



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: May 24, 2017 REPORT NO. HO-17-033

HEARING DATE: May 31, 2017

SUBJECT: T-MOBILE PRIMERA IGLESIA. Process Three Decision

PROJECT NUMBER: [372296](#)

OWNER/APPLICANT: General Board of the Church of the Nazarene/T-Mobile.

### SUMMARY

Issue: Should the Hearing Officer approve a Wireless Communication Facility (WCF) at 3535 Market Street within the Southeastern San Diego Community Planning area?

Staff Recommendation: APPROVE Conditional Use Permit No. 1446911.

Community Planning Group Recommendation: On April 10, 2017, the Southeastern San Diego Planning Group voted 8-0-0 to recommend approval of the proposed project without conditions/recommendations (Attachment 10).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 16, 2017 and the opportunity to appeal that determination ended March 30, 2017 (Attachment 9).

### BACKGROUND

T-Mobile Primera Iglesia is an application for a Conditional Use Permit (CUP), Process Three, for a Wireless Communication Facility (WCF). The project is located at 3535 Market Street on the Casa Del Alfarero Iglesia Del Nazareno Church property. The project is located in the RM-2-5 zone and is designated Residential Medium (15-29 du/ac) by the Southeastern San Diego Community Plan. Surrounding uses include single-unit residential to the south, Mount Hope Cemetery to the east, Interstate 15 to the west and Costco and other commercial uses to the north across Market Street (Attachments 1, 2 and 3). WCFs are permitted on residentially-zoned properties with non-residential uses with a CUP, pursuant to Land Development Code (LDC) [Section 141.0420\(e\)\(1\)](#).

AT&T Fixed (AT&T's original wireless arm) received an approval in 2001 for four façade-mounted panel antennas on the church building and a 120-square-foot equipment enclosure. Sometime after the installation, AT&T Fixed phased out of the wireless business and sold this site to T-Mobile. The AT&T Fixed permit expired January 8, 2011. T-Mobile submitted the application for this project in 2014.

## DISCUSSION

[LDC Section 141.0420\(g\)\(2\)](#) requires that WCFs "use all reasonable means to conceal or minimize the visual impact through integration..." Integration with existing structures or among existing uses shall be accomplished through the use of architecture, landscape, and siting solutions. This WCF proposal consists of a new 35-foot tall church monument concealing nine panel antennas and nine Remote Radio Units (RRUs). A previously permitted 127-square foot equipment enclosure contains equipment associated with the antennas. The church property sits approximately 40 feet above Market Street and the monument is proposed on the northeast corner of the property above Market and 36<sup>th</sup> Street (Attachments 8, 12 and 13).

### Project Description:

The existing church is a two-story stucco building with a rock front and a steep red shingled gable roof. The previously existing T-Mobile WCF consists of one antenna on each side of the church building, two in rather large dormer boxes on the north and south sides of the roof while the other two are on the east and west sides of the church in boxes designed as crosses (Attachment 8). These will be removed and the church restored back to its original condition. Additions and alterations to the church have occurred over the years resulting in an eclectic combination of design elements. One of the additions is the T-Mobile equipment enclosure, which is located on the north side of the church building designed as a simple ancillary stucco building.

This project proposes to install a 35-foot tall church monument tower concealing nine panel antennas and nine RRUs, approximately 60 feet to the east of the church. The base will be a four-sided brick enclosure with a wrought iron gate. The three-legged tower fits within the base and is designed with three columns containing red brick on the lower portion and recessed screens with crosses on the upper portion. The proposed monument will match the church color palette and introduce new design elements that the church anticipates on carrying over to future plans for upgrading the building (Attachment 12). T-Mobile is adding eight trees around the tower to enhance views and four 24-inch box Chinese Elm trees in the parking area. Foundation shrubs are also proposed at the base of the tower (Attachments 12 and 13).

### Council Policy 600-43:

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process One (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process Four (Planning Commission) approval. This project is located in a residential zone with a non-residential use; therefore, a CUP, Process Three (Hearing Officer decision) is required. While the WCF is not located in one of the *most* preferred locations, the design



of the facility is able to effectively integrate the antennas into a church monument and provide wireless coverage to the surrounding community.

Community Plan Analysis:

The Southeastern San Diego Community Plan (Plan) references the WCF regulations, the WCF Guidelines, as well as the City of San Diego's General Plan Urban Design Element (Policy UD-A.15). This policy requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The Plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the Plan states that equipment associated with wireless facilities should be concealed from view (Attachment 12). The proposed church monument design will not only conceal WCF components from public view, but will also provide a focal point for the church and surrounding community. Proposed trees will improve views for the surrounding community. The proposed project will enhance the church and the community and will enable T-Mobile to continue providing service to its customers.

Conclusion:

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420) and the RM-2-5 development regulations. The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the CUP (Attachment 5). Therefore, Staff recommends approval of CUP No. 1446911.

ALTERNATIVES

1. Approve CUP No. 1446911 with modifications.
2. Deny CUP No. 1446911 if the Planning Commission makes written Findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Karen Lynch  
Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Photo Survey

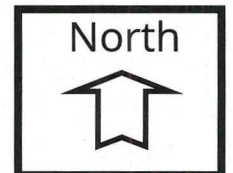
9. Environmental Exemption
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Photo Simulations
13. Project Plans

Rev 2/10/16pjf





## Aerial Photo



**T-Mobile Primera Iglesia (Southeastern San Diego Community)**  
**3535 Market Street**



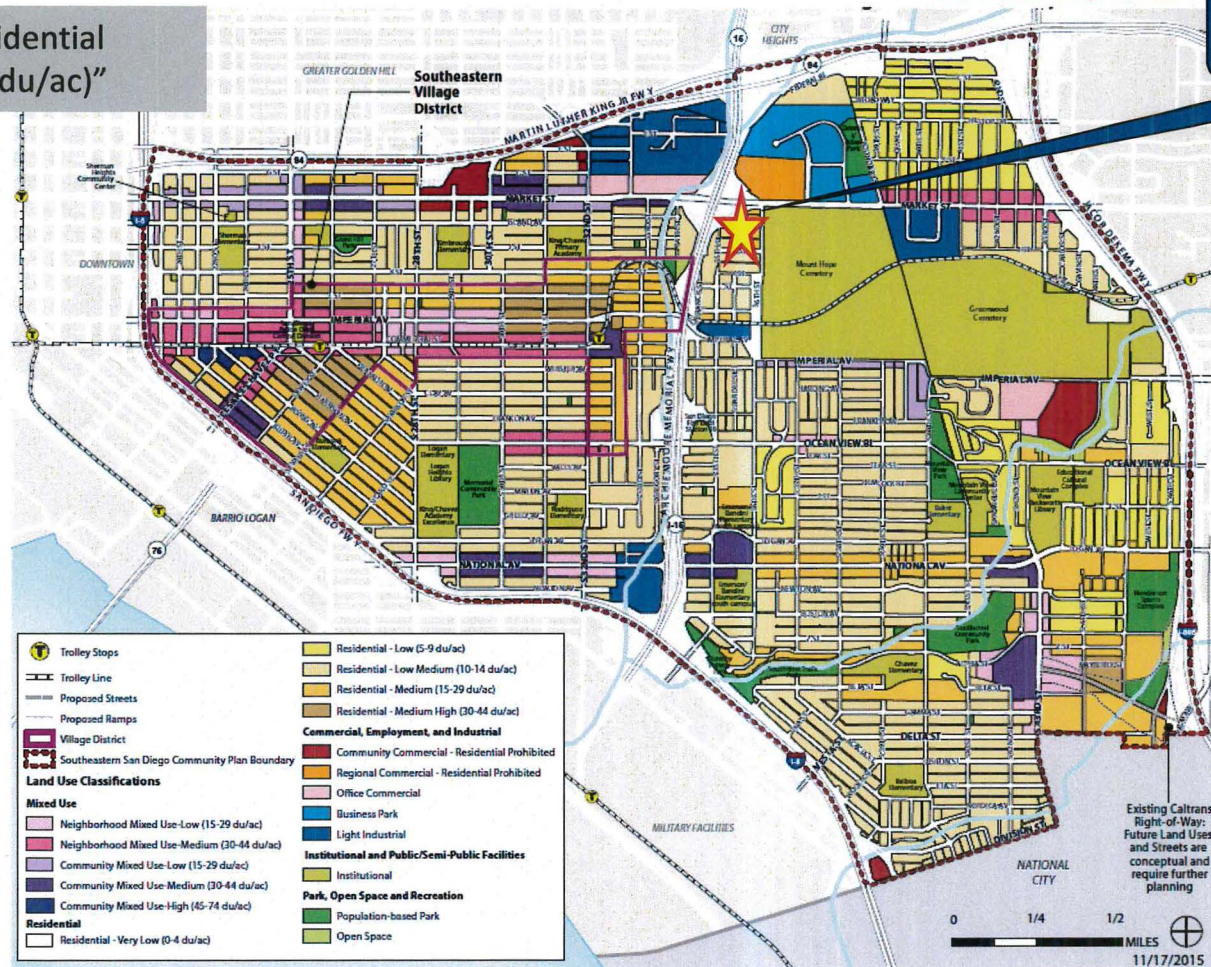


# Community Plan

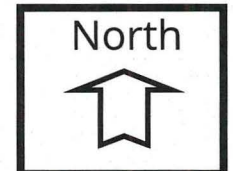
FIGURE 2-1: Community Plan Land Use

Project Site

Designated "Residential Medium 915-29 du/ac)"



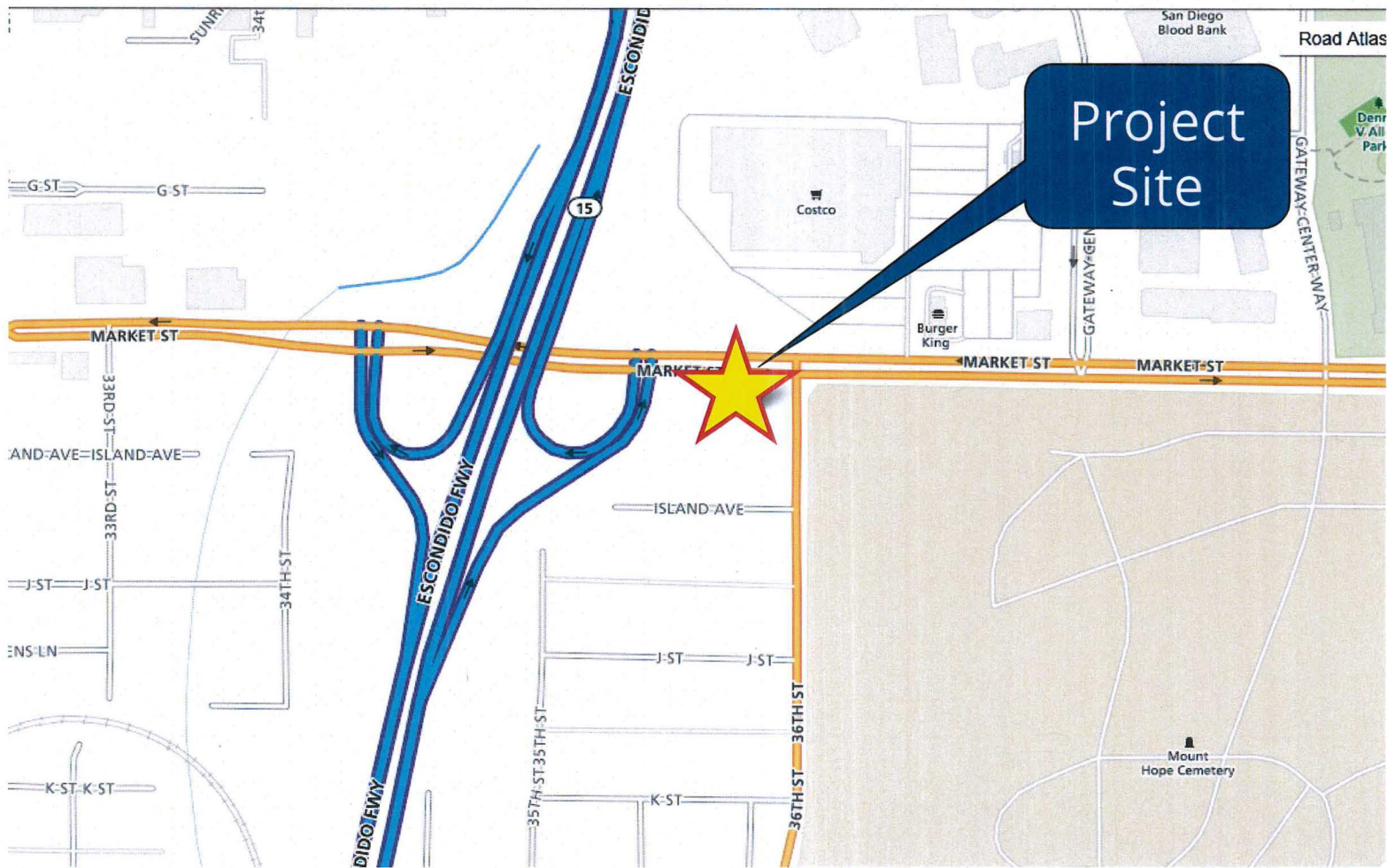
**T-Mobile Primera Iglesia (Southeastern San Diego Community)**  
**3535 Market Street**







## Project Location Map



**T-Mobile Primera Iglesia (Southeastern San Diego Community)**  
**3535 Market Street**





## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	T-Mobile Primera Iglesia	
<b>PROJECT DESCRIPTION:</b>	Removal of existing façade mounted antennas and installation of a 35' tall church monument concealing 9 panel antennas and 9 Remote Radio Units. A previously permitted 127 sq ft equipment room is located on the north side of the church.	
<b>COMMUNITY PLAN AREA:</b>	Southeastern San Diego	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential Medium (15-29 du/ac)	
<b>ZONING INFORMATION:</b>		
	<b>ZONE:</b> RM-2-5 (1 du/1500 sq ft of lot area)	
	<b>HEIGHT LIMIT:</b> 40 feet	
	<b>FRONT SETBACK:</b> 15/20 feet (min/std)	
	<b>SIDE SETBACK:</b> 5 feet	
	<b>STREETSIDE SETBACK:</b> 10 feet	
	<b>REAR SETBACK:</b> 15 feet	
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Regional Commercial; CC-2-3	Market Street/Costco
<b>SOUTH:</b>	Residential Medium (15-29 du/ac); RM-2-5	Multi-Unit Residential
<b>EAST:</b>	Open Space; RS-1-1	Mt. Hope Cemetery
<b>WEST:</b>	Residential Medium (15-29 du/ac); RM-2-5	Single-Unit Residential
<b>DEVIATION REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On April 10, 2017, the Southeastern San Diego Planning Group voted 8-0-0 to recommend approval of the project without conditions/recommendations.	

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
CONDITIONAL USE PERMIT NO. 1446911  
**T-MOBILE PRIMERA IGLESIA PROJECT NO. 372296**

WHEREAS, GENERAL BOARD OF THE CHURCH OF THE NAZARENE, Owner and T-MOBILE, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1446911), on portions of a 0.28-acre site;

WHEREAS, the project site is located at 3535 Market Street in the RM-2-5 zone of the Southeastern San Diego Community Plan area;

WHEREAS, the project site is legally described as: A portion of Lots 17 through 20 inclusive, and a portion of Lots 25 through 28 inclusive, Block 2, G.H. Crippen's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 147, filed in the Office of the County Recorder of said County of San Diego, more particularly described as follows:

Beginning at the Southwesterly corner of said Lot 28; thence Northerly along the Westerly line of Lot 28 a distance of 64.74 feet to the Southwest corner of land conveyed to the City of San Diego by deed recorded October 15, 1957, in Book 6792, page 566 of Official Records; thence Easterly along the Southerly line of land so conveyed, to a point in the Easterly line of said Lot 25, distant there along North 00°32'12" West a distance of 64.78 feet from the Southeast corner of said Lot; thence along said Easterly line South 00°32'12" East, 64.78 feet to the Southeast corner thereof; thence Westerly along the Southerly line of said Lots 25, 26 27, and 28 to the true point of beginning.

**Parcel 2:**

An easement and right of way for ingress and egress and driveway purposes over along and across the westerly 15 feet of Lot 21, Block 2, G.H. Crippen's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 147, filed in the office of the County Recorder of said County of San Diego.

**Parcel 3:**

Those portions of Lots 29 through 34, inclusive, Block 2, G.H. Crippen's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 147, filed in the Office of the County Recorder of San Diego County, more particularly described:

Beginning at the Southwesterly corner of said Lot 29; thence North 00°31'58" West along the Easterly line of said Lot 29, a distance of 64.74 feet; thence Westerly and Southeasterly along the arc of a 150 foot radius curve, center of which bears South 00°17'20" East from said point, through a central angle of 37°, a distance of 96.87 feet; thence South 52°42'40" West tangent to said curve a distance of 55.05 feet to a point in the Southerly line of said Lot 34,



which is South 89°41'26" East along the Southerly line of said Lot 29 through 34, a distance of 134.52 feet to the point of beginning.

Parcel 4:

Lots 17, 18, 19, and 20, Block 2, G.H. Crippen's Addition according to Map thereof No. 147, filed in the Office to heof the County Recorder of San Diego County, October 9, 1886.

WHEREAS, on May 31, 2017, the Hearing Officer of the City of San Diego considered Conditional Use Permit (CUP) No. 1446911 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on March 16, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 31, 2017.

FINDINGS:

**Conditional Use Permit Approval - Section 126.0305**

**1. The proposed development will not adversely affect the applicable land use plan;**

The Southeastern San Diego Community Plan (Plan) refers to the San Diego Municipal Code for the regulation of Wireless Communication Facilities (WCFs) and to the WCF design Guidelines for the design and development of these facilities. Additionally, the City's General Plan, in Policy UD-A.15, states that the visual impact of wireless facilities should be minimized. This can be achieved by concealing wireless facilities in existing structures when possible, or by using camouflage and screening techniques to hide or blend them into the surrounding area.

The project is located on a church property in the RM-2-5 zone, which requires a Conditional Use Permit (CUP), Process Three decision. T-Mobile has a previously permitted WCF on the property consisting of four antennas, each concealed within either a box or a cross mounted to the church with a 127-square-foot equipment enclosure located on the north side of the church. The project proposes to remove the antennas and construct a 35-foot tall church monument concealing nine panels and nine Remote Radio Units (RRUs). The equipment will remain in its current location. The three-sided monument will be constructed of Fiberglass Reinforced Panels (FRP) designed with a decorative cross on each side on an off-white background with brick panels on the bottom half. The monument will be situated within a brick enclosure with iron gates surrounded by landscape shrubs. The monument is proposed to be located on the northeast corner of the property and will



be a focal point not only on the church property, but also to the surrounding community due to the elevation difference with properties to the north.

The project, as proposed, will not interfere with the church and will not adversely affect the Southeastern San Diego Community Plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

The projects consists of nine panel antennas and nine Remote Radio Units (RRUs) concealed within a 35-foot-tall church monument. The associated 127-square-foot equipment enclosure is located on the north side of the church and is painted and textured to match the church. The project is located at 3535 Market Street in the Southeastern San Diego Community Plan area. It was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure continued public health, safety and welfare.

Additionally, the Federal Telecommunications Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An RF – Electromagnetic Energy Compliance Report was submitted with the project and it concludes that with required warning signage (conditions 27 and 29 in the permit), the WCF will comply with the FCC's RF Safety Guidelines. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the project will not be detrimental to the public health, safety or welfare.

**3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and**

The WCF Regulations, Land Development Code Section 141.0420, require that WCFs utilize the smallest, least visually intrusive antennas, components and other necessary equipment. The applicant is required to use all reasonable means to conceal or minimize the visual impact of the WCF through integration utilizing architecture, landscape and siting.

The antennas and associated components of the WCF are proposed to be completely concealed within the monument structure and the equipment is previously permitted in a 127-square-foot addition to the rear of the church. T-Mobile is proposing to plant two 48-inch box and two 24-inch box African Sumacs on the north side of the monument and three 36-inch box Fruitless Olive trees to the north of the monument, which will help to enhance views of the monument. Eleven 15-gallon Green Cloud Texas Ranger shrubs will be planted around the base of the monument. Additionally, four 24-inch box Chinese Elm trees are proposed in the parking area, which will not only improve views, but will also provide much-needed shade for cars parked in the lot.

WCFs are permitted on residentially-zoned properties with non-residential uses with a Conditional Use Permit (CUP), Process Three, Hearing Officer approval. No deviations are requested with this



project. The WCF Design Requirements [LDC Section 141.0420(g)(2)] state that WCF "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." All antennas and their associated components are concealed from view and the resulting project is an architecturally integrated design that provides a focal point for the church property.

Based on this analysis and the project design, this project complies with the applicable regulations of the Land Development Code.

**4. The proposed use is appropriate at the proposed location.**

Wireless Communication Facilities (WCFs) are permitted on residentially-zoned properties with non-residential uses where the antennas are less than 100 feet from the property line of a residential use, day care, elementary school or middle school with a Conditional Use Permit (CUP), Process Three. Council Policy 600-43 identifies preference levels for locating WCFs in the City. In turn, the WCF Regulations (SDMC section 141.0420) implement the Council Policy by providing lower permit process levels for WCFs located in commercial or industrially zoned properties and higher permit process levels for WCFs proposed in residential zones. Although there is an incentive for carriers to locate in a zone with a lower permit process level, wireless carriers are required to provide coverage throughout their license area. Therefore, at times a WCF is required to be located in a less preferable location. This WCF is proposed on a property in a residential zone, but with a non-residential use. This is less preferable than locating in a commercial or industrial zone, but is more preferable than locating in a residential zone with a residential use.

T-Mobile is proposing to upgrade and enhance coverage in this community. Their coverage objective is primarily the surrounding residential areas but also includes the busy Market Street corridor and the commercial area to the northeast. In order to provide the same coverage, a substantial height increase would be required if T-Mobile were to relocate their WCF to the commercial area to the northeast of the subject site, due to the approximate 40-foot elevation difference between the two areas. T-Mobile requires the proposed 35-foot-tall monument at this height and location to effectively maintain existing levels of service because it has built its network around this site. Upgrading the site to current standards with additional antennas will address an identified gap in coverage in the community, in addition to addressing capacity issues. Although the monument will be visible to surrounding areas, it is designed to complement the church and the proposed trees planted around the monument will enhance views and soften the appearance. The existing equipment enclosure is located on the north side of the church and has the appearance of ancillary storage room for the church. No modifications are proposed for the equipment room.

Because the project meets the requirements of the RM-2-5 zone, and findings can be made in the affirmative, the proposed use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, CUP No., 1446911 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1446911, a copy of which is attached hereto and made a part hereof.

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Karen Lynch  
Development Project Manager  
Development Services

Adopted on: May 31, 2017

IO#: 24004740

DRAFT



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24004740

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1446911  
**T-MOBILE PRIMERA IGLESIA PROJECT NO. 372296**  
HEARING OFFICER

This Conditional Use Permit No. 1446911 is granted by the Hearing Officer of the City of San Diego to General Board of the Church of the Nazarene, Owner, and T-Mobile, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420 and 126.0303. The .28-acre site is located at 3535 Market Street in the RM-2-5 zone of the Southeastern San Diego Community Plan area. The project site is legally described as: A portion of Lots 17 through 20 inclusive, and a portion of Lots 25 through 28 inclusive, Block 2, G.H. Crippen's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 147, filed in the Office of the County Recorder of said County of San Diego, more particularly described as follows:

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Parcel 4:

Lots 17, 18, 19, and 20, Block 2, G.H. Crippen's Addition according to Map thereof No. 147, filed in the Office of the County Recorder of San Diego County, October 9, 1886.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2017, on file in the Development Services Department.

The project shall include:

- a. A 35-foot-tall obelisk concealing nine (9) panel antennas: three (3) measuring 56.6" x 12.9" x 8.7", three (3) measuring 55" x 12" x 7.9" and three (3) measuring 96.6" x 11.9" x 7.1", nine (9) Remote Radio Units and two (2) surge suppressors;
- b. An existing 127-square-foot equipment enclosure located on the north side of the church building;
- c. Removal of existing façade-mounted antennas and restoration of the church walls and roof back to the original condition;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

Every aspect of this project is considered an element of concealment including (but not limited to) the dimensions, build and scale, color, materials and texture. Any future modifications to this permit/project must not defeat concealment.



**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 14, 2020.
2. This permit and corresponding use of this site shall expire **June 14, 2027**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.



9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

14. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

16. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

17. This project proposes to export 11 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit (per LDC Section 141.0620(i)) and said permit is obtained.

**GEOLOGY REQUIREMENTS:**

18. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

**LANDSCAPE REQUIREMENTS:**

19. Prior to issuance of any construction permits for the telecom facility and associated structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance to Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.



21. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

22. During the life of this permit, if trees with a trunk width of 4 inches or more (measured by caliper, 4 feet above grade) are removed or significantly trimmed for the installation or operation of the wireless communication facility, then replacement trees of a similar size shall be planted to the satisfaction of the Development Services Department.

**PLANNING/DESIGN REQUIREMENTS:**

23. Prior to final inspection, the façade-mounted antennas shall be removed from the church building and the wall/roof shall be restored to its original condition.

24. The WCF shall conform to the approved construction plans.

25. Photo simulations shall be printed on the construction plans.

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

27. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

28. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.

29. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation.

30. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

31. All facilities and related equipment shall be maintained in good working order, free from trash, debris, and graffiti, and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

32. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 31, 2017 by Resolution No.

\_\_\_\_\_.



Permit Type/PTS Approval No.: Conditional Use Permit No.1446911  
Date of Approval: May 31, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Karen Lynch  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**General Board of the Church of the  
Nazarene**  
Owner

By \_\_\_\_\_  
NAME:  
TITLE:

**T-Mobile**  
Permittee

By \_\_\_\_\_  
Joseph Rose, Esq.  
Site Development/Real Estate Manager

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

...T...Mobile...

# SD06497A

## Coverage Map

RF Team San Diego Market  
Feb 19, 2015

ATTACHMENT 7





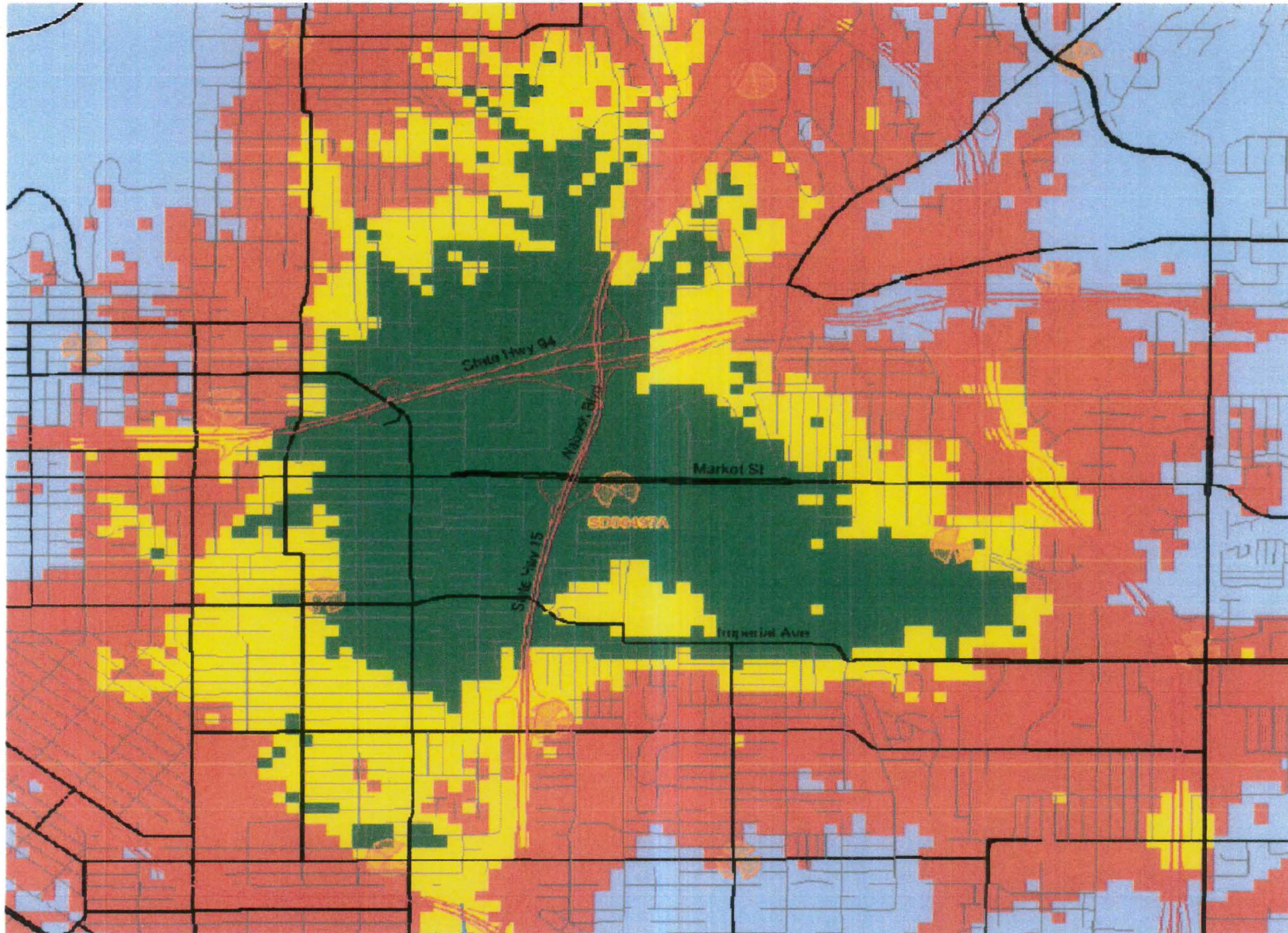
# Contents:

## Plots:

- **SD06497A coverage**
- **Existing On-Air sites coverage without SD06497A**
- **Site with existing On-Air neighbor sites coverage**



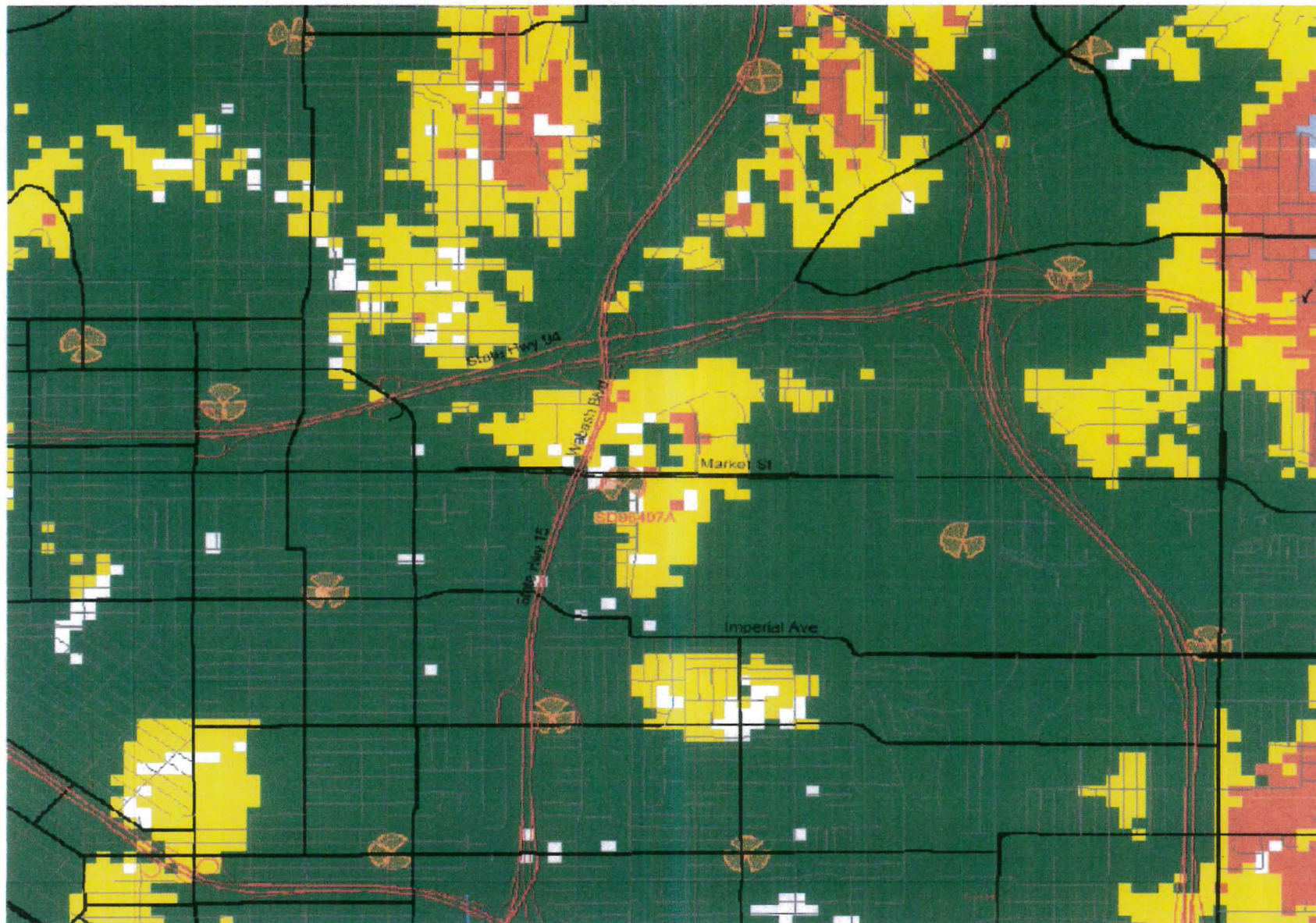




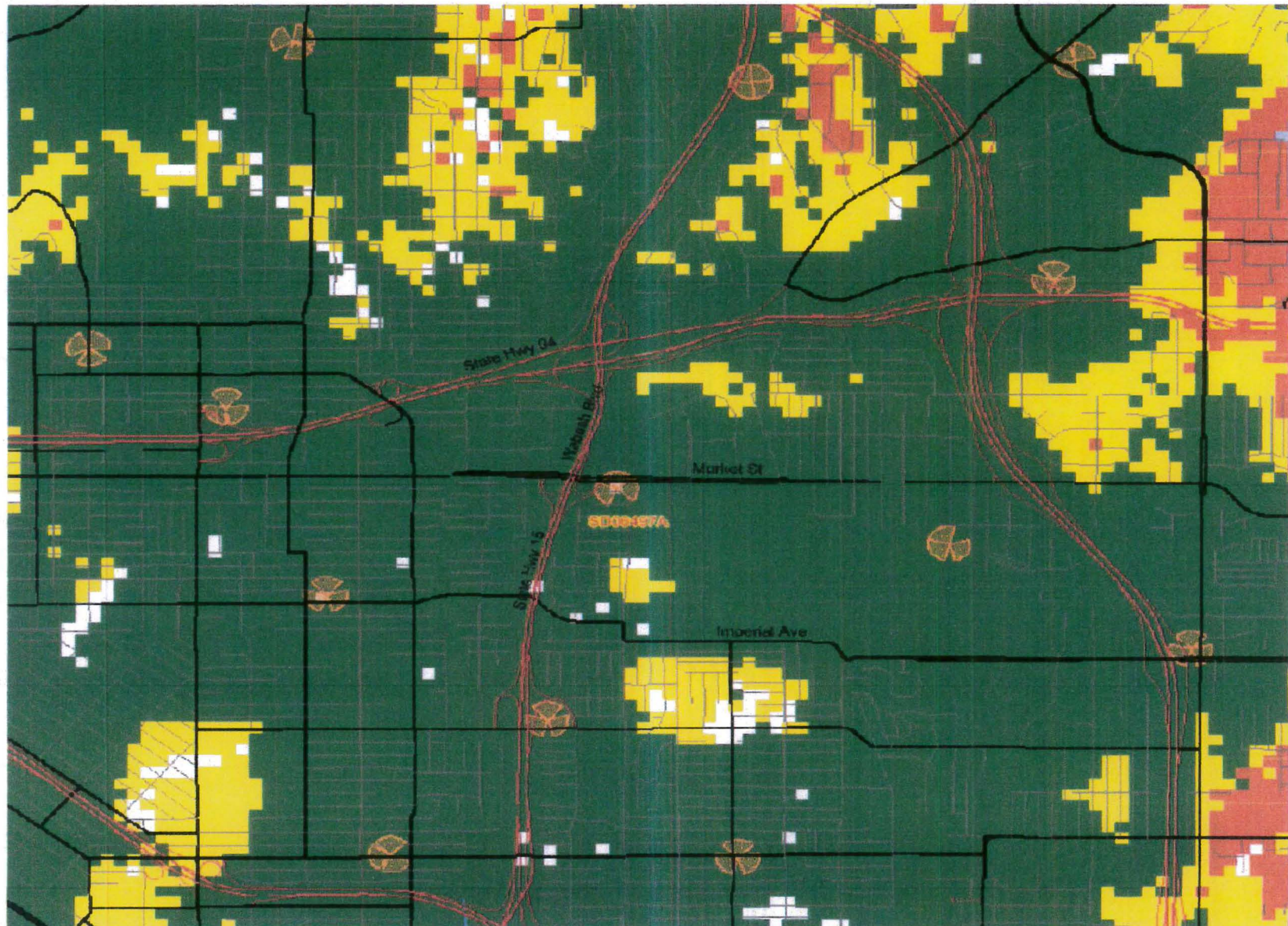
● Excellent ● Good ● Poor ● No coverage









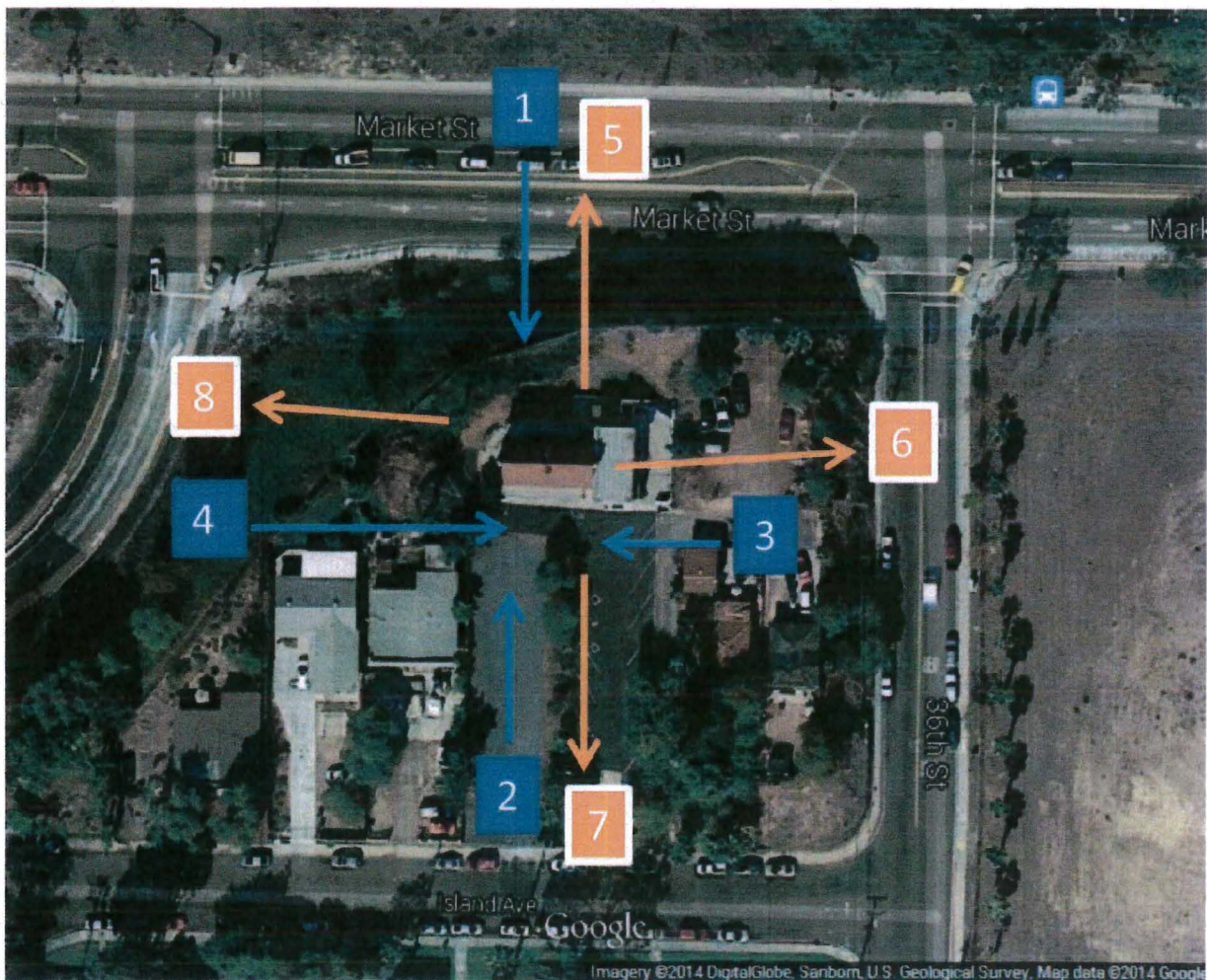


Excellent Good Poor No coverage





**T-Mobile**  
**SD06497A Primera Iglesia Del Nazareno**  
**Photo Survey**  
**Key Map**







1. View of North Elevation of site.
2. View of South Elevation of site.







3. View of East Elevation of site.

4. View of West Elevation of site.







5. View looking North from site.

6. View looking East from site.







7. View looking South from site.

8. View looking West from site.





ATTACHMENT 8



Google earth

feet 100  
meters 40





NOTICE OF EXEMPTION

(Check one or both)

TO:   X   Recorder/County Clerk  
P.O. Box 1750, MS A-33  
1600 Pacific Hwy, Room 260  
San Diego, CA 92101-2400

FROM: City of San Diego  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, CA 92101

       Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, CA 95814

**Project Name:** T-Mobile Primera Iglesia

**Project No.:** 372296

**Project Location-Specific:** The project is located at 3535 Market Street, San Diego, CA 92102.

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** The project proposes a Conditional Use Permit (CUP) for a Wireless Communication Facility (WCF) consisting of a 35-square-foot tall church monument tower concealing nine panel antennas and associated components with equipment located in a 127-square-foot equipment room. The project site is designated for medium density (15-29 du/ac) residential use and zoned RM-2-5; it is occupied by a non-residential use. The project is located in Southeastern San Diego.

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Adam Stone  
Smart Link  
2037 Thomas Avenue  
San Diego, CA 92109  
(734) 904-3390

**Exempt Status: (CHECK ONE)**

- ( ) Ministerial (Sec. 21080(b)(1); 15268);
- ( ) Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ( ) Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: CEQA Section 15303 (New Construction or Conversion of Small Structures)

**Reasons why project is exempt:** The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, as described in the Project Description section of this notice, meets the criteria set forth in CEQA Section 15303 which addresses the construction and location of limited numbers of new, small facilities or structures and the installation of small new equipment and facilities in small structures. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

**Lead Agency Contact Person:** Anna L. McPherson AICP

**Telephone:** (619) 446-5276

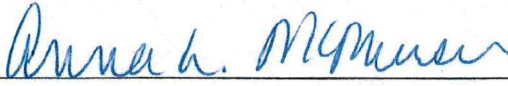
If filed by applicant:

1. Attach certified document of exemption finding.

## ATTACHMENT 9

2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



/Senior Planner

Signature/Title

March 30, 2017

Date

Check One:

(X) Signed By Lead Agency

( ) Signed by Applicant

Date Received for Filing with County Clerk or OPR:



# Southeastern San Diego Planning Group

## DRAFT Minutes

Monday, 10th of April, 2017, 6:00 pm

Mountain View Community Center, 692 So. Boundary Street, San Diego, CA 92113

Contact: <http://www.southeasternsd.org> [tomfuller@live.com](mailto:tomfuller@live.com) 619-888-3242

Note: Meetings must end promptly by 7:50 p.m. or SSDPG will be charged fees.

- 
1. **Call to order (6:08pm) and introductions:** Steve Veach, Reggie Womack, Louise Torio, Ray Bernal, Chelsea Klaseus, Jaime Capella, Bob Leif, Paul Sweeney
  2. **Adopt the Agenda.** *Leif/Torio MSC 8-0-0*
  3. **Meeting Minutes Review and Approval:** *TBD Motion to continue late submitted November and March minutes for May's meeting. Veach/Klaseus MSC 8-0-0*
  4. **Public Comment:** The public may speak on matters not on the agenda up to 2 minutes.

**Karina Valasquez, Diamond BID,** Clean up on Imperial to 63<sup>rd</sup> coming up. Passed out fliers for a bike and movie night at the Jacobs Center as May is Bike Month.

**Louise Torio, Friends of Villa Montezuma,** mentioned that 270 attended the last open house at the Villa Montezuma, thanked everyone who joined.

### 5. Reports

#### A. Elected Officials Staff Reports

**District 4 Luis Natividad** Not in attendance

**District 8 Martha Zapata** Budget time for the City, and she brought list of special meetings for different departments. Next week the Mayor's budget comes out, then the City Council takes up the budget. Invite to "April Pools Day" at Memorial Park Pool to draw awareness to water safety

**District 9 Gloria Cruz** dropped off Creek to Bay Cleanup on Saturday April 22

**Representative Stephanie Allen from the office of Juan Vargas** Not in attendance

#### B. City Departments

**Civic San Diego, Sherry Brooks** In attendance, no update

**C. CPC Report. Presenter, Robert Leif** SGLU Working Groups want to diversify CPGs and make sure there are retraining, people need to do the COW training.

**D. Chairs Report (Election Results)** Announced election results. Mentioned that in the future we will have discussion agenda items to on how to increasing membership. Also attended the CPC meeting to observe.

6. **Information Items:**

- A. **Controlled intersection at the corner of 31<sup>st</sup> and Market. Presenter, Paola Boylan, Citizen/Circulate San Diego.** King Chavez is located 1 block south of Market which is a Vision Zero corridor. Many kids are getting dropped off on the North side and have to walk to the South side to get to school and there is no safe crossing. Last year during a walk audit, overwhelmingly parents were concerned about Market and 31<sup>st</sup>. City has approved for a controlled cross-walk. Would like to come back as an action item to get a letter of support to move this up the priority list.

7. **Consent Items:**

- A. **T Mobile Primera Iglesia Project # 372296. PDP, CUP and SDP, Process 4, for a Wireless Communication Facility (WFC) proposed 35-foot tall monument tower with an equipment enclosure. SESDPD-MF- 3000. 3535 Market Street.**  
**Notice Card: 1. CD: 9. Presenter Adam Stone. Motion to approve requested consent item. Klaseus/Torio MSC 8-0-0**

8. **Action Item: N/A**

9. **Adjournment (6:41)**

*Ray Bernal, (619) 988-5958*





THE CITY OF SAN DIEGO

City of San Diego  
**Development Services**  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

## Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☒ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title****Project No. For City Use Only**

SD06497 T-Mobile Primeria Iglesia

**Project Address:**

3535 Market Street, San Diego, CA 92102

### Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached** ☒ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:



Project Title:

T-Mobile Primera Iglesia (SD06497)

Project No. (For City Use Only)

**Part II - To be completed when property is held by a corporation or partnership**

Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☒ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print):  
 GEN. BOARD OF THE CHURCH OF THE NAZARENE

☒ Owner ☐ Tenant/Lessee

Street Address:  
 3535 MARKET STREET

City/State/Zip:  
 San Diego, CA 92102

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 619 234-0586

Name of Corporate Officer/Partner (type or print):

SENIOR PASTOR

Title (type or print):  
 SENIOR PASTOR

Signature :

Date:

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

☐ Owner ☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_



AERIAL MAP

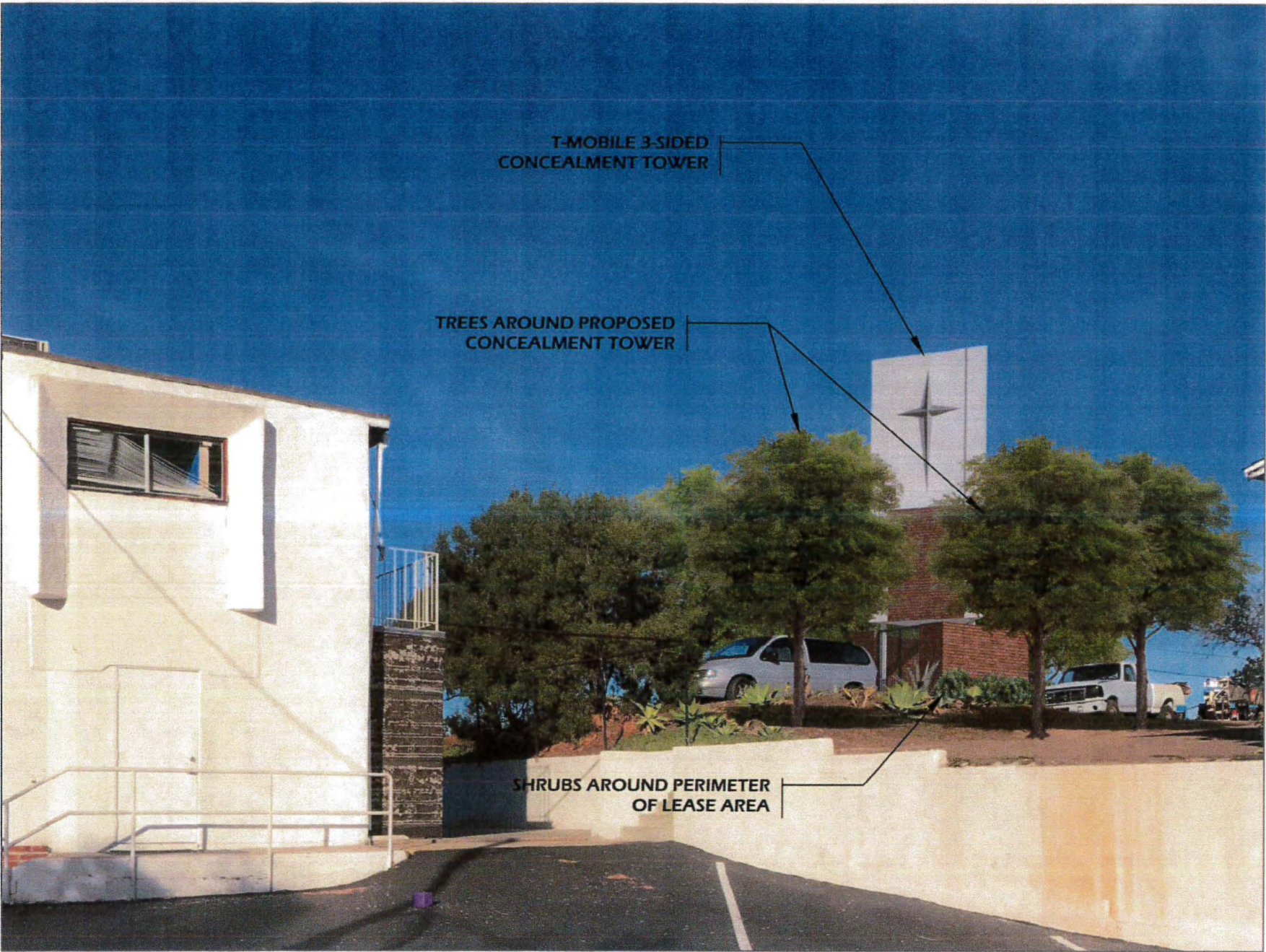


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EXISTING



PROPOSED



<div>DCI PACIFIC</div> <div>A E C WORKS</div> <div>ARCHITECTURE   ENGINEERING   CONSULTING</div> <div>32 EXECUTIVE PARK   SUITE 110   IRVINE   CA 92614</div> <div>T 949.475.1000   949.475.1001 F</div> <div></div>	<div></div>	<div>PRIMERA IGLESIA</div> <div>SD06497A</div> <div>3535 MARKET STREET</div> <div>SAN DIEGO, CA 92102</div>	VIEW	SHEET
			A	1 / 4



## AERIAL MAP



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## PROPOSED



## EXISTING



**DCI PACIFIC**  
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614  
T 949 475.1000 | 949 475.1001 F



..T..Mobile..

**PRIMERA IGLESIA**  
**SD06497A**

3535 MARKET STREET  
SAN DIEGO, CA 92102

**VIEW**

**B**

**SHEET**

**2 / 4**



AERIAL MAP



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EXISTING



PROPOSED



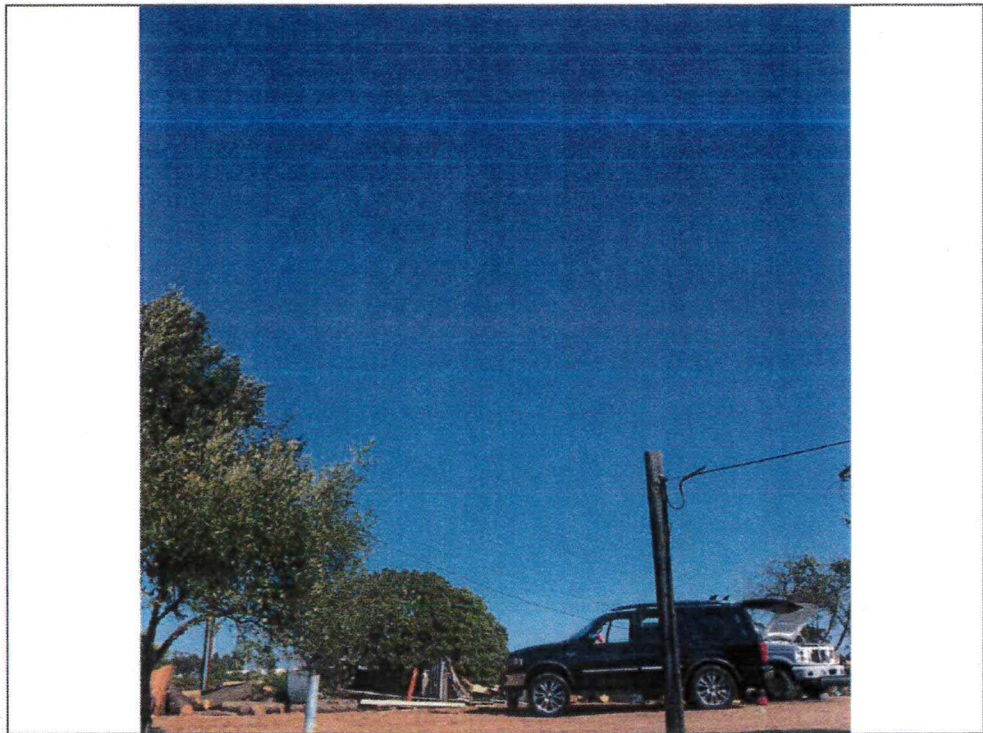


AERIAL MAP

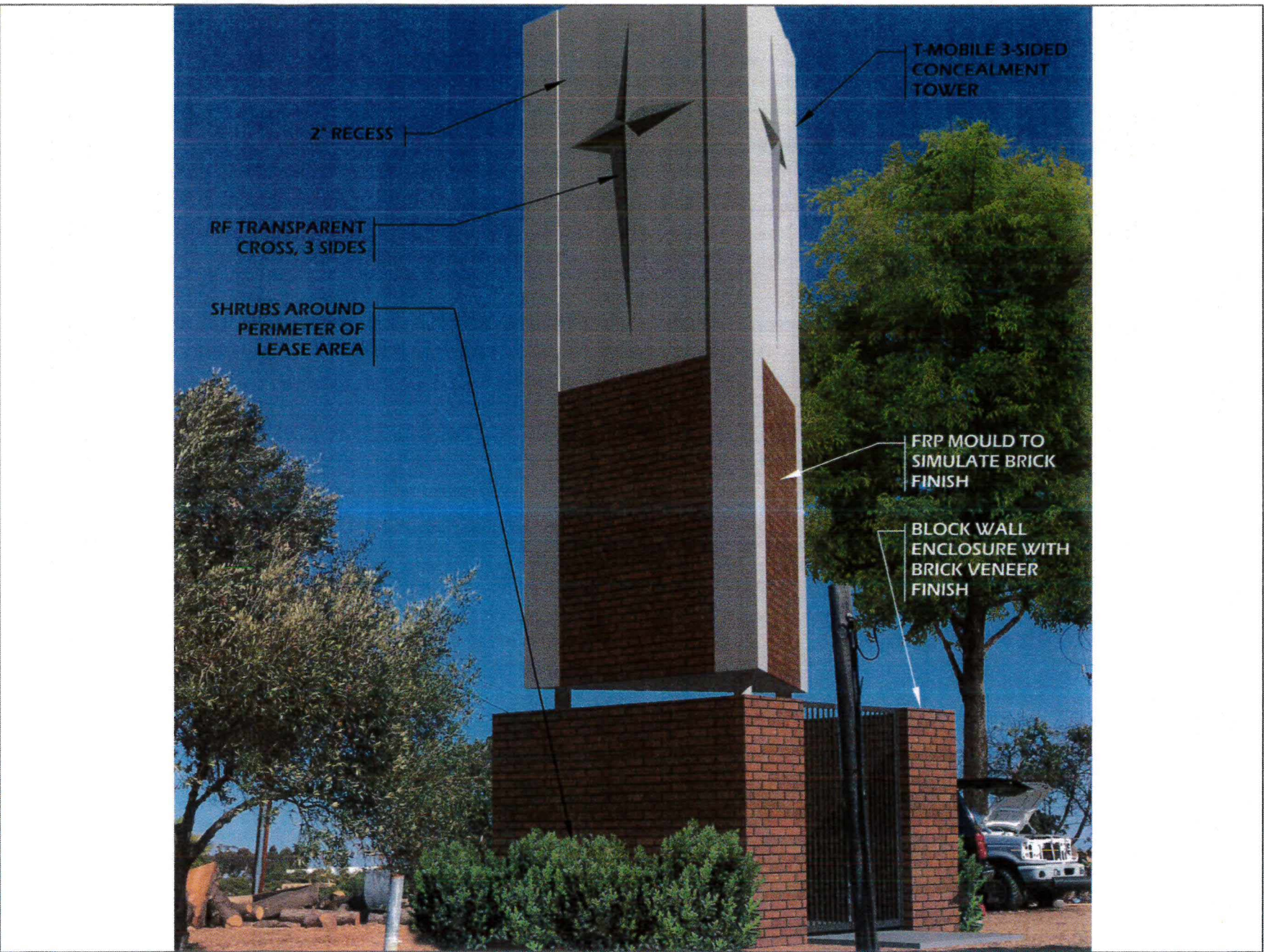


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EXISTING



PROPOSED CLOSE-UP VIEW



<div><div>DCI PACIFIC</div><div>A E C WORKS</div><div>ARCHITECTURE   ENGINEERING   CONSULTING 32 EXECUTIVE PARK   SUITE 110   IRVINE   CA 92614 T 949 475.1000   949 475.1001 F</div></div> <div></div>	<div><div>T-Mobile</div></div>	<div>PRIMERA IGLESIA SD06497A 3535 MARKET STREET SAN DIEGO, CA 92102</div>	VIEW	SHEET
			D	4 / 4



DEVELOPMENT SUMMARY

**PROJECT DESCRIPTION:**

ZONING FOR "T-MOBILE" UNMANNED TELECOMMUNICATION FACILITY:

**SCOPE OF WORK:**

- REMOVE (4) (E) "T-MOBILE" PANEL ANTENNAS INSIDE (E) SCREEN BOXES
- RESTORE ROOF & WALL TO ORIGINAL CONDITIONS
- INSTALL (1) (N) 35'-0" HIGH TOWER
- INSTALL (9) "T-MOBILE" PANEL ANTENNAS
- INSTALL (9) RRU's AT ANTENNA LEVEL
- INSTALL (2) (N) SURGE SUPPRESSORS
- INSTALL 7'H CMU WALL ENCLOSURE
- POWER, TELCO & COAX CABLE RUNS

NEW TOWER AREA= 144 SQFT. (TOWER CMU WALL)  
EXISTING EQUIPMENT AREA= 125 SQFT.

**APPLICANT:**

T-MOBILE WIRELESS  
10509 VISTA SORRENTO PARKWAY, SUITE 206,  
SAN DIEGO, CA 92121

CM: KIRT BABCOCK      PHONE: (858) 334-6139  
LUP: JOSEPH ROSE      PHONE: (269) 720-4055

(SEE AGENT FOR APPLICANT'S REPRESENTATIVE)

**PROPERTY OWNER:**

OWNER: IGLESIA NAZARENO

ADDRESS: 3535 MARKET STREET  
SAN DIEGO, CA 92102

CONTACT: NAHUM RODRIGUEZ, PASTOR  
PHONE: (619) 507-5724

**APPLICANT'S AGENT:**

SMARTLINK LLC  
18301 VON KARMAN AVE. SUITE 910  
IRVINE, CA 92612

SAC: ADAM STONE      PHONE: (734) 904-3390  
LUP: ADAM STONE      PHONE: (734) 904-3390

**ARCHITECT:**

DCI PACIFIC  
32 EXECUTIVE PARK, SUITE 110  
IRVINE, CA 92614

CONTACT: D.K. DO      E-MAIL: DK@DCIPACIFIC.COM  
PHONE: (949) 475-1000      FAX: (949) 475-1001

**BUILDING CODE INFORMATION:**

**PROPOSED STRUCTURE:**

OCCUPANCY = S2  
CONSTRUCTION TYPE = V-B  
SPRINKLER SYSTEM = NONE

**ZONING INFORMATION:**

JURISDICTION: CITY OF SAN DIEGO  
CURRENT ZONING: RM-2-5  
LATITUDE: 32° 42' 40.30" N  
LONGITUDE: 117° 07' 00.40" W  
ELEVATION: 154.83 FT. AMSL (NAVD 1988)  
TOWER HEIGHT: 35'-0"H

**APPROVALS:**

R.F. ENGINEER: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_  
SITE ACQUISITION: \_\_\_\_\_  
OWNER / LANDLORD: \_\_\_\_\_  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**PROPERTY INFORMATION:**

LEGAL DESCRIPTION:  
ALL SE OF FRWY IN LOTS 25 THRU 34 & ALL OF LOTS 17 THRU 20 BLK 2 000147

ASSESSOR PARCEL NUMBER: 546-030-17-00

LEASE AREA: 144 SQFT. (TOWER CONCRETE PAD)

TOTAL LOT AREA = 12146 SQFT.  
TOTAL BUILDING AREA  
(E) BUILDING = 2564 SQFT.  
(E) TWO EQUIPMENT BUILDING = 125 SQFT.  
(N) TWO TOWER PAD = 144 SQFT.  
TOTAL LOT COVERAGE = 2833 SQFT  
% OF LOT COVERAGE IS 23% < 50%

**UTILITY SURVEYORS:**

**POWER:** COMPANY: N/A

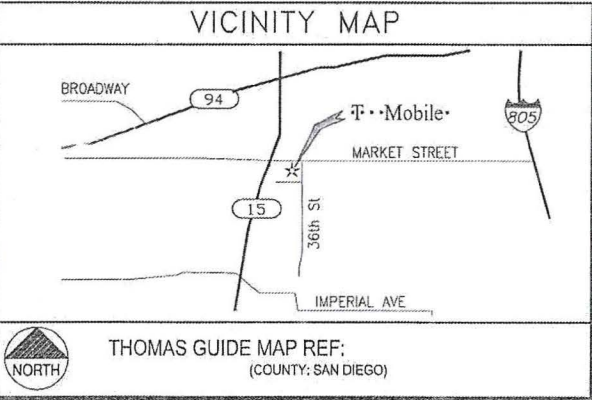
**TELCO:** COMPANY: N/A

T-Mobile  
stick together

SD06497A - PRIMERA IGLESIA

3535 MARKET STREET  
SAN DIEGO, CA 92102

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE.  
ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED.



APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2016 CALIFORNIA ADMINISTRATIVE CODE (CAC)
2. 2016 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2
3. 2016 CALIFORNIA ELECTRICAL CODE
4. 2016 CALIFORNIA MECHANICAL CODE (CMC)
5. 2016 CALIFORNIA ENERGY CODE
6. 2016 CALIFORNIA FIRE CODE (CFC)
7. 2016 CALIFORNIA GREEN CODE
8. 2016 CALIFORNIA REFERENCES STANDARDS CODE

ACCESSIBILITY NOTE

THIS PROJECT IS AN UNMANNED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

ADA COMPLIANCE:  
N/A (UNMANNED COMMUNICATIONS FACILITY)

SHEET INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET
A1	SITE PLAN & LESSEE'S CERTIFICATE
A2	ENLARGED SITE PLAN
A3	TOWER GROUND LEVEL PLAN, ANTENNA LEVEL PLAN & RRU'S LEVEL PLAN
A4	ANTENNA AND RRU SPECIFICATIONS AND MOUNTING DETAILS
A5	ANTENNA SPECIFICATIONS & (E) EQUIPMENT SHELTER LAYOUT PLAN
A6	SOUTH & NORTH ELEVATIONS
A7	EAST & WEST ELEVATIONS
C1	STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST
C2	BMP PLAN
L1	IRRIGATION PLAN
L2	IRRIGATION DETAILS
L3	PLANTING PLAN
LS1	SITE SURVEY GENERAL INFORMATION (FOR REFERENCE)
LS2	SITE SURVEY GENERAL INFORMATION (FOR REFERENCE)

15	SHEETS TOTAL	ISSUED FOR: ZONING
NOTE: SCALES SHOWN ON SET OF DRAWINGS ARE REPRESENTATIVE OF FULL SIZE 24"x36" DRAWINGS. IF THIS SET OF DRAWINGS IS LESS THAN 24"x36", IT IS A REDUCED SET.		
SPECIAL INSPECTION REQUIRED		

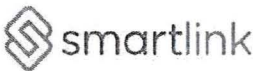
PROPRIETARY INFORMATION

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DATE:	03/06/17	
ARCHITECT:	DKD	
DRAWN BY:	VT/JDY/HH	
CHECKED BY:	BOK	
ISSUE STATUS:		
△ DATE:	DESCRIPTION:	BY:
- 08/19/15	MONOPINE RELO	HH
- 03/15/16	CHANGE TO BELL TOWER	HH
- 06/10/16	TRIANGLE TOWER DESIGN	HH
- 10/18/16	CYCLE ISSUES 08/02/16	HH
- 12/27/16	3 ANTENNAS PER SECTOR	HH
- 03/06/17	SHOW (E) EQUIP. SHELTER	HH

T-Mobile  
stick together

10509 VISTA SORRENTO PARKWAY,  
SAN DIEGO, CA 92121



PLANS PREPARED BY:

**DCI PACIFIC**  
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSE:

PROJECT NAME:

PRIMERA IGLESIA

PROJECT NUMBER:

SD06497A

PROJECT ADDRESS:

3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T1

ABBREVIATIONS

A.B.	ANCHOR BOLT	GRND.	GROUND	DIAG.	DIAGONAL	REINF.	REINFORCEMENT(ING)
ABV.	ABOVE	HGR.	HEADER	DM.	DIMENSION	REQ'D.	REQUIRED
ADD'L.	ADDITIONAL	HGR.	HANGER	DWG.	DRAWING(S)	RGS.	RIGID GALVANIZED STEEL
A.F.F.	ABOVE FINISHED FLOOR	HT.	HEIGHT	DWL.	DOWEL(S)	SCH.	SCHEDULE
A.F.G.	ABOVE FINISHED GRADE	ICGB.	ISOLATED COPPER GROUND BUS	EA.	EACH	SHT.	SHEET
ALUM.	ALUMINUM	IN.(")	INCH(ES)	EL.	ELEVATION	SM.	SIMILAR
ALT.	ALTERNATE	INT.	INTERIOR	ELEC.	ELECTRICAL	SPEC.	SPECIFICATION(S)
ANT.	ANTENNA	LB.(#)	POUND(S)	ELEV.	ELEVATOR	SO.	SQUARE
APPRX.	APPROXIMATE(LY)	L.B.	LAG BOLTS	EMT.	ELECTRICAL METALLIC TUBING	STD.	STANDARD
ARCH.	ARCHITECT(URAL)	L.F.	LINEAR FEET (FOOT)	E.N.	EDGE NAIL	STL.	STEEL
AWG.	AMERICAN WIRE GAUGE	L.F.	LONGITUDINAL	ENG.	ENGINEER	STRUC.	STRUCTURAL
BLDG.	BUILDING	MAS.	MASONRY	EQ.	EQUAL	TEMP.	TEMPORARY
BLK.	BLOCK	MAX.	MAXIMUM	EXP.	EXPANSION	THK.	THICK(NESS)
BLKG.	BLOCKING	M.B.	MACHINE BOLT	EXT.(E)	EXTERIOR	T.N.	TOE NAIL
BM.	BEAM	MECH.	MECHANICAL	EXT.	EXTERIOR	T.O.A.	TOP OF ANTENNA
B.N.	BOUNDARY NAILING	MFR.	MANUFACTURER	FAB.	FABRICATION(CR)	T.O.C.	TOP OF CURB
BTWC.	BARE TINNED COPPER WIRE	MIN.	MINIMUM	F.F.	FINISH FLOOR	T.O.F.	TOP OF FOUNDATION
B.O.F.	BOTTOM OF FOOTING	MISC.	MISCELLANEOUS	F.G.	FINISH GRADE	T.O.P.	TOP OF PLATE (PARAPET)
B/U	BACK-UP CABINET	MISC.	MISCELLANEOUS	FIN.	FINISH(ED)	T.O.S.	TOP OF STEEL
CAB.	CABINET	MTL.	METAL	FLR.	FLOOR	T.O.W.	TOP OF WALL
CANT.	CANTILEVER(ED)	NO.(#)	NUMBER	FDN.	FOUNDATION	TYP.	TYPICAL
C.I.P.	CAST IN PLACE	N.T.S.	NOT TO SCALE	F.O.C.	FACE OF CONCRETE	U.G.	UNDER GROUND
CLC.	CEILING	O.C.	ON CENTER	F.O.M.	FACE OF MASONRY	U.L.	UNDERWRITERS LABORATORY
CLR.	CLEAR	OPNG.	OPENING	F.O.S.	FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
COL.	COLUMN	P/C	PRECAST CONCRETE	F.O.W.	FACE OF WALL	V.I.F.	VERIFY IN FIELD
CONC.	CONCRETE	PLY.	PLYWOOD	FT.(')	FOOT(FEET)	W.	WIDE(WIDTH)
CONN.	CONNECTION(OR)	P.W.	PACIFIC BELL WIRELESS	FTG.	FOOTING	W/	WOOD
CONSTR.	CONSTRUCTION	P.S.F.	POUNDS PER SQUARE FOOT	G.	GROWTH (CABINET)	W.P.	WEATHERPROOF
CONT.	CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH	GA.	GALVANIZED	WT.	WEIGHT
DBL.	DOUBLE	PUR.	PURCHASE TREATED	GL.	GLUE LAMINATED BEAM	W/	WIDE(WIDTH)
DEPT.	DEPARTMENT	QTY.	QUANTITY	GLB.(GLU-LAM)		W/	WOOD
D.F.	DOUGLAS FIR	RAD.(R)	RADIUS			W.P.	WEATHERPROOF
DIA.	DIAMETER	REF.	REFERENCE			WT.	WEIGHT

SYMBOLS

NEW ANTENNA	SECTION REFERENCE
EXISTING ANTENNA	CENTERLINE
GROUND ROD	PROPERTY/LEASE LINE
GROUND BUS BAR	MATCH LINE
MECHANICAL GRND. CONN.	WORK POINT
CADWELD	GROUND CONDUCTOR
GROUND ACCESS WELL	TELEPHONE CONDUIT
ELECTRIC BOX	ELECTRICAL CONDUIT
TELEPHONE BOX	COAXIAL CABLE
SPOT ELEVATION	ELEC. & TEL. CONDUITS
REVISION	CHAIN LINK FENCING
GRID REFERENCE	OVERHEAD SERVICE CONDUCTORS
DETAIL REFERENCE	KEYNOTE
ELEVATION REFERENCE	



NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. PRIOR TO ISSUANCE OF ANY CONSTRUCTIONS PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
4. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY

TOTAL LOT AREA = 12146 SQFT.  
TOTAL BUILDING AREA  
(E) BUILDING = 2564 SQFT.  
(E) TMO EQUIPMENT BUILDING = 125 SQFT.  
(N) TMO TOWER PAD = 144 SQFT.  
TOTAL LOT COVERAGE = 2833 SQFT  
% OF LOT COVERAGE IS 23% < 50%

FIBER/DC CONDUIT TRENCH	
GRADING DATA TABLE	
CUT:	0 CU YD (TRENCH)
FILL:	0 CU YD (TRENCH)
IMPORT:	0
EXPORT:	18 CU YD
APPROX. 120 FT LONG FOR POWER & FIBER/DC RUNS TO EQUIPMENT AREA	
TOTAL=18 CU YD.	

Lessee's Certificate  
Standard Wireless Facility Project  
for Post-construction BMP's

I/we the undersigned, as lessee of a portion of the property described as  
3535 MARKET STREET SAN DIEGO, CA 92102  
(Address or legal description)  
understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

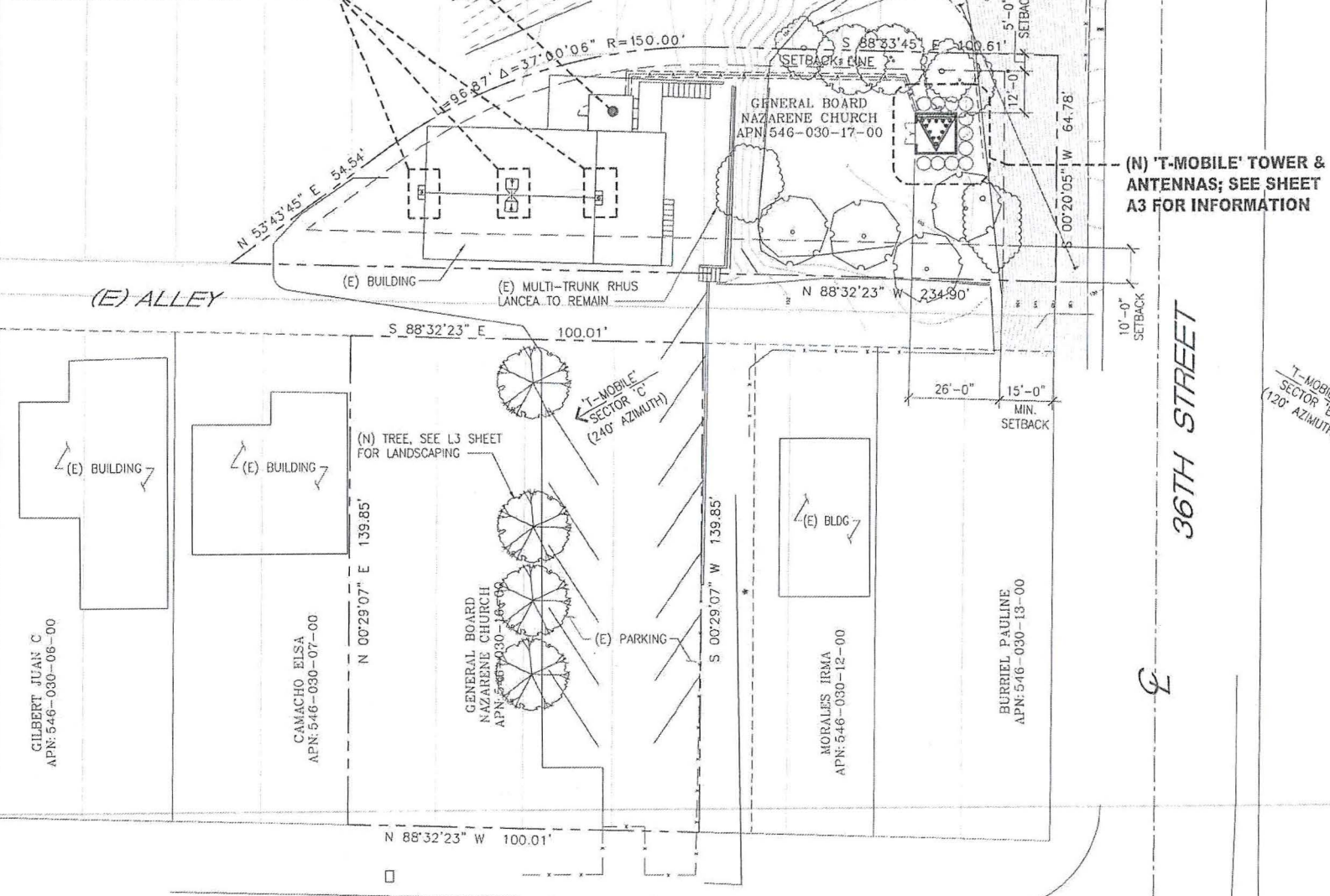
I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: Robert Krebs Company Name: T-Mobile  
(print name)  
Date: 8/24/10  
(signature)

NOTE: THE PROPOSED TOWER WILL NOT BLOCK OR ALTER THE EXISTING DRAINAGE PATTERN

(E) 'T-MOBILE' EQUIPMENT SHELTER TO REMAIN

REMOVE (E) 'T-MOBILE' ANTENNAS INSIDE SCREEN BOXES; SEE SHEET A2 FOR DETAIL



(N) 'T-MOBILE' TOWER & ANTENNAS; SEE SHEET A3 FOR INFORMATION

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T-Mobile  
stick together  
10509 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121

smartlink

PLANS PREPARED BY:  
**DCI PACIFIC**  
A/E/C WORKS  
ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSURE:

PROJECT NAME:  
PRIMERA IGLESIA

PROJECT NUMBER:  
SD06497A

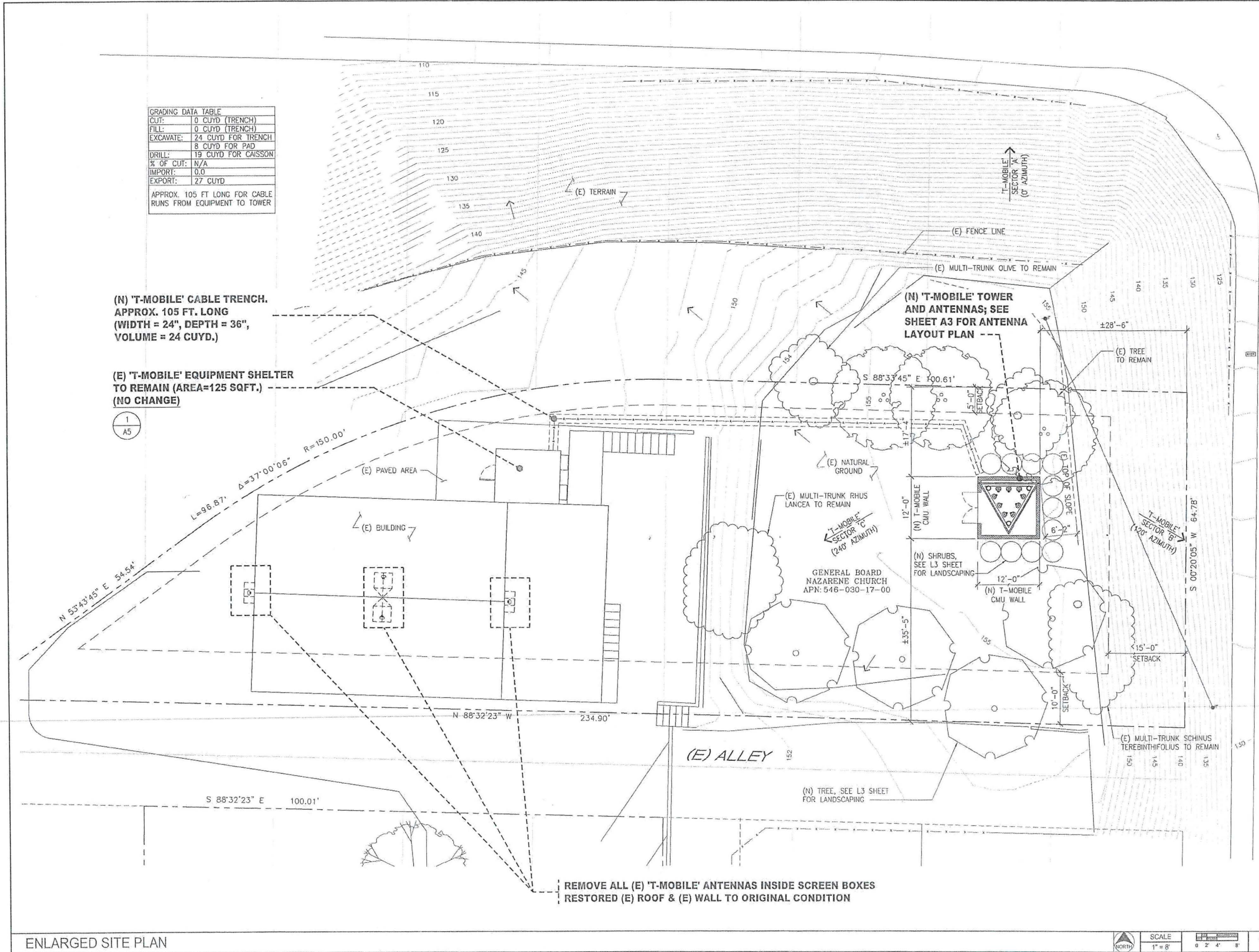
PROJECT ADDRESS:  
3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:  
SITE PLAN  
&  
LESSEE'S CERTIFICATE

SHEET NUMBER:

A1





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**APPLICANT**  
**T-Mobile**  
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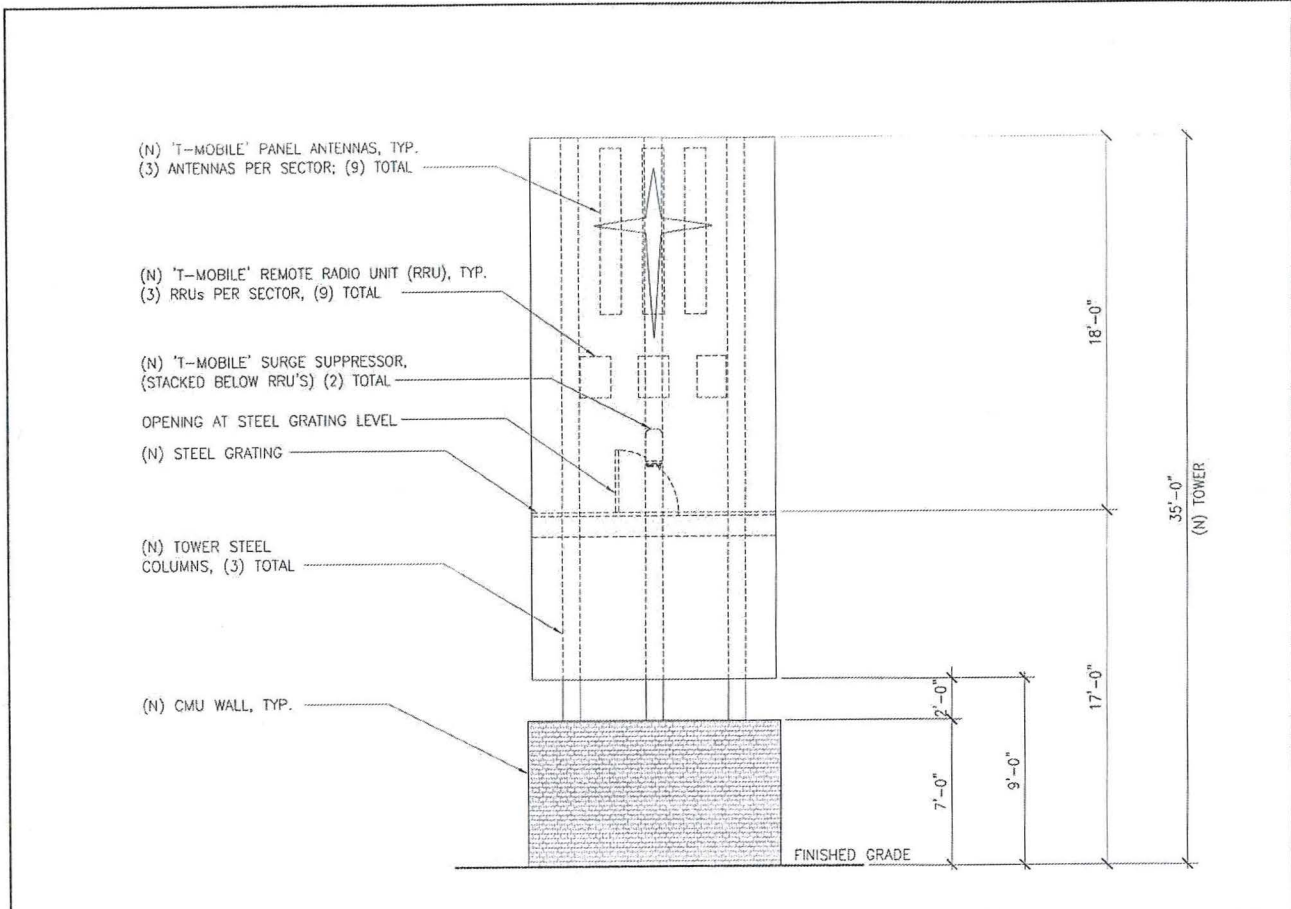
PROJECT NUMBER:  
SD06497A

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SAN DIEGO, CA 92102

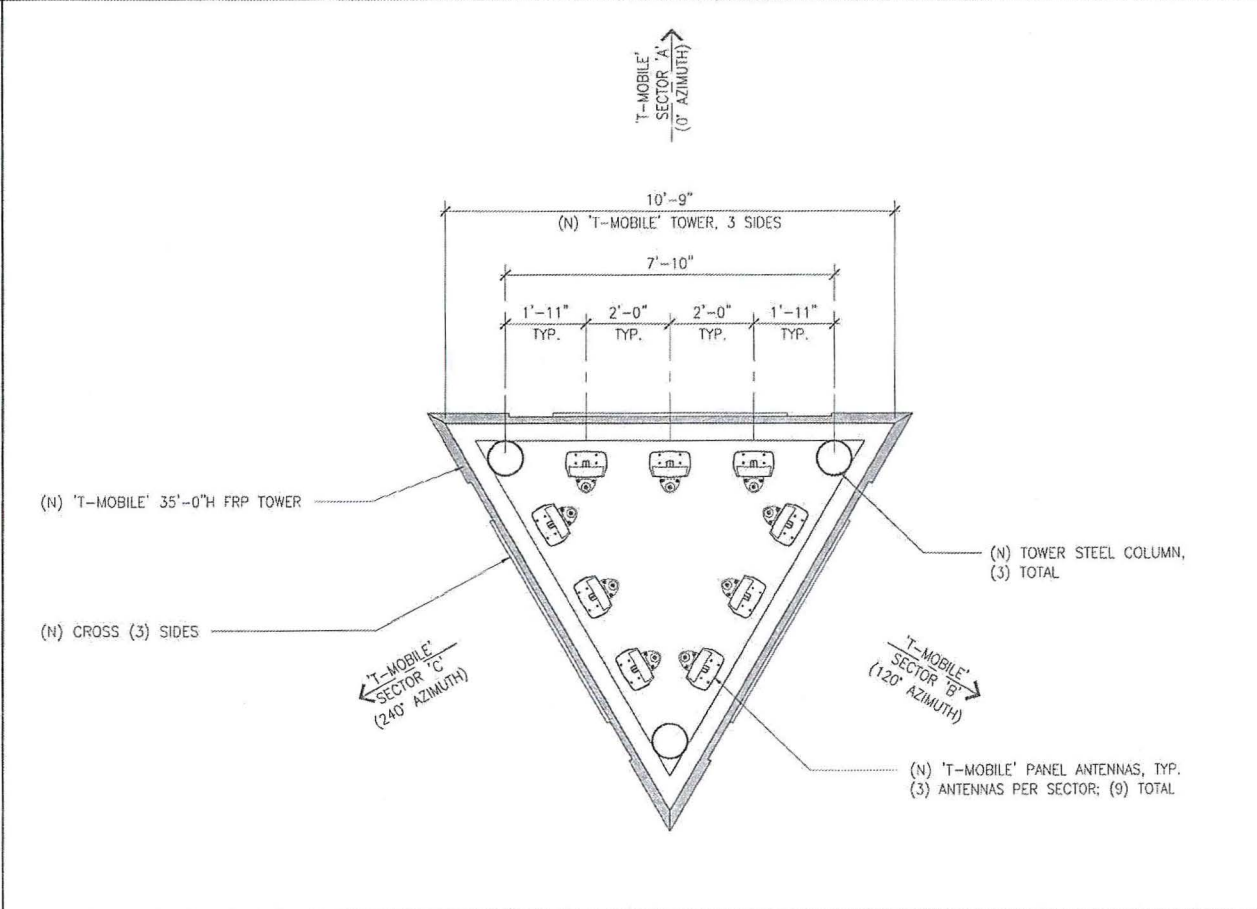
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ENLARGED SITE PLAN

SHEET NUMBER:  
**A2**

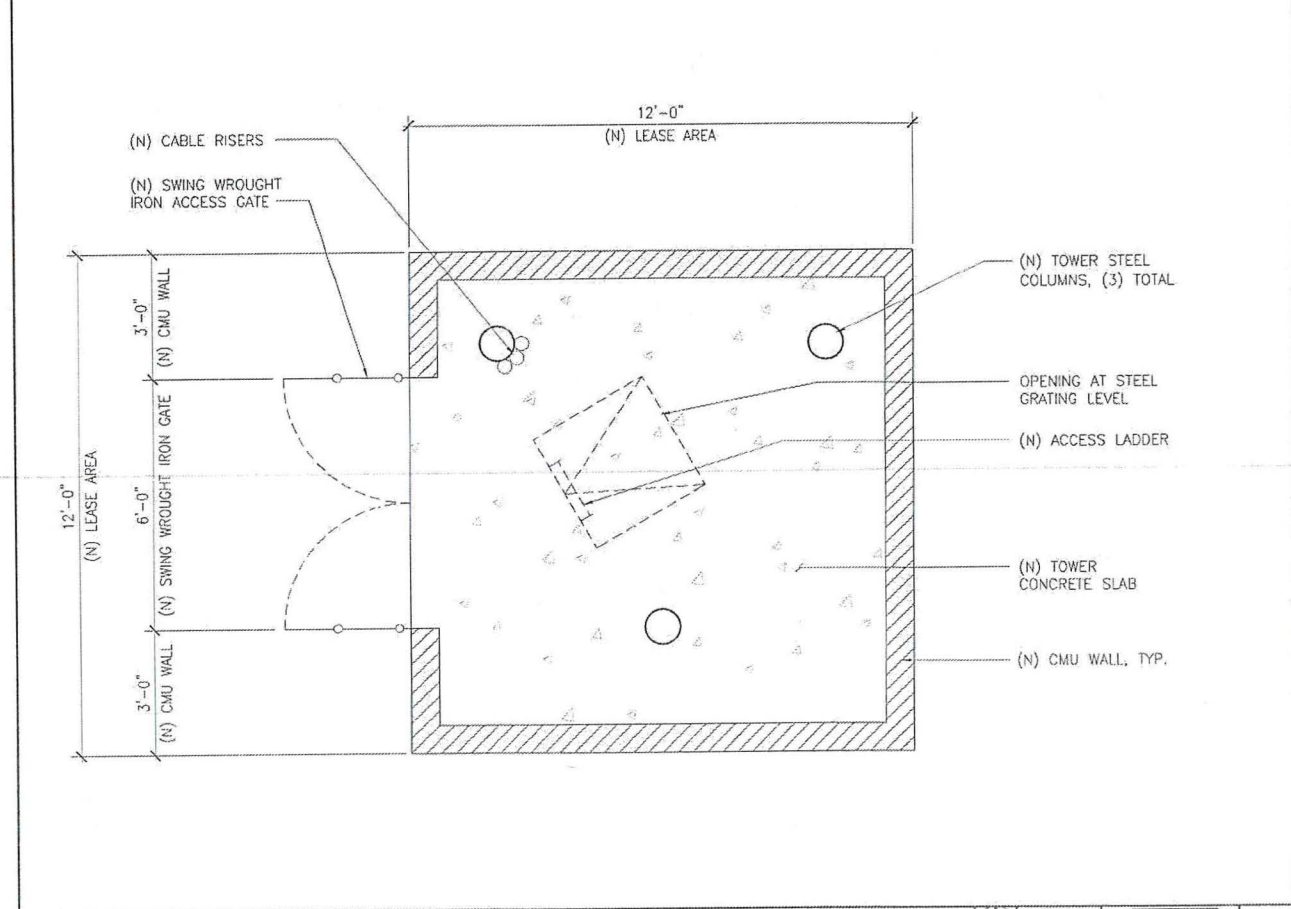




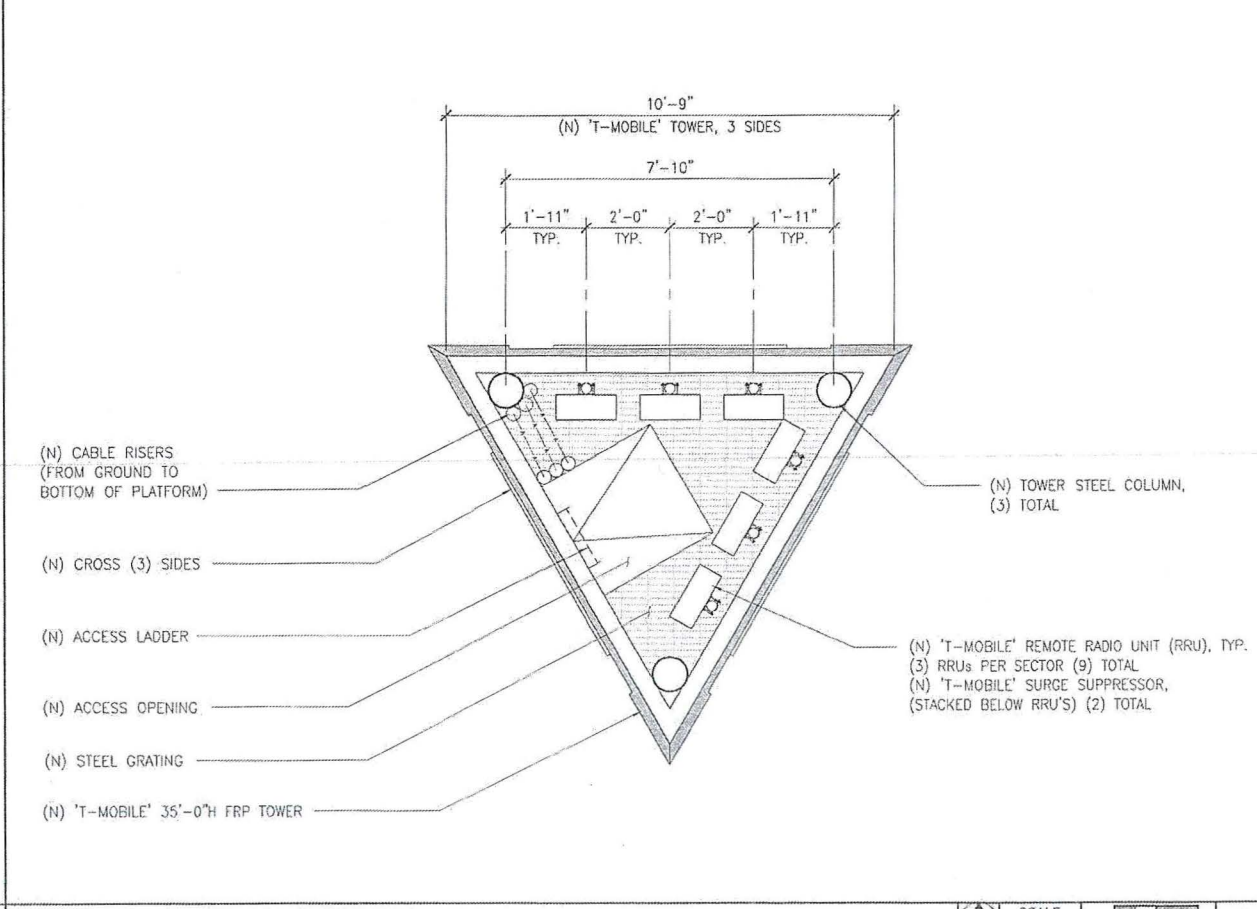
TOWER ELEVATION



ANTENNA LEVEL PLAN (UPPER)



GROUND LEVEL PLAN



RRU'S LEVEL PLAN (LOWER)

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APPLICANT

**T-Mobile**

stick together

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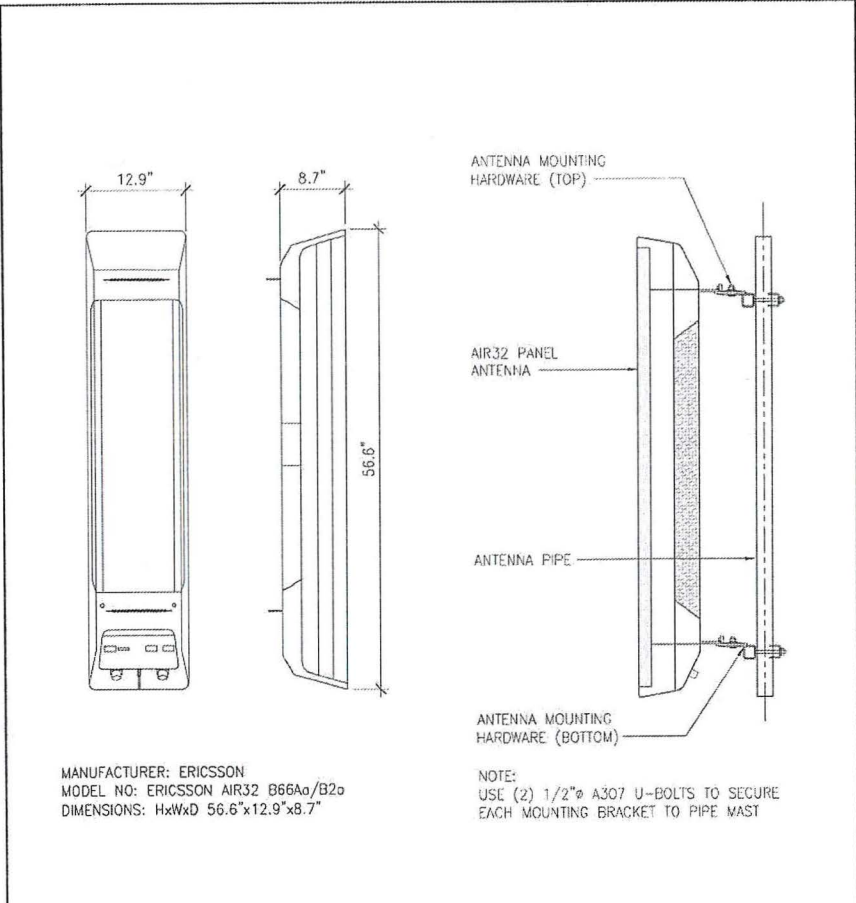
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TOWER GROUND LEVEL PLAN,  
ANTENNA LEVEL PLAN &  
RRU'S LEVEL PLAN

SHEET NUMBER:

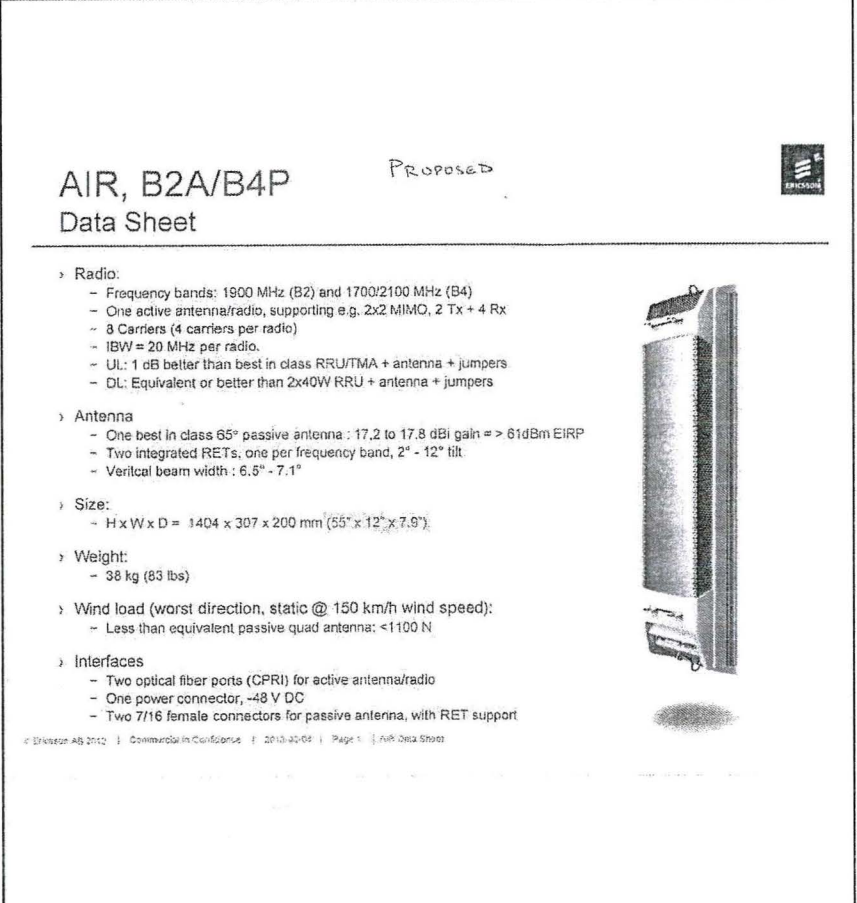
**A3**





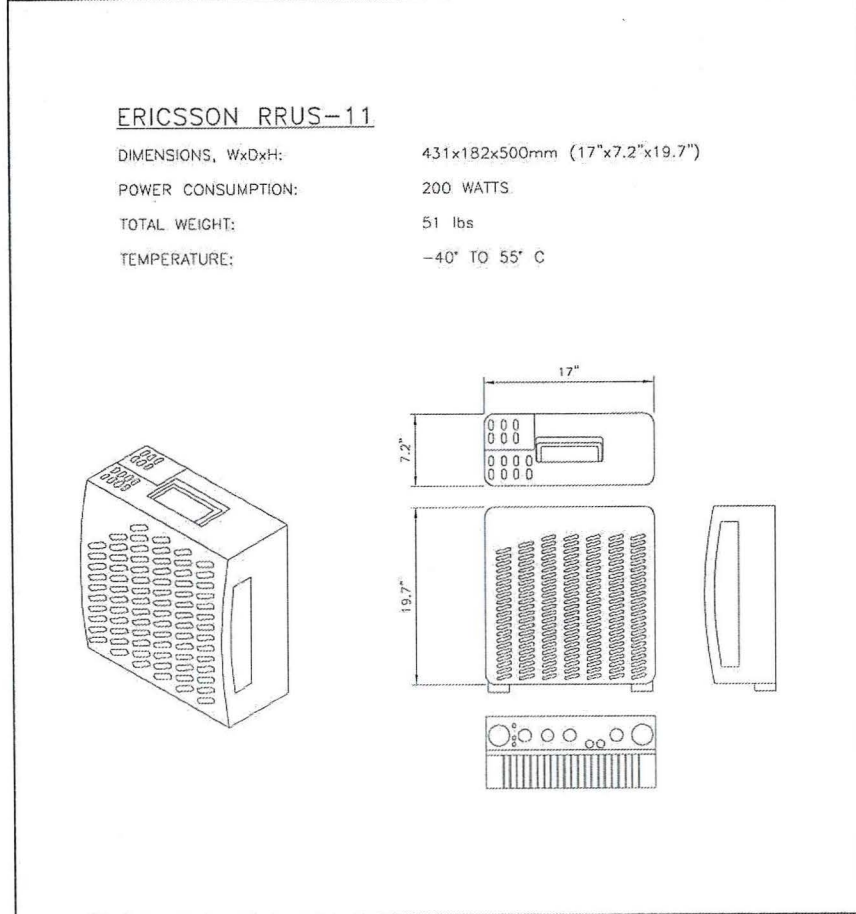
AIR 32 B66Aa/B2a ANTENNA SPECIFICATIONS

SCALE: N.T.S. 4



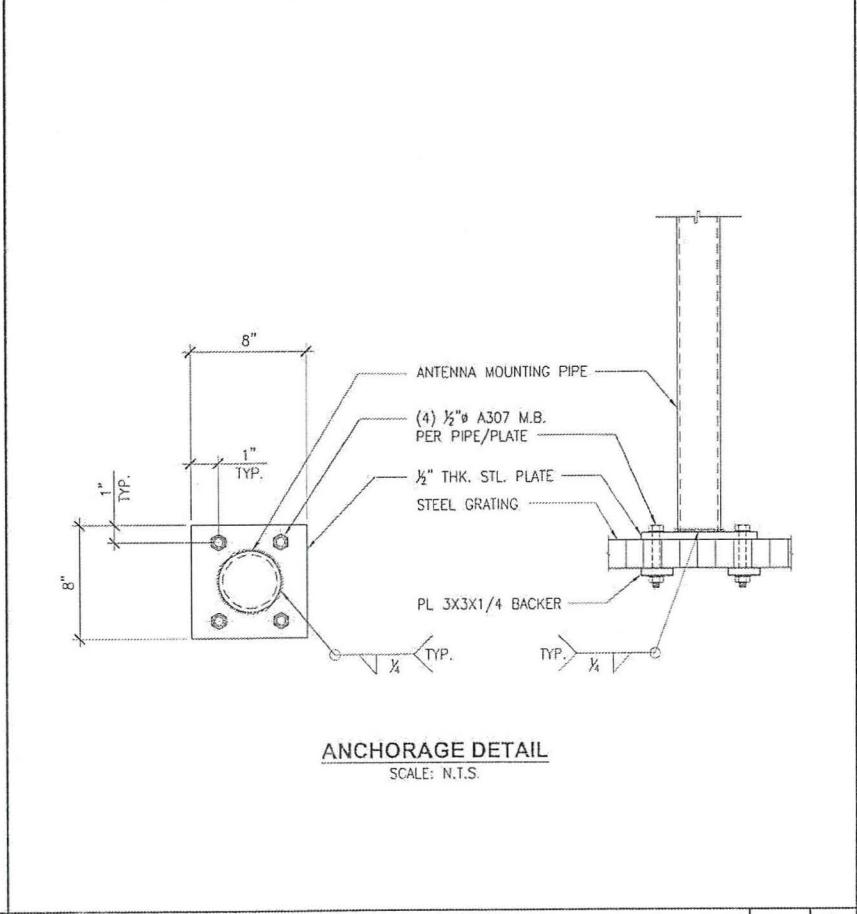
AIR B2A/B4P ANTENNA SPECIFICATIONS

SCALE: N.T.S. 2



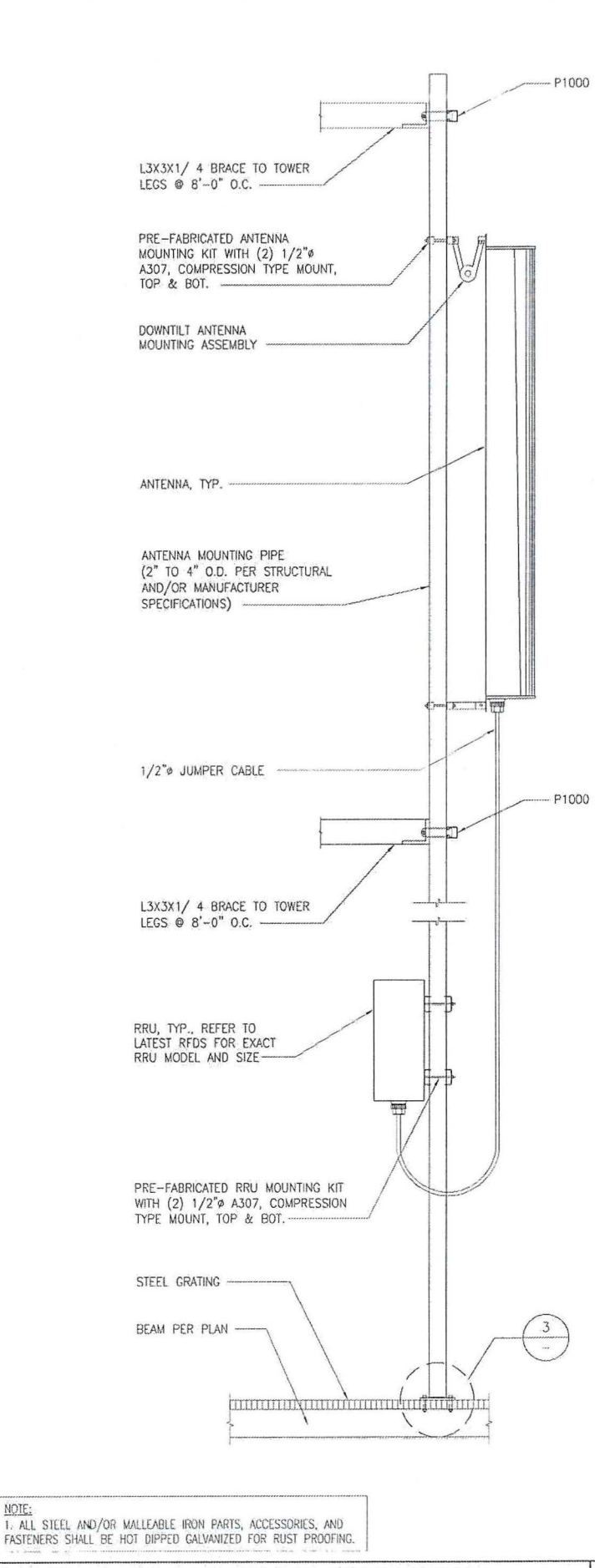
RRUS SPECIFICATIONS

SCALE: N.T.S. 5



BASE PLATE ATTACHMENT

SCALE: N.T.S. 3



ANTENNA MOUNTING PIPE AT PLATFORM

SCALE: N.T.S. 1

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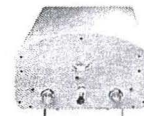
SHEET TITLE:  
ANTENNA AND RRU  
SPECIFICATIONS AND  
MOUNTING DETAILS

SHEET NUMBER:  
**A4**



Product Specifications

COMMSCOPE®



- LNX-6515DS-VTM | LNX-6515DS-A1M  
Single Band Antenna, 698-896 MHz, 65° horizontal beamwidth, RET compatible
- Excellent choice to maximize both coverage and capacity in suburban and rural applications
  - Fully compatible with Andrew remote electrical tilt system for greater OpEx savings
  - Exceptional horizontal pattern roll-off and strong front-to-back ratio
  - Extended bandwidth allows one antenna to serve multiple frequency allocations
  - Great solution to maximize network coverage and capacity
  - The RF connectors are designed for IP67 rating and the radome for IP56 rating

Electrical Specifications

Frequency Band, MHz	698-806	806-896
Gain, dBi	16.7	17.6
Beamwidth, Horizontal, degrees	65	64
Beamwidth, Vertical, degrees	9.7	8.6
Beam Tilt, degrees	0-8	0-8
USLS (First Lobe), dB	17	17
Front-to-Back Ratio at 180°, dB	32	27
CPR at Boresight, dB	24	27
CPR at Sector, dB	15	13
Isolation, dB	30	30
VSWR   Return Loss, dB	1.4   19.8	1.4   19.8
PIM, 3rd Order, 2 x 20 W, dBc	-153	-153
Input Power per Port, maximum, watts	400	400
Polarization	±45°	±45°
Impedance	50 ohm	50 ohm

Electrical Specifications, BASTA\*

Frequency Band, MHz	698-806	806-896
Gain by all Beam Tilts, average, dBi	16.6	16.9
Gain by all Beam Tilts Tolerance, dB	±0.4	±0.3
Gain by Beam Tilt, average, dBi	0° ± 16.6	0° ± 17.0
	4° ± 16.6	4° ± 17.0
	8° ± 16.4	8° ± 16.8
Beamwidth, Horizontal Tolerance, degrees	±1	±0.9
Beamwidth, Vertical Tolerance, degrees	±0.6	±0.4
USLS, beampeak to 20° above beampeak, dB	18	18
Front-to-Back Total Power at 180° ± 30°, dB	25	23
CPR at Boresight, dB	24	27
CPR at Sector, dB	15	13

\* Commscope® supports NGMN recommendations on Base Station Antenna Standards (BASTA). To learn more about the benefits of BASTA, download the whitepaper Time to Revisit the Bar on BSAs.

General Specifications

Operating Frequency Band	698 - 896 MHz
Antenna Type	Sector
Band	Single band
Performance Note	Outdoor usage

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page 1 of 3  
February 9, 2017

Product Specifications

COMMSCOPE®

LNX-6515DS-VTM | LNX-6515DS-A1M

Mechanical Specifications

RF Connector Quantity, total	2
RF Connector Quantity, low band	2
RF Connector Interface	7-16 DIN Female
Color	Light gray
Grounding Type	RF connector inner conductor and body grounded to reflector and mounting bracket
Radiator Material	Aluminum
Radome Material	Fiberglass, UV resistant
RF Connector Location	Bottom
Wind Loading, frontal	878.0 N @ 150 km/h 197.4 lbf @ 150 km/h
Wind Loading, lateral	273.0 N @ 150 km/h 61.4 lbf @ 150 km/h
Wind Loading, rear	1033.0 N @ 150 km/h 232.2 lbf @ 150 km/h
Wind Speed, maximum	241 km/h   150 mph

Dimensions

Length	2453.0 mm   96.6 in
Width	301.0 mm   11.9 in
Depth	180.5 mm   7.1 in
Net Weight, without mounting kit	19.8 kg   43.7 lb

Remote Electrical Tilt (RET) Information

Model with Factory Installed AISG 2.0 Actuator: LNX-6515DS-A1M

Packed Dimensions

Length	2718.0 mm   107.0 in
Width	392.0 mm   15.4 in
Depth	295.0 mm   11.6 in
Shipping Weight	36.9 kg   81.4 lb

Regulatory Compliance/Certifications

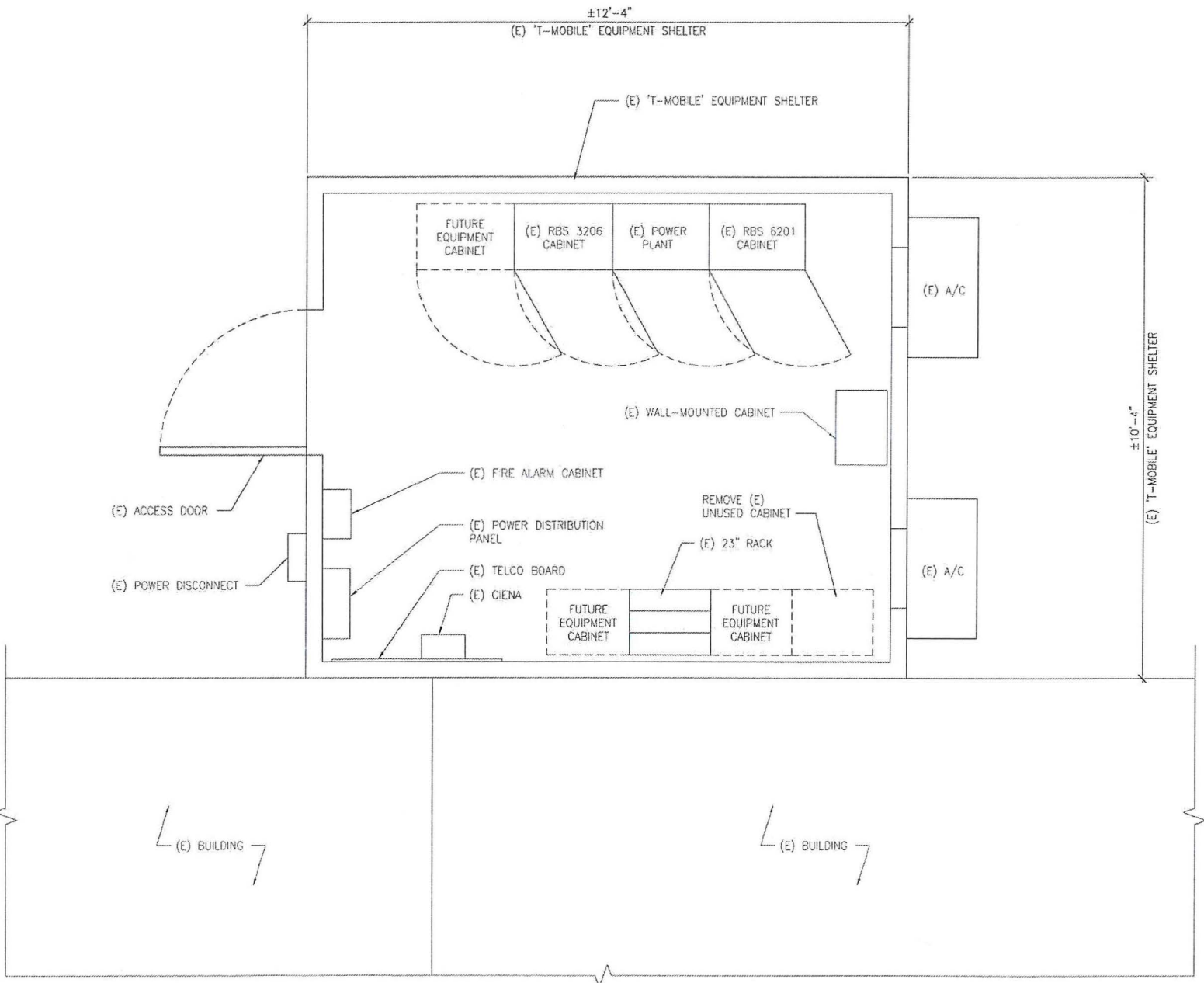
Agency	Classification
RohS 2011/65/EU	Compliant by Exemption
China RoHS 31/T 11384-2005	Above Maximum Concentration Value (MCV)
ISO 9001:2008	Designed, manufactured and/or distributed under this quality management system



Included Products

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ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
-	08/19/15	MONOPINE RELO	HH
-	03/16/16	CHANGE TO BELL TOWER	HH
-	06/10/16	TRIANGLE TOWER DESIGN	HH
-	10/18/16	CYCLE ISSUES 08/02/16	HH
-	12/27/16	3 ANTENNAS PER SECTOR	HH
-	03/06/17	SHOW (E) EQUIP. SHELTER	HH

T-Mobile  
stick together  
10509 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121



PLANS PREPARED BY:

DCI PACIFIC  
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PRIMERA IGLESIA

PROJECT NUMBER:

SD06497A

PROJECT ADDRESS:

3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:

(E) EQUIPMENT SHELTER  
LAYOUT PLAN  
(NO CHANGE)  
& ANTENNA SPECIFICATIONS

SHEET NUMBER:

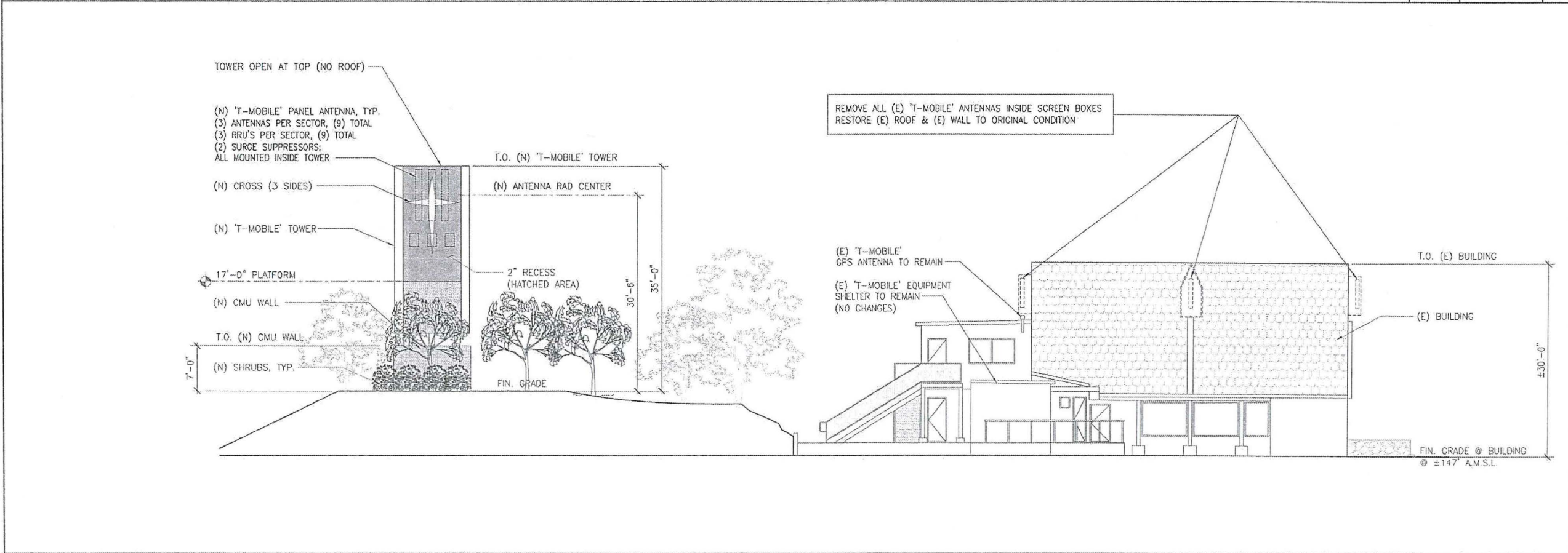
A5





SOUTH ELEVATION

SCALE  
1/8" = 1'-0"  
0 2' 4' 8' 1



NORTH ELEVATION

SCALE  
1/8" = 1'-0"  
0 2' 4' 8' 2

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DATE:	03/06/17
ARCHITECT:	DKD
DRAWN BY:	VT/JDY/HH
CHECKED BY:	BOK
ISSUE STATUS:	
Δ DATE:	DESCRIPTION:
- 08/18/15	MONOPINE RELO
- 03/16/16	CHANGE TO BELL TOWER
- 06/10/16	TRIANGLE TOWER DESIGN
- 10/18/16	CYCLE ISSUES 08/02/16
- 12/27/16	3 ANTENNAS PER SECTOR
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APPLICANT  
**T-Mobile**  
stick together  
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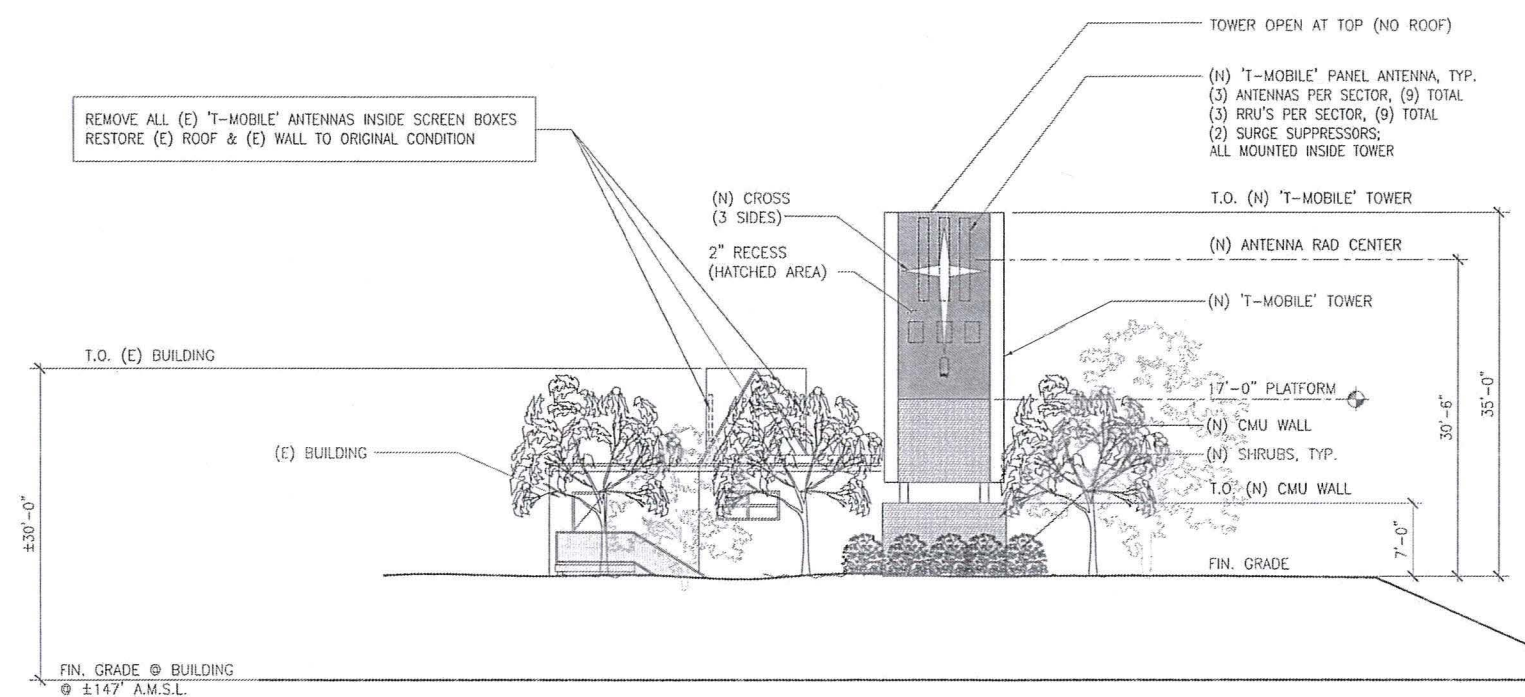


PLANS PREPARED BY:  
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ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
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LICENSURE:
PROJECT NAME:
PRIMERA IGLESIA
PROJECT NUMBER:
SD06497A
PROJECT ADDRESS:
3535 MARKET STREET SAN DIEGO, CA 92102
SHEET TITLE:
SOUTH AND NORTH ELEVATIONS
SHEET NUMBER:

A6





EAST ELEVATION

SCALE	
1/8" = 1'-0"	0 2' 4'

--	--



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32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

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PRIMERA IGLESIA

PROJECT NUMBER:

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PROJECT ADDRESS:

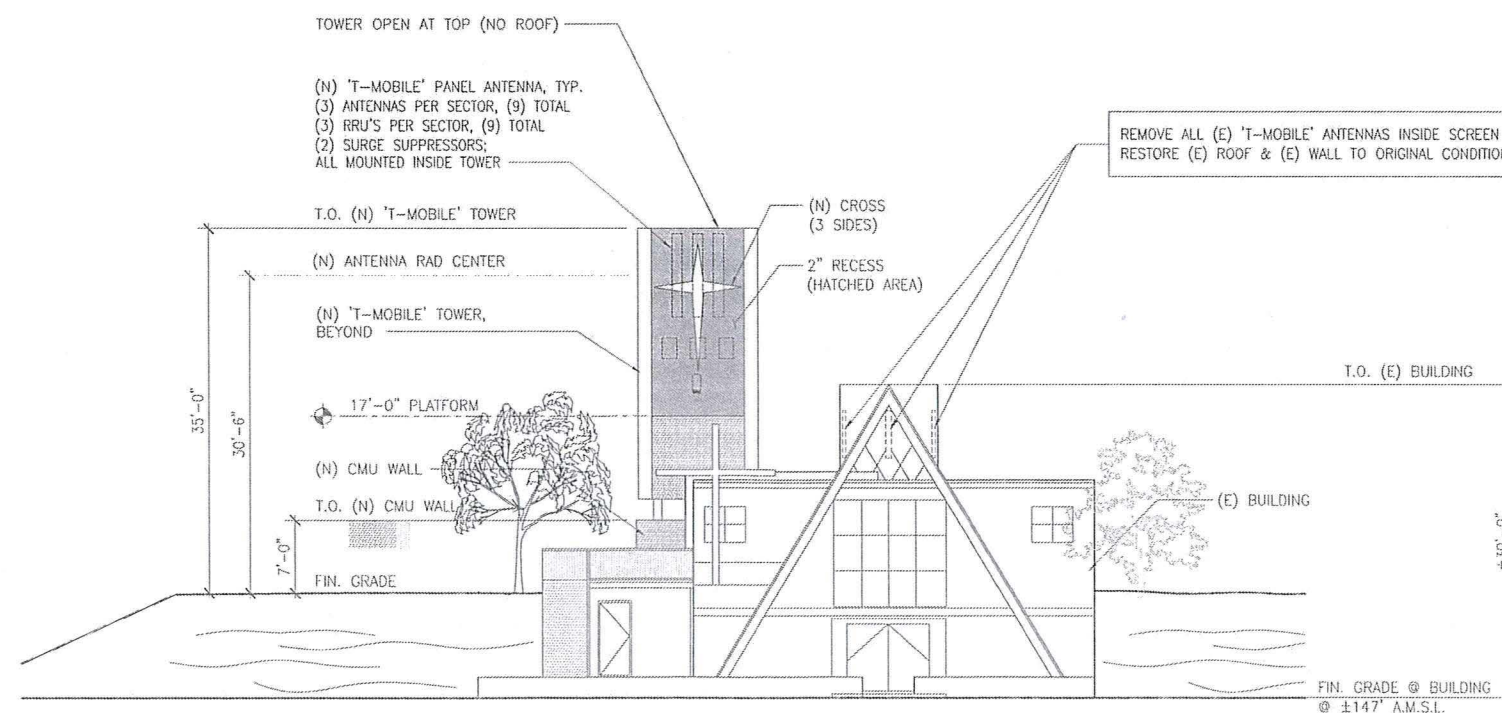
3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:


EAST AND WEST  
ELEVATIONS

SHEET NUMBER:

A7



WEST ELEVATION

SCALE	
1/8" = 1'-0"	0 2' 4'

--	--



Page 4 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist

7. **New development or redevelopment discharging directly to an Environmentally Sensitive Area.** The project creates and/or replaces 2,500 square feet of impervious surface directly over project site, and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly" includes flow that is conveyed overland a distance of 260 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e., not commingled with flows from adjacent tracts). ☐ Yes ☒ No

8. **New development or redevelopment projects of a retail gasoline outlet (HGO)** that create and/or replaces 5,000 square feet of impervious surface. The development project must use the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. ☐ Yes ☒ No

9. **New development or redevelopment projects of an automotive repair shops** that create and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7502/7504, or 7530-7539. ☐ Yes ☒ No

10. **Other Pollutant Generating Project.** The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants past control, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sq. ft. of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the net loss footage of impervious surface need not include linear pathways that are for in-tenant vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surface. ☐ Yes ☒ No

## PART F: Select the appropriate category based on the outcomes of PART C through PART E.

1. The project is **NOT SUBJECT TO STORM WATER REQUIREMENTS.** ☐

2. The project is a **STANDARD DEVELOPMENT PROJECT.** Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. ☒

3. The project is **PDP EXEMPT.** Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance. ☐

4. The project is a **PRIORITY DEVELOPMENT PROJECT.** Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydroabatement plan management. ☐

Name of Owner or Agent (Please Print):

Title

JOHNDAE D. YU - DCI PACIFIC, INC.

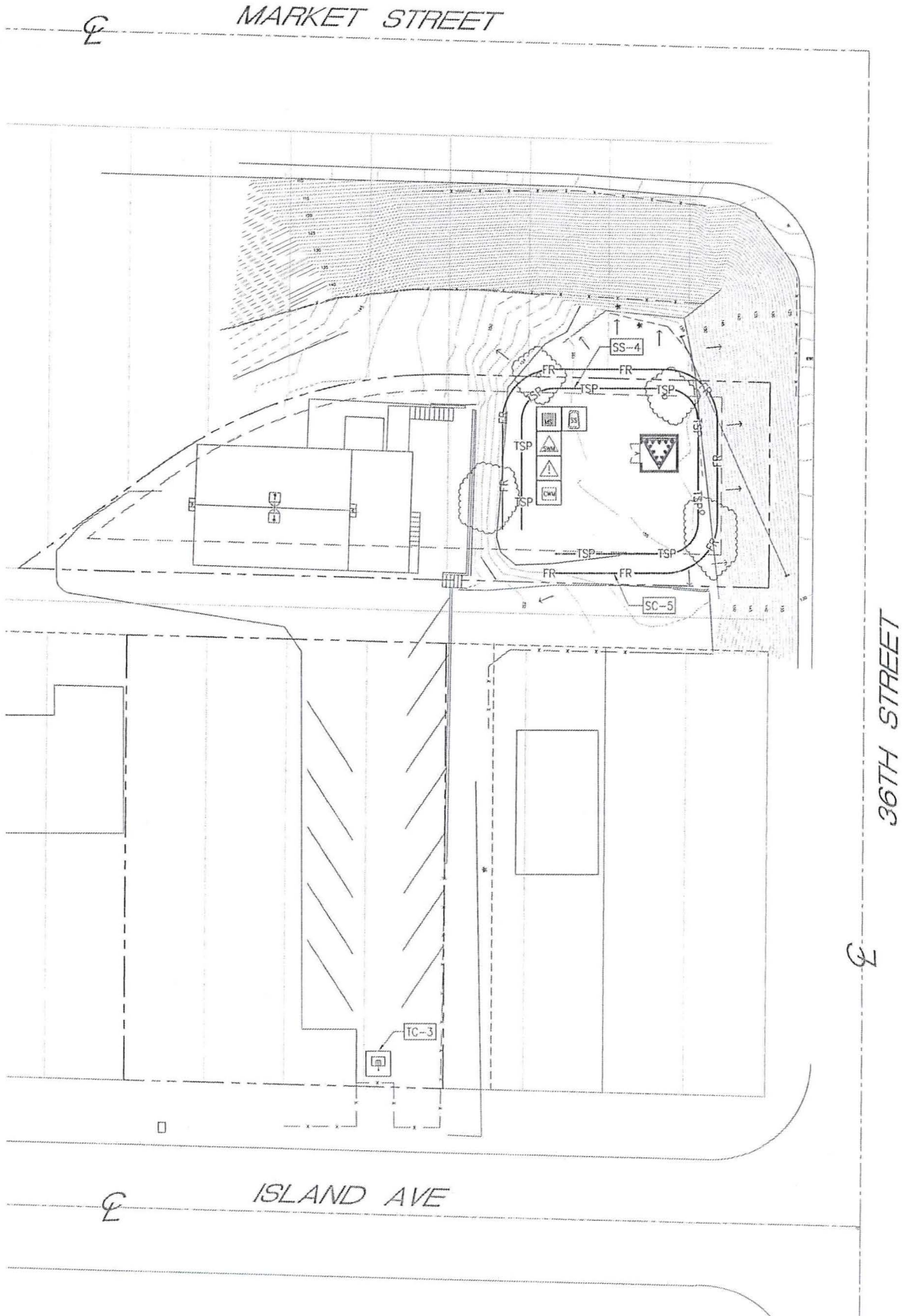
ARCHITECT

Signature

Date:

10/18/2016





STORM WATER QUALITY NOTES  
CONSTRUCTION BMP'S

This project shall comply with all requirements of the Municipal Permit issued by San Diego Regional Water Quality Control Board (SDRWQCB) and Municipal Storm Water National Pollution Discharge Elimination System (NPDES) Permit on January 24, 2007 [http://www.swrcb.ca.gov/water\\_issues/programs/stormwater/construction.shtml](http://www.swrcb.ca.gov/water_issues/programs/stormwater/construction.shtml) and the City of San Diego Land Development Code (<http://docs.sandiego.gov/municode/MuniCodeChapter14/Ch14Art02Division02.pdf>) and Storm Water Manual (<http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf>)

Notes below represent key minimum requirements for construction BMP's.

1. The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
2. All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
4. The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

LEGEND BEST MANAGEMENT PROTECTION

LEGEND BEST MANAGEMENT PROTECTION		
DESCRIPTION	QUANTITY	SYMBOL
MATERIAL DELIVERY AND STORAGE	WM-1 1 EA	
SOLID WASTE MANAGEMENT	WM-5 1 EA	
HAZARDOUS WASTE MANAGEMENT	WM-6 1 EA	
CONCRETE WASTE MANAGEMENT	WM-8 1 EA	
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9 1 EA	
ENTRANCE/OUTLET TIRE WASH	TC-3 1 EA	
FIBER ROLLS	SC-5 N/A	
HYDROSEEDING (SUMMER)	SS-4 1 EA	
DIRECTION OF SURFACE FLOW	N/A	

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-	03/06/17	SHOW (E) EQUIP. SHELTER	HH

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SUITE 200  
SAN DIEGO, CA 92121

smartlink

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**DCI PACIFIC**  
A/E/C WORKS  
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PRIMERA IGLESIA

PROJECT NUMBER:  
SD06497A

PROJECT ADDRESS:  
3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:  
BMP PLAN

SHEET NUMBER:

C2



IRRIGATION NOTES

1. THE DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS AS NECESSARY.
2. DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE THE OWNER'S REPRESENTATIVES PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
3. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL LOCAL CITY AND COUNTY REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
4. THE SYSTEM IS DESIGN FOR A MINIMUM OPERATING PRESSURE 0.65 PSI. THE MAXIMUM DEMAND OF GALLONS PER MINUTE IS 5. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE ON THE SITE PRIOR TO THE START OF INSTALLATION.
5. THE ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER, BACKFLOW DEVICE AND SUB METER ARE TO BE DETERMINED IN THE FIELD BY THE OWNERS AUTHORIZED REPRESENTATIVE. INSTALL EQUIPMENT IN SHRUB AREA.
6. 110 V. ELECTRICAL POWER SOURCE TO BE PROVIDED BY OTHERS TO THE LOCATION FOR THE AUTOMATIC CONTROLLER. IRRIGATION CONTRACTOR TO BE RESPONSIBLE FOR THE FINAL CONNECTION TO THE EQUIPMENT.
7. ALL QUICK COUPLERS VALVES ARE TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHENEVER POSSIBLE AND WITHIN 18" OF THE HARDSCAPE. ALL QUICK COUPLER VALVES SHALL BE INSTALLED IN A 10" DIA. GREEN PLASTIC VALVE BOX.
8. ALL VALVE BOX COVERS ARE TO BE LABELED WITH 1" HEAT BRANDED LETTERS: "Q.C." FOR QUICK COUPLERS, "G.V." FOR GATE VALVES AND I.V.C. AND STATION NO. FOR CONTROL VALVES.
9. CONTRACTOR SHALL INSTALL ANTI-DRAINAGE DEVICES FOR ALL LOW HEADS WHERE APPLICABLE TO PREVENT LOW HEAD DRAINAGE AND POSSIBLE SOIL EROSION.
10. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF POSSIBLE ON-SITE INSPECTIONS WITH THE AUTHORIZED REPRESENTATIVE.
11. THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED IN WRITING FOR A PERIOD OF (1) YEAR ANY DEFECTIVE EQUIPMENT MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
12. ANY EXISTING IRRIGATION SYSTEMS IMPACTED BY NEW CONSTRUCTION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL PROVIDE TO THE OWNER'S REPRESENTATIVE, UPON THE COMPLETION OF THE JOB A SET OF REPRODUCIBLE AS-BUILT DRAWINGS, WHICH SHALL BE VERIFIED FOR ACCURACY AT THE TIME OF THE FINAL JOB WALK-THROUGH.

IRRIGATION LEGEND

SYMBOL	MFG.	MODEL NO.	DESCRIPTION	RAD.	GPM.	PSI	DET.	REF.
	RAINBIRD	1804-SAM	STREAM BUBBLER 5 CST-B	6' **	0.30	30		F
	RAINBIRD	1804-1401	FLOOD BUBBLER	N.A.	0.25	30		F
	RAINBIRD	33DRC	3/4" QUICK COUPLING VALVE.					J
	RAINBIRD	PEB - 100	REMOTE CONTROL VALVE					B
	NIBCO	T-580	LINE-SIZE BALL VALVE.					C, D
	FEBCO	825-Y	BACKFLOW DEVICE WITH CAGE					G
	RAINBIRD	ESP-SMT, 4-STATION	SMART CONTROLLER AND WEATHER SENSOR CONTRACTOR TO VERIFY POWER SOURCE AND LOCATION.					A
	SENSUS	SB2	COLD WATER SUB METER 5/8" SIZE OR APPROVED EQUAL					-
NOT SHOWN			UF DIRECT BURIAL CONTROL WIRE # 12 GA.COMMON / # 14 GA. PILOT W/ PIPE SLEEVE					H, K
			PVC SCH 40 FOR PIPES 1-1/2" AND SMALLER, PVC CLASS 315 FOR PIPES 2" AND LARGER. PRESSURE MAINLINE -18" DEEP.					E
			PVC CLASS 200 NON-PRESSURE LATERAL LINE. 12" DEEP. SIZE NOTED.					E
			PVC SCH 40 WIRE AND PIPE SLEEVES.					H, K

CALLOUT  
TREE BOX, SEE PLANTING PLAN FOR SIZE  
LATERAL  
POP UP BUBBLER, 2 PER TREE  
TREE TRUNK

\*\* NOTES: INSTALL RB PCS-030 (SILVER) IN LIEU OF CONVENTIONAL SCREEN FOR 5CST-B

AUTOMATIC CONTROLLER LOCATION:

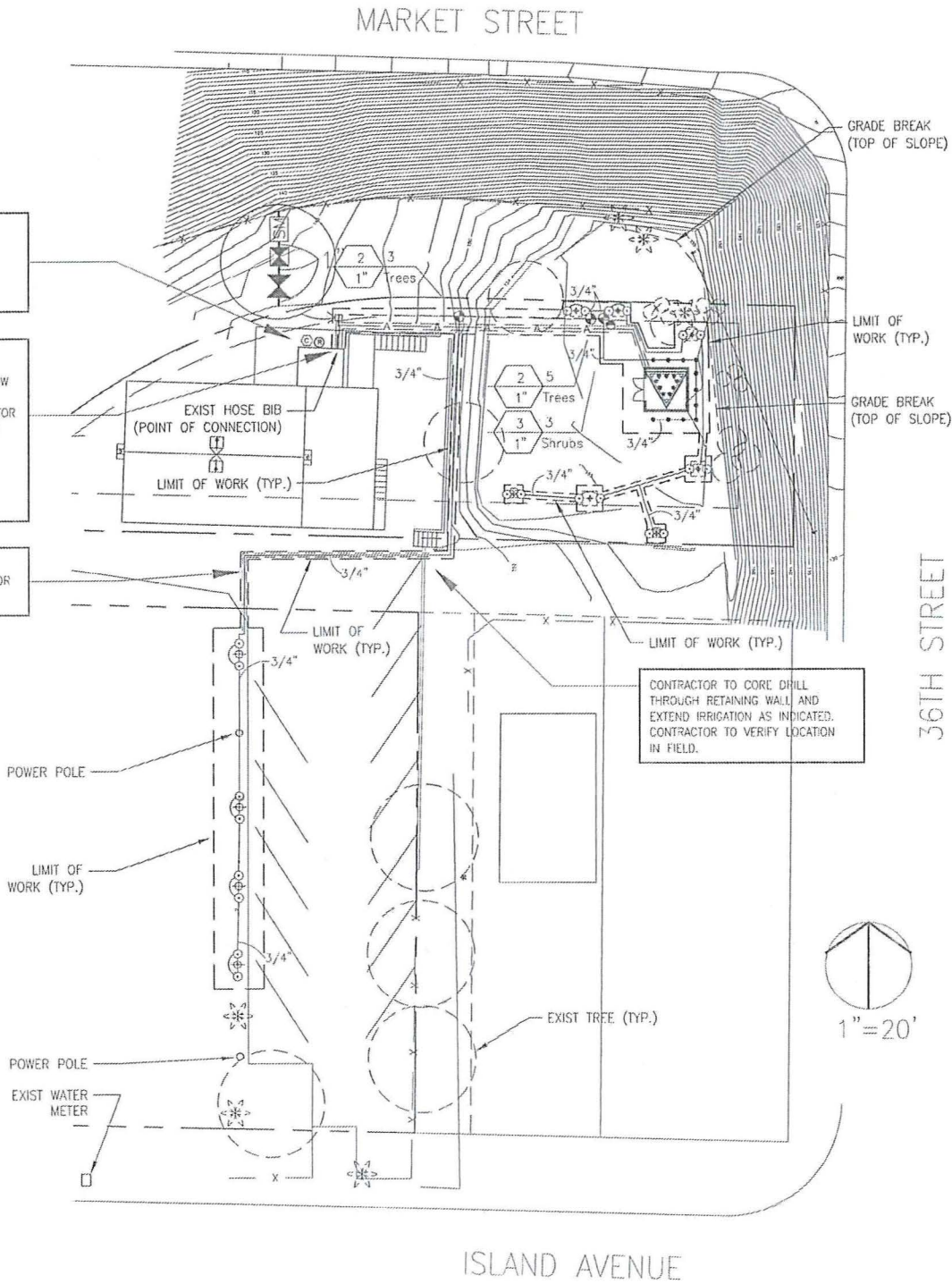
CONTRACTOR TO INSTALL NEW RAINBIRD WALL-MOUNTED SMART CONTROLLER AND RAIN SENSOR PER MFG RECOMMENDATIONS. CONTRACTOR TO VERIFY POWER AND LOCATION.

POINT OF CONNECTION:

CONTRACTOR TO INSTALL NEW BALL VALVE, FEBCO 825Y BACKFLOW DEVICE AND SUBMETER AT POINT OF CONNECTION (EXISTING HOSE BIB) AS INDICATED AND LOCATE IN SHRUB AREA. CONTRACTOR TO SAWCUT CONCRETE AND EXTEND MAINLINE TO NEW VALVES AT NEW LANDSCAPING. CONTRACTOR TO VERIFY LOCATION IN FIELD.

STATIC PRESSURE: 65 PSI  
DESIGN PRESSURE: 45 PSI  
MAXIMUM DEMAND: 5 GPM

CONTRACTOR TO SAWCUT ASPHALT, DIG TRENCH AND INSTALL LATERALS AND SLEEVES TO NEW TREES AS INDICATED. CONTRACTOR TO VERIFY LOCATION IN FIELD.



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DATE: 12/27/16

ARCHITECT: DKD

DRAWN BY: VT/JDY/HH

CHECKED BY: BOK

ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
-	07/27/15	REDUND 2D	HH
-	08/19/15	MONOPINE RELO	HH
-	03/16/16	CHANGE TO BELL TOWER	HH
-	06/10/16	TRIANGLE TOWER DESIGN	HH
-	10/18/16	CYCLE ISSUES 08/02/16	HH
-	12/27/16	3 ANTENNAS PER SECTOR	HH

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PLANS PREPARED BY:

**DCI PACIFIC**  
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PRIMERA IGLESIA

PROJECT NUMBER:

SD06497A

PROJECT ADDRESS:

3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:

IRRIGATION PLAN

SHEET NUMBER:

L1



SEE SHEET L2 FOR IRRIGATION DETAILS  
& WATER CALCULATIONS  
SEE SHEET L3 FOR PLANTING PLAN

Shapton Landscape Architecture  
714/955-9325  
billshapton@hotmail.com





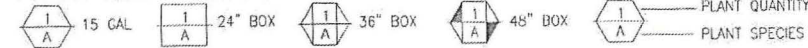




PLANT MATERIAL LEGEND

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	CONTAINER SIZE	MATURE HEIGHT AND SPREAD	SPACING	REMARKS
			<b>TREES</b>							
			EXISTING TREE TO REMAIN UNLESS OTHERWISE NOTED							
	A	2	RHUS LANCEA	AFRICAN SUMAC	SPREADING	COMPLEMENT BELL TOWER	48" BOX	20'-30' X 20'-35'	AS SHOWN	L 14'-16" TALL X 7'-8" SPREAD AT TIME OF PLANTING. STD. TRUNK. SEE PLANTING NOTES AND TREE PLANTING DETAIL P1 THIS SHEET.
	B	2	RHUS LANCEA	AFRICAN SUMAC	SPREADING	COMPLEMENT BELL TOWER	24" BOX	20'-30' X 20'-35'	AS SHOWN	L 9'-10" TALL X 3'-4" SPREAD AT TIME OF PLANTING. STD. TRUNK. SEE PLANTING NOTES AND TREE PLANTING DETAIL P1 THIS SHEET.
	C	3	OLEA EUROPAEA 'WILSONII'	WILSONII FRUITLESS OLIVE	SPREADING	COMPLEMENT BELL TOWER	36" BOX	25'-30' X 20'-30'	AS SHOWN	L 8'-10" TALL X 6'-7" SPREAD AT TIME OF PLANTING. MULTI-TRUNK. SEE PLANTING NOTES AND TREE PLANTING DETAIL P1 THIS SHEET.
	E	4	ULMUS PARVIFOLIA	CHINESE ELM	SPREADING	PARKING LOT TREE	24" BOX	20'-30' X 20'-30'	AS SHOWN	M 9'-11" TALL X 3'-4" SPREAD AT TIME OF PLANTING. STD. TRUNK. SEE PLANTING NOTES AND TREE PLANTING DETAIL P1 THIS SHEET.
	F	11	LEUCOPHYLLUM F. 'GREEN CLOUD'	GREEN CLOUD TEXAS RANGER	MOUNDING	FOUNDATION SHRUB	15 GAL	6'-8" X 6'-8"	AS SHOWN	L SEE PLANTING NOTES AND SHRUB PLANTING DETAIL P2 THIS SHEET.

PLANT SIZING LEGEND



GENERAL LANDSCAPE NOTES

- PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE THOROUGHLY SOAKED.
- THE PLANTING PLAN IS DIAGRAMMATIC AND SHALL BE USED AS A GUIDE FOR PLACING PLANTS.
- DO NOT DAMAGE ROOTBALL DURING PLANTING. ANY PLANTS WITH DAMAGED ROOTBALLS MUST BE REPLACED.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITEE SHALL REPAIR AND/OR REPLACE IT IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
- IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

LANDSCAPE MAINTENANCE

THE OWNER/PERMITEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OR OTHER APPROVED ENTITY. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.

LANDSCAPE IRRIGATION

SEE SHEET L1 IRRIGATION PLAN AND SHEET L2 IRRIGATION DETAILS AND WATER CALCULATIONS.

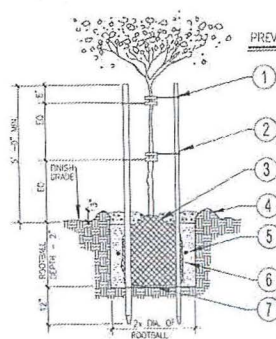
PLANTING NOTES:

**SOIL TEST**  
AFTER SOIL HAS BEEN SET IN PLACE & PRIOR TO ANY SOIL PREPARATION, THE CONTRACTOR SHALL FURNISH SOIL TESTS OF THE SITE FOR AGRICULTURAL FERTILITY AND TO DETERMINE PROPER SOIL AMENDMENTS. TEST ARE TO BE PERFORMED BY A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES WITH COPIES SENT TO THE OWNER PRIOR TO INSTALLATION.

**SOIL PREPARATION**  
THE FOLLOWING IS PROVIDED FOR BID PURPOSES ONLY AND SHALL BE MODIFIED AS NECESSARY GIVEN THE RESULTS OF THE SOILS TEST. THE CONTRACTOR SHALL BE PREPARED TO PROVIDE DELIVERY SLIPS AND EMPTY FERTILIZER BAGS ON SITE FOR VERIFICATION OF MATERIAL.

- BACKFILL MIX FOR USE OF PLANTING ALL TREES AND SHRUBS  
6 PARTS BY VOLUME ON SITE SOIL.  
4 PARTS BY VOLUME ORGANIC AMENDMENT.  
1 LB. 12-12-12 COMMERCIAL FERTILIZER PER CUBIC YARD.  
1 LB. IRON SULFATE PER CU. YD. OF MIX.
- PLANT TABLET FOR ALL TREES AND SHRUBS  
1-21 GRAM AGRIFORM FERTILIZER PER 1/2" TREE CALIPER FOR ALL BOX SIZED TREE NEXT TO ROOT BALL  
4-21 GRAM AGRIFORM FERTILIZER TABLETS PER 15 GALLON STOCK

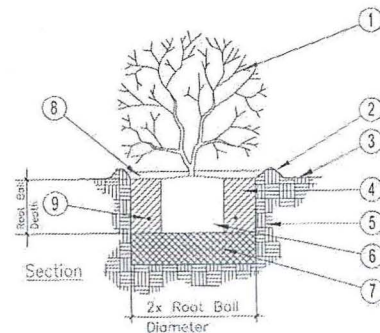
**TOP DRESSING**  
ALL SHRUB AREAS ARE TO BE TOP DRESSED WITH 3" THICK LAYER OF SHREDDED TREE BARK PER PLANTING DETAILS.



P1 | DOUBLE STAKE TREE PLANTING DETAIL (NTS)

LEGEND:

- "V.I.T. Cinch Tie" Tree Tie (4) required. Secure to stake per manufacturer's recommendation. Place below branching yoke of tree.
- Lodgepole pine stakes; copper naphthenate impregnated. 2-1/2" diam. x 12' for 24" box and smaller.
- Set top of rootball 2" above finish grade. Install 3" deep layer of mulch. Hold 2" back from trunk.
- 3" high water basin. Remove once plant is established.
- Fertilizer tablets per planting notes.
- Amended backfill mix per planting notes.
- Soil mantle - compacted backfill to adjust crown height, roughen surface.



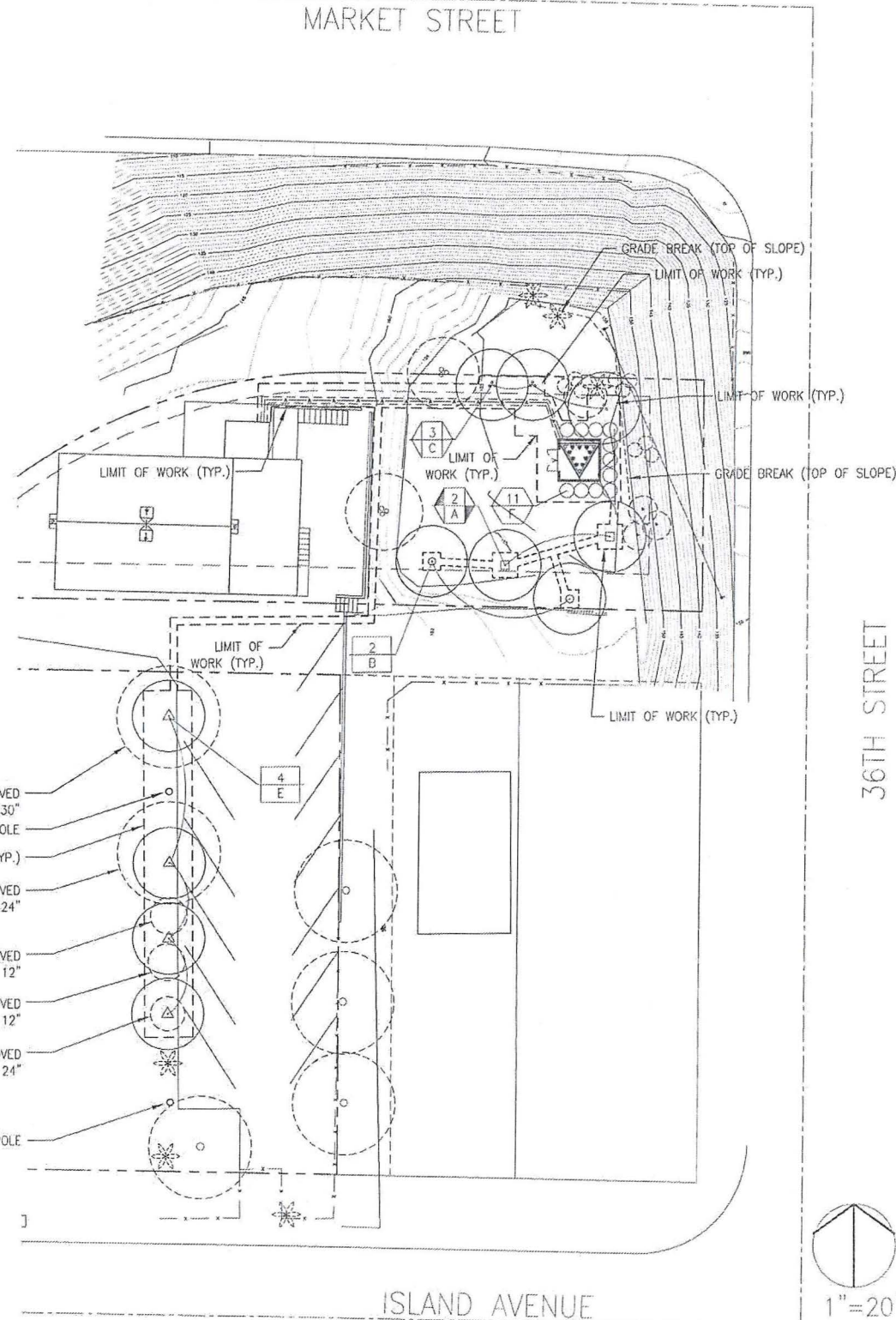
P2 | SHRUB PLANTING DETAIL (NTS)

NOTES:

- Scarify the sides and bottom of pit. Prior to plant placement, fill all pits with water and allow to percolate into subsoil. Plant rootball and backfill mix must be thoroughly watered indirectly after planting.
- Adjust existing irrigation system to water new plantings.

LEGEND:

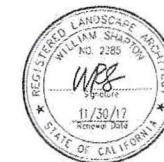
- 1 to 15 gal. shrub.
- 2" deep water basin.
- Finish grade.
- Backfill mix per planting notes.
- Undisturbed soil.
- Rootball, size varies. Set 1" above grade.
- 6" compacted backfill below rootball.
- 3" approved mulch, see planting notes.
- Plant tablets, see planting notes.



PLANTING PLAN

SEE SHEET L1 FOR IRRIGATION PLAN  
SEE SHEET L02 FOR IRRIGATION DETAILS  
& WATER CALCULATIONS

Shapton Landscape Architecture  
714/955-9325  
billshapton@hotmail.com



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ARCHITECT: DKD  
DRAWN BY: VT/JDY/HH  
CHECKED BY: BOK

ISSUE STATUS:

DATE:	DESCRIPTION:	BY:
07/27/15	REDLINE 2D	HH
08/19/15	MONOPINE RELO	HH
03/16/16	CHANGE TO BELL TOWER	HH
06/10/16	TRIANGLE TOWER DESIGN	HH
10/18/16	CYCLE ISSUES 08/02/16	HH
12/27/16	3 ANTENNAS PER SECTOR	HH

**T-Mobile**  
stick together  
10509 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121



PLANS PREPARED BY:

**DCI PACIFIC**  
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSURE:

PROJECT NAME:

PRIMERA IGLESIA

PROJECT NUMBER:

SD06497A

PROJECT ADDRESS:

3535 MARKET STREET  
SAN DIEGO, CA 92102

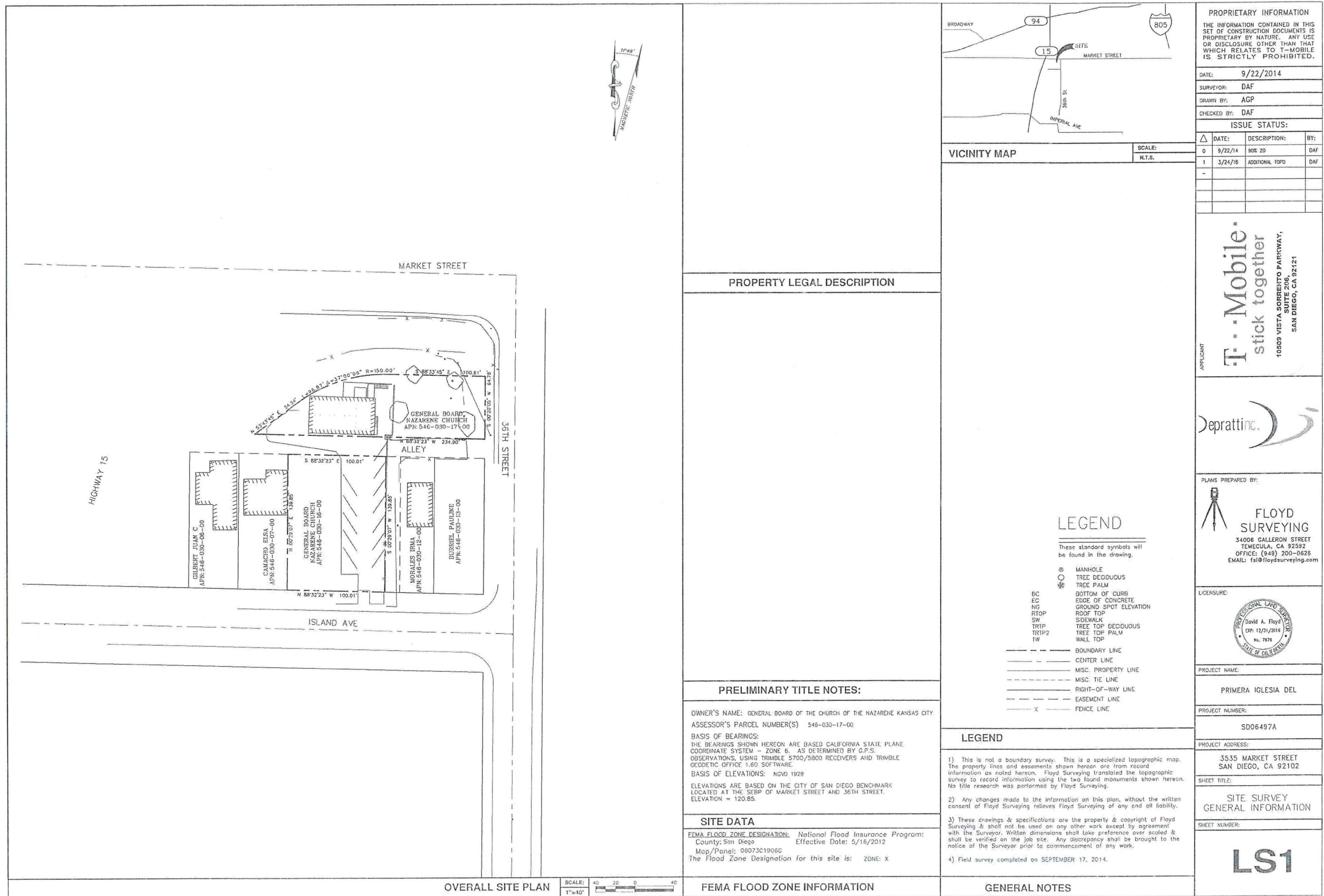
SHEET TITLE:

PLANTING PLAN

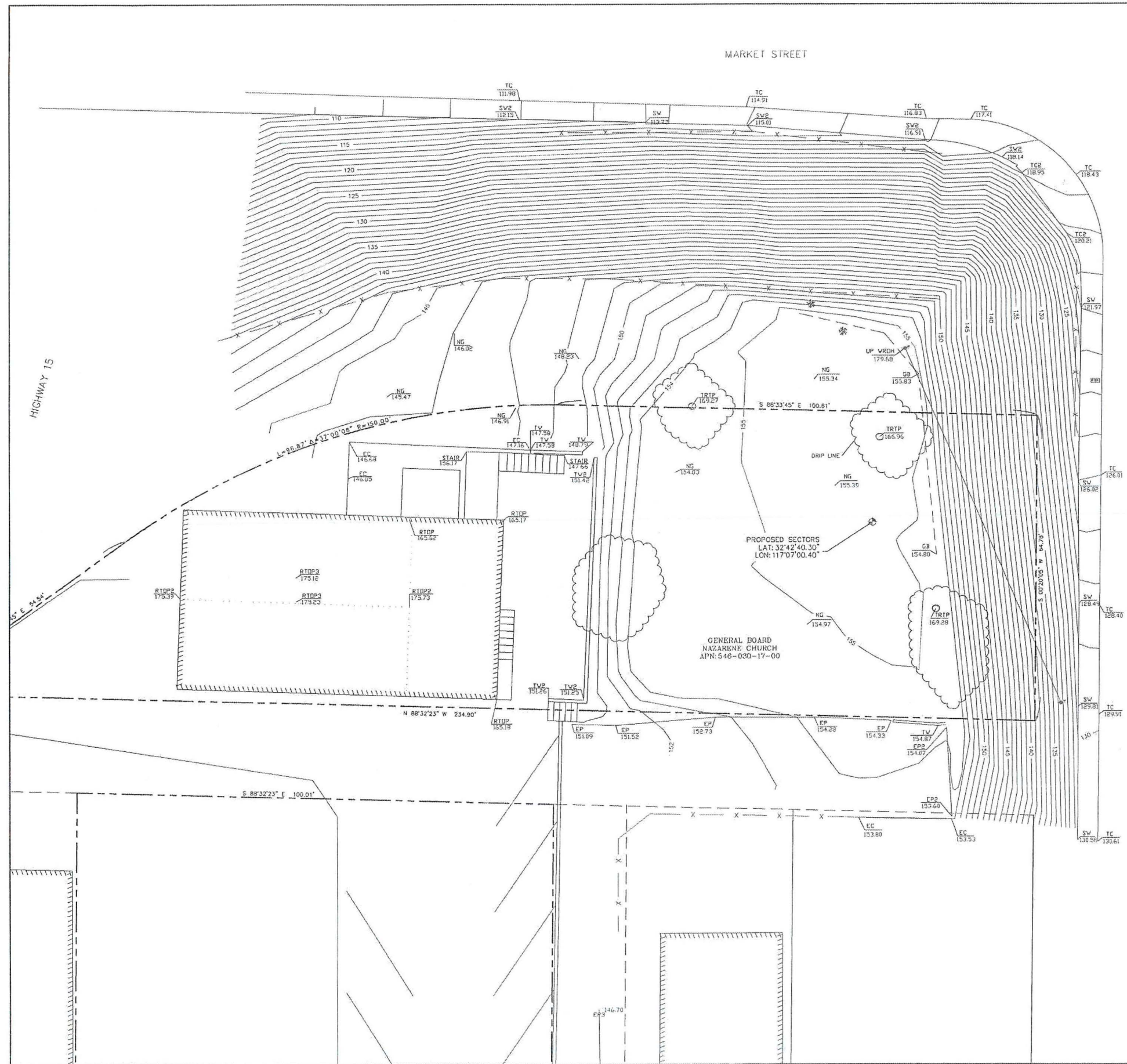
SHEET NUMBER:

**L3**










### DETAIL SITE PLAN

SCALE:  
4" = 10'

SCALE:	10 5 0 10
1"=10'	

### GENERAL NOTES

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

DATE: 9/22/2014

SURVEYOR: DAF

DRAWN BY: AGP

CHECKED BY: DAF

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
0	9/22/14	90% ZD	DAF
1	3/24/16	ADDITIONAL TOPO	DAF

APPLICANT

T-Mobile-  
stick together

10503 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121

APPLICANT

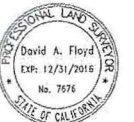
Deprattine.

PLANS PREPARED BY:

FLOYD  
SURVEYING

34006 GALLERON STREET  
TEMECULA, CA 92592  
OFFICE: (949) 200-0626  
EMAIL: [fsi@floydsurveying.com](mailto:fsi@floydsurveying.com)

LICENSURE:



PROJECT NAME:

PRIMERA IGLESIA DEL

PROJECT NUMBER:

SD06497A

PROJECT ADDRESS:

3535 MARKET STREET  
SAN DIEGO, CA 92102

SHEET TITLE:

### SITE SURVEY GENERAL INFORMATION

SHEET NUMBER:

LS2