



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 10, 2017 REPORT NO. HO-17-032

HEARING DATE: May 17, 2017

SUBJECT: DUNAWAY ADDITION SDP, Process Three Decision

PROJECT NUMBER: [522992](#)

OWNER/APPLICANT: Lerner Family Trust, Owners
Leticia Bonnet, Architect

SUMMARY

Issue: Should the Hearing Officer approve a Site Development Permit for an addition/remodel to an existing single family dwelling unit with an attached two-car garage located at 8676 Dunaway Drive in the La Jolla Community Plan area?

Staff Recommendation: Approve Site Development Permit No. 1855808.

Community Planning Group Recommendation: On February 2, 2017, the La Jolla Community Planning Association voted 10-2-2 to recommend approval of the project with no conditions. (Attachment 8).

La Jolla Shores Advisory Board: On April 26, 2017, the La Jolla Shores Advisory Board voted 4-0-2 to recommend approval of the project with no conditions (Attachment 8).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15301(e) Existing Facilities, 15304(a) Minor Alterations to Land, and 15332 Infill Development Projects (a) through (e). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 3, 2017, that determination was circulated and the opportunity to appeal that determination ended April 17, 2017.

BACKGROUND/PROJECT DESCRIPTION

The existing home on the project site was built in 1957, and is located on the west side of Dunaway drive just north of Glenmack Lane, approximately one mile east of the Pacific Ocean (Attachment 1). The surrounding properties are fully developed and form a well-established single-dwelling-unit

residential neighborhood (Attachment 3). As the existing structure is more than 45 years old, staff evaluated and concluded it is not significant, and not eligible for historic designation under local, state or federal criteria.

The 8,394-square-foot project site is located in the SF Zone (Single Family Zone) of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact (Coastal and Campus) Overlay Zone, and within the La Jolla Community Plan area. The proposal would construct a new 1,362-square-foot, two-story addition to an existing, 2,402-square-foot, one-story, single family dwelling unit on an 0.19-acre property. Approximately 31 percent of the exterior walls are proposed to be removed, which exempts the proposed development from a Coastal Development Permit pursuant to San Diego Municipal Code (SDMC) Section 126.0704(a)(5). A Site Development Permit is required by SDMC Section 1510.0201(d) for major development within the La Jolla Shores Planned District.

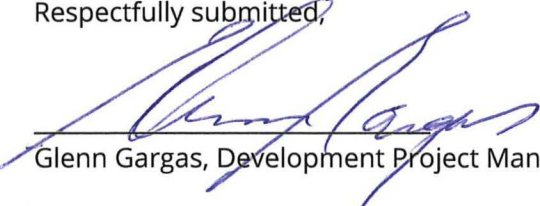
DISCUSSION

The La Jolla Community Plan designates the site as Very Low Density (0-5 DU/acre) Residential. The residential use of the property is consistent with that land use designation at 5 DU/acre. The site does not contain any form of Environmentally Sensitive Lands. The proposed addition to the existing residence will be located within the previously developed portion of the property. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed addition/remodel was found to be in general conformity with setbacks and bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF Zone. All surface drainage run-off will be conveyed through an existing drain system to Dunaway Drive. The project proposes 22 cubic yards of cut grading and zero cubic yards of fill, with 22 cubic yards of export. Following the remodel the residence will be approximately 25 feet, 4 inches in height, and in compliance with the 30-foot height limit. The project conforms to all development regulations of the La Jolla Shores Planned District Ordinance's SF Zone, along with the applicable regulations of the Coastal Overlay Zone.

ALTERNATIVES

1. Approve Site Development Permit No. 1855808, with modifications.
2. Deny Site Development Permit No. 1855808, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

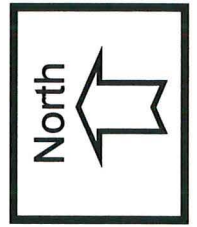
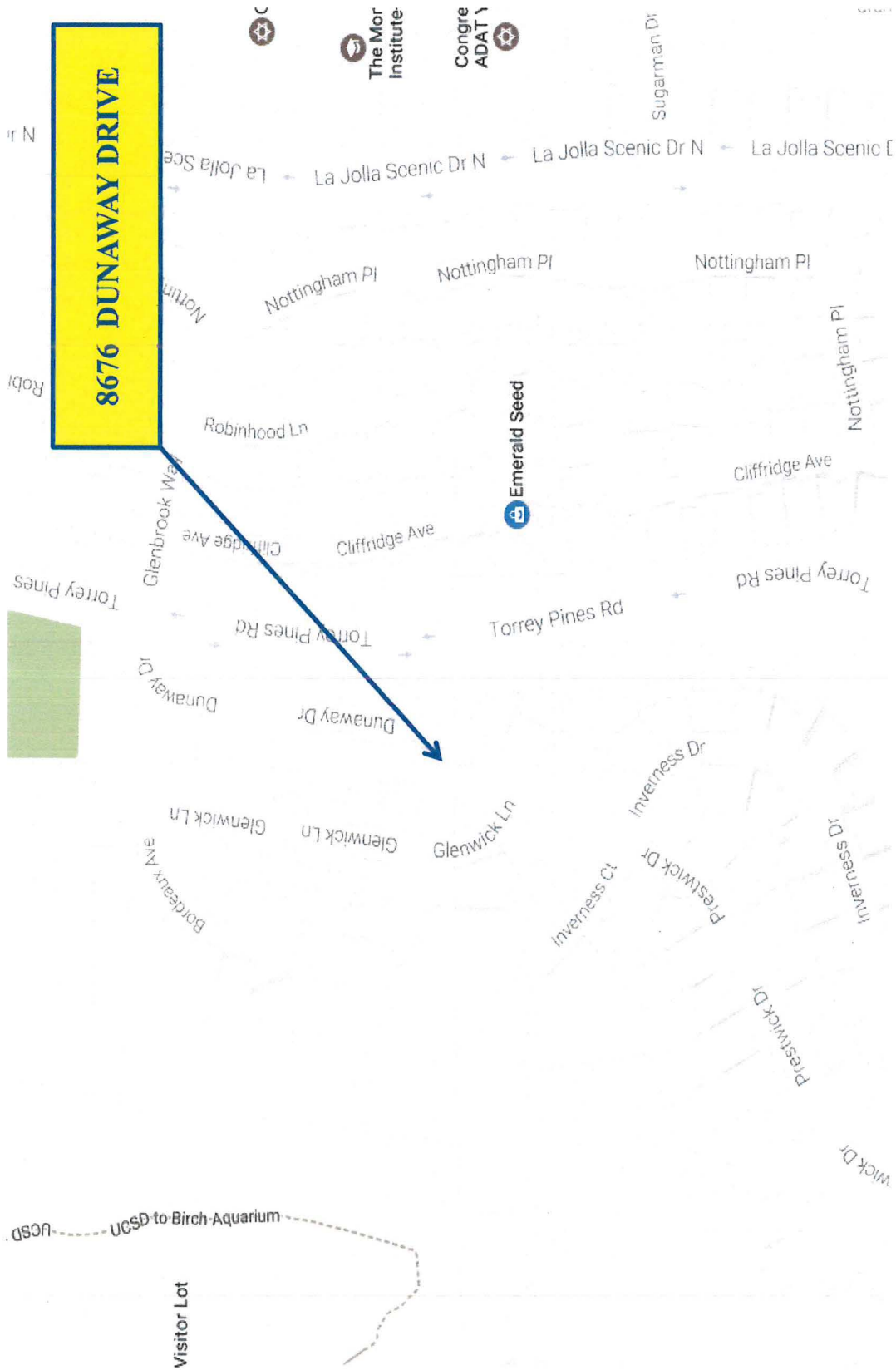


Glenn Gargas, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map

3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Determination
8. Community Planning Group Recommendations
9. Ownership Disclosure Statement
10. Project Plans

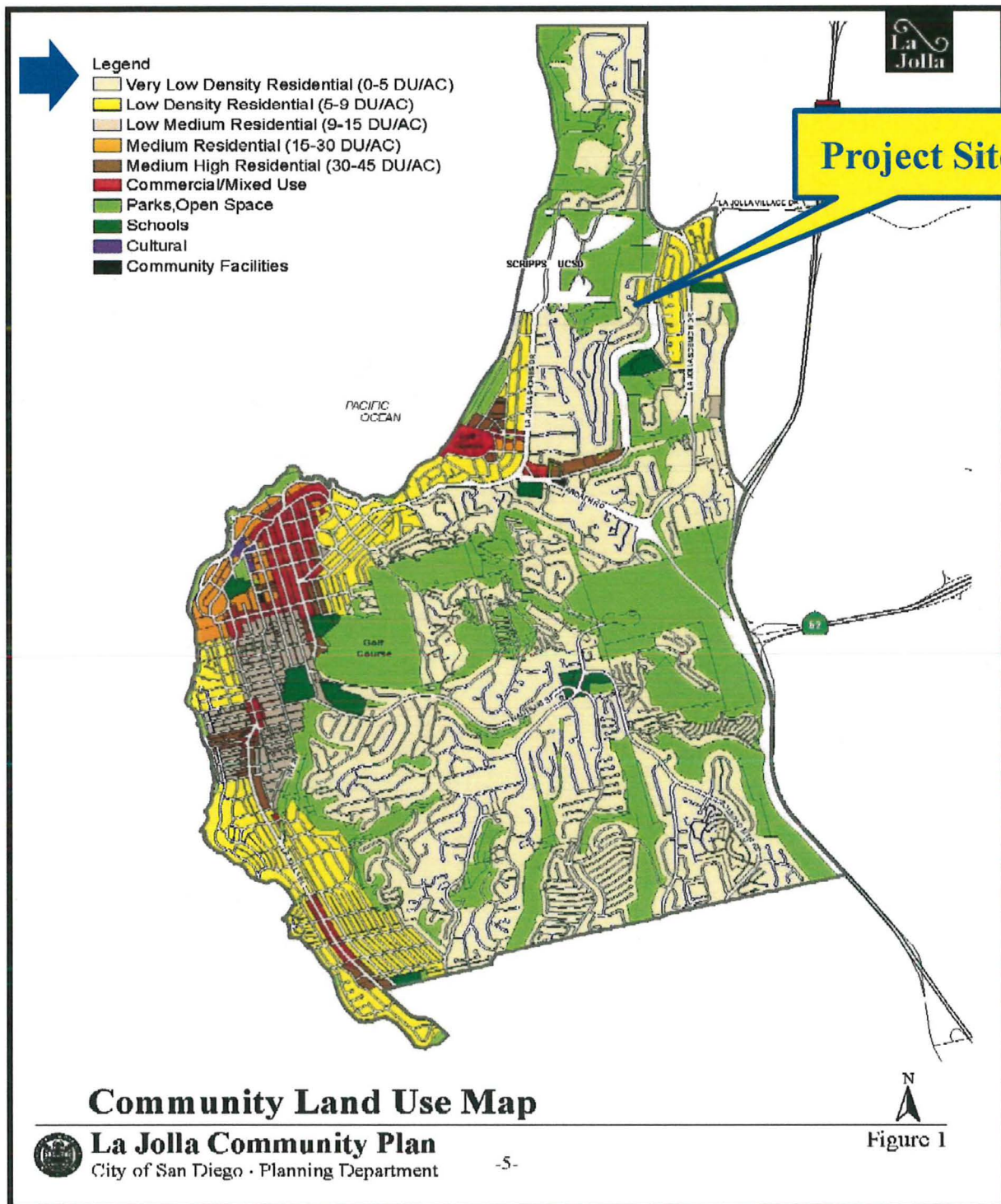


Project Location Map

DUNAWAY ADDITION SDP - 8676 DUNAWAY DRIVE

PROJECT NO. 522992

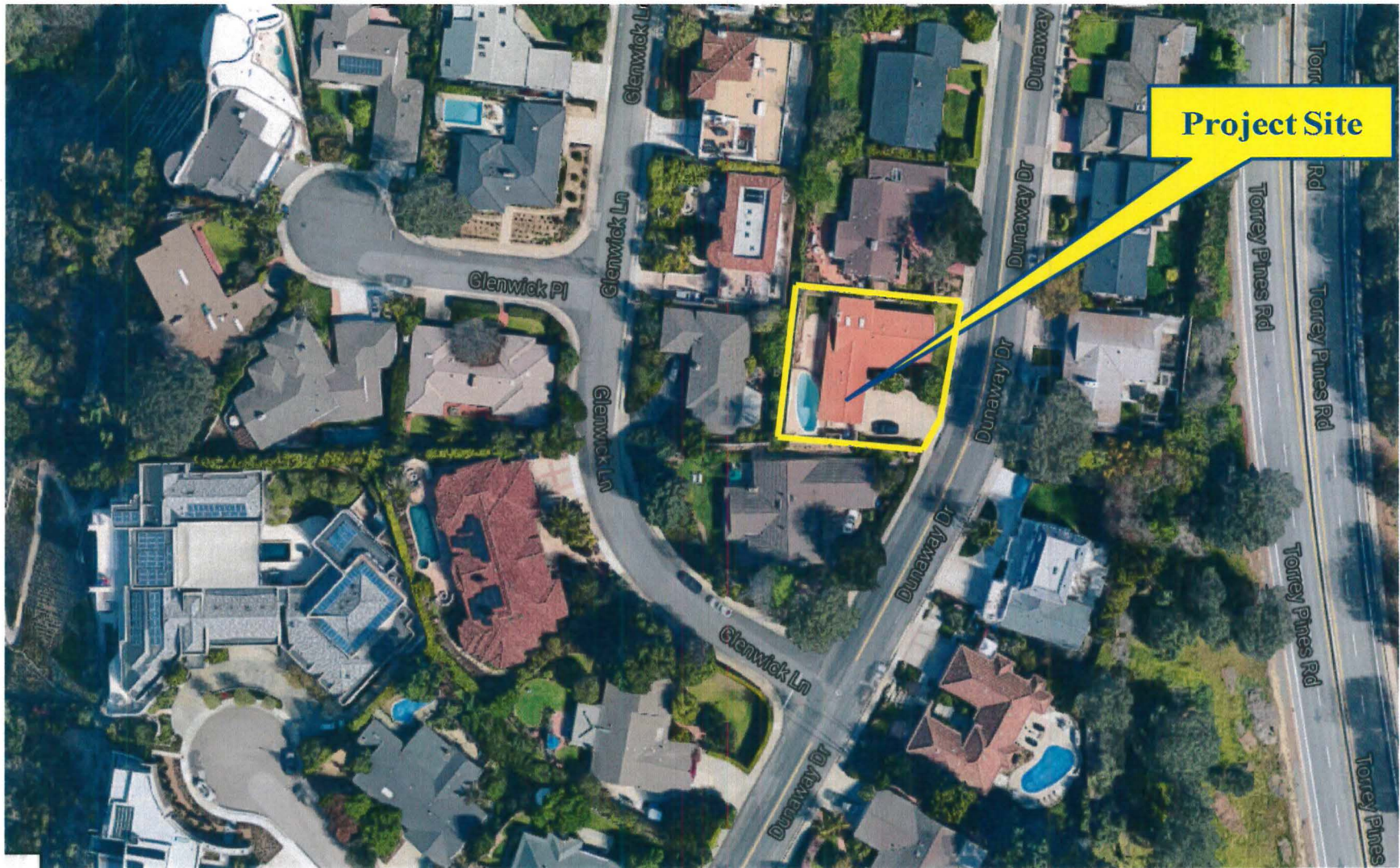




Land Use Map

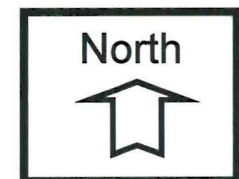
DUNAWAY ADDITION SDP - 8676 DUNAWAY DRIVE
PROJECT NO. 522992 La Jolla





Aerial Photo

DUNAWAY ADDITION SDP - 8676 DUNAWAY DRIVE
PROJECT NO. 522992



PROJECT DATA SHEET

PROJECT NAME:	Dunaway Addition SDP – Project No. 522992	
PROJECT DESCRIPTION:	SDP for construction of a new, 1,362 square-foot, two-story addition to an existing 2,402-square-foot, one-story, single-family dwelling unit on a 8,394 square foot property.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (0-5 DUs per acre)	
<p align="center"><u>ZONING INFORMATION:</u></p> <p>ZONE: SF Zone La Jolla Shores Planned District</p> <p>HEIGHT LIMIT: 30/24-Foot maximum height limit.</p> <p>LOT SIZE: Approx. 6,000 square-foot minimum lot size – existing lot 8,394 sq. ft.</p> <p>FLOOR AREA RATIO: NA – 0.45 proposed</p> <p>FRONT SETBACK: 16 feet proposed</p> <p>SIDE SETBACK: 4 feet existing and proposed</p> <p>STREETSIDE SETBACK: NA</p> <p>REAR SETBACK: 420 feet 9 inches existing and proposed</p> <p>PARKING: 2 parking spaces required –2 proposed.</p>		
<u>ADJACENT</u> PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
SOUTH:	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
EAST:	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
WEST:	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
DEVIATIONS OR VARIANCES	None	

ATTACHMENT 4

REQUESTED:	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The La Jolla Community Planning Association voted 10-2-2 to recommended approval the project at their February 2, 2017 meeting.

**HEARING OFFICER RESOLUTION NO. ____
SITE DEVELOPMENT PERMIT NO. 1885808
DUNAWAY ADDITION SDP - PROJECT NO. 522992**

WHEREAS, Ian Amihay Lerner and Golnoosh Lerner, Trustees of the Lerner Family Trust dated January 26, 2006, Owner/Permittee, filed an application with the City of San Diego for a permit to add onto and remodel an existing single family dwelling unit with an attached two-car garage and pool (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1885808), on portions of a 0.19-acre property;

WHEREAS, the project site is located at 8676 Dunaway Drive, in the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact (Coastal and Campus) Overlay Zone, and within the La Jolla Community Plan area;

WHEREAS, the site is legally described as; Lot 30, La Jolla Highlands Unit No. 2, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 3361, filed in the office of the County Recorder of San Diego County, January 27, 1956.

WHEREAS, on April 3, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301(e) Existing Facilities, 15304(a) Minor Alterations to Land, and 15332 Infill Development Projects (a) through (e) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 17, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1885808, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 17, 2017.

FINDINGS:

Site Development Permit - Municipal Code Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes a 1,362-square-foot, two-story addition to an existing, 2,402-square-foot, one-story, single family dwelling unit with an attached two-car garage within a previously disturbed portion of the project site. The proposed project is located in an area identified as Very Low density (0-5 DU/acre) residential within the La Jolla Community Plan (LJCP). The residential use of the property is consistent with the land use designation at 5 DU/acre. The project site does not contain or is not adjacent to any identified public access or any identified public views identified by the La Jolla Community Plan and Local Coastal Land Use Plan. The proposed single family dwelling unit was found consistent with the SF Zone of the La Jolla Shores Planned District development regulations,

allowed density and design recommendations. Thus, this single family residential dwelling unit addition/remodel will not adversely affect the La Jolla Community land use plan.

2. The proposed development will not be detrimental to the public health, safety and welfare.

The proposed proposes a 1,362-square-foot, two-story addition to an existing, 2,402-square-foot, one-story, single family dwelling unit with an attached two-car garage within a previously disturbed portion of the project site which has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District. The environmental review, determined that the project, a proposed two-story addition to an existing single family residence, would not have a significant environmental effect and found it categorically exempt under the California Environmental Quality Act (CEQA). The environmental analysis did not identify any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed proposes a 1,362-square-foot, two-story addition to an existing, 2,402-square-foot, one-story, single family dwelling unit with an attached two-car garage is located within a previously disturbed portion of the project site, will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District. Based on a submitted neighborhood survey of the existing development pattern, bulk and scale comparisons, the proposed addition/remodeled residence was found to be in general conformity of setbacks, bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance's SF Zone. There are no proposed variances or deviations to the development regulations of the Land Development Code. The building setbacks, drainage, lot coverage, building mass, building height, landscaping, public views and public access will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1855808 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1855808, a copy of which is attached hereto and made a part hereof.

ATTACHMENT 5

Development Project Manager
Development Services

Adopted on: May 17, 2017.

Job Order No. 24007082

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007082

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1855808
DUNAWAY ADDITION SDP - PROJECT NO. 522992
HEARING OFFICER

This Site Development Permit is granted by the Hearing Officer of the City of San Diego to Lerner Family Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 1510.0201. The 0.19-acre site is located at 8676 Dunaway Drive, in the SF Zone of the La Jolla Shores Planned District, Coastal (non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact (coastal and Campus) Overlay Zone within the La Jolla Community Plan area. The project site is legally described as: Lot 30, La Jolla Highlands Unit No. 2, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 3361, filed in the office of the County Recorder of San Diego County, January 27, 1956.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for an addition remodel to an existing single family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 17, 2017, on file in the Development Services Department.

The project shall include:

- a. Construction of a 1,362-square-foot, two-story, addition to an existing, 2,402-square-foot, one-story, single family dwelling unit, resulting in a 3,764 square feet, two-story, single family dwelling unit;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site walls and fence; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 1, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. The Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

12. The Climate Action Plan strategies as identified on Exhibit "A" shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The project proposes to export 22 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 17, 2017, by Resolution No. ____.

ATTACHMENT 6

Permit Type/PTS Approval No.: SDP No. 1855808

Date of Approval: May 17, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Lerner Family Trust
Owner/Permittee

By _____
Ian Amihay Lerner, Trustee

Lerner Family Trust
Owner/Permittee

By _____
Golnoosh Lerner, Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

DATE OF NOTICE: April 3, 2016

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007082

PROJECT NO: 522992
PROJECT NAME: Dunaway Addition SDP
COMMUNITY PLAN AREA: La Jolla
COUNCIL DISTRICT: 1
LOCATION: 8676 Dunaway Drive, La Jolla, CA 92037

PROJECT DESCRIPTION:

SITE DEVELOPMENT PERMIT #1855808 (PROCESS 3) for a 1,362 square foot two story addition to an existing one story single family residence totaling 3,764 square feet. The 0.2 acre site is located within the Coastal Overlay Zone (Non-Appealable 2) at 8676 Dunaway Drive in the LJSPD-SF of La Jolla Shores Planned District within the La Jolla Community Plan Local Coastal Program, Coastal Height Limitation Overlay Zone, Parking Impact (Coastal and Campus) Overlay Zones, and within Council District 1. (LEGAL DESCRIPTION: Lot 30 of La Jolla Highlands Unit No. 2, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 3361, filed in the office of the County Recorder of San Diego County, January 27, 1956)

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego

ENVIRONMENTAL DETERMINATION: Categorically exempt according to State CEQA Guidelines Section(s) 15301(e) Existing Facilities, 15304(a) Minor Alterations to Land, and 15332 Infill Development Projects (a) through (e).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Sections 15301(a) (Existing Facilities) and 15304(a) (Minor Alterations to Land) and 15332 Infill Development Projects 15303 (a) through (e). The exemptions are appropriate because 15301(a) allow for the minor demolition activities related to the existing structure and the project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and the area in which the project is located is not environmentally sensitive. Section 15304(a) is appropriate because grading would occur on land with a slope of less than 10 percent and the site is not located within a waterway, a wetland, in an officially designated (by federal, state, or local government action) scenic area, or in officially mapped areas of severe

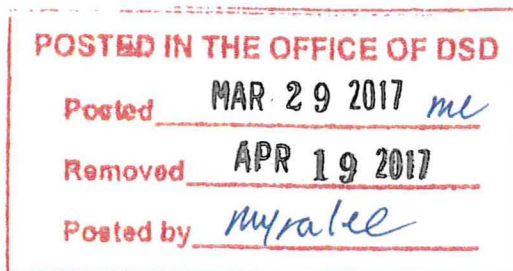
geologic hazard such as an Alquist-Priolo Earthquake Fault Zone or within an official Seismic Hazard Zone, as delineated by the State Geologist. Section 15303 (a) through (e) is appropriate because the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare or threatened species; approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services. Furthermore, the exceptions listed in CEQA Section 15300.2 do not apply because the existing residence was found not to be historically significant, and the site itself has been previously developed, which is devoid of sensitive resources, and proposal is not located at an identified hazardous site.

CITY PROJECT MANAGER: Glenn Gargas
MAILING ADDRESS: 1222 First Avenue, Suite 501 (MS #501), San Diego, CA 92101
PHONE NUMBER/E-MAIL: (619) 446-5142 / GGargas@sandiego.gov

On April 3, 2016 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (April 17, 2017). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





La Jolla Community Planning Association

Glenn Gargas
City of San Diego
Development Services Department

Date: February 3rd, 2017

Subject: La Jolla Community Planning Association Findings

RE: Dunaway Addition AKA Lerner Residence

On February 2017 at the Regular Meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed **the Dunaway Addition AKA Lerner Residence** as an Action Item.

LERNER RESIDENCE 8676 Dunaway Drive **SDP**

Site Development Permit for a two-story 1,362 sq ft addition/ remodel to an existing 2,402 sq ft, one-story residence resulting in a total of 3764 sq ft. The proposed lot coverage is 35%. The proposed maximum height is 25'-4". Approximately 31% of the exterior walls are proposed to be removed (does not necessitate a Coastal Development Permit).

The 0.2 acre site is located at 8676 Dunaway within the Coastal Overlay Zone (non-appealable) within LJSPD-SF base zone within the La Community Plan within Council District 1.

PRC RECOMMENDATION: Findings CAN be made for a Site Development Permit 5-1-0

LJCPA RECOMMENDATION: Findings CAN be made for a Site Development Permit 16-0-1

Cindy Greatrex

Cindy Greatrex
Chair
858-456-7900

La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

Project: PTS 522992 – Dunaway Addition SDP **Action Item:** D **Date:** 4/26/17

Applicant: Leticia Bonnet

Address: 8676 Dunaway

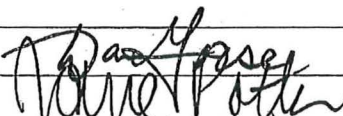
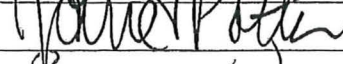

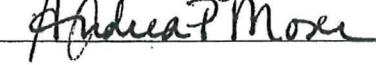
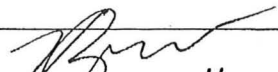
Description: Site Development Permit (Process 3) for a 1,362 sq. ft., two story addition to an existing, 2,402 sf one-story single-family residence, resulting in a 3,764 square feet two story residence on a 8,394 square foot property.

Recommendation

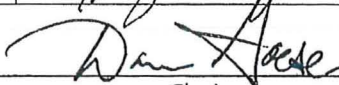
- ☐ A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- ☒ B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- ☐ C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- ☐ D. Approval subject to the following modifications to ensure conformity to the LJSPD.

- ☐ E. No recommendation due to a lack of four affirmative votes.
- ☐ F. Concept Review Only

Board Signatures

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:


Chairperson



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Project No. For City Use Only

Lerner Residence

Project Address:

8676 Dunaway Drive, La Jolla, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☒ No

Name of Individual (type or print):

Ian Amihay Lerner

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

8676 Dunaway Drive

City/State/Zip:

La Jolla, CA 92037

Phone No:

Fax No:

Signature :

Date:

11/2/16

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Golnoosh Lerner

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

8676 Dunaway Drive

City/State/Zip:

La Jolla, CA 92037

Phone No:

Fax No:

Signature :

Date:

11/2/16

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

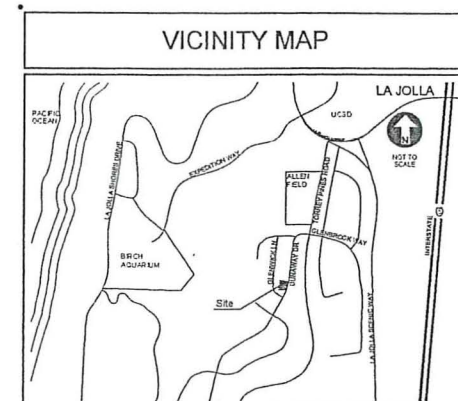
City/State/Zip:

Phone No:

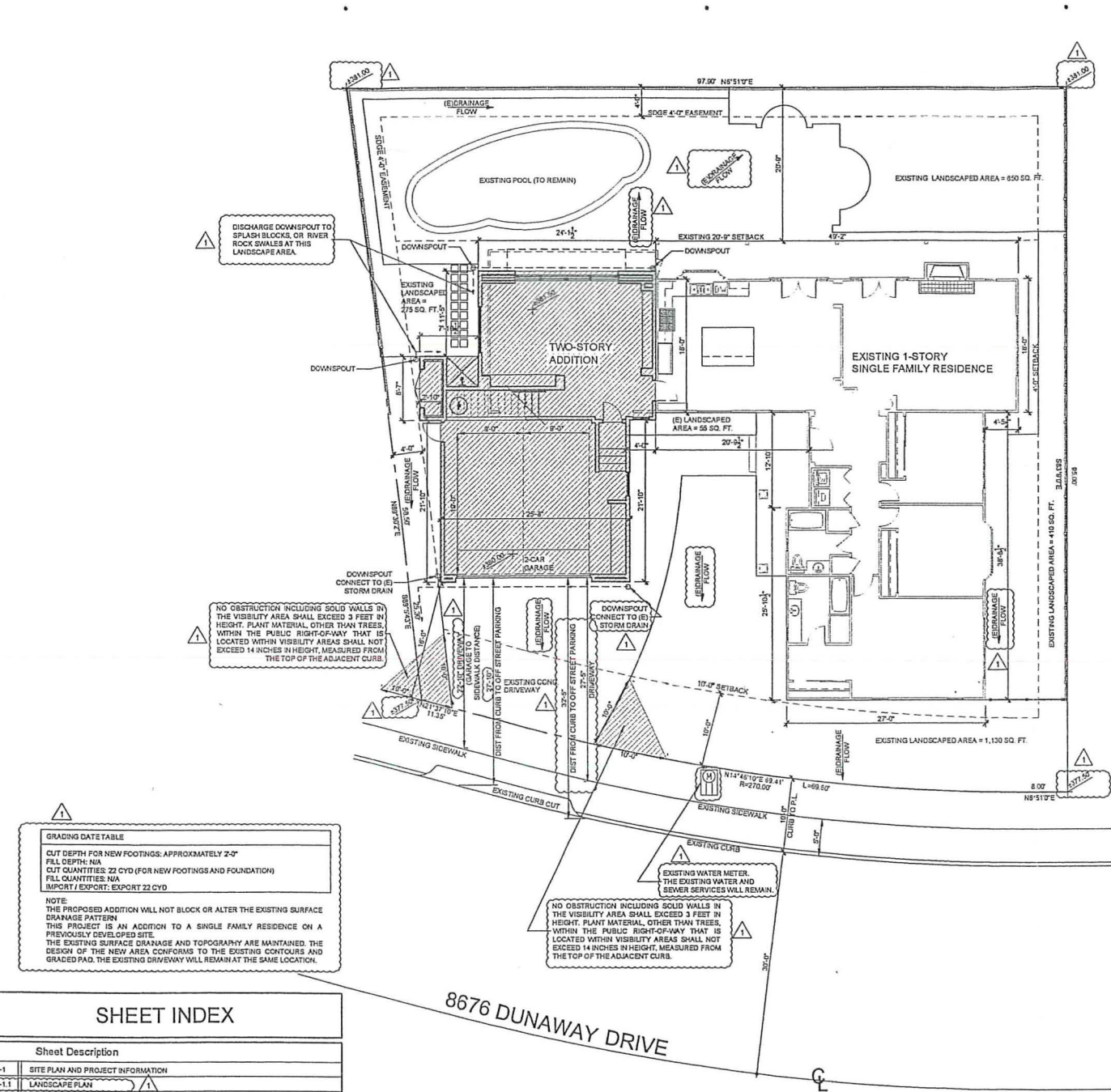
Fax No:

Signature :

Date:



DEVELOPMENT SUMMARY	
SCOPE OF WORK	
ADDITION TO A 1-STORY SINGLE FAMILY RESIDENCE: 658 SQ. FT. ON FIRST FLOOR AND 784 SQ. FT. SECOND FLOOR.	
PROJECT ADDRESS	
8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037	
PROJECT TEAM	
ARCHITECT: DESIGN LEAD, ARCHITECTS 7881 GIRARD AVENUE, SUITE 200 LA JOLLA, CA 92037 (619) 459-9114 CONTACT: SAYASH KHUJAZADEH	STRUCTURAL: SALEH HARRIS HARRIS ENGINEERING 7723 RAY AVE., SUITE #8 LA JOLLA, CA 92037 (619) 459-9969
LEGAL DESCRIPTION	
LOT 30 OF LA JOLLA HIGHLANDS UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3361, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 27, 1993.	
ASSESSOR PARCEL NO.	
344-113-09-00	
OWNER	
IAN AND GOLNOOSH LERNER 8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037	
SITE INFORMATION	
TYPE OF CONSTRUCTION	TYPE "A"
GROUP OCCUPANCY	R-3 (SINGLE FAMILY)
ZONING	LSPD-SF - LA JOLLA SHORES PLANNED DISTRICT, SINGLE FAMILY
OVERLAY ZONES	COASTAL HEIGHT LIMIT COASTAL (CITY) PARKING IMPACT CAMPUS
HISTORIC	NO, PER PRELIMINARY REVIEW PROJECT # 44349 (STRUCTURE BUILT IN 1957)
GROSS SITE AREA:	8,394.20 SQ. FT.
SETBACKS	FRONT SETBACK: 16'-0" NEW ADDITION 10'-0" (PER MAP NO. 3361, SHEET 3, LA JOLLA HIGHLANDS UNIT 2), SIDE SETBACK: 4'-0" REAR SETBACK: 20'-0" (EXISTING)
BUILDING HEIGHT:	NO BUILDING SHALL BE CONSTRUCTED, ALTERED OR ENLARGED TO A HEIGHT GREATER THAN 30'-0"
MAX. LOT COVERAGE:	60% (8,394.20'x100' = 8,394.20 SQ. FT.)
PROPOSED LOT COVERAGE:	35% (2,952.92 SQ. FT.)
GEOLOGIC HAZARD CATEGORY	S3
EXISTING AND PROPOSED BUILDING AREAS	EXISTING: EXISTING FIRST FLOOR AREA: 1,904.00 SQ. FT. EXISTING GARAGE: 468.00 SQ. FT. TOTAL: 2,402.00 SQ. FT. PROPOSED ADDITION: FIRST FLOOR: 658.00 SQ. FT. SECOND FLOOR: 784.00 SQ. FT. TOTAL: 1,442.00 SQ. FT. TOTAL AREA: 3,784.00 SQ. FT.
PROPOSED LANDSCAPE AREA	THE MINIMUM LANDSCAPED AREA SHALL BE NO LESS THAN 30% FOR THE TOTAL PROPERTY AREA: 8,394.20 SQ. FT. x 30% = 2,518.26 SQ. FT. PROVIDED: TOTAL OF 2,520 SQ. FT. (SEE SITE PLAN)



GRADING DATA TABLE	
CUT DEPTH FOR NEW FOOTINGS: APPROXIMATELY 2'-0"	
FILL DEPTH: N/A	
CUT QUANTITIES: 22 CYD (FOR NEW FOOTINGS AND FOUNDATION)	
FILL QUANTITIES: N/A	
IMPORT/EXPORT: EXPORT 22 CYD	

NOTE:
THE PROPOSED ADDITION WILL NOT BLOCK OR ALTER THE EXISTING SURFACE DRAINAGE PATTERN.
THIS PROJECT IS AN ADDITION TO A SINGLE FAMILY RESIDENCE ON A PREVIOUSLY DEVELOPED SITE.
THE EXISTING SURFACE DRAINAGE AND TOPOGRAPHY ARE MAINTAINED. THE DESIGN OF THE NEW AREA CONFORMS TO THE EXISTING CONTOURS AND GRADED PAD. THE EXISTING DRIVEWAY WILL REMAIN AT THE SAME LOCATION.

SHEET INDEX	
Sheet Description	
A-1	SITE PLAN AND PROJECT INFORMATION
A-1.1	LANDSCAPE PLAN
A-2	DEMOLITION FLOOR PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	ROOF PLAN
A-6	ELEVATIONS
A-7	ELEVATIONS
A-8	SECTIONS

SITE PLAN

- NOTES:
- 1- THE MINIMUM LANDSCAPED AREA SHALL BE NO LESS THAN 30% FOR THE TOTAL PROPERTY AREA: 8,394.20 SQ. FT. x 30% = 2,518.26 SQ. FT. PROVIDED: 1,130 SQ. FT. + 55 SQ. FT. + 410 SQ. FT. + 850 SQ. FT. + 295 SQ. FT. = TOTAL OF 2,530 SQ. FT.
 - 2- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-8 (MFC 001.4.4)
 - 3- NO TRANSIT STOP ADJACENT TO PROPERTY
 - 4- NO FIRE HYDRANT LOCATED WITHIN 800' OF THE PROPERTY
- STORMWATER NOTES:
1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
 4. THE PROPOSED ADDITION WILL NOT BLOCK OR ALTER THE EXISTING SURFACE DRAINAGE PATTERN.
- NSL DATUM AND BENCHMARK INFORMATION:
NSL DATUM TOPOGRAPHY INFORMATION FROM MAP 3361, LA JOLLA HIGHLANDS UNIT 2
CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK: DUNAWAY DRIVE, NORTH = 2561; EASTING = 16849; ELEVATION = 377.583

PROJECT TITLE
Lerner Residence
8676 DUNAWAY DRIVE
LA JOLLA, CALIFORNIA 92037
APN# 344-113-09-00

AFFILIANT
Design Lead Architects
1620 Grand Avenue, Suite 200
La Jolla, California 92037

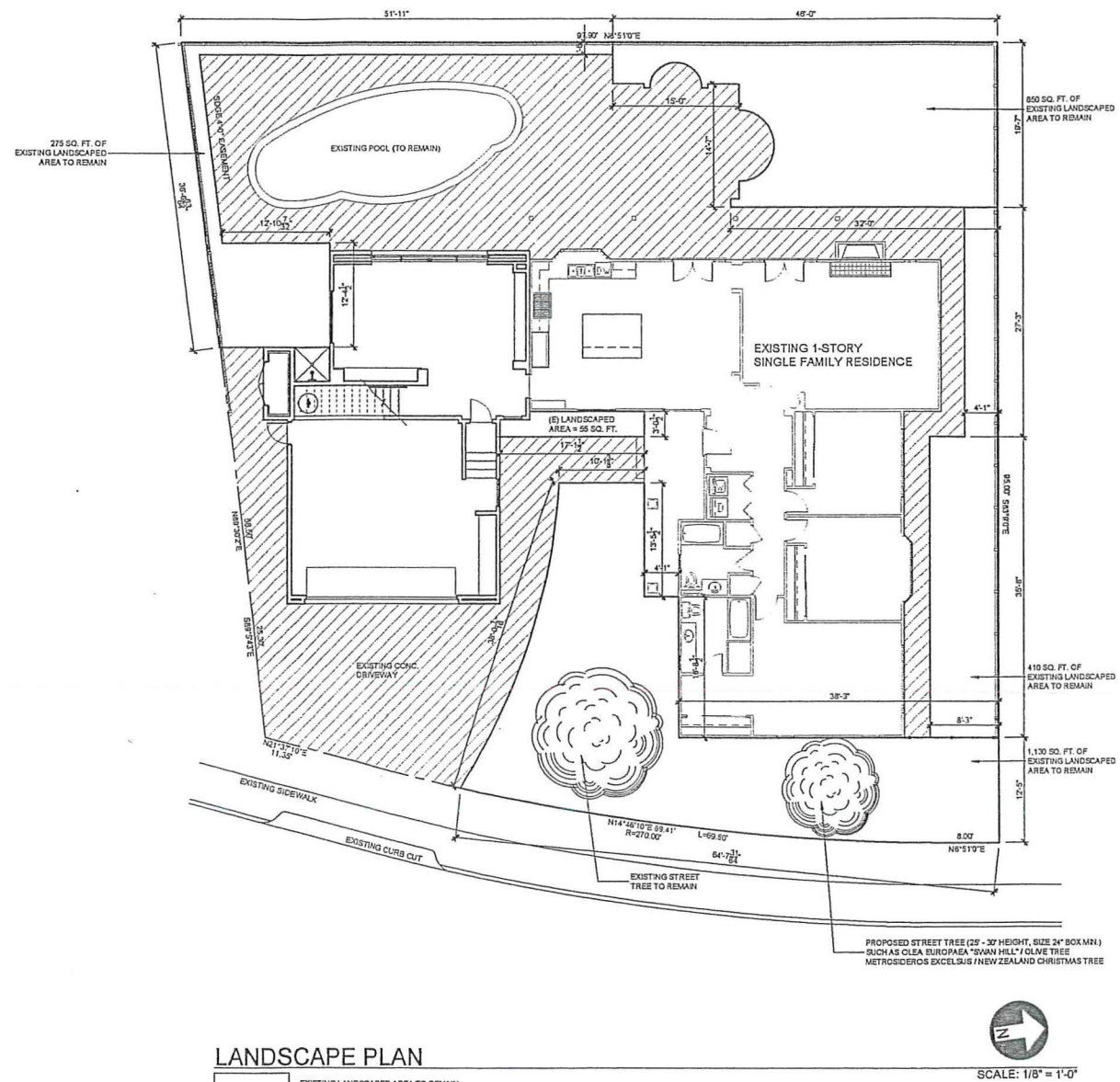
DRAWING TITLE
SITE PLAN
PROJECT INFORMATION

JOB # 2015-011	DATE May 14, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 8, 2016
DRAWN	SCALE 1/8" = 1'-0"	REVISION

SHEET #
A-1
1 OF 08

DESIGN LEAD
ARCHITECTS
ARCHITECTS
www.designlead.com

ALL EXISTING DIMENSIONS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND ENGINEERS. EXISTING DIMENSIONS AND PLANS SHALL BE USED FOR CONSTRUCTION WITH THE EXCEPTED PROJECT. NOISE OF DESIGN LEAD. DESIGN OR DIMENSIONS OF PLANS SHALL BE USED WITHOUT PERMISSION OF DESIGN LEAD ARCHITECTS.





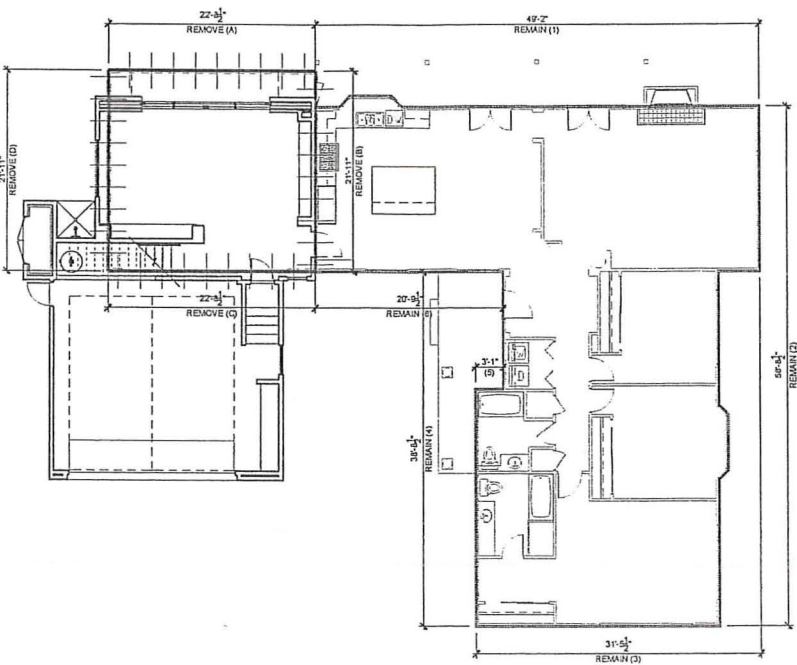
LANDSCAPE PLAN



SCALE: 1/8" = 1'-0"

- NOTES:**
- 1 -** THE MINIMUM LANDSCAPED AREA SHALL BE NO LESS THAN 30% FOR THE TOTAL PROPERTY AREA. **8,304.20 SQ. FT. * 30% = 2,512.20 SQ. FT. PROVIDED: 113.00 SQ. FT. + 55 SQ. FT. + 410 SQ. FT. + 650 SQ. FT. + 275 SQ. FT. = TOTAL OF 2,532.50 SQ. FT. + 2,512.20 SQ. FT.**
- 2 - MAINTENANCE:** ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY CITY OF SAN DIEGO. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY REMOVED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- 3 - EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:**
- A. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.**
- B. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.**
- C. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.**
- D. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.**
- 4 - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS**
- 5 - MINIMUM TREE SEPARATION DISTANCE:**
- TRAFFIC SIGNALS / STOP SIGNS - 20 FEET**
- UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)**
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET**
- DRIVEWAY (ENTRIES) - 10'**
- INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET**
- *5 FEET ON RESIDENTIAL STREETS RATED AT 25 MPH OR LOWER.**
- 6 - ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (LDC 1510.0004(H)) PRIOR TO FINAL INSPECTION**

PROJECT TITLE Lerner Residence					
8678 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037					
APN# 344-113-09-00					
APPLICANT Design Lead Architects					
7551 Grand Avenue, Suite 200 La Jolla, California 92037					
DRAWING TITLE LANDSCAPE PLAN					
JOB # 2015-211	DATE Aug. 25, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 8, 2016			
DRAWN	SCALE 1/8" = 1'-0"	REVISION			
SHEET # A-1.1					
1 OF 08					
					
ALL DESIGN, DESIGN DEVELOPMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND HEREIN GRANTED EXCLUSIVELY AND SOLELY FOR USE IN AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH DESIGN DEVELOPMENTS OR PLANS SHALL BE USED WITHOUT WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.					

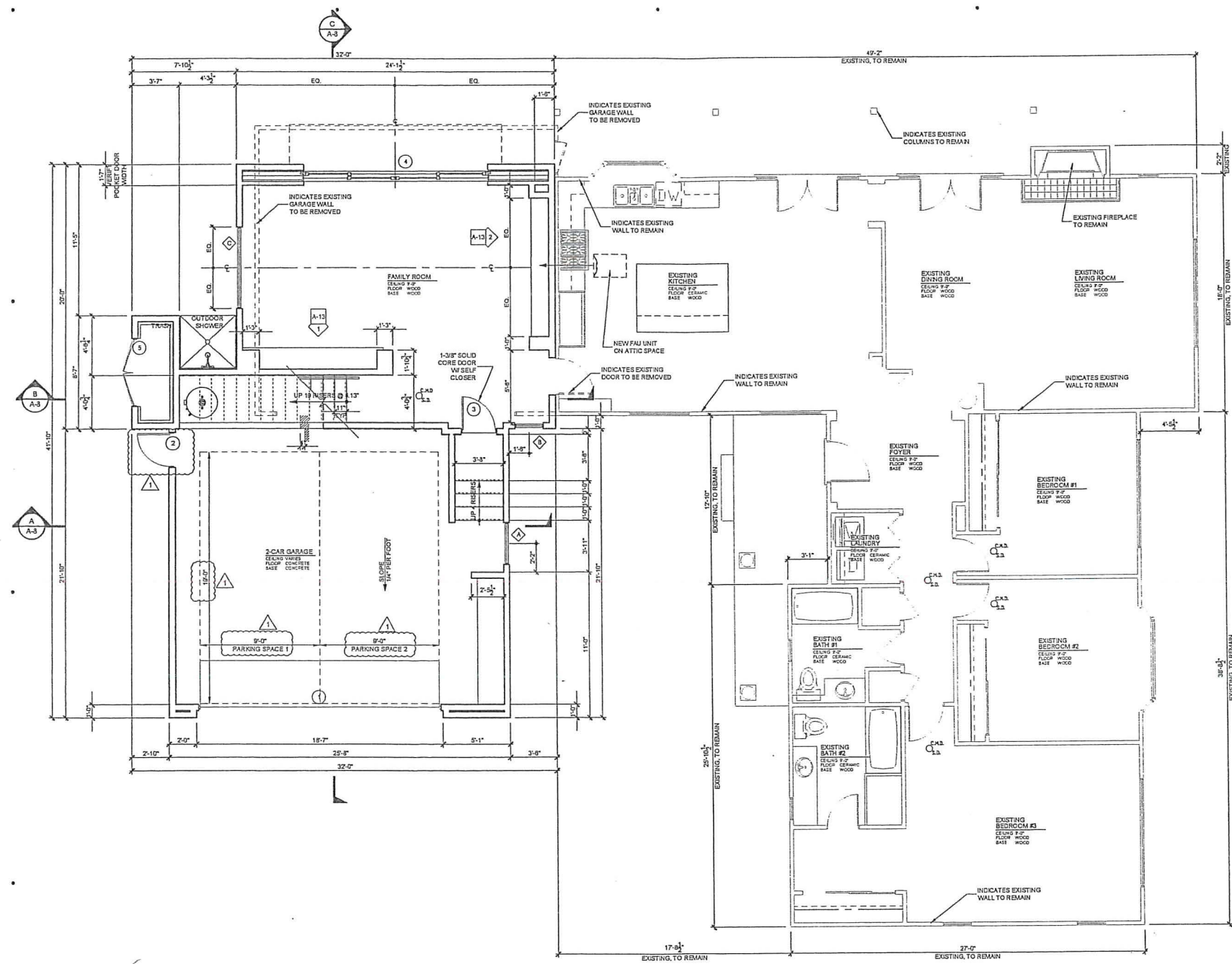


PROPOSED EXTERIOR WALL REMOVAL	
EXISTING WALLS TO BE REMOVED:	EXISTING WALLS TO BE REMAINED:
FIRST FLOOR	
A = 22'-0"	1 = 49'-2"
B = 21'-11"	2 = 56'-0"
C = 22'-0"	3 = 31'-0"
D = 21'-11"	4 = 30'-0"
	5 = 3'-11"
	6 = 20'-0"
TOTAL REMOVED: 89'-3" LINEAR FEET (20.85%)	TOTAL REMAIN: 199'-11" LINEAR FEET (89.14%)
INDICATES FLOOR ADDITION AREA	

DEMO PLAN / WALL MATRIX

SCALE: 1/8" = 1'-0"

PROJECT TITLE Lerner Residence		
8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037		
APN# 344-113-09-00		
APPLICANT Design Lead Architects 7800 Grand Avenue, Suite 200 La Jolla, California 92037		
DRAWING TITLE DEMOLITION FLOOR PLAN		
JOB # 2015-211	DATE May 21, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 8, 2016
DRAWN	SCALE 1/8" = 1'-0"	REVISION
SHEET # A-2 2 OF 08		FEBRUARY 20, 2017
DESIGN LEAD ARCHITECTS		
ALL KEAS DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, DESIGN LEAD ARCHITECTS AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH KEAS DESIGNS OR ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.		



FIRST FLOOR PLAN

WALL LEGEND:

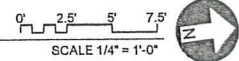
- SOLID LINES INDICATE THE NEW CONSTRUCTION.
- SCREEN LINES INDICATE THE EXISTING STRUCTURES.
- EXISTING WALLS TO REMAIN.
- EXISTING WALLS TO BE REMOVED
- NEW 2X STUD WALLS

BUILDING AREA

EXISTING:	
EXISTING FIRST FLOOR AREA:	1,904.00 SQ. FT.
EXISTING GARAGE:	488.00 SQ. FT.
TOTAL:	2,402.00 SQ. FT.

PROPOSED ADDITION:

FIRST FLOOR:	587.00 SQ. FT.
SECOND FLOOR:	773.00 SQ. FT.
TOTAL:	1,360.00 SQ. FT.



PROJECT TITLE
Lerner Residence

8676 DUNAWAY DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 344-113-09-00

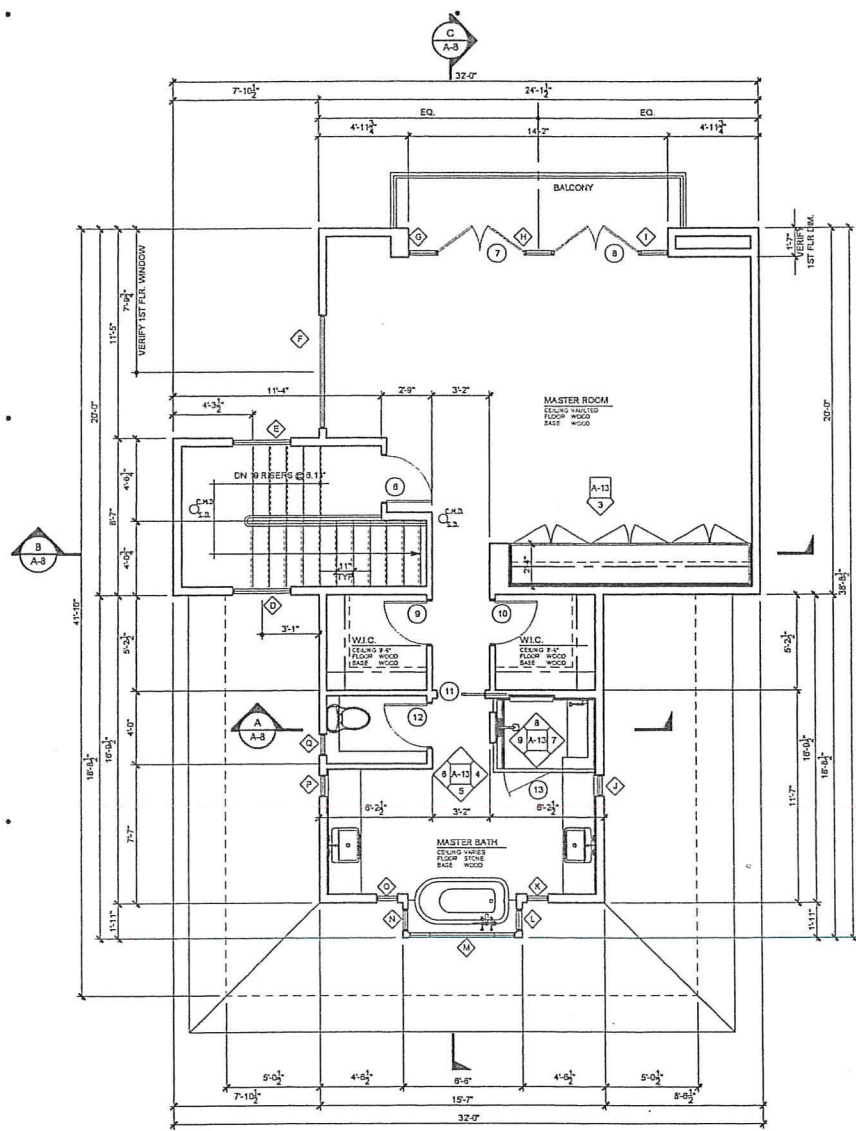
APPLICANT
Design Lead Architects

1760 Grand Avenue, Suite 200
La Jolla, California 92037

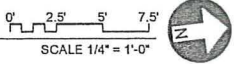
DRAWING TITLE
FIRST FLOOR PLAN

JOB # 2015-211	DATE May 01, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 9, 2016
OWNER SCALE 1/4" = 1'-0"		REVISION FEBRUARY 20, 2017
SHEET # A-3		
DESIGN LEAD ARCHITECTS		

ALL IDEAS, DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS. NO PART OF THIS DRAWING OR ANY PARTS THEREOF SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.



SECOND FLOOR PLAN



PROJECT TITLE
Lerner Residence


8676 DUNAWAY DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 344-113-09-00

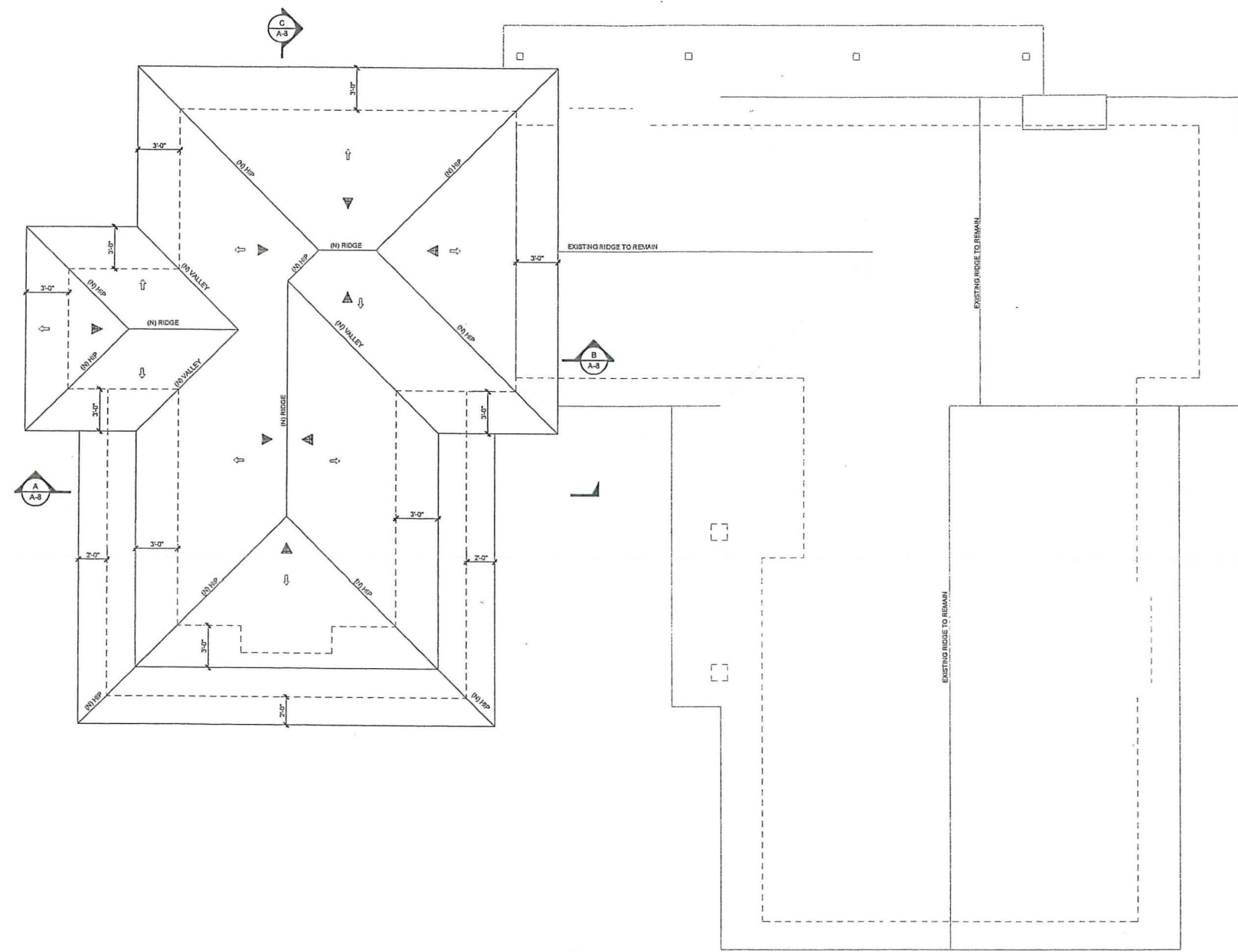
APPLICANT
Design Lead Architects

7800 Girard Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
SECOND FLOOR PLAN

JCS # 2018-011	DATE May 01, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 9, 2018
CPANN	SCALE 1/4" = 1'-0"	REVISION
SHEET # A-4 4 OF 18		REVISION
 DESIGN LEAD ARCHITECTS www.designlead.com		△ FEBRUARY 20, 2017
		△
		△
		△
		△
		△
		△

ALL DESIGN DECISIONS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND ARE NOT TO BE REPRODUCED OR USED IN CONNECTION WITH THE SPECIFIED PROJECT WITHOUT THE WRITTEN CONSENT OF DESIGN LEAD ARCHITECTS.



ROOF PLAN

ROOF LEGEND

▲ ATTIC ROOF VENT, "MAGIN" ATTIC VENT FOR TILE ROOF, SEE DETAIL 19D-2

CLAY TILE

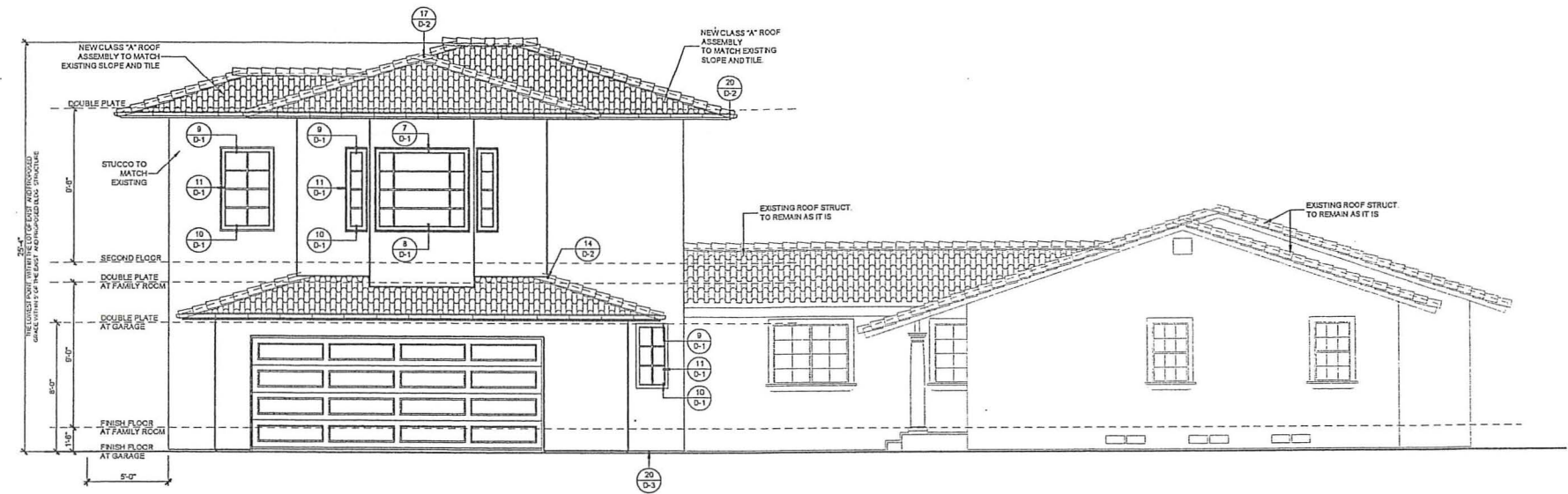
0' 2' 5' 7' 5'

SCALE 1/4" = 1'-0"

N

C:\EWD-1\proj\Acad\plan\1921\LEF-v\A3-5\Floor-Dev\F1.dwg May 31, 2017 - B12m SLA-msh

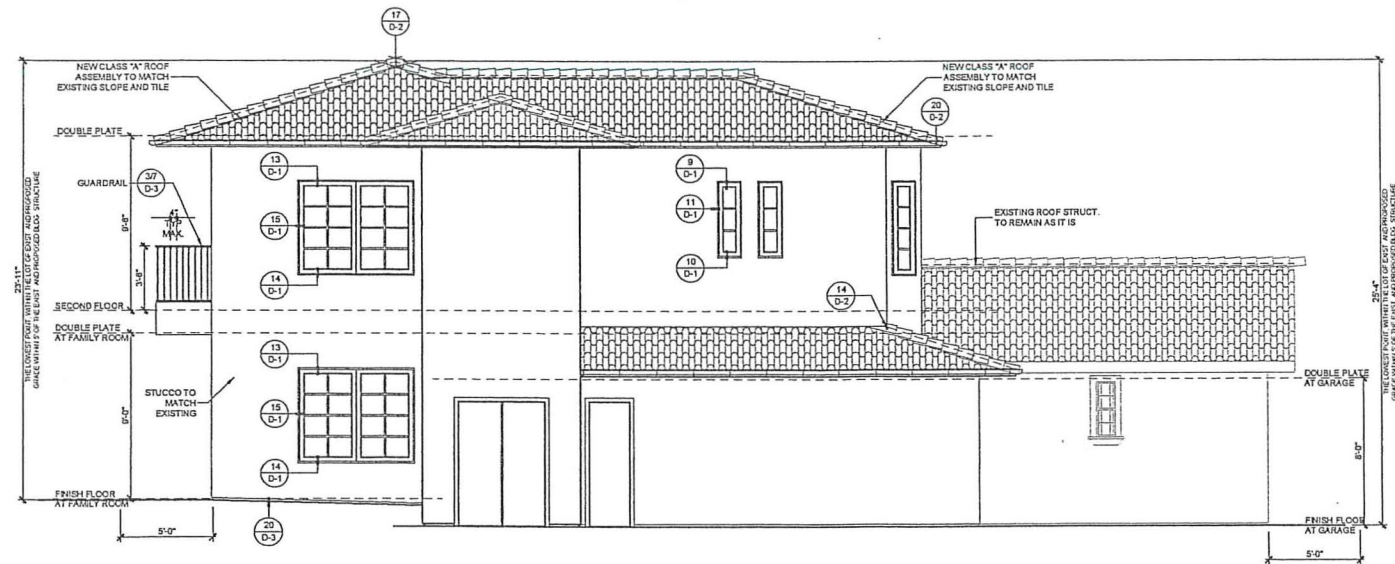
PROJECT TITLE Lerner Residence		
8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037		
APN# 344-113-09-00		
APPLICANT Design Lead Architects		
1601 Grand Avenue, Suite 200 La Jolla, California 92037		
DRAWING TITLE ROOF PLAN		
JOB # 2015-211	DATE May 31, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 8, 2016
DRAWN	SCALE 1/4" = 1'-0"	REVISION
SHEET # A-5		REVISION
DESIGN LEAD ARCHITECTS		REVISION
ALL REVISIONS, AMENDMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND ARE NOT TO BE REPRODUCED OR USED IN CONNECTION WITH THE "RECAP" PROJECT. NAME OF RECAP RECAP DESIGN OR AMENDMENTS OR PLANS SHALL BE USED WITHIN WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.		REVISION



EAST / FRONT ELEVATION

- LEGEND:
1. SOLID LINES INDICATE THE NEW CONSTRUCTION.
 2. SCREEN LINES INDICATE THE EXISTING STRUCTURES.
- EXISTING AREAS TO BE REMOVED - - - - -

SCALE 1/4" = 1'-0"



SOUTH / SIDE ELEVATION

- LEGEND:
1. SOLID LINES INDICATE THE NEW CONSTRUCTION.
 2. SCREEN LINES INDICATE THE EXISTING STRUCTURES.
- EXISTING AREAS TO BE REMOVED - - - - -

SCALE 1/4" = 1'-0"

PROJECT TITLE
Lerner Residence

8676 DUNAWAY DRIVE
LA JOLLA, CALIFORNIA 92037

APN# 344-113-09-00

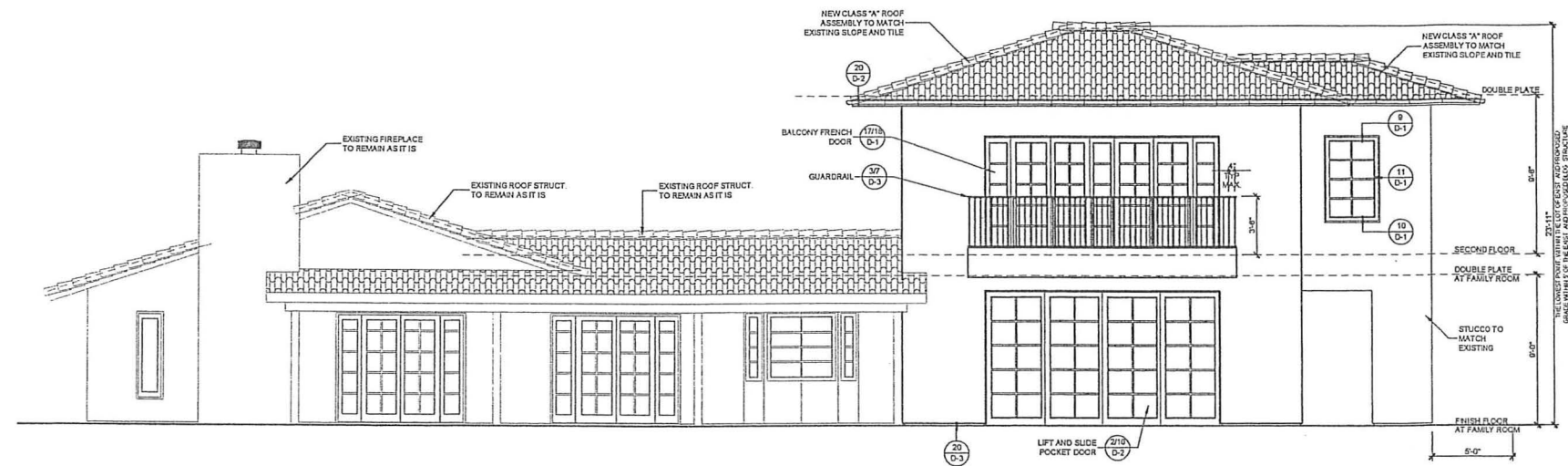
APPLICANT
Design Lead Architects

7551 Grand Avenue, Suite 200
La Jolla, California 92037

DRAWING TITLE
**EAST / FRONT ELEVATION
SOUTH / SIDE ELEVATION**

JOB # 2015-211	DATE May 20, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 9, 2015
DRAWN	SCALE 1/4" = 1'-0"	REVISION FEBRUARY 20, 2017
SHEET # A-6		
DESIGN LEAD ARCHITECTS		

ALL EXISTING STRUCTURES, IMPROVEMENTS AND PLANS SHOWN OR REPRESENTED BY THIS DRAWING ARE SHOWN BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND HAVE BEEN CREATED, ENLARGED AND DEVELOPED FOR USE IN AND IN CONNECTION WITH THE SHOWN PROJECT. NONE OF SUCH EXISTING STRUCTURES OR IMPROVEMENTS SHALL BE REMOVED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.



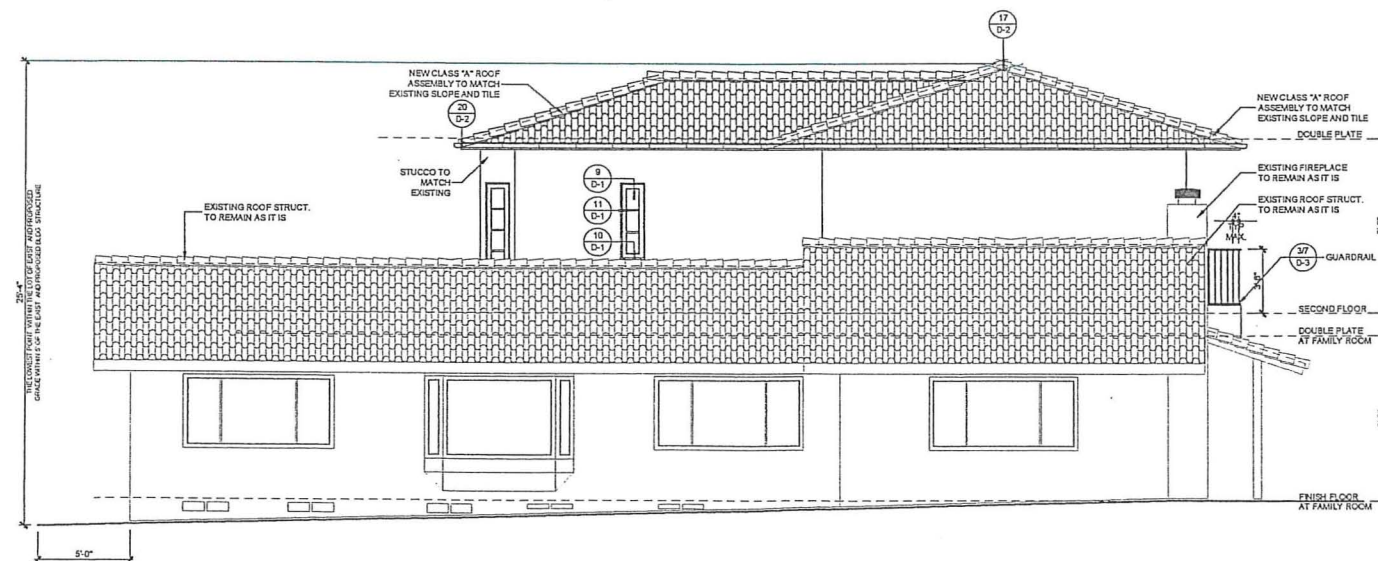
WEST / REAR ELEVATION

LEGEND:

1. SOLID LINES INDICATE THE NEW CONSTRUCTION.
2. SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED - - - - -

SCALE 1/4" = 1'-0"



NORTH / SIDE ELEVATION


LEGEND:

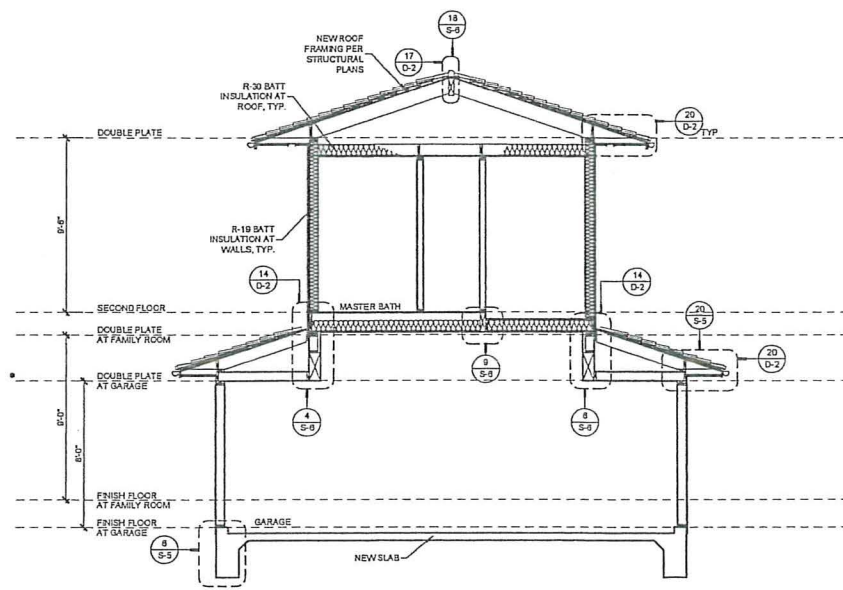
1. SOLID LINES INDICATE THE NEW CONSTRUCTION.

2. SCREEN LINES INDICATE THE EXISTING STRUCTURES.

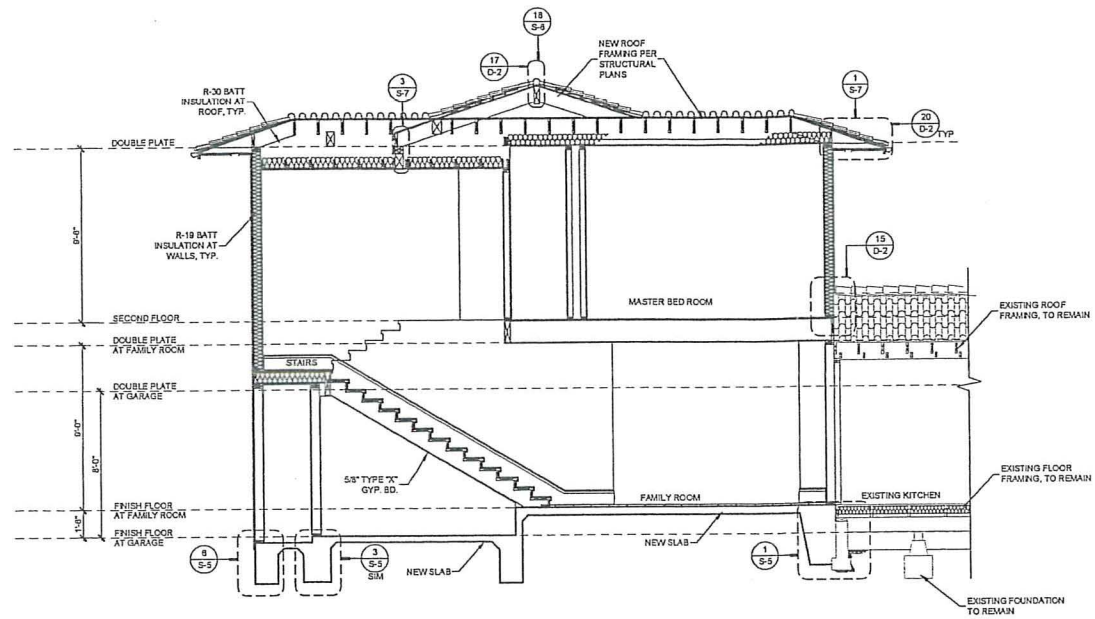
EXISTING AREAS TO BE REMOVED - - - - -

SCALE 1/4" = 1'-0"

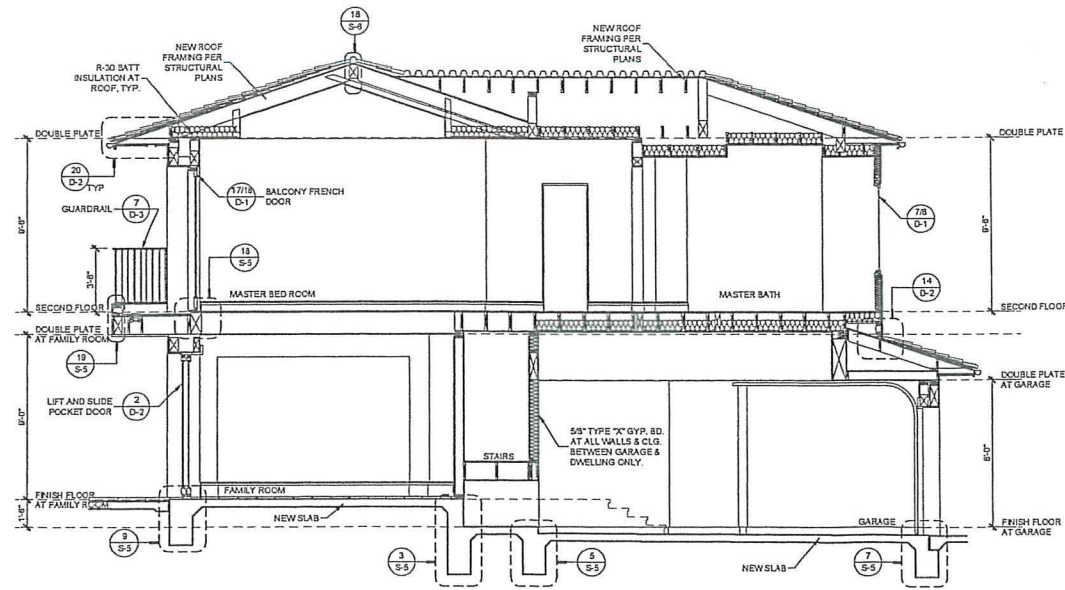
PROJECT TITLE <h1 style="margin: 0;">Lerner Residence</h1>																									
8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037																									
APN# 344-113-09-00																									
APPLICANT Design Lead Architects																									
7551 Grant Avenue, Suite 200 La Jolla, California 92037																									
DRAWING TITLE <h2 style="margin: 0;">WEST / REAR ELEVATION NORTH / SIDE ELEVATION</h2>																									
JOB # 2018-011	DATE May 30, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 9, 2016																							
DRAWING	SCALE 1/4" = 1'-0"	REVISION																							
SHEET # <h1 style="margin: 0;">A-7</h1> <div style="display: flex; justify-content: space-around; width: 100%;"> T OF 08 </div>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50px; text-align: center;">▲</td> <td>FEbruary 20, 2017</td> </tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> <tr><td style="text-align: center;">▲</td><td>-</td></tr> </table>		▲	FEbruary 20, 2017	▲	-	▲	-	▲	-	▲	-	▲	-	▲	-	▲	-	▲	-	▲	-	▲	-
▲	FEbruary 20, 2017																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
▲	-																								
<div style="display: flex; align-items: center;"> <div style="text-align: center;">  <p>DESIGN LEAD ARCHITECTS</p> </div> <div style="margin-left: 10px; writing-mode: vertical-rl; transform: rotate(180deg);"> www.designlead.com </div> </div>		<div style="writing-mode: vertical-rl; transform: rotate(180deg);"> REVISED PER COMMENTS </div>																							
<small>ALL DESIGN, DESIGN ASSOCIATES, PLANS AND SPECIFICATIONS OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, DESIGN LEAD ARCHITECTS AND HEREIN, CREATED, DEVELOPED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH DESIGN, DESIGN OR ASSOCIATED INFORMATION SHALL BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.</small>																									



BUILDING SECTION "A"
SCALE 1/4" = 1'-0"



BUILDING SECTION "B"
SCALE 1/4" = 1'-0"



BUILDING SECTION "C"
SCALE 1/4" = 1'-0"

PROJECT TITLE Lerner Residence		
8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037		
APN# 344-113-09-00		
APPLICANT Design Lead Architects 1001 Grand Avenue, Suite 200 La Jolla, California 92037		
DRAWING TITLE BUILDING SECTIONS		
JOB # 2015-2011	DATE May 21, 2017	ORIGINAL DRAWING PREPARATION DATE NOVEMBER 9, 2016
DESIGN SCALE 1/4" = 1'-0"	REVISION FEBRUARY 20, 2017	
SHEET # A-8		
DESIGN LEAD ARCHITECTS		
ALL DEAS, DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED IN THIS DRAWING ARE OWNED BY AND THE PROPERTY OF DESIGN LEAD ARCHITECTS AND ARE NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.		