

THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED:	May 24, 2017	REPORT NO. HO-17-031
HEARING DATE:	May 31, 2017	
SUBJECT:	GRAND AVENUE TOWNHOMES. Process Three	e Decision
PROJECT NUMBER:	<u>477022</u>	
OWNER/APPLICANT:	UPWARD TREND LLC/Dan Linn Architects	

SUMMARY

<u>Issue:</u> Should the Hearing Officer approve the demolition of existing structures and construction of a one, three-story building with four (4) residential condominium units totaling 7,150 square feet located at 1376 Grand Avenue and 4418 Gresham Street, within the Pacific Beach Community Planning area?

Staff Recommendations:

- 1. Approve Tentative Map No. 1675323.
- 2. Approve Coastal Development Permit No. 1670493.

<u>Community Planning Group Recommendation</u>: On August 24, 2016, the Pacific Beach Planning Board ratified and approved the recommendation of the Development Sub-Committee, 10-0, to recommend approval of the proposed project with recommendations (Attachment 10).

<u>Environmental Review</u>: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(1) (Existing Facilities) and Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 31, 2017, and the opportunity to appeal that determination ended February 14, 2017.

BACKGROUND

The 0.143-acre-site is located at 1376 Grand Avenue and 4418 Gresham Street in the RM-2-5 zone within the Parking Impact Overlay Zone (Coastal), Coastal Height Limitation Overlay Zone (CHLOZ), Coastal Overlay Zone (Non-Appealable Area) within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan.

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The proposed project requires a Tentative Map per <u>San Diego Municipal Code (SDMC) Section</u> <u>125.0430</u>, for the subdivision and construction of one, three-story residential building, and to file a lot consolidation map. The proposed project also requires a Coastal Development Permit for development located within the Coastal Overlay Zone per <u>SDMC Section 126.0707(b)</u>.

DISCUSSION

Project Description:

The project proposes to demolish an existing religious facility and detached residence, construct one, three-story building, and to subdivide the property into one lot containing four (4) condominium interests. The project also includes a request to waive the requirement to underground existing overhead utilities. Each condominium unit will have two-bedrooms and two off-street parking spaces each for a total of eight parking spaces in conformance with the parking requirements of the RM-2-5 zone.

Public improvements required of the project include closure of an unutilized driveway and the construction of City Standard full height curb, gutter, curb ramp, and non-contiguous sidewalk on Gresham Street and Grand Avenue. The project is also required to reconstruct the alley apron adjacent to the project site. The alley apron will include corresponding City Standard curb ramps on both sides of the alley entrance, adjacent to the site, satisfactory to the City Engineer. The site will be landscaped with a mixture of trees, shrubs, and ground cover, within the public right-of-way. The owner/permittee will be required to enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

Project Analysis:

The proposed project complies with the RM-2-5 zone and applicable regulations of the Land Development Code, including setbacks, floor area ratio, landscaping, parking and height and no deviations are requested. The undergrounding waiver request qualifies under the guidelines of the SDMC (Section 144.0242, "Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities") in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. The draft Tentative Map conditions requires the applicant to underground any new service run to any new or proposed structures within the subdivision.

The four-unit residential project will be subject to Inclusionary Housing regulations and will be required to pay in-lieu fees, prior to Building Permit issuance as outlined in the <u>San Diego</u> <u>Municipal Code (SDMC) Section 142.13</u>.

Community Plan Analysis:

The Pacific Beach Community plan designates the proposed project site for Medium Density Residential land use at a density of 14-29 dwelling units per acre (du/ac), and the proposed density of 28 du/ac (four units on 0.143-acre-site) is in conformance with this designation. The RM-2-5 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 1,500 square feet of lot area and the 0.143-acre-site can accommodate four residential units.

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The property is located within a fully urbanized neighborhood consisting of a mix of one-and twostory multiple-unit residential development along Grand Avenue and Gresham Street, and contains a religious facility and a single-dwelling unit on the property. The project site is located on private property approximately seven (7) blocks east of the Pacific Ocean and six (6) blocks north of the shoreline of Mission Bay.

The character of the neighborhood along Grand Avenue and Gresham Street is a mixture of building forms, masses, and articulation of structures. Existing residential housing in the vicinity of the project site represents a blend of development types. Residential development within the vicinity is predominantly multi-unit (2-4 units), two-story, residential development. The proposed four-unit development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and Pacific Beach Community Plan (PBCP) goals encouraging neighborhood "compatibility and continuity."

The Pacific Beach Community Plan does not identify an existing or proposed public accessway on or adjacent to the site, nor, a view corridor on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan.

Community Planning Group:

The Pacific Beach Community Planning Board (PBCPB) at its August 24, 2016 meeting, voted 10-0 to recommend approval of the proposed project with four (4) recommendations (Attachment 10). The recommendations and staff responses are as follows;

1. Landscaping changed to drought tolerant throughout.

Staff Response: The plant species selected are identified as medium to low water use per the Water Use Classification of Landscape Species (WUCOLS) and are appropriate for USDA Plant Hardiness Zone 10b.

2. Manual doors from garage.

Staff Response: Requiring the applicant to install manual doors is not a requirement noted in the San Diego Municipal Code for the Discretionary review. Specific building related features will be reviewed at the Ministerial level.

3. Modification to the roof line at the 2nd floor on the SE corner.

Staff Response: Staff is unable to provide a proper response as this recommendation does not specify a specific related issue regarding the roof line at the 2nd floor on the SE corner.

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4. Adding ramps to curbs at Grand and alley.

Staff Response: The project has been conditioned to construct the curb ramp at the northwest corner of Grand Avenue and Gresham Street intersection, with a current City Standard curb ramp and truncated domes, as well as to reconstruct the alley apron adjacent to the project site on Gresham Street. Applicant will be required to install corresponding City Standard curb ramps on both sides of the alley entrance.

CONCLUSION

The project will observe all setbacks requirements and is in conformance to the density regulations of the land use map. The proposed development and subdivision of the property into one lot containing four (4) condominium interests has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Staff recommends approval of the project as proposed.

ALTERNATIVES

- 1. Approve Tentative Map No. 1675323 and Coastal Development Permit No. 1670493, with modifications.
- 2. Deny Tentative Map No. 1675323 and Coastal Development Permit No. 1670493, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Jacetono Montech

Gaetano Martedi Development Project Manager

Attachments:

- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Project Data Sheet
- 5. Draft Resolution with Findings
- 6. Draft Permit with Conditions
- 7. Draft Map Resolution
- 8. Draft Map Conditions
- 9. Environmental Exemption
- 10. Community Planning Group Recommendation
- 11. Ownership Disclosure Statement
- 12. Project Plans and Tentative Map







Land Use Map

Grand Avenue Townhomes / 4418 Gresham Street and 1376 Grand Avenue PROJECT NO. 477022







Aerial Photo Grand Avenue Townhomes / 4418 Gresham Street and 1376 Grand Avenue PROJECT NO. 477022



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,	PROJECT DATA S	HEEI			
PROJECT NAME:	Grand Avenue Townhomes TM/CDP				
PROJECT DESCRIPTION:	Demolish religious facility and single dwelling unit. Construction of a new three-story, four-unit, residential condominium building.				
COMMUNITY PLAN AREA:	Pacific Beach				
DISCRETIONARY ACTIONS:	Tentative Map and Coastal Development Permit				
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-Family Residential, Medium Density (Residential development range of 15-30 dwelling units per acre).				
ZONING INFORMATION:					
ZONE:	RM-2-5 (A multi-unit residential zone that permits 1 dwelling unit for each 1,500 square-feet of lot area)				
	1.35 maximum/1.15 proposed 15/20 feet (min/std)				
SIDE SETBACK:	5 feet				
STREETSIDE SETBACK: REAR SETBACK:	a start consideration				
PARKING:					
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE			
NORTH:	MF Residential / RM-2-5	Multi-Family			
SOUTH:	MF Residential / RM-2-5	Multi-Family			
EAST:	MF Residential / RM-2-5	Multi-Family			
WEST:	MF Residential / RM-2-5	Multi-Family			
DEVIATION REQUESTED:	None				
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 24, 2016, the Pacific Beach Planning Board ratified and approved the recommendation of the Development Sub-Committee, 10- 0, to recommend approval of the proposed project with recommendations.				

HEARING OFFCIER RESOLUTION NO. HO-COASTAL DEVELOPMENT PERMIT NO.1670493 GRAND AVENUE TOWNHOMES-PROJECT NO. 477022

WHEREAS, UPWARD TREND LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a four-unit residential condominium building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1670493), on portions of a 0.143-acre-site;

WHEREAS, the project site is located at 1376 Grand Avenue and 4418 Gresham Street, in the RM-2-5 zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal) of the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Lots 21 and 22, Block 233, Pacific Beach, according to Maps thereof No. 854 and 697, filed in the office of the County Recorder of said San Diego County, September 29, 1998, and January 8, 1892 respectively;

WHEREAS, on May 31, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1670493 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 31, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(1) (Existing Facilities) and Section 15303(b) (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 31, 2017.

FINDINGS:

Coastal Development Permit - Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project site is located entirely on private property approximately seven (7) blocks east of the Pacific Ocean and six (6) blocks north of the shoreline of Mission Bay, and the proposed development will not encroach upon any existing or proposed physical public access to the coast.

The Pacific Beach Community Plan/Local Coastal Program (LCP) land use plan does not identify a public view corridor on or adjacent to the site. As the proposed development observes all required setbacks and is constructed entirely on private property, the proposed project will not impede any public view corridors, viewsheds, intermittent or partial vista views, public vantage view points, or scenic overlooks on or adjacent to the project site.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

An environmental review of the project was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(1) (Existing Facilities) and Section 15303(b) (New Construction). The site does not contain environmentally sensitive lands, and therefore, will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Pacific Beach Community Plan designates the project site located in the RM-2-5 Zone for residential use at a density range of 14-29 dwelling units per acre (du/ac) and the proposal is within the range (28 du/ac).

The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential developments along Grand Avenue and Gresham Street, and contains a religious facility on the property.

The character of the neighborhood along Grand Avenue and Gresham Street is a mixture of building forms, masses, and articulation of structures. Existing residential housing in the vicinity of the project site represents a blend of development types. Residential development within the vicinity is predominantly multi-unit (2-4 units), two-story, residential development. The proposed four-unit development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and Pacific Beach Community Plan (PBCP) goals encouraging neighborhood "compatibility and continuity."

The proposed project complies with the RM-2-5 zone and applicable regulations of the Land Development Code and conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Coastal Development Permit No. 1670493.

Therefore, the proposed coastal development is in conformity with the Pacific Beach Community Plan and Local Coastal Land Use Plan, and complies with all regulations of the certified Implementation Program. 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located on private property at 1376 Grand Avenue and 4418 Gresham Street. The project site is approximately seven (7) blocks east of the Pacific Ocean and six (6) blocks north of the shoreline of Mission Bay, and is not located between the nearest public roadway and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the project is not required to conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1670493 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.1670493, a copy of which is attached hereto and made a part hereof.

Gaetano Martedi Development Project Manager Development Services

Adopted on: May 31, 2017

IO#: 24006543

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24006543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1670493 GRAND AVENUE TOWNHOMES TM & CDP - PROJECT NO. 477022 HEARING OFFICER

This Coastal Development Permit No. 1670493 is granted by the Hearing Officer of the City of San Diego to Upward Trend, LLC., Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0707. The 0.143-acre site is located at 1376 Grand Ave and 4418 Gresham Street in the RM-2-5 zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay Zone, and the Parking Impact Overlay Zone (Coastal), in the Pacific Beach Community Plan area. The project site is legally described as: Lots 21 and 22, Block 233, Pacific Beach, according to Maps thereof No. 854 and 697, filed in the office of the County Recorder of said San Diego County, September 29, 1998, and January 8, 1892 respectively.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2017, on file in the Development Services Department.

The project shall include:

- Demolish an existing single dwelling unit and religious facility to construct a three (3) story, four (4) unit condominium complex totaling 7,150 square feet located at 1376 Grand Avenue and 4418 Gresham Street.
- b. Landscaping (planting, irrigation and landscape related improvements).
- c. Off-street parking.
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 12, 2020.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

CLIMATE ACTION PLAN REQUIREMENTS:

12. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

13. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

14. This Coastal Development Permit No. 1670493 shall conform to the provisions of Tentative Map No. 1675323.

15. The project proposes to export 55 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A," satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of all unutilized driveways and the construction of City Standard full height curb, gutter, and non-contiguous sidewalk, on Grand Avenue and Gresham Street to the satisfactory to the City Engineer.

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of all damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Gresham Street.

21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of all damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Grand Avenue.

22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a curb ramp at the northwest corner of Grand Avenue and Gresham Street, with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with truncated domes.

23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the alley apron adjacent to the project site on Gresham Street, with current City Standard alley apron Standard Drawing SDG-120 and corresponding City Standard curb ramps on both sides of the alley entrance, adjacent to the site, including City Standard SDG-130 truncated domes, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

25. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

26. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

27. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

29. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).

31. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

33. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

34. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

38. The automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to any Building Construction Permit being issued, the existing sewer lateral scheduled for reuse must be inspected by a California licensed plumbing contractor using closed-circuit television to verify (to the satisfaction of the City Engineer) that the lateral is in good condition, free of all debris, properly connected to a public sewer main, and in all other ways suitable for reuse. If it is not, the Owner/Permittee or Subdivider is required to repair, remove and replace, or abandon and cap the lateral at the property line in a manner satisfactory to the City Engineer.

40. Prior to any Certificate of Occupancy being issued, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

41. Prior to any Building Construction Permit being issued, the Owner/Permittee or Subdivider shall assure (via permit and bond) that all required public water and/or sewer facilities will be constructed in accordance with the City of San Diego's current water and sewer design guides, and that any existing service connection to the City's public water and/or sewer mains which will not be utilized by the proposed development has been either killed at the main (water) or abandoned at the property line (sewer).

42. Prior to any Building Construction Permit being issued, the Owner/Permittee or Subdivider is required to ensure (to the satisfaction of the Public Utilities Director) that all water services to the site (excepting single family domestic service lines, and single family domestic/fire combined service lines where the residential fire sprinkler system utilizes passive purge design) will pass through a private above ground back flow prevention device (BFPD).

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the HEARING OFFCIER of the City of San Diego on May 31, 2017 and HO- .

Coastal Development Permit No. 1670493 Date of Approval: May 31, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Gaetano Martedi Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Upward Trend, LLC. Owner/Permittee

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Ву _____

David Lepre Managing Member

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

HEARING OFFICER RESOLUTION NUMBER HO-____ TENTATIVE MAP NO. 1675323 GRAND AVENUE TOWNHOMES - PROJECT NO. 477022

WHEREAS, UPWARD TREND LLC, Subdivider, submitted an application to the City of San Diego for Tentative Map No. 1675323 for the Grand Avenue Townhomes to demolish an existing single dwelling unit and religious facility, to construct a three-story, four-unit condominium complex totaling 7,150 square feet, and to waive the requirement to underground existing offsite overhead utilities. The project site is located at 1376 Grand Avenue and 4418 Gresham Street. The property is legally described as Lots 21 and 22, Block 233, Pacific Beach, according to Maps thereof No. 854 and 697, filed in the office of the County Recorder of said San Diego County, September 29, 1998, and January 8, 1892 respectively; and

WHEREAS, the Tentative Map proposes the Subdivision of a 0.143-acre-site into one (1) lot for a 4 unit residential condominium development; and

WHEREAS, on January 31, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301(1) (Existing Facilities) and 15303(b) (New Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is four (4); and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code section 144.0242(c) based on based on adverse timing or planning considerations in that the conversion involves a short span of overhead facilities (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on May 31, 2017, the Hearing Officer of the City of San Diego considered

Tentative Map No. 1675323, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, and 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1675323:

1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

The project proposes to demolish an existing religious facility and residence and replace it with four, two-bedroom condominiums units located at 1376 Grand Avenue and 4418 Gresham Street in the RM-2-5 zone of the Pacific Beach Community Plan. The Pacific Beach Community plan designates the proposed project site for Medium Density Residential land use at a density of 14-29 dwelling units per acre (du/ac), and the proposed density of 28 du/ac is in conformance with this designation.

The RM-2-5 zone allows multiple dwelling units on a single-parcel at a maximum density of one unit per 1,500 square feet of lot area. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential developments along Grand Avenue and Gresham Street, and contains a religious facility on the property. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan.

The plan recommends that new multi-family residential developments conform to areaspecific streetscape recommendations for landscape, lighting, sidewalk treatment and signage and be implemented through the citywide landscape ordinance. Additionally the plan recommends that residential neighborhoods be enhanced by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties. The proposed residential condominiums would meet the goals of the Pacific Beach Community Plan/Local Coastal Program by providing the appropriate residential density and implementing the community plan's street tree pattern. The proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, landscape, and, floor area ratio.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan also welcomes change through innovation demonstrated by architectural design that is compatible with the surrounding neighborhood. Development in Ocean Beach presents an eclectic mix of architectural styles. These styles include a variety of roofs, materials, height, and bulk and scale.

The character of the neighborhood along Grand Avenue and Gresham Street is a mixture of building forms, masses, and articulation of structures. Existing residential housing in the vicinity of the project site represents a blend of development types. Residential development within the vicinity is predominantly multi-unit (2-4 units), two-story, residential development. The proposed four-unit development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and Pacific Beach Community Plan (PBCP) goals encouraging neighborhood "compatibility and continuity."

Therefore, the proposed subdivision and its design or improvement is consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed development of four residential condominium units have been designed to comply with all applicable development regulations of the RM-2-5 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested.

The project is consistent with the development regulations of the RM-2-5 zone. The proposed project meets all land development requirements of the Land Development Code,

including setbacks, floor area ratio, landscaping, parking, storm water runoff, architectural design, and height. The undergrounding waiver request qualifies under the guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than a full block in length) and the conversion would not represent a logical extension to an underground facility. No deviations are proposed.

Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development.

The Pacific Beach land use plan designates the proposed project site for Medium Density Residential use at a density of 14-29 dwelling units per acre (du/ac). The proposed density of 28 du/ac (two units on 0.143-acre-site) is in conformance with the Residential Subarea of the Community Plan.

The RM-2-5 zone allows multiple dwelling units on a single-parcel at a maximum density of one unit per 1,500 square feet of lot area. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development.

The project site has been previously graded and has an existing religious facility and residence. The site has frontage along Grand Avenue with alley access at the rear. Adjacent to the site are one and two-story single family and multifamily developments. The RM-2-5 zone allows one dwelling unit for every 1,500 square feet of site area, and the existing 0.143-acre site can accommodate four dwelling units. The Pacific Beach Community Plan designates the site as residential allowing 14-29 dwelling units per acre. The addition of four units for the site is within the community plan's density range at 28 du/ac. Therefore, the site is physically suitable for the type and density of the development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is located within an urbanized environment where there are no watercourses or environmentally sensitive lands harboring fish or wildlife on or adjacent to the site. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301(I)(1) (Existing Facilities) and Section 15303 (New Construction). Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project has been reviewed and determined to be in compliance with the Municipal Code and Subdivision Map Act. The Tentative Map and associated development permit includes conditions and corresponding exhibits of approvals including undergrounding new utilities, storm water and construction water runoff, adequate parking, public improvements, and paying applicable taxes in order to achieve compliance with the regulations of the San Diego Municipal Code. The project has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Public improvements required of the project include closure of an unutilized driveway and the construction of City Standard full height curb, gutter, curb ramp, and non-contiguous sidewalk on Gresham Street and Grand Avenue. The project is also required to reconstruct the alley apron adjacent to the project site. The alley apron will include corresponding City Standard curb ramps on both sides of the alley entrance, adjacent to the site, satisfactory to the City Engineer. The owner/permittee will be required to enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15303 of the State CEQA Guidelines.

The subdivider will also provide for the health, safety, and welfare of the residents by constructing all buildings in accordance with current construction standards and codes. Prior to issuance of any construction permit for the proposed development, the construction documents shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing, and Fire Code requirements to assure the structures will meet or exceed the current regulations and the standards for public improvements. The City's review of the construction documents, issuance of construction permits, and inspection of the project will ensure that the development will be safe and built according to the required standards.

Therefore, the design of the subdivision will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 0.143-acre project site does not contain any public easements that have been acquired by the public at large for access through or use of property within the proposed subdivision. Therefore, the design of the subdivision or the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed four-unit building provides windows on all elevations, allowing for ample natural light at all times of the year. The future construction of the multi-family homes would not be impeded or inhibited from incorporating any future passive or natural heating and cooling opportunities. With the design of the proposed subdivision each structure will have the opportunity, through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide, to the extent feasible, for future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and provide natural heating and cooling for each dwelling unit.

Therefore, the design of the proposed subdivisions provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project proposes the development of one three-story residential condominium building on a 0.143-acre-site. The proposed addition of one three-story residential building with four (4) condominium units is consistent with the recommended density, and the housing needs anticipated in this area, per the Pacific Beach land use plan, and will result in a net increase of three dwelling unit on the subject site. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan.

The City's Housing Element of the General Plan recommends policies and programs to address the issue of balanced community housing assistance needs of low- and moderateincome families. The proposed development is subject to the Inclusionary Affordable Housing Ordinance. The project will be required to pay an inclusionary affordable housing fee per the <u>San Diego Municipal Code (SDMC) Section 142.13</u> prior to Building Permit issuance.

The site currently contains a religious facility and one dwelling unit. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. The decision maker has determined that the provision of four residential condominium units and the associated increase in the need for public services and the available fiscal and environmental resources are balanced by adequate public transit in the immediate area, the proximity of shopping, and essential services and recreation in the nearby developed urban area. Retail shopping exists approximately one block north of the site. Therefore, the housing needs of the region are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED that based on the Findings herein before adopted by the Hearing Officer, Tentative Map No. 1675323, including the waiver of the requirement to underground existing offsite overhead utilities, hereby granted to UPWARD TREND LLC subject to the attached conditions which are made a part of this resolution by this reference.

BE IT FURTHER RESOLVED that the decision of the Hearing Officer is granted to UPWARD TREND LLC, subject to the attached conditions which are made a part of this resolution by this reference.

By

Gaetano Martedi Development Project Manager Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006543

ATTACHMENT 8

HEARING OFFICER

CONDITIONS FOR TENTATIVE MAP NO. 1675323, GRAND AVENUE TOWNHOMES TM & CDP - PROJECT NO. 477022 ADOPTED BY RESOLUTION NO. HO-____ ON MAY 31, 2017

GENERAL

- 1. This Tentative Map will expire June 12, 2020.
- 2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
- 3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
- 4. This Tentative Map No. 1675323 shall conform to the provisions of Coastal Development Permit No. 1670493.
- 5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

- 6. Prior to the recordation of the Parcel Map, the Subdivider shall set monumentations and file a Corner Record in the office of the County Recorder.
- 7. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a

manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

- 9. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
- 10. Prior to the recordation of the Parcel Map, the owner and engineer shall sign the TM exhibit.
- 11. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
- 12. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 13. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

- 14. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
- 15. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
- 16. A one lot Parcel Map to consolidate and subdivide the existing lots and ownership interests is required as a condition of the tentative map.
- 17. Prior to the recordation of the Parcel Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.
- All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.

- 19. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

PUD-WATER & SEWER

20. Prior to the recordation of any map, the Owner/Permittee or Subdivider is required to provide evidence to the satisfaction of the Public Utilities Director that all separately titled units which share water or sewer service connections to the City's public utility systems have had their titles encumbered by CC&Rs written so as to ensure that the operation and maintenance of all such shared water and/or sewer facilities will be provided for in perpetuity.

GEOLOGY

21. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

Internal Order No. 24006543

(Check one or both)

- TO: <u>X</u> Recorder/County Clerk P.O. Box 1750, MS A-33 1600 Pacific Hwy, Room 260 San Diego, CA 92101-2400
 - Office of Planning and Research 1400 Tenth Street, Room 121 Sacramento, CA 95814
- FROM: City of San Diego Development Services Department 1222 First Avenue, MS 501 San Diego, CA 92101

Project No.: 477022

Project Title: Grand Avenue Townhomes

Project Location-Specific: 1376 Grand Avenue and 4418 Gresham Street, San Diego, California 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A COASTAL DEVELOPMENT PERMIT and TENTATIVE MAP is being requested to demolish an existing single dwelling unit and religious facility to construct a three (3) story, four (4) unit condominium complex totaling 7,150 square feet. The units would include 4 two-bedroom with associated decks and patios.

The 0.142 acre project site is located at 1376 Grand Avenue and 4418 Gresham Street. The project site is designated Residential and within the Pacific Beach Community Plan area. Additionally, the project site is within the Coastal Overlay Zone (Non-Appealable-2) and Parking Impact Overlay Zone (Coastal). (LEGAL DESCRIPTION: Parcel 1: Lots 21 and 22 in Block 233 of Pacific Beach according to maps thereof No. 854 and 697.)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: David Lepre

814 Morena Boulevard San Diego, California 92110 (619) 987-4459

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: 15301 (Existing Facilities) and 15303 (New Construction)
- () Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301(I) (1) (Existing Facilities) which allows for the demolition and removal of individual small structures including one single-family residence and in urbanized areas, up to three single-family residences may be demolished under this exemption. The project also meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include but are not limited to on single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not apply.

Revised 010410mjh

Lead Agency Contact Person: Morgan Dresser

Telephone: (619) 446-5404

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Sr. Planner Signature/Title

February 15, 2017 Date

Check One: (X) Signed By Lead Agency () Signed by Applicant

Date Received for Filing with County Clerk or OPR:

ATTACHMENT 10

Pacific Beach Planning Group www.pbplanning.org Pacific Beach Taylor Library 4275 Cass Street, San Diego, CA 92109 Wednesday, August 24, 2016: 6:30-8:30 pm Minutes

Item 1 - 6:30 Call to Order, Quorum: 6:37 call to Order: Tony Franco, Joe Wilding, Karl Rand, Debbie Conca, Henish Pulickal, Brian Curry. 6:42: Baylor Triplett. 6:52: Eve Anderson. 6:55: Marcia Nordstrom. 7:15: Jim Morrison. Absent: Mike Beltran, Jim Krokee, Amy Gordon, Paula Ferraco, Jason Legros

Item 2 Current Agenda - Modifications and Approval - No quorum at this time. Did not vote.

Item 3 July 27, 2016 Minutes - Modifications and Approval – No quorum at this time. Did not vote.

Item 4 – 6:40 Elections Subcommittee (Action Item)

Presenter: Debbie Conca

Two people to elect. Peter Lee was a no show. Ben Ryan needs signatures from a census tract with a vacancy. He may be voted in next month.

Additional election packet submitted mid-meeting: Michael Martin: Lives on Ocean St near Tower 23. From Boston. Works in event marketing. Suggests we do a police ride along so we don't use anecdotal evidence to make decisions. Voted in 8-0.

Item 5 – 6:50 Non-Agenda Public Comments (Note: 2 minutes maximum per speaker)

Issues not on Agenda and within the jurisdiction of Pacific Beach Planning Group.

Don Gross: 1) PB Drive construction work almost done. CIP for \$500,000. 2) E Mission Bay Drive and Grand intersection. Problems connecting with Monrovia St.

Katie Schaa: Outside consultant for city. Update on Job 816, PB water and sewer project. Starts this summer through December 2018. Using improved materials.

Item 6 – 7:05 PBPG Chair's Report (Information Item)

Presenter: Brian J. Curry – No CPC this month. Crime concerns vocalized to Mayor's office via letter.

Item 7 – 7:10 Councilmember Zapf Representative (Information Item)

Presenter: James McGuirk (619-235-5282): New city phone app: Get it Done San Diego. Report issues like potholes from your phone. New law sponsored by Lorena Gonzalez to ensure servers are trained properly to prevent over-serving patrons.

HP: Can we get crime demographics? JM: Will look into it.

BC: What is the penalty for over-serving? JM: Ask Lorena Gonzalez.

Debbie Conca: ABC is giving out 25 new liquor licenses in San Diego. We don't need it.

HP: Use a scoring rubric with clear metrics in terms of size, cost, usage, etc. This will make it easier to evaluate all the options.

Item 8 – 7:20 Mayor Faulconer Representative (Information Item)

Presenter: Anthony George (619-236-5980) - no show.

Item 9 – 7:30 Development Subcommittee (Action Item)

Presenter: Henish Pulickal

Grand Avenue Townhomes Project 477022

1376 Grand Avenue / 4418 Gresham Street (RM-2-5 Zone)

Demo existing older structures and construct two, 3-story residential condominiums (4 units total). 2 bed/2bath, 2 parking each (one garage, one open at alley).

Subcommittee recommends motion to approve with conditions: landscaping changed to drought tolerant throughout and man doors from garage and modification to the roof line at the 2nd floor on the SE corner.

Adding ramps to curbs at Grand and alley.

Michael Martin: Low water usage? Dan Linn: Dual flush toilets, tank-less water heaters, no turf.

Tony Franco: Apartments nearby. Need good construction fencing for minimal disturbance.

Motion to approve with subcommittee conditions, Henish 1st. Joe W, 2nd. Approved 10-0.

Balboa Transit Area Subcommittee: Meeting postponed per city request.

Item 10 – 7:45 De Anza Cove Special Study Area (Possible Action Item) timing from 7:20 – 8:40PM.

Presenter: Chris Olson, Brooke Peterson, Craig Hooker

Update on community outreach and planning for De Anza Cove Special Study Area.

3 year planning process. Most info available at www.deanzarevitalizationplan.com

Public Comments:

PYSL: youth soccer league. 40 years, 73 rec teams, 23 competitive teams. 1,000 kids. Sharing fields with softball. Wants field updated. Only youth fields.

Need sand volleyball courts.

Need tennis courts.

The marsh is dying. Needs to be reconnected to Rose Creek.

BC: Get rid of golf course and get everything on the list in De Anza. Don't relocate campland. Deconstruction of site will cost a fortune.

Campland representative: Campland lease is up in 3 years. De Anza mobile park will have the proper infrastructure for relocated campland – easy transition. Gets 50,000 annual guests. Booked full most weekends. Needs to have access to water. Not included in SSA – should be included.

8:30: Motion to extend meeting 15 minutes. Jim Morrison 1st. Karl Rand 2nd. Approved 10-0.

Item 11 – 8:25 Other Subcommittees and Reports (Time Permitting) – no time available.

Traffic & Parking: Michael Beltran

Public Safety: Amy Gordon

Pacific Beach Community Parking District: Michael Beltran or Debbie Conca

Special Events: Debbie Conca or Eve Anderson

Communications: Baylor Triplett

Item 12 – 8:30 Adjournment – 8:40 Adjourn.

Next PBPG

Meeting: Wednesday, September 28, 2016 6:30-8:30 pm

ATTACHMENT 11

THE CITY OF SAN DIEGO	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosu Stateme	
Neighborhood D	evelopment Permit Site Development Pe	quested: Neighborhood Use Permit Coastal Development Permit Planned Development Permit Conditional Use Permit Waiver Land Use Plan Amendment • Other	
Project Title		Project No. For City Use Only	
GRAND AVE ' Project Address:	TOWNHOMES		
1376 GRAND	AVE, SAN DIEGO, CA 92109		
-			
Part I - To be com	pleted when property is held by Individ	iual(s)	
below the owner(s) a who have an interest individuals who own from the Assistant Ex Development Agreen Manager of any chan the Project Manager	Ind tenant(s) (if applicable) of the above refer in the property, recorded or otherwise, and sta the property). <u>A signature is required of at lea</u> secutive Director of the San Diego Redevelopr nent (DDA) has been approved / executed by ges in ownership during the time the applicati at least thirty days prior to any public hearin ult in a delay in the hearing process.	erty, with the intent to record an encumbrance against the property. Please enced property. The list must include the names and addresses of all perso ate the type of property interest (e.g., tenants who will benefit from the permit ast one of the property owners. Attach additional pages if needed. A signat ment Agency shall be required for all project parcels for which a Disposition a y the City Council. Note: The applicant is responsible for notifying the Pro- ion is being processed or considered. Changes in ownership are to be given ag on the subject property. Failure to provide accurate and current owners	ture and ject n to
Name of Individua	al (type or print):	Name of Individual (type or print):	
	enant/Lessee Redevelopment Agency	Owner Tenant/Lessee Redevelopment Agency	
Street Address:		Street Address:	
City/State/Zip:		City/State/Zip:	
Phone No:	Fay Mar	Phone No: Fax No:	
	Fax No:		
Signature :	Date:	Signature : Date:	
Name of Individua	al (type or print):	Name of Individual (type or print):	
	enant/Lessee Redevelopment Agency	Owner Tenant/Lessee Redevelopment Agency	
Street Address:		Street Address:	
City/State/Zip:	inanana	City/State/Zip:	
Phone No:	Fax No:	Phone No: Fax No:	
Signature :	Date:	Signature : Date:	

Printed on recycled paper. Visit our web site at <u>www.sandiego.gov/development-services</u> Upon request, this information is available in alternative formats for persons with disabilities.
ATTACHMENT 11

Project Title: GRAND AVE TOWNHOMES	Project No. (For City Use Only)
Part II - To be completed when property is held by a corpor	ation or partnership
Legal Status (please check):	amon of partition inp
Corporation KLimited Liability -or- General) What St	ate? CA Corporate Identification No
as identified above, will be filed with the City of San Diego on the the property. Please list below the names, titles and addresses otherwise, and state the type of property interest (e.g., tenants w in a partnership who own the property). A signature is required property. Attach additional pages if needed. Note: The applican ownership during the time the application is being processed or Manager at least thirty days prior to any public hearing on the s information could result in a delay in the hearing process. Ad	cknowledge that an application for a permit, map or other matter, e subject property with the intent to record an encumbrance against of all persons who have an interest in the property, recorded or who will benefit from the permit, all corporate officers, and all partners of at least one of the corporate officers or partners who own the t is responsible for notifying the Project Manager of any changes in considered. Changes in ownership are to be given to the Project ubject property. Failure to provide accurate and current ownership ditional pages attached Yes Xo
Corporate/Partnership Name (type or print): UPWARD TREND, LLC	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address: 814 Morena Blvd #101	Street Address:
City/State/Zip: San Diego, CA 92110	City/State/Zip:
Phone No: Fax No: (619) 296-4932	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print): David Lepre	Name of Corporate Officer/Partner (type or print):
Title (type or print): Managing Member	Title (type or print):
Signature : Date: 02/29/2017	Signature : Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature : Date:	Signature : Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
Owner Tenant/Lessee	Owner Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No: Fax No:	Phone No: Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature : Date:	Signature : Date:

1

GRADING NOTES

Total amount of site to be graded	2680 s.f. (foundations)		
Percent of total site graded	43		
Area of 25% or greater slope	0		
Amount of cut	55 cu. yd. (footings: max 30° deep)		
Amount of fill	0		
Max. hgt. of cut slope	0		
Amount of export	55 cu. yd (subject to compaction)		
Retaining walls	0		

PLANNING NOTES

- Trash/recycle cans to be kept in enclosured slab area per site plan.

- There are no proposed or existing easements. Plane have been designed to comply with disabled access requirements. There are no existing or proposed bus stops. No exterior mechanical equipment exists (gas meters to be screened by 5
- landscaping). 6 Provide recycle storage in cabinets of each kitchen of min. 2.5 cu. ft.
- Provide non-recycle trash storage in each kitchen of min. 2.5 cu. ft. Provide building address numbers that are visible and legible from the street for each unit.
- 9 Dwellings are for sale.
- ENGINEERING NOTES:

1. IF EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE DAMAGED DURING CONSTRUCTION, THE REQUIRED PERMITS FOR THE REPLACEMENT OR REPAR OF THE DAMAGE SHALL BE OBTAINED. 2. ALL EXCAVATED MATERIAL SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (REREN BOOK), 2003 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.

3. PRIOR THE FOUNDATION INSPECTION, AN ELEVATION CERTIFICATE SIGNED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED CERTIFYING THE PAD ELEVATION, BASED ON USGS DATUM, IS CONSISTENT WITH EVHIBIT X, SATISFACTORY TO THE CITY ENGINEER

4 DRAINAGE SHOWN IS MINIMUM REQUIREMENT (1 %)

A DRANAGE SHOWN IS MINIMUM REQUIREMENT (1 %) 5. PROR TO THE ISSUANCE OF ANY CONSTRUCTION PREMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR ANY ONSOING PERMANENT BHIP MAINTENANCE. 6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION DEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CH. 14, ART. 2. DV.1 (GRADING REGULATIONS) OF THE SOMC, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS. 7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION DERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WCPC). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CONSTRUCTION CONTROL PLAN 8. TOPOGRAPHY BASED UPON SURVEY BY SAN DEGO LAND SURVEYING (ROBERT BATEMAN, PLS TO46), DATED AUGUST 5, 2015. 9. SEE BMP SHEETS FOR STEP PEREABILITY NOTES

9. SEE BMP SHEETS FOR SITE PERMEABILITY NOTES 10. ANY AND ALL WORK IN THE RIGHT-OF-WAY TO BE DONE UNDER

SEPARATE PERM

- SEPARATE PERMIT(5). 11. NO GRADING IS PROPOSED 12. THERE ARE NO EXISTING OR PROPOSED PUBLIC OR PRIVATE EASEMENTS ASSOCIATED WITH ANY WATER OR SEWER FACILITES, 13. ALL REQUIRED EMRAS ASSOCIATED WITH THE WORK TO BE DONE WITHIN A PUBLIC ROW OR OTHER PUBLIC DESEMENT MUST BE APPROVED BY THE CITY AND RECORDED BY THE COUNTY

PRINKLER NOTES

The submittel of residential fire sprinkler plans required by Section R313 of the 2019 California Residential Code or when required by Section 603 of the 2013 California Building Code hes been defarred."

To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection when the submitted of fire sprinkler plans is deferred. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans." "To avoid delaw

After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger mater size

Owner Signature:

Water meters for combined domestic water and ins sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.

6 ALL REQUIRED PERMITS MUST BE OBTAINED FROM FIRE PLAN CHECK BEFORE THE BUILDING IS OCCUPED.

VICINITY MAP 1-5-



THIS PROJECT MUST COMPLY WITH MINIMUM CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF STRUCTURES

NOT TO EXCEED 30.

- PARCEL INFORMATION 1. SITE DOES NOT CONTAIN ENVIRONMENTALLY SENSITIVE LANDS 2. SITE IS NOT IN AN HISTORIC DISTRICT 3. SITE IS NOT IN THE FAA PART 77 NOTIFICATION AREA
- 4 GEOLOGICAL HAZARD CATEGORY IS 52 NOT AN EARTHQUAKE ZONE
- SETBACK REQUIREMENTS (RM-2-5) (SEE PLAN FOR ACTUAL) DE IDALS, REQUIREL ISUID (RI 1920) (SEE PLANDER CONTACT) STANDARD (SRAND AVE) STANDARD (SRAND AVE) STANDARD (SRAND AVE) ENVELOPE WIDTH: 41 (SEE SDE YARD BEQUIREMENTS) B. <u>STREET SDE YARD</u> (RN 0% OF THE LOT WOTH, WHOHEVER IS GREATER, UP TO SDIA OF THE BULDING FAQADE MAY ENCROACH UP TO 5 INTO THE C. REQUIRED STREET SOE YARD

- C. <u>SIDE YARD</u> MINIMUM: 4' WITH LOT WIDTH LESS THAN 50'
- D. <u>REAR YARD</u> MINIMUM 15' REQUIRED (MAY USE 10' OF THE 20' ALLEY WIDTH)



E.

9% call of each work day, or after a storm event the call is a precent in instance construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street. TOTAL DISTURBED AREA of LOT Lot area = 6225 s.f. All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain

1 Dieco must

100% of lot. 6225 s. f. (new installations on entire site: structures, walks, slabs, including 1200 s.f. of new landscape area @ 19% of lot)



Notes below represent key minimum requirements for construction BMP's.

1. The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the

end of each work day, or after a storm event that cay a breech in installed



QD.S. TO DAYLIGHT L = LANDSCAPE AREA - SEE LI

10'

19:16

Nº10



- FX. L'& LAT HAL

RETANIS

NOTE: PER PTS 450542, THE EXISTING STRUCTURES ON THE PROPERTY WERE DETERMINED TO NOT MEET LOCAL DESIGNATION CRITERIA FOR HISTORICAL STRUCTURES

BENCHMARK: CITY OF SAN DIEGO BENCH MARK: NW BRASS PLUG AT THE INTERSECTION OF GRAND GRESHAM ST. ELEVATION = 48.845' MSL DATUM

LI

16

PMP

BMP2

TM

4. The contractor shall restore all erosion/sediment control devices to working

5. All slopes that are created or disturbed by construction activity must be

All slopes that are created or disturbed by construction activity protected against erosion and sediment transport at all times. The storage of all construction materials and equipment must be against any potential release of pollutants into the environment.

offective

order after each run-off producing rainfall or after any material breach in

PROJECT DATA	DR	AWING INDEX	
SCOPE OF WORK: REMOVE EXISTING STRUCTURES (UNDER DEMO PERMIT), CONSTRUCT TWO, THREE STORY, DUPLEX CONDOMINUM BUILDINGS (w/ CNE HOUR SEPARATION) w/4 ATTACHED	T	SITE PLAN \$PROJECT DATA	
GARAGE SPACES AND 4 SURFACE PARKING SPACES. (SEE 'CBC NOTES' THIS SHEET)		ARCHITECTURAL SPECIFICATIONS, CA, "GEBEN COPE"	
APN: 423-171-08-12 LEGAL: LOTS 21 & 22, BLOCK 233 PACIFIC BEACH, MAPS 854 AND 697	AI	FIRST FLOOR RAN, UNIT AREAS	

		· · · · · · · · · · · · · · · · · · ·
APN: 423-171-08-12 LEGAL: LOTS 21 & 22, BLOCK 233 PACIFIC BEACH, MAPS 854 AND 697	AI	FIRST FLOOR PAN, UNIT A
ZONE: RM-2-5 LOT AREA: 6225 5.F.	A2	SECOND FLOOR PLAN
BUILDING AREAS: (SQ.FT.) (SEE TABLE ON AI FOR PER UNIT AND PER FLOOR DATA)	AB	THIRD FLOOR PLAN
GARAGE: GFA: 862 CBC: 790 DECK: <1079 > (NON-GFA)	44	EOOF PLAN
FAR ALLOWED: 135 w/ 10125 LMING AREA (6321 5.F.) 3375 PARKING (2107) FAR ACTUAL: 115 w/ 101 LMING (6283 5.F.) and 14 PARKING (662 5.F.).	A5	EXTERIOR ELEVATIONS
COVERAGE: N/A	He	EXTERIOR ELEVATIONS
ALLOWABLE AREAS: R3/ VB (SPRINKLERED) UNLIMITED PER 2013 CBC TABLE 503.	A7	BUILDING BECTIONS

ALLOWABLE AREAS: R3/ VB (SPRINKLERED) UNLIMITED PER 2013 CBC TABLE 503. U OCCUPANCY: UP TO 1000 S.F. PER CBC 4061 (836 ACTUAL) OCCUPANCY CLASS: R3 AND U CONSTRUCTION TYPE: VB SPRINKLERED ZONING OVERLAYS: COASTAL (CITY), COASTAL HEIGHT LIMIT, PARKING MPACT PERMITS REQUIRED: CDP, DEMO AND ROW (SEPARATE), BUILDING (NO GRADING PROPOSED), TENTATIVE MAP CODES IN EFFECT: 2013 CBC, CRC, CPC, CMC, CFC; 2013 NEC; CAC ITTLE 24 PARKING REQUIREMENTS:

- 4 UNITS @ 2 BEDROOMS EACH = 4 x 2 = 8 SPACES PARKING PROVIDED & SPACES BICYCLE PARKING FOR UNITS C AND D PROVIDED WITHIN EACH UNITS ASSIGNED GARAGE. AN ADDITIONAL EXTERIOR SPACE IS PROVIDED PER THE SITE PLAN
- CBC NOTES: 1. PER SINGLE DISCIPLINE REVIEWS 145868 AND 169948, THIS DESIGN MEETS THE REQUIREMENTS FOR CBC SEC 109A.2.1 BY THE USE OF GARAGE #2 AND THE REST FLOOR OF UNIT #2. 2. PER SDR 169948, THIS DESIGN CREATES TWO DUPLEX UNITS BY THE USE OF TWO SEPARATE ONE HOUR WALLS AS SHOWN ON THE PLANS, THUS RESULTING IN AN R3 OCCUPANCIY CLASSIFICATION

PER CBC TABLE 704.8 NOTE 'g', PROTECTED AND UNPROTECTED EXTERIOR WALL ARE UNLIMITED IN R3 OCCUPANCIES WITH FIRE SEPARATION GREATER'S THAN 5 FEET. ALL SEPARATIONS IN THIS PROJECT ARE EQUAL TO OR GREATER THAN 5'-O'.

1376 GRAND AVE

13 STOPY P.F. 51.00'

AVE AND	SITE PLAN

LANDSCAPE AREAS

STORM WATER FORM SA NOTES

BMP PLANG & HOTES

MAP EXHIBIT

Parola

PT.'6'



- Subuchtractor shall take all necessary measures to fully protect adjac properties and the utility lines shown on these contract documents and other lines not of record or not shown on these documents. Anhan
- The work consists of furnishing all labor, equipment, materials, survices and performing all operations necessary for all earthwork, including sec-uring and paying for the grading penant.
- All stumps, roots and debris shall be removed from the soil to a depth of at least 1'-O" below the surface of the ground in the area to be occupied by the building or proceed structure.
- Excavation
- or to verify locations of underground utilities prior to excs Excavate to lines, grades and elevations as required by drawings or govern-ing ordinances. Level and elem bottom of footing excentions and keep free of studing water. In momented dill is new divided water for the
- Fill and Backfilling
- . mon shortling Backfill and fill under alabs shall be layered in levels not more then 6" deep, moistened and tanged with mechanical vibrator compacted to a 90% op timm density. Fill meterial shall be free from debris, vegetable matter and other freques subterial shall be free from debris, vegetable matter Protect dampproofed surfaces against damage while backfilling with one layer of 1/2" some hand
- Finish Grading
- Slope grade away from building to prevent standing water against building. Finish grading to provide uniform trainition between points where eleva-tions are shown, unless noted otherwise.
- 0. All debris, rocks and other deleterious material shall be removed leav-ing the ground ready for topsoil and landscaping.
- D. All finish grades to be i" below level of sidewalks and a minimum of 6" below finish fiper line, unless noted otherwise.

DIVISION 28 - ASPHALT PAVING

- Scope Furnish and install Asphaltic concrete paving work complete including wood headers, sub and finish grading, and weed control for ground surfaces re-
- <u>Subgrading</u> Scarify subgrade to a minimum of 6", bring to optimum moisture content and compact to a minimum 90% optimum density.
- 3. Drainage Finish to required elevations, uniform and smooth, so that all area drain and shall be free of standing water.
- <u>Soil Starilization</u> At all areas receiving asphaltic concrete paving, appl approved soil starilizer par manufacturer's recommendations.
- 5: Asphaltic Concrete Pavement Redwood headers: minimum 2 x 4 with 2 x 3 x 16" long stakes (2-16d gal-vanised nails each stake).
- Bass course: 6" crushed rock, C. Pavemant: 2" thick, 85-100 penetration; minimum 1/2" rock.
- 6. Seal Cost Apply 2 coats per manufacturer's specifications.

DIVISION 3 - CONCRETE

1. <u>Boops</u> - Furnich, install and finish Concrete work complete, including grading under slabs, plastic membrane, formwork, reinforcing, etc. and placement of balts and inserts surplied by other tweets.

- Materiala A. Portland Cement shall conform to ASTH C 150 Type I or Type II,
- Aggregates to be normal sand-gravel aggregates conforming to ASTH 0 33.
 Water shall be alson and free of delatorious anounts of acids, alkali, oils or organic materials.
- Reinforcing steel bars shall be deformed bars conforming to ASTH A615-68 Grads 40, unless moted otherwise
- Reinforcing mesh shall be welded wire fabric conforming to ASTM A-185-73.
- The wire shall conform to ASTM A 82; 16 gauge black annealed. Expansion joint fillers to be 1/2" thick, depth as required, non-
- H. Form materials: lumber to be "Standard or better" Douglas Fir. Flywood to be 5/8" thick exterior grade BB-13 or better.
- . <u>Design Mix</u> Mix shall be composed of 1 part essent, 3 parts sand, 4 parts of 1" maximum aggregate, and maximum water-essent ratio of 0,53 for minimum com-pressive asympth of DEI 0.28 down from date of initial norm.

- Place plastic membrane under all interior slabs; lap all splices min. 12".
- Concrete shall be worked in all forms, around reinforcement and embedded items and into corners.
- Bolts, anchors, hold-downs and all inserts shall be acc securely held in place until concrets has hardened,
- Inspect surfaces insediately after resoval of forms and before concrete is cured. Fatch and pour joints, voids, stone pockets, and the holes in concrete surfaces to be exposed.
- Reinforcing steel shall have a minimum lap distance of 30 diameters in concerste. Whiles about otherwise on details, furnish #3 ties or spacer bars at approximately 30° 0.0. in all footings to keep reinforcing in place Minimum concrete cover on reinforced steel: Footings 3", exposed walls 1", walls against earth 2", slabs 3/4", columns 1-1/2",
- 5. Finishing
- Interior and Garage slabs: steel troval finish; slope to drain where in-dicated on drawings. Exposed exterior flatwork to be broom finish, rock sait finish and/or ex-posed aggregate finish as indicated. Exterior slabs to slope away from bld

DIVISION 4 - MASONRY

1. Scope - Furnish and install all measury work complete, including measury mean and measury reinforcing.

2. Haterials

- Descrit norther mix: One part Fortland Commt, 1/4 part minimum to 1/2 part 'd' maximum line, sand not less tham 2-1/2 and not nore than 3 times the sum of the volumes of the command line used, and shall conform to ASTH 0 270 with a minimum congressive strength of 1000 pal.
- Grout shall be composed of 1 part Fortland Generi, i/10 part line, 2-1/4 to 3 parts sund. A maximum of 2 parts peagraval may be added in spaces 2" or more in stituter horizontal dimensions. Minimum compressive strength of 2000 paint 20 days.
- Concrete masonry unit shall be hollow load-be ASIM 090-70, Grade N-1,
- Reinforcing steel shall be deformed bars conforming to ASTM A 615-68, Grade No, waless noted otherwise.
- Tie wire shall conform to ASTH A82; 16 gauge, black annealed,
- 3. Norkmanship
- A. Masonry veneer shall comply with UBC Chapters 1 25 Hasonry fireplaces shall conform to Chapter 31 of the UEC
- B. Work shall be plumb, level and true to line.
- Reinforcing shall be accurately placed and hald in position top and bottom
- Reinforcing shall have a minimum distance of 40 diameters in masonry.
- Dampproof masonry below grade with 2 layers 15# felt, secured and esaled by 3 applications of hot asphalt. Seal masonry above grade with Thompson

DIVISION 5 - METALS

Scope - Fumish all metal supports, aigles, plates, attachments; bolts, lag bolts, gates, railings, welding, shop priming and include installation as required to complete work.

1: " :

- Materials
- Structural steel shapes, plates, bars and rolled settions shall confor to ASTM A 35-70.
- Steel pipe shall conform to ASTH & 53-68, Grade B and shall be seam
- 0. Structural tubing shall conform to ASTM A 501-73 or ASTM A 500-68, Grade B and shall be seauless.
- D. Anchors, bolts and fastenings shall conform to ASTM A 307-67, and ASTM A 553-66.
- E. Materials and workmanship shall comply with A.I.S.O. "Specification for the Design, Fabrication and Erection of Structural Steel for Buildings".

- B. '. All structural field welding shall be continuously inspected by a register-ed deputy inspector at the expense of the General Contractor.
- σ. Shop primer for steel other than galvanized shall meet Federal Specifica-tions TN-P-86 Type III (red lasd) or TN-P-645 (sing physical). Parts not in contact with concrete or plaster and not acce assembly shall be given two coats of shop paint.
- DIVISION 64 BOUGH CARPENTERY (CM IT GA SEE STRUCTURAL DRAWINGS) 1. Scope - Furnish and install Rough Carpentry complete, including rough hardw

- Franing lumber: W. C.L.A. "Biandard Grading and Dressing Rules for West Coast Lumber" #16. All framing members shall be grade marked. Plywood :
- Materials
- A. All wood framing manhars shall be Douglas Fir surface green as Stud grads do bettar Ho. 2 grads or bettar Ho. 2. grads or bettar Ho. 1 grads Ho. 1 grads Ho. 1 grads Ho. 1 grads Housticm grads redwood or Ho. 1
- Studs (to 8'-0") Studs (over 8'-0") Sthuctural joists (Beats & stringers Ports Sills on concrete or kasonry Deckter
 - $1/2^m$ GM int, gr. with ext. glue (panel index 20/0) with 84 e 6" o.o. edge malling $5/6^m$ undersymmet gr. (panel index 22/16) 'MG or 2 x 3 first blift edges with 104 e 6" o.o. edge malling; glue to fir jete Hurnstwarl 11 grade valeses noted otherwise

clear dimension of 30" between top of ceiling framing member and botton of roof framing member.

I. Install finish hardware in accordance with afer's instructions. Index keys

A. Set and countermink nails and screws on exposed surfaces. Fill holes with plastlo filler of color and texture to match finish.

Accurately fit each door to its frame and hardware with allo ers finish. Leave all doors operating freely, but not loose striking or binding, and all hardware properly deducted

DIVISION 6C - CABINETS

Materials and Design

Baths: .D.O

DIVISION 74 - ROOFING AND WATERPROOFING

B. Cant Strips: Fiber as detailed.

D. Idnen: .N.A.

Yorknanahin

Wood work shall be accurately scribed to fit adjoining surfaces.

D. All work shall be machined or hand-sanded, sharp edges and splinters re-moved and completely prepared for finish.

Scope - Furnish and install all cabinet work complete, including cabinet tops

A. Plywood and particle board shall be edge banded on all exposed edges.

Calmber work manufacturer/contrastor mailly verify with general contrac-tor all appliances sto, that are integral with the ablast work or that depend upon proper achieve work design to insure their normal operation. Calmber work manufacturer/contrastors shall verify all dismains of spy-linese work assumizations of the state of the state of ablastic state instruction of all framers, doers, sto, is sainliked. Ablastics and their work of instructor shall notify the krobitet of any campas required in the sab inst work design prior to fabrication of calminets.

Undermids of kitchen vabinet located directly above kitchen range shall

Vall Flashings: at walls, chimeys, etc. as detailed or as per roofing sanufacturer's specifications. Flashings provided under Division 78.

C. Wood shakes shall be laid with not less than 15" wide strips of 30% fait shingled betwas each sources. No fait shall be exposed to the weather below shake buts. Provide 1 x b Wal buti-faint sheathing at all exposed areas (i.e. sares, rakes etc.) and double startice course of shakes at each

Plywood arickets to be 5/8" interior plywood with exterior slue

Wood shingles and shakes exposure to be per UBC.

Installation - Install roofing and wall flashing per manufact tions excefully incorporating G.I. flashing, scuppers, jack drains. divertors etc. supplied by others.

DIVISION 78 - SHEET METAL

DIVISION 7C - THERMAL INSULATION

2. Natarials

DIVISION 8A - DOORS

DIVISION 88 - GARAGE DOORS

4

2. Materials

1. Scope - Furnish and install all thereal insulation

Provide clay tile roofing where shown, per Owner and a

Vaterproof membrane where indicated shall consist of 43 fait 6" up ad-jacent walls with 2 Layers 50 x 20 Duramesh applied over fait and hot mop-ped in place using 23 - 190 asphalt per 100 sq. ft. Nop in place final Layer of 15 depublic asturated fait.

Built-up roofing with gravel surfacing to be on minimum 3 layers of 15% hot mopped fait. (Use 300% gravel for conventional roofing and 400% grav if one-hour roofing is required).

Asphalt shingles to be laid over 15% fult, laid horisontally and le 2" beneath shingles laid directly on roof boards. Use hot galvanis aluminum (10-1/2 to 12 gauge) roofing mails with heads of at least

Scope - Furnish and install Sheet Metal work complete, including flashing, grave stops, gutters, downspouts, sources, mise, vents etc.

Materials - Sheet notal shall be galvanised. Flashings, gutters, do counter-flashings and gravel stops shall be minimum 24 gauge where n

<u>Horkmanship</u> - All work shall conform to the "Architectural Sheet Netal of the Sheet Metal and Air Conditioning Contractors National Associati

A. Exterior walls of heated and/or cooled interior spaces to be insulated t provide an "R" value of 15. Ominimum, unless noted otherwise.

B. Ceilings of heated and/or cooled interior spaces to be insulated to provide an "R" value of SK minimum, unless noted otherwise.

Installation - Install between ceiling joists, roof rafters and joists and bot-tom chords of trusses as indicated on drawings and between all stude in exterior walls so as to provide a continuous thereal barrier to the exterior. Install with vapor barrier to the inside.

Scope - Furnish and deliver all doors complete as scheduled or otherwise indicat od by drawings. Finish hardware, installation and painting, where applicable, a

Wardrobe doors: 1-3/8" thick, hollow core, hardboard surfaced - bi-pas and/or bi-fold as indicated.

Special doors: Special door treatments shall be as indicated and/or sche

Scope - Fabricate and install garage doors complete as indicated on drawings,

A. Door: 2 x 3 frame clad with 3/8" plywood (exterior grade) with trim, mould-ings, etc. per exterior elevations (or as indicated).

B. Hardware: Travert or Holmes counter balanced swing-up hardware with roller bearing pivots. Hardware shall be appropriate to size and weight of doors.

Korkmanship - Doors to be installed square in opening, adjusted and counter balanced for proser operation including automatic functions

A. Exterior doors: Solid core, flush panel unless noted otherwise, with applied decoxitive trik and surface(s) as noted. See schedules for gl ed or ymealed doors as required, stain grade.

- B. Interior doors: 1-3/8" thick, hollow core, flush penel , stain grades

- C. Garage to house doors: 1-3/4" solid core, hardboard surface

C. Wood floors of heated and/or cooled interior spaces adjacent to to be insulated to provide an "R" value of 30 i min., unless n

<u>Scope</u> - Furnish and install Boofing and Waterproofing work complete, including east strips and incorporating other trades flashing, sleeves and jacks.

All handling, finishing, installation and methods of o ing cabinets and fixtures to be per W.I.G. Standards,

Kitchen: Style and codorias selected by owners

Standards - All casework and cabinets to be W.I.G. custon grade or better unles

E. Full length continuous boards shall be used Misrever applicable or specifi-

1. Scope - Furnish and install all Gypsum drywall work of

DIVISION ED - FINISH HARDWARE

DIVISION 98 - GYPSUN DEYWALL

2. <u>Naterials</u>

3. Installation

DIVISION 90 - RESILIENT FLOORING

2. Standards

- C.

3. Haterials

- B. Mailing: Oranon wire nails. All plywood disphrams shall have cement coated or ring shank ply nails.
- C. Metal con
- Metal connectors: Signers as detailed or equivalent. All top plates to be 2-2 x A with minimum lap splice of 48" with butt joints
- Bolts, nuts and washers shall be hot-dipped galvanised, conforming to ASTN
- Blocking at stud walls more than δ^1 -0" but less than 16^1 -0" in height to be 1-1/2" in thickness and of same width as stud and to occur at mid-heigh of stud. We have a stud otherwise
- Walls laterally unsupported shall be framed with continuous wood stude with
- examped as Tplices: 2 x 3 stude maximum height 10'-0" 2 x 4 and 3 x 4 studs maximum height 14'-0 2 x 6 studs maximum height 20'-0"
- Provide 2- 2 x 4 or 1- 4 x 4 wood post under all 4" wide beams or headers
- All intervier openings of hearing wells $4^{1}-0^{\circ}$ wide or less shall have minimum header of 1- 4 x 4 or 2- 2 x 4 on edge.
- All exterior openings shall have a minimum header of 1- 4 x 12 unless noted
- All floor joists shall be blocked solid as required by CBO (floor joists with a depth to thickness rathe of 6 or more shall be blocked @ 8'-0" o.c.,
- All roof rafters shall be blocked as required by UBO. All joints, headers, beams and aftern shall have a minim of 2" at each end.
- Provide double joists or blocking under bearing partitions and posts.
- Not less than three stude shall be installed at every comer of an exteri
- wall, Shar purels as side of overhead garles doors shall be of 3/6" Structural II gends physical with Bit 60" so B.H. and Bit 612" o.c. J.H. Provids 2-5/6" diamater x 10" long anohar bolts each and of shar panel with min-iama shadamater of 7" into concrets. Afterni physical conto header. Hhere wood frame male and partitions are covered on the interior with plaster, tile or shalls mainerial and and subject to molsture, the fram-ing shall be protected with as approved functionation to face Concerning to the C20.

- All interior and exterior wood posts attached directly to concrete shall be secured with Simpson PB or HPB post base at applicable, unless noted otherwise All wood posts consecting to not beam show a hall be secured with Simpson PO or EPO post cap as applicable unless noted otherwise.
- Foundation plates shall be bolted to concrete with $1/2^{\prime\prime}$ diameter x 10° long anchor bolts with not less than 7° embedament into concrete @ 72° o.c. unless
- U. Provide blocking at ends and supports of floor joists and for rafters at Provide blocking at ridge line and at exterior walls on trussed roofs.

All power actuated pins/anchors shall be "Banset" [konk] at 22" o.o. for int-erior bearing partitions and 46" o.o. for all interior non-bearing partition (pre-activered) style/20124. Aprox1.-a)

Stud partitions or walls containing plumbing, heating or other pipes to be framed to give proper classrance for piping. Where piping requires cuiting of plates or walls, install metal ties not less than 1/6" thick and 1-1/2" wile across opening with not less than + 160 nails at each add.

Framing contractor shall provide backing as required for all light fixtures cabinets, wardrobes, etc.

All floor construction through which heat or exhaust ducts pass shall be affactively draft stooned.

All framing makers [roof end/or coiling] which are part of a one-hour resistive assembly within 5'-0" of a two-hour five rated area separati wall shall be speed at a maximm of 16" or . This speeding also appli-to the 10'-0" one-hour protected area located on one side of area sepa-tion wall shoul be adjound roofs along mall are of different baights:

No penstrations shall coour through a fire rated celling/roof assemblin 5'-0" or 10'-0" (as applicable) of an area separation wall (i.e. a fans, lights, best lange, sto.) Exception: See. " Can

DIVISION 68 - FINISH CARPENTRY

Scope

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Purnish and install all finish carpentry complete, including trin, door frames, paneling, shelving, weatherstripping, etc.

1. Frames shall be set plumb and true, rigidly secured, and protected during the course of construction.

Installation of Finish Hardware, bath accessories, pabinet pulls, etc.

A. Door frames: Kiln dried vertical grain Douglas Fir. "B" or batter

1. All vertical and horizontal trin members shall be in lo oable lengths.

cable lengths. C. Mood reilings: Kiln dried vertical grain D.F. as detailed. D. Shalving and Bookcases: 1x or 2x clear pine as noted on drawings

F, All wardrobes to contain 1 x 12 wood shalf at a height of 5'-0" and a 1-1/2" diameter wood clothes yole at a height of 5'-4" installed 10-1/2" from face of finished wall unless motod otherwise. (Shalf to be solid glue stock Douglas Fir, W.J.C. Scommy Grade).

ood base: 2" high clear pine except where indicated otherwise

. G. Elements of appliances in garages which create a glow, spark or flame with in 18" of garage floor shall be located on a 18" high wood platform.

Door stops and casing: Clear pine of size detailed.

- Provide 3/4" minimum clearence between top plate of non-bearing interior partitions and bottom chord of trusses or framing members.
- Provide 1 x 4 diagonal let-in bracing at each end, and at least every 25 feet of length of exterior stud wall and main cross partitions unless not

Set all framing members with crown side up unless noted

Outting, notching or drilling of beass or joists to be permission detailed or approved by the Architect.

Support of bearing partitions perpendicular to joists shall not from such support by greater distance than the depth of joists.

Fireblock all walls, floors, furred areas, etc. so that maximum space is no greater than 10'-0". Provide additional fireblocking

					ATT	ACHMENT 12	
2	Scope alvin	- Furnish and install all Glass and Glassing, complete including glassed num and/or wood windows and doors as scheduled or otherwise indicated on ngs, mirrors, tub shi shower conclosures.			1		· .
5		ange, militing, tab and market entrymates ards - All glass shall conform to Federal Specification DD-G-425 and Chap- A of the USG.	·	#1	:	· · · ·	
5	Hate	dala	· •			な	
	А. В.	Windows and Doors: Double strength "B" or better. Bliding Glass Doors: Tempered glass min. 3/16" thick with label as per Gamter 24 MBG.					
	C. D.	Hircors: 1/4" polished plate glass. Tub and Shower Enclosures: Locations as indicated on drawingsto be of chatter-resistant material.	è tra a			5	
	, Е. F.	Caulking compound: Gun applied, non-hardening, color to match adjacent work.	<u> </u>			e S	
ä	c.	Aluminum windows and doorse Dark bronze anodised finish (with painted bronze finish) as selected by Owner with plastic frame screen and screen frame to match doorse unless indicated otherwise.				c	
		All exterior windows and aliding glass doors to be weather stripped and labeled as complying with the sir inflitution requirements set forth in the Associan Hesicanal Handward Inwitiute Bindards A134.1, A134.2, A134.3 and A134.4 (HUMA Standards for wooden windows).					-
IV		All doors and mindows to be fully weather stripped.					
•	BCOD	g - Furnish and install all finish hardware complete including weatherstrip- and threakolds (See Division 55 for garage door hardware).					
		ah Hardware Provide allowance as directed by Owner. All hardware to be selected by			•		
	в.	Owner unless indicated elsewhere on drawings. The bardware shall be fitted prior to the painting and then removed and painting completed before final installation of the bardware (except for door butts).	(
		herstripping and Thresholds					
	в,	Threadoles - Aluthuma (with integral weatherstrip at all exterior doors). Provide aluminum threadold and self-closing device at all doors leading from a gauge space to a living space.		-			
11	ISION	9A - LATH AND FLASTER	1 K			÷.	
	8026	g - Furnish and install all plastering work complete, including grounds, eds and casings.				S	
	Star A.	daris All stucco work shall comply with reference specifications published by the Galifornia Lathing and Flastering Contractor's Association.				一世。	
3.	B,	All plastering application shall comply with Chapter 47 of the UBC.					
Ċ	A, B,	Walls: 3 cost application over 1-1/4" galvanised wire seek and 19 felt. Stucce served: G.I. base screed at foundation of a type which will allow trapped matter to drain from the exterior of the building.				L L L	÷
	- a.	Finish coat: Float texture (unless noted otherwise), color to be selected.			· . '	Z I	
· ``	D. Ę.	Notal lath: 3/8" high rib expanded motal lath at eaves and soffits. Color(s): As selected and directed by owner.			•	3	
IV		78 - GYPSUN DRYNALL.	·			0	
•	Stan	2 - Furnish and install all Gypsum drywall work complete . L <u>ards</u>					
	`А. В.	All work shall comply with CBC All work and materials shall comply with American Standard Association's				Ш П П	- 1
	<u>Nate:</u> A,	"Specification for Gypsum Wallboard Finishes". <u>tals</u> Gypsum wallboard: 1/2" thick throughout except as noted.					
	в. С.	Gypsun wallboard: 5/2 thick invegings except as notes. Gypsun wallboard: 5/8 thick, firecode type "x" share shown on drawings. Vator resistant gypsum board to be U.S. Gypsun "sheet rock" mater resis- tant or approved equivalent shows shown on drawings.					
	D.	tant or approved equivalent there shown on drawings. Standard metal trin at all corners, ends, etc. Westa trin shall be gal- vanised and full langth uithout spilow where possible.				A DOR	
	E.	Joint tape and cenent to be of same recommended by manufacturer as gypsum wallboard and of type for best quality work.					
		Nalls to be $1-7/8^{m}$ fd and $1-5/8^{m}$ fd commit conted cooler type nails. The contractor, at his option, may use wallboard screws.				GRANIC GRANIC	
	A. B	All foints in finished surfaces shall be tayed and finished with joint commt. Reinforce all conners. Fin shall be tight to wallboard edges, plumb, level and true to plan,					
	0.	securely attached. Conceal exposed nail or screw heads with joint compound.	•	* *		D FOU SAN G	
		Protect all exposed wood beams, posts, stc. Wall and ceilings to be medium-fog texture. Match existing texture where explicible.	۰.	1.			
CV 1		C - RESILIENT FLOORING				·. ·	
e C	Hater			·			
	в.	Vinyl Tile: 12 x 12 x 3/32" thick unless noted otherwise. Sheet Vinyl: Cushioned back. Adhesives: As recommended by the samufacturer.					
0	00100	and Fattern - To be selected by Owner.		а. • •			
	A.	anship Subfloors shall be clean, dust free and dry.		· · ·			
	C,	Natorials shall be applied par nanufacturer's recommendations. Set bands of mails of plymood underlayment prior to application of resil- isst floor covering.				CENSED AHCA	
	D.	Thoroughly clean and polish upon completion of installation.			8	* DANIEL SAMUEL	
	. · ·	- · · ·				No. C-14843 *	
DI		9D - CARESTING	÷ .	· .	=	TOF CALIFORNIA	
2.	. Mate	9 - Furnish and install carpeting and padding as scheduled, <u>rials</u> - To be selected: Provide allowance for carpeting as directed by Owner.		* a a		S CSARD	
3.		allation Lay careeting and madding in accordings with mouth during to			1	R MARY B	
	в.	Garpoting shall be sourchly anchored in place and free from all wrinkles and stress lipse, Frovids stall carget edge skrip at line of material change from earpet to other floor finishes.				A Market	
	٠	-une laver linishes,				OFCALL	ž
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DIVISION 98 - CERAMIC TILE

. . .

- 1. Scope Furnish and install all ceramic tile complete including backing and base arout.
- 2. <u>Standards</u> All work to conform with the recommendations of the Tile Council of America and their current standards.
- 3. Materials
- A. Ceramic wall and counter tile: Color and pattern to be selected by Owner. B. Grout: Color and type to be selected by Owner.
- Installation Shall conform to the Tile Council of America Installation Guide Handbook. latest edition.

DIVISION OF - PAINTING, STAINING & FINISHING

- Scope Furnish all labor and materials to complete Fainting, Staining and Finishing work including preparation of surfaces other than those that are factory primed. 1.
- Materials
- Faint and stain materials shall be as manufactured by Amaritone, Oabot, Dunn-Biwauds, Frazes, Olympic, Fratt & Lambert, Simulair or equivalent.
 All materials shall be delivered to the site in scaled original manufacturer's containers.
- · 3. Preparation of Surfaces
- Surfaces shall be clean and dry, and in suitable condition for finish spec-ified. Remove all oil, grease, bond breaking agents, dust, mill scale and
- B. Gracks, holes and hnots shall be filled, sanded smooth, and sealed. Noo: surfaces, except resawn wood, shall be sanded perfectly smooth. Sanding dust shall be completely removed.
- 0. Hardware shall be mashed or removed prior to painting D. Trim and other finish work shall be backpainted minor
- ted mior to installation

4. Workmanship

- A. Each cost shall be uniformly applied, well brushed out and free of brush marks, runs, sage or skips.
- B. Paint finishes shall be out sharply to line. Protect adjacent surfaces.
- Nix and apply paint and stains in accordance with the manufacturer's in-
- 5. Exterior Painting
- A. All exterior wood, including siding, railings, fascia, trin, exposed beams sto.: 2 coats stain unless noted otherwise.
- Exposed metal, including vent pipes, exhaust vents, grilles, etc.: color shall match adjacent surface. 2 coats exterior paint over primer.
- Hasonry surfaces, 2 costs exterior paint over block filler unless noted otherwise. C.

6. Interior Fainting

- Ceilings and walls (except acoustical textured ceilings).
- Kitchen, bathrooms: Sealer and one coat semi-gloss enamel.
 All other rooms: Sealer and one coat flat paint.
- Exposed posts and beans: 2 coats of stain unless noted otherwise
- Wardrobes, closets (except shelving): Finish as specified for adjoining room
- Nood trin, paint grade doors, frames, wood base, shelf cleats: one coat primer, one coat semi-gloss enamel.
- D. Stain grade doors: 2 coats stain.
- Hardwood cabinets (exterior and interior): 2 coats spray lacquer sealer-stain.
- F. Paint grade cabinets (exterior and interior): one coat scaler, one coat semi-gloss enamel. Wood hand railings: 2 costs interior stain or semi-gloss enamel
- H. Metal surfaces: paint all registers, grilles and vents to match adjacent

DIVISION 10A - SPECIALTIES

- 1. Scope Furnish and install Specialties complete and operable.
- 2, Materials
- Bath sories as selected by Owner and/or listed on drawings, Sealing our fair of the search в.
- Chimneys shall extend a minimum of 2'-0" above that part of the roof through which it passes or any point of the building within 10'-0" of the point of chimney/roof intersention.

Skylights: ICC #(Hiles), All construction to comply with Cock

- D. Kitchen Built-Inst
- 1; Dishwasher: See floor plans, models and color to be selected by Owner.
 - Disposal: See floor plans, models and colors to be selected by Owner.
 - 3. Range-Oven and/or cooktop: See floor plans, models and colors to be
- Krhaust hooi See floor plans, models and colors to be selected by Owner.
 Compactor: See floor plans, models and colors to be selected by Owner.

DIVISION 154 - PLUMBING

- Score Furnish and install Flumbing work complete and operable, including trench ing and backfilling. Work shall conform to latest adopted edition of Uniform Flumbing Gode and any other adopted coverning ruleshing codes. rning plumbing

- Waste and soil pipe: Service weight, cast iron; conform with ASTM A74 or approved plastic pipe.
- B. . Vitrified clay pipe: First grade, salt glazed, conform with ASTH CI3.
- Cleanouts: Acom or approved equal.
- Domestic water piping: Type "L" copper tabing. Fitting--wrought copper or cast branne (or galranised iron) with 50-50 moldared joints for above grade. Use type "K" copper tubing with wrought copper fittings for below grade.
- Dielectric isolators: Epco Type FX, FB, or GX dielectric unic
- Vent piping (2" and smaller); Standard weight galvanized steel. Conform with ASTM A120. #2 APPReview FLARIC
- G. Vent piping (over 2"): Standard weight cast iron. On APPROVED PLASTIC
- Valves, stops, clocks: Chicago or approved equal
- Roof flashings: 24 gauge galvanized iron.
- Gas piping to be Schedule 40 black steel.
- Re-circulating hot water piping in attics, garages, crawl spaces or un-heated spaces other than between floors or in interior walls shall be pro-vided with 1/2" insulation.
- L. Provide fuces, that restrict water flow to ... all shower heads, lav-atories and sinks. (SEL NOUE ON ME SHEETS)
- M. Fixtures and fittings:
- As selected by Owner or noted on drawing
- Provide 40 gallon water heater for each living unit unless noted otherwise
- 3. Provide minimum of two hose bibbs (or as indicated on drawings). Calculations and Drawings - Contractor to supply and submit to the Building Depart-ment plumbing plans and calculations as necessary for approval prior to commencing
- Air Chambers
- A. Provide at lavatory water connections. Bet vertically as close to fixture as possible. Individual chambers 18 inches long, one pipe size larger than branch do, fixture.
- B. At each end of headers, air chambers shall be 36" long galvanized pipe, ont nine size larger than header.

- Roughing-in shall be completed, tested and approved before closing-in with other work.
- Openings in pipes, drains and fittings shall be kept covered during construction Provide solid backing for securing fixtures.
- Provide cleanouts at ends of all lines and where required by Codes.
- Grade gas piping not less than i inch in 15 feet. Copper tubing shall be fully sweated to fittings.
- Black iron and galvanized steel pipe joints shall be made with approved pipe thread compound.
- Provide shut-off valves at each fixture Provide condensate line at each F.A.U. location.
- Provide P&T relief valve discharge line from water heater(s) to outside.
- Provide sound deadening material between pipes and straps on structure and where pipes rest against each other.
- Provide minimum clearance of 24" in front of and 30" in width for water clo-

DIVISION 158 - HEATING AND AIR CONDITIONING

DIVISION 150 - VENTILATING AND DUCT WORK

A. Electrical Service Underground

F. Conduit, cable, wire: Per code.

. E. Switched outlets shall be 1/2 hot.

Installation

2013. NEC

B. Materials and equipment shall be U.L. approved.

- 1. Scope Furnish and install heating and/or air conditioning system(s) complete
- <u>Standards</u> Shall be in compliance with the latest adopted edition of the CA. Rechanical Code and any other governing mechanical codes.
 - Design temper
 - 1. Winter: 70 degrees inside for heating
 - Summer: 75 degrees inside for cooling.
- B. Design system to operate according to best practices of the trade and con-form to all local governing semicles requirements.
- Calculations and Drawings Contractor to supply and submit to the Building Department load calculations as necessary for averyal prior to commencing work. 3.
- 4. Installation All couldness installation as per manufacturer's specificat
- Vorknamehin

3. Duct Work

2. Standard

DIVISION 16 - ELECTRICAL

- All bedroom and bathroom doors shall be undercut 1/2" above finish floor material for return air.
- B. All return air ducts shall be of incombustable construction
- Ducts piercing one-hour fire : rated walls between living unit and garage shall be of 26 gauge salvanized ebest metal.
- Ducts for exhaust fans; range hoods, heat or A.O. supply etc. that pierces floor construction above, shall be of minisum 26 gauge galvanised sheet metal. In jieu of sheet metal duct, provide a cue-hour fire resistive shaft.
- E. For gas fired forced air units:

Provide minimum of 48 square inches of exhaust vent above all ranges.

Where a partition containing plumbing, besting, electrical or other systems runs purallat to floor joists, provide double joists spaced and bridged to in the partition and regime any cutting of the solid or top plats, provide a metal tis 1/8° think by 1:1/2° wide, fastened to the plate across and to each side of the opening with not less than h-16d nails.

G. All vents through roof assembly shall be located toward the rear of or lower side of roof high point where possible,

1. Stope - Furnish and install ventilation fans and all duct work complete. <u>Bath Exhaust Fans</u> - To provide minimum one complete air change every 5 minutes. All exhaust fans to exterior to be damared.

A. All ducts, 26 gauge G.I. with insulation installed on inside. Work shall comply with Air Conditioning Duct Menual - Sheet Metal Industries.

Scope - Furnish and install Electrical work complete and operable, All work shall be performed in conformance with the latest scopted edition of the National Electrical dods and any other governing electrical codes.

<u>Onlouisions and Drawings</u> - Contractor to supply and submit to the Building Depart-ment losd calculations as necessary for approval prior to commanding work. Cont-ractor shall secure and pay for all paraits and fees necessary for the comple-tion of his work.

4. <u>Colors and Design</u> - Fixtures, Switch plates, covers, stc. as salanted by Owner or scheduled on drawings.

Buildabes (milent type) and thermostates: Locate 48" above finish floor (bottom of fixture). (or as mored)

Telephone, T.V. and electrical convenience outlets shall be secured to a wall stud and located at 9" (bottom of fixture) above finish floor level unless add above the.

Convenience outlets shown on drawings as being above an adjacent counter surface shall be installed a minimum of 8" (bottom of fixture) above ad-jacent countertop unless noted otherwise.

Panel boxes; Gircuit breaker type, recessed flush mounted, galvanized and mrime coated with latch. Provide typewritten card identifying circuits,

Contractor shall be responsible for coordination with power company, tele-phone company and cable T.V. company for services. These services shall be installed per the requirements of the aforementioned compenies.

All fixtures to be ealected by Owner and purchased by Contractor from allo-mance. All fixtures to be installed by Contractor from allo-mance. All fixtures to be installed by Contractor (installation is part of base contract and is not to be included as part of allowance).

C. Remove and disconnect existing electrical work as required by demolition

D. Provide separate circuits each for dishwasher and garbage disposal. Dishwasher shall be switched as indicated on drawings.

NOTE: Where a conflict exists between the specifications on this and the previous sheet and notes, etc. other places in the drawings, the other notes shall apply.

· ALL WORK TO COMPLY WITH THE 2013 CBC, CPC, CMC, CFC &

Bath exhaust fans: Where permitted by cole switch fans separately from

Exterior outlets: Single weatherproof type with ground fault inte

Outlets and pull boxes: Galvanised or sherardized,

B. Paint all registers, grilles and vents to match adjacent surfaces.

Provide 100 square inches of outside combustion air from vent through roof and duct in attic for F.A.U. sizes of 100M BTU or under.

Provide one square inch of outside combustion air from vent through roof and duct in attic for each 1000 BTU for F.A.U. sizes over 100M BTU

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GREEN BUILDING CODE NOTES (2013 CRC)

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(CGBSC 4.504.2.1) (New iss

*A fisted receivery to facilitatis future installation of Electric Vehicle Charger. "Receivery shall be not less than trade aize 1 (nominal 1-in, diameter) to accommodate a Advoit branch charger. "Receivery shall originate at the main service or subpanel and terminate into a listed cabine dozum in chaos proximity to the proceed location of the V charger."

"The service panel or subpanel shall provide capacity to install a 40-ampre minimum

"The service panel or subpanel circuit directory shall identify: rrent protective device space(s) for future EV charging as "EV CAPABLE" and, by termination location as "EV CAPABLE" *

ed location of the EV chu losed, inaccessible or o

proximity to the proposed hell be continuous at enclo

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riedicated 20

"Automatic infrastion systems controllers installed at the time of final inspection shall be weather SIG 4.304.1; "Johns and openings, Annular spaces around pipes, electric cables, concluits, or other openings tentor walls shall be protocted against the passage of rodents by closing such openings with ar, concrues memory or similar mathod acceptation to the enforcing agency." (CGSISC 4.408.1)

*A minimum of 50 percent of the construction waste generated at the site is diverted to recycle e settings per CGBSC Becton A409.1 and City ordinence. Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affiderit that continue the delivery of the

coupant of owner. Consistent of owner states sports an autown use contains in due for manual. (CGBSC 4.10). "Duct openings and other related air distribution component openings shall be o on." (CGBSC 4.504.1) "Adhesives, sealants and caulis shall be compliant with VOC and other bodic or

4.2.1) (new issue) "Paints, stains and other coatings shall be compliant with VOC limits." (CGBSC 4.504.2.2)

"Paints, stains and other coatings shall be compliant with VOC limits." (CGBSC 4.504.2.2) "Acrosol paints and coatings shall be compliant with product weighted MiR limits for VOC and ther toxic compounds." (CGBSC 4.504.2.3) "Cocumentation shall be provided to verify that compliant VOC Inst limits material has been used. A latter from the contractor and or the building owner certifying what material has been used and has compliance with the Code must be submitted to the building inspector." (CGBSC 4.504.2.4) "Carpot and capet systems all be compliant with VOC Inst limits from the contractor and or the building owner certifying what material has been used and has compliance with the Code must be submitted to the building inspector." (CGBSC 4.504.2.4) "Titly percent of floor area receiving easily and the compliance with the Code must be submitted to the building inspector." (CGBSC 4.504.3) "Titly percent of floor area receiving realisent flooring shall comply with the VOC-emission limits under the Resiliant Floor Covering Institute (RCF) Floor Score program." (CGBSC 4.504.4) "Particleboard, medium density Biothoard (MCF), and hardwood phymood used in interior filmin systems shall comply with low formaldenyde emission standards. A latter from the installer and or the building submitted to the building inspector." (CGBSC 4.504.4) "Building an the content of the full for the formation with the Code must be submitted to the building inspector." (CGBSC 4.504.4) "The motisize content of hulf materia and excumenting its complication with the Code must be submitted to the building inspector." (CGBSC 4.504.4) "The motisize content of hulf materia and or the motisize with the building submitted to the building inspector." (CGBSC 4.504.4) "The motisize content of hulf materia and weater damage shall not be installed Waits and floore framing shall not be enclosed when firming members acceed 19% motisize content." "The motisize content of hulf materia and weater damage shall not be installed with a floo

"Exhaust fans which terminate outside the building are provided in every bethroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent."

be controlled by a humidistat which can adjus between 50 to 80 percent." % Communication systems that account for local rainfal shall have a separate wired or writess rain, egenecist or communicates with the controller(s). Soit molicure-based portrollers are not required emnects or communicates with the controller(s). Soil moisture

evenue or input. Per 2019 Green Code Sec 4.503.1 Any installed gas fireplace shall be a St direct-vent sealed-combustion type. Any installed woodstove or polet stove shall comply with U.S. EPA Phase II amission limits where a policiable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable

note "A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per Section 4.408.1 and City continuous. (New Site V) note "Balane field appendixing, a complete operation and maintenance manual shall be provided to the balance occupant or evence. Contractor or owner shall submit an attidant that confirms the delivery of such. (Section 4.4.0.1).

79 nets Hatdwood plywood, particleboard, medium density Riberboard (MDF), cor product used on the interior or estantic of the building shall meet the requirements for formats specified in ABPs Alt Toxic Control Measure for Composite wood as specified in section 4.5% 4.504.5 of CALGREEN (level Issue)

34 Faucets, Residential lavatory faucets shall have a maximum rate of 1.6 gallons per minute at 60 psi and a minimum flow rate of not less than 0.8 gallons per min. at 20 psi.

1 31 Shower heads, single shower heads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 ppt. Multiple showerheads when served by a single valve, shall have a combined flow rate not to exceed 2:0 gallons per minute.

uncers per minute. All vaster closets shall have an effective flush volume of not more than 1.28 gallons per flush. Timk type weter closet shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Timk-type

Kitchen faucets shall have a maximum flow rate of 1.8 galions per minute at 60 psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 galions at 60 psi but must default back to the 1.8 galions per minute. (New Issue)
 A plumbing future creditation must be completed and signed by either a located peneration functor, or a plumbing subcontractor, or the building owner certifying the flow rate of the futures installed. A copy of the creditation can be obtained from the development services department. (New Issue)

note A certification completed an signed by the general contractor, subcontractor or building owner certifying that the restlient flooring, composite wood product, phywood, particle beard etc comply with th VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.

Vapor relater and capillary break is installed at stab on grade foundations. Show one of the following methods on the plans: a) A find, thick base of 1/2 inch or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design which address bleeding, shrinkage, and curing shall be used. For additional information, see ACI 302.274-02. b) A stab design specified by a lacensed design professional. (Section 4.505.2.1)

A certification completed and signed by either the general contractor or subcontract the building owner certifying that the paint, stalin, and adhesives, complies with the requirements of the california diree Building Code A copy of the form can be obtained from the development services dep

1 "eighty percent of the floor area receiving resilient flooring shall comply with one or more of

Tegray percent or use non-service services and the following:
 You Co-emission limits defined in the Collaborative for High Performance Schools (CHPS) High
 Performance Products Database.
 Products compliant with CHPS criteria certified under the Greenguard Children & School program.
 Products compliant with CHPS criteria certified under the Greenguard Children & School program.

Controlled Comparation and Chine Control and an and the Control Control and Control Robotic Control and Control Control and Control Contr

A copy of a complete operation and maintenance manual as outlined in the notes above will be delivered to the building owner prior to final inspection. (New Issue) an owner manual certificates should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be cobtained from the development services department.

4-5 the building occupant or owner. Contractor or owner shall submit an afficiarit that confirms the delivery of such (Section 4.410.). TA sample of the manual is available on the Housing and community Development (HCD)

web site. The manual should include in addition to other aspects the followings:

Direction to the building owner or occupant that the manual shall remain with the building for throughout the life cycle of the structure.

the lite cycle of the structure. 2) Operation and maintenance instructions for the followings: a. Equipment and appliances, including water-saving devices and systems, HVAC systems water-healing systems and other minifor appliances and equipment. b. Roof and yard drainage, including gutlets and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems.

Information from local utility, water :nd waste recovery providers on consumption, including recycle program and locations.
 // Public transportation and or carpool options available in the area.
 // Evaluational material on the positive impacts of an interior relative in what methods an occupant may use to maintain such humiding levels.
 // Information about water-conservation landscape and irrigation deging

7) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 fee

1) Interviews in the second seco



DAVENUE TOWNHOMES IHOME DWELLINGS 2 AVENUE AVENUE 2 AVENUE 2 ASP-BIOB 1 Daniel Linn architec 5732 believie avenue 1 Johla ca 92037 858 459-BIOB 1 For 858 459-BIDB 1 Polla ca 92037 1 Polla ca 9208 1 Polla ca 9208 1 Polla ca 9208 1 Polla ca 9208 1 Po
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27'-63/4"

4.5%

7'-10"

8-3"

EAST P.L.



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9-41/4

1-9"

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ROOF NOTES

- SLOPED ROOF (METAL): PITCHES TO BE 1 1/2 / 12 UNO
 - "FLAT" ROOFS TO SLOPE MIN. 1/4" PER FT.
 - ROOFING MATERIAL: AT 11/2 / 12 ROOFS AND FASCIA PER PLAN: STANDING SEAM METAL, CLASS 'A' RATED ASSEMBLY, INSTALL PER MFG, SPEC, AND LOCAL CODE, ROOFING OVER 1 LAYER OF 30# BUILDING PAPER OR PER MFG, SPEC.
- 4 FLAT ROOFS: 3-PLY BUILT-UP ROOFING, CLASS 'A' RATED ASSEMBLY OR SINGLE PLY 'TORCH-, DOWN' BY 'GAF', ICC/ ESR-1274 (OR EQUAL) CLASS 'A' RATED ASSEMBLY
 - ALL PENETRATIONS TO BE TOWARD REAR OF BUILDING
 - ALL PENETRTATIONS TO BE FULLY FLASHED/COUNTER FLASHED WITH 16 OZ. COPPER OR MATERIAL COMPATIBLE WITH THE ROOFING
 - ALL VALLEYS TO BE FLAGHED W/ 16 OZ. COPPER OR AS COMPATIBLE WITH THE ROOFING MATERIAL
- B PROVIDE ROOF DRAINS TO EXTERNAL DOWNSPOUTS AND OVERFLOWS TO DAYLIGHT AT "FLAT" AREAS PER PLAN. DAYLIGHT DRAINS INTO LANDSCAPE AREAS
 - DECK COATING; HILL BROTHERS' 'DESSERT CRETE' SYSTEM (ICC/ESR #1661), OR EQUAL ONE HOUR RATED ASSEMBLY, INSTALL PER MFG, SPEC, AND LOCAL CODE

Daniel Linn architect 5732 bellevue avenue la Jolla ca 92037 858 459-8108 fax 858 459-8118
GRAND AVENUE TOWNHOMES FOUR TOWNHOME DWELLINGS 1376-70 GRAND AVENUE SAN DIEGO, CALIFORNIA 92109
A 4

PREPARED BY	DANIEL LINN ARCHITECT 5732 BELLEVUE AVE LA JOLLA CA
PROJECT ADDRESS	1376-1382 GRAND AVENUE SAN DIEGO, CA. 92109
PROJECT TITLE: GR SHEET TITLE: DRIGINAL DATE: PROJECT NUMBER:	AND AVENUE TOWNHOMES
SHEET_5 OF 12 REVISION 1	
REVISION 3	REVISON 6

ATTACHMENT 12



EAST ELEVATION





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WEST ELEVATION







ATTACHMENT 12



No existing Specimen tree or plant materials are on site. All Existing plant material No existing speciment the object materials are on site. At existing plant material located within the building site shall be removed and replaced with size and kind 4 described on planting plan. An Automatic Irrigation system shall be installed as per the SD LTM to ensure healthy growth. All plant materials chosen shall enhance the architecture and be of a low maintenance and low water variety. Irrigation system for all planting areas shall be drip type for water conservation. All shrub planting areas shall be mulched to a depth of 3' minimum to reduce evaporation at root zones and to mitigate weed growth. Turf areas shall be irrigated with pop-up type sprinklers with matched precipitation rates and utilize a tensiometer to reduce watering conditions.

Note: All Canopy Trees shall be provided with 40sq. ft. root zone and be planted in an air and water permeable Landscape area. Min dimension 5

Note: All Landscape and Irrigation shall conform to the standards of the City Wide Landscape Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other Landscape related City and Regional Standards.

Note: All Landscape installations shall be maintained in accordance with the City of San Diego's Land Development Manual Landscape Standards.

Note: Maintenance: All required landscape areas at property and Public B O W Note: maintenance, not required unioscope areas at property and volot R.O.W. shall be maintained by the owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall satisfactorily treated or replaced per the conditions of the permit.

Note: Root barriers shall be placed at all trees within 5' of walks or driveways.

Note: If any hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired or replaced in kind and of equivalent size per the approved plans.

"Irrigation: An m shall be provided as required by LDC §142.0403(c) for pro vegetation in a healthy. disease, resident system shall be to of the vegetation in a heating, support for the vegetation sele stem shall p Irrigation system shall be Drip type at all shrub areas and p

Note: Irrigation systems are to be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards

d by: (DUTSIDE DIMENSIONS	
	15748 Paseo Penasco	÷
	Escondido, CA 92025	
	Steven Ames	
	619/ 977 2943	
Name:	Stevesrotwood@aol.com	Rev B <u>1</u> <u>7</u> <u>201</u> Rev. 2 <u>8</u> <u>1</u> <u>22</u> <u>1</u> <u>6</u>
Addres	1367-70 GRAND AVE	Rev. 1 6/15/16
	SAN MEDO 92109	Orig date: 2 /22/16
le:	LANDGOAPE DEV. PLAN.	Sheetof
		Dep#

CRESHAM STREET



STREET YARD A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft. At least one-half of the required planting points shall be achieved with trees. Planting Area Required [142.0404] Total Area 1570 sq. ft. x 50%= 125 sq. ft. 725 sq. ft. Planting Points Required (142 0404) Total Area 50 sq. ft. x 0.05= 90 points 326 points 241 points Points achieved with trees: 96 96 points REMAINING YARD - 3 or more Dwelling Units 60 points x 1 # of buildings VEHICULAR USE AREA (<8,000 st) [142,0406 - 142,0407] Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5') e Plant Points Required Total VUA: 1472 sq. ft. x 0.05 = 74 Points achieved through trees (at least half): 50 points





Appendix A: Submittal Templates

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SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Shandards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administrated by the State Water Resources Control Board. For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue PART B.

PART A: Determine Construction Phase Storm Water Requirements.

 Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with construction activities, also known as the State Construction General Permit (CGP)² (Typically projects with land disrurbance greater than or equal to 1 sere.)

- □ Yes; SWPPP required, skip questions 2-4 PKNo: next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbin excavation, or any other activity that retuils in ground disturbance and contact with storm water runoff?
- Yes; WPCP required, skip questions 3.4 No; next question Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (projects such as pipeline/utility replacement)
- purpose of the facility (projects such as pipeline/juliar) replactancy $V = V_{\rm EV} VCP (required, kip question 4$ Does the project only include the following Permit types listed below?• Electrical Permit, Pire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit,Spa Permit, Right of Way Permits that accustively include one of the following activities and associated curb/idevals lengin ware service, server lateral, itom dation lateral, or dry utility service.
- sucewalk repair water services, sewer lateral, storm drain lateral, or dry utility service. Right of Way Permits with a project footprint less than 150 linear fet that rectainvely include only ONE of the following activities: entry in temp, iddewalk and driveway apron replacement, curb and gutter replacement, and retaining wall encroachment
- ☐ Yes; no document required Check one of the boxes to the right, and continue to PART B:

 - □ If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

8 If you checked "No" for question 1, and checked "Yes" for question 2 or 3, **a WPCP** is **REQUIRED**. If the project processes less than 5,000 square feet of ground disturbance AND it less than a 5-foot elevation change over the entire project area, **Minor** WPCP may be required instead. Contin to PART B.

- If you checked "No" for all question 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.

e information on the City's construction BMP requirements as well as CGP requirements can be found at:

	the second se	the second se
Storm Water Standards		City of San Diego
Part 1: BMP Design Manual		- TAN
January 2016 Edition	A-5	TRANSPORTATION & STORM WATER

Appendix A:	Submittal	Templates
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Page 2 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority. This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects how high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk. Determination approach of the Star Construction Greenal Permit (CGP). The CGP determines risk kevel based on project repetific zediment risk and receiving water risk. Additional impection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The countruction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

omplete PART B and continued to Section 2

a. Projects located in the ASBS watershed. A map of the ASBS watershed can he found here <placebolder for ASBS map link>

S. 1 . 1 .

- ☐ High Priority a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed. b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
- ☐ Medium Priority a. Project 1 acre or more but not subject to an ASBS or high priority designation. b. Project determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
- Low Priority

 Projects not subject to ASBS, high or medium priority designation.
- SECTION 2. Permanent Storm Water BMP Requirements Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Sgorm Zuret Standard Manual are not subject to Permanent Storm Water

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

- If "no" is checked for all of the numbers in Part C continue to Part D.
- Does the project only include interior remodels and/or is the project entirely within an Yes No existing enclosed structure and does not have the potential to contact storm water? Does the project only include the construction of overhead or underground utilities TYes No
- Does the project fall under routine maintenance? Examples include, but are not limit TYes DeNo
- to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking los, existing roadways, sidewalks, pedestrian ramps, or bike lanes on existing roads without expanding the impervious footprint, and routine replacement of damage pavement (grinding, overlay, and pothole repuit).
- Storm Water Standards Part 1: BMP Design Manual January 2016 Edition IN A-6 TRANSPORTATION & STORM MATTER

Appendix A: Submittal Templates

- City of San Diego Development Services Department Storm Water Requirements Applicability Checklist Page 3 of 4 PART D. PDP Exempt Requirements
- PDP Exempt projects are required to implement site design and source control BMPs.
- If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP
- Exempt." If "no" was checked for all questions in Part D, continue to Part E.
- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that: Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible
- The compare law serves? Or; Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?

Yes: PDP exempt requirements apply No; next question

- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
- No: project not exempt. PDP requirements apply □Yes; PDP exempt requirements apply
- PART E: Determine if Project is a Priority Development Project (PDP). Projects that match one of the definition below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP)
- If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project". If "not is backed for every number in PART E, continue to PART F and check the box labeled "Standar Froject".
- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
- □Yes ØNo
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of imperviou surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant. Facilities that sell prepared food New development or readeworpment of a restaurant, reachings that see a percent or the and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. DYes KNo
- New development or redevelopment on a billside. The project creates and/or replace
- 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. TYes DeNo
- Storm Water Standards Part 1: BMP Design Manual January 2016 Edition City of San Diego A.7

Appendix A: Submittal Templates

Page 4 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist 5. New development or redevelopment of a parking lot that creates and/or treplaces 5,000 square feet or more of impervious surface (collectively over the project site). New development or tredevelopment of streaces, roads, highways, freeway, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). The strength of New development or redevelopment of a parking lot that creates and/or replaces TVes No. TYes No DYes No Yes WNo □Yes ØNo (SIC) codes 3013, 3014, 5041, 7322/7544, or 7356/7539.
(SIC) codes 3013, 5014, 5041, 7322/7544, or 7356/7539.
(D) Other Follutants Generating Project. The project is not coverred in the categories above, results in the disturbance of one or more acres of land at all is expected to generate pollutants positive regular use of lows as fertilizers and periodics. This does not include projects creating less than 5,000 af of impervious surface and where added landscaping naive plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infraquent valide use, toch as emergency maintenance access or bic/ycle pedentian use, if they are bailt with pervious surfaces of if they sheet flow to samoninflar pervious in the second se Yes Who PART F: Select the appropriate category based on the outcomes of PART C through PART E. The project is NOT SUBJECT TO PERMANENT STORM WATER BEOLIBEMENTS The project is a STANDARD PROJECT. Site design and source control BMP require ¥ apply. See the Storm Water Standards Manual for guidan The project is **PDP EXEMPT**. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for exidance. the Storm Water Standards Manual log guadance. In The projects is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the <u>Storm Water Standards Manual</u> for guidance on degraming if project requires hydromodification management. Name of Owner on Agence, *Plans Printy:* The:

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Storm Water Standards Part 1: BMP Design Manual A-8 January 2016 Edition

Source Control BMP Checklist for Standa All develo All development projects must implement source contro ind Appendix E of the BMP Design Manual for information Note: All selected BMPs must be shown on the construct SC-1 Prevention of Illicit Discharges into the MS⁴ SC-2 Storm Drain Stending or Signage SC-3 Protect Outdoor Materials Storage Areas from Rainfall, F SC-3 Protect Outdoor Materials Storage Areas from Raman, Runoff, and Wind Dispersal SC-4 Protect Materials Stored in Outdoor Work Areas from J Runoff, and Wind Dispersal SC-5 Protect Trash Storage Areas from Rainfall, Run-On, Run Dispersal SC-6 BMPs based on Potential Sources of Runoff Pollutants Interior floor drains and elevator shaft sump pumps Interior parking garages Need for future indoor & structural pest control Landscape/Outdoor Pesticide Use Pools, spas, ponds, decorative fountains, and other water features Food service Refuse areas Industrial pro-Outdoor storage of equipment or materials Vehicle/Equipment Repair and Maintenan Vehick/Equipment Repair and Maintenan Food Dispensing Areas Londing Docks Fire Sprinkler Test Water Miscellancosa Drain or Wash Water Piazas, sidewalds, and parking lots SC-6A. Large Traht Generating Facilities SC-6B: Animal Facilities SC-6C: Plant Nurseries and Garden Centers SC-6D: Automotive-related Uses Automotive-related Uses ion / justification for <u>all</u> "No" answers shown above

Appendix A: Submittal Templates

	Site Design BMP Checklist for Stands
	oment projects must implement site design BM B of the BMP Design Manual for information to
Note: All	selected BMPs must be shown on the constru
	Regultement,
SD-1 Maint	tain Natural Drainage Pathways and Hydrologic I
SD-2 Cons	erve Natural Areas, Soils, and Vegetation
SD-3 Minin	nize Impervious Area
SD-4 Minin	nize Soil Compaction
SD-5 Impe	rvious Area Dispersion
SD-6 Runo	ff Collection
SD-7 Lands	scaping with Native or Drought Tolerant Species
SD-8 Harve	esting and Using Precipitation
Discussion	/ justification for all "No" answers shown abov

SEE(B), BMIP 2

3.1 Source Control BMPs (APPLICABLE TO THIS PROJEC

3.1.6 Use Efficient Irrigation System Response: Irrigation Installation will proposed in landscape areas, rain se tailored to specific plant material, sp overspray. Install low water use pla

- 3.1.7 Design Trash Storage Areas Response: Trash/Recycle area enclosure, lids on the receptacles
- 3.1.10 Employ Integrated Pest Man Response: landscape installation i plant material, caulk joints and screen maintenance and observation of plant manage
- 3.1.14 Use Non-Toxic Roofing Mate Response: design specs accommode

3.2 Low-Impact Development De (APPLICABLE TO THIS PROJEC

1. Optimize the Site Layout Response: N/A, entire site is beir pattern to the extent possible

- 2. Minimize Impervious Footprint Response: sidewalk widths minimize
- 3. Disperse Runoff to Adjacent Lar Response: roof runoff into landsca surrounded by landscape to accept
- 4. Construction Considerations Response: soil amendments are po compaction

		ATTACH	MENT 12	2
Appendix A: Submittal Templates			• • •	
dard Projects Form 1-4 MPs SC-1 through SC-6 and. Refer to Chapter 4 n to implement BMPs shown in this checklist.	× *			
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ape is part of plan, paved areas are runoff from downspouts	PREPARED BY PROJECT ADDR PROJECT TITLE: SHEET TITLE: ORGENAL DATE PROJECT NUME SHEET NUME		MP1	1
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DEVELOPMENT SUMMARY TENTATIVE MAP TO CREATE 4 RESIDENTIAL CONDOMINIUM TOTAL SITE AREA (GROSS): (6,225 SF) 0.1429 ACRE NET SITE AREA: (6,225 SF) 0.1429 ACRE STANDAR 20' 10' 15' PARKING: PARKING CRITERIA: ■ RESIDENTIAL □ COMMERCIAL □ INDUSTRIAL □ MIXED USE □ OTHER PARKING REQUIRED PER UNIT TOTAL PER TYPE TOTAL REQUIRED BY ZONE TOTAL PROVIDED ON-SITE MONUMENTATION & MAPPING

DAVID LEPRE, MANAGING MEMBER



ALLACHMENT 12