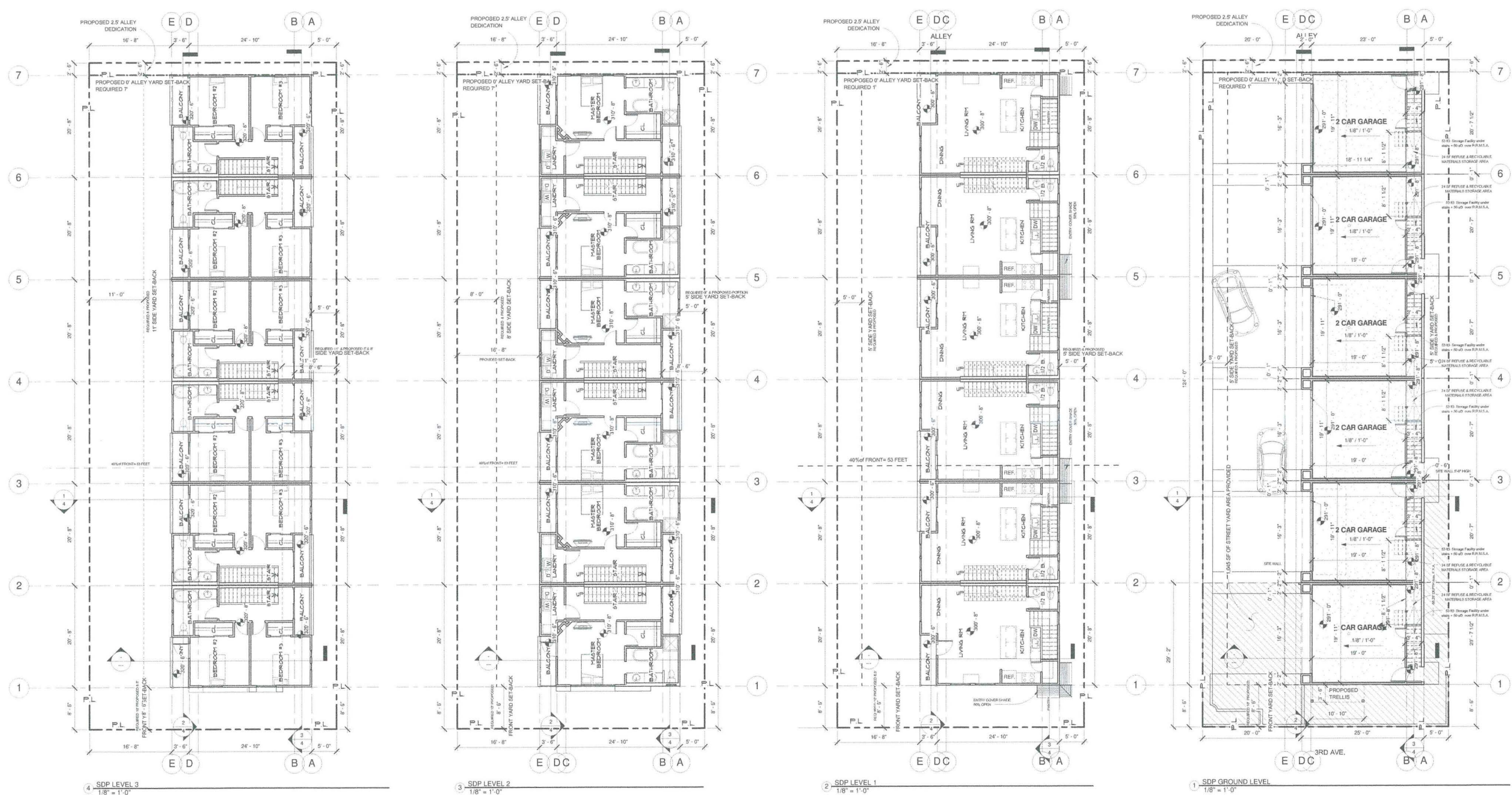
Project number:	382069
Date:	11/10/2014
Drawn by:	99
Checked by:	R
Scale:	As indicated

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WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF ABULAR HOMES INC.



REVISIONS:

3RD AVE. HOMES
3745 3RD AVE. SAN DIEGO, CA 92103

3rd AVENUE HOMES
Prepared By:
Darren Bwy
3457 Stetson Ave.
San Diego, CA 92122
(658) 405-6651
Project Address:
3745 3rd Ave.
San Diego, CA 92103
Project Name:
3rd Ave Homes
Title Sheet:
FLOOR PLANS

Revision I
Revision II
Revision III

Original Date : November 10 2014

sheet 2 of 8

3RD AVE. HOMES
Floor Plans

Project number: 382069
Date: 11/10/2014
Drawn by: g
Checked by: j
2
Scale: As Indicated



PREPARED FOR THE ARCHITECT BY THE ARCHITECTURE, ENGINEERING AND INTERIOR DESIGN FIRM OF ANGULAR HOMES INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ANGULAR HOMES INC.

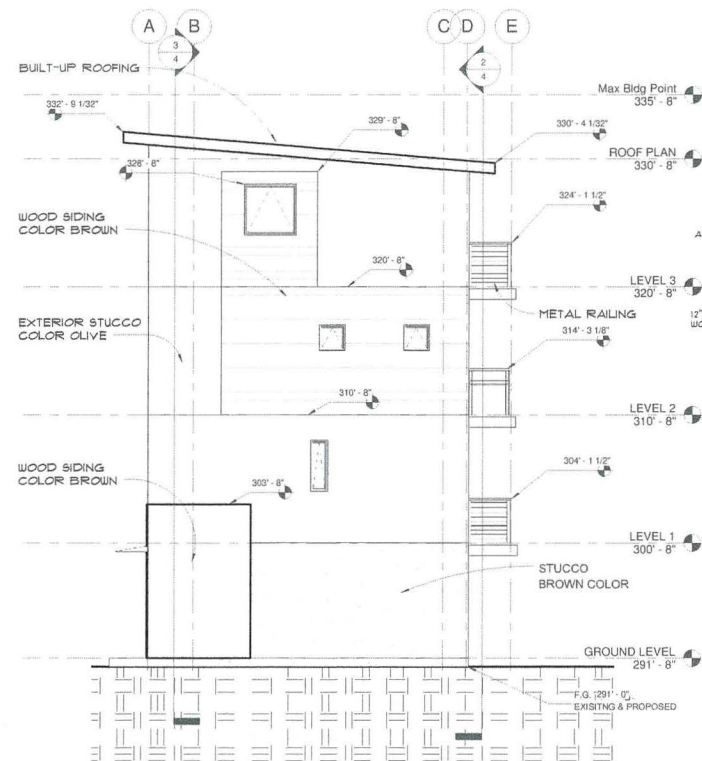
REVISIONS:

1	
2	
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6	
7	
8	
9	



1 North Elevation
3/16" = 1'-0"

2 West Elevation
3/16" = 1'-0"



4 East Elevation
3/16" = 1'-0"

3 South Elevation
3/16" = 1'-0"

- ARCHITECTURAL FEATURES:
1. WINDOWS SHALL BE OF THE SAME MATERIAL AND MAINTAIN A CONSISTENT DESIGN CHARACTER THROUGHOUT.
 2. THERE SHALL BE NO MORE THAN 2 WALL SIDING MATERIALS ON ANY SINGLE BUILDING.
 3. THE FOLLOWING 5 FEATURES FROM THE CONTEMPORARY STYLE LIST WILL BE PROVIDED:
 - a) MULTIPLE PITCHED ROOFS
 - b) ONE CLEARESTORY WINDOW FACING THE STREET
 - c) ENTRY PORCHES ON THE SIDE ELEVATION
 - d) WINDOW AWINGS ON ALL WINDOWS FACING THE STREET
 - e) EAVES WITH 24" OVER-HANG
- *ALL WINDOWS FACING THE STREET SHALL BE RECESSED AT LEAST 2"

3rd AVENUE HOMES

Prepared By:
Darren Bwy
3457 Stetson Ave.
San Diego, CA 92122
(858) 405-6651

Project Address:
3745 3rd Ave.
San Diego, CA 92103

Project Name:
3rd Ave Homes

Title Sheet:
ELEVATIONS

Revision I
Revision II
Revision III

Original Date : November 10 2014

sheet 3 of 8

3RD AVE. HOMES
3745 3RD AVE. SAN DIEGO, CA 92103

3RD AVE. HOMES
Elevations

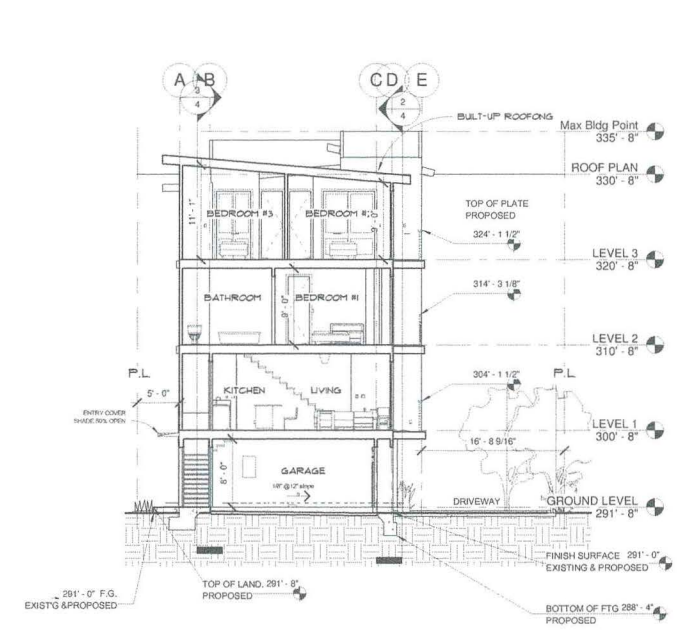
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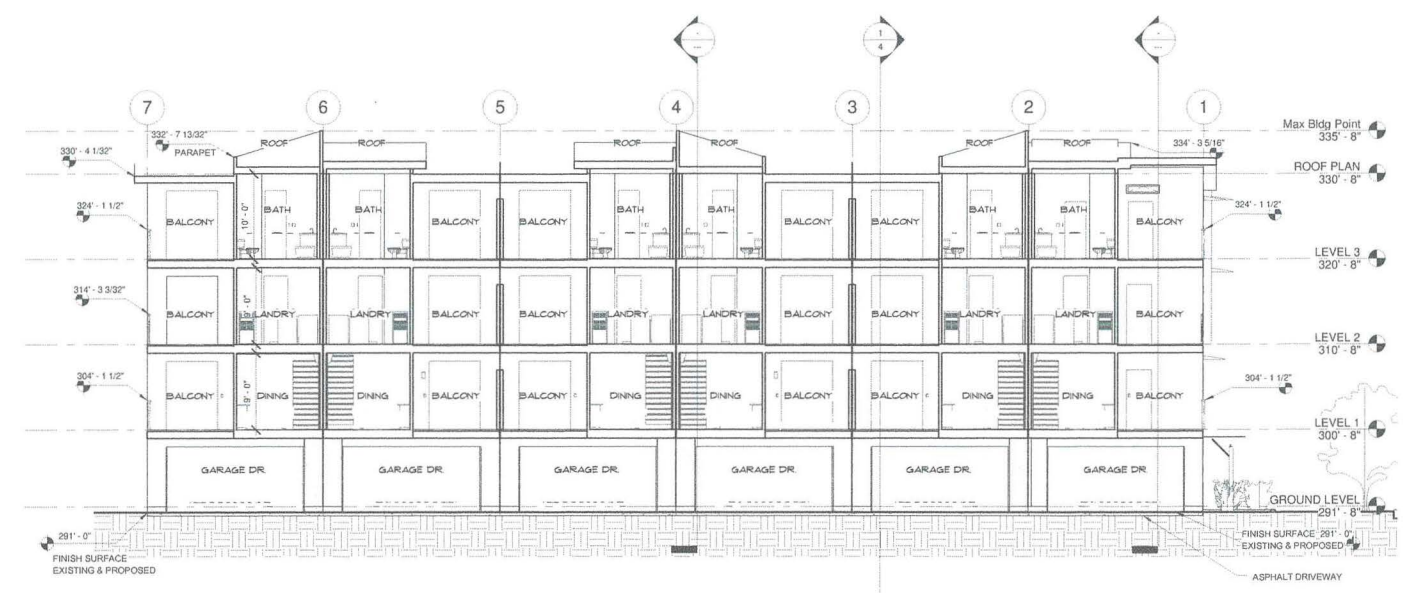


THESE PLANS REPRESENT THE DESIGN AND CONSTRUCTION OF THIS PROJECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS UNLESS THE USER HAS BEEN ADVISED BY THE ARCHITECT OF SUCH DAMAGE.

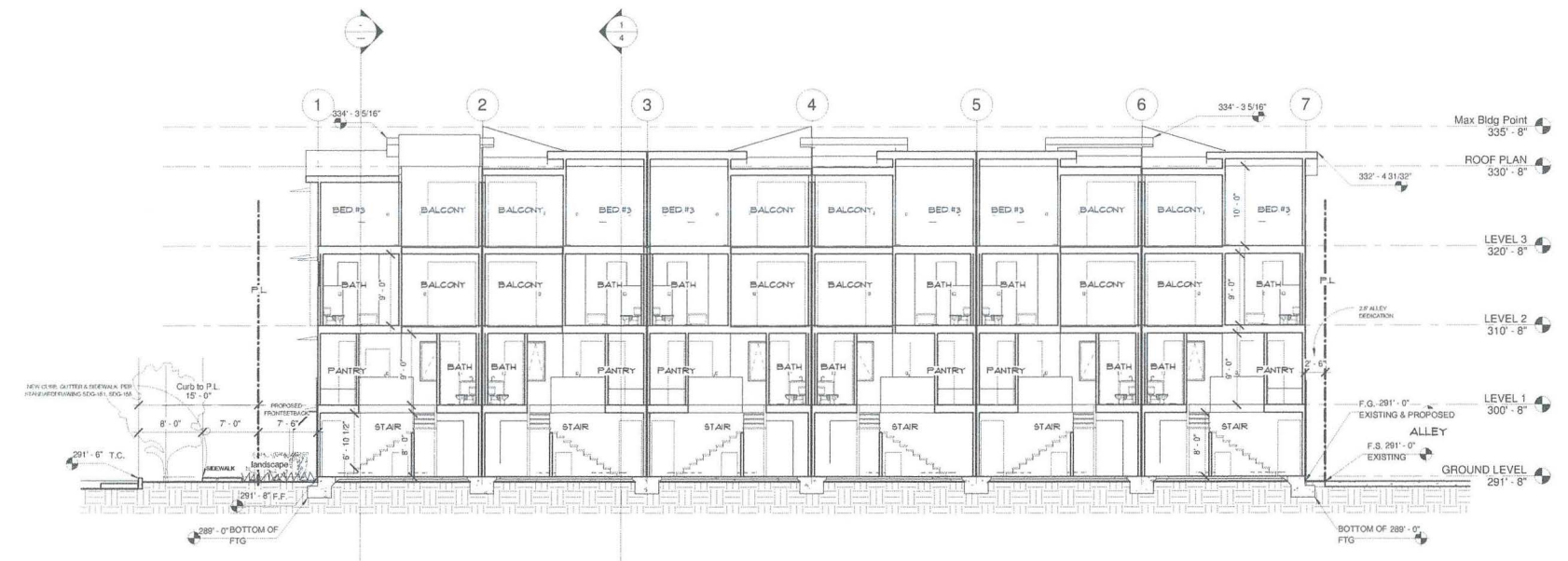
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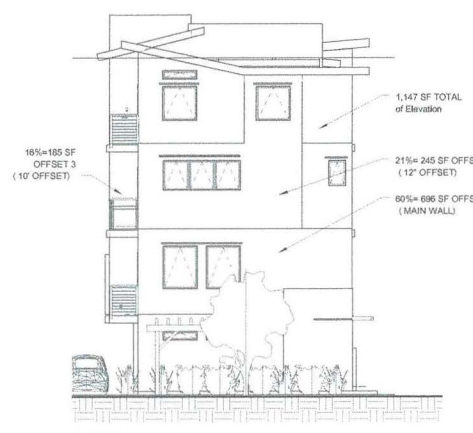
1 Site/Section 2
1/8" = 1'-0"



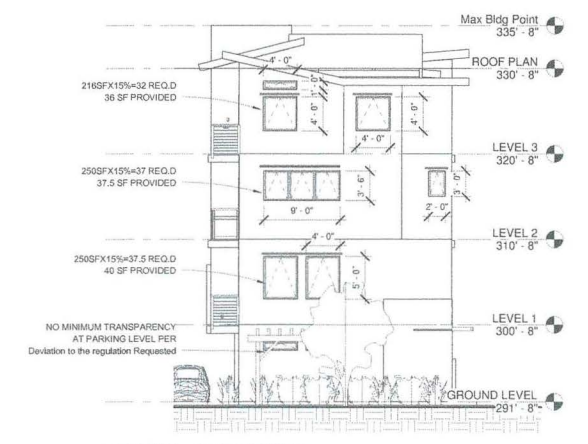
2 Section 1
1/8" = 1'-0"



3 Site/Section 3
1/8" = 1'-0"



4 EXHIBIT A
1/8" = 1'-0"



5 EXHIBIT B
1/8" = 1'-0"

3rd AVENUE HOMES
 Prepared By: Darren Bwy
 3457 Stetson Ave.
 San Diego, CA 92122
 (858) 405-6651
 Project Address: 3745 3rd Ave.
 San Diego, CA 92103
 Project Name: 3rd Ave Homes
 Original Date: November 10 2014
 Title Sheet: SECTIONS sheet 4 of 8

3RD AVE. HOMES
 3745 3RD AVE. SAN DIEGO, CA 92103

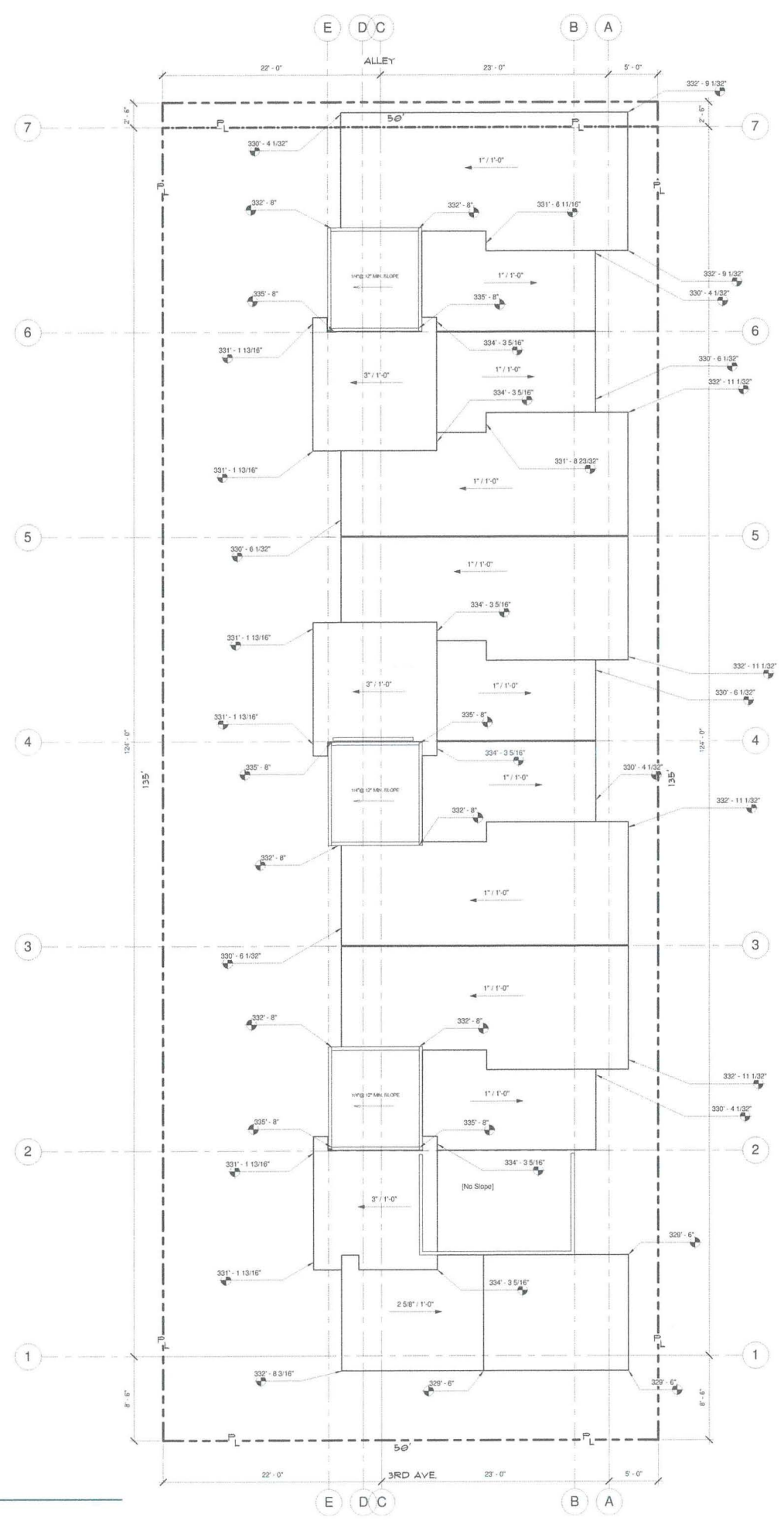
3RD AVE. HOMES
 Site /Sections
 Project number: 382069
 Date: 11/10/2014
 Drawn by: g
 Checked by: jh
 4
 Scale: As Indicated

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CONTRACT DOCUMENTS GOVERN THE PROJECT. ANY CHANGES MUST BE MADE BY ADDENDUMS OR AMENDMENTS. NO MECHANICAL EQUIPMENT ON ROOF.

REVISIONS
DATE
BY
CHECKED BY



NO MECHANICAL EQUIPMENT ON ROOF

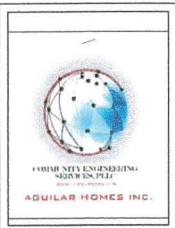
1 ROOF PLAN
3/16" = 1'-0"

3rd AVENUE HOMES
Prepared By:
Darren Bwy
3457 Stetson Ave.
San Diego, CA 92122
(858) 405-6651
Project Address:
3745 3rd Ave.
San Diego, CA 92103
Project Name:
3rd Ave Homes
Title Sheet:
SECTIONS
Revision I
Revision II
Revision III
Original Date: November 10 2014
sheet 5 of 8

3RD AVE. HOMES
3745 3RD AVE. SAN DIEGO, CA 92103

3RD AVE. HOMES
Roof Plan
Project number: 382069
Date: 11/10/2014
Drawn by: Author
Checked by: Checker
5
Scale: As Indicated

3/10/2015 1:28:03 PM



PERMITS AND PLANS PREPARED BY THE FIRM'S REGISTERED ARCHITECTS AND ENGINEERS. THE FIRM'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECTS SHOWN ON THESE PLANS. THE FIRM IS NOT RESPONSIBLE FOR ANY OTHER WORK NOT SHOWN ON THESE PLANS.

REVISIONS

1	
2	
3	
4	
5	
6	

DATE: _____

SCALE: _____

PROJECT: _____

LOCATION: _____

DATE: _____

SCALE: _____

PROJECT: _____

LOCATION: _____

DATE: _____

SCALE: _____

PROJECT: _____

LOCATION: _____

DATE: _____

SCALE: _____

PROJECT: _____

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SCALE: _____

PROJECT: _____

LOCATION: _____

DATE: _____

SCALE: _____

PROJECT: _____

LOCATION: _____

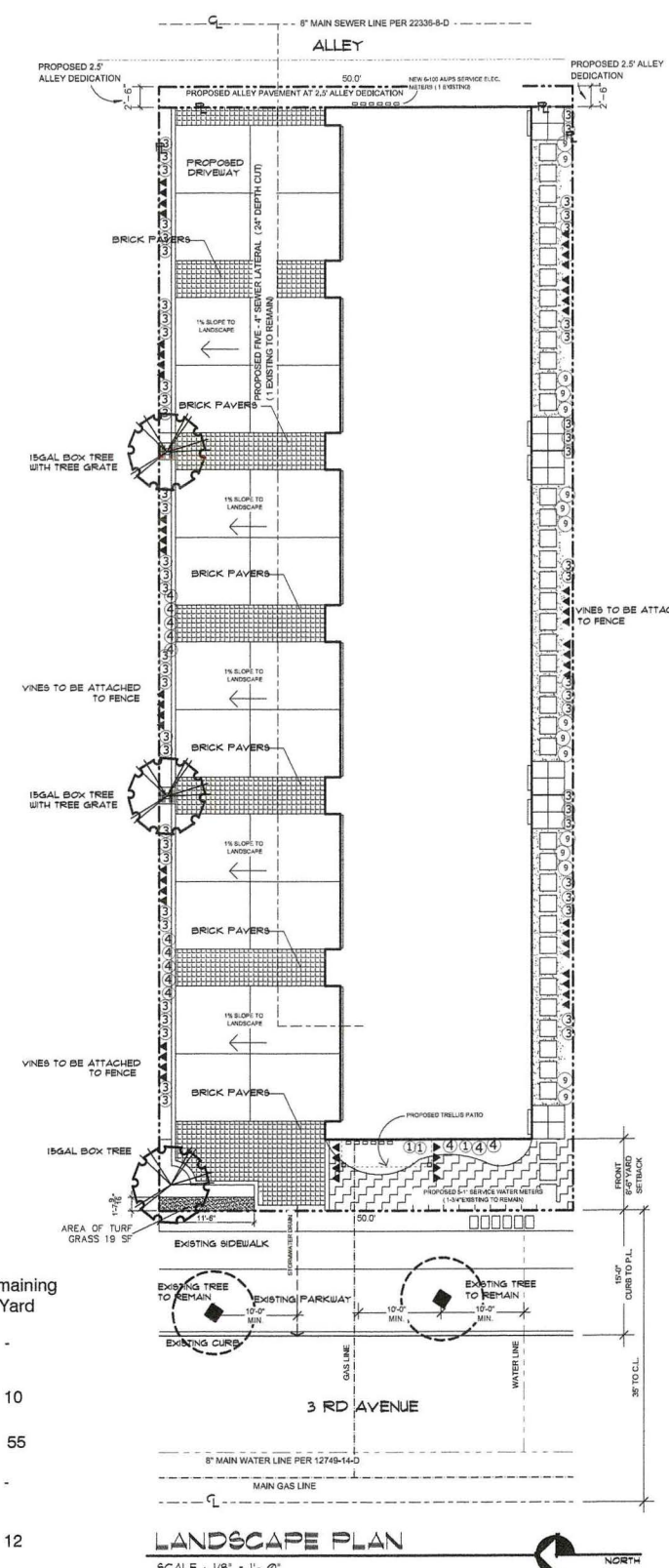
DATE: _____

SCALE: _____

PROJECT: _____

LOCATION: _____

DATE: _____



Street Yard	Remaining Yard
0	-
3	10
4	55
3	-
2	12
0	16

MINIMUM DISTANCE TO STREET TREES

- TRAFFIC SIGNALS (STOP SIGN)-20 feet
- UNDERGROUND UTILITY LINES - 9 feet
- ABOVE GROUND UTILITY STRUCTURES -10 feet
- DRIVEWAY ENTRIES-10 feet
- INTERSECTIONS (intersecting curb lines of two streets) - 25 feet
- SEWER LINE-10 feet

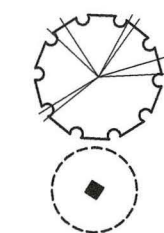
ALL LANDSCAPE AND IRRIGATION AREAS SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF LEMON GROVE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

DESIGN STATEMENT CONFORMANCE WITH COMMUNITY PLAN AND DESIGN MANUALS. THE PROPOSED USE AND PROJECT DESIGN MEET THE PURPOSE AND INTENT OF THE MID-CITY COMMUNITIES PLANNED DISTRICT (SECTION 1512.010), AND THE FOLLOWING DOCUMENTS, AS APPLICABLE TO THE SITE: THE MID-CITY COMMUNITY PLAN, THE UPTOWN COMMUNITY PLAN, THE MID-CITY DESIGN PLAN (HILLCREST NEIGHBORHOOD).

THE PROPOSED LANDSCAPING DESIGN MEETS THE OBJECTIVES OF THE UPTOWN COMMUNITY PLAN AS FOLLOWS:
 -PRESERVING EXISTING STREET TREES AND INCREASING THE QUALITY OF LANDSCAPING IN THE STREET YARD AREA
 -IMPROVING LANDSCAPING, STREET YARD IMPROVEMENTS IN DESIGNATED AREAS, INCLUDING TREE, STREET YARD TRELLIS AND THE REQUIRED STREET YARD LANDSCAPING AREA PER CITY OF SAN DIEGO MUNICIPAL CODE.

PLANT LIST

SYMBOL	BOTANICAL/Common NAME	QUANTITY/Size	DETAIL No.
--------	-----------------------	---------------	------------



Jacaranda Acutifolia Jacaranda 3- 15GAL (10 points each)



PODOCARPUS TREE MATURE TREE Existing 50 points/ +25 points per add. inch beyond 2"

2-POINTS 15 Podocarpus macrophylla 'Maki' Yew Pine 5 Gallon

2-POINTS 4 Ligustrum japonicum 'Texanum' Texas Privet 5 Gallon

1-POINT 3 Pittosporum Wheelerii Wheelers Dwarf 1 Gallon

1-POINT 1 Phromium tenax 'Bronze Baby' New Zealand Flax 5 Gallon

1-POINT VINES 1 Gall.

1-POINT 9 Dicksonia Antarctica Tasmanian tree fern 1 Gallon

- 3" THICK MULCH
- Fescue Blend Dwarf Marathon II

SUMMARY OF LANDSCAPE CALCULATIONS

STREET YARD:
 TOTAL AREA (8.5'x30')= 255 s.f. (0.9x425+21.25)
 PLANTING AREA REG. 212 s.f. provided 202 s.f.
 PLANT POINT REG. 21 pts. provided 24 pts.
 PLANTING AREA AS HARDSCAPE 119 s.f. POINTS ACHIEVED THROUGH TREES 10

REMAINING YARD:
 TOTAL AREA (21'x24'x2)= 1240 s.f. (0.5x1240+62)
 PLANTING AREA REG. 40.5E/tree provided 302 s.f.
 PLANT POINT REG. 60 pts. provided 111 pts.
 PLANTING AREA AS HARDSCAPE 119 s.f. POINTS ACHIEVED THROUGH TREES 20
 NUMBER OF BUILDINGS 1

VEHICULAR USE AREA
 TOTAL AREA: 1440
 PLANTING AREA REG. 40.5E/tree PROVIDED 186
 PLANT POINT REG. 60 pts. PROVIDED 111

3rd AVENUE HOMES

Prepared By:
 Darren Bwy
 3457 Stetson Ave.
 San Diego, CA 92122
 (858) 405-6651

Project Address:
 3745 3rd Ave.
 San Diego, CA 92103

Project Name: 3rd Ave Homes
 Original Date: November 10 2014

Title Sheet: Landscape Site Plan sheet 6 of 7

Revision I
 Revision II
 Revision III

3RD AVE HOMES
 3745 3RD AVE. SAN DIEGO, CA 92103

Darren Bwy

3rd Ave Project
 Landscape

Project number: 382069
 Date: 9/5/2016
 Drawn by: g
 Checked by: jg

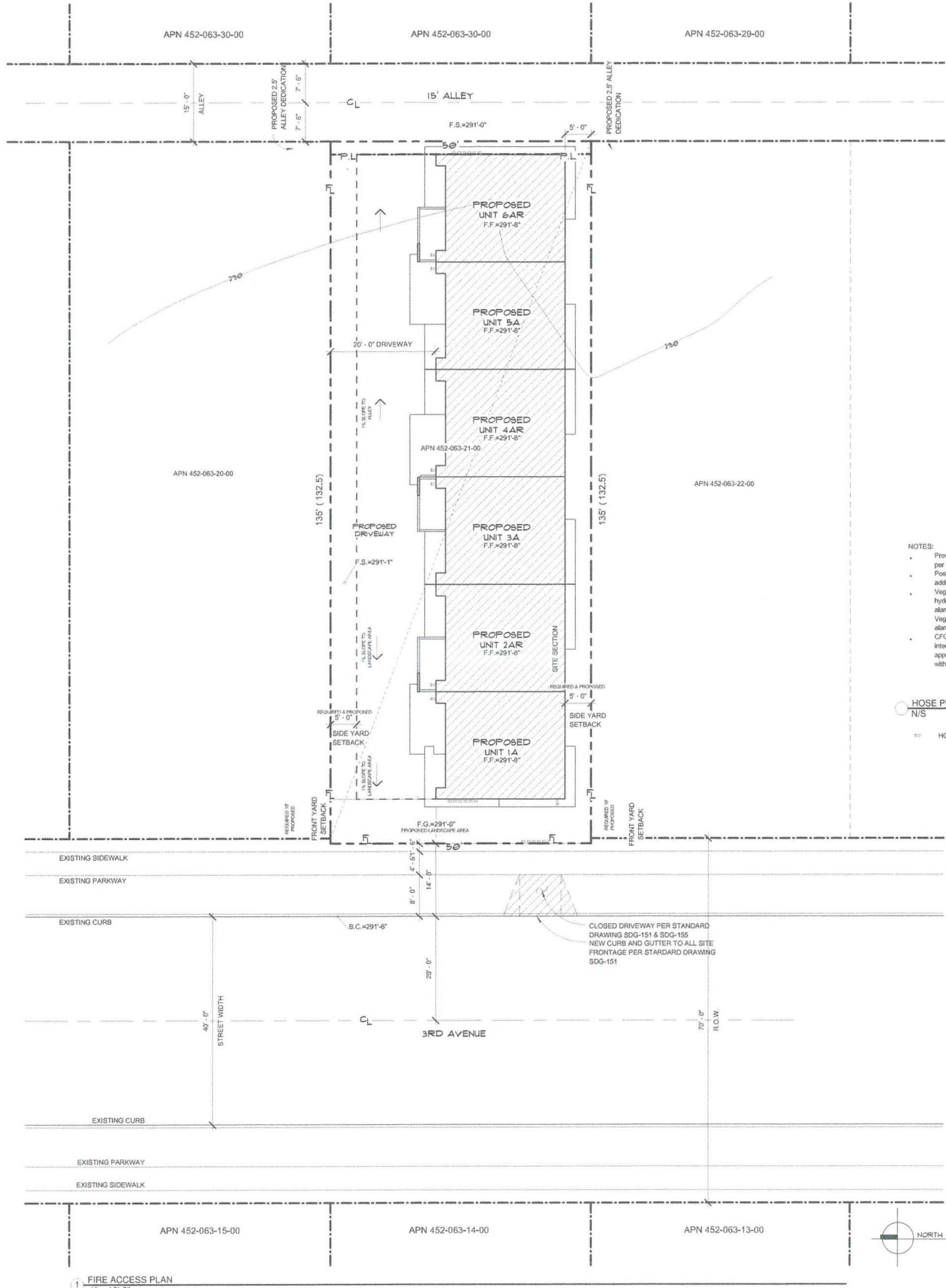
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Scale: As indicated



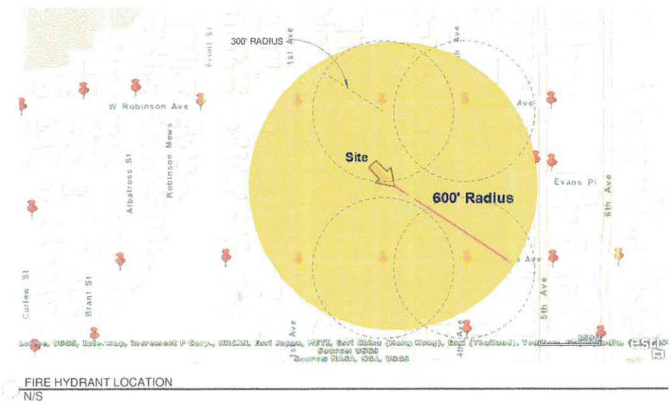
THIS PLAN IS THE PROPERTY OF 3RD AVE HOMES INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

REVISIONS



- NOTES:
- Provide building address building, visible and legible from the street or road fronting the property per FHS Policy 9-20-6.
 - Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structure.
 - Vegetation shall be selected and maintain in such a manner as to allow immediate access to all hydrants, valves, Fire Department connections, pull stations, extinguishers, sprinklers risers, alarm control panels, rescue windows, and other devices or areas used for firefighting purposes. Vegetation or building features shall not obstruct address numbers or inhibit the functioning of alarm bells, horns or strobes.
 - CFC 105.4.4 - Construction documents approved by Fire Code Official are approved with the intent that such construction documents comply in all respects with this code. Review and approval by the Fire Code Official shall not relieve the applicant of the responsibility of compliance with this code.

HOSE PULL LOCATION
N/S
HOSE BIB



1 FIRE ACCESS PLAN
1" = 10'-0"

3rd AVENUE HOMES	
Prepared By: Darrin Bwy 3457 Stetson Ave. San Diego, CA 92122 (858) 405-6651	Revision I Revision II Revision III
Project Address: 3745 3rd Ave. San Diego, CA 92103	Original Date : November 10 2014
Project Name: 3rd Ave Homes	sheet 8 of 8
Title Sheet: FIRE SITE PLAN	

3RD AVE. HOMES
3745 3RD AVE. SAN DIEGO, CA 92103

3RD AVE. HOMES
Fire Department

Project number	382069
Date	11/10/2014
Drawn by	gg
Checked by	rl
7	
Scale	As Indicated

3P182069 158 02 2014