



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 5, 2017 REPORT NO. HO-17-020

HEARING DATE: April 12, 2017

SUBJECT: BALBOA CHICK-FIL-A SDP, Process Three Decision

PROJECT NUMBER: [471551](#)

OWNER/APPLICANT: BalCo, LLC, Owner/Leah Lombardi, Applicant

SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing vacant building and the construction of a new restaurant with drive-thru service on a 0.73-acre site located at 5955 Balboa Avenue in the Clairemont Mesa Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 1881557.

Community Planning Group Recommendation: On July 19, 2016, the Clairemont Community Planning Group voted 8-5-0 to recommend approval of the proposed project without conditions (Attachment 8).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15303(b) (Replacement or Reconstruction), 15303(c) (New Construction or Conversion of Small Structures), 15304(a)(f) (Minor Alterations to Land), and 15332(a)-(e) (In-Fill Development Projects). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 6, 2017, and the opportunity to appeal that determination ended February 21, 2017.

BACKGROUND

The proposed project site is located at 5955 Balboa Avenue (Attachment 1), at the northeastern end of Balboa Mesa Shopping Center west of Mt. Alifan Drive. The property is in the CC-1-3 Zone, the Airport Land Use Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), Airport Influence Area (MCAS Miramar and Montgomery Field - Review Area 2), FAA Part 77 Noticing Area, Clairemont Mesa Height Limitation Overlay Zone, and the Community Plan Implementation Overlay Zone-Type B, and is designated for Commercial use within the Clairemont Mesa Community Plan (Attachment 2). The 0.73-acre project site is currently developed with a vacant one-story building,

previously a Coco's restaurant since 1995. The project site is surrounded by commercial uses, including Auto Zone immediately to the east, parking and an office complex (Executive Towers) to the south, a strip commercial center to the west, and a Target / Home Depot Center north of Balboa Avenue (Attachment 3).

The existing building was constructed in 1971, and on August 17, 2016, City Staff determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

The proposed drive-thru restaurant is allowed by right in the CC-1-3, which is a Community Commercial zone intended to accommodate development with an auto orientation. A Process Three, Site Development Permit (SDP) is required due to the location of the proposed development within the Community Plan Implementation Overlay Zone (CPIOZ), Type B, pursuant to San Diego Municipal Code Section [132.1402](#) and [Table 132-14B](#). The purpose of the CPIOZ is to ensure that development proposals are reviewed for consistency with the use and development criteria that have been adopted for specific sites per the community plan.

Project Description:

The project proposes to demolish an existing vacant building and construct a new, 1,999-square-foot Chick-fil-A restaurant with drive-thru service, and associated site improvements to include new concrete walkways, parking stalls, driveways, a drive-thru lane, planters, landscaping, and signage including a 30-foot tall pole sign. The building will include a kitchen, service area, restrooms, storage and office space. No interior seating is proposed. Exterior seating is provided in a designated covered patio area.

The project incorporates architectural elements to create a pedestrian friendly environment by including a green wall and planters, a shaded patio area, and pedestrian paths that connect the restaurant and patio area to Balboa Avenue, the shops to the west, and the office building to the south. The drive-thru component has been designed to accommodate the stacking of 15 vehicles. Access to the site will be provided via the existing curb cut on Balboa Avenue, which has been conditioned to be reconstructed to a 30-foot wide City standard driveway (Attachment 6, condition 17).

The project has been designed to comply with all applicable development regulations of the underlying CC-1-3 zone including setbacks, height, floor area ratio, façade articulation, parking, landscaping, and signage as well as recommendations of the Community Plan as explained in the Community Plan Analysis Section of this report. The project is not requesting, nor does it require any deviations or variances, from the applicable regulations and policy documents.

Furthermore, the project has been determined to be in conformance with the Airport Land Use Compatibility Overlay Zone regulations set forth in [Chapter 13, Article 2, Division 15](#) of the SDMC. The project is located within the MCAS Miramar and Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area (MCAS Miramar and Montgomery Field - Review Area 2). In accordance with [SDMC Section 132.1505\(b\) \(2\)](#), the project has been determined to be in

conformance with the airspace protection compatibility requirements set forth in [SDMC Section 132.1520](#). Federal Administration Aviation (FAA) Notification is not required as the proposed structure height of 21 foot, 6 inches, above the existing ground elevation of 360 feet Above Mean Sea Level (AMSL), is below the required notification threshold for both MCAS Miramar (585 feet AMSL) and Montgomery Airport (517 feet AMSL). Additionally dedication of an avigation easement is not required as the project does not involve the triggering factors set forth in [SDMC Section 132.1530](#).

General Plan / Community Plan Analysis:

The project site is within the Clairemont Mesa Community Plan area. The 0.73-acre site is designated for Commercial use, which would allow the proposed drive-thru restaurant. The proposed project is located in the Community Core CPIOZ as identified in the Commercial Element of the Community Plan. The Plan states that as redevelopment occurs within the CPIOZ, emphasis should be placed on creating a pleasant and convenient shopping environment for residents in Clairemont Mesa. The proposed restaurant provides amenities that include a shaded patio area, a green wall, landscaping, and pedestrian pathways that help achieve this objective. Furthermore, the project proposes to incorporate neutral colors consistent with nearby restaurants and buildings that helps to implement the objective of providing a unifying architectural theme for the community core. The project addresses General Plan Conservation Element goals by providing a green roof, bicycle parking, and designated stalls for energy efficient vehicles.

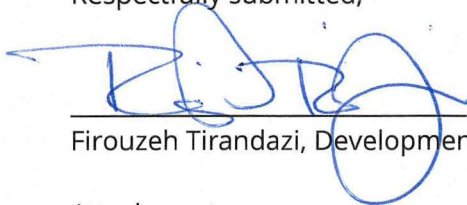
Conclusion:

City staff has reviewed the application for the Site Development Permit and has determined that the project complies with all applicable regulations and policy documents. The project is consistent with the recommended land use and development standards in effect for this site per the adopted Clairemont Mesa Community Plan, SDMC, and the General Plan. Therefore, staff recommends the Hearing Officer approve the Site Development Permit as presented.

ALTERNATIVES

1. Approve Site Development Permit No. 1881557, with modifications.
2. Deny Site Development Permit No. 1881557, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

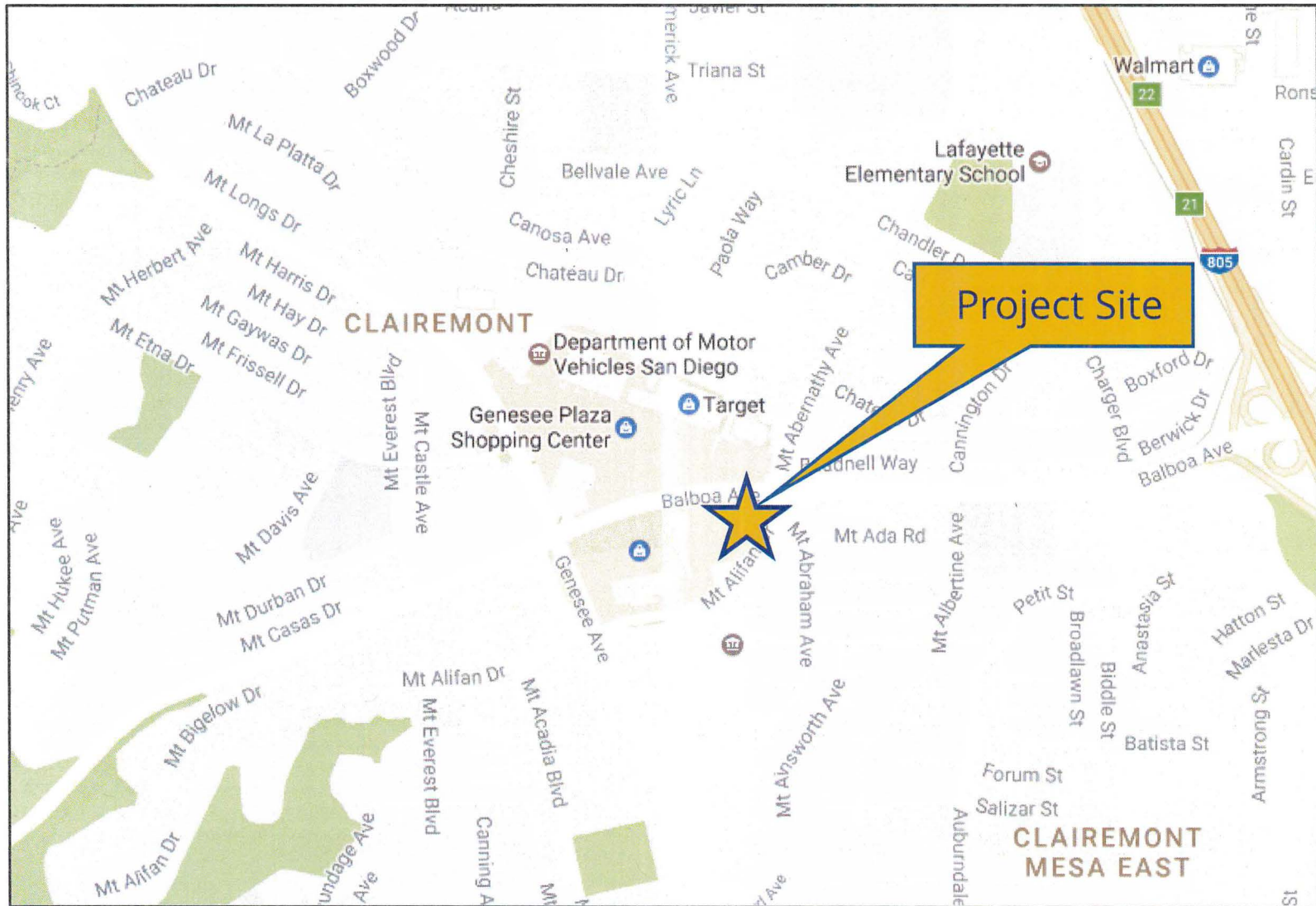


Firouzeh Tirandazi, Development Project Manager

Attachments:

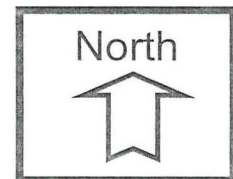
1. Project Location Map
2. Community Plan Land Use Map

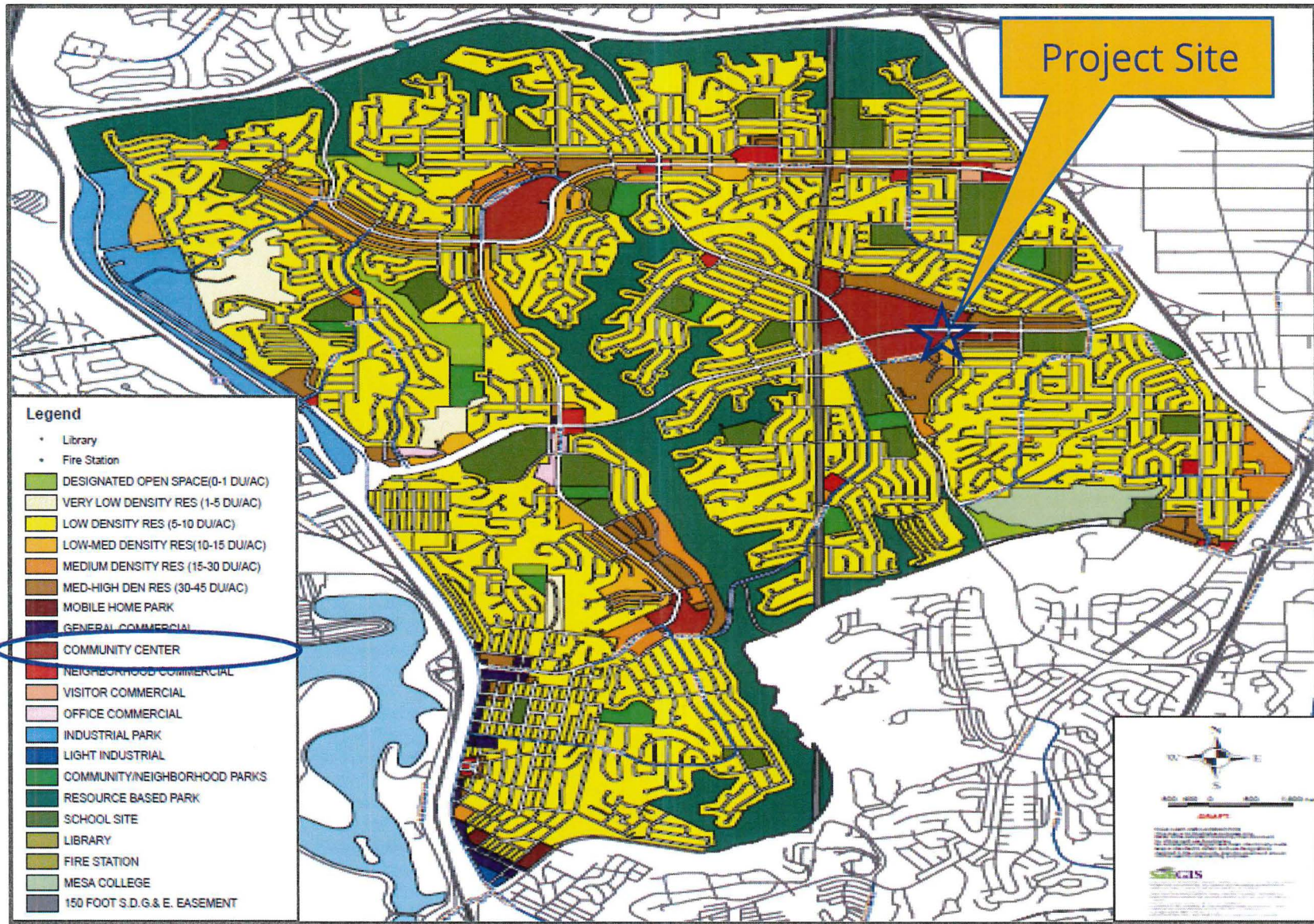
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map

BALBOA CHICK-FIL-A SDP / 5955 BALBOA AVENUE
PROJECT NO. 471551

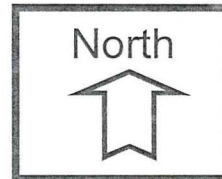


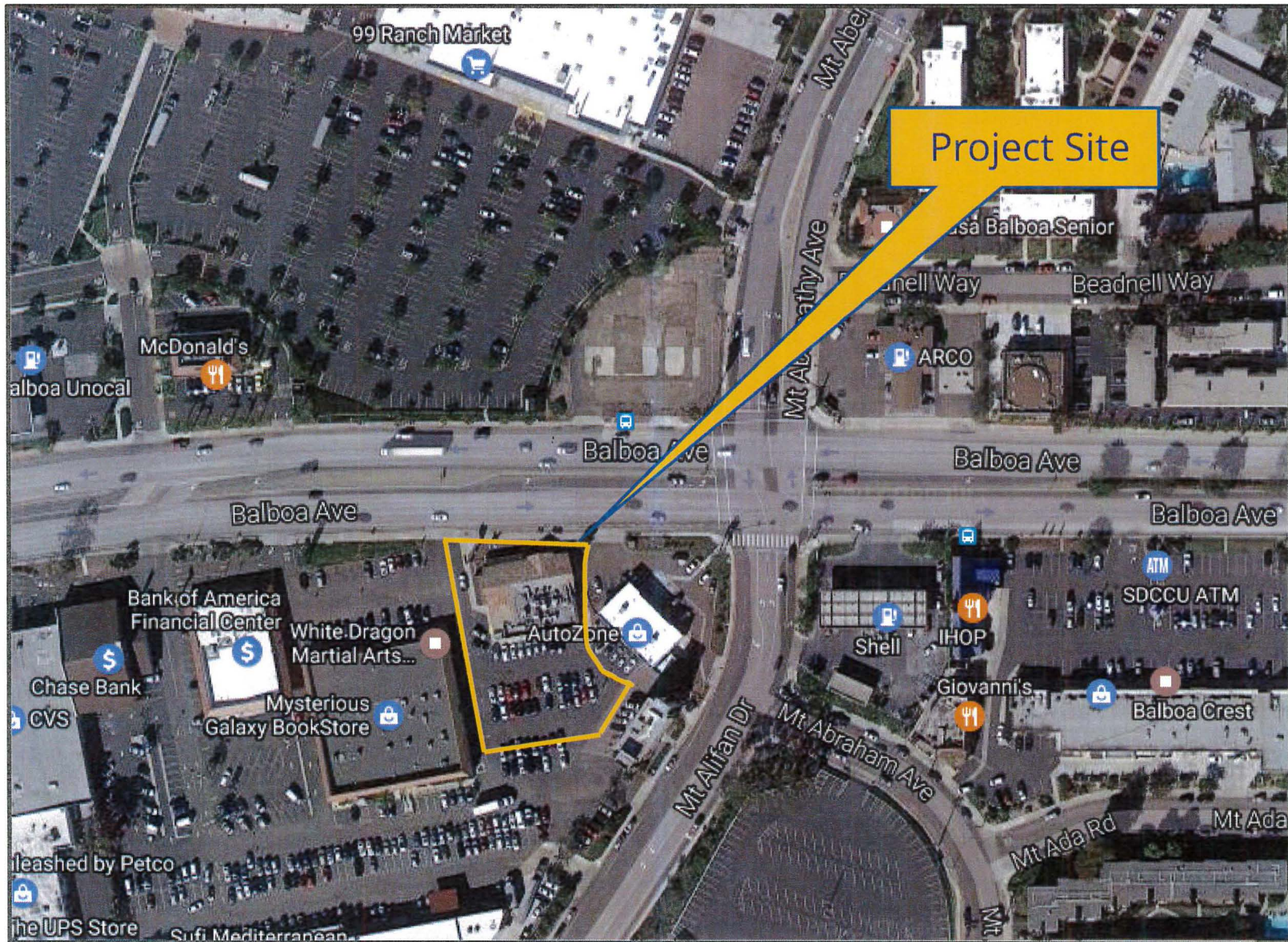


Clairemont Mesa Land Use Map

BALBOA CHICK-FIL-A SDP / 5955 BALBOA AVENUE

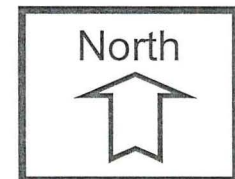
PROJECT NO. 471551





Aerial Photograph

BALBOA CHICK-FIL-A SDP / 5955 BALBOA AVENUE
PROJECT NO. 471551



PROJECT DATA SHEET

PROJECT NAME:	Balboa Chick-Fil-A	
PROJECT DESCRIPTION:	Construction of Balboa Chick-Fil-A.	
COMMUNITY PLAN AREA:	Clairemont Mesa	
DISCRETIONARY ACTIONS:	Process Three, Site Development Permit for CPIOZ-B	
COMMUNITY PLAN LAND USE DESIGNATION:	Designated General Commercial as Commercial/Retail within the community core area.	
ZONING INFORMATION:		
ZONE:	CC-1-3 Zone	
HEIGHT LIMIT:	30 ft. (Clairemont Mesa Height Limitation Overlay Zone) / 45 ft. CC-1-3 zone	
LOT SIZE:	0.73 acres	
FLOOR AREA RATIO:	0.75 Maximum, 0.06 Proposed	
FRONT SETBACK:	none	
SIDE SETBACK:	10 feet Minimum, 0 feet option, Proposed 0 feet	
STREETSIDE SETBACK:	N/A	
REAR SETBACK:	10 feet Minimum, 0 feet option, Proposed 0 feet	
PARKING:	15 spaces required, 30 provided	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Community Center; CC-1-3	Commercial Retail
SOUTH:	Community Center; CC-1-3	Commercial Retail
EAST:	Community Center; CC-1-3	Commercial Retail
WEST:	Community Center; CC-1-3	Commercial Retail
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 19, 2016, the Clairemont Community Planning Group voted 8-5-0 to recommend approved of the proposed project without conditions.	

HEARING OFFICER RESOLUTION NO. _____
 SITE DEVELOPMENT PERMIT NO. 1881557
BALBOA CHICK-FIL-A SDP - PROJECT NO. 471551

WHEREAS, BalCo, LLC, Owner, and Chick-fil-A, Inc., Permittee, filed an application with the City of San Diego for a permit to demolish an existing vacant building, and construct a new 1,999-square-foot restaurant with drive-thru service and associated improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1881557 on portions of a 0.73-acre site;

WHEREAS, the project site is located at 5955 Balboa Avenue, in the in the CC-1-3 Zone, the Airport Land Use Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), Airport Influence Area (MCAS Miramar and Montgomery Field - Review Area 2), FAA Part 77 Noticing Area, Clairemont Mesa Height Limitation Overlay Zone, and the Community Plan Implementation Overlay Zone-B (CPIOZ-B), within the Clairemont Mesa Community Plan area. ;

WHEREAS, the project site is legally described as Lot 4 of Balboa Towers Commercial Site, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 6566, filed in the Office of County Recorder of San Diego County, January 2, 1970;

WHEREAS, on April 12, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1881557 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on February 6, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15303(b) (Replacement or Reconstruction), 15303(c) (New Construction or Conversion of Small Structures), 15304(a)(f) (Minor Alterations to Land), and 15332(a)-(e) (In-Fill Development Projects), and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 12, 2017.

FINDINGS:

Site Development Permit – SDMC Section 126.0504(a)

(1) The proposed development will not adversely affect the applicable land use plan.

The project proposes to demolish an existing vacant building and construct a new, 1,999-square-foot Chick-fil-A restaurant with drive-thru service, and associated site improvements including new concrete walkways, parking stalls, driveways, a drive-thru lane, planters, landscaping, and signage. The building will include a kitchen, service area, restrooms, storage

and office space. No interior seating is proposed. Exterior seating is provided in a designated covered patio area. The proposed drive-thru restaurant is allowed by right in the CC-1-3, which is a Community Commercial zone intended to accommodate development with an auto orientation. The site is within the Clairemont Mesa Community Plan area and designated for Commercial use. The proposed use is consistent with the underlying zone and land use designation.

The proposed project is located in the Community Core Community Plan Implementation Overlay Zone (CPIOZ) as identified in the Commercial Element of the Community Plan. The Plan states that as redevelopment occurs within the CPIOZ, emphasis should be placed on creating a pleasant and convenient shopping environment for residents in Clairemont Mesa. The proposed restaurant provides amenities that include a shaded patio area, a green wall, landscaping and pedestrian pathways that connect the restaurant and patio area to Balboa Avenue, the shops to the west, and the office building to the south, which help to achieve this objective. Furthermore, the project proposes to incorporate neutral colors consistent with nearby restaurants and buildings that helps to implement the objective of providing a unifying architectural theme for the community core. Therefore, the proposed development will not adversely affect the applicable land use plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project has been designed to comply with all applicable development regulations. The discretionary permit controlling the development and continued use of this site contains specific regulatory conditions ensuring compliance with all applicable regulations and policies. Access to the site will be provided via the existing curb cut on Balboa Avenue, which has been conditioned to be reconstructed to a 30-foot City standard driveway improving safety. Construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire, and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors. Furthermore, this project has been reviewed pursuant to the California Environmental Quality Act, and the environmental analysis did not find any significant impacts to public health and safety. Therefore, the project will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project has been designed to comply with all applicable development regulations of the underlying CC-1-3 zone including setbacks, height, floor area ratio, façade articulation, parking, landscaping, and signage. Furthermore, the project has been determined to be in conformance with the Airport Land Use Compatibility Overlay Zone regulations set forth in the San Diego Municipal Code (SDMC) Chapter 13, Article 2, Division 15. The project is located within the MCAS Miramar and Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport Influence Area (MCAS Miramar and Montgomery Field - Review Area 2). In accordance with SDMC Section 132.1505(b) (2), the project has been determined to be in conformance with the airspace protection compatibility requirements set forth in SDMC Section 132.1520. Federal Administration Aviation (FAA) Notification is not required as the proposed structure

height of 21 foot, 6 inches, above the existing ground elevation of 360 feet Above Mean Sea Level (AMSL), is below the required notification threshold for both MCAS Miramar (585 feet AMSL) and Montgomery Airport (517 feet AMSL). Additionally dedication of an avigation easement is not required as the project does not involve the triggering factors set forth in SDMC Section 132.1530.

The project is not requesting, nor does it require any deviations or variances from the applicable regulations and policy documents. Therefore, the proposed development will comply with the regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer Site Development Permit No. 1881557 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1881557, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: **DATE OF APPROVAL**

IO#: 24006481

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006481

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1881557
BALBOA CHICK-FIL-A SDP - PROJECT NO. 471551
 HEARING OFFICER

This Site Development Permit No. 1881557 is granted by the Hearing Officer of the City of San Diego to BalCo, LLC, Owner, and Chick-fil-A, Inc., Permittee pursuant to San Diego Municipal Code [SDMC] section 126.0502. The 0.73-acre site is located at 5955 Balboa Avenue, in the in the CC-1-3 Zone, the Airport Land Use Compatibility Overlay Zone (MCAS Miramar and Montgomery Field), Airport Influence Area (MCAS Miramar and Montgomery Field - Review Area 2), FAA Part 77 Noticing Area, Clairemont Mesa Height Limitation Overlay Zone, and the Community Plan Implementation Overlay Zone-B (CPIOZ-B), within the Clairemont Mesa Community Plan area. The project site is legally described as: Lot 4 of Balboa Towers Commercial Site, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 6566, filed in the Office of County Recorder of San Diego County, January 2, 1970.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing vacant building, and construct a new 1,999-square-foot restaurant with associated improvements, on a lot located within an existing commercial center, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 12, 2017, on file in the Development Services Department. The project shall include:

- a. Demolition of an existing vacant building;
- b. Construction of a new, approximately 1,999-square-foot, restaurant with drive-thru service;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 27, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three sheets of the construction plans under the heading "Climate Action Plan Requirements."

12. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

GEOLOGY REQUIREMENTS:

13. Prior to the issuance of any construction permits (grading or building permits), the Owner/Permittee shall submit an addendum geotechnical investigation report that provides a design-level infiltration investigation per the Storm Water Standards that includes geotechnical hazard

analyses, discussion of mitigation measures, and design recommendations, as well as an updated and fully completed Worksheet C.4-1. The addendum geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 275 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Mt. Alifan Drive Right-of-Way.
17. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing 30-foot driveway, with a City standard driveway, adjacent to the site on Balboa Avenue satisfactory to the City Engineer.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
21. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A," on file in the Office of the Development Services Department.

23. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
24. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."
25. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under Land Development Code 142.0403(b) (5).
26. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-041, as part of the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.
27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
29. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
30. In accordance with SDMC section 142.1210(d), all signs on premises shall comply with the following maintenance regulations: (1) All signs and sign supports, including decorative covers, shall be

maintained in a clean and safe condition; (2) Signs shall be maintained in a graffiti-free condition; (3) The owner shall keep the display area of all painted signs neatly printed or posted at all times and shall correct any painting, fading, chipping, peeling, or flaking paint or plastic and mechanical or structural defect; and (4) Paint or debris associated with signs shall not litter public property or public rights-of-way.

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

32. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

33. Prior to the issuance of any construction permits, the Owner/Permittee shall provide a mutual access easement, a shared access easement, and a shared parking agreement for the 54 parking spaces that will be shared within the subject site, satisfactory to the City Engineer.

34. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current 30' standard driveway to replace the existing driveway adjacent to the site on Balboa Avenue, satisfactory to the City Engineer.

35. No fences/shrubs higher than 36 inches in height are permitted in the visibility areas of the proposed driveways and street intersections, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

37. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

38. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.

39. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
40. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
41. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the capping (abandon) at the property line of any existing unused sewer lateral and installation of new sewer lateral(s) which must be located outside of any driveway or vehicular use area.
42. Prior to issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) for the proposed 6-inch private sewer lateral located in the driveway.
43. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the removal (kill) at the main of any existing unused water service.
44. Prior to the issuance of any construction permits, the Owner/Permittee shall provide plans for the required covered trash enclosure/storage room.
45. Prior to issuance of any construction permits, the Owner/Permittee shall obtain Encroachment and Maintenance Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, medians, landscaping, enriched paving, curb, gutter and sidewalk, and electrical conduits to be installed within the public right-of-way.
46. At the time of Ministerial Review, the Owner/Permittee shall submit B-sheet drawings, granting the City of San Diego the required Water Access and Maintenance Easement for the proposed water meters in private property, adjacent to the existing water easement on the west side of the property. The exact dimensions will be determined during Ministerial Review.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 12, 2017 and Resolution No. _____.

Permit Type/PTS Approval No.: SDP NO. 1881557

Date of Approval: _____

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

BalCo, LLC
Owner

By _____
Jason Sabouri
Managing Partner

Chick-fil-A, Inc.
Permittee

By _____
Jennifer Daw
Development Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

DATE OF NOTICE: February 6, 2017

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24006481

PROJECT NO: 471551
PROJECT NAME: Balboa Chik-Fil-A SDP
COMMUNITY PLAN AREA: Clairemont Mesa Community Plan
COUNCIL DISTRICT(S): 6
LOCATION: 5955 Balboa Avenue, San Diego, CA 92111, APN 419-820-05

PROJECT DESCRIPTION:

Site Development Permit # 1881557 (Process 3) for the demolition of an existing vacant restaurant and construct a new 1,999-square-foot restaurant with a drive-through component on a 0.73-acre site located at 5955 Balboa Avenue in the CC-1-3 Zone, Community Plan Implementation Overlay Zone-B, Clairemont Mesa Community Plan, Clairemont Height Overlay Zone, FAA Part 77 - Montgomery Field & MCAS Miramar, Airport Land Use Compatibility Overlay Zone (ALUC) Montgomery Field - Review Area 2 & MCAS Miramar - Review Area 2, Geological Hazards 23, 52, and Council District 6. APN: 419-820-05-00 (LEGAL DESCRIPTION: The Land Referred to hereon is situated in the City of San Diego, County of San Diego, and is described as follows: Parcel 1: Lot 4 of Balboa Towers Commercial Site, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 6566, Filed in the Office of the County Recorder of San Diego County, January 2, 1970. Parcel 2: An easement for ingress and egress and utilities over, under, along and across a continuous strip of land 28.00 feet in width, the center line of said strip being described as follows: Beginning at the northwest corner of Parcel 1, thence south 10° 07' 25" east 237.00 feet to a point, thence continuing south 10° 07' 25" east 14.00 feet, thence north 79° 52' 35" east 75 feet to a tangent 90.00 foot radius curve, concave southwesterly, thence easterly along said curve through an angle of 44° 12' 32", a distance of 69.44 feet, thence tangent to said curve south 55° 54' 53" east 16.81 feet to the southeasterly line of lot 3 of said balboa towers commercial site. Excepting that portion lying on Parcel 1 above. Said easement is to be used in common with others. Parcel 3: An easement for ingress and egress and utilities over, under, along, and across that portion of the southerly 25.00 feet of the northerly 38.00 feet of Lots 1, 2, and 3 of balboa towers commercial site, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 6566, Filed in the Office of the County Recorder of San Diego County, lying easterly of the westerly 89.55 feet of said Lot 1 (Measured along the northerly line) and lying westerly of the westerly line of said 28.00 foot strip described in Parcel 2 above. Said Easement to be used in common with others. Parcel 4: An easement for ingress and egress and utilities over, under, along, and across the northerly 13.00 feet of the easterly 10.66 feet of said Lot 1 (Measured along the Northerly Line) and

the northerly 13.00 feet of the westerly 19.32 feet of said Lot 2 (Measured along the Northerly Line) Said Easement to be used in common with others).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego

ENVIRONMENTAL DETERMINATION: Categorically exempt according to State CEQA Guidelines Section 15305 (a) (Minor Alterations in Land Use Limitations) Class 5. 15302(b) (Replacement or Reconstruction, 15303(c) (New Construction or Conversion of Small Structures, 15304(a)(f) (Minor Alterations to Land), 15332(a) through (e) (In-Fill Development Projects).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:

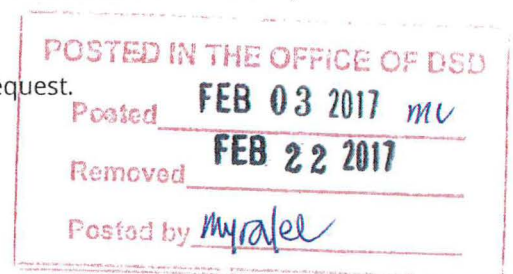
The City of San Diego conducted an environmental review which determined that the project meets the criteria set forth in State CEQA Guidelines Section 15302(b) (Replacement or Reconstruction, 15303(c) (New Construction or Conversion of Small Structures, 15304(a)(f) (Minor Alterations to Land), 15332(a) through (e) (In-Fill Development Projects). Section 15302. "Replacement or Reconstruction" is appropriate as this project replaces of a commercial structure with a new structure of substantially the same size, purpose, and capacity. Section 15303 "New Construction or Conversion of Small Structures" is appropriate as this project proposes a restaurant or similar structure not involving the use of significant amounts of hazardous substances, and not exceeding 2,500 square feet in floor area, where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. Section 15304 "Minor Alterations to Land" is appropriate as the site would incorporate grading on land with a slope of less than 10 percent. Section 15332 (a) through (e) is appropriate as the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare or threatened species; approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services. None of the exceptions listed in CEQA Guidelines Section 15300.2 apply, therefore this exemptions are applicable to the proposed project.

CITY PROJECT MANAGER: Firouzeh Tirandazi
MAILING ADDRESS: 1222 First Avenue, Suite 501 (MS #501), San Diego, CA 92101
PHONE NUMBER/E-MAIL: (619) 446-5325/FTirandazi@sandiego.gov

On February 1, 2017 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (February 21, 2017). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Balboa Chick-fil-A SDP		Project Number: 471551	Distribution Date: 04/12/2016
Project Scope/Location: CLAIREMONT MESA (Process 3) Site Development Permit to demolish an existing restaurant structure and construct a new 1,999 square-foot restaurant structure with a drive-through component on one single lot. The 0.72-acre site is located in the Community Plan Implementation Overlay Zone-B at 5955 Balboa Avenue within the CC-1-3 zone(s) of the Clairemont Mesa Community Plan area within Council District 6.			
Applicant Name: Leah Lombardi		Applicant Phone Number: (858) 231-0150	
Project Manager: Firouzeh Tirandazi	Phone Number: (619) 446-5325	Fax Number: (619) 446-5245	E-mail Address: FTirandazi@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 8	Members No 5	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: NAVEEN WANEY		TITLE: VICE CHAIR OF CCPG CHAIR OF CCPG-PPS	
SIGNATURE: 		DATE: 7/21/2016	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title: Genessee & Balboa Chick-fil-A
 Project No. For City Use Only

Project Address:
 5955 Balboa Ave., San Diego, CA 92111

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Chick-fil-A // Jennifer Daw
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 15635 Alton Parkway, Suite 350
 City/State/Zip:
 Irvine, CA 92618
 Phone No: (404) 305-4834 Fax No:
 Signature: Date:

Name of Individual (type or print):
 BalCo, LLC // Jason Sabouri
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 P.O. Box 230968
 City/State/Zip:
 Encinitas, CA 92023
 Phone No: (858) 336-5063 Fax No:
 Signature: Date: 2/9/2016

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

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Genessee & Balboa Chick-fil-A

Project Address:

5955 Balboa Ave., San Diego, CA 92111

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Additional pages attached Yes No

Name of Individual (type or print):
 Chick-fil-A // Jennifer Daw
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 15635 Alton Parkway, Suite 350

City/State/Zip:
 Irvine, CA 92618

Phone No: (404) 305-4834 Fax No:

Signature: *[Signature]* Date: 2/4/16

Name of Individual (type or print):
 BalCo, LLC // Jason Sabouri
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 P.O. Box 230968

City/State/Zip:
 Encinitas, CA 92023

Phone No: (858) 336-5065 Fax No:

Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: _____ Date: _____

CODE INFORMATION

BUILDING CODE:
 CALIFORNIA BUILDING CODE 2013
 PLUMBING CODE:
 CALIFORNIA PLUMBING CODE 2013
 MECHANICAL CODE:
 CALIFORNIA MECHANICAL CODE 2013
 ELECTRICAL CODE:
 CALIFORNIA ELECTRICAL CODE 2013
 FIRE CODE:
 CALIFORNIA FIRE CODE 2013
 GREEN CODE:
 CALGREEN 2013
 ENERGY CODE:
 CALIFORNIA ENERGY CODE 2013

Building Data

- 1. OCCUPANCY - B
- 2. CONSTRUCTION TYPE - VB
- 3. ALLOWABLE AREA - 6000 SQ. FT.
- 4. ALLOWABLE HEIGHT - 45'-0"
- 5. ACTUAL HEIGHT - 26'-2"
- 6. BUILDING AREA - 1,999 SQ. FT.
- 7. ZONING CLASSIFICATION - CC-1-3
- 8. PATIO SEATING - 32 SEATS
- 9. LANDSCAPE AREA - 5972 SQ. FT.
- 10. FAR - 0.06

Building Data

SITE AREA: 31,799 S.F. OR 0.73 AC

Zoning Information:

THE PROJECT SITE IS LOCATED WITHIN THE CC-1-3 ZONE, THE AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (MCAS MIRAMAR AND MONTGOMERY FIELD), THE AIRPORT INFLUENCE AREAS OVERLAY ZONE (MCAS MIRAMAR REVIEW AREA 2 AND MONTGOMERY FIELD REVIEW AREA 2), THE FAA PART 77 NOTICING AREA (MCAS MIRAMAR 585-595 MLS AND MONTGOMERY FIELD 517-527 MLS), THE CLAIREMONT MESA HEIGHT LIMITATION OVERLAY ZONE (30 FEET), THE COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ-B), AND IS WITHIN THE CLAIREMONT MESA COMMUNITY PLAN AREA. (NEW ISSUE)

GEOLOGIC HAZARD CATEGORY FOR THIS SITE IS 23 AND 52

PROPOSED USE: CHICK-FIL-A DRIVE-THRU RESTAURANT

Architect:

C.R.H.O.
 195 SOUTH "C" STREET 200
 TUSTIN, CA. 92780
 PHONE: (714) 832-1834
 FAX: (714) 832-1910
 CONTACT: RUSSELL HATFIELD
 E-MAIL:
 RUSSELL@CRHO.COM

Civil Engineer:

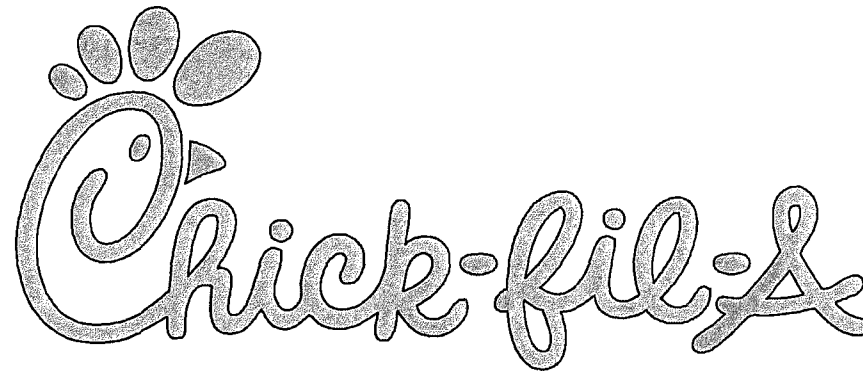
TRUXAW AND ASSOCIATES
 265 ANITA DRIVE
 SUITE III
 ORANGE, CA. 92868
 PHONE: (714) 935-0265
 CONTACT: STEVE HAGER
 E-MAIL: STEVEHAGER@TRUXAW.COM

Landscape Architect:

JOHN HOURIAN & ASSOC.
 107 AVENIDA MIRAMAR, SUITE "D"
 SAN CLEMENTE, CA 92672
 PHONE: (949) 489-5623
 FAX: (949) 489-5632
 CONTACT: JOHN HOURIAN
 E-MAIL: TEAM@HOURIANASSOCIATES.COM

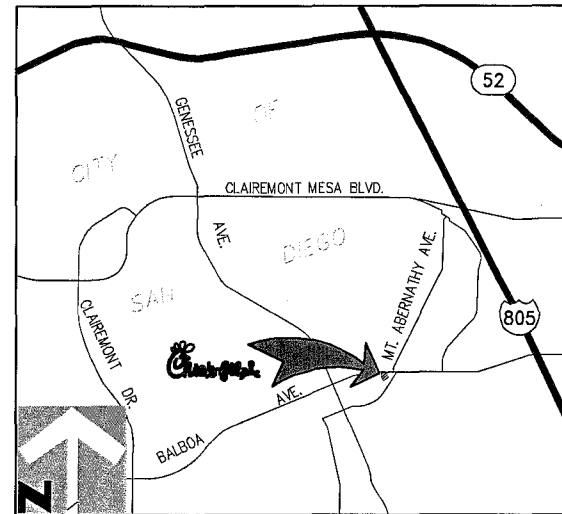
Owner :

BALCO, LLC.
 P. O. BOX 230968
 ENCINITAS, CA 92023
 PHONE: 858) 336-5063
 FAX: (855) 329-2773
 ATTN: JASON SABOURI



5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349-2998
 PHONE: (404) 765-8000
 FAX: (404) 684-8550

5955 BALBOA AVE.,
 SAN DIEGO, CA.



Drawing Index

- T-11 TITLE SHEET
- SP-1 SITE PLAN
- 1 OF 5 CIVIL TITLE SHEET
- 2 OF 5 CONCEPTUAL GRADING PLAN
- 3 OF 5 CONCEPTUAL GRADING PLAN
- 4 OF 5 BMP DETAILS
- 5 OF 5 CONCEPTUAL UTILITY PLAN
- L-1 PRELIMINARY PLANTING PLAN
- A-1.1A FLOOR PLAN
- A-1.7 ROOF PLAN
- A-2.1 EXTERIOR ELEVATIONS
- A-2.2 EXTERIOR ELEVATIONS
- 27045 PYLON SIGN DRAWING

Project Narrative:

THIS APPLICATION IS FOR A SDP SUBMITTAL, PROCESS 3, FOR A NEW 1,999 SF CHICK-FIL-A DRIVE-THRU RESTAURANT, TO REPLACE A VACANT COCO'S RESTAURANT.

THE SITE IS CURRENTLY ZONED COMMERCIAL-1, CC-1-3, WHICH IS A COMMUNITY COMMERCIAL ZONE INTENDED TO ACCOMMODATE DEVELOPMENT WITH AN AUTO ORIENTATION. DRIVE-THRU'S ARE ALLOWED BY RIGHT IN THIS ZONE. THE SITE IS ALSO LOCATED WITHIN THE CLAIREMONT MESA PLAN, WHICH REQUIRES A SITE DEVELOPMENT PERMIT, PROCESS 3, TO ENSURE COMPLIANCE WITH THE COMMUNITY PLAN. PROCESS 3 INVOLVES PUBLIC PRESENTATION OF THE PROJECT BEFORE A HEARING OFFICER, AND APPEALS (IF APPLICABLE) ARE HEARD AT THE PLANNING COMMISSION.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREON IS SITUATED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 4 OF BALBOA TOWERS COMMERCIAL SITE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6566, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 2, 1970.

PARCEL 2:

AN EASEMENT FOR INGRESS AND EGRESS AND UTILITIES OVER, UNDER, ALONG AND ACROSS A CONTINUOUS STRIP OF LAND 28.00 FEET IN WIDTH, THE CENTER LINE OF SAID STRIP BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTH-WEST CORNER OF PARCEL 1, THENCE SOUTH 10° 07' 25" EAST 237.00 FEET TO A POINT, THENCE CONTINUING SOUTH 10° 07' 25" EAST 14.00 FEET, THENCE NORTH 79° 52' 35" EAST 75.00 FEET TO A TANGENT 90.00 FOOT RADIUS CURVE, CONCAVE SOUTH-WESTERLY, THENCE EASTERLY ALONG SAID CURVE THROUGH AN ANGLE OF 44° 12' 32" A DISTANCE OF 69.44 FEET, THENCE TANGENT TO SAID CURVE SOUTH 55° 54' 53" EAST 16.81 FEET TO THE SOUTH-EASTERLY LINE OF LOT 3 OF SAID BALBOA TOWERS COMMERCIAL SITE.

EXCEPTING THAT PORTION LYING IN PARCEL 1 ABOVE.

SAID EASEMENT IS TO BE USED IN COMMON WITH OTHERS.

PARCEL 3:

AN EASEMENT FOR INGRESS AND EGRESS AND UTILITIES OVER, UNDER, ALONG AND ACROSS THAT PORTION OF THE SOUTHERLY 25.00 FEET OF THE NORTHERLY 38.00 FEET OF LOTS 1, 2 AND 3 OF BALBOA TOWERS COMMERCIAL SITE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6566, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, LYING EASTERLY OF THE WESTERLY 89.55 FEET OF SAID LOT 1 (MEASURED ALONG THE NORTHERLY LINE) AND LYING WESTERLY OF THE WESTERLY LINE OF SAID 28.00 FOOT STRIP DESCRIBED IN PARCEL 2 ABOVE.

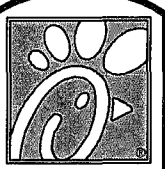
SAID EASEMENT IS TO BE USED IN COMMON WITH OTHERS.

PARCEL 4:

AN EASEMENT FOR INGRESS AND EGRESS AND UTILITIES OVER, UNDER, ALONG AND ACROSS THE NORTHERLY 13.00 FEET OF THE EASTERLY 10.66 FEET OF SAID LOT 1 (MEASURED ALONG THE NORTHERLY LINE) AND THE NORTHERLY 13.00 FEET OF THE WESTERLY 19.32 FEET OF SAID LOT 2 (MEASURED ALONG THE NORTHERLY LINE).

SAID EASEMENT IS TO BE USED IN COMMON WITH OTHERS.

APN: 419-820-05-00



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal

C · R · H · O

Architecture Interior Planning
 195 South "C" Street 200
 Tustin, California 92780
 714 832-1834
 FAX 832-1910

STORE
 BALBOA &
 GENESSEE

5955 BALBOA AVE.
 SAN DIEGO, CA

SHEET TITLE
 TITLE SHEET

VERSION: H-V6
 ISSUE DATE: 12-2015

Job No. : 15-192

Store : 03778

Date : 07-21-16

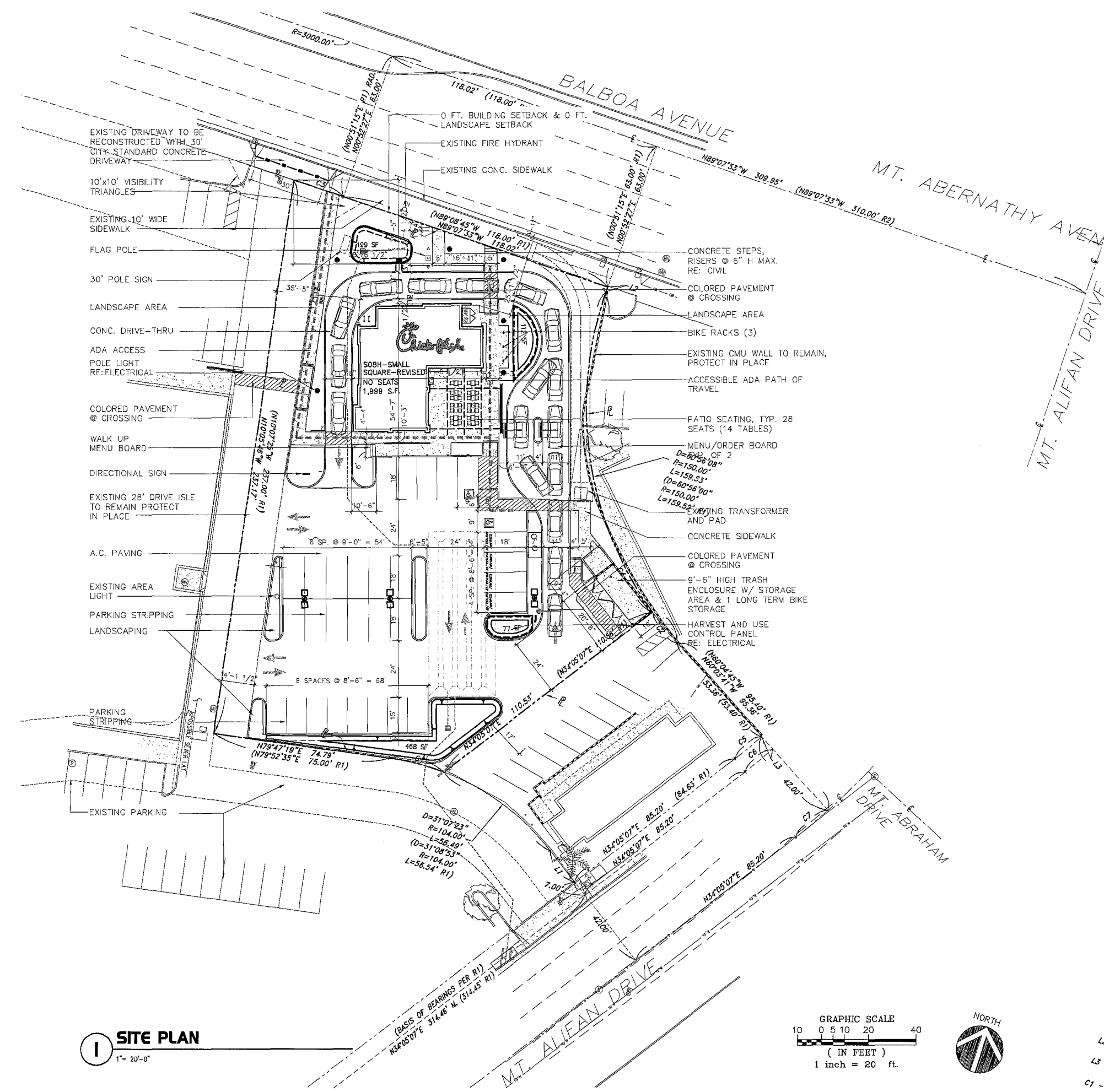
Drawn By : AM

Checked By : RH

Sheet

T-11

I:\Projects\15-192\15-192-000\15-192-000-001.dwg - 07/21/2016 10:30 AM - 10/27/2016 10:30 AM - 10/27/2016 10:30 AM - 10/27/2016 10:30 AM



1 SITE PLAN
1" = 20'-0"

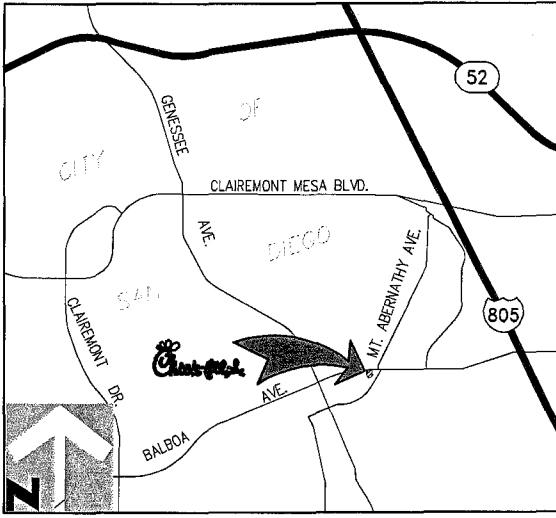
PARKING

STANDARD SPACES REQUIRED:	15 STALLS / 1,000 GFA
TOTAL SPACES REQUIRED:	1,999 / 1,000 = 1.99 * 15 = 30 SPACES
PARKING PROVIDED:	30 SPACES (28 STANDARD + 2 H.C.)
STACKING:	15 CAR STACK

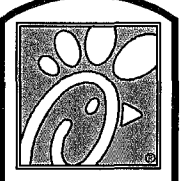
ATTACHMENT 10

NOTES

- PROJECT IS NOT ADJACENT TO TRANSIT
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING PROPERTY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- SPEED LIMIT OF BALBOA AVENUE IS 45 MPH



2 VICINITY MAP
N.T.S.



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



C · R · H · O

Architecture Interior Planning
135 South "C" Street, 200
Tustin, California 92780
714 832-1834
FAX 832-1810

STORE
BALBOA &
GENESSEE

5955 BALBOA AVE.
SAN DIEGO, CA

SHEET TITLE
SITE PLAN

VERSION: H-V6
ISSUE DATE: 12-2015

Job No. : 15-192
Store : 03778
Date : 07-21-18
Drawn By : AM
Checked By: RH

Sheet

SP-1

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET SEQ.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT ID. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DESMETURE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (808) 627-3200.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REFINED GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9405 AERO DR.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME, COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SODAS, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADES, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET ____ FOR MIX AND SPECIFICATIONS.

GROUND WATER DISCHARGE NOTES

- ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. R9-2015-0013 NPDES C68918003.
- THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
- ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. R9-2015-0013 NPDES NO. C68918003.

SITE DESIGN SOURCE CONTROL AND POLLUTANT CONTROL BMP OPERATION + MAINTENANCE PROCEDURE					
STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:					
O&M RESPONSIBLE PARTY DESIGNER: PROPERTY OWNER: CHICK-FIL-A INC.					
BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	SHEET NUMBER(S)
SITE DESIGN ELEMENTS DESCRIPTION: SD-1, SD-2, SD-3, SD-4, SD-5					YES NO
SOURCE CONTROL ELEMENTS DESCRIPTION: SC-1, SC-2, SC-3, SC-4					YES NO
POLLUTANT CONTROL BMP(S) DESCRIPTION: PL-1, PL-2, PL-3, PL-4				4	YES NO
WMP FACILITY (IF SEPARATE) DESCRIPTION: WF-1				EA	YES NO

CONCEPTUAL GRADING AND PUBLIC IMPROVEMENT PLANS FOR
CHICK-FIL-A RESTAURANT NO. 3778
SAN DIEGO, CA



KEY MAP

NO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED:
GEOLOGICAL ENGINEERING EXPLORATION AND ANALYSIS REPORT
PROJECT NO. 20-150800R, DATED MAY 18, 2018
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

EDGAR GATIS DATE
GILES ENGINEERING ASSOCIATES, INC.
1085 N. STREET, ORANGE, CA 92668
(714) 278-0917

6. FOR SOIL FILE SEE CITY RECORD S - 500005

THIS PLAN IS
PRELIMINARY
NOT FOR CONSTRUCTION

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

JOSEPH C. TRUKAW AND ASSOCIATES, INC.
205 S. ANITA DRIVE, SUITE 111, ORANGE, CA 92668
(714) 832-0285 (714) 832-0108 FAX WWW.TRUKAW.COM

RANDY J. DECHER R.C.E. NO. 81077 EXP. 9-30-17 11-20-2018 DATE

OWNER/APPLICANT

CHICK-FIL-A, INC.
5200 BUFFINGTON RD. ATLANTA, GA 30349-2000
OWNER/APPLICANT PHONE NUMBER

SITE ADDRESS

5855 BALBOA AVENUE,
SAN DIEGO, CA

TOPOGRAPHY SOURCE

JOSEPH C. TRUKAW AND ASSOCIATES, INC.
205 S. ANITA DRIVE, SUITE 111
ORANGE, CALIFORNIA 92668
A.L.T.A. SURVEY
SEPTEMBER 24, 2015, & UPDATED FEBRUARY 17, 2016

BENCHMARK

CITY OF SAN DIEGO BENCHMARK, ELEVATION 358.273 FEET
BRASS PIPE IN SOUTHWEST CORNER OF INTERSECTION

TOTAL DISTURBED AREA

TOTAL SITE DISTURBED AREA = 31,700 S.F. (0.73 AC.)
EXCLUDES UTILITY TRENCHING

GRADING QUANTITIES

GRADED AREA 0.73 [ACRES]	MAX. CUT DEPTH 3.15 [FT]
CUT QUANTITIES 281 [CY]	MAX CUT SLOPE RATIO (2:1)MAX 7.5%
FILL QUANTITIES 8 [CY]	MAX FILL DEPTH 0.28 [FT]
EXPORT 275 [CY]	MAX FILL SLOPE RATIO (2:1)MAX 0

THIS PROJECT PROPOSES TO EXPORT 275 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

ASSESSORS PARCEL NUMBER

APN: 418-020-05-00

EXISTING LEGAL DESCRIPTION

LOT 4 OF BALBOA TOWERS COMMERCIAL SITE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 0080, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 2, 1970.

SHEET INDEX

- CIVIL TITLE SHEET
- CONCEPTUAL GRADING PLAN
- CONCEPTUAL GRADING PLAN
- BMP DETAILS
- CONCEPTUAL UTILITY PLAN

PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

STORM WATER PROTECTION NOTES

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. R9-2013-0001; AND RISK LEVEL TYPE: CHECK ONE BELOW
 WPCP
 CGP RISK LEVEL 1
 CGP RISK LEVEL 2
 CGP RISK LEVEL 3
 CGP LUP TYPE 1
 CGP LUP TYPE 2
 CGP LUP TYPE 3
- WQID NO: 937C377004
- CHECK ONE
 THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
 THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
 NOT APPLICABLE
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WPCP OR SWTPPS AS APPLICABLE.
- WATERSHED: MISSION BAY
- HYDRAULIC SUB AREA NAME: N/A
- HYDRAULIC SUB AREA NUMBER: 90650

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO. CONSTRUCT CHICK-FIL-A RESTAURANT WITH DRIVE-THRU & PARKING AND LANDSCAPE PLANTING.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PIF070116-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2015 EDITION
PIF070116-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2015 EDITION
PIF070112-04	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PIF070112-08	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION

STANDARD DRAWINGS:

DOCUMENT NO.	DESCRIPTION
PIF070116-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2010 EDITION
PIF070112-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION

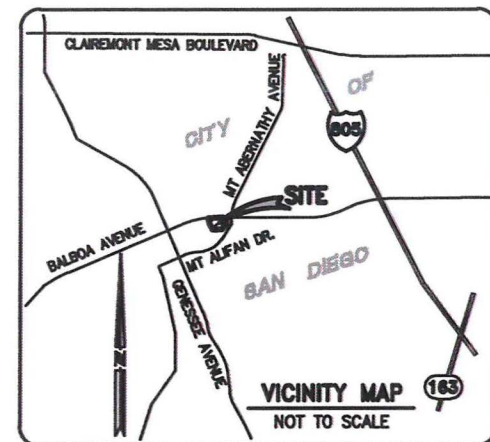
LEGEND

PROPOSED IMPROVEMENTS (PUBLIC AREAS)

IMPROVEMENT	STANDARD DWGS.	SYMBOL
CURB & GUTTER	CITY OF SAN DIEGO STD. 500-101	[Symbol]
UNWEEDY	CITY OF SAN DIEGO STD. 500-103, 104	[Symbol]
SIDEWALK	CITY OF SAN DIEGO STD. 500-102, 103	[Symbol]

EXISTING IMPROVEMENTS

ITEM	SYMBOL
[Symbol]	[Symbol]



VICINITY MAP

NO SCALE

ENGINEERING PERMIT NO. _____
DISCRETIONARY PERMIT NO. 471551

CONSTRUCTION SITE
STORM WATER PRIORITY: _____

PRIVATE CONTRACT

CONCEPTUAL TITLE SHEET:
CHICK-FIL-A RESTAURANT
LOT 4 OF BALBOA TOWERS COMMERCIAL SITE, MAP NO. 0080

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 8 SHEETS

FOR CITY ENGINEER: _____ DATE: _____
DESCRIPTION BY: _____ APPROVED: _____ DATE: _____ FILED: _____

AS-BUILTS

CONTRACTOR: _____ DATE STARTED: _____ DATE COMPLETED: _____

L.A. NO. PROJECT NO. 471001
K.T.M.
NAMES COORDINATES
LABBENT COORDINATES
1-D

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

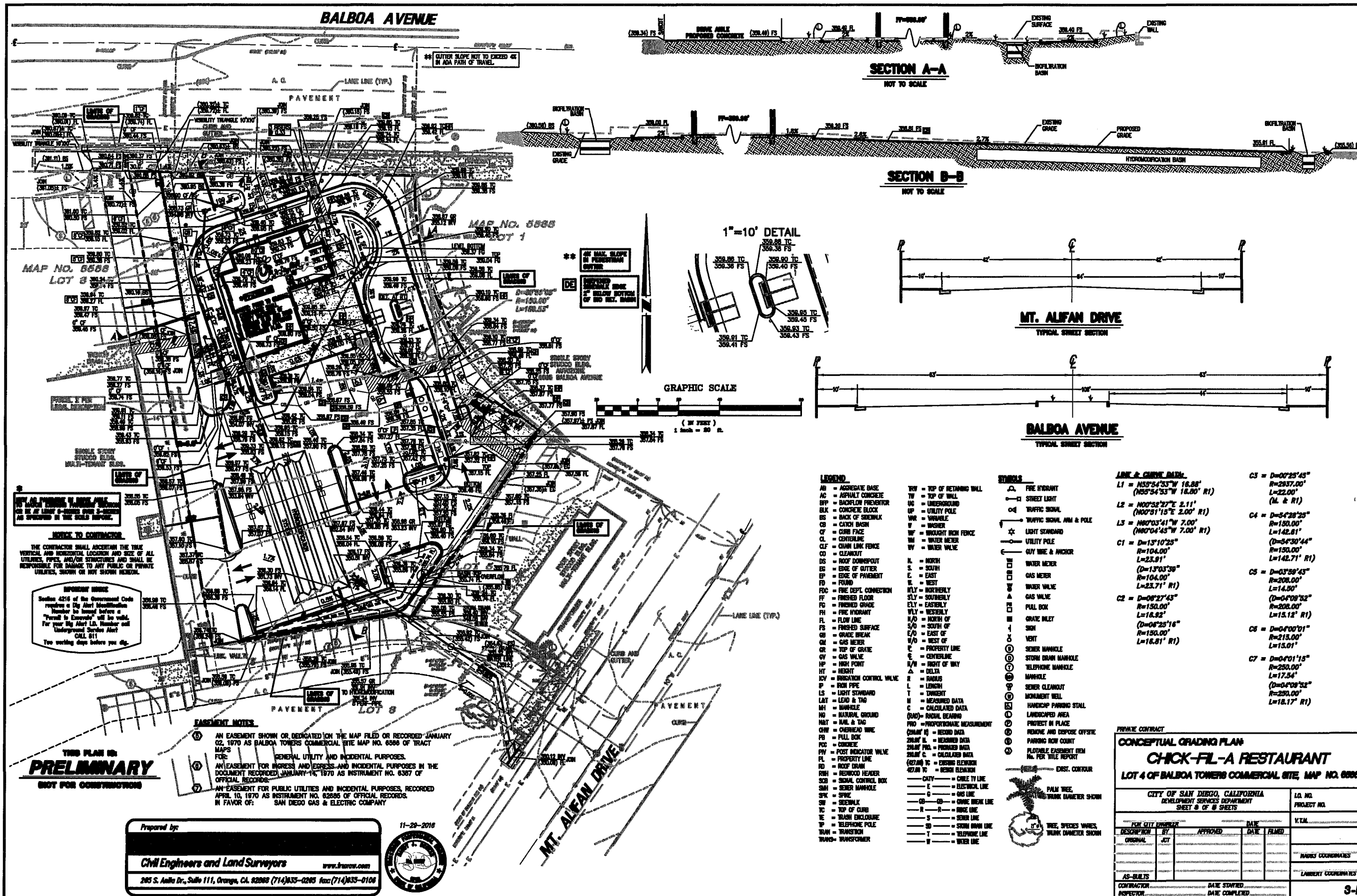
WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.



The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)
BALBOA AVENUE	MAJOR ARTERIAL	(45 MPH)		120'
MT. ALFAN DRIVE	COLLECTOR	(45 MPH)		84'



NOTICE TO CONTRACTOR
 THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTE
 Section 4216 of the Government Code requires a City Alert Identification Number to be issued before a "Final to Construct" will be valid. For your City Alert ID, Number and Underground Service Alert CALL 311 Two working days before you dig.

EASEMENT NOTES
 1. AN EASEMENT SHOWN OR DEDICATED ON THE MAP FILED OR RECORDED JANUARY 02, 1970 AS BALBOA TOWERS COMMERCIAL SITE MAP NO. 6688 OF TRACT MAPS FOR GENERAL UTILITY AND INCIDENTAL PURPOSES.
 2. AN EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 14, 1970 AS INSTRUMENT NO. 6367 OF OFFICIAL RECORDS.
 3. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED APRIL 10, 1970 AS INSTRUMENT NO. 62895 OF OFFICIAL RECORDS, IN FAVOR OF: SAN DIEGO GAS & ELECTRIC COMPANY

THIS PLAN IS PRELIMINARY NOT FOR CONSTRUCTION

Prepared by:
Chil Engineers and Land Surveyors www.chil.com
 285 S. Anillo Dr., Suite 111, Orange, CA 92668 (714)835-0265 Fax: (714)835-0108



- LEGEND**
- AB = AGGREGATE BASE
 - AC = ASPHALT CONCRETE
 - BFP = BACKFLOW PREVENTER
 - BLK = CONCRETE BLOCK
 - BS = BACK OF SIDEWALK
 - CB = CATCH BASIN
 - CF = CURB FACE
 - CL = CENTERLINE
 - CLF = CHAIN LINK FENCE
 - CO = CLEANSUIT
 - DS = ROOF DOWNSPOUT
 - ES = EDGE OF GUTTER
 - EP = EDGE OF PAVEMENT
 - FD = FOUND
 - FDC = FIRE DEPT. CONNECTION
 - FF = FINISHED FLOOR
 - FG = FINISHED GRADE
 - FI = FIRE HYDRANT
 - FL = FLOW LINE
 - FS = FINISHED SURFACE
 - GB = GRADE BREAK
 - GM = GAS METER
 - GR = TOP OF GRADE
 - GV = GAS VALVE
 - HP = HIGH POINT
 - HT = HEIGHT
 - ICV = IRRIGATION CONTROL VALVE
 - IP = IRON PIPE
 - LS = LIGHT STANDARD
 - LAT = LEAD & TAG
 - MH = MANHOLE
 - NG = NATURAL GROUND
 - NAT = NAIL & TAG
 - OW = OVERHEAD WIRE
 - PD = PULL BOX
 - PC = COCKEYE
 - PVI = POST INDICATOR VALVE
 - PL = PROPERTY LINE
 - RD = ROOF DRAIN
 - RWH = REDWOOD HEADER
 - SDB = SIGNAL CONTROL BOX
 - SMB = SEWER MANHOLE
 - SPK = SPRINKLER
 - SW = SIDEWALK
 - TC = TOP OF CURB
 - TE = TRASH ENCLOSURE
 - TP = TELEPHONE POLE
 - TRW = TRANSFORMER
 - TRWS = TRANSFORMER

- SYMBOLS**
- △ = FIRE HYDRANT
 - = STREET LIGHT
 - ◇ = TRAFFIC SIGNAL
 - ▽ = TRAFFIC SIGNAL ARM & POLE
 - ☆ = LIGHT STANDARD
 - = UTILITY POLE
 - = GUY WIRE & ANCHOR
 - = WATER METER
 - = GAS METER
 - = WATER VALVE
 - = GAS VALVE
 - = PAUL BOX
 - = GRAVE INLET
 - ⊥ = SIGN
 - ⊥ = VENT
 - = SEWER MANHOLE
 - = STORM DRAIN MANHOLE
 - = TELEPHONE MANHOLE
 - = MANHOLE
 - = SEWER CLEANOUT
 - = MONUMENT BELL
 - = HANDICAP PARKING STALL
 - = LANDSCAPED AREA
 - = PROTECT IN PLACE
 - = REMOVE AND DISPOSE OFFSITE
 - = PARKING ROW COUNT
 - = PLANTABLE EASEMENT ITEM
 - = NO. PER TILE REPORT
 - = EXIST. CONTOUR
 - = PALM TREE, TRUNK DIAMETER SHOWN
 - = TREE, SPECIES WAIVES, TRUNK DIAMETER SHOWN

- LINE & CURVE DATA**
- L1 = N35°54'53"W 18.88' (N35°54'53"W 18.88' R1)
 - L2 = N00°55'27"E 2.11' (N00°51'15"E 2.00' R1)
 - L3 = N00°03'41"W 7.00' (N00°04'45"W 7.00' R1)
 - C1 = D=13°10'25" R=104.00' L=23.91'
 - C2 = D=08°27'43" R=150.00' L=18.92' (D=06°25'16" R=150.00' L=18.81' R1)
 - C3 = D=00°25'43" R=287.00' L=22.00' (L & R1)
 - C4 = D=54°29'25" R=150.00' L=142.81' (D=54°30'44" R=150.00' L=142.71' R1)
 - C5 = D=03°58'43" R=206.00' L=14.50' (D=04°09'52" R=206.00' L=15.12' R1)
 - C6 = D=04°00'01" R=150.00' L=15.01'
 - C7 = D=04°01'15" R=250.00' L=17.54' (D=04°08'52" R=250.00' L=18.17' R1)

PRIVATE CONTRACT

CONCEPTUAL GRADING PLAN
CHICK-FIL-A RESTAURANT
 LOT 4 OF BALBOA TOWERS COMMERCIAL SITE, MAP NO. 6688

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 8 OF 8 SHEETS

LG. NO. PROJECT NO.
 V.T.M.

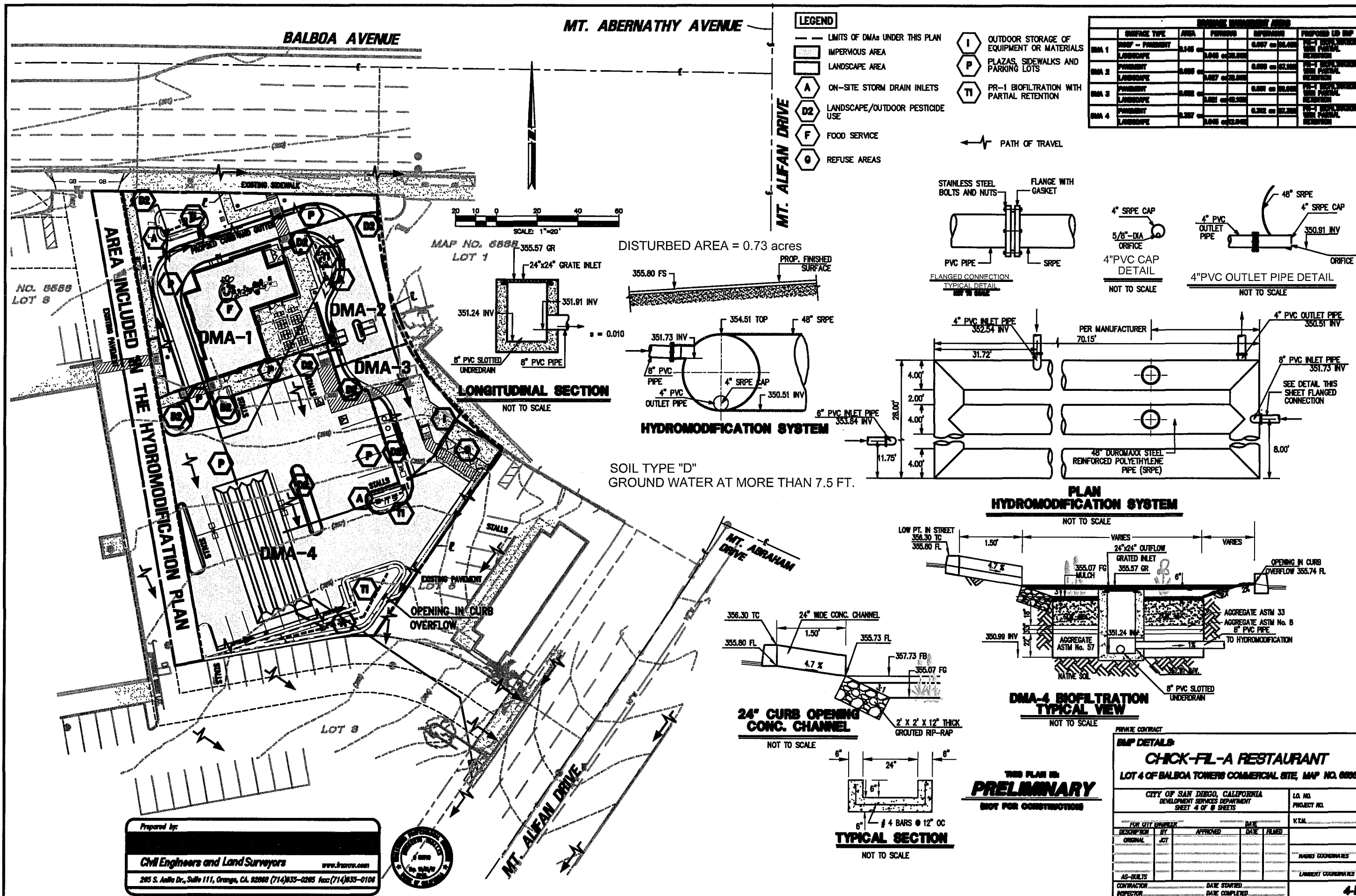
DESIGNER	DATE	APPROVED	DATE	FILED
ORIGINAL	JCT			

AS-BUILTS

CONTRACTOR DATE STARTED

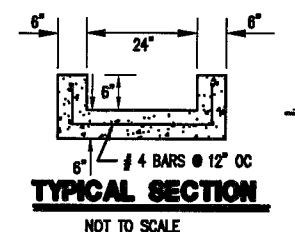
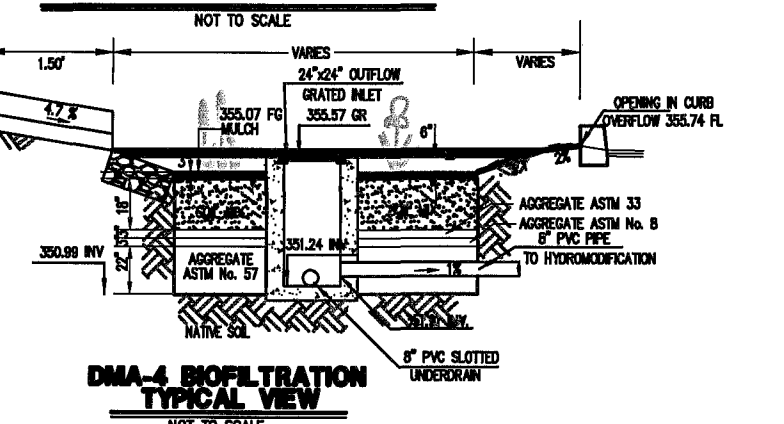
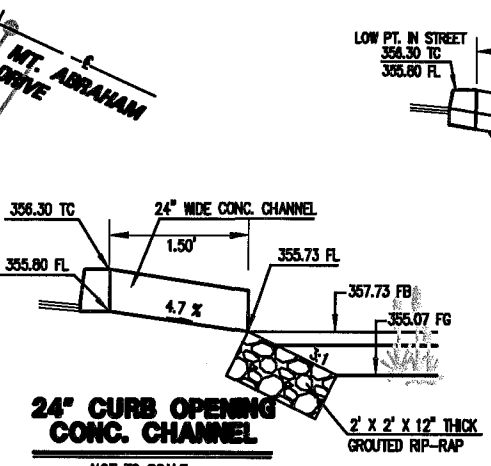
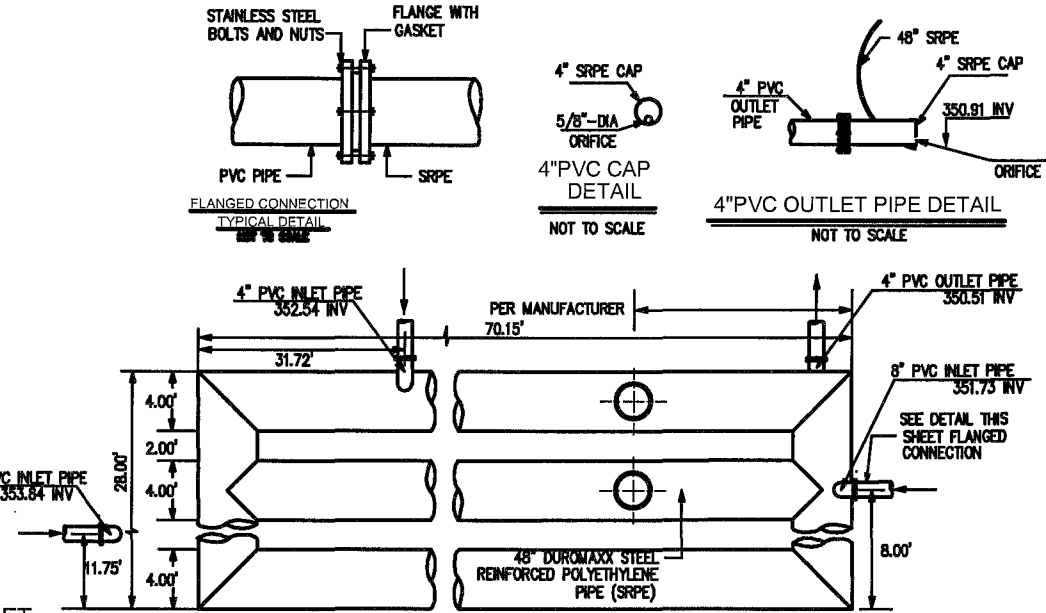
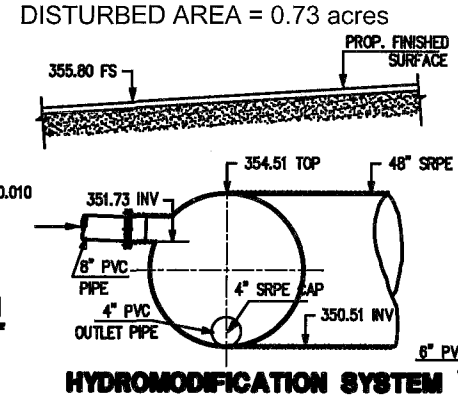
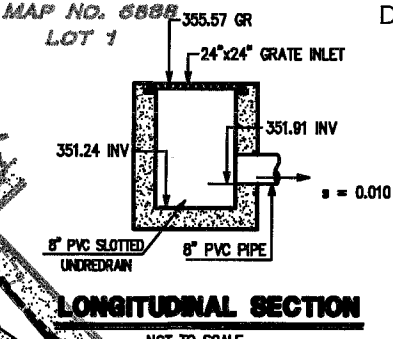
INSPECTOR DATE COMPLETED

3-D



SURFACE IMPERVIOUS AREAS				
SURFACE TYPE	AREA	PERVIOUS	IMPERVIOUS	PROPOSED BMP
DMA 1 PAVEMENT	0.148 ac		0.047 ac (31.8%)	P-1 BEST PRACTICE BMP
DMA 1 LANDSCAPE	0.248 ac	0.248 ac (100%)		P-1 BEST PRACTICE BMP
DMA 2 PAVEMENT	0.488 ac		0.088 ac (18.0%)	P-1 BEST PRACTICE BMP
DMA 2 LANDSCAPE	0.888 ac	0.888 ac (100%)		P-1 BEST PRACTICE BMP
DMA 3 PAVEMENT	0.488 ac		0.088 ac (18.0%)	P-1 BEST PRACTICE BMP
DMA 3 LANDSCAPE	0.888 ac	0.888 ac (100%)		P-1 BEST PRACTICE BMP
DMA 4 PAVEMENT	0.187 ac		0.032 ac (17.1%)	P-1 BEST PRACTICE BMP
DMA 4 LANDSCAPE	0.287 ac	0.287 ac (100%)		P-1 BEST PRACTICE BMP

- LEGEND**
- LIMITS OF DMA_s UNDER THIS PLAN
 - ▭ IMPERVIOUS AREA
 - ▭ LANDSCAPE AREA
 - ⊙ ON-SITE STORM DRAIN INLETS
 - D2 LANDSCAPE/OUTDOOR PESTICIDE USE
 - F FOOD SERVICE
 - ⊙ REFUSE AREAS
 - ⊙ I OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS
 - ⊙ P PLAZAS, SIDEWALKS AND PARKING LOTS
 - ⊙ TI PR-1 BIOFILTRATION WITH PARTIAL RETENTION
- ⚡ PATH OF TRAVEL



THIS PLAN IS PRELIMINARY NOT FOR CONSTRUCTION

Prepared by:
Civil Engineers and Land Surveyors
 www.brow.com
 285 S. Anhe Dr., Suite 111, Orange, CA 92668 (714)835-0285 fax: (714)835-0108

PRIVATE CONTRACT

BMP DETAILS

CHICK-FL-A RESTAURANT
 LOT 4 OF BALBOA TOWERS COMMERCIAL SITE, MAP NO. 6888

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 4 OF 8 SHEETS

LG. NO. PROJECT NO.
 V.T.M.

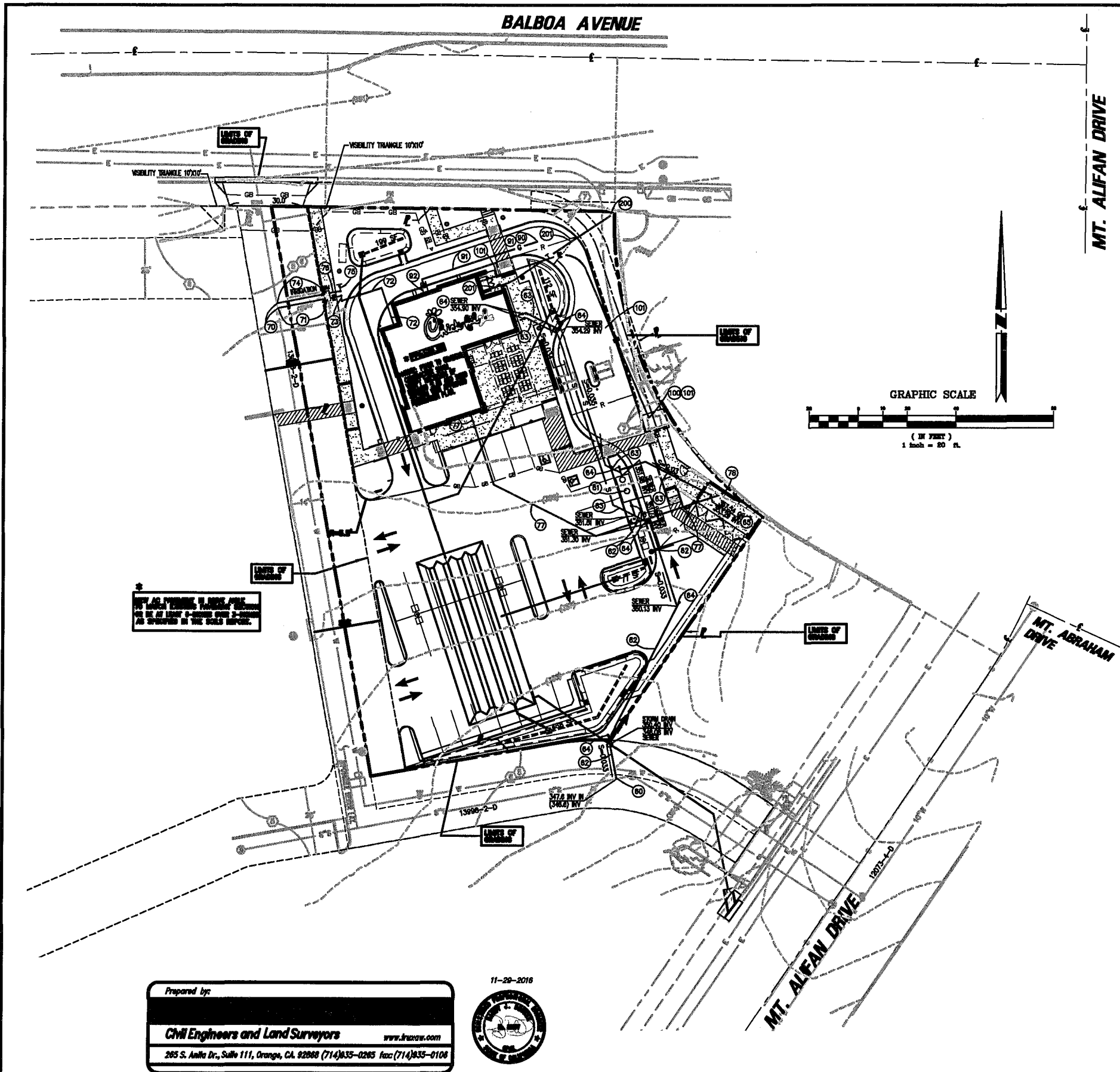
FOR CITY USE ONLY	DATE	FILED
DESCRIPTION BY	APPROVED	
ORIGINAL JCT		

AS-BUILTS

CONTRACTOR DATE STARTED

INSPECTOR DATE COMPLETED

4-D



- CONSTRUCTION NOTES - SEWER**
- (60) CONNECT TO EXISTING 8-INCH SEWER LATERAL PER AGENCY REQUIREMENTS. LOCATION OF LATERAL PER POT HOLE SURVEY MARKED BY A SURVEY STAKE.
 - (61) GREASE INTERCEPTOR PER PLUMBING PLANS.
 - (62) PLACE 8-INCH SDR-35 PVC SEWER PIPE PER CPC REQUIREMENTS. BEDDING AND BACKFILL PER CITY OF SAN DIEGO STD. SDS-110. (AS SHOWN ON PS-3)
 - (63) PLACE 4-INCH SDR-35 PVC SEWER PIPE PER CPC REQUIREMENTS. BEDDING AND BACKFILL PER CITY OF SAN DIEGO STD. SDS-110. (AS SHOWN ON PS-3)
 - (64) INSTALL CLEANOUT, SIZE TO MATCH DOWNSTREAM PIPE SIZE, PER CITY OF SAN DIEGO STD. SDS-103. (AS SHOWN ON PS-3)
 - (65) DRAIN IN TRASH ENCLOSURE PER PLUMBING PLANS.

- WATER (DOMESTIC & IRRIGATION)**
- (70) POT HOLE AND VERIFY THE EXISTENCE, LOCATION, DEPTH, MATERIAL, SIZE, AND CONDITION OF THE EXISTING 8-INCH WATER LINE. REPORT FINDINGS TO TRUXAW & ASSOCIATES PRIOR TO CONSTRUCTION.
 - (71) INSTALL 2-INCH WATER METER & SERVICE AND CONNECT TO EXISTING 8-INCH WATER LINE PER CITY OF SAN DIEGO STD. SDW-149 AND SDW-110. DETAIL ON SHEET PS-3.
 - (72) PLACE 2-INCH SCH. 80 PVC WATER LINE.
 - (73) INSTALL 2-INCH REDUCED PRESSURE BACKFLOW PREVENTOR PER CITY OF SAN DIEGO STD. SDW-155. DETAIL ON SHEET PS-3.
 - (74) INSTALL 1-INCH WATER METER & SERVICE AND CONNECT TO EXISTING 8-INCH WATER LINE PER CITY OF SAN DIEGO STD. SDW-150. DETAIL ON SHEET PS-3. (IRRIGATION)
 - (75) INSTALL 1-INCH REDUCED PRESSURE BACKFLOW PREVENTOR PER CITY OF SAN DIEGO STD. SDW-155. DETAIL ON SHEET PS-3. (IRRIGATION)
 - (76) PLACE 1-INCH SCH. 80 PVC WATER LINE. (FOR IRRIGATION PURPOSES ONLY)
 - (77) PLACE 3/4-INCH SCH. 80 PVC WATER LINE. (TRASH ENCLOSURE)
 - (78) INSTALL HOSE BIB PER PLUMBING PLANS.

- GAS NOTES**
- (90) POT HOLE AND VERIFY THE EXISTENCE, LOCATION, SIZE, DEPTH, MATERIAL AND CONDITION OF EXISTING GAS LINE. REPORT FINDINGS TO TRUXAW & ASSOCIATES PRIOR TO CONSTRUCTION.
 - (91) CONNECT TO EXISTING GAS LINE AND PROVIDE 2-INCH GAS LINE SERVICE. (PER SAN DIEGO GAS AND ELECTRIC FORCES)
 - (92) GAS METER PER APPROVED PLUMBING PLANS. (PER SAN DIEGO GAS AND ELECTRIC FORCES)

- ELECTRICAL NOTES**
- (105) CONNECTION TO EXISTING TRANSFORMER
 - (101) NEW ELECTRICAL CONDUIT, TRANS.-BUILDING (SEE ELECTRICAL PLANS)

- TELEPHONE NOTES**
- (200) CONNECT AT EXISTING TELEPHONE RISER
 - (201) NEW TELEPHONE LINE PER AT&T REQUIREMENTS.

CABLE TELEVISION
 CONTRACTOR TO COORDINATE SERVICE CONNECTION WITH TIME WARNER CABLE FOR AVAILABILITY OF NEW SERVICE.

DRY UTILITIES
 PROPOSED ELECTRIC, TELEPHONE, CABLE TV, AND GAS LINES ARE SHOWN HEREON FOR COORDINATION PURPOSES. CONTRACTOR TO VERIFY POINTS OF CONNECTION AND CONSTRUCT PROPOSED SERVICE LINES IN ACCORDANCE WITH SERVICE PLANNING DOCUMENTS PREPARED BY EACH RESPECTIVE UTILITY COMPANY. CONTRACTOR TO VERIFY ALL POTENTIAL LOSS OF SERVICE TO ADJACENT PROPERTIES.

**THIS PLAN IS:
 PRELIMINARY
 NOT FOR CONSTRUCTION**

NOTE TO CONTRACTOR
 THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOULD HE NOT OBTAIN HEARD.

DISPERSED NOTES
 Section 4216 of the Government Code requires a city seal identification number to be used before a "Permit to Excavate" will be valid. For more information, please call 311. For more information, please call 311.

PRIVATE CONTRACT			
CONCEPTUAL UTILITY PLAN			
CHICK-FIL-A RESTAURANT			
LOT 4 OF BALBOA TOWERS COMMERCIAL SITE, MAP NO. 0500			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 8 OF 8 SHEETS		I.O. NO. PROJECT NO.	
FOR CITY EMPLOYEES		DATE	
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	JCT		
AS-BUILTS			
CONTRACTOR	DATE STARTED		
INSPECTOR	DATE COMPLETED		
		5-D	

Prepared by
Civil Engineers and Land Surveyors
 www.truxaw.com
 265 S. Anillo Dr., Suite 111, Orange, CA 92668 (714)835-0265 fax: (714)835-0108



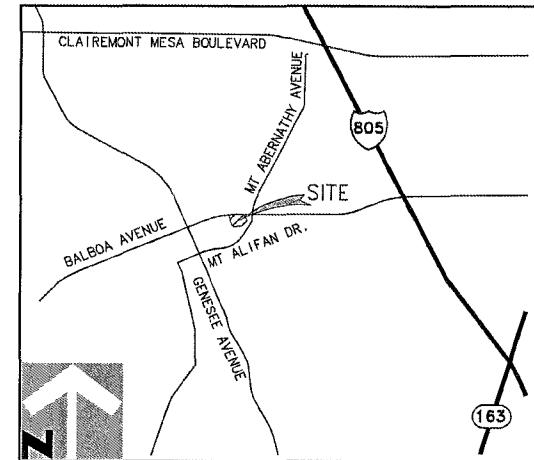
PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS #3	PLANT POINTS	STREET YARD	REMAINING YARD
TREES									
	CERCIDILUM PRAECOX	PALO BREA	36" BOX	6	STANDARD	VL	50	-	50
	CERCIS OCCIDENTALIS	WESTERN REDBUD	36" BOX	6	STANDARD	L	50	250	-
	QUERCUS AGRIFOLIA	COAST LIVE OAK	48" BOX	2	STANDARD	M	100	100	-
	ARBUTUS 'MARINA'	STRAWBERRY TREE	15 GAL.	2	STANDARD	M	10	10	-
							TREES	360	50
SHRUBS									
	* AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL.	67	AS SHOWN	L	2	62	26
	⊙ CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	1 GAL.	28	2'-6" O.C.	M	1	26	-
	⊙ DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL.	32	2'-0" O.C.	M	2	-	-
	⊙ COPROSMA HYBRID 'SUNRISE SURPRISE'	COPROSMA	5 GAL.	3	4'-0" O.C.	M	2	6	-
	⊙ HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL.	64	2'-6" O.C.	M	2	90	-
	⊙ JUNCUS PATENS SEMPERVIRENS	CALIFORNIA GRAY RUSH	1 GAL.	259	2'-6" O.C.	M	1	72	62
	⊙ PHORMIUM HYBRID 'GUARDSMAN'	NEW ZEALAND FLAX	5 GAL.	3	4'-0" O.C.	M	3	9	-
	* PHORMIUM HYBRID 'MAORI CHIEF'	NEW ZEALAND FLAX	5 GAL.	11	3'-6" O.C.	M	2	12	-
	⊙ PHORMIUM HYBRID 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL.	35	3'-6" O.C.	M	2	22	-
	⊙ PODOCARPUS ELONGATA 'MONMAL'	ICEE BLUE YELLOW-WOOD	15 GAL.	3	5'-0" O.C.	M	10	30	-
	⊙ LAVANDULA 'PROVENCE'	FRENCH LAVENDER	5 GAL.	36	2'-6" O.C.	L	2	42	-
	⊙ SANSEVIERIA TRIFASCIATA 'VARIEGATA'	MOTHER-IN-LAW'S TONGUE	5 GAL.	72	1'-6" O.C.	L	2	34	-
	⊙ STIPA TENUISSIMA	MEXICAN FEATHER GRASS	5 GAL.	175	1'-6" O.C.	L	2	144	22
	⊙ TEUCCORIUM CHAMAEDRYIS	GERMANDER	5 GAL.	21	2'-6" O.C.	M	2	-	-
GROUNDCOVERS									
	FESTUCA OVINA 'GLAUCA'	COMMON BLUE FESCUE	1 GAL.	172 S.F.	10" O.C. TRIANGULARLY SPACED	M	1	30	60
	SENECIO SERPENS	BLUE CHALKSTICKS	1 GAL.	715 S.F.	18" O.C. TRIANGULARLY SPACED	L	1	230	20
							SHRUBS	809	190
							POINT TOTALS	1,169	240

ROOT CONTROL BARRIER DEVICE, INSTALL IN LINEAR APPLICATION ONLY (AS SHOWN) - DO NOT WRAP ROOTBALL.

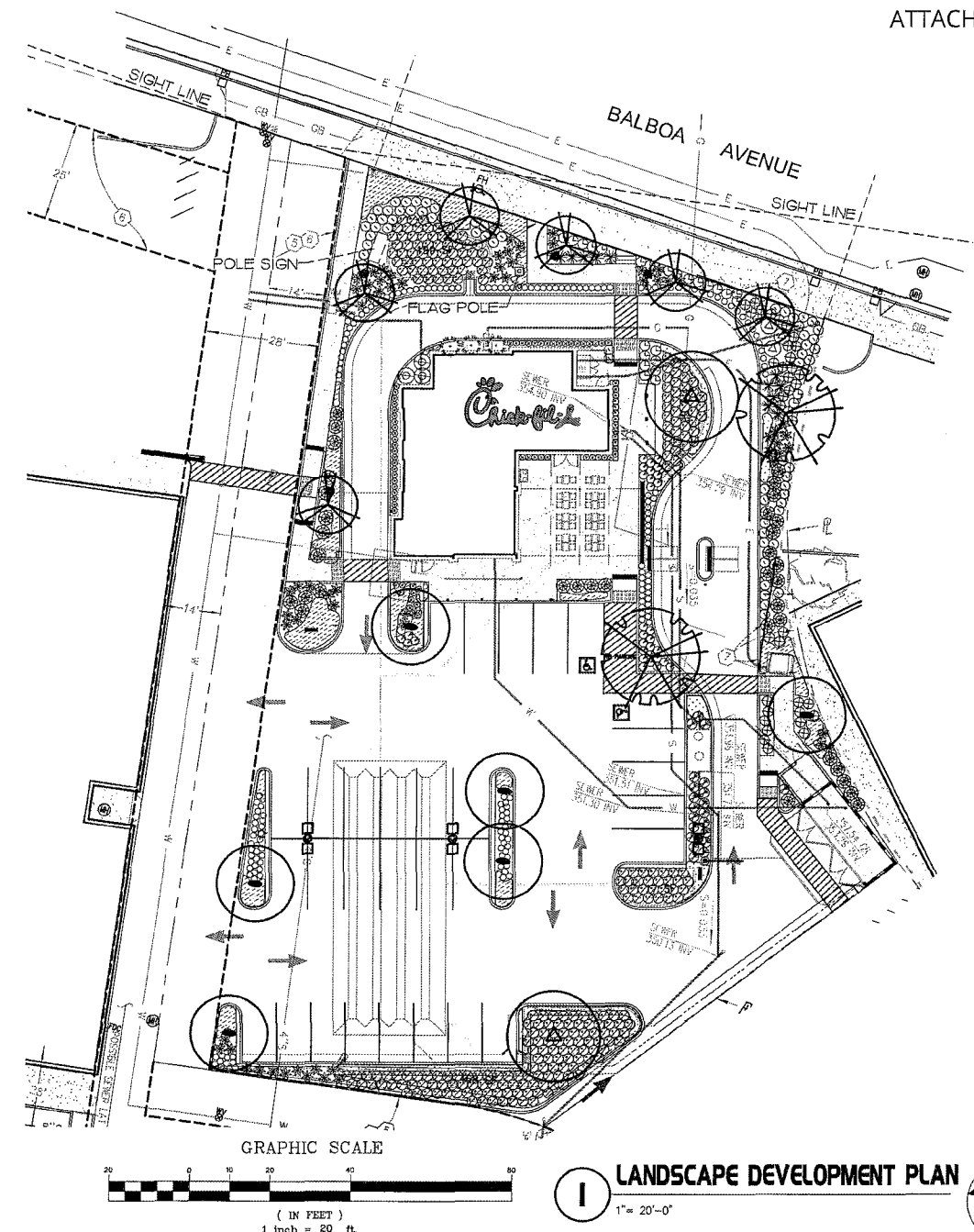
PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF 'AMERICAN NURSERY AND LANDSCAPE ASSOCIATION' STANDARDS. WWW.ANLA.ORG
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- PERIMETER OF ALL RAISED PLANTERS TO HAVE A ROOT BARRIER TO REDIRECT ROOT GROWTH PER MANUFACTURER'S SPECIFICATIONS.
- FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
- FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY OF SAN DIEGO, CA LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
- ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM MULCH COVER, CAR OVER-HANG TO BE 6" THICK STONE RUBBLE PER PLANS AND SPECIFICATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL PLANTER BEDS TO BE AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS NO DEVIATIONS ARE ALLOWED.
- ALL PLANTING SHALL BE IRRIGATED WITH LOW VOLUME SPRAY HEADS, BUBBLERS AND/OR DRIP EMITTERS CONNECTED TO AUTOMATIC REMOTE CONTROL VALVES AND AND TIED INTO AN AUTOMATIC IRRIGATION CONTROLLER.
- A DEDICATED LANDSCAPE IRRIGATION WATER METER SHALL BE REQUIRED FOR THIS DEVELOPMENT.
- CONTRACTOR SHALL SUPPLY A COPY OF THE AGRONOMIC SOILS REPORT TO THE LANDSCAPE ARCHITECT.

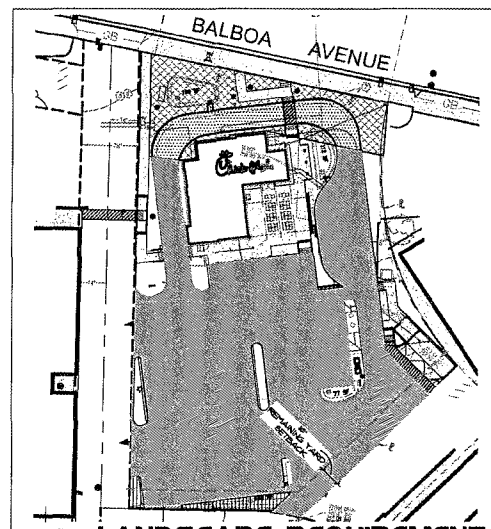


3 VICINITY MAP
NOT TO SCALE

LANDSCAPE CALCULATIONS	
SHRUB AREA:	6,030 SF.
TURF AREA:	0 SF.
TOTAL LANDSCAPE AREA:	6,030 SF.



1 LANDSCAPE DEVELOPMENT PLAN
1" = 20'-0"



2 LANDSCAPE REQUIREMENT EXHIBIT
NTS

LANDSCAPE REQUIREMENTS CALCULATIONS		
STREET YARD		
PLANTING AREA REQUIRED	PLANTING AREA PROVIDED	EXCESS AREA PROVIDED
TOTAL AREA 3,690 SF. X 255 = 928 SF.	2,277 SF.	1,214 SF.
PLANTING POINTS REQUIRED	PLANTING POINTS PROVIDED	EXCESS POINTS PROVIDED
TOTAL AREA 3,690 SF. X 0.025 = 165 PTS. (TREES ONLY)	360 (PTSL) TREES	175 PTS.
REMAINING YARD		
PLANTING AREA REQUIRED	PLANTING AREA PROVIDED	EXCESS AREA PROVIDED
TOTAL AREA 1,840 SF. X 501 = 928 SF.	548 SF.	76 SF.
PLANTING POINTS REQUIRED	PLANTING POINTS PROVIDED	EXCESS POINTS PROVIDED
TOTAL AREA 1,840 SF. X 0.025 = 92 PTS.	190 (PTSL) TREES 50 (PTSL) TREES 240 TOTAL POINTS	147 PTS.
VEHICULAR USE AREA GREATER THAN 6,000 SF.		
PLANTING AREA REQUIRED	PLANTING AREA PROVIDED	EXCESS AREA PROVIDED
VIA INSIDE STREET YARD (475 SF. X 0.025 = 12 SF.)	575 SF.	803 SF.
VIA OUTSIDE STREET YARD (1,645 SF. X 0.025 = 41 SF.)	1,458 SF.	977 SF.
STREET TREE PLANTING - 1 TREE PER 30 LF	STREET TREES REQUIRED	STREET TREES PROVIDED
BALBOA - 116 / 30 = 3.9	4	4 NEW



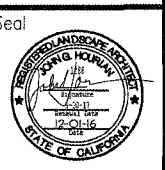
Chick-fil-e

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
9/1/16
Agency Rev.

Mark Date By

Mark Date By



C · R · H · O
Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

hourian associates, inc.
landscape architecture + design
107 overwilde terrace, suite d
san diego, california 92122
p 619-489-6523 e hoiar@hourianassociates.com

STORE
BALBOA &
GENESSEE

5955 BALBOA AVE.
SAN DIEGO, CA

SHEET TITLE
LANDSCAPE
DEVELOPMENT

VERSION: V1
ISSUE DATE: 7-2014

Job No. : 15-192
Store : 03778
Date : 06-08-16
Drawn By : KLM
Checked By: JGH

Sheet
L-1

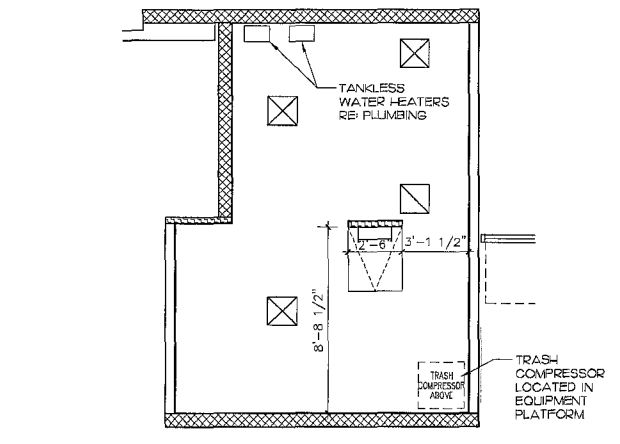
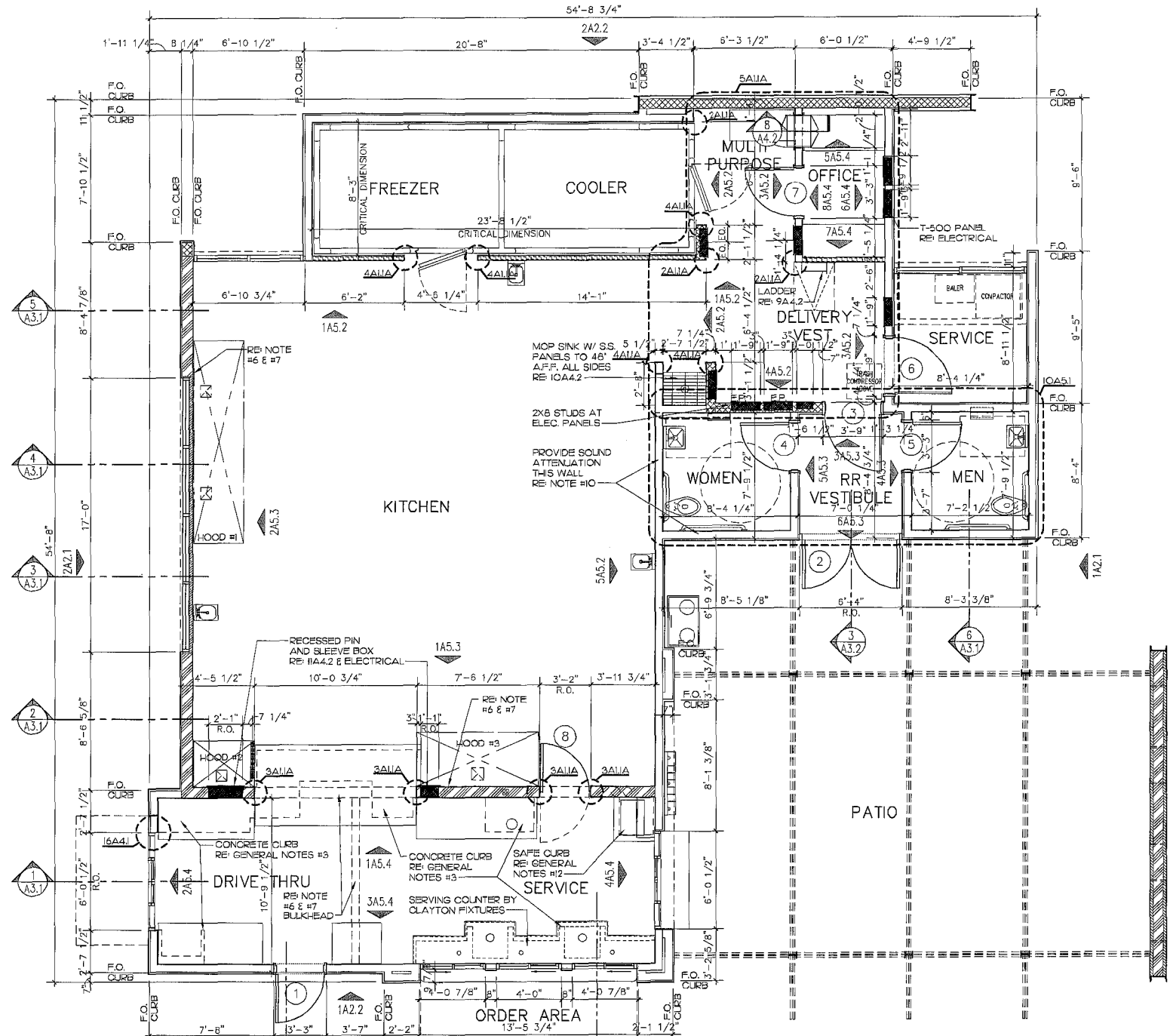
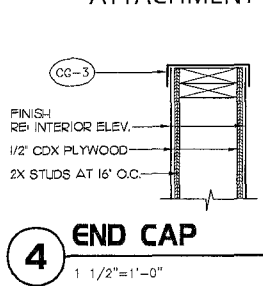
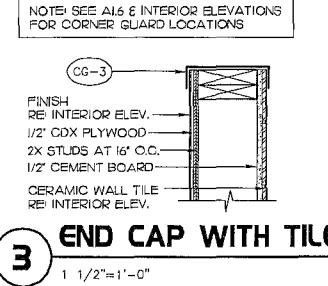
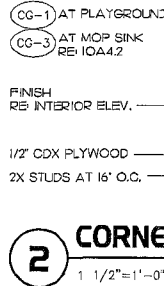
5. GENERAL NOTES:

- DIMENSIONS ARE FROM THE FACE OF STUD TO FACE OF STUD (UNLESS OTHERWISE NOTED).
- ALL EXTERIOR WALLS ARE 2X6 WOOD STUDS WITH PRESSURE TREATED SOLE PLATES. (UNLESS OTHERWISE NOTED).
- PROVIDE 5-1/2" HIGH CONCRETE MILLWORK CURBS BY THE GENERAL CONTRACTOR (RE: CLAYTON FIXTURE SHOP DRAWINGS FOR EXACT LOCATIONS & DIMENSIONS).
- ALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO, THE AREAS INDICATED ON THE INTERIOR ELEVATIONS FOR SHELVING, BRACKETS, GROUNDS, FIXTURES, ETC. THE BUILDING SECTIONS AND DETAILS FOR BLOCKING AT WINDOWS, CANOPIES, ROOF FRAMING, RTUS, ETC.
- ALL FASTENERS, ANCHORS, CLIPS, STRAPS, ETC. WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-85 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
- NON-COMBUSTIBLE CONSTRUCTION SHALL CONSIST OF 6" OR 8" METAL STUDS (COORDINATE GAUGE WITH STRUCTURAL) WITH 1/2" CEMENT BOARD ON EACH SIDE FOR FIRE RATING. NON-COMBUSTIBLE BLOCKING AND CONSTRUCTION SHALL BE USED WITHIN IS, BEHIND & UNDER ALL HOODS.

- PROVIDE FSK FACED BATT FIBERGLASS INSULATION WITH FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE-DEVELOPED INDEX OF NOT MORE THAN 80 AT ALL EXTERIOR WALLS. PROVIDE R-VALUE INDICATED. THE INSULATION SHALL BE INSTALLED SO THAT THE FSK FACING IS ON THE CONDITIONED SIDE OF THE WALL, TYPICAL.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, ETC.
- REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
- PROVIDE UNFACED FIBERGLASS SOUND ATTENUATION BATTS WITH A FLAME SPREAD OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 AT RESTROOM PERIMETER AND RESTROOM VESTIBULE WALLS. PROVIDE THICKNESS (ES) REQUIRED TO COMPLETELY FILL VOIDS I.E. 3/2" THICK BATTS FOR 2X4 WALLS AND 5 1/2" THICK FOR 2X6 WALLS. EXTEND BATTS PAST THE CEILING TO THE DECK ABOVE.
- CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE ELECTRICAL.
- SECURE SAFE USING (4) HILTI-HAS-E 1/2" X 4-1/2" ANCHOR BOLTS WITH HILTI HAV ADHESIVE CAPSULE AT EACH HOLE FASTEN THRU PHENOLIC BASE OF CABINET AND INTO CONCRETE CURB BELOW. VERIFY LOCATION WITH SAFE MANUFACTURER. GC TO COORDINATE WITH EQUIPMENT INSTALLER.
- WALLS BEHIND WALK-IN (COOLER/FREEZER) UNITS SHALL BE FINISHED. PROVIDE CEMENT BOARD FOR FIRST 12" ABOVE SLAB THEN PROVIDE GYPSUM BOARD LEVEL 1 FINISH TO 5' ABOVE FINISHED CEILING.

LEGEND:

- 2X4 WOOD STUD WALL
- 2X6 WOOD STUD WALL
- 2X8 WOOD STUD WALL
- 3 5/8" METAL STUDS
- 6" METAL STUDS
- 8" METAL STUDS
- COLUMN



STATISTICS:

SQUARE FOOTAGE BREAKDOWN	
KITCHEN AREA	1149 SQ. FT.
SERVICE AREA	312 SQ. FT.
MISC. AREA	538 SQ. FT.
SQUARE FOOTAGE	1,999 SQ. FT.
DINING AREA SEATS	28

1 FLOOR PLAN
1/4" = 1'-0"



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



C · R · H · O
Architecture Interior Planning
195 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
BALBOA & GENESEE

5955 BALBOA AVE.
SAN DIEGO, CA

SHEET TITLE
FLOOR PLAN

VERSION: H-V6
ISSUE DATE: 12-2015

Job No. : 15-192
Store : 03778
Date : 07-21-16
Drawn By :
Checked By: R.H.

Sheet
A-1-IA

2. WATERPROOF RAINSCREEN BARRIER:

MANUFACTURER:
COSELLA-DORKEN PRODUCTS INC.
4555 DELTA WAY
BEAMSVILLE, ONTARIO, CANADA
PHONE: 1-888-4DELTA4
WWW.COSELLA-DORKEN.COM

CALIFORNIA AREA CONTACT: TONY CAMP PHONE: 650-533-6183
EMAIL: TCAMP@COSELLA-DORKEN.COM

DELTA FASSADE S
WHEN INSTALLED AS WATER-RESISTIVE BARRIERS:
PLACE THE ROLL APPROXIMATELY 12 INCHES FROM THE STARTING CORNER
AND FASTENED TO THE SHEATHING WITH CORROSION-RESISTANT STAPLES,
LARGE-HEADED NAILS OR ROOFING NAILS SPACED AT A MAXIMUM OF 32
INCHES ON CENTER, AND IS THEN UNROLLED AROUND THE BUILDING AND
FASTENED AS SET FORTH IN THE REPORT HOLDER'S PUBLISHED
INSTALLATION INSTRUCTIONS, AT TOP AND BOTTOM SILL PLATES AND AT
FRAMING MEMBERS. A MINIMUM OF 6 INCHES OF OVERLAP IS REQUIRED
FOR VERTICAL SEAMS AND 2 INCHES FOR HORIZONTAL SEAMS, EXCEPT
WHERE THE REPORT HOLDER'S INSTALLATION INSTRUCTIONS SPECIFY A
GREATER OVERLAP DIMENSION. WHEN USED OVER WOOD-BASED SHEATHING
IN EXTERIOR PLASTER APPLICATIONS, TWO LAYERS OF "DELTA-FASSADE S"
MUST BE APPLIED OVER THE SHEATHING IN ACCORDANCE WITH IBC
SECTION 2505.6.
FOR CEMENTITIOUS COATINGS OR EXTERIOR INSULATION AND FINISH
SYSTEMS, APPLICATION REPORT ON THE BARRIER MUST BE IN
ACCORDANCE WITH THE EVALUATION REPORT ON THE EXTERIOR COATING.

LEGEND:

3/8" X 4 1/2" EYE SCREW ANCHORS
(INSTALL 2X SOLID BLOCKING
BETWEEN STUDS TO ATTACH
ANCHOR)
RE: IIA1.6

PIPE SUPPORTS:
PROVIDE PIPE SUPPORTS AS
SHOWN ON PLUMBING WITH WEAR
PAD BY ROOFING MANUFACTURER

PIPING PENETRATION
REFRIGERATION/ELECTRICAL
RE: 5A1.6

WATER HEATER FLUE
COMBUSTION AIR VENTS
RE: MECHANICAL

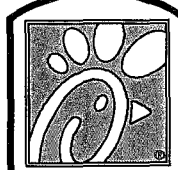
EXHAUST FAN
RE: MECHANICAL

PLUMBING VENT
RE: PLUMBING

WALK PAD - COLOR
GRAY (TYP)

GENERAL NOTES:

- CRICKETS SHALL BE CONSTRUCTED OF RIGID INSULATION AS REQUIRED TO PROVIDE SLOPE OF 1/8" PER FOOT MIN.
- PAINT ALL EXPOSED GAS PIPING ON ROOF MATTE BLACK (2 COATS).
- ALL CONDENSATE LINES SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE. GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED TO ELIMINATE SAGGING.
- NOT USED.
- HORIZONTAL ROOFING MEMBRANE(S) SHALL BE WHITE.
- VERTICAL ROOFING MEMBRANE(S) SHALL BE TAN.
- WALK PAD MEMBRANES SHALL BE GRAY.



Cricket

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



02-17-17

C · R · H · O

Architecture Interior Planning
185 South "C" Street 200
Tustin, California 92780
714 832-1834
FAX 832-1910

STORE
BALBOA &
GENESSEE

5955 BALBOA AVE.
SAN DIEGO, CA

SHEET TITLE
ROOF PLAN

VERSION: H-V6
ISSUE DATE: 12-2015

Job No. : 15-192

Store : 03778

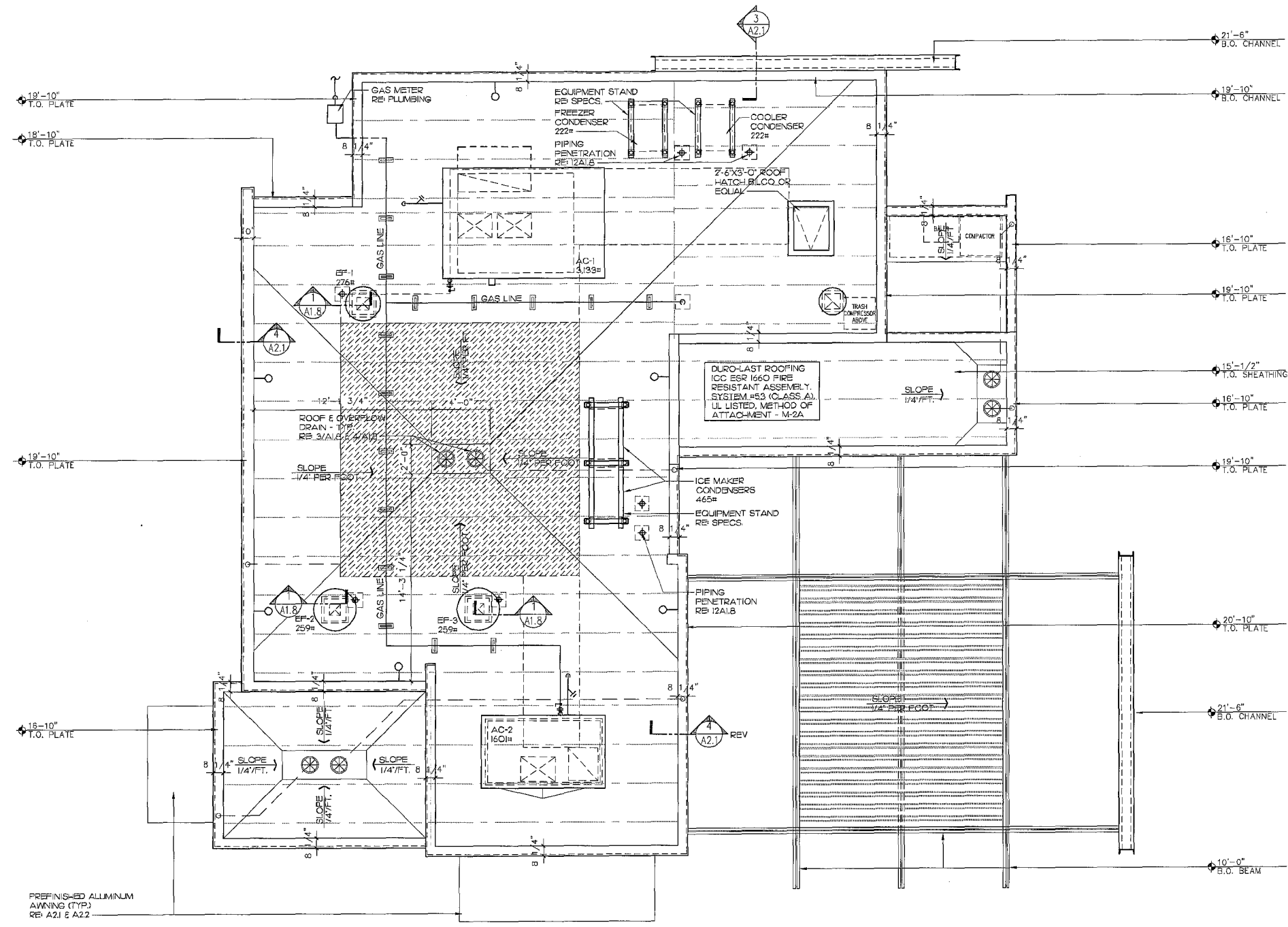
Date : 07-21-16

Drawn By : AM

Checked By: R.H.

Sheet

A-1.7

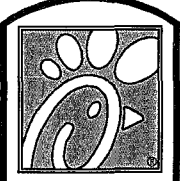


1 ROOF PLAN
1/4" = 1'-0"

NOTE:
INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE
WITH MANUFACTURER'S SPECIFICATIONS



C:\Users\jsh\OneDrive\Documents\2016\15-192\15-192-03778\15-192-03778-01.dwg, Date Plotted: 7/21/2016 10:58:10 AM, Plotter: HP DesignJet 2400, Plot Style: HP-DesignJet2400.ctb, User: jsh, Scale: 1/4" = 1'-0", Sheet: 1 of 1



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

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Yuba, California 92780
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5955 BALBOA AVE.
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SHEET TITLE
EXTERIOR
ELEVATIONS

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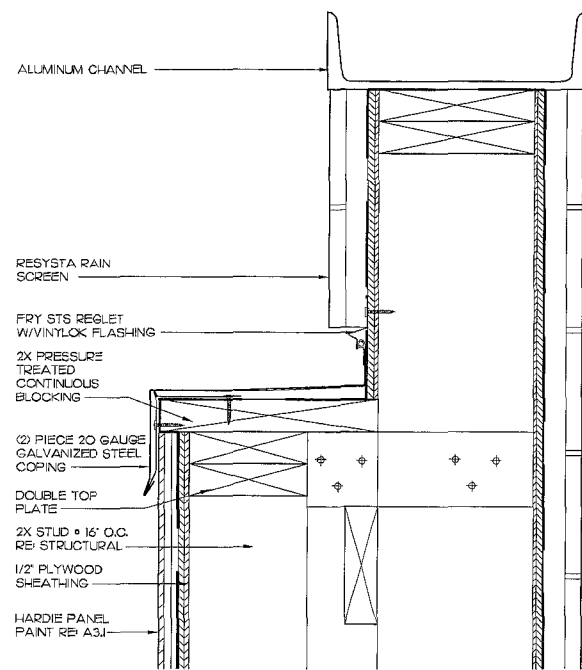
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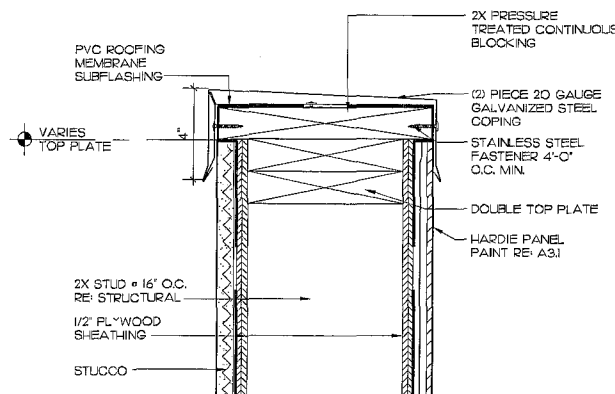
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A-2.1

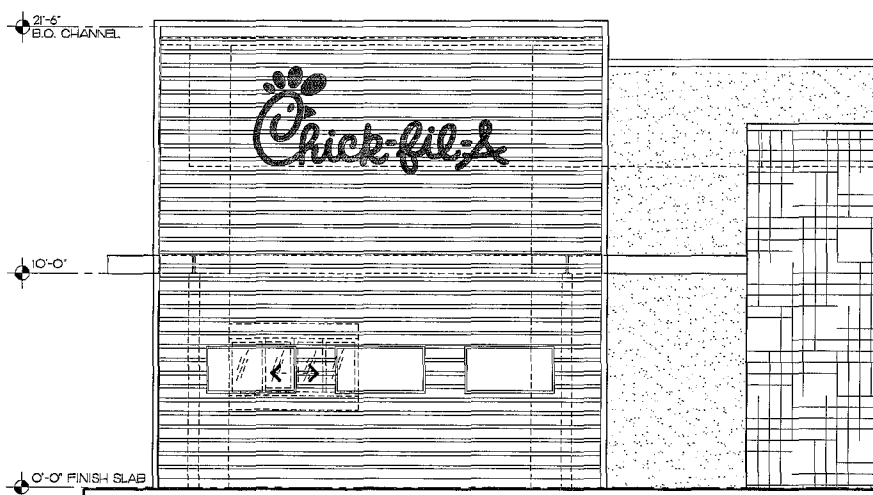
EXTERIOR FINISHES - FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS			
(A-1)	ALUMINUM AWNING - COVERED COLOR - SILVER MIST (MATTE) SIZE 8'-0" LENGTH (V.L.F.) x 4'-6" DEPTH	(PT-10)	PAINT #10 SHERWIN WILLIAMS - #SW 7549 "STUDIO TAUPE", FLAT FINISH
(STC-1)	STUCCO #1 TO MATCH SHERWIN WILLIAMS #SW 7541 "GRECIAN IVORY"	(PT-11)	PAINT #11 SHERWIN WILLIAMS - #SW 7541 "GRECIAN IVORY", FLAT FINISH
(STC-2)	STUCCO #2 TO MATCH SHERWIN WILLIAMS #SW 7549 "STUDIO TAUPE"	(PT-12)	PAINT #12 SHERWIN WILLIAMS - #SW 7068 "GRIZZLE GRAY", FLAT FINISH
(STC-3)	STUCCO #3 TO MATCH SHERWIN WILLIAMS #SW7068 "GRIZZLE GRAY"	(PT-21)	PAINT #21 TO MATCH PRECISION COATINGS #2280 "SILVER MIST"
(ST-1)	STOREFRONT KAWNEER COLOR - CLEAR ANODIZED ALUM.	(WD-21)	RESYSTA HOLLOWCORE (4 CHANNEL) COLOR: NATURAL



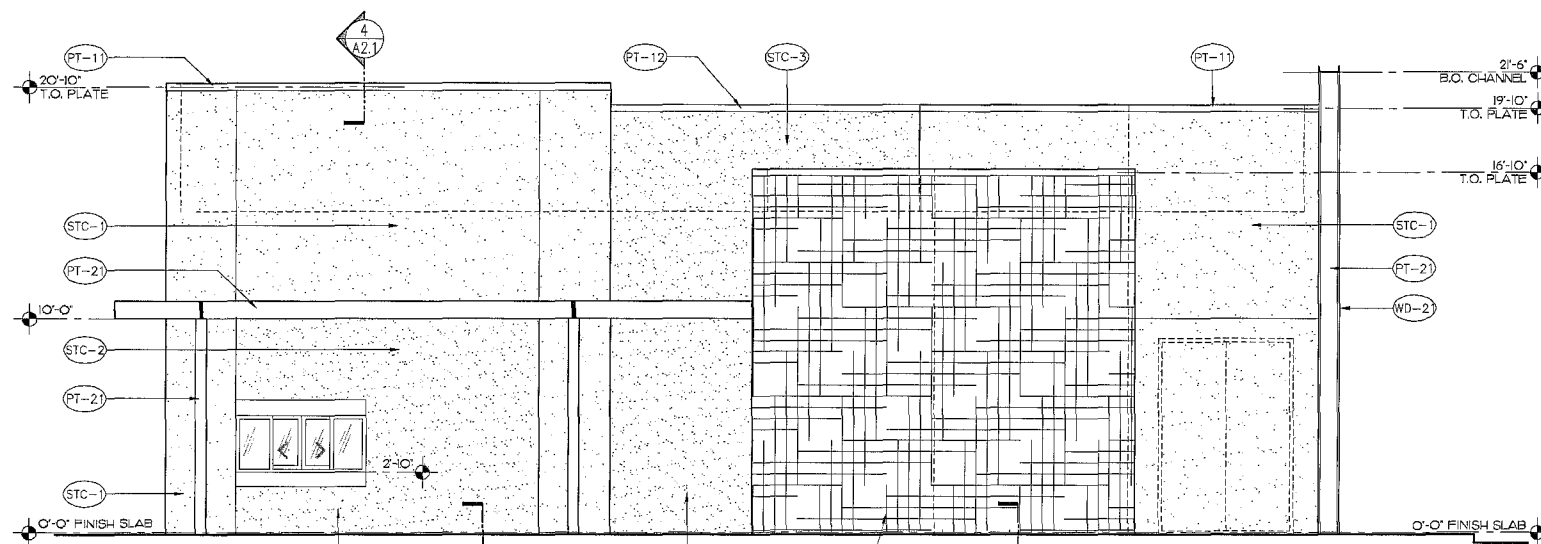
3 CHANNEL DETAIL
3"=1'-0"



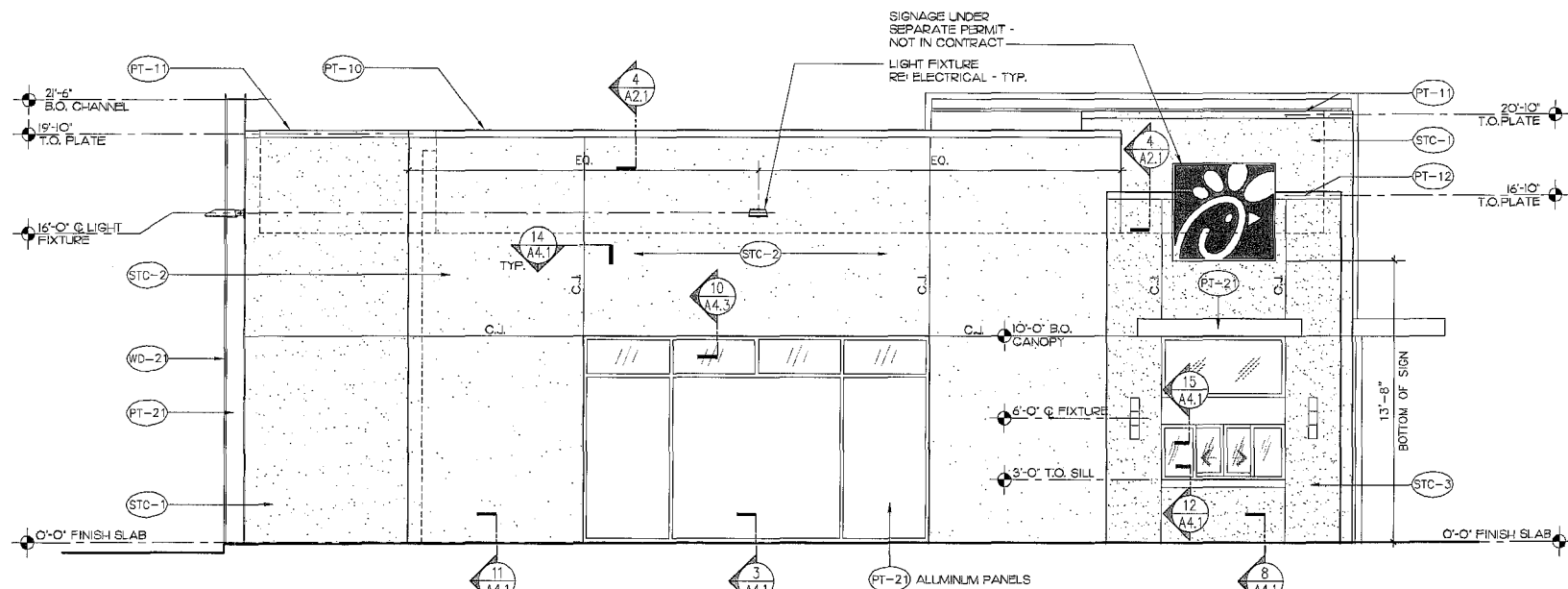
4 PARAPET ROOF EDGE DETAIL
3"=1'-0"



5 EAST ELEVATION (@FEATURE WALL)
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

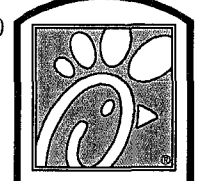
SIGN MATRIX/SUMMARY

SIGN TYPE	SIGN DETAIL NO.	LOCATION	ACTUAL SIGN AREA	DESCRIBE/DISCUSS
CFA LED ILLUMINATED 5'-0" CHANNEL LETTER SIGN	WALL MOUNTED	NORTH	*35.15	
CFA LED ILLUMINATED 5'-0" CHANNEL LETTER SIGN	WALL MOUNTED	SOUTH	*35.15	
CFA LED ILLUMINATED 5'-4" LOGO CABINET	WALL MOUNTED	WEST	20.75	
CFA LED ILLUMINATED 5'-0" CHANNEL LETTER SIGN	WALL MOUNTED	EAST	*35.15	
PYLON SIGN 30'-0" OAH	GROUND	BALBOA AVE	73.34	60 SF+135MPH+45MPH+150 SF MAX
			199.54	200 COMBINED MAX SF
FLAG POLE	GROUND	SITE PLAN NE	N/A	35'-0" OAH
MENU BOARDS	GROUND	DRIVE THRU	N/A	34.13 SF EACH

*CALCULATION METHOD: 8-STRAIGHT LINES

EXTERIOR FINISHES - FOR STOREFRONT GLAZING - SEE GLASS SCHEDULE & INTERIOR ELEVATIONS

(A-1) ALUMINUM AWNING - COVERED COLOR - SILVER MIST (MATTE) SIZE 8'-0" LENGTH (V.L.F.) x 4'-6" DEPTH	(PT-10) PAINT #10 SHERWIN WILLIAMS - #SW 7549 "STUDIO TAUPE", FLAT FINISH
(STC-1) STUCCO #1 TO MATCH SHERWIN WILLIAMS #SW 7541 "GRECIAN IVORY"	(PT-11) PAINT #11 SHERWIN WILLIAMS - #SW 7541 "GRECIAN IVORY", FLAT FINISH
(STC-2) STUCCO #2 TO MATCH SHERWIN WILLIAMS #SW 7549 "STUDIO TAUPE"	(PT-12) PAINT #12 SHERWIN WILLIAMS - #SW 7068 "GRIZZLE GRAY", FLAT FINISH
(STC-3) STUCCO #3 TO MATCH SHERWIN WILLIAMS #SW7068 "GRIZZLE GRAY"	(PT-21) PAINT #21 TO MATCH PRECISION COATINGS #2280 "SILVER MIST"
(ST-1) STOREFRONT KAWNEER COLOR - CLEAR ANODIZED ALUM.	(WD-21) RESYSTA DECKING PLANKS COLOR: BURMA (FVG C-08)



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
△ _____
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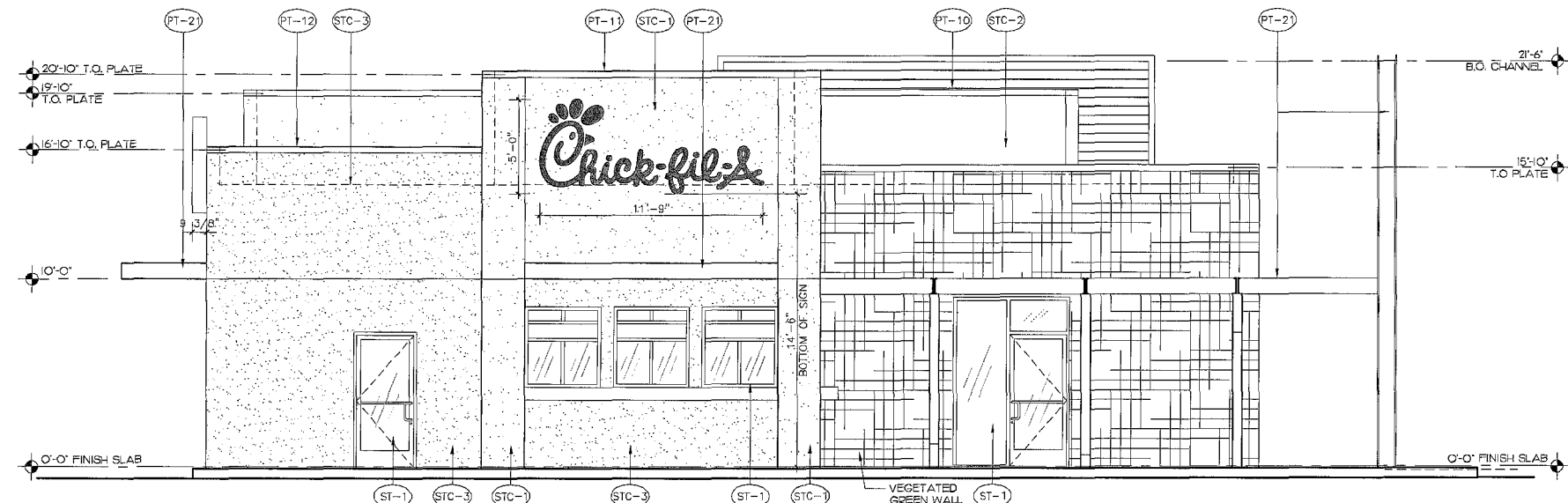
5955 BALBOA AVE.
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SHEET TITLE
EXTERIOR
ELEVATION

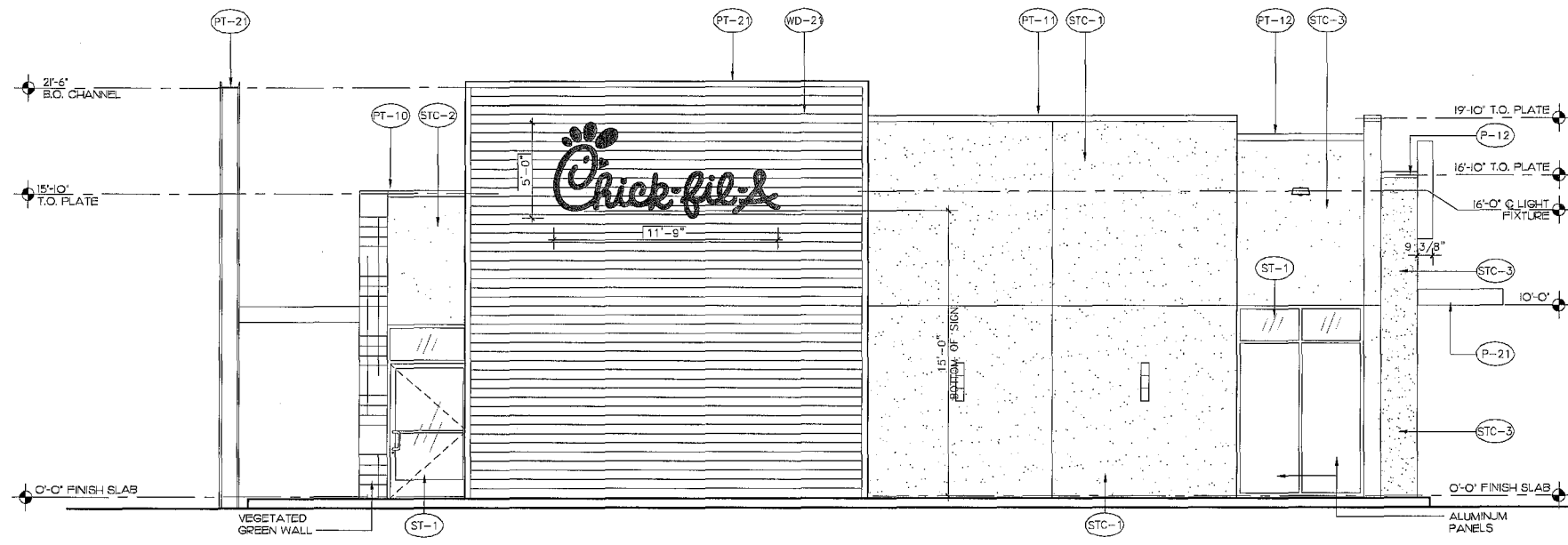
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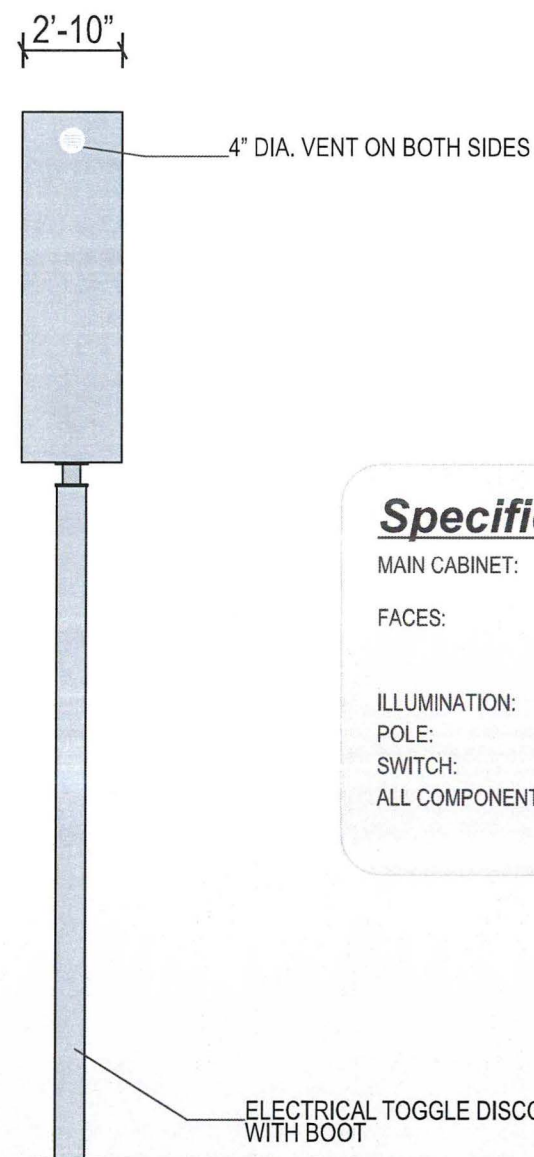
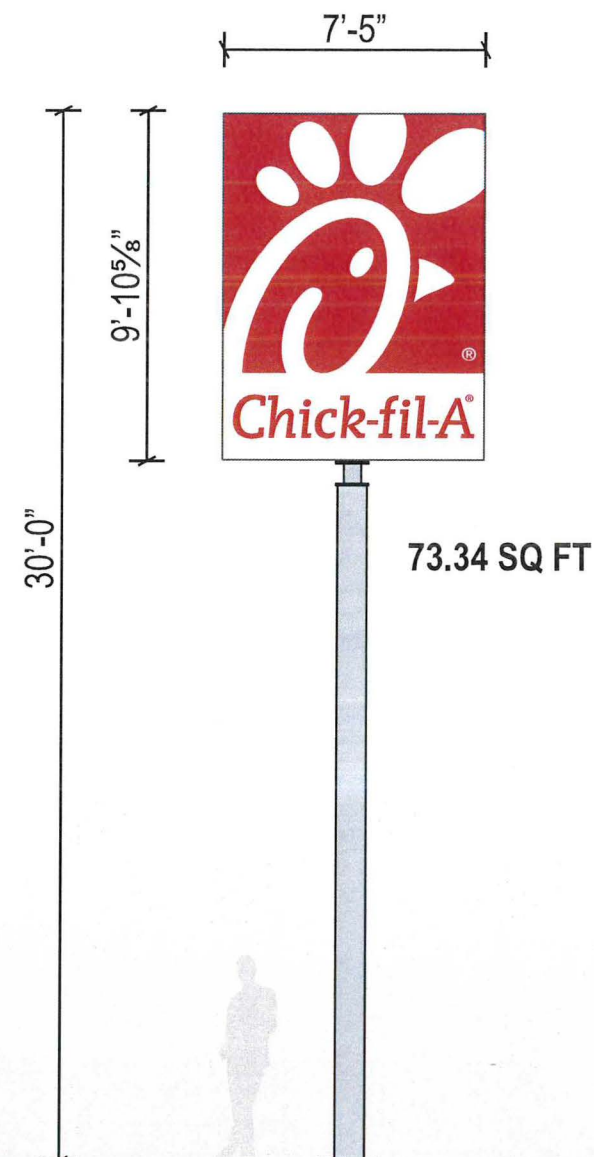
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A-2.2



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



Per SDMC 142.1210(d), all signs on premises shall comply with the following maintenance regulations: (1) All signs and sign supports, including decorative covers, shall be maintained in a clean and safe condition; (2) Signs shall be maintained in a graffiti-free condition; (3) The owner shall keep the display area of all painted signs neatly printed or posted at all times and shall correct any painting, fading, chipping, peeling, or flaking paint or plastic and mechanical or structural defect; and (4) Paint or debris associated with signs shall not litter public property or public rights-of-way.

Specifications:

MAIN CABINET: FABRICATED .050 ALUMINUM 2'-10" DEEP, WITH 2"X2"X1/8" STEEL ANGLE FRAME, AND RETURNS PAINTED DARK BRONZE.
 FACES: MAIN CABINET: ARLON CAST FLEX SUBSTRATE WITH APPLIED FIRST SURFACE 3M RED #3630-53 TRANSLUCENT VINYL.
 FACES. READER BOARD: WHITE LEXAN WITH WAGNER ZIP LETTER TRACKS.
 ILLUMINATION: INTERNAL T12 CW/HO FLUORESCENT LAMPS.
 POLE: STEEL SUPPORT STUB KIT AND MATCH PLATE PAINTED DARK BRONZE.
 SWITCH: ELECTRICAL TOGGLE DISCONNECT SWITCH WITH BOOT.
 ALL COMPONENTS TO BE U.L. APPROVED

	PRECISION COATINGS 2280
	SILVER MIST
	WHITE
	RED VINYL 3M-3630-53
	MATHEWS RED MP 10252

A NEW D/F ILLUM. PYLON SIGN

CHICK-FIL-A - NEW D/F ILLUMINATED PYLON SIGN

SCALE: 3/16" = 1'-0"

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National Sign & MARKETING CORPORATION
 13580 5th St., Chino, CA 91710
 Tel 909.591.4742 Fax 909.591.9792
 e-mail : sales @nsmc.com
 Lic# 745030 - Exp. 01/31/18

Project: Chick-Fil-A #3778
Address: 5955 Balboa Ave., San Diego, CA 92111
Phone: _____ **Account Mgr.** S. Rosenbloom
Designer: Duffy, S. **Scale:** Noted **Date:** 03/03/2016

Client Approval: _____
 Date: _____

This sign intended to be in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of this sign.

Revisions:
 08/01/16 SD: Change building signs and Addendums
 08/17/16 SD: Change pylon size add notes
 08/17/16 SD: Add directional

Drawing Number
27045
R3
ADDENDUM 2

