

THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED:	April 5, 2017	REPORT NO. HO-17-022
HEARING DATE:	April 12, 2017	
SUBJECT:	Phillips Residence. Process Three Decision	
PROJECT NUMBER:	<u>490122</u>	
OWNER/APPLICANT:	The Phillips Family Trust, Owner / Sheena Case	amassima, Applicant

SUMMARY:

<u>Issue:</u> Should the Hearing Officer approve the demolition of two single dwelling units and construction of one single family residence at 3774 and 3784 Bayside Walk within the Mission Beach Precise Plan area?

<u>Staff Recommendation</u>: Approve Coastal Development Permit No. 1721605.

<u>Community Planning Group Recommendation</u>: On October 21, 2016, the Mission Beach Precise Planning Board voted 8-0-0 to recommend approval of the proposed project with a condition/recommendation that the garage structure on the first floor comes in 2 feet because of an 18-foot turning radius (Attachment 7). The applicant has modified their design as shown on Exhibit A plans, sheets A1.1 and A2.0 (Attachment 9), to provide additional 2-foot setback as recommended by the community group.

Environmental Review:

The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 11, 2017 and the opportunity to appeal that determination ended January 27, 2016.

BACKGROUND

The project site is located at 3774 and 3784 Bayside Walk within the Mission Beach Planned District (MBPD) R-N Zone, the Coastal Overlay Zone (Appealable) and between Mission Bay and the first public roadway, the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone, the Residential Tandem Overlay Zone, and the Transit Area Overlay Zone within the Mission Beach Precise Plan and Local Coastal Program (LCP) Land Use Plan (Attachment 1). The property is designated for single dwelling unit development by the Mission Beach Precise Plan (Attachment 2).

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The site is improved with two existing single dwelling units and is relatively level ground in an urbanized residential neighborhood (Attachment 3).

DISCUSSION

The Phillips Residence project (Project) proposes the demolition of two single dwelling units on two separate legal lots at 3774 and 3784 Bayside Walk and the construction of one single family residence (Attachment 4). The new structure would straddle the property line between 3774 and 3784 Bayside Walk. The Project proposes a three-story structure of approximately 2,861 square feet. The maximum height of the building would be thirty feet. Minimal grading of the site is required to direct drainage and prepare the site for building foundations.

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP), or the Multiple Habitat Planning Area (MHPA), and does not contain any other type of Environmentally Sensitive Lands (ESL) as defined in the San Diego Municipal Code (SDMC) section 113.0103.

The site is designated for residential uses. The Project is consistent with the land use designations of the Mission Beach Precise Plan and LCP Land Use Plan including maintaining residential development and not interfering with public access or public views to the beaches and bays. The proposed Project complies with the San Diego Municipal Code development regulations to include but not limited to height, setbacks, parking, landscape, and floor area ratio.

CONCLUSION

The requested Coastal Development Permit application is consistent with the Mission Beach Precise Plan and LCP and Land Use Plan, with all relevant adopted City Council policies, and regulations of the San Diego Municipal Code. The Project does not propose, nor require, any deviations or variances to approve the applicant's application. Therefore, staff concludes that all of the necessary findings to approve the project can be affirmed and that the conditions applied to the Coastal Development Permit are sufficient to insure the project would be in harmony with the surrounding community.

ALTERNATIVES

- 1. Approve Coastal Development Permit No. 1721605, with modifications.
- 2. Deny Coastal Development Permit No. 1721605, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Incly for

Jeffrey W. Robles, Development Project Manager

Attachments:

- 1. Project Location Map
- 2. Mission Beach Precise Plan Land Use Map
- 3. Aerial Photograph
- 4. Draft Resolution with Findings
- 5. Draft Permit with Conditions
- 6. Environmental Exemption
- 7. Community Planning Group Recommendation
- 8. Ownership Disclosure Statement
- 9. Project Plans

ATTACHMENT 1



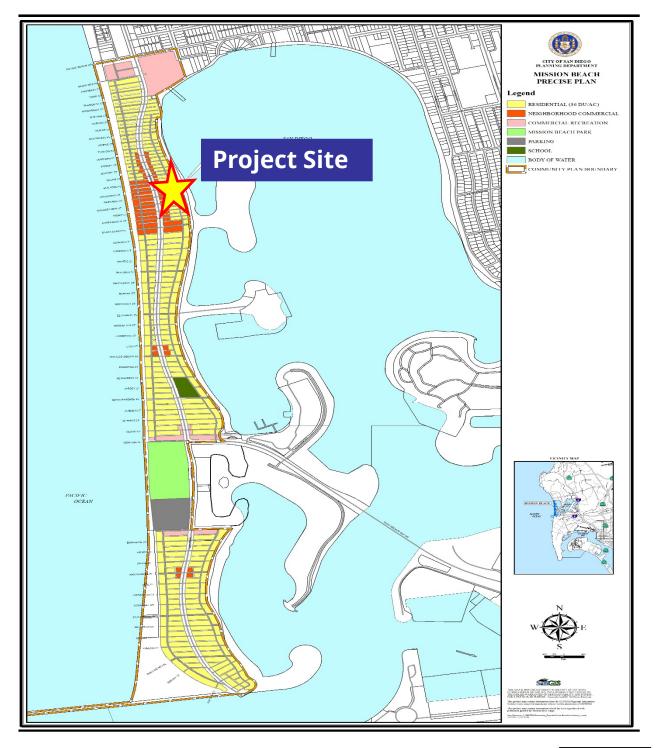


Project Location

Phillips Residence, Project No. 490122 3774 and 3784 Bayside Walk, San Diego CA 92109



ATTACHMENT 2





<u>Mission Beach Precise Plan Land</u> <u>Use Map</u>

Phillips Residence, Project No. 490122 3774 and 3784 Bayside Walk, San Diego CA 92109



ATTACHMENT 3





Aerial Photo

Phillips Residence, Project No. 490122 3774 and 3784 Bayside Walk, San Diego CA 92109



HEARING OFFICER RESOLUTION NO. XXXXXX COASTAL DEVELOPMENT PERMIT NO. 1721605 PHILLIPS RESIDENCE PROJECT NO. 490122

WHEREAS, THE PHILLIPS FAMILY TRUST, dated September 22, 1989, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish two single-dwelling units on two separate legal lots and the construction of one single-dwelling residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1721605), on portions of a 0.06-acre site;

WHEREAS, the project site is located at 3774 and 3784 Bayside Walk in the Mission Beach Planned District R-N zone of the Mission Beach Precise Plan;

WHEREAS, the project site is legally described as the southerly half of Lots "A" and "B", Block 193 of Mission Beach, according to Map thereof No. 1651, filed December 14, 1914, excepting therefrom that portion thereof, if any, heretofore or now lying below the mean high tide line of Mission Bay, formerly False Bay, reserving an easement for ingress and egress for road purposes over the west eight feet thereof;

WHEREAS, on April 12, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1721605 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 27, 2016 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE, BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 12, 2017.

FINDINGS:

Findings for all Coastal Development Permits - 126.0708

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The Phillips Residence project proposes the demolition of two single dwelling units on two separate legal lots at 3774 and 3784 Bayside Walk and the construction of one single family residence. The new structure will straddle the property line between 3774 and 3784 Bayside Walk. The Project

proposes a three-story structure of approximately 2,861 square feet. The maximum height of the building will be thirty feet. The site is adjacent to Mission Bay Park and approximately 767 feet east of the Pacific Ocean.

There are no existing or proposed physical accessways used by the public across the private site or any proposed in the Mission Beach Precise Plan and the Project will not encroach upon any existing physical accessway that is legally used by the public or proposed in a Local Coastal Program Land Use Plan. The Project will have no effect upon public views to and along the ocean and other scenic coastal areas as specified in the Mission Beach Precise Plan.

There are no designated public views within the existing side yards identified in the Mission Beach Precise Plan. However, the project is designed and sited to avoid obstructing any view from Rockaway Court or Bayside Walk. The Project will conditioned to record two separate, four-foot wide View Corridor Easements, as shown on Exhibit "A," in accordance with SDMC section 132.0403 along the southerly and northerly side property lines. All fencing, landscaping, and other improvements in the view corridors will be restricted by recording the easement to assure the preservation of the public views towards Mission Bay. The Project will adhere to community goals not to intrude into any of the identified public view corridors, in that no identified public view corridors are identified in the Mission Beach Precise Plan across the site. The Project will result in more public viewing opportunities than what exists presently. The new views provided by the Project in the north and south side yards will provide public views to Mission Bay beyond and prevent a "walling off" or other adverse effect to the community. The Project will not obstruct any coastal or scenic views from any public vantage point. There will not be any increase in building footprint of the existing structure that will, from a public vantage point, result in public views blockage to or along the ocean. The height of the third story will be no greater than thirty feet. Therefore, it has been concluded that implementation of the Project will not adversely obstruct public views to, or along the ocean or other scenic resources.

As such, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Development Program Land Use Plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The Phillips Residence project (Project) proposes the demolition of two single dwelling units on two separate legal lots at 3774 and 3784 Bayside Walk and the construction of one single family residence. The new structure will straddle the property line between 3774 and 3784 Bayside Walk. The Project proposes a three-story structure of approximately 2,861 square feet. The maximum height of the building will be thirty feet. The site is adjacent to Mission Bay Park and approximately 767 feet east of the Pacific Ocean.

The surrounding neighborhood pattern is residential development to the north, east and west and south. The site is within an urbanized community. There are no environmentally sensitive resources present on the site. Because there are no environmentally sensitive resources present on the site,

the proposed coastal development will not adversely affect environmentally sensitive lands on the site. The Project will not adversely affect downstream properties or sensitive resources along the Pacific Ocean shoreline. No deviations or variances are requested or required to approve the Project. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the Certified Implementation Program.

The Phillips Residence project (Project) proposes the demolition of two single dwelling units on two separate legal lots and the construction of one single family residence at 3774 and 3784 Bayside Walk. The new structure will straddle the property line between 3774 and 3784 Bayside Walk. The Project proposes a three-story structure of approximately 2,861 square feet. The maximum height of the building will be thirty feet. The site is adjacent to Mission Bay Park and approximately 767 feet east of the Pacific Ocean. The Mission Beach Precise Plan land use map designates the site for single-dwelling unit residential use. The properties to the north, east, west and south are developed with residential uses.

The site is designated for residential uses. The project would meet the goals of the Mission Beach Precise Plan/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches and bays. The proposed project will meet the land use regulations of the Certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, parking, landscaping, and floor area ratio.

The proposed structure is designed to achieve a harmonious visual relationship between the bulk and scale of the existing and the adjacent structures as recommended in the Precise Plan. The proposed Project will comply with all applicable provisions of the Municipal Code and certified Local Coastal Program and deviations or variances are not requested. Therefore, the proposed development is in conformity with the City's Certified Local Coastal Program Land Use Plan and any other applicable adopted plans and programs in effect for this site.

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The site is located at 3774 and 3784 Bayside Walk and is between the nearest public road and the sea or the shoreline of Mission Bay. However, the Mission Beach Precise Plan does not identify any public access across the private property. Public access is provided from Rockaway Court to Mission Bay Park and Mission Bay. Rockaway Court is immediately north of and adjacent to the Project site. The Project will not interfere with the public access to Mission Bay or Mission Bay Park and therefore, the proposed coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1721605 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1721605, a copy of which is attached hereto and made a part hereof.

Jeffrey W. Robles Development Project Manager Development Services

Adopted on: April 12, 2017

IO#: 24006708

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24006708

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1721605 PHILLIPS RESIDENCE PROJECT NO. 490122 HEARING OFFICER

This Coastal Development Permit No. 1721605 is granted by the Hearing Officer of the City of San Diego to THE PHILLIPS FAMILY TRUST, dated September 22, 1989, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.06-acre site is located at 3774 and 3784 Bayside Walk in the Mission Beach Planned District R-N zone of the Mission Beach Precise Plan. The project site is legally described as the southerly half of Lots "A" and "B", Block 193 of Mission Beach, according to Map thereof No. 1651, filed December 14, 1914, excepting therefrom that portion thereof, if any, heretofore or now lying below the mean high tide line of Mission Bay, formerly False Bay, reserving an easement for ingress and egress for road purposes over the west eight feet thereof.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish two single-dwelling units on two separate legal lots and the construction of one single-dwelling residence described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] April 12, 2017, on file in the Development Services Department.

The project shall include:

- a. Demolition of two single dwelling units on two separate legal lots and the construction of a new 2,911 square-foot, single-family residence with a 426 square-foot, two car garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by ______.

2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. The Owner/Permittee shall comply with "The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A". Prior to issuance of any construction permit, all CAP strategies shall be noted with the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements.

13. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction on the Development Services Department.

ENGINEERING REQUIREMENTS:

14. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

17. Prior to the issuance of construction permits for grading or building, the Owner/Permittee shall submit a landscape plan consistent with Approved Exhibit "A" [Landscape Development Plan]. The planting plan shall show the required 50% landscaped area in a crosshatch pattern and labeled "Landscape Plan" as well as any trees proposed to be located in the required yards for Courts and Places [LDC 1513.0402].

18. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Final Landscape Inspection.

20. The Owner/Permittee shall install and maintain all landscaping proposed in public view corridors to not obstruct public views of the ocean as specified in Section 132.0403(e) of the Land Development Code [LDC], Coastal Overlay Zone Regulations. Landscaping materials shall not encroach or overhang into the Courts and Places rights-of-way below a height of 8 feet above the finish surface or finish grade, as measured at the trunk [LDC 1513.0402(a) (2)].

PLANNING/DESIGN REQUIREMENTS:

21. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall record an 8 feet 6 ½ inches wide View Corridor Easement along the Rockaway Court side yard area as shown on Exhibit "A," in accordance with SDMC section 132.0403. Open fencing and landscaping may be permitted within the visual corridor, provided such improvements and landscaping do not significantly obstruct public views of the ocean. Landscape within the Rockaway Court side yard view corridor shall be planted and maintained to preserve and enhance public views to the ocean.

PUBLIC UTILITIES REQUIREMENTS:

24. Prior to the issuance of any construction permits, the Owner/Permittee shall finalize water and sewer capacity charges.

25. Prior to issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices on each water service (domestic, fire and irrigation, in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPD's shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. BFPD's are to be located below grade or within the structure.

26. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

27. All public water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

28. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facility.

29. Prior to issuance of any construction permits, the Owner/Permittee shall assure by permit and bond to cap (abandon) at the property line any existing unused sewer lateral and install new sewer laterals which must be located outside of any driveway or vehicular use area.

30. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, to disconnect (kill) at the main any existing unused water service.

INFORMATION ONLY:

• The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this

discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 12, 2017 by Resolution XXXXXXX.

Permit Type/PTS Approval No.: CDP No. 1721605 Date of Approval: April 12, 2107

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Jeff Robles Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

The Phillips Family Trust, dated September 22, 1989 Owner/Permittee

By _

Kimberly S. Phillips Trustee

The Phillips Family Trust, dated September 22, 1989 Owner/Permittee

Ву ___

Robert W. Phillips Trustee

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

NOTICE OF EXEMPTION

(Check one or both)

- TO: <u>X</u> Recorder/County Clerk P.O. Box 1750, MS A-33 1600 Pacific Hwy, Room 260 San Diego, CA 92101-2400
 - Office of Planning and Research 1400 Tenth Street, Room 121 Sacramento, CA 95814

FROM: City of San Diego Development Services Department 1222 First Avenue, MS 501 San Diego, CA 92101

Project No.: 490122

Project Title: Phillips Residence

Project Location-Specific: 3774-3784 Bayside Walk, San Diego, California 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: This project is requesting a Coastal Development Permit for the demolition of two single dwelling units and an accessory structure located on two adjacent lots and the construction of one single dwelling unit totaling 2,861 square-feet. The 2,928 square-foot (0.08 acre) project site is located at 3774 and 3784 Bayside Walk. The project site is designated Residential and zoned MBPD-R-N within the Mission Beach Community Plan area. Additionally, the project site is within Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable), First Public Roadway, Parking Impact Overlay Zone (Beach and Coastal) and Residential Tandem Parking Overlay Zone and Transit Area Overlay Zone. (LEGAL DESCRIPTION: Lots A and B, Block 193, Mission Beach Map 1651)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Robert W. Phillips

8998 Montrose Way San Diego, California 92122 (858) 354-2344

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: 15303 (New Construction)
- () Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include but are not limited to on single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not apply.

Lead Agency Contact Person: Morgan Dresser

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Serie Plance

Signature/Title

Check One: (X) Signed By Lead Agency () Signed by Applicant January 27, 2016 Date

Date Received for Filing with County Clerk or OPR:



THE CITY OF SAN DIEGO

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name:			Proj	ect N	Number:	Distribution Date:	
Phillips Residence - CDP				49	90122	6/13/2016	
Project Scope/Location:						- 1	
Mission Beach SAP No. 24006708 (Process 3) Coasta accessory structure located on two contiguous lots and 0.08-acre site is located within the Coastal Overlay zor of the Mission Beach Community Plan area, Council D	l const ne (Ap	truct one si pealable) a	ngle d	welli	ng unit totaling	2.861 square-feet. The	9
Applicant Name:					Applicant F	hone Number:	
Sheena Cassamasima					(619) 023-2	088	
Project Manager:	Pho	ne Numbe	r:	Fax	Number:	E-mail Address:	
John Fisher	(61	9) 446-52	31	(619) 446-5245	JSFisher@sandieg	o.gov
Committee Recommendations (To be completed for	r Initi:	al Review)	:				
Vote to Approve		Member	s Yes	M	lembers No	Members Abstain	
Vote to Approve With Conditions Listed Below		Member	s Yes	M	lembers No	Members Abstain	
☐ Vote to Approve With Non-Binding Recommendations Listed Bel	ow	Members	s Yes	M	lembers No	Members Abstain	
Uvote to Deny		Members	s Yes	M	lembers No	Members Abstain	
No Action (Please specify, e.g., Need further info quorum, etc.)		850 B				Continued	
CONDITIONS: Garage neestru Come in two feet be NAME: MIKE MEYER SIGNATURE: Mike Meyer	ctu,	re on	4	ir	st fl	por need to	
come in two teet be	cal	use o	0f	16	fur.	ning radil	15
NAME: MIKE MEYER					TITLE: PL	AN REVIE	WER
SIGNATURE: Mike Mener					DATE: /	1-21-16	
Attach Additional Páges If Necessary		Please retur Project Mar City of San Developmer 1222 First A San Diego,	n to: nagem Diego nt Serv venue CA 92	ent E vices e, MS 2101	Division Department 5 302		
Printed on recycled paper. Visit ou Upon request, this information is ava							

The site Development F Vesting Tentative Map M M DE WALK Coult Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	equested: [Neighborhood Use Permit [Planned Development Permit hap Walver [Land Use Plan Amend SAN DITTED CA- Can Drigg, CA.	mit Conditional Use Permit Iment · Other Project No. For City Use Only 92.169 92.169
The site Development F Vesting Tentative Map M M DE WALK Coult Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	SAN DIZAD, CA. au Dizad, CA. dual(s)	mit Conditional Use Permit Iment · Other Project No. For City Use Only 92.169 92.169
DE WALK	SAN DIZZO, CA. au Drzgo, CA. dual(s)	Project No. For City Use Only 92/09 92/09
Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	dual(s)	92109
Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	dual(s)	
Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	dual(s)	
Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	dual(s)	
Statement, the owner(s) ackn an Diego on the subject prop applicable) of the above refer	dual(s)	
an Diego on the subject prop applicable) of the above refer	owledge that an application for a perm perty, with the intent to record an enc	it man as other metter, an identified
signature is required of at lease of the San Diego Redevelop been approved / executed b o during the time the applicat	ate the type of property interest (e.g., ast one of the property owners. Attac ment Agency shall be required for all y the City Council. Note: The applic ion is being processed or considered.	tenants who will benefit from the permit, all ch additional pages if needed. A signature project parcels for which a Disposition and ant is responsible for notifying the Project Changes in ownership are to be given to
Yes TNo		
Redevelopment Agency	Name of Individual (type KILL be Kley Owned Tenant/	S. Plullips Tes
E WHY	Street Address: 8998 MON	TLOSE WAY
. 92122	City/State/Zip: SAN DIEGO	CA. 92/22
Date:	Signature: 777/	78 858-452-4274 Date:
m 3/8/14 G	Name of Individual (type	or print): Thurt Part a
Redevelopment Agency	Owner Tenant/Le	essee Redevelopment Agency
	Street Address:	SENTEMBER 22,
	City/State/Zip:	
Fax No:	Phone No:	Fax No:
Date:		
	been approved / executed boot during the time the application any public hearing process. Yes No Yes No When the application of the series of the s	been approved / executed by the City Council. Note: The applic o during the time the application is being processed or considered. ays prior to any public hearing on the subject property. Failure the hearing process. Yes No Wes No Mame of Individual (type Redevelopment Agency Name of Individual (type Kube Kug Owne) Fax No: Street Address: Street Address: Signature : Hy/F Mame of Individual (type Redevelopment Agency Street Address: Signature : Hy/F Name of Individual (type Redevelopment Agency Fax No: Signature : Hy/F Name of Individual (type Redevelopment Agency Owner Tenant/Le Street Address: City/State/Zip:

Printed on recycled paper. Visit our web site at <u>www.sandiego.gov/development-services</u> Upon request, this information is available in alternative formats for persons with disabilities. DS-318 (5-05)

03/03/2016 12:22 619	-291-8638
----------------------	-----------

PHILLIPS REALTY

ALIA	CHMENT 8	

Project Title:	Project No. (For City Use Only)
Part II - To be completed when property is held by a corpo	pration or partnership
Legal Status (please check):	
Corporation X Limited Liability -or- General) What S	State? Corporate Identification No
as identified above, will be filed with the City of San Diego on t the property Please list below the names, titles and addresse otherwise, and state the type of property interest (e.g., tenants in a partnership who own the property). <u>A signature is require</u> property. Attach additional pages if needed. Note: The applica ownership during the time the application is being processed o	acknowledge that an application for a permit, map or other matter, the subject property with the intent to record an encumbrance against is of all persons who have an interest in the property, recorded or who will benefit from the permit, all corporate officers, and all partner ed of at least one of the corporate officers or partners who own the int is responsible for notifying the Project Manager of any changes in or considered. Changes in ownership are to be given to the Project subject property. Failure to provide accurate and current ownership additional pages attached Yes No
Corporate/Partnership Name (type or print);	Corporate/Partnership Name (type or print):
	aver Robert & tran Plue Ups
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address: MON TROSE LEXAN	Street Address:
City/State/Zip: 5ANDIETO, CA. 92/22	City/State/Zip:
Phone No: 858-354-2344 Fax No: 858-450-42	79 Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print): DURAN - MENorber	Title (type or print):
Signature, Signature, 3/3/12	Signature : Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address:	Street Address:
Clty/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature : Date:	Signature ; Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address:	Street Address:
Dity/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Jame of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
itle (type or print):	Title (type or print);

INDEX

- TITLET0.0COVER SHEET, VICINITY MAP, PROJECT INFORMATIONT0.1PROJECT DATA, NOTEST0.2TITLE 24T0.3TITLE 24CIVILC1.0TOPOGRAPHIC SURVEY
- C1.1 STORM WATER C1.2 EROSION CONTROL PLANS
- C1.3 POST CONSTRUCTION BMP PLAN

LANDSCAPE

- L1.1 LANDSCAPE DIAGRAM L1.2 HYDROZONE DIAGRAM
- L1.3 LANDSCAPE PLAN

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- A1.1 SITE PLAN
- A2.0 GROUND FLOOR PLAN & RCP A2.1 SECOND FLOOR PLAN & RCP
- A2.2 THIRD FLOOR PLAN/RCP & ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONSA3.2 BUILDING SECTIONS
- A4.0 INTERIOR ELEVATIONS
- A4.1INTERIOR ELEVATIONSA5.0DETAILS
- A5.1 DETAILS
- A5.2 DETAILS
- A5.3 STAIR DETAILS
- A5.4 FIREPLACE DETAILS A6.0 FINISH SCHEDULE
- A6.1 WINDOW SCHEDULE
- A6.2 DOOR SCHEDULE

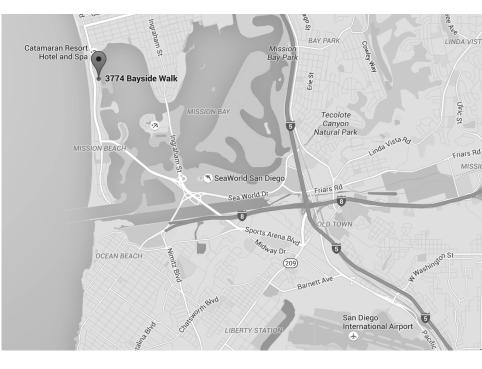
STRUCTURAL S0.0 STRUCTURAL NOTES

- S0.1 STRUCTURAL NOTES & SPECIAL INSPECTION PROGRAM
- S1.0 SHEET NOTES & LEGEND
- S2.0 FOUNDATION PLANS2.1 2ND FLOOR FRAMING PLAN
- S2.2 3RD FLOOR FRAMING PLAN
- S2.3 ROOF FRAMING PLAN
- S3.0 TYPICAL CONCRETE DETAILSS3.1 SITE WALL DETAILS
- S6.0 TYPICAL WOOD DETAILS
- S6.1 TYPICAL SHEARWALL DETAILS
- S6.2 I-JOIST DETAILS S6.3 WOOD DETAILS
- S6.4 DETAILS
- SSW1 STEEL STRONG-WALL ANCHORAGE DETAILS
- SSW2 STEEL STRONG-WALL FRAMING DETAILS
- MECHANICAL M1.0 MECHANICAL PLANS

111.0

ELECTRICAL

E1.0 GROUND FLOOR ELECTRICAL PLAN & LEGENDE1.1 SECOND & THIRD FLOOR ELECTRICAL PLANS



VICINITY MAP



PROJECT INFORMATION

OWNER:

ADDRESS:

ASSESSOR'S PARCEL NUMBER: LEGAL DESCRIPTION:

PROJECT DESCRIPTION:

ZONE: NEIGHBORHOOD: SITE AREA:

FLOOR AREA RATIO: ALLOWABLE BUILDING AREA: PROPOSED BUILDING AEA:

LOT COVERAGE:

PARKING:

BUILDING HEIGHT: GEOLOGIC HAZARD CATEGORY: SET BACKS:

APPLICABLE CODES:

TYPE OF CONSTRUCTION: OCCUPANCY:

All drawings and specifications are property of the architect and shall not be reproduced in any manner without express written permission from Rob Wellington Quigley, FAIA.



Phillips Residence

Mission Beach, San Diego

PROJECT INFORMATION CONT:

HISTORIC REVIEW:

COSTAL COMMISSION REVIEW: DEFERRED SUBMITTALS: SPECIAL HERS VERIFICATIONS: THE EXISTING BUILDINGS WERE DETERMINED NOT TO BE HISTORIC PER PLAN CHECK REVIEW #443007

FIRE SPRINKLERS (SEE RELATED NOTES ON T-0.1)

IAQ MECHANICAL VENTILATION MINIMUM AIRFLOW, FAN EFFICACY, DUCT SEALING

Robert Phillips

3774 BAYSIDE WALK SAN DIEGO CA, 92109

423-584-17 & 423-584-18 (CONSOLIDATED)

LOTS "A" & "B", IN BLOCK 193 OF MISSION BEACH, MAP NO. 1651

DEMOLITION OF EXISTING STRUCTURES. CONSTRUCT A NEW SINGLE FAMILY HOUSE

1,203 SQ. FT.

MBPD-R-N MISSION BEACH

ACRES: 0.067 Square Feet: 2,933.75

1:1 3,227.13 SQ. FT.

GROUND FLOOR:

 GARAGE (400 SF EXEMPT)
 426 SQ. FT.

 SECOND FLOOR
 1,160 SQ. FT.

 THIRD FLOOR
 548 SQ. FT.

 TOTAL
 2,911 SQ. FT.

65 PERCENT MAXIMUM 55 PERCENT PROPOSED

2 SPACES CODE SECTIONS: ∮1513.0304(g)(2), ∮1513.0403

30 FT 31

SAN DIEGO MUNICIPAL CODE: ∮1513.0304

ENCROACHMENTS: ∮1513.0304(d)(2)(A)(i), ∮1513.0304(e)(1), DIAGRAM 1513-03D

BAYSIDE WALK: 5 FOOT STANDARD SETBACK

ADDITIONAL SET BACK: 15 FEET ABOVE EXISTING GRADE OR PROPOSED GRADE AT THE STANDARD SETBACK AND SLOPING BACK AT A 45 DEGREE ANGLE.

COURTS AND PLACES: 10 FOOT STANDARD SETBACK

ALLEY: 0'

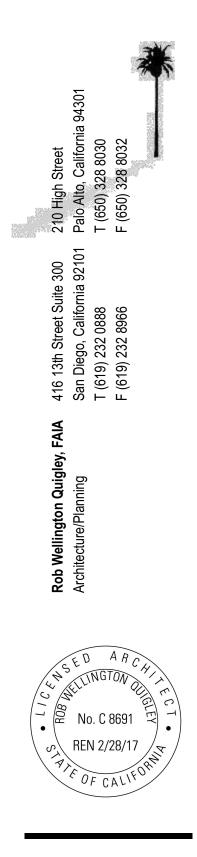
INTERIOR YARD IN THE R-N SUBDISTRICT: 6 FEET

CALIFORNIA BUILDING CODE 2013 EDITION CALIFORNIA MECHANICAL CODE 2013 EDITION CALIFORNIA PLUMBING CODE 2013 EDITION CALIFORNIA ELECTRICAL CODE 2013 EDITION

TYPE VB

GROUP R-3, RESIDENTIAL

Attachment 9



PROJECT DIRECTORY

OWNER	ROBERT PHILLIPS 3774 BAYSIDE WALK SAN DIEGO CA, 92109
ARCHITECT	ROB WELLINGTON QUIGLEY, FAIA 416 13TH STREET SUITE 300 SAN DIEGO CA, 92101 619.232.0888 ext 116 PROJECT ARCHITECT: BOB DICKENS bob@robquigley.com
STRUCTURAL	TKJ STRUCTURAL ENGINEERING 9820 WILLOW CREEK ROAD SUITE 455 SAN DIEGO, CA, 92131 619.869.6234 REPRESENTATIVE: TAYA WEI tanya@tkjse.com
LANDSCAPE	GREG HEBERT, RLA, ASLA
	3153 THIRD AVE. SAN DIEGO, CA 92103 619.283.5083 REPRESENTATIVE: GREG HEBERT greg@greghebert.com
CIVIL	3153 THIRD AVE. SAN DIEGO, CA 92103 619.283.5083 REPRESENTATIVE: GREG HEBERT

Philips Residence Kim & Bob Philips 3774 Bayside Walk, San Diego 92109

1/23/17

T-0.0

LEGAL DESCRIPTION

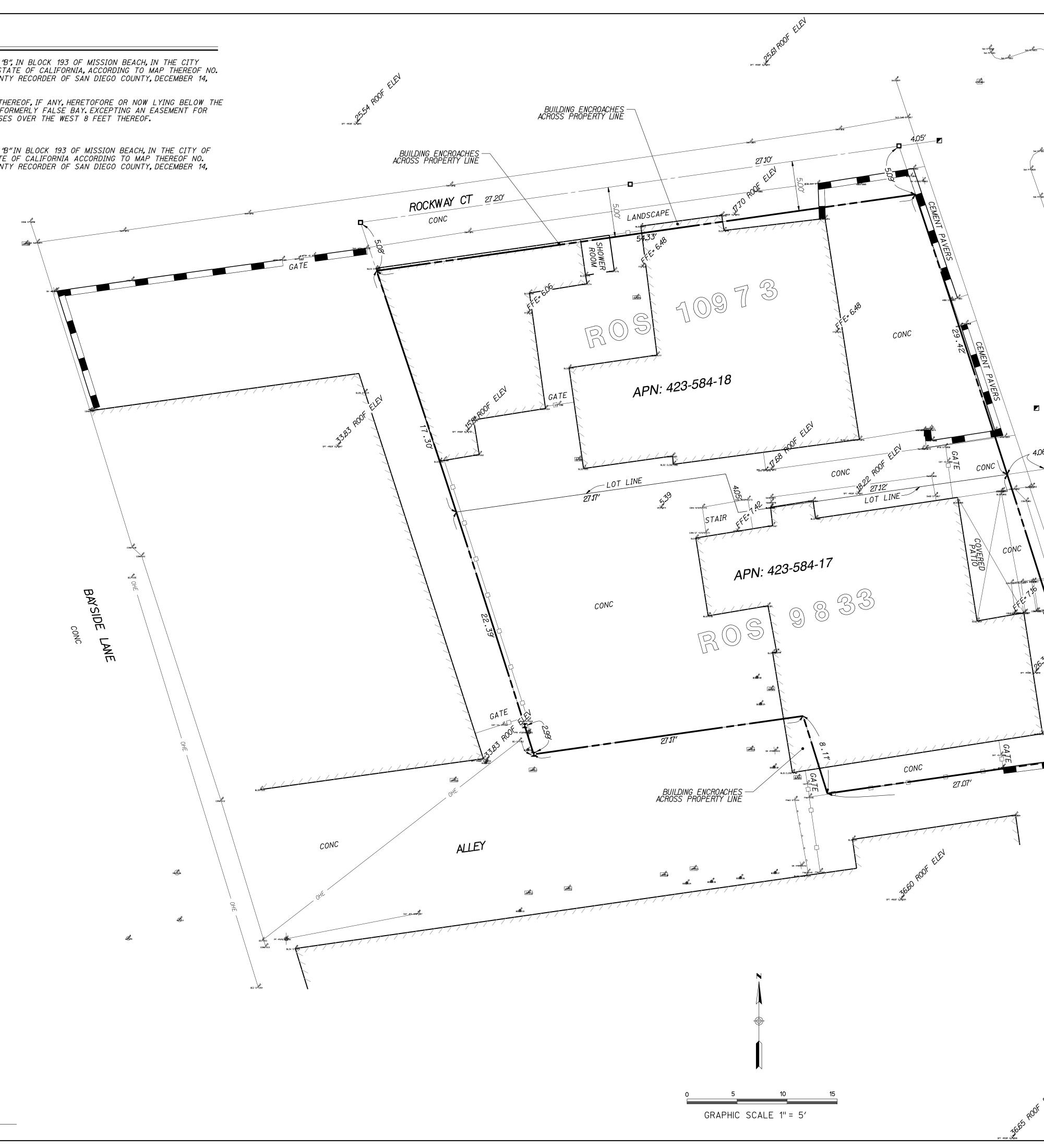
THE SOUTHERLY HALF OF LOTS "A" AND "B", IN BLOCK 193 OF MISSION BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1651, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 14, *1914*.

EXCEPTING THEREFROM THAT PORTION THEREOF, IF ANY, HERETOFORE OR NOW LYING BELOW THE MEAN HIGH TIDE LINE OF MISSION BAY, FORMERLY FALSE BAY. EXCEPTING AN EASEMENT FOR INGRESS AND EGRESS FOR ROAD PURPOSES OVER THE WEST 8 FEET THEREOF.

APN**:** 423-584-17

THE NORTHERLY HALF OF LOTS "A" AND "B" IN BLOCK 193 OF MISSION BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 1651, FILED IN THE OFFICE OF THÉ COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 14, 1914.

APN**:** 423-584-18





SURVEY NOTES

LINE LOCATIONS.

1). SURVEY DATE: JANUARY 27, 2016

2). THE BOUNDARY SHOWN HEREIN WAS ESTABLISHED BY HOLDING THE PROCEDURE OF SURVEY USED ON ROS 9833 & ROS 10973 TO DETERMINE THE PROPERTY

BASIS OF BEARINGS AND COORDINATES

THE BASIS OF BEARINGS AND COORDINATES FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE 6, NAD83 (EPOCH 1991.35) BASED UPON THE GRID BEARING BETWEEN STATION SDGPS- 906 AND STATION SDGPS- 2901, AND IS DETERMINED BY GPS RTK MEASUREMENTS TAKEN ON JANUARY 26, 2016, BOTH STATIONS HAVING A COORDINATE VALUE OF SECOND ORDER ACCURACY PER RECORD OF SURVEY 14492.

GRID BEARING SDGPS- 906 TO SDGPS- 2901: S26°50′34″E

STATION SDGPS- 906 FOUND LEAD & BRASS TAG SET IN CONCRETE CURB STAMPED SD CITY ENG ON SOUTH SIDE EL CARMEL PLACE, 0.1 MILE NORTHEAST OF MISSION BLVD. N: 1864562.80

E**:** 6254677**.**43 ELEV: (8.48 GPS 3RD ORDER PER ROS 14492)

CGF**:** 1.0000058 *CONVERGENCE*: -0°32′55.856″

STATION SDGPS-2901 FOUND BRASS DISK IN MONUMENT WELL, CENTER OF WHITING CT.AT EAST SIDE OF OCEAN FRONT WALK. N: 1868007.62 E**:** 6252934**.**10

BASIS OF ELEVATIONS

THE BENCH MARK FOR THIS SURVEY IS THE BRASS DISK IN MONUMENT WELL, LOCATED ON MISSION BLVD. & REDONDO CT., ON EASTERLY 4 FOOT LINE, PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK DATED 2011.

ELEVATION: 5.145, MSL DATUM

LEGEND

BAY

BRIC

SIDE

Ł

R

INDICATES BOUNDARY LINE

- INDICATES LOT LINE
- □ INDICATES FOUND LEAD AND DISC IN CONCRETE, MARKED "LS 4593" PER CR 34745 & ROS 9833
- ✓ INDICATES FOUND LEAD AND DISC IN CONCRETE, MARKED "CITY ENGINEER, PER ROS 17585
- INDICATES FOUND LEAD AND DISC IN CONCRETE, MARKED "LS 4768" PER CR 34745

INDICATES BLOCK WALL
INDICATES BOLLARD

- INDICATES ELECTRIC METER
- INDICATES ELECTRIC PULL BOX
- FFE INDICATES FINISH FLOOR ELEVATION INDICATES GAS METER
- - INDICATES POWER POLE WITH RISER
 - INDICATES POWER POLE
 - S INDICATES SEWER MANHOLE
 - INDICATES SIGN POST
 - NO" INDICATES SPOT ELEVATION
 - INDICATES WATER METER
 - ⊗ INDICATES WATER VALVE
 - INDICATES WIRE ANCHOR
- ----- INDICATES WOOD FENCE
- ----- INDICATES WOOD BARRICADE
- INDICATES BUILDING

TOPOGRAPHIC SURVEY 3774 & 3784 BAYSIDE WALK SAN DIEGO CALIFORNIA

Riverside - Orange - Sacramento - San Luis Obispo - Phoenix - Tucson

REVISION

ORIGINAL

NO.



5620 FRIARS ROAD San Diego, ca 92110 19-291-0707

J. 17704

rickengineering.com

BY: DATE: MAR 2/3/2016 C1.0

Sheet Number

FAX) 619-291-4165

THE CITY OF SAN		Storm Water Applica	
	^{ress:} 3784 & 3774 BAYSI	DE WALK	
All construin the Stor	V 1. Construction Storm ction sites are required to imp <u>m Water Standards Manual</u> . on General Permit (CGP) ¹ , wh	lement construction BMPs i Some sites are additionally	n accordance w required to ob
tinue to I	roject complete PART A: PART B. Determine Construction		
1. Is the pro with Con	oject subject to California's sta struction Activities, also know l disturbance greater than or	atewide General NPDES per vn as the State Construction	mit for Storm V
🖵 Yes; S	SWPPP required, skip questio	ns 2-4 🛛 🗹 No; next questi	on
2. Does the bing, exca	project propose construction of avation, or any other activity	or demolition activity, includ that results in ground distur	ing but not lim bance and cont
🗹 Yes; V	WPCP required, skip 3-4	🗋 No; next questi	on
3. Does the purpose of	project propose routine main of the facility? (Projects such a	enance to maintain original as pipeline/utility replacement	line and grade nt)
🖵 Yes; V	WPCP required, skip 4	🗋 No; next questi	on
4. Does the	project only include the follow	ving Permit types listed belo	w?
	ical Permit, Fire Alarm Permi pa Permit.	t, Fire Sprinkler Permit, Plu	mbing Permit,
• Individ	dual Right of Way Permits the lateral, or utility service.	t exclusively include only O	NE of the follow
the fol	of Way Permits with a project lowing activities: curb ramp, s nent, and retaining wall encro	idewalk and driveway apror	
Yes	s; no document required		
Check	one of the boxes to the right,	and continue to PART B:	
	If you checked "Yes" for qu a SWPPP is REQUIRED	estion 1, Continue to PART B	
\checkmark	If you checked "No" for que a WPCP is REQUIRED. of ground disturbance AN entire project area, a Mino	estion 1, and checked "Yes" fc If the project proposes less D has less than a 5-foot eleva r WPCP may be required ins	or question 2 or than 5,000 squ ation change ov stead. Contin

If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B **does not apply and no document is required. Continue to**

 1. More information on the City's construction BMP requirements as well as CGP requirements can be found at:

 www.sandlego.gov/stormwater/regulations/index.shtml

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 Upon request, this information is available in alternative formats for persons with disabilities.

 DS-560 (02-16)

	FORM	I	Page 2	of 4	City of San Diego • Development Services Department • Storm Water Requirements Applica	bility Checklis	st
ements	DS-560	-	PAR'	Г В: D	etermine Construction Site Priorit		
ecklist	FEBRUARY 2016	,	This p The ci	rioritiz ty rese	ation must be completed within this form, noted on the plans, and included in the SW rves the right to adjust the priority of projects both before and after construction. Con	nstruction pr	roj-
ect Number (for 24713	City Use Only):		has al Constr receiv	igned t ruction ing wat	ned an inspection frequency based on if the project has a "high threat to water qualit he local definition of "high threat to water quality" to the risk determination approach General Permit (CGP). The CGP determines risk level based on project specific sedim er risk. Additional inspection is required for projects within the Areas of Special Biol	h of the State nent risk and logical Signif	e 1 fi-
h the performa ain coverage u urces Control E	nder the State) watershed. NOTE: The construction priority does NOT change construction BMP reprojects; rather, it determines the frequency of inspections that will be conducted by a		
WPPP or WP	PCP con-	0	Comp	olete P	PART B and continued to Section 2		
		1	. 🗆	Ì	ASBS a. Projects located in the ASBS watershed.		
ater Discharges (CGP)? (Typica		2)	High Priority		
					a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Con- General Permit and not located in the ASBS watershed.	struction	
ed to, clearing, ct with storm v	grading, grub- vater runoff?				b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Cons General Permit and not located in the ASBS watershed.	truction	
		3	s. 🗖	ì	Medium Priority		
nydraulic capao	city, or original				a. Projects 1 acre or more but not subject to an ASBS or high priority designation.b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction Gener not located in the ASBS watershed.	al Permit an	d
		4	. 🗹	4	Low Priority		-
ign Permit, Me					a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, o priority designation.	r medium	
ng activities: w	ater service,		SECI	FION 2	2. Permanent Storm Water BMP Requirements.		
sively include o t holing, curb a			Additi	onal in	formation for determining the requirements is found in the <u>Storm Water Standards M</u>	<u>/Ianual</u> .	
]	Projec	ts that nent pr	etermine if Not Subject to Permanent Storm Water Requirements. are considered maintenance, or otherwise not categorized as "new development proje ojects" according to the <u>Storm Water Standards Manual</u> are not subject to Permanent		
]	lf "ye Perm	es" is c anent	checked for any number in Part C, proceed to Part F and check "Not S t Storm Water BMP Requirements".	Subject to	
1]	lf "no	o" is cl	hecked for all of the numbers in Part C continue to Part D.		
, e feet r the e to PART B.		1	. D	oes the xisting	project only include interior remodels and/or is the project entirely within an enclosed structure and does not have the potential to contact storm water?	Yes V	N
4 to Section 2.		2			project only include the construction of overhead or underground utilities without new impervious surfaces?	Tres V	No
		3	ro lo	oof or ex ots or ex	project fall under routine maintenance? Examples include, but are not limited to: sterior structure surface replacement, resurfacing or reconfiguring surface parking structure surface replacement, resurfacing or reconfiguring surface parking structure surface replacement, resurfacing or reconfiguring surface parking structure surface replacement, resurfacing or reconfiguring surface structure surface replacement, resurfacement, resurfa	Tres V	, No

City o	f San Diego				FORM
Devel	opment Šervices First Ave., MS-302		Water Poll		DS- 570
	0iego, CA 92101 446-5000	Contro	l Plan (MW	PCP)	OCTOBER 2012
MWPCP REQUIREME	NTS				
Storm Water Pollution pollution. Some const:	Vater Pollution Control Prevention Plan (SWP ruction project types, su appropriate plan is deter	PPP), for all construct the as interior plumb	ion projects that have ing, electrical and mecl	potential fo	r storm water
 disturbance) requi which requires a \$ 2. The following apprition/Removal. Exc 3. The following apprive is required 4. This MWPCP may a 5ft elevation diff NOTE: It is the ress with local and state template provided h 	t to the Construction G res a SWPPP and may WPPP) is not required roval types (see Form D reptions may be made a oval types (see Form DS : Exceptions may be made be utilized for projects erential over the entire ponsibility of the pre- regulations, includi there is for the applica o determine the appro- s.	not utilize a WPCP for the project, see be <u>S-3032</u>) require a W llowing use of this M <u>-3032</u>) require a WPC de allowing use of th that create less than project area. bject owner to ens ng San Diego Mun nts' convenience a	or MWPCP. If coveragelow: PCP: Grading, Public J WPCP for minor work. P whenever a submitta is MWPCP for minor v 5,000sf of ground distu ure that all construct <u>icipal Code Sect. 43</u> nd do not alleviate re	ge under the Right-of-Wa al for Draina work. rbance and ction activ 03. The g esponsibili	e CGP (Permi age and Demol: have less that ities comply uidance and ity on part of
	RELEVANT PROJEC				
Applicant Name: Rob Wellington Quigle		Contact Name: Sheena Casamassir		ect Number	
Contact Information	/	ensena easamassir			
Mailing Address:		City:	State:	Zip Cod	۵.
416 13th Street, Suite 3		an Diego	CA	921 921	
Telephone No.:		E-mail Addre	ess:		
(619) 232-0888		shee	na@robquigley.com		
Project Information:					
Address:		City:	State:	Zip Cod	e:
3784 & 3774 Bayside V	/alk Sa	an Diego	CA	92	109
APN: 423-584-18 &	423-584-17	Permit Appli	cation Number:		
Brief Project Description					
This project consists	s of the demolition of corner of Rockaway			truction of	a single
-	,	·			
Improvements (overall	square footage):	Estimate Project Sta	rt Date: Esti	mate Projec	t Finish Date
2,928 sq-ft		January 20	17	Septemb	er 2017
Total Lot Size in ft ² :		Estimated Amount o Differential Acreage:		mate Eleva re Project A	
2,928 sq-ft		0.07 acres	5	5.5 feet abov	ve sea level
	, , , ,		diego.gov/development-servi		
	Upon request, this information	is available in alternative fo DS-570 (10-12)	rmats tor persons with disabili	ties.	

2.	Yes; PDP exempt requirements apply Image: No; next question
	Does the project ONLY include retrofitting or redeveloping existing pa and constructed in accordance with the Green Streets guidance in the
	□ Yes; PDP exempt requirements apply ☑ No; project not exem
	RT E: Determine if Project is a Priority Development Pro jects that match one of the definitions below are subject to additional r
	rm Water Quality Management Plan (SWQMP).
If "	yes" is checked for any number in PART E, continue to P
	'no" is checked for every number in PART E, continue to l led "Standard Development Project".
1.	New Development that creates 10,000 square feet or more of in collectively over the project site. This includes commercial, indus mixed-use, and public development projects on public or private land.
2.	Redevelopment project that creates and/or replaces 5,000 squa impervious surfaces on an existing site of 10,000 square feet or surfaces. This includes commercial, industrial, residential, mixed-use development projects on public or private land.
3.	New development or redevelopment of a restaurant. Facilities t and drinks for consumption, including stationary lunch counters and r prepared foods and drinks for immediate consumption (SIC 5812), and development creates and/or replace 5,000 square feet or more of imper
4.	New development or redevelopment on a hillside. The project of 5,000 square feet or more of impervious surface (collectively over the p the development will grade on any natural slope that is twenty-five performed.
5.	New development or redevelopment of a parking lot that creat 5,000 square feet or more of impervious surface (collectively or
6.	New development or redevelopment of streets, roads, highway driveways. The project creates and/or replaces 5,000 square feet or n surface (collectively over the project site).
Pag	ge 2 of 2 City of San Diego • Development Services Department • "Min
	EP 2: IDENTIFY CONSTRUCTION STORM WATER BMPs protected construction sites have the potential to discharge sediment a
All ma	construction projects are required to reduce pollution to the maximum
Co	nagement practices (BMPs). Sections 5 of the <u>Storm Water Standar</u> nstruction Stormwater BMPs. There are five categories:
1.	nstruction Stormwater BMPs. There are five categories: Erosion control practices
	nstruction Stormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices
1.2.3.	nstruction Stormwater BMPs. There are five categories: Erosion control practices Velocity reduction
1. 2. 3. 4. 5. BM	nstruction Stormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management IPs from each of the five categories must be used together as a system
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1. 2. 3. 4. 5. BM If y Re of 1 in you	nstruction Stormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management IPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject to quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in determ
1. 2. 3. 4. 5. BM If y Re of 1 in you	nstruction Stormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management MPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject to quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in determ ar project, please check box either "Yes" or "No". Will there be soil disturbing activities that will result in exposed soil trenching.)
1. 2. 3. 4. 5. BM If y Re of 1 in	nstruction Stormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management MPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject to quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in determ ar project, please check box either "Yes" or "No". Will there be soil disturbing activities that will result in exposed soil trenching.) Reference Table items A
1. 2. 3. 4. 5. BM If y Re of 1 in you 1. 2. 3.	nstruction Štormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management MPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject to quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in determ ar project, please check box either "Yes" or "No". Will there be soil disturbing activities that will result in exposed soil trenching.) Reference Table items A Will there be asphalt paving, including patching? Reference Table 1 items C and E
1. 2. 3. 4. 5. BM If y Ree of 1 in you 1. 2. 3. 4.	nstruction Štormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management IPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject to quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in detern ar project, please check box either "Yes" or "No". Will there be soil disturbing activities that will result in exposed soil trenching.) Reference Table items A Will there be alphalt paving, including patching? Reference Table 1 items C and E Will there be solid wastes from concrete demolition and removal, wal
1. 2. 3. 4. 5. BM If y Recoff you 1. 2. 3. 4. 5.	nstruction Štormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management IPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject to quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in detern ar project, please check box either "Yes" or "No". Will there be soil disturbing activities that will result in exposed soil trenching.) Reference Table items A Will there be asphalt paving, including patching? Reference Table 1 items C and E Will there be solid wastes from concrete demolition and removal, wal Reference Table 1 items C and E Will there be solid wastes from concrete demolition and removal, wal Reference Table 1 items C and E
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1. 2. 3. 4. 5. BM If y Re of 1 in you 1. 2. 3. 4. 6.	nstruction Štormwater BMPs. There are five categories: Erosion control practices Velocity reduction Sediment control practices Offsite sediment tracking control General site and materials management IPs from each of the five categories must be used together as a system you answer "Yes" to any of the questions below, your project is subject t quired Standard Construction Stormwater BMPs). As noted in the table, required BMPs, or as many as are feasible for your project. If no BMP the box provided. The following questions are intended to aid in detern ur project, please check box either "Yes" or "No". Will there be soil disturbing activities that will result in exposed soil trenching.) Reference Table items A Will there be slurries from mortar mixing, coring, or concrete saw cut Reference Table 1 items C and E Will there be solid wastes from concrete demolition and removal, wal Reference Table 1 items C and E Will there be stockpiling (soil, compost, asphalt, concrete, solid wastes Reference Table 1 items C and E Will there be dewatering operations? Reference Table 1 items C and E Will there be dewatering operations? Reference Table 1 items C and E Will there be dewatering operations? Reference Table 1 items C and E Will there be dewatering operations? Reference Table 1 items C and E Will there be dewatering operations? Reference Table 1 items B and C Will there be temporary on-site storage of construction materials, inc and soil stabilization materials, treated lumber, rebar, and plated me

City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist Page 3 of 4

10. Will Portable Sanitary Services ("Porta-potty") be used on the site? **Reference Table 1 item E**

Attachment 9

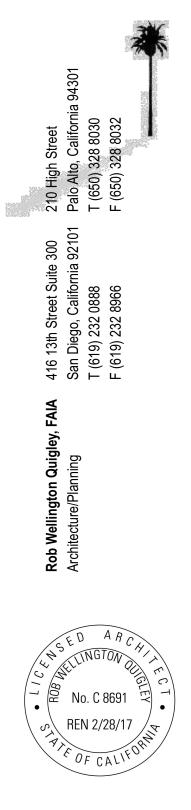
	DP Exempt projects are required to implement site design and source control	BMPs.	
	"yes" was checked for any questions in Part D, continue to Part F and check the definition of the second states the second states and states an	he box]	a-
	"no" was checked for all questions in Part D, continue to Part E.		
	Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:		
	• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or oth non-erodible permeable areas? Or;	her	
	 Are designed and constructed to be hydraulically disconnected from paved streets and roads Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? 	,	
	□ Yes; PDP exempt requirements apply		
2.	Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roa and constructed in accordance with the Green Streets guidance in the <u>City's Storm Water Stan</u>	ds design dards Ma	ed anual?
	☐ Yes; PDP exempt requirements apply	ply	
PA	ART E: Determine if Project is a Priority Development Project (PDP).		_
	ojects that match one of the definitions below are subject to additional requirements including p	reparatio	n of a
Sto	orm Water Quality Management Plan (SWQMP).		
If	"yes" is checked for any number in PART E, continue to PART F.		
If ⁽ be	"no" is checked for every number in PART E, continue to PART F and check tl led "Standard Development Project".	ne box l	a-
1.	New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.	The Yes	M No
	collectively over the project site. This includes commercial, industrial, residential,	Yes	
2.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. 	The Yes	⊠ No
2.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands sellin prepared foods and drinks for immediate consumption (SIC 5812), and where the land 	Y es	✓ No
2. 3. 4.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface. 	Yes Ing Yes	✓ No ✓ No ✓ No
 2. 3. 4. 	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands sellin prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). 	Yes Ig Yes Yes	
2. 3. 4. 5.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands sellin prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious 	g Yes Yes Yes	
2. 3. 4. 5.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands sellin prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious 	g Yes Yes Yes	
2. 3. 4. 5. 6.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands sellin prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of greater. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious 	□ Yes □ Yes □ Yes □ Yes	б №
2. 3. 5. 6.	 collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands sellin prepared foods and drinks for replace 5,000 square feet or more of impervious surface. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). 	□ Yes □ Yes □ Yes □ Yes	 ✓ № ✓ № ✓ № ✓ № ✓ № ✓ №

rder to prevent potent	ial disch	arges.
ble 1 on the following ise select at least the m elected, an explanation ng construction BMP r	inimum n must l	number be given
as? (This includes min	or gradi	ng and
	☑ Yes	l No
	The Yes	☑ No
?	🗹 Yes	D No
nstruction, or form wo	rk? ☑ Yes	D No
over 24 hours?	☑ Yes	D No
	U Yes	No No
ng mortar mix, raw la èncing materials?	ndscapi I Yes	
	🗹 Yes	D No
?	Yes	I No
	Yes	D No

7.	New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).	The Yes	⊠ _{No}
8.	New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	The Yes	
9.	New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.	t I Yes	M No
10	Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infreque: vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built		1
	with pervious surfaces of if they sheet flow to surrounding pervious surfaces.	The Yes	☑ No
	with pervious surfaces of if they sheet flow to surrounding pervious surfaces. ART F: Select the appropriate category based on the outcomes of PART C throu The project is NOT SUBJECT TO STORM WATER REQUIREMENTS .		
L.	ART F: Select the appropriate category based on the outcomes of PART C throu		RT E.
L. 2.	ART F: Select the appropriate category based on the outcomes of PART C throu The project is NOT SUBJECT TO STORM WATER REQUIREMENTS. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control		RT E.
L. 2. 3.	ART F: Select the appropriate category based on the outcomes of PART C throu The project is NOT SUBJECT TO STORM WATER REQUIREMENTS. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance. The project is PDP EXEMPT . Site design and source control BMP requirements apply.	igh PA	RT E.
P <i>A</i> 1. 2. 3.	ART F: Select the appropriate category based on the outcomes of PART C throu The project is NOT SUBJECT TO STORM WATER REQUIREMENTS. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance. The project is PDP EXEMPT . Site design and source control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance. The project is a PRIORITY DEVELOPMENT PROJECT . Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual	igh PA	RT E.

12/16/16

Date:



	UIRED STANDARD	BLE 1 CONSTRUCTION ST m Water Quality Hand	
Minimum Required Best Minimum Required Best Management Practices	CALTRANS Stormwater Handbook Detail	Check at least one BMP from each section below	If your project requires no BMP from any of the sections below, please explain within space provided
A. Select Erosion Control Method		-	
Vegetation Stabilization Planting (Summer)	SS-2, SS-4	2	
Hydraulic Stabilization Hydroseeding (Summer)	SS-4		
Bonded Fiber Matrix or Stabilized Fiber Matrix (Winter)	SS-3		
Physical Stabilization Erosion Control Blanket (Winter)	SS-7		
Lot Perimeter Protection Detail	SC-2		
Mulch, Straw, Woodchips, Soil Application	SS-6, SS-8	Z	
B. If Runoff or Dewatering Operation	on is concentrated, v	elocity must be cont	rolled using an energy dissipater
Energy Dissipater Outlet Protection	SS-10		No concentrated flows are anticipated
C. Select Sediment Control method	for all disturbed are	eas (Chose at least on	e)
Silt Fence	SC-1		
Fiber Rolls (Straw Wattles)	SC-5		
Gravel Bags	SC-6, SC-8	2	
Dewatering Filtration	NS-2		
Storm Drain Inlet Protection	SC-10		
D. Select method for preventing offs	site tracking of sedin	ment (choose at least	one)
Stabilized Construction Entrance	TC-1		
Entrance/Exit Tire Wash	TC-3		
Street Sweeping & Vacuuming	SC-7		
E. Select the General Site Managem	ent BMPs for each v	vaste that will be on	site
Material Delivery & Storage	WM-1		
Spill Prevention & Control	WM-4	V	
Concrete Waste Management	WM-8		
Solid Waste Management	WM-5	V	
Sanitary Waste Management	WM-9	V	
Hazardous Waste Management	WM-6		
storm water, from construction and land to minimize the potentially negative im further agree to install, monitor, maintai	y of San Diego has ado development activities pacts of this project's in, or revise the selecte	pted minimum requirents. I certify that the BMF construction and land and BMPs to ensure their	<i>will be issued.</i> nents for managing urban runoff, includin 's selected on this form will be implemente development activities on water quality. effectiveness. I also understand that non 'ity, including fines, cease and desist orders

J-17704-A Bayside Walk 09/12/16

09/12/16							
		OPE	POST-CONSTRUCTION PERMANENT B RATION & MAINTENANCE PROCEDURE I				
		O&M RESPONSIBLE PARTY DESIGNEE:					
		STORMWATER MANAGEMENT	AND DISCHARGE CONTROL MAINTENAN	CE AGREEMENT: NOT APPLICABLE			
BMP	DESCRIPTION	INSPECTION FREQUENCY ²	MAINTENANCE FREQUENCY	MAINTENANCE METHOD			
SITE DESIGN	LANDSCAPED AREAS	MONTHLY (NOTE: INSPECTOR SHALL CHECK FOR THE FOLLOWING MAINTENANCE INDICATORS: EROSION IN THE FORM OF RILLS OR GULLIES, PONDING WATER, BARE AREAS, ANIMAL BURROWS, HOLES, MOUNDS, AND TRASH)	2. ON OR BEFORE SEPTEMBER 30TH.	1. FILL AND COMPACT AREAS OF RUTS, RILLS, OR GULLIES; 2. RE-SEED AND/OR PLANT SLOPES AND AREAS OF EXPOSED SOILS; AND 3. ROUTINE MOWING AND TRIMMING AND TRASH REMOVAL.			
SOURCE CONTROL	EFFECTIVE IRRIGATION SYSTEM	MONTHLY	WHEN BROKEN SPRINKLER HEADS, RAIN SHUTOFF DEVICES, AND FLOW REDUCERS ARE OBSERVED; OR RUNNING SPRINKLERS IN RAIN ARE OBSERVED	REPAIR OR REPLACE THE BROKEN AND/OR MALFUNCTIONING PARTS OF IRRIGATION SYSTEM.			



1/23/17 C-1.1

SPECIAL NOTES

1. THE SITE SHALL BE SECURED DAILY AFTER GRADING WITH GEOTEXTILES, MATS, AND FIBER ROLLS; ONL' AS MUCH GRADING AS CAN BE SECURED DAILY SHALL BE PERMITTED. CONCRETE, SOLID WASTE, SANITARY WASTE AND HAZARDOUS WASTE MANAGEMENT BMP'S SHALL BE USED. IN ADDITION, ALL ON-SITE TEMPORARY AND PERMANENT RUNOFF AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION TO MINIMIZE SOIL LOSS FROM THE CONSTRUCTION SITE.

2. IF GRADING IS TO OCCUR DURING THE RAINY SEASON (NOVEMBER 15TH TO MARCH 31ST) OF ANY YEAR, THE APPLICANT SHALL SUBMIT TO THE EXECUTIVE DIRECTOR FOR REVIEW AND WRITTEN APPROVAL, A PROGRAM FOR MONITORING THE CONDITION OF EROSION CONTROL DEVICES AND THE EFFECTIVENESS OF THE EROSION CONTROL PROGRAM. THE MONITORING PROGRAM SHALL INCLUDE, AT A MINIMUM, MONTHLY REPORTS BEGINNING DECEMBER 1ST OF ANY YEAR CONTINUING TO MARCH 31ST WHICH SHALL BE SUBMITTED TO THE EXECUTIVE DIRECTOR FOR REVIEW AND WRITTEN APPROVAL AT THE END OF EACH MONTH. THE REPORTS SHALL BE COMPLETED BY A LICENSED ENGINEER AND SHALL DESCRIBE THE STATUS OF GRADING OPERATIONS AND THE CONDITION OF EROSION CONTROL DEVICES. MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE APPLICANT INCLUDING REPLACEMENT OF ANY DEVICES CONTROL MEASURES IS THE RESPONSIBILITY OF THE APPLICANT, INCLUDING REPLACEMENT OF ANY DEVICES ALTERED OR DISLODGED BY STORMS.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.

2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS"MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMPs.

2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.

3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.

4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.

5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.

6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.

7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.

9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.

10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.

12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

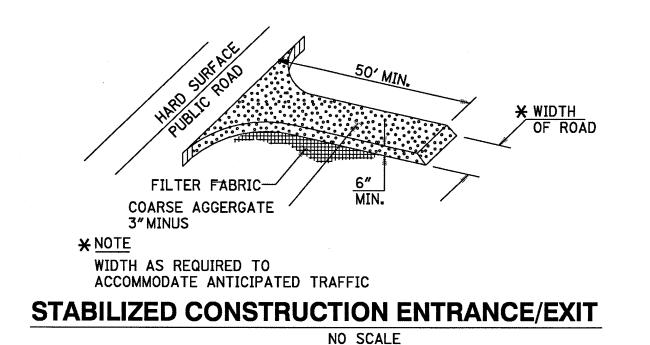
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.

14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

WPCP NOTE

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL STORM DRAIN INLET PROTECTION AT ALL AREA DRAINS WITHIN ALL AREAS THAT RECEIVE STORM WATER RUNOFF FROM THE PROJECT. STORM DRAIN INLET PROTECTION MUST BE INSTALLED AND MAINTAINED IN ORDER TO PREVENT SEDIMENT AND OTHER CONSTRUCTION- RELATED POLLUTANTS FROM THE PROJECT MIGRATING INTO THE STORM DRAIN SYSTEM THAT DISCHARGES INTO MISSION BAY.



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5620 FRIARS ROAD

(FAX)6 9.29 .4 65

6 9.29 .0707

SAN DIEGO, CA 92 0

6"MINIMUM THICK **3" MINUS COARSE AGGREGATE** Indexed and a second NATIVE -

8% TO 10%

STABILIZED CONSTRUCTION ENTRANCE/EXIT

NO SCALE

STAKE -

GRAVEL BAG ROW	SPACING TA	BLE
STREET GRADE	INTERVAL	Х
 LESS THAN 2%	200′	75′
2% TO 4%	75′	40′
4% TO 6%	40′	20'
 6% TO 8%	25'	15'



NGINEERING COMPAN

EROSION CONTROL PLANS

LEGEND

CONSTRUCTION SITE PERIMETER SOIL BINDER (EC-5), BONDED FIBER MATRIX (BFM) (EC-3) OR ROLLED ERPSION CONTROL BLANKET (EC-7) SILT FENCE (SE-1)

DIRECTION OF FLOW

EXISTING DIRECTION OF FLOW

GRAVEL BAG BERM (SE-6)

STABILIZED CONSTRUCTION ENTRANCE/EXIT OR SHAKER PLATES. (TC-1)

-SILT FABRIC

6"X6" TRENCH WITH

TAMPED BACKFILL

2 BAGS

HIGH

75′

40'

15'

10'

TYPICAL SECTION

NO SCALE

GRAVEL BAG BERM

NO SCALE

TABLE A

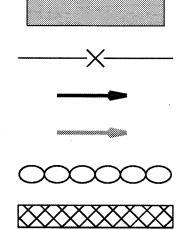
25′

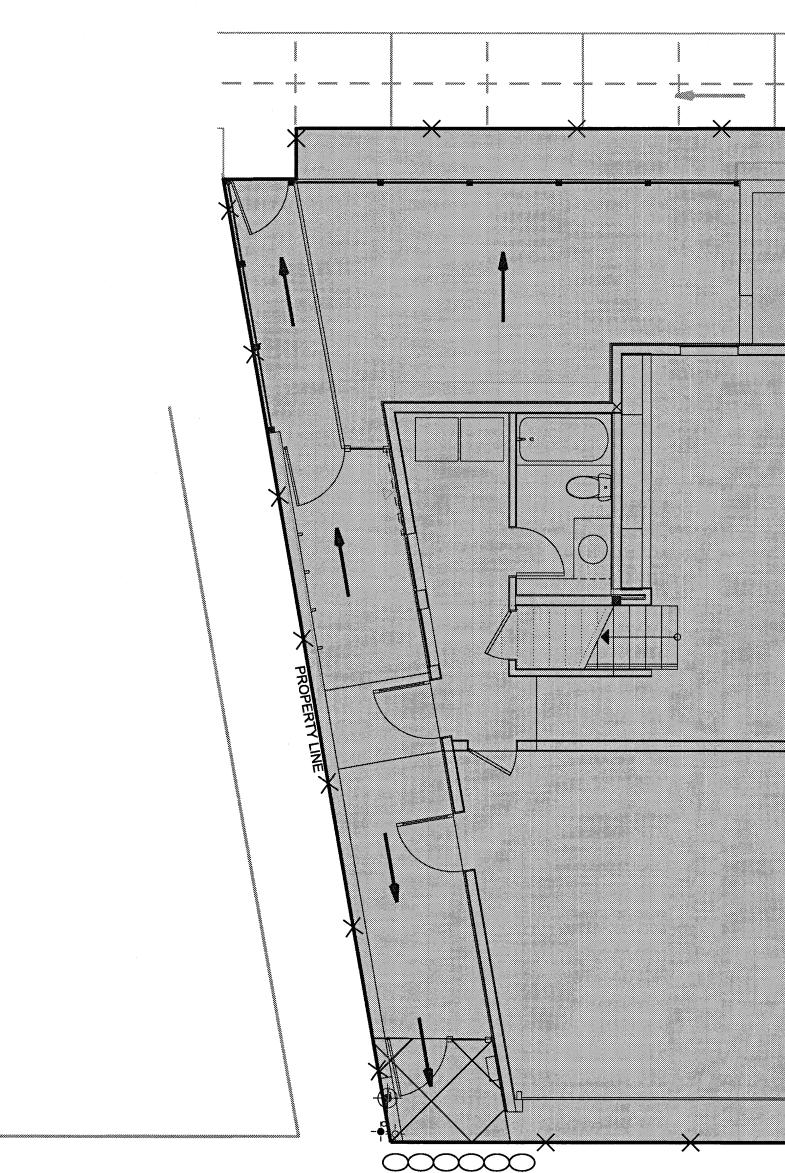
25'

FOR SILT FENCE

TOE OF SLOPE

2' TO 5'





ALLEY

		IS I FRE	EL S. ATT			
PLAN PREPAR RICK ENGINEERING COMPAN	NY	A * REG	No.49865			
5620 FRIARS ROAD, SAN E PH. (619) 291-0707	DEIGO,CA 92110	TI	OF CALIFORN			
	DEIGO, CA 92110	a state	OF CALIFORNI).	REVISION	
PH. (619) 291-0707	Л	8-17	OF CALIFORNI).	REVISION	



DRAWN BY

CHECKED BY

F.V

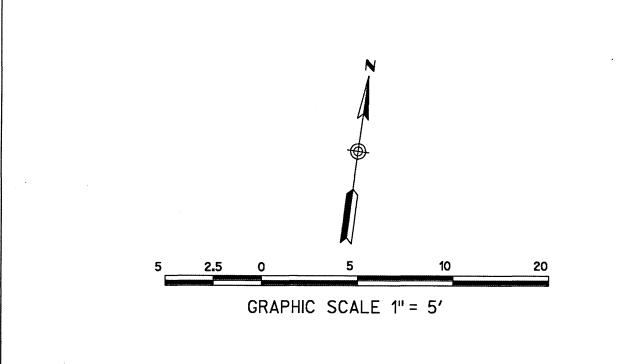
R.R

LEGEND

CONCRETE SLAB/FOOTING	
CONCRETE DECK	
LANDSCAPING/ TURF	
BRICKS ON PERVIOUS SUBBASE	
DECOMPOSED GRANITE	
DIRECTION OF FLOW	•••••••••••••••••••••••••••••••••••••••
EXISTING DIRECTION OF FLOW	

NOTE: OFF-SITE DRAINAGE TO MAINTAIN EXISTING DRAINAGE PATTERNS. SITE SHEET DRAINS TO THE BACK ALLEY AND INTO AN EXISTING MS4 SYSTEM

•



5620 FRIARS ROAD SAN DIEGO, CA 92 0 6 9.29 .0707 (FAX)6 9.29 .4 65

R

San Diego

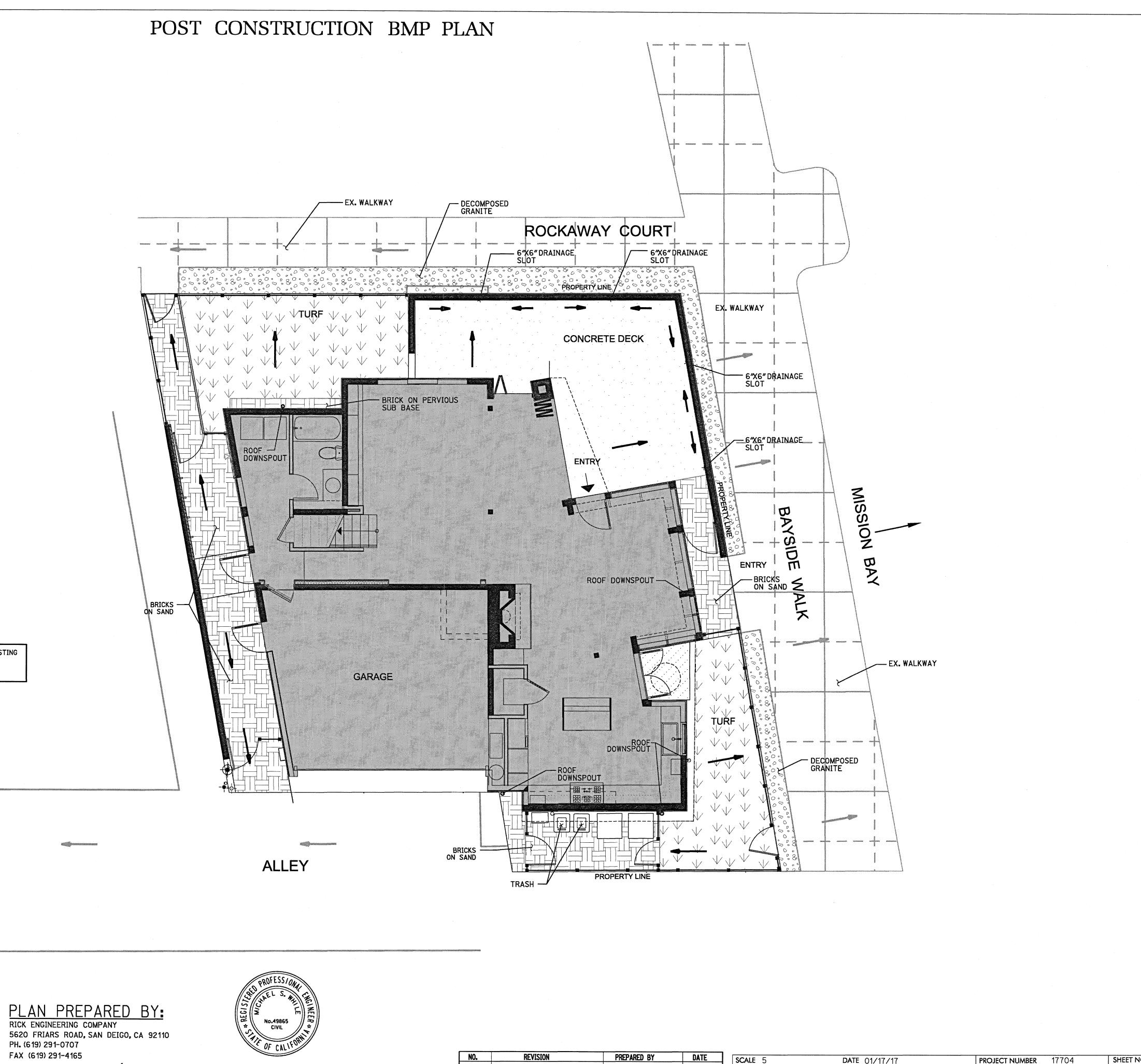
 \cap

ENGINEERING COMPANY

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MICHAEL S. WHILE /*-18-17* DATE



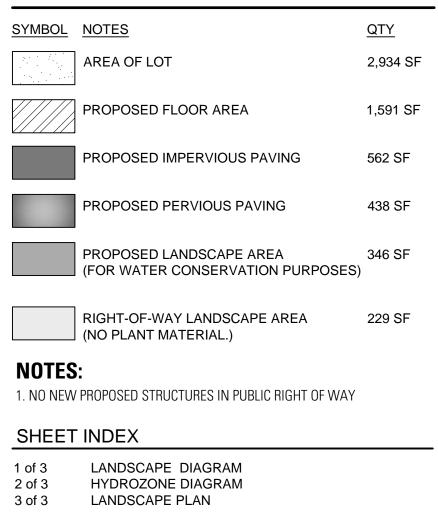
<u>NO.</u>	REVISION	PREPARED BY	DATE	SCALE 5	DATE 01/17/17	PROJECT NUMBER 17	704 SHEET NO
				ENGINEER OF WORK	M.S.W.		
· · ·				DESIGNED BY	F.V		04.7
				DRAWN BY	F.V		C1.3
	······			CHECKED BY	R.R		

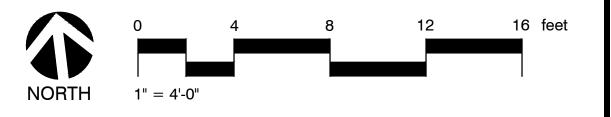


Attachment 9



SITE DEVELOPMENT

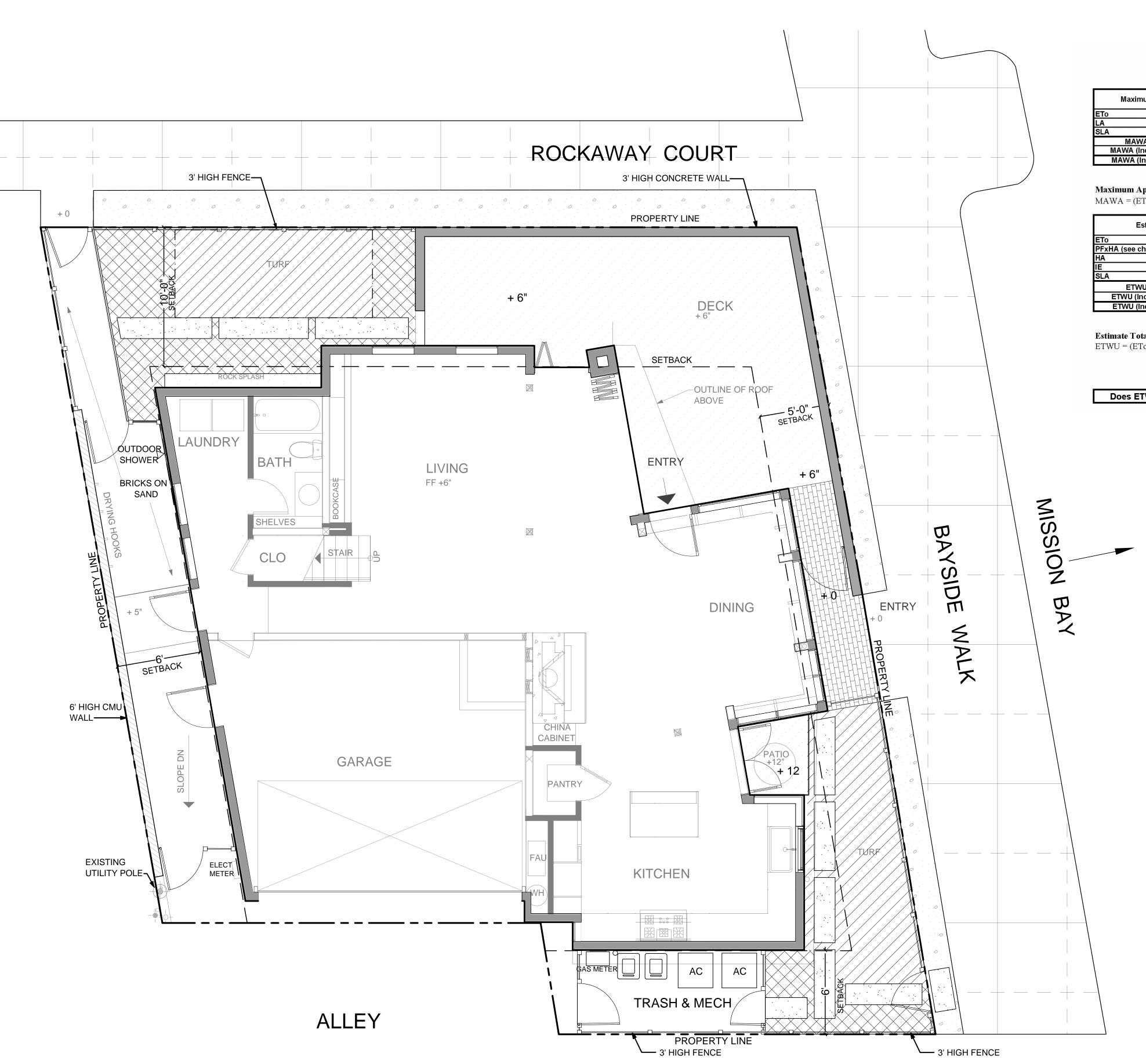






PROJECT # 15.104 RAWN GHLA SCALE 1" = 4'-0"

L 1.1



MAWA Compliance Calculation

um Applied Water A	llowance
	41
	346
	0
A (Gallons)	6,157
iches per sq.ft.)	28.5
nches per DAY)	0.08

Maximum Applied Water Allowance Equation: MAWA = (ETo) (0.62) [(0.7 x LA) + (0.3 x SLA)]

stimated To			
		41	
nart)	14	4.8	
	3	46	
	0.71		
		0	
U (Gallons))	5,184	
ches per s		24.0	
ches per D	DAY)	0.07	

Estimate Total Water Use Equation: ETWU = (ETo x 0.62) [(PF x HA)/IE) +SLA]

	DEFINITIONS					
Eto	Reference ET					
LA	Landscaped area					
SLA	Special landscaped area WITHIN the landscaped area					
P.F.	Plant water use factor- WUCLOS					
H.A.	Hydro zone area = Irrigated area					
I.E.	Irrigation efficiency at least 0.71.					

H.Z.	Туре	P.F.	H.A.	Weighted P.F.
1	LOW	0.3	141	42.3
2	MEDIUM	0.5	205	102.5
				(
				(
				(
				(
				(
	L		346	144.8

Yes - ETWU Does Not Exceed Maximum Allowed Does ETWU Qualify?

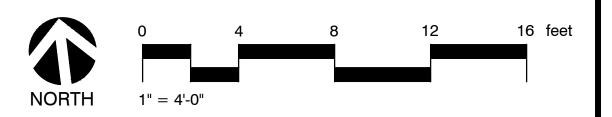
WATER CONSERVATION

- A. LANDSCAPING AND IRRIGATION.
- 1. NO MORE THAN 15 PERCENT OF LOT AREA OF A BUILDING SITE SHALL BE USED FOR THE INSTALLATION AND MAINTENANCE OF GRASSES OR TURF. GRASS AND TURF AREAS SHALL BE SEPARATED FROM OTHER VEGETATION SO THAT THE TURF CAN BE IRRIGATED SEPARATELY.
- 2. ONLY LOW VOLUME DRIP OR MICRO IRRIGATION SYSTEMS SHALL BE USED TO IRRIGATE NON-TURF, OUTSIDE LANDSCAPING AREAS.
- B. WATER SOFTENERS SHOULD BE DEMAND INITIATED REGENERATION TYPE OR CONTROLLED MANUALLY.
- C. REPAIR ALL WATER LEAKS PROMPTLY.
- D. LANDSCAPING:
- 1. IRRIGATE ONLY BETWEEN 4:00 P.M. AND 9:00 A.M. EXCEPT FOR DRIP OR MICRO IRRIGATION SYSTEMS.
- 2. CONSIDER RETROFITTING NON-TURF IRRIGATION WITH LOW VOLUME DRIP OR MICRO IRRIGATION SYSTEMS.
- 3. ADJUST AUTOMATIC IRRIGATION SYSTEMS BASED ON THE SEASON AND WEATHER CONDITIONS.
- 4. CONVERT TURF AREAS TO DROUGHT TOLERANT VARIETIES OR CHANGE PLANTINGS TO DROUGHT TOLERANT VARIETIES.
- 5. CONTROL IRRIGATION TO AVOID RUNOFF TO ADJACENT PROPERTIES OR PUBLIC OR PRIVATE ROADWAYS.
- E. USE BROOMS TO CLEAN OUTDOOR PAVED AREAS AND DO NOT WATER WASH EXCEPT TO ALLEVIATE IMMEDIATE SAFETY OR SANITATION HAZARDS.
- F. WASH CARS ONLY USING HAND HELD HOSES WITH POSITIVE SHUT OFF NOZZLES.
- G. ONLY OPERATE ORNAMENTAL FOUNTAINS THAT RECIRCULATE WATER.

HYDROZONE SCHEDULE

SYMBOL NOTES	<u>QTY</u>
HYDROZONE - LOW WATER USE PLANT FACTOR (PF): 0.2-0.3, DRIP IRRIGATION	141 SF
<u></u>	

HYDROZONE - MODERATE WATER USE 205 SF PLANT FACTOR (PF): 0.4-0.6 , DRIP IRRIGATION



3153 THIELKOE 993 S A N D I E G C CALIFORNIA • 9210 TEL: 619-283-5083 FAX: 619-283-5084 greg@greghebert.com www.greghebert.com RESIDENCE Diego, CA 92109 S PHILLIP 3774 Bayside Walk, Sa DIAGRAM HYDROZON

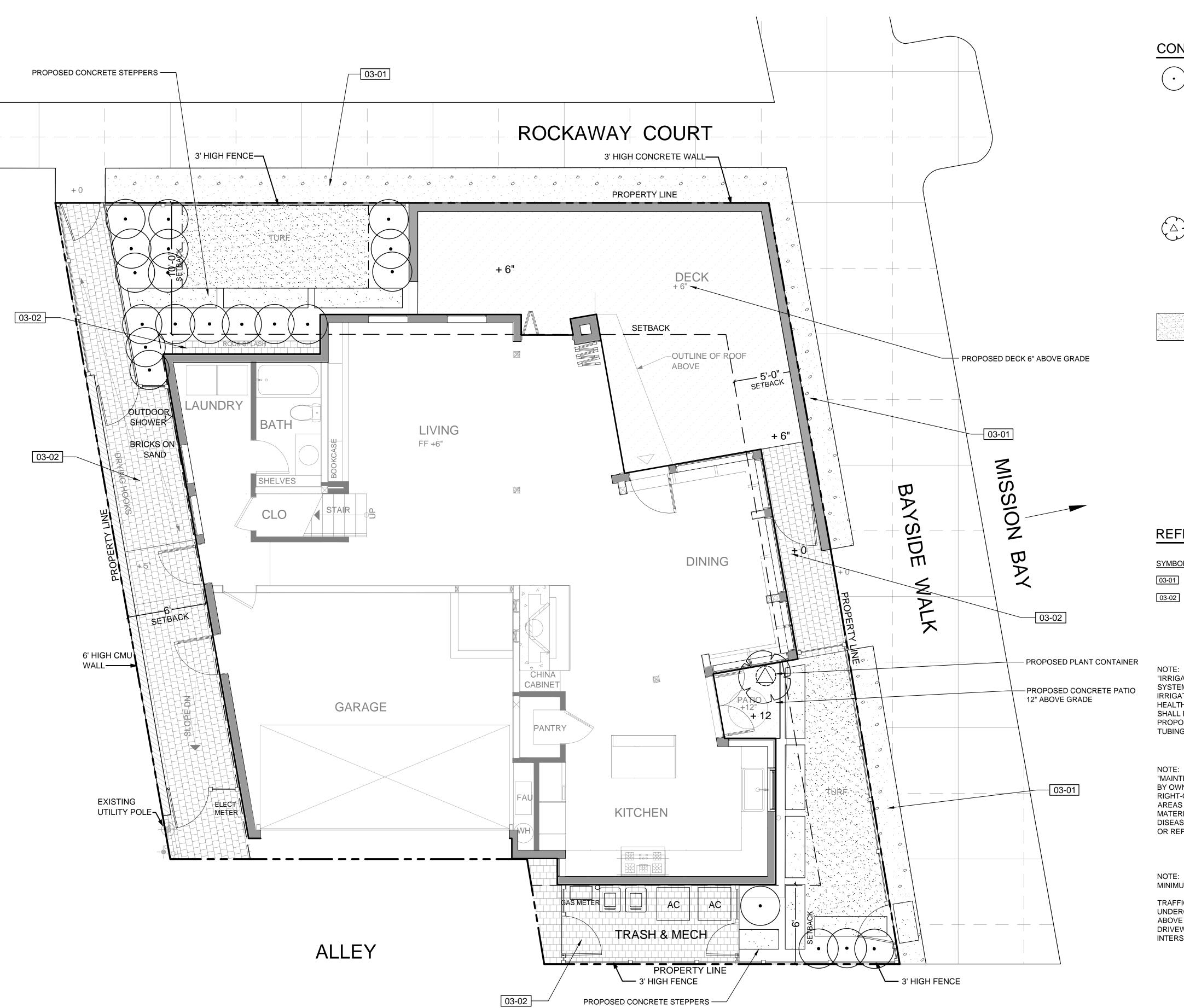
PLOT DATE: 11/16/16 ORIGINAL DATE: 05/16/16

GREG HEBER?

L A N D S C A F A R C H I T E C CA LICENSE 393

PROJECT # 15.104 RAWN GHLA CALE 1" = 4'-0"

L 1.2





CONCEPT PLANT SCHEDULE

\frown		
\cdot	<u>MEDIUM SHRUBS (50% 5 GAL & 50% 15 GAL)</u> PLANT MATERIAL SHALL BE MAINTAINED AT A HEIGHT OF THREE FEET OR LOWER.	21
	EUONYMUS JAPONICUS `MICROPHYLLUS VARIEGATUS` / VARIEGATED BOXLEAF EUNONYMUS 1`-2` H X 6"-12" W LANTANA X `NEW GOLD` / NEW GOLD LANTANA 2` H X 6` W NANDINA DOMESTICA `WOODS DWARF` / WOODS DWARF HEAVENLY BAMBOO 1-1/2` H X 1-1/2` W PITTOSPORUM CRASSIFOLIUM `COMPACTUM` / DWARF KARO 2`-3` H X 4`-6` W POLYGALA FRUTICOSA `PETITE BUTTERFLY` / SWEET PEA SHRUB 2`-3` H X W RHAPHIOLEPIS INDICA `BALLERINA` / INDIAN HAWTHORN 2`-3` H X W	
	PLANT IN PLANTER AT KITCHEN PATIO (100% 15 GAL) PLANT MATERIAL SHALL BE MAINTAINED AT A HEIGHT OF THREE FEET OR LOWER. BOUGAINVILLEA X `ROSENKA` / BOUGAINVILLEA 2`-4` H X 4`-6` W CITRUS X LIMON `DWARF EUREKA` / DWARF EUREKA LEMON 8`-10` HIGH ZAMIA FURFURACEA / CARDBOARD PALM 2`-3` H X W	1
	GROUNDCOVER PLANT MATERIAL SHALL BE MAINTAINED AT A HEIGHT OF THREE FEET OR LOWER. DYMONDIA MARGARETAE / DYMONDIA 6"HIGH PASPALUM VAGINATUM `ALOHA` / SEASHORE PASPALUM 1"HIGH ZOYSIA TENUIFOLIA / KOREAN GRASS 2"HIGH	90 SF

REFERENCE NOTES SCHEDULE

<u>/IBOL</u>	03 PAVING DESCRIPTION	<u>QTY</u>
01	PROPOSED DECOMPOSED GRANITE	229 SF
02	PROPOSED BRICK ON PERVIOUS SUBBASE.	438 SF

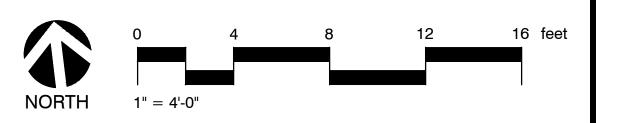
"IRRIGATION: AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED." PROPOSED IRRIGATION TO BE MICRO-SPRAY HEADS FOR TURF, AND DRIP TUBING FOR PLANTING AREAS.

"MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT."

MINIMUM TREE SEPARATION DISTANCE:

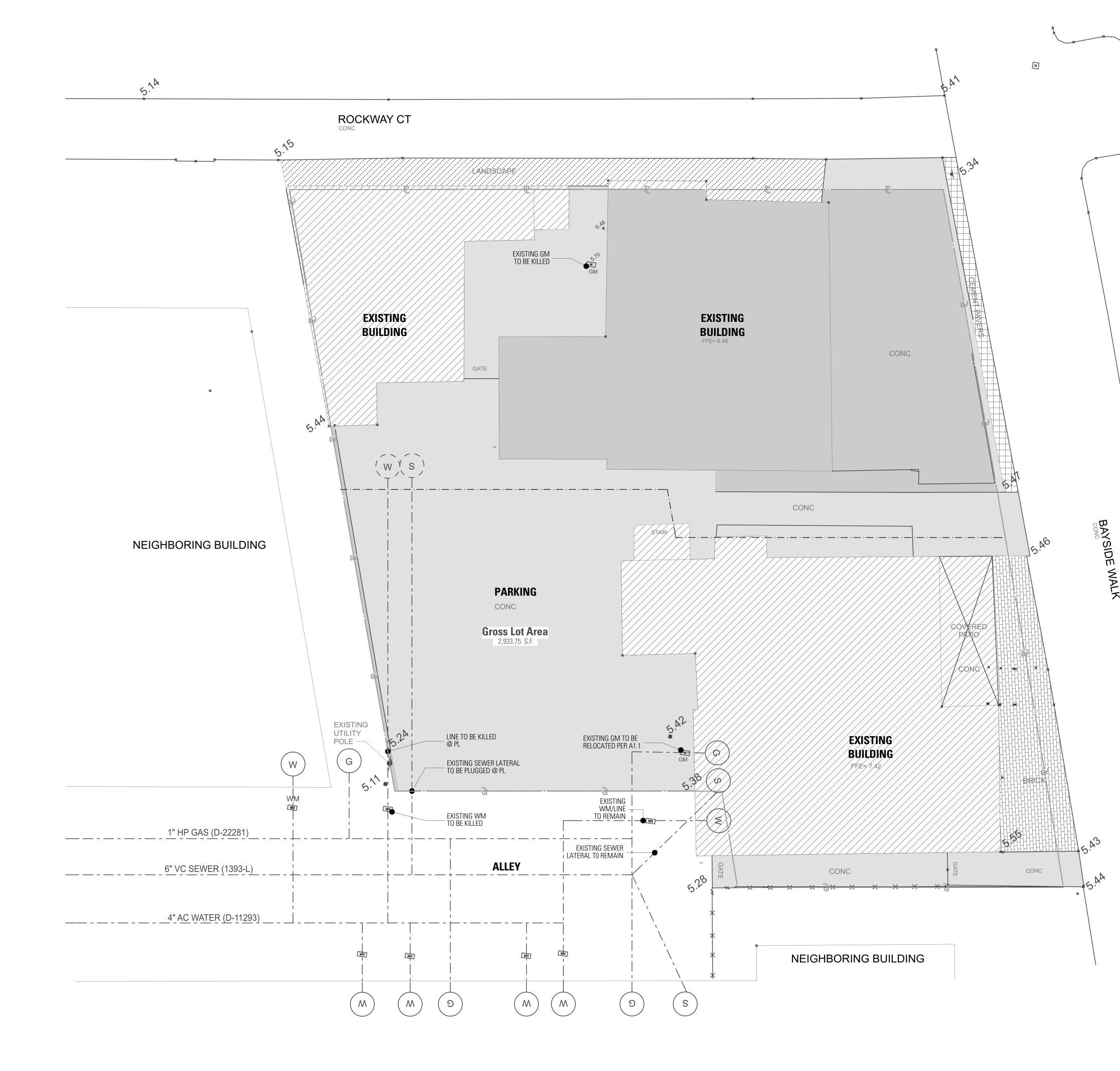
TRAFFIC SIGNALS / STOP SIGNS - 20 FEET UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER) ABOVE GROUND UTILITY STRUCTURES - 10 FEET

DRIVEWAY (ENTRIES) - 10 FEET INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



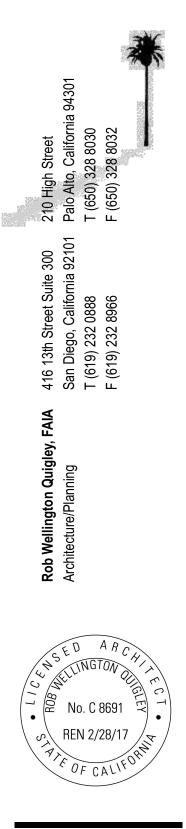
PROJECT # 15.104 RAWN GHLA CALE 1" = 4'-0"

L 1.3



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DEMOLITION NOTES:

1. REMOVE ALL EXISTING BUILDINGS & STRUCTURES, INCLUDING ALL ROOF MATERIALS, ALL INTERIOR WALLS, FOOTINGS, CONCRETE SLABS, INTERIOR FINISHES AND UTILITIES.

2. DISCONNECT EXISTING SITE UTILITIES - GAS, ELECTRIC & WATER. KILL UNUSED LINES AS NOTED AND RELOCATE OTHERS AS REQUIRED FOR PROPOSED RESIDENCE.

3. REMOVE ALL SITE PAVING, SITE WALLS AND FENCING.

4. REMOVE ALL EXISTING LANDSCAPING.

5. ANY ENCROACHMENTS OVER EXISTING EASEMENTS/PUBLIC RIGHT OF WAY ARE NOT ALLOWED; ALL EXISTING ELEMENTS THAT ENCROACH WILL BE REMOVED AND NONE ARE PROPOSED.

IMPERVIOUS: 2,941.26 SQFT

PERVIOUS: 254.44 SQFT

Z

ALK



DEMOLITION LEGEND

CONCRETE REMOVAL

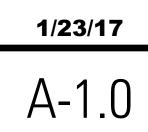


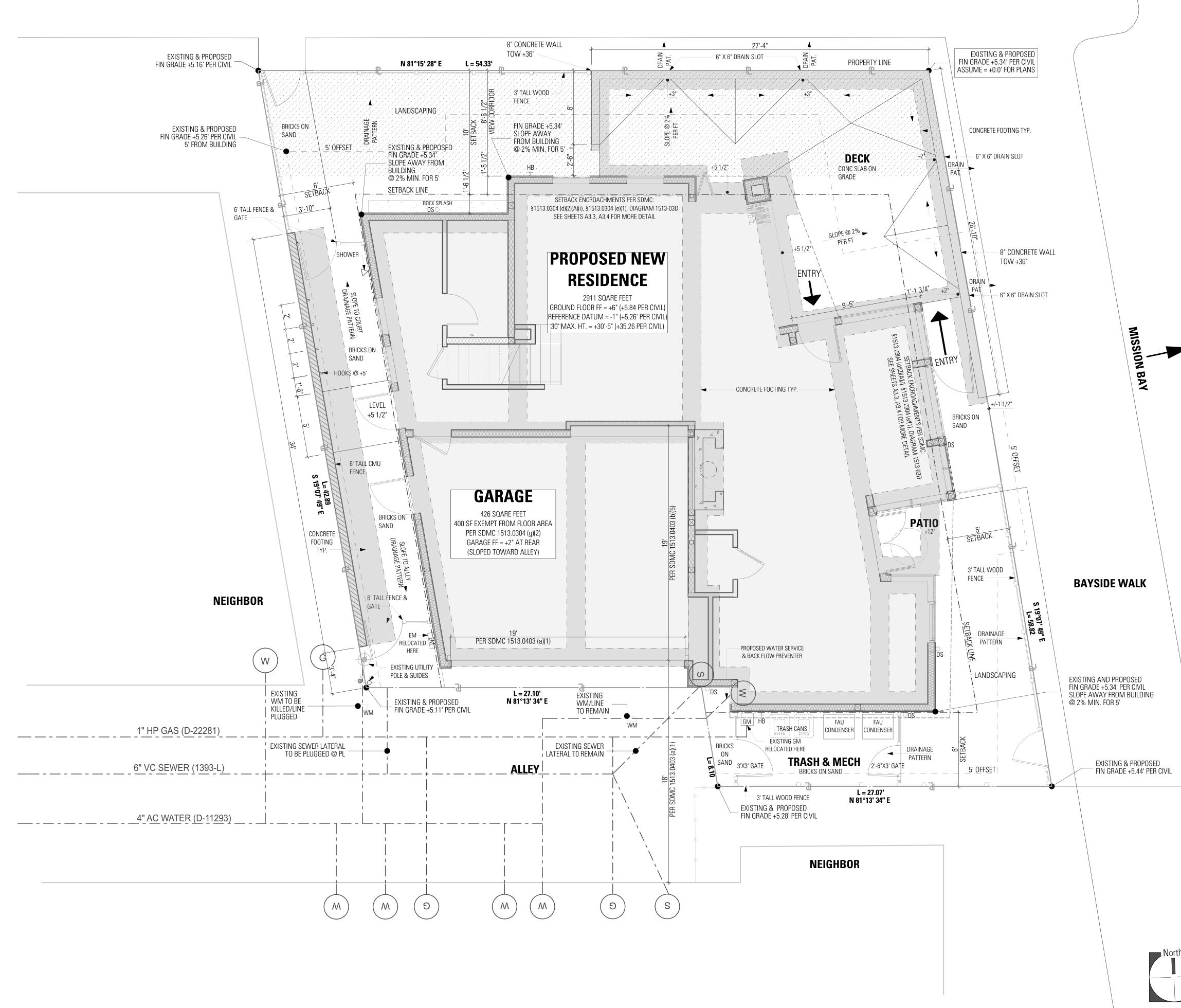
BRICK REMOVAL

STRUCTURE REMOVAL

LANDSCAPE REMOVAL

Demolition Plan





ROCKAWAY COURT

0 1' 2' 4' SCALE: 1/4"=1'-0"

DISTURBANCE/IMPERVIOUS AREA TABLE:

TOTAL DISTURBANCE AREA	3,195.7 S.F.
EXISTING IMPERVIOUS AREA (TO BE DEMOLISHED SEE A1.0)	2,941.26 S.F.
PROPOSED IMPERVIOUS AREA (SEE SITE DEVELOPMENT NOTES L1.1)	2,153 S.F.
TOTAL IMPERVIOUS AREA (SAME AS PROPOSED)	2,153 S.F.

GRADING:

ON SITE EARTH MOVEMENT WILL BE MINIMAL WITH EXISTING AND PROPOSED GRADES BEING THE SAME IN MOST CASES. THE CUT REQUIRED FOR THE PROPOSED RESIDENCE IS ONLY FOR THE HATCHED FOOTINGS SHOWN ON THE SITE PLAN. AS MUCH OF THE CUT SOIL AS POSSIBLE WILL BE USED WHEN CREATING THE PAD AND SLOPED WALKS ON THE EAST AND WEST YARDS TO MINIMIZE EXPORT.

GRADING DATA TABLE:

CUT	CUT DEPTH	FILL	FILL DEPTH	IMPORT	EXPORT
52 CU. YDS.	24"	11 CU. YDS.	4"	O CU. YDS.	41 CU. YDS.
		(Al	l grading in table is	underneath bui	Iding footprint,

UTILITIES:

GENERAL:

KILL UNUSED EXISTING AND RELOCATE OTHER UTILITIES AS SHOWN/ NOTED (GAS/ELECTRIC). THE UTILITIES SHOWN HEREIN WERE ESTABLISHED BY REFERENCING RECORDED AS-BUILT DRAWINGS AND FIELD SHOTS. POT HOLING SHALL BE DONE PRIOR TO CONSTRUCTION.

IF NECESSARY EXISTING TO REMAIN SEWER LATERAL/CONNECTION TO PROPOSED NEW RESIDENCE SHOULD BE MODIFIED PER CITY STANDARD NOTES BELOW.

SEWER NOTES:

1. Each lot shall receive a 4-inch sewer house connection, unless otherwise indicated on the plans or special specifications. Location to be determined in the field by the engineer of work. The "As- Build" locations shall be shown on these plans and the sewer lateral table completed prior to acceptance of the water and sewer facilities.

2. Locate sewer house connections out of driveways and a minimum ten feet from trees. The sewer house connections shall be a minimum of 5 feet downhill from the water service.

3. All horizontal and vertical separation dimensions shown between water and sewer mains shall be measured from the nearest edge of each pipeline per State of California, Department of Health Services, Basic Separation Standards.

4. All proposed public sewer facility installations shall be constructed with materials currently listed in the most current edition of the City of San Diego Water and Municipal Sewer Approved Materials List as referenced in the Standard Specifications for Public Works Construction.

5. No Trees or Shrubs greater than 3 feet in height at maturity are allowed within 10 feet horizontally of any sewer main or sewer lateral.

IMPROVEMENTS

STANDARD DWG NO.

4" PVC Sewer Lateral with Cleanout on City side of Property Line

Trench Resurfacing

Schedule J Paving

surfaced streets. Use SDG-108 for PCC (concrete) surfaced streets. SDG-113 (these designs shall be used in public right-of-way, or private property in the areas where public easements are located, including public access easements)

SDS-100, SDS-102, SDS-105, SDS-108, S-4C

Use SDG-107 for Asphalt Concrete (AC)

DRAINAGE LEGEND

ODS DRAINAGE PATTERN DOWNSPOUT FROM ROOF ABOVE TO GROUND BELOW DEPICTION OF FLOW PATTERN FOR DRAINAGE

HATCH LEGEND

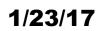
VIEW CORRIDOR EASEMENT IN ACCORDANCE WITH SDMC 132.0403

AREA OF STRUCTURAL FOOTINGS

AREA OF PROPOSED RESIDENCE



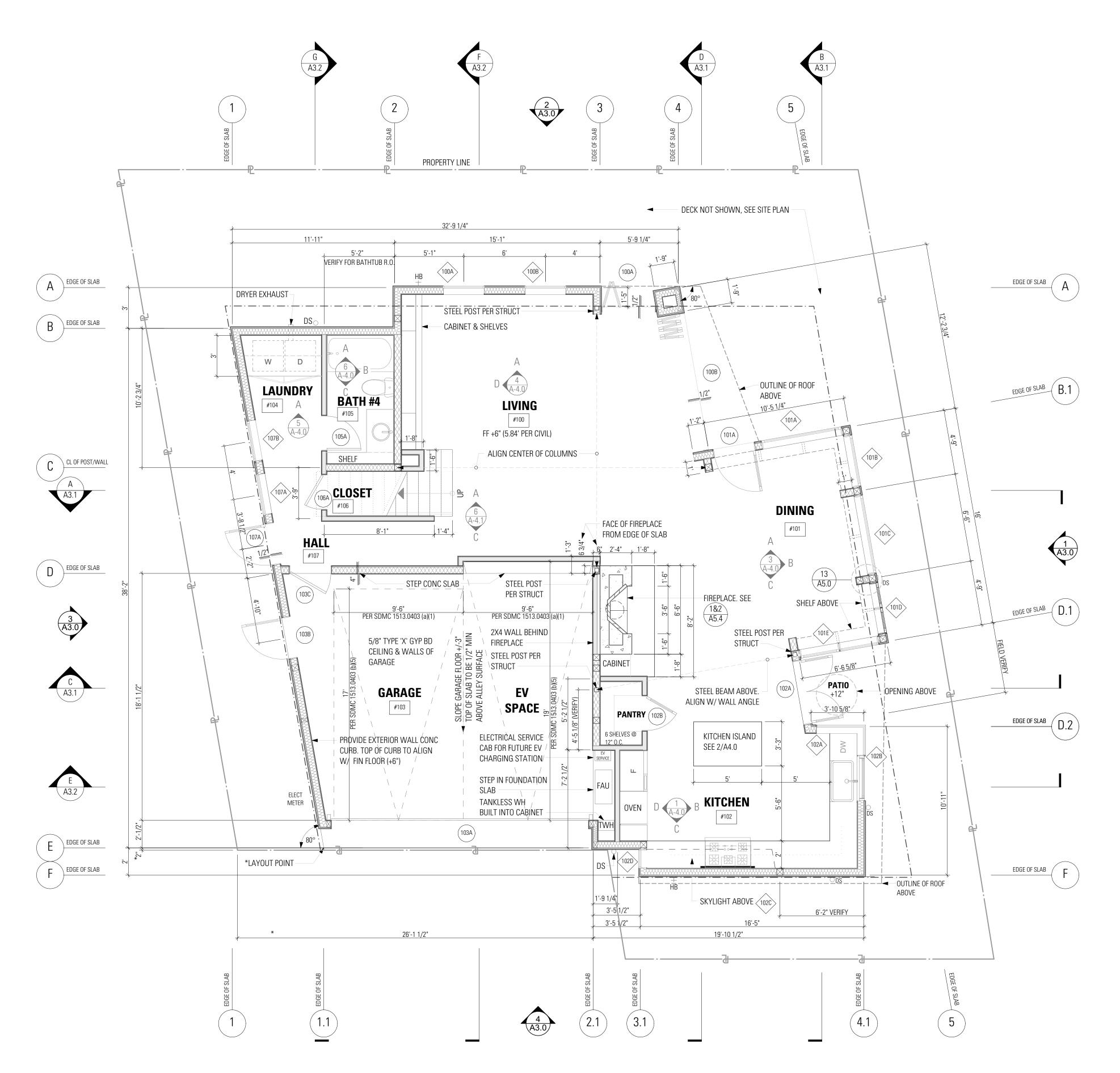
Phillips Residence Kim & Bob Phillips 3774 Bayside Walk, San Diego 92109



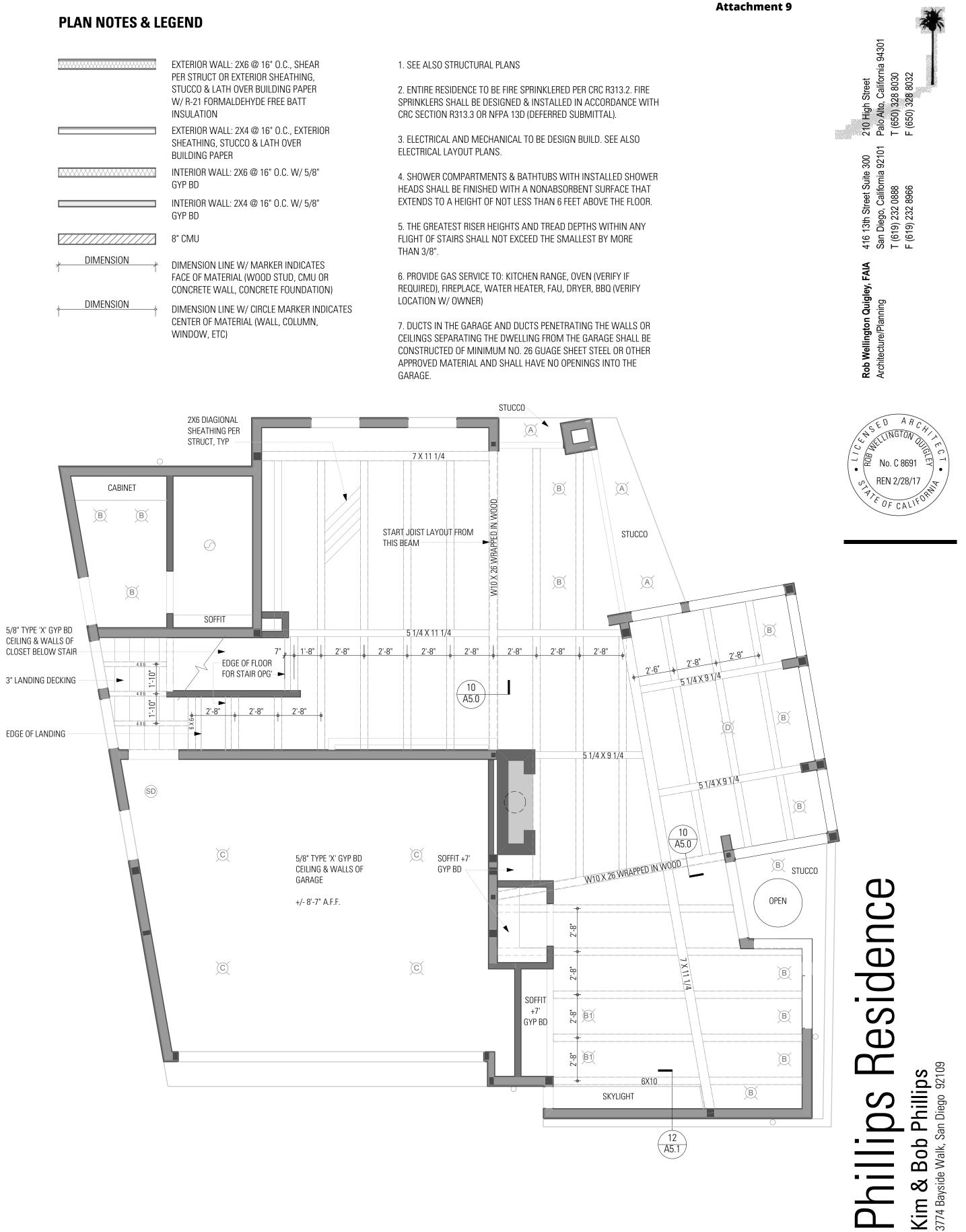
Site Plan

A-1.1

GROUND FLOOR PLAN

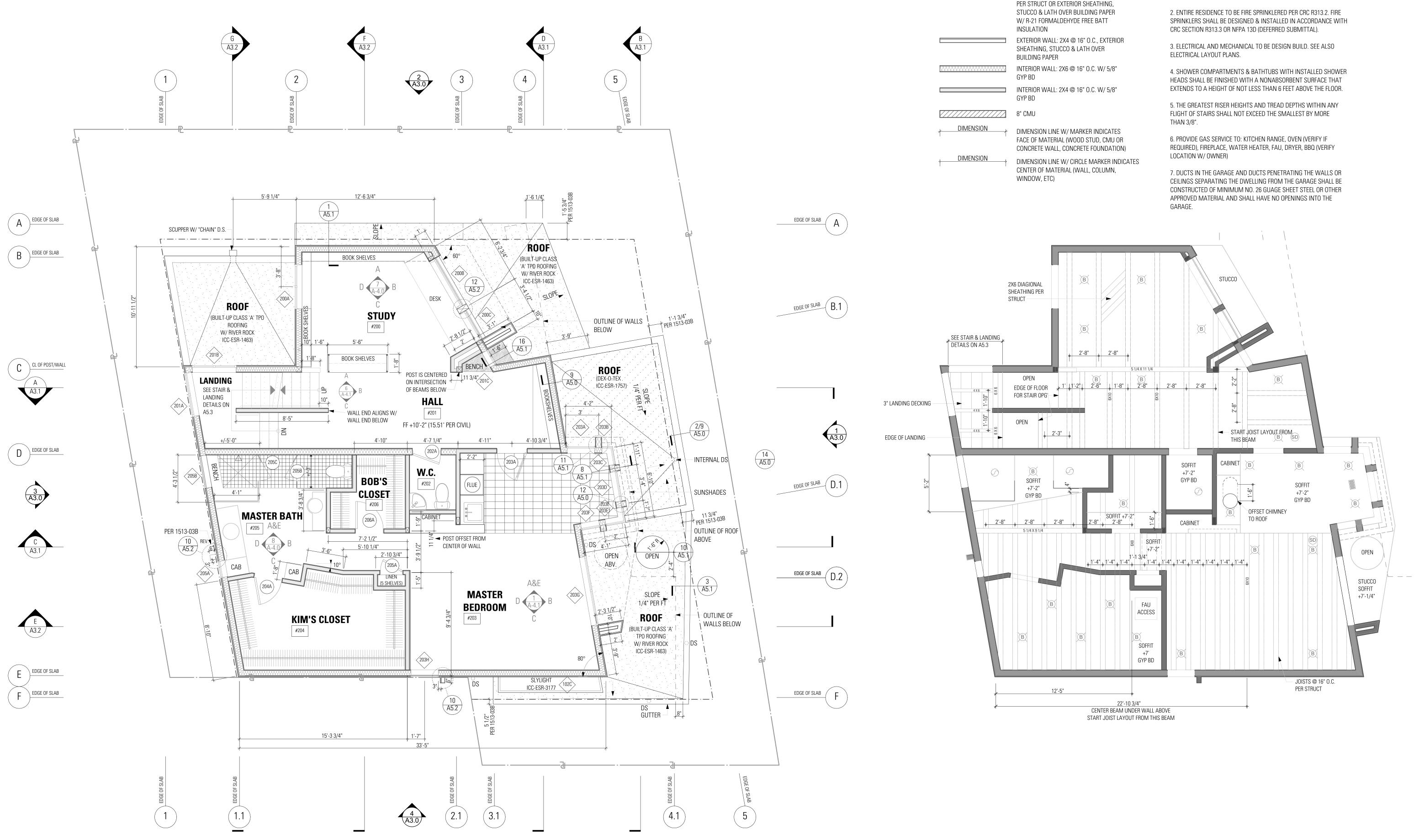


GROUND FLOOR RCP



1/23/17 A-2.0

SECOND FLOOR PLAN

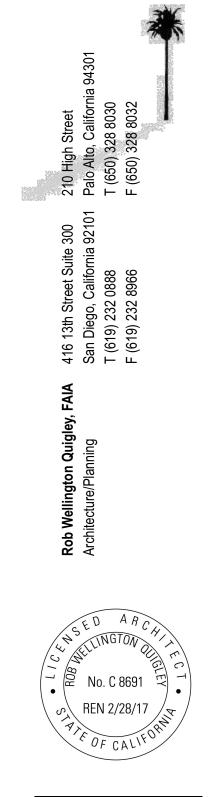


PLAN NOTES & LEGEND

SECOND FLOOR RCP

EXTERIOR WALL: 2X6 @ 16" O.C., SHEAR

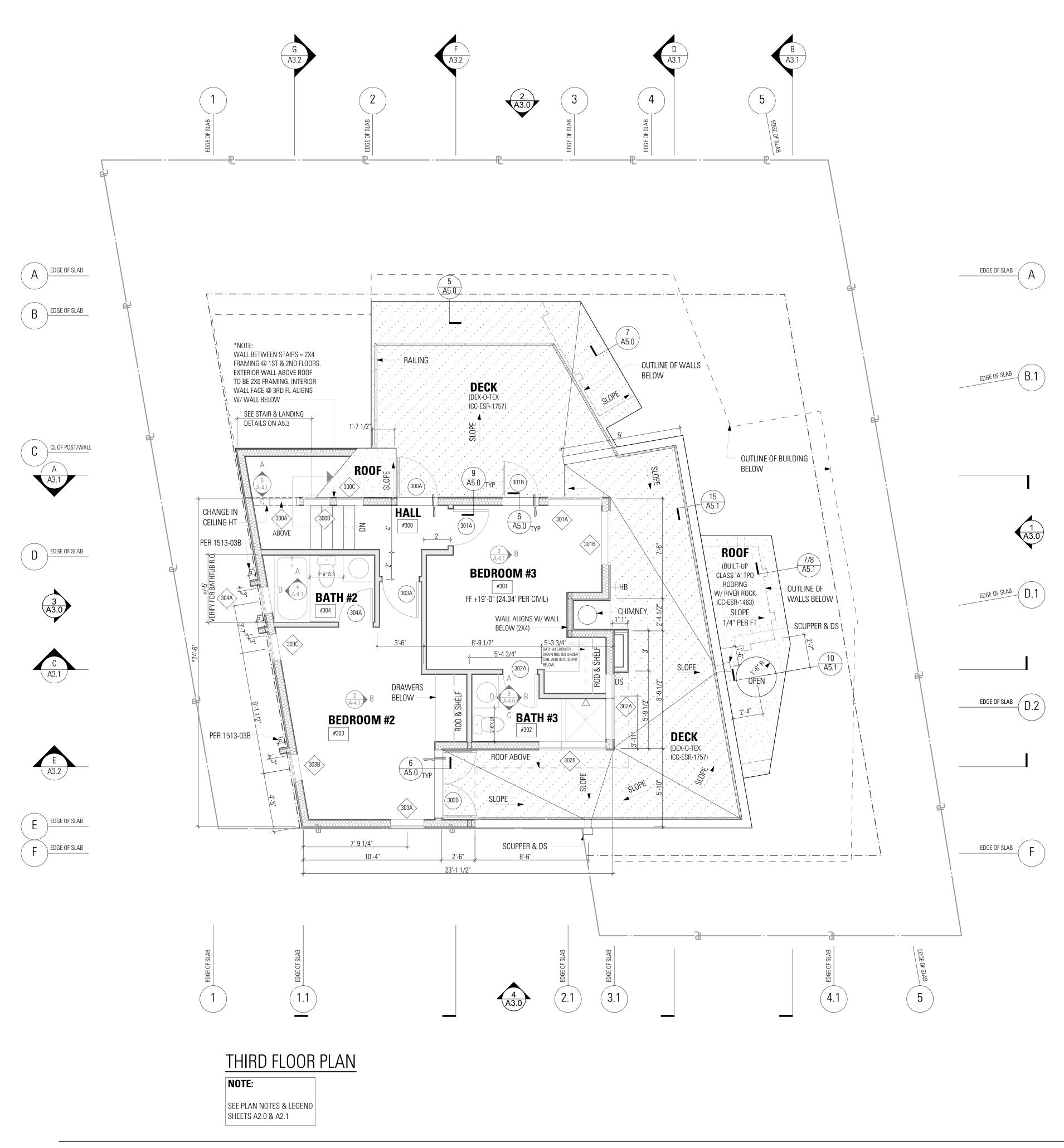
1. SEE ALSO STRUCTURAL PLANS



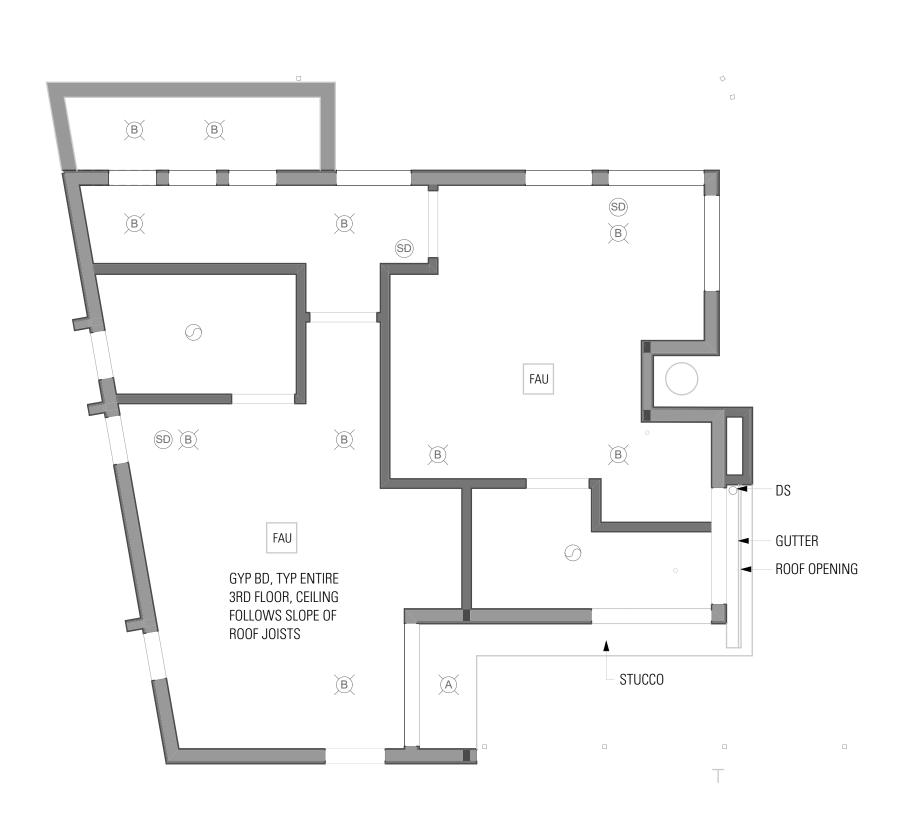
Residence Phillips SC Bob ∞ Kim 3774 Ba

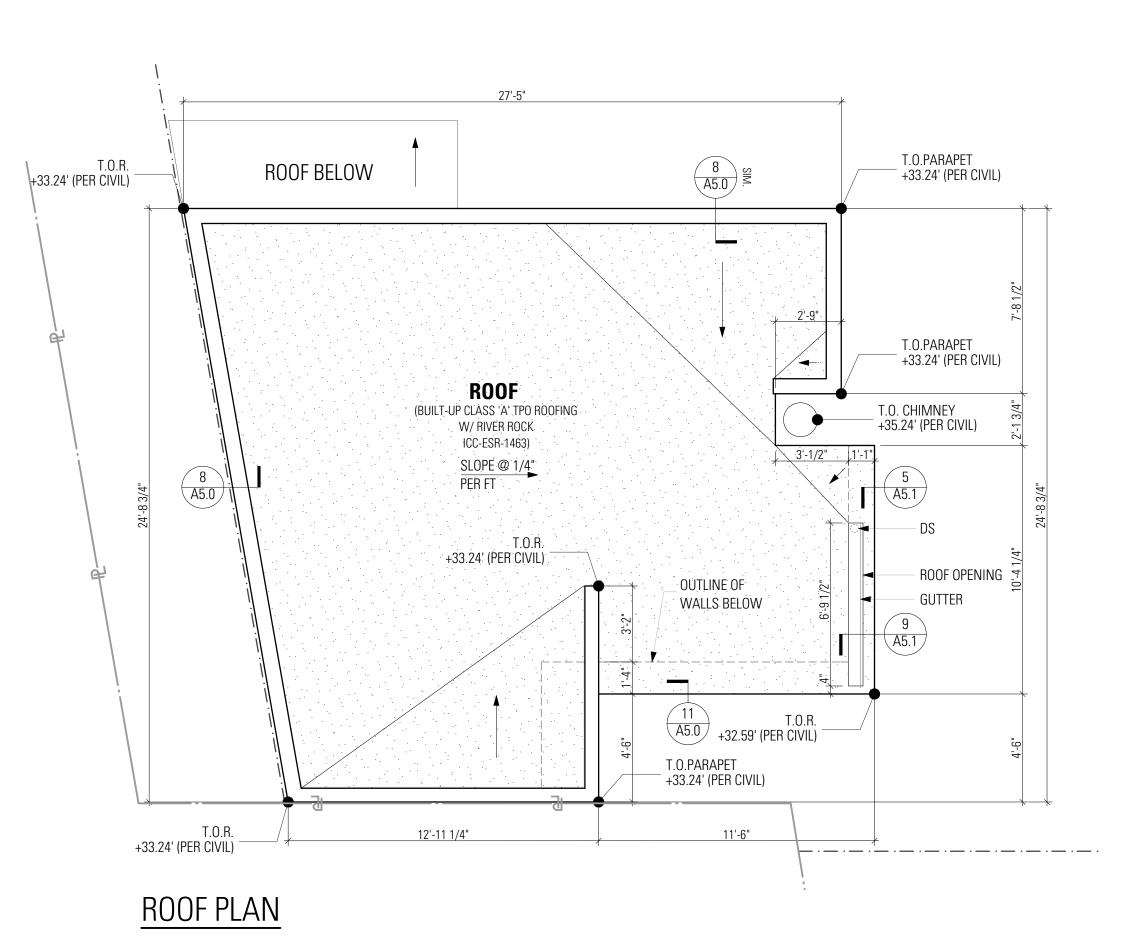
Second Floor

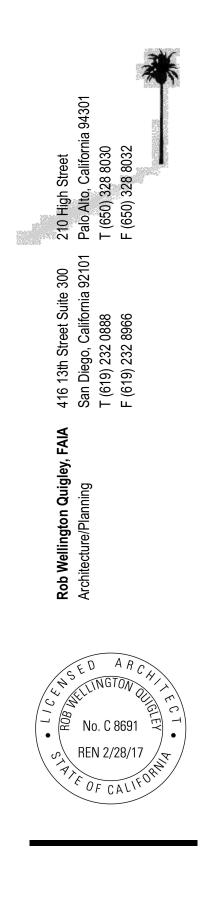
1/23/17 A-2.1



THIRD FLOOR RCP





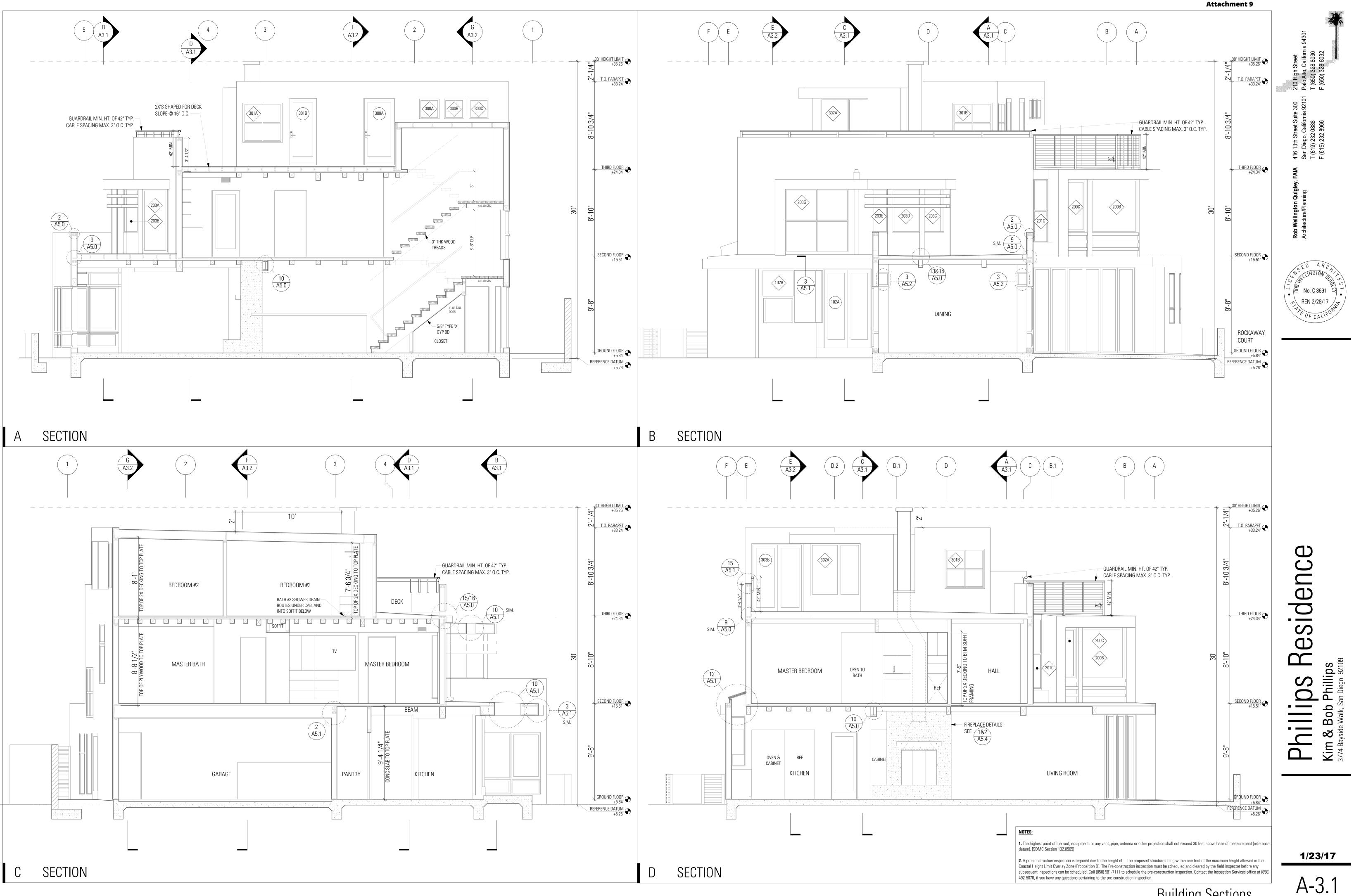




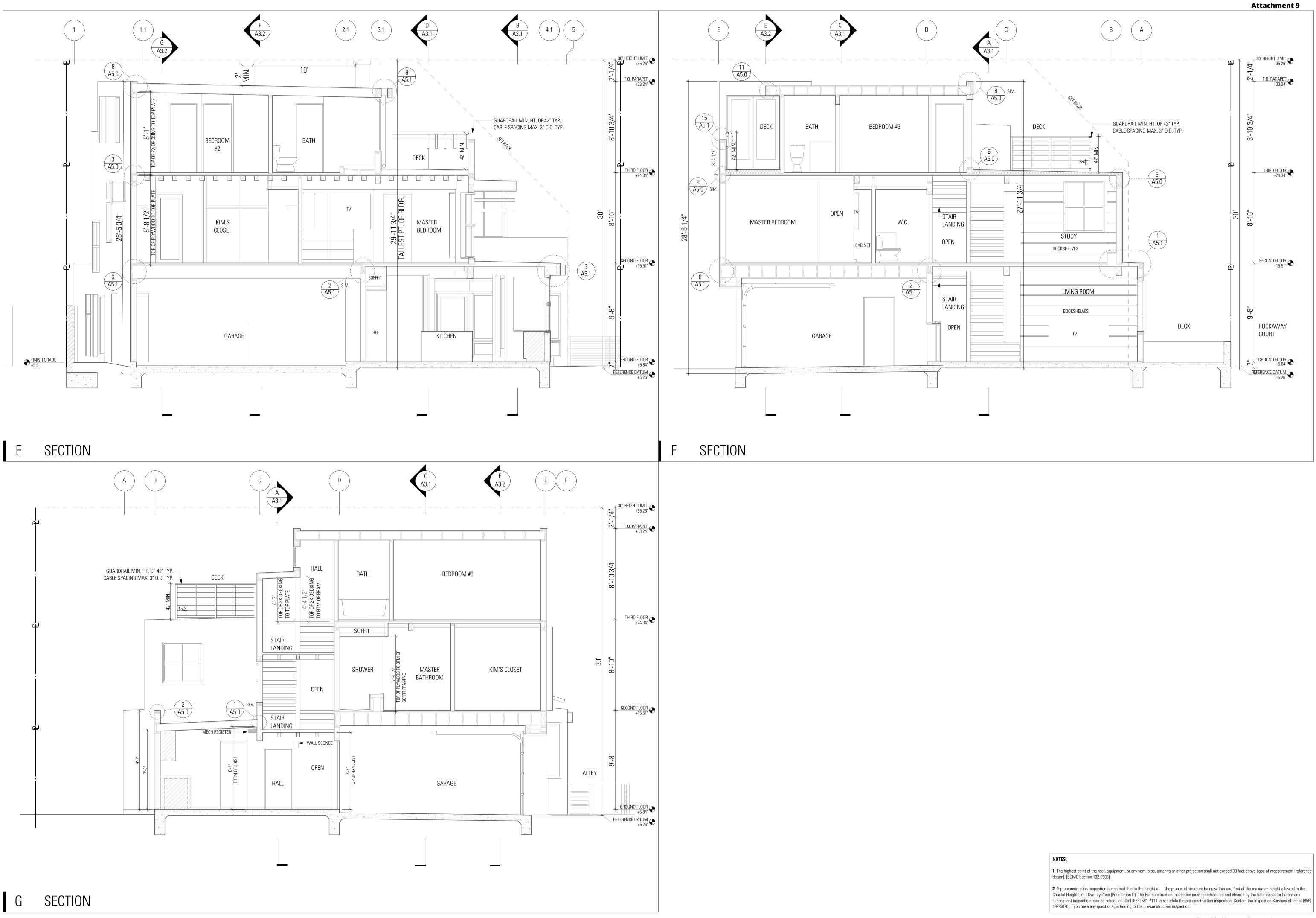
1/23/17 A-2.2

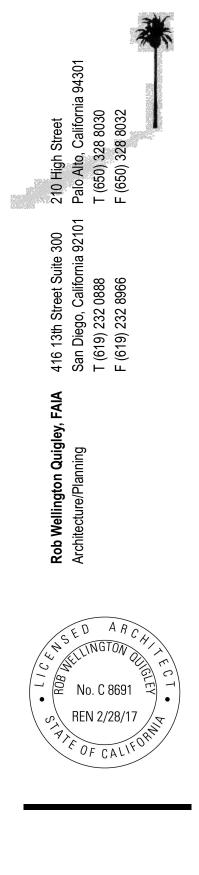
Third Floor & Roof Plans





Building Sections



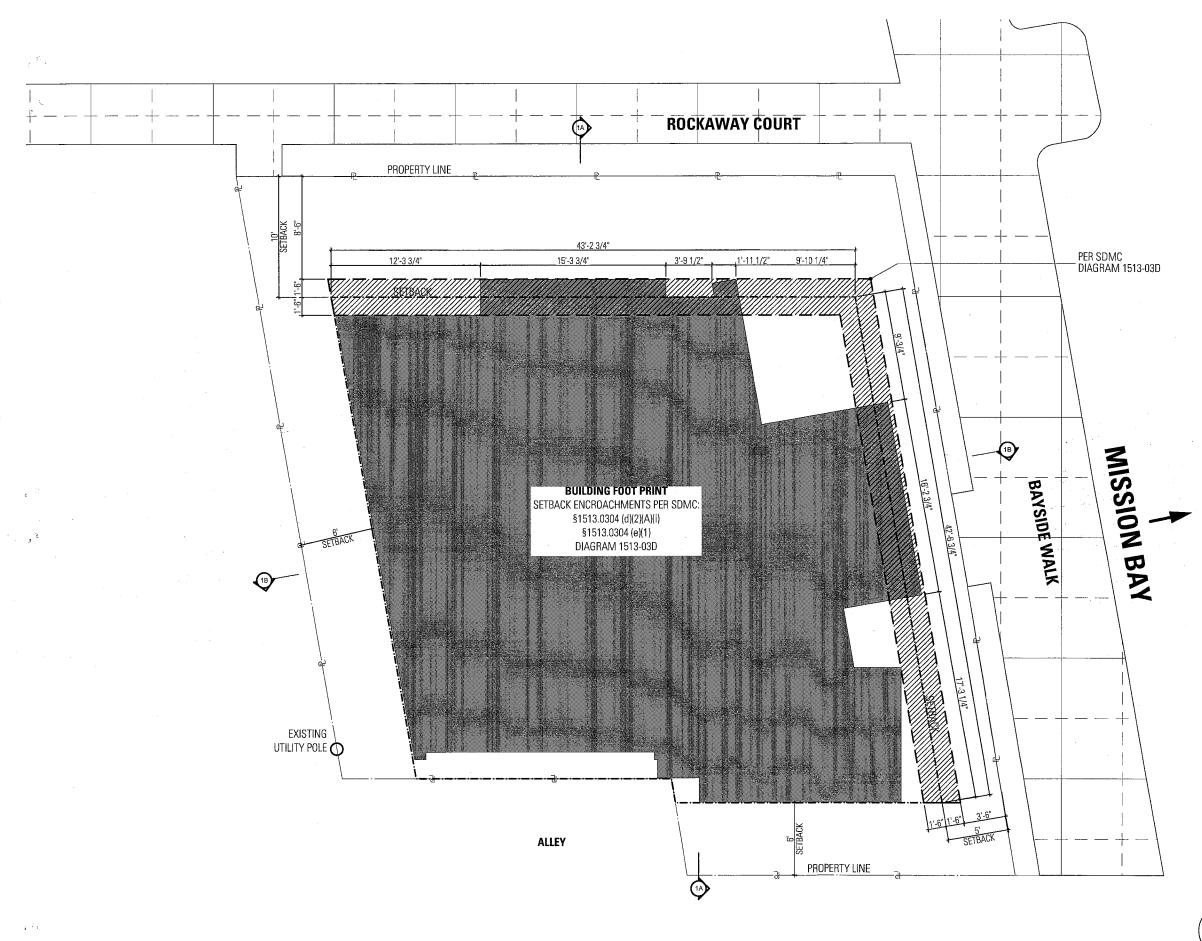


B Residence Phillips S qo Ω ∞ Kim 3774 Ba

1/23/17

Building Sections

A-3.2



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 T (651) 228 8030
 1 (550) 328 8030

 F (615) 222 0866
 F (550) 328 8030
 1 (551) 228 8050

Phillips Residence Kim & Bob Phillips 37/4 Bayside Walk, San Diego



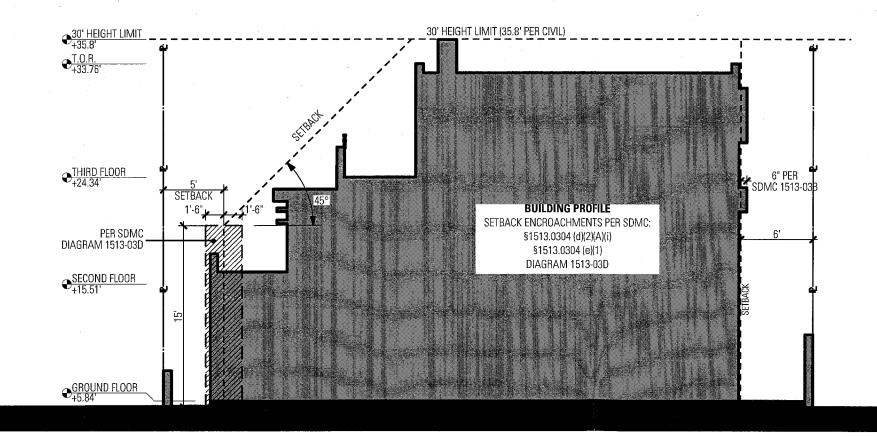
••• NOT FOR ••• CONSTRUCTION

Scale: 1/8" = 1'-0" SETBACK PLAN DIAGRAM

A3.3 11/10/16

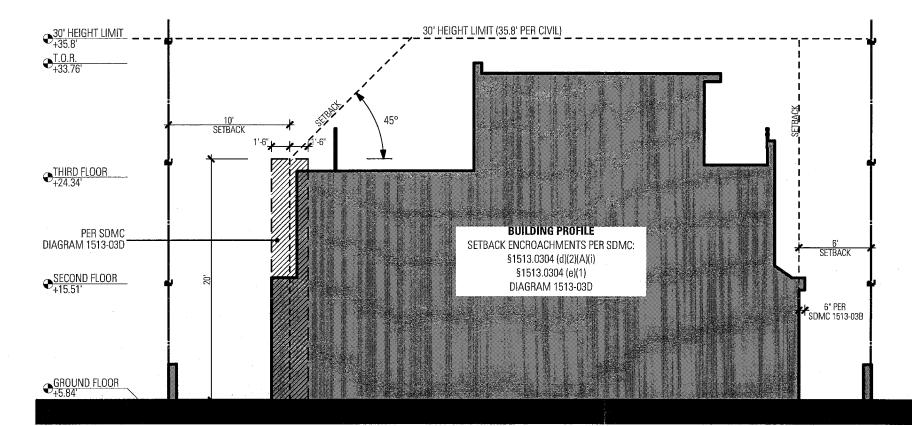
Attachment 9

SETBACK DIAGRAM 1B



SETBACK DIAGRAM 1A

1



210 High Street Palo Alto, California T (650) 328 8030 ₣ (650) 328 8032 434 West Cedar Street San Diego, California 92101 T (619) 232 8966 F (619) 232 8966 Phillips Residence Kim & Bob Phillips 374 Bayside Walk San Diego No. C 8691 REN 2/28/11 ··· NOT FOR ··· CONSTRUCTION

Scale: 1/8" = 1'-0" SETBACK SECTION DIAGRAMS

A3.4

Attachment 9