



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 19, 2017 REPORT NO. HO-17-021

HEARING DATE: April 26, 2017

SUBJECT: NILE STREET CONDOMINIUMS. Process Three Decision

PROJECT NUMBER: [412289](#)

OWNERS/APPLICANTS: Bradford Holdings, Inc.

### SUMMARY:

Issue: Should the Hearing Officer approve the construction and creation of four detached residential condominiums units on a vacant 0.32-acre site located at 3571 Nile Street in the Greater North Park Community Plan area?

#### Staff Recommendations:

1. APPROVE Site Development Permit No. 1480678; and
2. APPROVE Tentative Map Waiver No. 1480679.

Community Planning Group Recommendation: On May 7, 2016, the North Park Community Planning Group voted 15-0-0 to recommend approval of the proposed project which proposes the two deviations. (Attachment 8).

Environmental Review: This project is exempt from environmental review pursuant to Article 15, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). The environmental exemption determination for this project was made on December 20, 2016, and the opportunity to appeal that determination ended. This project is not pending an appeal of the environmental determination.

### BACKGROUND

The project is located at 3571 Nile Street, south of Dwight Street and North of Myrtle Avenue (Attachment 1) within the Greater North Park Community Plan area. The land use designation for the project site is Low Medium Density Residential at a density range of 10-15 dwelling units per acre (Attachment 2) and the MR-3000 zone of the Mid-City Communities Planned District (Attachment 4). Additionally, the site is in the Airport Influence Area, Federal Aviation Administration

Part 77 Noticing Area, and Transit Priority Area. The project site can accommodate four dwelling units based on the community plan land use designation and Multi-Dwelling Unit Residential Zone.

The project site is a mid-block location that is currently undeveloped, however the site contains municipal storm drain infrastructure that runs within an easement from the street frontage eastward to an unimproved paper alley at the rear of the site. The surrounding properties share the Residential Low Medium (10-15 dwelling unit per acre) land use and MR-3000 zone. The sites to the north, south and west have been graded and developed with multiple dwelling units (Attachment 3). The parcel to the east is publically owned, contains undeveloped steep slopes, and is located within the City's Multiple Habitat Planning Area (MHPA). The project site is not within the MHPA.

## DISCUSSION

### Community Plan and Zone Updates:

On November 7, 2016 (date of final passage), the City Council adopted an updated North Park Community Plan pursuant to Resolution No. [R-310758](#), and a rezone of the properties within the community planning area to city-wide zones pursuant to Ordinance No. [O-20751](#) N.S. However, the project application was deemed complete on April 16, 2015 and is utilizing the Greater North Park Community Plan and the Mid-City Communities Planned District regulations that were in effect at the time the project application was deemed complete.

### Project Description:

The project proposes the construction of four, detached, two-story residential condominium units on a vacant 0.32-acre site. Each unit consists of 1,349 square feet and includes three bedrooms, three bathrooms and a one-car garage. Nine parking spots will be provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The eastern 49 feet of the site slopes down away from the street. However, the site contains no Environmentally Sensitive Lands as defined in San Diego Municipal Code (SDMC) Section 113.0103. The site has been previously graded for a storm water easement and infrastructure.

The Greater North Park Community Plan Urban Design Element calls for projects to promote harmony in the visual relationships and transitions between new and older buildings with new buildings sympathetic to the scale, form and texture of surrounding development. The project is Bungalow style and will include the following architectural features to harmonize with the existing community character: stepped back second story, articulated façade, multiple pitched roofs, front porches, wood windows, exterior window trim, window boxes, shake and horizontal siding, 18-inch eaves with articulated rafter ends, and multi panel entrance door. The architectural design provides continuity between the proposed development and the existing surrounding dwelling units and is consistent with the Greater North Park Community Plan.

The existing storm water pipe will be removed but the existing six-foot easement will remain. A portion of the Unit 3's porch is proposed to encroach into the existing six foot easement that will remain. LDR Engineering will allow the porch with an Encroachment Maintenance and Removal

Agreement. New storm water infrastructure will be located in the middle of the driveway and connect to the public storm drain clean out in the un-improved paper alley to east of the project site. The new storm water easement is ten feet wide and will be adjacent to the remaining easement for a maximum width of 16 feet.

Development of the proposed project requires the approval of a Process 3 Site Development Permit in accordance with SDMC Section 1512.0203(a) and SDMC Section 1512.0203(b)(1) for development that exceeds the number of threshold dwelling units listed in table 1512-02A, and for deviations to the development regulations in accordance with SDMC Section 1512.0203(b)(3) for building height. The project also requests a Process 3 Map Waiver in accordance with SDMC Section 125.0120(b)(1), including a waiver of the overhead utility undergrounding requirements in accordance with SDMC Section 144.0242.

#### Project Related Issues:

Airport Land Use Compatibility The project site is located within the Airport Influence Area for San Diego International Airport (SDIA) as depicted in the adopted 2014 Airport Land Use Compatibility Plan (ALUCP). The project is not located in a Safety Zone as depicted in the ALUCP. The use and density are consistent with the ALUCP; therefore, a consistency determination by the San Diego County Regional Airport Authority is not required. The applicant has submitted a Federal Aviation Authority (FAA) Self-certification Agreement in accordance with the guidelines, stating that a FAA notification pursuant to Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

Deviations The project as designed requires two deviations, Mid-City Communities Planned District Height and overall structure height. Mid-City Communities Planned District Height Limit, per SDMC Section 1512.0303(e), requires that the front 30 percent of the property observe a 16-foot maximum structure height. The project proposes a front 30 percent height of 23 feet six inches or a seven-foot six-inch front height deviation for the front two units. The Greater North Park Community Plan, Urban Design policy recommends that on-site parking should be screened or located in areas not highly visible from the street. The project addressed Urban Design policy by shifting two of the units forward and locating the required parking in the center of the parcel between the front two units and the rear two units. Therefore, meeting the Urban Design Policy results in the requested deviation.

A second deviation is requested to the overall height for the rear two units from the Mid-City Communities Planned District, Height Limit Section 1512.0303(e). Overall structure height is measured, per SDMC Section 113.0270(a)(2)(B), from the lowest point of existing grade or proposed grade within five feet of the structure's perimeter to the highest point of the structure. The overall structure height shall not exceed the maximum permitted structure height of 30 feet for the MR-3000 zone plus an amount equal to a maximum grade differential of ten feet. The maximum allowable height for the rear two units is 40 feet. The units as proposed measures 23 feet, six inches on a flat surface but as measured from the site's low point are 44 feet, six inches and therefore a four-foot, six-inch deviation is requested.

Undergrounding Utility Waiver- The project site is located within Council District 3. SDMC Section 144.0240(b)(5) allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public right-

of-way. City staff has determined that the waiver of the requirements to underground privately owned utility systems and services facilities qualifies under the guidelines of SDMC Section 144.0242(c)(1)(B) as follows: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

The neighborhood currently contains power poles and overhead utility lines within an existing public utility easement that runs along the eastern property line. The proposed subdivision utilities will be undergrounded and the waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within residential Block 3H1, and is estimated for construction in May 2066.

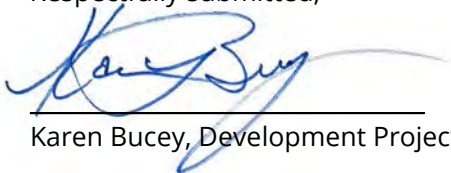
Conclusion:

Even with the approval of the two requested deviations, the development would be consistent with the community character of the neighborhood, and will be consistent with the Greater North Park Community Plan land use designation, the Mid-City Planned District design guidelines, and development standards in effect for this site. Therefore, staff recommends the Hearing Officer approve the project.

ALTERNATIVES:

1. APPROVE Site Development Permit No. 1480678 and Map Waiver No. 1480679 with modifications.
2. DO NOT APPROVE Site Development Permit No. 1480678 and Map Waiver No. 1480679, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

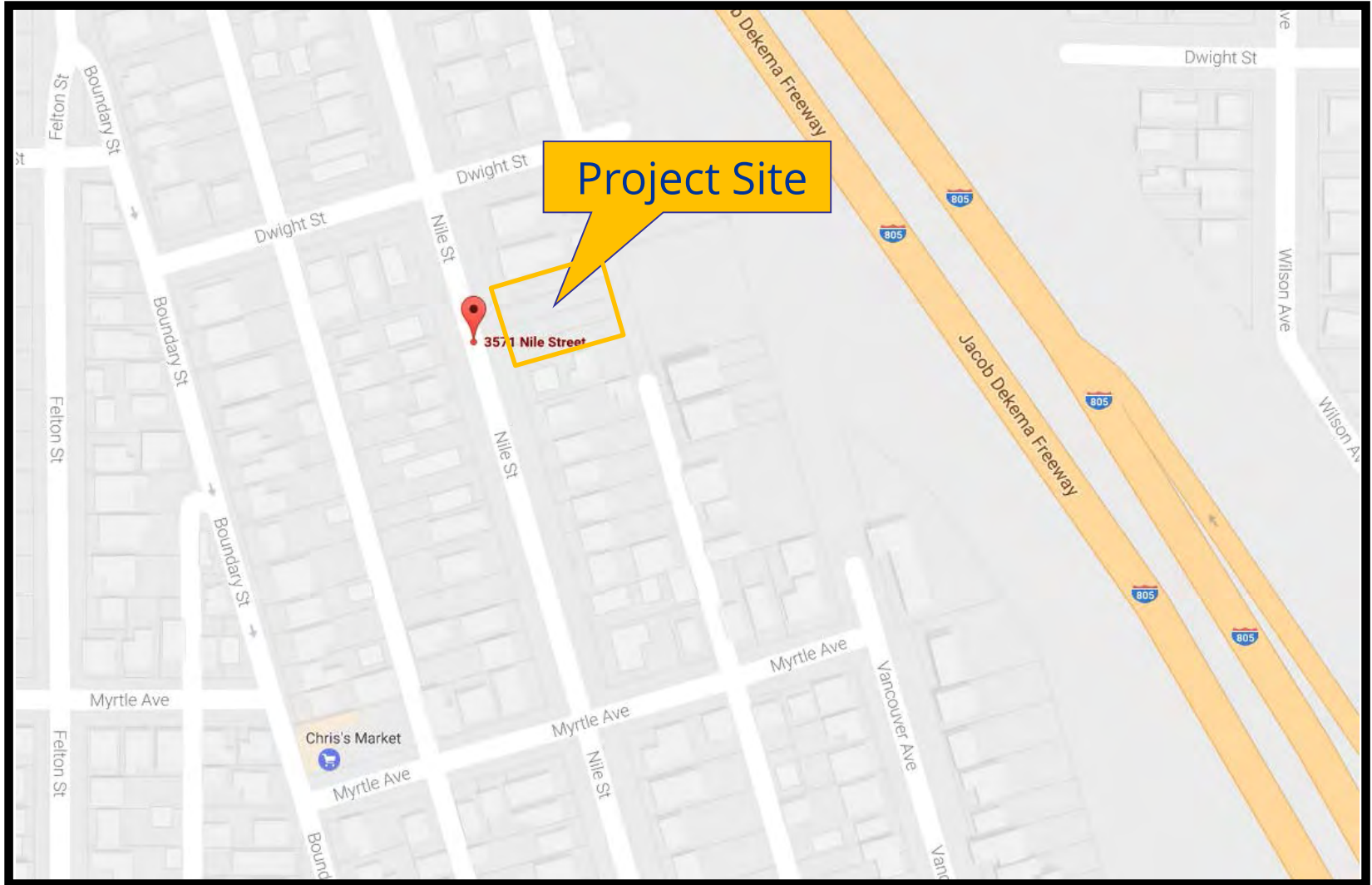


Karen Bucey, Development Project Manager

Attachments:

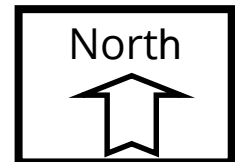
1. Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Zoning Map
5. Project Data Sheet
6. Draft Resolution with Findings
7. Draft Permit with Conditions
8. Draft Map Waiver with Findings
9. Draft Map Waiver Conditions
10. North Park Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans

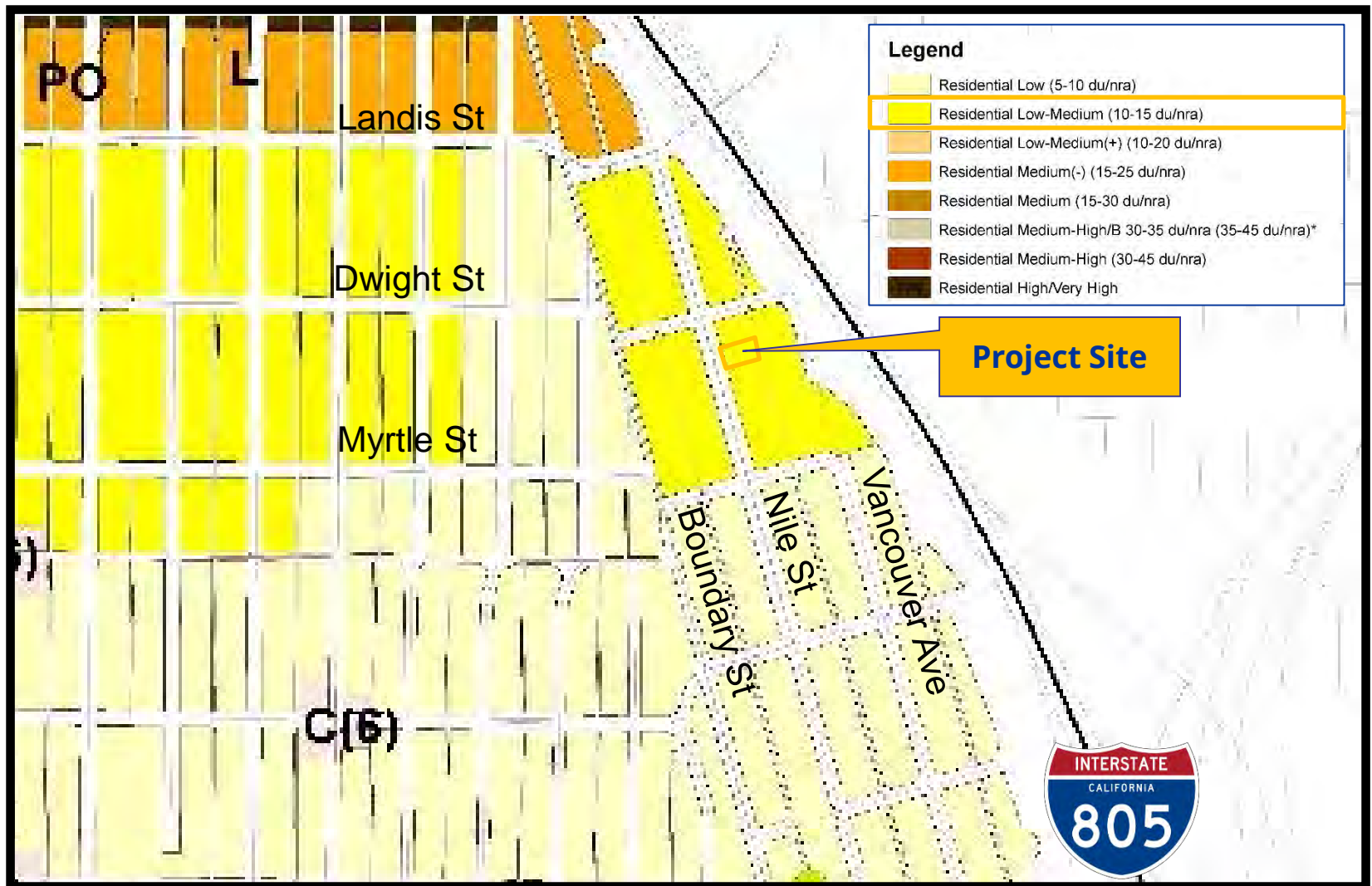




## Location Map

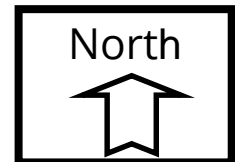
**Nile Street Condominiums; Project No. 412289**  
**3571 Nile Street**





## North Park Community Plan Land Use Map

Nile Street Condominiums; Project No. 412289  
3571 Nile Street

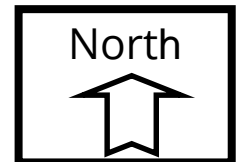


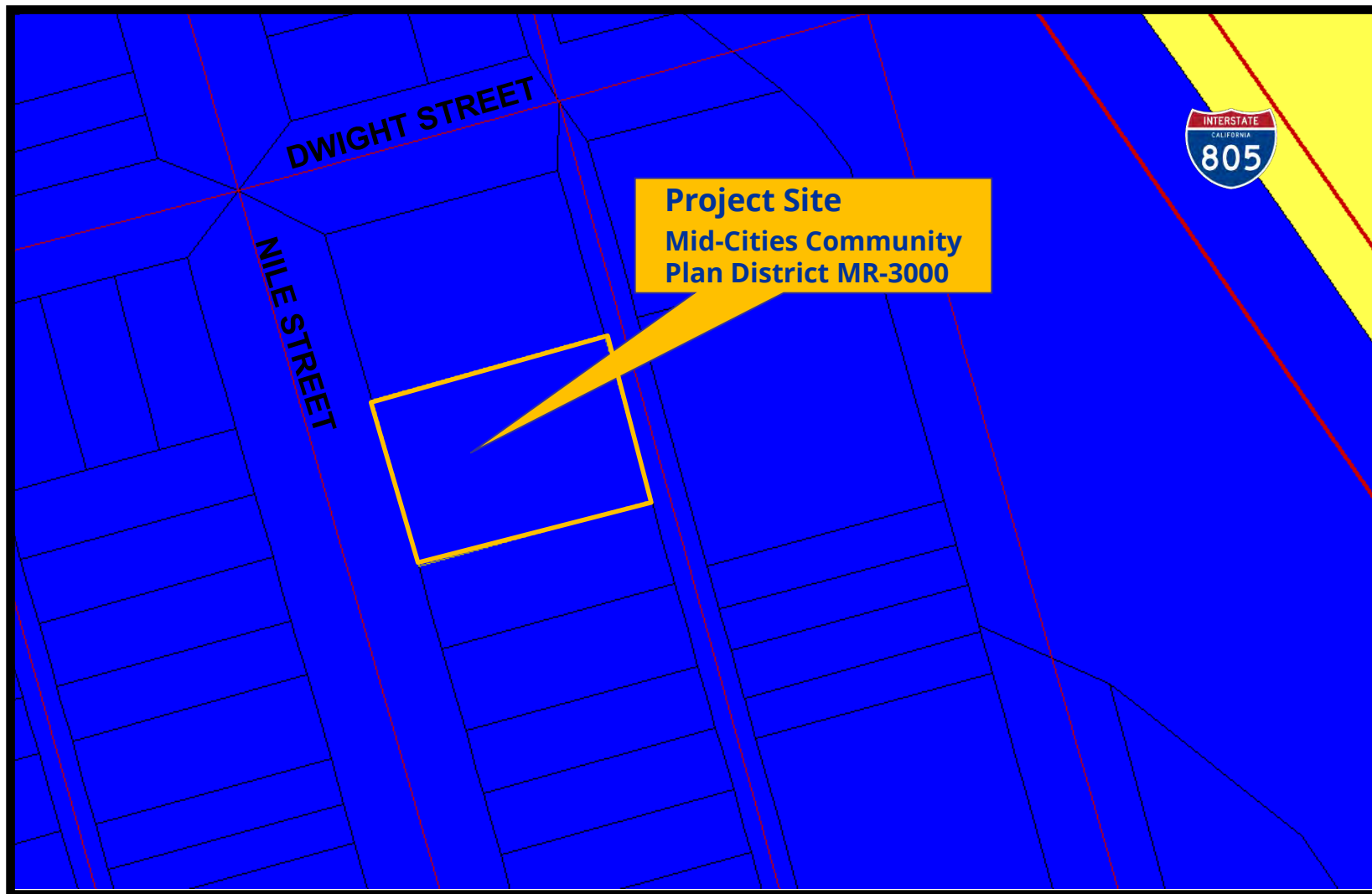




## Aerial Photograph

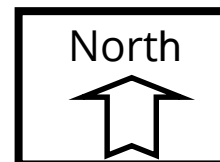
Nile Street Condominiums; Project No. 412289  
3571 Nile Street





## Zoning Map

Nile Street Condominiums; Project No. 412289  
3571 Nile Street





# PROJECT DATA SHEET

<b>Project Name:</b>	Nile Street Condominiums – Project No. 412289	
<b>Project Description:</b>	Construction of four 1,349-square-foot detached two-story residential condominium units.	
<b>Community Plan Area:</b>	Greater North Park	
<b>Discretionary Actions:</b>	Site Development Permit / Map Waiver	
<b>Community Plan Land Use Designation:</b>	Residential Low Medium (10-15 dwelling units per acre)	
<b>ZONING INFORMATION:</b>		
<b>Zone:</b> Mid-City Communities Planned District MR-3000 <b>Height Limit:</b> 30 feet except in the front 30 % of the lot where the height limit is 16-foot. <b>Lot Size:</b> 0.32 acres <b>Floor Area Ratio:</b> 0.40 <b>Front Setback:</b> 10 feet <b>Side Setback:</b> 6 feet <b>Streetside Setback:</b> N/A <b>Rear Setback:</b> 15 feet <b>Parking:</b> 9 spaces		
<b>Adjacent Properties:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>North:</b>	Residential Low Medium Density (10-15 DU/AC); MR-3000	Multi Dwelling Unit Residential
<b>South:</b>	Residential Low Medium Density (10-15 DU/AC); MR-3000	Multi Dwelling Unit Residential
<b>East:</b>	Residential Low Medium Density (10-15 DU/AC); MR-3000	Undeveloped
<b>West:</b>	Residential Low Medium Density (10-15 DU/AC); MR-3000	Multi Dwelling Unit Residential
<b>Deviation Requested:</b>	Height and Street Yard	
<b>Community Planning Group Recommendations:</b>	On May 17, 2016 the North Park Planning Association voted 15-0-0 to recommend approval of the Site Development Permit With the proposed deviations.	

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
 SITE DEVELOPMENT PERMIT 1480678  
**NILE STREET CONDOMINIUM - PROJECT NO. 412289**

WHEREAS, BRADFORD HOLDINGS, INC., A CALIFORNIA CORPORATION, Owner/Permittee, filed an application with the City of San Diego for a permit to construct four residential condominium units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1480678), on portions of a 0.32 acre site;

WHEREAS, the project site is located at 3571 Nile Street in the MR-3000 zone of the Mid-City Communities Planned District area within the Greater North Park Community Plan area;

WHEREAS, the project site is legally described as Lots 5 to 8, Block 17 of City Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1007, files in the Office of the County recorder of San Diego County, October 3, 1906;

WHEREAS, on April 26, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1480678 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 20, 2016 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 26, 2017.

FINDINGS:

**I. Site Development Permit - Section 126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan.**

The 0.32 acre Nile Street site is located in the Greater North Park Community Plan area, and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District. The project site can accommodate four dwelling units based on the community plan land use designation and MR-3000 zone.

The Mid-City Communities Planned District cites the purpose and intent of the Multi-Residential (MR) zones is to create "multi-family residential zones which are designed to

provide for development compatible with the pattern of the existing neighborhoods.” The Nile Street project proposes to build four detached condominium units - consistent with the MR-3000 designation. The Greater North Park Community Plan (1986) Urban Design Element objectives call for the preservation of the architectural variety and residential character of Greater North Park as well as ensuring that new buildings are in character and scale with the neighborhood. The project as proposed is designed to be consistent with the architectural character, consistent with the residential size in the community, as well as being sited towards the front of the lot with parking between the first and second row of units, contributing to neighborhood character. Therefore, the proposed residential development is consistent with the Greater North Park policies, goals, and objectives of the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32 acre site. Each unit consists of 1,349-square-foot three-bedrooms, three-bathrooms and a one-car garage. Six additional parking spots are provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Mid-City Communities Planned District and the San Diego Municipal Code in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1480678. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32 acre site. Each unit consists of 1,349-square-foot and includes three-bedrooms, three-bathrooms and a one-car garage. Six additional parking spots are provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project as designed requires two deviations, Mid-City Communities Planned District Height and overall structure height. The Mid-City Communities Planned District regulates, per San Diego Municipal Code 1512.0303(e), that the front 30 percent of the property observe 16-foot maximum structure height. The project proposes an overall height of 23-feet six inches, a seven foot six inch front height deviation for the front two units. The Greater North Park Community Plan, Urban Design policy recommends that on-site parking should be screened or located in areas not highly visible from the street. The project addressed the Urban Design policy by shifting two of the units forward and locating the required parking in the center of the parcel between the front two units and the rear two units.

A second deviation is requested to the overall height for the rear two units. SDMC Section 113.0270, Measuring Structure Height states that the overall structure height is measured from the lowest point of existing grade or proposed grade within five feet of the structure's perimeter to the highest point of the structure. The overall structure height shall not exceed the maximum permitted structure height of 30 feet for the MR-3000 zone plus an amount equal to a maximum grade differential of ten-feet. The maximum allowable height for the rear two units is 40-feet. The units as proposed measures 23-feet six inches on a flat surface but as measured from the sites low point are 44-feet six-inches and therefore a four-foot six-inch deviation is needed.

The proposed development complies with the applicable regulations of the Land Development Code and Zoning. Deviations related to front yard height and overall structure height are necessary to address the Urban Design policy and community character. Therefore, the proposed development, with deviations, complies with the applicable regulations of the Land Development Code.

## **II. Mid-City Communities Development Permit Findings - Section 1512.0204**

### **1. The proposed development is in conformance with the Greater North Park Community Plan and the General Plan of San Diego.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32 acre site. Each unit consists of 1,349-square-feet and includes three-bedrooms, three-bathrooms and a one-car garage. Six additional parking spots are provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The units proposed are Bungalow Style, articulated in the Mid-City Communities Planned District regulations (SDMC Section 1512.0304). The elevations include stepped back second story, articulated façade, multiple pitched roofs, front porches, wood windows, exterior window trim, window boxes, shake and horizontal siding, 18-inch eaves with articulated rafter ends, and multi panel entrance door. The architectural design provides continuity between the proposed development and the existing surrounding dwelling units and is consistent with the Greater North Park Community Plan.



The project as designed requires two deviations, Mid-City Communities Planned District Height and overall structure height. The Mid-City Communities Planned District regulates, per SDMC Section 1512.0303(e), that the front 30 percent of the property observe 16-foot maximum structure height. The project proposes an overall height of 23-feet six inches, a seven foot six inch front height deviation for the front two units. The Greater North Park Community Plan, Urban Design policy recommends that on-site parking should be screened or located in areas not highly visible from the street. The project addressed the Urban Design policy by shifting two of the units forward and locating the required parking in the center of the parcel between the front two units and the rear two units.

A second deviation is requested to the overall height for the rear two units from the Mid-City Communities Planned District, Height Limit Section 1512.0303(e). Overall structure height is measured, per SDMC Section 113.0270(a)(2)(B), from the lowest point of existing grade or proposed grade within five feet of the structure's perimeter to the highest point of the structure. The overall structure height shall not exceed the maximum permitted structure height of 30 feet for the MR-3000 zone plus an amount equal to a maximum grade differential of ten-feet. The maximum allowable height for the rear two units is 40-feet. The units as proposed measures 23-feet six inches on a flat surface but as measured from the sites low point are 44-feet six-inches and therefore a four-foot six-inch deviation is needed.

The proposed development complies with the applicable regulations excluding the project deviations necessary to address the Urban Design policy and community character. Therefore, the proposed development complies with the policies and goals of the General Plan and the Greater North Park Community Plan (1986).

**2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32 acre site. Each unit consists of 1,349-square-feet and includes three-bedrooms, three-bathrooms and a one-car garage. Six additional parking spots are provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

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The proposed development is compatibility with surrounding development, existing and planned land use, will contribute to the community and be in architectural harmony with the surrounding neighborhood. Deviations related to front yard height and overall structure height are necessary to address the urban design and community character. Therefore, the proposed development will contribute to neighborhood character and community harmony.

**3. No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32 acre site. Each unit consists of 1,349-square-feet three-bedrooms, three-bathrooms and a one-car garage. Six additional parking spots are provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Mid-City Communities Planned District and the San Diego Municipal Code in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1480678. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement

permits. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

**4. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site.**

Cobra style City lighting standards are installed at the intersection of Nile Street and Dwight Street, 132 feet northwest, and a Nile Street mid-block on location, 439 feet southwest of the site. Additionally, the project has sited the units forward on the property with front porches to provide eyes on the street and residential lighting contributing to community character and security. Therefore the project is consistent with the City's Municipal Code.

**5. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32 acre site. Each unit consists of 1,349-square-foot three-bedrooms, three-bathrooms and a one-car garage. Six additional parking spots are provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

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Deviations related to front yard height and overall structure height are necessary to address the Urban Design policy and community character. Therefore, the proposed development, with deviations, complies with the relevant regulations of the San Diego Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit 1480678 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1480678, a copy of which is attached hereto and made a part hereof.

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Karen Bucey  
Development Project Manager  
Development Services

Adopted on: April 26, 2017

IO#: 24005661

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24005661

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT 1480678  
**NILE STREET CONDOMINIUM-PROJECT NO. 412289**  
Hearing Officer

This Site Development Permit 1480678 is granted by the Hearing Officer of the City of San Diego to BRADFORD HOLDINGS, INC., a California Corporation, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] 126.0504. The 0.32-acre site is located at 3571 Nile Street in the MR-3000 zone of the Mid-City Communities Planned District within the Greater North Park Community Plan area. The project site is legally described as: Lots 5 to 8, Block 17 of City Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1007, files in the Office of the County recorder of San Diego County, October 3, 1906.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to construct four residential condominiums described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 26, 2017, on file in the Development Services Department.

The project shall include:

- a. Construction of four 1,349-square-foot detached two-story residential condominium units. Each unit includes three bedrooms, three bathrooms and a one-car garage. Five additional parking spots are provided onsite.
- b. Deviations from the SDMC:
  - Mid-City Communities Planned District Height Limit- A deviation from SDMC Section 1512.0303(e), to allow a maximum overall height of 23 feet six inches within the first 30 percent of the lot for the front two units, where the regulations allow a maximum height of 16 feet within the first 30 percent of the lot.
  - Mid-City Communities Planned District Overall Height- A deviation from SDMC Section 1512.0303(e) to allows a maximum overall height of 44 feet six inches, where the regulations allows a maximum height of 40 feet (base zone of 30 feet plus the 10-foot differential allowed in SDMC Section 113.0270(a)(2)(B)) for the rear two units.
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Nine off-street parking spaces;
- e. A photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 10, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. O-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge,

or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN (CAP) REQUIREMENTS:**

12. The Owners/Permittees shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A" Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

13. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

14. The Site Development Permit shall comply with all Conditions of the Map Waiver No. 1480679.

15. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan is subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for all private improvements within the City right-of-way and storm drain easements.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 22-foot wide driveway, adjacent to the site on Nile Street, satisfactory to the City Engineer.



20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing curb with current City Standard curb and gutter, adjacent to the site on Nile Street, satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing sidewalk with current City Standard sidewalk, adjacent to the site on Nile Street, satisfactory to the City Engineer.
22. Prior to the issuance of any construction permit, the Owner/Permittee shall dedicate ten feet of easement for the proposed storm drain pipe.
23. Prior to issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to install a City standard storm drain as shown on approved Exhibit "A", satisfactory to the City Engineer.
24. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.
25. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
26. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
27. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
28. The following will be conditions of the Tentative Map Waiver Resolution that the subdivider will need to satisfy/assure before the Certificate of Compliance is recorded.

**LANDSCAPE REQUIREMENTS:**

29. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete Landscape Construction Documents showing the brush management zones on the property in substantial conformance with Exhibit "A" in accordance with the Landscape Standards and to the satisfaction of the Development Services Department.
30. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

31. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under SDMC 142.0403(b)(5).

32. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit a water budget in accordance with the Water Conservation Requirements per SDMC 142.0413, Table 142-04I, to be included with the construction documents. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual at final inspection. The irrigation audit shall certify that all irrigation systems have been installed and operate as approved by the Development Services Department.

33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

34. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**BRUSH MANAGEMENT PROGRAM REQUIREMENTS:**

35. Prior to issuance of any construction permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

36. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" Brush Management Plan on file in the Office of the Development Services Department.

37. The Brush Management Plan shall be based on a modified Zone One of 19 feet (from the face of the structure to the retaining wall), with a Zone Two of 11 feet (from the edge of Zone One to the centerline of the existing paper street). Alternative compliance measure shall include upgraded openings to dual-glazed, dual-tempered panes, inclusive of a 10-foot perpendicular return along adjacent walls facing the native vegetation.

38. The Brush Management Plan shall be consistent with the Brush Management Regulations of the Land Development Code section 142.0412 and the Landscape Standards of the Land Development Manual.

**MULTIPLE SPECIES CONSERVATION PROGRAM (MSCP):**

39. Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or Multi-Species Conservation Program (MSCP) staff shall verify the Applicant has accurately represented the project's design in or on the Construction Documents (CD's/CD's consist of Construction Plan Sets for Private Projects and Contract Specifications for Public Projects) are in conformance with the associated discretionary permit conditions and Exhibit "A," and also the City's MSCP Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines. The applicant shall provide an implementing plan and include references on/in CD's of measures XX below under the bolded heading of each item.

40. Grading/Land Development/MHPA Boundaries - Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify MHPA boundaries onsite and adjacent properties are delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the approved development/construction footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.

41. Drainage - Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify all new and proposed parking lots, staging areas, and developed areas in and adjacent to the MHPA are designed so they do not drain directly into the MHPA. All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.

42. Toxics/Project Staging Areas/Equipment Storage - Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactful to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."

43. Lighting - Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify lighting within or adjacent to the MHPA is directed away/shielded from the MHPA, or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per SDMC Section 142.0740.

44. Barriers – Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify construction and new development within or adjacent to the MHPA includes barriers (e.g., non-invasive vegetation; rocks/boulders; 6-foot high, vinyl-coated chain link or

equivalent fences/walls; and/or signage) along the MHPA boundaries to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.

45. Invasives- Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify no invasive non-native plant species are being introduced into areas within or adjacent to the MHPA.

46. Noise - Prior to issuance of any construction permit or notice to proceed, DSD/ LDR, and/or MSCP staff shall verify (due to the site's location adjacent to or within the MHPA) where the Qualified Biologist has identified potential nesting habitat for listed avian species, that construction noise that exceeds the maximum levels (60 dB or greater at the beginning edge of the habitat) allowed shall be avoided during the breeding seasons for the following: CA gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species, USFWS protocol surveys shall be required in order to determine species presence/absence. If protocol surveys are not conducted in suitable habitat during the breeding season for the aforementioned listed species, presence shall be assumed with implementation of noise attenuation and biological monitoring. When applicable (i.e., habitat is occupied or if presence of the covered species is assumed), adequate noise reduction measures shall be incorporated.

**PLANNING/DESIGN REQUIREMENTS:**

47. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

48. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

49. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**AFFORDABLE HOUSING REQUIREMENTS**

50. The four-unit residential project will be subject to Inclusionary Housing Regulations adopted by City Council May 2003. The project will be subject to in-lieu fees in accordance with SDMC §142.1302.

**TRANSPORTATION REQUIREMENTS**

51. A minimum of four garage parking spaces and five non-garaged spaces shall be permanently maintained on the property within the approximate location shown on the Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

52. Prior to the issuance of any building permits, the applicant shall process and record a NOTICE & AGREEMENT for each ownership being served by a private pump station/sewer facilities which serves more than one ownership, which indemnifies the City and contains an agreement that the applicant, and successors in interest, will be responsible for the operation and maintenance of the private sewer systems.

53. The Owner/Permittee shall provide CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

54. No approved improvements or landscaping, including private water and sewer facilities, shall be installed in or over any public right-of-way prior to the applicant obtaining an Encroachment Maintenance and Removal Agreement (EMRA). The EMRA will be provided at time of plan check.

55. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service outside of any driveway, in a manner satisfactory to the Public Utilities Director and the City Engineer.

56. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

57. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

58. Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

59. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 26, 2017 and Resolution Number

SDP No. 1480678  
Date of Approval: April 26, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Karen Bucey  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**BRADFORD HOLDINGS, INC.,**  
A California Corporation  
Owner/Permittee

By \_\_\_\_\_  
Wayne Levy  
Chief Executive Officer

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NO. \_\_\_\_\_  
DATE OF FINAL PASSAGE APRIL 26, 2017

A RESOLUTION OF THE HEARING OFFICER ADOPTING THE FINDINGS  
AND APPROVING MAP WAIVER NO. 1480679 FOR NILE STREET  
CONDOMINIUMS – PROJECT NO. 412289

WHEREAS, BRADFORD HOLDINGS, INC., a California Corporation, Subdivider, and SNIPES-DYE AND ASSOCIATES, Surveyor, submitted an application with the City of San Diego for Map Waiver No. 1480679, to waive the requirement for a Tentative Map for the creation of four detached residential condominiums in the Greater North Park Community Plan Land Use area , and to waive the requirement to underground existing offsite overhead utilities. The project site is located at 3571 Nile Street in the MR-3000 zone of the Mid-City Communities Planned District within the Greater North Park Community Plan area. The property is legally described as: Lots 5 to 8, Block 17 of City Heights, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1007, files in the Office of the County recorder of San Diego County, October 3, 1906; and

WHEREAS, the Map proposes the subdivision of a 0.32-acre site into one (1) lot for a four (4) unit residential condominium; and

WHEREAS, on December 20, 2016, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 *et. seq.*) under CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and



WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code section 144.0242(c) based on The fact that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on April 26, 2017, the Hearing Officer of the City of San Diego considered Map Waiver No. 1480679, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to sections 125.0122 (map waiver) and 144.0240 (underground) of the San Diego Municipal Code and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Map Waiver No. 1480679:

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The 0.32-acre Nile Street site is located in the Greater North Park Community Plan area and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District.

The Mid-City Communities Planned District cites that the purpose and intent of the Multi-Residential (MR) zones is to create “multi-family residential zones which are designed to provide for development compatible with the pattern of the existing neighborhoods.” The Nile Street project proposes to build four, detached, condominium units consistent with the Greater North Park Community Plan Low Medium Density Residential (10-15 DU/AC) land use designation.

The Greater North Park Community Plan (1986) Urban Design Element calls for the preservation of the architectural variety and residential character of Greater North Park as well as ensuring that new buildings are in character and scale with their neighborhoods. The units proposed are Bungalow Style, articulated in the Mid-City Communities Planned District

regulations (SDMC Section 1512.0304). The elevations include stepped back second story, articulated façade, multiple pitched roofs, front porches, wood windows, exterior window trim, window boxes, shake and horizontal siding, 18-inch eaves with articulated rafter ends, and multi panel entrance door. The architectural design provides continuity between the proposed development and the existing surrounding dwelling units and is consistent with the Greater North Park Community Plan.

The proposed development is compatibility with surrounding development, existing and planned land use, will contribute to the community and be in architectural harmony with the surrounding neighborhood. Deviations related to front yard height and overall structure height are necessary to address the urban design and community character.

The project as proposed is designed to be consistent with the architectural character of the surrounding community. Therefore, the proposed residential development is consistent with the Greater North Park Community Plan policies, goals, and objectives of the applicable land use plan.

### **2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The 0.32-acre Nile Street site is located in the Greater North Park Community Plan area and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District.

The project as designed requires two deviations: Mid-City Communities Planned District Height; and overall structure height. The Mid-City Communities Planned District Height Limit, per San Diego Municipal Code (SDMC) Section 1512.0303(e), regulates that the front 30 percent of the property observe a 16-foot maximum structure height. The project proposes a front 30 percent height of 23 feet six inches or a seven-foot six-inch front height deviation for the front two units. The Greater North Park Community Plan, Urban Design policy recommends that on-site parking should be screened or located in areas not highly visible from the street. The project addressed Urban Design policy by shifting two of the units forward and locating the required parking in the center of the parcel between the front two units and the rear two units. Therefore, meeting the Urban Design Policy results in the requested deviation.

A second deviation is requested to the overall height for the rear two units from the Mid-City Communities Planned District Height Limit section 1512.0303(e). Overall structure height is measured, per SDMC Section 113.0270(a)(2)(B), from the lowest point of existing grade or proposed grade within five feet of the structure's perimeter to the highest point of the structure. The overall structure height shall not exceed the maximum permitted structure

height of 30 feet for the MR-3000 zone plus an amount equal to a maximum grade differential of ten feet. The maximum allowable height for the rear two units is 40 feet. The units as proposed measures 23 feet six inches on a flat surface but as measured from the site's low point are 44 feet, six inches and therefore a four-foot, six-inch deviation is requested.

The proposed development project complies with all applicable regulations of the Land Development Code and Zoning except the requested deviations. The deviations related to front yard height and overall structure height are necessary to address the Urban Design policy and community character. Therefore, the proposed development, with deviations, complies with the applicable regulations of the Land Development Code.

### **3. The site is physically suitable for the type and density of development.**

The 0.32-acre Nile Street site is located in the Greater North Park Community Plan area and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District. The land use designation of Low Medium Density Residential (10-15 DU/AC) would allow development of between three and five units. The project proposed four unit development is consistent with the land use density.

The site is previously graded but slopes remain over the eastern portion of the lot and continue offsite. The site elevation in the front 91 feet of lot depth is 322 feet above mean sea level and slope gradually. The eastern 49 feet of slope falls 29 feet to the property line and continues sloping off site. Sufficient flat space is available on the site so the residential units can be sited forward on the lot to the extent possible, minimizing development on the slopes. Therefore the site is physically suitable for residential development.

### **4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32-acre site. Each unit consists of 1,349 square feet and includes three bedrooms, three bathrooms and a one-car garage. Six parking spots will be provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The site has been previously graded and contains slopes across the eastern portion of the site but does not meet the definition of Environmentally Sensitive Land per SDMC Section

143.0110. The site is not mapped within the City's Multi-Habitat Planning Area (MHPA)/Multiple Species Conservation Plan (MSCP) however, it is located adjacent to the MSCP. A Biological Resources Letter Report prepared for the project, concluded that the residential development of the project site and replacement and upgrades of existing storm drain facilities would not result in significant impacts to biological resources in accordance with the City's Biology Guidelines.

Due to the adjacency to the Open Space area, a Brush Management Plan has been included with the project. The Brush Management Program consists of a modified Zone One of 19 feet (from the face of the structure to the retaining wall) with a Zone Two of 11 feet (from the edge of Zone One to the centerline of the existing paper alley). Alternative compliance measures include upgraded openings to dual-glazed, dual-tempered panes, inclusive of a ten-foot perpendicular return along adjacent walls facing native vegetation.

The City of San Diego conducted an environmental review of this site in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, the four unit residential condominium subdivision or the proposed improvements would not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

### **5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.**

The project proposes the construction of four detached two-story residential condominium units on a 0.32-acre site. Each unit consists of 1,349 square feet and includes three bedrooms, three bathrooms and a one-car garage. Six parking spots will be provided onsite. The development includes photovoltaic panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The site vicinity includes existing cobra style City lighting standards installed at the intersections of Nile Street and Myrtle Avenue, Nile Street and Dwight Street, and at a mid-block location on the east side of Nile Street. Additionally, the project has sited the units forward on the property with front porches to provide eyes on the street and residential lighting contributing to community safety.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Mid-City Communities Planned District and the San Diego Municipal Code in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse

impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit No. 1480678. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Therefore, the proposed design of the subdivision will not be detrimental to the public health, safety and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

The 0.32-acre Nile Street site is located in the Greater North Park Community Plan area and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District. The land use designation of Low Medium Density Residential (10-15 DU/AC) would allow development of between three and five units. The project proposed four unit development is consistent with the land use density.

The Greater North Park Community Plan (1986) Urban Design guidelines call for the protection of public views, however, the site does not contain public view corridors. The project is designed to observe the standard side yard setback, rear yard setback, driveway through the mid-section of the property that could afford passive public views through the site and onto the undeveloped public land to the project east.

The tentative map waiver proposes the subdivision of a 0.32-acre site into one (1) lot for a 4-unit residential condominium. The requested underground waiver of the existing overhead facilities qualifies under the guidelines of SDMC Section 144.0242(c) Waiver of the Requirements to Underground Privately Owned Utility Systems and Services Facilities in that: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.

The site has an existing six-foot easement and storm water pipe connecting to municipal services in an unimproved paper alley to the east of the project. The storm water pipe will be removed and abandoned in its current location and removed. The six-foot easement will remain. A portion of the Unit 3's porch is proposed to encroach into the existing six foot easement that will remain. LDR Engineering will allow the porch with an Encroachment Maintenance and Removal Agreement. A new ten-foot wide easement will be dedicated adjacent to the existing easement creating a 16-foot wide easement through the property.

New storm water infrastructure will be installed in the new easement connecting to the municipal services offsite.

The dedication of a new easement, the construction of storm water infrastructure, the tentative map waiver for development of four condominiums, and the requirements to underground utilities will therefore not conflict with public easements or access through the property.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The 0.32-acre Nile Street site is located in the Greater North Park Community Plan area and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District.

The architectural design and distance between the four units allow light and air flow to circulate through the development and bring airflow up the hillside and Interstate 805 alignment to the projects east.

The proposed project would implement the General Plan Conservation Element recommendation of employing sustainable or "green" building techniques for the construction and operation of buildings, include energy efficient insulation, high efficiency ducting, heating, and cooling, and garage parking. Additionally, the site will include passive cooling in the form of trees, shrubs, and hedge to shade the structures and parking.

Therefore, with the design of the proposed subdivision each structure will have the opportunity through site orientation and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The 0.32-acre Nile Street site is located in the Greater North Park Community Plan area and the land use designation is Low Medium Density Residential (10-15 DU/AC). The implementing zone is the MR-3000 zone of the Mid-City Communities Planned District. The Greater North Park Community Plan (1986) Urban Design guidelines call for the protection of public views, however, the site does not contain public view corridors. The project is designed to observe the standard side yard setback, rear yard setback, driveway through the mid-section of the property that could afford passive public views through the site and onto the undeveloped public land to the project east.

The land use designation of Low Medium Density Residential (10-15 DU/AC) would allow development of between three and five units. The project proposed four unit development is consistent with the land use density. The proposed project supports an infill development strategy and provides access to transit by way of bus stop (Bus Routes 2, 7, 50, and 255 that have various frequencies as little as every 12 minutes) located 0.5 miles northwest along University Avenue.

The neighborhood is predominately built out and is served by municipal utilities, infrastructure, parks, and mass transit as well as community serving retail, services, and employment. Therefore, the design of the proposed subdivision will provide infill housing in a transit oriented environment that is well served with public services.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Map Waiver No. 1480679 including the waiver of the requirement to underground existing offsite overhead utilities is hereby granted to BRADFORD HOLDINGS, INC., subject to the attached conditions which are made a part of this resolution by this reference.

By \_\_\_\_\_  
Karen Bucey  
Development Project Manager  
Development Services Department

ATTACHMENT: Map Waiver Conditions

Internal Order No. 24005661

## **ATTACHMENT 9**

HEARING OFFICER  
CONDITIONS FOR MAP WAIVER NO. 1480679  
NILE STREET CONDOMINIUMS - PROJECT NO. 412289  
ADOPTED BY RESOLUTION NO. \_\_\_\_\_ ON APRIL 26, 2017

### **GENERAL**

1. This Map Waiver will expire May 10, 2020.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Certificate of Compliance unless otherwise noted.
3. A Certificate of Compliance shall be recorded in the Office of the San Diego County Recorder, prior to the Map Waiver expiration date.
4. Prior to the recordation of the Certificate of Compliance, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Certificate of Compliance shall conform to the provisions of Site Development Permit 1480678.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

### **AFFORDABLE HOUSING**

7. The 4-unit residential project will be subject to Inclusionary Housing Regulations adopted by City Council May 2003. The project will be subject to in-lieu fees in accordance with SDMC § 142.1302

### **ENGINEERING**

8. The Map Waiver shall comply with the conditions of the Site Development Permit No. 1480678.



## **ATTACHMENT 9**

9. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
10. The Subdivider shall grant an Easement to the City of San Diego for Storm Drainage purposes.
11. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. Back flow prevention devices shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
12. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
13. The Subdivider shall assure, by permit, bond and As-built completion, the removal of portions of the existing Public Storm Drain system and construction of a current City Standard Public Storm Drain system per approved Exhibit 'A", adjacent to the site on Nile Street, satisfactory to the City Engineer.
14. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
15. The requested underground waiver of the existing overhead facilities qualifies under the guidelines of San Diego Municipal Code Section 144.0242(c) Waiver of the Requirements to Underground Privately Owned Utility Systems and Services Facilities in that: The conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility.
16. Whereas the map proposes the subdivision of a 0.319 acre site into one (1) lot for a 4 unit residential condominium.

### **MAPPING**

17. A certificate of compliance shall be requested once the items of the approved tentative map waiver and resolution have been satisfied.
18. Prior to the issuance of a Certificate of Compliance, City staff will perform a field site visit to verify that all property corners, or property corner offsets have been set. If any property corners are missing, they must be set and a Corner Record or Record of Survey (whichever is applicable) shall be filed with the County Recorder pursuant to the Professional Land Surveyors Act. A copy of the Record of Survey or Corner Record shall be provided to the City.

## **ATTACHMENT 9**

19. Prior to the recordation of the Certificate of Compliance taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

### **GEOLOGY**

20. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego "Guidelines for Geotechnical Reports" satisfactory to the City Engineer.

### **INFORMATION:**

- The approval of this Map Waiver by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Map Waiver will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Map Waiver, may protest the imposition within 90 days of the approval of this Map Waiver by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24005661



**NORTH PARK PLANNING COMMITTEE**  
**Final Minutes: May 17, 2016 – 6:30 PM**

[www.northparkplanning.org](http://www.northparkplanning.org)  
[info@northparkplanning.org](mailto:info@northparkplanning.org)

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I. **Call to order: 6:31 pm**

II. **Attendance Report:**

Member	Robert Barry	Howard Blackson	Dionne Carlson	Steve Codraro	Daniel Gebreselassie	Robert Gettinger	Vicki Granowitz	Peter Hill	Brandon Hilpert	Sarah McAlear	Roger Morrison	Dang Nguyen	Rick Pyles	Melissa Stayner	Rene Vidales
Attendance	1	15	2	3	4	5	6	7	8	9	10	11	12 (left	13	14
Late													at		
Absences	1		1										8:03p)		1

III. **Consent Agenda Items:**

- a. **3571 Nile St. Process 3 Site Development Permit (SDP)** PTS 412289, Presenter: Laurie Madigan. Construct (4) four detached residential condominiums & retaining walls on a vacant 13,863 sq ft site with a steep slope, adjacent to MSCP at the rear of the property. Adjacent to I 805 in the RS 1-7 zone of the Mid-city PDO. Applicant previously presented project concept and at the January 4, 2016 UDPR meeting, at the January 19, 2016 NPPC meeting the Board unanimously supported height deviations in concept. Supported in order to have internal parking, rather than parking in the front & to protect MSCP lands by moving project closer to the street, height request was consistent with adjacent structure. **MOTION: To Approve the SDP for 3571 Nile Project including a front deviation of 7' 6" and rear deviation of 1' 7". Hill/UDPR 15/0/0 (On Consent)**

IV. **Modifications to and Adoption of the Agenda**

V. **Approval of Previous Minutes**

VI. **Treasurer's Report**

VII. **Non Agenda Public Comment:**

VIII. **Announcements & Event Notices:**

IX. **Elected Official's Report**

X. **Chairs Report/CPC:**

XI. **Social Media Report**

XII. **Subcommittee Reports:**

XIV. **Planner's Report**

XV. **Information Items:**

XVI. **Action Items:**

XVII. **Unfinished and Future Agenda Items:**

XVIII. **Adjourn: 8:35 pm**



## Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☒ Map Waiver ☐ Land Use Plan Amendment \* ☐ Other \_\_\_\_\_

Project Title \_\_\_\_\_

Project No. For City Use Only

412289

Project Address:

3571 Nile Street San Diego CA 92104

### Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☒ Yes ☐ No

Name of Individual (type or print):	Name of Individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Signature : Date:	Signature : Date:
Name of Individual (type or print):	Name of Individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Signature : Date:	Signature : Date:

Project Title:	Project No. (For City Use Only) <b>412289</b>
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**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

☒ Corporation   
 ☐ Limited Liability -or-   
 ☐ General) What State? \_\_\_\_\_ Corporate Identification No. 26-3991055  
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☒ Yes ☐ No

Corporate/Partnership Name (type or print): <u>BRADFORD HOLDINGS INC.</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>14871 RANCHO REAL</u> City/State/Zip: <u>DEL MAR CA 92014</u> Phone No: <u>WYNE LEVY 858 2121981</u> Fax No: Name of Corporate Officer/Partner (type or print): <u>Wayne Levy</u> Title (type or print): <u>CEO</u> Signature: <u>WBL</u> Date: <u>4/14/15</u>	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature:    Date:
Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature:    Date:	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature:    Date:
Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature:    Date:	Corporate/Partnership Name (type or print):  <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address:  City/State/Zip:  Phone No:    Fax No: Name of Corporate Officer/Partner (type or print):  Title (type or print):  Signature:    Date:



# SITE DEVELOPMENT PERMIT AND MAP WAIVER NO. 1480679 FOR NEW TWO STORIES DETACHED CONDOMINIUMS

FOR BRADFORD HOLDINGS INC.  
A.P.N. 453-755-05 TO 08.  
3571 NILE STREET, SAN DIEGO, CA. 92104

SPECIAL INSPECTIONS		VICINITY MAP		A.P.N	LEGAL DESCRIPTION
				453-755-29 ASSESSOR'S PARCEL NUMBER	LEGAL DESCRIPTION LOT 5 TO 8 INCLUSIVE BLOCK 17 OF QTY HEIGHTS IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO STATE OF CALIFORNIA. ACCORDING TO THE MAP THERE OF NO. 1007 RLE IN THE OFFICE OF THE COUNTY RECORDERS OF SAN DIEGO COUNTY, OCTOBER 3 1906.
				SCOPE OF WORK	
				NEW DEVELOPMENT CONSISTING OF 4 DETACHED PARTIAL TWO STORIES CONDOMINIUM UNITS. CONSISTING EACH UNIT OF 861 S.F. AT FIRST LEVEL AND 488 S.F. AT SECOND LEVEL TOTALING 1349 S.F. OF HABITABLE SPACE AND 224 S.F. NON HABITABLE SPACE AS SINGLE CAR GARAGE. UNITS DESCRIPTION 3 BEDROOMS / 3 BATHROOMS / KITCHEN / LIVING AND DINING AREA WITH A LAUNDRY FACILITY WITHIN THE GARAGE.	
				BUILDING CODES	
				C.B.C. 2013 I.C.C. 2013 U.M.C. 2013 N.S.C. 2013	C.R.C. 2013 A.S.C.E. 2013 C.R.C. 2013 U.P.C. 2013 I.B.C. 2013
				CALIFORNIA ENERGY CODE 2013 AS ADOPTED & AMENDED BY THE CITY OF SAN DIEGO	
BUILDING NOTES		BUILDING SPECS		CODE SUMMARY	
<div><div>1. ALL WORK SHALL CONFORM TO ALL REGULATIONS AND ORDINANCE OF THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, AND ALL OTHER REGULATORY AGENCIES HAVING JURISDICTION.</div><div>2. CONTRACTOR &amp; SUBCONTRACTS MUST PROTECT ADJACENT PROPERLY, INCLUDING PUBLIC RIGHT OF WAY DURING ALL OPERATIONS</div><div>3. CONTRACTOR TO FIELD VERIFY ALL ELEVATIONS, BUILDING PAD DIMENSIONS, ALL SET BACKS DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND PAINT OF CONNECTIONS TO UTILITIES. IN EVENT OF CONFLICT, CONTACT DESIGNER AND OBTAIN INSTRUCTIONS BEFORE PROCEEDING WITH WORK,</div><div>4. A SOILS INVESTIGATION WAS ----- REQUIRED.</div><div>5. SOIL INVESTIGATION CONDUCTED BY:</div><div>6. IF SOILS INVESTIGATION WAS REQUIRED, THE REPORT WILL BE PART OF THERE CONSTRUCTION DOCUMENTS.A COPY IS AVAILABLE FROM THIS OFFICE UPON REQUEST, AND WILL BE PART OF THE FINAL PACKAGE AFTER PLANTS ARE APPROVED</div><div>7. ALL FOUNDATION, EXCAVATIONS AND GRADING WITH IN THE DESCRIPTION OF THE SCOPE OF WORK IN THIS PROJECT MUST BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACING REINFORCING.</div><div>8. THE CONSULTANTS FINAL PACKAGE / PROJECT MANUAL IS ON INTEGRAL PART OF THESE DOCUMENTS, INCLUDING SPECIFICATIONS</div><div>9. THIS PROJECT CONSIST AND INCLUDES OF ALL WORK SHOWING AND SPECIFIED ON THIS CONSTRUCTION DOCUMENTS.ALL OTHER BASIC SPECIFICATIONS NOT SHOWING ARE REASONABLE IMPLIED FOR A LICENSED CONTRACTOR.</div><div>10. CONTRACTOR TO PROVIDE ALL BARCODES, TRAFFIC CONTROL, ETC.</div><div>11. IS CONTRACTOR RESPONSIBILITY TO TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES</div><div>12. NEITHER THE OWNER, DESIGNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS, CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SAFELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.</div></div> <div><div>13. FUTURE BUILDING SITES AND GRADED PADS, ARE TO BE GRADED SMOOTH AND LEFT FREE OF DEBRIS, LARGE COBBLES, ETC.</div><div>14. PLOT DIMENSIONS INDICATING LOCATION OF BUILDING FOOT PRINT AND STREET CURB ARE TO OUTER (PAVING) FACE OF CURB.</div><div>15. ALL EXTERIOR CORNERS AT CONCRETE CURBS SHALL HAVE A 1'-0" RADIUS UNLESS OTHERWISE NOTED.</div><div>16. ALL CONCRETE WORK WITHIN THE PUBLIC RIGHT-AT-WAY AND CURB TO RECEIVED SMOOTH TROWEL FINISH, UNLESS CITY ENGINEERING DEPARTMENT SPECIFY DIFFERENTLY.</div><div>17. STUB-OUTS FOR FUTURE UTILITY CONNECTION TO BE PERMANENTLY MONUMENTED WITH CONCRETE MONUMENT, UNLESS SPECIFIED DIFFERENT BY COMPANIES PROVIDING THE SERVICE.</div><div>18. ADVISE DESIGNER WITH IN 3 DAYS PRIOR TO POUR CONCRETE FLOOR SLAB AND FOUNDATION PADS.</div><div>19. ANY EXPOSED METAL ITEMS TO BE PAINTED TO MATCH ADJOINING SURFACE OR MATERIAL COLORS.</div><div>20. ALL MECHANICAL, PLUMBING AND ELECTRICAL SYSTEM TO BE " DESIGN CONSTRUCT " BY THE EXPERT SUBCONTRACTOR HIRED TO PERFORM ANY OF THE JOBS DESCRIBE. THE INFORMATION SHOWING IN THIS SET OF CONSTRUCTION DOCUMENTS RELATED TO THIS ITEMS, IS INTENDED ONLY AS A GUIDE TO FACILITATE THE BIDDING PROCESS TO THE GENERAL CONTRACTOR. DETAILED DESIGN AND ENGINEERING REQUIRED TO BE BY SUB-CONTRACTOR INCLUDING IF REQUIRED ANY MODIFICATIONS TO TITLE-24 CALCULATIONS AND FORMS.</div><div>21. ALL WORK DESCRIBED WITH-IN THESE SET OF CONSTRUCTION DOCUMENTS INCLUDES ALL ON SITE WORK NEEDED SPECIFIED OR REASONABLE IMPLIED.</div><div>22. ALL TILE INSTALLATION WITH IN WOOD FLOORS SHALL HAVE A THIN SET OVER WONDER BOARD.</div></div>					

EXISTING BUILDING

BASE MENT HAB SPACE  S.F. NO HAB SPC.  S.F.

FIRST FLOOR  S.F.

SECOND FLOOR  S.F.

TOTAL S.F.  S.F. HAB SPC.

EXISTING  / NEW  / GARAGE  S.F.

EXISTING SECONDARY DWELLING  S.F.

TOTAL EXISTING  S.F. HAB & NO HAB SPC.

NEW CONSTRUCTION / ADDITION

BASE MENT HAB SPACE  S.F. NO HAB SPC.  S.F.

FIRST FLOOR  S.F. } X 4 UNITS = 5396 SF

SECOND FLOOR  S.F. } 1349 SF

(PER UNIT) TOTAL NEW S.F.  S.F. HAB SPC.

OTHER EXISTING REMODEL

HAB SPACE  S.F. NO HAB SPC.  S.F.

FIRST FLOOR  S.F.

SECOND FLOOR  S.F.

TOTAL EXISTING REMODEL S.F.  S.F. HAB SPC.

GARAGE NEW CONSTRUCTION

4 UNITS NEW GARAGE: NO HAB. SPC.  S.F.

GARAGE ADDITION: NO HAB. SPC.  S.F.

TOTAL GARAGE S.F.: NO HAB. SPC.  S.F.

EXISTING PLUS ADDITION TOTAL S.F.  HAB. SPC.

USE DESIGNATOR

USE : RESIDENTIAL ☒ COMMERCIAL ☐

OCCUPANCY MR

TYPE OF CONSTRUCTION: VB

EXISTING EASEMENTS: YES ☒ NO ☐

GOVERNMENT AGENCY

CITY OF SAN DIEGO COUNTY OF SAN DIEGO  Y

ZONING INFORMATION

ZONE : MR-3000 / MCCPD-MR

SET BACKS

FRONT: 15' FRONT TRD. 2 NO. SIDE: 5'-0"

SIDE: 8'-0" REAR: 15'-0"

HEIGHT LIMITATION: 30'-0"

CRUB TO PROPERTY LINE

DISTANCE: 15'-0" PER MAP NO:

DISTANCE FROM PROP. LINE

TO STREET CNTR. LINE: 55'-0", TO ALLEY CNTR. LINE : N/A

PLANNING INFORMATION

LOT SIZE: 13863.3 S.F. = 0.32 ± A.C

LOT COVERAGE (%) REQ. : 35. % / SHOWN: 33. %

FLOOR AREA RATIO REQ. : F.A.R 40. % / SHOWN: 39. %

COMMUNITY PLANNING: YES ☐ NO ☐

ADMINISTRATIVE REQ. : YES ☒ NO ☐

DESCRIPTION: SITE DEVELOPMENT REVIEW

NILES CONDO COMPLEX PLANING & ZONING ANALYSIS					
CONDO SIZES, HAB. SPC.					
FIRST LEVEL	861 S.F.	1297.5 S.F.	MAX.		
SECOND LEVEL	488 S.F.	X 4 UNITS	F.A.R		
	1349 S.F.	5396 S.F.	5545.3 S.F		
	PROPOSED	MAX			
	5396 S.F.	< 5545.3 S.F.	(O.K.)		
FLOOR AREA RATIO ( F.A.R. = 40% )	13.863.3 S.F. 0.40%	= 5.545.3 S.F.	MAX. F.A.R		
MODIFY / ACCOMMODATE OR ADD NEW DRIVEWAY 12'-0" MIN. AS PER CITY STANDARDS DRAWINGSG-14A, G-16 AND SDG-100. SATISFACTORY TO THE CITY ENGINEER					
EXISTING SIZE OF LOT	99.6 X 139.4	=	13863.3 S.F.		
LOT COVERAGE = 35% LOT COVERAGE	13863.3 S.F. 0.35%	=	4842.1 S.F.	MAX. LOT COV.	
BUILDING FOOT PRINT					
FIRST LEVEL	861 S.F.	1085 S.F.	MAX.	PROPOSED	MAX.
GARAGE	224 S.F.	X 4 UNITS	LOT COV.	4340 S.F.	< 4842 S.F. (O.K.)
	1085 S.F.	4340 S.F.	4842 S.F.		
PARKING CALCULATIONS UP TO 3 BEDROOMS PER UNIT	EACH UNIT REQUIRED	2.25 SPACES X 4 REQUIRED = 9	PROPOSED 9	REQ. 9	(O.K.)
4 GARAGES AND 5 OFF STREET PARKING SPACES					
MOTORCYCLE PARKING CALCS UP TO 3 BEDROOMS PER UNIT	EACH UNIT REQUIRED	0.1 X 4 REQUIRED = 0.4	PROPOSED 1	REQ. 1	(O.K.)

A1-A9  
ON SITE  
PLAN

M1 ON  
SITE PLAN

NO FIRE HYDRANT WITH IN 600' OF THE SITE  
NO EXISTING OR PROPOSED BUS TOPS

PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND  
LEGIBLE FROM THE STREET OR ROAD FRONTING THE  
PROPERTY PER F.H.P.S. POLICY P-00-6 ( UPC 901.4.4 )

#### LEGEND PLOT PLAN

	PROPERTY LINE
	EASEMENT BOUNDARY LINE
	SET-BACK BOUNDARY LINE
	PROPERTY LINE ORIENTATION
	PROPERTY LINE INTERSECTION
	2" IRON PIPE w/ DISC STAMPED EXISTING OR NEW BY SURVEYER IN RECORD
	MONUMENT EXISTING OR NEW BY SURVEYER IN RECORD
	LEAD DISC IN SIDE WALK INDICATING PROPERTY LINES
	CITY CONTROL MONUMENT
	CITY CONTROL IRON PIPE 2"x24" w/ SURVEYER DISC STAMPED
	FIRE HYDRANT / EXISTING
	STREET LIGHT / EXISTING
	TRANSFORMER / EXISTING
	100 CF + STORAGE
	TRASH / RECYCLING
	3 F + PICKET FENCE
	PRIVATE EXTERIOR OPEN SPACE REQ. 200 SF. PROVIDED- 1168 SF
	STREET YARD (REQ.- 2500 SF PROVIDED 2872 SF )

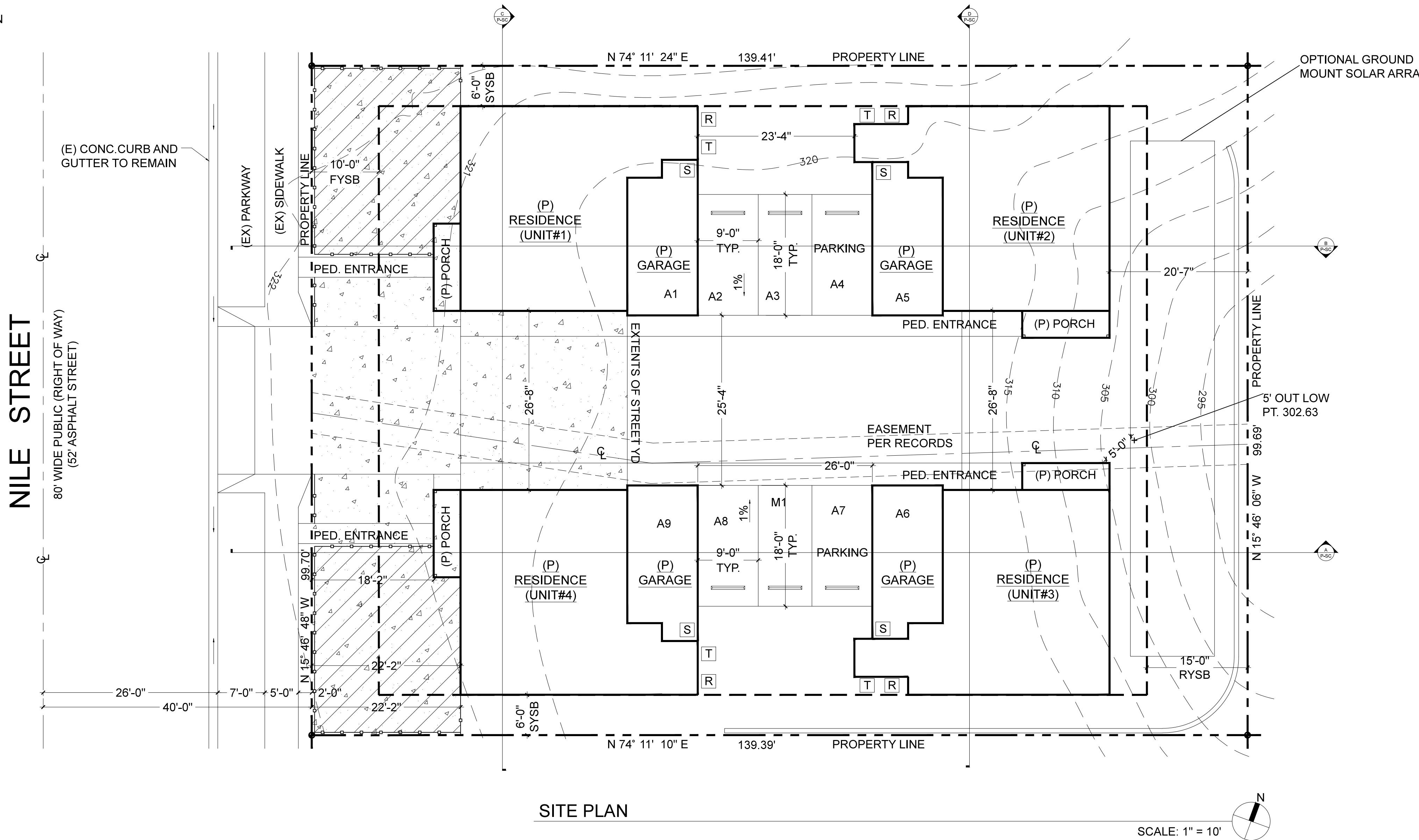
MR-3000	PER UNIT	MCCPD-MR CHAPTER	15	MID-CITY TABLE 4 UNITS	COMM. 1512-03A OK
MR-3000	SETBACKS	FRONT 10'-0"	SIDES 6'-0" / MIN. 4'-0"	REAR 15'-0"	
PLANNING	REQUIRES A 25 % OF THE WIDTH OF THE LOT TO BE THE AMOUNT REQUIRED AS FRONT SETBACK CAN BE EXTENDED A MAXIMUM OF 70 FEET OR UP TO 50 % OF THE LENGTH OF THE LOT WITCH EVER IS LESS. LOT WIDTH 100 L.F. 25 % = 2500 S.F. FORCING THE FRONT SET BACK TO BE 15'-0"				
*) NOTE: PER TABLE (2) ENCLOSED PARKING DO NOT COUNT IN TO F.A.R. OR LOT COVERAGE THIS IS AN EXCLUSION APPROVED FOR 3 UNITS OR MORE					

#### STORM WATER QUALITY NOTES - CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007 (HTTP://WWW.SWRCB.CA4OV/WATER ISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.SHTML) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (HTTP://DOCS.SANDIEGO.GOV/MUNICODE/MUNICODEC HAPTER14/C H 1 4ARTO2DIVISION02.PDF) AND STORM WATER MANUAL (HTTP://W VS, W.SANDIEGO.GOV/DEVELOPMENT-SERVICES/PDF/NEWS/STORMWATERMANUAL.PDF)

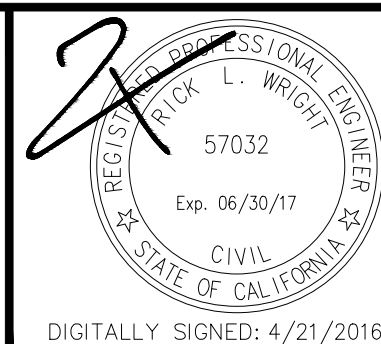
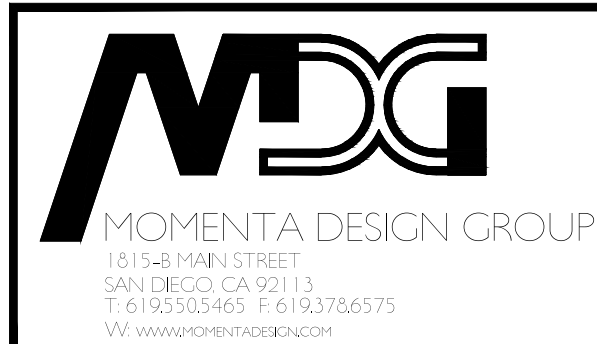
NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.



SITE PLAN

SCALE: 1" = 10'



SHEET TITLE: SITE PLAN		
JOB NAME:	TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103	REVISIONS:
DRAWN BY:	MOMENTA DESIGN GROUP	DATE: 10/24/2015
		SHEET: P-S



# PARCEL MAP NO. 21113

SHEET 1 OF 2 SHEETS

## OWNER'S STATEMENT

WE THE OWNERS OF, OR HAVE INTEREST IN THE PROPERTY COVERED BY THIS MAP HEREBY APPROVE SAID MAP AND THE FILING THEREOF.

IT IS OUR INTENT TO CONSOLIDATE AND LATER CONVEY OUR ENTIRE INTEREST IN THE REAL PROPERTY SHOWN ON THIS MAP WITHIN THE HEAVY BORDER, INCLUDING ANY REVERSION RIGHTS THAT MAY EXIST WITHIN THE ADJOINING PUBLIC RIGHTS-OF-WAY. IT IS NOT OUR INTENT TO ALTER OR SEVER THE LEGITIMATE RIGHTS OF OTHERS WHO MAY HAVE A CLAIM ON THOSE REVERSION RIGHTS THROUGH PRIOR CONVEYANCES.

BRADFORD HOLDINGS, INC., A CALIFORNIA CORPORATION, AS OWNER.

BY: Wayne Levy  
WAYNE LEVY, PRESIDENT

STATE OF CALIFORNIA  
COUNTY OF San Diego

ON Feb 17, 2014 BEFORE ME, Alvina Schorden A NOTARY PUBLIC, PERSONALLY APPEARED WAYNE LEVY, PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE EXECUTED THE SAME IN HIS AUTHORIZED CAPACITY AND THAT BY HIS SIGNATURE ON THE INSTRUMENT THE PERSON, OR THE ENTITY UPON BEHALF OF WHICH THE PERSON ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAW OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND  
SIGNATURE Alvina Schorden  
PRINT NAME Alvina Schorden

A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE.  
PRINCIPAL PLACE OF BUSINESS IS COUNTY OF San Diego.  
MY COMMISSION EXPIRES April 30, 2016  
COMMISSION # OF NOTARY 1975580

THE LEVY FAMILY TRUST DATED 2/18/1983, KENNETH LEVY AND GLORIA LEVY, TRUSTEES, AS BENEFICIARY UNDER DEED OF TRUST RECORDED JUNE 21, 2013, AS DOC. NO. 2013-0392219, O.R.

BY: Kenneth Levy  
KENNETH LEVY, TRUSTEE

BY: Gloria Levy  
GLORIA LEVY, TRUSTEE

STATE OF CALIFORNIA  
COUNTY OF Santa Clara

ON Feb 12, 2014 BEFORE ME, Kelly A. Lynch A NOTARY PUBLIC, PERSONALLY APPEARED Kenneth Levy & Gloria Levy, TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGE TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITIES AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAW OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND  
SIGNATURE Kelly A. Lynch  
PRINT NAME Kelly A. Lynch

A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE.  
PRINCIPAL PLACE OF BUSINESS IS COUNTY OF Santa Clara.  
MY COMMISSION EXPIRES April 19, 2017  
COMMISSION # OF NOTARY 2020670

THE SIGNATURES OF THE PARTIES LISTED BELOW, OWNERS OF EASEMENTS PER DOCUMENTS NOTED BELOW HAVE BEEN OMITTED UNDER THE PROVISIONS OF SECTION 66436 SUBSECTION (a) (3) (A) (I) OF THE SUBDIVISION MAP ACT. THEIR INTEREST IS SUCH THAT IT CANNOT RIPEN INTO FEE TITLE AND SAID SIGNATURES ARE NOT REQUIRED BY THE GOVERNING BODY.

STORM DRAIN EASEMENT, GRANTED TO CITY OF SAN DIEGO PER DOC. RECORDED NOVEMBER 24, 1959, IN BOOK 8010, PAGE 57, O.R.

**Snipes-Dye associates**  
civil engineers and land surveyors  
6344 CENTER DRIVE, STE. G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 480-2033

## PARCEL MAP

BEING A LOT CONSOLIDATION PARCEL MAP OF LOTS 5 TO 8 INCLUSIVE, BLOCK 17 OF CITY HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1007, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 3, 1906.

TITLE REPORT BY: CHICAGO TITLE COMPANY  
ORDER NO.: 12202543-996-U50

## SURVEYOR'S CERTIFICATE

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND WAS COMPILED FROM RECORD DATA IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF BRADFORD HOLDINGS, INC., ON SEPTEMBER 10, 2013.

I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. (SEE LEGEND ON SHEET 2).

ALL EXISTING MONUMENTS SHOWN HEREON ARE BASED ON RECORD DATA AND SHOWN FOR THE PURPOSE OF PERPETUATION. NO MEASUREMENTS HAVE BEEN VERIFIED.

BY: William A. Snipes DATE: 2/16/14  
L.S. 8034  
LICENSE EXPIRES: 12-31-14

## CITY LAND SURVEYOR'S STATEMENT

I HEREBY STATE THAT THIS MAP WAS EXAMINED BY ME OR UNDER MY DIRECT SUPERVISION. THAT IT SUBSTANTIALLY CONFORMS TO THE TENTATIVE MAP, IF ANY, AND ANY APPROVED ALTERATIONS THEREOF; THAT IT COMPLIES WITH THE SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP AND THAT IT IS TECHNICALLY CORRECT.

GREGORY P. HOPKINS, PLS  
CITY LAND SURVEYOR

BY: Gregory P. Hopkins DATE: 2-27-2014

## RECORDER'S CERTIFICATE

FILE NO. 2014-0084076

FILED THIS 3rd DAY OF MARCH, 2014, AT 12:34 P.M. IN BOOK OF PARCEL MAPS AT PAGE        AT THE REQUEST OF WILLIAM A. SNIPES.

ERNEST J. DRONENBURG, JR. BY:         
COUNTY RECORDER DEPUTY COUNTY RECORDER

FEE: \$12.00

L.C. 210-1731 CCS83 1850-6291 T.M. NONE I.O. 24004196 P.T.S. NO. 346463

# PARCEL MAP NO. 21113

SHEET 2 OF 2 SHEETS

## LEGEND

- - INDICATES IRON PIPE & PLUG MARKED "LS 7194" PER C.R. 20387.
- - INDICATES LEAD & DISK MARKED "LS 7844" PER P.M. 20240, UNLESS OTHERWISE NOTED.
- ▲ - INDICATES STANDARD STREET WELLMONUMENT PER C.R. 7522, P.M. 20240.
- - INDICATES PARCEL MAP BOUNDARY.
- [ ] - INDICATES RECORD DATA PER PARCEL MAP 1007.
- ( ) - INDICATES RECORD DATA PER CORNER RECORD NOS. 7522 & 15515.
- { } - INDICATES RECORD DATA PER CORNER RECORD NO. 20387.
- (( )) - INDICATES CALCULATED DATA.

## BASIS OF BEARINGS

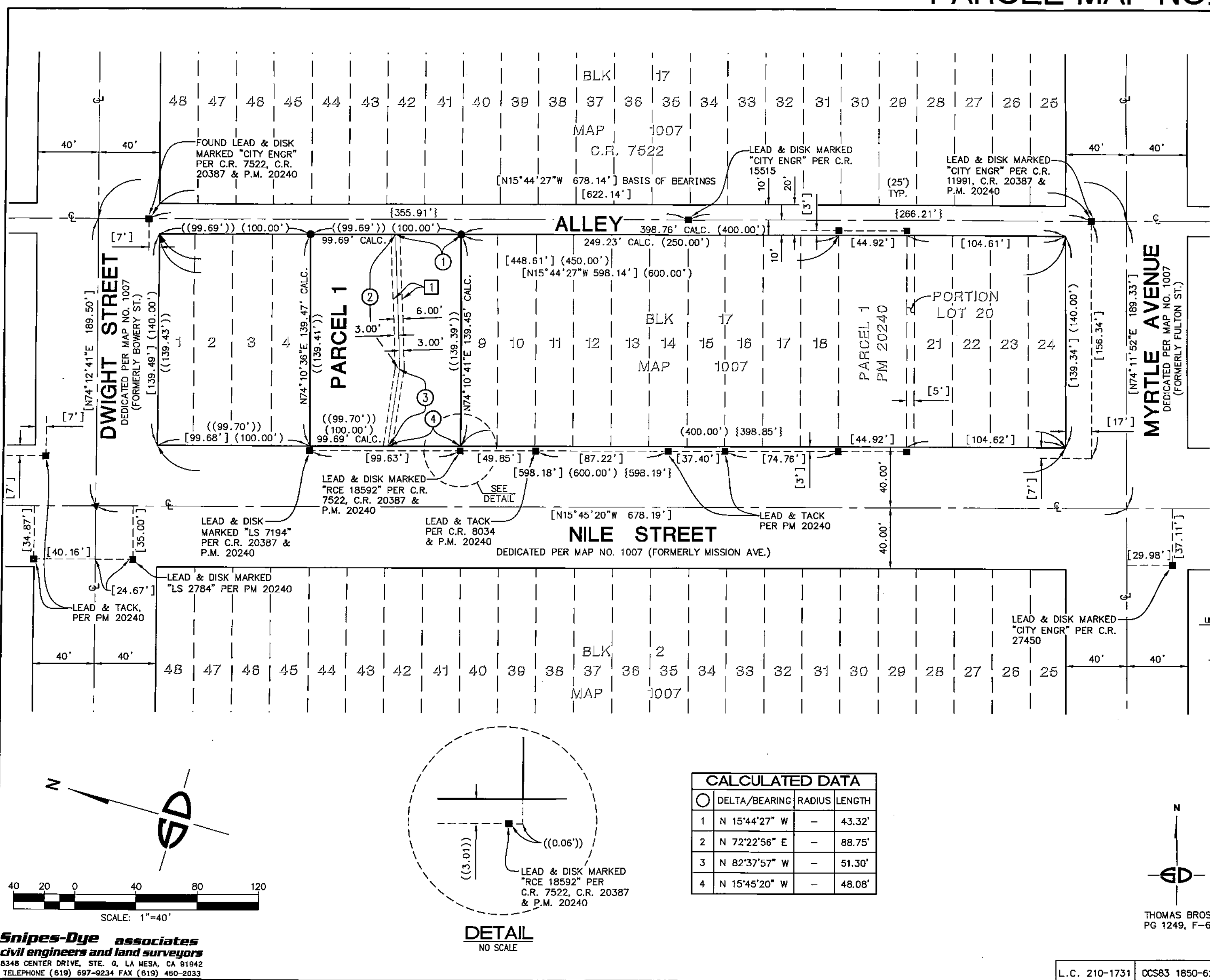
THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE CENTERLINE OF UNNAMED ALLEY AS SHOWN ON PARCEL MAP NO. 20240, I.E. N15°44'27"W

## EASEMENT

1. STORM DRAIN EASEMENT GRANTED TO CITY OF SAN DIEGO PER DOCUMENT RECORDED NOVEMBER 24, 1959, IN BOOK 8010, PAGE 57 OF O.R.

## NOTES:

1. TOTAL NUMBER OF PARCELS = 1
2. TOTAL AREA = 0.320 ACRES



**Snipes-Dye associates**  
civil engineers and land surveyors  
6344 CENTER DRIVE, STE. G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 480-2033

**MOMENTA DESIGN GROUP**  
1815-B MAIN STREET  
SAN DIEGO, CA 92113  
T: 619.550.5465 F: 619.378.6575  
W: www.momentadesign.com

REGISTERED PROFESSIONAL ENGINEER  
57032  
Exp. 06/30/17  
CIVIL  
STATE OF CALIFORNIA  
DIGITALLY SIGNED: 1/23/2016

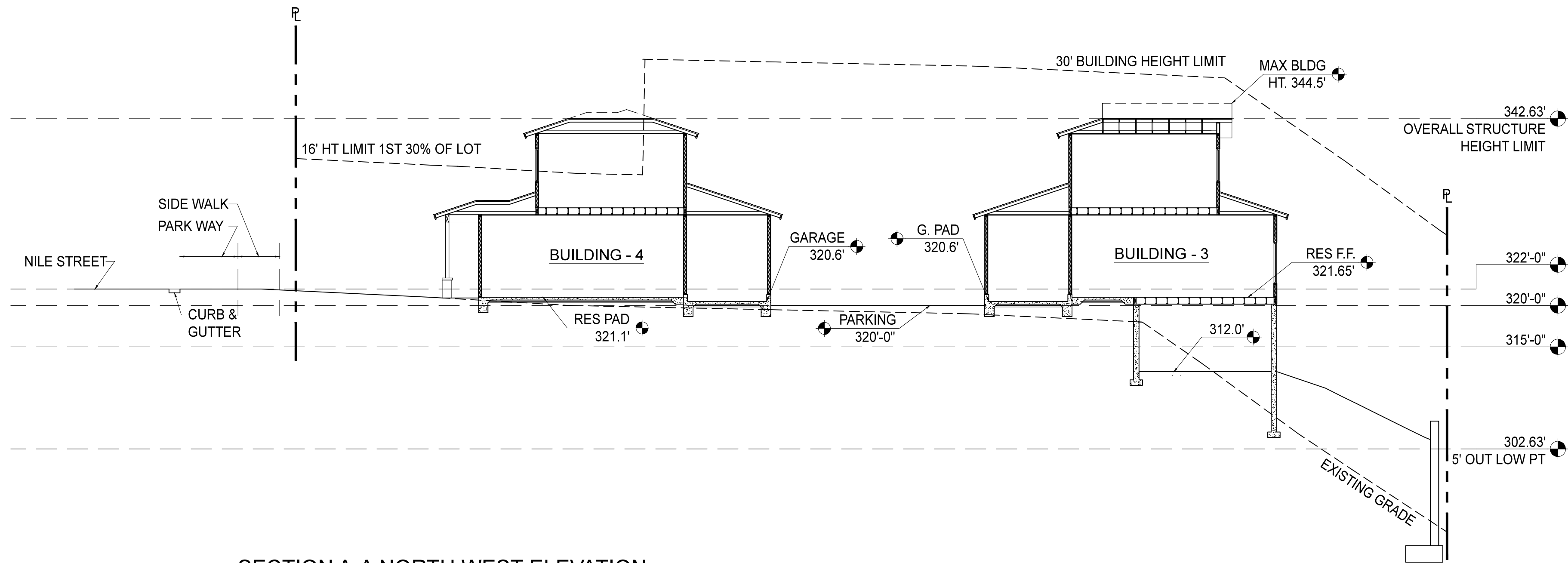
SHEET TITLE: SITE PLAN			
JOB NAME:	TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103	REVISIONS:	SHEET: P-S1
DRAWN BY:	MOMENTA DESIGN GROUP	DATE:	10/24/2015

**VICINITY MAP**  
NO SCALE

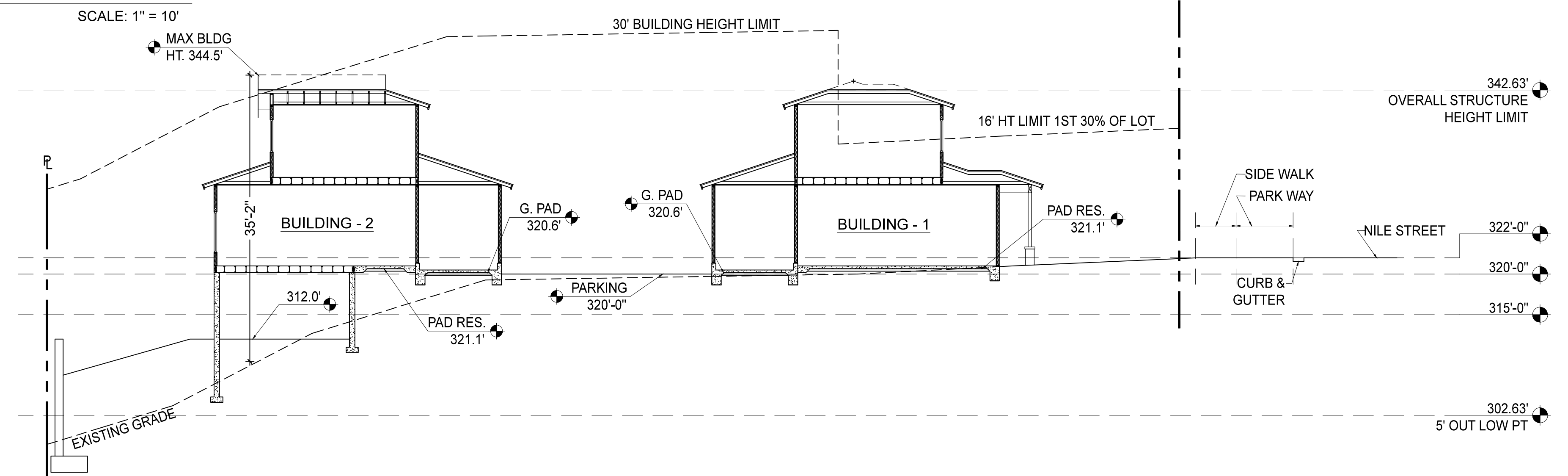
L.C. 210-1731 CCS83 1850-6291 T.M. NONE I.O. 24004196 P.T.S. NO. 346463



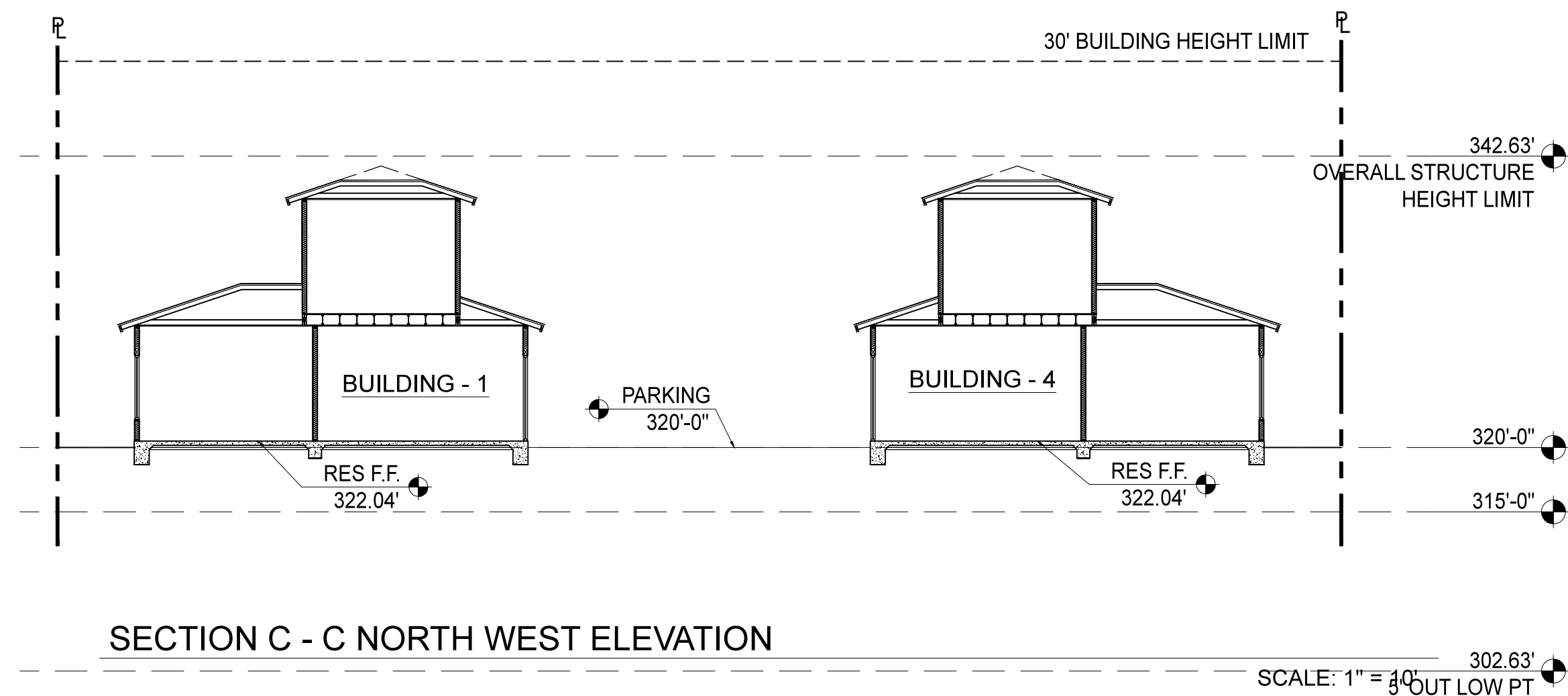
4/21/2016 8:37 AM



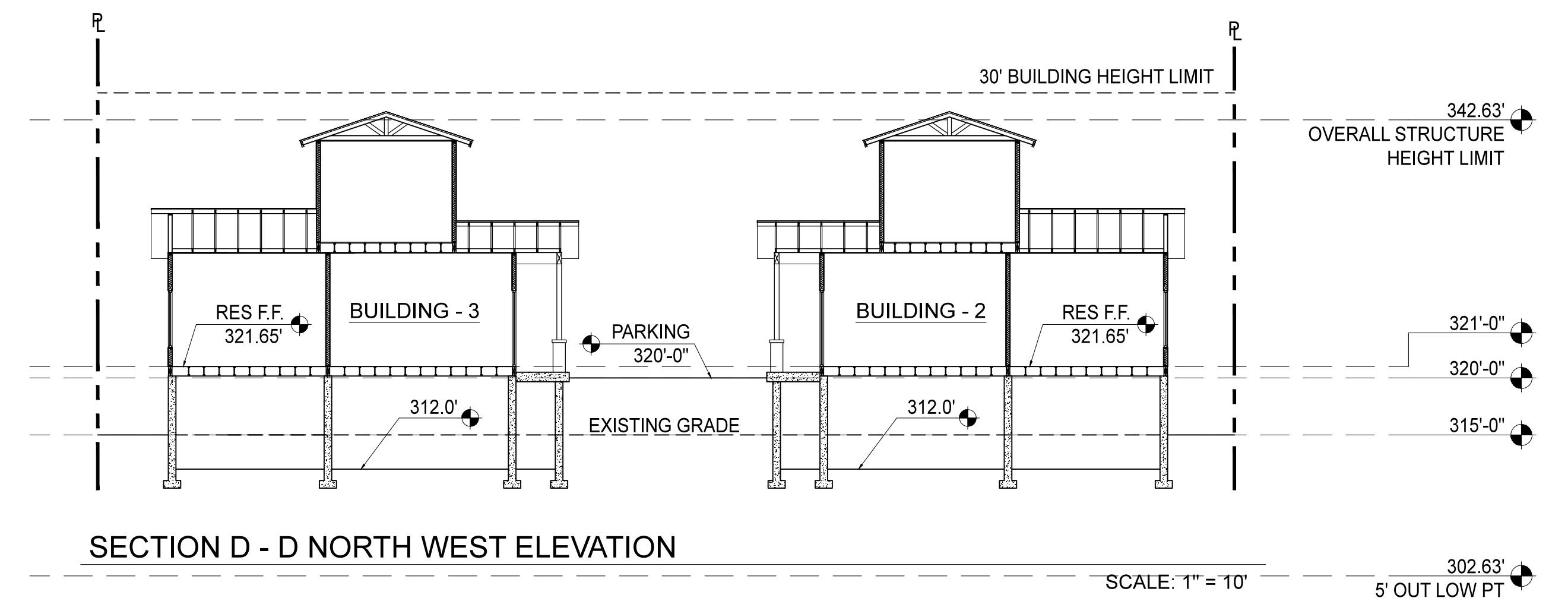
SECTION A-A NORTH WEST ELEVATION



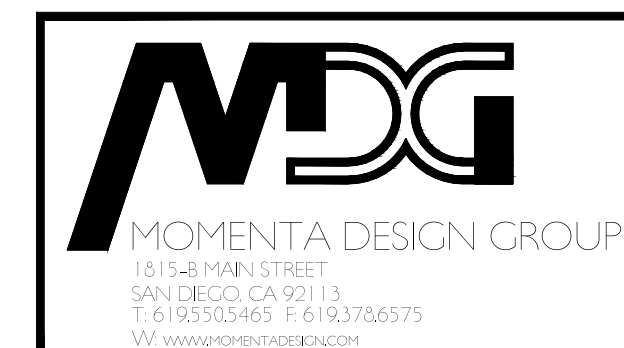
SECTION B - B NORTH WEST ELEVATION



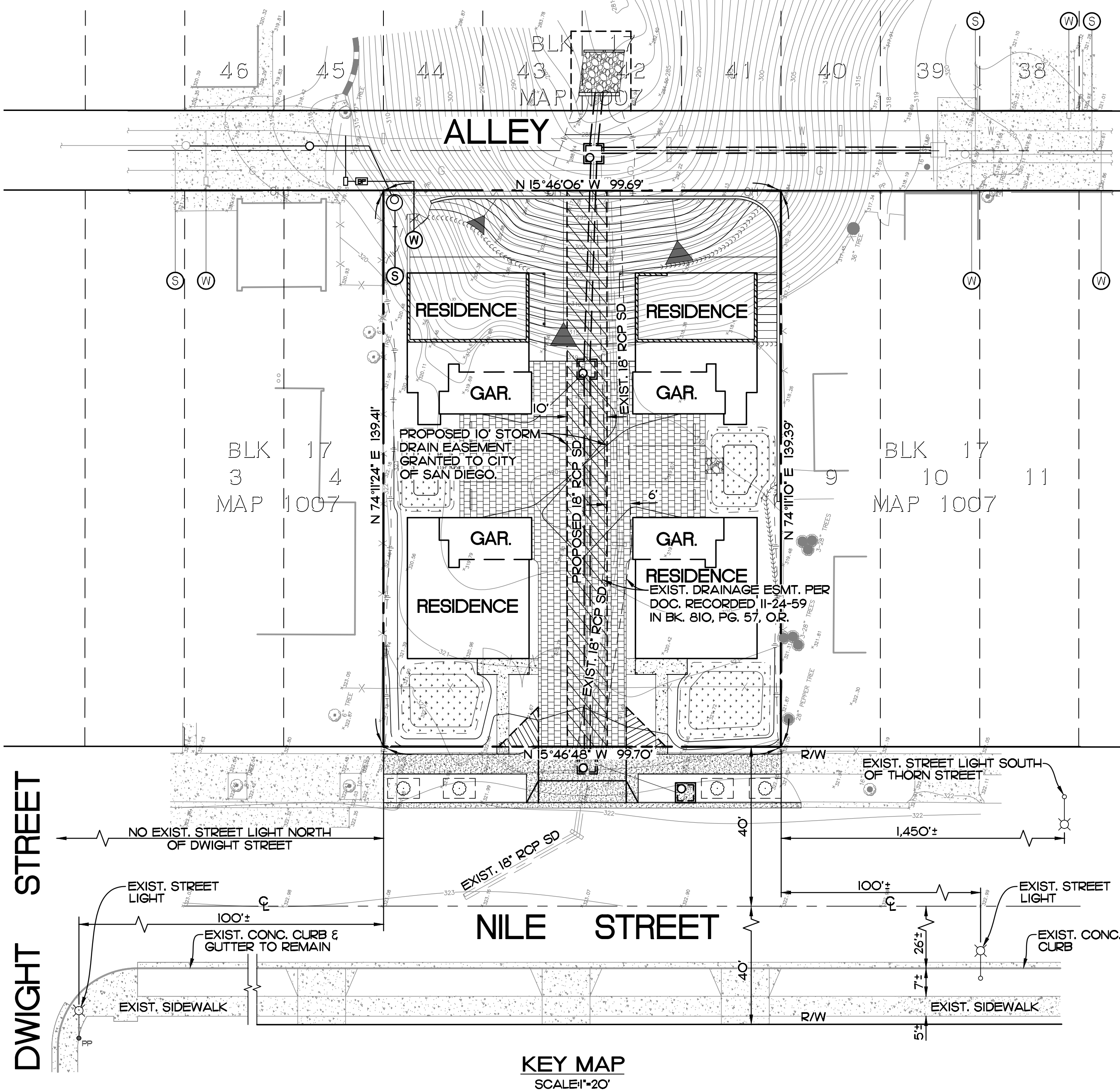
SECTION C - C NORTH WEST ELEVATION



SECTION D - D NORTH WEST ELEVATION



SHEET TITLE: SITE SECTIONS		
JOB NAME: TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103		REVISIONS:
DRAWN BY: MOMENTA DESIGN GROUP DATE: 10/24/2015		SHEET: P-SC



KEY MAP  
SCALE 1"=20'

GRADING AND DRAINAGE PLAN NOTES:

1. PROPOSED STORM DRAIN FACILITIES WITHIN NILE STREET ARE PUBLIC. ALL PROPOSED ON-SITE STORM DRAIN FACILITIES ARE PRIVATE AND PRIVATELY MAINTAINED.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

WATER NOTE:

1. WATER SERVICE AND METER SIZE WILL BE DETERMINED BY THE WATER METER DATA CARD WHICH WILL BE COMPLETED DURING THE BUILDING PLAN REVIEW. NEW SERVICE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES.

SEWER NOTES:

1. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY PUBLIC SEWER FACILITY.
2. ALL PROPOSED PRIVATE SEWER FACILITIES LOCATED WITHIN SUBJECT SITE ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF CALIFORNIA UNIFORM PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
3. ALL PROPOSED PUBLIC SEWER FACILITIES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO SEWER DESIGN GUIDE.
4. PROPOSED SEWER SYSTEM WITHIN ALLEY IS PRIVATE AND PRIVATELY MAINTAINED. EMRA FOR THE PRIVATE SEWER SYSTEM WILL BE PROCESSED AS PART OF THE GRADING PLAN PERMIT.

NOTES:

1. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUNOFF ONTO ADJACENT PROPERTIES.
2. ENERGY DISSIPATOR SHALL BE INSTALLED AT THE STORMWATER DISCHARGE LOCATION TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES. NO ADDITIONAL RUNOFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
3. SEE THE WQTR FOR DETAILS OF THE PROPOSED TREATMENT CONTROL BMP AND HYDROMODIFICATION MANAGEMENT CONTROLS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

ABBREVIATIONS:

- BS - DENOTES BUS SIGN.  
BO - DENOTES BLOW-OFF.  
BW - DENOTES BOTTOM OF WALL.  
CI - DENOTES CURB INLET.  
CL - DENOTES CHAINLINK.  
FF - DENOTES FINISH FLOOR.  
FG - DENOTES FINISH GRADE.  
FL - DENOTES FLOW LINE.  
GF - DENOTES GARAGE FLOOR.  
GR - DENOTES GRATE.  
HP - DENOTES HIGH POINT.  
IE - DENOTES INVERT ELEVATION.  
PP - DENOTES POWER POLE.  
PS - DENOTES PARKING SIGN.  
SCO - DENOTES SEWER CLEANOUT.  
SDCO - DENOTES STORM DRAIN CLEANOUT.  
SS - DENOTES SPEED SIGN.  
SMH - DENOTES SEWER MANHOLE.  
TC - DENOTES TOP OF CURB.  
TYP - DENOTES TYPICAL.  
TW - DENOTES TOP OF WALL.  
WM - DENOTES WATER METER.

PROJECT ADDRESS:

NILE STREET  
SAN DIEGO, CA 92103

A.P.N.:  
453-755-29

REFERENCE DRAWINGS:

1680-L 7525-L  
2871-3-L 7739-B  
2871-5-L 7746-B

COORDINATE INDEX:

NAD 27 - N 210, E 1731  
NAD 83 - N 1850, E 6291

TOPOGRAPHIC SOURCE:

SNIPES-DYE ASSOCIATES  
8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
PH: (619) 697-9234  
FAX: (619) 460-2033  
DATED FEBRUARY 7, 2014

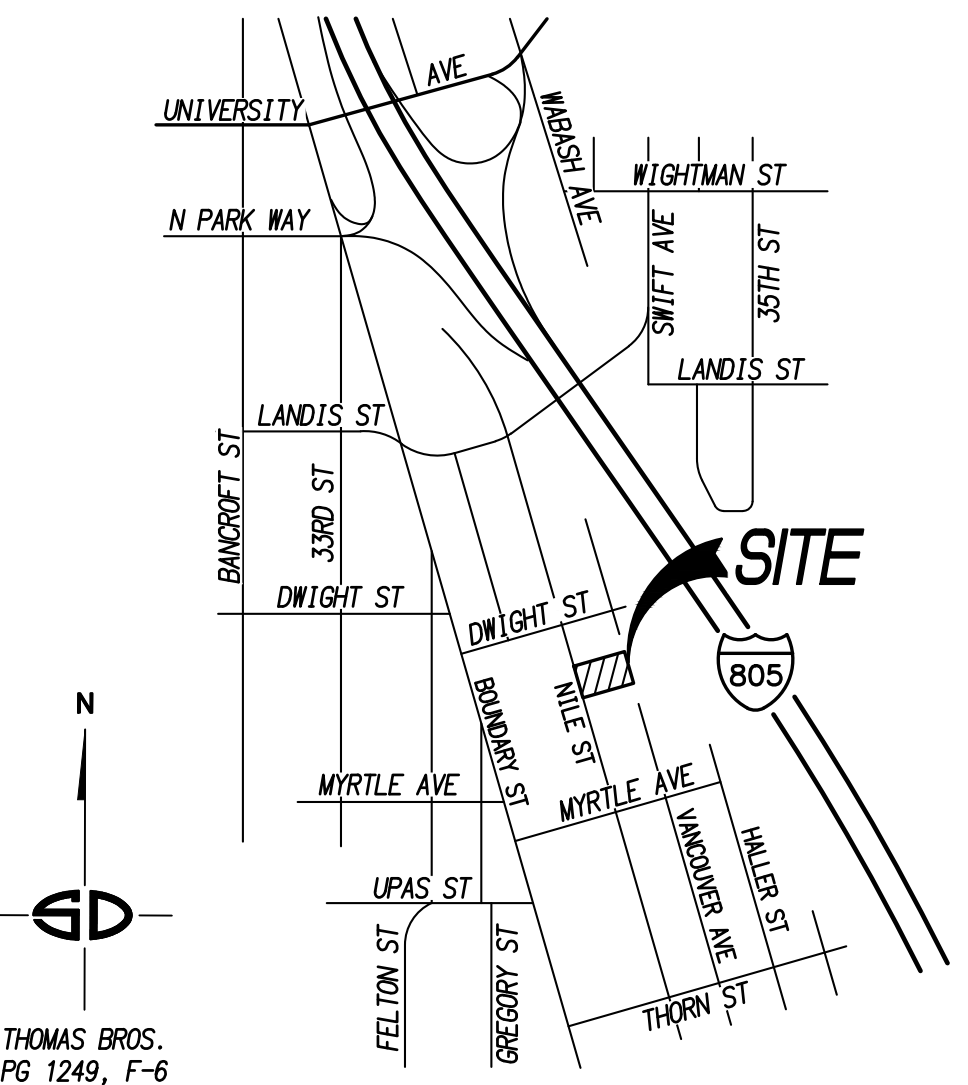
BENCHMARK:

THE BENCHMARK FOR THIS SURVEY IS THE CITY OF SAN DIEGO PLUG IN TOP OF CURB AT THE SOUTH-EAST CORNER OF NILE STREET AND MYRTLE AVENUE I.E. ELEVATION = 320.68 MSL, & G.S. DATUM OF 1929.

LEGAL DESCRIPTION:  
PARCEL 1 OF PARCEL MAP NO. 21113, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA ON MARCH 3, 2014.

GRADING TABULATIONS:

TOTAL SITE AREA TO BE GRADED :	0.34 AC.
PERCENT OF TOTAL SITE TO BE GRADED :	94%
AMOUNT OF CUT :	100 C.Y.
AMOUNT OF FILL :	1,000 C.Y.
AMOUNT OF IMPORT MATERIAL :	900 C.Y.
AMOUNT OF EXPORT MATERIAL :	N/A
MAXIMUM HEIGHT OF FILL SLOPES :	16' (21 MAX.)
MAXIMUM HEIGHT OF CUT SLOPES :	1.9' (21 MAX.)
RETAINING / CRIB WALLS : N/A	TOTAL LENGTH : 270' MAX. HEIGHT : 12'
MAX. CUT FOR REMEDIAL EARTH-WORK:	35'



VICINITY MAP  
NO SCALE

PREPARED BY:

ENGINEER OF WORK

**Snipes-Dye associates**  
civil engineers and land surveyors  
8348 CENTER DRIVE, STE G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 460-2033  
WILLIAM A. SNIPES R.C.E. 50477  
EXPIRES 06-30-17



LEGEND

EXISTING IMPROVEMENTS

EXISTING CONTOUR	320
EXISTING SPOT ELEVATION	x 321.99
PROPERTY BOUNDARY / TMW BOUNDARY	
EXISTING CONCRETE CURB & GUTTER	
EXIST. CONC. PAVEMENT	
EXIST. A.C. PAVEMENT	
EXIST. TREE	
EXIST. STORM DRAIN	
EXIST. GAS LINE	G
EXIST. SEWER LINE	S
EXIST. WATER LINE	W
EXIST. OVER-HEAD POWER & UTILITY LINES	OH
EXIST. SEWER LATERAL	S
EXIST. WATER SERVICE	W

PROPOSED IMPROVEMENTS

PROPOSED SPOT ELEVATION	321.62
PROPOSED CONC. SIDEWALK	
PROPOSED PVT. A.C. PAVEMENT	
PROPOSED PVT. PAVERS	
PROPOSED PVT. CONC. PAVEMENT	
PROPOSED 6" TYPE 'G' CONC. CURB/GUTTER	SDG-151
PROPOSED 6" CONC. CURB	SDG-150
PROPOSED CONCRETE DRIVEWAY	SDG-160
PROPOSED PVT. KEYSTONE WALL	
PROPOSED PVT. RETAINING WALL	
PROPOSED BLDG. RETAINING WALL	
PROPOSED PVT. CATCH BASIN	
PROPOSED PVT. SEWER OR STORM DRAIN CLEANOUT	
PROPOSED PVT. STORM DRAIN	
PROPOSED PUBLIC STORM DRAIN	
PROPOSED STORM DRAIN CLEANOUT TYPE A4	D-9
PROPOSED CURB INLET TYPE B	SDD-116
PROPOSED PUBLIC HEADWALL W/ ROCK RIP-RAP	
2:1 FILL SLOPE	
DIRECTION OF DRAINAGE (1% MIN.)	
PROPOSED PVT. SEWER LATERAL	S
PROPOSED WATER SERVICE	W
PROPOSED PVT. SEWER LIFT STATION	
PROPOSED SEWER MANHOLE	
PROPOSED PARKING SPACE	
STREET TREE/ROOT ZONE	

Prepared By:  
Name: SNIPES-DYE ASSOCIATES  
Address: 8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
Phone #: (619) 697-9234

Project Address:  
NILE STREET  
SAN DIEGO, CA 92103

Project Name:  
BRADFORD HOLDINGS, INC.  
SITE DEVELOPMENT PERMIT

Sheet Title:  
CONCEPTUAL GRADING  
PLAN NOTES

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	DECEMBER 1, 2016
Revision 4:	OCTOBER 3, 2016
Revision 3:	JUNE 17, 2016
Revision 2:	MARCH 28, 2016
Revision 1:	JANUARY 22, 2016

Original Date: JANUARY 21, 2015

Sheet Of

DEP#

P.T.S. 412289, I.O. 24005661

CONCEPTUAL GRADING PLAN NOTES			
SHEET TITLE	DESIGNER	DRAWER	CHECKER
C-1	SPN	JGF	WAS
BRADFORD HOLDINGS, INC. SITE DEVELOPMENT PERMIT			
8348 CENTER DRIVE, SUITE G, LA MESA, CA 91942, PH (619) 697-9234, FAX (619) 460-2033			
SNIPES-DYE ASSOCIATES			
REG. NO. NPO086X (Z-4)			

Attachment 12

5 OF 20



LEGAL DESCRIPTION:

PARCEL 1 OF PARCEL MAP NO. 21113, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA ON MARCH 3, 2014.

BENCHMARK:

THE BENCH-MARK FOR THIS SURVEY IS THE CITY OF SAN DIEGO PLUG IN TOP OF CURB AT THE SOUTHEAST CORNER OF NILE STREET AND MYRTLE AVENUE I.E. ELEVATION = 320.68 M.S.L. & G.S. DATUM OF 1929.

EASEMENT:

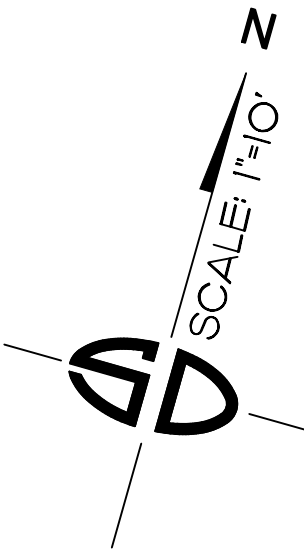
STORM DRAIN EASEMENT GRANTED TO CITY OF SAN DIEGO PER DOCUMENT RECORDED NOVEMBER 24, 1959, IN BOOK 8010, PAGE 57 OF O.R., FOR EASEMENT SEE DRAWING NO. 7739-B.

LEGEND:

- DENOTES CONCRETE SURFACE.
- DENOTES ASPHALT SURFACE.
- DENOTES TREE WITH TRUNK DIAMETER.
- BS - DENOTES BUS SIGN.
- BO - DENOTES BLOW-OFF.
- CI - DENOTES CURB INLET.
- CL - DENOTES CHAINLINK.
- IE - DENOTES INVERT ELEVATION.
- PP - DENOTES POWER POLE.
- PS - DENOTES PARKING SIGN.
- SCO - DENOTES SEWER CLEANOUT.
- SS - DENOTES SPEED SIGN.
- SMH - DENOTES SEWER MANHOLE.
- TC - DENOTES TOP OF CURB.
- TG - DENOTES TOP OF GRATE.
- WM - DENOTES WATER METER.
- DENOTES WATER LINE.
- DENOTES SEWER LINE.
- DENOTES STORM DRAIN LINE.
- DENOTES GAS LINE.
- DENOTES OVER-HEAD UTILITIES.

ASSESSOR'S PARCEL NUMBER:

453-755-02, 03, 04 & 05



DAVID W. AMBLER  
02-07-2014

Prepared By:

Name: SNIPES-DYE ASSOCIATES  
Address: 8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
Phone #: (619) 697-9234

Project Address:

NILE STREET  
SAN DIEGO, CA 92103

Project Name:

BRADFORD HOLDINGS, INC.  
SITE DEVELOPMENT PERMIT

Sheet Title:

TOPOGRAPHIC SURVEY

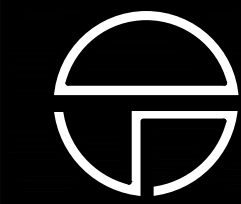
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Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: \_\_\_\_\_  
Revision 4: \_\_\_\_\_  
Revision 3: \_\_\_\_\_  
Revision 2: \_\_\_\_\_  
Revision 1: \_\_\_\_\_

Original Date: JANUARY 21, 2015

Sheet Of \_\_\_\_\_

DEP# \_\_\_\_\_

P.T.S. 412289, I.O. 24005661



TOPOGRAPHIC SURVEY

BRADFORD HOLDINGS, INC.  
SITE DEVELOPMENT PERMIT

SHEET TITLE: \_\_\_\_\_  
JOB NAME: \_\_\_\_\_  
DESIGNER: \_\_\_\_\_  
DRAWER: \_\_\_\_\_  
CHECKER: \_\_\_\_\_  
DATE: 8-12-14

REVISION DESCRIPTION

DATE

BY

REVISION DESCRIPTION

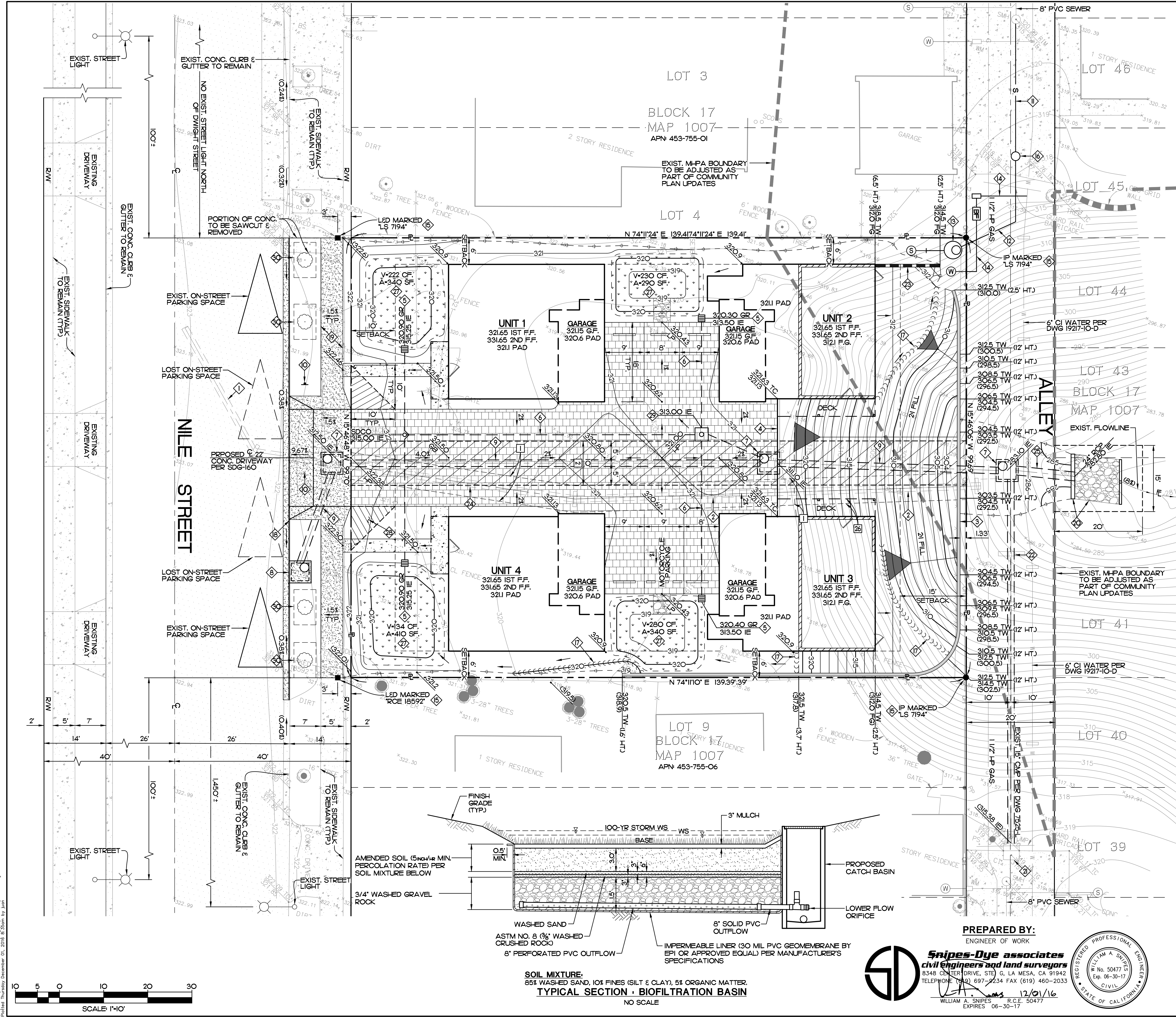
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C-2

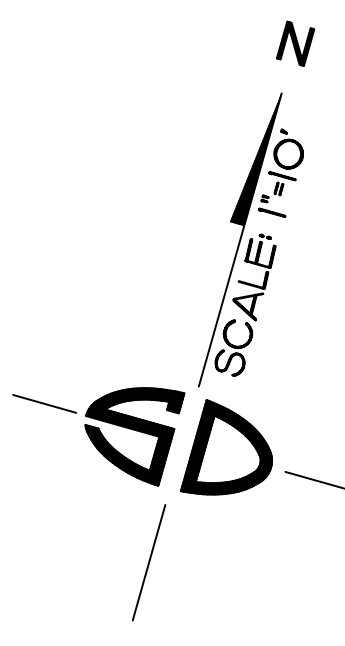
SNIPES-DYE ASSOCIATES 8348 CENTER DRIVE, SUITE G, LA MESA, CA 91942, PH (619) 697-9234, FAX (619) 460-2033

Attachment 12





- KEY NOTES**
- 1 EXIST. 18" RCP PER DWG. 1680-L TO REMAIN.
  - 2 EXIST. 18" RCP PER DWG. 7746-B TO BE REMOVED.
  - 3 PROPOSED PVT. KEYSTONE RETAINING WALL.
  - 4 PROPOSED PVT. 6" CONC. CURB PER SDG-150.
  - 5 PROPOSED PVT. CATCH BASIN.
  - 6 PROPOSED PVT. PVC STORM DRAIN PIPE.
  - 7 PROPOSED PUBLIC STORM DRAIN CLEANOUT.
  - 8 PROPOSED PUBLIC CURB-INLET.
  - 9 PROPOSED PUBLIC 18" RCP STORM DRAIN.
  - 10 PROPOSED RELOCATION OF EXIST. SIGN.
  - 11 PROPOSED 8" PVC PUBLIC SEWER MAIN.
  - 12 PROPOSED SEWER LATERAL.
  - 13 PROPOSED PVT. SEWER LIFT STATION.
  - 14 PROPOSED WATER SERVICE.
  - 15 EXIST. MONUMENT TO REMAIN.
  - 16 PROPOSED PUBLIC SEWER MAN-HOLE.
  - 17 PROPOSED EARTHEN BERM.
  - 18 PROPOSED PUBLIC CONC. CURB & GUTTER.
  - 19 PROPOSED PUBLIC CONC. SIDEWALK.
  - 20 PROPOSED PUBLIC HEADWALL WITH ROCK RIP-RAP.
  - 21 EXIST. CURB INLET TO REMAIN.
  - 22 PROPOSED REPLACING EXIST. PUBLIC 15" CMP WITH 18" RCP STORM DRAIN.
  - 23 PROPOSED PVT. RETAINING WALL.
  - 24 PORTION OF EXIST. 18" RCP PER DWG. 1680-L TO BE REMOVED.
  - 25 PROPOSED PUBLIC 24" RCP STORM DRAIN.
  - 26 PROPOSED AN ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT FOR PORTION OF PRIVATE PORCH LOCATED WITHIN THE CITY STORM DRAIN EASEMENT.
  - 27 PROPOSED PVT. POST-CONSTRUCTION TREATMENT CONTROL BMP BIOFILTRATION BASIN W/ LOWER FLOW CONTROL ORIFICE.
  - 28 NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALL IN THE VISIBILITY AREA SHALL EXCEED 3-FEET IN HEIGHT.
  - 29 PROPOSED PVT. STORM DRAIN CLEANOUT.
  - 30 PROPOSED STREET TREE WITH 40 SQ.FT. ROOT ZONE BARRIER.
- EASEMENT**
- 1 EXIST. 6' DRAINAGE EASEMENT PER DOC. RECORDED NOVEMBER 24, 1959, IN BOOK 810, PAGE 57, OR.
  - 2 PROPOSED 10' STORM DRAIN EASEMENT GRANTED TO CITY OF SAN DIEGO



**Prepared By:**  
Name: SNIPES-DYE ASSOCIATES  
Address: 8348 CENTER DRIVE, SUITE G LA MESA, CA 91942  
Phone #: (619) 697-9234

**Project Address:**  
NILE STREET  
SAN DIEGO, CA 92103

**Project Name:**  
BRADFORD HOLDINGS, INC.  
SITE DEVELOPMENT PERMIT

**Revision Log:**

NO.	DATE	DESCRIPTION
1	1-22-16	REVISION PER 1ST REVIEW CYCLE
2	2-28-16	REVISION PER 2ND REVIEW CYCLE
3	6-17-16	REVISION PER 3RD REVIEW CYCLE
4	10-3-16	REVISION PER 4TH REVIEW CYCLE

Revision 14: \_\_\_\_\_  
Revision 13: \_\_\_\_\_  
Revision 12: \_\_\_\_\_  
Revision 11: \_\_\_\_\_  
Revision 10: \_\_\_\_\_  
Revision 9: \_\_\_\_\_  
Revision 8: \_\_\_\_\_  
Revision 7: \_\_\_\_\_  
Revision 6: \_\_\_\_\_  
Revision 5: **DECEMBER 1, 2016**  
Revision 4: **OCTOBER 3, 2016**  
Revision 3: **JUNE 17, 2016**  
Revision 2: **MARCH 28, 2016**  
Revision 1: **JANUARY 22, 2016**

Original Date: **JANUARY 21, 2015**

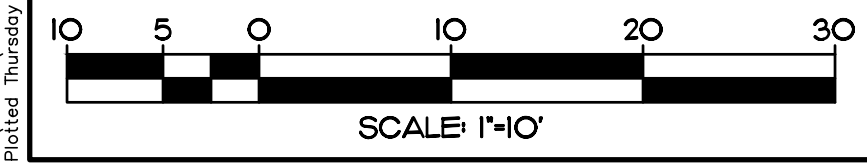
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DEP# \_\_\_\_\_  
P.T.S. 412289, I.O. 24005661

**PREPARED BY:**  
ENGINEER OF WORK

**Snipes-Dye Associates**  
civil engineers and land surveyors  
8348 CENTER DRIVE, STE G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 460-2033

WILLIAM A. SNIPES R.C.E. 50477  
EXPIRES 06-30-17

REGISTERED PROFESSIONAL ENGINEER  
WILLIAM A. SNIPES  
No. 50477  
Exp. 06-30-17  
CIVIL  
STATE OF CALIFORNIA



S:\SNIPES\WORKBOOK\_Nile St LLA PWD\Map\_Mesa\_Mesa\_V03\_CDP.dwg  
Printed Thursday, December 01, 2016 8:30am by jason

**Attachment 12**

**CONCEPTUAL GRADING PLAN**

BRADFORD HOLDINGS, INC.  
SITE DEVELOPMENT PERMIT

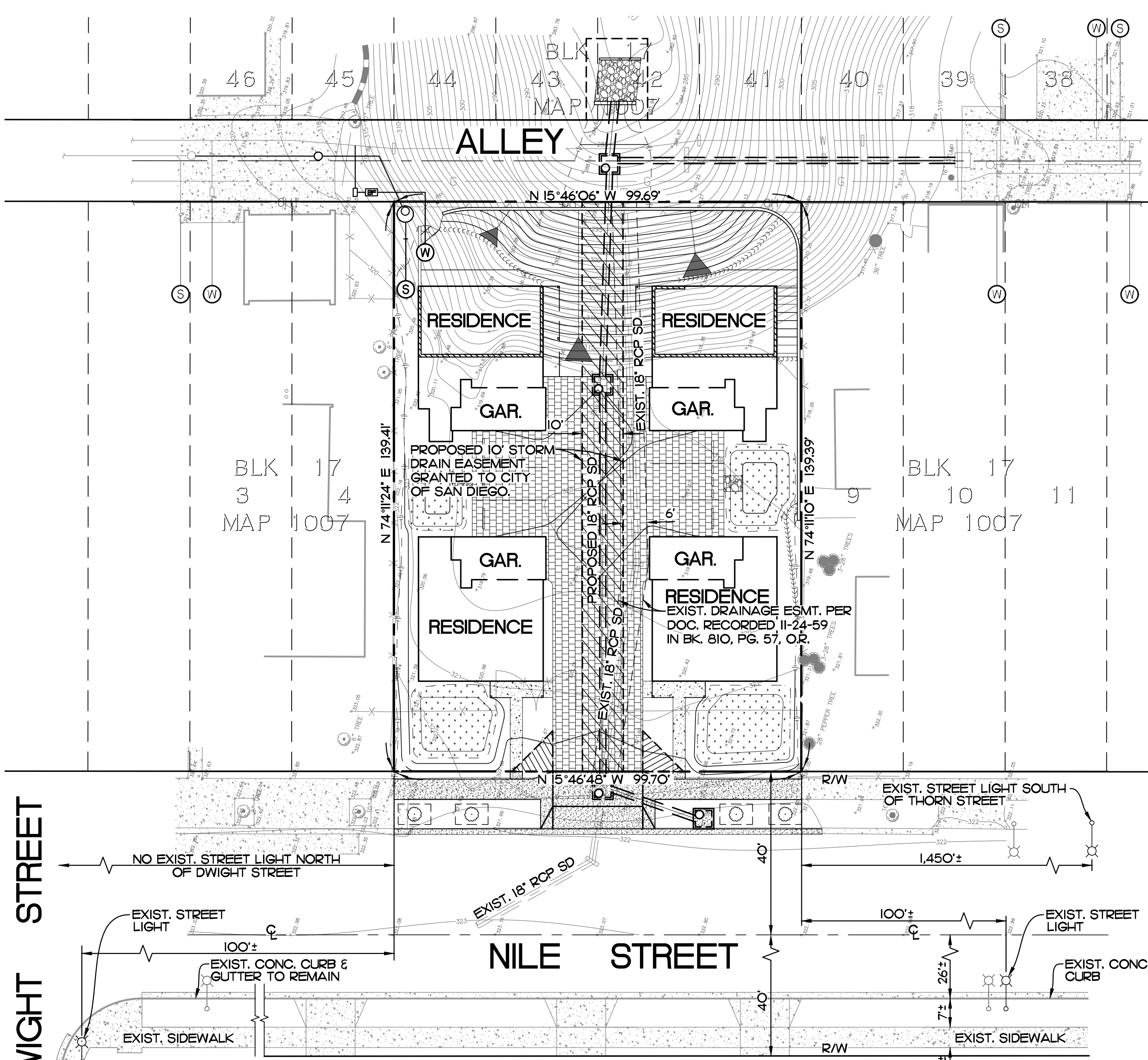
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8348 CENTER DRIVE, SUITE G, LA MESA, CA 91942, PH (619) 697-9234, FAX (619) 460-2033

C-3

7 OF 20



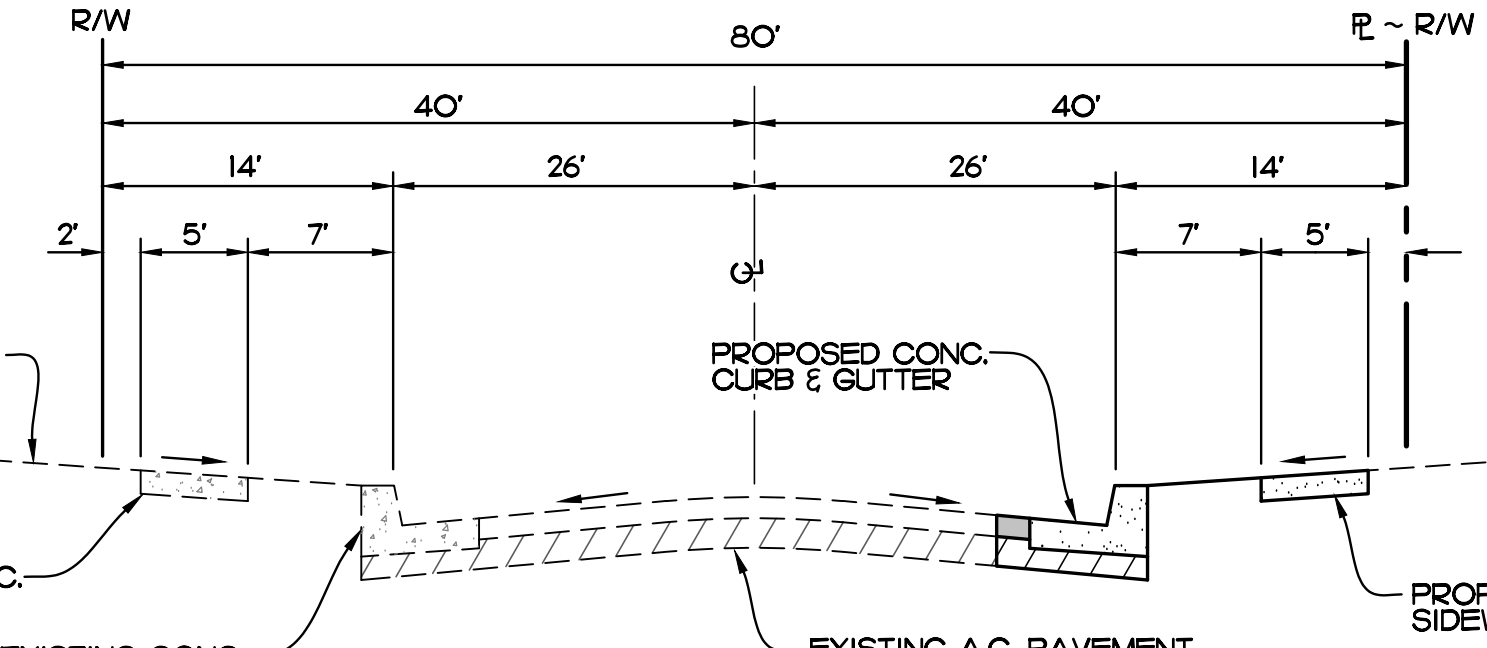
TENTATIVE MAP WAIVER NO. 1480679  
BRADFORD HOLDINGS, INC. CONDOMINIUMS (4 RESIDENTIAL UNITS)



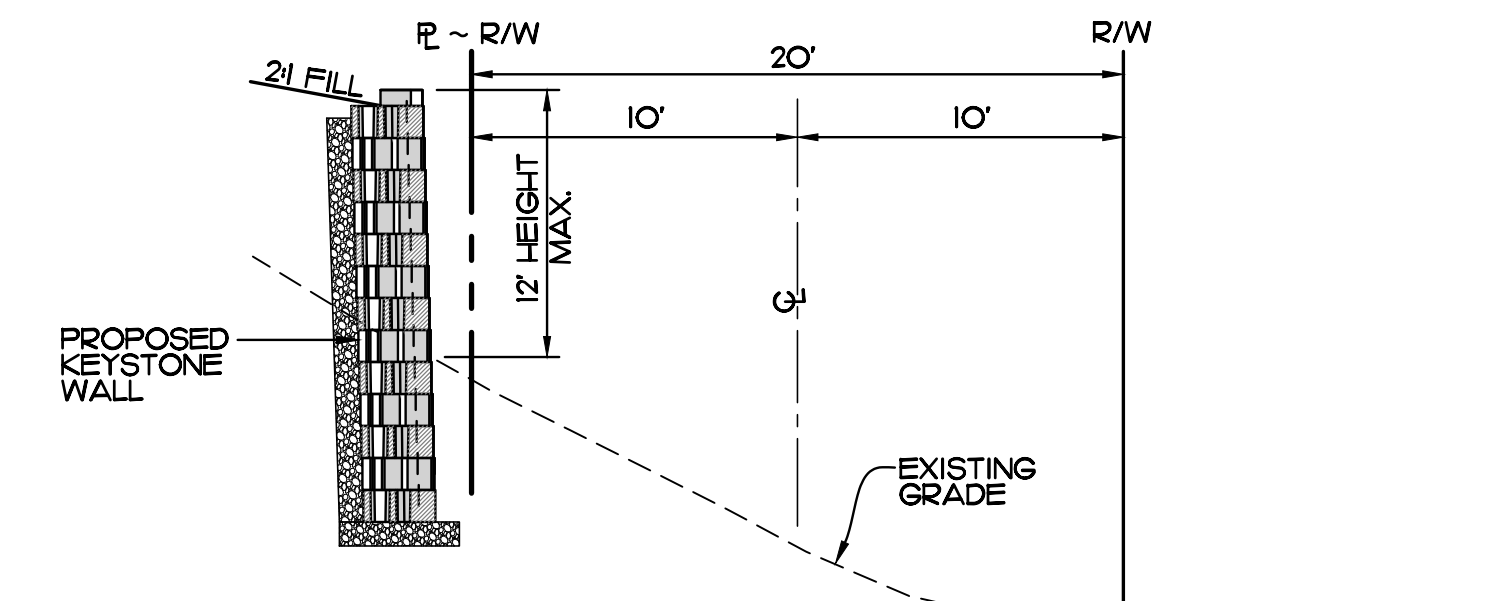
DWIGHT STREET

NILE STREET

KEY MAP  
SCALE 1"=20'



TYPICAL SECTION - NILE STREET  
NO SCALE



TYPICAL SECTION - ALLEY  
NO SCALE

**AREA**  
PARCEL 1  
NET AREA = 0.319 ACRES  
GROSS AREA = 0.319 ACRES  
**UNIT SQUARE FOOTAGE**  
RESIDENTIAL: 4 UNITS  
UNIT 1: 5,396 S.F. NET, 6,292 S.F. GROSS (2-STORY, 3 BEDROOMS)  
UNIT 2: 5,396 S.F. NET, 6,292 S.F. GROSS (2-STORY, 3 BEDROOMS)  
UNIT 3: 5,396 S.F. NET, 6,292 S.F. GROSS (2-STORY, 3 BEDROOMS)  
UNIT 4: 5,396 S.F. NET, 6,292 S.F. GROSS (2-STORY, 3 BEDROOMS)

**ACCESS NOTE**  
ACCESS TO SUBJECT PROPERTY: NILE STREET

**FLOOD ZONE**  
THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP AS IDENTIFIED AS COMMUNITY MAP NO. 0607301592F BEARING AN EFFECTIVE DATE OF JUNE 19, 1997 PANEL 1592 OF 2375.

- GENERAL NOTE**
- THE SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 ET. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS IS FOUR.
  - NUMBER OF EXISTING LOTS = 1  
NUMBER OF PROPOSED LOTS = 1
  - NO EXISTING OR PROPOSED BUS STOPS ADJACENT TO SUBJECT PROPERTY.
  - SEE THE PROJECT'S CONCEPTUAL GRADING PLAN SHEET 3 FOR MORE DETAILS.
  - ALL PLANTING & IRRIGATION WITHIN NILE STREET RIGHT-OF-WAY SHALL BE PER PARK & RECREATION DEPARTMENT'S CONSULTANT'S GUIDE TO PARK DESIGN AND DEVELOPMENT.
  - ALL ONSITE UTILITY SERVICES SHALL BE PLACED UNDERGROUND.
  - PROPOSED EMVA FOR ALL PRIVATE STORM DRAIN SYSTEM LOCATED WITHIN THE EXIST. SD EASEMENT & PRIVATE SEWER WITHIN ALLEY.
  - THERE IS NO BUS STOP ADJACENT TO SITE.
  - TRASH CONTAINERS ARE LOCATED IN THE PARKING GARAGE, SEE BUILDING PLANS.

**UTILITIES**  
SEWER AND WATER - CITY OF SAN DIEGO  
STORM DRAIN - CITY OF SAN DIEGO  
GAS AND ELECTRIC - SAN DIEGO GAS & ELECTRIC  
TELEPHONE - AT&T  
FIRE & POLICE - CITY OF SAN DIEGO  
TELEVISION - COX COMMUNICATIONS  
SCHOOL DISTRICT - SAN DIEGO UNIFIED DISTRICT

**STREET TREE**  
EXISTING: 0 STREET TREES IN PUBLIC RIGHT-OF-WAY, NILE STREET  
PROPOSED: 3 STREET TREES

**LEGAL DESCRIPTION**  
PARCEL 1 OF PARCEL MAP NO. 21113, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED ON MARCH 3, 2014.

**ASSESSOR'S PARCEL NO.**  
453-755-29

**COORDINATE INDEX**  
NAD 27 - N 210, E 1731  
NAD 83 - N 1850, E 6291

**TOPOGRAPHIC SOURCE**  
SNIPES-DYE ASSOCIATES  
DATED: FEBRUARY 7, 2014

**MONUMENTATION & MAPPING**  
1. A LOT CONSOLIDATION PARCEL MAP WAS FILED ON MAR. 3, 2014, AS FILE NO. 2014-0084076, O.R., FOR A DETAILED PROCEDURE OF SURVEY & MONUMENTATION SEE PARCEL MAP NO. 21113.

**BENCHMARK**  
THE BENCHMARK FOR THIS SURVEY IS THE CITY OF SAN DIEGO PLUS IN TOP OF CURB AT THE SOUTHEAST CORNER OF NILE STREET AND MYRTLE AVENUE I.E. ELEVATION = 320.68 MSL & G.S. DATUM OF 1929.

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE CENTERLINE OF UNNAMED ALLEY AS SHOWN ON PARCEL MAP NO. 20240, I.E. N15°44'27"W

**OWNER/APPLICANT/DEVELOPER**  
BRADFORD HOLDINGS, INC.  
12526 HIGH BLUFF DRIVE SUITE 300  
SAN DIEGO, CA 92130

WAYNE B. LEVY TITLE: PRESIDENT

**GRADING TABULATIONS:**  
TOTAL SITE AREA TO BE GRADED: 0.34 AC.  
PERCENT OF TOTAL SITE TO BE GRADED: 94%  
AMOUNT OF CUT: 100 C.Y.  
AMOUNT OF FILL: 1,000 C.Y.  
AMOUNT OF IMPORT MATERIAL: 900 C.Y.  
AMOUNT OF EXPORT MATERIAL: N/A  
MAXIMUM HEIGHT OF FILL SLOPES: 16' (21 MAX.)  
MAXIMUM HEIGHT OF CUT SLOPES: 1.9' (21 MAX.)  
RETAINING / CRIB WALLS: N/A TOTAL LENGTH: 270'  
MAX. HEIGHT: 12'  
MAX. CUT FOR REMEDIAL EARTHWORK: 35±

- NOTES**
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUNOFF ONTO ADJACENT PROPERTIES.
  - ENERGY DISSIPATOR SHALL BE INSTALLED AT THE STORMWATER DISCHARGE LOCATION TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES. NO ADDITIONAL RUNOFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
  - SEE THE WQTR FOR DETAILS OF THE PROPOSED TREATMENT CONTROL BMP AND HYDROMODIFICATION MANAGEMENT CONTROLS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

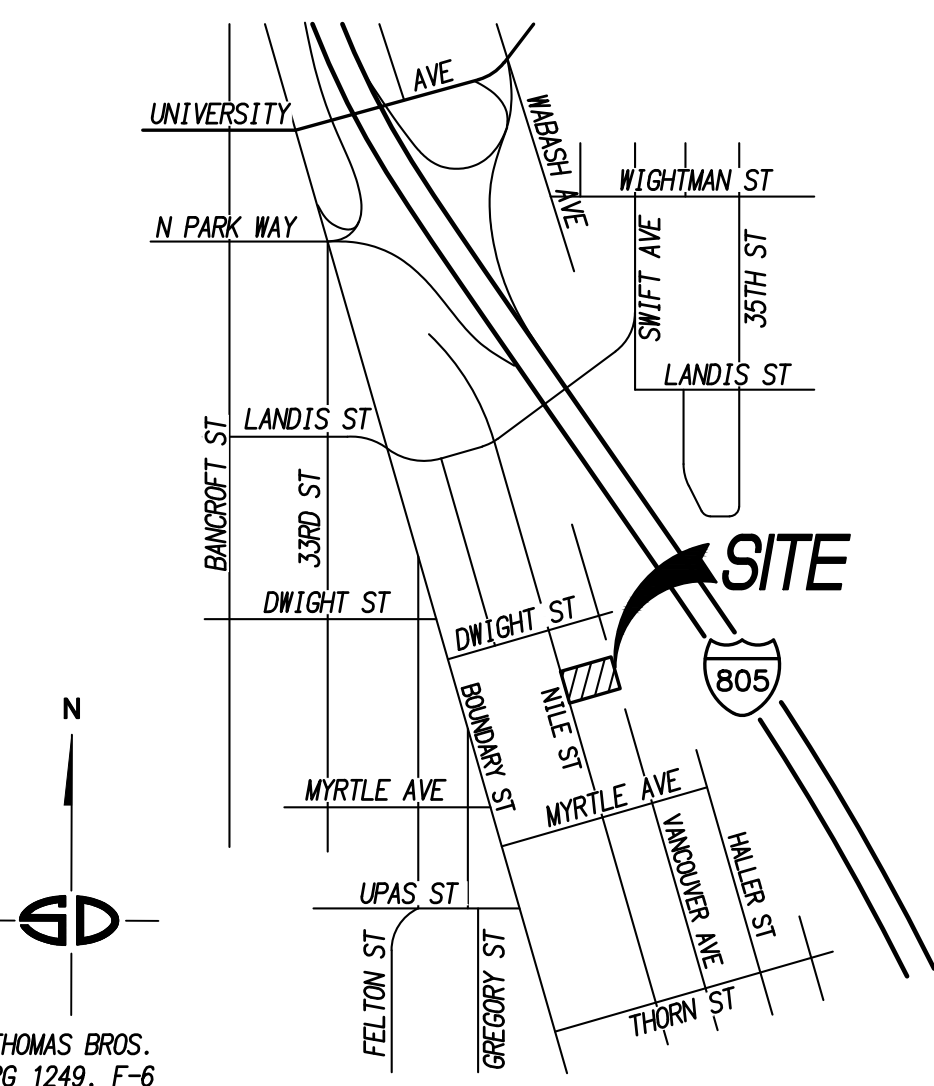
**SETBACKS**  
FRONT YARD: 10 FEET  
BACK YARD: 15 FEET  
SIDE YARDS: 6 FEET AND 6 FEET

**ZONING INFORMATION**  
EXISTING/PROPOSED ZONE: MR-3000  
WITHIN FAA PART 77 NOTIFICATION AREA

PARKING TABLE		ON-STREET PARKING	
MULTI-RESIDENTIAL TABLE 142-05C		PRE-DEVELOPMENT:	4 SPACES
REQUIRED	9 SPACES	POST-DEVELOPMENT:	2 SPACES
PROPOSED	9 SPACES		

**MOTORCYCLE PARKING**  
REQUIRED: 1 SPACE  
PROPOSED: 1 SPACE

ON-SITE UTILITY SERVICES			OFF-SITE UTILITY SERVICES		
	EXIST.	PROPOSED		EXIST.	PROPOSED
GAS	N/A	UG	GAS	UG	N/A
ELEC.	N/A	UG	ELEC.	OH	N/A
WATER	N/A	UG	WATER	UG	N/A
SEWER	N/A	UG	SEWER	UG	N/A
CABLE	N/A	UG	CABLE	OH	N/A
TELE	N/A	UG	TELE	OH	N/A



VICINITY MAP  
NO SCALE

**PREPARED BY:**  
ENGINEER OF WORK  
Snipes-Dye associates  
civil engineers and land surveyors  
8348 CENTER DRIVE, STE G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 460-2033  
WILLIAM A. SNIPES R.C.E. 50477  
EXPIRES 06-30-17



LEGEND	
<b>EXISTING IMPROVEMENTS</b>	
EXISTING CONTOUR	320
EXISTING SPOT ELEVATION	x 321.99
PROPERTY BOUNDARY / TMW BOUNDARY	
EXISTING CONCRETE CURB & GUTTER	
EXIST. CONC. PAVEMENT	
EXIST. A.C. PAVEMENT	
EXIST. TREE	
EXIST. STORM DRAIN	
EXIST. GAS LINE	G
EXIST. SEWER LINE	S
EXIST. WATER LINE	W
EXIST. OVERHEAD POWER & UTILITY LINES	OH
EXIST. SEWER LATERAL	(S)
EXIST. WATER SERVICE	(W)
<b>PROPOSED IMPROVEMENTS</b>	
PROPOSED SPOT ELEVATION	321.62
PROPOSED CONC. SIDEWALK	
PROPOSED PVT. A.C. PAVEMENT	
PROPOSED PVT. PAVERS	
PROPOSED PVT. CONC. PAVEMENT	
PROPOSED 6" TYPE "G" CONC. CURB/GUTTER	SDG-151
PROPOSED 6" CONC. CURB	SDG-150
PROPOSED CONCRETE DRIVEWAY	SDG-160
PROPOSED PVT. KEYSTONE WALL	
PROPOSED PVT. RETAINING WALL	
PROPOSED BLDG. RETAINING WALL	
PROPOSED PVT. CATCH BASIN	
PROPOSED PVT. SEWER OR STORM DRAIN CLEANOUT	O
PROPOSED PVT. STORM DRAIN	
PROPOSED PUBLIC STORM DRAIN	
PROPOSED STORM DRAIN CLEANOUT TYPE A4, D-9	
PROPOSED CURB INLET TYPE B	SDD-116
PROPOSED PUBLIC HEADWALL W/ ROCK RIP-RAP	
21" FILL SLOPE	
DIRECTION OF DRAINAGE (1% MIN.)	
PROPOSED PVT. SEWER LATERAL	(S)
PROPOSED WATER SERVICE	(W)
PROPOSED PVT. SEWER LIFT STATION	
PROPOSED SEWER MAN-HOLE	
PROPOSED PARKING SPACE	
STREET TREE/ROOT ZONE	

**Prepared By:**  
Name: SNIPES-DYE ASSOCIATES  
Address: 8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91942  
Phone #: (619) 697-9234

**Project Address:**  
NILE STREET  
SAN DIEGO, CA 92103

**Project Name:**  
BRADFORD HOLDINGS, INC.  
CONDOMINIUM

**Sheet Title:**  
TENTATIVE MAP WAIVER  
NO. 1480679 TITLE

**Revision 14:**  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5: DECEMBER 1, 2016  
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Revision 3: JUNE 17, 2016  
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**Original Date:** JANUARY 21, 2015

**Sheet** Of  
**DEP#**  
P.T.S. 412289, I.O. 24005661

TENTATIVE MAP WAIVER NO. 1480679 TITLE

BRADFORD HOLDINGS, INC. CONDOMINIUMS  
(4 RESIDENTIAL UNITS)

SNIPES-DYE ASSOCIATES  
8348 CENTER DRIVE, SUITE G, LA MESA, CA 91942, PH (619) 697-9234, FAX (619) 460-2033

NO.	DATE	REVISION DESCRIPTION	BY	DATE	REVISION DESCRIPTION	BY	DESIGNER	SPN	DRAWER	JGF	CHECKER	WAS	DATE	I-21-H5
1	1-22-16	REVISED PER 1ST REVIEW CYCLE	SDA	5	12-1-16	SDA								
2	3-28-16	REVISED PER 2ND REVIEW CYCLE	SDA			SDA								
3	6-17-16	REVISED PER 3RD REVIEW CYCLE	SDA			SDA								
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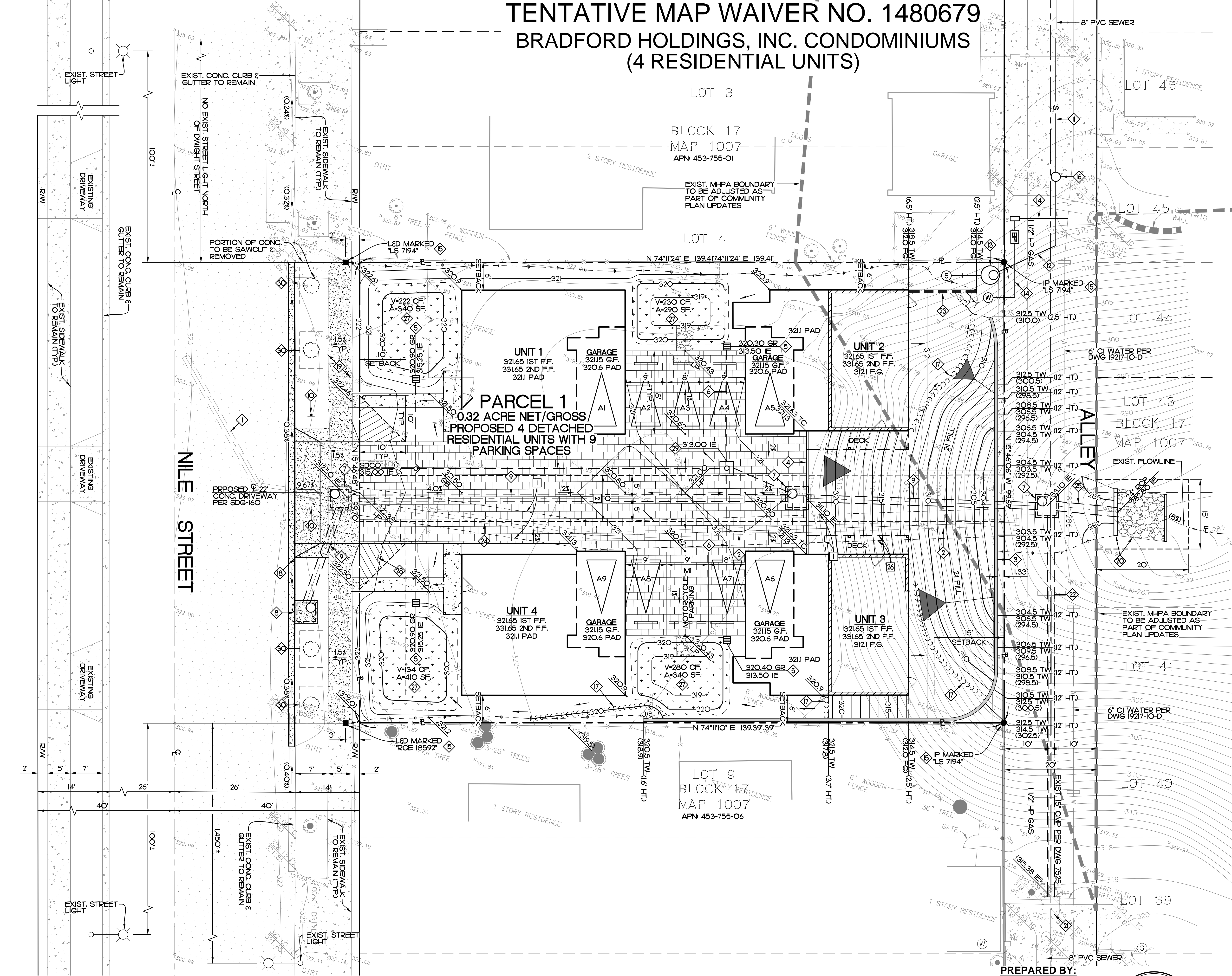
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Attachment 12

8 OF 20



TENTATIVE MAP WAIVER NO. 1480679  
BRADFORD HOLDINGS, INC. CONDOMINIUMS  
(4 RESIDENTIAL UNITS)



KEY NOTES

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- PROPOSED PUBLIC CURB-INLET.
- PROPOSED PUBLIC 18" RCP STORM DRAIN.
- PROPOSED RELOCATION OF EXIST. SIGN.
- PROPOSED 8" PVC PUBLIC SEWER MAIN.
- PROPOSED SEWER LATERAL.
- PROPOSED PVT. SEWER LIFT STATION.
- PROPOSED WATER SERVICE.
- EXIST. MONUMENT TO REMAIN.
- PROPOSED PUBLIC SEWER MAN-HOLE.
- PROPOSED EARTHEN BERM.
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Prepared By:  
Name: SNIPES-DYE ASSOCIATES  
Address: 8348 CENTER DRIVE, SUITE G  
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Phone #: (619) 697-9234

Project Address:  
NILE STREET  
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CONDOMINIUM

Sheet Title:  
TENTATIVE MAP WAIVER  
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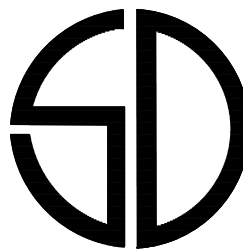
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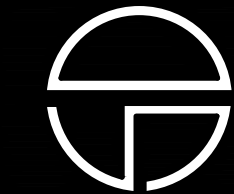
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DEP# \_\_\_\_\_

P.T.S. 412289, I.O. 24005661



**Snipes-Dye associates**  
civil engineers and land surveyors  
8348 CENTER DRIVE, STE G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 460-2033  
WILLIAM A. SNIPES R.C.E. 50477  
EXPIRES 06-30-17  
12/01/16



TENTATIVE MAP WAIVER NO. 1480679  
BRADFORD HOLDINGS, INC. CONDOMINIUMS  
(4 RESIDENTIAL UNITS)

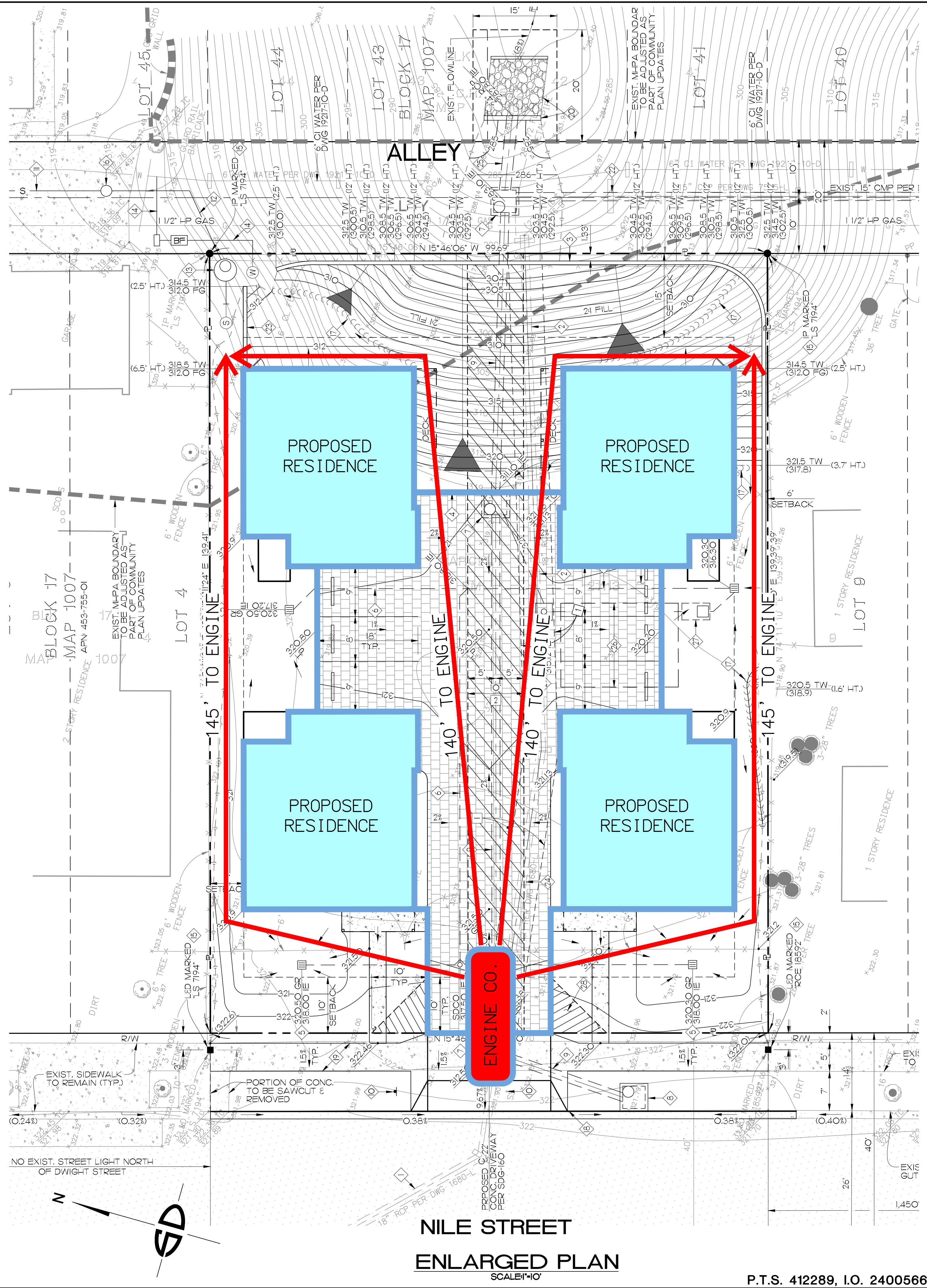
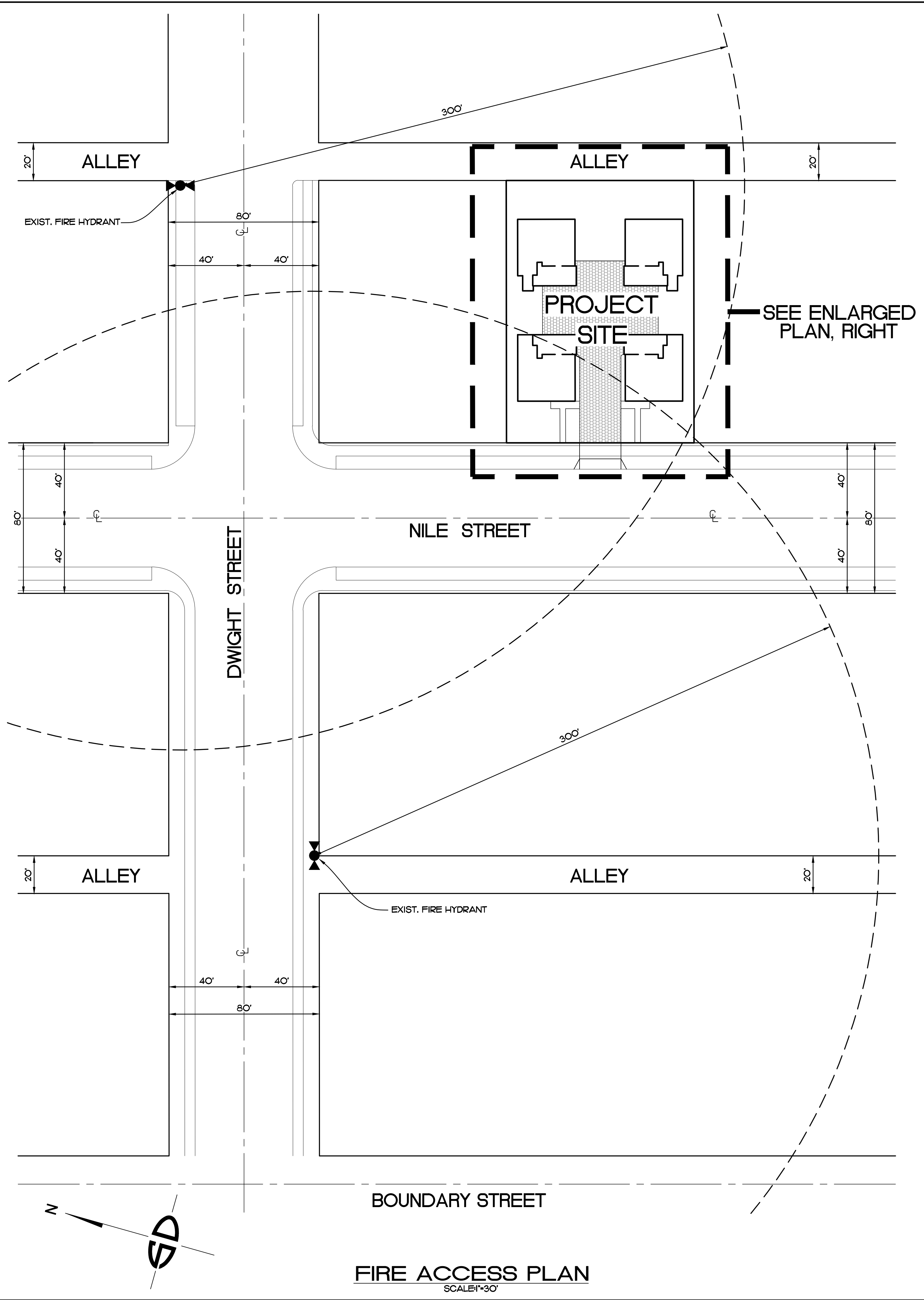
NO.	DATE	REVISION DESCRIPTION	BY	NO.	DATE	REVISION DESCRIPTION	BY
1	1-22-16	REVISED PER 1ST REVIEW CYCLE	SDA	5	12-1-16	REVISED PER 5TH REVIEW CYCLE	SDA
2	3-28-16	REVISED PER 2ND REVIEW CYCLE	SDA				
3	6-17-16	REVISED PER 3RD REVIEW CYCLE	SDA				
4	10-3-16	REVISED PER 4TH REVIEW CYCLE	SDA				

C-5

Attachment 12



S:\SNIPES\N08086 Nile St LLA Plan\Draw Map Waiver\Fire Access Plan.dwg  
Printed Friday, January 22, 2016 11:58am by jsm



1										SHEET TITLE									
FP-1										FIRE ACCESS PLAN									
										DESIGNER: SPN									
										DRAWER: JGF									
										CHECKER: SPN									
										DATE: 1-14-16									





PLANT POINT CALCULATIONS:

**STREETYARD AREA:**  
TOTAL STREETYARD AREA: 2,212 SQ. FT.  
STREETYARD AREA THAT IS LANDSCAPED: 1,488 SQ. FT.  
% OF STREETYARD THAT IS LANDSCAPED: 67 %  
1,488/2,212 X 100 =  
REQUIRED AREA TO BE LANDSCAPED: 50%

**CONCLUSION: MEETS AREA REQUIREMENT.**

**PLANT POINTS IN STREET YARD:**  
REQUIRED PLANT POINTS:  
2,212 X 0.05 =

111

POINTS PROVIDED:

36" BOX TREE  
2 X 50 POINTS EACH =

100

15 GAL. SHRUBS  
2 X 10 POINTS EACH =

20

5 GAL. SHRUBS  
16 X 2 POINTS EACH =

32

1 GAL. SHRUBS  
72 X 1 POINT EACH =

72

TOTAL POINTS PROVIDED: 224

% OF REQUIRED POINTS FROM TREES:  
100/111 X 100 =

91%

**CONCLUSION: MEETS POINT REQUIREMENT,  
WITH MORE THAN 50% OF  
POINTS FROM TREES.**

**PLANT POINTS IN REMAINING YARD:**

REQUIRED PLANT POINTS  
60 PER BUILDING. 4 X 60 =

240

36" BOX TREE  
2 X 50 POINTS EACH =

100

15 GAL. SHRUB  
64 X 10 POINTS =

640

5 GAL. SHRUBS  
18 X 2 POINTS EACH =

36

1 GAL. SHRUBS  
12 X 1 POINT EACH =

12

TOTAL POINTS PROVIDED: 788

**CONCLUSION: MEETS POINT REQUIREMENT.**

**VUA INSIDE THE STREET YARD**  
NO PARKING IN STREETYARD - JUST DRIVEWAY TO REAR

**VUA OUTSIDE THE STREET YARD**  
AREA OF VUA: 2,750 SQ. FT.  
REQUIRED PLANT POINTS  
2,750 X 0.05 =

137.5

POINTS PROVIDED:  
(WITHIN 5' OF VUA OR WITHIN 10' OF SIDE  
OF PARKING SPACES):

36" BOX. SIZE TREES:  
2 X 50 POINTS EACH =

100

5 GAL. SHRUBS  
20 X 2 POINTS EACH =

40

1 GAL. SHRUBS  
42 X 1 POINT EACH =

42

TOTAL POINTS PROVIDED: 182

% OF REQUIRED POINTS FROM TREES:  
100/137.5 X 100 =

73%

**CONCLUSION: MEETS POINT REQUIREMENT,  
WITH MORE THAN 50% OF  
POINTS FROM TREES**

LEGEND

SYMBOL	SPECIES/COMMON NAME	SIZE	QUANTITY	MATURE HEIGHT/ SPREAD	FORM/PURPOSE
	PYRUS KAWAKAMII EVERGREEN PEAR	24" BOX STANDARD	4	15'-30'/15'-30'	EVERGREEN STREET TREE
	CERCIS OCCIDENTALIS WESTERN REDBUD	36" BOX LOW BRANCHING	6	15'/10'	DECIDUOUS CANOPY
	ANIGOZANTHOS 'BUSH RANGER' KANGAROO PAW	5 GAL.	20	2'/2'	FLOWERING PERENNIAL
	CEANOTHUS 'YANKEE POINT' CARMEL CREEPER	5 GAL.	18	2'/8'	TRAILING NATIVE SHRUBS TO SCREEN WALL
	LIGUSTRUM 'TEXANUM' TEXAS PRIVET	5 GAL.	16	4'/3'	EVERGREEN HEDGE
	LIGUSTRUM 'TEXANUM' - COLUMN TEXAS PRIVET	15 GAL.	68	6'/3'	PERIMETER SCREENING
	LOMANDRA LONGIFOLIA 'BREEZE' NO COMMON NAME	1 GAL.	196	4'/4'	LOW WATER USE ORNAMENTAL GRASS
	MUHLBERGIA RIGENS DEER GRASS	1 GAL.	70	3'/3'	LOW WATER USE ORNAMENTAL GRASS
	SLOPE COVER: BACCHARIS PILULARIS 'TWIN PEAKS 2' PLANTED THROUGH RICE STRAW MATTING	1 GAL.	3' O.C.	1'/5'	EROSION CONTROL NATIVE
	CAREX PANSA	1 GAL.	18" O.C.	18"/18"	BIO FILTER
	DRIVEWAY: PAVERS				
	WALKWAYS: CONCRETE				

**LANDSCAPE STANDARDS:**  
All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Landscape Development Manual Landscape Standards and all other landscape related City and Regional Standards

**MINIMUM TREE SEPARATION DISTANCE**  
Traffic signals / stop signs - 20 feet  
Underground utility lines - 5 feet (10' for sewer)  
Above ground utility structures - 10 feet  
Driveway (entries) - 10 feet  
Intersections (intersecting curb lines of two streets) - 25 feet

**IRRIGATION**  
An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. Irrigation shall be drip and bubbler type at level pad areas. Native slope areas to be irrigated with low volume MP rotator system.

**MAINTENANCE**  
All required landscape areas shall be maintained by the Property Owner. Landscape and irrigation areas in the public right-of-way shall be maintained by the Property Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

**TREE ROOT ZONE**  
A minimum root zone of 40 sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).

**TREE ROOT BARRIERS**  
Install root control barrier when tree rootballs are five feet or closer to curb, pavement, drain structure, or wall. Install only on side of rootball adjacent to hardscape element at minimum 10-foot length, centered on tree trunk.

**LONG TERM MAINTENANCE**  
All required onsite landscape and brush management as shown on these plans shall be maintained by the Property Owner. Offsite brush management on City Open Space shall be conducted by the Park and Recreation Department, Open Space Division based on Priority Maps and Schedules determined by the Fire-rescue Department. Alternatively, Owner may elect to obtain a Right-of-Entry Permit to perform seasonal brush management in this area. Contact Park and Recreation Department, Open Space Division at (619) 685-1313.

**BRUSH MANAGEMENT**  
Brush management activities are prohibited within coastal sage scrub, maritime succulent shrub, and chaparral habitats during the breeding season of federally protected species, from March 1 to August 15, except where documented to the satisfaction of the City of San Diego that the thinning would be consistent with the conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

**MULCH**  
All planting areas, except those receiving decorative rock, shall receive min. 3" depth of decorative shredded mulch per City of San Diego Standards

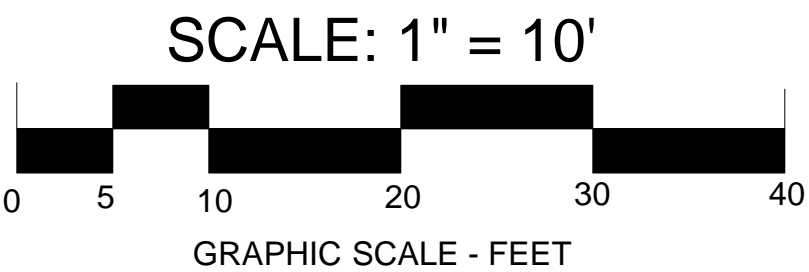
LANDSCAPE DESIGN STATEMENT

The landscape design of the New Two Story Detached Condos project is intended to meet the criteria established by the City of San Diego and current codes.

The area between the property boundary and the residential building facade will be planted and maintained to meet the proposed design guidelines. The ground plane and understory vegetation is proposed to provide an attractive landscape useful to the daily lives of residents.

The plant palettes and automatic irrigation systems are designed to be within the Water Budget as defined by City Code.

No invasive exotic species (as defined by the California Invasive Plant Council) will be planted at the project. The street palette follows the City of San Diego criteria.



PRELIMINARY LANDSCAPE PLAN  
NOT FOR CONSTRUCTION

IF PLAN IS LESS THAN 24" X 36"  
IT IS A REDUCED PRINT.  
REDUCE SCALE ACCORDINGLY.

**GMA**  
GEORGE MERCER ASSOCIATES INC.  
**LANDSCAPE ARCHITECTURE**  
4730 PALM AVENUE, STE 213  
LA MESA, CA 91941  
(619) 463-7878  
E-mail: gmercers@sbcglobal.net



CLIENT

**BRADFORD STREET  
HOLDINGS, INC.**

PROJECT

**Nile Street - 4 Units  
San Diego, California 92103**

CHANGES

1/22/16	PROGRESS
1/25/16	PROGRESS
4/22/16	PROGRESS
7/13/16	PROGRESS
10/4/16	PROGRESS

PROGRESS PRINT DATE

DESIGN GM

DRAWN GM

CHECKED

SCALE 1" = 10'

PROJECT 16-005

SHEET

**L-1**

OF 2 SHEETS



BRUSH MANAGEMENT PROGRAM

BRUSH MANAGEMENT PROGRAM DESIGN STATEMENT:

DUE TO SITE CONSTRAINTS, ALTERNATIVE BRUSH MANAGEMENT COMPLIANCE IS PROPOSED. FIRE DEPARTMENT WILL HAVE TO REVIEW FOR ALTERNATIVE BRUSH MANAGEMENT COMPLIANCE.

IN ORDER TO SATISFY REQUIREMENTS FOR ALTERNATE BRUSH MANAGEMENT COMPLIANCE, ANY OPENINGS ALONG ADJACENT BUILDING WALLS TO BE DUAL GLAZED, DUAL TEMPERED PANES - SEE PLAN L-1 FOR GRAPHIC DEPICTION.

SEE PLAN ON SHEET L-1 FOR ZONE WIDTHS. ZONES ONE IS 19' FROM BUILDING WALL TO WALL AT BOTTOM OF SLOPE. ZONE TWO IS 11' WIDE, EXTENDING TO CENTERLINE OF UNIMPROVED ALLEY.

ZONE ONE IS PERMANENTLY IRRIGATED. ZONE TWO BEYOND 11' LIMIT DEPICTED ON SHEET L-1 TO BE MANAGED BY CITY.

Zone One Requirements

- The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
- Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and nonhabitable gazebos that are located within brush management Zone One shall be of noncombustible construction.
- Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.
- Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- Permanent irrigation is required for all planting areas within Zone One except as follows:

When planting areas contain only species that do not grow taller than 24 inches in height, or

When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- Zone One irrigation overspray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

Zone Two Requirements

- The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structure, to the edge of undisturbed vegetation.
- No structures shall be constructed in Zone Two.
- Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and cleared to a height of 6 inches.
- Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
- The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:

All new plant material for Zone Two shall be native, low-fuel, and fire-resistive. No non-native plant material may be planted in Zone Two either inside the MHPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.

New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire resistive native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants are three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.

All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallongage spray heads may be used in Zone Two. Overspray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

Where Zone Two is being revegetated as a requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the Land Development Manual. Fifty percent of the planting area shall be planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.

Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing invasive species, and controlling weeds.

Except as provided in Section 142.0412(i), where the required Zone One width shown in Table 142-04H cannot be provided on premises with existing structures, the required Zone Two width shall be increased by one foot for each foot of required Zone One width that cannot be provided.
- B) Brush Management Program, additional Maintenance Notes:
1.

General Maintenance ~ Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique establishing a precise maintenance schedule is not feasible. For effective fire and watershed management, however, property owners should expect to provide maintenance according to each brush management zone: Zone 1: Year-round maintenance, Zone 2: Seasonal maintenance. Brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

2.

Brush Management Zone 1 ~ This is the most critical area for fire and watershed safety. All ornamental plantings should be kept well watered and any irrigation run-off should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to eliminate dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.

3.

Brush Management Zone 2 ~ Seasonal maintenance in this zone should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of weeds should not be done with hand tools such as hoes, as this disturbs valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well pruned healthy shrubs should typically require several years to build up excessive live and dead fuel. On slopes all drainage devices must be kept clear. Re-inspect after each major storm since minor soil slips can block drains. Various groundcovers should be periodically sheared and thatch removed. Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth.

4.

Long-term Maintenance Responsibility ~ All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of the owner. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition.
- SECTION III: BRUSH MANAGEMENT
- BRUSH MANAGEMENT – DESCRIPTION
- Fire safety in the landscape is achieved by reducing the readily flammable fuel adjacent to structures. This can be accomplished by pruning and thinning of native and naturalized vegetation, revegetation with low fuel volume plantings or a combination of the two. Implementing brush management in an environmentally appropriate manner requires a reduction in the amount and continuity of highly flammable fuel while maintaining plant coverage for soil protection. Such a transition will minimize the visual, biological and erosion impacts while reducing the risks of wildland fires.
- BRUSH MANAGEMENT- REQUIREMENTS
- 3.2-1 Basic requirements – All Zones
- 3.2-1.01

For zone two, plants shall not be cut below six inches.

3.2-1.02

Debris and trimmings produced by thinning and pruning shall be removed from the site or if left, shall be converted into mulch by a chipping machine and evenly dispersed, non-irrigated, to a maximum depth of 6 inches.

3.2-1.03

Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance of three times the height of the under story plant material or six feet whichever is higher (Figure 3-1). Dead and excessively twiggy growth shall also be removed.
- FIGURE 3-1  
PRUNING TREES TO PROVIDE CLEARANCE FOR BRUSH MANAGEMENT
- 
- 3

ants or plant groupings except cacti, succulents, trees and tree-form s shall be separated by a distance three times the height of the tallest adjacent plants (Figure 3-1).

3.2-1.05

Maximum coverage and area limitations as stated herein shall not apply to indigenous native tree species (i.e., Pinus, Quercus, Platanus, Salix and Populus).

3.2-2

Zone 1 Requirements - All Structures

3.2-2.01

Do not use, and remove if necessary, highly flammable plant materials (see Appendix "B").

3.2-2.02

Trees should not be located any closer to a structure than a distance equal to the tree's mature spread.

3.2-2.03

Maintain all plantings in a succulent condition.

3.2-2.04

Non-irrigated plant groupings over six inches in height may be retained provided they do not exceed 100 square feet in area and their combined coverage does not exceed 10 percent of the total Zone 1 area.

3.2-3

Zone 2 Requirements – All Structures

3.2-3.01

Individual non-irrigated plant groupings over 24 inches in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30 percent of the total Zone 2 area.
- VI. BRUSH MANAGEMENT – VEGETATION
- A.

Thinning and Pruning, Native/Naturalized Vegetation [SDMC §142.0412(d), (g) & (h), Landscape Standards §3.2-2.04, 3.2-3.01] ~ Two key factors in creating a fire safe landscape are providing fuel discontinuity by the separation of the flammable plant cover (thinning) and reduction in fuel load by cutting out dead and excess growth of the native/naturalized vegetation (pruning). Plants to be retained should be consistent with the allowable coverage, massing and spacing required in the Brush Management Regulations and the Landscape Standards. Whenever possible, a person knowledgeable about the use and maintenance of native plants should be consulted to oversee the selection, thinning, and pruning of these plants. The progression of work should proceed as follows: 1) remove dead plants, 2) thin out brush management areas to the required coverage, 3) prune remaining plants, 4) dispose or mulch debris and trimmings, and 5) maintain Zone One on a year-round basis, Zone Two on a seasonal basis. Note that brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Mayor's Designee that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.
- 1)

Thinning ~ This first step requires identification of the native/naturalized species and a familiarity with their various characteristics such as rooting depth, fuel loads, flammability, as well as habitat and aesthetic value. Thinning should be prioritized as follows: 1) invasive non-native species with the exception of eucalyptus trees in Eucalyptus Woodland areas, 2) non-native species, 3) flammable native species, 4) native species, and 5) regionally sensitive species. All vegetation that is not to be removed during the initial thinning should be noted or flagged. The remaining plants which are not to be saved should be cut six inches above the ground without pulling out the roots.
- For Eucalyptus Woodland areas that fall within Zone Two Brush Management, all trees 3 inches or less in diameter at breast height (dbh) shall be removed with the exception of indigenous, native species. The removal of live (includes "diseased") eucalyptus trees over 3 inches dbh, should only occur:
- a)

when needed to remove adjacent dead trees;

b)

to achieve tree/shrub vertical requirements;

c)

where deemed a specific liability or fire safety hazard by the Fire Chief; or

d)

on private property when adhering to the horizontal spacing criteria shown in the Tree & Shrub Spacing Chart under Section VI.B.
- Certain native plants, such as those found in coastal sage scrub, should be cut back within 12 inches of the root crown. As sprouting and re-growth occur, these plants can be maintained as low, succulent mounds. Examples include Artemisia californica (California Sagebrush), Salvia mellifera (Black Sage), Adenostoma fasciculatum (Chamise) and Eriogonum fasciculatum (Buckwheat).
- PLAN VIEW
- 
- B.

Thinning and Pruning, Trees [Landscape Standards §3.2-1.03, 1.05] ~ Trees are allowed within the defensible space, provided the horizontal and vertical distance between trees and shrubs masses complies with required spacing for the slope gradient shown in the following Tree and Shrub Spacing Chart:
- | Tree & Shrub Spacing Chart |  |                                      |  |  |  |
|----------------------------|--|--------------------------------------|--|--|--|
| Trees <sup>a,b</sup>       | Minimum horizontal space   |                                      |  |  |  |
|                            | From edge of one tree canopy spread (max. 40-ft x 40-ft) to the edge of the next |                                      |  |  |  |
|                            | Slope  | Spacing                              |  |  |  |
|                            | 0% to 50% (2:1)  | 10 feet                              |  |  |  |
| Shrubs                     | Minimum horizontal space between edges of shrub                                  |                                      |  |  |  |
|                            | Slope  | Spacing                              |  |  |  |
|                            | 0% to 50% (2:1)  | 3 times the height of the shrub mass |  |  |  |
|                            | Greater than 50% (2:1)   | 6 times the height of the shrub mass |  |  |  |
| Vertical Space             | Minimum vertical space between top of shrub and bottom of lower tree branches:   |                                      |  |  |  |
|                            | 3 times the height of the shrub mass or 6 feet, whichever is greater             |                                      |  |  |  |
- a.

Trees greater than 3 inches dbh located in Eucalyptus Woodland areas are exempt from the minimum horizontal tree spacing requirement.

b.

Indigenous, native trees in all areas are exempt from the minimum horizontal tree spacing requirement.
- 
- TREE & SHRUB SPACING
- Vertical clearance between trees and shrubs can be created by pruning up the tree canopy, reducing height of the shrubs, or a combination thereof. Canopies of existing trees that extend to within 10 feet of any structure shall be pruned to maintain a minimum horizontal and vertical clearance of 10 feet. Portions of tree canopies that extend within 10 feet of the
- outlet of a chimney shall be pruned to maintain a minimum horizontal and vertical clearance of 10 feet.
- C.

Grassland [Landscape Standards §3.2-2.04, 3.01] ~ Expanses of native/naturalized grasses should generally be cut to within 2 inches in height prior to the end of the growing season in April or May. However, where such grasses occur in conjunction with coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats, they should be cut prior to March 1 and again as necessary after August 15 should re-growth exceed 24 inches in height. Note that individual clumps of grass and other broad-leaved herbs may be maintained year-round up to 24 inches in height when they are isolated from other fuels or where necessary to stabilize the soil and prevent erosion.

D.

Fuel Load Model Report [SDMC §142.0412(i)] ~ The Fuel Load Model Report referenced in the Brush Management Regulations is required only in situations where there is a request to exceed the standard brush management requirements. It shall not be mandated for modifications or alternative measures that shall achieve an equivalent level of fire-protection as the standard requirements.

E.

Limits of Brush Management Responsibility [SDMC §142.0412(b)2(c)] ~ In most cases, responsibility for the required brush management shall be confined to the respective owner's property. Adjacent properties that are not being properly maintained shall be subject to a notice of violation issued by the Fire-Rescue Department through the Fire Hazard Advisor at (619) 533-4444. (For situations where adjacent property is privately owned but primarily undeveloped or adjacent property is City-owned, see subsections E1 and E2 below.) Diagrams VI.E-1 & E-2 illustrate typical limits of brush management responsibility and when a notice of violation would be warranted on adjacent property.
- 
- Diagram VI.E-1
- Diagram VI.E-2
- 1)

Easements for Off-site Brush Management ~ Adjacent properties that are primarily undeveloped may require a recorded easement for performing off-site brush management unless the structure requiring brush management is to be fire-rated to compensate for a lack of full brush management zone(s). Diagrams VI.E-3 & E-4 illustrate situations where obtaining an easement for off-site brush management would be warranted.
- 
- Diagram VI.E-3
- Diagram VI.E-4
- 2)

Right-of-Entry Permits ~ In situations where the adjacent, undeveloped property is City-owned, a Right-of-Entry Permit may be obtained for existing, previously conforming structures only. No brush management easements shall be granted on City-owned property. Right-of-Entry Permits are issued as follows:

Open Space ~ Park & Recreation Department / (619) 685-1350

Paper Streets ~ Street Division / (619) 527-7500

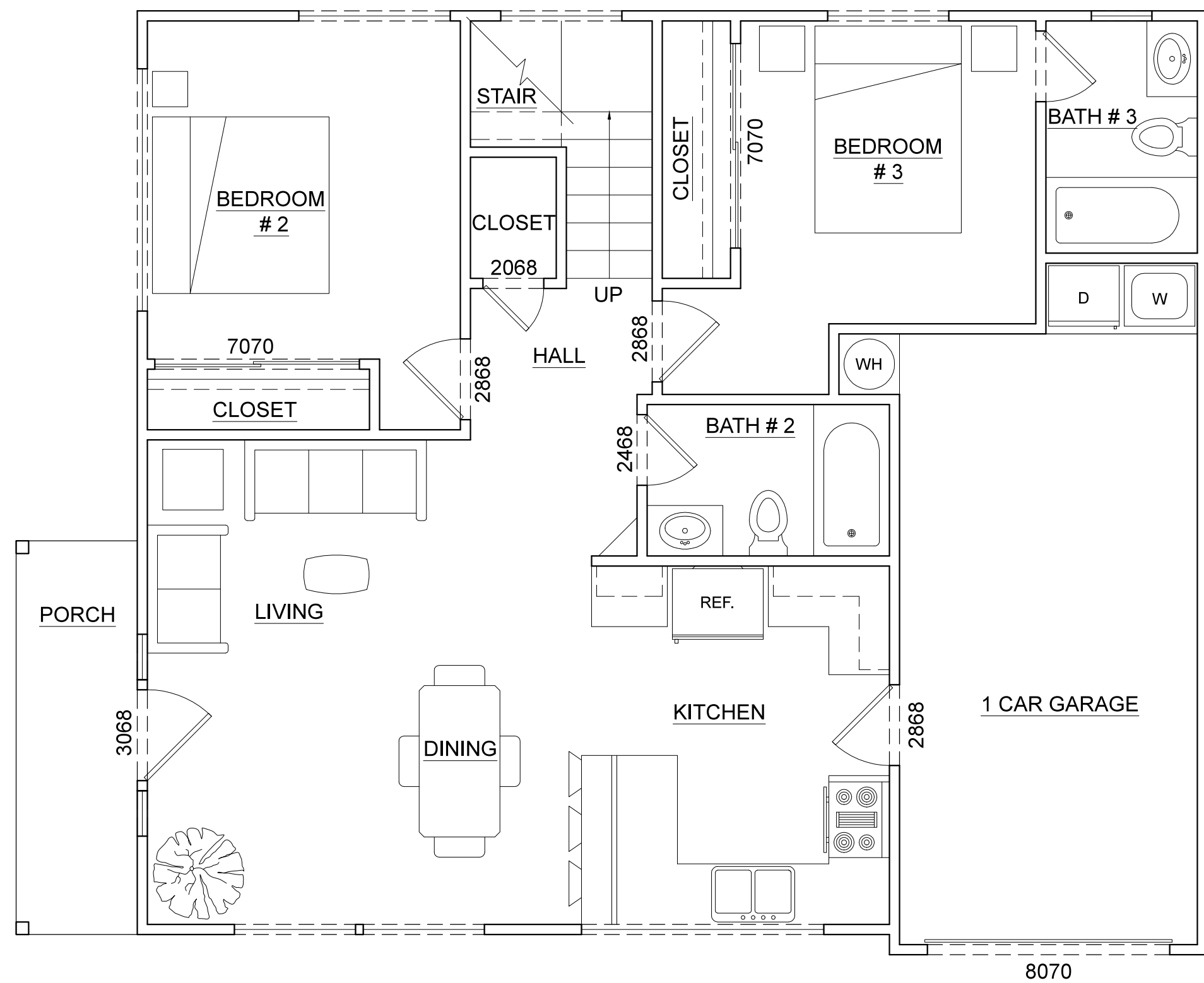
Water Department Land ~ Real Estate Assets / (619) 236-6231

Other City-owned Properties ~ Real Estate Assets / (619) 236-6231

F.

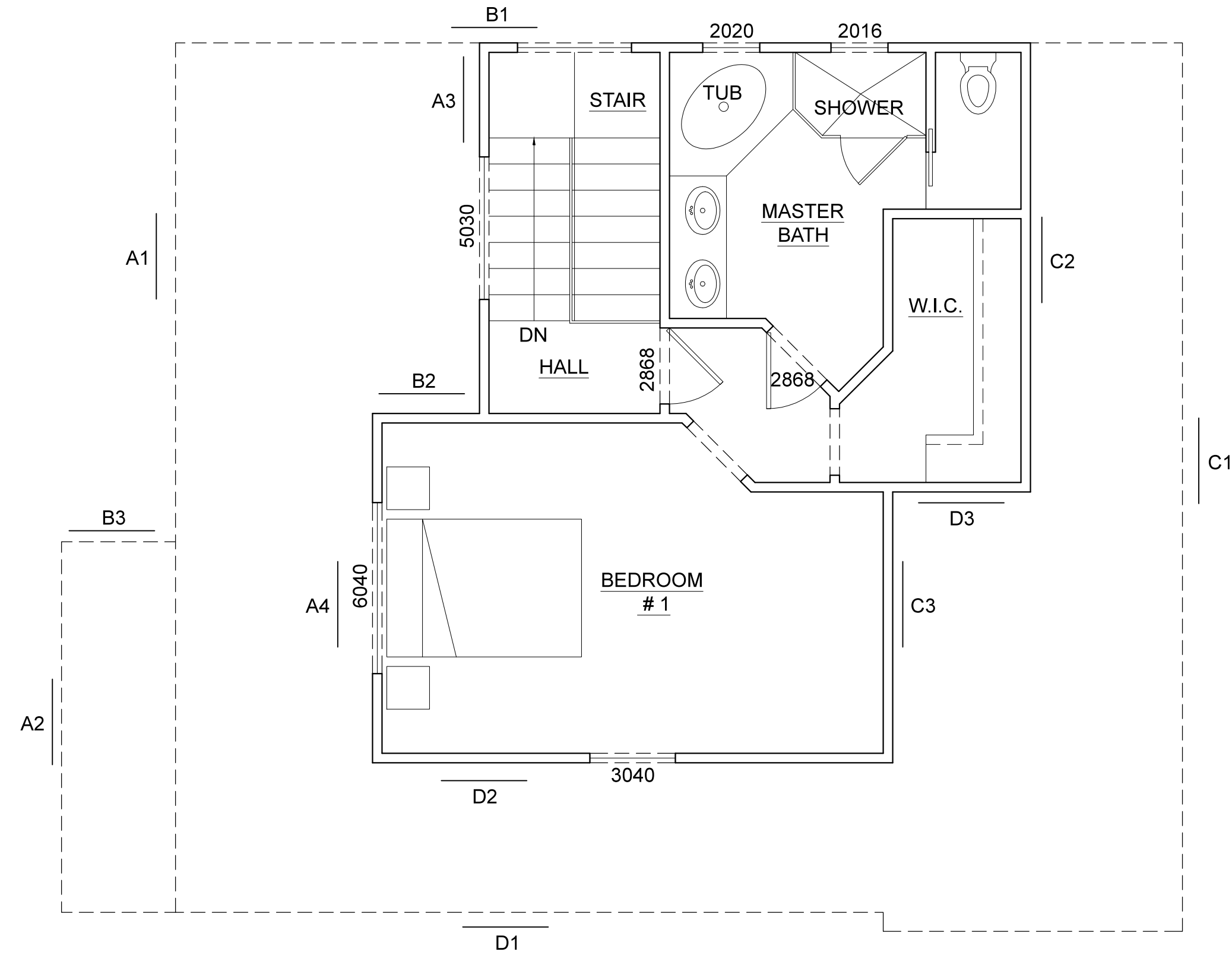
Long-term Maintenance [SDMC §142.0412, Landscape Standards Section III] ~ Ongoing, long-term maintenance of the brush management zone(s) shall be the responsibility of the respective property owner unless another approved entity, such as a home owners' association, has been designated to provide said maintenance.
- 
- BRADFORD STREET HOLDINGS, INC.
- Nile Street - 4 Units  
San Diego, California 92103
- CHANGES
- |         |          |
|---------|----------|
| 1/22/16 | PROGRESS |
| 4/22/16 | PROGRESS |
| 7/13/16 | PROGRESS |
| 10/4/16 | PROGRESS |
- PROGRESS PRINT DATE
- DESIGN GM
- DRAWN GM
- CHECKED
- SCALE
- PROJECT 16-005
- SHEET
- L-2
- OF 2 SHEETS
- IF PLAN IS LESS THAN 24" X 36"  
IT IS A REDUCED PRINT.  
REDUCE SCALE ACCORDINGLY.
- 12 OF 20
- Attachment 12





FIRST LEVEL FLOOR PLAN - BUILDING 1 & BUILDING 4

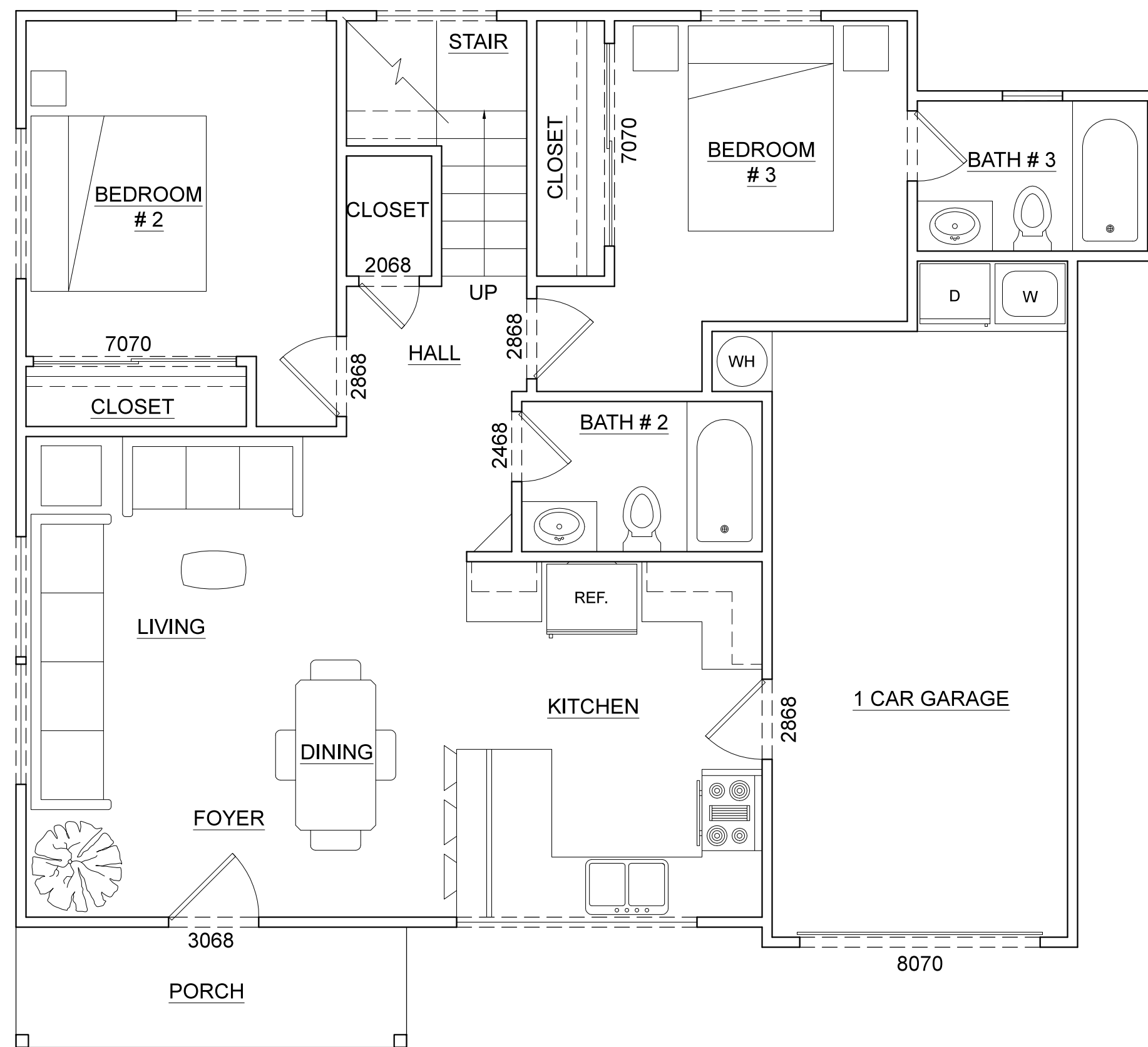
SCALE: 1/4" = 1'-0"



SECOND LEVEL FLOOR PLAN - BUILDING 1 & BUILDING 4

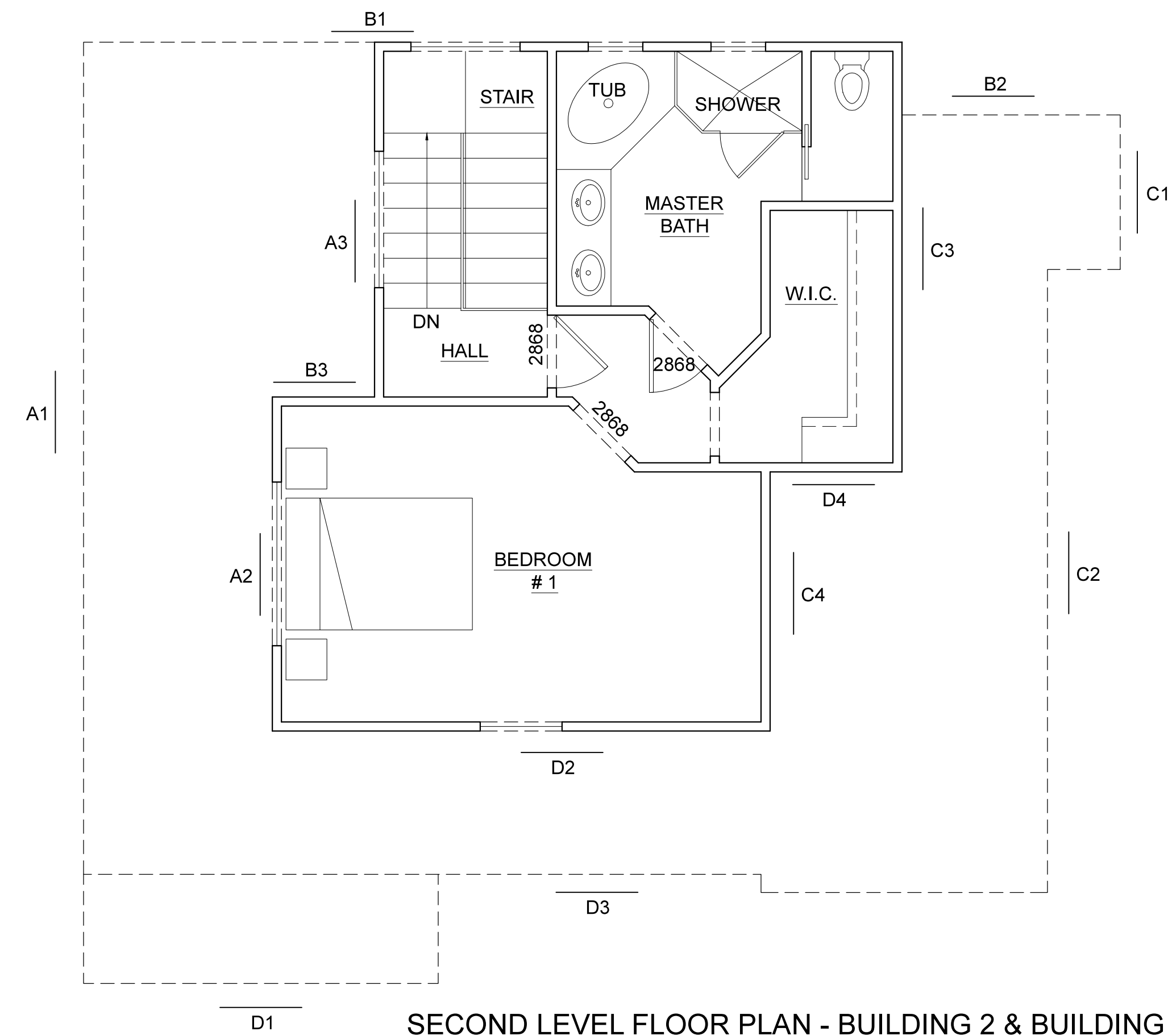
SCALE: 1/4" = 1'-0"

- OFFSETTING PLANES:
1. REQUIRED 3 FRONT AND 3 SIDE
  2. PROVIDED MINIMUM 3 PER SIDE



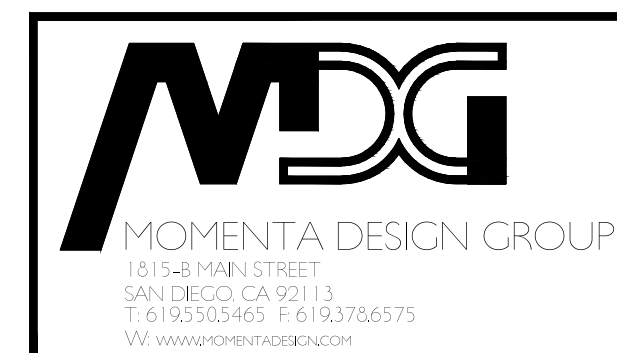
FIRST LEVEL FLOOR PLAN - BUILDING 2 & BUILDING 3

SCALE: 1/4" = 1'-0"

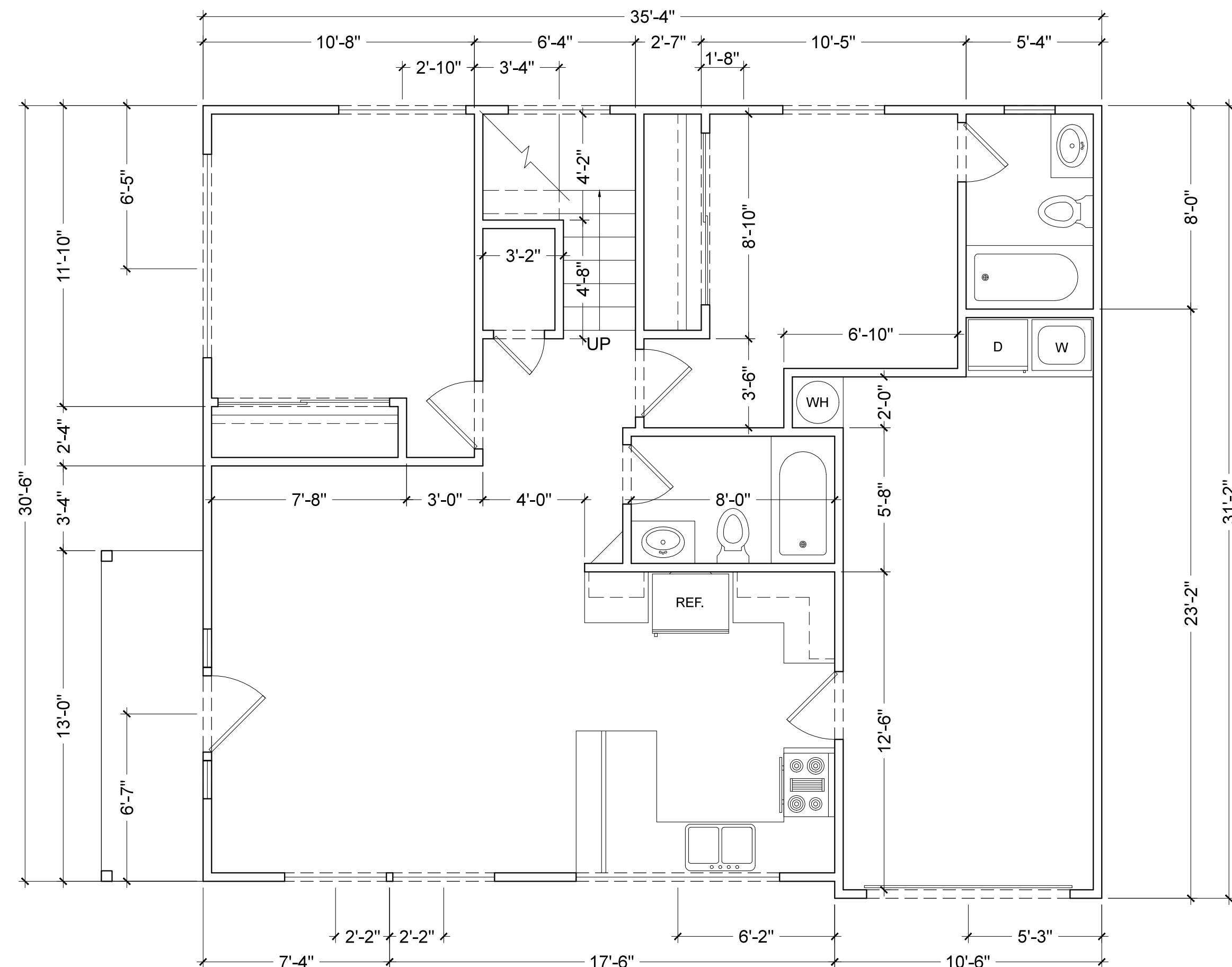


SECOND LEVEL FLOOR PLAN - BUILDING 2 & BUILDING 3

SCALE: 1/4" = 1'-0"

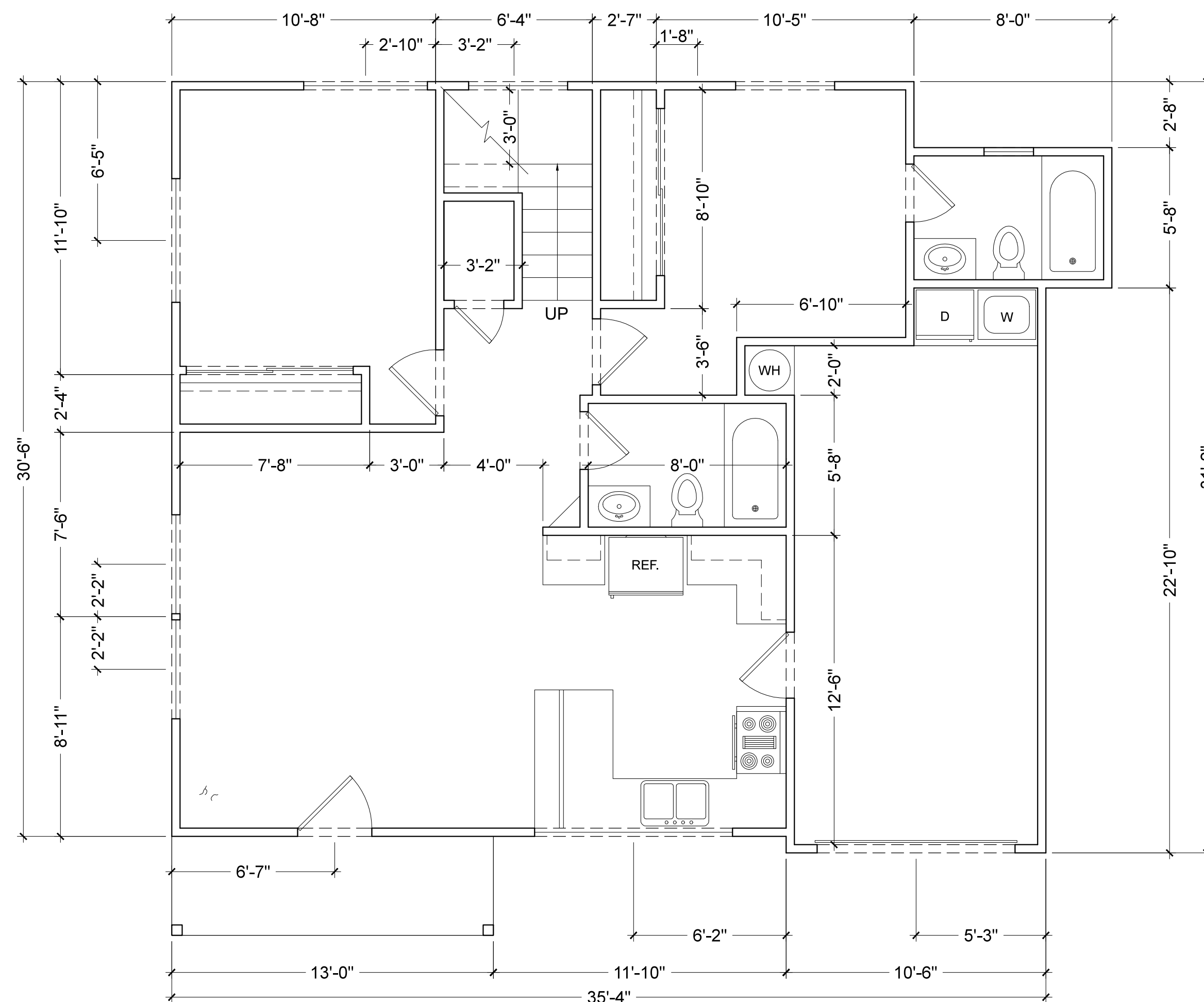


SHEET TITLE: PROPOSED FLOOR PLANS			
JOB NAME: TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103		REVISIONS:	SHEET:  A-1
DRAWN BY: MOMENTA DESIGN GROUP      DATE: 10/24/2015			



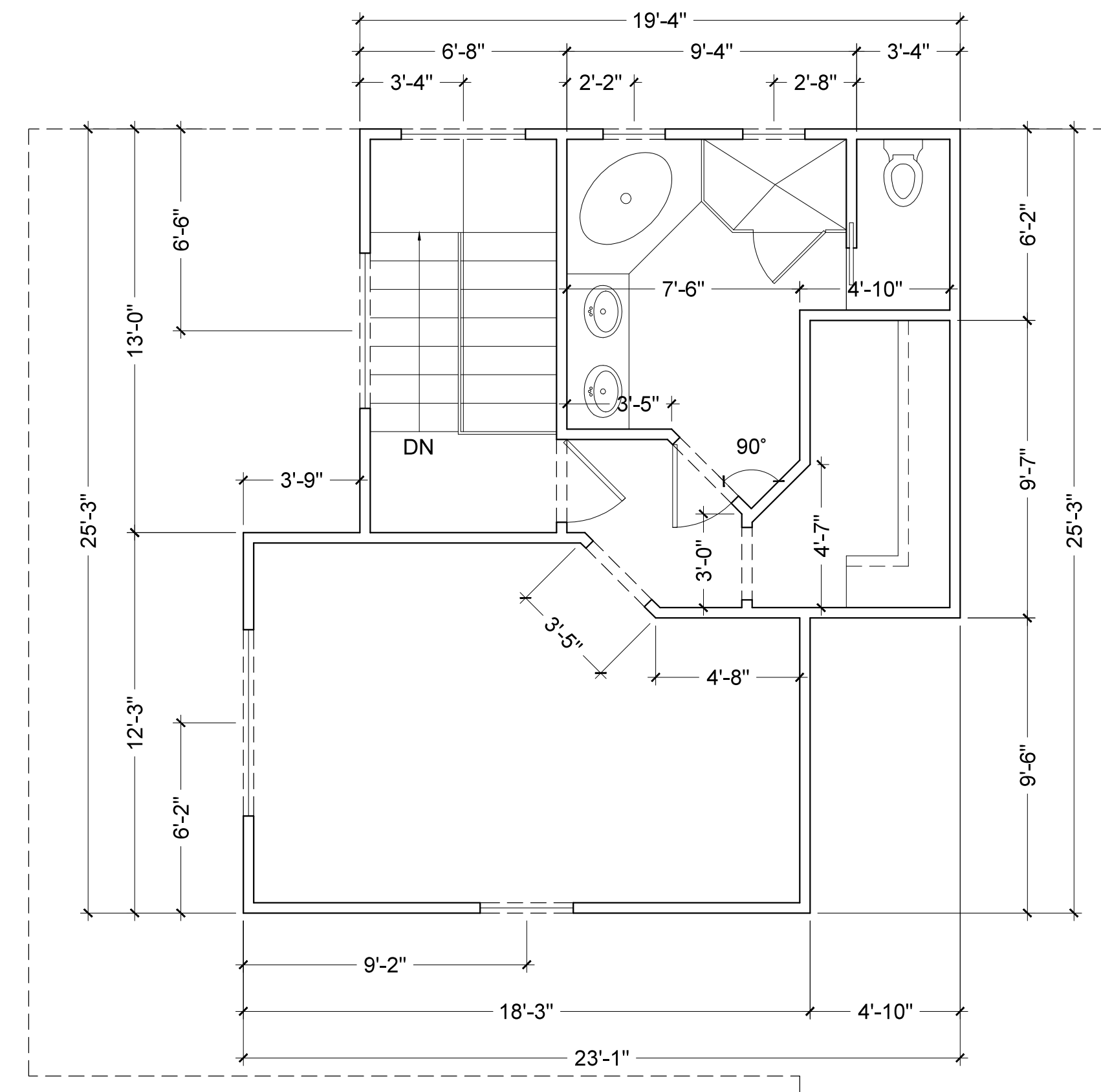
FIRST LEVEL DIMENSIONAL FLOOR PLAN - BUILDING 1 & BUILDING 4

SCALE: 1/4" = 1'-0"



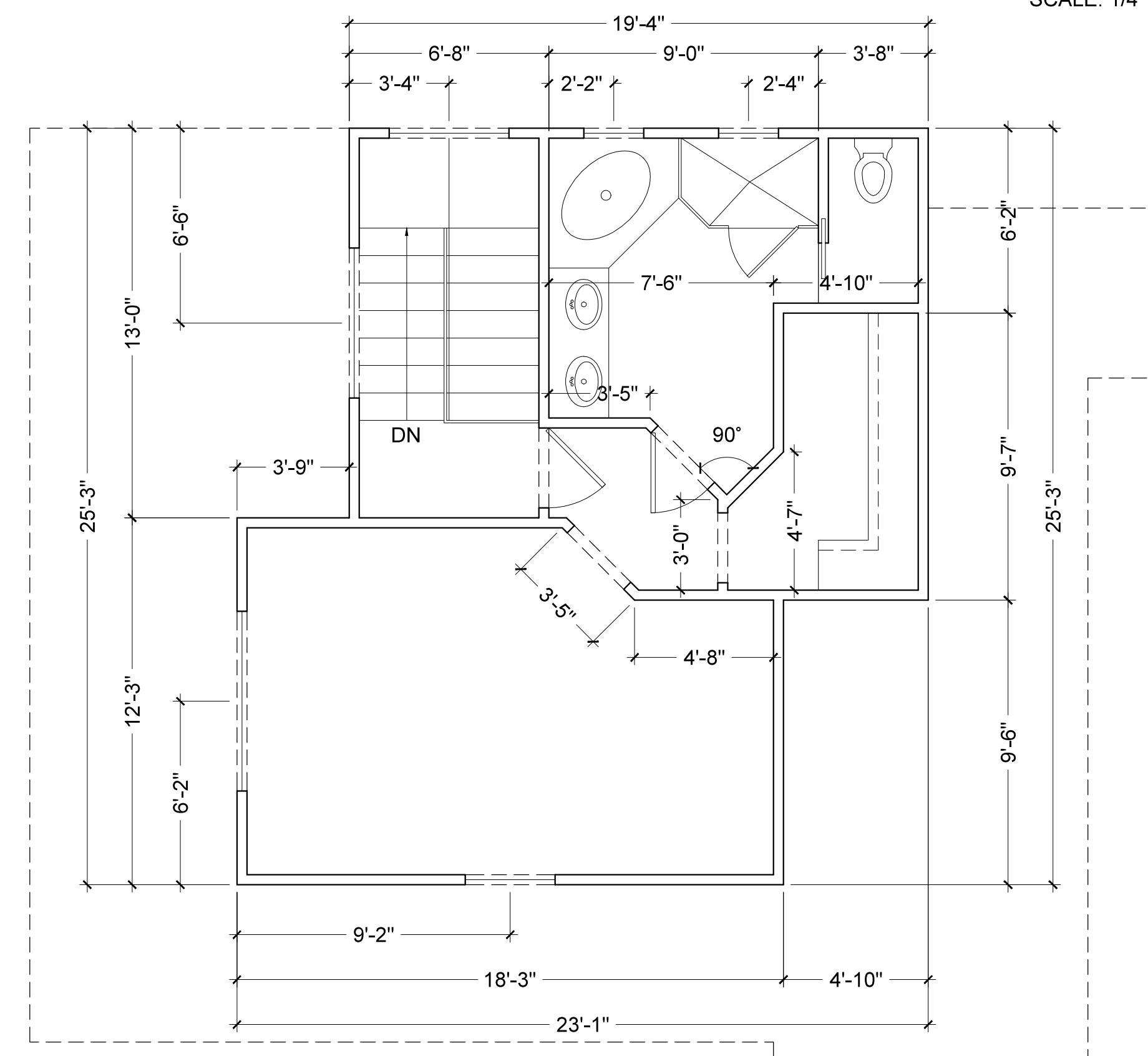
FIRST LEVEL DIMENSIONAL FLOOR PLAN - BUILDING 2 & BUILDING 3

SCALE: 1/4" = 1'-0"



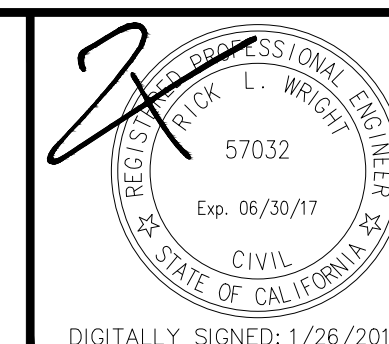
SECOND LEVEL DIMENSIONAL FLOOR PLAN - BUILDING 1 & BUILDING 4

SCALE: 1/4" = 1'-0"

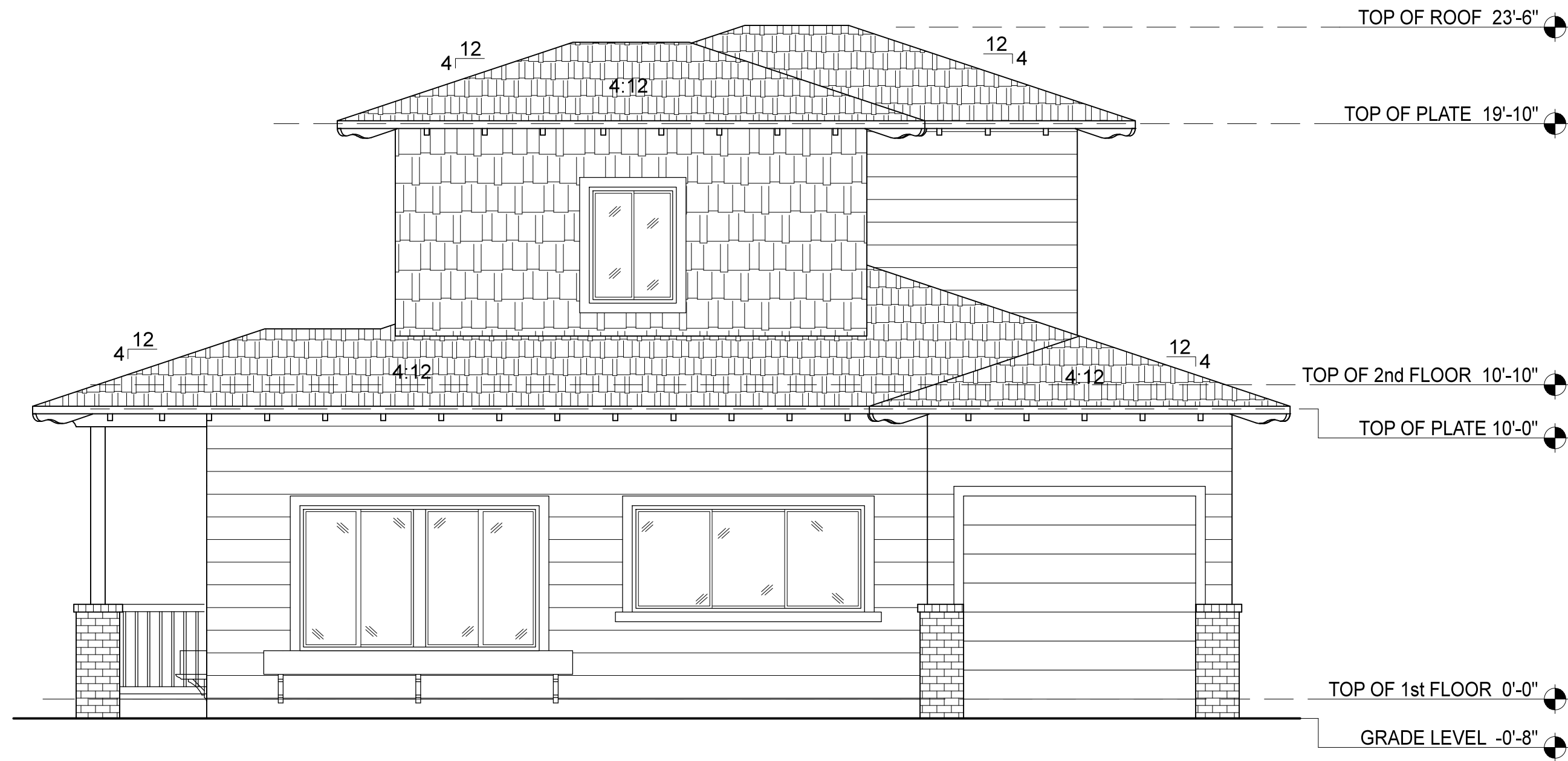


SECOND LEVEL DIMENSIONAL FLOOR PLAN - BUILDING 2 & BUILDING 3

SCALE: 1/4" = 1'-0"

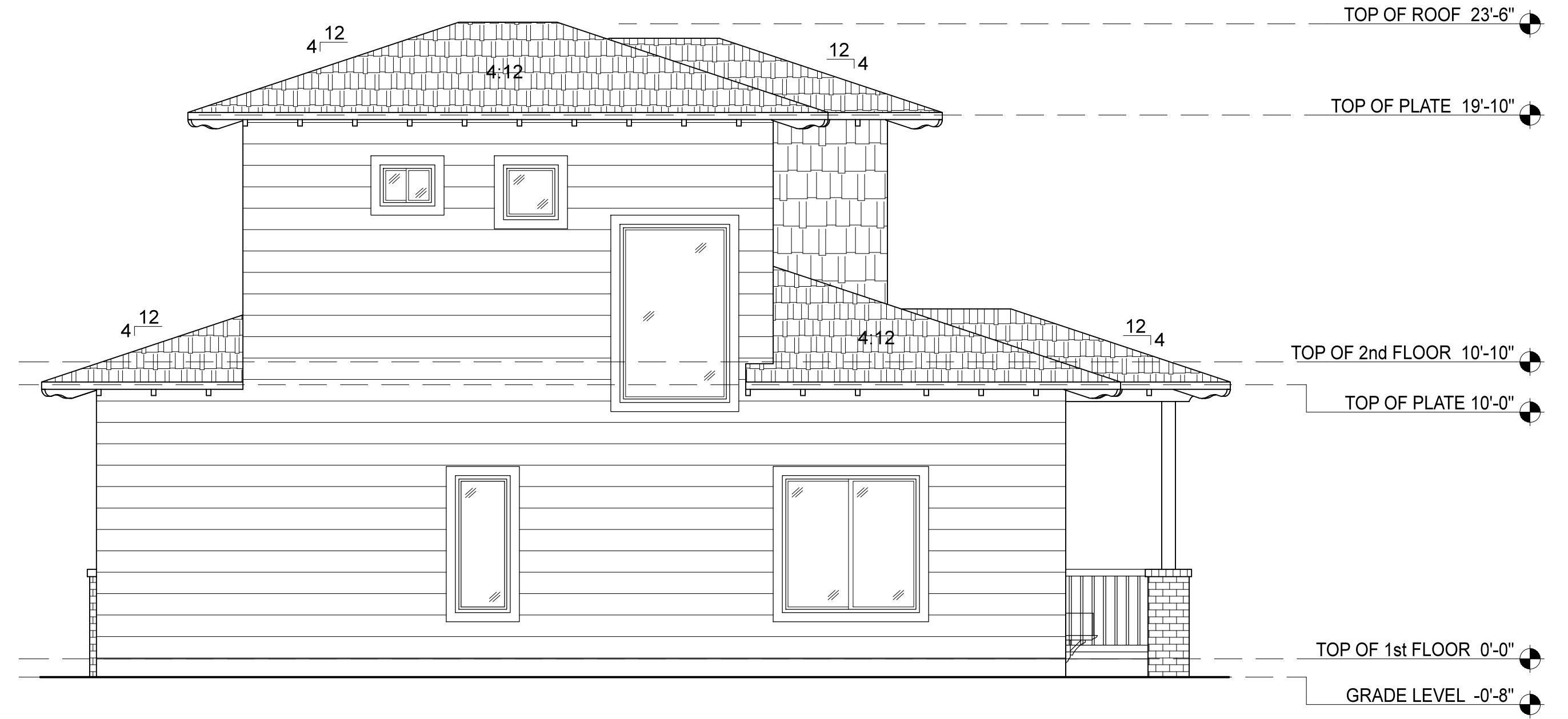


SHEET TITLE: PROPOSED DIMENSIONAL FLOOR PLANS			
JOB NAME: TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103		REVISIONS:	SHEET:  A-2
DRAWN BY: MOMENTA DESIGN GROUP      DATE: 10/24/2015			



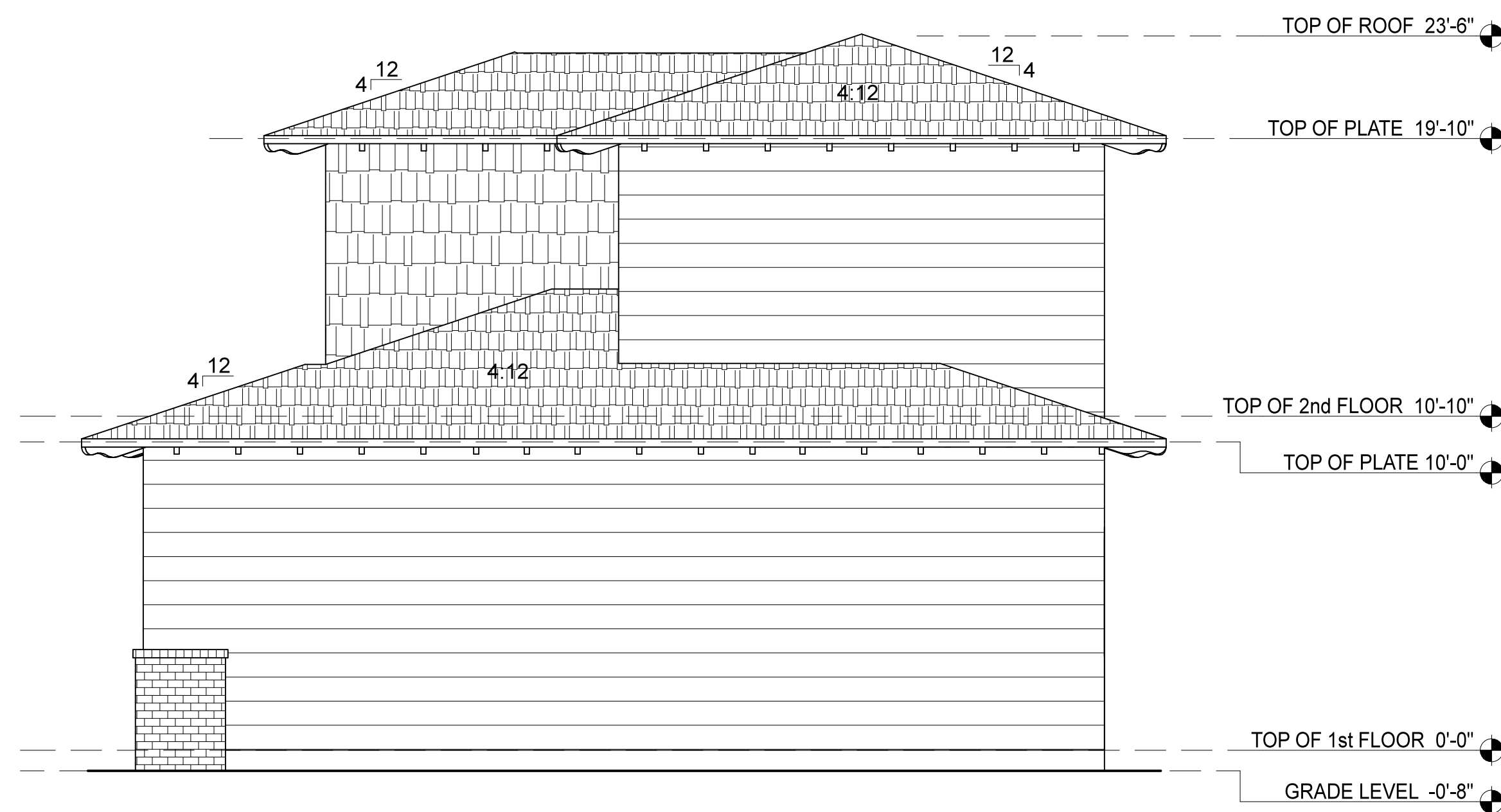
BUILDING #1 - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



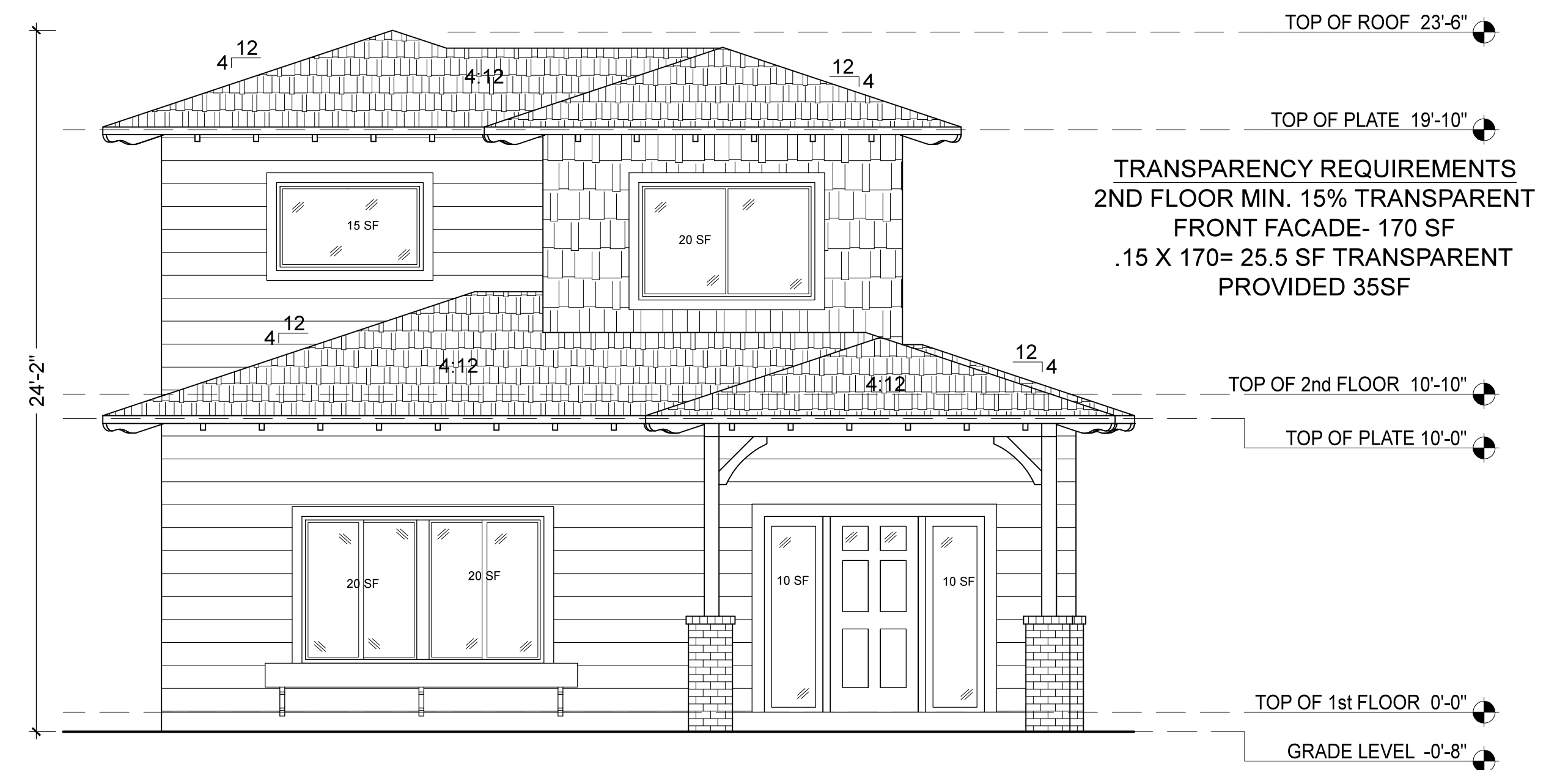
BUILDING #1 - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #1 - EAST ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #1 - WEST ELEVATION

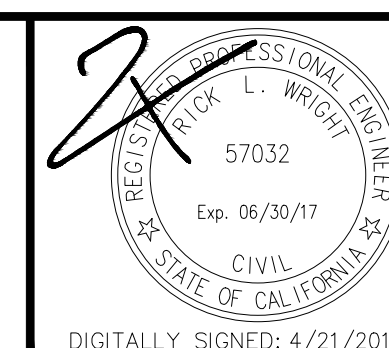
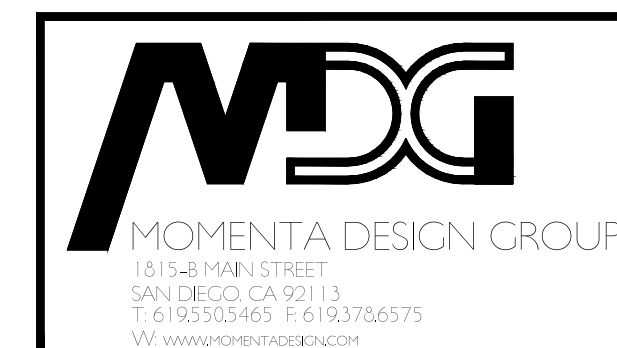
SCALE: 1/4" = 1'-0"

TRANSPARENCY REQUIREMENTS  
2ND FLOOR MIN. 15% TRANSPARENT  
FRONT FACADE- 170 SF  
.15 X 170= 25.5 SF TRANSPARENT  
PROVIDED 35SF

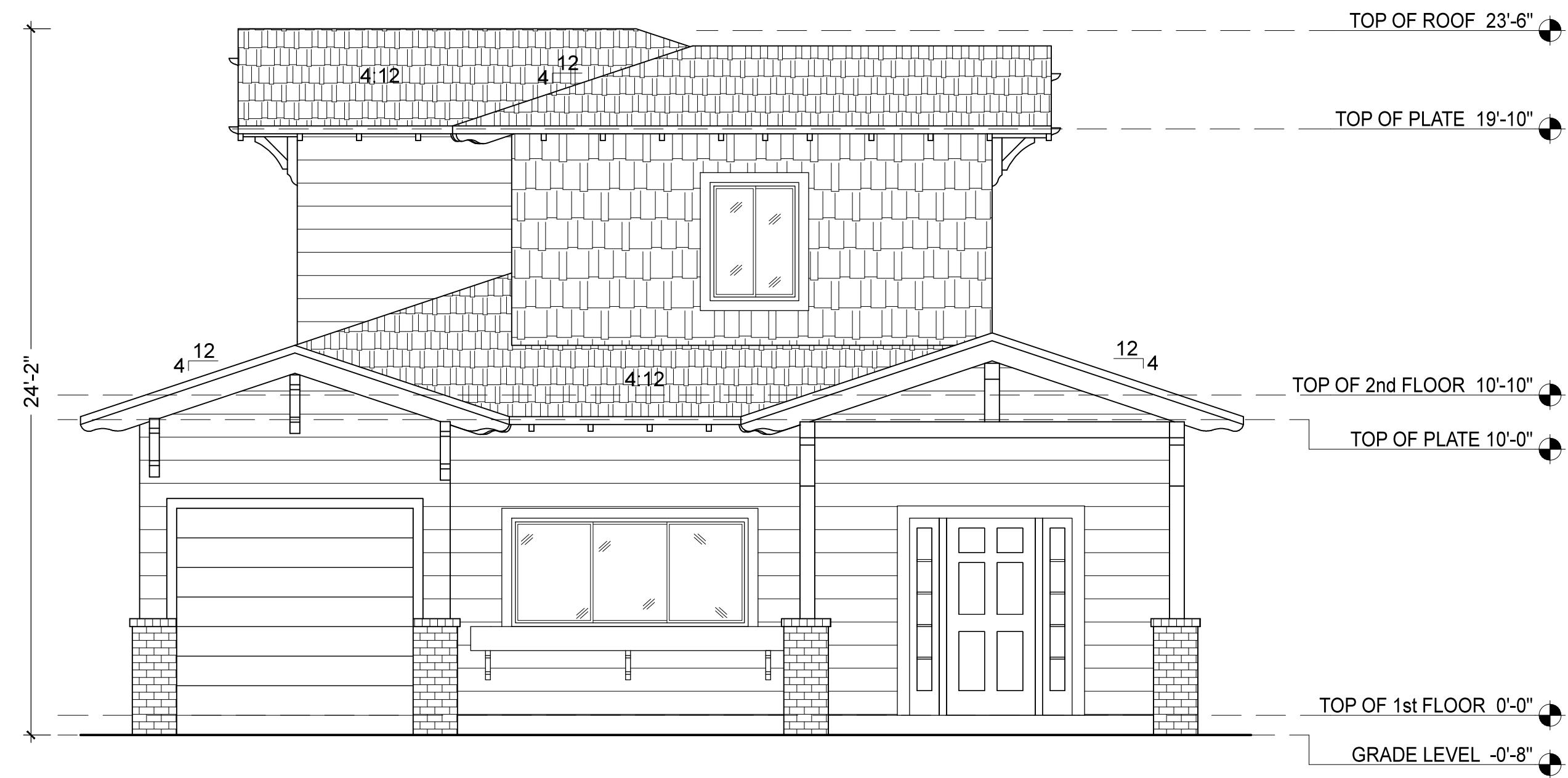
TRANSPARENCY REQUIREMENTS  
DEFENSIBLE SPACE REQUIREMENTS-  
FIRST FLOOR MIN. 20% TRANSPARENT  
STREET WALL- 300 SF  
.20 X 300=60 SF TRANSPARENT  
PROVIDED 60SF

ARCHITECTURAL FEATURES:

1. WOOD WINDOWS
2. WINDOW BOXES
3. MATERIALS - SHAKE AND HORIZONTAL SIDING
4. 18" EAVES WITH ARTICULATED RAFTER ENDS
5. MULTI PANEL ENTRANCE DOOR
6. TRIM SURROUNDING ALL WINDOWS

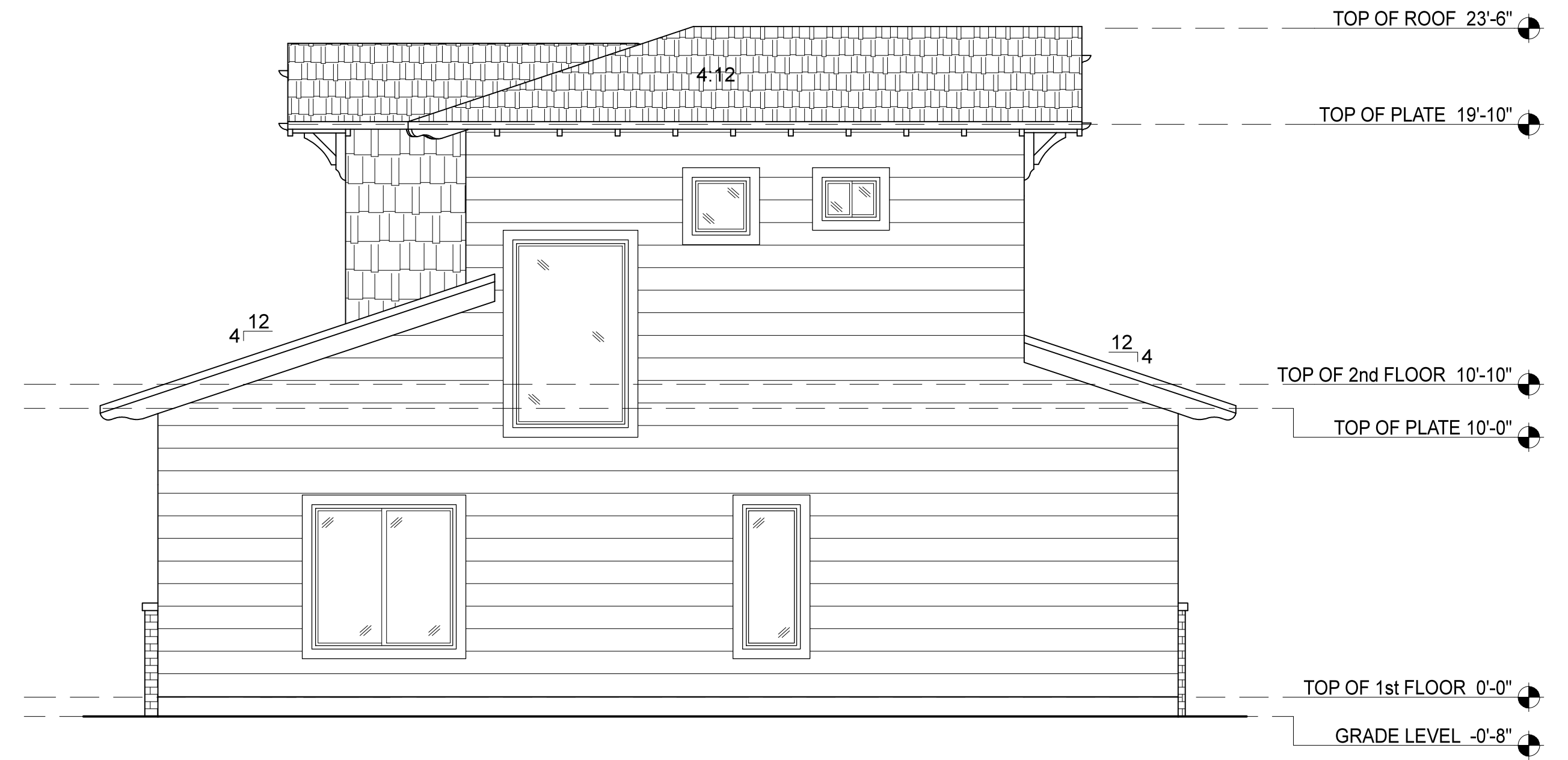


SHEET TITLE: ELEVATIONS - BUILDING #1		
JOB NAME: TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103		REVISIONS:
DRAWN BY: MOMENTA DESIGN GROUP DATE: 10/24/2015		SHEET: A-3



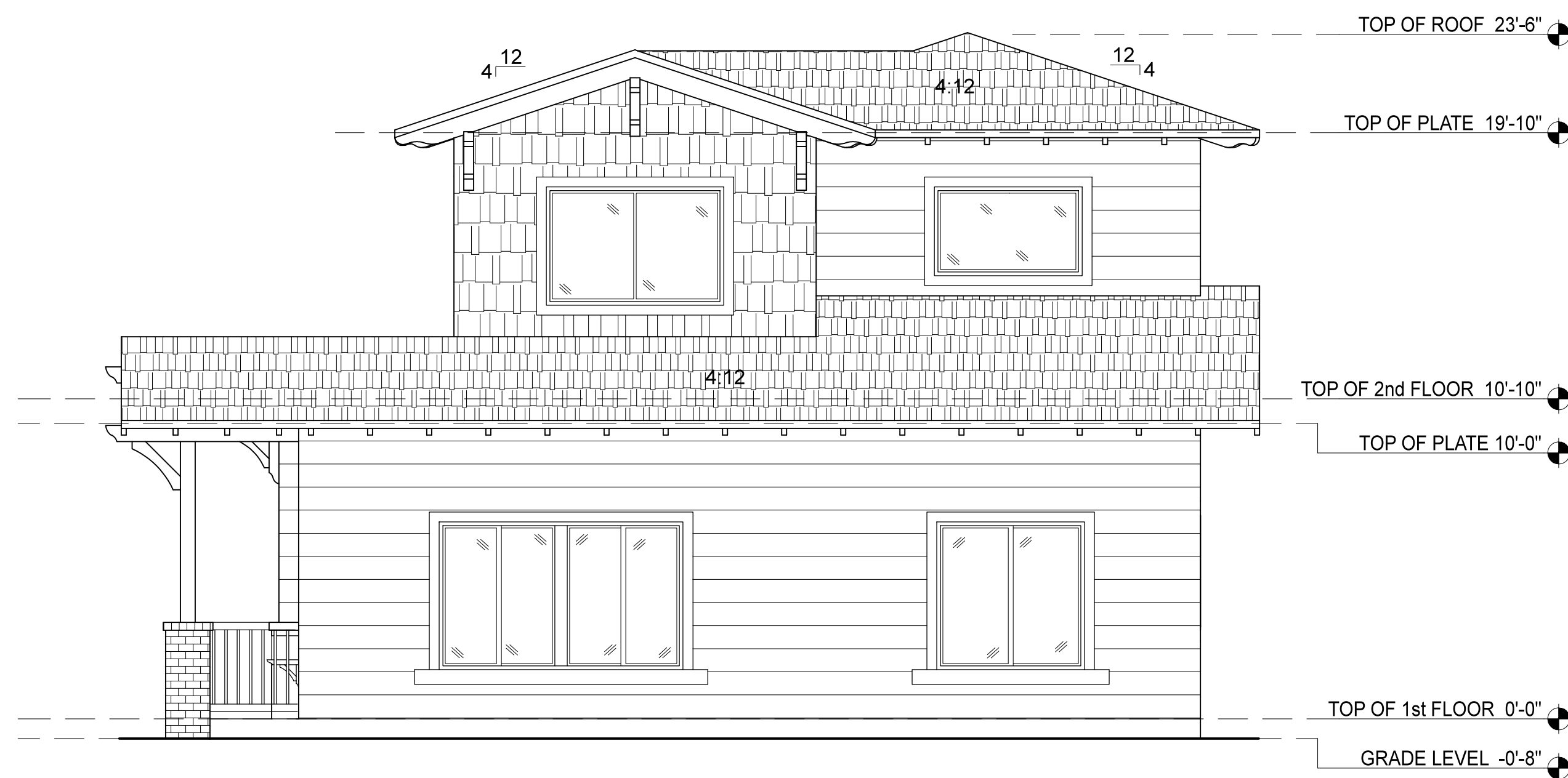
BUILDING #2 - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



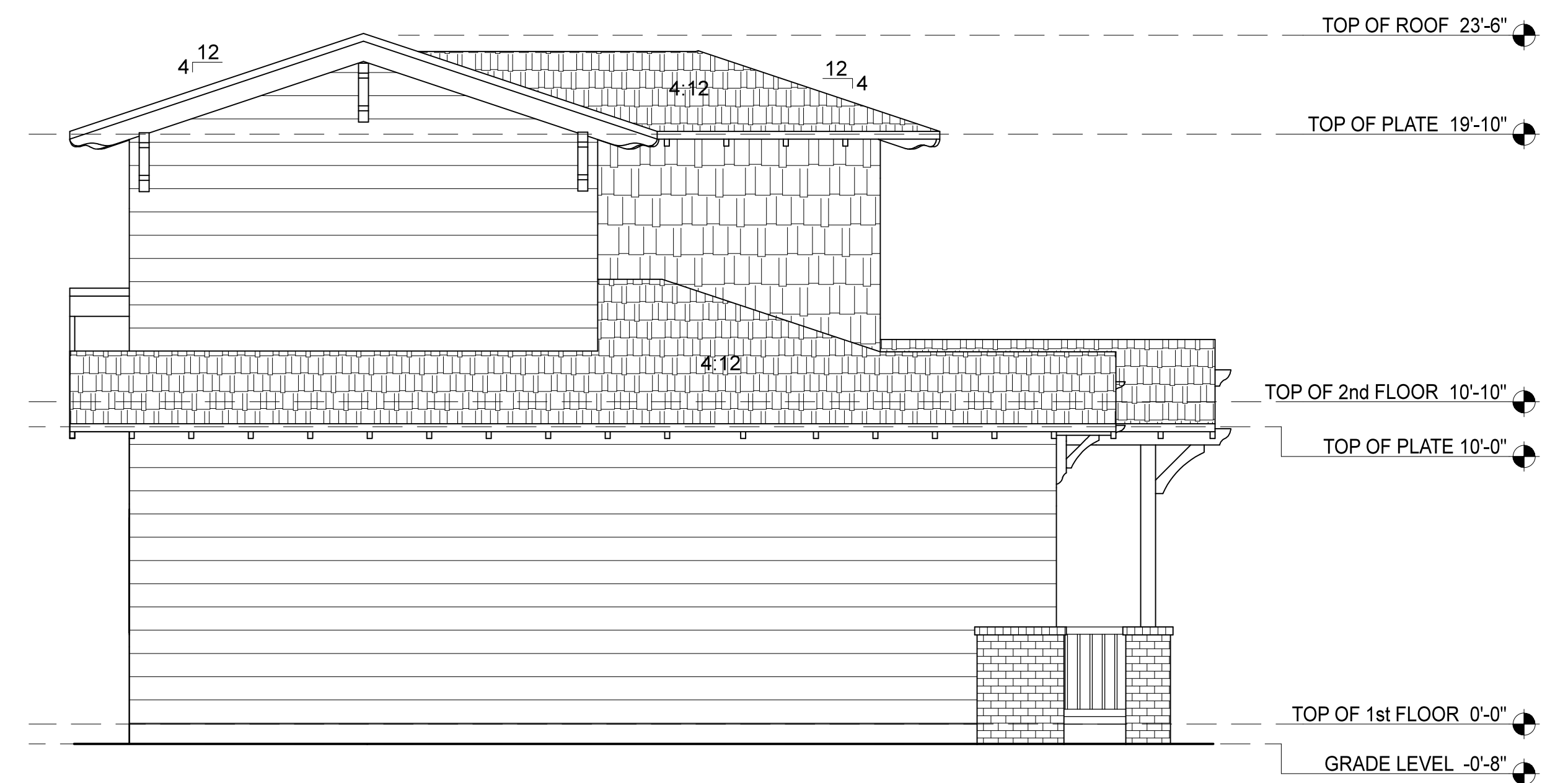
BUILDING #2 - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #2 - EAST ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #2 - WEST ELEVATION

SCALE: 1/4" = 1'-0"

ARCHITECTURAL FEATURES:

1. WOOD WINDOWS
2. WINDOW BOXES
3. MATERIALS - SHAKE AND HORIZONTAL SIDING
4. 18" EAVES WITH ARTICULATED RAFTER ENDS
5. MULTI PANEL ENTRANCE DOOR
6. TRIM SURROUNDING ALL WINDOWS



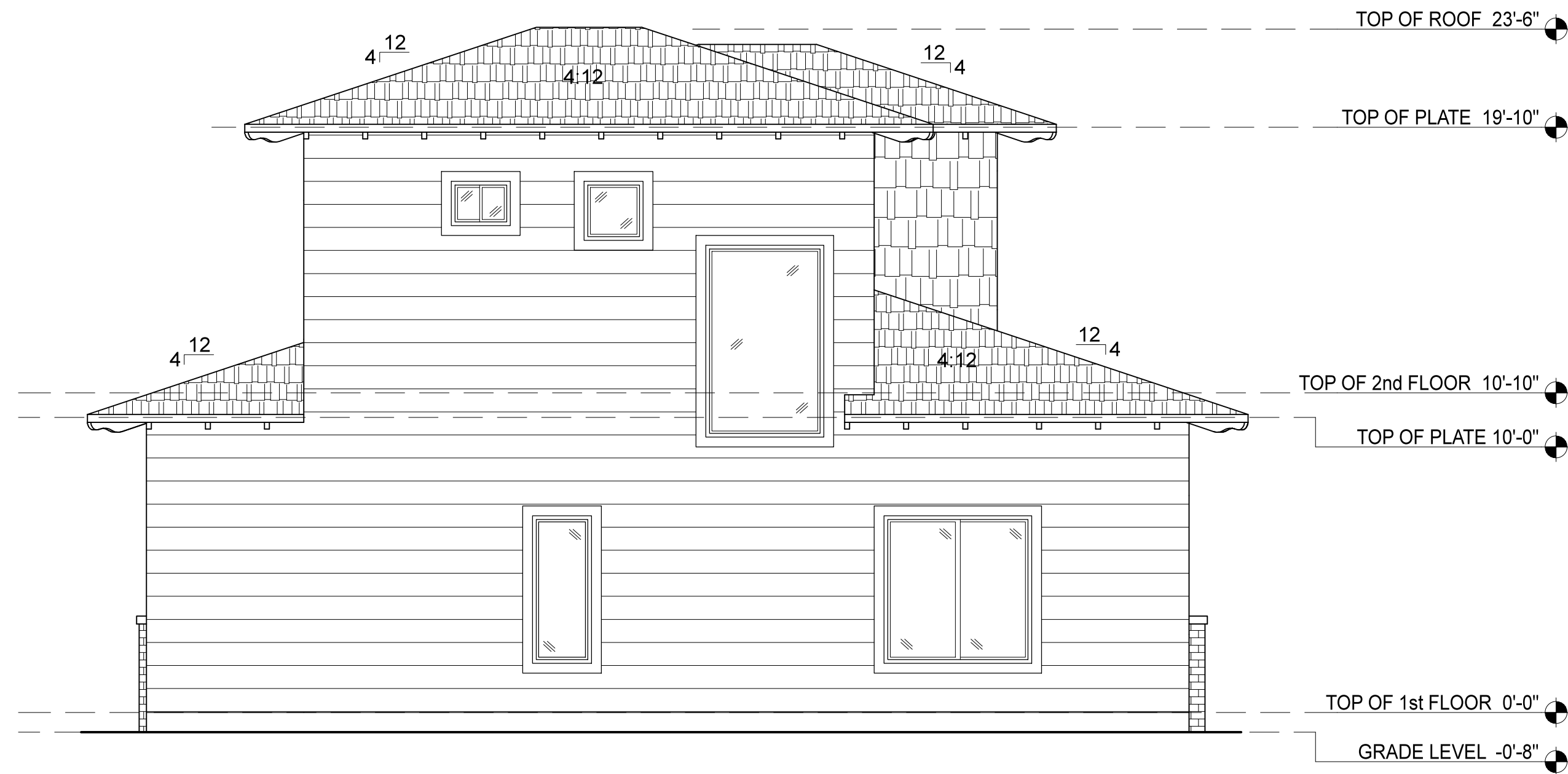
SHEET TITLE: ELEVATIONS - BUILDING #2

JOB NAME: TWO STORIES CONDOMINIUMS  
NILE STREET, SAN DEIGO, CA 92103

DRAWN BY: MOMENTA DESIGN GROUP DATE: 10/24/2015

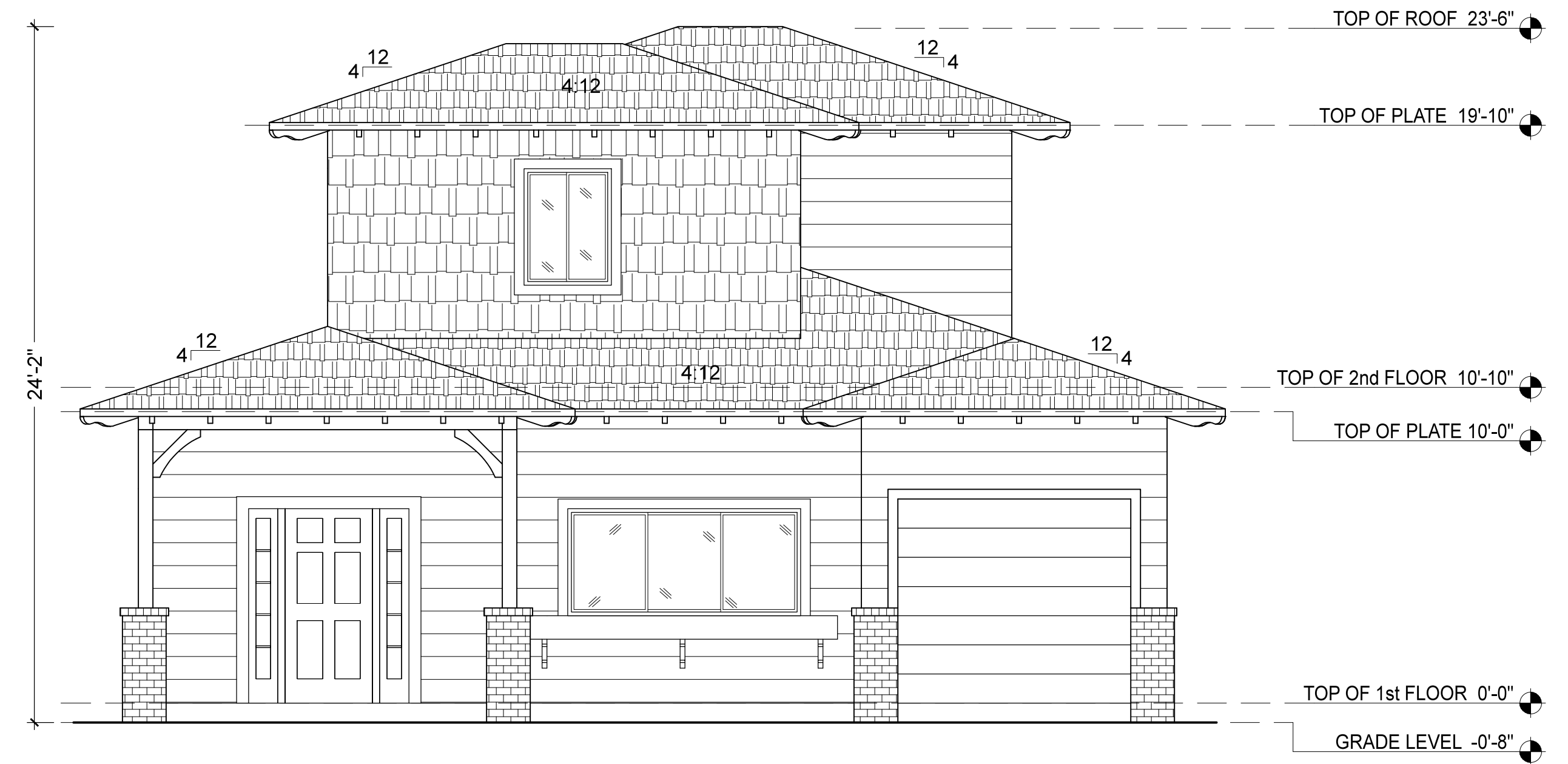
REVISIONS: SHEET:

A-4



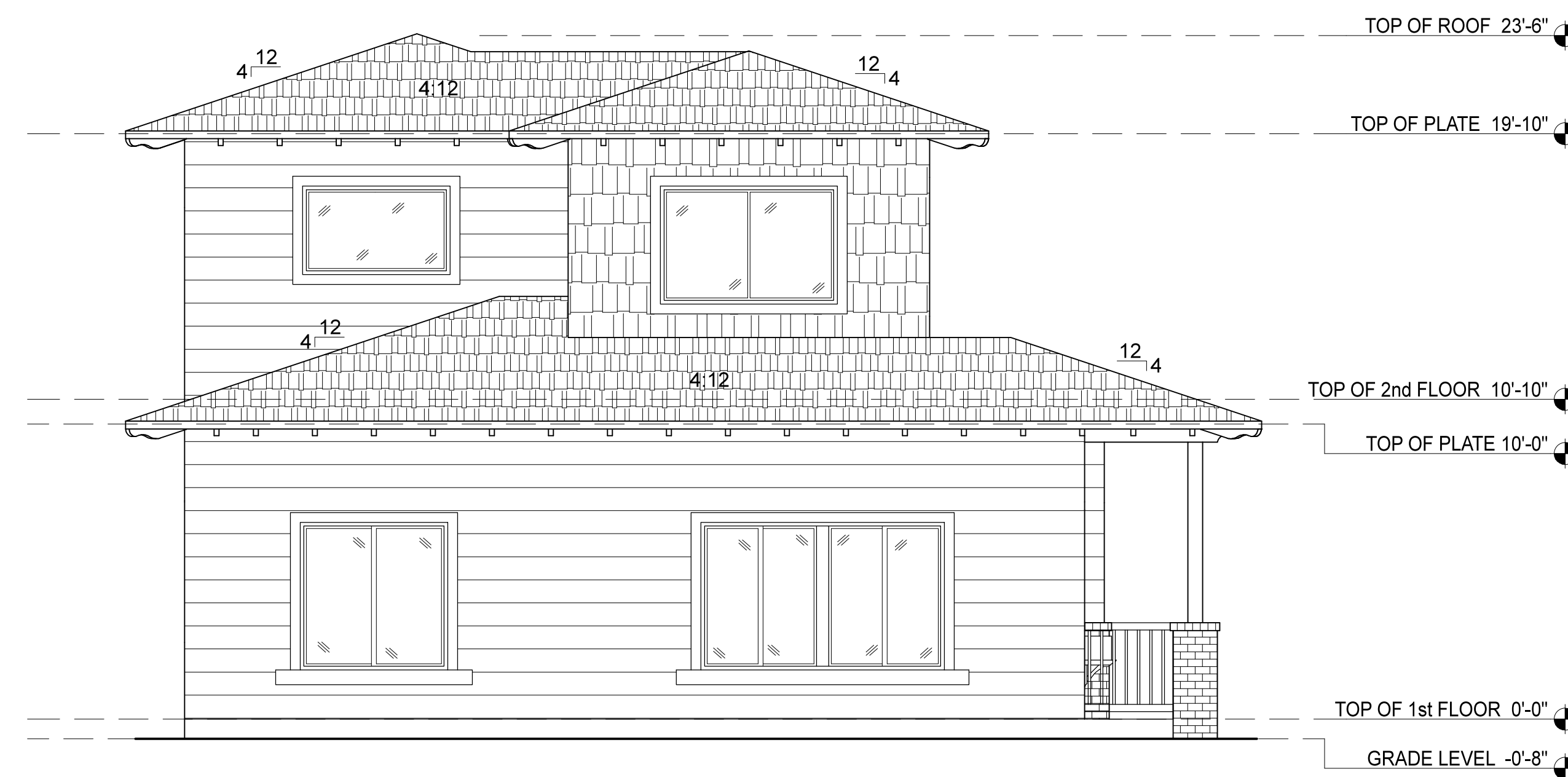
BUILDING #3 - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



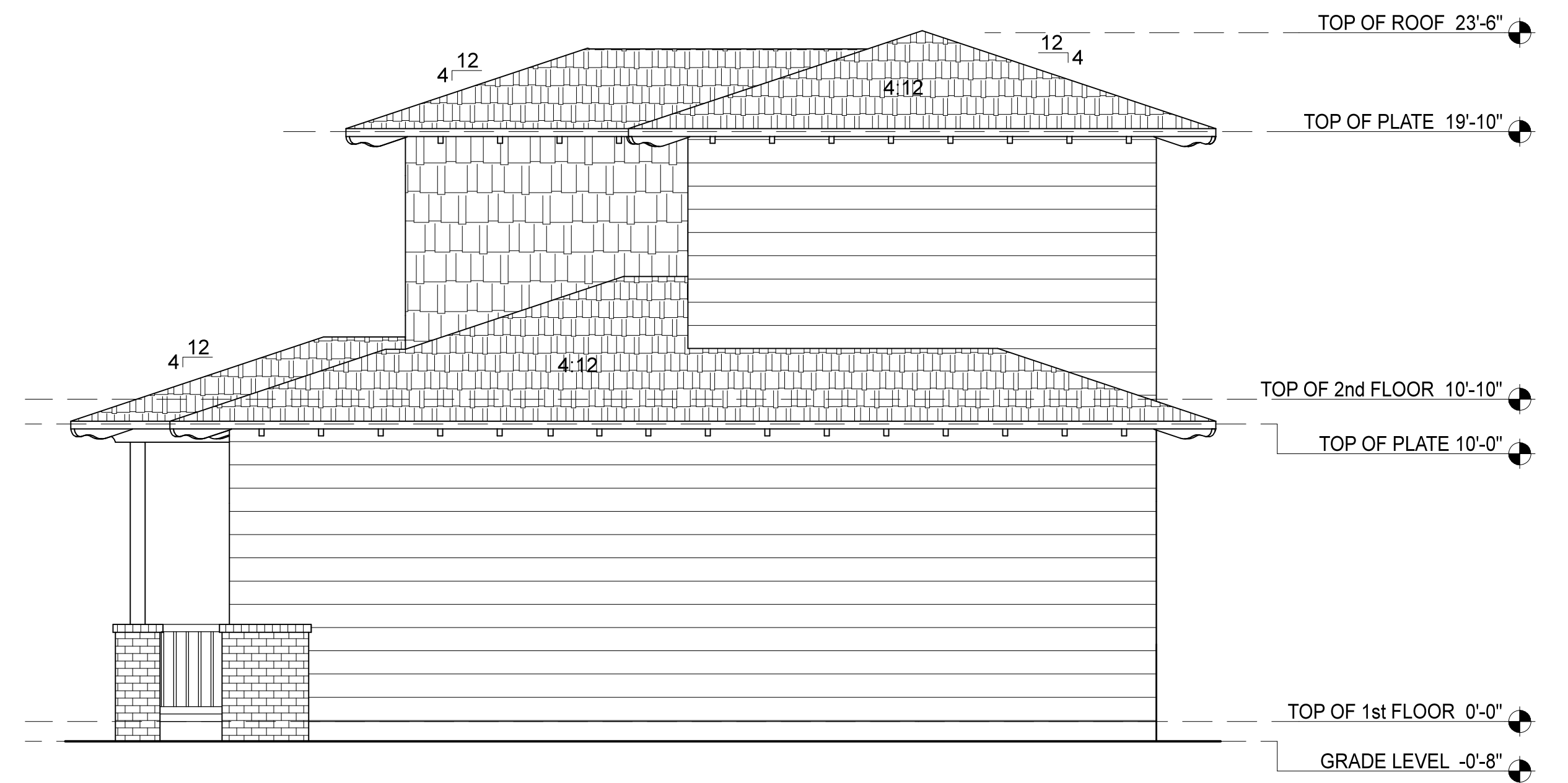
BUILDING #3 - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #3 - EAST ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #3 - WEST ELEVATION

SCALE: 1/4" = 1'-0"

ARCHITECTURAL FEATURES:

1. WOOD WINDOWS
2. WINDOW BOXES
3. MATERIALS - SHAKE AND HORIZONTAL SIDING
4. 18" EAVES WITH ARTICULATED RAFTER ENDS
5. MULTI PANEL ENTRANCE DOOR
6. TRIM SURROUNDING ALL WINDOWS



SHEET TITLE: ELEVATIONS - BUILDING #3

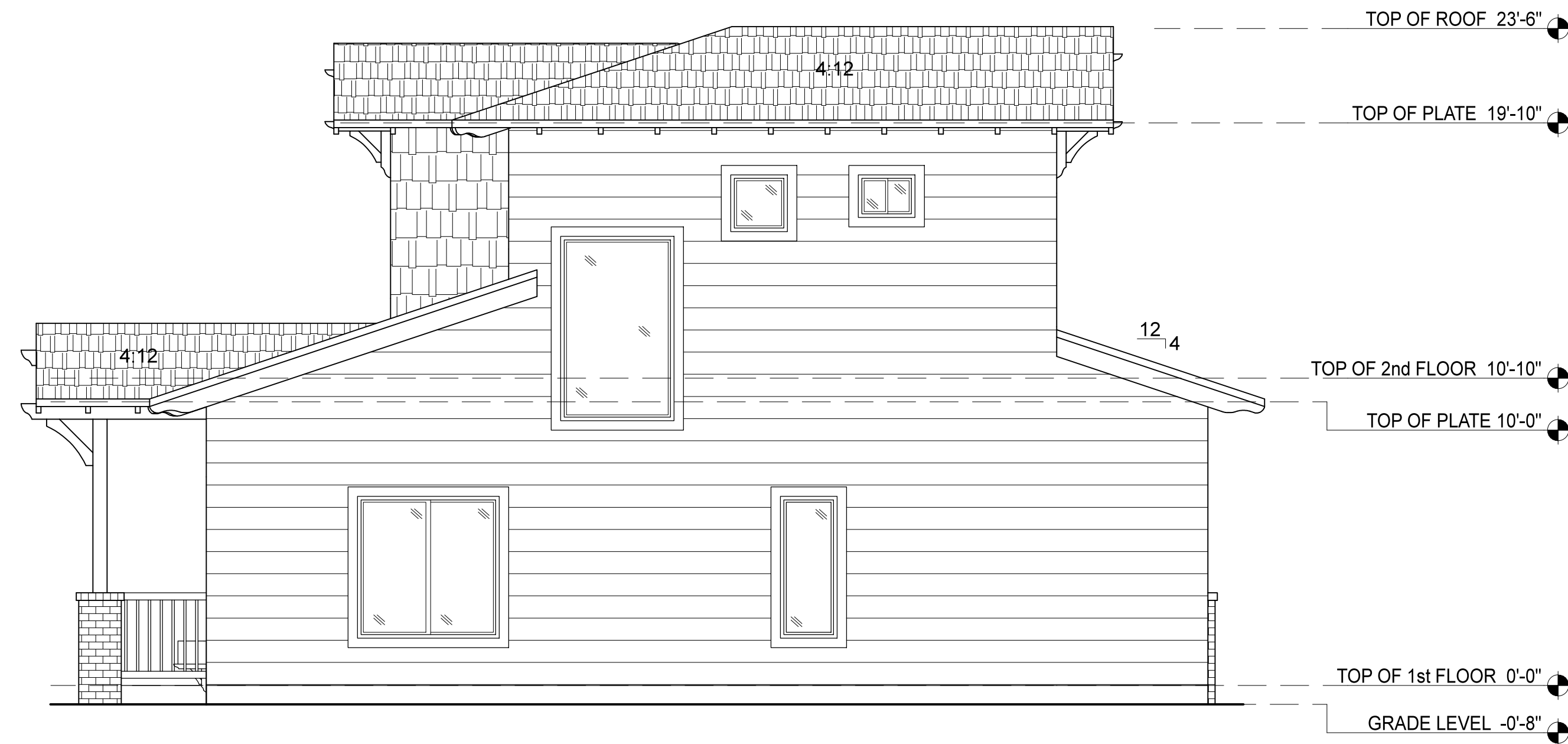
JOB NAME: TWO STORIES CONDOMINIUMS  
NILE STREET, SAN DIEGO, CA 92103

DRAWN BY: MOMENTA DESIGN GROUP DATE: 10/24/2015

REVISIONS:

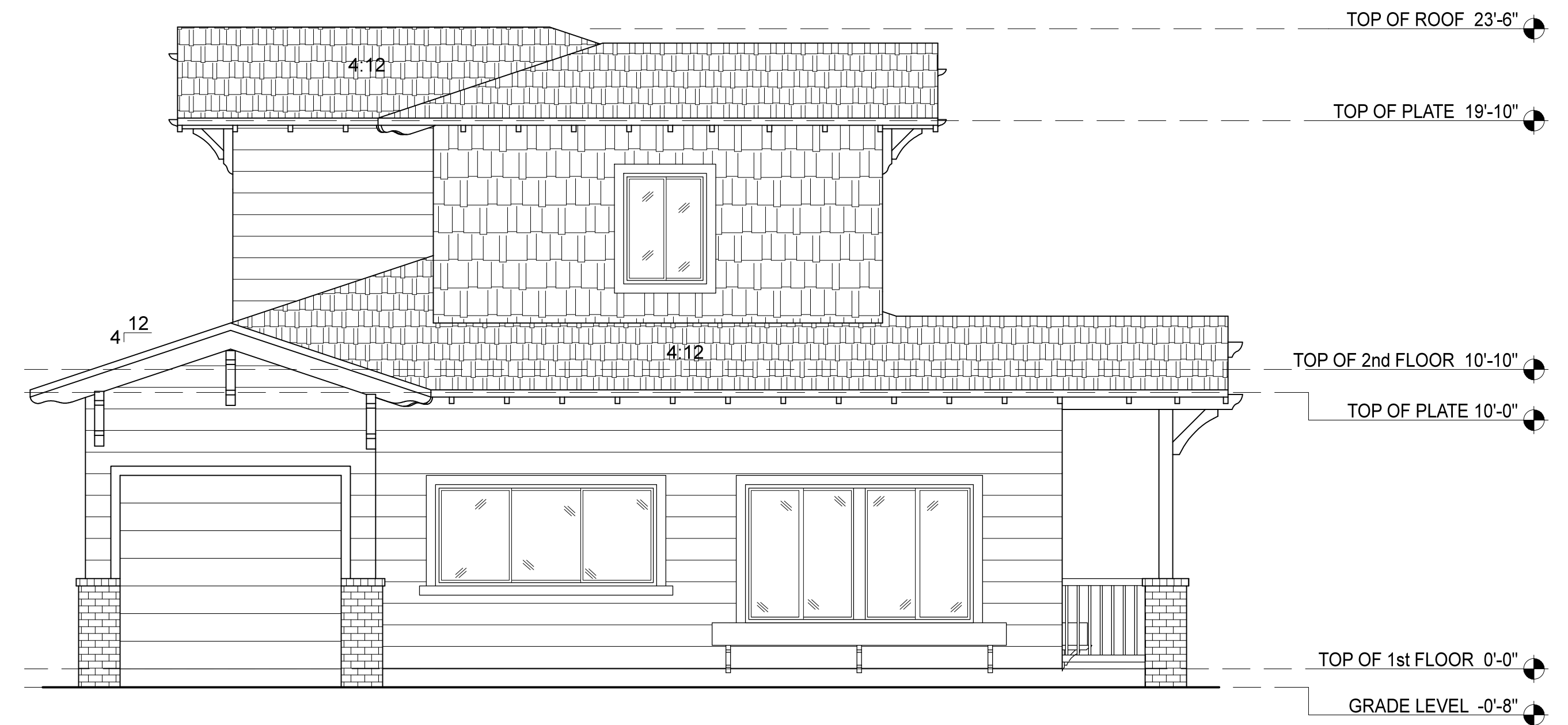
SHEET:

A-5



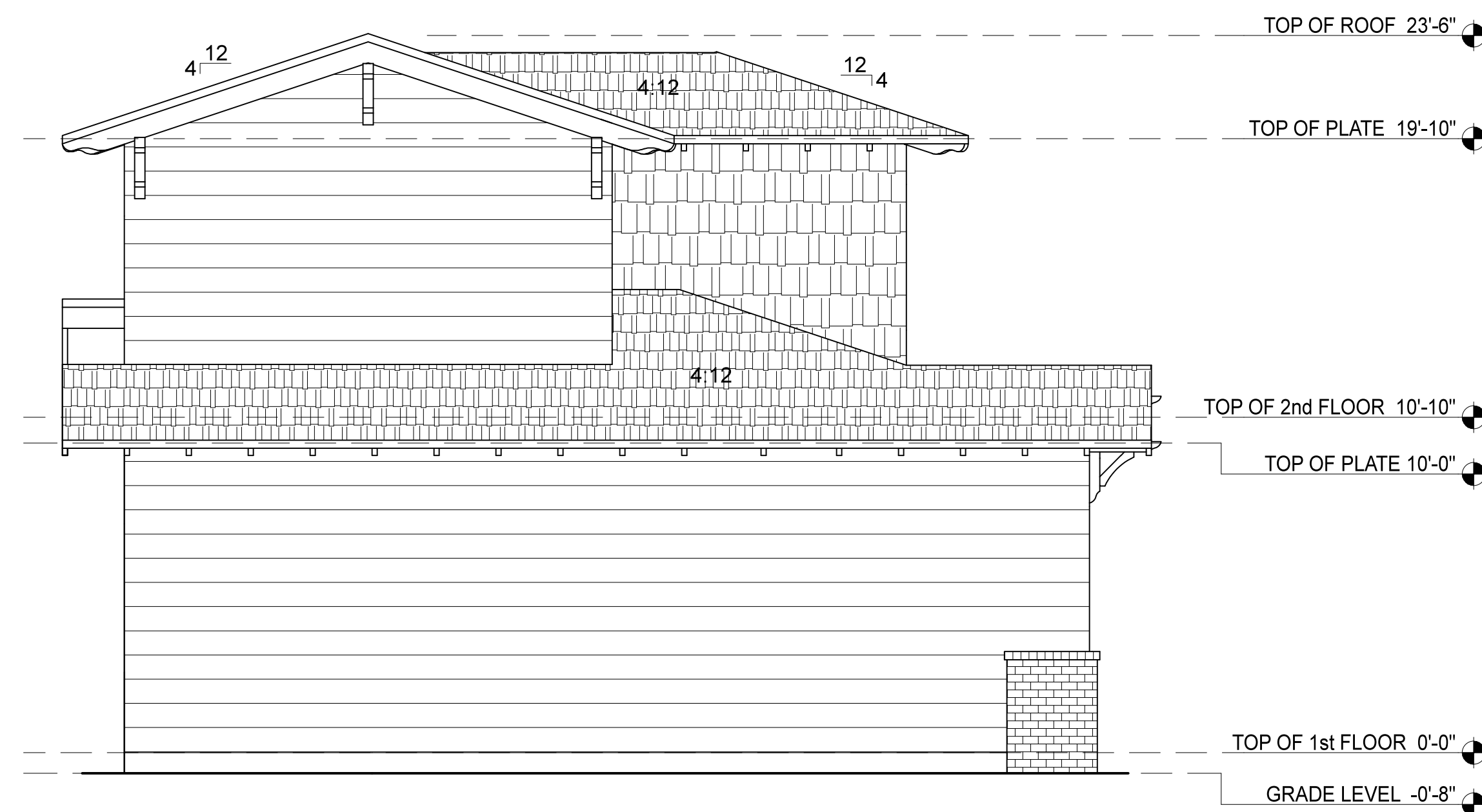
BUILDING #4 - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



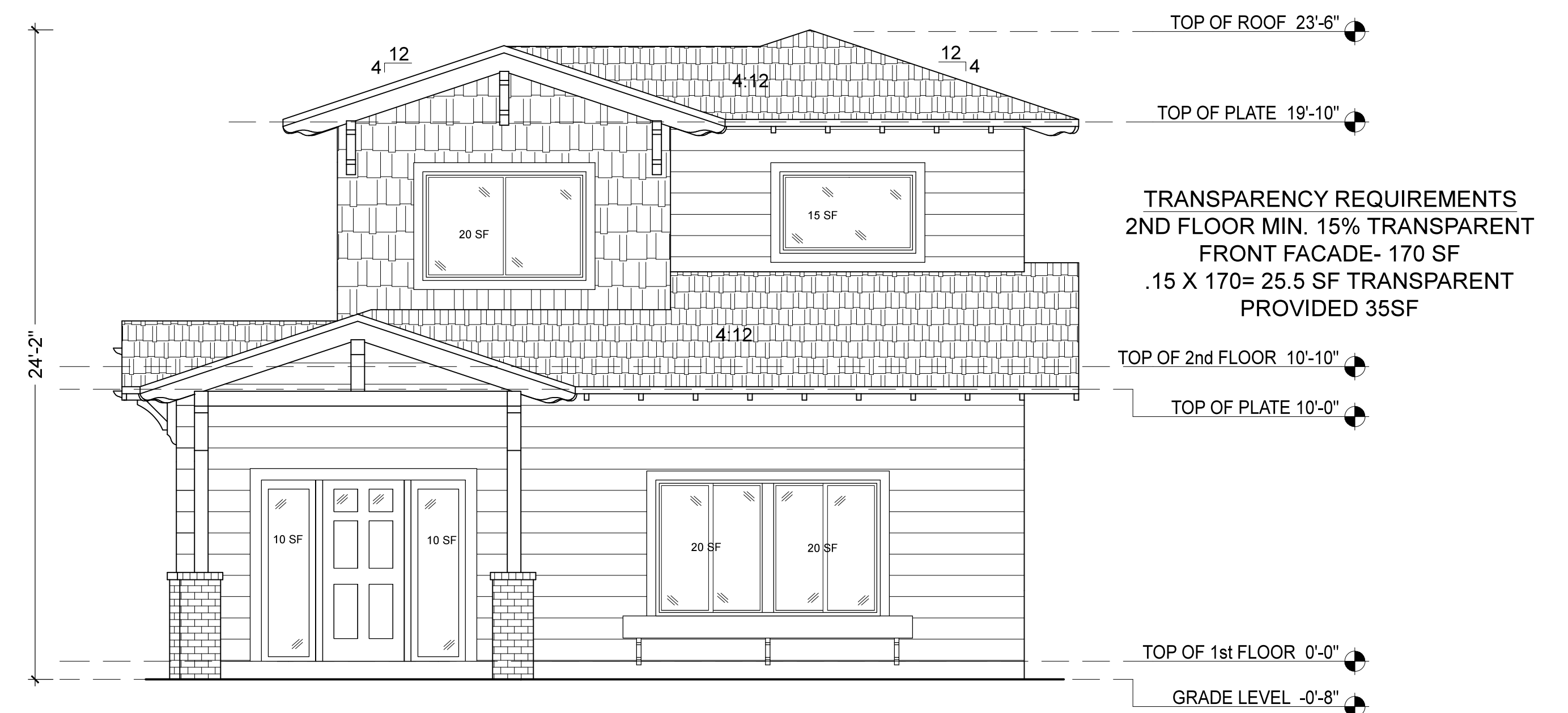
BUILDING #4 - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #4 - EAST ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING #4 - WEST ELEVATION

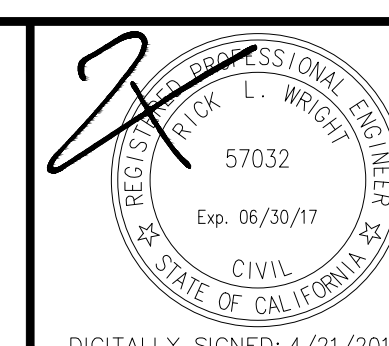
SCALE: 1/4" = 1'-0"

ARCHITECTURAL FEATURES:

1. WOOD WINDOWS
2. WINDOW BOXES
3. MATERIALS - SHAKE AND HORIZONTAL SIDING
4. 18" EAVES WITH ARTICULATED RAFTER ENDS
5. MULTI PANEL ENTRANCE DOOR
6. TRIM SURROUNDING ALL WINDOWS

TRANSPARENCY REQUIREMENTS  
2ND FLOOR MIN. 15% TRANSPARENT  
FRONT FACADE- 170 SF  
.15 X 170= 25.5 SF TRANSPARENT  
PROVIDED 35SF

TRANSPARENCY REQUIREMENTS  
DEFENSIBLE SPACE REQUIREMENTS-  
FIRST FLOOR MIN. 20% TRANSPARENT  
STREET WALL- 300 SF  
.20 X 300=60 SF TRANSPARENT  
PROVIDED 60SF



SHEET TITLE: ELEVATIONS - BUILDING #4

JOB NAME: TWO STORIES CONDOMINIUMS  
NILE STREET, SAN DIEGO, CA 92103

DRAWN BY: MOMENTA DESIGN GROUP DATE: 10/24/2015

REVISIONS:

SHEET:

A-6



ROOF FRAMING NOTES:

- ROOF FRAMING DIAPHRAGM TO BE ¼ " PLY 32/1.6, NAIL 8D COMMON AT 6" O.C.EDGE NAILING AND BOUNDARY, 12" O.C. FIELD NAILING
- ROOF HEADERS:  
L < 6"-0" 4 X 6 OR 6 X 6  
L < 8 -0" 4 X 8 OR 6 X 8
- ALL HIP FILL AND HIP OVER TRUSS FRAMING MUST BE BRACED AND SUPPORTED PER CAT. FILL DETAILS.
- 2 X 6 MIN. BALLOON FRAME WALLS OF ROOM WITH SLOPING CEILINGS.
- MAXIMUM ALLOWABLE STUD HEIGHTS : U.N.O.  
BEARING WALL: 2X4 AND 2X6 MAXIMUM 10 FT.  
NON BEARING WALL : 2X4 MAXIMUM 14 FT.  
2X6 MAXIMUM 20 FT.
- ALL HOLDDOWNS ON 4X4 POST MIN -U.N.O.
- ALL STRAPS, COLUMN CAPS, HANGERS, CLIPS, ETC. TO BE PRODUCED BY : "SIMPSON STRONG TIE " OR EQUAL.  
A) ALL SPECIFIED FASTNERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS OF THE MANUFACTURE. INCORRECT FASTNER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16D FASTNERS ARE COMMON NAILS (8 GA. X 3 ¼ ) AND CANNOT BE REPLACED WITH 16 SINKERS (9 GA. X 3 ¼ ) UNLESS OTHERWISE SPECIFIED.  
B) BOLT HOLES SHALL BE MINIMUM OF 1/32" AND MAXIMUM OF 1/16" LARGER THAN BOLT DIAMETER.  
C) UNLESS OTHERWISE NOTED, ALLOWABLE BOLTS AND NAILS CANNOT BE COMBINED. 8D, 10D, AND 16D SPECIFY COMMON NAILS.  
D) FILL ALL FASTENERS HOLES WITH FASTENERS TYPES SPECIFIED WITH TABLES FOR HIGHEST CAPACITY.
- THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE DESIGNER, ARCHITECT AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE ROOFING / DECKING CONTRACTORS TO PROVIDE THE WORKMANSHIP AND MATERIALS NECESSARY TO PROVIDE THE STANDARDS OF CARE TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF AND DECK DRAINAGE SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARD OR ON THE STUCCO EXTERIOR FINISH.
- ALL PLUMBING WALL TO BE 2X6 STUDS. NO PLUMBING PIPE OVER 1" DIAMETER IN SHEAR WALLS. NO HEATING/ A.C. DUCTS IN SHEAR WALLS.
- MEASUREMENTS AND WALL THICKNESS MAY VARY FROM DRAWINGS, EXPOSE EXISTING FRAMING AND FIELD VERIFY EXACT GEOMETRY AND DIMENSIONS PRIOR TO CONSTRUCTION.
- PROVIDE FIRE STOPS, VERTICAL AND HORIZONTAL, IN ENCLOSED SPACE AT 10"-0" INTERVALS MAXIMUM.

ROOFING AND WEATHERPROOFING

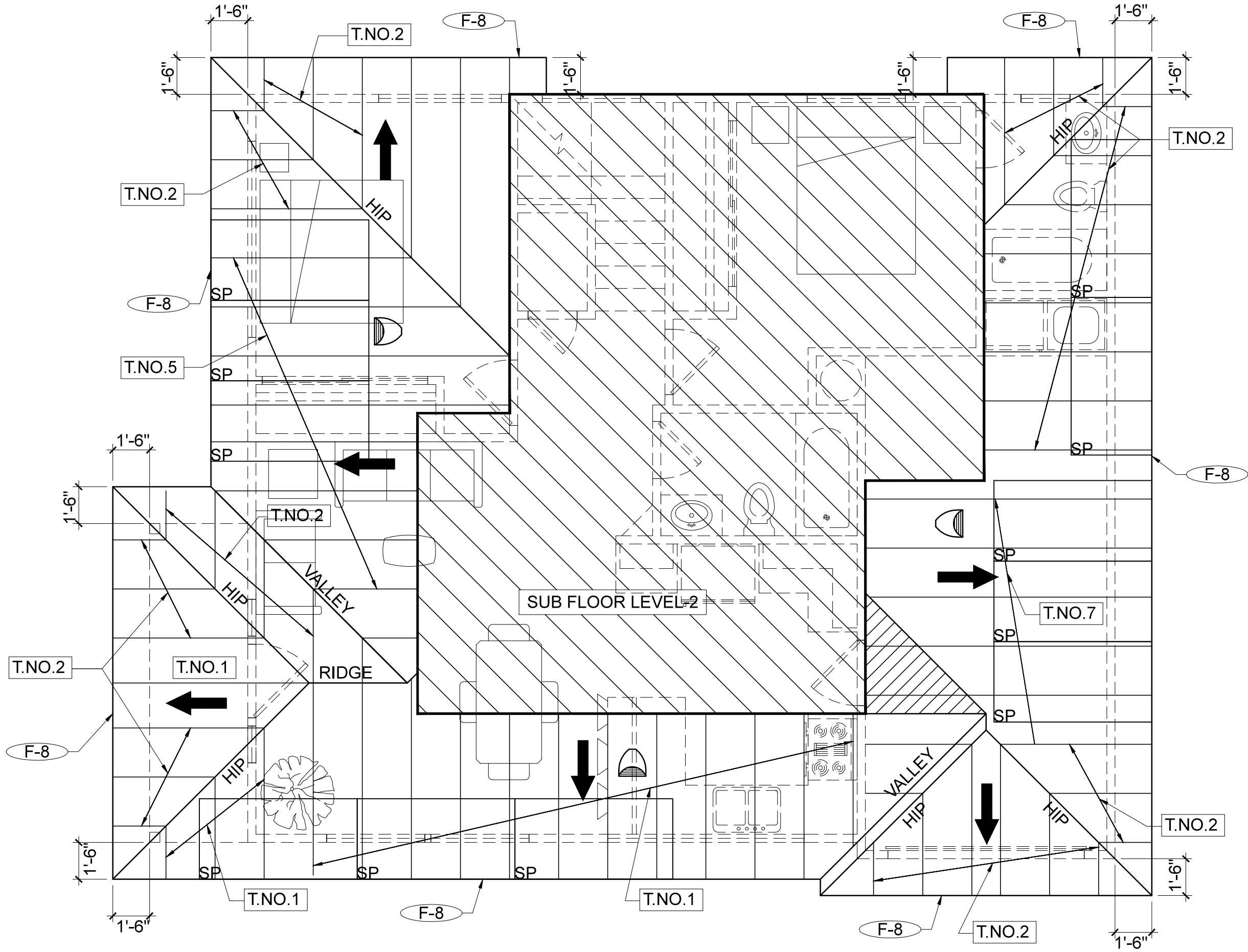
- WOOD SIDING: ALL WOOD SIDING SHALL BE PLACED OVER AN APPROVED WEATHERPROOFING BARRIER OF 15 # FELT MINIMUM. (SEC 1402.1)
- FLASHING AROUND OPENINGS: EVERY OPENING IN ANY EXTERIOR WALL SHALL BE FLASHED WITH SHEET METAL OR WATER PROOF BUILDING PAPER.
- FLASHING: ALL FLASHING, COUNTER FLASHING AND COPING, WHEN OF METAL, SHALL BE OF NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL. SEE SEC. 1508 FOR ROOF VALLEY FLASHING REQUIREMENTS. AT THE JUNCTURE OF ROOF AND VERTICAL SURFACES, FLASHING AND COUNTER FLASHING SHALL BE PROVIDED AS REQUIRED IN SEC. 1509.
- ROOF COVERING: ALL ROOF COVERING SHALL BE INSTALLED PER APPLICABLE REQUIREMENTS OF TABLES 15B1, 15B2, 15C, 15D1, 15D2, AND 15E. ROOF COVERING MUST MEET THE REQUIREMENTS FOR A CLASS "A" RATING FOR RESIDENTIAL STRUCTURES AND A CLASS "B" RATING FOR COMMERCIAL STRUCTURES.
- ROOF DRAINAGE: UNLESS ROOFS ARE SLOPED TO DRAIN OVER EDGES OR ARE DESIGNED TO SUPPORT ACCUMULATED WATER, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. ROOF DRAINS SHALL BE ADEQUATE IN SIZE TO CONVEY THE WATER TRIBUTARY TO THE ROOF DRAINS. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS MAY BE INSTALLED IN ADJACENT ROOF AND HAVING A MINIMUM OPENING HEIGHT OF 4". OVERFLOW DRAINS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT FROM THE ROOF DRAINS. ROOF DRAINS AND OVERFLOW DRAINS, WHEN CONCEALED WITHIN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE SEC 306.2 (SEC 1506)

ROOF CALCULATION FOR ATTIC VENTILATION				
DESC	MAIN DWELLING	GARAGE	ADDITION/SECONDARY	
	HAB. SPACE	NON HAB. SPACE	DWELLING	
SQUARE FOOTAGE	1ST LVL 653 SF			
DIV. FACTOR	150 / 300			
VENT AREA REQUIRED SOFT	150			
VENT AREA REQ. X 144	7.47 X 144			
TOTAL IN SQINCH	= 1.076 SF			
VENT FREE AIR CAPACITY ON SQINCH	1,076 / 120			
QUANTITY VENTS REQ.	= 8.9 VENTS			
PLANS SHOWN	9 VENTS			
VENT SPECIFICATIONS				
MANUFACTURER:	SIMPSON	VENT SYBL.		
MODEL	Y024-2A			
TYPE	DORMER			
FREE AIR CAP.	120 S.I.			
R.O. SIZE	14" X14"			
ROOF PITCH LEGEND				
➡	DENOTES	NEW ROOF / PITCH 4 : 12 & 4 : 12		
➡	DENOTES	NEW OVERHANG-EAVE 18 INCH MIN. TO MATCH EXISTING		
➡	DENOTES	EXISTING ROOF / PITCH N/A		
➡	DENOTES	EXISTING OVERHANG-EAVE		
➡	DENOTES	EXISTING ROOF / OVERHANG-EAVE TO MATCH EXISTING		

ROOF				
CONVENTIONAL FRAMING LEGEND				
SYMBOL	DESCRIPTION	SIZE	DIST O.C.	WOOD TYPE
⬡ F-6 ⬡	REFTERS	2X6		
⬡ F-8 ⬡	REFTERS	2X8		
⬡ F-10 ⬡	REFTERS	2X10		
⬡ F-12 ⬡	REFTERS	2X10		
⬡ R-C ⬡	REFTERS	CUSTOM		
⬡ D-6 ⬡	RIDGE	2X6		
⬡ D-8 ⬡	RIDGE	2X8		
⬡ D-10 ⬡	RIDGE	2X10		
⬡ D-12 ⬡	RIDGE	2X12		
⬡ D-C ⬡	RIDGE	CUSTOM		
⬡ F-6 ⬡	FASCIA	2X6		
⬡ F-8 ⬡	FASCIA	2X8	CONT.	PAINT GRADE
⬡ F-10 ⬡	FASCIA	2X10		
⬡ F-12 ⬡	FASCIA	2X12		

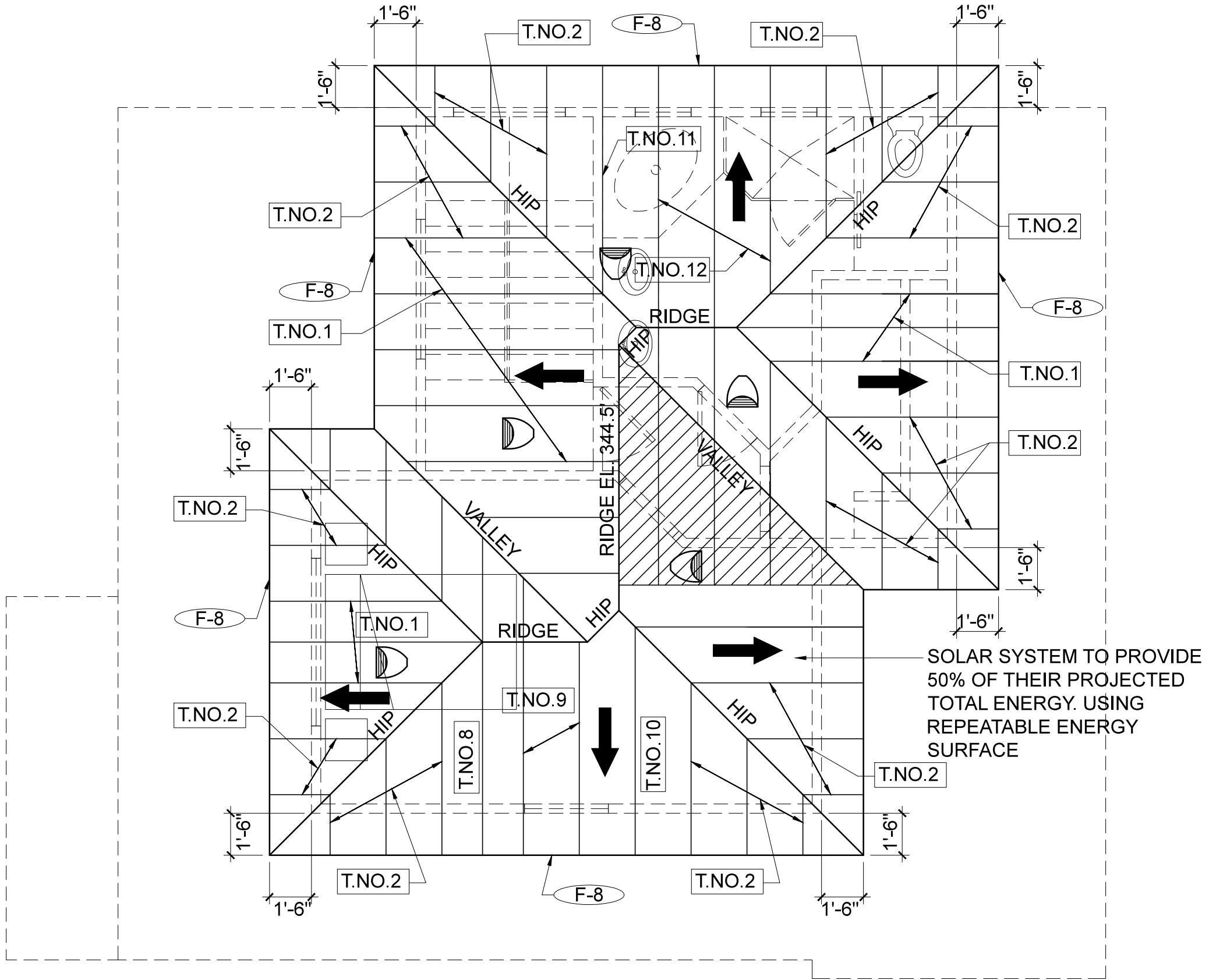
TRUSS SCHEDULE TABLE													
TRUSS ID. NO.	PITCH V	H	ENG./MANUF CALC'S ID	MANUFACTURED BY	TRUSS DESCRIPTION	X - PAN BTWN / SUPPORTS	SPACE O.C.	EAVE SIZE	MATCH EXIST.	SIDES / TAILS 1 2 NONE	STRUCT. VALUE	REMARKS	
T - NO. 1	4	:12			END JACKS	4'-0" TO 6'-0"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO.		:12			END JACKS		2'-0"	IN					
T - NO. 12	4	:12			CORNER JACKS	VARIABLE	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 3	4	:12			SUB HIP TRUSSES	11'-0"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 8	4	:12			SUB HIP TRUSSES	12'-0"	2'-0"	A18" IN	--	✓ -- --	GIRDER	END JACK'S SUPPORT	
T - NO. 11	4	:12			HIP TRUSSES	15'-6"	2'-0"	A18" IN	--	✓ -- --	GIRDER	SUPPORT T.H.1	
T - NO.		:12			HIP TRUSSES SYSTEM		2'-0"	IN					
T - NO.		:12			HIP TRUSSES SYSTEM		2'-0"	IN					
T - NO. 7	4	:12			STUB/HIP TRUSSES	10'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 5	4	:12			STUB/HIP TRUSSES	7'-0"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 12	4	:12			GABLE TRUSSES	15'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO.		:12			SCISSOR TRUSSES		2'-0"	IN					
T - NO. 6	4	:12			STUB / GABLE TRUSS	12'-6"	2'-0"	IN	--	-- -- ✓	CUSTOM		
T - NO. 9	4	:12			STUB / GABLE TRUSS	12'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 4	4	:12			STUB / GABLE TRUSS	10'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 10	4	:12			CUSTOM	9'-6"	2'-0"	A18" IN	--	✓ -- --	GIRDER	SUPPORT T.H.1	

ROOF DESCRIPTION	
MANUFACTURER:	ELK. CORPORATION
MEDEL / STYLE:	PREMIUM LAMINATED ASPHALT SHINGLES
TYPE:	FIBER GLASS ROOFING / 40 YEARS
SERIES:	PRESTIQUE PLUS
TEXTURE:	COMPOSITION SHINGLES
COLOR:	SEBLE WOOD
NATIONAL EVALUATION REPORT:	U.L. 3915
I.C.B.O. NO.	U.L. 3915
CLASS:	RATED 'A'
DIMENSIONS:	35 5/16" WIDTH / 14" DEPTH/ 1 1/4" THICK
WEIGHT:	APPROX 300 LB PER SQUARE



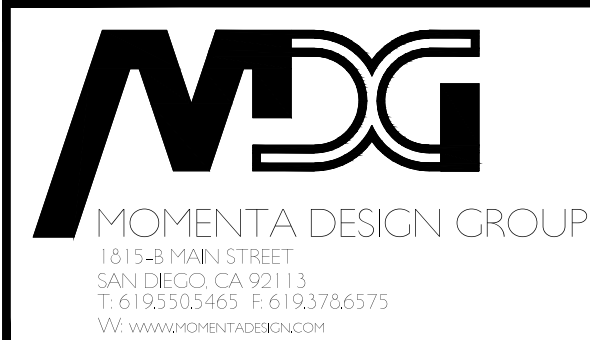
FIRST LEVEL ROOF FRAMING PLAN - BUILDING 1 & BUILDING 4

SCALE: 1/4" = 1'-0"



SECOND LEVEL ROOF FRAMING PLAN - BUILDING 1 & BUILDING 4

SCALE: 1/4" = 1'-0"



SHEET TITLE: ROOF FRAMING PLAN		REVISIONS:	SHEET: A-8
JOB NAME:	TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103		
DRAWN BY:	MOMENTA DESIGN GROUP	DATE:	10/24/2015



ROOF FRAMING NOTES:

- ROOF FRAMING DIAPHRAGM TO BE ¼ " PLY 32/1.6, NAIL 8D COMMON AT 6" O.C.EDGE NAILING AND BOUNDARY, 12" O.C. FIELD NAILING
- ROOF HEADERS:  
L < 6"-0" 4 X 6 OR 6 X 6  
L < 8 -0" 4 X 8 OR 6 X 8
- ALL HIP FILL AND HIP OVER TRUSS FRAMING MUST BE BRACED AND SUPPORTED PER CAT. FILL DETAILS.
- 2 X 6 MIN. BALLOON FRAME WALLS OF ROOM WITH SLOPING CEILINGS.
- MAXIMUM ALLOWABLE STUD HEIGHTS : U.N.O.  
BEARING WALL: 2X4 AND 2X6 MAXIMUM 10 FT.  
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2X6 MAXIMUM 20 FT.
- ALL HOLDDOWNS ON 4X4 POST MIN.-U.N.O.
- ALL STRAPS, COLUMN CAPS, HANGERS, CLIPS, ETC. TO BE PRODUCED BY : "SIMPSON STRONG TIE " OR EQUAL.  
A) ALL SPECIFIED FASTNERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS OF THE MANUFACTURE. INCORRECT FASTNER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16D FASTNERS ARE COMMON NAILS (8 GA. X 3 ½ ) AND CANNOT BE REPLACED WITH 16 SINKERS (9 GA. X 3 ¼ ) UNLESS OTHERWISE SPECIFIED.
- B) BOLT HOLES SHALL BE MINIMUM OF 1/32" AND MAXIMUM OF 1/16" LARGER THAN BOLT DIAMETER.
- C) UNLESS OTHERWISE NOTED, ALLOWABLE BOLTS AND NAILS CANNOT BE COMBINED. 8D, 10D, AND 16D SPECIFY COMMON NAILS.
- D) FILL ALL FASTENERS HOLES WITH FASTENERS TYPES SPECIFIED WITH TABLES FOR HIGHEST CAPACITY.
- THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE DESIGNER, ARCHITECT AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE ROOFING / DECKING CONTRACTORS TO PROVIDE THE WORKMANSHIP AND MATERIALS NECESSARY TO PROVIDE THE STANDARDS OF CARE TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF AND DECK DRAINAGE SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARD OR ON THE STUCCO EXTERIOR FINISH.
- ALL PLUMBING WALL TO BE 2X6 STUDS. NO PLUMBING PIPE OVER 1" DIAMETER IN SHEAR WALLS. NO HEATING/ A.C. DUCTS IN SHEAR WALLS.
- MEASUREMENTS AND WALL THICKNESS MAY VARY FROM DRAWINGS, EXPOSE EXISTING FRAMING AND FIELD VERIFY EXACT GEOMETRY AND DIMENSIONS PRIOR TO CONSTRUCTION.
- PROVIDE FIRE STOPS, VERTICAL AND HORIZONTAL, IN ENCLOSED SPACE AT 10"-0" INTERVALS MAXIMUM.

ROOFING AND WEATHERPROOFING

- WOOD SIDING: ALL WOOD SIDING SHALL BE PLACED OVER AN APPROVED WEATHERPROOFING BARRIER OF 15 # FELT MINIMUM. (SEC 1402.1)
- FLASHING AROUND OPENINGS: EVERY OPENING IN ANY EXTERIOR WALL SHALL BE FLASHED WITH SHEET METAL OR WATER PROOF BUILDING PAPER.
- FLASHING: ALL FLASHING, COUNTER FLASHING AND COPING, WHEN OF METAL, SHALL BE OF NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL. SEE SEC. 1508 FOR ROOF VALLEY FLASHING REQUIREMENTS. AT THE JUNCTURE OF ROOF AND VERTICAL SURFACES, FLASHING AND COUNTER FLASHING SHALL BE PROVIDED AS REQUIRED IN SEC. 1509.
- ROOF COVERING: ALL ROOF COVERING SHALL BE INSTALLED PER APPLICABLE REQUIREMENTS OF TABLES 15B1, 15B2, 15C, 15D1, 15D2, AND 15E. ROOF COVERING MUST MEET THE REQUIREMENTS FOR A CLASS "A" RATING FOR RESIDENTIAL STRUCTURES AND A CLASS "B" RATING FOR COMMERCIAL STRUCTURES.
- ROOF DRAINAGE: UNLESS ROOFS ARE SLOPED TO DRAIN OVER EDGES OR ARE DESIGNED TO SUPPORT ACCUMULATED WATER, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. ROOF DRAINS SHALL BE ADEQUATE IN SIZE TO CONVEY THE WATER TRIBUTARY TO THE ROOF DRAINS. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS MAY BE INSTALLED IN ADJACENT ROOF AND HAVING A MINIMUM OPENING HEIGHT OF 4". OVERFLOW DRAINS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT FROM THE ROOF DRAINS. ROOF DRAINS AND OVERFLOW DRAINS, WHEN CONCEALED WITHIN THE CONSTRUCTION OF THE BUILDING, SHALL BE INSTALLED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE SEC 306.2 (SEC 1506)

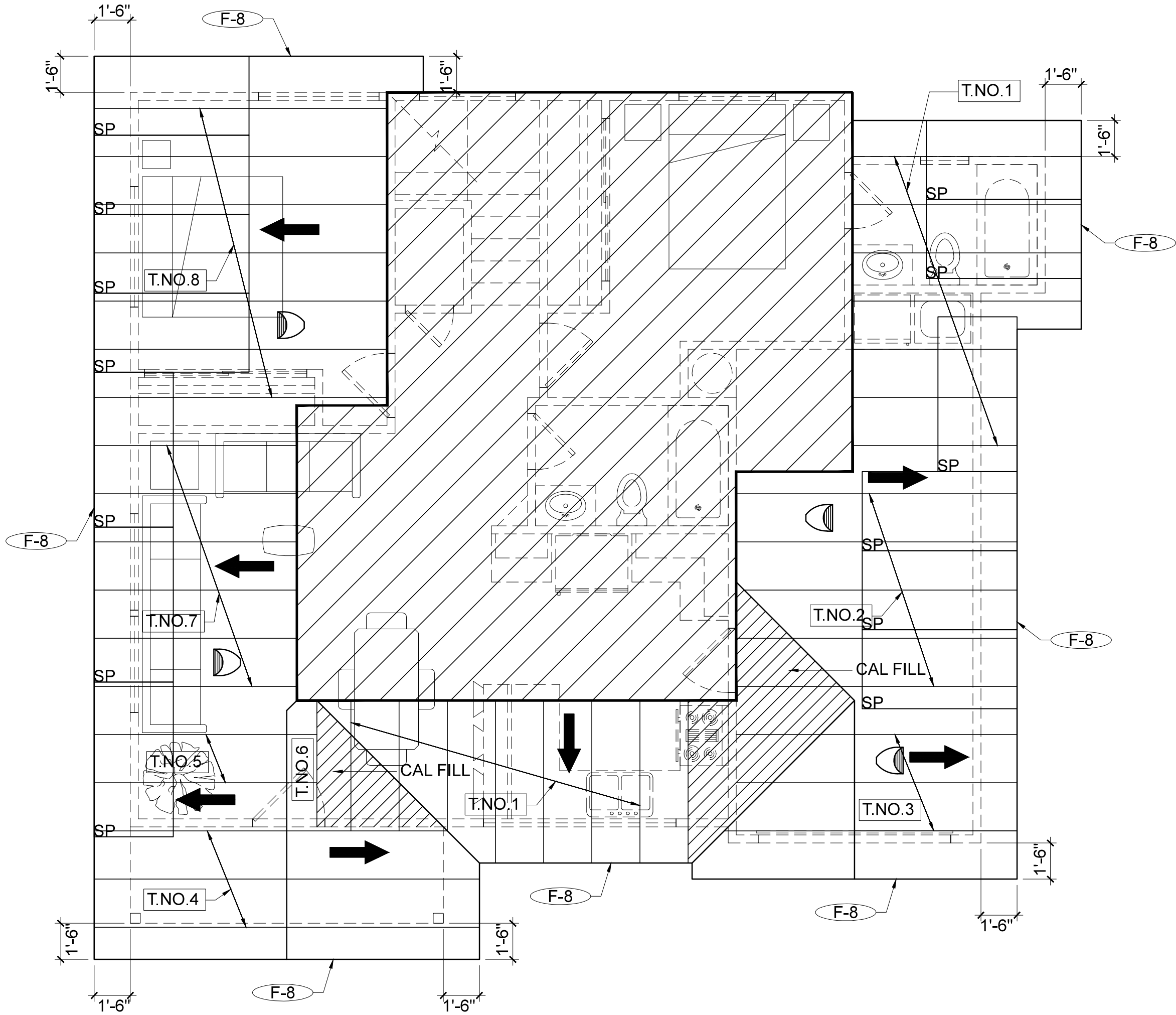
ROOF CALCULATION FOR ATTIC VENTILATION				
DESC	MAIN DWELLING	GARAGE	ADDITION/SECONDARY	
	HAB. SPACE	NON HAB. SPACE	DWELLING	
SQUARE FOOTAGE	1ST LVL 653 SF			
DIV. FACTOR	1121 SF			
150 / 300	150			
VENT AREA REQUIRED SOFT VENT AREA REQ. X 144	7.47 X 144 = 1,076 SF			
TOTAL IN SQINCH VENT FREE	1,076 / 120 = 8.9 VENTS			
AIR CAPACITY ON SQINCH QUANTITY VENTS REQ.	9 VENTS			
PLANS SHOWN	9 VENTS			
VENT SPECIFICATIONS				
MANUFACTURER:	SIMPSON	VENT SYBL.		
MODEL	YD24-2A			
TYPE	DORMER			
FREE AIR CAP.	120 S.I.			
R.O. SIZE	14" X14"			

ROOF PITCH LEGEND		
➡	DENOTES	NEW ROOF / PITCH 4 : 12 & 4 : 12
➡	DENOTES	NEW OVERHANG-EAVE 18 INCH MIN. TO MATCH EXISTING
➡	DENOTES	EXISTING ROOF / PITCH N/A
➡	DENOTES	EXISTING OVERHANG-EAVE
➡	DENOTES	EXISTING ROOF / OVERHANG-EAVE TO MATCH EXISTING

ROOF				
CONVENTIONAL FRAMING LEGEND				
SYMBOL	DESCRIPTION	SIZE	DIST O.C.	WOOD TYPE
⬭	REFTERS	2X6		
⬭	REFTERS	2X8		
⬭	REFTERS	2X10		
⬭	REFTERS	2X10		
⬭	REFTERS	CUSTOM		
⬭	RIDGE	2X6		
⬭	RIDGE	2X8		
⬭	RIDGE	2X10		
⬭	RIDGE	2X12		
⬭	RIDGE	CUSTOM		
⬭	FASCIA	2X6		
⬭	FASCIA	2X8	CONT.	PAINT GRADE
⬭	FASCIA	2X10		
⬭	FASCIA	2X12		

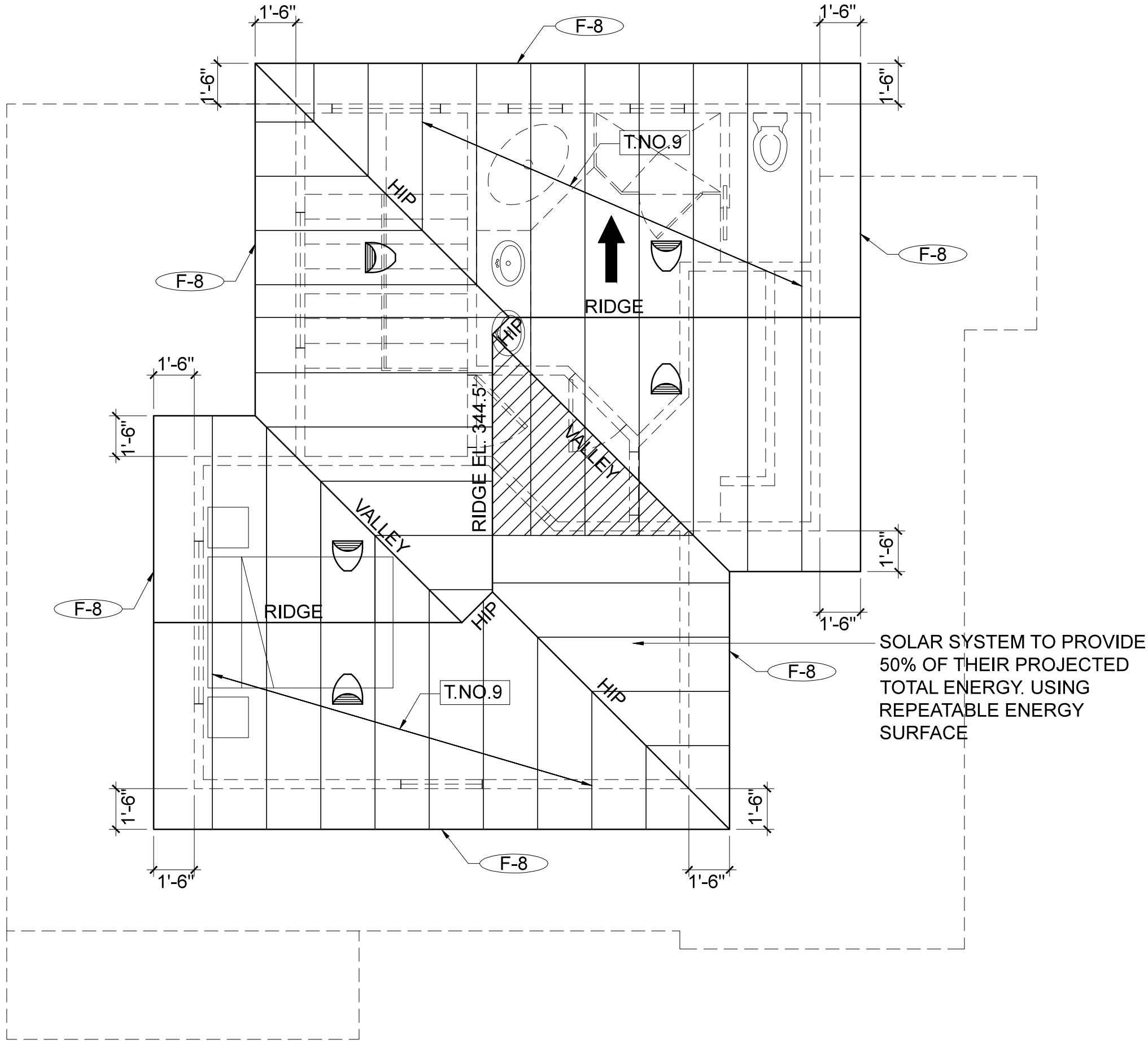
TRUSS SCHEDULE TABLE													
TRUSS ID. NO.	PITCH V	H	ENG./MANUF CALC'S ID	MANUFACTURED BY	TRUSS DESCRIPTION	X - PAN BTWN / SUPPORTS	SPACE O.C.	EAVE SIZE	MATCH EXIST.	SIDES / TAILS 1 2 NONE	STRUCT. VALUE	REMARKS	
T - NO. 1	4	:12			END JACKS	4'-0" TO 6'-0"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO.	:12				END JACKS		2'-0"	IN					
T - NO. 12	4	:12			CORNER JACKS	VARIABLE	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 3	4	:12			SUB HIP TRUSSES	11'-0"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 8	4	:12			SUB HIP TRUSSES	12'-0"	2'-0"	A18" IN	--	✓ -- --	GIRDER	END JACK'S SUPPORT	
T - NO. 11	4	:12			HIP TRUSSES	15'-6"	2'-0"	A18" IN	--	✓ -- --	GIRDER	SUPPORT T.H.1	
T - NO.	:12				HIP TRUSSES SYSTEM		2'-0"	IN					
T - NO.	:12				HIP TRUSSES SYSTEM		2'-0"	IN					
T - NO. 7	4	:12			STUB/HIP TRUSSES	10'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 5	4	:12			STUB/HIP TRUSSES	7'-0"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 12	4	:12			GABLE TRUSSES	15'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO.	:12				SCISSOR TRUSSES		2'-0"	IN					
T - NO. 6	4	:12			STUB / GABLE TRUSS	12'-6"	2'-0"	A18" IN	--	-- -- ✓	CUSTOM		
T - NO. 9	4	:12			STUB / GABLE TRUSS	12'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 4	4	:12			STUB / GABLE TRUSS	10'-6"	2'-0"	A18" IN	--	✓ -- --	TYP. STD.		
T - NO. 10	4	:12			CUSTOM	9'-6"	2'-0"	A18" IN	--	✓ -- --	GIRDER	SUPPORT T.H.1	

ROOF DESCRIPTION	
MANUFACTURER:	ELK. CORPORATION
MEDEL / STYLE:	PREMIUM LAMINATED ASPHALT SHINGLES
TYPE:	FIBER GLASS ROOFING / 40 YEARS
SERIES:	PRESTIQUE PLUS
TEXTURE:	COMPOSITION SHINGLES
COLOR:	SEBLE WOOD
NATIONAL EVALUATION REPORT:	U.L. 3915
I.C.B.O. NO.	U.L. 3915
CLASS:	RATED 'A'
DIMENSIONS:	35 5/16" WIDTH / 14" DEPTH/ 1 1/4" THICK
WEIGHT:	APPROX 300 LB PER SQUARE



FIRST LEVEL ROOF FRAMING PLAN - BUILDING 2 & BUILDING 3

SCALE: 1/4" = 1'-0"



SECOND LEVEL ROOF FRAMING PLAN - BUILDING 2 & BUILDING 3

SCALE: 1/4" = 1'-0"



SHEET TITLE: ROOF FRAMING PLAN		REVISIONS:	SHEET: A-9
JOB NAME:	TWO STORIES CONDOMINIUMS NILE STREET, SAN DIEGO, CA 92103		
DRAWN BY:	MOMENTA DESIGN GROUP	DATE:	10/24/2015