



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: June 14, 2017 REPORT NO. HO-17-039
HEARING DATE: June 21, 2017
SUBJECT: ARROYO SORRENTO Process Three Decision
PROJECT NUMBER: [440251](#)
OWNER/APPLICANT: ARROYO SORRENTO LLC. / William Keith Webster

SUMMARY:

Issue: Should the Hearing Officer approve the construction of a new single family home on a previously graded lot located at 3753 Arroyo Sorrento Road within the Torrey Hills Community Planning area?

Staff Recommendation:

1. APPROVE Coastal Development Permit No. 1543660; and
2. APPROVE Site Development Permit No. 1543661.

Community Planning Group Recommendation: On September 16, 2015 the Torrey Hills Planning Board voted 7-0-0 to recommend approval of the proposed project with no conditions.

Environmental Review: Environmental Impact Report (EIR) No. 93-0142 / SCH No. 93051012 was prepared for the original Sorrento Hills Community Plan Amendment II/Torrey View. City Council certified and adopted the EIR and Mitigation Monitoring and Reporting Program (MMRP) on December 6, 1994 by Resolution No. 285085. The current project was reviewed by the Environmental Analysis Section and it was determined that in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15162(a): (1) No substantial changes are proposed in the project which would require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) No substantial changes have occurred with respect to the circumstances under which the project is undertaken which would require major revisions to the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and (3) There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified, that shows any of the circumstances described in CEQA

Guidelines 15162(3)(A) - (D). Therefore, no subsequent environmental document is required, in that no new additional impacts and/or mitigation measures are required beyond those that were analyzed in the original environmental document.

BACKGROUND

The site is located at 3753 Arroyo Sorrento Road (Attachment 1) on a 1.656-acre parcel. The project is within in the Torrey Hills Community Plan (THCP) area, land use designations Very Low Density Residential (0-5 dwelling units per acre) and Open Space (Attachment 2), AR-1-2 Zone (Attachment 3), Geologic Hazard Zones (32 and 53), Steep Slopes, Airport Land Use Compatibility Overlay (Miramar), Airport Influence Area (Miramar), Coastal Overlay (Coastal-Appealable and Non-Appealable-1), Brush Management, Brush with 300 Foot Buffer, Parking Impact (Coastal), and Transit Priority Area Zones.

The project site was previously subdivided under Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, along with certified EIR and adopted the MMRP approved by City Council on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the final As-Built drawing (27929-I-D) was filed in the City Records April 21, 1997. Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The current project would be required to comply and/or implement all mitigation measures (Paleontological Resources) outlined within the previously certified EIR. Mitigation is required for the project to ensure that any impacts will be mitigated to below a level of significance. The site is currently graded and includes an existing retaining wall and concrete driveway from the public right-of-way to the existing pad area of the site. A CDP No. 1543660/SDP No. 1543661 was issued in 2007 (PTS 93681) for the development of a single family home, however, the previous permits were not utilized and have expired. The surrounding properties have been previously graded and developed with commercial to the north, residential to the east and the west and the six-lane El Camino Real and open space to the south (Attachment 4).

DISCUSSION

The project proposes to construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck. The basement split level consists of an 864-square-foot three-car garage and 888-square feet (not included in floor area ratio) of subterranean home theater, staircase, and elevator. The first floor consists of in-law suite, office, living room, foyer, kitchen, dining room, family room, elevator, powder room, and two bathrooms. The second floor consists of three bedrooms, three bathrooms, loft, laundry room, patio, and deck. The roof level includes a deck and photovoltaic panels. The proposed structure height is 28-feet, nine-inches and within the allowable height of the AR-1-2 Zone. A minimum of two off-street parking spaces would be maintained on the property at all times in the approximate locations shown on the plans. Additional features proposed for the site include retaining walls, patio, cabana, fountain, pool and landscaping.

The proposed project requires a Coastal Development Permit (CDP) in accordance with San Diego Municipal Code (SDMC), Section 126.0704 and a Site Development Permit (SDP) for Environmentally Sensitive Lands (ESL), in the form of Steep Hillside and Sensitive Biological Resources, as defined in SDMC Section 113.0103. A portion of the project site is within the Coastal Appealable jurisdiction

and a portion within the Non-Appealable Area 1 jurisdiction (Attachment 5). A City issued CDP\SDP shall be processed in accordance with Process 3. Appeals may be heard by the Coastal Commission after all local appeals are heard by the City of San Diego.

A Biological Resources report was prepared by Vince N. Scheidt dated October 19, 2016. The study inventoried the property for biological resources, on-site habitats, as well as signs of rare, endangered, threatened or otherwise sensitive plants or animals. The biological resources analysis was utilized to determine project related direct and indirect impacts and mitigation if appropriate. The report concludes that impacts are considered "less than significant" pursuant to the California Quality Act (CEQA) and the City's Biological Guidelines. No additional biological resource mitigation is required.

The project site's buildable pad area has been previously graded (per As-Built 27929-I-D) and is at an elevation of 118.5 to 121.0 feet above mean sea level (MSL). The top of slope is at an elevation of 120.5 feet MSL and the low point at bottom of slope is approximately 78 feet MSL. The slope areas are protected through an existing Covenant of Easement, Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement Drawing (26613-D). The project as designed will be contained entirely within the previously graded developable pad area and will not encroach on the Environmentally Sensitive lands in the form of steep slopes.

The site is one and a half miles east of the Pacific Ocean, and does not contain designated view corridors or public coastal access ways.

The Residential Land Use element of the THCP recommends large lot development in the Torrey View area north of El Camino Real with recommended minimum lot areas of one-acre, to afford compatibility with adjacent Arroyo Sorrento area. The land use designations for the subject site are Very Low Density Residential (0-5 dwelling units per acre) and Open Space. The existing lot is consistent with the intent of the land use element and can accommodate one dwelling unit based on the land use designation and the AR-1-2 zone.

The Residential Design Guidelines of the THCP call for residential structures to relate to neighboring buildings in mass and bulk, the architectural style and massing should complement and enhance the natural environment, and development should articulate walls and provide architectural interest. The proposed development addresses community character conformance through development of a two-story residential dwelling unit on a large lot. The architectural design includes multiple pitch roof planes, articulated walls on each building side, stepped back second story on the eastern side, and an entry way defined by architectural pillars. The development will be compatible with the architectural style and natural environment through a contemporary design and earth tone exterior palette. The exterior is finished in light tan stucco with stone veneer and a gray roof. The proposed height is 28-feet, nine-inches above grade with a lower level garage facing eastward away from Arroyo Sorrento Road and a subterranean basement reducing the overall visual bulk and scale of the building.

The project as proposed will observe a front yard setback of 207 feet, eight-inches, side yard setback of 20 feet, and rear yard setback of 160-feet, 11-inches from the property line. The single family dwelling unit would be set back 10 feet to 15 feet from the top of slopes and limits of previous grading. The proposed setbacks will meet or exceed the requirements of the AR-1-2 Zone.

The project site is within the City's Brush Management and Brush with 300 Foot Buffer zone as defined by SDMC, Sections 142.0412(f),(i), and (j). The project will provide alternative compliance in the form of Zone One extended out from the habitable structure towards the native/naturalized vegetation for a distance of ten to fifteen feet. Zone Two will extend beyond Zone One into the native/naturalized vegetation for a distance of sixty-five feet. At the interface of Zones One and Two, a minimum six-foot high, one hour fire-rated wall shall be constructed to compensate for the lack of a full Zone One. As designed the project will comply with the brush management regulations.

Conclusion

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted THCP and Local Coastal Program Land Use Plan, and the SDMC. In addition, proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic) to generate electricity needed by the building and its occupants.

ALTERNATIVES

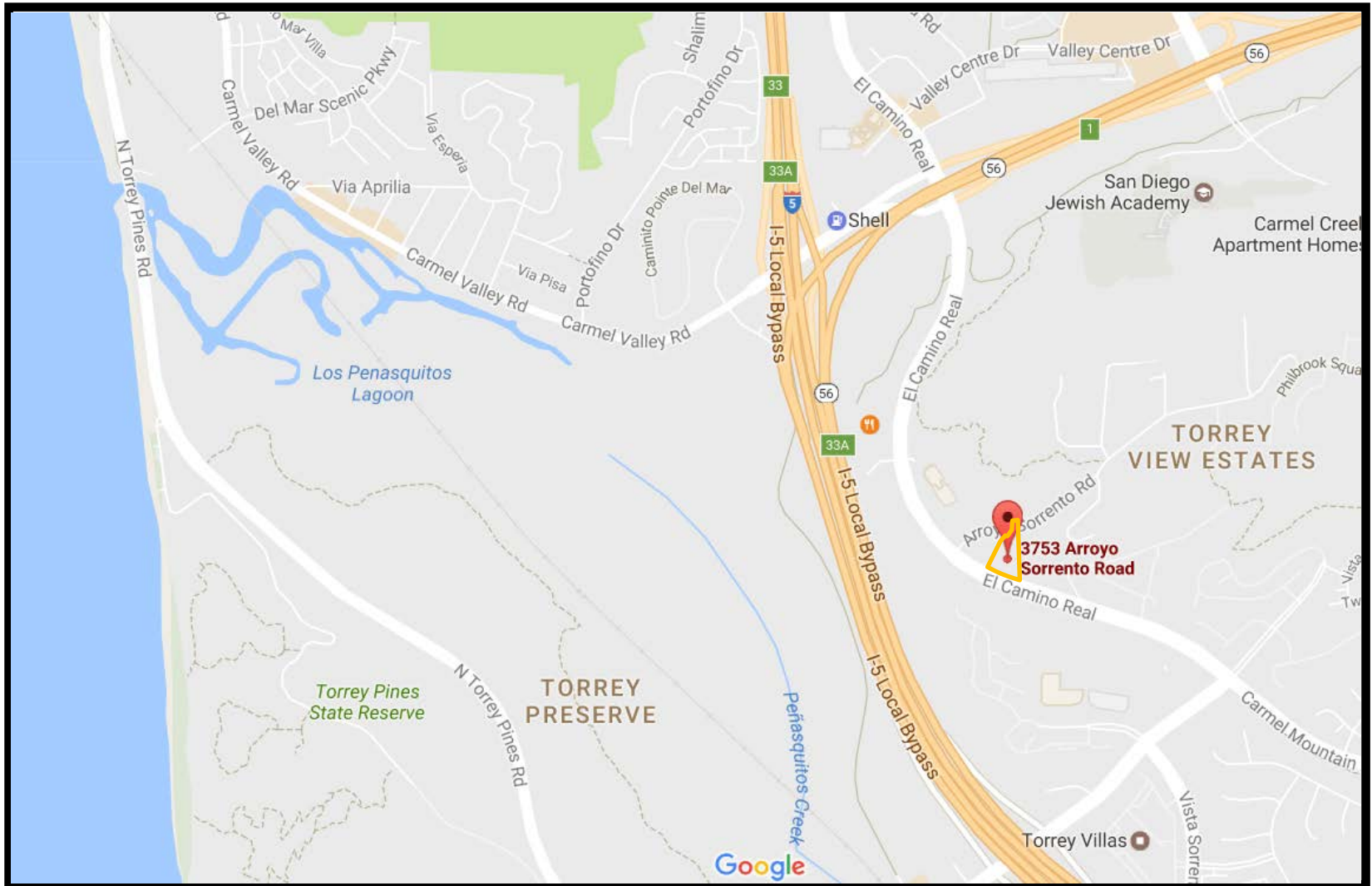
1. Approve Coastal Development Permit No. 1543660 and Site Development Permit No. 1543661, with modifications.
2. Deny Coastal Development Permit No. 1543660 and Site Development Permit No. 1543661, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

 signed for
Karen Bucey, Development Project Manager

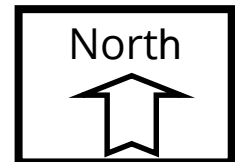
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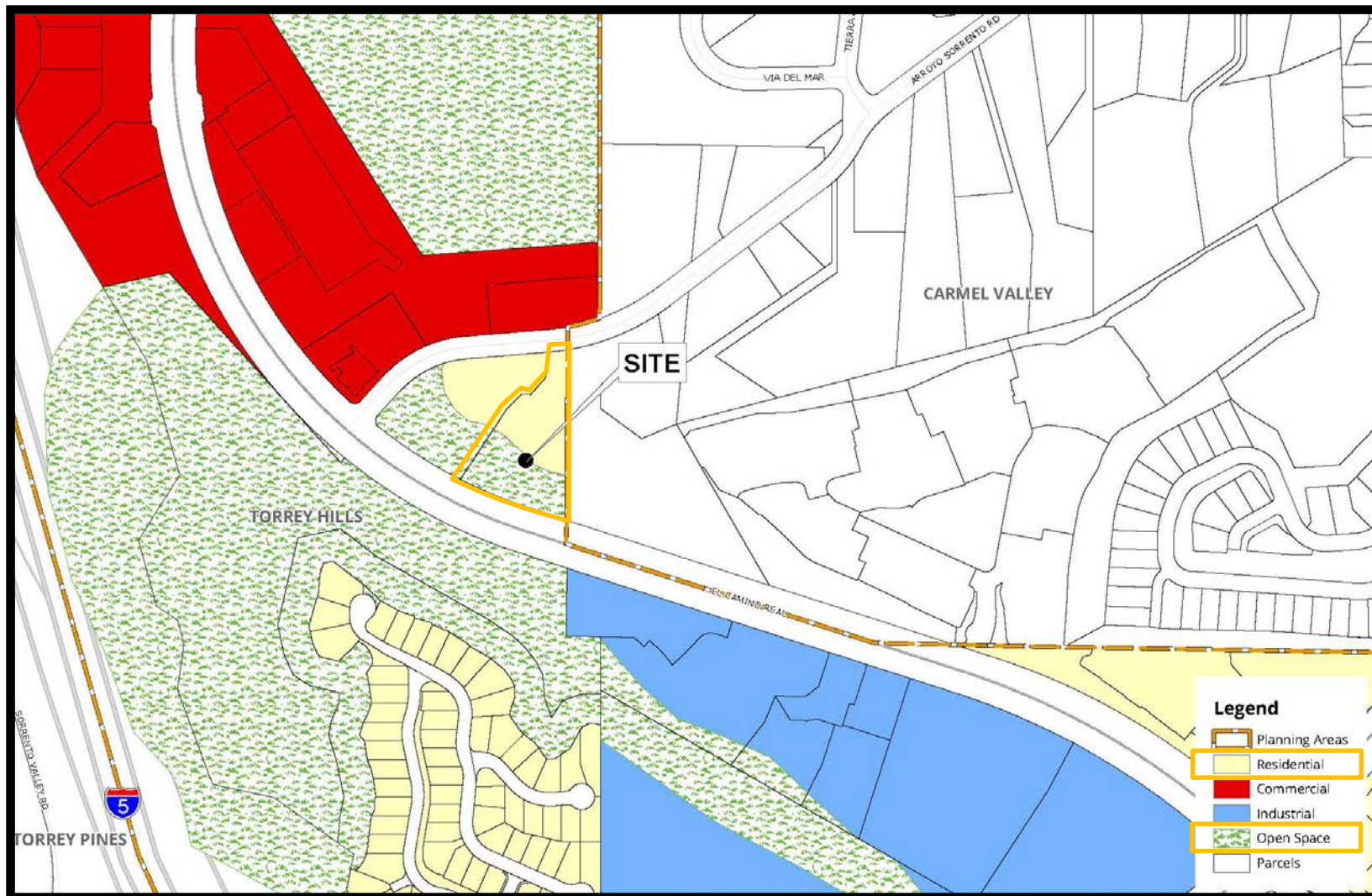
1. Project Location Map
2. Community Plan Land Use Map
3. Zoning Map
4. Aerial Photograph
5. Coastal Jurisdiction Map
6. Project Data Sheet
7. Draft Resolution with Findings
8. Draft Permit with Conditions
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans



Location Map

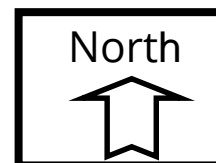
3753 Arroyo Sorrento; Project No. 440251
3753 Arroyo Sorrento Road

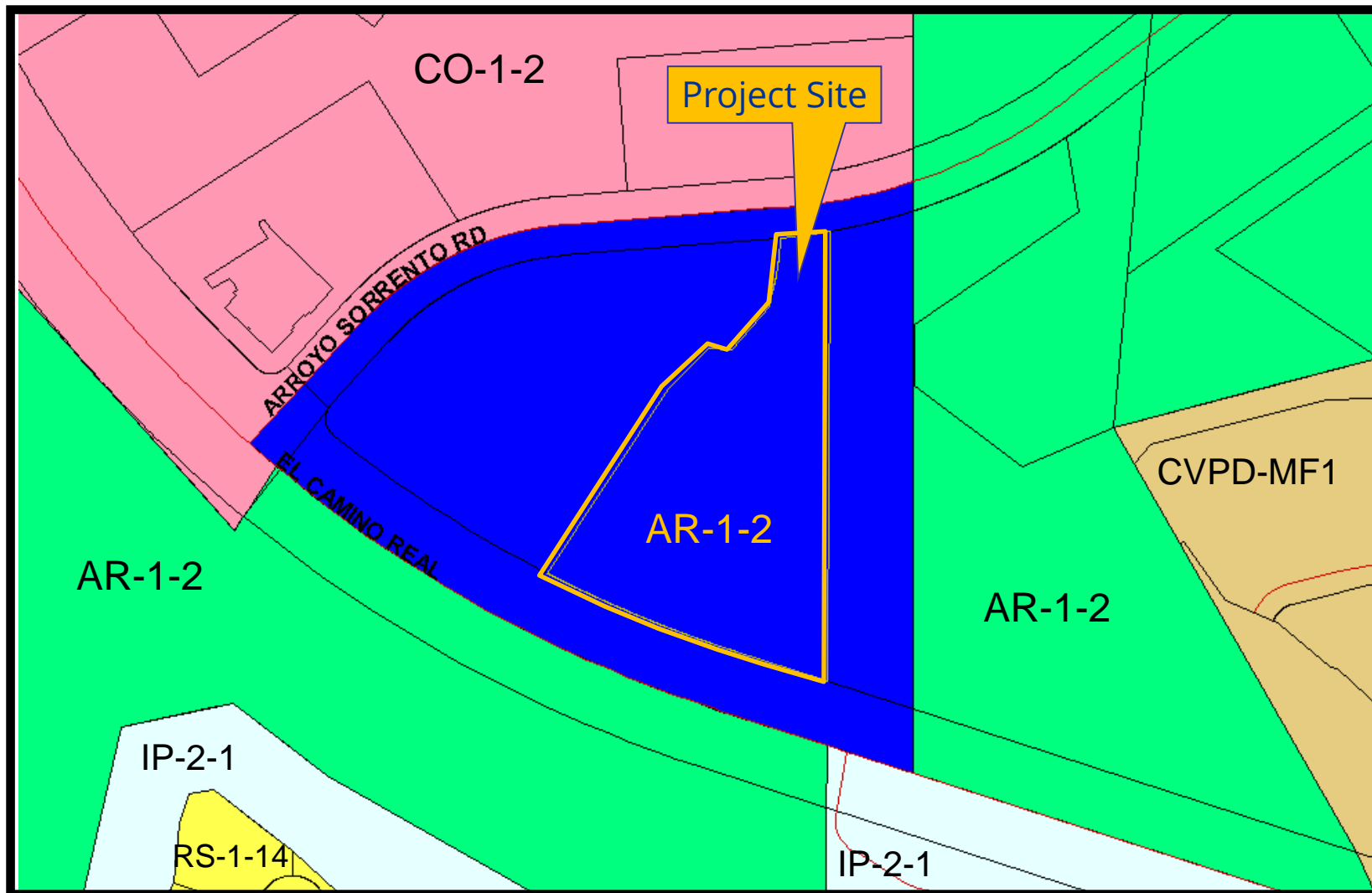




Torrey Hills Community Plan Land Use Map

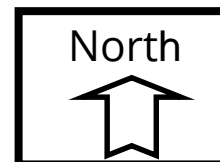
3753 Arroyo Sorrento; Project No. 440251
3753 Arroyo Sorrento Road

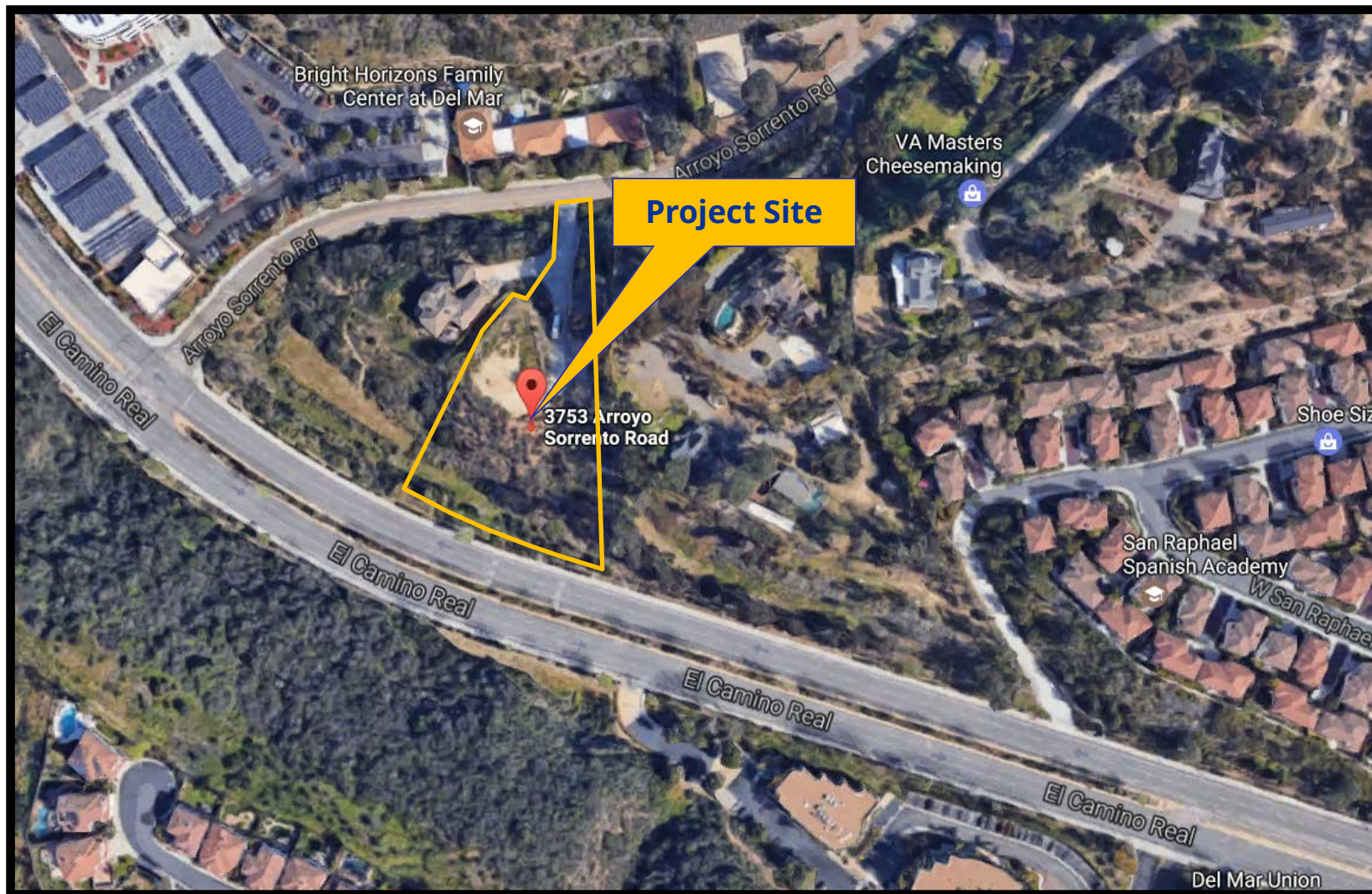




Zoning Map

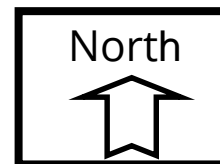
3753 Arroyo Sorrento; Project No. 440251
3753 Arroyo Sorrento Road

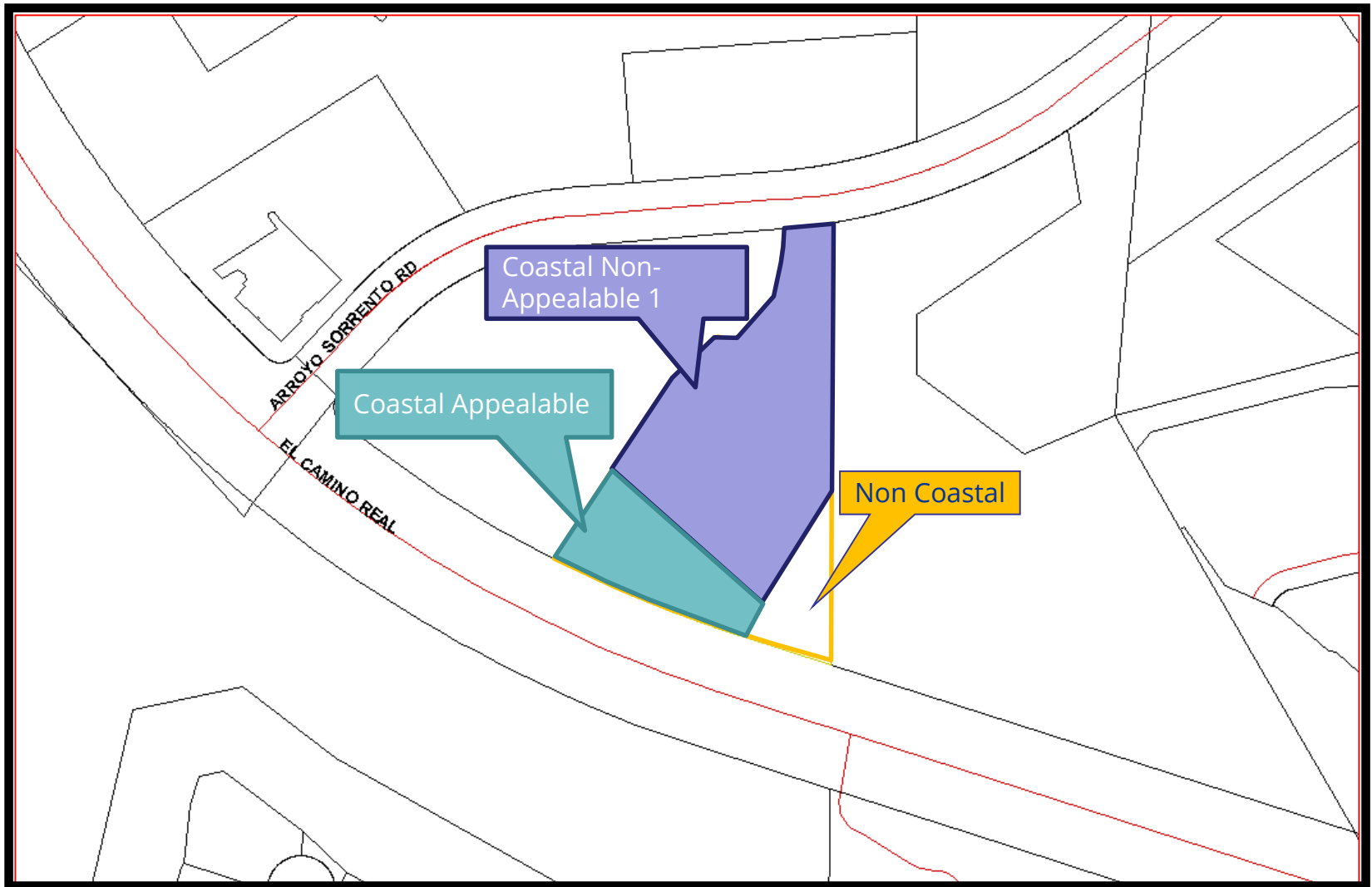




Torrey Hills Community Plan Aerial Map

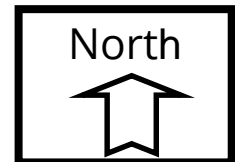
3753 Arroyo Sorrento; Project No. 440251
3753 Arroyo Sorrento Road





Coastal Jurisdiction Map

3753 Arroyo Sorrento; Project No. 440251
3753 Arroyo Sorrento Road



PROJECT DATA SHEET

PROJECT NAME:	Arroyo Sorrento-Project No. 440251	
PROJECT DESCRIPTION:	Permit to construct a 6,865-square-foot single dwelling unit.	
COMMUNITY PLAN AREA:	Torrey Hills Community Plan	
DISCRETIONARY ACTIONS:	Coastal Development Permit / Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential (0-5 DU/AC) and Open Space	
<p align="center">ZONING INFORMATION:</p> <p>ZONE: AR-1-2</p> <p>HEIGHT LIMIT: 30 feet</p> <p>LOT SIZE: 1.66-acres</p> <p>FLOOR AREA RATIO: 650 square feet minimum, No FAR maximum</p> <p>FRONT SETBACK: 25 feet</p> <p>SIDE SETBACK: 20 feet</p> <p>STREETSIDE SETBACK: N/A</p> <p>REAR SETBACK: 25 feet</p> <p>PARKING: 2</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial	Commercial
SOUTH:	Open Space	Open Space
EAST:	Carmel Valley Community Plan Residential Detached (4.25 DU/AC)	Single Family Residential
WEST:	Very Low Density Residential (0-5 DU/AC) and Open Space	Single Family Residential
DEVIATION REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 20, 2015 the Torrey Hills Community Planning Board voted unanimously to recommend approval of the project.	

HEARING OFFICER RESOLUTION NO. HO-17-
COASTAL DEVELOPMENT PERMIT NO. 1543660 and
SITE DEVELOPMENT PERMIT NO. 1543661
ARROYO SORRENTO CDP PROJECT NO. 440251

WHEREAS, 3753 ARROYO SORRENTO RD, A California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 5,977-square-foot single family home over garage and basement on a vacant lot (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1543660 and 543661), on portions of a 1.656-acre site; and

WHEREAS, the project site is located at 3753 Arroyo Sorrento Road in the Torrey Hills Community Plan (THCP) area, AR-1-2 Zone, Geologic Hazard Zones (32 and 53), Steep Slopes, Airport Land Use Compatibility Overlay (Miramar), Airport Influence Area (Miramar), Coastal Overlay (Coastal-Appealable and Non-Appealable-1), Brush Management, Brush with 300 Foot Buffer, Parking Impact (Coastal), and Transit Priority Area Zones; and

WHEREAS, the project site is legally described as Lot 123 of Torrey View, in the City of San Diego, State of California, according to the map thereof No. 13297, filed in the office of the County Recorder of San Diego County on February 9, 1996; and

WHEREAS, on June 21, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit (CDP) No. 1543660 and Site Development Permit (SDP) No. 1543661 pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, Environmental Impact Report (EIR) No. 93-0142 / SCH No. 93051012 was prepared for the original Sorrento Hills Community Plan Amendment II/Torrey View. City Council certified and adopted the EIR and Mitigation Monitoring and Reporting Program (MMRP) on December 6, 1994 by Resolution No. 285085. The current project was reviewed by the Environmental Analysis Section and it was determined that in accordance with California Environmental Quality Act (CEQA) Guidelines Section 15162(a): (1) No substantial changes are proposed in the project which would require major revisions of the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) No substantial changes have occurred with respect to the circumstances under which the project is undertaken which would require major revisions to the previous EIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and (3) There is no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified, that shows any of the circumstances described in CEQA Guidelines 15162(3)(A) - (D). Therefore, no subsequent environmental document is required, in that no new additional impacts and/or mitigation measures are required beyond those that were analyzed in the original environmental document; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 21, 2017.

FINDINGS:

I. Coastal Development Permit - Section 126.0708

1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The project proposes to construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck. The site is 1.656-acres, located at 3753 Arroyo Sorrento Road in the THCP and is designated as Very Low Density Residential (0-5 dwelling units per acre) and Open Space and within the Agricultural-Residential (AR-1-2) Zone. Additionally, the site is within the Coastal Appealable and the Non-Appealable Area 1 jurisdictions, Airport Influence Area (Review Area 2), and the Airport Land Use Compatibility Plan for MCAS Miramar.

The site is located approximately 1.5 miles due east from the Pacific Ocean. No physical accessway legally used by the public or proposed public accessway will be compromised or encroached upon with the approval of the project. No existing or proposed physical accessway exists or is designated in the THCP on or across the site. No public views to or along the ocean or other scenic coastal areas presently exist from the site and none will be impacted from the approval of the project. Therefore, the proposed coastal development will not encroach upon an existing or proposed physical access way, or existing or proposed public views to the ocean and other scenic coastal areas.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified EIR and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed project is conditioned to record a Covenant of Easement over the steep slopes.

The proposed construction of a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant, graded lot would be required to comply and/or implement all mitigation measures (Paleontological Resources) outlined within the previously certified EIR.

A Biological Resources report was prepared by Vince N. Scheidt dated October 19, 2016. The study inventoried the property for biological resources, onsite habitats, as well as signs of rare, endangered, threatened or otherwise sensitive plants or animals. The biological resources analysis was utilized to determine project related direct and indirect impacts and mitigation, if appropriate. The report concludes that impacts are considered "less than significant" pursuant to the California Quality Act (CEQA) and the City's Biological Guidelines.

The proposed development is sited and designed to prevent adverse impacts on environmentally sensitive lands through limiting the proposed 1,800 cubic yards of grading to the previously established developable pad. No grading or encroachments are proposed on the steep slopes or sensitive biological resource areas of the site. Therefore, the development will not disturb environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes the construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant lot. The site is 1.656-acres, located at 3753 Arroyo Sorrento Road in the THCP area, Coastal Appealable and the Non-Appealable Area 1 jurisdictions, Airport Influence Area (Review Area 2), and the Airport Land Use Compatibility Plan for MCAS Miramar.

The THCP Land Use designation for the site is Very Low Density Residential at a density range of 0-5 dwelling units per acre over the level, previously graded, portion of the site and Open Space over the steep slopes along the western portion of the site. The site is in the Agricultural-Residential (AR-1-2) Zone. The project site can accommodate one dwelling unit based on the THCP recommendation that the subject site be developed as a minimum 1-acre lot and the AR-1-2 Zone.

The THCP, Local Coastal Program Residential policy calls for development along the northern portion of Torrey View within the Coastal Zone to be very low-density (0-5 DU/AC). The proposed development of a single dwelling unit on a 1.656-acre site is in conformance with the certified Local Coastal Program Residential policy and the regulations of the Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The site is located approximately 1.5 miles due east from the Pacific Ocean and east of Interstate-5. The site is not between the nearest public road and the sea or shoreline of any body of water within the Coastal Overlay Zone. The development of a single two-story dwelling unit will have no effect upon the public's access to coastal resources or recreation

policies of Chapter 3 of the Coastal Act. The site does not contain any existing or planned access routes to the sea or shoreline of any body of water within the Coastal Overlay Zone and will have no effect upon the recreation policies of Chapter 3 of the Coastal Act. Therefore, the proposed project will have no effect upon the access or recreational policies of the Coastal Act and is in conformance with the policies of such act.

II. Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes the construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant, graded lot. The site is 1.656-acres, located at 3753 Arroyo Sorrento Road in the THCP area. The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified EIR and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997.

The THCP Land Use designates the site as Very Low Density Residential at a density range of 0-5 dwelling units per acre over the level, previously graded, portion of the site and An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed project is conditioned to record a Covenant of Easement over the steep slopes. The project site can accommodate one dwelling unit based on the Plan recommendation that the subject site be developed as a minimum 1-acre lot. The proposed development will comply with the certified Local Coastal Program and the regulations of the Implementation Program. The proposed construction of a dwelling unit, garage, retaining walls, patio, cabana, fountain, pool and landscaping.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed development will construct necessary sewer and water facilities to serve the site; will incorporate construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 of the San Diego Municipal Code (SDMC); will prepare and implement a Water Pollution Control Plan in accordance with the guidelines of the City's Storm Water Standards; all structures constructed will be reviewed by professional staff for compliance with all relevant and applicable building, electrical, plumbing, mechanical, and fire codes to assure the structures will meet or exceed the current regulations. Further the construction will be monitored and inspected in the field by certified inspectors. As such the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified EIR and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed project is conditioned to record a Covenant of Easement over the steep slopes.

The proposed construction of a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant, graded lot would be required to comply and/or implement all mitigation measures (Paleontological Resources) outlined within the previously certified EIR.

The site is in the Agricultural-Residential (AR-1-2) Zone. The purpose of the AR zones is to accommodate a wide range of agricultural uses while also permitting the development of single dwelling unit homes at a very low density. The project as proposed is 28-feet, nine-inches and meets or exceeds the front, rear and side setbacks of the zone. Further the project provides a three car garage as well as off-street parking to meet the projects parking demand. The project is not requesting, nor does it require, any deviations or variances from the applicable regulations and is consistent with the development standards in effect for this site. Therefore, the proposed development of a dwelling unit, garage, retaining walls, patio, cabana, fountain, pool and landscaping improvements will not adversely affect the Land Development Code.

III. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified EIR and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed project is conditioned to record a Covenant of Easement over the steep slopes.

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The proposed 1,800 cubic yards of grading (1,300 cubic yards of export) will include the excavation for the subterranean basement, garage, additional driveway area, and pool. All grading will be within the area of allowable development and not on the steep slope or sensitive biological areas of the site.

Based upon the submitted studies as well, as information on the plan set, the site has been determined to be suitable for the design and siting of the proposed development without disturbance to environmentally sensitive lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified EIR and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed project is conditioned to record a Covenant of Easement over the steep slopes.

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The site is located in the Geologic Hazard Category 32 and 53 of the San Diego Seismic Safety Study Geologic Hazard Map. A Geotechnical Addendum provided by C.W. La Monte Company Inc., dated June 6, 2016, judges the geologic conditions to be favorable with respect to slope stability.

The proposed 1,800 cubic yards of grading (1,300 cubic yards of export) will include the excavation for the subterranean basement, garage, additional driveway area, and pool. All grading will be within the area of allowable development and not on the steep slope or sensitive biological areas of the site. The proposed export of material will be discharged to a

legal disposal site. All manufactured slopes necessary to construct the proposed project will be revegetated to stabilize the soil and prevent erosion of the ground surface. The site is not located within or adjacent to any areas prone to flooding and is not within the 100-year floodway.

A Brush Management Plan developed for the site will utilize alternative compliance in the form of Zone One extended out from the habitable structure towards the native/naturalized vegetation for a distance of ten to fifteen feet. Zone Two will extend beyond Zone One into the native/naturalized vegetation for a distance of sixty-five feet. At the interface of Zones One and Two, a minimum six-foot high, one hour fire-rated wall will be constructed to compensate for the lack of a full Zone One. The brush management alternative compliance will reduce the risks from natural wildfires to a safe level. The site is not adjacent to any high risk fuel source and is not subject to the threat of high heat fires as a result of dense brush burning in the immediate area.

The project is not requesting, nor does it require, any deviations or variances from the applicable ESL, grading, geologic, flood hazards, or fire hazards regulations and is consistent with the development standards in effect for this site. Therefore the development will minimize the alteration of natural land forms, will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project proposes the construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant, graded lot. The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified EIR and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed project is conditioned to record a Covenant of Easement over the steep slopes.

The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified Environmental Impact Report (EIR) and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site. The proposed construction of a 5,977-square-foot single dwelling unit over garage and basement on a vacant, graded lot would be required to comply and/or implement all mitigation measures (Paleontological Resources) outlined within the previously certified EIR.

A Biological Resources report was prepared by Vince N. Scheidt dated October 19, 2016. The study inventoried the property for biological resources, onsite habitats, as well as signs of rare, endangered, threatened or otherwise sensitive plants or animals. The biological resources analysis was utilized to determine project related direct and indirect impacts and mitigation if appropriate. The report concludes that impacts are considered "less than significant" pursuant to the California Quality Act (CEQA) and the City's Biological Guidelines.

The proposed development is sited and designed to prevent adverse impacts on adjacent environmentally sensitive lands by containing all development to the previously graded developable pad and out of the setback areas of the zone. The development will not encroach on the site's steep slopes or sensitive biological resources or disturb any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

The project proposes to construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant lot. The site is not located on or adjacent to the Multiple Species Conservation Program Subarea Plan preserve area known as the Multiple Habitat Planning Area. In this way, the proposed development is consistent with the Multiple Species Conservation Program Subarea Plan and will have no effect upon the preserve area or the Multiple Species Conservation Program Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

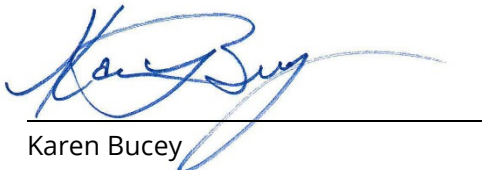
The project proposes to construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant lot. The proposed project contributes drainage into the Los Peñasquitos Lagoon. A Drainage Study, Water Pollution Control Plan, and Water Quality Study were prepared by Malhas Consulting Engineers in April and June of 2016. The project will incorporate Best Management Practices on site storm water management; will enter into a Maintenance Agreement for the ongoing permanent BMP maintenance satisfactory to the City Engineer; and will submit a Water Pollution Control Plan. No drainage will be allowed to exit the site except in a controlled manner and will not impact sensitive habitats located downstream. In this way, the proposed project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply since all drainage will be controlled appropriately to prevent any adverse impacts to downstream areas, including the shoreline of the Pacific Ocean.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project proposes the construct a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant, graded lot. The project parcel was created through the Sorrento Hills Community Plan Amendment II/Torrey View project No. 93-0142, approved by City Council, along with certified Environmental Impact Report (EIR) and adopted the MMRP on December 6, 1994 by Resolution No. 285085. Additionally, a Final Map was filed in the San Diego County Recorder's Office February 9, 1996, the site graded (Permit No. 27929) in 1996 and the As-Built Drawing (27929-I-D) was filed in the City Records April 21, 1997. An Open Space Easement (Per Map 13297), Slope Easement and Site Visibility Easement DWG (26613-D) were recorded with the final map and cover the western sloping portion of the site.

The project is not requesting, nor does it require, any deviations or variances from the applicable regulations. The proposed construction of a 5,977-square-foot, two-story dwelling unit over basement with garage, cabana, pool, landscaping, patio, second story deck, and roof deck on a vacant, graded lot is required to comply and/or implement all mitigation measures (Paleontological Resources) outlined within the previously certified EIR.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit NO. 1543660 and Site Development Permit NO. 1543661 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permits No. 1543660 and 1543661, a copy of which is attached hereto and made a part hereof.



Karen Bucey
Development Project Manager
Development Services

Adopted on: June 21, 2017

IO#: 24006613

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24006133

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1543660 and
SITE DEVELOPMENT PERMIT NO. 1543661
ARROYO SORRENTO CDP PROJECT NO. 440251
HEARING OFFICER

This Coastal Development Permit No. 1543660 and Site Development Permit No. 1543661 is granted by the Hearing Officer of the City of San Diego to 3753 ARROYO SORRENTO RD, A California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0708 and 126.0504. The 1.656-acre site is located at 3753 Arroyo Sorrento Road in the AR-1-2 Zone and Coastal Overlay Zone (Coastal-Appealable and Non-Appealable-1) in the Torrey Hills Community Plan area, Airport Land Use Compatibility Overlay (Miramar), Airport Influence Area (Miramar), and Transit Priority Area Zones. The project site is legally described as Lot 123 of Torrey View, in the City of San Diego, State of California, according to the map thereof No. 13297, filed in the office of the County Recorder of San Diego County on February 9, 1996.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a single dwelling unit development on a vacant lot described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated June 21, 2017, on file in the Development Services Department.

The project shall include:

- a. Construction of a 5,977-square-foot single dwelling unit over garage and basement on a vacant, previously graded lot;
- b. Retaining walls, patio, cabana, fountain, and pool;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street; parking

- e. A roof-mounted photovoltaic system sufficient to generate at least 50 percent of the proposed project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program;
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 6, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Environmental Impact Report (EIR) No. 93-0142 / SCH No. 93051012 were prepared for the original Sorrento Hills Community Plan Amendment II/Torrey View project that was before City Council, which certified and adopted the MMRP on December 6, 1994 by

Resolution No. 285085 shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for Paleontological Resources.

ENGINEERING REQUIREMENTS:

15. The project proposes to export 1,300 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall relinquish Abutters Access Rights along El Camino Real, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including environmental conditions) and Exhibit "A" on file in the office of the development Services Department.

22. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development

Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities unless otherwise approved per 142.0403(b)(5). Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

23. Prior to issuance of any building permit, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under SDMC 142.0403(b)(5).

24. In the event that a foundation only permit is requested, the Owner/Permittee shall submit a site plan or staking layout plan identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

27. The Owner/Permittee shall implement the following requirements in accordance with the Brush management Program shown on Exhibit "A," on file in the Development Services Department.

28. The Brush Management Program shall be based on a standard Zone One of 35 feet in width and Zone Two of 65 feet in width, with Alternative Compliance measures for a reduced Zone One as set forth under §142.0412(f), §142.0412(i), and §142.0412(j) of the Land Development Code. Zone One shall extend out from the habitable structure towards the native/naturalized vegetation for a distance of ten to fifteen feet as shown on Exhibit "A." Zone Two shall extend beyond Zone One into the native/naturalized vegetation for a distance of sixty-five feet. At the interface of Zones One and Two, a minimum six-foot high, one hour fire-rated wall shall be constructed to compensate for the lack of a full Zone One.

29. Prior to issuance of any Grading Permit, landscape construction documents required for the permit shall be submitted showing the brush management zones on the property consistent with Exhibit "A."

30. Prior to issuance of any Building Permit, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance to Exhibit "A," on file in the Development Services Department. The Brush management Program shall comply with the City of San Diego's Landscape Regulations and Standards.

31. Within Zone One, accessory structures of combustible construction such as decks, trellises, and gazebos shall not be permitted while accessory structures of non-combustible, one hour fire-rated, and/or heavy timber construction may be approved subject to the Fire Marshall's approval.

32. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

33. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

34. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

35. Prior to issuance of any construction permit authorizing grading or construction of impervious surfaces, payment shall be deposited with the Development Services Department for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square-foot for all areas graded, with an additional rate of \$0.03 per square-foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the Owner/Permittee and verified by the Development Services Department.

36. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

37. The property owner shall record a covenant of easement against the title to the property that will maintain that portion of the property in its natural state. The Easement shall be a condition of the Permit and shall be recorded prior to Grading Permit approval.

FACILITIES FINANCING REQUIREMENTS:

38. Prior to the issuance of any building permit, Owner/Permittee shall pay the Regional Transportation Congestion Improvement Program fee in accordance with Chapter 14, Article 2, Division 6 of the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 21, 2017 by Resolution HO-17-

****.

Attachment 8

CDP No. 1543660 and SDP No. 1543661
Date of Approval: June 21, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ARROYO SORRENTO RD, LLC
Owner/Permittee

By _____
William Keith Webster
Managing Director

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Arroyo Sorrento CDP		Project Number: 440251	Distribution Date: 09/16/15
Project Scope/Location: TORREY HILLS (Process 3) *SUSTAINABLE EXPEDITE* Coastal Development Permit / Site Development Permit to construct a 9,565 square-foot single dwelling unit on a vacant lot. The 1.66-acre site is located within the Coastal Overlay Zone (Appealable) at 3753 Arroyo Sorrento Road in the AR-1-2 zone(s) of the Torrey Hill Community Plan area within Council District 1.			
Applicant Name: 3753 ARROYO SORRENTO		Applicant Phone Number:	
Project Manager: John Fisher	Phone Number: (619) 446-5231	Fax Number: (619) 446-5245	E-mail Address: JSFisher@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve 7-0-0	Members Yes UNANIMOUS	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: KATHRYN BURTON		TITLE: CHAIR, THCPM	
SIGNATURE: Kathryn Burton		DATE: 10/20/15	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ **Other** _____

Project Title**Project No. For City Use Only**

PRIVATE RESIDENCE

Project Address:

3753 ARROYO SORRENTO RD SAN DIEGO CA 92130

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Project Title: <div style="border: 1px solid black; padding: 2px; margin-top: 5px;">Arroyo Sorrento</div>	Project No. (For City Use Only) <div style="border: 1px solid black; padding: 2px; margin-top: 5px;">440251</div>
---	---

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

☐ Corporation
 ☒ Limited Liability -or-
 ☐ General) What State? _____ Corporate Identification No. _____
☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** ☐ Yes ☐ No

Corporate/Partnership Name (type or print):

ARROYO SORRENTO RD LLC.

☒ Owner
☐ Tenant/Lessee

Street Address:

1460 ORPHEUS AVE

City/State/Zip:

ENCINITAS CA. 92024

Phone No:
Fax No:

702-296-7883

Name of Corporate Officer/Partner (type or print):

WILLIAM KEITH WEBSTER

Title (type or print):

MANAGING DIRECTOR

Signature :
Date:

8/13/15

Corporate/Partnership Name (type or print):

☐ Owner
☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:
Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :
Date:

Corporate/Partnership Name (type or print):

☐ Owner
☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:
Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :
Date:

Corporate/Partnership Name (type or print):

☒ Owner
☐ Tenant/Lessee

Street Address:

7092 Sherzo Lane

City/State/Zip:

Houston TX

Phone No:
Fax No:

713-816-0198

Name of Corporate Officer/Partner (type or print):

David Huntington

Title (type or print):

Manager

Signature :
Date:

David Huntington
5/23/2017

Corporate/Partnership Name (type or print):

☐ Owner
☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:
Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :
Date:

Corporate/Partnership Name (type or print):

☐ Owner
☐ Tenant/Lessee

Street Address:

City/State/Zip:

Phone No:
Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature :
Date:

ARROYO SORRENTO RESIDENCE

3753 ARROYO SORRENTO RD
NEW SINGLE FAMILY RESIDENCE

DEL MAR, CALIFORNIA 92130

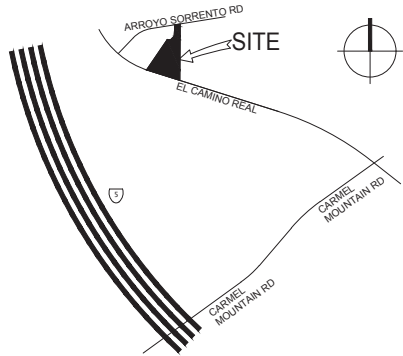
Abbreviations

ADJ.	ADJACENT	FIN	FINISH	O/	OVER
ALUM.	ALUMINUM	F.D.	FIRE DAMPER	O.C.	ON CENTER
A.B.	ANCHOR BOLT	FJ	FLOOR JOIST	O	DIAMETER
AUTO	AUTOMATIC	FLR	FLOOR	PNL	PANEL
B.S.	BASE OF SLOPE	FLR DR	FLOOR DRAIN	P.C.	PHOTO CELL
B.W.	BASE OF WALL	FL. BM.	FLUSH BEAM	PLWD	PLYWOOD
BATH	BATHROOM	F.A.U.	FORCE AREA UNIT	PRE-FAB	PRE-FABRICATED
BM	BEAM	FOUND	FOUNDATION	P.T.D.F.	PRESSURE TREATED
BRG.	BEARING	G.I.	GALVANIZED IRON	PL	PROPERTY LINE
BDRM.	BEDROOM	GAR.	GARAGE	RR	ROOF RAFTER
BLK.	BLOCKING	G	GAS	RWD	REDWOOD
B.D.	BOARD	GA	GAUCE	REQ'D	REQUIRED
BTU	BRITISH THERMAL UNIT	GLU-LAM	GLUED LAMINATED	SEC	SECTION
BLDG.	BUILDING	GRD	GROUND	SERV	SERVICE
B.N.	BOUNDARY NAIL	G.F.I.	GRUND FAULT	S	SEWER
CA	CASEMENT		INTERRUPTOR	SHTG	SHEATING
CAB	CABINET	GYP.	GYPNUM	SHT	SHEET
C.I.	CASTIRON	GYP. BD.	GYPNUM BOARD	SIM	SIMILAR
CLG.	CEILING	HORZ OR H	HORIZONTAL	S.C.	SOLID CORE
C.J.	CEILING JOIST	HDR	HEADER	S.T.R.	STRUCTURAL
CL	CENTER LINE	HL.D.	HOLDOWN	S.H.	SINGLE HUNG
C.O.	CLEAN OUT	H.C.	HOLLOW CORE	SL	SLIDER
CLR	CLEAR	H.B.	HOUSE BIB	SPEC'S	SPECIFICATIONS
COL.	COLUMN	INS	INSULATION	S.F.	SQUARE FEET
COMP.	COMPOSITION	INT.	INTERIOR	STL	STEEL
CONC.	CONCRETE	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS	TAB	TABULATION
CONT.	CONTINUOS		INVERTED ELEVATION	TEMP	TEMPERED
CNTRL	CONTROL	INV.	INVERTED ELEVATION	T&G	TONGUE AND GROOVE
CNTR.	COUNTER	JAC	JACUZZI	T&B	TOP AND BOTTOM
CU.FT.	CUBIC FEET	JST	JOIST	TOC	TOP OF CURB
CU. IN.	CUBIC INCHES	KIT	KITCHEN	T.S.	TOP OF SLOPE
CU. YA.	CUBIC YARD	LAV	LAVATORY	T.B.	TOP OF WALL
DET	DETAIL	LF	LINEAR FEET	TYP.	TYPICAL
DEMO	DEMOLITION	LOC	LOCATION	U.N.O.	UNLESS NOTED OTHERWISE
DR.	DOOR	LUM CLG.	LUMINOUS CEILING		
DBL.	DOUBLE	LB.	POUND	M.B.	MACHINE BOLT
D.H.	DOUBLE HUNG	M.B.	MACHINE BOLT	MFR	MANUFACTURER
D.F.	DOUBLE FIR.	MAT'L	MATERIAL	MAX	MAXIMUM
DN.	DOWN	M.C.	MEDICINE CABINET	MTL	METAL
DS	DOWN SPOUT	MIN	MINIMUM	MTR.	METER
D	PENNY (NAILS)	N.I.C.	NOT IN CONTRACT	W.W.M.	WELDED WIRE MESH
EA	EACH	NTS	NOT TO SCALE	W	WATER
E.N.	EDGE NAIL	No.	NUMBER	WD	WOOD
ELEV	ELEVATION				
EQ.	EQUAL				
EXT.	EXTERIOR				
F.N.	FIELD NAIL				
F.N.	FINISH NAIL				

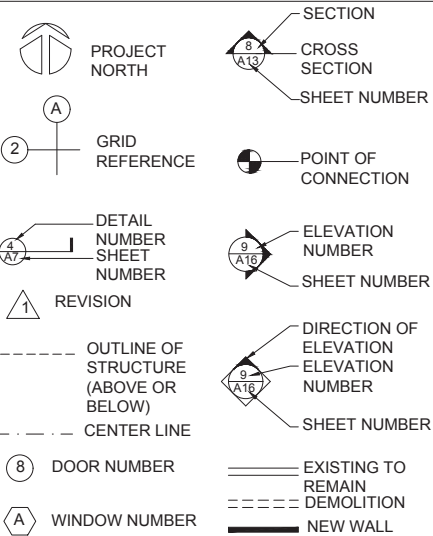
Deferred Submittal Notes

- It is understood that plans for the project have, at this time, been reviewed for compliance with all applicable State and City regulations, and that the project as a whole has been approved by the City, with the exception of the deferred items listed.
- We understand that we will not be authorized any inspection of the deferred items proposed prior to the submittal and approval of plans and/or calculations for those deferred items.
- Complete plans and specifications for all fire extinguishing systems and related appurtenances shall be submitted to the City of San Diego for review and approval prior to installation. CFC 901.2.

Vicinity Map



SYMBOLS



Legal Owner

MR. & MRS KEITH WEBSTER
1460 ORPHEUS AV
ENCINITAS, CA 92024

Project Team

DESIGNER:

SAM Z. MALHAS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

STRUCTURAL ENGINEER:

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

CIVIL ENGINEER:

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENERGY CONSULTANT:

NRG COMPLIANCE, LLC
P.O. BOX 3777
SANTA ROSA, CA 95402
TEL: (707) 237-6957

SOIL ENGINEER:

C.W. LA MONTE COMPANY INC.
4400 PALM AVE. SUITE B
LA MESA, CA 91941
TEL: (619) 462-9861 FAX: (619) 462-9859

Code Jurisdictions

2013 California Building Code (CBC-2013) AND / OR
2013 California Residential Code (CRC-2013)
2013 California Green Building Standards Code (CalGreen)
2013 California Electrical Code (CEC)
2013 California Mechanical Code (CMC)
2013 California Plumbing Code (CPC)
2013 California Fire Code (CFC)
2013 California Building Energy Efficiency Standards (CBEES)

Project Data

PROJECT CODE INFORMATION:

TYPE OF CONSTRUCTION: TYPE V-B
BUILDING CODE: CBC 2013, CRC 2013
GOVERNING AGENCY: CITY OF SAN DIEGO
ZONING: AR-1-2
OCCUPANCY: R-3

STRUCTURE HEIGHT:

MAXIMUM: 30'
SHOWN: 28'-9"

LOT COVERAGE:

LOT COVERAGE 20% (LOT= 72,142 SF): 14, 428 SF
SHOWN: 3,752 SF

LEGAL DESCRIPTION:

APN 307-050-43-00
LOT 123
MAP 013297

SITE ADDRESS:

3753 ARROYO SORRENTO RD
DEL MAR, CA 92130

LOT SIZE:

72,142 SF - 1.656 AC APPROX.

OVERLAYS:

COASTAL (CITY)
FIRE BRUSH ZONE 300' BUFFER
FIRE HAZARD ZONE
PARKING IMPACT

ENVIRONMENTALLY SENSITIVE LANDS:

SENSITIVE BIOLOGIC RESOURCES
STEEP HILLSIDE

HISTORICAL: NO

GEOLOGICAL HAZARD CATEGORIES: 32 & 53
EARTHQUAKE FAULT BUFFER: NO

COVENANT OF EASEMENT AREA:
27,746 SF - 0.6370 AC APPROX.

SEE ELEVATIONS SHEET A11 FOR LIST OF SUSTAINABLE BUILDING AND DEVELOPMENT TECHNIQUES.

PALEONTOLOGICAL RESOURCES MITIGATION, MONITORING, AND REPORTING SHALL BE IMPLEMENTED

Floor Areas

FLOOR AREAS:

FIRST FLOOR PLAN	3,638 sqft
SECOND FLOOR PLAN	2,339 sqft
TOTAL	5,977 sqft
GARAGE	864 sqft
BASEMENT	888 sqft
FIRST FLOOR PATIO	272 sqft
DECKS - HIGH ROOF	1038 sqft
TOTAL	3,062 sqft

Scope of Work

OBTAIN A CDP/SDP TO CONSTRUCT A NEW SINGLE FAMILY DWELLING UNIT LOCATED ON LOT 123 OF TORREY VIEW IN THE TORREY HILLS COMMUNITY.

SITE DEVELOPMENT PERMIT:

- 3753 ARROYO SORRENTO ROAD, DEL MAR, CA. 92130
 - SITE - 72,142 sqft
 - SITE RETAINING WALLS - 403'-7"
- NEW 2 STORY SINGLE FAMILY RESIDENCE WITH BASEMENT
 - RESIDENCE - HABITABLE - 5,977 sqft
 - COVERED PATIO - 272 sqft
 - DECKS - 1,664 sqft
 - GARAGE - 864 sqft
 - BASEMENT - 888 sqft
 - HOUSE RETAINING WALLS - 157'-6"

Sheet Index

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A2.1	TOPO PLAN	5 OF 24
A2.2	SLOPE ANALYSIS	6 OF 24
A3	DRAINAGE PLAN	7 OF 24
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SAM Z. MALHAS PE
CA #C2006

PURPOSE
SUBMITTAL
BUILDING PERMIT

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



PROJECT: #MMS-1336
DATE: MAY 4, 2017

SCALE:

SHEET DESCRIPTION
TITLE SHEET

T-1

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

REVISION 14:
REVISION 13:
REVISION 12:
REVISION 11:
REVISION 10:
REVISION 09:
REVISION 08:
REVISION 07:
REVISION 06:
REVISION 05:
REVISION 04:
REVISION 03:
REVISION 02:
REVISION 01:

REVISION 14:
REVISION 13:
REVISION 12:
REVISION 11:
REVISION 10:
REVISION 09:
REVISION 08:
REVISION 07:
REVISION 06:
REVISION 05:
REVISION 04:
REVISION 03:
REVISION 02:
REVISION 01:

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
TITLE SHEET

ORIGINAL DATE: AUG 10, 2015

SHEET 01 OF 35

CEP#

LOS PENASQUITOS WATERSHED RESTORATION AND ENHANCEMENT FEE

FEE CALCULATION

GRADING AREA:	3,439 SF X \$0.005/SF = \$17.20
IMPERVIOUS AREA:	9,448 SF X \$0.03 = \$283.44
TOTAL:	\$300.64

FIRE ACCESS PLAN NOTES

1. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.

2. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION CFC 501.4

3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 95.0209

4. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLERS RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.

5. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.

TOTAL EXISTING IMPERVIOUS AREA:	4111 SQ. FT.
TOTAL PROPOSED IMPERVIOUS AREA:	8827 SQ. FT.
SEE APPENDIX A IN DRAINAGE STUDY FOR TABULATION OF AREAS.	

POOL & CABANA WILL BE UNDER A SEPARATE PERMIT

RESIDENTIAL FIRE SPRINKLER SYSTEMS:

1. ALL NEW SINGLE FAMILY DWELLINGS, DUPLEXES AND TOWNHOUSES AS WELL AS NEW GARAGES / CARPORTS ATTACHED TO NEW DWELLINGS SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
2. DESIGN PLANS FOR RESIDENTIAL FIRE SPRINKLER SYSTEMS SHALL COMPLY WITH CRC SECTION R313 OR CBC SECTIONS 903.2.8 AND 903.2.18.
3. AREAS WITHIN AND OTHER THAN WITHIN THE DWELLING REQUIRED TO BE PROTECTED WITH A FIRE SPRINKLER SYSTEM SHALL BE SPECIFIED ON PLANS.
4. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
5. IF THE SPRINKLERS WILL BE SERVED THROUGH THE DOMESTIC WATER SERVICE, PROVIDE THE MAXIMUM GALLONS PER MINUTE FOR THE FIRE FLOW ALONE ON THE WATER METER DATA CARD.
6. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
7. AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT:

OWNER SIGNATURE: _____

THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY SECTION R313 OF THE 2013 CALIFORNIA RESIDENTIAL CODE OR WHEN REQUIRED BY SECTION 903 OF THE 2013 CALIFORNIA BUILDING CODE HAS BEEN DEFERRED.

TO AVOID DELAYS IN CONSTRUCTION, FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING / ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.

PROJECT CODE INFORMATION:

TYPE OF CONSTRUCTION: TYPE V-B
BUILDING CODE: CBC 2013, CRC 2013
GOVERNING AGENCY: CITY OF SAN DIEGO
ZONING: AR-1-2
LOT COVERAGE: 20%
MAX. STRUCTURE HEIGHT: 30'

LEGAL DESCRIPTION:

APN 307-050-43-00
LOT 123
MAP 013297

SITE ADDRESS:

3753 ARROYO SORRENTO RD
DEL MAR, CA 92130

LOT SIZE:

72,142 SF - 1.656 AC APPROX.

OVERLAYS:

COASTAL (CITY)
FIRE BRUSH ZONE 300' BUFFER
FIRE HAZARD ZONE
PARKING IMPACT

ENVIRONMENTALLY SENSITIVE LANDS:

SENSITIVE BIOLOGIC RESOURCES
STEEP HILLSIDE

HISTORICAL: NO

GEOLOGICAL HAZARD CATEGORIES: 32 & 53

EARTHQUAKE FAULT BUFFER: NO

SETBACKS:

	REQUIRED	PROPOSED
FRONT:	25'	207'-8"
SIDE:	20'	20'
REAR:	25'	160'-11"

COVENANT OF EASEMENT AREA:
27,746 SF - 0.6370 AC APPROX.

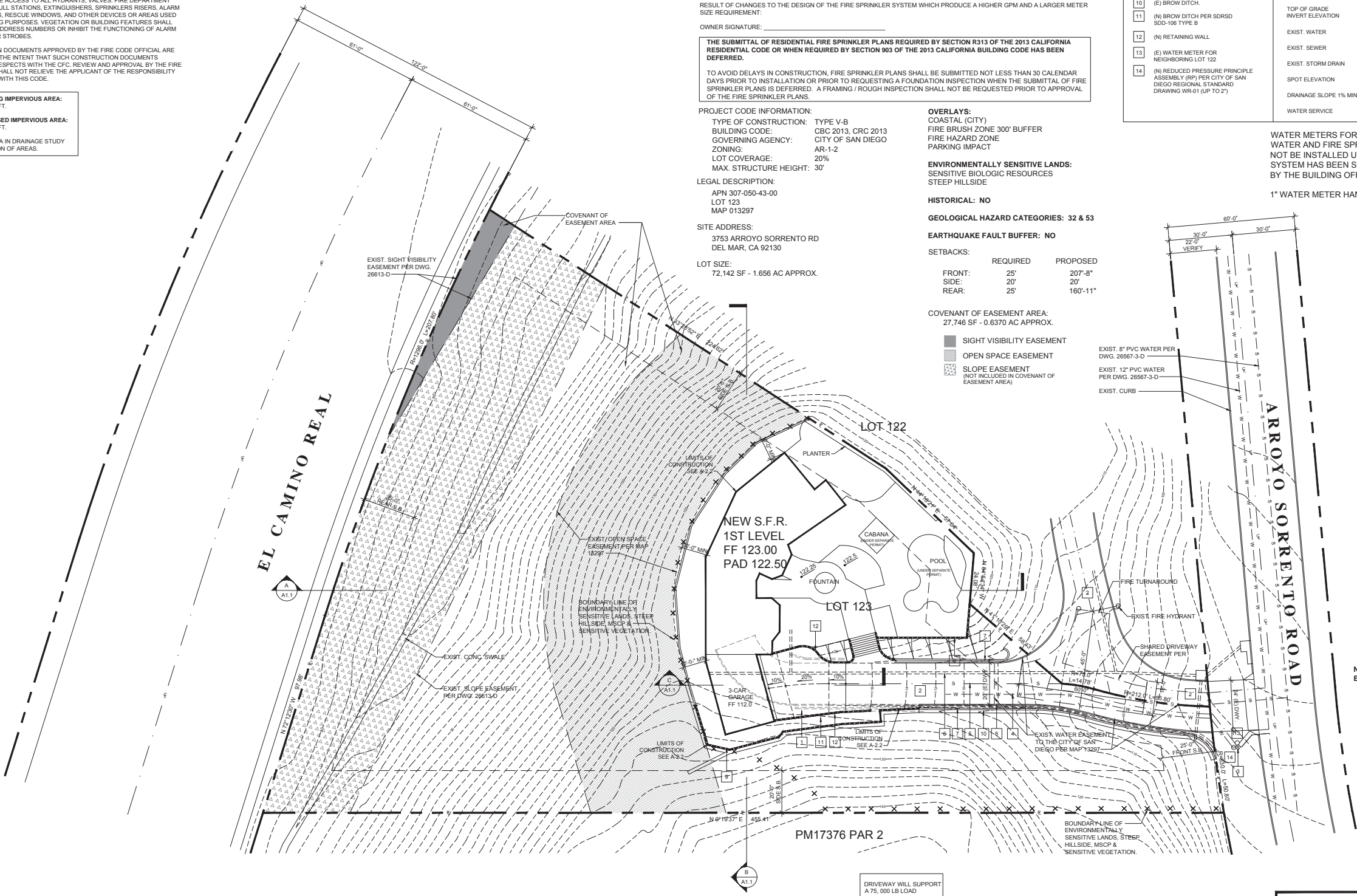
- SIGHT VISIBILITY EASEMENT
- OPEN SPACE EASEMENT
- SLOPE EASEMENT (NOT INCLUDED IN COVENANT OF EASEMENT AREA)

EXIST. 8" PVC WATER PER DWG. 26567-3-D
EXIST. 12" PVC WATER PER DWG. 26567-3-D
EXIST. CURB

WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.

1" WATER METER HANDLES 25 TO 40 GPM

SITE PLAN NOTES		LEGEND	
		ITEM	SYMBOL
1	(N) CONC. DRIVEWAY.	EXISTING CONTOUR:	
2	(E) CONC. DRIVEWAY.	PROPOSED CONTOUR:	
3	(E) WATER METER, WITH 1" SERVICE LINE AND 1/4" SUPPLY LINE	PROPERTY LINE:	
4	(E) 1" WATER SERVICE PER DWG. 27929-4-D, TO SERVE THIS PROJECT.	NEW RETAINING WALL:	
5	(E) PVT. 6" PVC SEWER PER DWG. 27929-4-D, TO SERVE THIS PROJECT.	EXIST. KEYSTONE RETAINING WALL:	
6	(E) PVT. 12" PVC STORM DRAIN PER DWG. 27929-4-D	TOP OF WALL	
7	(E) KEYSTONE RETAINING WALL.	BOTTOM OF WALL	
8	(E) DRIVEWAY CURB.	TOP OF GRADE	
9	(N) RETAINING WALL PER SEPARATE PERMIT.	INVERT ELEVATION	
10	(E) BROW DITCH.	EXIST. WATER	
11	(N) BROW DITCH PER SDRSD SDD-106 TYPE B	EXIST. SEWER	
12	(N) RETAINING WALL	EXIST. STORM DRAIN	
13	(E) WATER METER FOR NEIGHBORING LOT 122	SPOT ELEVATION	
14	(N) REDUCED PRESSURE PRINCIPLE ASSEMBLY (RPP) PER CITY OF SAN DIEGO REGIONAL STANDARD DRAWING WR-01 (UP TO 2')	DRAINAGE SLOPE 1% MN	
		WATER SERVICE	



SITE PLAN / FIRE ACCESS PLAN

SCALE: 1" = 20'-0"

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA 92130

SHEET TITLE:
SITE PLAN

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 09:	_____
REVISION 08:	_____
REVISION 07:	_____
REVISION 06:	FEBRUARY 20, 2008
REVISION 05:	NOVEMBER 10, 2008
REVISION 04:	AUGUST 10, 2008
REVISION 03:	JULY 10, 2008
REVISION 02:	JUNE 1, 2008
REVISION 01:	APRIL 1, 2008
ORIGINAL DATE:	AUG 10, 2005
SHEET	02 OF 35

PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE: 1" = 20'-0"

SHEET DESCRIPTION
SITE PLAN

A-1

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

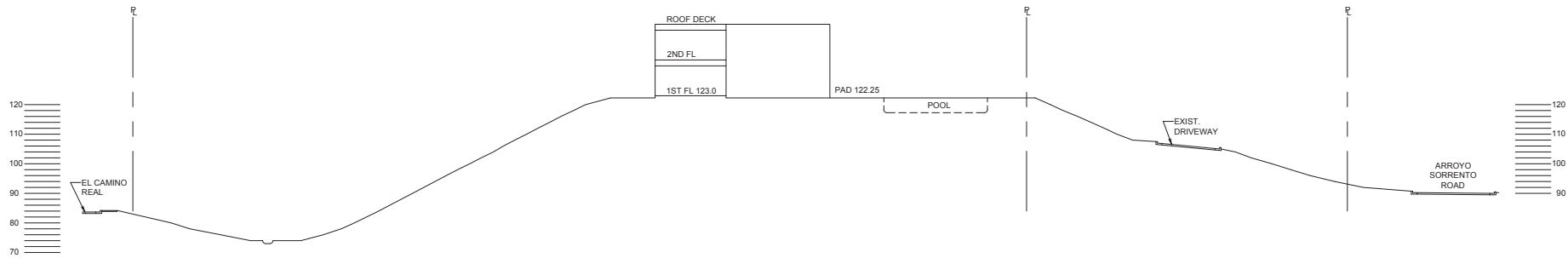
ENGINEER

PROJECT

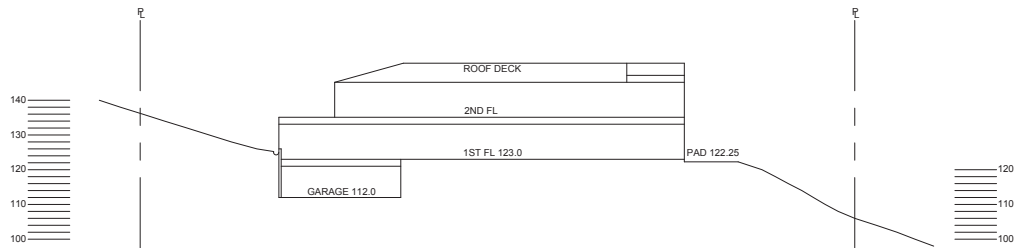
PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA 92130



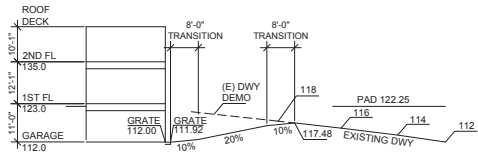
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SITE SECTION A
SCALE: 1" = 20'-0"



SITE SECTION B
SCALE: 1" = 20'-0"



DRIVEWAY SECTION C
SCALE: 1" = 20'-0"

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA 92130

SHEET TITLE:
SITE / DRIVEWAY
SECTIONS

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 09: _____
REVISION 08: _____
REVISION 07: _____
REVISION 06: _____
REVISION 05: _____
REVISION 04: _____
REVISION 03: _____
REVISION 02: _____
REVISION 01: _____
ORIGINAL DATE: _____
SHEET 03 OF 35

SEP#

PROJECT: #MAHS-1336
DATE: MAY 4, 2017

SCALE: 1" = 20'-0"
SHEET DESCRIPTION
SITE SECTIONS

A-1.1

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA 92130

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER
PROJECT

SAM Z. MALHAS PE
CA #20206

PURPOSE
SUBMITTAL
BUILDING PERMIT



GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET ____ FOR MIX AND SPECIFICATIONS.

GROUND WATER DISCHARGE NOTES

1. ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2008-0002 NPDES CAG919002.
2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2007-0034 NPDES NO. CAG919001.

STORM WATER NOTES

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT, ORDER NO. 2009-0009DQW, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. R9-2007-0001, OR SUBSEQUENT ORDER, IN ACCORDANCE WITH ORDER NO. 2009-0009DQW OR SUBSEQUENT ORDER. A RISK LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES.
4. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDIDM) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION II.C OF ORDER NO. 2009-0009-DQW AND A COPY SHALL BE SUBMITTED TO THE CITY.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE WATER QUALITY TECHNICAL REPORT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER.

COVENANT OF EASEMENT AREA:
27,746 SF - 0.6370 AC APPROX.

GRADING QUANTITIES

DISTURBED AREA	28,980 sqft (0.6653 ACRES)	
GRADED AREA	3,439 sqft (0.0789 ACRES)	MAX. CUT DEPTH: 11 FEET
CUT QUANTITIES	.1,550 CYD	MAX CUT SLOPE RATIO 2:1 MAX
FILL QUANTITIES	.250 CYD	MAX FILL DEPTH 10 FEET
IMPORT/EXPORT	.1,300 CYD	MAX FILL SLOPE RATIO 2:1 MAX

THIS PROJECT PROPOSES TO EXPORT 1,300 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

CUT QUANTITIES BY AREA	
THEATER AREA	= 600.0 CYD
GARAGE AREA	= 440.0 CYD
DRIVEWAY AREA	= 400.0 CYD
POOL	= 110.0 CYD

FILL QUANTITIES BY AREA	
POOL AREA	= 250.0 CYD

TOTAL EXISTING IMPERVIOUS AREA:	4111 SQ. FT.
TOTAL PROPOSED IMPERVIOUS AREA:	9827 SQ. FT.
SEE APPENDIX A IN DRAINAGE STUDY FOR TABULATION OF AREAS	

GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL "A PERMIT" A NOTICE TO PROCEED HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET SEQ.).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESETTLE OR DAMAGE" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
7. ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
8. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 627-3200.
9. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
10. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
11. AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
12. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
13. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK. DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES INCLUDING WATER, SEW, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (PROCTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCILLY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

ITEM	SYMBOL	ITEM	SYMBOL
CUT SLOPE:		CUT/FILL LINE:	
FILL SLOPE:		PROPERTY LINE:	
WATERCOURSE:		EASEMENT LINE:	
EXISTING CONTOUR:		RETAINING WALL:	
PROPOSED CONTOUR:		FUEL MODIFICATION ZONE:	
EXIST. WATER		TOP OF WALL	
EXIST. SEWER		BOTTOM OF WALL	
EXIST. STORM DRAIN		TOP OF GRADE	
SPOT ELEVATION (NEW)		INVERT ELEVATION	
DRAINAGE SLOPE 1% MIN		SPOT ELEVATION (EXISTING)	
WATER SERVICE			

TOPOGRAPHY SOURCE

TOPOGRAPHIC MAP
LOT #123, MAP No 13297

SURVEY DATE: JUNE 22, 2005.
SURVEY BY: E.G. CHAPMAN, INC.
SAN DIEGO, CA.
TEL: (858) 565-0473

PROVIDED BY: CVALDO CORPORATION
CIVIL ENGINEERING
4901 MORENA BLVD.
SUITE #1110
SAN DIEGO, CA. 92117

PARCEL 1
PM NO 17207

- 1 (N) CONC. DRIVEWAY.
- 2 (E) CONC. DRIVEWAY.
- 3 (E) WATER METER
- 4 (E) 1" WATER SERVICE PER DWG 27929-4-D
- 5 (E) PVT. 6" PVC SEWER PER DWG 27929-4-D
- 6 (E) PVT. 12" PVC STORM DRAIN PER DWG 27929-4-D TO REMAIN
- 7 (E) KEYSTONE RETAINING WALL
- 8 (E) DRIVEWAY CURB.
- 9 (N) RETAINING WALL PER SEPARATE PERMIT SEE PROJECT# S26297
- 10 (E) BROW DITCH.
- 11 (N) BROW DITCH PER SDRSD SDD-106 TYPE B
- 12 (N) RETAINING WALL
- 13 (E) WATER METER FOR NEIGHBORING LOT 122
- 14 (N) REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) PER CITY OF SAN DIEGO REGIONAL STANDARD DRAWING WR-01 (UP TO 2")

THE APPLICANT SHALL
RELINQUISH ABUTTER ACCESS
RIGHTS ON EL CAMINO REAL

GRADING & GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED

REPORT TITLE: PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME),
DATED (YOUR COMPANY PROJECT NO.)

2. ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 80% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
4. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHARGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

CIVIL SITE PLAN

SCALE: 1" = 20'-0"



CITY BENCHMARK
CARMEL MOUNTAIN RD. & SORRENTO VALLEY
EBP, EL 29.22 MSL

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
GRADING PLAN

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 09:	
REVISION 08:	
REVISION 07:	
REVISION 06:	
REVISION 05:	
REVISION 04:	
REVISION 03:	
REVISION 02:	
REVISION 01:	

ORIGINAL DATE: AUG 10, 2005

SHEET 04 of 35

PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE: 1" = 20'-0"

SHEET DESCRIPTION
GRADING
PLAN

A-2

SAM Z. MALHAS PE
CA #12030

PURPOSE
SUBMITTAL
BUILDING PERMIT

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

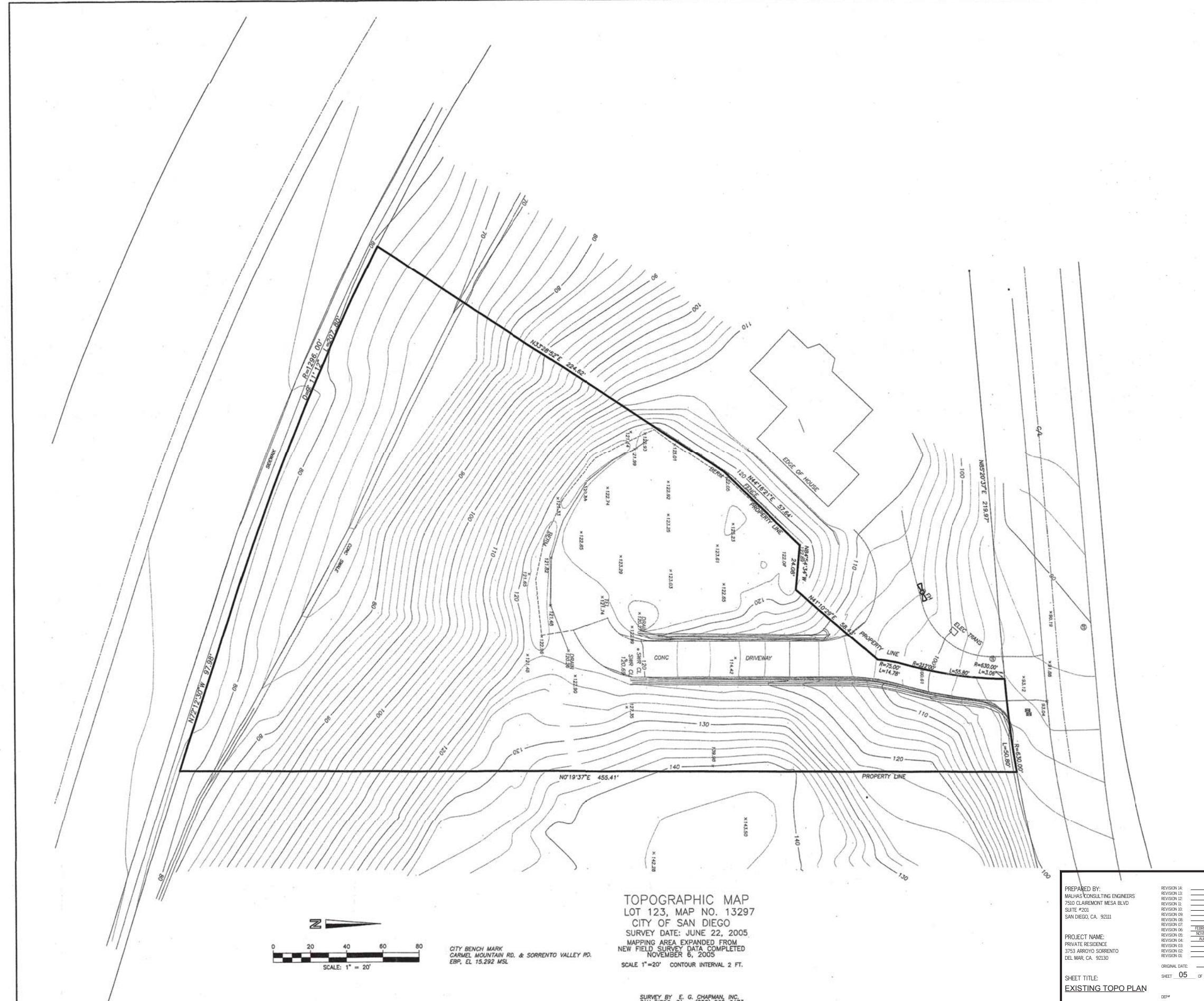
ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



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SAM Z MALHAS PE
CA #23092

PURPOSE
SUBMITTAL
BUILDING PERMIT

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE:

SHEET DESCRIPTION

EXISTING TOPO PLAN

A-2.1

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

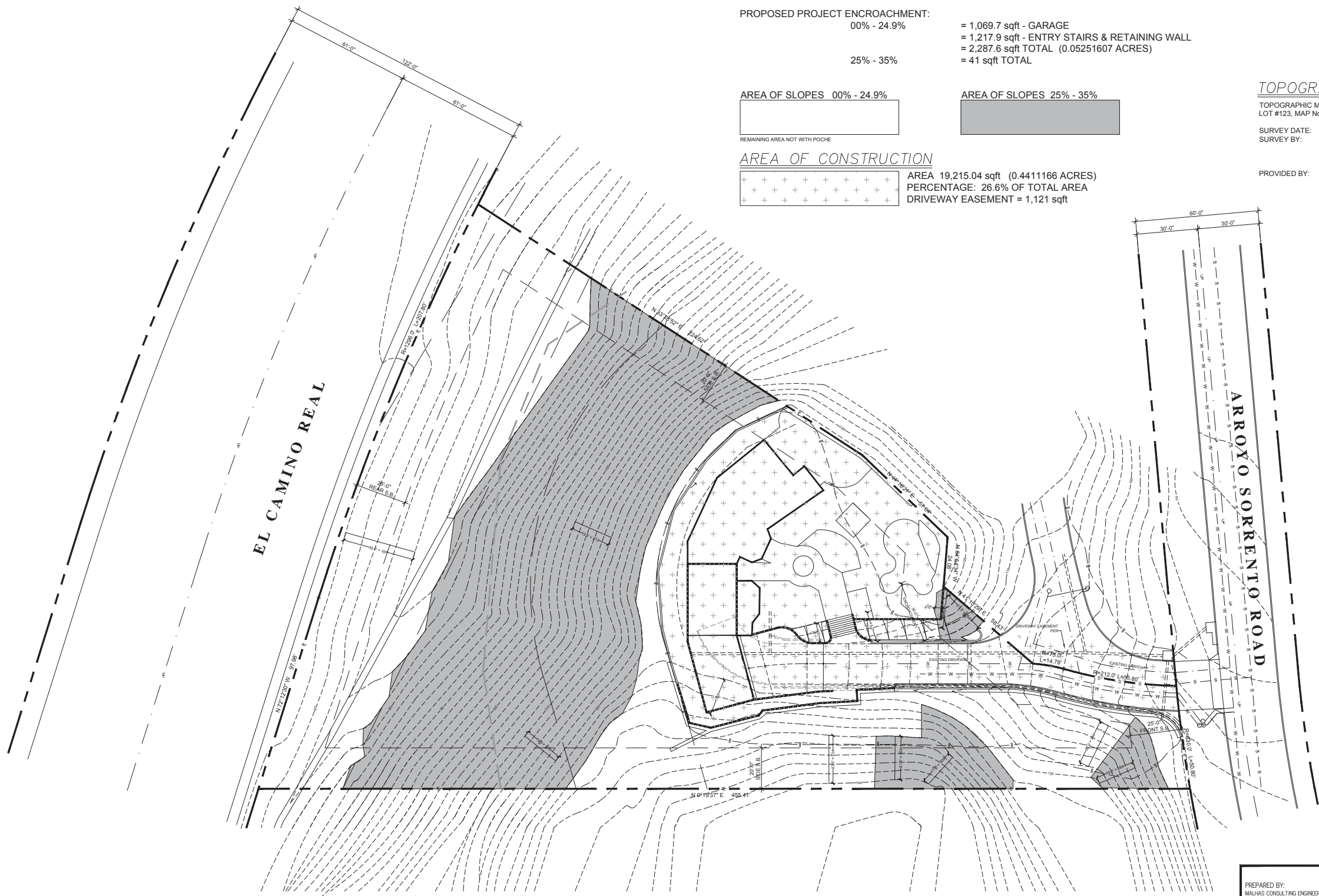
PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
EXISTING TOPO PLAN

REVISION 14: _____
 REVISION 13: _____
 REVISION 12: _____
 REVISION 11: _____
 REVISION 10: _____
 REVISION 09: _____
 REVISION 08: _____
 REVISION 07: _____
 REVISION 06: FEBRUARY 27, 2016
 REVISION 05: NOVEMBER 9, 2016
 REVISION 04: AUGUST 12, 2016
 REVISION 03: JULY 13, 2016
 REVISION 02: JUNE 1, 2016
 REVISION 01: APRIL 1, 2016
 ORIGINAL DATE: AUG 10, 2015
 SHEET 05 OF 35

TOPOGRAPHIC MAP
LOT 123, MAP NO. 13297
CITY OF SAN DIEGO
SURVEY DATE: JUNE 22, 2005
MAPPING AREA EXPANDED FROM
NEW FIELD SURVEY DATA COMPLETED
NOVEMBER 6, 2005
SCALE 1"=20' CONTOUR INTERVAL 2 FT.

SURVEY BY E. G. CHAPMAN, INC.
SAN DIEGO, CA - (658) 565-0473



SLOPE ANALYSIS

TOTAL AREA OF PROPERTY = 72,142 SF - 1.656 AC APPROX.

AREA OF SLOPES	00% - 24.9%	= 45,987.83 sqft	1.05573531 ACRES
AREA OF SLOPES	25% - 35%	= 26,154.17 sqft	0.60041713 ACRES
AREA OF SLOPES	35% AND GREATER	=	00 ACRES (NONE)

PROPOSED PROJECT ENCROACHMENT:

00% - 24.9%	= 1,069.7 sqft - GARAGE
	= 1,217.9 sqft - ENTRY STAIRS & RETAINING WALL
	= 2,287.6 sqft TOTAL (0.05251607 ACRES)
25% - 35%	= 41 sqft TOTAL

AREA OF SLOPES 00% - 24.9%

AREA OF SLOPES 25% - 35%

REMAINING AREA NOT WITH POCHE

AREA OF CONSTRUCTION

AREA 19,215.04 sqft (0.4411166 ACRES)
PERCENTAGE: 26.6% OF TOTAL AREA
DRIVEWAY EASEMENT = 1,121 sqft

TOPOGRAPHY SOURCE

TOPOGRAPHIC MAP
LOT #123, MAP No 13297

SURVEY DATE: JUNE 22, 2005.
SURVEY BY: E.G. CHAPMAN, INC.
SAN DIEGO, CA.
TEL: (858) 565-0473

PROVIDED BY: CVALDO CORPORATION
CIVIL ENGINEERING
4901 MORENA BLVD.
SUITE #1110
SAN DIEGO, CA. 92117

SAM Z MALHAS PE
CA #23092

PURPOSE
SUBMITTAL
BUILDING PERMIT

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



PROJECT: #MA15-1336
DATE: MAY 4, 2017

SALE:

SHEET DESCRIPTION

SLOPE ANALYSIS
PLAN

A-2.2

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

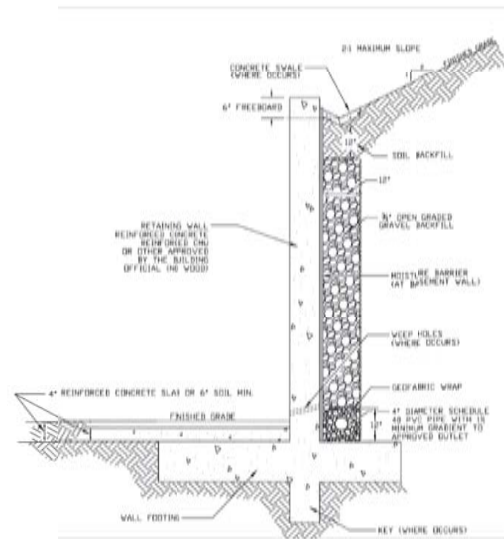
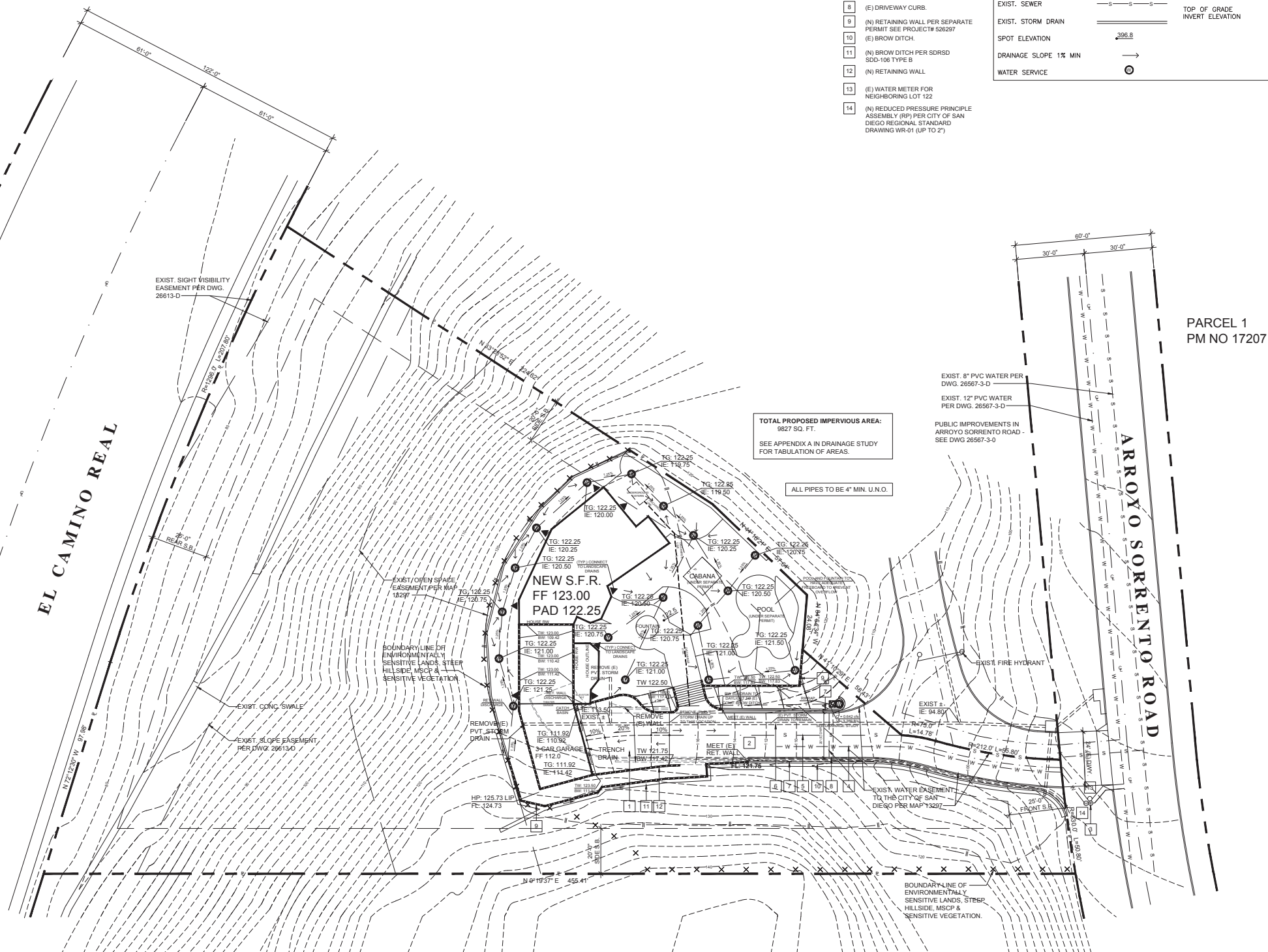
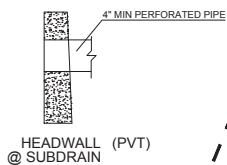
SHEET TITLE:
SLOPE ANALYSIS PLAN

REVISION 14: _____
 REVISION 13: _____
 REVISION 12: _____
 REVISION 11: _____
 REVISION 10: _____
 REVISION 09: _____
 REVISION 08: _____
 REVISION 07: _____
 REVISION 06: _____
 REVISION 05: _____
 REVISION 04: _____
 REVISION 03: _____
 REVISION 02: _____
 REVISION 01: _____

ORIGINAL DATE: _____

SHEET **06** OF **35**

DEP®

TYP. RET. WALL SUBDRAIN
DETAIL PER SOILS ENGINEER

DRAINAGE PLAN

SCALE: 1" = 20'-0"

CITY BENCHMARK
CARMEL MOUNTAIN RD. & SORRENTO VALLEY
EBP, EL. 15,292 MSL.

SITE PLAN NOTES

- 1 (N) CONC. DRIVEWAY.
- 2 (E) CONC. DRIVEWAY.
- 3 (E) WATER METER
- 4 (E) 1" WATER SERVICE PER DWG. 27929-4-D
- 5 (E) PVT. 6" PVC SEWER PER DWG. 27929-4-D
- 6 (E) PVT. 12" PVC STORM DRAIN PER DWG. 27929-4-D
- 7 (E) KEYSTONE RETAINING WALL.
- 8 (E) DRIVEWAY CURB.
- 9 (N) RETAINING WALL PER SEPARATE PERMIT SEE PROJECT# 528287
- 10 (E) BROW DITCH.
- 11 (N) BROW DITCH PER SDSRD SDD-106 TYPE B
- 12 (N) RETAINING WALL
- 13 (E) WATER METER FOR NEIGHBORING LOT 122
- 14 (N) REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) PER CITY OF SAN DIEGO REGIONAL STANDARD DRAWING WR-01 (UP TO 2')

GRADING LEGEND

ITEM	SYMBOL	ITEM	SYMBOL
CUT SLOPE:		CUT/FILL LINE:	
FILL SLOPE:		PROPERTY LINE:	
WATERCOURSE:		EASEMENT LINE:	
EXISTING CONTOUR:		RETAINING WALL:	
PROPOSED CONTOUR:		FUEL MODIFICATION ZONE:	
EXIST. WATER		TOP OF WALL	
EXIST. SEWER		BOTTOM OF WALL	
EXIST. STORM DRAIN		TOP OF GRADE	
SPOT ELEVATION		INVERT ELEVATION	
DRAINAGE SLOPE 1% MIN			
WATER SERVICE			

SAM Z. MALHAS PE
CA #20202PURPOSE
SUBMITTAL
BUILDING PERMITMALHAS CONSULTING ENGINEERS
7510 CLAIRMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE: 1" = 20'-0"

SHEET DESCRIPTION
DRAINAGE PLAN

A-3

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIRMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130SHEET TITLE:
DRAINAGE PLAN

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 09:	
REVISION 08:	
REVISION 07:	
REVISION 06:	FEBRUARY 20, 2016
REVISION 05:	DECEMBER 1, 2015
REVISION 04:	AUGUST 10, 2015
REVISION 03:	JULY 14, 2015
REVISION 02:	JUNE 1, 2015
REVISION 01:	APRIL 1, 2015
ORIGINAL DATE:	AUG 10, 2015
SHEET	07
OF	35

CEP#

BMP LEGEND

PDS 659	BROW DITCH	⇒⇒
PDS 659	BERM	⇒⇒⇒
DIRECTION OF LOT DRAINAGE		⇒⇒⇒

CONSTRUCTION BMPs

WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL BMPs

WM-1	MATERIAL DELIVERY & STORAGE
WM-4	SPILL PREVENTION AND CONTROL
WM-8	CONCRETE WASTE MANAGEMENT
WM-5	SOLID WASTE MANAGEMENT
WM-9	SANITARY WASTE MANAGEMENT
WM-6	HAZARDOUS WASTE MANAGEMENT

TEMPORARY SOIL STABILIZATION BMPs

SS-2	PRESERVATION OF EXISTING VEGETATION
SS-10	ENERGY DISSIPATOR

TEMPORARY SEDIMENT CONTROL BMPs

SC-1	SILT FENCE
SC-5	FIBER ROLLS
SC-6	GRAVEL OR SAND BAGS
SC-7	STREET SWEEPING AND VACUUMING
SC-10	STORM DRAIN INLET PROTECTION
TC-1	STABILIZED CONSTRUCTION ENTRANCE
TC-2	CONSTRUCTION ROAD STABILIZATION
TC-3	ENTRANCE / EXIT TIRE WASH

POST-CONSTRUCTION BMPs

SD-10	SITE DESIGN AND LANDSCAPING PLANNING
SD-11	ROOF RUNOFF CONTROLS
SD-12	IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS

LOW IMPACT DEVELOPMENT BMPs

LID 2.2.1	CONSERVATION OF NATURAL DRAINAGES, WELL DRAINED SOILS AND SIGNIFICANT VEGETATION
LID 2.2.2	MINIMIZE DISTURBANCES TO NATURAL DRAINAGES
LID 2.2.5	DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS
LID 3.6	BUILDING DESIGN
LID 3.7	LANDSCAPING DESIGN

PERMANENT BMPs

SOURCE CONTROL BMPs

(P) SC-1	PREVENT ILLICIT DISCHARGES INTO THE MS4
SC-2	IDENTIFY THE STORM DRAIN SYSTEM USING STENCILING OR SIGNAGE
(P) SC-5	PROTECT TRASH STORAGE AREAS

SITE DESIGN BMPs

SD-1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
SD-2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
SD-3	MINIMIZE IMPERVIOUS AREAS
SD-4	MINIMIZE SOIL COMPACTION
SD-5	DISPERSE IMPERVIOUS AREAS
SD-6	COLLECT RUNOFF
SD-7	LANDSCAPE WITH NATIVE OR DROUGHT TOLERANT SPECIES
SD-8	HARVEST AND USE PRECIPITATION

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMOMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMPs WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.
3. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
5. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
6. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
7. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
10. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMPs, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1-FOOT FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPROVED WATERSHEDS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

STORM WATER QUALITY NOTES CONSTRUCTION BMPs

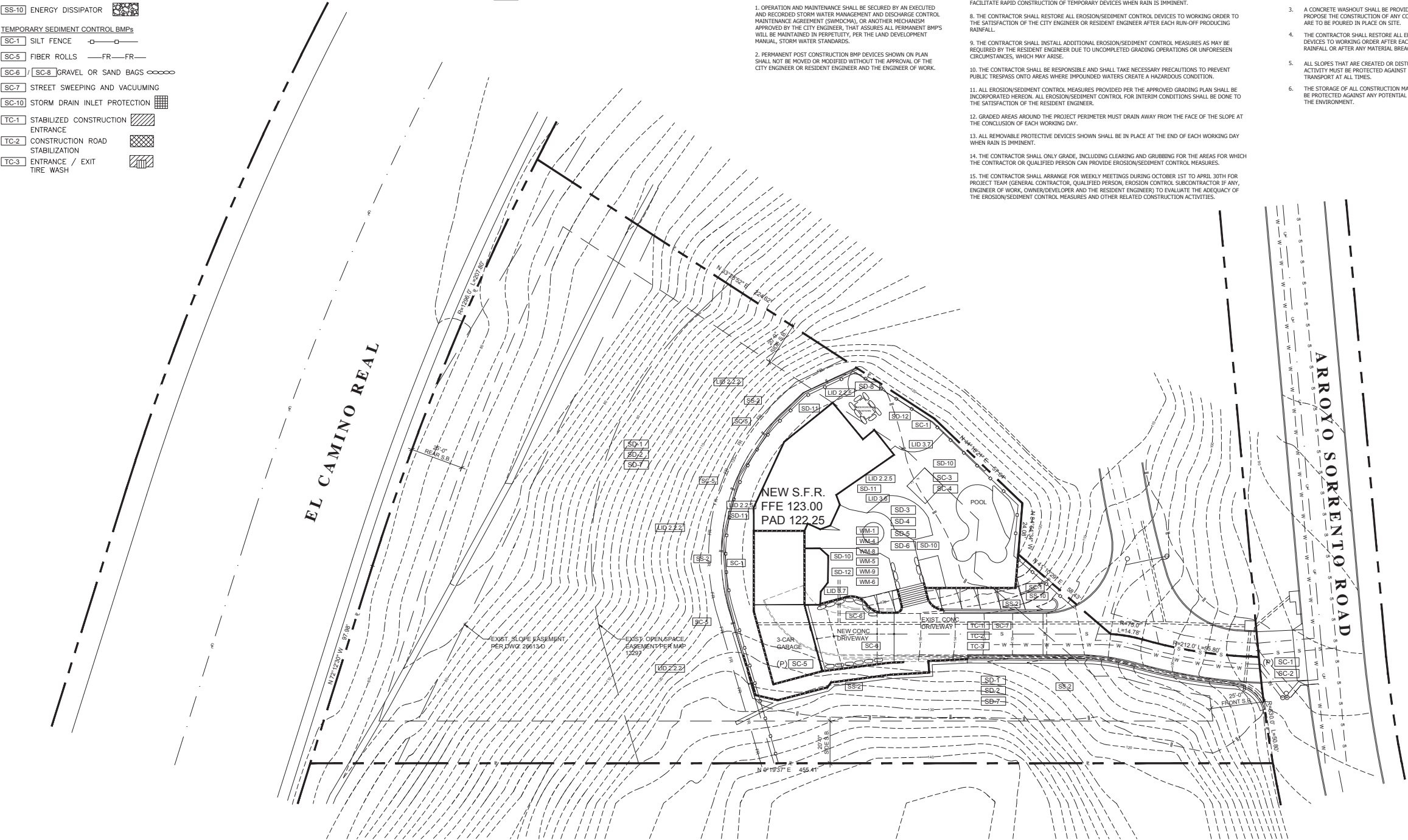
THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD, (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007. (HTTP://DOCS.SANDIEGO.GOV/MUNICOD/MUNICODCHAPTER14/CH14/CH14ART02DIVISION02.PDF).

AND STORM WATER MANUAL

(HTTP://WWW.SANDIEGO.GOV/DEVELOPMENT-SERVICES/PDF/NEWS/STORMWATER MANUAL.PDF).

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT & MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMPs WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCK PILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN 7 CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN 5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.



BMP / EROSION CONTROL PLAN
SCALE: 1" = 20'-0"



PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA 92130

SHEET TITLE:
BMP / EROSION
CONTROL PLAN

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 09:	
REVISION 08:	
REVISION 07:	
REVISION 06:	FEBRUARY 20, 2008
REVISION 05:	NOVEMBER 10, 2007
REVISION 04:	AUGUST 10, 2007
REVISION 03:	JULY 10, 2006
REVISION 02:	JUNE 1, 2006
REVISION 01:	APRIL 1, 2006
ORIGINAL DATE:	AUG 10, 2005
SHEET	08 OF 35

PROJECT: #MA15-1336
DATE: MAY 4, 2007

SCALE: 1" = 20' FEET

SHEET DESCRIPTION
BMP / EROSION
CONTROL PLAN

A-4



MALHAS CONSULTING ENGINEERS
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SAN DIEGO, CA 92111
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ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA 92130

City of San Diego • Department of Planning • **Barrios Department • Storm Water Requirements Applicability Checklist** Page 3 of 3

PART E: PDF Exempt Requirements.

PDF Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDF Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

- Does the project **ONLY** include new or retrofit sidewalks, bicycle lanes, or trails that:
 - ☐ Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erosive permeable areas? **Yes** ☒ **No**
 - ☐ Are designed and constructed to be hydraulically disconnected from paved streets and roads? **Yes** ☒ **No**
 - ☐ Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City of San Diego Storm Water Management Manual?☒ **Yes; PDF exempt requirements apply** ☐ **No; project not exempt; PDF requirements apply**
- Does the project **ONLY** include **retaining or redeveloping** existing paved sidewalks, streets or roads designed and constructed in accordance with the Green Streets guidance in the **City of San Diego Storm Water Management Manual?**
☐ **Yes; PDF exempt requirements apply** ☒ **No; project not exempt; PDF requirements apply**

PART E: Determine if Project is a Priority Development Project (PDP).

Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" was checked for any number in PART E, continue to PART F.

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project."

- New development that creates 10,000 square feet or more of **impermeable surfaces** collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ **Yes** ☒ **No**
- Redevelopment project** that creates and/or replaces 5,000 square feet or more of **impermeable surfaces**. This includes commercial, industrial, residential, retail use, and public development projects on public land. ☐ **Yes** ☒ **No**
- New development of **entertainment** at a restaurant, facility that not prepare food and drinks for consumption, including stadium, health centers and recreational activity setting prepared food and drinks for immediate consumption only (e.g., fast food or cafe). ☐ **Yes** ☒ **No**
- New development of **entertainment** at a nightclub. The project creates and/or replaces 5,000 square feet or more of impermeable surfaces collectively over the project site and where the development will attract on any isolated slope that is locally fire-prone or greater. ☐ **Yes** ☒ **No**
- New development of **redevelopment** of a parking lot that creates and/or replaces 5,000 square feet or more of impermeable surfaces collectively over the project site). ☐ **Yes** ☒ **No**
- New development or redevelopment of **streets, roads, highways, freeways, and driveways**. The project creates and/or replaces 5,000 square feet or more of impermeable surface collectively over the project site). ☐ **Yes** ☒ **No**

[illegible]

PREPARED BY:
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SUITE #201
CITY, CA. 92111

REVISION 14
REVISION 13
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REVISION 07
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REVISION 03
REVISION 02
REVISION 01

FEBRUARY 27, 2016
NOVEMBER 9, 2015
AUGUST 12, 2015
JULY 14, 2015
JUNE 3, 2015
APRIL 1, 2015

ORIGINAL DATE:
OCT 10, 2015

SHEET **09** OF **35**

SHEET TITLE:
**STORM WATER
CHECKLIST**

DESA

PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE: 1" = 20 FEET

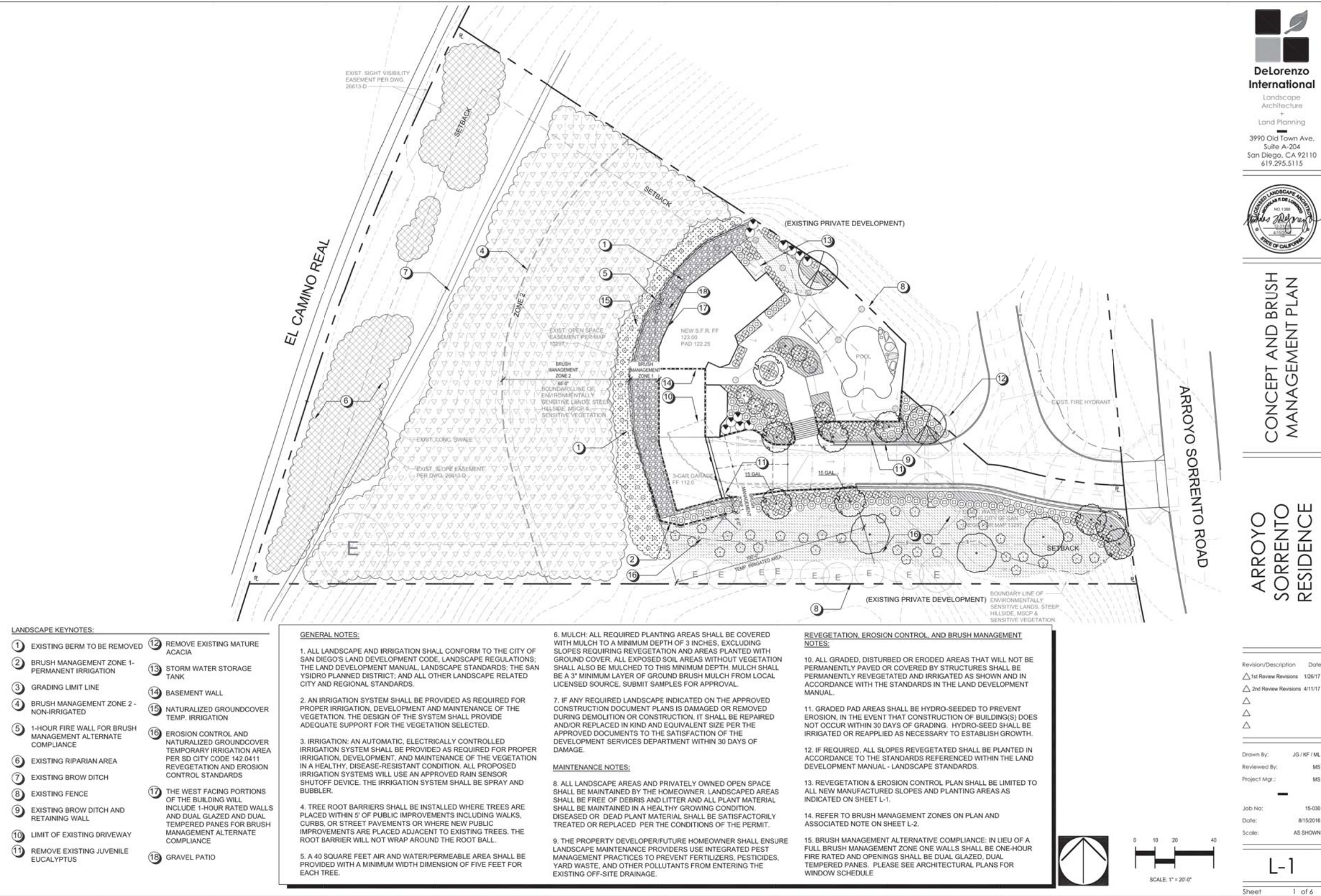
SHEET DESCRIPTION
STORM WATER
CHECKLIST

A-4.1

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A-4.1



DeLorenzo International
Landscape Architecture
+ Land Planning

3990 Old Town Ave.
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CONCEPT AND BRUSH MANAGEMENT PLAN

ARROYO SORRENTO RESIDENCE

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



PROJECT: *MA15-1336
DATE: MAY 4, 2017

SCALE: 1" = 20'-0"
SHEET DESCRIPTION
BRUSH MANAGEMENT PLAN

A-5

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
BRUSH MANAGEMENT PLAN

REVISION 14:	
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REVISION 06:	FEBRUARY 20, 2016
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REVISION 03:	JULY 10, 2015
REVISION 02:	JUNE 1, 2015
REVISION 01:	APRIL 1, 2016
ORIGINAL DATE:	AUG 10, 2015
SHEET 10 OF 35	

CEP*

LANDSCAPE PLANTING LEGEND

Symbol	Botanical Name	Common Name	Qty
EXISTING TREES			
A	ACACIA LONGIFOLIA	GOLDEN WATTLE (TO BE REMOVED)	
E	EUCALYPTUS SPP.	EUCALYPTUS	
PROPOSED TREES			
	EVERGREEN CANOPY TREE (36" BOX)		7
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	
	OLEA EUROPAEA	FRUITLESS OLIVE	
	ULMUS PARVIFOLIA	CHINESE EVERGREEN ELM	
ACCENT TREE (15 GAL OR 36" BOX AS NOTED)			
	ARBUTUS MARINA COMPACTA	MARINA ARBUTUS	10
	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	
	CERCIS CANADENSIS 'FOREST PANSY'	EASTERN REDBUD	
SLOPE ACCENT TREE (15 GAL)			
	CHITALPA X TASHKENTENSIS 'PINK DAWN'	CHITALPA	3
	QUERCUS AGRIFOLIA	COAST LIVE OAK	
EXISTING SLOPE SHRUBS (NATIVE)			
	ADENOSTOMA FASCICULATUM	CHAMISE PLANT	
	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	
	ERICAMERIA ERICOIDES	CALIFORNIA GOLDENBUSH	
	OPUNTIA SPP.	PRICKLY PEAR	
	RHUS INTEGRIFOLIA	LEMONADE BERRY	
	RHUS LAURINA	LAUREL SUMAC	
	YUCCA SCHIDIGERA	MOJAVE YUCCA	
(INVASIVES TO BE REMOVED)			
	CARPOROTUS SPP.	HOTTENTOT FIG	
	CORTADERIA SPP.	PAMPAS GRASS	
	PENNISETUM SETACEUM	FOUNTAIN GRASS	
(AS OBSERVED ON JULY 20, 2015)			
NOTES:			
1. MANY SPECIES WERE SUMMER DORMANT AT TIME OF OBSERVATION. PLANT SPECIES FROM BOTH COASTAL SAGE SCRUB AND CHAPARRAL PLANT COMMUNITIES NOTED.			
2. REMOVE ALL INVASIVE SPECIES LISTED.			
EXISTING RIPARIAN SHRUBS			
PROPOSED PLANTS			
	UPRIGHT SCREENING SHRUBS (15 GAL.)		6
	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	
	LEPTOSPERMUM SCOPARIUM VAR. ROSA SP.	NEW ZEALAND TEA TREE	
		ROSE	
NATURALIZED ACCENT SHRUBS (15 GAL.)			
	AGAVE AMERICANA 'MARGINATA'	VARIEGATED CENTURY PLANT	32
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	
SCREENING SHRUBS (15 GAL.)			
	PITISPORUM T. 'SILVER SHEEN'	SILVER SHEEN KOHUIJU	12
	PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW PINE	
	PRUNUS CAROLINIANA 'COMPACTA'	COMPACT CAROLINA CHERRY LAUREL	
EVERGREEN SHRUBS (5 GAL.)			
	GREVILLEA X 'NOELL'	NOELL GREVILLEA	86
	HETEROMELES ARBUTIFOLIA	TOYON	
	MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	
	PITISPORUM T. 'WHEELER'S DWARF'	DWARF MOCK ORANGE	
	RHUS INTEGRIFOLIA	LEMONADE BERRY	
ACCENT SHRUBS (5 GAL.)			
	AGAVE DESMETTIANA	SMOOTH AGAVE	131
	CISTUS X PURPUREUS	PURPLE ROCKROSE	
	PHORMIUM 'TITOT'	BLACK ADDER FLAX	
	RHAPHIOLEPIS L. 'BALLERINA'	BALLERINA INDIAN HAWTHORN	
	ROSMARINUS O. 'BLUE SPIRES'	BLUE SPIRES ROSEMARY	
	SALVIA GREGGII 'FURMAN'S RED'	FURMAN'S RED AUTUMN SAGE	
NATIVE SHRUBS (1 GAL.) (TEMPORARY IRRIGATION)			
	ENCELIA CALIFORNICA	COAST SUNFLOWER	196
	LOTUS SCOPARIUS	DEERWEED	
	OPUNTIA BASILARIS	BEAVERTAIL CACTUS	
	TRICHOSTEMA LANATUM	WOOLLY BLUE CURLS	
GROUND COVER (FLATS/ 8" O.C. OR 1 GAL/36" O.C. AS NOTED)			
	FRAGARIA CHILOEMISIS	ORNAMENTAL STRAWBERRY (FLATS)	1,281 S.F.
	LANTANA MONTEVIDENSIS	TRAILING LANTANA (1 GAL.)	
	MYOPORUM PARVIFOLIUM 'PINK'	PINK MYOPORUM (1 GAL.)	
	SEDUM SPP.	STONECROP (FLATS)	

LANDSCAPE PLANTING LEGEND

Symbol	Botanical Name	Common Name	Qty
NATURALIZED GROUND COVER (1 GAL/ 5" O.C.)			
	IVA HAYESIANA	SAN DIEGO MARSH ELDER	5,660 S.F./ 292
	ARCTOSTAPHYLOS 'PACIFIC MIST'	PACIFIC MIST MANZANITA	
	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	
HYDROSEED MIX (TEMPORARY IRRIGATION)			
	MODIFIED COASTAL SAGE SCRUB HYDROSEED MIX		2,004 S.F. (PLS LBS/ACRE)
	ACHILLEA MILLEFOLIUM	COMMON YARROW	3
	ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	5
	BACCHARIS PILULARIS	COYOTE BUSH	3
	ENCELIA CALIFORNICA	CALIFORNIA ENCELIA	4
	EROPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	4
	ISOMERIS ARBOREA	BLADDERPOD	2
	LOTUS SCOPARIUS	DEER WEED	2
	MMULUS AURANTIACUS PUNICEUS	RED-BUSH MONKEYFLOWER	5
TOTAL			28
LAWN - HYBRID BERMUDA 'TIFWAY'			
			459 S.F. S00
GRAVEL - MIN. 3" DEPTH, 3/4" DECORATIVE CRUSHED ROCK OVER WEED BARRIER, TO BE SELECTED BY OWNER.			

BRUSH MANAGEMENT NOTES

GENERAL REQUIREMENTS-ALL ZONES

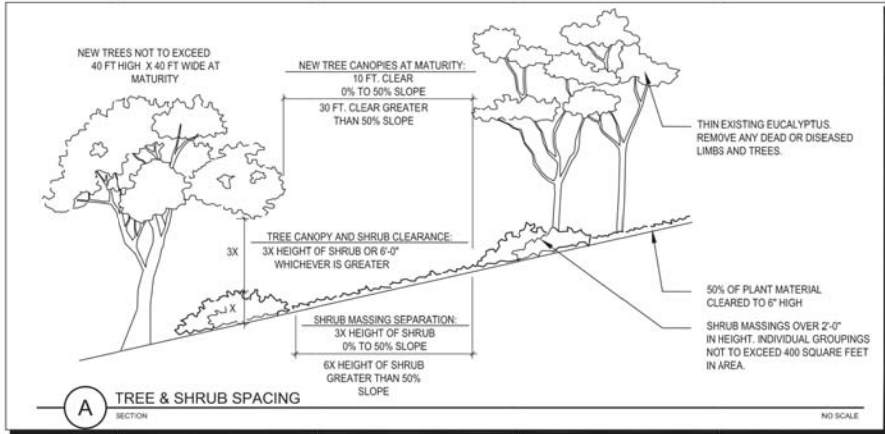
- DO NOT PLANT ANY HIGHLY FLAMMABLE PLANT MATERIALS AND REMOVE EXISTING FLAMMABLE PLANT MATERIAL AS SPECIFIED ACCORDING TO COMMUNITY PLANT REMOVAL AND REPLACEMENT SCHEDULE. DO NOT "STUMP GRIND" REMOVED PLANTS AND TREES IN SLOPE AREAS.
- NEW TREES SHOULD BE SPACED AS ILLUSTRATED IN SECTION A1-2.
- PLANT MATERIAL SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS WHERE APPLICABLE.
- FOR ZONE 2, AND IN SLOPE AREAS, PLANTS SHALL NOT BE CUT BELOW SIX INCHES.
- DEBRIS OR TRIMMINGS PRODUCED BY THINNING SHALL BE REMOVED FROM THE SITE, OR IF LEFT, SHALL BE CONVERTED INTO MULCH AND EVENLY DISPERSED TO A MAXIMUM DEPTH OF SIX INCHES.
- BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COASTAL SAGE CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15.
- REMOVE AND REPLACE OR MANAGE EFFECTIVELY ALL HIGHLY FLAMMABLE PLANT MATERIAL. REFERENCE THE COUNTY OF SAN DIEGO'S "UNDESIRABLE PLANT LIST" FOR SPECIFIC TARGETED SPECIES.
- TREES AND LARGE FORM SHRUBS RETAINED SHALL BE PRUNED TO PROVIDE CLEARANCE OF THREE TIMES THE HEIGHT OF THE UNDER STORY PLANT MATERIAL OR SIX FEET WHICHEVER IS HIGHER (SEE SECTION A1-2). DEAD AND EXCESSIVELY TWIGGY GROWTH SHALL ALSO BE REMOVED.
- ALL PLANTS OR PLANT GROUPINGS EXCEPT CACTI, SUCCULENTS, TREES AND TREE FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE OF THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT PLANTS (SEE SECTION A1-2).

SPECIFIC ZONE 1 REQUIREMENTS:

- MAINTAIN ALL PLANTINGS IN A SUCCULENT CONDITION.
- PLANTS SHALL BE PRIMARILY LOW GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN THIS ZONE WITH THE EXCEPTION OF PLANTING THAT REMAINS BELOW 24" IN HEIGHT AT MATURITY AND PLANTING AREAS THAT CONTAIN NON-SUMMER DORMANT NATIVE OR NATURALIZED SPECIES AND HAVE A MAXIMUM HEIGHT AT MATURITY OF LESS THAN 24 INCHES.
- ZONE 1 TRANSITIONAL HABITAT AREA IRRIGATION SHALL BE A SINGLE CIRCUIT LOCATED AT THE TOP OF SLOPE USING A LOW PRECIPITATION ROTOR, SUCH AS THE HUNTER MP ROTATOR 1000, 2000 OR 3000 NOZZLE SERIES WITH A MAXIMUM WATER APPLICATION RATE OF 3.64 GPM.
- ZONE 1 IRRIGATION SHALL BE MONITORED BY A SMART CONTROL WITH WEATHER SENSING, OR BY A QUALIFIED MAINTENANCE PERSON TO ENSURE SLOPES ARE NOT OVER IRRIGATED.

SPECIFIC ZONE 2 REQUIREMENTS:

- NON-IRRIGATED PLANT GROUPINGS OVER 24 INCHES IN HEIGHT MAY BE RETAINED PROVIDED THEY DO NOT EXCEED 400 SQUARE FEET IN AREA PER CLUSTER AND THEIR COMBINED COVERAGE DOES NOT EXCEED 30 PERCENT OF THE TOTAL OF THE ZONE 2 AREA.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE 2.



BRUSH MANAGEMENT NOTES (CONT.)

- FIFTY PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6". THE REMAINING 50 PERCENT OF PLANT MATERIAL SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE GENERAL REQUIREMENTS LISTED ABOVE.
- NEW PLANTS SHALL BE LOW GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREE AND SHRUB FORMS MAY EXCEED THIS LIMITATION IF LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE TO HABITABLE STRUCTURES AND IN ACCORDANCE WITH THE GENERAL REQUIREMENTS LISTED ABOVE. SEE TABLE 1.0 AND PLANT INSTALLATION NOTES FOR FURTHER INFORMATION.
- ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED. ONLY LOW FLOW, LOW PRECIPITATION SPRAY HEADS MAY BE USED IN ZONE TWO. ALL ZONE TWO IRRIGATION SHALL BE DISABLED OR REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTS BY LANDSCAPE ARCHITECT.
- IN EUCALYPTUS WOODLAND AREAS, REMOVE ALL TREES 3 INCHES OR LESS IN DIAMETER AT BREST HEIGHT (DBH) WITH THE EXCEPTION OF INDIGENOUS, NATIVE SPECIES AS CONSISTENT WITH THE CITY OF SAN DIEGO FPB POLICY B-08-1 PART VI (1).

BRUSH MANAGEMENT MAINTENANCE NOTES:

MAINTENANCE- ALL ZONES:
REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE IS NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE, ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. HOWEVER, FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.

- DISEASED AND DEAD WOOD SHALL BE PRUNED FROM TREES AND LARGE SHRUBS. PLANTS SHALL BE PRUNED AS SPECIFIED IN THE BRUSH MANAGEMENT GENERAL REQUIREMENTS SECTION.
- WHEN REMOVING TREES AND LARGE SHRUBS, PLANT ROOTS SHALL REMAIN IN ORDER TO PROVIDE SLOPE STABILITY.

ZONE 1-YEAR ROUND MAINTENANCE:

THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY.

- ORNAMENTAL PLANTINGS IN THE FLAT PAD PORTIONS OF THIS ZONE SHALL BE KEPT WELL WATERED. TRANSITIONAL PLANTING IN SLOPE AREAS SHALL BE WATERED TO ESTABLISH NEW PLANTINGS, THEN WATER DECREASED AS NEEDED TO MAINTAIN HEALTHY PLANT GROWING CONDITIONS.
- RAIN GUTTERS AND DRAINAGE PIPES SHALL BE CLEARED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS.
- ALL PLANTING, PARTICULARLY NON-IRRIGATED NATIVES AND LARGE TREES SHALL BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL, AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
- ALL TREES SHOULD BE TRIMMED BACK IN ORDER TO MAINTAIN A MINIMUM CLEARANCE OF 10' FROM STRUCTURES AND CHIMNEYS.

ZONE 2-SEASONAL MAINTENANCE:

THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS.

- REMOVAL OF WEEDS SHOULD NOT BE DONE WITH HAND TOOLS SUCH AS HOES, AS THIS REMOVES VALUABLE SOIL. THE USE OF WEED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE

BRUSH MANAGEMENT NOTES (CONT.)

- SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS.
- EVALUATE AND THIN PLANT MATERIAL AS NEEDED. WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL LOADS.
- ALL ON SLOPE DRAINAGE DEVICES MUST BE KEPT CLEAR. REINSPECT DRAINAGE SYSTEM AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS.
- VARIOUS GROUND COVERS SHOULD BE PERIODICALLY SHEARED AND THATCH REMOVED.
- FERTILIZING TREES AND SHRUBS IN THIS ZONE IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH. HOWEVER, A LIGHT APPLICATION OF BALANCED FERTILIZER MAY BE BENEFICIAL IN PRODUCING NEW GROWTH WHEN SEVERELY PRUNING OLD SHRUBS AND WOODY GROUNDCOVERS.

DECLARATIONS, DISCLAIMERS AND FUTURE MAINTENANCE NOTES

- PLANT MATERIAL IS A DYNAMIC, UNPREDICTABLE, LIVING ORGANISM THAT CAN CREATE HAZARDS TO PEOPLE AND BUILT STRUCTURES.
- ONLY LICENSED AND QUALIFIED LANDSCAPE CONTRACTORS AND LANDSCAPE MAINTENANCE INDIVIDUALS SHALL PROVIDE OR MAKE REPAIRS TO THE IRRIGATION SYSTEM.
- ALL IRRIGATION EQUIPMENT REQUIRES CONTINUOUS MAINTENANCE, CLEANING, ADJUSTMENT, PARTS REPLACEMENT AND INSPECTION. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR LANDSCAPE MAINTENANCE COMPANY TO PROVIDE THESE SERVICES ON A CONTINUAL AND REGULAR BASIS AND SCHEDULE.
- WATER SHALL BE APPLIED TO PLANTING AREAS IN SHORT INTERVALS TO PROHIBIT ANY SURFACE PONDING OR RUN-OFF AND AT NO TIME SHALL WATER BE APPLIED TO CAUSE SOIL SATURATION.
- OVERWATERING CAN RESULT IN DEATH OF PLANTS, POSSIBLE SOIL EXPANSION AND DAMAGE TO CONCRETE AND ASPHALT PAVING, DAMAGE TO FOUNDATIONS AND POSSIBLE LOSS OF SOIL COMPACTION. A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE SITE INSPECTIONS AT LEAST ON AN ANNUAL BASIS TO INSPECT FOR EXCESS SOIL MOISTURE.
- IF ANY SUBSURFACE DRAINAGE, OR RUN-OFF IS VISIBLE AT LOW AREAS, ACROSS SIDEWALKS, OR AT LOWER PORTIONS OF SLOPES IMMEDIATELY SHUT THE VALVES OFF TO ALLOW THE AREA TO COMPLETELY DRY OUT. IF THIS CONDITION CONTINUES AFTER SUBSEQUENT WATERING, A QUALIFIED GEOLOGIST OR GEOTECHNICAL ENGINEER MUST BE RETAINED TO PROVIDE RECOMMENDATIONS TO ELIMINATE SUBSURFACE WATER OR DRAINAGE PROBLEMS. IF DURING NORMAL IRRIGATION, PONDING TAKES PLACE ON ANY LANDSCAPE AREA, DRIVES, PARKING AREAS OR ANY OTHER AREA, THE IRRIGATION SYSTEM SHALL BE IMMEDIATELY SHUT-OFF AND A LICENSED CIVIL ENGINEER SHALL BE IMMEDIATELY CONTACTED TO PROVIDE RECOMMENDATIONS FOR POSITIVE AND PROPER DRAINAGE.
- THE RESPONSIBILITY OF ENSURING THAT THE ABOVE PRECAUTIONS, REPAIRS AND CONTINUING MAINTENANCE ARE PROPERLY PERFORMED IS THE RESPONSIBILITY OF THE LICENSED LANDSCAPE CONTRACTOR AND EVENTUALLY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE ARCHITECT HAS BEEN RETAINED TO PREPARE THESE DIAGRAMMATIC PLANS ONLY AND DOES NOT PROVIDE CONSTRUCTION DOCUMENTS NOR REVIEWS OF ON-SITE MAINTENANCE. THE LANDSCAPE ARCHITECT DOES NOT ASSUME RESPONSIBILITY NOR LIABILITY OF MAINTENANCE OR REVIEW OF MAINTENANCE WORK OR REPAIRS OR DAMAGES RESULTING FROM LACK OF REPAIRS, MAINTENANCE, ADJUSTMENTS, OR IMPROPER INSTALLATION OF IRRIGATION EQUIPMENT.



DeLorenzo
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LEGEND AND NOTES

ARROYO
SORRENTO
RESIDENCE

Revision/Description	Date
1st Review Revisions	1/26/17
2nd Review Revisions	4/11/17
Drawn By:	JG / KF / ML
Reviewed By:	MS
Project Mgr.:	MS
Job No:	15-030
Date:	8/15/2016
Scale:	AS SHOWN

L-2

Sheet 2 of 6

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7530 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA 92130

SHEET TITLE:
BRUSH MANAGEMENT
NOTES

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 09:	
REVISION 08:	
REVISION 07:	
REVISION 06:	FEBRUARY 20, 2016
REVISION 05:	NOVEMBER 10, 2015
REVISION 04:	AUGUST 10, 2015
REVISION 03:	JULY 10, 2015
REVISION 02:	JUNE 1, 2015
REVISION 01:	APRIL 1, 2016
ORIGINAL DATE:	AUG 10, 2015
SHEET	11
OF	35

CEP*



PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE: 1" = 20'-0"
SHEET DESCRIPTION
BRUSH MANAGEMENT NOTES

A-5.1

MALHAS CONSULTING ENGINEERS
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ENGINEER
PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA 92130

ALL DRAWINGS ARE SUBJECT TO ANY CHANGES OR REVISIONS AND SHALL BE CONSIDERED AS SUCH UNLESS OTHERWISE NOTED.

<p>MALHAS CONSULTING ENGINEERS 7510 CLAIREMONT MESA BLVD. #201 SAN DIEGO, CA. 92111 TEL: (858) 571-1514 FAX: (858) 571-1799</p> <hr/> <p align="center">ENGINEER</p> <hr/> <p align="center">PROJECT</p>	<p>SAM Z. MALHAS PE OR #22002</p> <p>PURPOSE: SUBMITTAL BUILDING PERMIT</p>
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PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130

ALL INFORMATION HEREIN IS UNCLASSIFIED DATE 06-28-2017 BY 60322 UCBAW/MKT/LAN/STP

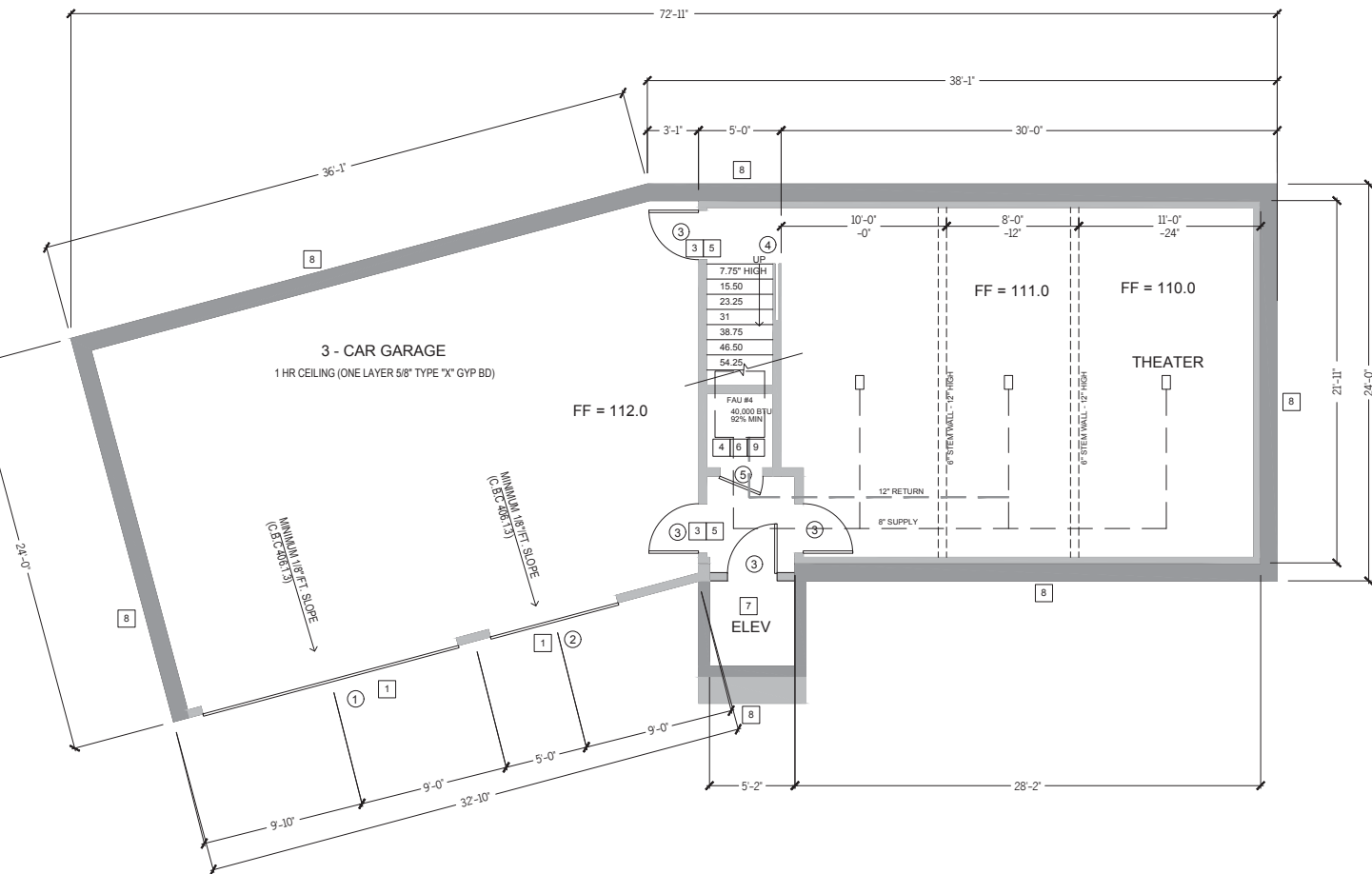
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FIRE NOTES

- During construction, at least on extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1.
- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 501.2.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshall with appropriate documentation provided to the City of San Diego.
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings, or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or Type IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of a non- or limited-combustible materials or similarly protected or separated.
- Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.

CALGREEN NOTES

- Automatic Irrigation systems controllers insytfalled at the time of final inspection shall be weather based.
- A plumbing fixture certification must be completed and signed by either licensed general contractor or a plumbing contractor or the building owner certifying the flow rate of the fixtures installed.
- Joints and openings, Annular spaces and round pipes, electric cables, conduits, or other openings in plates in exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
- Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such.
- An owner manual certificate should be completed and signed by either a licensed General Contractor or a home owner certifying that a copy of the manual has been delivered/received to the building owner.
- Duct openings and other related air distribution component openings shall be covered during construction.
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compounds.
- Paints, stains and other coatings shall be compliant with VOC limits set in section Section 4.504.2 and Table 4.504.3.
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for VOC and other toxic compounds as specified.
- A certification completed and signed by either the general contractor or subcontractor or building owner certifying that the paint, stain, and adhesives, complies with the requirements of California Green Building Code. A copy of the form can be obtained from development services department.
- Carpet and carpet systems shall be compliant with VOC limits.
- Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following:
- VOC-emission limits defined in the collaborative for High Performance Schools (CHPS) High School Products Database.
- Products compliant with CHPS criteria certified under Greengard Children and School program.
- Hardwood plywood, particleboard, medium density fiberboard (MDF), composite wood product used in the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Toxic Control Measure for Composite wood as specified in Section 5.504.5 and Table 4.504.5 of CALGREEN.
- A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood, product, plywood, particle board etc comply with VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
- Building materials with visible signs of water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content.
- Exhaust fans which terminate outside the building are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.
- All plumbing fixtures and fittings will be water conserving and will comply with the 2016 CGBSC.
- Per 2016 CGBSC, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC.
- Per 2016 Green Code, Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
 - Fans shall be Energy Star compliant and be ducted to terminate outside the building.
 - Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 60 to 80 percent.
- All new residential buildings (Single Family, Duplexes or Townhomes) shall be constructed to include waste piping to discharge gray water from clothes washers to a place where it may be used for outdoor irrigation, in compliance with Section 1602 of the California Plumbing Code.



1 BASEMENT FLOOR PLAN
Scale: 1/4"=1'-0"

FLOOR PLAN GENERAL NOTES:

- Indicates 2x6 Stud Wall Construction @ 16" o.c.
- Indicates 2x8 Stud Wall Construction @ 16" o.c.
- Indicates Stone/Masonry Veneer per Elevations Sheets A-10/11.
- Indicates Door Type per Schedule Sheet A-9
- Indicates Window Type per Schedule Sheet A-9
- All Dimensions to Face of Stud unless otherwise noted.
- Verify all Dimensions prior to Construction. Notify Architect of any discrepancies.
- Provide Shop Drawings for all cabinet work prior to Fabrication for Owner approval.
- Provide Shop Drawings of Mechanical Duct Layout for owner approval as required.
- All Plumbing Fixtures to be C.E.C. approved and verified by Owner.
- Provide 30" clear width (15" from center line of water closet) and 24" clearance in front of Water Closets per C.B.C. latest Edition and C.P.C. Sect. 407.5.
- Water Closets installed on this project to be State of California, Department of Housing and Community Development approved low water consumption type, maximum 1.6 gallons per flush.
- Adjust all Window Header heights to match Door heights.
- Max. 1/2" drop at Exterior outward Swinging Doors. Provide aluminum flashing and caulking under stucco screed at foundation and sill plate as required to accommodate 1/2" drop. Doors may not swing into Garage when there is more than 1/2" drop from the house (C.B.C. Sect. 1008.1.6 and C.R.C. R311.3).

FLOOR PLAN KEY NOTES:

- Garage doors to have a minimum 12" recess.
- Stairs per detail with 18 equal stone risers at approx. 7.5" and 12" stone treads. Handrails shall be 34" to 38" above treads. Return handrail to wall per C.R.C. R311.7. The hand grip portion of all handrails shall not be less than 1 1/2" nor more than 2" in cross dimension per C.B.C. 1012.3 and C.R.C. R311.7.
- SELF CLOSING TIGHT FITTING 1 3/8" SOLID WOOD DOOR. 20 MINUTE RATED DOOR, TITAN HANCOCK KNOB.
- LANDING AND STAIRS PER STRUCTURAL
- 4" STEP AT INTERIOR DOOR AND SLOPE 2" TOWARDS MAIN GARAGE DOOR.
- 5/8" TYPE "X" GYPSUM BOARD UNDERNEATH STAIRS
- ELEVATOR PER MANUFACTURER SPECS.
- 12" CMU WALL PER STRUCTURAL
- WALL HANDRAIL

WATER CONSERVING PLUMBING FIXTURES AND FITTINGS	
Plumbing fixtures and fittings shall comply with the following: (2013 CGBSC, California Plumbing Code (CPC) and Table 1401.1 of the CPC)	
4303.1.1	All Water closets: <1.28 gal/flush Tank type water closet shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
4303.1.2	Urinals: <0.5 gal/flush
4303.1.3.1	Single showerheads: <2.0 gpm @ 80 psi
4303.1.3.2	Multiple showerheads: combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm @ 80 psi or only one shower outlet is to be in operation at a time.
4303.1.4.1	Residential Lavatory Faucets: 0.8 gpm @ 20 psi < Flow Rate <1.5 gpm @ 60 psi
4303.1.4.2	Lavatory Faucets in common and Public Use Areas (outside of dwellings or sleeping units) in residential buildings: <0.5 gpm @ 60 psi
4303.1.4.3	Metering Faucets: <0.25 gallons per cycle
4303.1.4.4	Kitchen Faucets: <1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm

PLUMBING FIXTURE CERTIFICATION REQUIRED:

A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.

DOOR SCHEDULE					
SYMBOL	NOMINAL SIZE	TYPE	THK	HARDWARE	REMARKS
1	16'-0"x8'-0"	GARAGE			
2	8'-0"x8'-0"	GARAGE			
3	3'-0"x8'-0"	SINGLE			
4	3'-0"x8'-0"	POCKET			
5	2'-8"x8'-0"	SINGLE			
6	2'-6"x8'-0"	SINGLE			
7	2'-8"x8'-0"	SINGLE			
8	6'-0"x8'-0"	SLIDER			WITH SAFETY GLAZING
9	8'-0"x8'-0"	SINGLE			CUSTOM STEEL ENTRY DOOR WITH 1'-0" ARCH-TOP TRANSOM
10	6'-0"x8'-0"	DOUBLE			
11	5'-0"x8'-0"	DOUBLE			SOLID CORE WITH SAFETY GLAZING
12	4'-6"x8'-0"	DOUBLE			
13	5'-0"x8'-0"	SLIDER			
14	3'-0"x8'-0"	SINGLE			SOLID CORE WITH SAFETY GLAZING

WINDOW SCHEDULE					
SYMBOL	NOMINAL SIZE	TYPE			REMARKS
		OPER.	MATR'L	GLAZE	
A	6'-0"x5'-0"	DBL.CSMT.		DUAL	WITH 1'-0" ARCH-TOP TRANSOM
B	2'-6"x5'-0"	FIX			WITH 1'-0" ARCH-TOP TRANSOM
C	2'-6"x5'-0"	CSMT.			WITH 1'-0" ARCH-TOP TRANSOM
D	6'-0"x6'-6"	FIX	TEMP. GLASS		WITH 1'-0" ARCH-TOP TRANSOM WITH SAFETY GLAZING
E	3'-6"x6'-0"	FIX			WITH 1'-0" ARCH-TOP TRANSOM
F	6'-0"x8'-0"	FIX			WITH 1'-0" ARCH-TOP TRANSOM
G	2'-6"x5'-0"	FIX CSMT.			WITH 1'-0" ARCH-TOP TRANSOM
H	3'-0"x5'-0"	FIX CSMT.			WITH 1'-0" ARCH-TOP TRANSOM
I	4'-0"x4'-0"	FIX	TEMP. GLASS		WITH 1'-0" ARCH-TOP TRANSOM WITH SAFETY GLAZING
J	8'-0"x3'-6"	DBL.CSMT.			WITH 1'-0" ARCH-TOP TRANSOM
K	6'-0"x8'-0"	DBL.CSMT.			WITH 1'-0" ARCH-TOP TRANSOM
L	6'-0"x6'-0"	FIX	TEMP. GLASS		WITH 1'-0" ARCH-TOP TRANSOM WITH SAFETY GLAZING
M	2'-2"x5'-0"	FIX CSMT.			WITH 1'-0" ARCH-TOP TRANSOM
N	4'-6"x8'-0"	FIX			2 (4'-6"x8'-0") WITH MITER JOINT

PER TITLE 24 WINDOWS TO HAVE U-FACTOR=0.32 AND SHGC=0.25

MALHAS CONSULTING ENGINEERS
7530 CLAREMONT MESA BLVD. #201
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ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



PROJECT: #MMS-1336
DATE: MAY 4, 2017

SCALE: 1/4" = 1'-0"

SHEET DESCRIPTION
BASEMENT FLOOR PLAN &
DOOR & WINDOW SCHEDULE

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7530 CLAREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
BASEMENT FLOOR PLAN

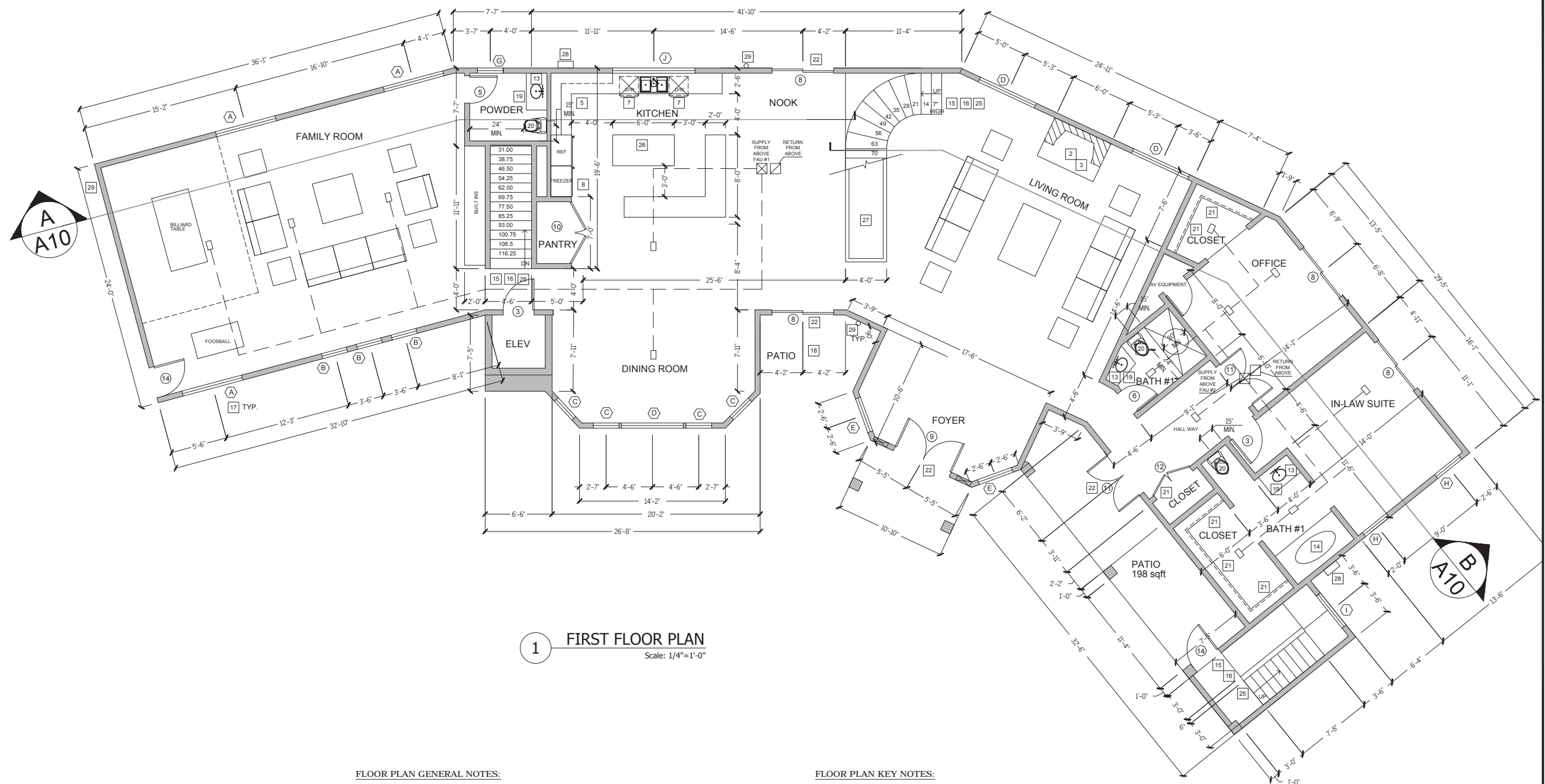
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REVISION 04: _____
REVISION 03: _____
REVISION 02: _____
REVISION 01: _____

ORIGINAL DATE: AUG 10, 2015

SHEET 13 OF 35

CEP#

A-8.1



FLOOR PLAN GENERAL NOTES:

- Indicates 2x6 Stud Wall Construction @ 16" o.c.
- Indicates 2x8 Stud Wall Construction @ 16" o.c.
- Indicates Stone/Masonry Veneer per Elevations Sheets A-10/11.
- Indicates Door Type per Schedule Sheet A-8.1
- Indicates Window Type per Schedule Sheet A-8.1
- All Dimensions to Face of Stud unless otherwise noted.
- Verify all Dimensions prior to Construction. Notify Architect of any discrepancies.
- Provide Shop Drawings for all cabinet work prior to Fabrication for Owner approval.
- Provide Shop Drawings of Mechanical Duct Layout for owner approval as required.
- All Plumbing Fixtures to be C.E.C. approved and verified by Owner.
- Provide 30" clear width (15" from center line of water closet) and 24" clearance in front of Water Closets per C.B.C. latest Edition and C.P.C. Sect. 407.5.
- Water Closets installed on this project to be State of California, Department of Housing and Community Development approved low water consumption type, maximum 1.6 gallons per flush.
- Adjust all Window Header heights to match Door heights.
- Max. 1/2" drop at Exterior outward Swinging Doors. Provide aluminum flashing and caulking under stucco soffit at foundation and sill plate as required to accommodate 1/2" drop. Doors may not swing into Garage when there is more than 1/2" drop from the house (C.B.C. Sec. 1008.1.6 and C.R.C. R311.3).
- Provide water proofing under door threshold as required. At double framed walls; where stucco returns into door jamb, provide aluminum pan flashing at threshold.
- Enclosed space under stairs to be protected with one hour construction on the enclosed side per C.B.C. section 1009.6.3 and C.R.C. Sect R302.7.
- Cover wood framing with #15 felt underlayment in bathtub and shower enclosures. Tile or other approved material on shower walls and around tubs/showers to be full height to ceiling. Tile or other approved material must be attached to a backing which is not adversely affected by moisture (see General Notes 9 C 283 sheet A2). Sect. 807.0.3.
- Doors between the garage and dwelling shall be self closing, tight fitting and either minimum 1 3/8" thick solid wood or 20 minute fire protection rated. (C.B.C. 406.1.4 and C.R.C. Sect. R302.5).
- Shower enclosure walls must be finished to a height of 6'-0" with a smooth, hard, non-absorbent surface with a min. 30" diameter clear space per C.R.C. Sect. R307.2.
- There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36" measured in the direction of travel. Exterior landings shall be permitted to have a slope not to exceed 1/4 unit vertical in 12 units horizontal (2%). See C.R.C. Sect. R311.3.

FLOOR PLAN KEY NOTES:

- (2) - A.O. Smith 75 Gallon Water Heater. Provide seismic bracing per latest C.R.C. edition. Install per Manufacturer's Specifications.
- Masonry Fireplace approved by UL307B or owner-approved equivalent.
- 18" raised hearth at fireplace.
- Provide 3/4" type "X" gyp. bd. inside Main Electrical Panel Room, Water Heater Closets, Shop, Storage Rooms, Garages, and under stairs.
- Built-in cabinets. Verify with Owner.
- Kitchen Sink with disposal.
- Dishwasher.
- 60" "Subzero" Refrigerator / Freezer.
- 48" Gas Stove w/ overhead exhaust with Double-Ovens below. Install per Manufacturer's Specifications.
- KITCHEN ISLAND COUNTER @ 42"
- BREAKFAST BAR @ 42"
- Provide medicine cabinets in all bathrooms. Verify with Owner.
- Jacuzzi Tub. Verify type w/ Owner.
- Stairs per detail with 18 equal stone risers at approx. 7.5" and 12" stone treads. Handrails shall be 34" to 38" above treads. Return handrail to wall per C.R.C. R311.7. The hand grip portion of all handrails shall not be less than 1 1/2" nor more than 2" in cross dimension per C.B.C. 1012.3 and C.R.C. R311.7.
- 58" TYPE "X" GYPSUM BOARD UNDERNEATH STAIRS
- Windows to be recessed (taken to glass) a minimum of 12 inches in 18" thick walls (Front & Rear), and a minimum of 8 inches in 12" thick walls (Sides).
- Exterior doors to be recessed a minimum of 12 inches in 18" thick walls (Front & Rear), and a minimum of 8 inches in 12" thick walls (Sides).
- VANITY, COUNTERTOP, LAVATORY AND FAUCET PER OWNER AND CONTRACTOR
- WATER CLOSET ULTRA LOW FLUSH: UNIVERSAL RUNDLE 4095 ELONGATED. OR SIMILAR
- DOUBLE POLE AND SHELF.
- PROVIDE LANDING AREA PER CRC 2010 SECTION 311.3
- 72x24 CONCRETE LANDING
- PROVIDE LANDING AREA PER CRC 2010 SECTION 311.3
- 72x24 CONCRETE LANDING
- 6'-0" L X 3'-0" D X 72" H HOTMOP SHOWER PAN, WALLS TO BE TILE.
- Maximum rise is 7-3/4" and minimum run is 10", measured from the nosing projection. Where there is no nosing, the minimum run is 11".
- a) A nosing (between 3/4" and 1-1/2") shall be provided on stairways with solid risers. Exception: No nosing is required if the tread depth is at least 11 inches. Section R311.7.5.3
- 72" range
- Webbar
- Rinnai RU98e Tankless water heater w/ maximum capacity of 9.8 GPM
- Hose bib

WATER CONSERVING PLUMBING FIXTURES AND FITTINGS	
Plumbing fixtures and fittings shall comply with the following: (2013 CGBSC, California Plumbing Code (CPC) and Table 1401.1 of the CPC)	
4303.1.1	All Water closets: <1.28 gal/flush Tank type water closet shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
4303.1.2	Urinals: <0.5 gal/flush
4303.1.3.1	Single showerheads: <2.0 gpm @ 80 psi
4303.1.3.2	Multiple showerheads: combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm @ 80 psi or only one shower outlet is to be in operation at a time.
4303.1.4.1	Residential Lavatory Faucets: 0.8 gpm @ 20 psi < Flow Rate <1.5 gpm @ 60 psi
4303.1.4.2	Lavatory Faucets in common and Public Use Areas (outside of dwellings or sleeping units) in residential buildings: <0.5 gpm @ 60 psi
4303.1.4.3	Metering Faucets: <0.25 gallons per cycle
4303.1.4.4	Kitchen Faucets: <1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm

PLUMBING FIXTURE CERTIFICATION REQUIRED:
A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.

SAM Z. MALHAS PE
CA #20202PURPOSE
SUBMITTAL
BUILDING PERMITMALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130PROJECT: #MAHS-1336
DATE: MAY 4, 2017

SCALE: 1/4" = 1' FOOT

SHEET DESCRIPTION
FIRST FLOOR PLANPREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130SHEET TITLE:
FIRST FLOOR PLAN

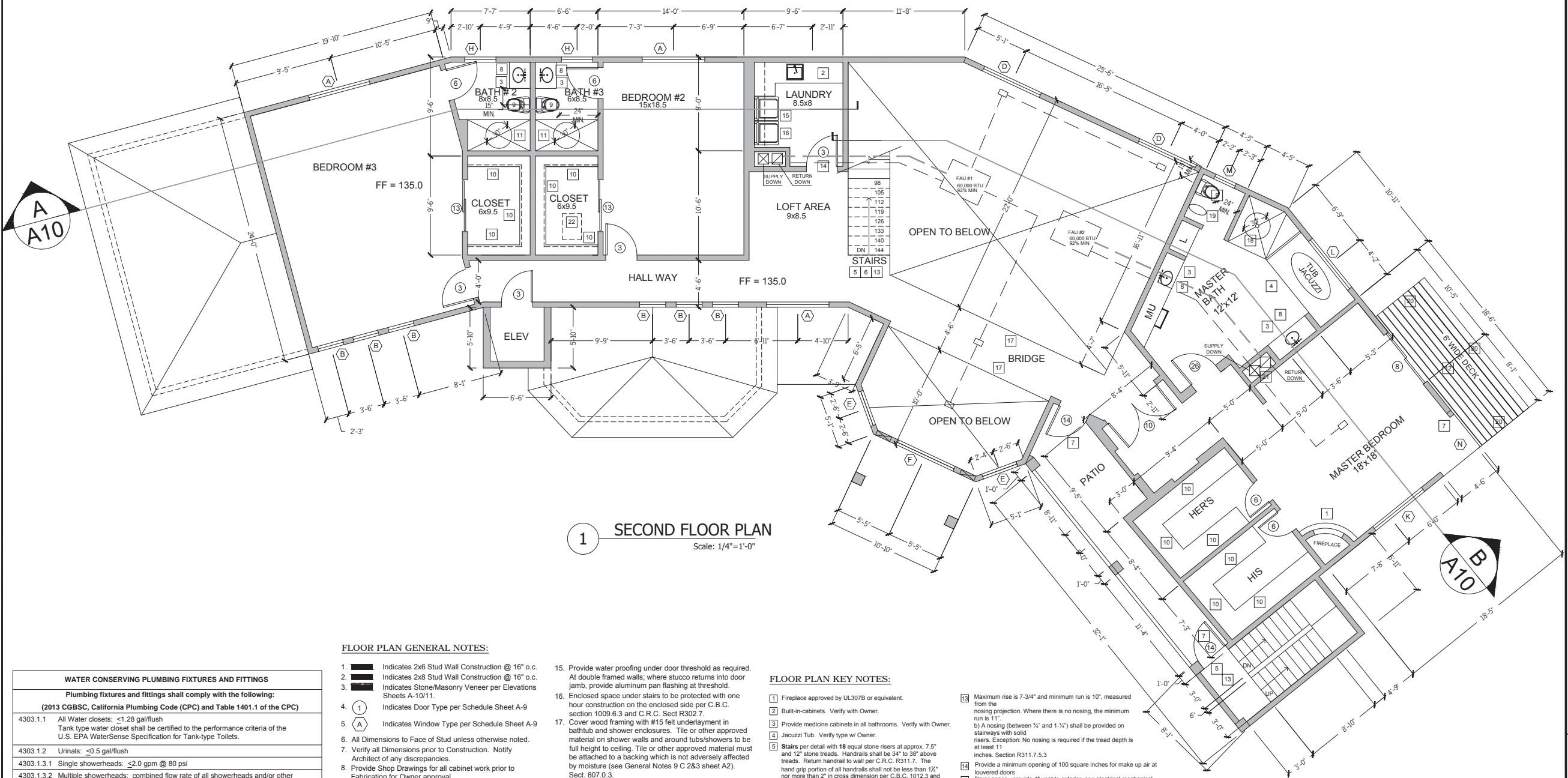
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REVISION 07:	
REVISION 06:	FEBRUARY 20, 2016
REVISION 05:	NOVEMBER 10, 2015
REVISION 04:	AUGUST 10, 2015
REVISION 03:	JULY 10, 2015
REVISION 02:	JUNE 1, 2015
REVISION 01:	APRIL 1, 2015

ORIGINAL DATE: AUG 10, 2015

SHEET 13 OF 35

CEP#

A-8.2



1 SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

FLOOR PLAN GENERAL NOTES:

- Indicates 2x6 Stud Wall Construction @ 16" o.c.
- Indicates 2x8 Stud Wall Construction @ 16" o.c.
- Indicates Stone/Masonry Veneer per Elevations Sheets A-10/11.
- Indicates Door Type per Schedule Sheet A-9
- Indicates Window Type per Schedule Sheet A-9
- All Dimensions to Face of Stud unless otherwise noted.
- Verify all Dimensions prior to Construction. Notify Architect of any discrepancies.
- Provide Shop Drawings for all cabinet work prior to Fabrication for Owner approval.
- Provide Shop Drawings of Mechanical Duct Layout for owner approval as required.
- All Plumbing Fixtures to be C.E.C. approved and verified by Owner.
- Provide 30" clear width (15" from center line of water closet) and 24" clearance in front of Water Closets per C.B.C. latest Edition and C.P.C. Sect. 407.5.
- Water Closets installed on this project to be State of California, Department of Housing and Community Development approved low water consumption type, maximum 1.6 gallons per flush.
- Adjust all Window Header heights to match Door heights.
- Max. 1/2" drop at Exterior outward Swinging Doors. Provide aluminum flashing and caulking under stucco soffit at foundation and sill plate as required to accommodate 1/2" drop. Doors may not swing into Garage when there is more than 1/2" drop from the house (C.B.C. Sec. 1008.1.6 and C.R.C. R311.3).
- Provide water proofing under door threshold as required. At double framed walls; where stucco returns into door jamb, provide aluminum pan flashing at threshold.
- Enclosed space under stairs to be protected with one hour construction on the enclosed side per C.B.C. section 1009.6.3 and C.R.C. Sect. R302.7.
- Cover wood framing with #15 felt underlayment in bathtub and shower enclosures. Tile or other approved material on shower walls and around tub/showers to be full height to ceiling. Tile or other approved material must be attached to a backing which is not adversely affected by moisture (see General Notes 9 C 2&3 sheet A2). Sect. 807.0.3.
- Doors between the garage and dwelling shall be self closing, tight fitting and either minimum 1 3/8" thick solid wood or 20 minute fire protection rated. (C.B.C. 406.1.4 and C.R.C. Sect. R302.5).
- Shower enclosure walls must be finished to a height of 6'-0" with a smooth, hard, non-absorbent surface with a min. 30" diameter clear space per C.R.C. Sect. R307.2.
- There shall be a landing or floor on each side of each exterior door. The width of each landing shall not be less than the door served. Every landing shall have a minimum dimension of 36" measured in the direction of travel. Exterior landings shall be permitted to have a slope not to exceed 1/4 unit vertical in 12 units horizontal (2%). See C.R.C. Sect. R311.3.
- Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC).

FLOOR PLAN KEY NOTES:

- Fireplace approved by UL307B or equivalent.
- Built-in cabinets. Verify with Owner.
- Provide medicine cabinets in all bathrooms. Verify with Owner.
- Jacuzzi Tub. Verify type w/ Owner.
- Stairs per detail with 18 equal stone risers at approx. 7.5" and 12" stone treads. Handrails shall be 34" to 38" above treads. Return handrail to wall per C.R.C. R311.7. The hand grip portion of all handrails shall not be less than 1 1/2" nor more than 2" in cross dimension per C.B.C. 1012.3 and C.R.C. R311.7.
- 5/8" TYPE "X" GYPSUM BOARD UNDERNEATH STAIRS Windows to be recessed (taken to glass) a minimum of 12 inches in 18" thick walls (Front & Rear), and a minimum of 8 inches in 12" thick walls (Sides).
- Exterior doors to be recessed a minimum of 12 inches in 18" thick walls (Front & Rear), and a minimum of 8 inches in 12" thick walls (Sides).
- VANITY, COUNTERTOP, LAVATORY AND FAUCET PER OWNER AND CONTRACTOR.
- WATER CLOSET ULTRA LOW FLUSH: UNIVERSAL RUNDLE 4095 ELONGATED. OR SIMILAR
- DOUBLE POLE AND SHELF 6'-0" L X 3'-0" D X 72" H HOTMOP SHOWER PAN, WALLS TO BE TILE.
- TREX DECKING: TREX ACCENT-FIRE DEFENSE. EXCEEDS ASTM E84 CLASS A FLAME SPREAD. EXCEEDS 12-7A-4 PART A (UNDERFLAME) AND PART B (BURNING BRAND).
- Maximum rise is 7-3/4" and minimum run is 10", measured from the nosing projection. Where there is no nosing, the minimum run is 11".
- A nosing (between 3/4" and 1-1/4") shall be provided on stairways with solid risers. Exception: No nosing is required if the tread depth is at least 11 inches. Section R311.7.5.3
- Provide a minimum opening of 100 square inches for make up air at towered doors.
- Dryer space. provide 4" vent to exterior. see electrical mechanical plans.
- Washer space. provide hot and cold water and waste.
- Low wall 42" high
- 4'-0" L X 4'-10" D X 72" H HOTMOP SHOWER PAN. WALLS TO BE TILE.
- BIDET
- 42" HIGH RAILING
- SPACE FOR HEATING AND AC
- 22"x30" Attic access for FAU. The largest piece of equipment can be moved through the opening.

WATER CONSERVING PLUMBING FIXTURES AND FITTINGS	
Plumbing fixtures and fittings shall comply with the following: (2013 CGBSC, California Plumbing Code (CPC) and Table 1401.1 of the CPC)	
4303.1.1	All Water closets: <1.28 gal/flush Tank type water closet shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.
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4303.1.4.1	Residential Lavatory Faucets: 0.8 gpm @ 20 psi < Flow Rate <1.5 gpm @ 60 psi
4303.1.4.2	Lavatory Faucets in common and Public Use Areas (outside of dwellings or sleeping units) in residential buildings: <0.5 gpm @ 60 psi
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4303.1.4.4	Kitchen Faucets: <1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm

PLUMBING FIXTURE CERTIFICATION REQUIRED:

A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.

SAM Z. MALHAS PE
CA #20302

PURPOSE
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BUILDING PERMIT

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ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130



PROJECT: #MAAS-1336
DATE: MAY 4, 2017

SCALE: 1/4" = 1'-0"
SHEET DESCRIPTION
SECOND FLOOR PLAN

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
SECOND FLOOR PLAN

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REVISION 04:	
REVISION 03:	
REVISION 02:	
REVISION 01:	
ORIGINAL DATE:	AUG 10, 2015
SHEET	15
OF	35

CEP#

A-8.3

ROOF PLAN KEY NOTES:

- 1 CLASS 'A' ROOF ASSEMBLY. NEW CONCRETE TILE ROOF (EAGLE ROOFING ESR-1900 OR SIMILAR. OVER ONE LAYER 30 LB FELT). TO MATCH EXISTING ROOF TILE COLOR AND TEXTURE. (APPROVED BY A TESTING AGENCY) TO MATCH (E) HOUSE.
- 2 NEW CLASS A FIRE AND EMBER RESISTANT ATTIC VENT PER ATTIC VENT SCHEDULE.
- 3 ROOF DECK: WEATHER-PROOF DECK SYSTEM (CLASS 'A' RATED) BY LIFEDECK OR OWNER APPROVED EQUAL, INSTALL PER MFR'S RECOMMENDATIONS.
- 4 OVERHANG 18"
- 5 PROVIDE PHOTOVOTAIC / HOT-WATER "INTEGRAL ROOF" SOLAR PANELS. VERIFY TYPE AND LOCATION WITH OWNER. INSTALL PER MANUFACTURE'S SPECIFICATIONS. (UNDER A SEPARATE PERMIT)
1) PHOTOVOTAIC PANELS TO BE ALL BLACK WITH ANTI REFLECTIVE GLASS.
2) ALIGN TOP OF SOLAR PANEL WITH TOP OF ROOF TILE.
3) UNGLAZED FLAT PLATE COLLECTORS SHALL HAVE A BUILT IN SUBSTRATE AND SHALL APPEAR TO BE FLUSH MOUNTED AND SMOOTH WHEN MOUNTED ON THE ROOF.
- 6 POOL WATER SOLAR HEATING SYSTEM. INSTALL PER MANUFACTURE'S SPECIFICATIONS.
- 7 HOSE BIB

ROOF PITCH 5 : 12

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ENGINEER

PROJECT

PRIVATE RESIDENCE
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DEL MAR, CA. 92130

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PROJECT: #MA15-1336
DATE: MAY 4, 2017

SCALE:

SHEET DESCRIPTION

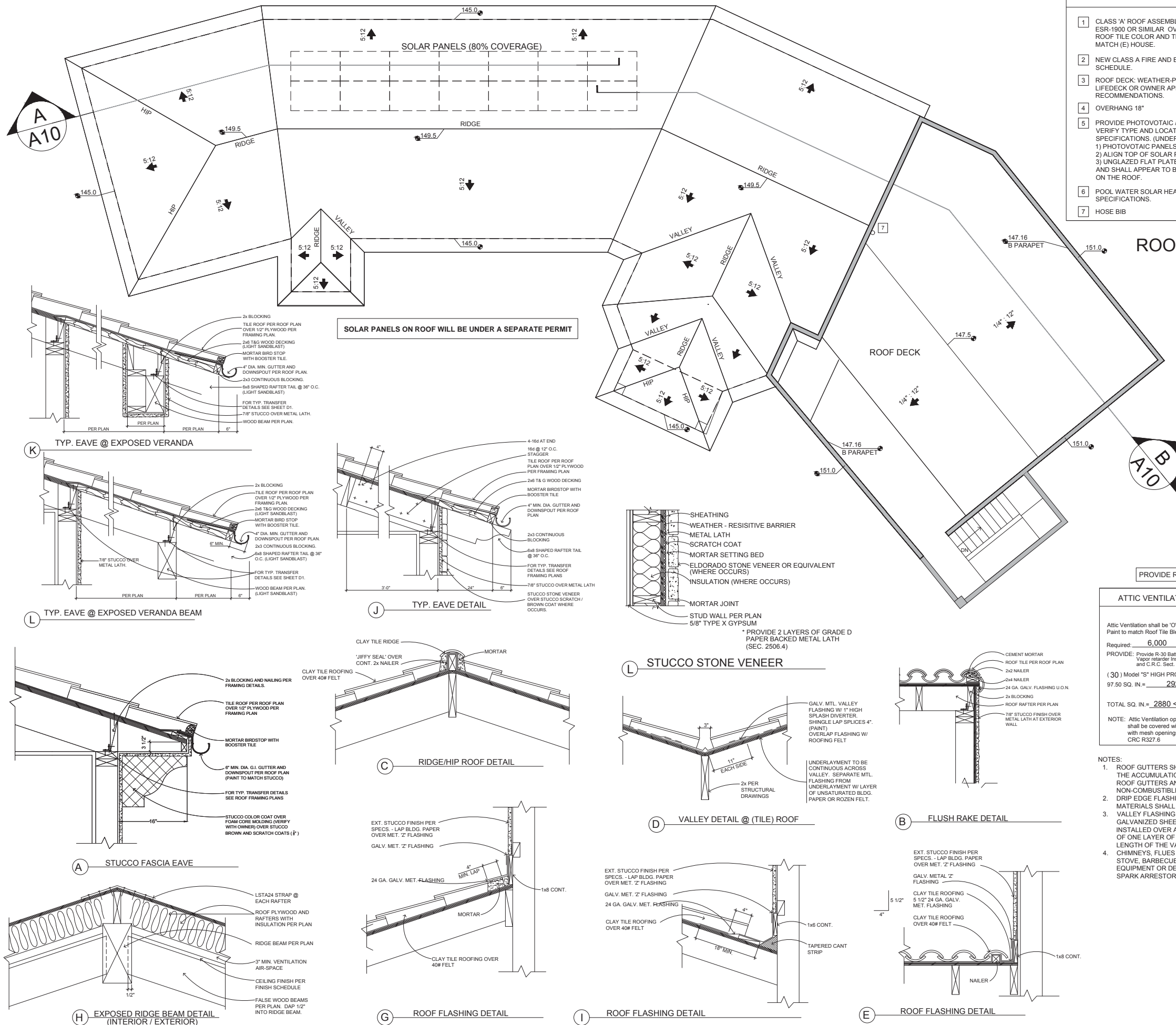
ROOF PLAN

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PREPARED BY:
MALHAS CONSULTING ENGINEERS
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SUITE #201
SAN DIEGO, CA. 92111PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130SHEET TITLE:
ROOF PLAN

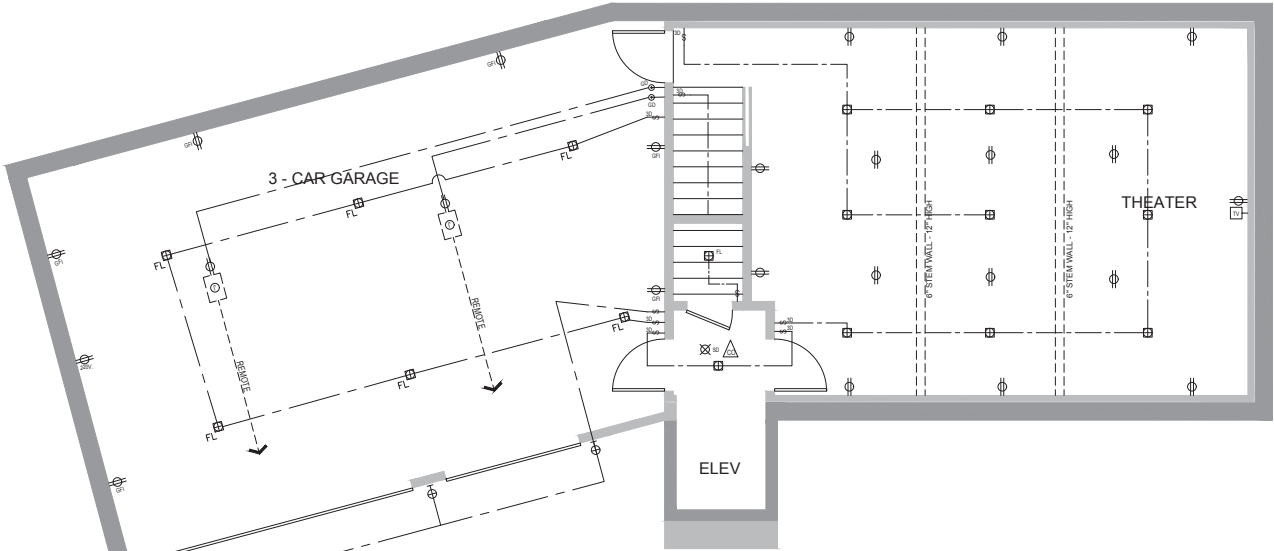
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REVISION 05:	NOVEMBER 19, 2015
REVISION 04:	AUGUST 10, 2015
REVISION 03:	JULY 10, 2015
REVISION 02:	JUNE 4, 2015
REVISION 01:	APRIL 1, 2016
ORIGINAL DATE:	AUG 10, 2015
SHEET	16 OF 35

CDP#


























HIGH EFFICACY GENERAL NOTES:	GENERAL NOTES 1:
<ul style="list-style-type: none">● HIGH EFFICACY: AS DEFINED BY CALIFORNIA ENERGY CODE SHALL MEET THE FOLLOWING:<ul style="list-style-type: none">- FOR LAMPS 15 WATTS OR LESS - MINIMUM OF 40 LUMENS PER WATT.- FOR LAMPS 15 TO 40 WATTS - MINIMUM OF 50 LUMENS PER WATT.- FOR LAMPS 40 WATTS OR GREATER - MINIMUM OF 60 LUMENS PER WATT.- LUMEN IS THE UNIT THAT QUANTIFIES THE TOTAL AMOUNT OF LIGHT EMITTED BY A LIGHT SOURCE.- HIGH - EFFICACY LUMINAIRES OF 13 WATTS OR HIGHER MUST HAVE ELECTRONIC BALLASTS. (CE150X(1))- NO SCREW - BASED FIXTURES MEET THE HIGH-EFFICACY DEFINITION BASE TO BE 4 PIN.- HIGH EFFICACY LUMINAIRES OF 13 WATTS OR HIGHER MUST HAVE ELECTRONIC BALLASTS. (CE150X(1))● NEWLY INSTALLED LUMINAIRES IN THE LOFT AREA, AS AN OPTION, DIMMER SWITCHES, OCCUPANT SENSORS, OR MOTION SENSORS WITH INTEGRAL PHOTOCONTROL MAY BE SUBSTITUTED FOR HIGH EFFICACY LUMINAIRES WHERE ALLOWED PER THE 2005 CALIFORNIA ENERGY CODE VERSION OF THE MFC-1R FORMS.● ALL NEW LUMINAIRES SHALL BE HIGH EFFICACY, OR SHALL BE CONTROLLED BY ONE OF THE FOLLOWING:<ul style="list-style-type: none">● EXCEPTION 1 TO CEC SECTION 150 (b) 4: PERMANENTLY INSTALLED LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES SHALL BE ALLOWED PROVIDED THEY ARE CONTROLLED BY A DIMMER SWITCH.● EXCEPTION 2 TO CEC SECTION 150 (b) 4: PERMANENTLY INSTALLED LUMINAIRES THAT ARE NOT HIGH EFFICACY LUMINAIRES SHALL BE ALLOWED PROVIDED THAT THEY ARE CONTROLLED BY AN OCCUPANT SENSOR(S) CERTIFIED TO COMPLY WITH SECTION 119 (d). SUCH MOTION SENSORS SHALL NOT HAVE A CONTROL THAT ALLOWS THE LUMINAIRES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING THE LUMINAIRES TO BE ALWAYS ON.● PERMANENTLY INSTALLED LUMINAIRES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY.● PERMANENTLY INSTALLED LUMINAIRES LOCATED OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES.	<ol style="list-style-type: none">1. WHEN A COMPARTMENT OR SPACE FOR DOMESTIC CLOTHES DRYER IS PROVIDED, A MINIMUM FOUR INCH DIAMETER MOISTURE EXHAUST DUCT APPROVED MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND CMC SECTION 504.0.2. CMC 504.3.2.2 LENGTH LIMITATION. DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF (14) FEET, INCLUDING TWO 90 DEGREE (1.57 RAD.) ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE (1.57 RAD. ELBOW IN EXCESS OF TWO.3. MAKE UP AIR SHALL BE PROVIDED FOR TYPE 1 CLOTHES DRYERS, WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. CMC SECTION 905.34. PROVISION FOR MAKEUP AIR SHALL BE PROVIDED FOR TYPE 2 CLOTHES DRYERS, WITH A MINIMUM FREE AREA (SEE SECTION 101.6) OF 1 IN 2 (6.5 M2) FOR EACH 1000 BTU/HR (2200 MM2/KW) TOTAL INPUT RATING OF THE DRYERS INSTALLED. (NFPA 54 § 4.3.)5. CARBON MONOXIDE ALARMS: FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. R315.16. BEDROOMS INCLUDED WITH THE REMODEL SHALL PROVIDE ARC FAULT PROTECTED OUTLETS.7. PASSAGEWAY TO THE MECHANICAL EQUIPMENT IN THE ATTIC SHALL BE UNOBSTRUCTED, HAVE CONTINUOUS FLOORING NOT LESS THAN 24" WUDE AND BE NOT MORE THEN 20 FEET LONG FROM THE ACCESS OPENING TO THE APPLIANCE. CMC SECTION 904.11.8. IF WALL HEATERS WILL BE INSTALLED: WALL HEATER SHALL BE A MINIMUM OF 6 INCHES OF ROOM CORNER, 12" FOR A DOOR AND 18" DROP CLOSET.9. BEDROOMS INCLUDED WITH THE REMODEL SHALL PROVIDE ARC FAULT PROTECTED OUTLES.10. SEALANTS SHALL COMPLY WITH UL 181, UL 181A, OR UL 181B, AND BE NON TOXIC AND WATER RESISTANT. TITLE 24, PART 6, CHAPTER 3.11. DRAW BANDS SHALL BE EITHER STAINLESS-STEEL WORM WORM-DRIVE HOSE CLAMPS OR UV-RESISTANT NYLON DUCT TIES, HAVING A MINIMUM TENSILE STRENGTH OF 150 POUNDS, AND SHALL BE TIGHTENED AS RECOMMENDED BY MANUFACTURE. TITLE 24, PART 6, CHAPTER 3, AND CHAPTER 7.12. THE MANUFACTURE AS COMPLIANT SHALL CERTIFY INSULATION WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL, TITLE 20, CHAPTER 4, AND ARTICLE 3.5 (TITLE 24, PART 6, CHAPTER 213. CLOTH BACKED DUCT TAPE IS NO LONGER PERMITTED TO BE USED AS THE SOLE CONNECTION FOR MECHANICAL DUCTING. DUCT PRESSURE SENSITIVE TAPE, AS A MINIMUM, MEETING THE REQUIREMENTS OF UL 181, 181A, OR 181B, SHALL BE USED OR ADDITIONAL DUCT ATTACHMENT DEVICES SUCH AS TIE WRAPS OR MASTIC WILL BE REQUIRED FOR INSTALLING MECHANICAL DUCTING.14. TAMPER RESISTANT RECEPTACLES FOR LOCATIONS DESCRIBED IN 210.52 (i.e. ALL NEW RECEPTACLES).15. WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE).16. ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(B) FAMILY, BEDROOMS, DINING, HALLS, ETC.17. ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM: IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND DETACHED GARAGES WITH ELECTRIC POWER, AND AT THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS. AT INTERIOR STAIRWAYS SHOW 3-WAY SWITCHING FOR LIGHTING OUTLETS AT EACH FLOOR LEVEL WHERE THERE ARE SIX OR MORE STEPS. CEC ARTICLE 210.70(A).18. PROVIDE FAUCET WITH A MAXIMUM FLOW OF 2.2 GALLONS PER MINUTE (GPM).19. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.5 GALLONS PER MINUTE (GPM).20. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF-1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.21. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

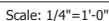
ELECTRIC VEHICLE CHARGING NOTES:
<ol style="list-style-type: none">1. A LISTED RACEWAY TO FACILITATE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGER.2. RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-IN. DIAMETER) TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT.3. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CHARGER.4. RACEWAY SHALL BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.5. THE SERVICE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.6. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY:<ul style="list-style-type: none">A. THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) FOR FUTURE EV CHARGING AS "EV CAPABLE" AND,B. THE RACEWAY TERMINATION LOCATION AS "EV CAPABLE"



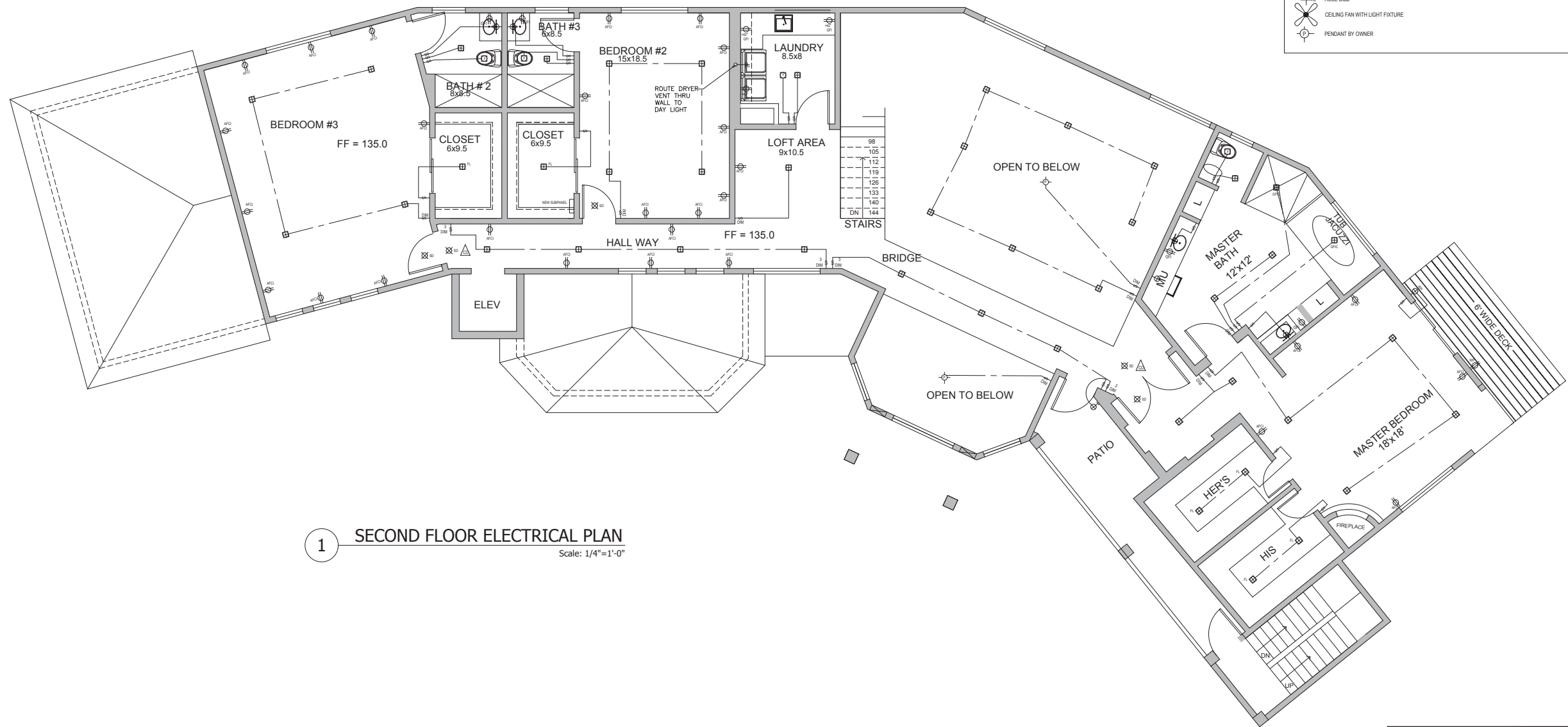
1 BASEMENT ELECTRICAL FLOOR PLAN
Scale: 1/4"=1'-0"

ELECTRICAL SYMBOLS	SAM Z. MALHAS PE CA #2030
	PURPOSE SUBMITTAL BUILDING PERMIT
	MALHAS CONSULTING ENGINEERS 7510 CLAIREMONT MESA BLVD. #201 SAN DIEGO, CA. 92111 TEL: (858) 571-1514 FAX: (858) 571-1799
GENERAL NOTES 2:	ENGINEER
<ol style="list-style-type: none">1. PROVIDE CARBON MONOXIDE ALARMS IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH LEVEL INCLUDING BASEMENTS. CARBON MONOXIDE ALARMS WILL BE INSTALLED ACCORDING TO THE 2013 CRC SECTION 315.2. CARBON MONOXIDE SHALL BE INTERCONNECTED AND HARD WIRED. EXCEPTION: CARBON MONOXIDE ALARMS ARE PERMITTED TO BE SEPARATELY BATTERY OPERATED IN EXISTING AREAS OF BUILDINGS UNDERGOING ALTERATIONS OR REPAIRS THAT DO NOT RESULT IN THE REMOVAL OF THE INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE. UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR BUILDING WIRING WITHOUT THE REMOVAL OF INTERIOR FINISHES.3. WHEN MORE THEN ONE CARBON MONOXIDE ALARMS IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH MANNER THAT THE ACTUATION OF THE ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.4. SINGLE AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2304. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2076. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.5. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.6. WATER CLOSETS, SHOWER HEADS, LAVATORIES AND KITCHEN FAUCETS (WATER CONSERVING FIXTURES) TO COMPLY WITH TABLE 4.303.2 FIXTURE FLOW RATES. (CALIFORNIA GREEN BUILDING CODE 2013) AND CPC 2013 SECTION 402. WHICH EVER IS MORE STRINGENT.7. IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CRC 2013.8. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. CRC 2013.9. ALL VENTS (FLUES) SHALL BE INSTALLED AND SUPPORTED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.10. RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH CRC. 2013.11. COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH THE UNIFORM BUILDING CODE.12. DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.13. FOR HALLWAYS OF 10 FEET OR MORE IN LENGTH AT LEAST ONE RECEPTACLE OUTLET SHALL BE PROVIDED. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SUCH WIRING IS SERVE FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.14. IN EXISTING BUILDINGS, WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR (OR WHEN ONE OR MORE SLEEPIN ROOMS ARE ADDED), THE DWELLING UNIT SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. THE SMOKE ALARMS SHALL BE INTERCONNECTED AND HARD WIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF THE INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE. UNLESS THERE IS AN ATTIC AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES. SECTION R314.3.115. WHERE MORE THAN ONE SMOKE ALARMS IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.16. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.17. EACH BUILDING TO HAVE UFER GROUND SYSTEM18. MIN. (2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS ARE TO BE PROVIDED TO SERVE19. ALL RECEPTACLE OUTLETS IN THE KITCHEN, PANTRY, BREAKFAST RM, DINING AREA AND ALL SIMILAR AREAS IN THE UNIT. RECEPTACLES INSTALLED FOR CLOCKS, OUTDOORS OR GENERAL PURPOSE SWITCH OUTLETS PERMITTED.20. STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING21. ATTIC UNDER FLOOR INSTALLATION MUST COMPLY WITH SECTIONS 303.306, & 307 AND THE CMC 2013.22. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE 15 AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS (AFCI). CRC 2013.23. DOMESTIC CLOTHES DRYER SHALL BE PROVIDED WITH A 4-INCH DIAMETER MOISTURE EXHAUST DUCT THAT TERMINATES OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS. THE MAXIMUM TOTAL VERTICAL AND HORIZONTAL LENGTH SHALL NOT EXCEED 14 FEET INCLUDING TWO 90 DEGREE ELBOWS.24. PROVIDE FAUCETS WITH A MAXIMUM FLOW OF 2.2 GALLONS PER MINUTE (GPM).25. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).26. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE (GPM).	PROJECT: #MMS-1336 DATE: MAY 4, 2017
	SCALE: 1/4" = 1' FOOT
	SHEET DESCRIPTION BASEMENT ELECTRICAL FLOOR PLAN
	A-10.1
PREPARED BY: MALHAS CONSULTING ENGINEERS 7510 CLAIREMONT MESA BLVD SUITE #201 SAN DIEGO, CA. 92111	REVISION 14: _____ REVISION 13: _____ REVISION 12: _____ REVISION 10: _____ REVISION 09: _____ REVISION 08: _____ REVISION 07: _____ REVISION 06: FEBRUARY 29, 2016 REVISION 05: NOVEMBER 18, 2015 REVISION 04: AUGUST 18, 2015 REVISION 03: JULY 18, 2015 REVISION 02: JUNE 1, 2015 REVISION 01: APRIL 1, 2016
PROJECT NAME: PRIVATE RESIDENCE 3753 ARROYO SORRENTO DEL MAR, CA. 92130	ORIGINAL DATE: AUG 10, 2015
SHEET TITLE: BASEMENT ELECTRICAL FLOOR PLAN	SHEET 17 OF 35

-  DUPLEX CONVENIENCE OUTLET
-  1 HOT DUPLEX CONV. OUTLET
-  DUPLEX CONV. OUTLET W/ GROUND FAULT INTERRUPTER
-  WATERPROOF DUPLEX CONV. OUTLET W/ GROUND FAULT INTERRUPTER
-  220 VOLT OUTLET
-
-  RECESSED FLUORESCENT LIGHT (40 LUMENS/WATT OR BETTER)
-  WATER PROOF RECESSED LIGHT ON GROUND FAULT INTERRUPTER CIRCUIT
-  WALL MOUNTED LIGHT FIXTURE
-  SINGLE POLE SWITCH
-  THREE WAY SWITCH
-  FOUR WAY SWITCH
-  DIMMER SWITCH
-  OCCUPANT SENSOR
-  110 VOLT SMOKE DETECTOR W/ BATTERY BACK-UP
-  CARBON MONOXIDE ALARM
-  PHONE JACK
-  TELEVISION JACK (PREWIRE FOR CABLE)
-  EXHAUST FAN CAPABLE OF PROVIDING FIVE (5) AIR EXCHANGES PER HOUR (W/ BACKDRAFT DAMPER) 75 cfm or GREATER
-  ELECTRIC SUB-PANEL
-  ELECTRIC METER
-  HOSE BIBB
-  CEILING FAN WITH LIGHT FIXTURE
-  PENDANT BY OWNER



SHEET TITLE:
**FIRST FLOOR
ELECTRICAL PLAN**



ELECTRICAL SYMBOLS

- ⊕ DUPLEX CONVENIENCE OUTLET
- ⊕ 1 HOT DUPLEX CONV. OUTLET
- ⊕ DUPLEX CONV. OUTLET W/ GROUND FAULT INTERRUPTER
- ⊕ WATERPROOF DUPLEX CONV. OUTLET W/ GROUND FAULT INTERRUPTER
- ⊕ 220 VOLT OUTLET
- ⊕ 4" RECESSED LIGHT (IC RATED)
- ⊕ RECESSED FLUORESCENT LIGHT (W/ LUMENS: WATT OR BETTER)
- ⊕ WATER PROOF RECESSED LIGHT ON GROUND FAULT INTERRUPTER CIRCUIT
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ FOUR WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ OCCUPANT SENSOR
- ⊕ 110 VOLT SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊕ CARBON MONOXIDE ALARM
- ⊕ PHONE JACK
- ⊕ TELEVISION JACK (PREWIRE FOR CABLE)
- ⊕ EXHAUST FAN CAPABLE OF PROVIDING FIVE (5) AIR EXCHANGES PER HOUR (W/ BACKDRAFT DAMPER) 75 cfm
- ⊕ ELECTRIC SUB-PANEL
- ⊕ ELECTRIC METER
- ⊕ HOSE BIBB
- ⊕ CEILING FAN WITH LIGHT FIXTURE
- ⊕ PENDANT BY OWNER

1 SECOND FLOOR ELECTRICAL PLAN
Scale: 1/4"=1'-0"

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
SECOND FLOOR
ELECTRICAL PLAN

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 09:	
REVISION 08:	
REVISION 07:	
REVISION 06:	FEBRUARY 27, 2006
REVISION 05:	NOVEMBER 9, 2005
REVISION 04:	AUGUST 12, 2005
REVISION 03:	JULY 13, 2005
REVISION 02:	JUNE 3, 2005
REVISION 01:	APRIL 1, 2005
ORIGINAL DATE:	AUG 10, 2005
SHEET 19 OF 35	

PROJECT: *MAUS-1336
DATE: MAY 4, 2007

SCALE: 1/4" = 1' FOOT

SHEET DESCRIPTION
SECOND FLOOR
ELECTRICAL PLAN

A-10.3



MALHAS CONSULTING ENGINEERS
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ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130

PURPOSE
SUBMITTAL
BUILDING PERMIT

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130

[illegible]

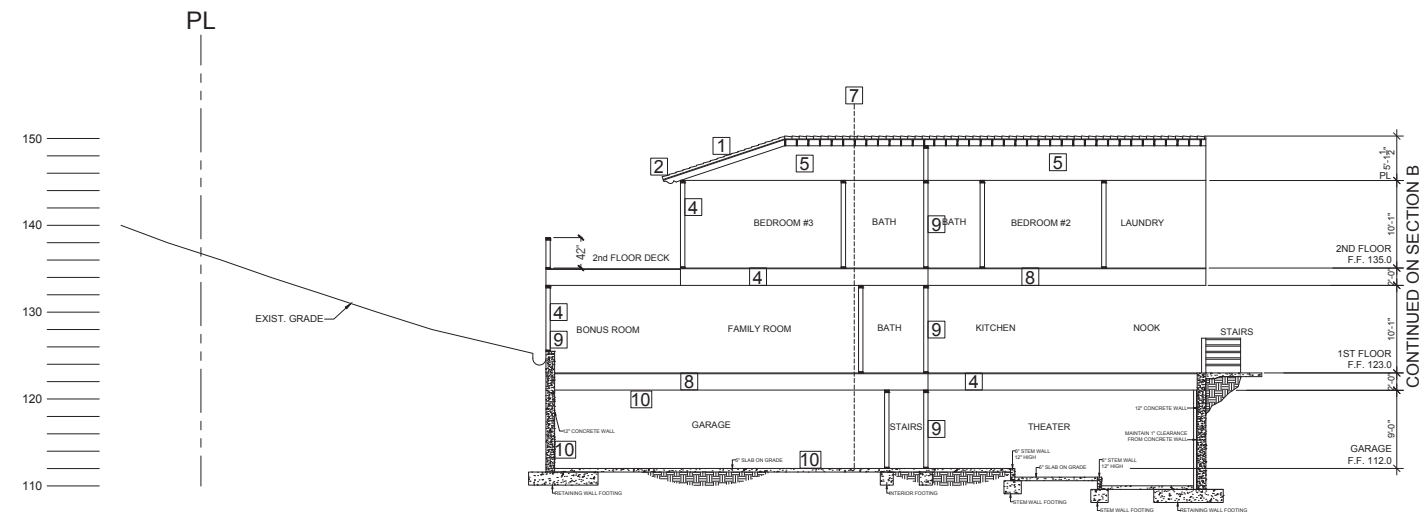
PROJECT:	#MA15-1336
DATE:	MAY 4, 2017

SCALE: 1/4" = 1 FOOT

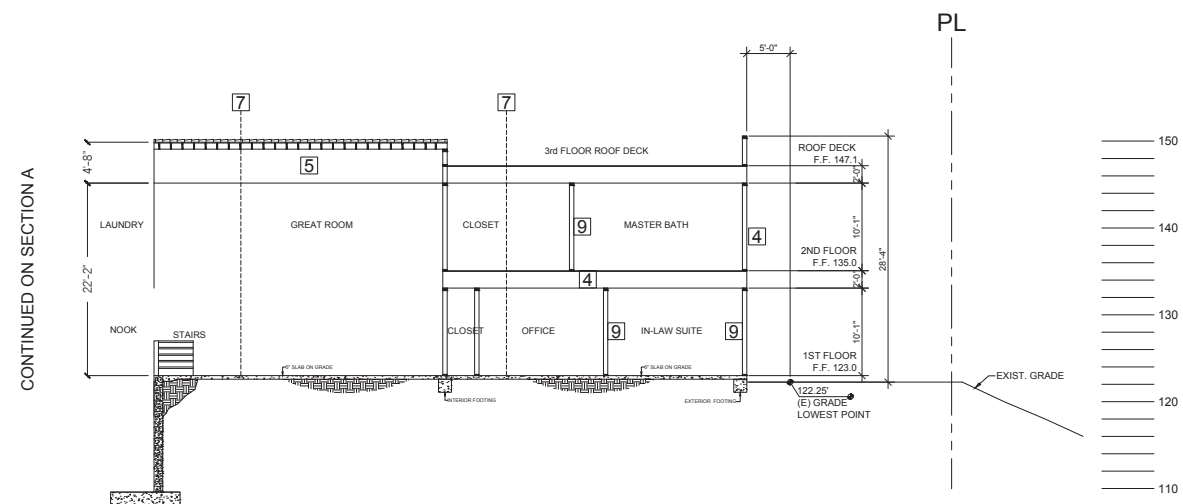
SHEET DESCRIPTION

SECTIONS

A-11



BUILDING SECTION A
SCALE 1/8" = 1'-0"



BUILDING SECTION B
SCALE 1/8" = 1'-0"

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
SECTIONS

REVISION 14: _____
 REVISION 13: _____
 REVISION 12: _____
 REVISION 11: _____
 REVISION 10: _____
 REVISION 09: _____
 REVISION 08: _____
 REVISION 07: _____
 REVISION 06: FEBRUARY 27, 2006
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 REVISION 03: JULY 13, 2006
 REVISION 02: JUNE 3, 2016
 REVISION 01: APRIL 1, 2016

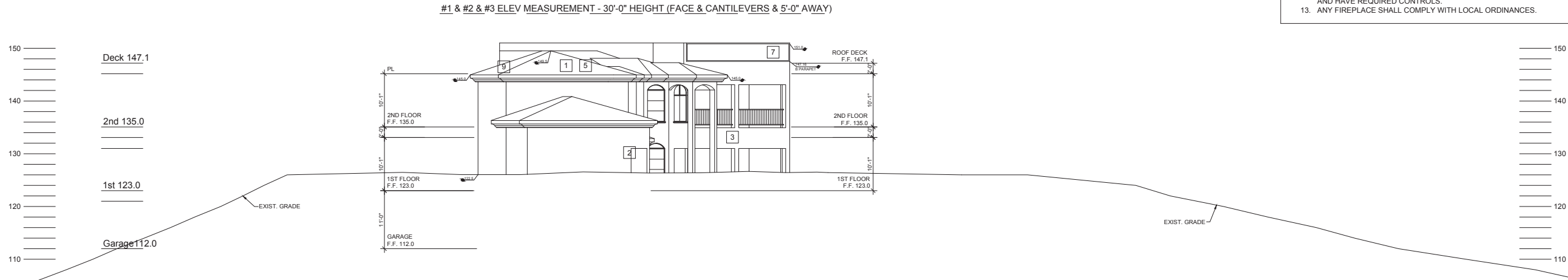
ORIGINAL DATE: AUG 10, 2015

SHEET 20 OF 35

DEP®



NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.

- ELEVATION KEY NOTES:**
- 1 CLASS 'A' ROOF ASSEMBLY. NEW CONCRETE TILE ROOF (EAGLE ROOFING ESR-1900 OR SIMILAR OVER ONE LAYER 30 LB FELT). ROOF TILE TO BE DARK GRAY IN COLOR.
 - 2 7/8" THICK "SMOOTH TROWELED" STUCCO FINISH OVER METAL LATH. LIGHT TAN IN COLOR.
 - 3 STUCCO WINDOW SILLS W/ BEVELED EDGE @ STUCCO FORMS PER ELEVATIONS.
 - 4 ELEVATOR
 - 5 PROVIDE PHOTOVOLTAIC / HOT-WATER "INTEGRAL ROOF" SOLAR PANELS. VERIFY TYPE AND LOCATION WITH OWNER. INSTALL PER MANUFACTURE'S SPECIFICATIONS
1) PHOTOVOLTAIC PANELS TO BE ALL BLACK WITH ANTI REFLECTIVE GLASS.
2) ALIGN TOP OF SOLAR PANEL WITH TOP OF ROOF TILE.
3) UNGLAZED FLAT PLATE COLLECTORS SHALL HAVE A BUILT IN SUBSTRATE AND SHALL APPEAR TO BE FLUSH MOUNTED AND SMOOTH WHEN MOUNTED ON THE ROOF.
 - 6 SPARK ARRESTOR: AT MASONRY CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR, MEETING ALL OF THE REQUIREMENTS SET FORTH IN C.B.C. SECTION 2113.9.1.
 - 7 DECK RAILING - 42" MIN
 - 8 DRIVEWAY.
 - 9 POOL WATER SOLAR HEATING SYSTEM. INSTALL PER MANUFACTURE'S SPECIFICATION

STONE VENEER

SEE SHEET A-6.2 FOR NOTES

- SUSTAINABLE TECHNIQUES**
1. STORM WATER DRAINAGE TO BE MANAGED DURING CONSTRUCTION.
 2. SOIL DISTURBANCE AND EROSION TO BE MINIMIZED DURING CONSTRUCTION.
 3. BUILDING MATERIALS TO BE PROTECTED FROM RAIN AND MOISTURE.
 4. EXTERIOR DOORS SHALL BE PROTECTED TO PREVENT WATER INTRUSION.
 5. PERMEABLE PAVEMENT TO BE UTILIZED FOR HARDSCAPING.
 6. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4 AND BACKLIGHT, UPLIGHT AND GLARE RATINGS AS DEFINED IN IES TM-15-11.
 7. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.
 8. A SOLAR PHOTOVOLTAIC SYSTEM OF PANELS WILL BE INSTALLED.
 9. A POOL WATER SOLAR HEATING SYSTEM WILL BE INSTALLED.
 10. STORM WATER RUNOFF TO BE COLLECTED IN A CISTERN AND RECYCLED FOR IRRIGATION USE.
 11. A LOW-WATER CONSUMPTION IRRIGATION SYSTEM SHALL BE INSTALLED.
 12. ALL PERMANENTLY INSTALLED LIGHT SHALL BE HIGH EFFICIENCY AND HAVE REQUIRED CONTROLS.
 13. ANY FIREPLACE SHALL COMPLY WITH LOCAL ORDINANCES.

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

SHEET TITLE:
ELEVATIONS
NORTH & EAST

REVISION 14:
REVISION 13:
REVISION 12:
REVISION 11:
REVISION 10:
REVISION 09:
REVISION 08:
REVISION 07:
REVISION 06:
REVISION 05:
REVISION 04:
REVISION 03:
REVISION 02:
REVISION 01:
ORIGINAL DATE:
AUG 10, 2015

SHEET 21 OF 35

PROJECT: *MA15-1336
DATE: MAY 4, 2017

SCALE: 1/4" = 1' FOOT
SHEET DESCRIPTION
ELEVATIONS
NORTH & EAST

A-12

SAM Z. MALHAS PE
CA #20392

PURPOSE
SUBMITTAL
BUILDING PERMIT

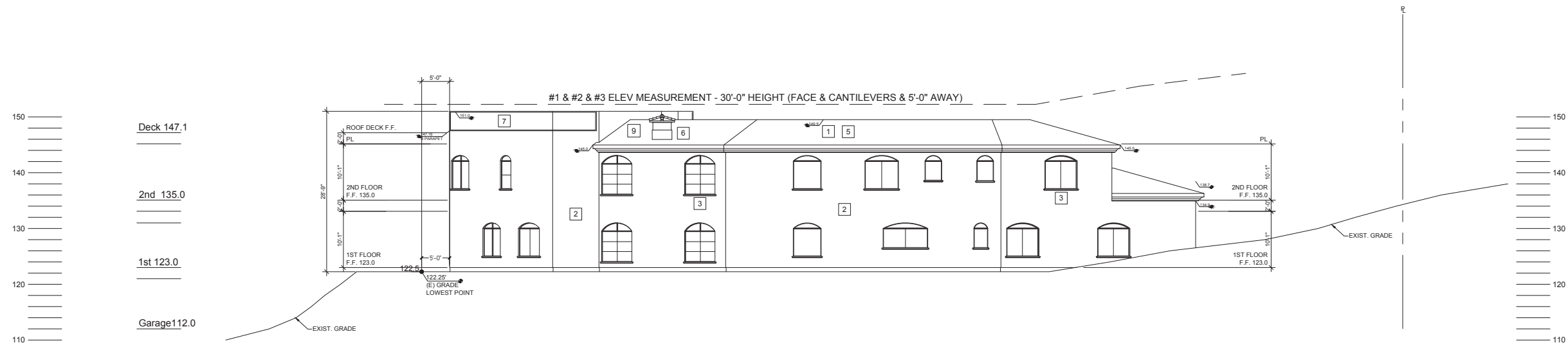
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

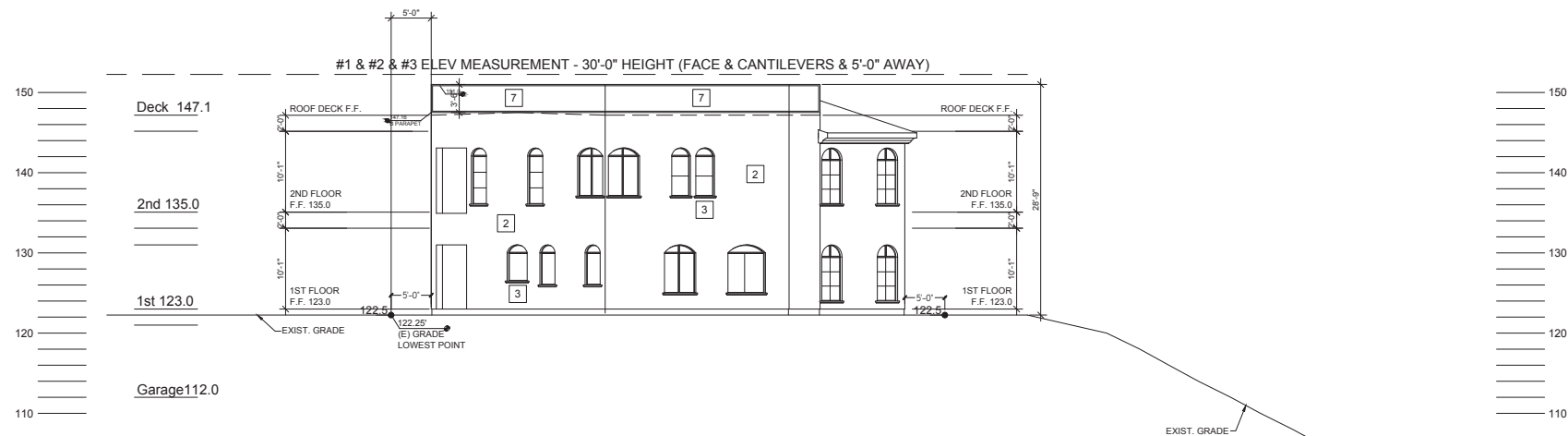
PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130





SOUTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEVATION
SCALE 1/8" = 1'-0"

CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.

ELEVATION KEY NOTES:

- 1 CLASS 'A' ROOF ASSEMBLY. NEW CONCRETE TILE ROOF (EAGLE ROOFING ESR-1900 OR SIMILAR OVER ONE LAYER 30 LB FELT). ROOF TILE TO BE DARK GRAY IN COLOR.
- 2 7/8" THICK "SMOOTH TROWELED" STUCCO FINISH OVER METAL LATH. LIGHT TAN IN COLOR.
- 3 STUCCO WINDOW SILLS W/ BEVELED EDGE @ STUCCO FORMS PER ELEVATIONS.
- 4 ELEVATOR
- 5 PROVIDE PHOTOVOTAIC / HOT-WATER "INTEGRAL ROOF" SOLAR PANELS. VERIFY TYPE AND LOCATION WITH OWNER. INSTALL PER MANUFACTURE'S SPECIFICATIONS (UNDER A SEPARATE PERMIT)
1) PHOTOVOTAIC PANELS TO BE ALL BLACK WITH ANTI REFLECTIVE GLASS.
2) ALIGN TOP OF SOLAR PANEL WITH TOP OF ROOF TILE.
3) UNGLAZED FLAT PLATE COLLECTORS SHALL HAVE A BUILT IN SUBSTRATE AND SHALL APPEAR TO BE FLUSH MOUNTED AND SMOOTH WHEN MOUNTED ON THE ROOF.
- 6 SPARK ARRESTOR: AT MASONRY CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR, MEETING ALL OF THE REQUIREMENTS SET FORTH IN C.B.C. SECTION 2113.9.1.
- 7 DECK RAILING - 42" MIN
- 8 DRIVEWAY.
- 9 POOL WATER SOLAR HEATING SYSTEM. INSTALL PER MANUFACTURE'S SPECIFICATIONS.

STONE VENEER

SEE SHEET A-6.2 FOR NOTES

PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA 92111

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA 92130

ORIGINAL DATE: AUG 10, 2015

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 09: _____
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REVISION 07: _____
REVISION 06: _____
REVISION 05: _____
REVISION 04: _____
REVISION 03: _____
REVISION 02: _____
REVISION 01: _____

DATE: MAY 4, 2017

SCALE: 1/4" = 1' FOOT

SHEET DESCRIPTION
ELEVATIONS
SOUTH & WEST

SHEET TITLE:
ELEVATIONS
SOUTH & WEST

SEP#

SAM Z. MALHAS PE
CA #15030

PURPOSE
SUBMITTAL
BUILDING PERMIT

MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

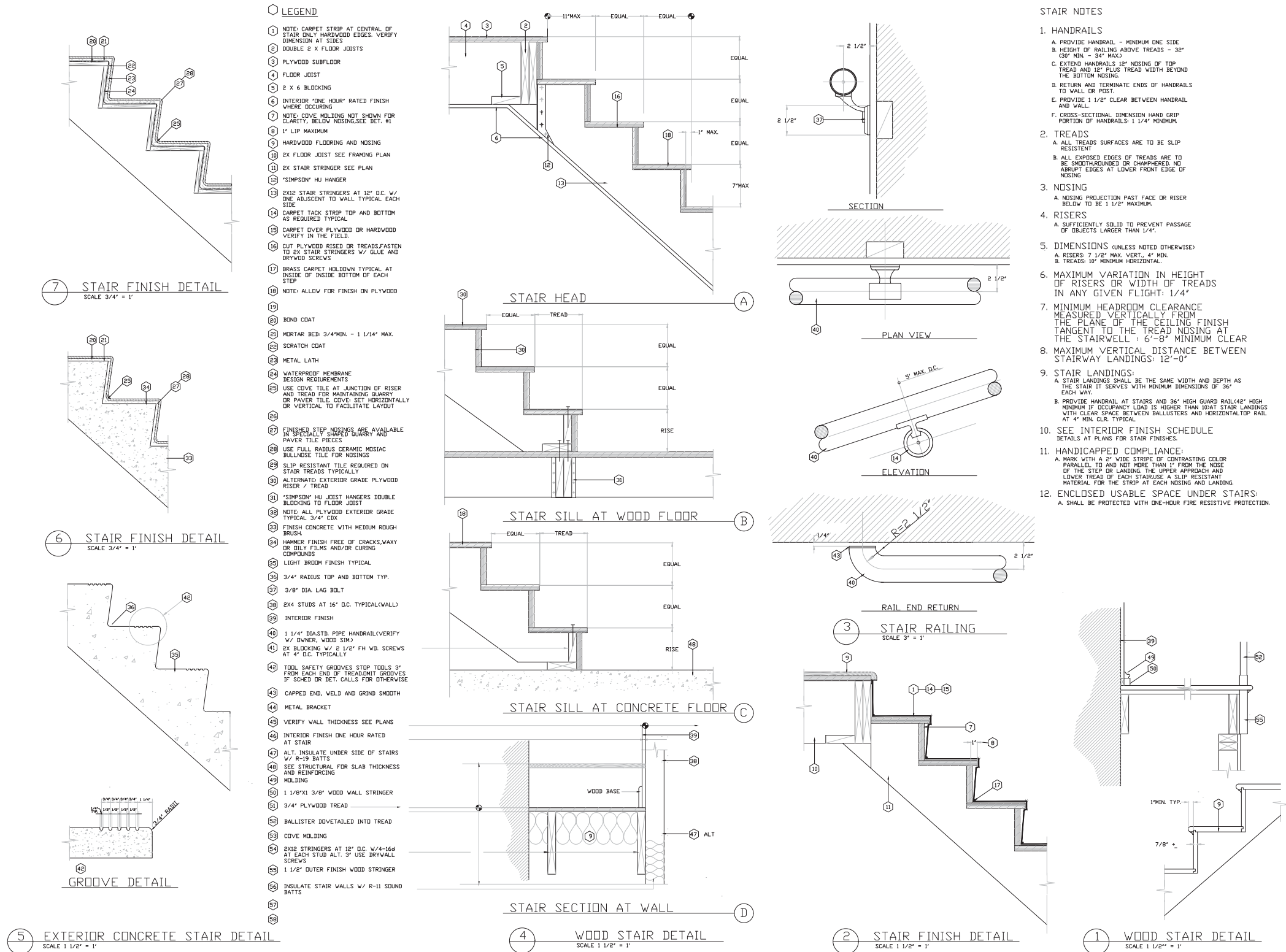
PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA 92130

PROJECT: #MMS-1336
DATE: MAY 4, 2017

STATE OF CALIFORNIA
CIVIL

A-13

SAM Z. MALHAS PE
CA #23092PURPOSE
SUBMITTAL
BUILDING PERMITMALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130PREPARED BY:
MALHAS CONSULTING ENGINEERS
7510 CLAIREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130SHEET TITLE:
STAIR DETAILS

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 09:	
REVISION 08:	
REVISION 07:	
REVISION 06:	FEBRUARY 27, 2005
REVISION 05:	NOVEMBER 19, 2004
REVISION 04:	AUGUST 12, 2004
REVISION 03:	JULY 13, 2004
REVISION 02:	JUNE 1, 2004
REVISION 01:	APRIL 1, 2004
ORIGINAL DATE:	AUG 10, 2005

SHEET 23 OF 35

CEP*

PROJECT: MHA5-1336
DATE: MAY 4, 2007

SCALE:

SHEET DESCRIPTION
STAIR DETAILS

A-14

SAM Z. MALHAS RE
CA #2026PURPOSE
SUBMITTAL
BUILDING PERMITMALHAS CONSULTING ENGINEERS
750 CLAREMONT MESA BLVD. #201
SAN DIEGO, CA. 92111
TEL: (858) 571-1514 FAX: (858) 571-1799

ENGINEER

PROJECT

PRIVATE RESIDENCE
3753 ARROYO SORRENTO ROAD
DEL MAR, CA. 92130

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PROJECT: #MA25-1336
DATE: MAY 4, 2017SHEET DESCRIPTION
TITLE 24

T24.1

SHEET 24 OF 35

CDP#

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building
Calculation Date/Time: 11:11, Fri, Feb 24, 2017
Calculation Description: Title 24 Analysis
Input File Name: webster residence, REV B.xml

CF1R-PRF-01
Page 3 of 10

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor	Conditioned	HVAC System1	688	9	DHW Sys 1	
Second Floor	Conditioned	HVAC System1	3638	10.08	DHW Sys 1	
Third Floor	Conditioned	HVAC System1	2339	10.08	DHW Sys 1	



Registration Number: 216-N0237571B-00000000-0000
CA Building Energy Efficiency Standards - 2013 Residential Compliance
Registration Date/Time: 2017-02-24 13:25:34
Report Version: CF1R-08252015-744
HERS Provider: CalCERTS Inc.
Report Generated at: 2017-02-24 11:13:16

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Residential Building
Calculation Date/Time: 11:11, Fri, Feb 24, 2017
Calculation Description: Title 24 Analysis
Input File Name: webster residence, REV B.xml

CF1R-PRF-01
Page 6 of 10

01	02	03	04	05	06	07
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Winter Design U-value	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	none	0.302	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: Wood Siding/Weatherstripping
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 15	0.089	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R 15 / 2x4 Exterior Finish: Wood Siding/Weatherstripping
R-15 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R 15	0.086	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R 15 / 2x4 Other Side Finish: Gypsum Board
Attic Roof/Second Floor	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	<ul style="list-style-type: none"> Cavity / Frame: no insul. / 2x4 Top Chord Floor Deck: Wood Siding/Weatherstripping Roofing: Light Roof (Asphalt Shingles)
R-19 Floor No Crawlspace	Exterior Floors	Wood Framed Floor	2x6 @ 16 in. O.C.	R 19	0.050	<ul style="list-style-type: none"> Floor Surface: Carpeted Floor Deck: Wood Siding/Weatherstripping Cavity / Frame: R 19 / 2x6 Over Floor Joists: R-20.9 Insul.
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R 30	0.032	<ul style="list-style-type: none"> Floor Surface: Carpeted Floor Deck: Wood Siding/Weatherstripping Cavity / Frame: R 30 / 2x4 Ceiling Below Finish: Gypsum Board
R-0 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O.C.	none	0.196	<ul style="list-style-type: none"> Floor Surface: Carpeted Floor Deck: Wood Siding/Weatherstripping Cavity / Frame: no insul. / 2x4 Top Chord Floor Deck: Wood Siding/Weatherstripping Roofing: Light Roof (Asphalt Shingles)
R-19 Floor No Crawlspace1	Interior Floors	Wood Framed Floor	2x6 @ 16 in. O.C.	R 19	0.046	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R 19 / 2x6 Ceiling Below Finish: Gypsum Board
Attic Roof/Third Floor	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O.C.	none	0.644	<ul style="list-style-type: none"> Inside Finish: Gypsum Board Cavity / Frame: R 30 / 2x4 Floor Deck: Wood Siding/Weatherstripping Roofing: 2 PSF (Normal Gable)
R-30 Roof Cathedral	Cathedral Ceilings	Wood Framed Ceiling	2x12 @ 16 in. O.C.	R 30	0.036	

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01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficiency (Watts/CFM)
HVAC Fan 1-hers fan	Required	0.58

01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness(%)	HERS Verification
SF Fan IAQ/Verifgt	86.65	0.25	Default	0	Required



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PREPARED BY:
MALHAS CONSULTING ENGINEERS
750 CLAREMONT MESA BLVD
SUITE #201
SAN DIEGO, CA. 92111

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REVISION 01: _____

PROJECT NAME:
PRIVATE RESIDENCE
3753 ARROYO SORRENTO
DEL MAR, CA. 92130

ORIGINAL DATE: AUG 10, 2015

SHEET TITLE:
TITLE 24

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01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
First Floor	Conditioned	HVAC System1	688	9	DHW Sys 1	
Second Floor	Conditioned	HVAC System1	3638	10.08	DHW Sys 1	
Third Floor	Conditioned	HVAC System1	2339	10.08	DHW Sys 1	

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OPAQUE SURFACES – Cathedral Ceilings											
01	02	03	04	05	06	07	08	09	10	11	
Name	Zone	Type	Orientation	Area (ft²)	Skylight Area (ft²)	Roof Rise (x in 12)	Roof Pitch	Roof Tilt (deg)	Roof Reflectance	Roof Emittance	Framing Factor
Roof (Slope 0.25/12)	Third Floor	R-30 Roof Cathedral	Front	875	0	0.2	0.02	0.95	0.1	0.85	0.1

ATTIC							
01	02	03	04	05	06	07	08
Name	Construction	Type	Roof Rise	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof
Attic Second Floor	Attic Roof/Second Floor	Ventilated	3	0.1	0.85	No	No
Attic Third Floor	Attic Roof/Third Floor	Ventilated	3	0.1	0.85	No	No

WINDOWS									
01	02	03	04	05	06	07	08	09	10
Name	Type	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Multipl ier	Area (ft²)	U-factor	SHGC	Exterior Shading
Window 2	Window	North Wall 2 (Face-0)	---	---	1	100.0	0.32	0.25	Insect Screen (default)
Window 3	Window	North Wall 2 (Face-45)	---	---	1	60.0	0.32	0.25	Insect Screen (default)
Window 4	Window	South Wall 1 (Face-135)	---	---	1	94.0	0.32	0.25	Insect Screen (default)
Window 4	Window	South Wall 2 (Back-180)	---	---	1	94.0	0.32	0.25	Insect Screen (default)
Window 5	Window	Southwest Wall 1 (Face-225)	---	---	1	190.0	0.32	0.25	Insect Screen (default)
Window 6	Window	Northwest Wall 1 (Face-315)	---	---	1	131.0	0.32	0.25	Insect Screen (default)
Window 7	Window	North Wall 3 (Face-0)	---	---	1	67.5	0.32	0.25	Insect Screen (default)
Window 8	Window	North Wall 2 (Face-45)	---	---	1	93.0	0.32	0.25	Insect Screen (default)
Window 9	Window	Southeast Wall 2 (Face-135)	---	---	1	54.0	0.32	0.25	Insect Screen (default)
Window 10	Window	South Wall 3 (Back-180)	---	---	1	90.0	0.32	0.25	Insect Screen (default)
Window 11	Window	Southwest Wall 2 (Face-225)	---	---	1	206.8	0.32	0.25	Insect Screen (default)
Window 12	Window	Northwest Wall 2 (Face-315)	---	---	1	142.5	0.32	0.25	Insect Screen (default)

01	02	03	04
Name	Side of Building	Area (ft ²)	U-factor
Door	Interior Surface Wall	46.0	0.50

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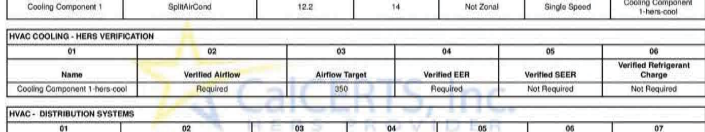
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HVAC Fan 1-hers fan	Required	0.58

01	02	03	04	05	06
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SF Fan IAQ/Verifgt	86.65	0.25	Default	0	Required



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