



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 19, 2017 REPORT NO. HO-17-026

HEARING DATE: April 26, 2017

SUBJECT: SWINDLE RESIDENCE. Process Three Decision

PROJECT NUMBER: [443712](#)

OWNER/APPLICANT: William Swindle/Martin Architecture

SUMMARY

Issue: Should the Hearing Officer approve the demolition of a single family residence and construction of an 8,617-square-foot single dwelling unit located at 2488 Hidden Valley Road within the La Jolla Community Planning area?

Staff Recommendation:

1. Approve Coastal Development Permit No. 1551529.
2. Approve Site Development Permit No. 1551530.
3. Approve Notice of Geologic and Geotechnical Conditions No. 1701062.

Community Planning Group Recommendation: On October 25, 2016, the La Jolla Shores Project Review Committee voted 6-0-0 to recommend approval of the project with recommendations/conditions (Attachment 9). On November 3, 2016, the La Jolla Planning Association ratified and approved the recommendations of the La Jolla Shores Permit Review Committee, 12-0-1 (Attachment 10).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15302 that consists of replacement or reconstruction of existing structures and facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 3, 2017, and the opportunity to appeal that determination ended March 17, 2017.

BACKGROUND

The 1.00-acre site is located at 2488 Hidden Valley Road, in the Single Family (SF) Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, Residential Tandem Parking Overlay, and Parking Impact Overlay Zone (Coastal). The

site is designated as Very Low Density Residential 0-5 dwelling-units/acre (du/ac) within the La Jolla Community Plan.

A La Jolla Shores Planned District Permit processed as a Site Development Permit (SDP) per San Diego Municipal Code (SDMC) Section 1510.0201, is required for the addition and alteration of any existing structure within the La Jolla Shores Planned District (LJSPD). The project also requires a Coastal Development Permit (CDP) for development located within the Coastal Overlay Zone per SDMC Section 126.0704(a)(5) where the demolition or removal of 50 percent or more of the exterior walls of the existing structure is proposed.

DISCUSSION

Project Description:

The project proposes the demolition of an existing single dwelling unit and construction of a new two-story, 8,617-square-foot single dwelling unit.

Community Plan/LJSPDO Analysis:

The project site is designated as Very Low Density Residential (0-5 du/ac) in the LJCP. The proposed single dwelling unit on a 1.0-acre lot will create a density equivalent to one dwelling unit/acre consistent with the land use plan density. The project site is also located in an area designated for single family residential in the LJCP and the proposal remains consistent with that land use.

Concurrent with the adoption of the La Jolla Shores Planned District Ordinance (LJSPDO), the City Council adopted architectural and design standards, by resolution, to be used in evaluating the appropriateness of any development permit in the La Jolla Shores Planned District Ordinance SDMC Section 1510.0301. Therefore, conformance with the LJSPDO facilitates implementation of the goals and policies of the La Jolla Community Plan. The LJSPDO provides standards to guide development under the categories of Character of the Area, Design Principle, and Design Requirements, for evaluating consistency with the Community Plan and the LJSPDO.

The Residential element of the LJCP includes recommendations to maintain and enhance the existing neighborhood character, and to promote visual harmony in the transition between new and existing structures. The plan recommends the use of off-setting planes and building articulation to promote transitions between new and older structures.

The neighborhood surrounding the project site is developed with single dwelling units of various architectural styles and sizes. The project incorporates vertical and horizontal offsetting planes, roofline variation, architectural details; the use of balconies, courtyards, and patios; a low building profile along Hidden Valley Road; and the use of building materials and colors compatible with the character of the surrounding area. The project will maintain and enhance the appearance of the existing neighborhood.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan welcomes change through innovation demonstrated by high-quality architectural design that is compatible with the surrounding

neighborhood. The General Plan recommends that change is incremental and accomplished, in part, utilizing City-wide zoning and the general design regulations within Planned Districts to create a "coherent image of the City as a whole." In La Jolla Shores, bulk and scale for single dwelling unit redevelopment is subject to the La Jolla Shores Planned District Ordinance. The LJSPDO addresses the use and density of structures that are located within the boundary of the La Jolla Shores Planned District Area.

The LJSPDO does not contain quantifiable development standards such as building setbacks and floor area ratio. Instead, the LJSPDO contains language in the General Design and development regulations which references the character of the area and design principles. Bulk and scale are regulated through maximum coverage and height, and an analysis of general conformity with the surrounding neighborhood. The residences within the immediate area are diverse in their sizes, number of stories, and heights. A comparative setback survey of properties within the immediate area demonstrates that a wide range of setbacks exist in the neighborhood. The proposed project front yard setback of 77.5 feet, side yard setback (north and south sides) of 10 and 17 feet, and rear yard setback of 103.5 feet, fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the area. The proposal complies with the maximum 30-foot structure height of the underlying SF zone as well as the requirements of the Coastal Height Limit Overlay Zone. The proposed lot coverage of 18 percent complies with the 60 percent maximum allowed, and the proposed landscaped area covering 61 percent of the project site exceeds the minimum 30 percent requirement.

The project is not requesting nor does it require any deviations or variances from the applicable development regulation and policy documents. The proposed project is in conformance with the development regulations of the Single Family (SF) Zone of the LJSPDO, including the 30-foot maximum building height and the 60 percent maximum lot coverage per SDMC Section [1510.0304](#). Therefore the project is in general conformity with the surrounding neighborhood.

Community Advisory Board and Planning Group Recommendations:

On November 3, 2016, the La Jolla Planning Association ratified and approved the recommendations of the La Jolla Shores Permit Review Committee, 12-0-1, to recommend approval of the proposed project (Attachment 10).

On October 25, 2016 the La Jolla Shores Project Review Committee recommended approving the project 6-0-0 with four (4) recommendations as follows:

1. No sidewalk as there are no other sidewalks on Hidden Valley Road except at Torrey Pines Road. Construction of a sidewalk at 2488 Hidden Valley Rd. would require continuous retaining walls up to 8 feet high along the property line and would not be in character with the community.

Staff Response: Municipal Code Section [142.0620](#) notes that development permits be conditioned to provide public facilities in accordance with Section [142.0610](#) and to mitigate any impact the development may have on existing public facilities. Wall height proposed behind the sidewalk varies from 2-3 feet in height. Sidewalk exists just south of the project site on Hidden Valley Road. Staff recommends the sidewalk (Permit Condition No. 16).

2. Sidewalks on this side of the street would require continuous, tall retaining walls, not in keeping with the community character and not in compliance with the PDO.

Staff Response: See response item one (1) above. Staff recommends the sidewalk.

3. Non-continuous sidewalks are a hazard (attractive nuisance), to the pedestrian, particularly at this blind corner condition.

Staff Response: See response to item one (1) above.

4. If sidewalks were to be incorporated it is more logical they be on the west (opposite) side of the street where topographic conditions are more favorable.

Staff Response: See response to item one (1) above. Public Improvements are required for the abutting frontage of the project site per San Diego Municipal Code Section 142.0610.

Notice of Geologic and Geotechnical Conditions

The geotechnical consultants hired by the owner, Geotechnical Exploration Inc. (GEI), identified the subject property as being located on a landslide. The GEI analysis indicated to them that the subject property will have an adequate factor of safety with respect to “landsliding” over the life of the project.

The available information is not sufficient to allow a reliable assessment of the level of risk and extent of the hazard to which this property and the improvements constructed thereon may be subjected due to geologic hazards and other conditions. The known facts suggest that these conditions may present a hazard, therefore, the City is requiring the owner to enter into an agreement, under the Notice of Geologic and Geotechnical Conditions, which shall run with the land and shall be binding on all parties having or acquiring a right, title or interest in the described lands or any part thereof. This agreement with Conditions (Attachment 7) is required under the San Diego Municipal Code ([SDMC Section 145.1803](#)) and will be recorded with the permit.

Conclusion

All project issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Draft findings to support approval of the project have been prepared as well as draft conditions of approval (Attachments 5, 6, and 7). Therefore, staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1551529 and Site Development Permit No. 1551530 and Notice of Geologic and Geotechnical Conditions No. 1701062 with modifications.

2. Deny Coastal Development Permit No. 1551529 and Site Development Permit No. 1551530, and Notice of Geologic and Geotechnical Conditions No. 1701062, if the findings required to approve the project cannot be affirmed.

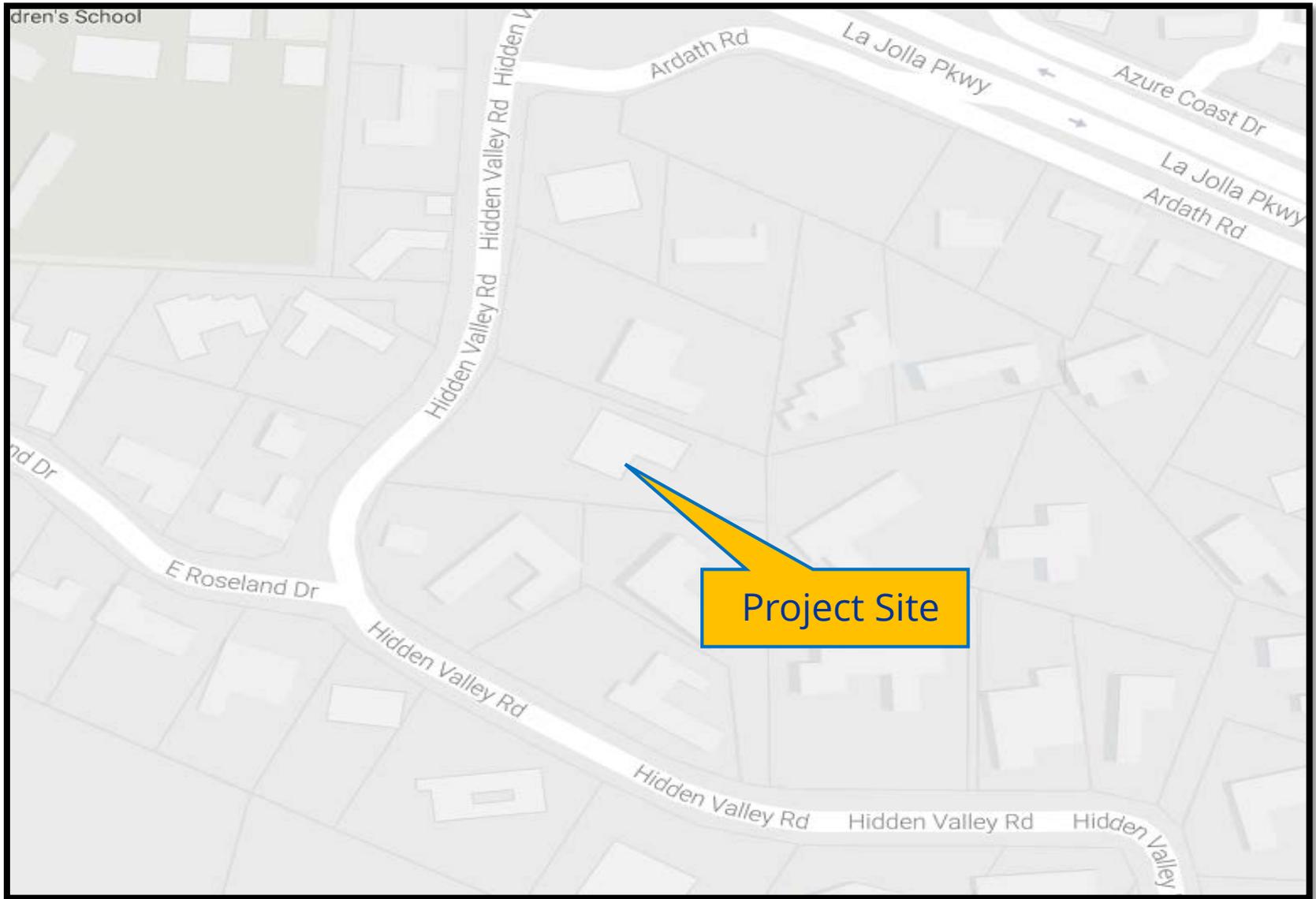
Respectfully submitted,



Gaetano Martedi
Development Project Manager

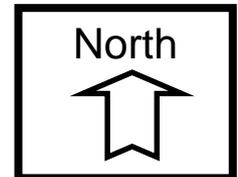
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Geologic and Geotechnical Conditions
8. Environmental Exemption
9. La Jolla Project Review Committee Recommendation
10. La Jolla Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans



Project Location Map

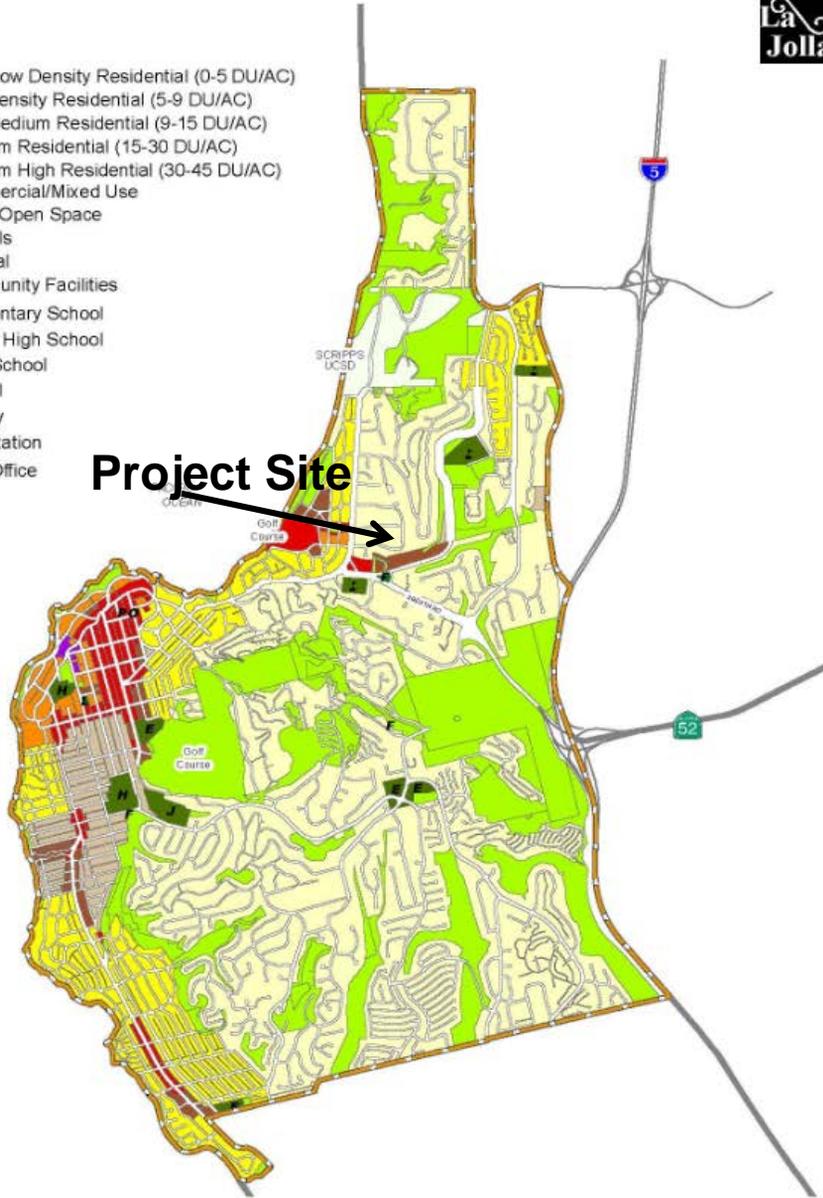
Swindle Residence - 2488 Hidden Valley Road
PROJECT NO. 443712





- Legend**
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities
 - E Elementary School
 - J Junior High School
 - H High School
 - S School
 - L Library
 - F Fire Station
 - PO Post Office

Project Site



Community Land Use Map



La Jolla Community Plan
City of San Diego · Planning Department



Map Document: L:\GIS\PGS\publications\la_jolla\la_jolla pub 2004\LaJolla_PLU.mxd
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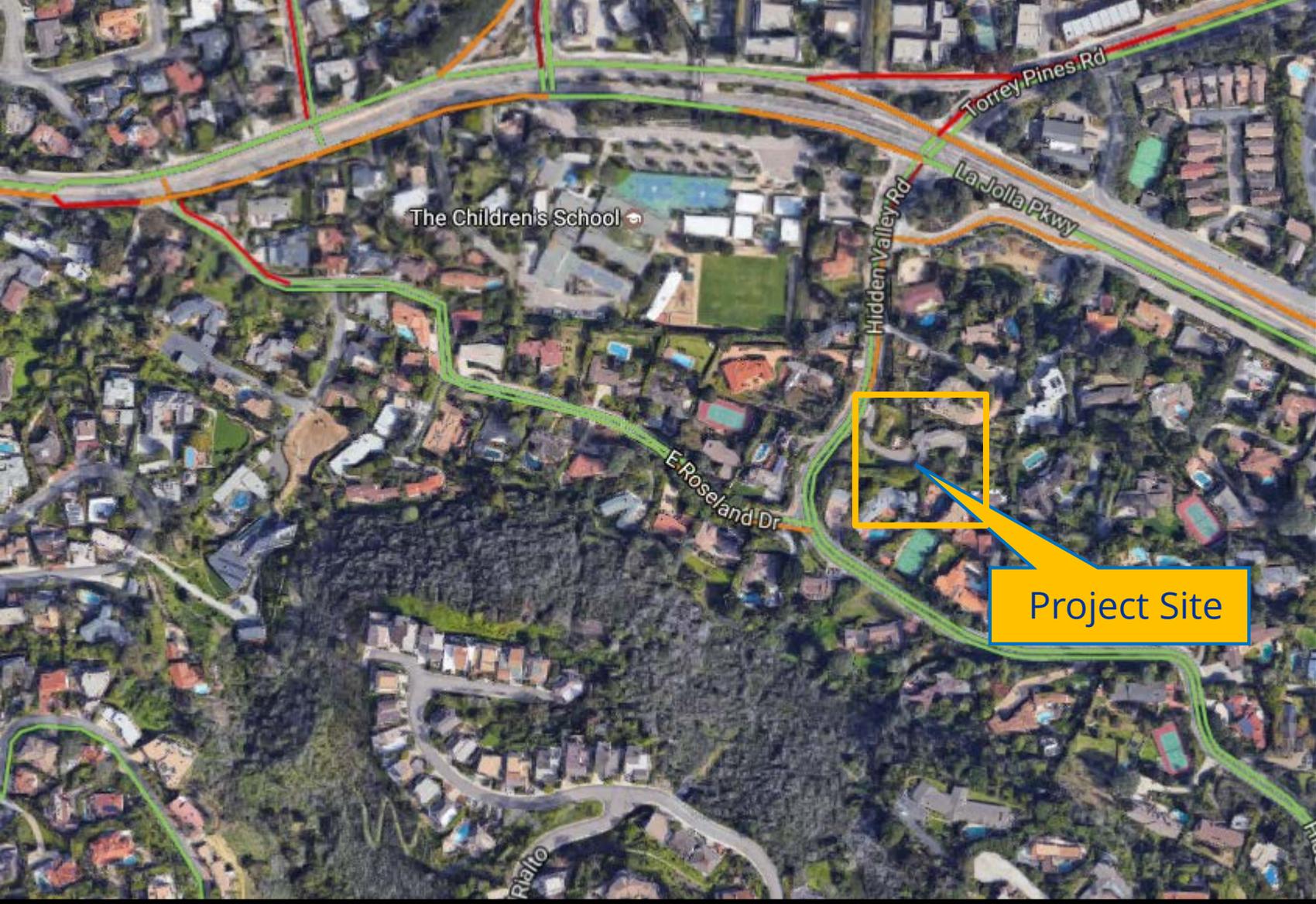
ATTACHMENT 2



Land Use Map

Swindle Residence – 2488 Hidden Valley Road
PROJECT NO. 443712

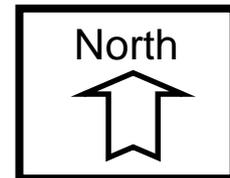




Aerial Photo

Swindle Residence - 2488 Hidden Valley Road

PROJECT NO. 443712



PROJECT DATA SHEET

PROJECT NAME:	Swindle Residence	
PROJECT DESCRIPTION:	Demolition of an existing single family residence and construction of a new 8,617 square -foot single family residence.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit Process 3	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (0-5 dwelling units/acre) in the La Jolla Community Plan and Local Coastal Program.	
ZONING INFORMATION:		
ZONE:	LJSPD-SF Zone	
HEIGHT LIMIT:	30 feet maximum/28 feet proposed	
LOT SIZE:	1.0 acres	
FLOOR AREA RATIO:	N/A	
FRONT SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
SIDE SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
STREETSIDE SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
REAR SETBACK:	In conformance to La Jolla Shores Planned District Bulk & Scale & Setbacks	
PARKING:	2 minimum/4 proposed	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	LJSPD-SF Zone	Single Family Residential
SOUTH:	LJSPD-SF Zone	Single Family Residential
EAST:	LJSPD-SF Zone	Single Family Residential
WEST:	LJSPD-SF Zone	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On November 3, 2016, the La Jolla Planning Association ratified and approved the recommendations of the La Jolla Shores Permit Review Committee, 12-0-1, to recommend approval of the proposed project.	

HEARING OFFICER,
RESOLUTION NO. HO-_____
Coastal Development Permit No. 1551529,
Site Development Permit No. 1551530,
Notice of Geologic and Geotechnical Conditions No.1701062
SWINDLE RESIDENCE PROJECT NO. 443712

WHEREAS, WILLIAM R. SWINDLE, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing two-story single family residence and construct a new 8,617 square-foot single family residence (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1551529, 1551530, and 1701062), on portions of a 1.0-acre-site;

WHEREAS, the project site is located at 2488 Hidden Valley Road in the LJSPD-SF Zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable 2 Area), Residential Tandem Parking Overlay and Parking Impact Overlay Zone (Coastal) within the La Jolla Community Plan and Local Coastal Program;

WHEREAS, the project site is legally described as Lot 188, Pueblo Lands of San Diego, Map thereof made by James Pascoe in 1870, filed on November 14, 1921, Miscellaneous Map No. 36;

WHEREAS, on April 26, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1551529, Site Development Permit No. 1551530, and Notice of Geologic and Geotechnical Conditions No. 1701062 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on March 3, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated April 26, 2017.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The La Jolla Community Plan does not identify an existing or proposed physical accessway nor a public view corridor on or adjacent to the site. All proposed development will occur on private property. The proposed development on a property approximately one mile from the Pacific Ocean, will not have an impact on views to or along the coast and will therefore, not have the opportunity to enhance and protect public views due to its proximity away from the coast.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The 1.0-acre-site is currently developed with an existing single family residence and is not located on or adjacent to environmentally sensitive lands. The project site is located in a built urbanized location. An environmental review found the project to be exempt under the California Environmental Quality Act (CEQA) Guidelines with no reasonable possibility that the project will have significant effects on the environment caused by unique circumstances. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes the demolition of an existing single family residence and construction of a new two-story, 8,617 square-foot single family residence. Single-family residential development is the primary existing land use of the immediate neighborhood. The La Jolla Community Plan (LJCP) and Local Coastal Program (LCP) designates the site and surrounding areas to the north, south, east and west as Very Low Density Residential use 0-5 dwelling-units/acre (du/ac) and the proposal is within the range (1 du/ac).

The residential element of the LJCP includes recommendations to maintain and enhance the existing neighborhood character, and to promote visual harmony in the transitions between new and existing structures. The plan recommends the use of off-setting planes and building articulation to promote transitions between new and older structures.

The neighborhood is developed with single dwelling units of various architectural styles and sizes. The project incorporates vertical and horizontal offsetting planes, roofline variation, architectural details including, two-piece clay barrel tile roofing, aluminum clad wood casement windows with divide lights, balconies with wrought iron rails, courtyards, and patios. The proposed home has a low building profile along Hidden Valley Road, uses building materials and colors compatible with the character of the surrounding area. The project will be compatible with the appearance of the existing neighborhood and will incorporate façade, articulation, and architectural details similar in scale, color, and appearance of the existing neighborhood.

The La Jolla Community Plan does not identify an existing or proposed physical accessway nor a public view corridor on or adjacent to the site. The project site is approximately one

mile away from the Pacific Ocean coastline. All proposed development will occur on private property.

The Certified Implementation Program for the Local Coastal Program requires compliance with zoning regulations. Because the Project complies with all zoning regulations and does not propose or require deviations, the Project conforms to the Local Coastal Program and complies with the Certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 2488 Hidden Valley Road, just south of La Jolla Parkway and north of East Roseland Drive. It is located approximately one mile from the Pacific Ocean, and is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. As a result, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit - Section 126.0504(a)

1. The proposed development will not adversely affect the applicable land use plan

The project proposes to demolish an existing two-story single family residence and to construct a new 8,617-square-foot single family residence on a 1.0-acre lot. The project site is located at 2488 Hidden Valley Road and is designated for Very Low Density Residential at 0-5 du/acre in the La Jolla Community Plan. The proposed single family dwelling on a 1.0-acre site is consistent with the land use plan density (1 du/ac). The La Jolla Shores Planned Development Ordinance (LJSPDO) addresses the use and density of structures that are located within the boundary of the La Jolla Shores Planned District Area.

Concurrent with the adoption of the LJSPDO, the City Council adopted architectural and design standards, by resolution, to be used in evaluating the appropriateness of any development permit applied for under the La Jolla Shores Planned District Ordinance SDMC Section 1510.0301. Therefore, conformance with the LJSPDO ensures conformance with the goals and policies of the La Jolla Community Plan. The LJSPDO provides standards to guide the development under the categories of Character of the Area, Design Principle, and Design Requirements, for evaluating consistency with Land Use Plans and the LJSPDO.

The LJSPDO does not contain quantitative restrictions on gross floor area (GFA). Bulk and scale are regulated through maximum coverage and height, and an analysis of general conformity with the surrounding neighborhood. The residences within the immediate area are diverse in their sizes, number of stories, and heights. A comparative setback survey of properties within the immediate area demonstrates that a wide range of setbacks exist in

the neighborhood. The proposed project front yard setback of 77.5 feet, side yard setback (north and south sides) of 10 and 17 feet, and rear yard setback of 103.5 feet, fall within the setback range of the neighborhood, and therefore, are in general conformity with the other properties in the area.

The La Jolla Community Plan does not identify an existing or proposed physical accessway or a public view corridor on or adjacent to the site. The project site is approximately one mile away from the Pacific Ocean. All proposed development will occur on private property.

Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare

The geotechnical consultants hired by the owner, Geotechnical Exploration Inc. (GEI), identified the subject property to be located on a landslide. Geotechnical Exploration Inc. analyses indicate to them that the subject property will have an adequate factor of safety with respect to "landsliding" over the life of the project.

The available information is not sufficient to allow a reliable assessment of the level of risk and extent of the hazard to which this property and the improvements constructed thereon may be subjected due to geologic hazards and other conditions. The known facts suggest that these conditions may present a hazard, therefore, the City is requiring the owner to enter into an agreement, under the Notice of Geologic and Geotechnical Conditions, which shall run with the land and shall be binding on all parties having or acquiring a right, title or interest in the described lands or any part thereof. This agreement with Conditions (Attachment 7) is required under the San Diego Municipal Code ([SDMC Section 145.1803](#)) and will be recorded with the permit.

The project will incorporate construction Best Management Practices (BMP) necessary to comply with Chapter 14 Article 2, Division 1 of the San Diego Municipal Code. The project will prepare and implement a Water Pollution Control Plan in accordance with the guidelines in Appendix E of the City's Storm Water Standards. The project will enter into a Maintenance Agreement for ongoing permanent BMP maintenance. All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code requirements will be met through building permit review. Therefore, the proposed project will not be detrimental to the public health safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is located at 2488 Hidden Valley Road in the SF Zone of the La Jolla Shores Planned District Ordinance (LJSPDO) and Local Coastal Program Area, Coastal Overlay Zone (non-appealable), Coastal Height Limit Overlay Zone, Residential Tandem Parking Overlay and Parking Impact Overlay Zone (Coastal). The site is designated for Very Low Density (0-5 du/ac) within the La Jolla Community Plan.

The proposal complies with the maximum 30-foot structure height of the underlying SF zone as well as the requirements of the Coastal Height Limit Overlay Zone. The proposed lot coverage of 18 percent complies with the 60 percent maximum allowed, and the proposed landscaped area covering 61 percent of the project site exceeds the minimum 30 percent requirement.

The project is not requesting, nor does it require, any deviations or variances from the applicable development regulation and policy documents. Therefore, the proposed development will comply with the regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1551529, Site Development Permit No. 1551530, and Notice of Geologic and Geotechnical Conditions No. 1701062 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1551529, 1551530, and 1701062, a copy of which is attached hereto and made a part hereof.

Gaetano Martedi
Development Project Manager
Development Services

Adopted on: April 26, 2017

IO#: 24006181

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24006181

COASTAL DEVELOPMENT PERMIT NO. 1551529
 SITE DEVELOPMENT PERMIT NO. 1551530
SWINDLE RESIDENCE - PROJECT NO. 443712
 HEARING OFFICER

The Coastal Development Permit and Site Development Permit are granted by the Hearing Officer of the City of San Diego to WILLIAM R. SWINDLE Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 1510.0201. The 1.0-acre site is located at 2488 Hidden Valley Road in the LJSPD-SF Zone, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Non-Appealable 2 Area), Residential Tandem Parking Overlay and Parking Impact Overlay Zone (Coastal) within the La Jolla Community Plan and Local Coastal Program. The project site is legally described as: Lot 1288 a Portion of Parcels 2 and 3 of County of San Diego, State of California According to Map Thereof Filed in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single family residence and construct a single family residence subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 26, 2017, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing two-story single family residence;
- b. Construction of an 8,617-square-foot, two-story, single family residence with a three-car garage;
- c. Pool and spa;
- d. Landscaping (planting, irrigation and landscape related improvements);

- e. Off-street parking; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 8, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A," changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN (CAP) REQUIREMENTS:

11. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

12. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. The project proposes to export 2120 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Hidden Valley Road Right-of-Way.

17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 24-foot driveway per current City Standards, adjacent to the site on Hidden Valley Road.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new sidewalk per current City Standards, along frontage of the site on Hidden Valley Road.

19. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

21. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in order and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

22. Prior to issuance of construction permits for grading or building, the Permittee or Subsequent Owner shall submit a landscape plan consistent with Approved Exhibit "A" [Landscape Development Plan]. The planting plan shall show the required 30% landscaped area in a crosshatch pattern and labeled "Landscape Plan" [LDC 1510.0304(h)]. The plan shall also show the location of the required Street Trees as per Section 142.0610 of the Land Development Code, Public Facility Regulations.

23. Provide the following note on the Landscape Plan: "All of the landscape to meet the 30% area requirement shall be installed as required by the La Jolla Shores Planned District Ordinance [LDC 1510.0304(h)] prior to final inspection."
24. Any modifications or changes to the "Landscape Plan" and existing or proposed plant material, as shown on the Approved Exhibit "A," Landscape Development Plan, is permitted provided the resulting landscape meets the minimum area requirements of the La Jolla Shores Planned District Ordinance [LDC 1510.0304(h)].
25. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
26. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards.
27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
29. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
30. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENT:

32. The Owner/Permittee shall execute a Notice of Geologic and Geotechnical Conditions provided by the Geology Section, Development Services Department, in the City of San Diego. The Notice of Geologic and Geotechnical Conditions No. 1701062, shall be recorded with the San Diego County Recorder at the time of the CDP/SDP recordation.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 26, 2017 and Resolution Number No. HO-XXXX.

CDP No. 1551529/SDP No. 1551530
Date of Approval: April 26, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Gaetano Martedi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

WILLIAM R. SWINDLE
Owner/Permittee

By _____
William R. Swindle

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

INDEXING INSTRUCTION:
Index as Agreement Affecting Real Property

RECORDING REQUESTED BY
and when recorded mail to:

William R. Swindle
1665 North Ocean Boulevard
Gulf Stream, FL 33483

Space above this line for Recorder's use

CITY OF SAN DIEGO
NOTICE OF GEOLOGIC AND GEOTECHNICAL CONDITIONS
(PTS 443712)

ASSESSORS PARCEL NUMBER
352-083-20-00

PROPERTY ADDRESS
2488 Hidden Valley Road
San Diego, CA 92037

The subject property is more specifically described as:

Lot 1288 a Portion of Parcels 2 and 3 of County of San Diego, State of California According to Map Thereof Filed in the Office of the County Recorder of San Diego County.

GENERAL

To: William R. Swindle, referred to as Owner: You and your geotechnical consultants, Geotechnical Exploration Inc. (GEI), have reviewed the geologic and geotechnical reports referenced on page 4 regarding the subject property. As indicated in the referenced documents, GEI has identified that the subject property is located on a landslide. Their analyses indicate to them that the subject property will have an adequate factor of safety with respect to "landsliding" over the life of the project.

At the present time, the available information is not sufficient to allow a reliable assessment of the level of risk and extent of the hazard to which this property and the improvements constructed thereon may be subjected due to geologic hazards and other conditions. The presently known facts suggest that these conditions may present a hazard, therefore, the City has the following conditions and requirements.

CONDITIONS, HOLD HARMLESS AND ASSUMPTION OF RISK AND COSTS

An application for development on this property has been filed with the City of San Diego Development Services Department (PTS project no.: 443712). Based on the site conditions reported by GEI, the City of San Diego requires the following conditions: (1) The Owner(s) acknowledges by their signature(s) hereon that they have been informed by their consultants of geological conditions, which may constitute a defect or hazard, and they accept the risk and sole responsibility due to these conditions in connection with their property; (2) the Owner(s) certify by its (their) signature(s) hereon that they are fully aware of the information set forth in the documents referenced on page 4 of this Notice; (3) the Owner(s), during the term of its (their) ownership, and its (their) successors, heirs, assignees, transferees and grantees, during their respective terms of ownership, hereby agree to indemnify, defend and hold harmless the City of San Diego, its employees and agents from any and all costs, losses, liabilities or damages resulting from bodily injury, property damage or death to the Owner(s), its (their) family, guests, invitees, visitors, employees, agents or contractors, which occur on the subject property, which are sustained, caused or result from failure of the permitted structure(s), underlying soils, slopes, or utilities which are beneath or adjacent to the referenced property due to slope instability, a landslide, or other geologic phenomena. The Owner(s), its (their) successors, heirs, assignees, transferees, and grantees, during their respective terms of ownership, also agree to voluntarily assume all risks and costs, known or unknown, associated with ownership, use, development, occupancy, or maintenance of the subject property.

The Owner(s) hereby declare(s) that all property described above is held and shall be held, conveyed, hypothecated or encumbered, leased, rented, used, occupied and improved or maintained subject to the covenants contained herein, which shall run with the land and shall be binding on all parties having or acquiring a right, title or interest in the described lands or any part thereof.

The Owner(s) agree and acknowledge that the City of San Diego may agree to remove this covenant from the subject properties and release the owner and subsequent owners of the property from the hold harmless portion of this agreement by a writing setting forth the release and removal signed by the Chief Executive Officer or designee and thereafter recorded with the County Recorder's Office in the County of San Diego, California. The City of San Diego shall possess the sole authority for determining when and if such removal and release of that portion of the agreement is reasonable and appropriate based on geologic, geotechnical, and other appropriate conditions.

ACKNOWLEDGMENT

I (We), the recorded owner of this property, have read and understand this NOTICE, have received a copy, and agree to the above conditions on behalf of all of our heirs, successors in interest, assignees, transferees, and grantees. I (We) accept the indemnity, hold harmless, assumption of the risk and related responsibilities in connection with the subject property. I am (We are) aware that this document will be recorded with the County Recorder, and that these obligations shall run with the land.

For the City of San Diego:

Edric Doringo, PE
Program Manager
Development Services

Dated: _____

For the Owner(s): William R. Swindle

By: _____
Notarized Signature

Name: _____

Title: _____

Date: _____

REFERENCES

1. Response to Addendum to Cycle Issues Review and Updated Report of Geologic Investigation, Swindle Residential Project, 2488 Hidden Valley Road, La Jolla, California, prepared by Geotechnical Exploration, Inc., dated December 15, 2015 (their project no. 14-10633)
2. Report of Preliminary Geologic and Geotechnical Investigation, Swindle Residential Project, 2488 Hidden Valley Road, La Jolla, California, prepared by Geotechnical Exploration, Inc., dated August 12, 2015 (their project no. 14-10633)

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name: Swindle Residence

Project No. / SCH No.: 443712 / N/A

Project Location-Specific: 2488 Hidden Valley Road, San Diego, California 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT to demolish an existing two-story, single-dwelling residence and attached two-car garage and construct a 7,346-square-foot two-story, single-dwelling residence with garage, pool and spa, and 563-square-feet of covered terraces. Various site improvements would also be constructed that include associated hardscape and landscape. The 0.945-acre (41,164-square-feet) project site is located at 2488 Hidden Valley Road. The land use designation is Very Low Density Residential (0 - 5 dwelling units per acre). Additionally, the project site is located in the LJSPD-SF zone (La Jolla Shores Planned District Single-Family) of the La Jolla Shores Planned District and within the Coast Zone Boundary, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Parking Impact Overlay Zone (Coastal), the Residential Tandem Parking Overlay Zone, and the La Jolla Community Plan and Local Coastal Program. (LEGAL DESCRIPTION: Portion of Lot 1288 according to Miscellaneous Map No. 36.)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: William Swindle, 2488 Hidden Valley Road, San Diego, California 92037, (561) 598-8403

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: 15302 (Replacement or Reconstruction)

Reasons why project is exempt: The City of San Diego conducted an environmental review, which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15302 that consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

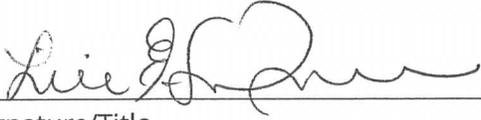
Lead Agency Contact Person: L. Sebastian

Telephone: (619) 236-5993

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Signature/Title

4/26/17

Date

Check One:

- (X) Signed By Lead Agency
() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

**LA JOLLA SHORES PERMIT REVIEW COMMITTEE MINUTES
LA JOLLA COMMUNITY PLANNING ASSOCIATION**

Tuesday, October 25th @ 4:00 p.m.
La Jolla Recreation Center, 615 Prospect St., La Jolla, CA

Executive summary of Motions

- 1. Adopt the Agenda –**
 - a. Robert Steck – Moved to Approve
 - b. Dave Gordon – Seconded
 - c. Action Approved 5-0-1
 - d. Janie Emerson – Abstained
- 2. Adopt August Minutes –**
 - a. Angie Preisendorfer – Moved to Approved
 - b. Janie Emerson – Seconded
 - c. Action Approved 4-0-2
- 3. Non-Agenda Public Comment:** 2 minutes each for items not on the agenda
- 4. Non-Agenda Committee Member Comments**
- 5. 4:05pm Chair Comments – 6-0-0**
 - a. Members & Officers: Chair Crisafi resigns at end of today’s meeting. Will remain thru 2016 as a committee member. Laura Ducharme Conboy resigns effective immediately. Secretary position is vacant. New officer’s nomination and election action Item 6.1.
 - b. Chair conducts committee review following Robert’s Rules of Order.
- 6.1. Nomination & Election of New Officers – Chairperson & Secretary**
 - 1. Angie Preisendorfer – Secretary**
 - 2. Dave Gordon – Chair**
 - 3. Tony Crisafi – Vice Chair**
 - a. Janie Emerson Moved to Approve
 - b. Mike Czajkowski - Seconded
 - c. 6-0-0 Action Approved
 - d. Tony Crisafi to meet with Chair and Secretary to review procedures and paperwork
- 6. Project Review:**
 - a. 4:10-4:30pm MURPHY RESIDENCE SDP - 1ST REVIEW**
 - Project #: 501936
 - Type of Structure: Single Family Residence
 - Location: 7927 El Paseo Grande
 - Applicant’s Rep: John Ambert, johnambert@gmail.com 805-801-2015
 - Project Manager: Karen Bucey, kbucey@sandiego.gov 619-446-5049
 - **Project Description:** LA JOLLA SUSTAINABLE EXPEDITE PRG (Process 3) SDP for a 1,949 SF addition with a new second story to an existing 1317 SF residence on a .144 acre site. Coastal (non-appealable) overlay zone within the La Jolla Community Plan area, Council District 1.
 - **Applicant agreed to return with the following information/revisions:**
 1. Building mass adjusted per the city staff comments

2. Confirm with owner to process this permit as a CDP/SDP. Add coastal development permit to application and notice
3. Fire rated construction and existing garage wall(s) as code requires with proposed living space above.
4. Provide landscape coverage compliance quantities
5. Ensure fireplace chimney complies with height and fire code requirements.

b. 4:30-4:50pm - SWINDLE RESIDENCE – RECONSIDERATION

Note: Reviewed by LJSPRC in Feb 2016, LJSPRC approved project in March 2016.

- Project #: 443712
- Type of Structure: Single Family Residence
- Location: 2488 Hidden Valley Road
- Applicant: Tim Martin 858-349-3474 tim@martinarchitecture.com
- Project Manager: Edith Gutierrez 619-446-5147 equitierrex@sandiego.gov
- **Project Description:** LA JOLLA (PROCESS 3) Coastal Development / Site Development Permit to demolish an existing 3718 sf single family residence and construct a new 8,524 sf single family residence with attached garage, pool & spa, retaining walls and landscaping located at 2488 Hidden Valley Road. The 1 acre lot is located in the LJSPD-SF zone of the La Jolla Shores Planned District in the La Jolla Community Plan Area and the Coastal Overlay Zone (Non-Appealable) in Council District 1.
- **Dave Gordon moved to approve as follows:**
 1. No sidewalk as there are no other sidewalks on the Hidden Valley Road except at Torrey Pines Road. Construction of a sidewalk at 2488 Hidden Valley Rd. would require continuous retaining walls up to 8' high along property line and would not be in character with the community.
 2. Sidewalks on this side of the street would require continuous, tall retaining walls, not in keeping with the community character and not in compliance with the PDO.
 3. Non-continuous sidewalks are a hazard (attractive nuisance), to the pedestrian, particularly at this blind corner condition.
 4. If sidewalks were to be incorporated it is more logical they be on the west (opposite) side of the street where topographic conditions are more favorable.

Janie Emerson Seconded

6-0-0 Action Approved

- c. Meeting adjourned @ 5:30 pm on T/C, Tuesday, November 22, 2016 @ 4:00 p.m.**
(Note that Holidays may activate alt. November and/or December meeting dates)



La Jolla Community Planning Association

ATTACHMENT 10

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us:

Mail: PO Box 889, La Jolla, CA 92038

Web: www.lajollacpa.org

Voicemail: 858.456.7900

Email: info@lajollacpa.org

President: Cindy Greatrex

Vice President: Helen Boyden

2nd Vice President: Bob Steck

Secretary: Patrick Ahern

Treasurer: Janie Emerson

DRAFT AGENDA

Regular Meeting | Thursday, 1 December 2016, 6:00 pm

6:00pm

1.0 Welcome and Call To Order: Cindy Greatrex, President

Please turn off or silence mobile devices

Meeting is being recorded

2.0 Adopt the Agenda

3.0 Meeting Minutes Review and Approval

4.0 Elected Officials – Information Only

4.1 Council District 1: Council President Sherri Lightner

Rep: **Justin Garver**, 619-236-6611, jgarver@sandiego.gov

4.2 78th Assembly District: Speaker Emeritus of the Assembly Toni Atkins

Rep: **Victor Brown**, 619-645-3090, victor.brown@asm.ca.gov

4.3 39th Senate District: State Senator Marty Block

Rep: **Sarah Fields**, 619-645-3133, Sarah.Fields@sen.ca.gov

5.0 President's Report – Information only unless otherwise noted

5.1 Special Election: 3:00- 7:00 PM onsite. Polls close at 7:00 PM

5.2 ACTION ITEM: Motion by the LJCPA to support the dissolution of the La Jolla Community Parking District due to eight years of inactivity.

5.3 ACTION ITEM: Appointment of CA Marengo to DPR as LJCPA appointee

5.4 ACTION ITEM: Appointment of Myrna Naegle to LJSPRC as LJCPA appointee

5.5 La Jolla View Reservoir in the [La Jolla Heights Natural Park](#), Discussion

6.0 Non-Agenda Public Comment

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

6.1 City of San Diego – Community Planner: Marlon Pangilinan, mpangilinan@sandiego.gov

6.2 UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://commplan.ucsd.edu/>

7.0 Non-Agenda Trustee Comment

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

8.0 Officers' Reports

8.1 Treasurer

8.2 Secretary

If a Sign Language Interpreter, aids for the visually impaired, or Assisted Listening Devices (ALDs) are required, please contact the City's Disability Services Coordinator at 619-321-3208 at least (5) five work days prior to the meeting date to insure availability.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

9.1 Community Planners Committee

<http://www.sandiego.gov/planning/community/cpc/index.shtml>

9.2 Coastal Access & Parking Board <http://www.lajollacpa.org/cap.html>

9.3 UC San Diego Long Range Development Plan CAG <http://lrpd.ucsd.edu>

10.0 Consent Agenda- Action Items

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair TBD, 2nd & 3rd Tuesday, 4:00 pm PRC –

La Jolla Shores Permit Review Committee, Chair Dave Gordon 4th Tuesday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

→ **See Committee minutes and/or agenda for description of projects, deliberations, and vote.**

→ **Anyone may request a consent item be pulled for full discussion by the LJCPA.**

→ **Items “pulled” from Consent Agenda are trailed to the next LJCPA meeting.**

10.1 RUTGERS ROAD STREET VACATION NE of Cass at Van Nuys Streets **Street Vacation and Slope Easement Vacation**

LA JOLLA/PACIFIC BEACH (Process 5) IO #14000993 Street Vacation and Slope Easement Vacation of an unimproved portion of Rutgers Road located at the northeast corner of the intersection of Cass St and Van Nuys St. The 0.1291 acre site is in the RS-1-7 zone within the La Jolla and Pacific Beach Community Plan Areas. Council Districts 1 and 2.

DPR RECOMMENDATION: Findings **CAN** be made for a Street Vacation and Slope Easement Vacation of an unimproved portion of Rutgers Road located at the northeast corner of the intersection of Cass St and Van Nuys St. The Committee recommends that the City adjust the boundaries of the two Committee Plan areas such that the lot in question is wholly in one Community Plan area. 5-0-1

10.2 JAIN RESIDENCE 1421 Soledad Avenue **CDP**

CDP Process 2 for demolition of an existing 1,878.4 sf residence and attached garage on a 7,647 sf lot, and construction of a new 3,225 sf (2) story residence over 778 sf walk out basement and 563 sf (2) car garage located at 1421 Soledad Av in RS-1-5, Coastal Overlay (Non Appealable-Area 1), Coastal Height Limit Overlay Zone of the La Jolla Community Plan.

DPR RECOMMENDATION: Findings **CAN** be made for a CDP Process 2 for demolition of an existing 1,878.4 sf residence and attached garage on a 7,647 sf lot, and construction of a new 3,225 sf (2) story residence over 778 sf walk out basement and 563 sf (2) car garage located at 1421 Soledad Av in RS-1-5, Coastal Overlay (Non Appealable-Area 1), Coastal Height Limit Overlay Zone of the La Jolla Community Plan. 5-0-1

10.3 WEBB RESIDENCE 5192 Chelsea Street **CDP and SDP**

(Process 3) Coastal Development Permit and Site Development Permit (for Environmentally Sensitive Lands) to partially demolish an existing single dwelling unit and build a 730 square foot addition to the existing home, totaling 7,343 square feet. The 0.24 acre site is located within the Appealable Coastal Zone at 5192 Chelsea Street in the RS-1-7 Zone of the La Jolla Community Plan. (Ref. PTS 449388 for pool permit).

DPR RECOMMENDATION: Findings **CAN** be made for a Coastal Development Permit and Site Development Permit to partially demolish an existing single dwelling unit and build a 730 square foot addition to the existing home, totaling 7,343 square feet at 5192 Chelsea St. The Committee recommends that the rolled curbs be retained as they are a feature of the character of the neighborhood, and they are feature of safety for bicyclers and skateboarders. 5-0-1

10.4 EXTENSION OF GREEN ZONE PARKING ON HIGH AVENUE

Request to extend the existing green zone parking on south side of High Ave adjacent to animal care office at 1135 Torrey Pines Road to provide for additional customer parking.

T&T RECOMMENDATION: Motion to Approve extending the two green zone parking spaces to include the two non-green zone parking spaces on the south side of High Ave at 1135 Torrey Pines Road 5-1-0

10.5 LA JOLLA HALF MARATHON Request for Temporary Street Closure and No Parking areas related to the 36th annual event based at Scripps Park on Sunday April 23, 2017.

On Sunday April 23, 2017 the Kiwanis of La Jolla will host the 36th annual La Jolla Half Marathon & La Jolla Shores 5K. The half marathon will start at Del Mar Fairgrounds through Torrey Pines State Park, along La Jolla Shores, up Torrey Pines Rd and down to the finish line at Ellen Browning Scripps Park at La Jolla Cove. The 5K starts on La Jolla Shores Drive, 3.1 miles from the finish line.

T&T RECOMMENDATION: Motion to Approve Temporary Street Closures and No Parking areas related to La Jolla Half Marathon event ending at Scripps Park on April 23, 2017 6-0-0

10.6 YELLOW ZONE PARKING REQUEST for one Commercial Parking Space on Herschel Ave adjacent to Avis Auto Rental at 1110 Torrey Pines Road

Avis Auto Rental on the corner of Herschel Ave and Torrey Pines Road. Avis Auto Rental keeps their cars in the Bank of America parking garage on Kline Street. When a customer requests a rental, Avis employees go to the parking garage to get one for them but there is no place to park the rental once they have it so they often have to double park the vehicle. Avis is requesting one commercial parking space on the Herschel side of their building to stage the transfer

T&T RECOMMENDATION: Motion to Deny the Request for one Commercial Parking Space on Herschel Ave adjacent to Avis Auto Rental at 1110 Torrey Pines Road. 6-0-0

The following agenda items, when marked "Action Item," can be a *de novo* consideration of the Item.
 Prior actions by committees/boards are listed for information only.

11.0 <No Items on Full Review>

12.0 Selection of the January LJCPA Minutes-Taker

13.0 Adjourn to next LJCPA Meeting: 5 January 2017, 6:00 PM



La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month | La Jolla Recreation Center, 615 Prospect Street

Contact Us

Mail: PO Box 889, La Jolla, CA 92038

Web: <http://www.LaJollaCPA.org>

Voicemail: 858.456.7900

Email: info@LaJollaCPA.org

President: Cindy Greatrex

Vice President: Helen Boyden

2nd Vice President: Bob Steck

Secretary: Patrick Ahern

Treasurer: Janie Emerson

DRAFT MINUTES

Regular Meeting | Thursday, 3 November, 6:00 pm

Trustees Present: Ahern, Boyden, Brady, Collins, Courtney, Emerson, Greatrex, Little, Merten, Ragsdale, Shannon, Steck, Weiss, Will

Trustees Absent: Donovan, Rasmussen, President Greatrex left the meeting after item 7.0

1.0 Welcome and Call To Order: Cindy Greatrex, President. Meeting was called to Order at 6:01 PM with advisory to turn off or silence mobile devices and that the Meeting is being recorded.

2.0 Adopt the Agenda (Collins/Weiss 10-0-1) Motion Carries. Abstain: Greatrex; Absent: Ahern, Collins, Shannon)

3.0 Motion to Approve the October Meeting Minutes (Emerson/Steck 9-0-3) Motion Carries. Abstaining: Greatrex, Weiss, Merten; Absent: Shannon,

4.0 Elected Officials Report

4.1 Council District 1: Council President Sherri Lightner
 Rep: Justin Garver, 619-236-6611, jgarver@sandiego.gov

Council President Sherri Lightner reported next month's agenda will contain a Item to consider dissolving the La Jolla Parking District. Lightner also spoke about two City ballot measures. President Greatrex presented a plaque to Council President Sherri Lightner in appreciation of her service representing La Jolla before the City Council.

4.2 78th Assembly District: Speaker Emeritus of the Assembly Toni Atkins
 Rep: Victor Brown, 619-645-3090, victor.brown@asm.ca.gov Not present

4.3 39th Senate District: State Senator Marty Block
 Rep: Sarah Fields, 619-645-3133, Sarah.Fields@sen.ca.gov Not present

5.0 President's Report

5.1 Coastal Rail Trail Update: City Engineers Dan Nutter and Larry Thorburgh, reported on the status of the Coastal Rail Trail. Questions and concerns about the Rail trail were expressed by: H. Boyden, J. Emerson, S Miller, D. Gordon, B. Will, M. Costello and R. Weiss.

5.1.1 La Jolla Mesa Drive Sidewalk Improvement: City Engineers Dan Nutter and Alexandru Bengean presented the design for the street widening and new connecting sidewalk on the east side of La Jolla Mesa Drive. Construction is planned in 2017. Questions about the design were asked by: C.A. Marengo and D. Gordon.

5.2 Candidate Forum, December 2016 Special Election: Two Trustee Seats are open. Candidates speaking on their own behalf were: Mike Costello, Sheila Palmer and Dave Gordon.

President Greatrex said the election protocol is posted on the LJCPA web site.

5.3 Committee Chairpersons: President Greatrex reported that the various committees elect their own Chairperson. Greatrex reported that Dave Gordon of the LISPRC and C.A. Marengo of the DPR have expressing a willingness to be the elected chairpersons of those committees.

6.0 Non-Agenda Public Comment:

Opportunity for public to speak on matters not on the agenda, 2 minutes or less.

6.1 UCSD - Planner Anu Delouri adelouri@ucsd.edu, <http://commplan.ucsd.edu> Reported a Community Advisory Group regarding campus development has been formed:

- a. A Scoping Meeting is planned for November 29 at 6:00 PM at the Faculty Club.
- b. Founders Day will be celebrated on November 18, from 12:00 noon to 2:00 PM at the Campus Town Square
- c. An MND is being circulated for the Medical Campus Gilman Parking Structure and:
- d. The Altman Physical Plant will be presented on November 30, time and place to be announced;
- e. The Campus Physical Plan can be viewed on the UCSD web site.

6.0 Non-Agenda Public Comment (continued)

6.2 John Hartley: Spoke about coordination of community groups. Neighborhood Empowerment Alliance is planning Neighborhood Empowerment Forum to held on January 14, 1–4 PM at the First Unitarian Universalist Church Hillcrest.

6.3 Sally Miller: Spoke against Deco Bike and vendors in La Jolla.

6.4 Dave Gordon: Announced the passing of Bill Gibbs at age 106 years.

7.0 Non-Agenda Trustee Comment:

Opportunity for trustees to comment on matters not on the agenda, 2 minutes or less.

7.1 Dan Courtney: Commented on the proliferation of recycling signs in La Jolla.

7.2 Brian Will: Spoke about the lack of commercial parking space in the business district.

(President Greatrex left the meeting. Vice President Boyden chaired the remainder of the meeting.)

8.0 Officers' Reports

8.1 Treasurer's Report by J. Emerson

Beginning Balance as of 10/1/16	\$	328.14	
Income			
Collections		105.00	
CD Sales		0	
Total Income		<u>105.00</u>	
Expenses			
At&T Telephone	74.73		
Total Expenses		<u>(74.73)</u>	
Net Income/(Loss)		30.27	
Ending balance as of 10/31/16	\$	358.41	

8.2 Secretary Report:

P.Merten stated : If you want your attendance recorded today, you should sign in at the back of the room. There are two sign-in lists: One for LJCPA members and government representatives and one for Guests. LJCPA is a membership organization open to La Jolla residents, property owners and local business owners at least 18 years of age. Eligible visitors wishing to join the LJCPA need to submit an application, copies of which are available at the sign-in table or on-line at the LJCPA website: www.lajollacpa.org. We encourage you to join so that you can vote in the Trustee elections and at the Annual Meeting in March. You are entitled to attend without signing in, but only by providing proof of attendance can you maintain membership or become eligible for election as a trustee. You may document your attendance by signing in at the back, providing the Secretary before the end of the meeting a piece of paper with your printed full name, signature and a statement that you want your attendance recorded, or providing independently verifiable proof of attendance. You can become a Member after attending one meeting and must maintain your membership by attending one meeting per year. To qualify as a candidate in an election to become a Trustee, a Member must have documented attendance at three LJCPA meetings in the preceding 12-month period. Please note that members who failed to attend a meeting between March of 2014 and February 2015 (and similar for all time periods) have let their membership lapse and will need to submit another application to be reinstated.

9.0 Reports from Ad Hoc and non-LJCPA Committees - Information only unless noted.

8.1 Community Planners Committee: No report

9.2 Coastal Access & Parking Board: No report

9.3 UC San Diego Long Range Development Plan CAG: D. Gordon toured the campus and expressed the need for more on-campus student housing and more on-campus parking spaces.

10.0 Consent Agenda - Action Items

The public is encouraged to attend and participate in Community Joint Committee & Board meetings before the item/project is considered by the LJCPA.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Monday, 4:00 pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tuesday, 4:00pm

PRC – La Jolla Shores Permit Review Committee, Chair Tony Crisafi, 4th Tuesday, 4:00 pm

T&T – Traffic & Transportation Board, Chair David Abrams, 3rd Wednesday, 4:00 pm

10.0 Consent Agenda - Action Items (continued)

The Consent Agenda allows the LJCPA to ratify recommendations of the community joint committees and boards in a single vote with no presentation or debate. It is not a decision regarding the item but a decision whether to accept the recommendation of the committee/board as the recommendation of the LJCPA. The public may comment on consent items.

- See Committee minutes and/or agenda for description of projects, deliberations, and vote.
- Anyone may request a consent item be pulled for full discussion by the LJCPA.
- Items “pulled” from Consent Agenda are trailed to the next LJCPA meeting.

10.1 SHOUGH RESIDENCE 6436 Camino de la Costa CDP & SDP

Sustainable Expedite (Process 3) CDP SDP Hearing Officer as decision maker) to demolish an existing residence and construct a new 5,886 SF, 2-story over basement residence at 6436 Camino de la Costa. The 0.25 acre site is in the La Jolla Community Plan Area, RS-1-5 zone, Coastal (Appealable), Coastal Height, Sensitive Coastal, Parking Impact (Beach, Transit Area and Residential Tandem), Geologic Hazard (43 and 53) overlay zones. The occupied portion is 5886 sf, the basement is 3739 sf; the footprint is 3739 sf; the FAR is 0.53

DPR RECOMMENDATION: Findings CAN be made for a Coastal Development Permit and Site Development Permit to demolish an existing residence and construct a new 5,886 SF, 2-story over basement residence at 6436 Camino de la Costa. 7-0-1

10.2 SWINDLE RESIDENCE – RECONSIDERATION 2488 Hidden Valley Road CDP & SDP

Note: Reviewed by LJSRPC in Feb 2016, LJSRPC approved project in March 2016.

LA JOLLA (PROCESS 3) Coastal Development / Site Development Permit to demolish an existing 3718 sf single family residence and construct a new 8,524sf single family residence with attached garage, pool & spa, retaining walls and landscaping located at 2488 Hidden Valley Road. The 1 acre lot is located in the LJSPD-SF zone of the La Jolla Shores Planned District in the La Jolla Community Plan Area and the Coastal Overlay Zone (Non-Appealable) in Council District 1.

PRC RECOMMENDATION: To approve CDP/SDP to demolish an existing 3718 sf single family residence and construct a new 8,524 sf single family residence with attached garage, pool & spa, retaining walls and landscaping located at 2488 Hidden Valley Road. The 1 acre lot is located in the LJSPD- zone of the La Jolla Shores Planned District in the La Jolla Community Plan Area and the Coastal Overlay Zone (Non-Appealable) in Council District 1. 6-0-0

Motion to Adopt the recommendations of the DPR and PRC committees and Approve Consent Agenda Items of 10.1 and 10.2: (Ragsdale/Weiss 12-0-1).
 Motion Carries. (Abstaining: Boyden)

(The following agenda items, when marked “Action Item,” can be a *de novo* consideration of the Item. Prior actions by committees/boards are listed for information only.)

11.0 BLUE HERON 5228 Chelsea Street CDP & TM Waiver ACTION ITEM

(Process 3) Coastal Development Permit and Site Development Permit to demolish an existing single dwelling unit and construct an 8,963 square-foot single dwelling unit on a single lot. The 0.19-acre site is located within the Coastal Overlay zone (Appealable), Sensitive Coastal Overlay zone - CB and First Public Roadway at 5228 Chelsea Street in the RS-1-7 zone(s) of the La Jolla Community Plan. The lot area is 8900 sf. The first floor is 2736 sf, and the second floor is 2050 sf. The top floor enclosed area is 198 sf and the adjacent

open deck areas total 916 sf. The GFA for the project is 4984 sf, and 8,963 if the basement is included, but that is not a part of the floor area calculations. FAR is 0.56.

DPR RECOMMENDATION: Findings CANNOT be made for a Coastal Development Permit and Site Development Permit to demolish an existing single dwelling unit and construct an 8,963 square-foot single dwelling unit on a single lot at 5228 Chelsea Street due to the deck at the roof, the mass and “wall”

configuration fronting the street, the poor transition between the old and new structures, and the configuration of the design which places active outdoor and living spaces on the third level roof and deck. 4-2-1 The project was presented and explained by C.A. Marengo. Project Developer and joint venture partner D. Lesnek answered questions about the Project Developer. Public Members speaking in Opposition to the project were: S. Silbert, M. Kinyon, V. Kappmeyer, C Waisman, Z. Szemenyei, M. Costello, P. Davis, K. Weaver

Trustees asking questions about the project were: Gordon, Weiss, and Merten

Trustee speaking in Favor of the project: Will.

Motion to send the project back to the DPR committee for design modification (Weiss/Little)

Trustee speaking in Opposition to the Motion and the project: P. Merten

(Motion was withdrawn)

Motion to Adopt the recommendation of the DPR committee and Reject the project. (Little/Brady 9-2-1). Motion Carries. (Opposed: Ahern, Will; Abstaining: Boyden)

**LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE
 LA JOLLA COMMUNITY PLANNING ASSOCIATION
 NOVEMBER 2016 MINUTES**

Attending 11/8/16: Costello, Kane, Leira, Ragsdale, Welsh, Will
Attending 11/15/16: Collins, Costello, Leira, Ragsdale, Welsh, Will, Zynda

1. SUBCOMMITTEE MOTION 11/15/16: To elect Mr. Costello Chairman Pro Tem.
 (Leira / Collins 6-0-1)

In Favor: Collins, Leira, Ragsdale, Welsh, Will, Zynda

Oppose: 0

Abstain: Costello

Motion Passes

2. NON-AGENDA PUBLIC COMMENT

Issues not on agenda and within LJ DPR jurisdiction. Two minutes maximum per person.

11/15/16: Mr Marengo suggested a few options for getting DPR recordings of meetings. The committee could request that the LJ CPA to buy a recorder for DPR, or use individuals' smart phones.

3. APPROVAL OF MEETING MINUTES

Meeting October 18, 2016

SUBCOMMITTEE MOTION: To approve the Meeting Minutes of Oct 18, 2016

(Ragsdale / Kane 3-0-3)

In Favor: Kane, Ragsdale, Welsh,

Oppose: 0
 Abstain: Costello (as Pro Tem), Leira, Will
Motion Passes

Meeting November 8, 2016

SUBCOMMITTEE MOTION 11/15/16: To approve the Meeting Minutes of Nov 8, 2016 as presented.

(Will / Welsh 5-0-2)

In Favor: Collins, Leira, Ragsdale, Welsh, Will

Oppose: 0

Abstain: Costello (as Pro Tem), Zynda

Motion Passes

4. FINAL REVIEW 11/8/16

Project Name:	Rutgers Road Street Vacation NE of Cass at Van Nuys Streets	Permits:	Street Vacation & Slope Easement Vacation
Project No.:	496760	DPM:	Edith Gutierrez Angela Nazareno
Zone:	RS-1-7	Applicant:	Dena Boylan

LA JOLLA/PACIFIC BEACH (Process 5) IO #14000993 Street Vacation and Slope Easement Vacation of an unimproved portion of Rutgers Road located at the northeast corner of the intersection of Cass St and Van Nuys St. The 0.1291 acre site is in the RS-1-7 zone within the La Jolla and Pacific Beach Community Plan Areas. Council Districts 1 and 2.

INFORMATION ONLY PRESENTATION 9/20/16. (Mary Carlson, SD City Staff; Dena Boylan, SD City Staff; Bruce Beach, Attorney for adjacent property owner)

The City will place some the undeveloped land at the terminus of Cass at Van Nuys on the open market for sale. The land was purchased by the City in 1957, but never used or developed. Six page handouts were distributed to illustrate the location. Included were survey maps, lot numbers, street locations, topographic maps, and maps of the Community Plan areas. The lots involved include area from both the La Jolla and Pacific Beach Community Plans.

The change in elevation from Van Nuys is 185 feet, to the top of the property is 215 feet. Mr. Beach represents the neighboring property owner that wishes to purchase the property. Notices were mailed to the neighborhood in July 2016. City Staff has presented this information to the Pacific Beach Planning Group.

DISCUSSION

The project features were presented and questions asked for clarification.

PLEASE PROVIDE FOR NEXT PRESENTATION:

- Please enlarge areas of interest, ie: photos, drawings, and mount on poster boards.
- The City Zoning Map shows area as RS-1-5, your information says RS-1-7. Please resolve.

- c. Please present this project to the La Jolla Parks and Beaches Committee for a recommendation. Chairman Dan Allen, 858-245-1586 danallen@alum.mit.edu
- d. If the vacation and sale are successful as envisaged how many total houses can be constructed on these lots?
- e. What facilities does the Community have in the immediate area?
- f. Please provide the Minutes, and the results of any votes from the Pacific Beach Planning Group, and their Subcommittees.

APPLICANT PRESENTATION 10/11/16 (Dena Boylan, Mary Carlson)

The applicants presented the project. The subject site is presently an unimproved street roughly 5600 sf, in the RS-1-7 zone. The purpose of this application is to vacate that public use as a potential street. The largest possible house that can be built on the site is 3300 sf. The property was last cleared for sale in 2014, and that will be reviewed again by the City Council.

The property rises above the street. There are public streets abutting the site on two sides, in the form of an alley and an unimproved section of Cass Street, neither of which will be vacated.

A map was presented which indicates the parks and other public facilities in the area of the subject property.

The Pacific Beach Planning Group recommended approval 8-3-1. The Parks & Beaches Committee was consulted but the Chair of that committee has not indicated if he would like to hear the project.

If the property is to be sold to a private party, the steepness of the slope will limit the developability of the property. When considering the property for sale, the various departments of the City reviewed the possibility of maintaining the property as Open Space; the City dispensed with that concept. The property is surrounded by private property: it does not abut public Open Space land.

DISCUSSION

A discussion ensued about possible other uses for the property, including as park land or open space.

APPLICANT PRESENTATION 11/08/16 (Dena Boylan, Mary Carlson)

As requested by LJ DPR, the Project was presented to LJ Parks & Beaches where the Street Vacation and Slope Easement Vacation issue was approved 10-2-1. Ultimately, the issue will be presented to the SD City Council (Process 5). The City has no foreseeable use for the property and it will be offered for sale on the open market.

SUBCOMMITTEE MOTION: Findings can be made for a Street Vacation and Slope Easement Vacation of an unimproved portion of Rutgers Road located at the northeast corner of the intersection of Cass St and Van Nuys St. The Committee recommends that the City adjust the boundaries of the two Committee Plan areas such that the lot in question is wholly in one Community Plan area.

(Will / Ragsdale 5-0-1)

In Favor: Kane, Leira, Ragsdale, Welsh, Will

Oppose: 0

Abstain: Costello (as Pro Tem)

Motion Passes

5. FINAL REVIEW 11/8/16

Project Name:	Jain Residence	Permits:	CDP
	1421 Soledad Avenue		
Project No.:	503161	DPM:	Karen Bucey
Zone:	RS-1-5	Applicant:	Matt Gomes Tim Golba

CDP Process 2 for demolition of an existing 1,878.4 sf residence and attached garage on a 7,647 sf lot, and construction of a new 3,225 sf (2) story residence over 778 sf walk out basement and 563 sf (2) car garage located at 1421 Soledad Av in RS-1-5, Coastal Overlay (Non Appealable-Area 1), Coastal Height Limit Overlay Zone of the La Jolla Community Plan.

APPLICANT PRESENTATION 10/18/16: (Tim Golba)

The project was presented. The site is above Soledad Avenue and Al Bahr Drive, at the southwest corner of that intersection. An easement at the south of the property serves the shared driveway access to the residence to the west. The project will include a new basement garage at the street level of Al Bahr Drive, leaving the easement to the neighbor. The reservoir to the south is roughly 12 feet above the subject property.

The proposed residence will be 2 stories above the garage. The roof has a roof deck at the easterly end. The elevation drawings were presented, with the entrance element next to the garage door, and the upper floors arranged to both sides of the stair tower. The overall height is roughly 29.5'.

The proposed materials are stone at the basement level, stucco and wood siding on the upper floors, and glass guard rails at the balconies and decks and the roof deck.

DISCUSSION 10/18/16

The committee noted that a positive feature is the setback of the building from the north side, and the new entrance to the garage at Al Bahr Drive. The project would be somewhat larger above the street, yet the additional setback is a welcome balance to that. The driveway entrance at Al Bahr Drive provides a street-level and pedestrian-friendly connection to the street.

Please bring to the next presentation:

- a. Landscape Plan
- b. Materials sample board.

APPLICANT PRESENTATION 11/08/16: (Tim Golba)

A brief description of the project was given, mostly a repeat of Oct 18. There will be two levels above a garage. The garage will be recessed into the hillside. The building height will be 29.5 ft. The landscaping plan was presented. A material sample board was also presented. Committee Members expressed concern that construction activity and staging could impact traffic safety. The applicant indicated that most of the activity

could easily be done off the street and on site. There will be about 600 cubic yards of material exported, which should take about a week.

SUBCOMMITTEE MOTION: Findings can be made for a CDP and for the demolition of an existing residence and attached garage, and construction of a new 3,225 sf (2) story residence over 778 sf walk out basement and 563 sf garage located at 1421 Soledad Ave.

(Kane / Will 5-0-1)

In Favor: Kane, Leira, Ragsdale, Welsh, Will

Oppose: 0

Abstain: Costello (as Pro Tem)

Motion Passes

6. PRELIMINARY REVIEW 8/16/16

Preliminary Reviews can be voted a Final Review by a unanimous DPR Committee approval.

Project Name:	Webb Residence	Permits:	CDP and SDP
	5192 Chelsea Street		
Project No.:	495850	DPM:	John Fisher
Zone:	RS-1-7	Applicant:	Brian Will

(Process 3) Coastal Development Permit and Site Development Permit (for Environmentally Sensitive Lands) to partially demolish an existing single dwelling unit and build a 730 square foot addition to the existing home, totaling 7,343 square feet. The 0.24 acre site is located within the Appealable Coastal Zone at 5192 Chelsea Street in the RS-1-7 Zone of the La Jolla Community Plan. (Ref. PTS 449388 for pool permit).

APPLICANT PRESENTATION 11/08/16 (Brian Will)

This is a categorically exempt remodel. The house will be pulled back from the bluff to be able to construct a pool. The pool triggers a SDP. There will be an actual reduction in floor area of about 1200 sq ft. The sideyard setbacks are non-conforming at 4 feet each. 7 ft setbacks would be required if there was a complete demo and new house. This would be at a loss of too much floor area. Hence, the categorical exemption to retain the non-conforming setbacks.

PLEASE PROVIDE FOR FINAL REVIEW:

- a) Please indicate the existing walls on the drawings.
- b) Consider ways of having windows at the sides of the house.
- c) Open the sideyards for public views from the street to the ocean.
- d) Please provide photographs of the sideyards.
- e) The Committee recommends that the rolled street curbs be retained.
- f) Please provide a section showing the ocean, bluff, pool, and house.
- g) Consider having the top 3 feet of the gate being visually open.
- h) Please provide a landscape plan.
- i) Please provide a materials sample board.
- j) Please have the figures of the Geotechnical Report corrected where the formations are incorrectly labeled "Scripps Formation".

APPLICANT PRESENTATION 11/08/16 (Brian Will)

This is a categorically exempt remodel. The house will be pulled back from the bluff to be able to construct a pool. The pool triggers a SDP. There will be an actual reduction in floor area of about 1200 sq ft. The sideyard setbacks are non-conforming at 4 feet each. 7 ft setbacks would be required if there was a complete demo and new house. This would be at a loss of too much floor area. Hence, the categorical exemption to retain the non-conforming setbacks.

PLEASE PROVIDE FOR FINAL REVIEW:

- a) Please indicate the existing walls on the drawings.
- b) Consider ways of having windows at the sides of the house.
- c) Open the sideyards for public views from the street to the ocean.
- d) Please provide photographs of the sideyards.
- e) The Committee recommends that the rolled street curbs be retained.
- f) Please provide a section showing the ocean, bluff, pool, and house.
- g) Consider having the top 3 feet of the gate being visually open.
- h) Please provide a landscape plan.
- i) Please provide a materials sample board.
- j) Please have the figures of the Geotechnical Report corrected where the formations are incorrectly labeled "Scripps Formation".

APPLICANT PRESENTATION 11/15/16 (Brian Will)

PROVIDED FOR FINAL REVIEW: *Italics indicates applicant reply.*

- a) Please indicate the existing walls on the drawings. *Done, and the walls retained for the categorical exemption were shown. (see above explanation, 11/08/2016)*
- b) Consider ways of having windows at the sides of the house. *No plan given at this time as this is a 50% remodel. After an occupancy permit is given, a plan for windows under a Substantial Conformance Review might be presented.*
- c) Open the sideyards for public views from the street to the ocean. *Wrought iron gates will be installed at the sideyards giving a view of the ocean.*
- d) Please provide photographs of the sideyards. *Done*
- e) The Committee recommends that the rolled street curbs be retained. *Applicant agrees with Committee.*
- f) Please provide a section showing the ocean, bluff, pool, and house. *Done*
- g) Consider having the top 3 feet of the gate being visually open. *The new design will be a wrought iron gate.*
- h) Please provide a landscape plan. *Landscaped areas were indicated, species not yet selected. The City conditions that the hardscape area outside the PL be replaced with native plants.*
- i) Please provide a materials sample board. *Done*
- j) Please have the figures of the Geotechnical Report corrected where the formations are incorrectly labeled "Scripps Formation". *The author was notified.*

Additionally, the ceiling height is more than one foot lower than the City specification to be a "phantom floor". A Committee Member suggested that vines be grown on the sideyard walls.

SUBCOMMITTEE MOTION 11/15/16: Findings can be made for a Coastal Development Permit and Site Development Permit to partially demolish an existing single dwelling unit and build a 730 square foot addition to the existing home, totaling 7,343 square feet at 5192 Chelsea St. The Committee recommends that the rolled

curbs be retained as they are a feature of the character of the neighborhood, and they are feature of safety for bicyclers and skateboarders.

(Collins / Ragsdale 5-0-1)

In Favor: Collins, Leira, Ragsdale, Welsh, Zynda

Oppose: 0

Abstain: Costello (as Pro Tem)

Recuse: Will

Motion Passes

7. PRELIMINARY REVIEW 11/15/16

Preliminary Reviews can be voted a Final Review by a unanimous DPR Committee approval.

Project Name:	745 Eads CDP/MW 7435 & 7437 Eads Avenue	Permits:	CDP & TM Waiver
Project No.:	506361	DPM:	Glenn Gargas
Zone:	RS-1-7	Applicant:	Beth Reiter

(Process 3) Coastal Development Permit & Map Waiver for a condominium conversion of 2 units. This 0.16-acre site is located at 7435 & 7437 Eads Avenue, in the RM-1-1 zone of the La Jolla Community Plan area, in the PIOZ Coastal Impact and Coastal Height Limit Overlay Zone.

APPLICANT PRESENTATION 11/15/16 (Beth Reiter, CE, Mark Scialvane)

A four page handout of annotated photographs of the present day project site was distributed.

The units will undergo minor upgrading. The requirement for a CDP is because of the location. 3.25 parking spaces are required, 5 off-street parking spaces are planned. Bishops Lane, behind the property, will be re-paved as per City instructions. On site utility wires will be undergrounded. Trash pick up is done from both the alley, Bishops Lane, and the street, Eads Avenue. The landscaped area of the lot is 25% and will remain at 25%.

PLEASE PROVIDE FOR FINAL REVIEW:

- Please indicate the location for trash cans on the plans.
 - Please provide distances, measurements on plans.
 - Please update the landscaping plan, and use green color.
 - Show relocated fence, and additional landscaping.
 - Indicate measurements of the courtyard staircase and patio areas.
 - Please provide plans for the upgraded arbor columns (or trellis columns).
- Applicant would like to return at a later meeting.

NOVEMBER 2016 MEETING CANCELLED

**LA JOLLA PLANNED DISTRICT ORDINANCE COMMITTEE
LA JOLLA COMMUNITY PLANNING ASSOCIATION
NOVEMBER 2016 MEETING CANCELLED**

**LA JOLLA TRAFFIC AND TRANSPORTATION BOARD
NOVEMBER 2016 MINUTES**

Members Present: Dave Abrams (Chairperson) LJCPA, Tom Brady LJCPA, Donna Aprea LJTC, Erik Gantzel BRCC, Brian Earley LJSA, John Kassar LJSA

Members Absent: Patrick Ryan BRCC, Nancy Warwick LJTC, Richard Walker LJVMA, Corey Bailey LJVMA

Approve Minutes of: Wednesday September 21, 2016 **Motion to Approve: Earley, Second: Brady 6-0-0**

Public Comments on Non-Agenda LJT&T Matters: Bill Robbins often works at the special events that are presented to LJT&T. He worked at the Challenged Athletes Triathlon that was recently presented and he spoke about TC Construction Company doing work on the Shores water/sewer projects and Prospect Street. TC Construction Company placed steel plates along the Triathlon's Route and welded them down. The bikes participating in the Triathlon became damaged by them. Now they are about to do that again for the LJ Marathon that is about to be presented. TC Construction shut down for the Holiday Moratorium but the steel plates are still there. La Jolla Marathon participants need to be aware of them.

No other Public Comments.

Agenda Item 1: Street Closure Signage (Cont'd Item) Update on Signage Guidelines developed by our Subcommittee for use during Special Events requiring Temporary Street Closures and/or No Parking. (Nancy Warwick and Patrick Ryan) **Discussion Item**

Patrick and Nancy are not available to comment. Agenda Item is carried over to next LJT&T Meeting.

Agenda Item 2: Extension of Green Zone Parking on High Ave: (Cont'd from August and September) Request to extend the existing green zone parking on south side of High Ave adjacent to animal care office at 1135 Torrey Pines Road to provide for additional customer parking (John Morizi) **Action Item**

John Morizi recently opened his Pet Health Center at 1135 Torrey Pines Rd. at the corner of High Avenue. There are four parking spaces on High Ave. adjacent to the building: two are time limited and two are unlimited. He is requesting that the two green zone parking spaces extend to the two parking spaces that are not green zoned. Four time limited parking spaces in front of his business will create turnover allowing for additional customer parking.

At the August 17, 2016 Board Meeting Dr. Morizi was requested to canvas the neighborhood of High Ave and Virginia Way with a survey ascertaining neighbors input over relinquishing two unrestricted parking spaces and return to the Board with the results of his survey. He is now appearing before the Board with his survey of eight neighbors on High Ave, Virginia Way, and Torrey Pines Rd all in support of his request for the additional green zone parking spaces recognizing that the turnover they will create would be beneficial to them.

Also in the audience are two neighbors who spoke against the extension of the green zone parking during the August Board Meeting. Brian Butler lives on Virginia Way but his home faces Dr. Morizi's business on High Ave. Mr. Butler spoke of wanting to be a good neighbor to Dr. Morizi but he also wants to show solidarity to his next door neighbor who vehemently opposes the green zone extension due to the fact that he owns twelve vehicles that he parks all over High Avenue.

Terry Gulden also lives on Virginia Way, his home faces High Ave, and he believes taking any parking spaces out of the parking pool is the wrong thing to do. Dave explained that the parking spaces would not be taken out of the parking pool; they would free up during the day to rotate but Mr. Gulden does not agree. Mr. Butler asked Dave about the addresses on Dr. Morizi's survey supporting the extension and Dave read them to the audience. Mr. Butler spoke of an alternative measure to Dr. Morizi's request for additional customer parking. Pet Health Care customers can go two doors down to Starbucks, buy a coffee, and park in their parking lot.

Dr. Morizi explained those two unrestricted parking spaces on the side of his business are intended for retail, not employee parking, and he is not disturbing the dynamics of High Avenue by requesting they be turned over to time limited parking. Employees of neighboring businesses on Torrey Pines Road and elsewhere in the Village park in those unrestricted spaces all day long preventing turnover that is beneficial to retail. These employees park up and down High Ave preventing residents from parking in front of their own homes during the day. At the end of the day about 40% of the cars parked on the street clear out.

Time Limited Parking begins at 8:00 am and ends at 6:00 pm Monday through Saturday. Residents of High Ave would have access to those 4 parking spaces after 6:00 pm and all day Sundays and Holidays. Additionally, the time limits would create turnover every 30 minutes so if a resident of High Ave or Virginia Way has a contractor come to their home during the day they would have a place to park. Mr. Butler spoke of very little parking enforcement for the two existing parking spaces that are already green zoned but Dr. Morizi spoke to the Parking Enforcement Officers and enforcement is improving.

Brian asked Dr. Morizi on average how much parking is there for other businesses of his type and size in the Village. Dr. Morizi responded that there are presently just 2 spaces for retail customer parking that are located in front of his business; there is no other time limited parking for businesses on his side of Torrey Pines Road.

John asked if there was delineation between the business time limited parking zones and the residential parking zones, and there is an alleyway that will separate the retail time limited zoned parking spaces from the residential parking zones.

Tom asked Dr. Morizi if he could get more parking spaces from his Landlord. Dr. Morizi shares his downstairs business with upstairs rental tenants who each have a parking space. He has two functioning parking spaces in back of the building and that is all he has assigned to him. He relies on the two time limited parking spaces out in front and with another Veterinarian practicing with him he needs the additional turnover that the other two unrestricted parking spaces would create. Tom asked what his customers are doing now without the additional parking and Dr. Morizi replied they are circling around the building waiting for a space to open up.

John believes that extending the green zoned parking spaces to include the two non-green zoned parking spaces on the side of 1135 Torrey Pines road would be beneficial to both the businesses in that area and to the residents on High Ave because parking would rotate during the day instead of employees parking in them all day long.

Tom cannot support a motion to turn unrestricted parking spaces over to restricted parking. He believes the Board has not heard from enough residents on High Ave and Virginia Way. The car collector who owns twelve vehicles that he is parking all over High Ave may be a reason why parking is seriously impacted on that street. If he is operating a business there may be a code enforcement issue going on that should be taken care of. Mr. Gulden spoke to Code Enforcement Staff and the Police about the car collector. The owner of these cars moves the cars around once a month sometimes once a week but it's the same twelve vehicles being moved around the same twelve parking spaces. There is not much code enforcement can do if he is moving them around to comply with parking regulations.

Motion to Approve extending the two green zone parking spaces to include the two non-green zone parking spaces on the south side of High Ave at 1135 Torrey Pines Road: Kassar, Second: Earley 5-1-0 (Brady)

Agenda Item 3: La Jolla Half Marathon: Request for Temporary Street Closure and No Parking areas related to the 36th annual event based at Scripps Park on Sunday April 23, 2017 (Leisha Lamp) **Action Item**

On Sunday April 23, 2017 the Kiwanis of La Jolla will host the 36th annual La Jolla Half Marathon & La Jolla Shores 5K. The half marathon will start at Del Mar Fairgrounds through Torrey Pines State Park, along La Jolla Shores, up Torrey Pines Rd and down to the finish line at Ellen Browning Scripps Park at La Jolla Cove. The 5K starts on La Jolla Shores Drive, 3.1 miles from the finish line.

The route has been adjusted from last year, actually returning to the original route, to accommodate the construction work going on in the Shores. Some streets are impacted by the Marathon this year that were not previously impacted before and event organizers are getting the word out with event information flyers and door hangers. They are also communicating with the kayak companies about the launch site, as well as the delivery services in the area to let them know about the street closures.

LA JOLLA HALF MARATHON IMPORTANT EVENT INFORMATION!

The La Jolla Half Marathon is coming to the streets of Del Mar and La Jolla on Sunday, April 23, 2016. Following is a list of entirely or partially impacted roads in your area and approximate closure times.

- Jimmy Durante Blvd between San Dieguito Drive and Via Del La Valle - 7:15 to 8 a.m.
- Via De La Valle between Interstate 5 and Camino Del Mar - 7:15 to 8:15 a.m.
- Camino Del Mar from Via De La Valle to Coast Blvd - 7:15 to 8:30 a.m.
- Coast Blvd from Camino Del Mar to 15th Street - 7:15 to 8:30 a.m.
- Ocean Avenue from 15th Street to 13th Street - 7:15 to 8:30 a.m.
- 13th Street from Ocean Avenue to Pacific Lane - 7:15 to 8:30 a.m.
- Pacific Lane from 13th Street to 12th Street - 7:15 to 8:45 a.m.
- 12th Street from Pacific Lane to Stratford Court - 7:15 to 8:45 a.m.
- Stratford Court from 12th Street to 4th Street - 7:15 to 9 a.m.
- 4th Street from Stratford Court to Camino Del Mar - 7:15 to 9 a.m.
- Camino Del Mar from 4th Street to Carmel Valley Road - 7:15 to 9 a.m.
- N Torrey Pines Road from Carmel Valley Road to entrance of Torrey Pines State Park - 7:15 to 9:15 a.m.
- Torrey Pines Park Road (entire road inside Torrey Pines State Park) - 7:15 to 9:30 a.m.
- N Torrey Pines Road from National University System Driveway to N Torrey Pines Court - 7:15 to 10 a.m.
- N Torrey Pines Road from National University System Driveway to La Jolla Shores Drive - 7:15 to 10 a.m.
- La Jolla Shores Drive from N Torrey Pines Road to El Paseo Grande - 7:15 to 10:30 a.m.
- El Paseo Grande from La Jolla Shores to La Vereda (La Jolla Shores boardwalk) - 7:15 to 10:30 a.m.
- La Vereda (La Jolla Shores boardwalk) from El Paseo Grande to Avenida De La Playa - 7:15 to 10:30 a.m.
- Avenida De La Playa from La Vereda (La Jolla Shores boardwalk) to Calle De La Plata - 7:15 to 10:45 a.m.

- Calle De La Plata from Avenida De La Playa to Paseo Dorado - 7:15 to 10:45 a.m.
- Paseo Dorado from Calle De La Plata to Spindrifft Drive - 7:15 to 10:45 a.m.
- Spindrifft Drive from Paseo Dorado to Torrey Pines Road - 7:15 to 10:45 a.m.
- Torrey Pines Road from Spindrifft Drive to Prospect Place - 7:15 to 10:45 a.m.
- Prospect Place from Torrey Pines Road to Coast Blvd - 7:15 to 11 a.m.
- Coast Blvd from Prospect Place to La Jolla Cove - 7:15 to 11 a.m.

Brian commented that on Avenida de la Playa there is continued work at the corner coming off the Boardwalk so at the end of the Boardwalk marathon participants will make a hard left and run right into a construction project that has been ongoing for a couple of years. Leisha drove the marathon route and the construction is further away from their route. She has been in touch with the public relations officer and will continue to correspond with public relations as they get closer to marathon day.

Brian asked if she communicated with businesses along the Shores and Leisha responded they all received event information flyers as well as an electronic copy of the event information flyer. Event organizers also made follow up phone calls to make sure they received the event information and to answer any questions they may have.

Motion to Approve Temporary Street Closures and No Parking areas related to La Jolla Half Marathon event ending at Scripps Park on April 23, 2017: Brady, Second: Gantzel 6-0-0

Agenda Item 4: Yellow Zone Parking Request for one Commercial Parking Space on Herschel Ave adjacent to Avis Auto Rental at 1110 Torrey Pines Road (Joseph Eid) **Action Item**

Mr. Eid is the General Manager of Avis Auto Rental on the corner of Herschel Ave and Torrey Pines Road. Avis Auto Rental keeps their cars in the Bank of America parking garage on Kline Street. When a customer requests a rental, Avis employees go to the parking garage to get one for them but there is no place to park the rental once they have it so they often have to double park the vehicle. Avis is requesting one commercial parking space on the Herschel side of their building to stage the transfer. A second reason why they are requesting a commercial parking space is a San Diego Parking Enforcement Officer who has been issuing parking tickets to the Company for violating a rule that you cannot have a rental car on a public street if they are being advertised for rent or for sale. Avis customers rent the vehicles and then park it on the street to perhaps go to a restaurant across the street, triggering parking violations from one particular parking enforcement officer.

The Parking Enforcement Officer notices the Avis parking tag on the vehicle, believes it is parked on the street violating code, and issues the ticket. The parking ticket is based on the assumption the vehicle is being advertised for rent. Mr. Eid has to call his corporate office, explain what happened, and get the contract to show that the customer rented it. It has happened numerous times. After many conversations with the Supervisor of the Parking Enforcement Officer to get the tickets removed Avis needs to do something to prevent recurrences and they are now requesting the commercial parking space in front of their Business. Mr. Eid is asking for one because the San Diego Police Department suggested that might be an option for them.

John asked about the driveway in back of the Auto Rental. The driveway is shared with Stella Maris School and cars can drive in but cannot drive out when school is in session. Avis is assigned two parking spaces in back of the building which they use for Returns and Transfers. Avis services many elderly customers who find it helpful to pick the car up from the street and not the back of the building.

John spoke of the two hour time limited parking on Herschel Ave. Those parking spaces are frequently used and the Board is being asked to turn one of them over for commercial use when one really does not need to be there. Mr. Eid responded that perhaps just a 30 minute time limit for the commercial parking space would help out Avis as well as other merchants located on Herschel Ave if they need one for a quick in and out. He believes the first parking space when you make the turn onto Herschel in front of his building would be ideal. Tom and John do not agree that giving up a parking space for a commercial use parking space is the right thing to do for that area and that first parking space at the corner would not be ideal. It would cause a dangerous situation for a driver making the turn onto Herschel if a truck was to be parked in that parking space.

Bill Robbins pointed out that rental cars do not have commercial license plates on them so they would not be able to use a commercial parking space. Brian suggested having Avis write a letter to City Staff explaining that the parking violations occurring on the streets are issued after the customer has rented the vehicles, they are not using parked vehicles on the streets as advertisements, and the tickets are disturbing the customer environment. Just before the Vote was taken Mr. Eid asked the Board if there was any other recourse he should ask for to help reach a resolution to the matter. Dave said he will contact him to discuss other possible solutions after speaking with City Staff.

Motion to Deny the Request for one Commercial Parking Space on Herschel Ave adjacent to Avis Auto Rental at 1110 Torrey Pines Road: Brady, Second: Earley 6-0-0

Erika Hill from La Jolla Presbyterian Church missed the two minute Public Comment but wishes to thank the Board for approving the Church Fall Festival that she presented to the Board in September. Erika reports about 900 people enjoyed the Festival making it a huge success. The lines were very long at all four Food Trucks located on Draper and the Rec Center and basketball courts were well used. La Jolla Presbyterian would like to hold another Fall Festival next year and she will start the process of appearing before the Committees much earlier than she did this year now that she knows what she is doing so we will see her again.

Dave commented that the December Meeting is scheduled very close to the Holiday on December 21st and he will be unable to attend. In addition, there are no new Agenda items pending. As a result, he is cancelling the December Meeting and LJ&T will meet again on January 18, 2017.

Meeting adjourned at 4:53 pm

Next Meeting January 18, 2017

Respectfully submitted: Donna C Aperia, Secretary



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title _____ **Project No. For City Use Only** _____
Swindle Residence

Project Address:
2488 Hidden Valley Rd. , La Jolla, Ca. 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
Swindle Patricia W trust C-2
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
1665 N. Ocean Blvd
City/State/Zip:
Gulfstream, Fl. 33483
Phone No: 561-265-3387 Fax No:
Signature: *Patricia Swindle* Date: 03/22/2017

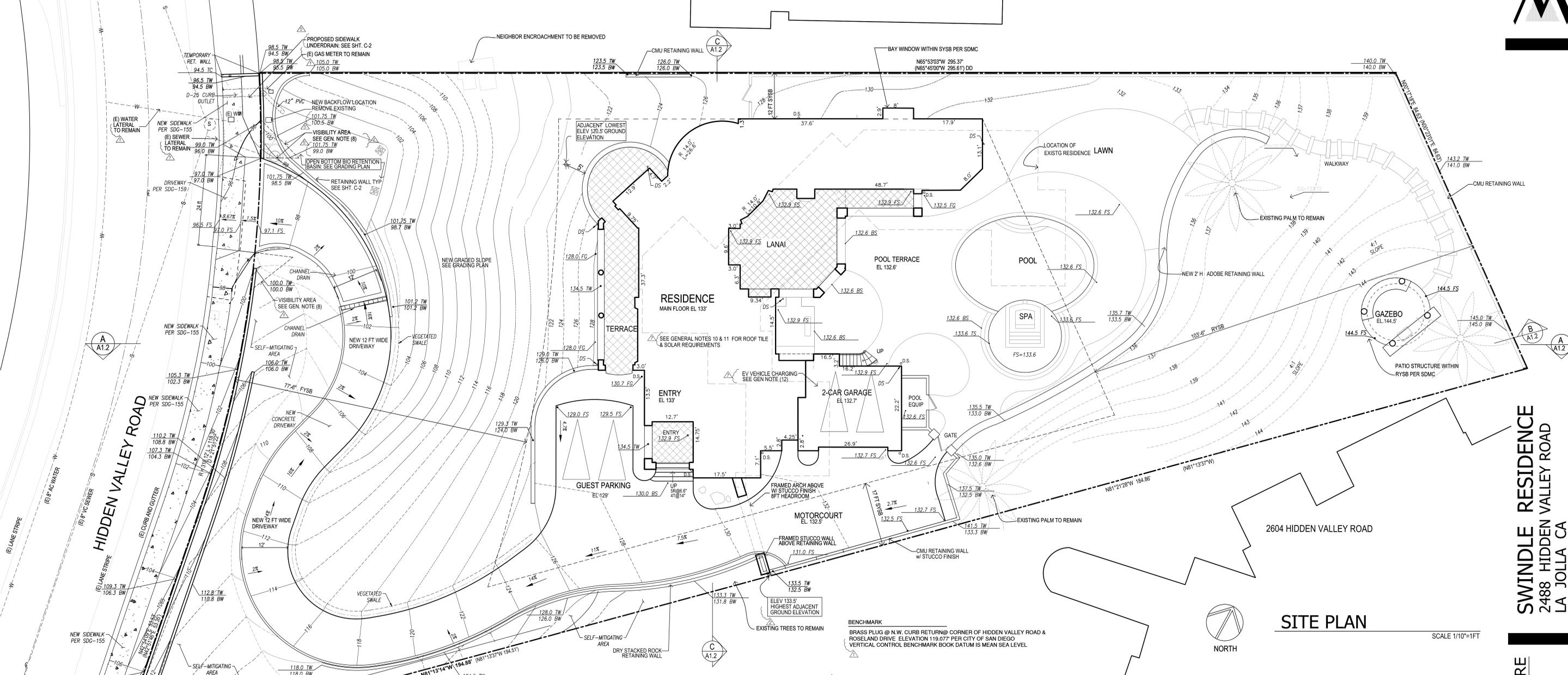
Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature : Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature : Date:



2480 HIDDEN VALLEY ROAD



SITE PLAN

SCALE 1/10"=1 FT



PROJECT REQUIREMENTS

- FIRE DEPARTMENT REQUIREMENTS
SEE NEIGHBORHOOD SITE PLAN SHEET A1.1
FOR FIRE HYDRANT LOCATIONS WITHIN 600 FT
PROVIDE BUILDING ADDRESS NUMBERS
VISIBLE & LEGIBLE FROM THE STREET
PER FHPS POLICY P-00-6.9 (UFC 901.4.4)
NEW CONSTRUCTION REQUIREMENTS FULL SPRINKLER
SYSTEM (RESIDENTIAL)
STORMWATER REQUIREMENTS
THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN
STORMWATER RUN-OFF ONTO THE ADJACENT PROPERTIES
THE DRAINAGE SHALL DISCHARGE TO HIDDEN VALLEY ROAD
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT
THE OWNER/PERMITTEE SHALL INCORPORATE ANY
CONSTRUCTION BEST MANAGEMENT PRACTICES
NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2
DIVISION 1 (GRADING REGULATIONS) OF THE SDMC INTO
THE CONSTRUCTION PLANS OR SPECIFICATIONS
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT
THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION
CONTROL PLAN (WPCP) THE WPCP SHALL BE PREPARED
IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF
THE CITY'S STORM WATER STANDARDS
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT
THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE
AGREEMENT FOR THE ONGOING PERMANENT BMP
MAINTENANCE SATISFACTORY TO THE CITY ENGINEER

AREA CALCULATION

Table with columns: Building Area, Lot Size, Site Address, Building Code, Total Area, etc.

PROJECT DATA

ASSESSORS PARCEL NUMBER: 352-083-20-00
LOT SIZE: 41,164 SF (0.945 ACRES)
SITE ADDRESS: 2488 HIDDEN VALLEY ROAD
LA JOLLA, CA 92037
BUILDING CODE: 2013 CBC, CRC, CPC, CMC,
CFC
LEGAL DESCRIPTION:
LOT 1288 A PORTION OF PARCELS 2 AND 3 OF
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA
ACCORDING TO MAP THEREOF. NO
FILED IN THE OFFICE OF THE COUNTY RECORDER
OF SAN DIEGO COUNTY

ZONING CLASSIFICATION

ZONE: LA JOLLA SHORES PLANNED DISTRICT-SF
LA JOLLA COMMUNITY PLAN
OVERLAY ZONES -
COASTAL HEIGHT LIMITATION &
COASTAL OVERLAY ZONE
TRANSIT AREA
RESIDENTIAL TANDEM PARKING
HISTORIC DISTRICT: NONE
HISTORIC REVIEW: BUILT 1952
DETERMINED NON HISTORIC
11-19-2015 PTS NO.397642
SETBACKS (SEE NEIGHBORHOOD SITE SURVEY SHT 1.1)
FRONT YARD PROPOSED 77'-6"
REAR YARD PROPOSED 103'-6"
SIDE YARDS PROPOSED 10 FT / 17 FT
ARCHAEOLOGY:
SENSITIVITY MAP (CITY S.D.)
NO ADDITIONAL EVALUATION OR
REQUIREMENTS
PALEONTOLOGY: NO REQUIREMENTS

SCOPE OF WORK

- EXISTING 2 STORY SINGLE FAMILY RESIDENCE
WITH ATTACHED 2-CAR GARAGE TO BE DEMOLISHED
EXISTING EXTERIOR HARDSCAPE AND LANDSCAPING
TO BE REMOVED
EXISTING DRIVEWAY TO BE REMOVED
NEW 2- STORY RESIDENCE TO BE CONSTRUCTED,
W/ NEW 2-CAR GARAGE
NEW SITE RETAINING WALLS AND SITE GRADING
CUT/FILL SLOPES W/ NEW GRADED DRIVEWAY
NEW DRIVEWAY TO NEW GARAGES
REPLACE EXISTING DRIVEWAY CURB CUT
NEW LANDSCAPING TO BE INSTALLED AT FRONT
& REAR YARDS W/ NEW SITE DRAINAGE SYSTEM
NEW ELECTRICAL SERVICE/UPGRADE
NEW POOL & SPA @ REAR YARD WITH NEW POOL
TERRACE
NEW GAZEBO AND BAR IN REAR YARD
BASEMENT DELLETED REV. NO. 4 08-23-16

REQUIRED PERMITS & APPROVALS

- SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT

SHEET INDEX

Table with columns: Sheet No., Description, Date.

PROJECT NAME: SWINDLE RESIDENCE
PROJECT ADDRESS: 2488 HIDDEN VALLEY ROAD
LA JOLLA, CA 92037

SITE PLAN

DRAWING SCALE: 1"=10 FT

ORIGINAL DATE: 09-04-15

Table with columns: Revision No., Date, Description.

SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT
PROJECT NO. 443712

CERTIFICATION STATEMENT

I AM ACCOUNTABLE FOR KNOWING & COMPLYING WITH THE GOVERNING
POLICIES, REGULATIONS & SUBMITTAL REQUIREMENTS APPLICABLE TO
THIS PROPOSED DEVELOPMENT
I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE
REQUIRED APPROVALS & DECISION PROCESS FOR THE PROPOSED
PROJECT AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL
OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE
PERMITTING PROCESS
I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT
COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST
FOR PROFESSIONAL CERTIFICATION
MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT
PERMIT COMPLIANCE REVIEW PRIVILEGE REQUIRES ACCURATE
SUBMITTALS ON A CONSISTENT BASIS
SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT
BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL
CERTIFICATION OF COMPLETENESS REVIEW

RESPONSIBLE CERTIFIED PROFESSIONAL NAME:
SIGNATURE:
DATE:

PROJECT TEAM

- ARCHITECT: MARTIN ARCHITECTURE
2333 STATE STREET STE. 100
CARLSBAD, CA 92008
CONTACT: TIM MARTIN AIA
760-729-3470 (O)
760-729-3473 (F)
GEOTECHNICAL ENGINEER: GEOTECHNICAL EXPLORATION INC.
7420 TRADE STREET
SAN DIEGO, CA 92121
858-649-7222 (O)
OWNERS: BILL SWINDLE
1695 NORTH OCEAN BOULEVARD
GULF STREAM
FL 33483
SURVEYOR: PASCO LARET SUITOR & ASSOCIATES
535 N. COAST HIGHWAY 101 SUITE A
SOLANA BEACH, CA 92075
858-259-8212 (O) 858-259-4812 (F)
CIVIL ENGINEER: PASCO LARET SUITOR & ASSOCIATES
535 N. COAST HIGHWAY 101 SUITE A
SOLANA BEACH, CA 92075
858-259-8212 (O) 858-259-4812 (F)
LANDSCAPE ARCHITECT: NERI LANDSCAPE ARCHITECTURE
928 HORNBLEND STREET SUITE 3
SAN DIEGO
CA 92109
858 274 3222 (O) 858 274 3223(F)

GENERAL NOTES

- FOR FINISH GRADE ELEVATIONS SEE GRADING PLAN SHEET C-2
FOR SITE HARDSCAPE AND LANDSCAPE AREA SEE LANDSCAPE
PLANTING AND HARDSCAPE PLANS SHEETS L1.0, L1.1
FOR RETAINING WALL ELEVATIONS SEE GRADING PLAN SHEET C-2
FOR SITE SECTIONS SHEET A1.2 FOR SITE SECTIONS INDICATED BY
SECTION SYMBOL
FOR SITE DRAINAGE SEE GRADING PLAN SHEET C-2
SEE NEIGHBORHOOD SITE PLAN SHEET A1.1 FOR FIRE HYDRANT
LOCATIONS AND ADJACENT LOT INFORMATION
ROOF AND DECK DRAINS TO DRAIN TO EXTERIOR AT GRADE.
(DS= DOWNSPOUT LOCATION)
STORMWATER RUNOFF FROM ROOF AND DECK DRAINS TO BE
FILTERED PRIOR TO ENTERING SITE DRAINAGE
SYSTEM PER WATER POLLUTION CONTROL PLAN
NO STRUCTURES OR LANDSCAPING OVER 3 FT HT. TO BE
PLACED IN VISIBILITY AREAS
PROVISION FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION
PROVIDE RESERVE SPACE AT ELECTRICAL PANEL WITH RACEWAY TO
JUNCTION BOX AT GARAGE FOR FUTURE ELEC. VEHICLE CHARGING
SOLAR PHOTOVOLTAIC PANELS SHALL BE INSTALLED.
PROVIDE RESERVE SPACE AT MAIN ELECTRICAL SERVICE PANEL
ROOF TILE SHALL BE OF ROOFING MATERIALS WITH A MINIMUM
3 YEAR AGED SOLAR REFLECTION & THERMAL EMITTANCE OR SOLAR
REFLECTION INDEX EQUAL TO OR GREATER THAN THE VALUES SPECIFIED
IN THE VOLUNTARY MEASURES UNDER THE CALIFORNIA GREEN CODE

LOT COVERAGE

EXISTING LOT COVERAGE: 8.75%
PROPOSED LOT COVERAGE: 15%

GENERAL NOTES

- PLUMBING FIXTURES SHALL BE LOW
FLOW AS FOLLOWS
KITCHEN FAUCETS: MAX FLOW RATE
1.5 GPM @ 60 PSI
STD. DISHWASHERS 4.25 GALLONS
PER CYCLE
COMPACT DISHWASHERS 3.5 GALLONS
PER CYCLE
CLOTHES WASHERS FACTOR OF 6 GALS
PER CU. FT. OF DRUM CAPACITY

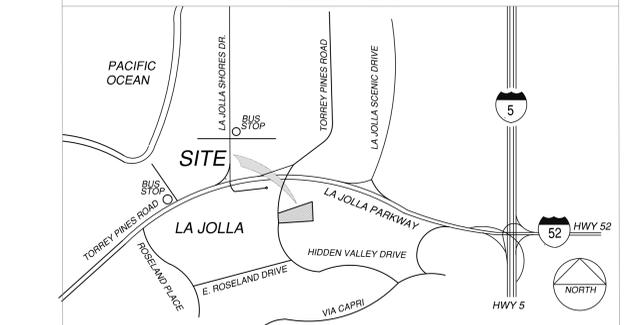
EXISTING BUILDING

EXISTING BUILDING (TO BE DEMOLISHED):
DATE OF CONSTRUCTION: 1952
EXISTING USE: SINGLE FAMILY RESIDENCE
W/ ATTACHED 2 CAR GARAGE
OCCUPANCY: R-3
DESCRIPTION: 5 BEDROOMS, 4 BATH
SINGLE STORY W/ BASEMENT

LANDSCAPE AREAS:

LANDSCAPE AREA SHALL BE NO LESS THAN 30% OF
THE TOTAL PARCEL AREA SEE SHEET L1.0
EXTERIOR LIGHTING REQUIREMENTS
ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHADED
& ADJUSTED TO FALL ON SAME PREMISES ON
WHICH LIGHTS ARE LOCATED

VICINITY MAP



SWINDLE RESIDENCE
2488 HIDDEN VALLEY ROAD
LA JOLLA, CA

MARTIN ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A1.0



SWINDLE RESIDENCE
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

MARTIN ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A1.1



NEIGHBORHOOD SITE PLAN

SCALE: 1"=40 FT

FH INDICATES EXISTING FIRE HYDRANT LOCATION



PROJECT NAME
SWINDLE RESIDENCE

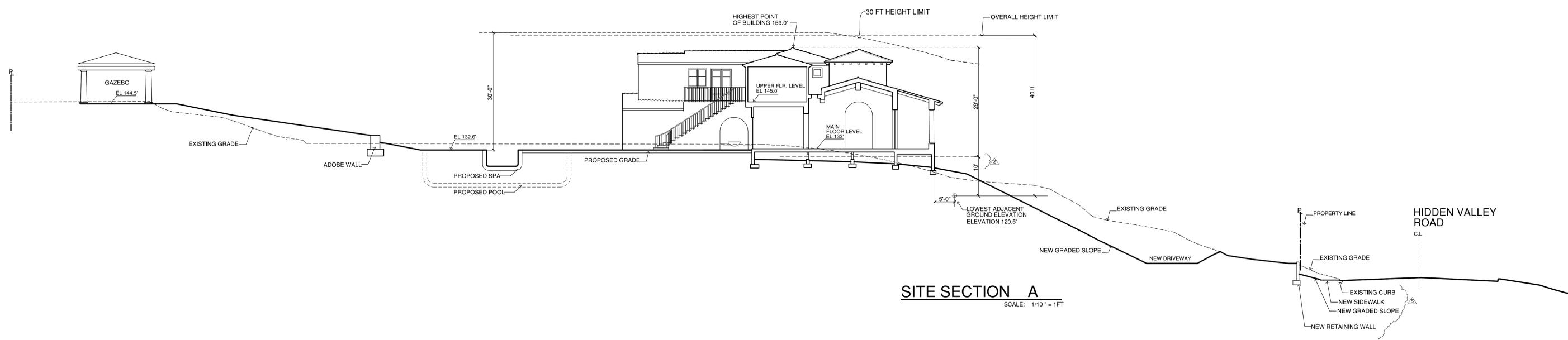
PROJECT ADDRESS
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

SHEET TITLE
NEIGHBORHOOD
SITE PLAN

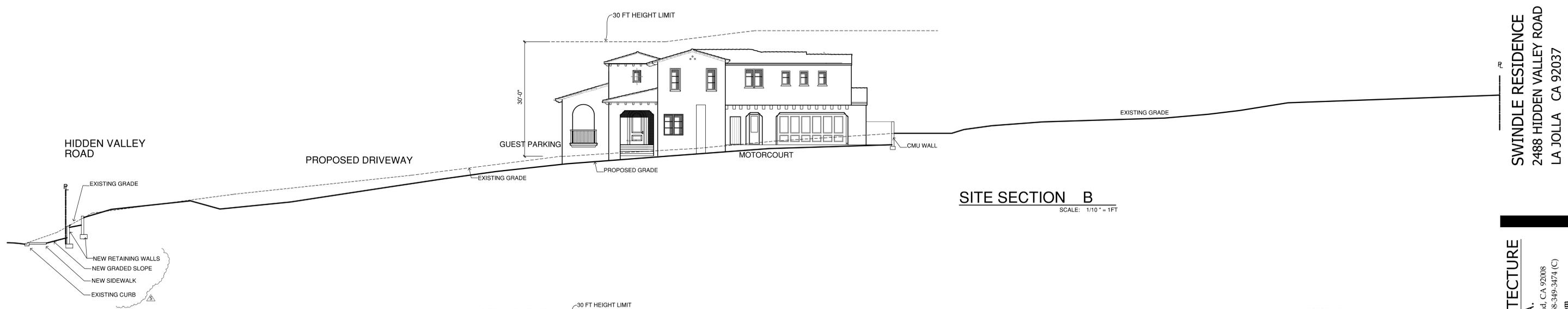
DRAWING SCALE
SCALE: 1"=40 FT

ORIGINAL DATE:	09/04/15
REVISION 1	11/12/15
REVISION 2	12/17/15
REVISION 3	
REVISION 4	08/23/16
REVISION 5	
REVISION 6	
REVISION 7	
REVISION 8	

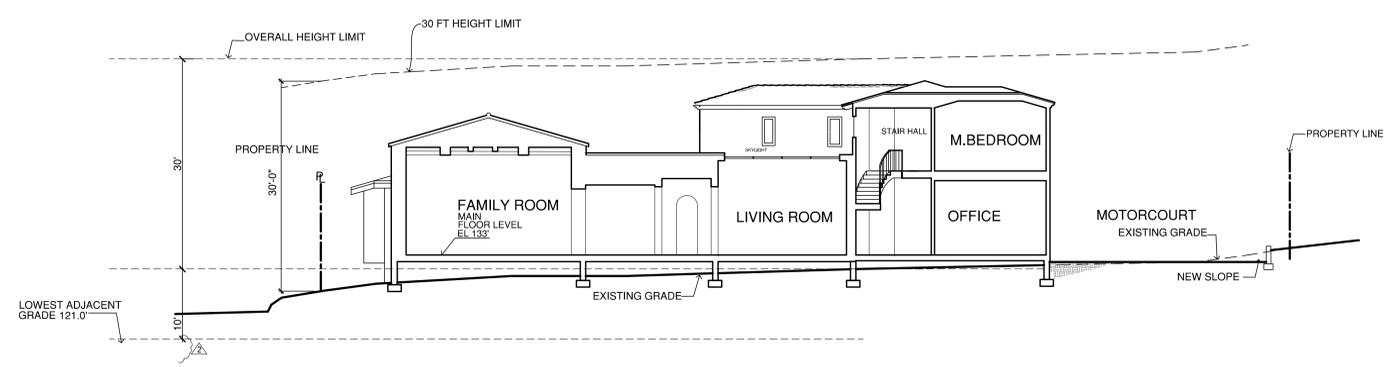
SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT
PROJECT NO.



SITE SECTION A
SCALE: 1/10" = 1FT



SITE SECTION B
SCALE: 1/10" = 1FT



SITE SECTION C
SCALE: 1/10" = 1FT

PROJECT NAME
SWINDLE RESIDENCE

PROJECT ADDRESS
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

SHEET TITLE
SITE SECTIONS

DRAWING SCALE
SCALE: 1"=10 FT

ORIGINAL DATE: 09-04-15

- REVISION 1 11-12-15
- REVISION 2 12-16-15
- REVISION 3 07-13-16
- REVISION 4 08-23-16 DELETE BASEMENT
- REVISION 5 01-17-17
- REVISION 6
- REVISION 7
- REVISION 8

SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT

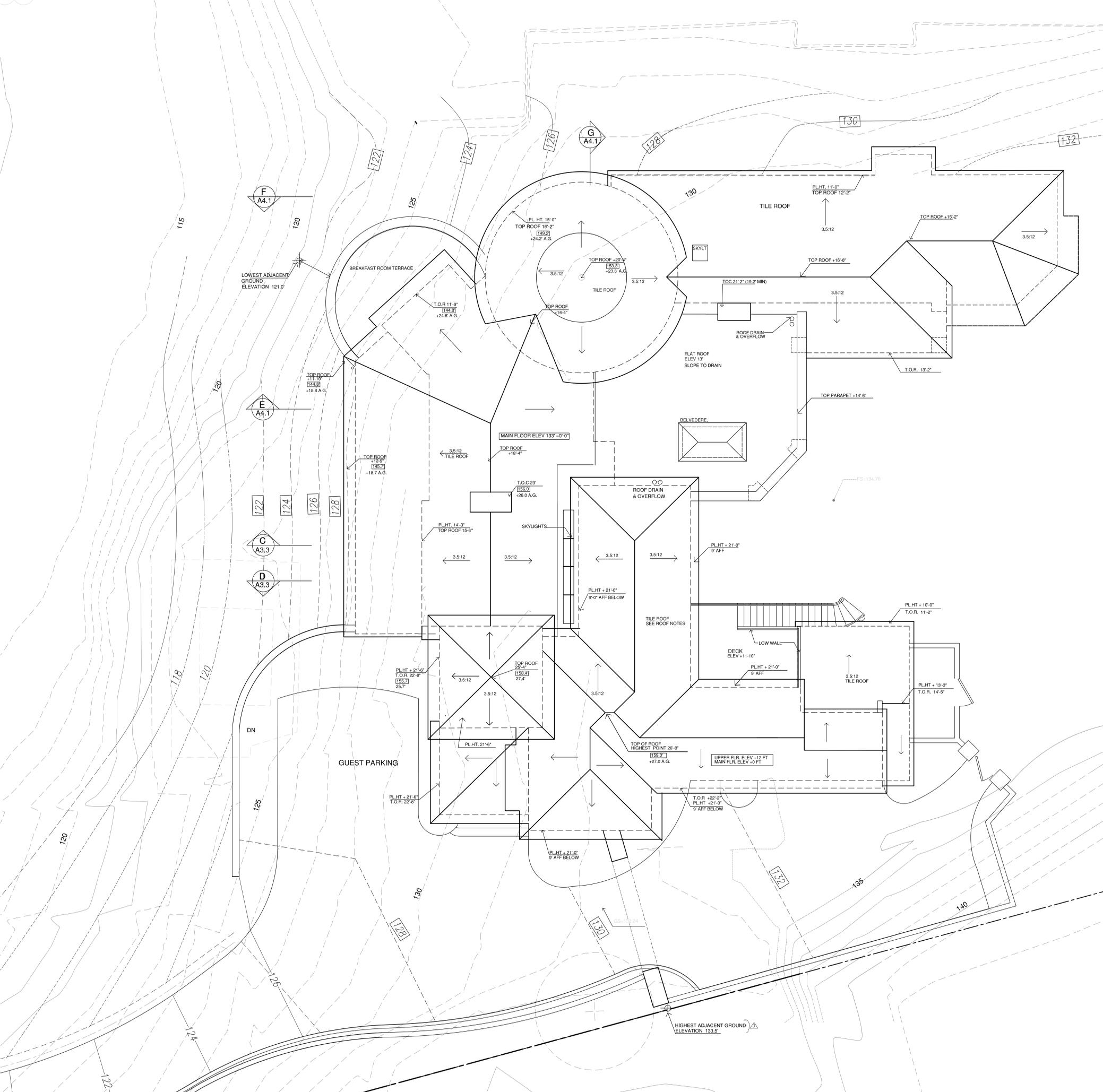
PROJECT NO.

SWINDLE RESIDENCE
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

MARTIN ARCHITECTURE
Tim Martin A.I.A.
2333 State Street Suite 100 Carlsbad, CA 92008
760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
tim@martinarchitecture.com

SHEET NO.

A1.2



LEGEND

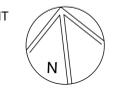
PL.HT. 0'-0"	INDICATES TOP OF WALL PLATE ABOVE MAIN LEVEL
T.O.R.	TOP OF ROOF
T.O.C.	TOP OF CHIMNEY
T.O.P.	TOP OF PARAPET
+12'-5"	DISTANCE ABOVE MAIN FLOOR LEVEL (0'-0")
81.0'	SEA LEVEL ELEVATION
24'-9" A.G.	ELEVATION ABOVE GRADE DIRECTLY BELOW
81.0'	PROPOSED NEW CONTOUR LINE
81.0'	PROPOSED ELEVATION ABOVE SEA LEVEL
40.4	EXISTING SPOT ELEVATION (see survey)
81.0'	EXISTING GRADE
←	DIRECTION OF ROOF SLOPE

NOTES

OVERALL BUILDING HEIGHT CALCULATED PER CITY S.D. TECH BULLETIN BLDG-5-4

TYPICAL ROOFING: CLASS "A" FIRE RATED CLAY TILE
 NOTE: ALL PLATE HEIGHTS MEASURED ABOVE MAIN LEVEL = 0'-0"
 TYPICAL ROOF PITCH 3.5: 12

COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)
 HIGHEST ADJACENT GROUND ELEVATION REFERENCE DATUM 133.5'
 LOWEST ADJACENT GROUND ELEVATION REFERENCE DATUM 121.0'
 GRADE DIFFERENCE 133.5' - 121.0' = 13.5'
 SEE SHEET A3.1 WEST ELEVATION FOR VERTICAL MEASUREMENT



ROOF HEIGHT PLAN

SCALE: 3/16" = 1 FT

PROJECT NAME
 SWINDLE RESIDENCE

PROJECT ADDRESS
 2488 HIDDEN VALLEY ROAD
 LA JOLLA CA 92037

SHEET TITLE
ROOF HEIGHT PLAN

DRAWING SCALE
 SCALE: 3/16"=1 FT

ORIGINAL DATE: 09-04-15

- REVISION 1 11-12-15
- REVISION 2 11-23-15
- REVISION 3 12-15-15
- REVISION 4 08-23-16 DELETE BASEMENT
- REVISION 5
- REVISION 6
- REVISION 7
- REVISION 8

SITE DEVELOPMENT PERMIT
 COASTAL DEVELOPMENT PERMIT

PROJECT NO. _____

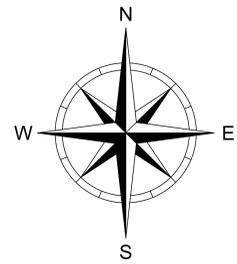
SWINDLE RESIDENCE
 2488 HIDDEN VALLEY ROAD
 LA JOLLA CA 92037

MARTIN ARCHITECTURE
 Tim Martin A.I.A.
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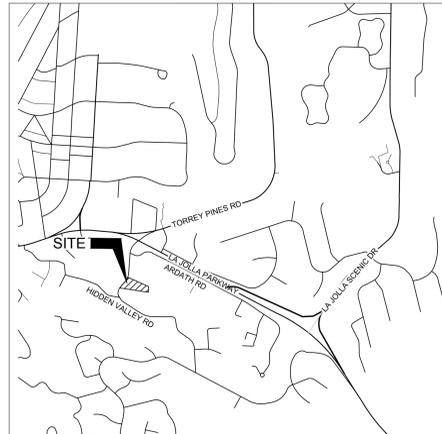
SHEET NO.

A1.3

PRELIMINARY GRADING PLAN + TOPOGRAPHIC MAP FOR: SWINDLE RESIDENCE 2488 HIDDEN VALLEY ROAD LA JOLLA, CA 92037



VICINITY MAP
SCALE: 1" = 1000'



TOPOGRAPHY SURVEY
SCALE: 1" = 20'

PROJECT INFORMATION

CLIENT: BILL SWINDLE
ADDRESS: 2488 HIDDEN VALLEY ROAD, LA JOLLA CA, 92037
APN: 352-083-20-00

ABBREVIATED LEGAL DESCRIPTION

THE PORTION OF LOT 1288 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921, AND IS KNOWN AS MISCELLANEOUS MAP NO.36, AS DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT NO. 2003-1050042

SURVEY NOTES

- THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
- ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO BRASS PLUG BENCHMARK LOCATED AT THE SOUTHEAST CURB RETURN AT THE INTERSECTION OF WINESS DRIVE AND PRESTWICK DRIVE, ELEVATION 347.41 FEET (NGVD-29 DATUM)

LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY LINE	---
CENTER LINE	---
SETBACK LINE	---
MASONRY RETAINING WALL	---
INDEX CONTOUR LINE	---
INTERMEDIATE CONTOUR LINE	---
CONCRETE SURFACE	---
TOP OF 6" CURB	TC
FINISH SURFACE	FS
FINISH FLOOR	FF
SEWER MANHOLE	SMH
FIRE HYDRANT	FH
WATER VALVE	WV

NOTES:

PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

SPECIAL NOTES:

- WALL HEIGHTS SHOWN ON THIS PLAN REPRESENT RETAINING PORTIONS OF WALLS ONLY. PLEASE SEE LANDSCAPE PLAN FOR NON-RETAINING WALL HEIGHTS AND FENCES.
- THIS PLAN FOR PRELIMINARY GRADING AND DRAINAGE PURPOSES ONLY. NOT FOR CONSTRUCTION. FINAL GRADING PLAN TO BE SUBMITTED TO CITY OF SAN DIEGO PRIOR TO CONSTRUCTION.



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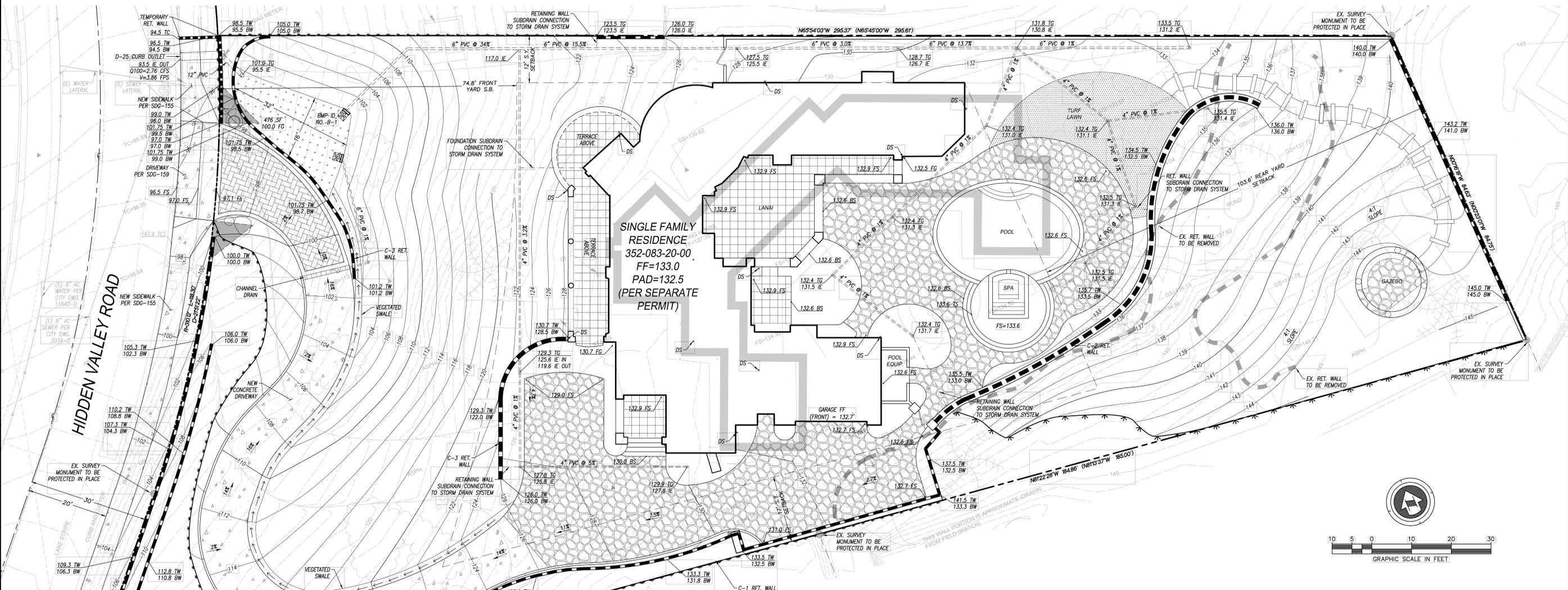
PLANS PREPARED UNDER THE SUPERVISION OF:
DATE: 08-18-15
R.C.E. NO.: 71651
BRIAN M. ARDOLINO
EXP.: 12-31-17

PREPARED BY:	Name: PASCO LARET SUITER & ASSOC. 525 N. HWY 101, SUITE A SOLANA BEACH, CA 92075 Phone: (858) 259-8212	Revision 14: _____ Revision 13: _____ Revision 12: _____ Revision 11: _____ Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: OCTOBER 7, 2016 Revision 1: OCTOBER 22, 2015
Project Address:	2488 HIDDEN VALLEY ROAD LA JOLLA, CA 92037	Original Date: AUGUST 18, 2015
Project Name:	SWINDLE RESIDENCE	Sheet: 1 of 3
Sheet Title:	PRELIMINARY GRADING PLAN	DEP#:

C.1

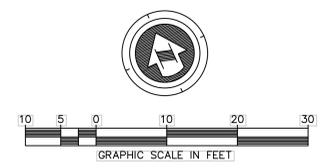
PRELIMINARY GRADING PLAN

2488 HIDDEN VALLEY ROAD, LA JOLLA, CA 92037



PRELIMINARY GRADING PLAN

SCALE: 1" = 10'



SITE INFORMATION
 OWNER: BILL SWINDEN
 ADDRESS: 2488 HIDDEN VALLEY ROAD
 APN: 352-083-20-00
 AREA: 41,164 SF (0.945 AC)

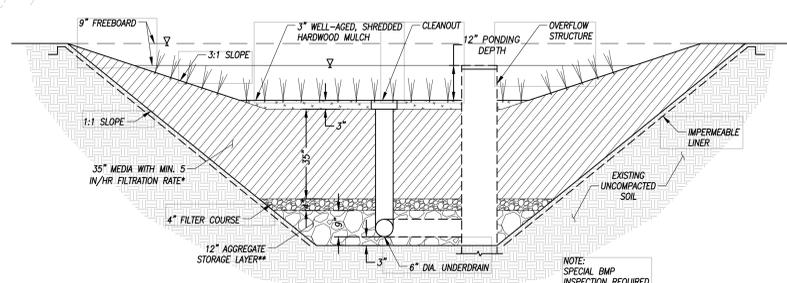
GRADING TABULATIONS

TOTAL AREA TO BE GRADED:	39,404 SF
AMOUNT OF CUT:	2,440 CUBIC YARDS
MAXIMUM DEPTH OF CUT OUTSIDE OF THE BUILDING:	5 FEET
AMOUNT OF FILL:	545 CUBIC YARDS
MAXIMUM DEPTH OF FILL OUTSIDE OF THE BUILDING:	5 FEET
AMOUNT OF EXPORT SOIL:	1,866 CUBIC YARDS
REMEDIAL GRADING:	510 CUBIC YARDS

LEGAL DESCRIPTION
 THE PORTION OF LOT 1288 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921, AND IS KNOWN AS MISCELLANEOUS MAP NO. 16, AS DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT NO. 2003-1050042

BENCHMARK
 BRASS PLUG AT THE NORTHWEST CURB RETURN AT THE INTERSECTION OF HIDDEN VALLEY ROAD AND ROSSELAND DRIVE. ELEVATION=119.077 PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK BOOK. DATUM IS MEAN SEA LEVEL.

TOPOGRAPHY
 PASCO LARET SUTER & ASSOCIATES
 535 N. COAST HWY 101, SUITE A
 SOLANA BEACH, CA 92075
 659-259-8212
 DATE: JANUARY 22, 2013

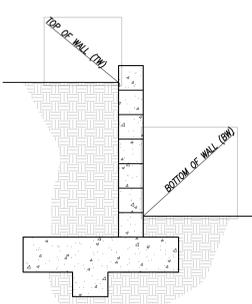


BIOFILTRATION W/ PARTIAL INFILTRATION AREA DETAIL (PR-1)
 NOT TO SCALE

* BIORETENTION "MEDIA" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX. THE MIX SHALL CONTAIN 85% WASHED COURSE SAND, 10% FINES, AND 5% ORGANIC MATTER. MEDIA SHALL MAINTAIN AN INFILTRATION RATE OF 5 IN/HR OVER LIFETIME OF FACILITY.

** 6" FILTER COURSE IS TO CONSIST OF ONE 3" LAYER OF CLEAN AND WASHED ASTM #3 FINE AGGREGATE SAND OVERLAYING A 3" LAYER OF ASTM NO. 8 STONE.

*** AGGREGATE STORAGE LAYER SHALL CONSIST OF ASTM #57 OPEN GRADED STONE. LAYER SHALL BE A MINIMUM OF 12" BUT MAY BE DEEPENED TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE BASIN. THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CALCULATION. ALL BIORETENTION PLANTERS TO BE DEEPENED AT LEAST 6" BELOW ADJACENT FINISHED SURFACE.



TYPICAL WALL ELEVATION LOCATIONS SHOWN ON PLAN
 NOT TO SCALE

ABBREVIATIONS

BW BOTTOM OF WALL ELEVATION
 BS BOTTOM OF STAIR ELEVATION
 EX EXISTING
 FF FINISH FLOOR ELEVATION
 FG FINISH GRADE ELEVATION
 FS FINISH SURFACE ELEVATION
 IE INVERT ELEVATION
 TG TOP OF GATE ELEVATION
 TS TOP OF STAIR ELEVATION
 TW TOP OF WALL ELEVATION
 WL WATER LEVEL ELEVATION

LEGEND

PROPOSED SITE RETAINING WALL	
PROPOSED SITE SCREEN WALL	
BUILDING RETAINING WALL	
EXISTING RETAINING WALL	
BIORETENTION TREATMENT AREA	
AREA DRAIN INLET AND GRATE	
CLEANOUT	
PVC DRAIN PIPE (SIZE AND SLOPE PER PLAN)	
LIMIT OF WORK	

PREPARED BY:
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Project Address:
 2488 HIDDEN VALLEY ROAD
 LA JOLLA, CA 92037

Project Name:
 SINGLE RESIDENCE

Sheet Title:
 PRELIMINARY GRADING PLAN

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	JANUARY 6, 2016
Revision 7:	DECEMBER 1, 2016
Revision 6:	OCTOBER 7, 2016
Revision 5:	OCTOBER 22, 2015
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	
Original Date:	AUGUST 18, 2015

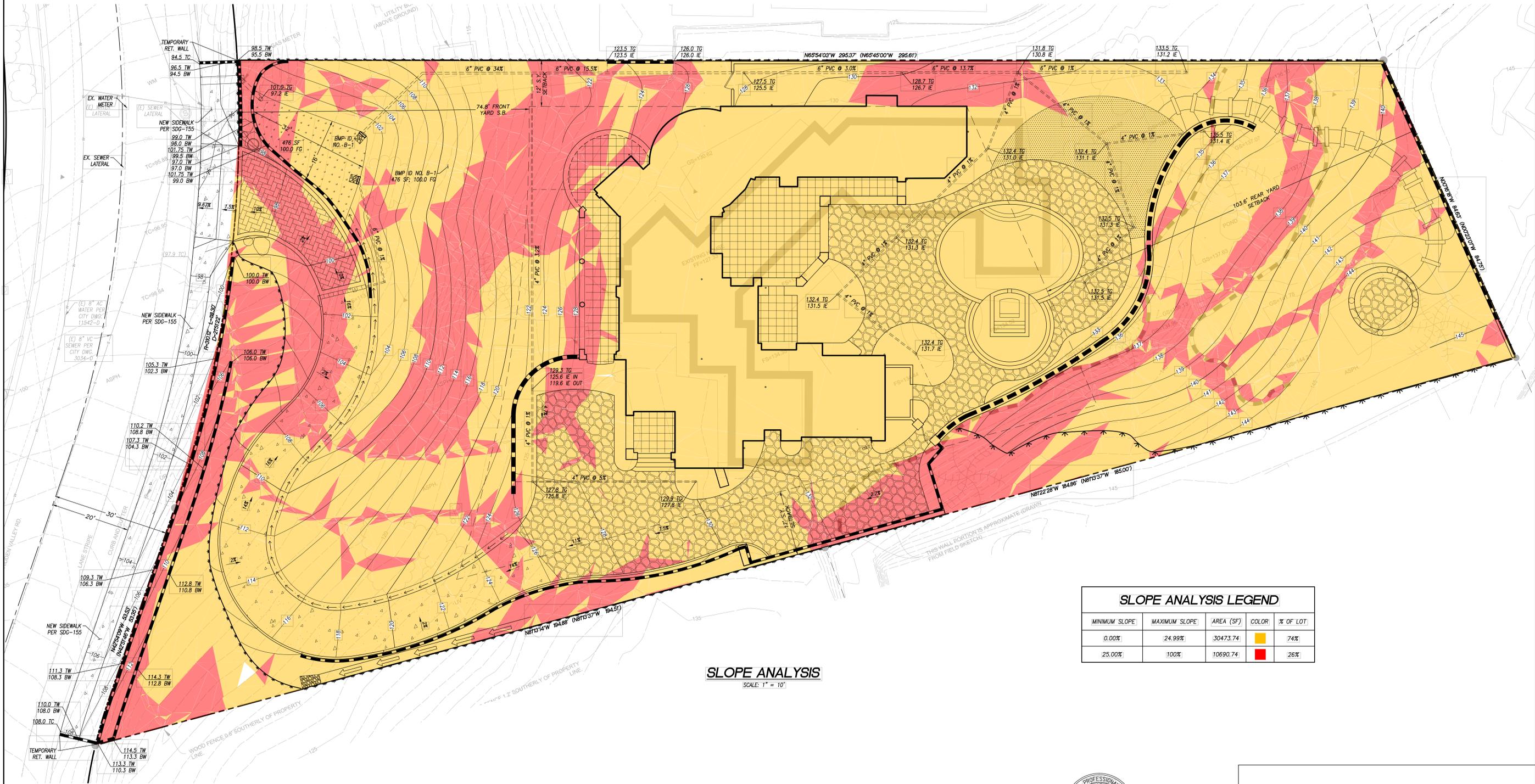
Sheet: 2 of 3
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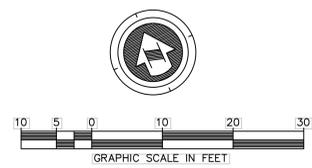
PLANS PREPARED UNDER THE SUPERVISION OF:
 DATE: 08-18-15
 R.C.E. NO.: 71651
 BRIAN M. ARDOLINO
 EXP: 12-31-17

PRELIMINARY GRADING PLAN 8194 PRESTWICK DRIVE LA JOLLA, CA 92037



SLOPE ANALYSIS
SCALE: 1" = 10'

SLOPE ANALYSIS LEGEND				
MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)	COLOR	% OF LOT
0.00%	24.99%	30473.74		74%
25.00%	100%	10690.74		26%

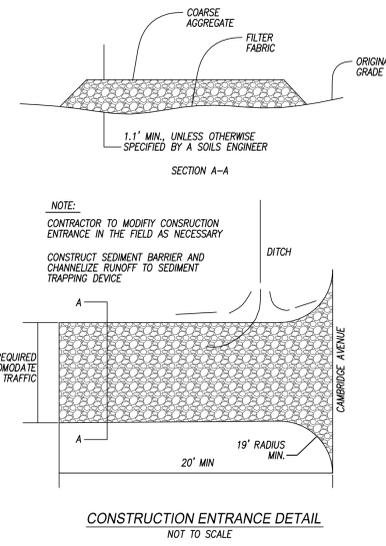
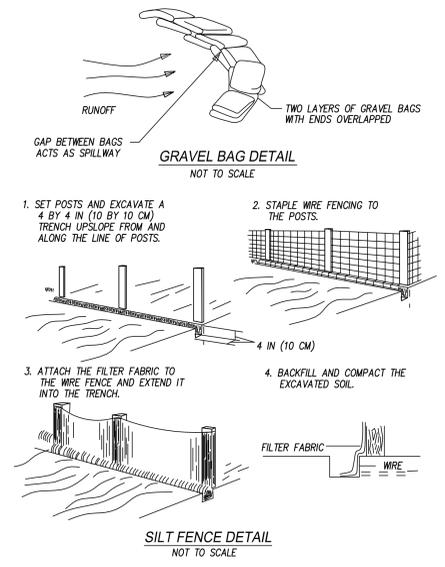


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DATE: 08-18-15
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<p>PREPARED BY: Name: PASCO LARET SUITER & ASSOC. 525 N. HWY 101, SUITE A SOLANA BEACH, CA 92075 Phone: (858) 259-8212</p> <p>Project Address: 2488 HIDDEN VALLEY ROAD LA JOLLA, CA 92037</p> <p>Project Name: SINGLE RESIDENCE</p> <p>Sheet Title: SLOPE ANALYSIS</p>	<table style="width: 100%; border-collapse: collapse;"> <tr><td>Revision 14:</td><td>_____</td></tr> <tr><td>Revision 13:</td><td>_____</td></tr> <tr><td>Revision 12:</td><td>_____</td></tr> <tr><td>Revision 11:</td><td>_____</td></tr> <tr><td>Revision 10:</td><td>_____</td></tr> <tr><td>Revision 9:</td><td>_____</td></tr> <tr><td>Revision 8:</td><td>_____</td></tr> <tr><td>Revision 7:</td><td>_____</td></tr> <tr><td>Revision 6:</td><td>_____</td></tr> <tr><td>Revision 5:</td><td>_____</td></tr> <tr><td>Revision 4:</td><td>_____</td></tr> <tr><td>Revision 3:</td><td>_____</td></tr> <tr><td>Revision 2:</td><td>OCTOBER 7, 2016</td></tr> <tr><td>Revision 1:</td><td>OCTOBER 22, 2015</td></tr> </table> <p>Original Date: AUGUST 18, 2015</p> <p>Sheet: 3 of 3 DEP#: _____</p>	Revision 14:	_____	Revision 13:	_____	Revision 12:	_____	Revision 11:	_____	Revision 10:	_____	Revision 9:	_____	Revision 8:	_____	Revision 7:	_____	Revision 6:	_____	Revision 5:	_____	Revision 4:	_____	Revision 3:	_____	Revision 2:	OCTOBER 7, 2016	Revision 1:	OCTOBER 22, 2015
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Revision 2:	OCTOBER 7, 2016																												
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- LEGEND**
- FLOW ARROWS
 - STREET SWEEPING AND VACUUMING PER SC-7
 - SILT FENCE PER SC-1
 - STABILIZED CONSTRUCTION ENTRANCE PER TC-1
 - PRESERVATION OF EXISTING VEGETATION PER EC-2
 - GRAVEL BAG CHEVRONS PER SC-6
 - STORM DRAIN INLET PROTECTION PER SC-10
 - MATERIAL DELIVERY AND STORAGE PER WM-1
 - STOCKPILE MANAGEMENT PER WM-3
 - SPILL PREVENTION AND CONTROL PER WM-4
 - SCHEDULING PER SS-1
 - WATER CONSERVATION PRACTICES PER NS-1
 - VEHICLE AND EQUIPMENT CLEANING PER NS-8
 - VEHICLE AND EQUIPMENT FUELING PER NS-9
 - VEHICLE AND EQUIPMENT MAINTENANCE PER NS-10
 - PROPERTY BOUNDARY
 - SOLID WASTE MANAGEMENT PER WM-5
 - HAZARDOUS WASTE MANAGEMENT PER WM-6
 - CONCRETE WASTE MANAGEMENT PER WM-8
 - SANITARY/SEPTIC WASTE MANAGEMENT PER WM-9
 - LIQUID WASTE MANAGEMENT PER WM-10
 - CONCRETE CURING PER NS-12
 - CONCRETE FINISHING PER NS-13



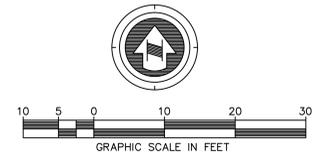
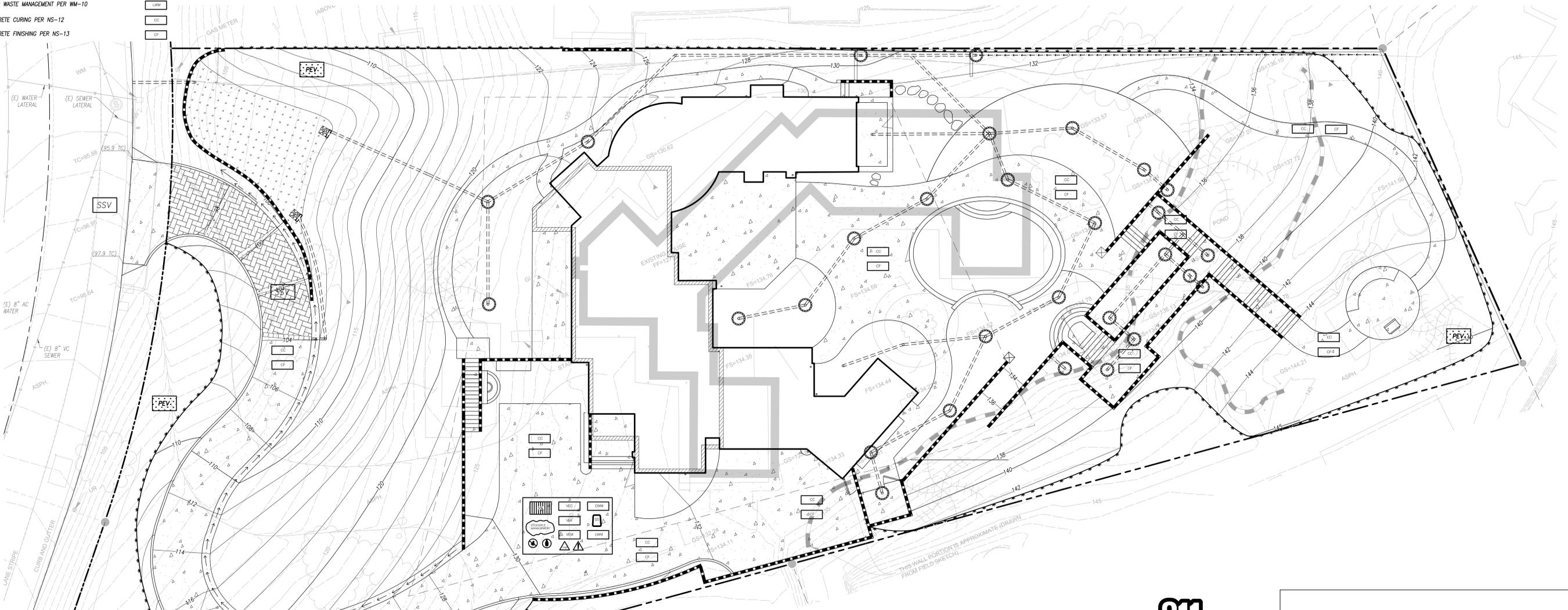
- BMPs TO BE IMPLEMENTED**
- SS-1 SCHEDULING
 - SS-2 PRESERVATION OF EXISTING VEGETATION
 - SS-4 HYDROSEEDING
 - SC-6 GRAVEL BAG BERMS
 - SC-7 STREET SWEEPING
 - SC-10 STORM DRAIN INLET PROTECTION
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
 - WM-1 MATERIAL DELIVERY AND STORAGE MANAGEMENT
 - WM-2 MATERIAL USE MANAGEMENT
 - WM-3 STOCKPILE MANAGEMENT
 - WM-4 SPILL PREVENTION AND CONTROL
 - WM-5 SOLID WASTE
 - WM-9 SANITARY WASTE
 - WM-10 LIQUID WASTE
 - NS-1 WATER CONSERVATION PRACTICES
 - NS-2 DEWATERING OPERATIONS
 - NS-3 PAVING AND GRINDING
 - NS-7 POTABLE WATER/IRRIGATION FLUSHING
 - NS-8 VEHICLE AND EQUIPMENT CLEANING
 - NS-9 VEHICLE AND EQUIPMENT FUELING
 - NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
 - NS-12 CONCRETE CURING
 - NS-13 CONCRETE FINISHING
- NOTE:
BMP NUMBERS REFERENCE LATEST CALTRANS BMP FACT SHEETS

- STORM WATER QUALITY NOTES: (CONSTRUCTION BMPs)**
1. SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED IN TO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
 2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
 3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
 4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
 5. ALL SLOPES THAT ARE GRADED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OR POLLUTANTS INTO THE ENVIRONMENT.

- SPECIAL BMP NOTES:**
1. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS. TYPICAL DOWNSPOUT TO DISCHARGE INTO LANDSCAPING.
 2. DOWNSPOUT RUNOFF THAT DISCHARGES ONTO HARDSCAPE SHALL FLOW TO LANDSCAPE AREAS PRIOR TO BEING COLLECTED BY AN AREA DRAIN OR DISCHARGED TO STREET.

- EROSION AND SEDIMENT CONTROL NOTES:**
- TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED WATER QUALITY TECHNICAL REPORT (WQTR) AND WATER POLLUTION CONTROL PLAN (WPCP).
 2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS THIS SHEET.
 3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1 FOOT OF FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY THE GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
 4. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) DUE TO CONSTRUCTION ACTIVITY.
 5. THE CONTRACTOR SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
 6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL OR WHEN SILT REACHES AN ELEVATION OF 0.5' BELOW WEIR OPENING FOR GRAVEL BAG BASINS.
 7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
 8. PERMANENT BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.
 9. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUNOFF PRODUCING RAINFALL.
 10. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER AND THE ENGINEER OF WORK DUE TO UNCOMPLETED GRADING OPERATION OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.

- EROSION AND SEDIMENT CONTROL NOTES (CONT):**
11. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 12. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM GRADING CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 13. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 14. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FINE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
 15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS FROM OCTOBER 30TH TO MARCH 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION CONTROL MEASURES ANN OTHER RELATED CONSTRUCTION ACTIVITIES.
- HYDROSEED NOTE
GRADED PAD AREAS SHALL BE HYDROSEED TO PREVENT EROSION, IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDROSEED SHALL BE IRRIGATED AND REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
- HYDROSEED MIX FOR TEMPORARY EROSION CONTROL:
PURE LIVE SEED
LBS/ACRE
- | | |
|------|--------------------------------|
| 6.0 | SPECIES |
| 4.0 | MULLENBERGIA MICROSPERMA |
| 3.0 | HORDEUM INTERCEDENS |
| 2.0 | ESCHSCHOLIA CALIFORNICA |
| 5.0 | HORDEUM CALIFORNICUM PROSTRATE |
| 20.0 | |

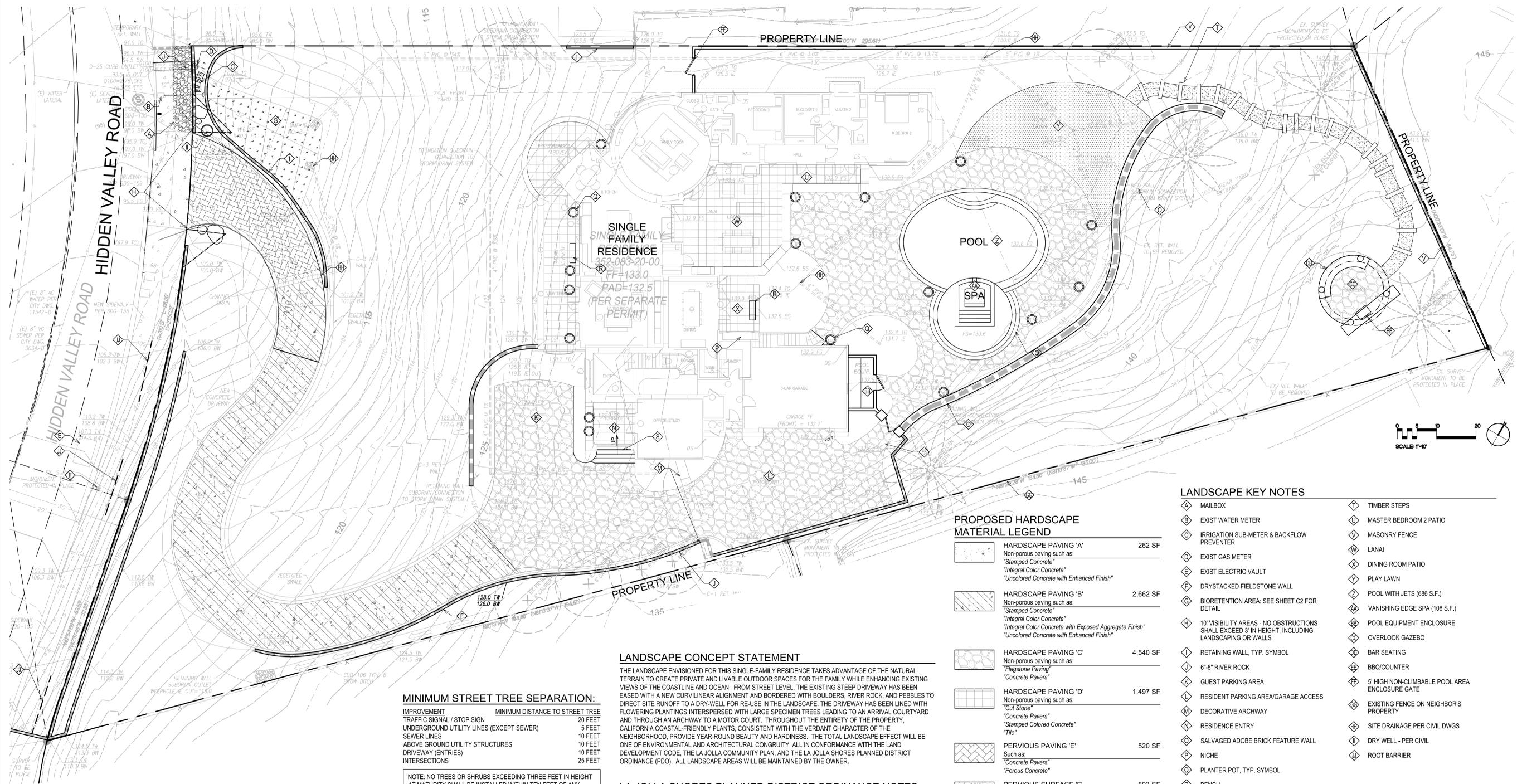


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PLANS PREPARED UNDER THE SUPERVISION OF
DATE: 08-18-15
R.C.E. NO. 71651
BRIAN M. ARDOLINO
EXP. 12-31-15

PREPARED BY: Name: PASCO LARET SUITER & ASSOC. 525 N. HWY 101, SUITE A SOLANA BEACH, CA 92075 Phone: (858) 259-8212	Project Address: 2299 HIDDEN VALLEY ROAD LA JOLLA, CA 92037	Project Name: SHIMOLE RESIDENCE	Sheet Title: WATER POLLUTION CONTROL PLAN
Revision 14:	Revision 13:	Revision 12:	Revision 11:
Revision 10:	Revision 9:	Revision 8:	Revision 7:
Revision 6:	Revision 5:	Revision 4:	Revision 3:
Revision 2:	Revision 1:	Original Date:	Sheet:
		OCTOBER 22, 2015	1 of 1
		AUGUST 18, 2015	DEP#:

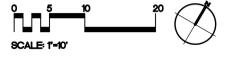




Project No. - XXX
Drawn - PRM
Checked - JPN



N LA
NERI
LANDSCAPE
ARCHITECTURE
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LANDSCAPE KEY NOTES

- ◇ MAILBOX
- ◇ EXIST WATER METER
- ◇ IRRIGATION SUB-METER & BACKFLOW PREVENTER
- ◇ EXIST GAS METER
- ◇ EXIST ELECTRIC VAULT
- ◇ DRYSTACKED FIELDSTONE WALL
- ◇ BIORETENTION AREA: SEE SHEET C2 FOR DETAIL
- ◇ 10' VISIBILITY AREAS - NO OBSTRUCTIONS SHALL EXCEED 3' IN HEIGHT, INCLUDING LANDSCAPING OR WALLS
- ◇ RETAINING WALL, TYP. SYMBOL
- ◇ 6"-8" RIVER ROCK
- ◇ GUEST PARKING AREA
- ◇ RESIDENT PARKING AREA/GARAGE ACCESS
- ◇ DECORATIVE ARCHWAY
- ◇ RESIDENCE ENTRY
- ◇ SALVAGED ADOBE BRICK FEATURE WALL
- ◇ NICHE
- ◇ PLANTER POT, TYP. SYMBOL
- ◇ BENCH
- ◇ STAIRS
- ◇ TIMBER STEPS
- ◇ MASTER BEDROOM 2 PATIO
- ◇ MASONRY FENCE
- ◇ LANAI
- ◇ DINING ROOM PATIO
- ◇ PLAY LAWN
- ◇ POOL WITH JETS (686 S.F.)
- ◇ FINISHING EDGE SPA (108 S.F.)
- ◇ POOL EQUIPMENT ENCLOSURE
- ◇ OVERLOOK GAZEBO
- ◇ BAR SEATING
- ◇ BBQ/COUNTER
- ◇ 5' HIGH NON-CLIMBABLE POOL AREA ENCLOSURE GATE
- ◇ EXISTING FENCE ON NEIGHBOR'S PROPERTY
- ◇ SITE DRAINAGE PER CIVL DWGS
- ◇ DRY WELL - PER CIVIL
- ◇ ROOT BARRIER

PROPOSED HARDSCAPE MATERIAL LEGEND

	HARDSCAPE PAVING 'A' Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Uncolored Concrete with Enhanced Finish"	262 SF
	HARDSCAPE PAVING 'B' Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Integral Color Concrete with Exposed Aggregate Finish" "Uncolored Concrete with Enhanced Finish"	2,662 SF
	HARDSCAPE PAVING 'C' Non-porous paving such as: "Flagstone Paving" "Concrete Pavers"	4,540 SF
	HARDSCAPE PAVING 'D' Non-porous paving such as: "Cur Stone" "Concrete Pavers" "Stamped Colored Concrete" "Tile"	1,497 SF
	PERVIOUS PAVING 'E' Such as: "Concrete Pavers" "Porous Concrete"	520 SF
	PERVIOUS SURFACE 'F' Such as: "Stabilized Decomposed Granite" "Interlocking Pavers"	893 SF

LANDSCAPE CONCEPT STATEMENT

THE LANDSCAPE ENVISIONED FOR THIS SINGLE-FAMILY RESIDENCE TAKES ADVANTAGE OF THE NATURAL TERRAIN TO CREATE PRIVATE AND LIVABLE OUTDOOR SPACES FOR THE FAMILY WHILE ENHANCING EXISTING VIEWS OF THE COASTLINE AND OCEAN. FROM STREET LEVEL, THE EXISTING STEEP DRIVEWAY HAS BEEN EASED WITH A NEW CURVILINEAR ALIGNMENT AND BORDERED WITH BOULDERS, RIVER ROCK, AND PEBBLES TO DIRECT SITE RUNOFF TO A DRY-WELL FOR RE-USE IN THE LANDSCAPE. THE DRIVEWAY HAS BEEN LINED WITH FLOWERING PLANTINGS INTERSPERSED WITH LARGE SPECIMEN TREES LEADING TO AN ARRIVAL COURTYARD AND THROUGH AN ARCHWAY TO A MOTOR COURT. THROUGHOUT THE ENTIRETY OF THE PROPERTY, CALIFORNIA COASTAL-FRIENDLY PLANTS, CONSISTENT WITH THE VERDANT CHARACTER OF THE NEIGHBORHOOD, PROVIDE YEAR-ROUND BEAUTY AND HARDINESS. THE TOTAL LANDSCAPE EFFECT WILL BE ONE OF ENVIRONMENTAL AND ARCHITECTURAL CONGRUITY, ALL IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (PDO). ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.

LA JOLLA SHORES PLANNED DISTRICT ORDINANCE NOTES:

- IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS. AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
- ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
- ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

DRAINAGE NOTES:

- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

IRRIGATION NOTES:

- ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM WITH AN IRRIGATION SUB-METER, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE, AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, AND NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

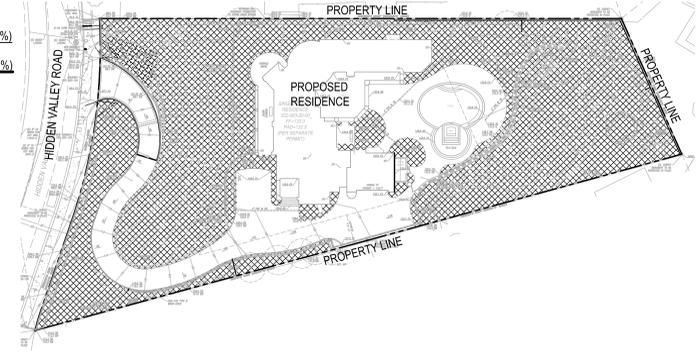
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (LDC 1510.0304(H)).

LANDSCAPE CALCULATIONS	
TOTAL PARCEL AREA:	41,144 S.F.
PLANTING AREA REQUIRED:	12,343 S.F. (30%)
PLANTING AREA PROVIDED:	25,220 S.F. (61%)
EXCESS AREA PROVIDED:	12,877 S.F.

LEGEND

PLANTING AREA



LANDSCAPE DIAGRAM
NOT TO SCALE

GENERAL NOTES:

- THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
- BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS, AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
- GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS. LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
- LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING RE-VEGETATION AND AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM BROWN TRUNK HEIGHT (BTH) OF 10 FEET.
- PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
- PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER SHALL NOT WRAP AROUND THE ROOT BALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE, AND ALL OTHER CITY AND REGIONAL STANDARDS.
- ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
- ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED AS SHOWN IN SAN DIEGO MUNICIPAL CODE (SDMC) TABLE 142-04E AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET. PER SDMC 142.0403(B)(5).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMC 142.0403(B)(10).
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK SHALL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES SHALL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE SHALL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL, DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - A TREE WATERING SCHEDULE SHALL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES SHALL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

MINIMUM STREET TREE SEPARATION:

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL / STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET

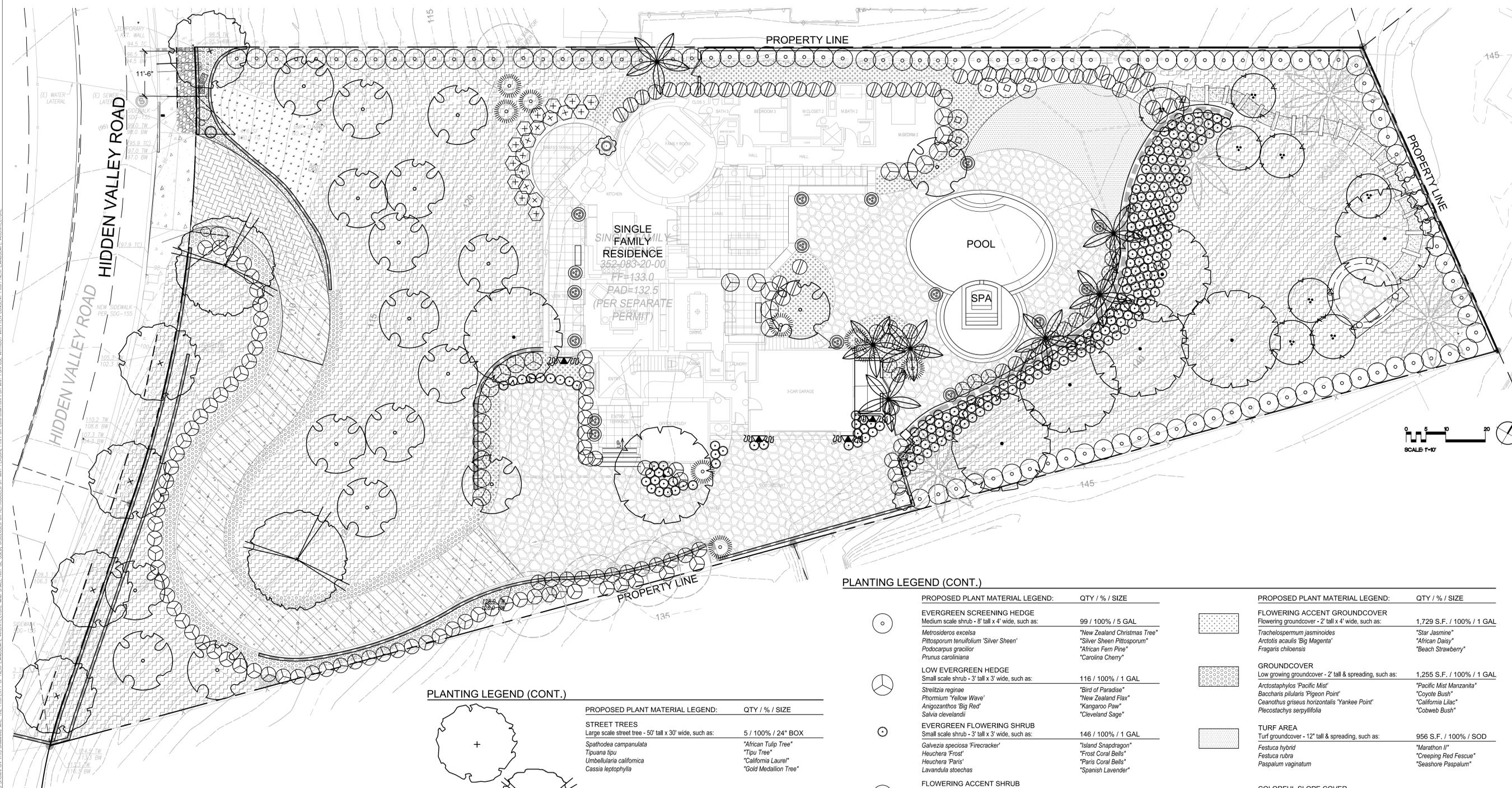
NOTE: NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER UTILITIES.

LANDSCAPE PLANS FOR THE
SWINDLE RESIDENCE
2488 Hidden Valley Road
La Jolla, California 92037

10 JANUARY 2016

LANDSCAPE DEVELOPMENT
HARDSCAPE PLAN

L1.0



PLANTING LEGEND

EXISTING PLANT MATERIAL LEGEND:		QTY
EXISTING TREES TO REMAIN		
<i>Ficus benjamina</i>	"Weeping Banyan"	7
<i>Ficus carica</i>	"Fig Tree"	
<i>Malus domestica</i>	"Apple Tree"	
<i>Salix babylonica</i>	"Corkscrew Willow"	
EXISTING PALMS TO REMAIN		
<i>Phoenix canariensis</i>	"Canary Island Date Palm"	4
EXISTING TREES TO BE REMOVED		
<i>Albizia julibrissin</i>	"Silk Tree"	41
<i>Callistemon viminalis</i>	"Weeping Bottlebrush"	
<i>Cassia leptophylla</i>	"Gold Medallion Tree"	
<i>Citrus limon</i>	"Meyer Lemon Tree"	
<i>Citrus x paradisi</i>	"Grapefruit Tree"	
<i>Erythrina coraloides</i>	"Naked Coral Tree"	
<i>Euphorbia tirucalli</i>	"Pencil Tree"	
<i>Fraxinus uhdei</i>	"Evergreen Ash"	
<i>Jacaranda mimosifolia</i>	"Jacaranda"	
<i>Magnolia grandiflora</i>	"Southern Magnolia"	
<i>Nerium oleander</i>	"Oleander"	
<i>Olea europaea</i>	"Olive Tree"	
<i>Philodendron selloum</i>	"Tree Philodendron"	
<i>Pittosporum undulatum</i>	"Victorian Box"	
<i>Schinus terebinthifolius</i>	"Brazilian Pepper Tree"	
<i>Ulmus parviflora</i>	"Chinese Elm"	
EXISTING PALMS		
<i>Phoenix canariensis</i>	"Canary Island Date Palm" (to be relocated)	4
<i>Washingtonia robusta</i>	"Mexican Fan Palm" (to be removed)	

PLANTING LEGEND (CONT.)

PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
STREET TREES		
Large scale street tree - 50' tall x 30' wide, such as:		5 / 100% / 24" BOX
<i>Spathodea campanulata</i>	"African Tulip Tree"	
<i>Tipuana tipu</i>	"Tipu Tree"	
<i>Umbellularia californica</i>	"California Laurel"	
<i>Cassia leptophylla</i>	"Gold Medallion Tree"	
SPECIMEN TREES		
Large scale tree - 50' tall x 35' wide, such as:		2 / 100% / 36" BOX
<i>Quercus agrifolia</i>	"Coast Live Oak"	
<i>Quercus ilex</i>	"Holly Oak"	
<i>Quercus suber</i>	"Cork Oak"	
ACCENT TREES		
Large scale tree - 50' tall x 35' wide, such as:		8 / 100% / 36" BOX
<i>Spathodea campanulata</i>	"African Tulip Tree"	
<i>Tabebuia chrysochloria</i>	"Golden Trumpet Tree"	
<i>Tabebuia impatiens</i>	"Pink Trumpet Tree"	
ACCENT TREES		
Small scale tree - 25' tall x 15' wide, such as:		18 / 100% / 24" BOX
<i>Cassia leptophylla</i>	"Gold Medallion Tree"	
<i>Magnolia grandiflora</i>	"Little Gem Magnolia"	
<i>Michelia champaca</i>	"Champaca Alba"	
VERTICAL ACCENT TREE		
Medium scale tree - 20' tall x 15' wide, such as:		7 / 100% / 24" BOX
<i>Cupressus sempervirens</i>	"Italian Cypress"	
<i>Hymenosporum flavum</i>	"Sweetshade"	
<i>Stenocarpus sinuatus</i>	"Firewheel Tree"	
TROPICAL ACCENT TREES		
Medium scale tree - 30' tall x 15' wide, such as:		7 / 100% / 8' BTH
<i>Dioscorea antartica</i>	"Tasmanian Tree Fern"	
<i>Howea forsteriana</i>	"Paradise Palm"	
<i>Phoenix reclinata</i>	"Senegal Date Palm"	
FRUIT TREES		
Medium scale tree - 15' tall x 15' wide, such as:		8 / 100% / 24" BOX
<i>Citrus aurantifolia</i>	"Bears' Lime"	
<i>Citrus limon</i>	"Improved Meyer"	
<i>Persea americana</i>	"Little Cado Avocado"	

PLANTING LEGEND (CONT.)

PROPOSED PLANT MATERIAL LEGEND:		QTY / % / SIZE
EVERGREEN SCREENING HEDGE		
Medium scale shrub - 8' tall x 4' wide, such as:		99 / 100% / 5 GAL
<i>Metrosideros excelsa</i>	"New Zealand Christmas Tree"	
<i>Pittosporum tenuifolium</i>	"Silver Sheen"	
<i>Podocarpus gracilior</i>	"African Fern Pine"	
<i>Prunus caroliniana</i>	"Carolina Cherry"	
LOW EVERGREEN HEDGE		
Small scale shrub - 3' tall x 3' wide, such as:		116 / 100% / 1 GAL
<i>Strelitzia reginae</i>	"Bird of Paradise"	
<i>Phormium</i>	"Yellow Wave"	
<i>Anigozanthos</i>	"Big Red"	
<i>Salvia clevelandii</i>	"Cleveland Sage"	
EVERGREEN FLOWERING SHRUB		
Small scale shrub - 3' tall x 3' wide, such as:		146 / 100% / 1 GAL
<i>Galvezia speciosa</i>	"Firecracker"	
<i>Heuchera</i>	"Frost"	
<i>Heuchera</i>	"Paris"	
<i>Lavandula stoechas</i>	"Spanish Lavender"	
FLOWERING ACCENT SHRUB		
Medium scale shrub - 5' tall x 5' wide, such as:		5 / 100% / 5 GAL
<i>Buddleja davidii</i>	"Butterfly Bush"	
<i>Rosa floribunda</i>	"Iceberg"	
<i>Tibouchina urvilleana</i>	"Princess Flower"	
<i>Viburnum davidii</i>	"David Viburnum"	
TROPICAL-LOOKING ACCENT SHRUB		
Medium scale shrub - 4' tall x 4' wide, such as:		68 / 100% / 5 GAL
<i>Agave attenuata</i>	"Foxtail Agave"	
<i>Aloe arborescens</i>	"Tree Aloe"	
<i>Philodendron xanadu</i>	"Xanadu"	
<i>Raphis excelsa</i>	"Lady Palm"	
<i>Zamia furfuracea</i>	"Cardboard Palm"	
TROPICAL ACCENT SHRUB		
Large scale shrub - 6' tall x 6' wide, such as:		9 / 100% / 5 GAL
<i>Agave americana</i>	"Mediopicta"	
<i>Cycas revoluta</i>	"Sago Palm"	
<i>Furcraea foetida</i>	"Mauritius Hemo"	
<i>Dasyliyon longissimum</i>	"Mexican Grass Tree"	
CONTAINER PLANT		
Medium scale shrub - 5' tall x 5' wide, such as:		16 / 100% / 5 GAL
<i>Astelia</i>	"Silver Shadow"	
<i>Cycas revoluta</i>	"Sago Palm"	
<i>Zamia furfuracea</i>	"Cardboard Palm"	
VINES		
Climbing vines, such as:		4 / 100% / 5 GAL
<i>Bougainvillea</i>	"La Jolla"	
<i>Solandra maxima</i>	"Cup of Gold Vine"	
<i>Stephanotis floribunda</i>	"Madagascar Jasmine"	
<i>Trachelospermum jasminoides</i>	"Star Jasmine"	
PROPOSED PLANT MATERIAL LEGEND:		
FLOWERING ACCENT GROUNDCOVER		
Flowering groundcover - 2' tall x 4' wide, such as:		1,729 S.F. / 100% / 1 GAL
<i>Trachelospermum jasminoides</i>	"Star Jasmine"	
<i>Arctostaphylos 'Big Magenta'</i>	"African Daisy"	
<i>Fragaria chilensis</i>	"Beach Strawberry"	
GROUNDCOVER		
Low growing groundcover - 2' tall & spreading, such as:		1,255 S.F. / 100% / 1 GAL
<i>Arctostaphylos 'Pacific Mist'</i>	"Pacific Mist Manzanita"	
<i>Baccharis pilularis</i>	"Pigeon Point"	
<i>Ceanothus griseus</i>	"Yankee Point"	
<i>Plectostachys serpyllifolia</i>	"California Lilac"	
TURF AREA		
Turf groundcover - 12" tall & spreading, such as:		956 S.F. / 100% / SOD
<i>Festuca hybrid</i>	"Marathon II"	
<i>Festuca rubra</i>	"Creeping Red Fescue"	
<i>Paspalum vaginatum</i>	"Seashore Paspalum"	
COLORFUL SLOPE COVER		
Shrubby flowering groundcover - 36" tall & spreading, such as:		14,594 S.F. / 100% / 1 GAL
<i>Bougainvillea x 'Rosania'</i>	"Bougainvillea"	
<i>Ceanothus 'Joyce Coulter'</i>	"Creeping Mountain Lilac"	
<i>Salvia leucophylla</i>	"Bees Bliss Sage"	
CLUMPING GRASS		
Large scale grass - 4' tall x 3' wide, such as:		19 / 100% / 1 GAL
<i>Miscanthus transmorrisonensis</i>	"Evergreen Eulalia"	
<i>Elymus condensatus</i>	"Canyon Prince Wild Rye"	
<i>Miscanthus sinensis</i>	"Morning Light"	
<i>Pennisetum x advena</i>	"Rubrum"	
BIORETENTION GRASSES		
Small scale spreading grass - 18" tall, such as:		48 / 100% / 1 GAL
<i>Carex praegracilis</i>	"California Field Sedge"	
<i>Carex pansa</i>	"California Meadow Sedge"	
<i>Carex subfusca</i>	"Rusty Sedge"	

Project No. - XXX
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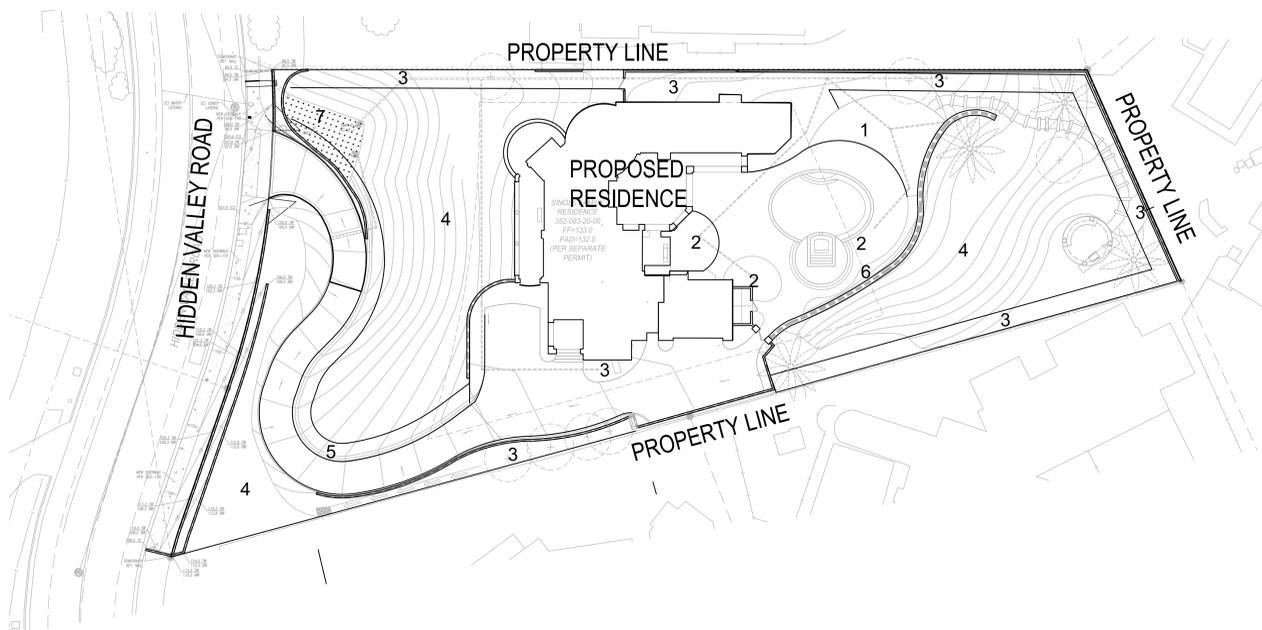
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 WWW.NERILANDSCAPE.COM

SCALE 1"=10'

LANDSCAPE PLANS FOR THE
SWINDLE RESIDENCE
 2488 Hidden Valley Road
 La Jolla, California 92037

LANDSCAPE DEVELOPMENT
 PLANTING PLAN

10 JANUARY 2016



LANDSCAPE HYDROZONE DIAGRAM
NOT TO SCALE

COMPLIANCE STATEMENT

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN CALIFORNIA CODE OF REGULATIONS TITLE 23, DIVISION 2, CHAPTER 2.7, SECTIONS 490 ET. SEQ. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

James P. Neri 01/10/2017
 JAMES P. NERI DATE
 NERI LANDSCAPE ARCHITECTURE
 LICENSED LANDSCAPE ARCHITECT, RLA#3321

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) = $ET_o \times 0.62 \times [(ETAF \times LA) + ((1 - ETAF) \times SLA)]$
 WHERE:
 ET_o = EVAPOTRANSPIRATION = 41
 $ETAF$ = ET ADJUSTMENT FACTOR = 0.55 FOR RESIDENTIAL, 0.45 FOR NON-RESIDENTIAL
 LA = TOTAL LANDSCAPE AREA (SF) = 25,220
 SLA = SPECIAL LANDSCAPE AREA (SF) = 0
 MAWA = $41 \times 0.62 \times [(0.55 \times 25,220) + ((1 - 0.55) \times 0)] = 352,605$ GAL/YR

ESTIMATED TOTAL WATER USE (ETWU) BY HYDROZONE

ESTIMATED TOTAL WATER USE (ETWU) = $[(ET_o)(0.62)](PF \times HA) / IE + SLA$

WHERE:
 ET_o = EVAPOTRANSPIRATION = 41
 0.62 = CONVERSION FACTOR
 $ETAF$ = ET ADJUSTMENT FACTOR = PF / IE
 HA = HYDROZONE AREA (SF)
 PF = PLANT FACTOR (VERY LOW WATER (VLW) USE = 0 - 0.1, LOW WATER(LW) USE = 0.1 - 0.3, MEDIUM WATER(MW) USE = 0.4 - 0.6, HIGH WATER(HW) USE = 0.7 - 1.0)
 IE = IRRIGATION EFFICIENCY (DRIP = 0.81, SPRAY = 0.75)
 AVERAGE $ETAF^1$ = TOTAL ($ETAF \times HA$) / TOTAL HA.
¹AVERAGE $ETAF$ FOR REGULAR LANDSCAPE AREAS SHALL BE MAX. 0.55 FOR RESIDENTIAL AND MAX 0.45 FOR NON-RESIDENTIAL

CTRL	HYDROZONE #	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF	HYDROZONE AREA (HA), IN S.F.	ETAF x HA	ETWU, IN GAL. PER YEAR	
REGULAR LANDSCAPE AREAS										
	1	HIGH-LAWN	.7	SPRAY	0.75	0.93	956	892.3	26,001	
	2	HIGH/MOD-TREES/SHRUBS	.6	DRIP	0.81	0.74	2,665	1,974.1	57,525	
	3	MOD-SHRUBS	.5	DRIP	0.81	0.62	4,242	2,618.7	76,309	
	4	MOD/LOW-SHRUBS	.3	DRIP	0.81	0.37	14,452	5,347.2	136,062	
	5	LOW-SHRUBS	.2	DRIP	0.81	0.25	1,254	309.6	9,023	
	6	LOW/VERY LOW-SHRUBS	.1	DRIP	0.81	0.12	1,216	150.1	4,375	
	7	MOD-BIOPRET, GRASSES	.3	DRIP	0.81	0.37	435	160.9	4,095	
							REGULAR LANDSCAPE AREA TOTAL	25,211	114,522.9	
							AVERAGE $ETAF^1$	0.48		
SPECIAL LANDSCAPE AREAS										
						1.0	-	-	-	
							SPECIAL LANDSCAPE AREA TOTAL	-	-	
ALL LANDSCAPE AREAS										
									ESTIMATED TOTAL WATER USE (ETWU)	313,390
									MAXIMUM APPLIED WATER ALLOWANCE (MAWA)	352,605
									ETWU ≤ MAWA	YES

Project No. - XXX
 Drawn - RBN
 Checked - JPN



N L A
NERI LANDSCAPE ARCHITECTURE
 940 HIDDEN VALLEY ROAD, SUITE #3
 LA JOLLA, CALIFORNIA 92037
 TEL: 858-274-3222 FAX: 858-274-3223
 WWW.NERILANDSCAPE.COM

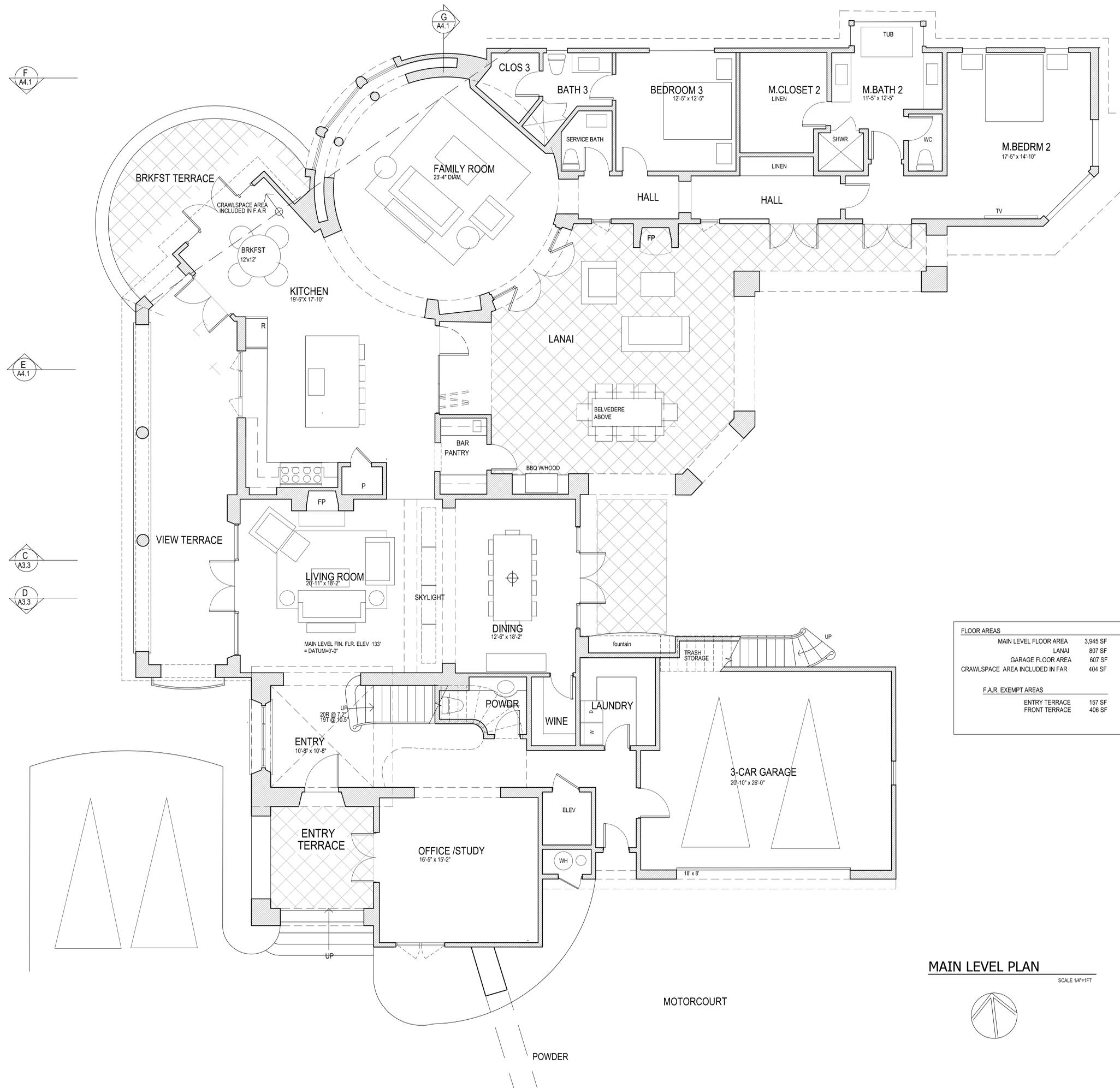
LANDSCAPE PLANS FOR THE
SWINDLE RESIDENCE
 2488 Hidden Valley Road
 La Jolla, California 92037

10 JANUARY 2016

LANDSCAPE DEVELOPMENT NOTES

L1.2

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SWINDLE RESIDENCE
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 LA JOLLA CA 92037

MARTIN ARCHITECTURE
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 2333 State Street Suite 100 Carlsbad, CA 92008
 760-729-3470 (O) 760-729-3473 (F) 858-349-3474 (C)
 tim@martinarchitecture.com

PROJECT NAME
 SWINDLE RESIDENCE

PROJECT ADDRESS
 2488 HIDDEN VALLEY ROAD
 LA JOLLA CA 92037

SHEET TITLE
MAIN FLOOR PLAN

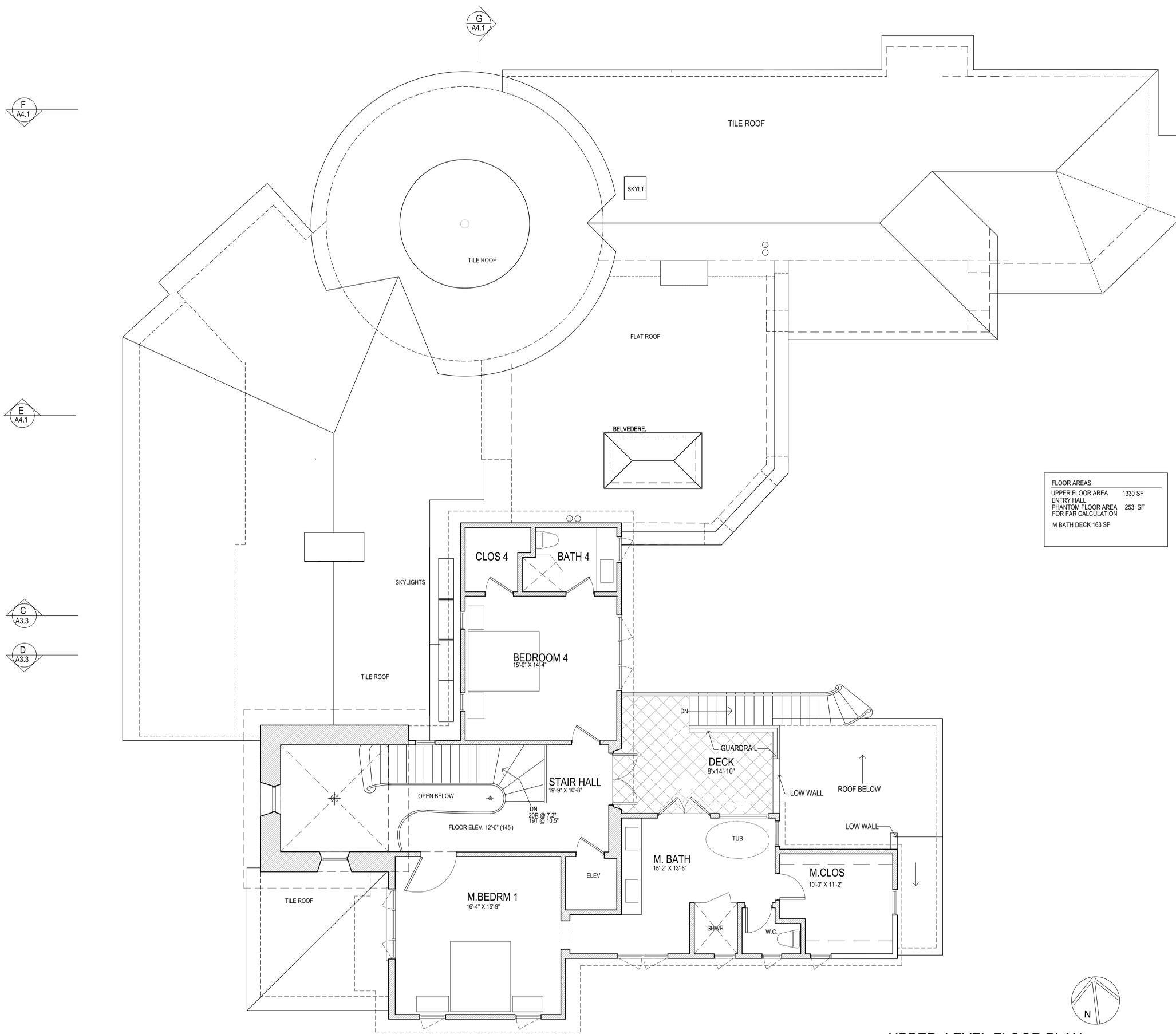
DRAWING SCALE
 SCALE: 3/16"=1 FT

- ORIGINAL DATE: 09-04-15
- REVISION 1: 11-12-15
- REVISION 2: 02-23-16
- REVISION 3: 07-13-16
- REVISION 4: 08-23-16 DELETE BASEMENT
- REVISION 5: _____
- REVISION 6: _____
- REVISION 7: _____
- REVISION 8: _____
- SITE DEVELOPMENT PERMIT
- COASTAL DEVELOPMENT PERMIT
- PROJECT NO. _____

07-11-16

SHEET NO.

A2.1



FLOOR AREAS	
UPPER FLOOR AREA	1330 SF
ENTRY HALL	
PHANTOM FLOOR AREA FOR FAR CALCULATION	253 SF
M BATH DECK	163 SF

PROJECT NAME
SWINDLE RESIDENCE

PROJECT ADDRESS
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

SHEET TITLE
UPPER FLOOR PLAN

DRAWING SCALE
SCALE: 1/4"=1 FT

ORIGINAL DATE: 09-04-15

- REVISION 1 11-12-15
- REVISION 2 02-23-16
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- REVISION 4 08-23-16 DELETE BASEMENT
- REVISION 5
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- REVISION 7
- REVISION 8

SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT

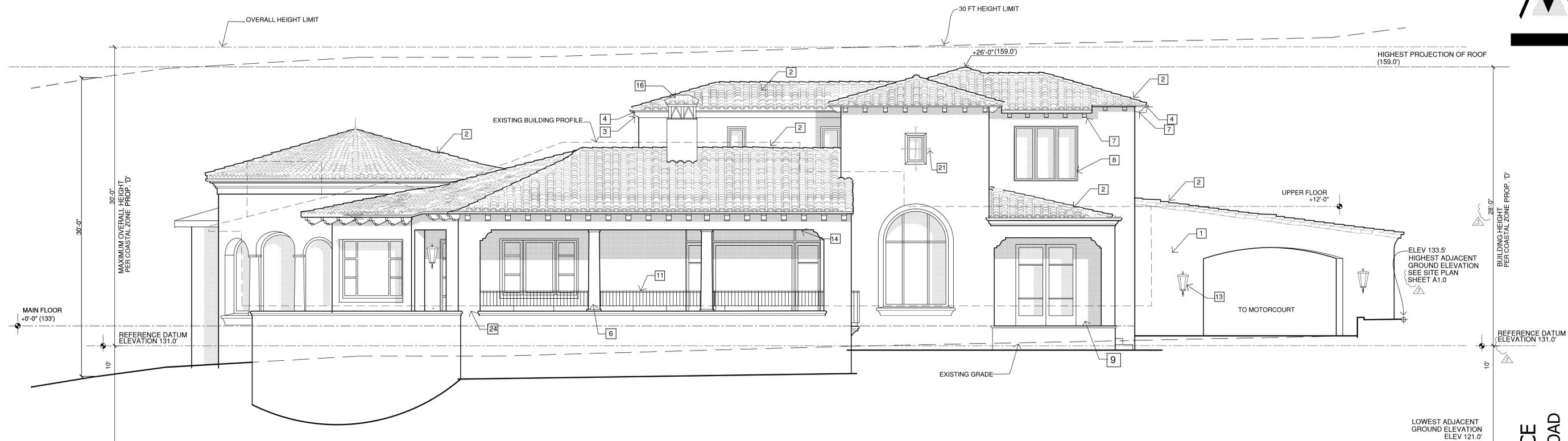
PROJECT NO.

UPPER LEVEL FLOOR PLAN
SCALE 1/4"=1 FT

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SHEET NO.



ELEV 121.0'
LOWEST ADJACENT
GROUND ELEVATION
SEE SITE PLAN SHEET A1.0

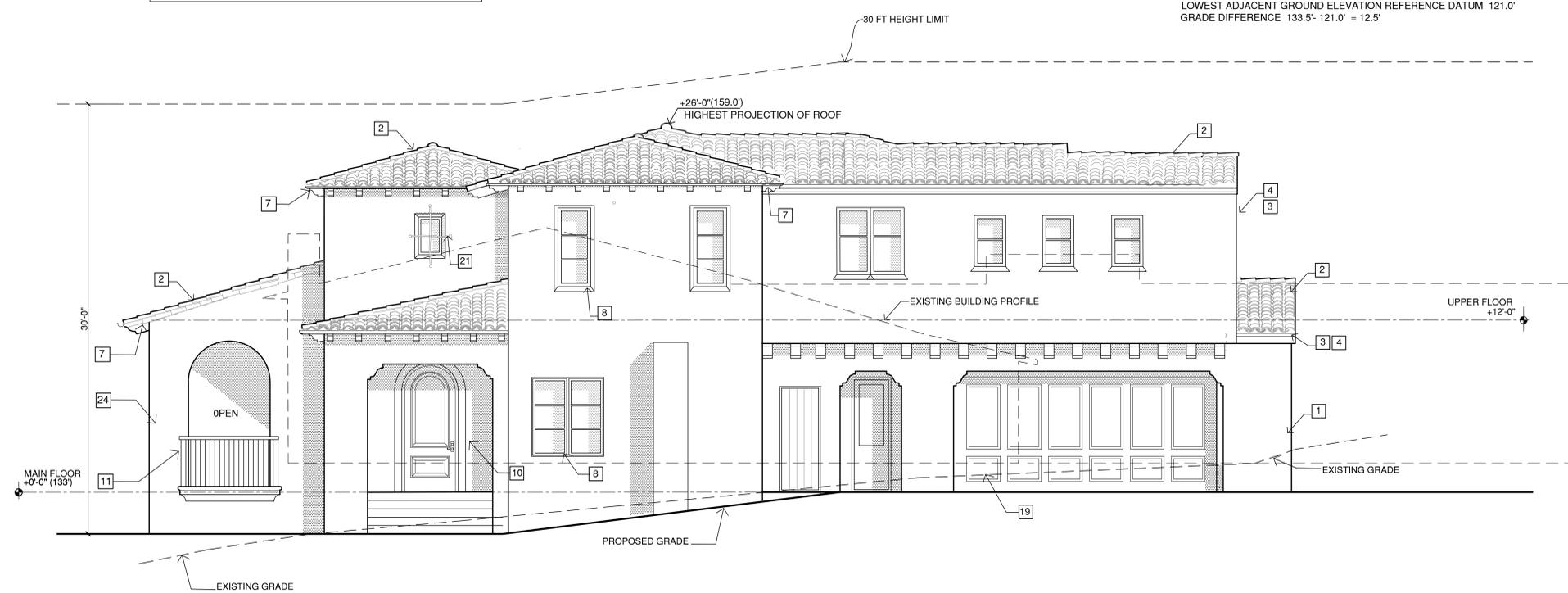
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE
OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT

WEST ELEVATION

SCALE 1/4"=1 FT

COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)
HIGHEST ADJACENT GROUND ELEVATION REFERENCE DATUM 133.5'
LOWEST ADJACENT GROUND ELEVATION REFERENCE DATUM 121.0'
GRADE DIFFERENCE 133.5' - 121.0' = 12.5'

- LEGEND**
- 1 COLORED STUCCO SANTA BARBARA FINISH
 - 2 TWO PIECE CLAY BARREL TILE ROOFING
 - 3 STUCCO FINISH EAVE MOLDING
 - 4 COPPER GUTTER
 - 5 COPPER DOWNSPOUT & LEADER DRAIN @ GRADE
 - 6 PLASTER FINISH COLUMN
 - 7 STAINED WOOD RAFTERS W/ WOOD SOFFIT
 - 8 ALUMINUM CLAD WOOD CASEMENT WINDOWS W/ DIVIDED LIGHTS
 - 9 CLAD WOOD FRENCH DOORS
 - 10 STONE ENTRY SURROUND
 - 11 WROUGHT IRON RAIL
 - 12 WROUGHT IRON GATE
 - 13 DECORATIVE IRON LIGHT FIXTURE
 - 14 FLAT STUCCO ARCH
 - 15 WOOD FRAME CHIMNEY w/ STUCCO FINISH
 - 16 TILE SCREEN @ CHIMNEY CAP
 - 17 CLAY TILE ATTIC VENT
 - 18 STAINED PANNELLED WOOD ENTRY DOOR
 - 19 STAINED PANNELLED WOOD O.H. SECTIONAL GARAGE DOOR
 - 20 STEEL WINDOWS/DOORS
 - 21 DECORATIVE WROUGHT IRON
 - 22 STAINED WOOD LIFT & SLIDE DOORS
 - 23 STAINED WOOD BEAM
 - 24 STUCCO FINISH COLUMN
 - 25 CURB @ DECK EDGE w/ STONE CAP
 - 26 STUCCO PARAPET WALL



SOUTH ELEVATION

SCALE 1/4"=1 FT

PROJECT NAME
SWINDLE RESIDENCE

PROJECT ADDRESS
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

SHEET TITLE
ELEVATIONS

DRAWING SCALE
SCALE: 1/4"=1 FT

ORIGINAL DATE: 09-04-15

REVISION 1	11-12-15
REVISION 2	11-23-15
REVISION 3	12-15-15
REVISION 4	08-23-16 DELETE BASEMENT
REVISION 5	
REVISION 6	

SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT
PROJECT NO. _____

SWINDLE RESIDENCE
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LA JOLLA CA 92037

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SHEET NO.



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SHEET NO.

A3.2

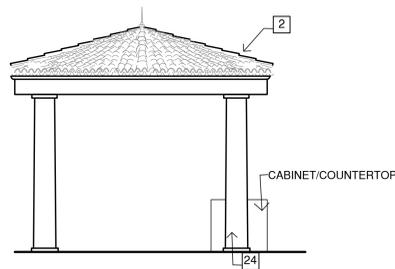


EAST ELEVATION

SCALE 1/4"=1 FT

LEGEND

- 1 COLORED STUCCO SANTA BARBARA FINISH
- 2 TWO PIECE CLAY BARREL TILE ROOFING
- 3 STUCCO FINISH EAVE MOLDING
- 4 COPPER GUTTER
- 5 COPPER DOWNSPOUT & LEADER DRAIN @ GRADE
- 6 PLASTER FINISH COLUMN
- 7 STAINED WOOD RAFTERS W/ WOOD SOFFIT
- 8 ALUMINUM CLAD WOOD CASEMENT WINDOWS W/ DIVIDED LIGHTS
- 9 CLAD WOOD FRENCH DOORS
- 10 STONE WALL CAP
- 11 WROUGHT IRON RAIL
- 12 WROUGHT IRON GATE
- 13 DECORATIVE IRON LIGHT FIXTURE
- 14 FLAT STUCCO ARCH
- 15 WOOD FRAME CHIMNEY W/ STUCCO FINISH
- 16 TILE SCREEN @ CHIMNEY CAP
- 17 CLAY TILE ATTIC VENT
- 18 STAINED PANELLED WOOD ENTRY DOOR
- 19 STAINED PANELLED WOOD O.H. SECTIONAL GARAGE DOOR
- 20 STEEL WINDOWS/DOORS
- 21 DECORATIVE WROUGHT IRON TRELIS
- 22 STAINED WOOD LIFT & SLIDE DOORS
- 23 STAINED WOOD BEAM
- 24 STUCCO FINISH COLUMN
- 25 CURB @ DECK EDGE W/ STONE CAP
- 26 STUCCO PARAPET WALL
- 27 SKYLIGHT

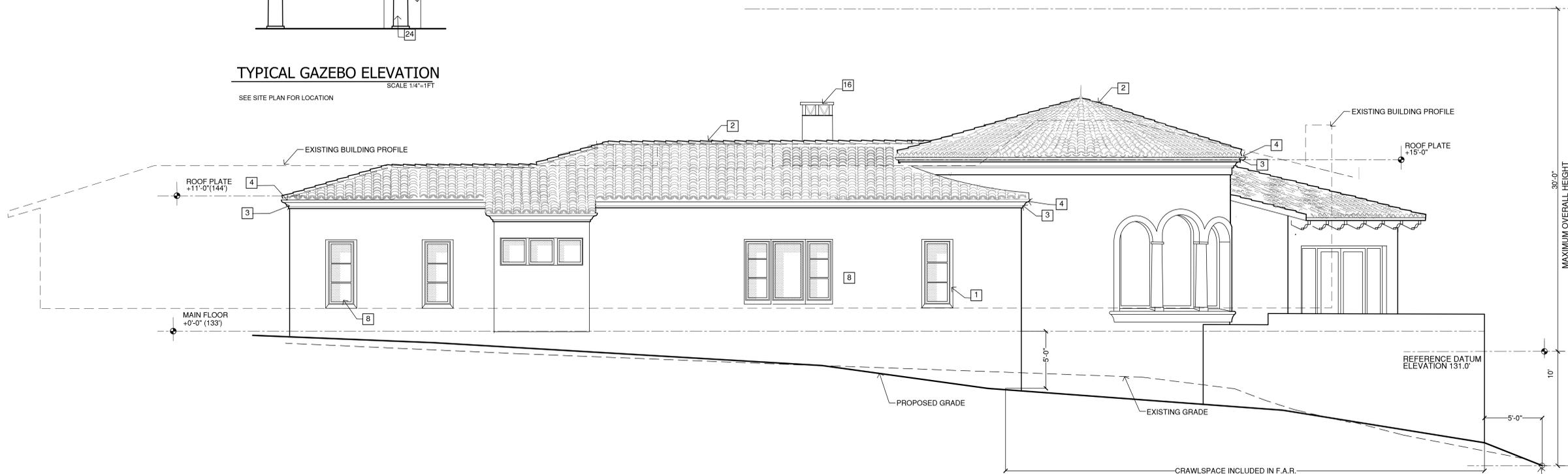


TYPICAL GAZEBO ELEVATION

SCALE 1/4"=1 FT

SEE SITE PLAN FOR LOCATION

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT



NORTH ELEVATION

SCALE 1/4"=1 FT

PROJECT NAME
SWINDLE RESIDENCE
PROJECT ADDRESS
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

SHEET TITLE
ELEVATIONS

DRAWING SCALE
SCALE: 1/4"=1 FT

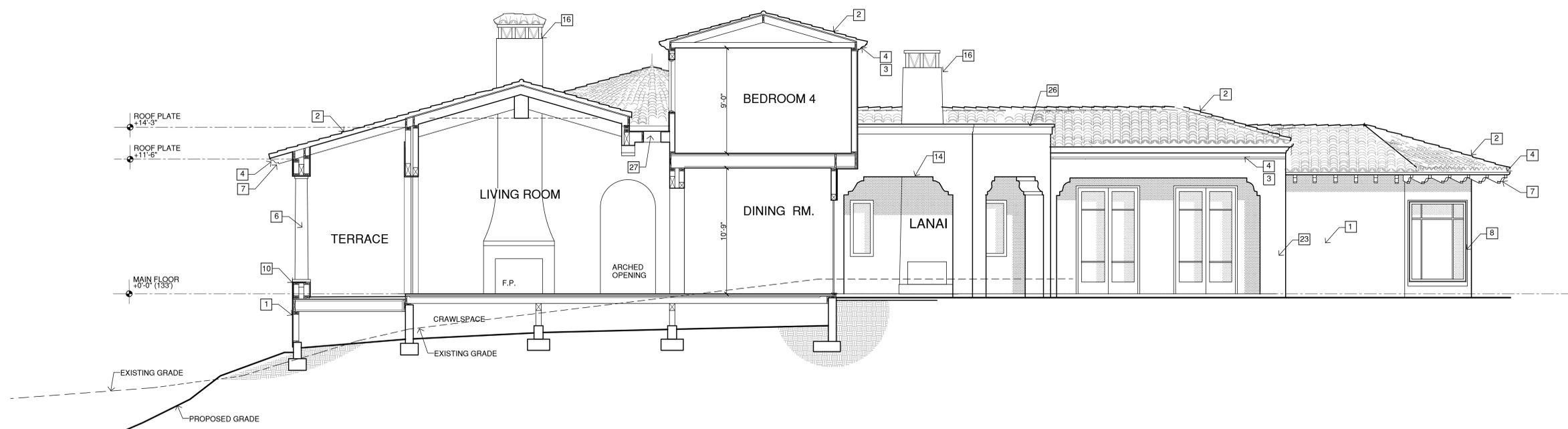
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REVISION 3 02-23-16
REVISION 4 08-22-16 DELETE BASEMENT
REVISION 5 _____
REVISION 6 _____
REVISION 7 _____
REVISION 8 _____
SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT
PROJECT NO. _____



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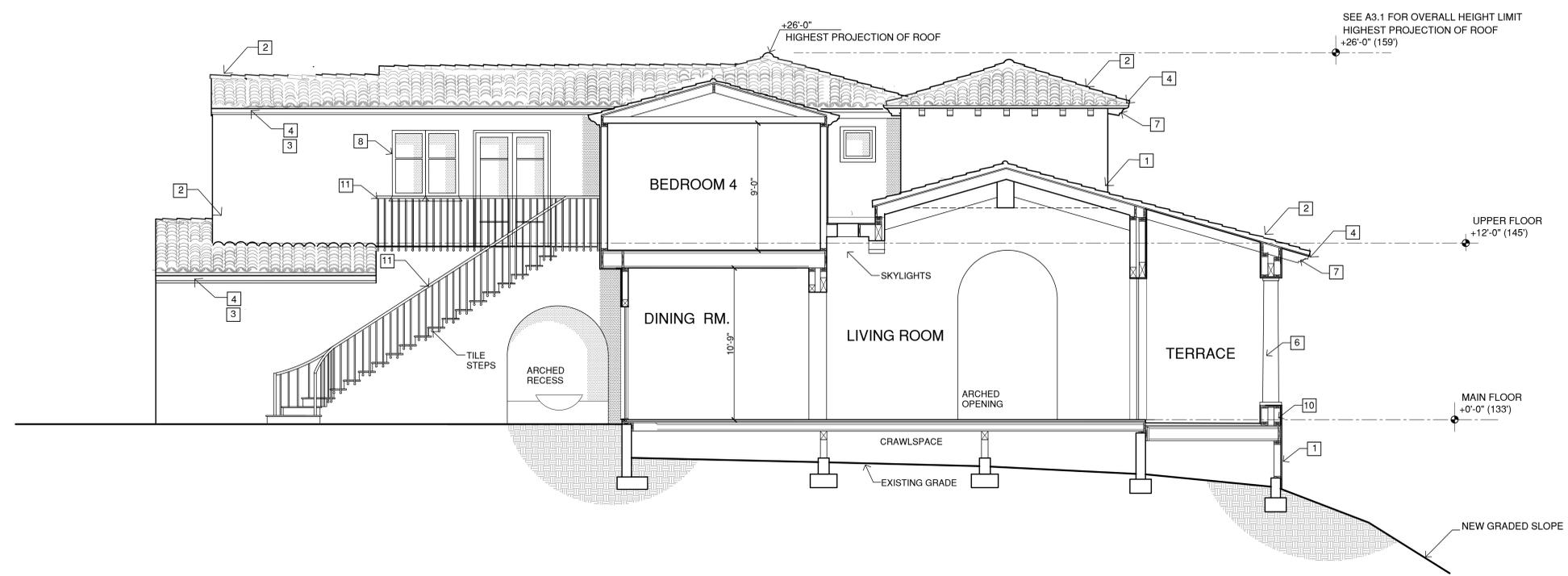
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LEGEND	
1	COLORED STUCCO SANTA BARBARA FINISH
2	TWO PIECE CLAY BARREL TILE ROOFING
3	STUCCO FINISH EAVE MOLDING
4	COPPER GUTTER
5	COPPER DOWNSPOUT & LEADER DRAIN @ GRADE
6	PLASTER FINISH COLUMN
7	STAINED WOOD RAFTERS W/ WOOD SOFFIT
8	ALUMINUM CLAD WOOD CASEMENT WINDOWS W/ DIVIDED LIGHTS
9	CLAD WOOD FRENCH DOORS
10	STONE WALL CAP
11	WROUGHT IRON RAIL
12	WROUGHT IRON GATE
13	DECORATIVE IRON LIGHT FIXTURE
14	FLAT STUCCO ARCH
15	WOOD FRAME CHIMNEY w/ STUCCO FINISH
16	TILE SCREEN @ CHIMNEY CAP
17	CLAY TILE ATTIC VENT
18	STAINED PANELLED WOOD ENTRY DOOR
19	STAINED PANELLED WOOD O.H. SECTIONAL GARAGE DOOR
20	STEEL WINDOWS/DOORS
21	DECORATIVE WROUGHT IRON TRELLIS
22	STAINED WOOD LIFT & SLIDE DOORS
23	STAINED WOOD BEAM
24	STUCCO FINISH COLUMN
25	CURB @ DECK EDGE w/ STONE CAP
26	STUCCO PARAPET WALL
27	SKYLIGHT



SECTION C / SOUTH COURTYARD ELEVATION
 SCALE 1/4"=1 FT

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT



SECTION D / NORTH COURTYARD ELEVATION
 SCALE 1/4"=1 FT

PROJECT NAME
 SWINDLE RESIDENCE

PROJECT ADDRESS
 2488 HIDDEN VALLEY ROAD
 LA JOLLA CA 92037

SHEET TITLE
ELEVATIONS & SECTIONS

DRAWING SCALE
 SCALE: 1/4"=1 FT

ORIGINAL DATE: 09-04-15

REVISION 1 11-12-15

REVISION 2 12-15-15

REVISION 3 02-23-16

REVISION 4 08-23-16 DELETE BASEMENT

REVISION 5

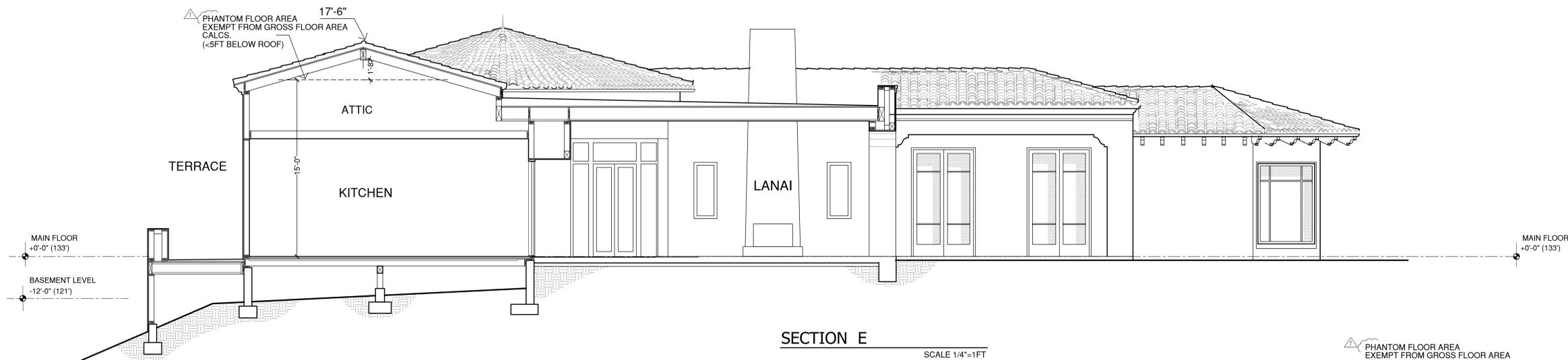
REVISION 6

REVISION 7

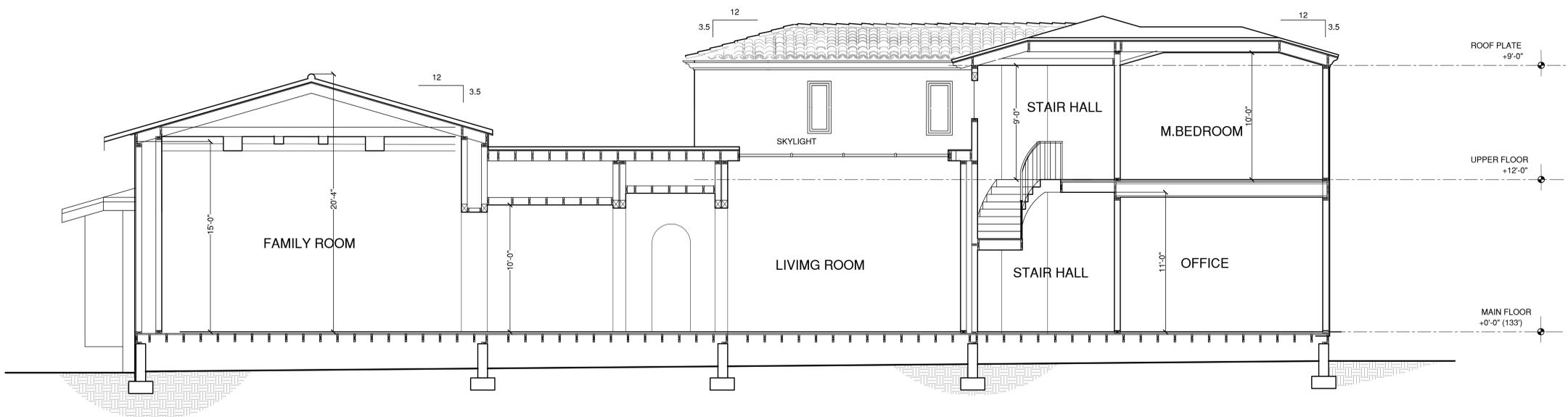
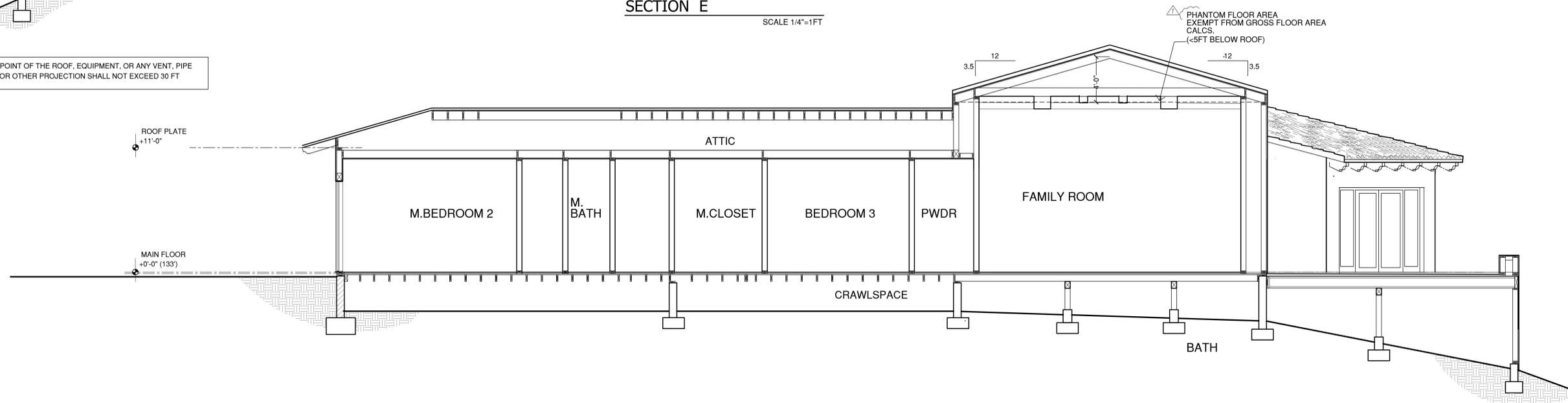
REVISION 8

SITE DEVELOPMENT PERMIT
 COASTAL DEVELOPMENT PERMIT

PROJECT NO.



THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT



PROJECT NAME
SWINDLE RESIDENCE

PROJECT ADDRESS
2488 HIDDEN VALLEY ROAD
LA JOLLA CA 92037

SHEET TITLE
BUILDING SECTIONS

DRAWING SCALE
SCALE: 1/4"=1 FT

ORIGINAL DATE: 09-04-15

REVISION 1: 11-12-15

REVISION 2: 02-23-16

REVISION 3:

REVISION 4: 08-23-16 DELETE BASEMENT

REVISION 5:

REVISION 6:

REVISION 7:

REVISION 8:

SITE DEVELOPMENT PERMIT
COASTAL DEVELOPMENT PERMIT

PROJECT NO. _____

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07-11-16

SHEET NO.

A4.1



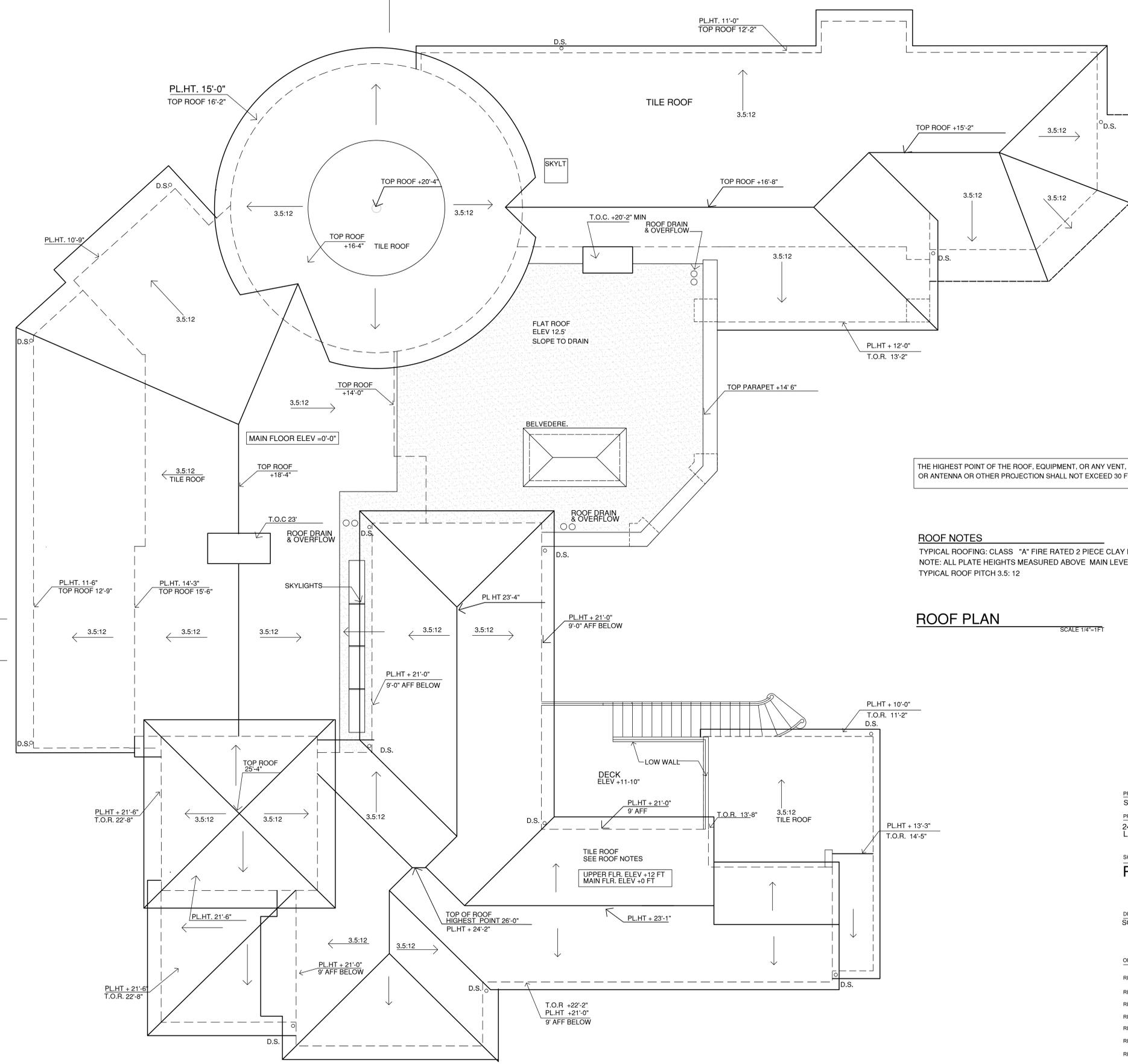
F
A4.1

E
A4.1

C
A3.3

D
A3.3

G
A4.1



THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE OR ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FT

ROOF NOTES
 TYPICAL ROOFING: CLASS "A" FIRE RATED 2 PIECE CLAY BARREL TILE
 NOTE: ALL PLATE HEIGHTS MEASURED ABOVE MAIN LEVEL = 0'-0"
 TYPICAL ROOF PITCH 3.5: 12

ROOF PLAN
 SCALE 1/4"=1 FT



PROJECT NAME
 SWINDLE RESIDENCE
 PROJECT ADDRESS
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 LA JOLLA CA 92037

SHEET TITLE
ROOF PLAN

DRAWING SCALE
 SCALE: 1/4"=1 FT

ORIGINAL DATE: 09-04-15

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REVISION 8	

SITE DEVELOPMENT PERMIT
 COASTAL DEVELOPMENT PERMIT
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SHEET NO.

A5.1