



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 24, 2017 REPORT NO. HO-17-031
HEARING DATE: May 31, 2017
SUBJECT: GRAND AVENUE TOWNHOMES. Process Three Decision
PROJECT NUMBER: [477022](#)
OWNER/APPLICANT: UPWARD TREND LLC/Dan Linn Architects

SUMMARY

Issue: Should the Hearing Officer approve the demolition of existing structures and construction of a one, three-story building with four (4) residential condominium units totaling 7,150 square feet located at 1376 Grand Avenue and 4418 Gresham Street, within the Pacific Beach Community Planning area?

Staff Recommendations:

1. Approve Tentative Map No. 1675323.
2. Approve Coastal Development Permit No. 1670493.

Community Planning Group Recommendation: On August 24, 2016, the Pacific Beach Planning Board ratified and approved the recommendation of the Development Sub-Committee, 10-0, to recommend approval of the proposed project with recommendations (Attachment 10).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(1) (Existing Facilities) and Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 31, 2017, and the opportunity to appeal that determination ended February 14, 2017.

BACKGROUND

The 0.143-acre-site is located at 1376 Grand Avenue and 4418 Gresham Street in the RM-2-5 zone within the Parking Impact Overlay Zone (Coastal), Coastal Height Limitation Overlay Zone (CHLOZ), Coastal Overlay Zone (Non-Appealable Area) within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan.

The proposed project requires a Tentative Map per San Diego Municipal Code (SDMC) Section 125.0430, for the subdivision and construction of one, three-story residential building, and to file a lot consolidation map. The proposed project also requires a Coastal Development Permit for development located within the Coastal Overlay Zone per SDMC Section 126.0707(b).

DISCUSSION

Project Description:

The project proposes to demolish an existing religious facility and detached residence, construct one, three-story building, and to subdivide the property into one lot containing four (4) condominium interests. The project also includes a request to waive the requirement to underground existing overhead utilities. Each condominium unit will have two-bedrooms and two off-street parking spaces each for a total of eight parking spaces in conformance with the parking requirements of the RM-2-5 zone.

Public improvements required of the project include closure of an unutilized driveway and the construction of City Standard full height curb, gutter, curb ramp, and non-contiguous sidewalk on Gresham Street and Grand Avenue. The project is also required to reconstruct the alley apron adjacent to the project site. The alley apron will include corresponding City Standard curb ramps on both sides of the alley entrance, adjacent to the site, satisfactory to the City Engineer. The site will be landscaped with a mixture of trees, shrubs, and ground cover, within the public right-of-way. The owner/permittee will be required to enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

Project Analysis:

The proposed project complies with the RM-2-5 zone and applicable regulations of the Land Development Code, including setbacks, floor area ratio, landscaping, parking and height and no deviations are requested. The undergrounding waiver request qualifies under the guidelines of the SDMC (Section 144.0242, "Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities") in that the conversion involves a short span of overhead facility (less than a full block in length) and would not represent a logical extension to an underground facility. The draft Tentative Map conditions requires the applicant to underground any new service run to any new or proposed structures within the subdivision.

The four-unit residential project will be subject to Inclusionary Housing regulations and will be required to pay in-lieu fees, prior to Building Permit issuance as outlined in the San Diego Municipal Code (SDMC) Section 142.13.

Community Plan Analysis:

The Pacific Beach Community plan designates the proposed project site for Medium Density Residential land use at a density of 14-29 dwelling units per acre (du/ac), and the proposed density of 28 du/ac (four units on 0.143-acre-site) is in conformance with this designation. The RM-2-5 zone allows multiple dwelling units on a single-parcel at a rate of one unit per 1,500 square feet of lot area and the 0.143-acre-site can accommodate four residential units.

The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development along Grand Avenue and Gresham Street, and contains a religious facility and a single-dwelling unit on the property. The project site is located on private property approximately seven (7) blocks east of the Pacific Ocean and six (6) blocks north of the shoreline of Mission Bay.

The character of the neighborhood along Grand Avenue and Gresham Street is a mixture of building forms, masses, and articulation of structures. Existing residential housing in the vicinity of the project site represents a blend of development types. Residential development within the vicinity is predominantly multi-unit (2-4 units), two-story, residential development. The proposed four-unit development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and Pacific Beach Community Plan (PBCP) goals encouraging neighborhood "compatibility and continuity."

The Pacific Beach Community Plan does not identify an existing or proposed public accessway on or adjacent to the site, nor, a view corridor on or adjacent to the site. The project will observe all setbacks and will be built entirely on private property. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan.

Community Planning Group:

The Pacific Beach Community Planning Board (PBCPB) at its August 24, 2016 meeting, voted 10-0 to recommend approval of the proposed project with four (4) recommendations (Attachment 10). The recommendations and staff responses are as follows;

1. Landscaping changed to drought tolerant throughout.

Staff Response: The plant species selected are identified as medium to low water use per the Water Use Classification of Landscape Species (WUCOLS) and are appropriate for USDA Plant Hardiness Zone 10b.

2. Manual doors from garage.

Staff Response: Requiring the applicant to install manual doors is not a requirement noted in the San Diego Municipal Code for the Discretionary review. Specific building related features will be reviewed at the Ministerial level.

3. Modification to the roof line at the 2nd floor on the SE corner.

Staff Response: Staff is unable to provide a proper response as this recommendation does not specify a specific related issue regarding the roof line at the 2nd floor on the SE corner.

4. Adding ramps to curbs at Grand and alley.

Staff Response: The project has been conditioned to construct the curb ramp at the northwest corner of Grand Avenue and Gresham Street intersection, with a current City Standard curb ramp and truncated domes, as well as to reconstruct the alley apron adjacent to the project site on Gresham Street. Applicant will be required to install corresponding City Standard curb ramps on both sides of the alley entrance.

CONCLUSION

The project will observe all setbacks requirements and is in conformance to the density regulations of the land use map. The proposed development and subdivision of the property into one lot containing four (4) condominium interests has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. Approve Tentative Map No. 1675323 and Coastal Development Permit No. 1670493, with modifications.
2. Deny Tentative Map No. 1675323 and Coastal Development Permit No. 1670493, if the findings required to approve the project cannot be affirmed.

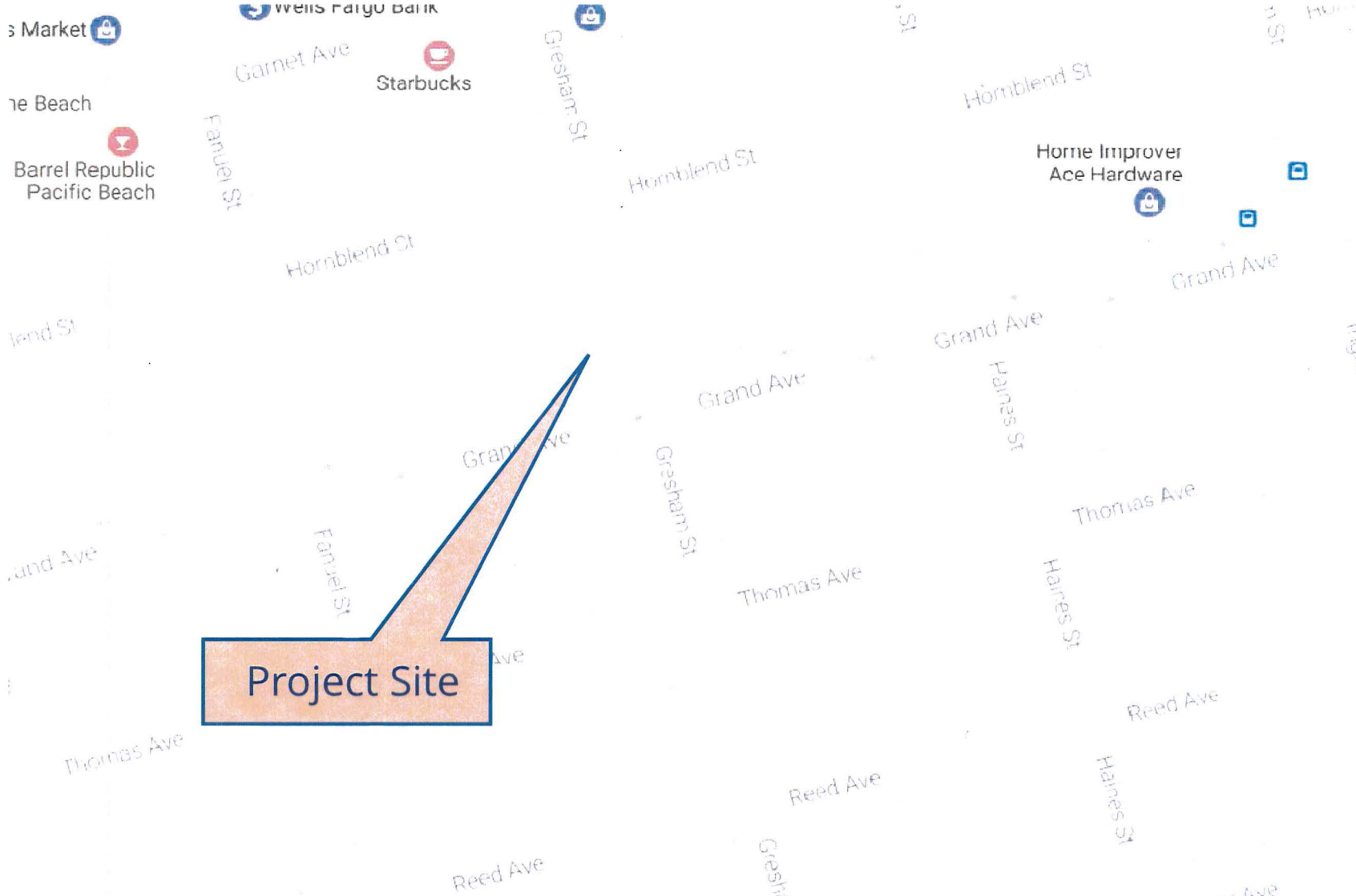
Respectfully submitted,



Gaetano Martedi
Development Project Manager

Attachments:

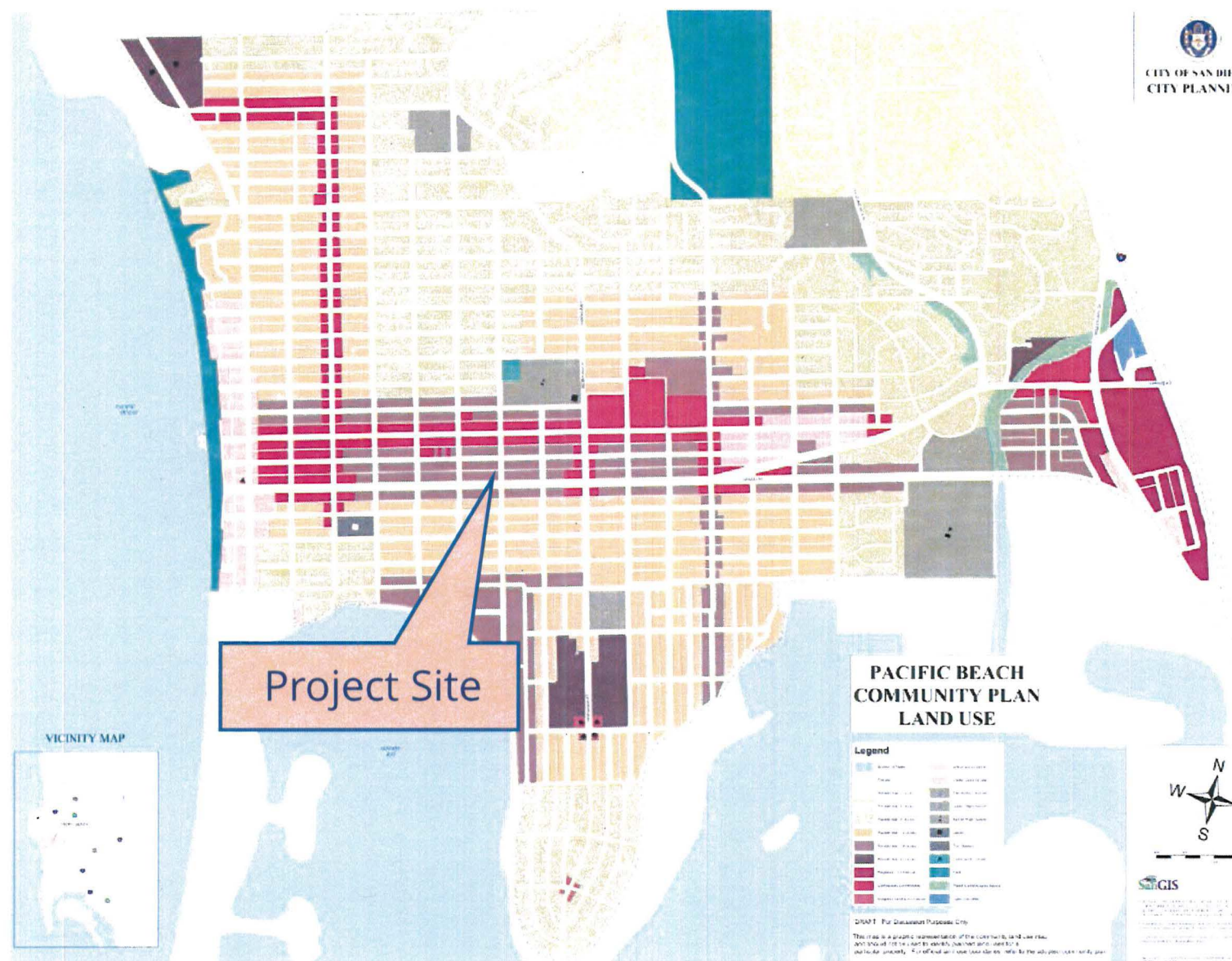
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Map Resolution
8. Draft Map Conditions
9. Environmental Exemption
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans and Tentative Map



Project Location Map

Grand Avenue Townhomes / 4418 Gresham Street and 1376 Grand Avenue
PROJECT NO. 477022






Project Site


PACIFIC BEACH
COMMUNITY PLAN
LAND USE

Legend

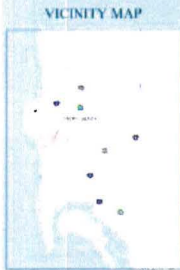
DISM¹ For Discussion Purpose Only
 This map is a graphic representation of the Community Land Use Plan. Any use not shown on this map is not intended to be used for a particular purpose. For official use, please refer to the adopted community plan.





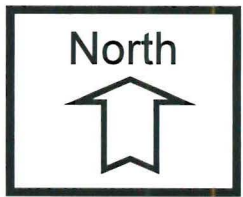


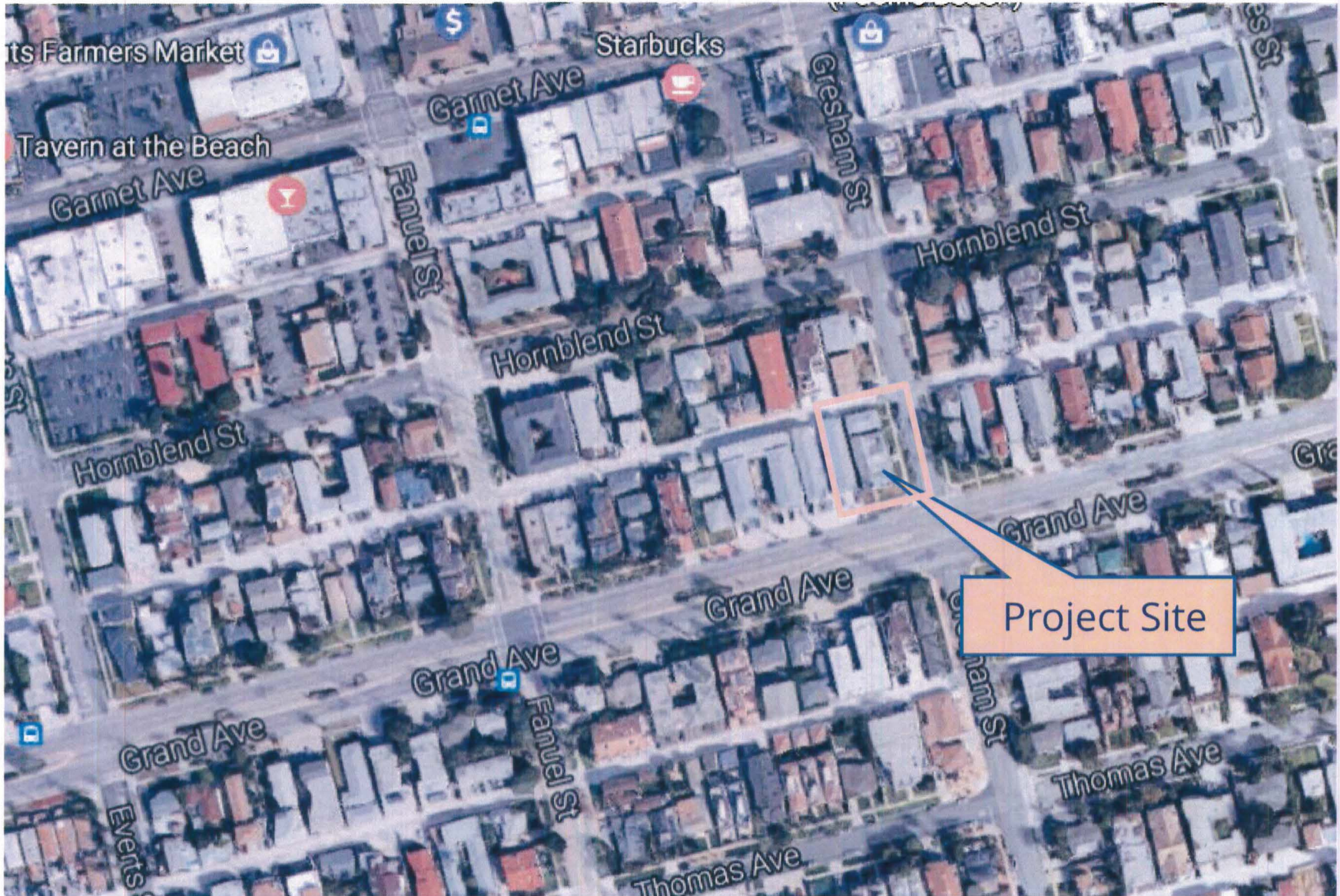
 CITY OF SAN DIEGO
 CITY PLANNING
 1600 AVENUE C, SAN DIEGO, CA 92161
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 WWW.CITYOFSD.GOV



Land Use Map

Grand Avenue Townhomes / 4418 Gresham Street and 1376 Grand Avenue
 PROJECT NO. 477022





Aerial Photo

Grand Avenue Townhomes / 4418 Gresham Street and 1376 Grand Avenue
PROJECT NO. 477022



PROJECT DATA SHEET		
PROJECT NAME:	Grand Avenue Townhomes TM/CDP	
PROJECT DESCRIPTION:	Demolish religious facility and single dwelling unit. Construction of a new three-story, four-unit, residential condominium building.	
COMMUNITY PLAN AREA:	Pacific Beach	
DISCRETIONARY ACTIONS:	Tentative Map and Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-Family Residential, Medium Density (Residential development range of 15-30 dwelling units per acre).	
ZONING INFORMATION:		
ZONE:	RM-2-5 (A multi-unit residential zone that permits 1 dwelling unit for each 1,500 square-feet of lot area)	
HEIGHT LIMIT:	30 feet	
LOT SIZE:	0.143 acres	
FLOOR AREA RATIO:	1.35 maximum/1.15 proposed	
FRONT SETBACK:	15/20 feet (min/std)	
SIDE SETBACK:	5 feet	
STREETSIDE SETBACK:	10 feet	
REAR SETBACK:	5 feet	
PARKING:	8 minimum/8 proposed	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	MF Residential / RM-2-5	Multi-Family
SOUTH:	MF Residential / RM-2-5	Multi-Family
EAST:	MF Residential / RM-2-5	Multi-Family
WEST:	MF Residential / RM-2-5	Multi-Family
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 24, 2016, the Pacific Beach Planning Board ratified and approved the recommendation of the Development Sub-Committee, 10-0, to recommend approval of the proposed project with recommendations.	

HEARING OFFICER
RESOLUTION NO. HO-
COASTAL DEVELOPMENT PERMIT NO.1670493
GRAND AVENUE TOWNHOMES-PROJECT NO. 477022

WHEREAS, UPWARD TREND LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a four-unit residential condominium building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1670493), on portions of a 0.143-acre-site;

WHEREAS, the project site is located at 1376 Grand Avenue and 4418 Gresham Street, in the RM-2-5 zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay Zone, the Parking Impact Overlay Zone (Coastal) of the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Lots 21 and 22, Block 233, Pacific Beach, according to Maps thereof No. 854 and 697, filed in the office of the County Recorder of said San Diego County, September 29, 1998, and January 8, 1892 respectively;

WHEREAS, on May 31, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1670493 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 31, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(1) (Existing Facilities) and Section 15303(b) (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 31, 2017.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located entirely on private property approximately seven (7) blocks east of the Pacific Ocean and six (6) blocks north of the shoreline of Mission Bay, and the proposed development will not encroach upon any existing or proposed physical public access to the coast.

The Pacific Beach Community Plan/Local Coastal Program (LCP) land use plan does not identify a public view corridor on or adjacent to the site. As the proposed development observes all required setbacks and is constructed entirely on private property, the proposed project will not impede any public view corridors, viewsheds, intermittent or partial vista views, public vantage view points, or scenic overlooks on or adjacent to the project site.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

An environmental review of the project was conducted which determined that the project would not have a significant environmental effect on environmentally sensitive lands and the project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301(1) (Existing Facilities) and Section 15303(b) (New Construction). The site does not contain environmentally sensitive lands, and therefore, will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Pacific Beach Community Plan designates the project site located in the RM-2-5 Zone for residential use at a density range of 14-29 dwelling units per acre (du/ac) and the proposal is within the range (28 du/ac).

The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential developments along Grand Avenue and Gresham Street, and contains a religious facility on the property.

The character of the neighborhood along Grand Avenue and Gresham Street is a mixture of building forms, masses, and articulation of structures. Existing residential housing in the vicinity of the project site represents a blend of development types. Residential development within the vicinity is predominantly multi-unit (2-4 units), two-story, residential development. The proposed four-unit development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and Pacific Beach Community Plan (PBCP) goals encouraging neighborhood "compatibility and continuity."

The proposed project complies with the RM-2-5 zone and applicable regulations of the Land Development Code and conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Coastal Development Permit No. 1670493.

Therefore, the proposed coastal development is in conformity with the Pacific Beach Community Plan and Local Coastal Land Use Plan, and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located on private property at 1376 Grand Avenue and 4418 Gresham Street. The project site is approximately seven (7) blocks east of the Pacific Ocean and six (6) blocks north of the shoreline of Mission Bay, and is not located between the nearest public roadway and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the project is not required to conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1670493 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.1670493, a copy of which is attached hereto and made a part hereof.

Gaetano Martedi
Development Project Manager
Development Services

Adopted on: May 31, 2017

IO#: 24006543

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1670493
GRAND AVENUE TOWNHOMES TM & CDP - PROJECT NO. 477022
HEARING OFFICER

This Coastal Development Permit No. 1670493 is granted by the Hearing Officer of the City of San Diego to Upward Trend, LLC., Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0707. The 0.143-acre site is located at 1376 Grand Ave and 4418 Gresham Street in the RM-2-5 zone, the Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay Zone, and the Parking Impact Overlay Zone (Coastal), in the Pacific Beach Community Plan area. The project site is legally described as: Lots 21 and 22, Block 233, Pacific Beach, according to Maps thereof No. 854 and 697, filed in the office of the County Recorder of said San Diego County, September 29, 1998, and January 8, 1892 respectively.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2017, on file in the Development Services Department.

The project shall include:

- a. Demolish an existing single dwelling unit and religious facility to construct a three (3) story, four (4) unit condominium complex totaling 7,150 square feet located at 1376 Grand Avenue and 4418 Gresham Street.
- b. Landscaping (planting, irrigation and landscape related improvements).
- c. Off-street parking.
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 12, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

CLIMATE ACTION PLAN REQUIREMENTS:

12. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

13. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

14. This Coastal Development Permit No. 1670493 shall conform to the provisions of Tentative Map No. 1675323.
15. The project proposes to export 55 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
18. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit "A," satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of all unutilized driveways and the construction of City Standard full height curb, gutter, and non-contiguous sidewalk, on Grand Avenue and Gresham Street to the satisfactory to the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of all damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Gresham Street.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of all damaged portions of the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Grand Avenue.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a curb ramp at the northwest corner of Grand Avenue and Gresham Street, with current City Standard curb ramp Standard Drawing SDG-130 and SDG-132 with truncated domes.
23. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the alley apron adjacent to the project site on Gresham Street, with current City Standard alley apron Standard Drawing SDG-120 and corresponding City Standard curb ramps on both sides of the alley entrance, adjacent to the site, including City Standard SDG-130 truncated domes, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
25. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
26. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
27. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.
29. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
30. Prior to issuance of any construction permits for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)(5).
31. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

33. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

34. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

38. The automobile, motorcycle, and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to any Building Construction Permit being issued, the existing sewer lateral scheduled for reuse must be inspected by a California licensed plumbing contractor using closed-circuit television to verify (to the satisfaction of the City Engineer) that the lateral is in good condition, free of all debris, properly connected to a public sewer main, and in all other ways suitable for reuse. If it is not, the Owner/Permittee or Subdivider is required to repair, remove and replace, or abandon and cap the lateral at the property line in a manner satisfactory to the City Engineer.

40. Prior to any Certificate of Occupancy being issued, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

41. Prior to any Building Construction Permit being issued, the Owner/Permittee or Subdivider shall assure (via permit and bond) that all required public water and/or sewer facilities will be constructed in accordance with the City of San Diego's current water and sewer design guides, and that any existing service connection to the City's public water and/or sewer mains which will not be utilized by the proposed development has been either killed at the main (water) or abandoned at the property line (sewer).

42. Prior to any Building Construction Permit being issued, the Owner/Permittee or Subdivider is required to ensure (to the satisfaction of the Public Utilities Director) that all water services to the site (excepting single family domestic service lines, and single family domestic/fire combined service lines where the residential fire sprinkler system utilizes passive purge design) will pass through a private above ground back flow prevention device (BFPD).

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the HEARING OFFICER of the City of San Diego on May 31, 2017 and HO-

Coastal Development Permit No. 1670493
Date of Approval: May 31, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Gaetano Martedi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Upward Trend, LLC.
Owner/Permittee

By _____
David Lepre
Managing Member

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NUMBER HO-_____
TENTATIVE MAP NO. 1675323
GRAND AVENUE TOWNHOMES - PROJECT NO. 477022

WHEREAS, UPWARD TREND LLC, Subdivider, submitted an application to the City of San Diego for Tentative Map No. 1675323 for the Grand Avenue Townhomes to demolish an existing single dwelling unit and religious facility, to construct a three-story, four-unit condominium complex totaling 7,150 square feet, and to waive the requirement to underground existing offsite overhead utilities. The project site is located at 1376 Grand Avenue and 4418 Gresham Street. The property is legally described as Lots 21 and 22, Block 233, Pacific Beach, according to Maps thereof No. 854 and 697, filed in the office of the County Recorder of said San Diego County, September 29, 1998, and January 8, 1892 respectively; and

WHEREAS, the Tentative Map proposes the Subdivision of a 0.143-acre-site into one (1) lot for a 4 unit residential condominium development; and

WHEREAS, on January 31, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301(1) (Existing Facilities) and 15303(b) (New Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is four (4); and

WHEREAS, the request to waive the undergrounding of existing overhead utilities has been determined to be appropriate pursuant to San Diego Municipal Code section 144.0242(c) based on based on adverse timing or planning considerations in that the conversion involves a short span of overhead facilities (less than a full block in length) and would not represent a logical extension to an underground facility; and

WHEREAS, on May 31, 2017, the Hearing Officer of the City of San Diego considered Tentative Map No. 1675323, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, and 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1675323:

1. The proposed subdivision and its design or improvements are consistent with the policies, goals, and objectives of the applicable land use plan.

The project proposes to demolish an existing religious facility and residence and replace it with four, two-bedroom condominiums units located at 1376 Grand Avenue and 4418 Gresham Street in the RM-2-5 zone of the Pacific Beach Community Plan. The Pacific Beach Community plan designates the proposed project site for Medium Density Residential land use at a density of 14-29 dwelling units per acre (du/ac), and the proposed density of 28 du/ac is in conformance with this designation.

The RM-2-5 zone allows multiple dwelling units on a single-parcel at a maximum density of one unit per 1,500 square feet of lot area. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential developments along Grand Avenue and Gresham Street, and contains a religious facility on the property. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan.

The plan recommends that new multi-family residential developments conform to area-specific streetscape recommendations for landscape, lighting, sidewalk treatment and signage and be implemented through the citywide landscape ordinance. Additionally the plan recommends that residential neighborhoods be enhanced by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties. The proposed residential condominiums would meet the goals of the Pacific Beach Community Plan/Local Coastal Program by providing the appropriate residential density and implementing the community plan's street tree pattern. The proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, landscape, and, floor area ratio.

The Urban Design Element of the General Plan encourages residential design that is sensitive to the existing character of a neighborhood. The General Plan also welcomes change through innovation demonstrated by architectural design that is compatible with the surrounding neighborhood. Development in Ocean Beach presents an eclectic mix of architectural styles. These styles include a variety of roofs, materials, height, and bulk and scale.

The character of the neighborhood along Grand Avenue and Gresham Street is a mixture of building forms, masses, and articulation of structures. Existing residential housing in the vicinity of the project site represents a blend of development types. Residential development within the vicinity is predominantly multi-unit (2-4 units), two-story, residential development. The proposed four-unit development is reflective of the architectural design and scale characteristic of the project vicinity, and is consistent with the General Plan and Pacific Beach Community Plan (PBCP) goals encouraging neighborhood "compatibility and continuity."

Therefore, the proposed subdivision and its design or improvement is consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed development of four residential condominium units have been designed to comply with all applicable development regulations of the RM-2-5 Zone, including height, setback, density, landscaping, and parking, and no deviations are requested.

The project is consistent with the development regulations of the RM-2-5 zone. The proposed project meets all land development requirements of the Land Development Code,

including setbacks, floor area ratio, landscaping, parking, storm water runoff, architectural design, and height. The undergrounding waiver request qualifies under the guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than a full block in length) and the conversion would not represent a logical extension to an underground facility. No deviations are proposed.

Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development.

The Pacific Beach land use plan designates the proposed project site for Medium Density Residential use at a density of 14-29 dwelling units per acre (du/ac). The proposed density of 28 du/ac (two units on 0.143-acre-site) is in conformance with the Residential Subarea of the Community Plan.

The RM-2-5 zone allows multiple dwelling units on a single-parcel at a maximum density of one unit per 1,500 square feet of lot area. The property is located within a fully urbanized neighborhood consisting of a mix of one-and two-story multiple-unit residential development.

The project site has been previously graded and has an existing religious facility and residence. The site has frontage along Grand Avenue with alley access at the rear. Adjacent to the site are one and two-story single family and multifamily developments. The RM-2-5 zone allows one dwelling unit for every 1,500 square feet of site area, and the existing 0.143-acre site can accommodate four dwelling units. The Pacific Beach Community Plan designates the site as residential allowing 14-29 dwelling units per acre. The addition of four units for the site is within the community plan's density range at 28 du/ac. Therefore, the site is physically suitable for the type and density of the development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is located within an urbanized environment where there are no watercourses or environmentally sensitive lands harboring fish or wildlife on or adjacent to the site. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301(I)(1) (Existing Facilities) and Section 15303 (New Construction). Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The project has been reviewed and determined to be in compliance with the Municipal Code and Subdivision Map Act. The Tentative Map and associated development permit includes conditions and corresponding exhibits of approvals including undergrounding new utilities, storm water and construction water runoff, adequate parking, public improvements, and paying applicable taxes in order to achieve compliance with the regulations of the San Diego Municipal Code. The project has been designed in conformance with all applicable development regulations. The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the San Diego Municipal Code (SDMC) in effect for this project. Public improvements required of the project include closure of an unutilized driveway and the construction of City Standard full height curb, gutter, curb ramp, and non-contiguous sidewalk on Gresham Street and Grand Avenue. The project is also required to reconstruct the alley apron adjacent to the project site. The alley apron will include corresponding City Standard curb ramps on both sides of the alley entrance, adjacent to the site, satisfactory to the City Engineer. The owner/permittee will be required to enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301 and 15303 of the State CEQA Guidelines.

The subdivider will also provide for the health, safety, and welfare of the residents by constructing all buildings in accordance with current construction standards and codes. Prior to issuance of any construction permit for the proposed development, the construction documents shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing, and Fire Code requirements to assure the structures will meet or exceed the current regulations and the standards for public improvements. The City's review of the construction documents, issuance of construction permits, and inspection of the project will ensure that the development will be safe and built according to the required standards.

Therefore, the design of the subdivision will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The 0.143-acre project site does not contain any public easements that have been acquired by the public at large for access through or use of property within the proposed subdivision. Therefore, the design of the subdivision or the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed four-unit building provides windows on all elevations, allowing for ample natural light at all times of the year. The future construction of the multi-family homes would not be impeded or inhibited from incorporating any future passive or natural heating and cooling opportunities. With the design of the proposed subdivision each structure will have the opportunity, through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide, to the extent feasible, for future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and provide natural heating and cooling for each dwelling unit.

Therefore, the design of the proposed subdivisions provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project proposes the development of one three-story residential condominium building on a 0.143-acre-site. The proposed addition of one three-story residential building with four (4) condominium units is consistent with the recommended density, and the housing needs anticipated in this area, per the Pacific Beach land use plan, and will result in a net increase of three dwelling unit on the subject site. The subdivision of this parcel into four residential condominium units is consistent with the Pacific Beach Community Plan.

The City's Housing Element of the General Plan recommends policies and programs to address the issue of balanced community housing assistance needs of low- and moderate-income families. The proposed development is subject to the Inclusionary Affordable Housing Ordinance. The project will be required to pay an inclusionary affordable housing fee per the San Diego Municipal Code (SDMC) Section 142.13 prior to Building Permit issuance.

The site currently contains a religious facility and one dwelling unit. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. The decision maker has determined that the provision of four residential condominium units and the associated increase in the need for public services and the available fiscal and environmental resources are balanced by adequate public transit in the immediate area, the proximity of shopping, and essential services and recreation in the nearby developed urban area. Retail shopping exists approximately one block north of the site. Therefore, the housing needs of the region are balanced against the needs for public services and the available fiscal and environmental resources.

ATTACHMENT 7

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED that based on the Findings herein before adopted by the Hearing Officer, Tentative Map No. 1675323, including the waiver of the requirement to underground existing offsite overhead utilities, hereby granted to UPWARD TREND LLC subject to the attached conditions which are made a part of this resolution by this reference.

BE IT FURTHER RESOLVED that the decision of the Hearing Officer is granted to UPWARD TREND LLC, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Gaetano Martedi
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24006543

HEARING OFFICER

CONDITIONS FOR TENTATIVE MAP NO. 1675323,
GRAND AVENUE TOWNHOMES TM & CDP - PROJECT NO. 477022
ADOPTED BY RESOLUTION NO. HO-___ ON MAY 31, 2017

GENERAL

1. This Tentative Map will expire June 12, 2020.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. This Tentative Map No. 1675323 shall conform to the provisions of Coastal Development Permit No. 1670493.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. Prior to the recordation of the Parcel Map, the Subdivider shall set monumentations and file a Corner Record in the office of the County Recorder.
7. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
8. The Subdivider shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a

manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

9. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
10. Prior to the recordation of the Parcel Map, the owner and engineer shall sign the TM exhibit.
11. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
12. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
13. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

14. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
15. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
16. A one lot Parcel Map to consolidate and subdivide the existing lots and ownership interests is required as a condition of the tentative map.
17. Prior to the recordation of the Parcel Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.
18. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.

19. The Parcel Map shall:
- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

PUD-WATER & SEWER

20. Prior to the recordation of any map, the Owner/Permittee or Subdivider is required to provide evidence to the satisfaction of the Public Utilities Director that all separately titled units which share water or sewer service connections to the City's public utility systems have had their titles encumbered by CC&Rs written so as to ensure that the operation and maintenance of all such shared water and/or sewer facilities will be provided for in perpetuity.

GEOLOGY

21. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24006543

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project No.: **477022**

Project Title: **Grand Avenue Townhomes**

Project Location-Specific: 1376 Grand Avenue and 4418 Gresham Street, San Diego, California 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A COASTAL DEVELOPMENT PERMIT and TENTATIVE MAP is being requested to demolish an existing single dwelling unit and religious facility to construct a three (3) story, four (4) unit condominium complex totaling 7,150 square feet. The units would include 4 two-bedroom with associated decks and patios.

The 0.142 acre project site is located at 1376 Grand Avenue and 4418 Gresham Street. The project site is designated Residential and within the Pacific Beach Community Plan area. Additionally, the project site is within the Coastal Overlay Zone (Non-Appealable-2) and Parking Impact Overlay Zone (Coastal). (LEGAL DESCRIPTION: Parcel 1: Lots 21 and 22 in Block 233 of Pacific Beach according to maps thereof No. 854 and 697.)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: David Lepre
 814 Morena Boulevard
 San Diego, California 92110
 (619) 987-4459

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15301 (Existing Facilities) and 15303 (New Construction)
- Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301(l) (1) (Existing Facilities) which allows for the demolition and removal of individual small structures including one single-family residence and in urbanized areas, up to three single-family residences may be demolished under this exemption. The project also meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include but are not limited to on single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not apply.

ATTACHMENT 9

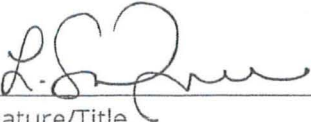
Lead Agency Contact Person: Morgan Dresser

Telephone: (619) 446-5404

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 Sr. Planner
Signature/Title

February 15, 2017
Date

Check One:

- Signed By Lead Agency
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Pacific Beach Planning Group www.pbplanning.org

Pacific Beach Taylor Library

4275 Cass Street, San Diego, CA 92109

Wednesday, August 24, 2016: 6:30-8:30 pm

Minutes

Item 1 - 6:30 Call to Order, Quorum: 6:37 call to Order: Tony Franco, Joe Wilding, Karl Rand, Debbie Conca, Henish Pulickal, Brian Curry. 6:42: Baylor Triplett. 6:52: Eve Anderson. 6:55: Marcia Nordstrom. 7:15: Jim Morrison. Absent: Mike Beltran, Jim Krokee, Amy Gordon, Paula Ferraco, Jason Legros

Item 2 Current Agenda - Modifications and Approval - No quorum at this time. Did not vote.

Item 3 July 27, 2016 Minutes - Modifications and Approval – No quorum at this time. Did not vote.

Item 4 – 6:40 Elections Subcommittee (Action Item)

Presenter: Debbie Conca

Two people to elect. Peter Lee was a no show. Ben Ryan needs signatures from a census tract with a vacancy. He may be voted in next month.

Additional election packet submitted mid-meeting: Michael Martin: Lives on Ocean St near Tower 23. From Boston. Works in event marketing. Suggests we do a police ride along so we don't use anecdotal evidence to make decisions. Voted in 8-0.

Item 5 – 6:50 Non-Agenda Public Comments (Note: 2 minutes maximum per speaker)

Issues not on Agenda and within the jurisdiction of Pacific Beach Planning Group.

Don Gross: 1) PB Drive construction work almost done. CIP for \$500,000. 2) E Mission Bay Drive and Grand intersection. Problems connecting with Monrovia St.

Katie Schaa: Outside consultant for city. Update on Job 816, PB water and sewer project. Starts this summer through December 2018. Using improved materials.

Item 6 – 7:05 PBPG Chair's Report (Information Item)

Presenter: Brian J. Curry – No CPC this month. Crime concerns vocalized to Mayor's office via letter.

Item 7 – 7:10 Councilmember Zapf Representative (Information Item)

Presenter: James McGuirk (619-235-5282): New city phone app: Get it Done San Diego. Report issues like potholes from your phone. New law sponsored by Lorena Gonzalez to ensure servers are trained properly to prevent over-serving patrons.

HP: Can we get crime demographics? JM: Will look into it.

BC: What is the penalty for over-serving? JM: Ask Lorena Gonzalez.

Debbie Conca: ABC is giving out 25 new liquor licenses in San Diego. We don't need it.

HP: Use a scoring rubric with clear metrics in terms of size, cost, usage, etc. This will make it easier to evaluate all the options.

Item 8 – 7:20 Mayor Faulconer Representative (Information Item)

Presenter: Anthony George (619-236-5980) – no show.

Item 9 – 7:30 Development Subcommittee (Action Item)

Presenter: Henish Pulickal

Grand Avenue Townhomes Project 477022

1376 Grand Avenue / 4418 Gresham Street (RM-2-5 Zone)

Demo existing older structures and construct two, 3-story residential condominiums (4 units total). 2 bed/2bath, 2 parking each (one garage, one open at alley).

Subcommittee recommends motion to approve with conditions: landscaping changed to drought tolerant throughout and man doors from garage and modification to the roof line at the 2nd floor on the SE corner.

Adding ramps to curbs at Grand and alley.

Michael Martin: Low water usage? Dan Linn: Dual flush toilets, tank-less water heaters, no turf.

Tony Franco: Apartments nearby. Need good construction fencing for minimal disturbance.

Motion to approve with subcommittee conditions, Henish 1st. Joe W, 2nd. Approved 10-0.

Balboa Transit Area Subcommittee: Meeting postponed per city request.

Item 10 – 7:45 De Anza Cove Special Study Area (Possible Action Item) timing from 7:20 – 8:40PM.

Presenter: Chris Olson, Brooke Peterson, Craig Hooker

Update on community outreach and planning for De Anza Cove Special Study Area.

3 year planning process. Most info available at www.deanzarevitalizationplan.com

Public Comments:

PYSL: youth soccer league. 40 years, 73 rec teams, 23 competitive teams. 1,000 kids. Sharing fields with softball. Wants field updated. Only youth fields.

Need sand volleyball courts.

Need tennis courts.

The marsh is dying. Needs to be reconnected to Rose Creek.

BC: Get rid of golf course and get everything on the list in De Anza. Don't relocate campland. Deconstruction of site will cost a fortune.

Campland representative: Campland lease is up in 3 years. De Anza mobile park will have the proper infrastructure for relocated campland – easy transition. Gets 50,000 annual guests. Booked full most weekends. Needs to have access to water. Not included in SSA – should be included.

8:30: Motion to extend meeting 15 minutes. Jim Morrison 1st. Karl Rand 2nd. Approved 10-0.

Item 11 – 8:25 Other Subcommittees and Reports (Time Permitting) – no time available.

Traffic & Parking: Michael Beltran

Public Safety: Amy Gordon

Pacific Beach Community Parking District: Michael Beltran or Debbie Conca

Special Events: Debbie Conca or Eve Anderson

Communications: Baylor Triplett

Item 12 – 8:30 Adjournment – 8:40 Adjourn.

Next PBPG

Meeting: Wednesday, September 28, 2016 6:30-8:30 pm



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 GRAND AVE TOWNHOMES

Project Address:
 1376 GRAND AVE, SAN DIEGO, CA 92109

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

DIVISION 05 - CERAMIC TILE

- 1. Scope - Furnish and install all ceramic tile complete including backing and base coat.
2. Standards - All work to conform with the recommendations of the Tile Council of America and their current standards.
3. Materials - Ceramic wall and counter tile: Color and pattern to be selected by Owner.

DIVISION 07 - PAINTING, STAINING & FINISHING

- 1. Scope - Furnish all labor and materials to complete Painting, Staining and Finishing work including preparation of surfaces other than those that are factory finished.
2. Materials - Paint and stain materials shall be as manufactured by Amertone, Cabot, Dunn-Brandt, Frasse, Olympic, Pratt & Lambert, Stimulator or equivalent.
3. Preparation of Surfaces - Surfaces shall be clean and dry, and in suitable condition for finish specified.

Workmanship

- A. Each coat shall be uniformly applied, well brushed out and free of brush marks, runs, sags or skips.
B. Paint finishes shall be cut sharply to lines. Protect adjacent surfaces.
C. Mix and apply paint and stains in accordance with the manufacturer's instructions.

Exterior Painting

- A. All exterior wood, including siding, railings, fascia, trim, exposed beams etc.: 2 coats stain unless noted otherwise.
B. Exposed metal, including vent pipes, exhaust vents, grilles, etc.: color shall match adjacent surfaces. 2 coats exterior paint over primer.
C. Masonry surfaces: 2 coats exterior paint over block filler unless noted otherwise.

Interior Painting

- A. Ceilings and walls (except acoustical textured ceilings):
1. Kitchen, bathrooms: Sealer and one coat semi-gloss enamel.
2. All other rooms: Sealer and one coat flat paint.
3. Exposed posts and beams: 2 coats of stain unless noted otherwise.
B. Wardsrobes, closets (except shelving): Finish as specified for adjoining room.

DIVISION 08 - CEMENTALITE

- 1. Scope - Furnish and install Specialties complete and operable.
2. Materials - Bathroom accessories as selected by Owner and/or listed on drawings.
3. Metal pre-fabricated fireplace per drawings and details. Provide fire-place complete with flue, chimney, roof flashing, chase top and chase cap.
4. Chimneys shall extend a minimum of 2'-0" above that part of the roof through which it passes or any point of the building within 10'-0" of the point of chimney/roof intersection.

DIVISION 14 - PLUMBING

- 1. Scope - Furnish and install Plumbing work complete and operable, including trenching and backfilling. Work shall conform to latest adopted edition of Uniform Plumbing Code and any other adopted governing plumbing codes.
2. Materials - Pipes and soil pipes: Service weight, cast iron; conform with ASTM A74 or approved plastic pipe.
3. Cast-iron pipe: First grade, salt glazed, conform with ASTM D13.
4. Domestic water piping: Type "F" copper tubing. Fittings-wrought copper or cast bronze (or galvanized iron) with 50-50 soldered joints for above grade.

Workmanship

- A. Roughing-in shall be completed, tested and approved before closing-in with other work.
B. Openings in pipes, drains and fittings shall be kept covered during construction.
C. Provide solid backing for securing fixtures.
D. Provide cleanouts at ends of all lines and where required by Codes.

DIVISION 15 - HEATING AND AIR CONDITIONING

- 1. Scope - Furnish and install heating and/or air conditioning system(s) complete and operable.
2. Standards - Shall be in compliance with the latest adopted edition of the CA Mechanical Code and any other governing mechanical codes.
3. Design temperatures - Winter: 70 degrees inside for heating. Summer: 75 degrees inside for cooling.

Calculations and Drawings

- A. All bedrooms and bathroom doors shall be undercut 1/2" above finish floor material for return air.
B. All return air ducts shall be of incombustible construction.
C. Ducts placing one-hour fire rated walls between living unit and garage shall be of 26 gauge galvanized sheet metal.

Installation

- A. All bedrooms and bathroom doors shall be undercut 1/2" above finish floor material for return air.
B. All return air ducts shall be of incombustible construction.
C. Ducts placing one-hour fire rated walls between living unit and garage shall be of 26 gauge galvanized sheet metal.

Workmanship

- A. All bedrooms and bathroom doors shall be undercut 1/2" above finish floor material for return air.
B. All return air ducts shall be of incombustible construction.
C. Ducts placing one-hour fire rated walls between living unit and garage shall be of 26 gauge galvanized sheet metal.
D. For gas fired forced air units:
1. Provide 100 square inches of outside combustion air from vent through roof and duct in attic for F.A.U. sizes of 100H BTU or under.

DIVISION 16 - MECHANICAL

- 1. Scope - Furnish and install ventilation fans and all duct work complete.
2. Bath Exhaust Fans - To provide minimum one complete air change every 5 minutes. All exhaust fans to exterior to be dispersed.
3. Duct Work - All ducts, 26 gauge G.I. with insulation installed on inside. Work shall comply with Air Conditioning Duct Manual - Sheet Metal Industries.

DIVISION 16 - ELECTRICAL

- 1. Scope - Furnish and install Electrical work complete and operable. All work shall be performed in conformance with the latest adopted edition of the National Electrical Code and any other governing electrical codes.
2. Standards - Electrical Service Underground. Materials and equipment shall be U.L. approved.
3. Calculations and Drawings - Contractor to supply and submit to the Building Department load calculations as necessary for approval prior to commencing work.

Colors and Details

- A. Fixtures, switch plates, covers, etc. as selected by Owner or scheduled on drawings.
5. Materials - Switches (silent type) and thermostats: Locate 48" above finish floor (bottom of fixture), (CPAS noted).

Installation

- A. Contractor shall be responsible for coordination with power company, telephone company and cable T.V. company for services. These services shall be installed per the requirements of the aforementioned companies.
B. All fixtures to be selected by Owner and purchased by Contractor from allowance. All fixtures to be installed by Contractor (installation is part of base contract and is not to be included as part of allowance).
C. Remove and disconnect existing electrical work as required by demolition and reworking.
D. Provide separate circuits each for dishwasher and garbage disposal. Dish-washer shall be switched as indicated on drawings.

NOTE: Where a conflict exists between the specifications on this and the previous sheet and notes, etc. other places in the drawings, the other notes shall apply. ALL WORK TO COMPLY WITH THE 2013 CBC, CPC, CMC, CFC & 2013 NEC.

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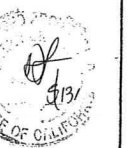
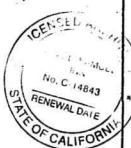
- note "A field raceway to facilitate future installation of Electric Vehicle Charger."
note "Raceway shall be not less than trade size 1 (nominal 1-1/4" diameter) to accommodate a dedicated 208/240-volt branch circuit."
note "Raceway shall originate at the main service or subpanel and terminate into a field cabinet, box or other enclosure in close proximity to the proposed location of the EV charger."
note "Raceway shall be continuous at enclosed, inaccessible or concealed areas and spaces."

GREEN BUILDING CODE NOTES (2013 CBC)

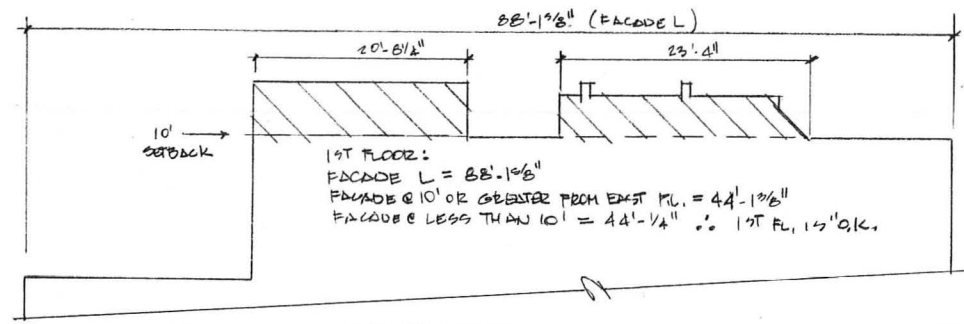
- 15 "Automatic fire alarm systems controllers installed at the time of final inspection shall be weather-based." (CGBCS 4.304.1)
17 "Doors and openings, Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of closing such openings with current mortar, concrete masonry or similar method acceptable to the enforcing agency." (CGBCS 4.408.1)
18 "A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per CGBCS Section 4.408.1 and City Ordinance."
19 "Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of the maintenance manual." (CGBCS 4.410.1)
20 "Duct openings and other related air distribution component openings shall be covered during construction." (CGBCS 4.504.1)
21 "Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits." (CGBCS 4.504.2.1) (New Issue)
22 "Paints, stains and other coatings shall be compliant with VOC limits." (CGBCS 4.504.2.2)
23 "Aerosol paints and coatings shall be compliant with product weighted MIR limits for VOC and other toxic compounds." (CGBCS 4.504.2.3)
24 "Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building inspector." (CGBCS 4.504.2.4)
25 "Carpet and carpet systems shall be compliant with VOC limits. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building inspector." (CGBCS 4.504.3)
26 "Fifty percent of floor area receiving resilient flooring shall comply with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Resilient Floor Covering Institute (RFCI) Floor Score program." (CGBCS 4.504.4)
27 "Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. A letter from the installer and or the building owner certifying what material has been used and documenting its compliance with the Code must be submitted to the building inspector." (CGBCS 4.504.5)
28 "Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content."
29 "The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by either a probe type or contact type moisture meter. A certificate of compliance indicating date of test, location and results issued by the framer subcontractor or General contractor must be submitted to the building inspector." (CGBCS 4.505.3)
30 "Exhaust fans which terminate outside the building are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent."
31 "Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input."
32 "For 2013 Green Code Sec-4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances."
33 note "A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per Section 4.408.1 and City Ordinance." (New Issue)
34 note "Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such." (Section 4.410.1)
35 note "Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CALGREEN. (New Issue)
36 Faucets, Residential lavatory faucets shall have a maximum rate of 1.5 gallons per minute at 60 psi and a minimum flow rate of not less than 0.8 gallons per min. at 20 psi.
37 Shower heads; single shower heads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Multiple showerheads when served by a single valve, shall have a combined flow rate not to exceed 2.0 gallons per minute.
38 All water closets shall have an effective flush volume of not more than 1.28 gallons per flush. Tank type water closet shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
39 Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 gallons at 60 psi but must default back to the 1.8 gallons per minute. (New Issue)
40 note "A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department. (New Issue)
41 note "A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particle board etc comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code. Vapor retarder and capillary break is installed at slab on grade foundations. Show one of the following methods on the plans:
a) 4 inch thick base of 1/2 inch or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design which address bleeding, shrinkage, and curing shall be used. For additional information, see ACI 302.2R-02.
b) A slab design specified by a licensed design professional. (Section 4.505.2.1)
42 "A certification completed and signed by either the general contractor or subcontractor, or the building owner certifying that the paint, stain, and adhesives, complies with the requirements of the California Green Building Code. A copy of the form can be obtained from the development services department.
43 "Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following:
1. VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
2. Products compliant with CHPS criteria certified under the Greenguard Children's School program.
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010(also known as Specification 01320)
44 A copy of a complete operation and maintenance manual as outlined in the notes above will be delivered to the building owner prior to final inspection. (New Issue)
45 General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner. A copy of the certification form can be obtained from the development services department.
46 "Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. (Section 4.410.1) A sample of the manual is available on the Housing and Community Development (HCD) web site. The manual should include in addition to other aspects the following:
1) Direction to the building owner or occupant that the manual shall remain with the building for throughout the life cycle of the structure.
2) Operation and maintenance instructions for the following:
a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment.
b. Roof and yard drainage, including gutters and downspouts.
c. Space conditioning systems, including condensers and air filters.
d. Landscape irrigation systems.
e. Water re-use systems.
3) Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
4) Public transportation and car-pool options available in the area.
5) Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain such humidity levels.
6) Information about water-conservation landscape and irrigation design and controllers which conserve water.
7) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from foundation.
8) Information on required routine maintenance measures, including, but not limited to caulking, painting grading around the building etc.
9) Information about state solar energy and incentive programs available.
10) A copy of all special inspection verifications required by the enforcing agency or this code.

Daniel Linn architect

GRAND AVENUE TOWNHOMES
FOUR TOWNHOME DWELLINGS
1376-70 GRAND AVENUE
SAN DIEGO, CALIFORNIA 92109



ASP 2



UNIT FLOOR AREA TABULATIONS

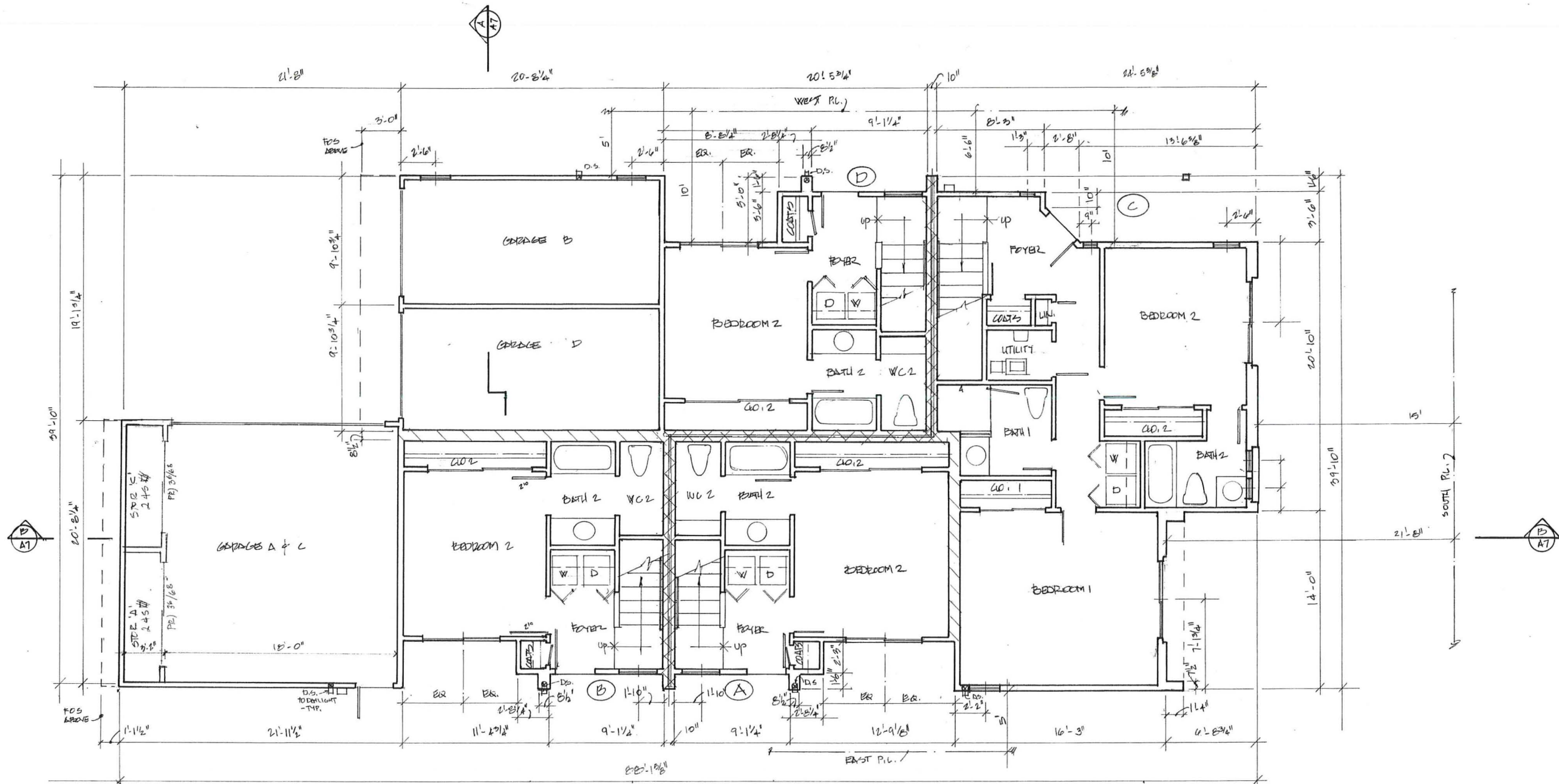
	UNIT A	UNIT B	UNIT C	UNIT D	TOTAL
1 ST FLOOR	385	363	751	363	1862
2 ND FLOOR	688	765	516	763	2732
3 RD FLOOR	463	488	242	501	1694
LIVING TOTAL	1536	1616	1509	1627	6288
DECKS	193	396	175	315	1079
GARAGES	227	227	204	204	862

Front duplex: Units A & C: 1536 + 1509 = 3045 s.f.
 Rear duplex: Units B & D: 1616 + 1627 = 3243 s.f.

A: southwest
 B: northwest
 C: southeast
 D: northeast

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GRAND AVENUE TOWNHOMES
 FOUR TOWNHOME DWELLINGS
 1376-70 GRAND AVENUE
 SAN DIEGO, CALIFORNIA 92109



FIRST FLOOR PLAN

WALL LEGEND

- DOUBLE 2x4 WALL, ONE HOUR FIRE RATED EXTERIOR WALL (A) (R10)
- DOUBLE 2x4 WALL, THREE 1/2" EA. FACES, ONE HOUR FIRE RATED (B) (R10)
- 2x4, 1/2" N.R. UNO
- 2x4, 1/2" N.R. UNO
- 2x4, 1/2" THREE 1/2" EA. FACES, 1/2" GYPSUM PLASTER & MST. (1 HOUR) AS OCCURS (C) (R10)



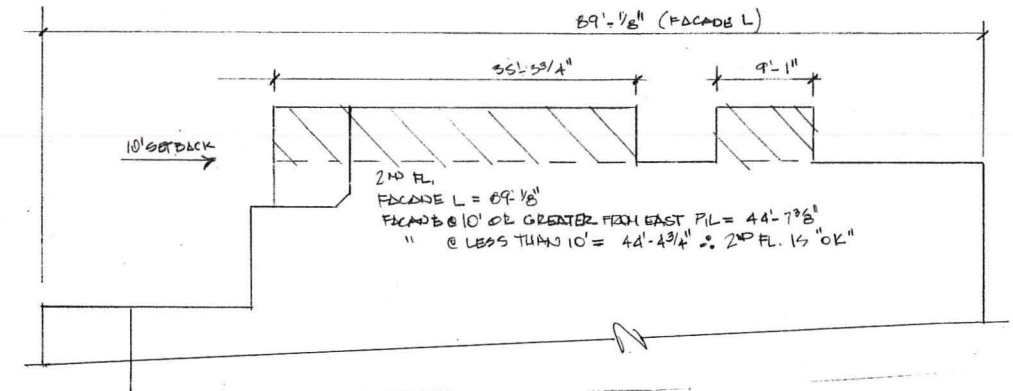
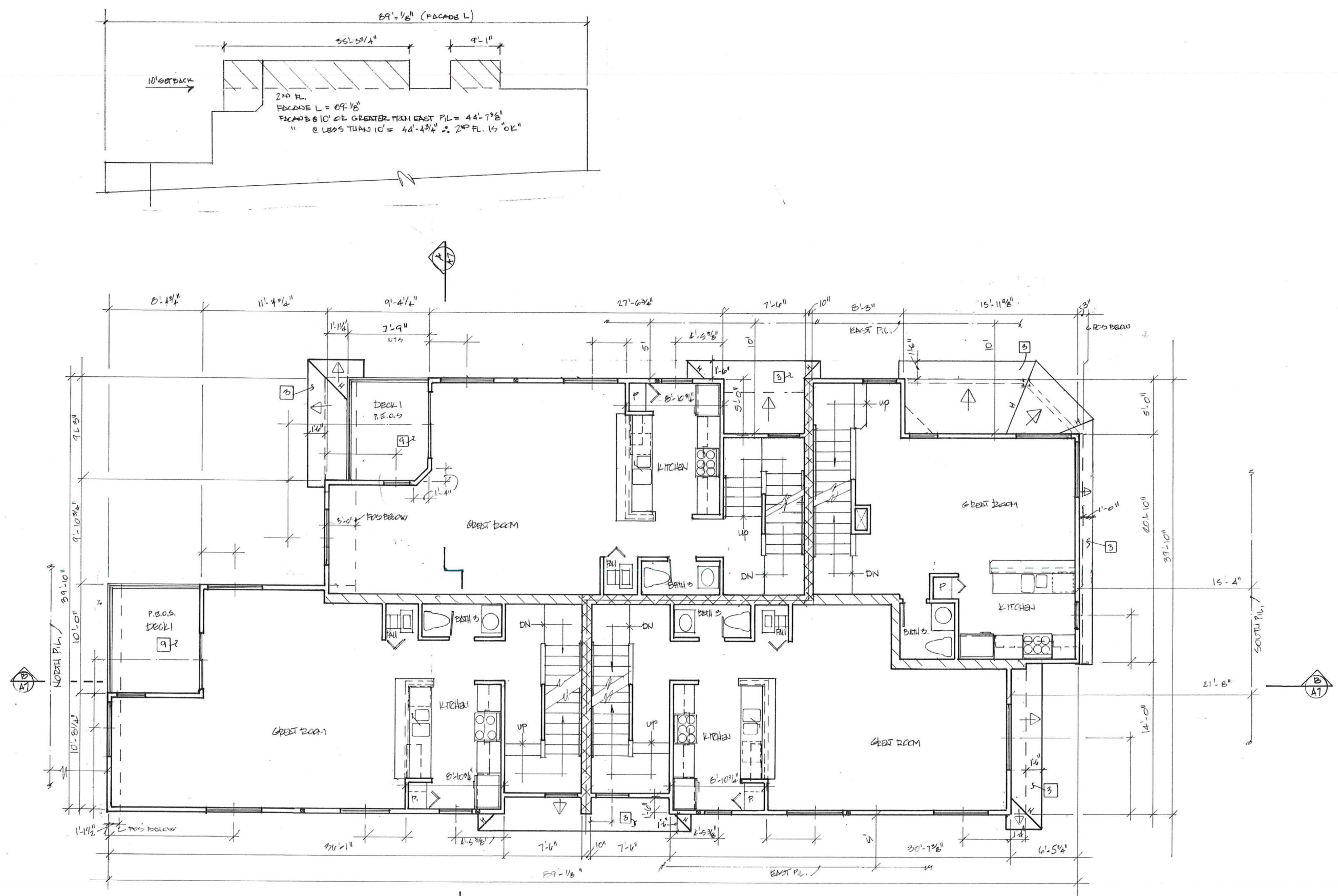
PREPARED BY: DANIEL LINN ARCHITECT
 5732 BELLEVUE AVE
 LA JOLLA, CA
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 SAN DIEGO, CA 92109
 PROJECT TITLE: GRAND AVENUE TOWNHOMES
 SHEET TITLE: FIRST FLOOR PLAN
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
 SHEET 6 OF 12
 REVISION 1: 1/23/14 REVISION 4: _____
 REVISION 2: 2/2/14 REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

A1

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GRAND AVENUE TOWNHOMES
 FOUR TOWNHOME DWELLINGS
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A2



SECOND FLOOR PLAN

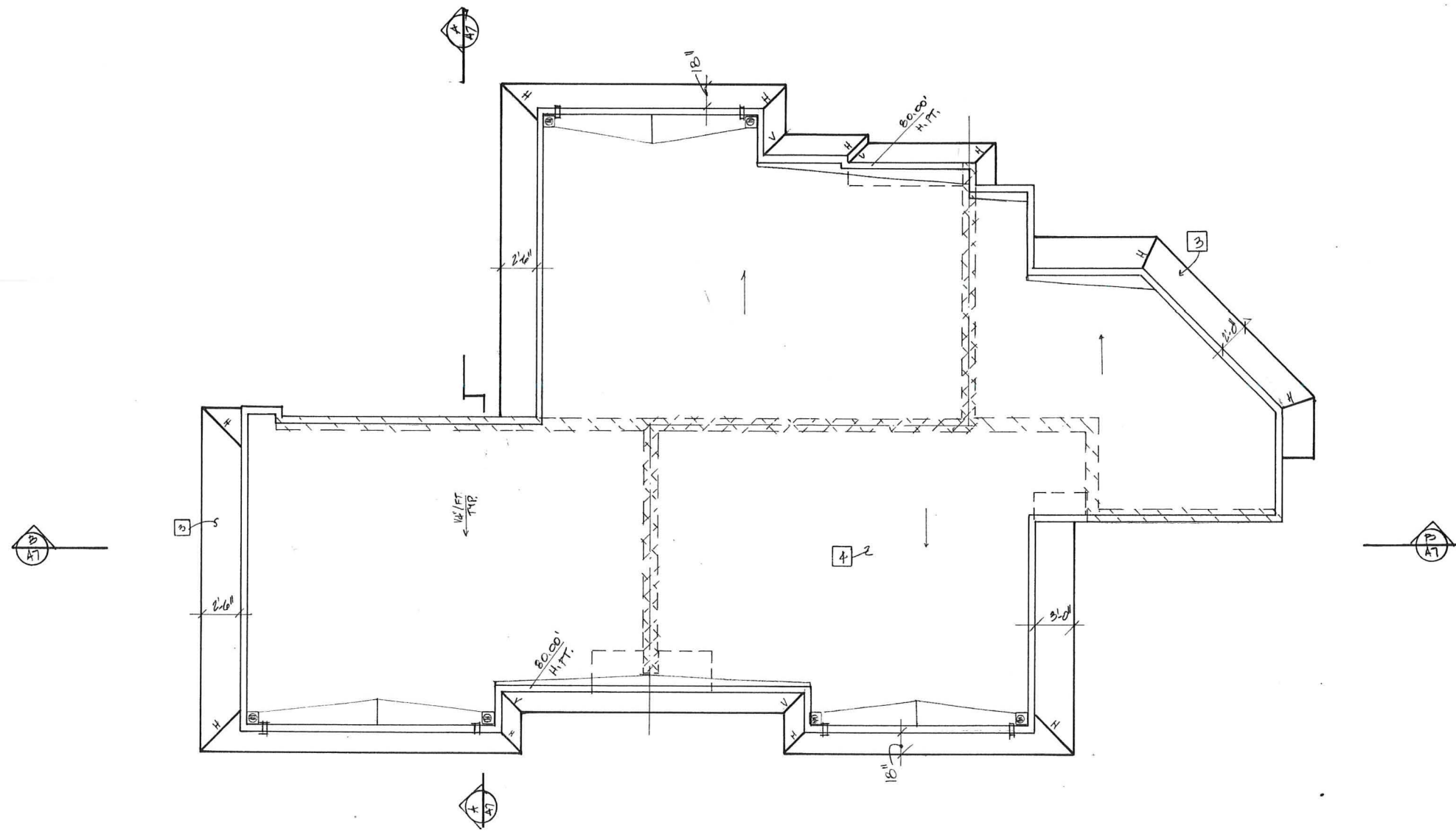
- SEE A1 PER PLAN NOTES (X)
- SEE A4 PER DECK NOTES (X)

P.E.O.S. PRIVATE EXTERIOR OPEN SPACE (SEE A1 FOR AREAS PER UNIT)

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 PROJECT TITLE: GRAND AVENUE TOWNHOMES
 SHEET TITLE: 2ND FLOOR PLAN
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
 SHEET 3 OF 12
 REVISION 1: 2/7/18 REVISION 4: _____
 REVISION 2: 2/7/18 REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

ROOF NOTES

- 1 SLOPED ROOF (METAL): PITCHES TO BE 1 1/2 / 12 UNO
- 2 'FLAT' ROOFS TO SLOPE MIN. 1/4" PER FT.
- 3 ROOFING MATERIAL: AT 1 1/2 / 12 ROOFS AND FASCIA PER PLAN, STANDING SEAM METAL, CLASS 'A' RATED ASSEMBLY, INSTALL PER MFG. SPEC. AND LOCAL CODE. ROOFING OVER 1 LAYER OF 30# BUILDING PAPER OR PER MFG. SPEC.
- 4 'FLAT' ROOFS, 3-PLY BUILT-UP ROOFING, CLASS 'A' RATED ASSEMBLY OR SINGLE PLY TORCH-DOWN BY 'GAF', (GC/ ESR-1274 (OR EQUAL) CLASS 'A' RATED ASSEMBLY
- 5 ALL PENETRATIONS TO BE TOWARD REAR OF BUILDING
- 6 ALL PENETRATIONS TO BE FULLY FLASHED/COUNTER FLASHED WITH 16 OZ. COPPER OR MATERIAL COMPATIBLE WITH THE ROOFING
- 7 ALL VALLEYS TO BE FLASHED W/ 16 OZ. COPPER OR AS COMPATIBLE WITH THE ROOFING MATERIAL
- 8 PROVIDE ROOF DRAINS TO EXTERNAL DOWNSPOUTS AND OVERFLOWS TO DAYLIGHT AT 'FLAT' AREAS PER PLAN. DAYLIGHT DRAINS INTO LANDSCAPE AREAS
- 9 DECK COATING: HILL BROTHERS 'DESSERT CRETE' SYSTEM (CC/ESR H166), OR EQUAL ONE HOUR RATED ASSEMBLY, INSTALL PER MFG. SPEC. AND LOCAL CODE



ROOF PLAN

1/4" = 1'-0"

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 PROJECT ADDRESS: 1376-1382 GRAND AVENUE
 SAN DIEGO, CA 92109
 PROJECT TITLE: GRAND AVENUE TOWNHOMES
 SHEET TITLE: ROOF PLAN
 ORIGINAL DATE: _____
 SHEET NUMBER: _____
 SHEET 5 OF 12
 REVISION 1: _____ REVISION 4: _____
 REVISION 2: 7/3/17 REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

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GRAND AVENUE TOWNHOMES
 FOUR TOWNHOME DWELLINGS
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 SAN DIEGO, CALIFORNIA 92109

A 4

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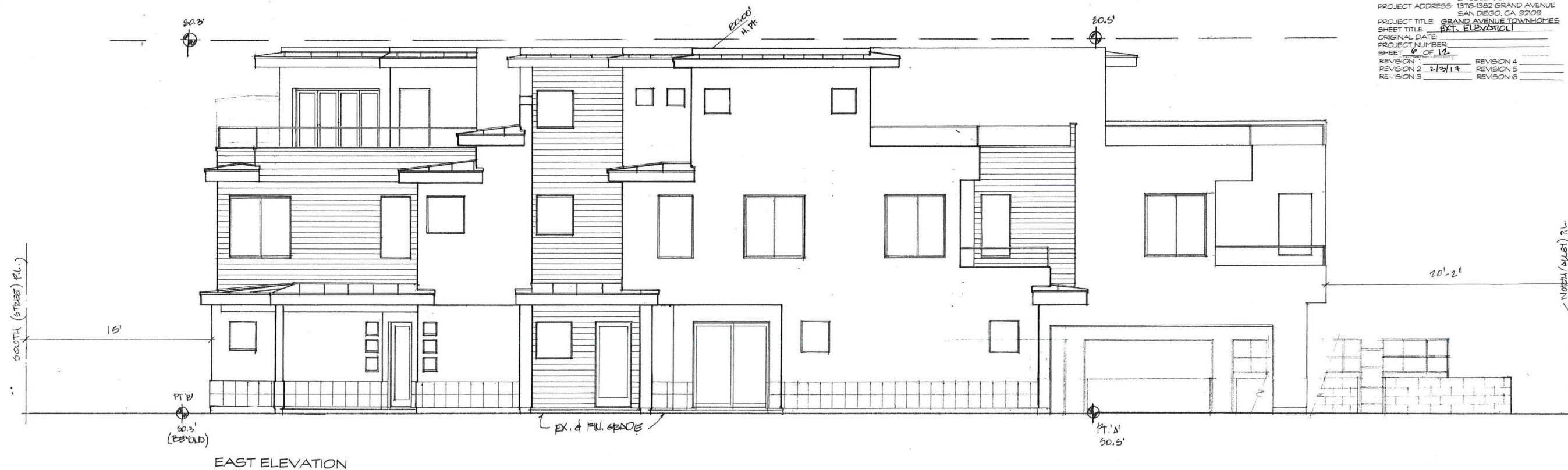
GRAND AVENUE TOWNHOMES
 FOUR TOWNHOME DWELLINGS
 1376-70 GRAND AVENUE
 SAN DIEGO, CALIFORNIA 92109



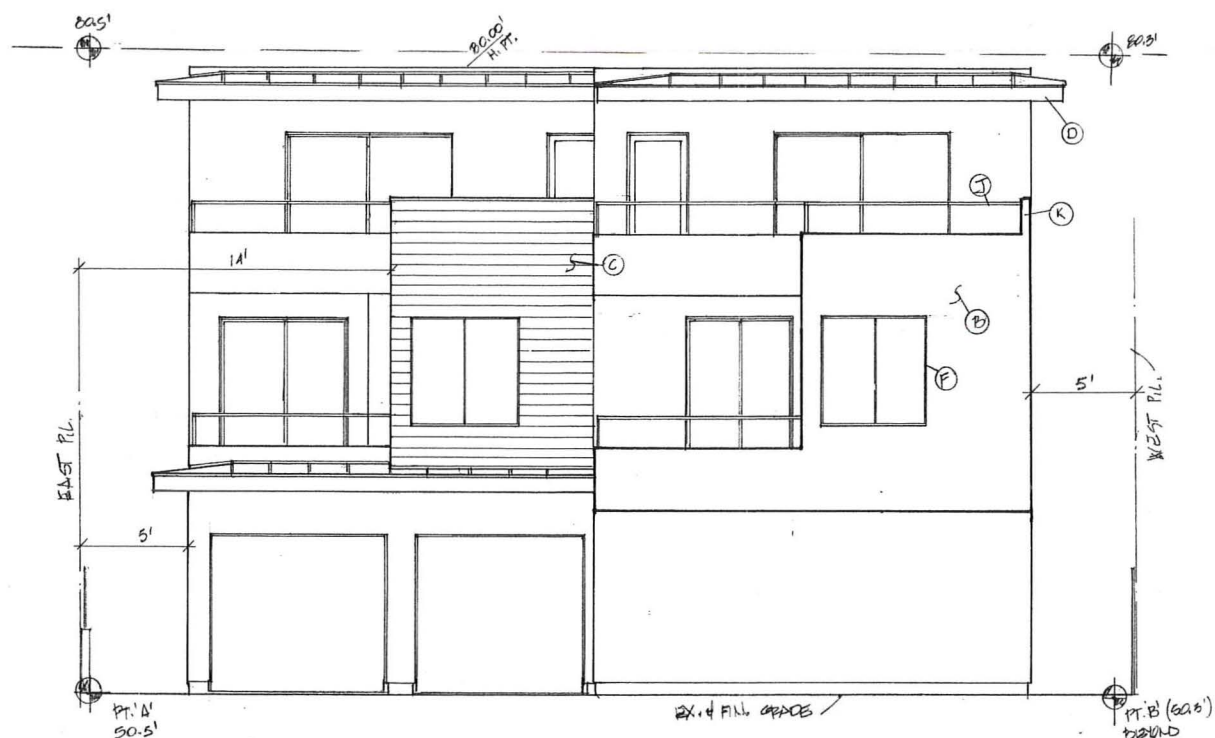
SOUTH ELEVATION

-SEE A6 FOR ELEVATION LEGEND: (X) of MAX. HGT. NOTES

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 5732 BELLEVUE AVE
 LA JOLLA, CA
 PROJECT ADDRESS: 1376-1382 GRAND AVENUE
 SAN DIEGO, CA 92109
 PROJECT TITLE: GRAND AVENUE TOWNHOMES
 SHEET TITLE: EXT. ELEVATION
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
 SHEET _____ OF 12
 REVISION 1: _____ REVISION 4: _____
 REVISION 2: 2/29/14 REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____



EAST ELEVATION

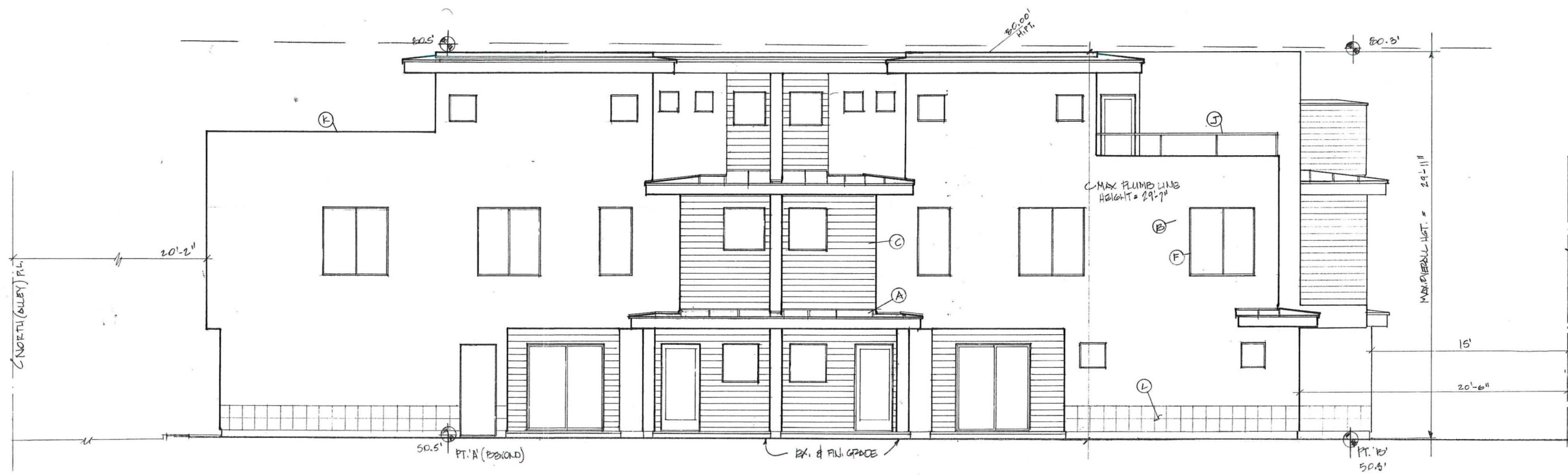


NORTH ELEVATION

1/2" = 1'-0" - TYP

ELEVATION LEGEND (typ.)

- (A) ROOFING: Standing seam metal roofing per plan and notes A4, color per owner
- (B) STUCCO: Sand finished, color per owner, min 7/8" thick
- (C) SIDING: 1 x 6 shiplap siding, blind-nail installation, install over building paper per mfg. Stain/seal
- (D) FASCIA: metal to match roofing (continuous)
- (E) FASCIA: Stucco over wood framing per detail 5/A6
- (F) WINDOWS: Fiberglass frames per schedule.
- (G) CONSTRUCTION JOINT: Aluminum reglet per detail
- (H) FLASHING: 16 oz copper (see notes A4)
- (I) SITE/ FOUNDATION WALLS: Split face CMU or concrete
- (J) RAILING: 18" Temp. glass atop stucco wall; min. 42" above deck surface (or full height glass rail per elevation)
- (K) RAILINGS: Stucco wall to min. 42" above deck
- (L) WALL BASE: Tile base course veneer 12" X 12" slate (or sim)



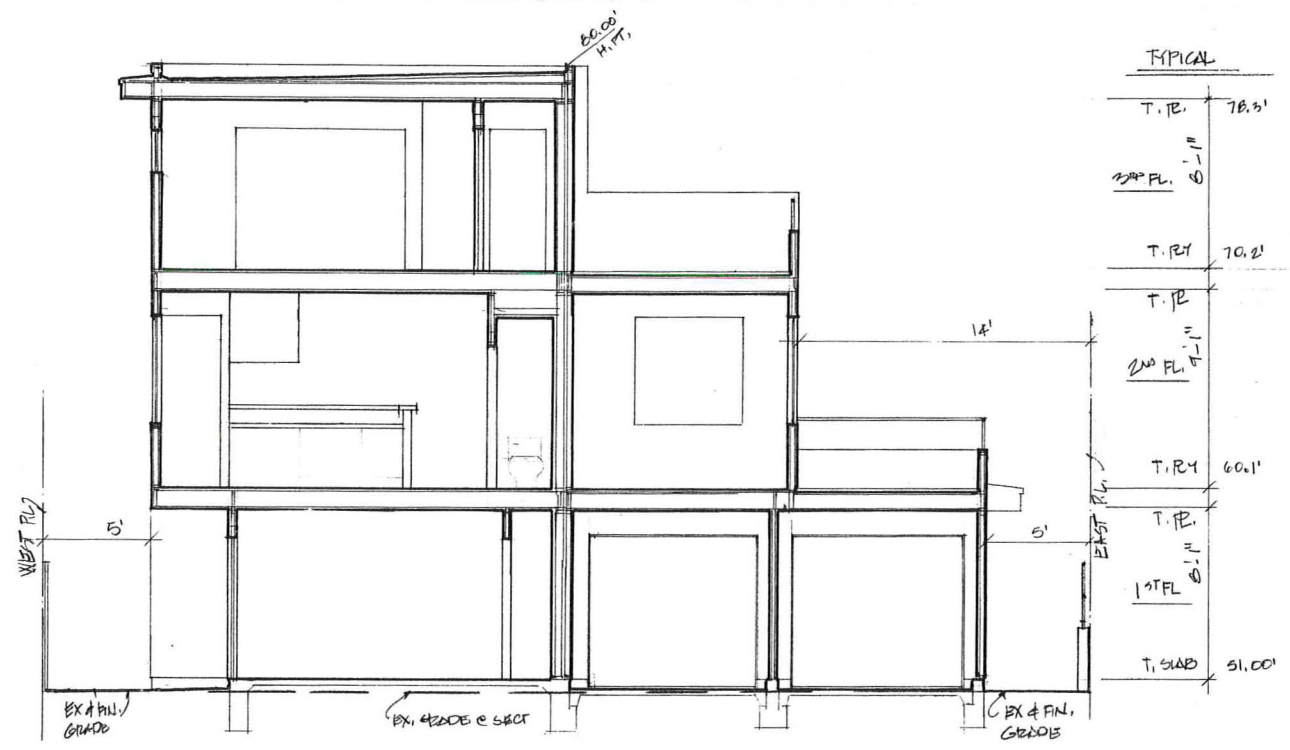
WEST ELEVATION

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 5732 BELLEVUE AVE.
 LA JOLLA, CA
 PROJECT ADDRESS: 1376-1382 GRAND AVENUE
 SAN DIEGO, CA 92109
 PROJECT TITLE: GRAND AVENUE TOWNHOMES
 SHEET TITLE: EXT. ELEVATIONS
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
 SHEET: 7 OF 12
 REVISION 1: 2/2/17 REVISION 4: _____
 REVISION 2: _____ REVISION 5: _____
 REVISION 3: _____ REVISION 6: _____

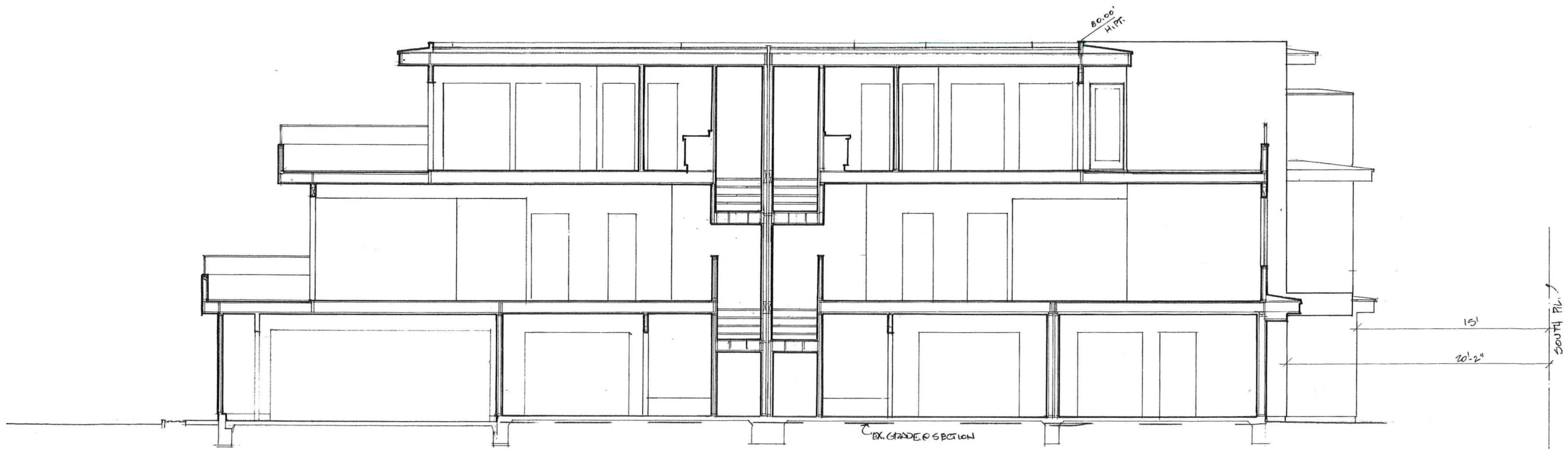
Daniel Linn architect
 5732 Bellevue Avenue La Jolla, CA 92037
 858 459-8108 fax 858 459-8116

GRAND AVENUE TOWNHOMES
 FOUR TOWNHOME DWELLINGS
 1376-70 GRAND AVENUE
 SAN DIEGO, CALIFORNIA 92109

A6



A SECTION
1/4" = 1'-0"



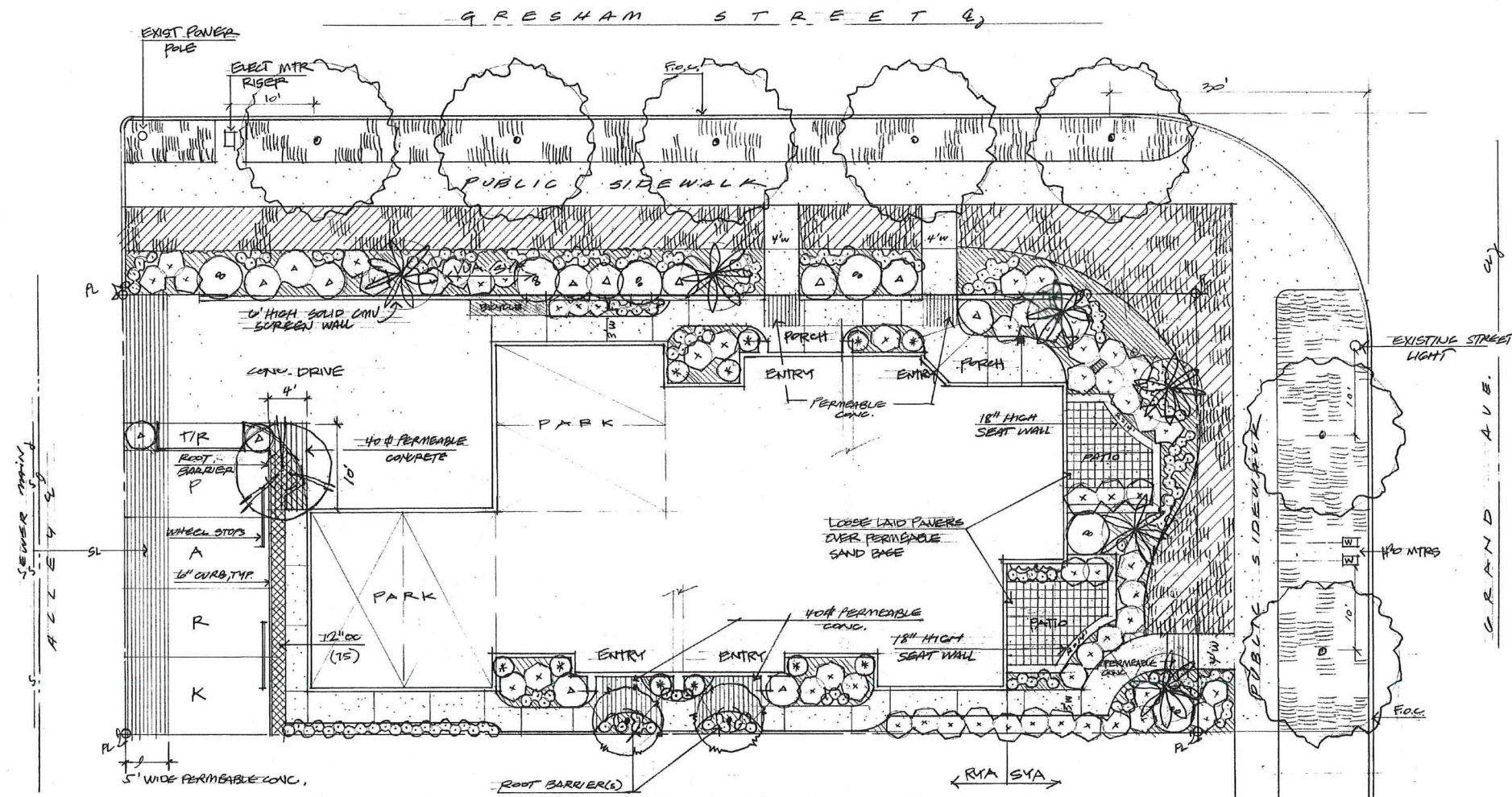
B SECTION
1/4" = 1'-0"

PREPARED BY: DANIEL LINN ARCHITECT
5732 BELLEVUE AVE
LA JOLLA, CA
PROJECT ADDRESS: 1376-1382 GRAND AVENUE
SAN DIEGO, CA 92109
PROJECT TITLE: GRAND AVENUE TOWNHOMES
SHEET TITLE: BLDG. SECTIONS
ORIGINAL DATE: _____
PROJECT NUMBER: _____
SHEET 8 OF 12
REVISION 1: _____ REVISION 4: _____
REVISION 2: 2/2/14 REVISION 5: _____
REVISION 3: _____ REVISION 6: _____

Daniel Linn architect
5732 Bellevue Avenue La Jolla, CA 92037
858 459-8106 fax 858 459-8118

GRAND AVENUE TOWNHOMES
FOUR TOWNHOME DWELLINGS
1376-70 GRAND AVENUE
SAN DIEGO, CALIFORNIA 92109

A7



No existing Specimen tree or plant materials are on site. All Existing plant material located within the building site shall be removed and replaced with size and kind described on planting plan. An Automatic Irrigation system shall be installed as per the SD LTM to ensure healthy growth. All plant materials chosen shall enhance the architecture and be of a low maintenance and low water variety. Irrigation system for all planting areas shall be drip type for water conservation. All shrub planting areas shall be mulched to a depth of 3" minimum to reduce evaporation at root zones and to mitigate weed growth. Turf areas shall be irrigated with pop-up type sprinklers with matched precipitation rates and utilize a tensiometer to reduce overwatering conditions.

Note: All Canopy Trees shall be provided with 40sq. ft. root zone and be planted in an air and water permeable Landscape area. Min dimension 5'

Note: All Landscape and Irrigation shall conform to the standards of the City Wide Landscape Standards Regulations and the City of San Diego Land Development Manual Landscape Standards and all other Landscape related City and Regional Standards.

Note: All Landscape Installations shall be maintained in accordance with the City of San Diego's Land Development Manual Landscape Standards.

Note: Maintenance; All required landscape areas at property and Public R.O.W. shall be maintained by the owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall satisfactorily treated or replaced per the conditions of the permit.

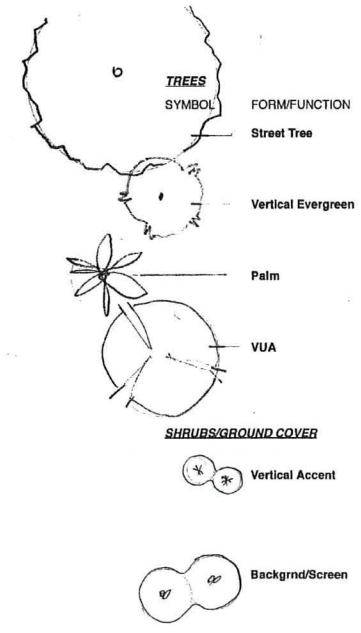
Note: Root barriers shall be placed at all trees within 5' of walks or driveways.

Note: If any hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired or replaced in kind and of equivalent size per the approved plans.

Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC §142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.

Irrigation system shall be:
Drip type at all shrub areas and pop-up overhead spray type at turf areas.

Note: Irrigation systems are to be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards



FORM/FUNCTION	QUAN	BOTANICAL	COMMON	SIZE	MATURE HT	SPREAD
Street Tree	1	Jacaranda GABONIA LEPTO	Jacaranda GOLDENRAIN	24' bx	25'	18'
Vertical Evergreen	1	Tristania	Brisbane Box	24' bx	18'	8'
Palm	1	Archontophoenix	King Palm	8' bh	18'	8'
VUA	1	Lagerstromia Indica Bauhinia Blakeana	Crape myrtle HC Orchid	24' bx	8'	4'
Vertical Accent	1	Nandina Domestica Mahonia Aquatollum	Heavenly Bamboo	15g	6'	3'
Backgrnd/Screen	1	Phormium Tenax Photinia Echium Fastuosum Laptopermum	Flax Photinia Pride of Maderia var: Ruby Glow	15g	6'	4'

SYMBOL	FORM/FUNCTION	BOTANICAL	COMMON	SIZE	SPACING
Mounding	Mounding	Cistus Grevillea Noellii Lavandula	Rockrose lavendar	5g 5g 5g	4' 4' 4'
Perennial	Perennial	Festuca Agapanthus Hemerocallis	red fescue Lily of the Nile Evergreen Daylily	1g 1g 1g	12" 12" 12"
Low Mounding	Low Mounding	Trachelospermum Lantana Monti. Rosmarinus offic.	Star Jasmine Purple Lantana Rosemary	1g 1g 1g	18" 18" 18"
Turf	Turf	Platinum TE Paspalum	Grass	1g	(12") Spacing
Ground Cover	Ground Cover	Ajuga Reptans		1g	(12") Spacing
Mulch	Mulch	Shredded bark mulch min 3" depth all planter area			
Ground Cover	Ground Cover	DYMONDIA MARGARETAE			

Prepared by: **OUTSIDE DIMENSIONS**
15748 Paseo Penasco
Escondido, CA 92025

Contact: Steven Ames
Cell: 619/977-2943
E-mail: stevespotwood@aol.com

Project Name: GRAND AVE TOWNHOMES
Project Address: 1367-70 GRAND AVE
SAN DIEGO 92109

Sheet Title: LANDSCAPE DEV. PLAN.

date: 2/22/2016
scale: 1/8" = 1' - 0"
drawn: Steven

Rev 1 1/17/2011
Rev 2 8/22/16
Rev 1 6/15/16
Orig date: 2/22/16

Sheet ___ of ___
Dep# ___

OUTSIDE

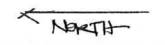
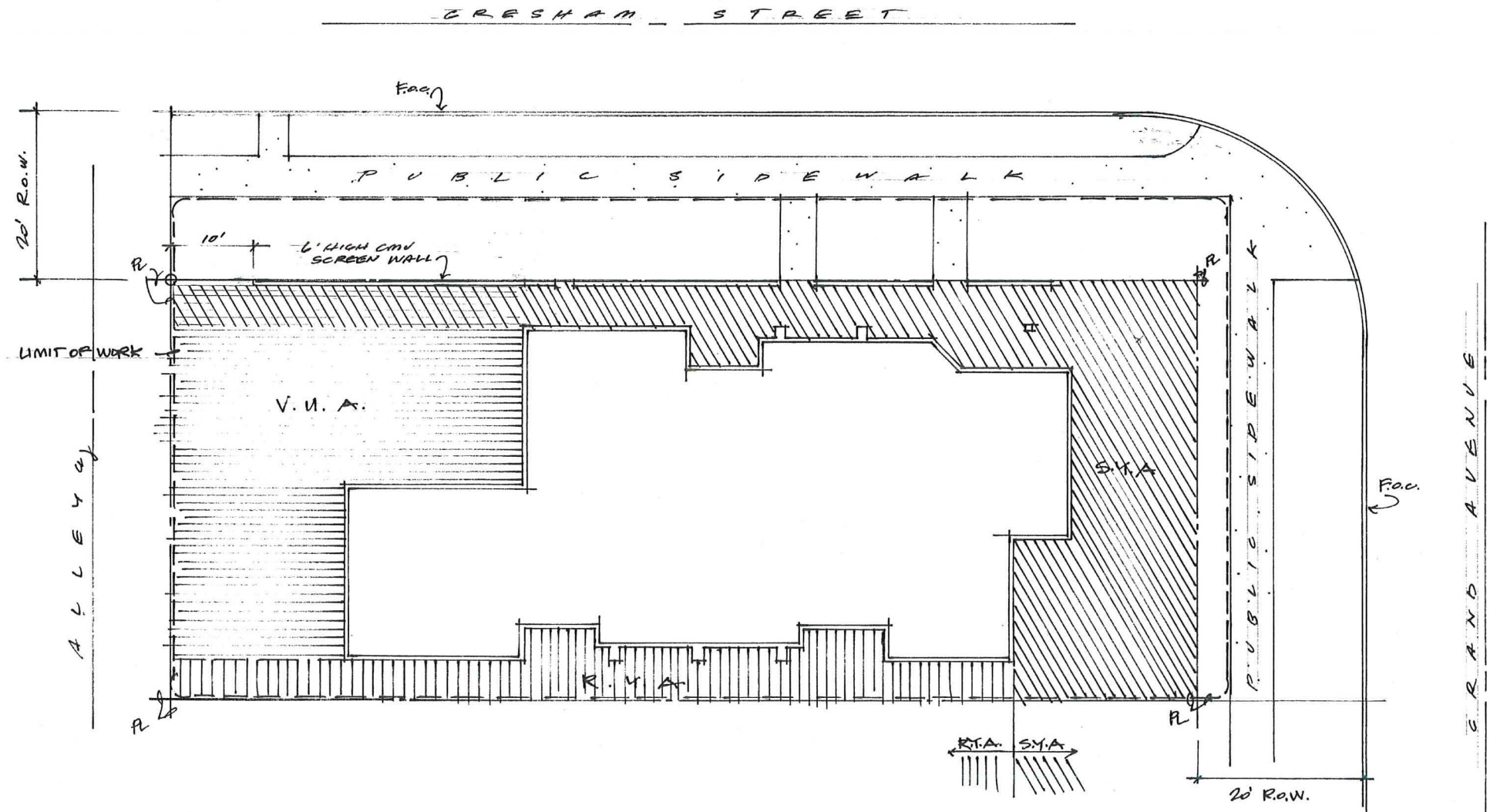
DIMENSIONS

landscape design
phone 619/977-2943
stevespotwood@aol.com
15748 Paseo Penasco
Escondido, CA 92025

L-1

Landscape Development Plan

Grand Avenue Townhomes
1367-70 Grand Avenue
San Diego, 92109



SYA/RVA/VUA Schematic

Grand Avenue Townhomes
1376 Grand Avenue, San Diego, CA

STREET YARD:

* A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
* At least one-half of the required planting points shall be achieved with trees.

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area: 11510 sq. ft. x 50% = 5755 sq. ft.	725 sq. ft.	5030 sq. ft.
Planting Points Required (142.0404)	Plant Points Provided	Excess Points Provided
Total Area: 11510 sq. ft. x 0.05 = 575.5 points	326 points	249.5* points
Points achieved with trees: 76 points		

*DO NOT APPLY TO AREA DEFICIT

REMAINING YARD: 3 or more Dwelling Units:

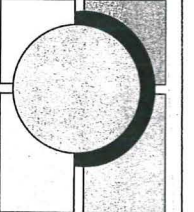
Plant Points Required	Plant Points Provided	Points Achieved with
60 points x 1 # of buildings	117 points	40 Points

VEHICULAR USE AREA (<8,000 sq ft [142.0406 - 142.0407]):

Planting Area Required: provide 40 sq. ft. per tree (with no dimension less than 5')

Plant Points Required	Plant Points Provided	Excess Points Provided
Total VUA: 1472 sq. ft. x 0.05 = 73.6 points	133 points	59.4 points
Points achieved through trees (at least half): 50 points		

OUTSIDE



DIMENSIONS

landscape design
phone 619/977-2943
stevesgotwood@aol.com
15748 Paseo Penasco
Escondido, CA. 92025

date: 6/13/2016

scale: 1/8" = 1' - 0"

drawn: Steven

sheet

L-6

Appendix A: Submittal Templates

City of San Diego Storm Water Requirements Applicability Checklist FORM DS-560 February 2018. Project Address: 1370-1376 GRAND AVE SAN DIEGO 92109. SECTION 1: Construction Storm Water BMP Requirements.

Appendix A: Submittal Templates

City of San Diego Development Services Department Storm Water Requirements Applicability Checklist Page 3 of 4. PART D: PDP Exempt Requirements. PDP Exempt projects are required to implement site design and source control BMPs.

Appendix A: Submittal Templates

Page 2 of 4 City of San Diego Development Services Department Storm Water Requirements Applicability Checklist. PART B: Determine Construction Site Priority. This prioritization must be completed within this form, noted on the plan, and included in the SWPPP or WPCP.

Appendix A: Submittal Templates

Page 4 of 4 City of San Diego Development Services Department Storm Water Requirements Applicability Checklist. 5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface.

Appendix A: Submittal Templates

Source Control BMP Checklist for Standard Projects Form L-4. All development projects must implement source control BMPs SC-1 through SC-6 and Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.

Appendix A: Submittal Templates

Site Design BMP Checklist for Standard Projects Form I-5. All development projects must implement site design BMPs SD-1 through SD-8. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.

SEE (B), BMP 1

3.1 Source Control BMPs (APPLICABLE TO THIS PROJECT...SEE ---TYP.)

3.1.6 Use Efficient Irrigation Systems & Landscape Design Response: Irrigation installation will include these features: no drains proposed in landscape areas...

3.1.7 Design Trash Storage Areas to Reduce Pollution Contribution Response: Trash/Recycle area contains these design elements: slab, enclosure, lids on the receptacles

3.1.10 Employ Integrated Pest Management Principles Response: landscape installation incorporates these principles: pest tolerant plant material, caulk joints and screened openings...

3.1.14 Use Non-Toxic Roofing Materials Where Feasible: Response: design specs accommodate these principles: materials are non-toxic

3.2 Low-Impact Development Design Practices (APPLICABLE TO THIS PROJECT...SEE ---TYP.)

1. Optimize the Site Layout Response: N/A, entire site is being built-out, will retain overall drainage pattern to the extent possible

2. Minimize Impervious Footprint Response: sidewalk widths minimized, paved areas surrounded by landscape.

3. Disperse Runoff to Adjacent Landscaping Response: roof runoff into landscape is part of plan, paved areas are surrounded by landscape to accept runoff from downspouts

4. Construction Considerations Response: soil amendments are part of landscape installation to minimize compaction

PREPARED BY: DANIEL LINN ARCHITECT 1370-1376 GRAND AVE SAN DIEGO CA 92109

Daniel Linn architect 5732 Bellevue Avenue La Jolla, CA 92037 858 459-9108 858 459-8115

GRAND AVENUE TOWNHOMES FOUR TOWNHOME DWELLINGS 1376-70 GRAND AVENUE SAN DIEGO, CALIFORNIA 92109

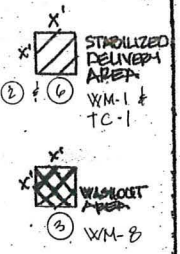
Table with columns for DATE and REVISIONS, showing a series of empty rows for tracking changes.

BMP 1

**(A) STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S**

Notes below represent key minimum requirements for construction BMP's.

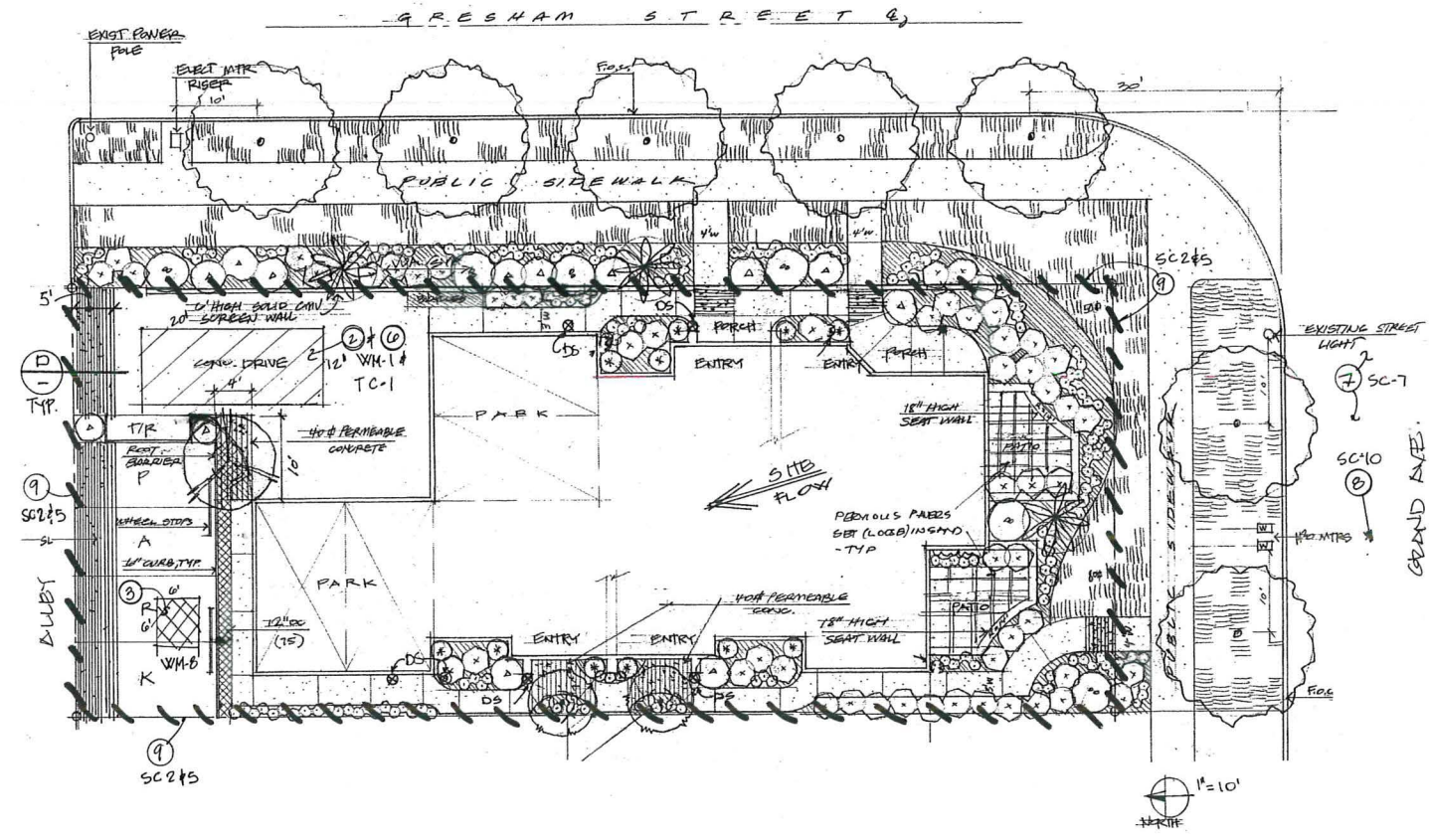
- The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
- All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.
- SWEEP/CLEAN ALLEY ON A DAILY OR HOSE FREQUENTLY IF REQUIRED) DEBRIS TO BE SECURELY STORED UNTIL REMOVAL FROM SITE.
- PROVIDE SAND BAG BARRIERS AT DOWN-STREAM EXIST WATER INLETS, PROVIDE REGULAR INSPECTIONS AND MAINTENANCE. REMOVE UPON COMPLETION OF JOB.
- PROPERTY LINE



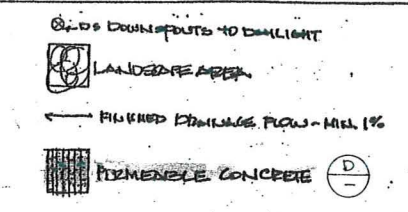
This project shall comply with all requirements of the State permit, California Regional Water Quality Control Board, San Diego, Order No. R9-2007-0001, NPDES, http://www.snrwb.ca.gov/water_issues/program/stormwater/construction.shtml, and the City of San Diego Land Development Code (<http://docs.sandiego.gov/municode/municode/Chapter14/Ch14A.r102/Division7.pdf>) and Storm Water Manual (<http://www.sandiego.gov/development-services/industry/stormwater.shtml>)

PROVIDE FIBER ROLL PER ROLL
 MAINTAIN INTEGRITY OF FIBER AT ALL TIMES
 REPLACE FIBER ROLL AS REQUIRED AND ON REGULAR INSPECTIONS
 SEE DETAIL DRAWING (C) SC 2+5

NOTE
 It shall be the responsibility of the builder to insure that all aspects of these and any additional construction BMP's are observed and implemented. This includes any and all installers, inspections and monitoring of construction BMP's.



(B) POST-CONSTRUCTION LEGEND



NOTE:
 A separate Water Pollution Control Plan (Report) shall be available at all times at the construction site to complement this BMP plan sheet.

SITE RUNOFF:
 Site runoff will be controlled in two basic manners: the majority of the site's runoff (roof areas, walks, etc) will be served by the proposed landscape areas that surround the structure. In areas where there is continuous hardscape between the structure and the Public Way (alley), or between landscape areas and the alley, there will be a 5' wide strip of pervious concrete along the width of the lot at the alley (less a small area of landscape that will serve the same purpose).

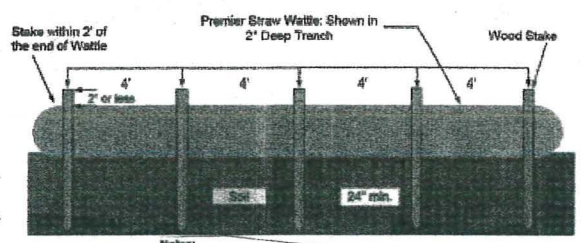
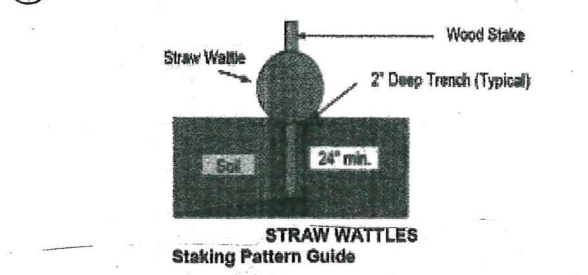
NOTE:
 NO PRIVATE DRAINAGE SYSTEM IS PROPOSED FOR THIS PROJECT

**TABLE 1
 MINIMUM REQUIRED STANDARD CONSTRUCTION STORMWATER BMP'S**
(Source: CALTRANS Stormwater Quality Handbook)

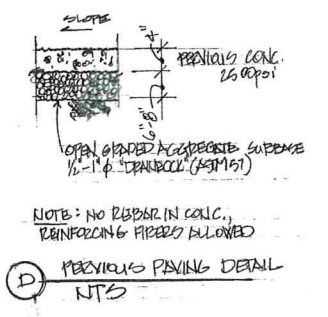
Minimum Required Best Management Practice	CALTRANS Stormwater Quality Handbook Detail	Check at least one time from each section below	If your project requires no BMP from any of the sections below, please explain within space provided
A. Select Erosion Control Method			
Vegetative Stabilization Planting (Seamless)	SS-2, SS-4	<input type="checkbox"/>	
Hydraulic Stabilization Hydroseeding (Seamless)	SS-4	<input type="checkbox"/>	
Biodegradable Erosion Control Blanket (Wool)	SS-3	<input type="checkbox"/>	
Physical Stabilization Erosion Control Blanket (Wool)	SS-7	<input type="checkbox"/>	
Low Permeability Protection Detail	SC-2	<input checked="" type="checkbox"/>	
Track, Stone Washings, Seal Application	SS-6, SS-8	<input type="checkbox"/>	
B. If Runoff or Dewatering Operation is Concentrated, velocity must be controlled using an energy dissipater			
Energy Dissipater Outlet Protection	SS-10	<input type="checkbox"/>	N/A
C. Select Sediment Control method for all disturbed areas (shown at least one)			
Silt Fence	SS-1	<input checked="" type="checkbox"/>	
Fiber Roll Straw Wattles	SS-5	<input checked="" type="checkbox"/>	
Geotextile Filter	SS-6, SS-8	<input type="checkbox"/>	
Dewatering Filtration	SS-2	<input type="checkbox"/>	
Storm Drain Inlet Protection	SS-10	<input type="checkbox"/>	
D. Select method for preventing off-site tracking of sediment (shown at least one)			
Stabilized Construction Entrance	TC-1	<input checked="" type="checkbox"/>	
Entrance Exit Tire Wash	TC-3	<input type="checkbox"/>	
Street Sweeping & Vacuuming	SC-7	<input type="checkbox"/>	
E. Select the General Site Management BMP's for each waste that will be on site			
Material Delivery & Storage	W31-1	<input checked="" type="checkbox"/>	
Spill Prevention & Control	W31-4	<input checked="" type="checkbox"/>	
Concrete Wash Management	W31-6	<input checked="" type="checkbox"/>	
Solid Waste Management	W31-5	<input type="checkbox"/>	
Sanitary Waste Management	W31-9	<input type="checkbox"/>	
Hazardous Waste Management	W31-4	<input type="checkbox"/>	

The applicant must print and sign the following certificate before a permit will be issued.
 I have read and understand that the City of San Diego has adopted minimum requirements for managing urban runoff including storm water, from construction and land development activities. I certify that the BMP's selected on this form will be implemented to minimize the potential negative impacts of this project operation and land development activities on water quality. I further agree to install, maintain, monitor, to remove the selected BMP's to ensure their effectiveness. I also understand that non-compliance with the City's Storm Water Handbook may result in enforcement by the City, including stop-work and/or other actions.
 Signature: *[Signature]* Date: 2/11/16

(C) Wattle Cross Section: On Bare Soil



Notes:
 1. Drawings are not to scale.
 2. Ends of Wattles shall be turned slightly up slope.
 3. Recommended stakes are 1 1/2\"/>



(D) PVIOUS PAVING DETAIL NTS

PREPARED BY: DANIEL LINN ARCHITECT
 5732 BELLEVUE AVE
 LA JOLLA, CA
 PROJECT ADDRESS: 1376-1382 GRAND AVENUE
 SAN DIEGO, CA 92108
 PROJECT TITLE: GRAND AVENUE TOWNHOMES
 SHEET TITLE: BMP 2
 PROJECT NUMBER:
 SHEET 14 OF 12
 REVISION 1: 2/11/16
 REVISION 2: 2/11/16
 REVISION 3: 2/11/16
 REVISION 4:
 REVISION 5:
 REVISION 6:

REVISIONS

1	
2	
3	
4	
5	
6	



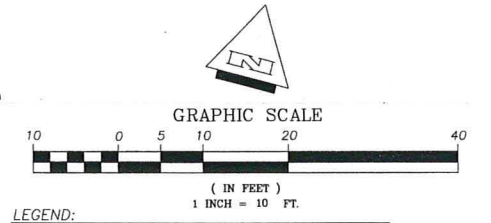
BMP 2

Daniel Linn architect
 5732 Bellevue Avenue La Jolla, CA 92037
 858 459-8108 fax 858 459-8118
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GRAND AVENUE TOWNHOMES
 FOUR TOWNHOME DWELLINGS
 1376-1382 GRAND AVENUE
 SAN DIEGO, CALIFORNIA 92108

1376 Grand Ave. Townhomes

Tentative Map No. 1675323



- LEGEND:**
- ⊗ INDICATES WATER METER
 - ⊕ INDICATES WATER GATE VALVE
 - ⊖ INDICATES SIGN
 - ♿ INDICATES PEDESTRIAN RAMP
 - SCO INDICATES SEWER CLEAN OUT
 - TC INDICATES TOP OF CURB
 - FL INDICATES FLOW LINE
 - T/R INDICATES TRASH/RECYCLE ENCLOSURE
 - (100.0) INDICATES EXISTING ELEVATION
 - 100.0 INDICATES PROPOSED ELEVATION
 - ⊙ INDICATES STREET LIGHT
 - ⊘ INDICATES WOOD FENCE
 - ▬▬▬▬ INDICATES WALL
 - (S)--- INDICATES SEWER LATERAL
 - (W)--- INDICATES WATER SERVICE
 - W--- INDICATES WATER LINE
 - S--- INDICATES SEWER LINE
 - ⊠ INDICATES PARKING SPACE AND NUMBER
 - ⊡ INDICATES PROPERTY LINE/TENTATIVE MAP BOUNDARY

UTILITY TABLE:

UTILITY	OVERHEAD	UNDERGROUND
CATV	X	
ELECTRIC	X	
GAS		X
TELEPHONE	X	

PROFESSIONAL LAND SURVEYOR:

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
 9665 CHESAPEAKE DRIVE, SUITE 445
 SAN DIEGO, CALIFORNIA 92123 (858) 565-8362



06-13-2016 DATE
 ROBERT J. BATEMAN, P.L.S. 7046

ZONING INFORMATION

EXISTING AND PROPOSED ZONE: RM-2-5
 COMMUNITY PLAN NAME: PACIFIC BEACH
 OVERLAY ZONES: AIRPORT ENVIRONS, AIRPORT APPROACH
 COASTAL HEIGHT LIMIT, COASTAL (CITY)

CITY OF SAN DIEGO

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:
TENTATIVE MAP TO CREATE 4 RESIDENTIAL CONDOMINIUM DWELLING UNITS AND FILE A LOT CONSOLIDATION PARCEL MAP
- STREET ADDRESS: 1376 GRAND AVENUE
N. E.S. C.W. SIDE BETWEEN FANUEL STREET AND GRESHAM AVENUE
- SITE AREA:
TOTAL SITE AREA (GROSS): (6,225 SF) 0.1429 ACRE
NET SITE AREA: (6,225 SF) 0.1429 ACRE
- DENSITY: (RESIDENTIAL)
MAXIMUM NO. DWELLING UNITS ALLOWED PER ZONE: 4
NUMBER OF EXISTING UNITS TO REMAIN ON SITE: 0
NUMBER OF PROPOSED DWELLING UNITS ON SITE: 4
TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 4
- YARD/SETBACK STANDARD MINIMUM
STREET YARD: 20' 15'
STREET SIDE YARD: 10' 5'
INTERIOR YARD(S): 15' 15'
- PARKING:
PARKING CRITERIA:
 RESIDENTIAL COMMERCIAL INDUSTRIAL
 MIXED USE OTHER

TYPE OF UNIT	NUMBER OF TYPE	PARKING REQUIRED PER UNIT	TOTAL PER TYPE
2 BR UNIT	4	2	8
TOTAL REQUIRED BY ZONE			8
TOTAL PROVIDED ON-SITE			8

MONUMENTATION & MAPPING

ALL PROPERTY CORNERS WILL BE SET AND A PARCEL MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON SAID MAP.

EXISTING IMPROVEMENTS

WATER DRAWING NO. 35521-18-D
 SEWER DRAWING NO. 23063-5-D

EXISTING & PROPOSED EASEMENTS:

THERE ARE NO EXISTING EASEMENTS ON SITE
 THERE ARE NO PROPOSED EASEMENTS.

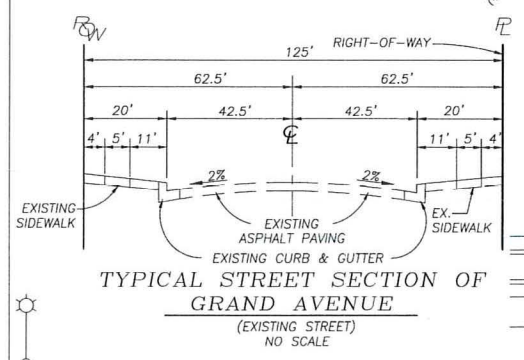
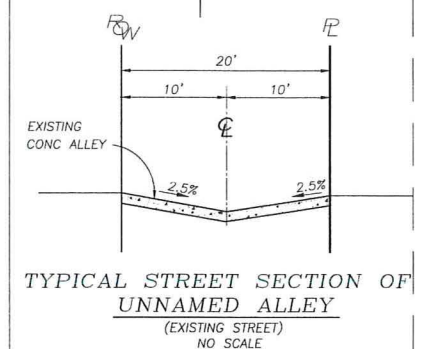
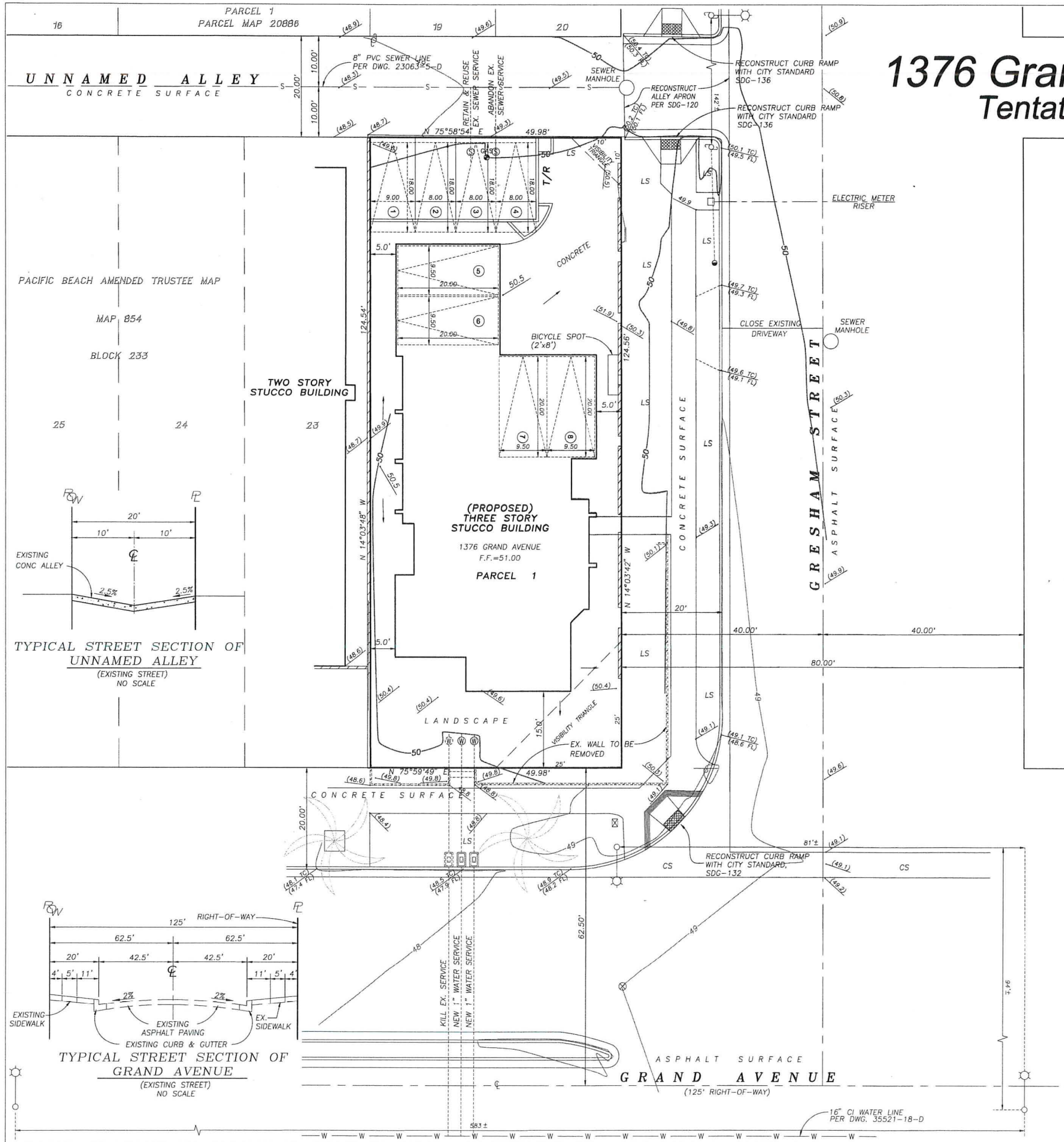
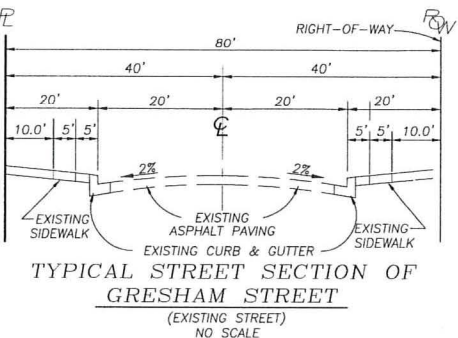
DEVELOPMENT NOTES:

- THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM DWELLING UNITS IS 4.
- NUMBER OF EXISTING LOTS = 2
NUMBER OF PROPOSED LOTS = 1
- THERE IS NO BUS STOP ADJACENT TO THE SITE.

OWNER/DEVELOPER:

UPWARD TREND, LLC
 814 MORENA BOULEVARD, SUITE 102
 SAN DIEGO, CA 92110

DAVID LEPRE, MANAGING MEMBER



<p>Prepared By: SAN DIEGO LAND SURVEYING AND ENGINEERING, INC 9665 CHESAPEAKE DRIVE, SUITE 445 SAN DIEGO, CA 92123-1354 PHONE: 858-565-8362 FAX: 858-565-4354 EMAIL: rbateman@sdise.com</p>	
<p>Consultants:</p>	<p>Basis of Bearings: THE NORTHERLY LINE OF GRAND AVENUE AS SHOWN ON PARCEL MAP NO. 20886. I.E. N 75°59'49" E</p>
<p>Benchmark: CITY OF SAN DIEGO BENCH MARK: NORTHWEST BRASS PLUG AT THE INTERSECTION OF GRAND AVENUE AND GRESHAM STREET. ELEVATION = 48.845 M.S.L.</p>	<p>Project Soil Condition: Existing developed site.</p>
<p>Project Legal Description: LOTS 21 AND 22, IN BLOCK 233, OF PACIFIC BEACH, ACCORDING TO MAPS THEREOF NO. 854 AND 697, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, SEPTEMBER 29, 1898, AND JANUARY 8, 1892 RESPECTIVELY.</p>	<p>Source of Topography: Field survey by San Diego Land Surveying on 05-07-2015</p>
<p>LAMBERT COORDINATES: NAD 27 = 230-1693 NAD 83 = 1870-6253</p>	<p>Project Permits Required: Tentative Map Coastal Development Permit</p>
<p>Project Name: 1376 GRAND AVENUE</p>	<p>Project Data: Number of Stories: 3 Proposed use: Residential Existing use: Residential Zone Designation: RM-2-5 Year of Construction (exist. structure): 1940 Rear 1942 Front</p>
<p>Project Address: 1376 Grand Avenue San Diego, CA 92109</p>	<p>Project Owner: Upward Trend, LLC 814 Morena Blvd., Suite 102 San Diego, CA 92110</p>
<p>Sheet Title: Tentative Map No. 1675323 PTS No. 477022</p>	<p>Scale: 1" = 10' Original Date: February 22, 2016 Revised: June 13, 2016 Revised:</p>