



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: May 24, 2017 REPORT NO. HO-17-040

HEARING DATE: May 31, 2017

SUBJECT: 826 Pismo Court CDP. Process Three Decision.

PROJECT NUMBER: [489689](#)

OWNER/APPLICANT: My-Own Beach House LLC/David Lombardi, Architect

### SUMMARY

Issue: Should the Hearing Officer approve an addition to a single dwelling unit located at 826 Pismo Court within the Mission Beach Community Planning area?

Staff Recommendation: Approve Coastal Development Permit No. 1718833.

Community Planning Group Recommendation: On May 16, 2017, the Mission Beach Precise Planning Board voted 9-0-0 to recommend approval without conditions.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities) and 15303 (New Construction and Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental determination for this project was made on April 14, 2017, and the opportunity to appeal that determination ended April 28, 2017.

### BACKGROUND/DISCUSSION

The 0.03-acre project site is located at 826 Pismo Court, east of Mission Boulevard and west of Bayside Lane (Attachment 1). The site is zoned R-N (residential northern subdistrict) of the Mission Beach Planned District and is designated for residential development within the Mission Beach Precise Plan (Attachment 2). The project site is located approximately 290 feet west of Mission Bay and 660 feet east of Pacific Ocean. The project site is within the Coastal (Appealable) Overlay Zone, Parking Impact Overlay Zone (Coastal and Beach), and the Residential Tandem Overlay Zones. The existing single family residence on the project site is surrounded by residential development (Attachment 3).

The project proposes to expand the existing one-story residence, by adding two floors and a rooftop deck, while removing encroachments within Pismo Court. A Coastal Development Permit is required

for the proposed floor area expansion exceeding 10 percent for projects located within 300 feet of the mean high tide line, pursuant San Diego Municipal Code [126.0704\(a\)\(2\)](#).

The site is not located within, or adjacent to, any Public Vantage Points identified in the Mission Beach Precise Plan nor on, or adjacent to, any existing physical or proposed accessway to the coast. The proposed use and density are consistent with the Mission Beach Precise Plan. The project is consistent with all development regulations, including, but not limited to, height, setbacks, parking, landscape and floor area ratio. No deviations are being requested.

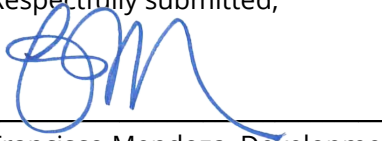
### Conclusion

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings and conditions (Attachments 5 and 6) to support approval of the project.

### ALTERNATIVES

1. Approve Coastal Development Permit No. 1718833, with modifications.
2. Deny Coastal Development Permit No. 1718833, if the findings required to approve the project cannot be affirmed.

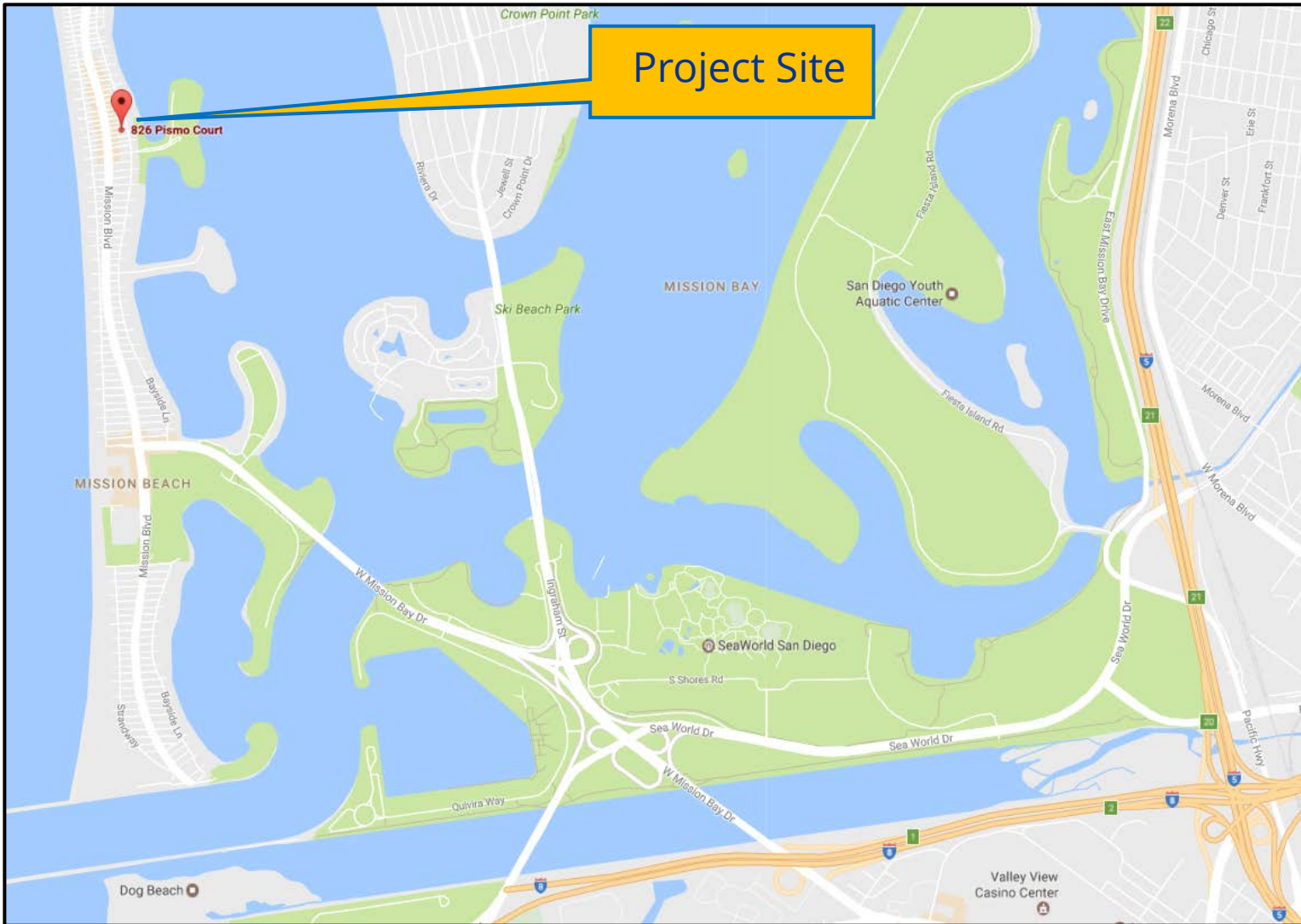
Respectfully submitted,

A handwritten signature in blue ink, appearing to be 'FM', written over a horizontal line.

Francisco Mendoza, Development Project Manager

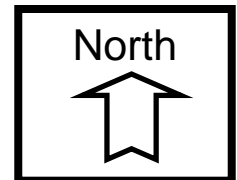
### Attachments:

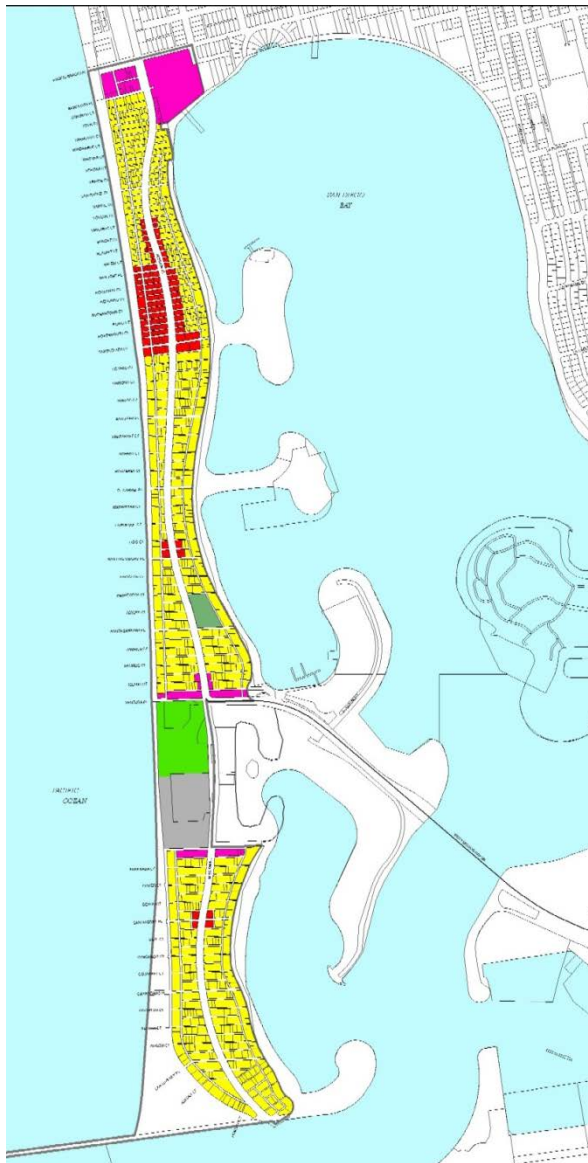
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



## Project Location Map

826 Pismo Court CDP / 826 Pismo Court  
Project No. 489689





- Legend**
- Residential (36 Units Per Acre)
  - Neighborhood Recreation
  - Neighborhood Commercial
  - Mission Beach Park (Belmont Park)
  - Parking
  - Schools
  - Community Boundary
  - Body of Water

**Project Site**



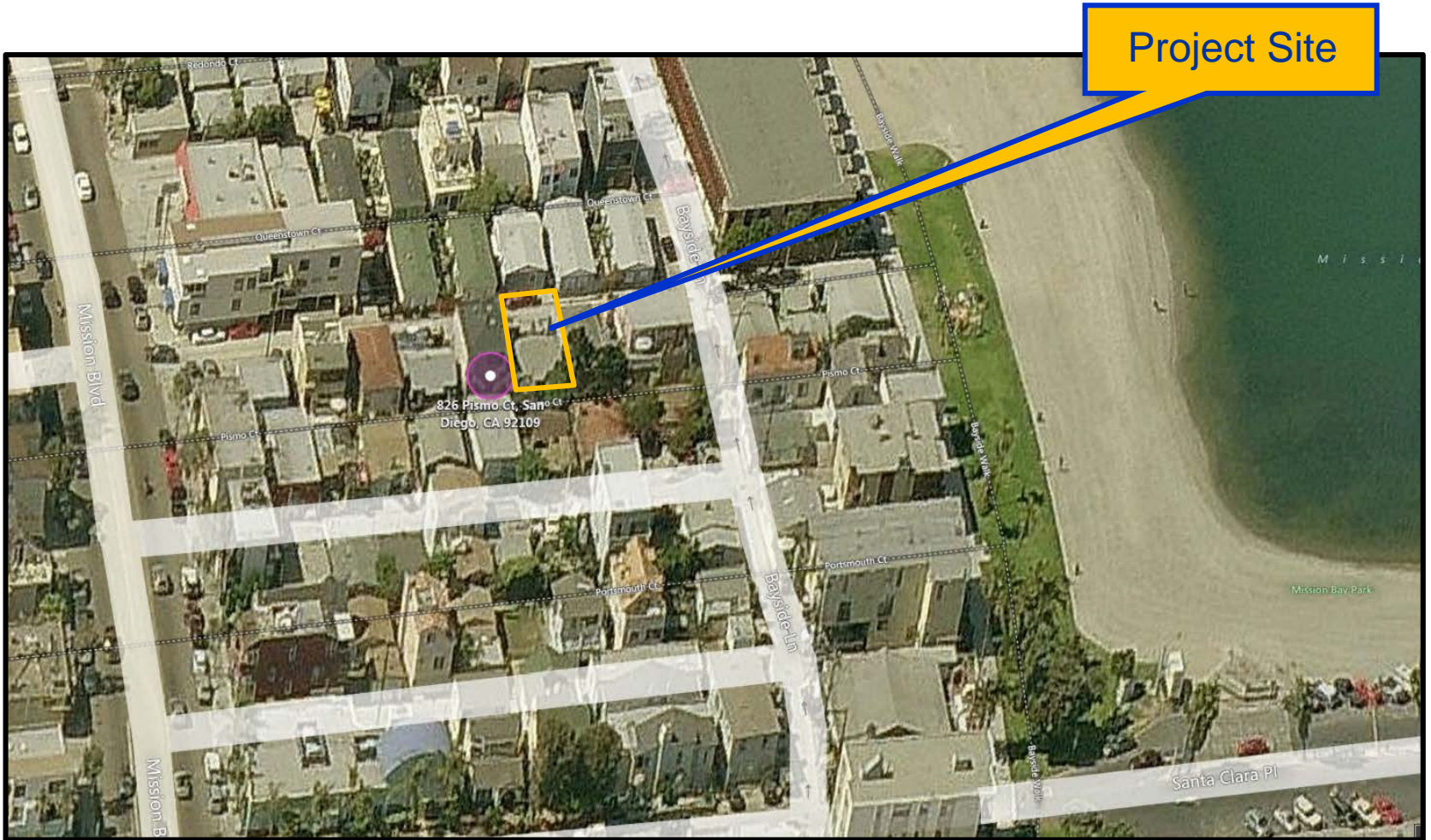
North



## Land Use Map

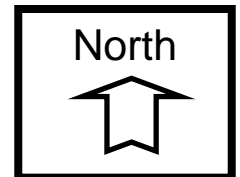
826 Pismo Court CDP / 826 Pismo Court  
Project No. 489689





## Aerial Photograph

826 Pismo Court CDP / 826 Pismo Court  
Project No. 489689



PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	826 Pismo Court CDP	
<b>PROJECT DESCRIPTION:</b>	Second- and third-story addition to an existing dwelling	
<b>COMMUNITY PLAN AREA:</b>	Mission Beach Community Plan	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Residential	
<p style="text-align: center;"><b>ZONING INFORMATION:</b></p> <p><b>ZONE:</b> R-N (Residential North Subdistrict)</p> <p><b>HEIGHT LIMIT:</b> 30 feet Coastal height (or None - except as modified by Overlay Zones)</p> <p><b>LOT SIZE:</b> 0.03 acres</p> <p><b>FLOOR AREA RATIO:</b> 1.1 FAR</p> <p><b>FRONT SETBACK:</b> 10 feet</p> <p><b>SIDE SETBACK:</b> 5 feet</p> <p><b>STREETSIDE SETBACK:</b> 3 feet</p> <p><b>REAR SETBACK:</b> NA</p> <p><b>PARKING:</b> 2 per dwelling</p>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential; R-N	Single and Multi-family Residential
<b>SOUTH:</b>	Residential; R-N	Single and Multi-family Residential
<b>EAST:</b>	Residential; R-N	Single and Multi-family Residential
<b>WEST:</b>	Residential; R-N	Single and Multi-family Residential
<b>DEVIATION REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On May 16, 2017, the Mission Beach Precise Planning Board voted 9-0-0 to recommend approval with no conditions or recommendations.	

HEARING OFFICER RESOLUTION NO. HO-\_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 1718833  
**826 PISMO COURT CDP - PROJECT NO. 489689**

WHEREAS, MY-OWN BEACH HOUSE, LLC, a California limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to remodel an existing single dwelling (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1718833), on portions of a 0.03-acre site;

WHEREAS, the project site is located at 826 Pismo Court in the R-N Zone of the Mission Beach Planned District, Coastal Appealable Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones of the Mission Beach Precise Plan and Local Coastal Program;

WHEREAS, the project site is legally described as Lot "M" in block 184 of Mission Beach, according to Map thereof No. 1651, filed December 14, 1914;

WHEREAS, on April 14, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and 15303 (New Construction and Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 31, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1718833 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 31, 2017.

FINDINGS:

Coastal Development Permit - Section 126.0708

**1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a local coastal program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the local coastal program land use plan.**

The proposed project is located at 826 Pismo Court and within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The site is not located within, or adjacent to, any Public Vantage Points of the Mission Beach Precise Plan, nor on, or adjacent to, any existing physical accessway or proposed accessway to the coast. The

proposed building would conform to the maximum 30-foot height limit required by the zone. The project is completely contained within the private property. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a local coastal program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the local coastal program land use plan.

**2. The proposed coastal development will not adversely affect Environmentally Sensitive Lands.**

The project site is located in a built, urban environment, and is not located on, or adjacent to, any Environmentally Sensitive Lands. The project is not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). The project is conditioned to provide a Water Pollution Control Plan (WPCP) prior to the issuance of a building permit to ensure possible runoff is collected during construction and not deposited into Mission Bay or the Pacific Ocean. Therefore the proposed coastal development will not adversely affect Environmentally Sensitive Lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation Program.**

The proposed project is located within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The Precise Plan designated the site for residential development at a density range of 10 - 40 dwelling units per acre (du/ac). The project proposes to remodel an existing single-dwelling residence, by constructing a second and third floor. The project is consistent with the designated land use and density in the plan (33 du/ac proposed). The project complies with all of the development regulations of the zone and no deviations are being requested.

The proposed project meets the land use designation of the certified Implementation Program, including compliance to the San Diego Municipal Code development regulations including, but not limited to, height, setbacks, parking, landscape and floor area ratio. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the nearest public road and the shoreline of a body of water, therefore the finding is not applicable.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1718833 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1718833, a copy of which is attached hereto and made a part hereof.



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Francisco Mendoza  
Development Project Manager  
Development Services

Adopted on: May 31, 2017

IO#: 24006700

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006700

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1718833  
**826 PISMO COURT CDP - PROJECT NO. 489689**  
HEARING OFFICER

This Coastal Development Permit No. 1718833 is granted by the HEARING OFFICER of the City of San Diego to MY-OWN BEACH HOUSE, LLC, a California limited liability company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.03-acre site is located at 826 Pismo Court in the MBPD-R-N, Coastal Appealable Overlay, Coastal Height Limitation Overlay, and Parking Impact Overlay Zones of the Mission Beach Precise Plan and Local Coastal Program. The project site is legally described as: Lot "M" in block 184 of Mission Beach, according to Map thereof No. 1651, filed December 14, 1914;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees permit to remodel an existing single dwelling described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2017, on file in the Development Services Department.

The project shall include:

- a. Addition to an existing single dwelling residence by constructing a second and third floor with roof deck;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 15, 2020.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

12. Prior to issuance of any construction permit, the Owner/Permittee shall comply with The Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A," to the satisfaction of the Development Services Department. All CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements."

**ENGINEERING REQUIREMENTS:**

13. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

14. The surface drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall to remove the private encroachments in the Pismo Court Right-of-Way including existing wood deck, foundations, guard wall, stairs, gate, and shade structure over existing deck, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan prepared in accordance with the guidelines in Part 2 Construction Best Management Practices Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPING REQUIREMENTS:**

18. Prior to issuance of construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the Mission Beach Planned District Ordinance, and the Land Development Manual - Landscape Standards.
19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained in a disease, weed and litter free condition at all times.
20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Final Landscape Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.



23. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls shall be in compliance with the requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision-maker in accordance with the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 31, 2017 and HO-\_\_\_\_\_.

## ATTACHMENT 6

Coastal Development Permit No. 1718833  
Date of Approval: May 31, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Francisco Mendoza  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**My-Own Beach House, LLC**  
**a California limited liability company**  
Owner/Permittee

By \_\_\_\_\_  
Bryan Mione  
President

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.V**



THE CITY OF SAN DIEGO

Date of Notice: April 14, 2017

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24006700

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**PROJECT NAME/NUMBER:** PISMO COURT CDP/ 489689**COMMUNITY PLAN AREA:** Mission Beach**COUNCIL DISTRICT:** 2**LOCATION:** 826 Pismo Court, San Diego, California 92109

**PROJECT DESCRIPTION:** This project is requesting a Coastal Development Permit for the remodel and addition of two stories to an existing single-story dwelling unit for a total of 1,375 square-feet. The 0.03 acre project site is located at 826 Pismo Court. The project site is designated Residential and zoned MBPD-R-N within the Mission Beach Community Plan area. Additionally, the project site is within Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable), Parking Impact Overlay Zone (Beach and Coastal) and Residential Tandem Parking Overlay Zone and Transit Area Overlay Zone. (LEGAL DESCRIPTION: Lot M, Block 184, Map 001809 in the City and County of San Diego).

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer (Process 3)**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and 15303 (New Construction).**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section 15301 (Existing Facilities) which allows for the operation, leasing, or minor modification of existing facilities. The project also meets the criteria set forth in CEQA Section 15303 (New Construction) which allows for the construction and location of limited numbers of new, small facilities or structures; examples include but are not limited to one single-family residence, or a second dwelling unit in a residential zone. Furthermore, the exceptions listed in 15300.2 would not apply.

**DEVELOPMENT PROJECT MANAGER:** Francisco Mendoza  
**MAILING ADDRESS:** 1222 First Avenue, MS 301, San Diego, CA 92101-4153  
**PHONE NUMBER:** (619) 446-5433/ [fmendoza@saniego.gov](mailto:fmendoza@saniego.gov)

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On April 14, 2017 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (April 28, 2017). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

**From:** [dkwatks@aol.com](mailto:dkwatks@aol.com)  
**To:** [Mendoza, Francisco](#)  
**Cc:** [david-lombardi@sbcglobal.net](mailto:david-lombardi@sbcglobal.net)  
**Subject:** Project No. 489689 - 826 Pismo Court  
**Date:** Wednesday, May 17, 2017 10:48:10 AM

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Hello Pancho,

The Mission Beach Precise Planning Board ("MBPPB") conducted a second review of the above-referenced proposed project plans at its May 16, 2017 Meeting.

Please be advised that the MBPPB voted 9-0-0 to approve the proposed project plans as presented for 826 Pismo Court CDP for the remodel and two-story addition to an existing single-family residence dwelling unit totaling 1,375 sq. ft.

Let me know if you need anything else.

Thank you,

Debbie Watkins, Chair/Secretary  
Mission Beach Precise Planning Board  
(858) 344-1684





City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

## Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit  
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other \_\_\_\_\_

Project Title

Project No. For City Use Only

MIONE RESIDENCE 826 PISMO CT. 489689

Project Address:

826 PISMO COURT, S.D. CA 92109

### Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☐ No

Name of Individual (type or print): BRYAN MIONE

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address: 8770 SHOREHAM DR, APT 6

City/State/Zip: WEST HOLLYWOOD, CA 90069

Phone No: 818-730-5042 Fax No: \_\_\_\_\_

Signature: [Signature] Date: 5/4/16

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: <u>826 Pismo Ct.</u>	Project No. (For City Use Only) <u>489689</u>
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**Part II - To be completed when property is held by a corporation or partnership**

Legal Status (please check):

☐ Corporation 
 ☒ Limited Liability -or- 
 ☐ General 
 What State? CA 
 Corporate Identification No. 46-4197982

☐ Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached ☐ Yes ☐ No

Corporate/Partnership Name (type or print): <u>MY-OWN BEACH HOUSE</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>6778 JULIE LN</u> City/State/Zip: <u>WEST HILLS, CA 91307</u> Phone No: <u>818-730-5042</u> Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>BRYAN MIONE</u> Title (type or print): <u>PRESIDENT</u> Signature: <u>[Signature]</u> Date: <u>5/4/16</u>	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature: _____ Date: _____



 City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5000	<b>Storm Water Requirements</b> <b>Applicability Checklist</b> JANUARY 2011	<b>FORM</b> <b>DS-560</b>
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Project Address: **826 PISMO COURT** Project Number (for City Use Only):

### SECTION 1. Permanent Storm Water BMP Requirements:

Additional information for determining the requirements is found in the *Storm Water Standards Manual*.

**Part A: Determine if Exempt from Permanent Storm Water BMP Requirements.**  
 Projects that are considered maintenance, or are otherwise not categorized as "development projects" or "redevelopment projects" according to the *Storm Water Standards Manual* are not required to install permanent storm water BMPs. If "Yes" is checked for any line in Part A, proceed to Part C and check the box labeled "Exempt Project." If "No" is checked for all of the lines, continue to Part B.

- The project is not a Development Project as defined in the *Storm Water Standards Manual*: for example habitat restoration projects, and construction inside an existing building. ☐ Yes ☒ No
- The project is only the construction of underground or overhead linear utilities. ☐ Yes ☒ No
- The project qualifies as routine maintenance (replaces or renews existing surface materials because of failed or deteriorating condition). This includes roof replacement, pavement spot repairs and resurfacing treatments such as asphalt overlay or slurry seal, and replacement of damaged pavement. ☐ Yes ☒ No
- The project only installs sidewalks, bike lanes, or pedestrian ramps on an existing road, and does not change sheet flow condition to a concentrated flow condition. ☐ Yes ☒ No

**Part B: Determine if Subject to Priority Development Project Requirements.**  
 Projects that match one of the definitions below are subject to additional requirements including preparation of a Water Quality Technical Report. If "Yes" is checked for any line in Part B, proceed to Part C and check the box labeled "Priority Development Project." If "No" is checked for all of the lines, continue to Part C and check the box labeled "Standard Development Project."

- Residential development of 10 or more units. ☐ Yes ☒ No
- Commercial development and similar non-residential development greater than one acre. Hospitals, laboratories and other medical facilities; educational institutions; recreational facilities; municipal facilities; commercial nurseries; multi-apartment buildings; car wash facilities; mini-malls and other business complexes; shopping malls; hotels; office buildings; public warehouses; automotive dealerships; and other light industrial facilities. ☐ Yes ☒ No
- Heavy industrial development greater than one acre. Manufacturing plants, food processing plants, metal working facilities, printing plants, and fleet storage areas. ☐ Yes ☒ No
- Automotive repair shop. Facilities categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539. ☐ Yes ☒ No
- Restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC code 5812), and where the land area for development is greater than 5,000 square feet. ☐ Yes ☒ No
- Hillside development greater than 5,000 square feet. Development that creates 5,000 square feet of impervious surface and is located in an area with known erosive soil conditions and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No
- Water Quality Sensitive Area. Development located within, directly adjacent to, or discharging directly to a Water Quality Sensitive Area (as depicted in Appendix C) in which the project either creates 2,000 square feet of impervious surface on a proposed project site or increases the area of imperviousness of a proposed project site to 10% or more of its naturally occurring condition. "Directly adjacent" is defined as being situated within 200 feet of the Water Quality Sensitive Area. "Discharging directly to" is defined as outflow from a drainage conveyance system that is connected entirely or flows from the subject development or redevelopment site, and not commingled with flows from adjacent lands. ☐ Yes ☒ No
- Parking lot with a minimum area of 5,000 square feet or a minimum of 15 parking spaces and potential exposure to urban runoff (unless it meets the exclusion for parking lot reconfiguration on line 11). ☐ Yes ☒ No

### STORM WATER QUALITY NOTES

#### CONSTRUCTION BMP'S

This project shall comply with all requirements of the Municipal Permit issued by San Diego Regional Water Quality Control Board (SDRWQCB) and Municipal Storm Water National Pollution Discharge Elimination System (NPDES) Permit on January 24, 2007 [http://www.sdrwqcb.org/water\\_issues/programs/stormwater/construction.shtml](http://www.sdrwqcb.org/water_issues/programs/stormwater/construction.shtml) and the City of San Diego Land Development Code (<http://docs.sandiego.gov/municode/municode/Chapter14/C141402/Division02.pdf>) and Storm Water Manual (<http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf>)

Notes below represent key minimum requirements for construction BMP's.

- The contractor shall be responsible for cleanup of all silt and mud on adjacent street(s), due to construction vehicles or any other construction activity, at the end of each work day, or after a storm event that causes a breach in installed construction BMP's which may compromise Storm Water Quality within any street(s). A stabilized construction exit may be required to prevent construction vehicles or equipment from tracking mud or silt onto the street.
- All stockpiles of soil and/or building materials that are intended to be left for a period greater than seven calendar days are to be covered. All removable BMP devices shall be in place at the end of each working day when five day rain probability forecast exceeds 40%.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements which are to be poured in place on site.
- The contractor shall restore all erosion/sediment control devices to working order after each run-off producing rainfall or after any material breach in effectiveness.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

### Plan Notes

- The site will discharge all storm water run-off to the Public Right-of-Way.
- The existing water and sewer services will remain.
- No access gate shall swing into the Public Right-of-Way.
- All legal parking areas shall be surfaced with asphaltic concrete at least 2 inches in depth or its equivalent, satisfactory of the City Engineer.
- Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

- An automatic below-grade irrigation system shall be provided as required for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.
- All required landscape areas shown on these plans shall be maintained by Bryan Mione, owner.
- All landscape and irrigation shall conform to the requirements of the Mission Beach Planned District Ordinance and Land Development Manual Landscape Standards.

- Plumbing fixtures to meet or exceed the following:
- Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi;
  - Standard dishwashers: 4.25 gallons per cycle;
  - Compact dishwashers: 3.5 gallons per cycle; and
  - Clothes washers: water factor of 6 gallons per cubic feet of drum capacity

9. Street, road, highway, or freeway. New paved surface in excess of 5,000 square feet used for the transportation of automobiles, trucks, motorcycles, and other vehicles (unless it meets the exclusion for road reconfiguration on line 11).	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
10. Retail Gasoline Outlet (RGO) that is: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
11. Significant Redevelopment; project installs and/or replaces 5,000 square feet or more of impervious surface and the existing site meets at least one of the categories above. The project is not considered Significant Redevelopment if reconfiguring an existing road or parking lot without a change to the footprint of an existing developed road or parking lot. The existing footprint is defined as the outside curb or the outside edge of pavement when there is no curb.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
12. Other Pollutant Generating Project. Any other project not covered in the categories above, that disturbs one acre or more and is not excluded by the criteria below.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

*Projects creating less than 5,000 sq. ft. of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces.*

**Part C: Select the appropriate category based on the outcome of Parts A & B.**

- If "Yes" is checked for any line in Part A, then check this box. Continue to Section 2. ☐ Exempt Project
- If "No" is checked for all lines in Part A, and Part B, then check this box. ☒ Standard Development Project
- If "No" is checked for all lines in Part A, and "Yes" is checked for at least one of the lines in Part B, then check this box. Continue to Section 2. See the Storm Water Standards Manual for guidance on determining if Hydromodification Management Plan requirements apply. ☐ Priority Development Project

**SECTION 2. Construction Storm Water BMP Requirements:**  
 For all projects, complete Part D. If "Yes" is checked for any line in Part D, then continue to Part E.

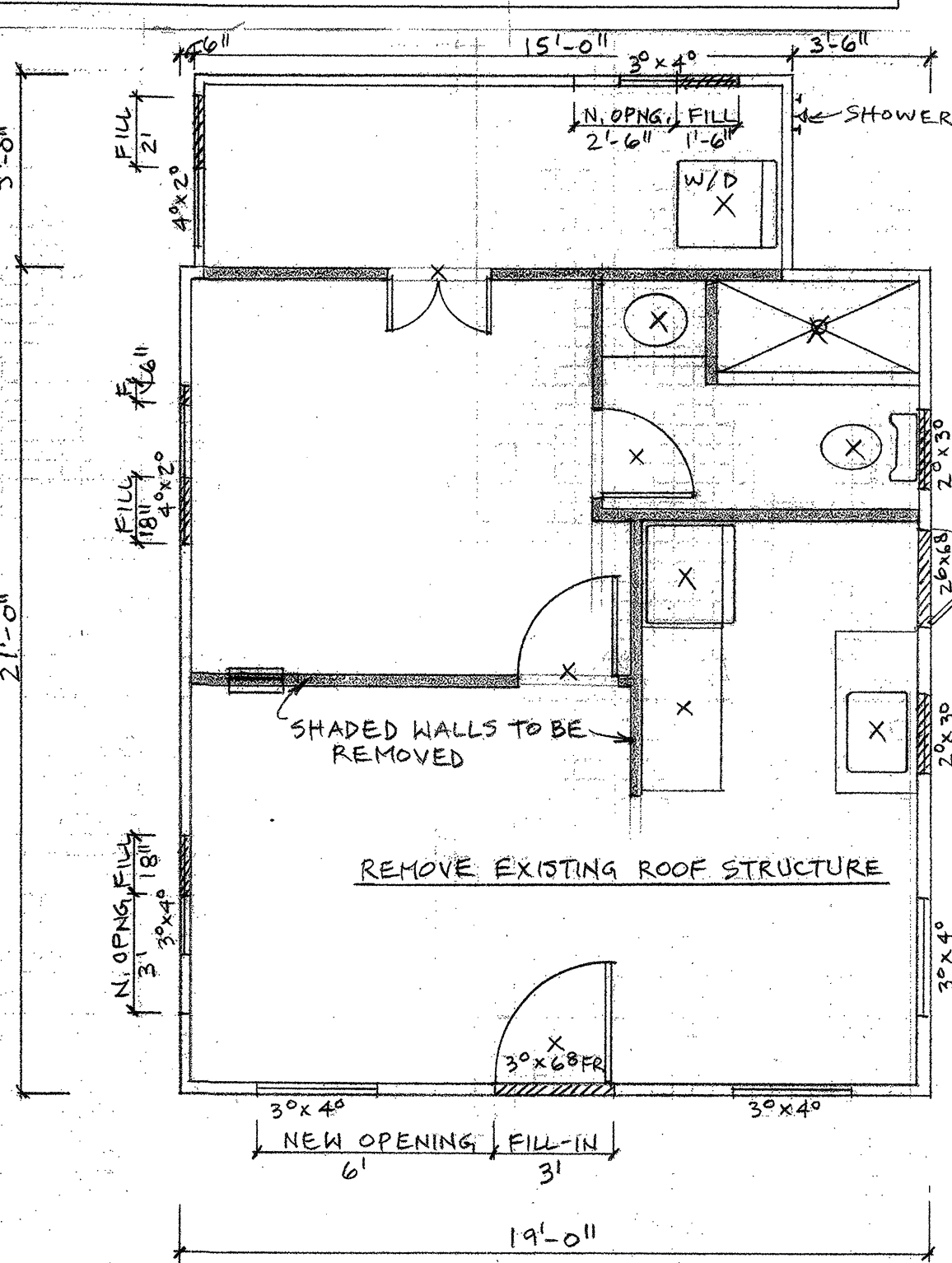
**Part D: Determine Construction Phase Storm Water Requirements.**

- Is the project subject to California's statewide General NPDES Permit for Storm Water Discharges Associated with Construction Activities? (See State Water Resources Control Board Order No. 2009-0009-DWQ for rules on enrollment) ☐ Yes ☒ No
- Does the project propose grading or soil disturbance? ☒ Yes ☐ No
- Would storm water or urban runoff have the potential to contact any portion of the construction area, including washing and staging areas? ☐ Yes ☒ No
- Would the project use any construction materials that could negatively affect water quality if discharged from the site (such as paints, solvents, concrete, and stucco)? ☒ Yes ☐ No
- Check this box if "Yes" is checked for line 1. Continue to Part E. ☐ SWPPP Required
- Check this box if "No" is checked for line 1, and "Yes" is checked for any line 2-4. Continue to Part E. ☒ WPCP Required
- Check this box if "No" is checked for all lines 1-4. Part E does not apply. ☐ No Document Required

**Part E: Determine Construction Site Priority**  
 This prioritization must be completed with this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of the projects both before and during construction. (Note: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by City staff.)

- High Priority**
  - Projects where the site is 50 acres or more and grading will occur during the wet season
  - Projects 1 acre or more and tributary to an impaired water body for sediment (e.g., Petasquitos watershed)
  - Projects 1 acre or more within or directly adjacent to or discharging directly to a coastal lagoon or other receiving water within a Water Quality Sensitive Area.
  - Projects subject to phased grading or advanced treatment requirements.
- Medium Priority** Projects 1 acre or more but not subject to a high priority designation.
- Low Priority** Projects requiring a Water Pollution Control Plan but not subject to a medium or high priority designation.

Name of Owner or Agent (Please Print): \_\_\_\_\_ Title: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_



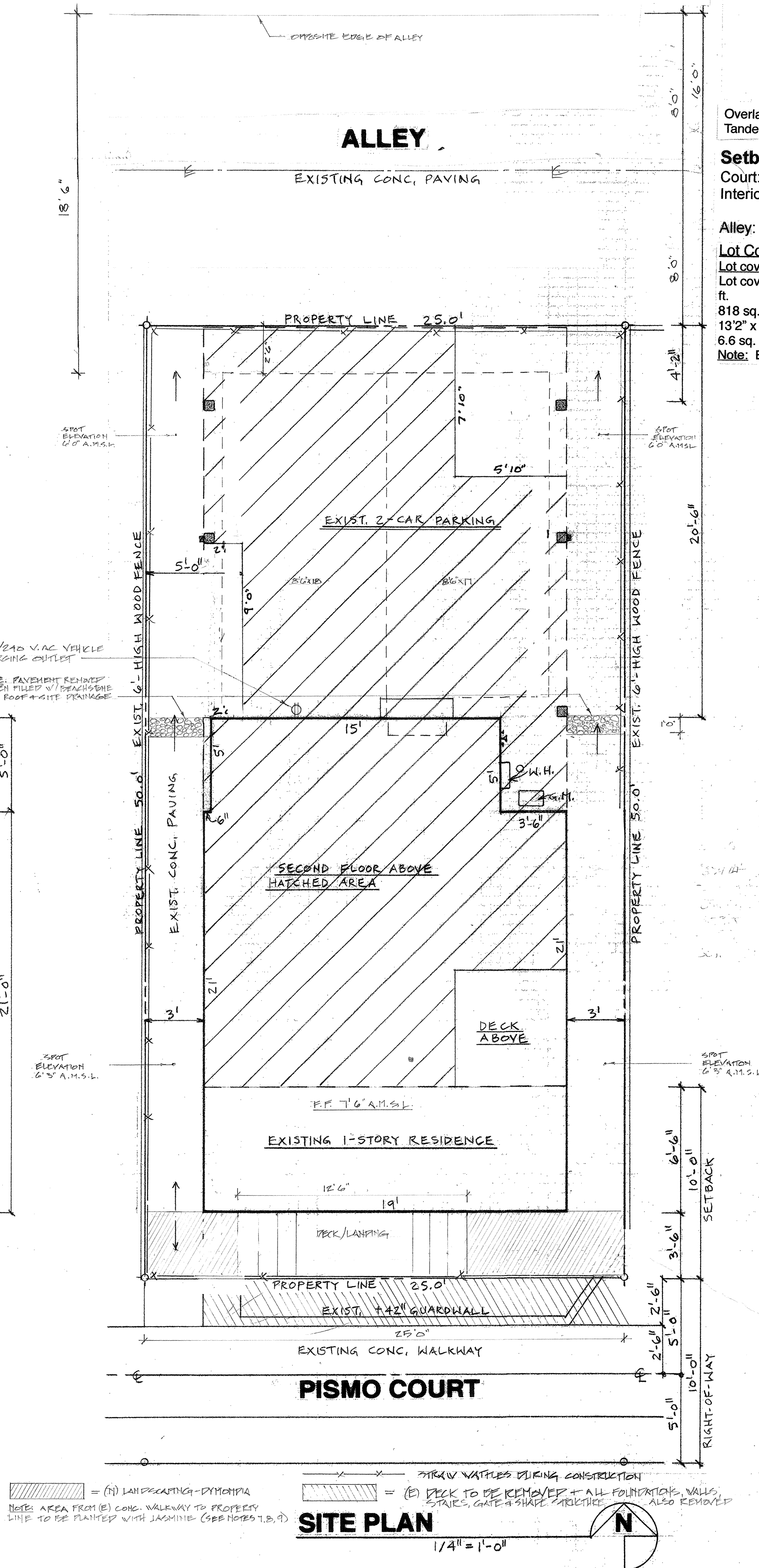
### DEMOLITION FLOOR PLAN

1/4" = 1'-0"

EXISTING EXTERIOR WALL LENGTH = 90' L.F.

EXISTING EXTERIOR WALLS TO BE MODIFIED = 358' PG. 1A

Elevations sourced from benchmark indexed 2259 16925 at 4.088' A.M.S.L. C/L Mon.



**FIRE SPRINKLER NOTES:**  
 THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY CALIFORNIA RESIDENTIAL CODE SECTION R313 HAS BEEN DEFERRED. TO AVOID DELAYS IN CONSTRUCTION, FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR TO APPROVAL OF THE FIRE SPRINKLER PLANS.

### Sheet Index

- Site & Demolition Plans and Information
- Existing Conditions Elevations with Wall Retention Calculations
- New 1st, 2nd & 3rd Floor Plans
- New Exterior Elevations
- Foundation, 2nd & 3rd Floor Framing Plans
- 3rd Floor framing and Roof Framing Plans

Overlay Zones: Coastal Height, Parking Impact (Beach & Coastal), Residential Tandem, and Transit.

### Setbacks

Court: 10 feet standard  
 Interior: 5 feet standard or 3 feet under 20 feet in elevation then sloping back at 45 degrees  
 Alley: 0 feet

### Lot Coverage:

Lot coverage allowed 65%. Lot = 1250 sq. ft. 65% = 812.5 sq. ft.  
 Lot coverage arithmetic: 19'0" x 44'0" = 836 sq. ft. minus 2'0" x 9'0" (18 sq. ft.) = 818 sq. ft.  
 818 sq. ft. minus 5'10" x 7'10" (45.7 sq. ft.) = 772.3 sq. ft. plus beams' 5'10" + 7'6" = 13'2" x 6" = 6.6 sq. ft.  
 6.6 sq. ft. + 772.3 sq. ft. = 778.9 sq. ft. 778.9/1250 = 62.3% actual lot coverage  
 Note: Existing front deck does not count as lot coverage as it is below 20" above grade.

### SCOPE OF WORK

ADD A SECOND AND THIRD FLOOR WITH EXTERIOR DECKS TO AN EXISTING SINGLE-STORY SINGLE-FAMILY RESIDENCE.  
 A COASTAL DEVELOPMENT PERMIT IS REQUIRED

THESE PLANS SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE, THE 2013 CALIFORNIA RESIDENTIAL CODE, THE 2013 CALIFORNIA ELECTRICAL CODE, THE 2013 CALIFORNIA PLUMBING CODE, THE 2013 CALIFORNIA MECHANICAL CODE, THE 2013 GREEN BUILDING CODE AND THE 2013 CALIFORNIA FIRE CODE.

### SITE INFORMATION

LOT AREA 1,250 #  
 EXISTING ONE-STORY RESIDENCE 474 #  
 PROPOSED FIRST FLOOR 0 #  
 PROPOSED SECOND FLOOR AREA 658 #  
 PROPOSED THIRD FLOOR AREA 240 #  
 PROPOSED SECOND FLOOR DECKS 82 #  
 PROPOSED THIRD FLOOR DECKS 153 #  
 ALLOWABLE F.A.R. 1,250 X 1.1 = 1,375 #  
 TOTAL ENCLOSED AREA = 1,372 #  
 GEOLOGIC HAZARD = SE  
 (B) SINGLE-FAMILY RESIDENCE BUILT

### LEGAL DESCRIPTION

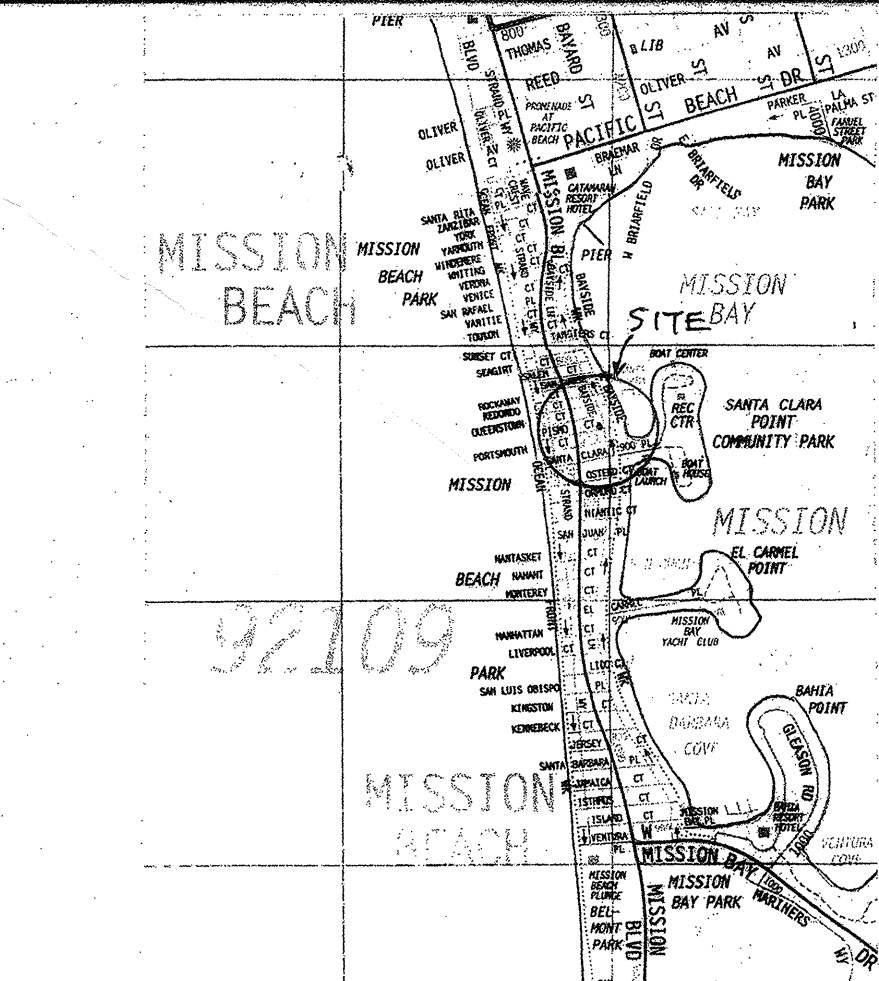
LOT M, BLOCK 184, MAP # 001809, IN THE CITY & COUNTY OF SAN DIEGO.

### ASSESSOR'S #: 423-586-16

### ZONE: MBPD-RN

### OCCUPANCY: R-3

### CONST. TYPE: V-B



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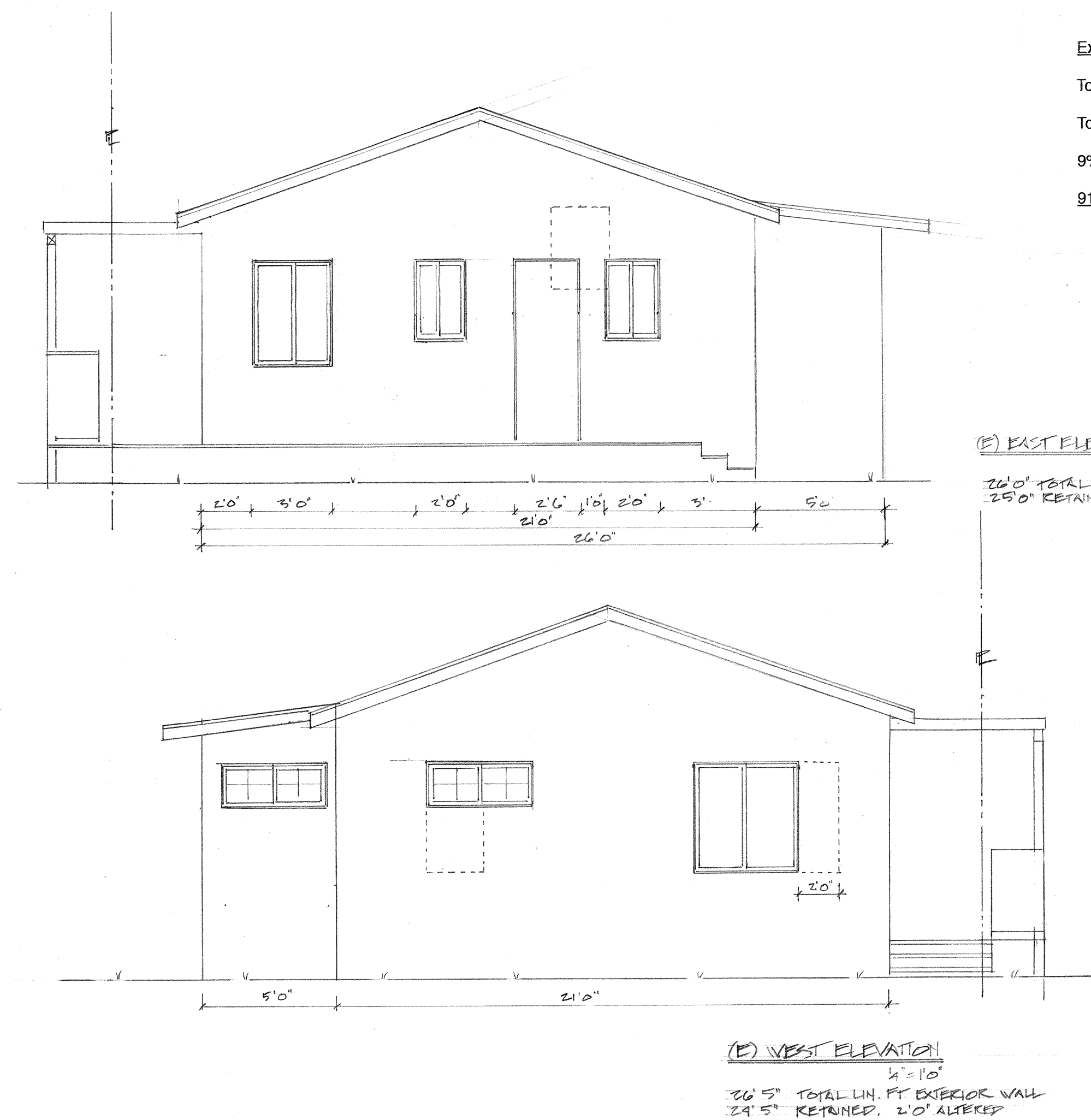
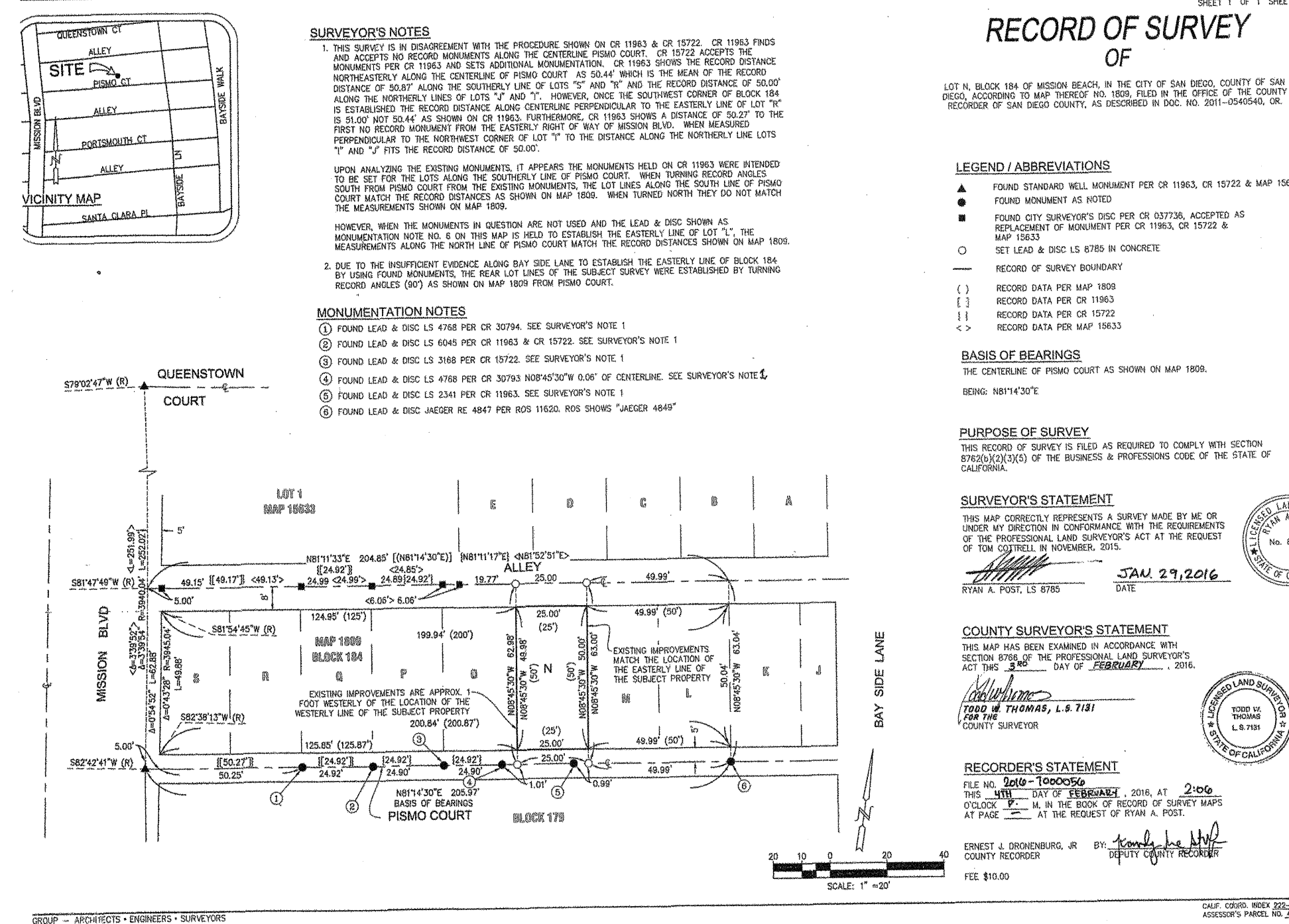
**ROGER UTT - ARCHITECT**  
 Contact: David Lombardi, Architect/Builder  
 739 Yarmouth Court  
 San Diego, CA 92109  
 (858) 733-2989

**BRYAN MIONE**  
 6778 JULIE LANE  
 WEST HILLS, CA 91307  
 (818) 730-5042

**Mione Residence**  
 826 PISMO COURT  
 SAN DIEGO, CA 92109  
**SITE**

Date	
Scale	
Drawn	
Job	
Sheet	1
Of 5 Sheets	





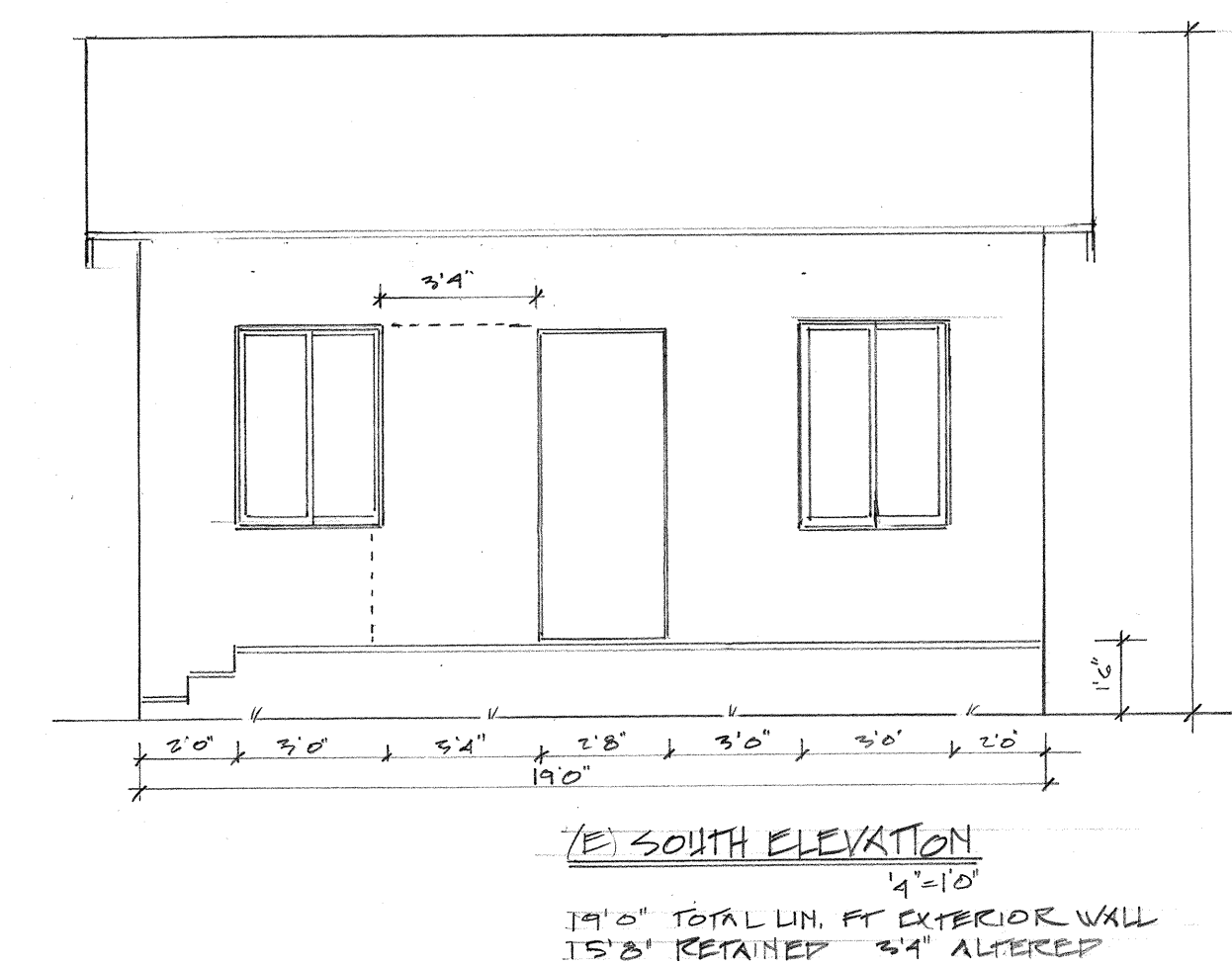
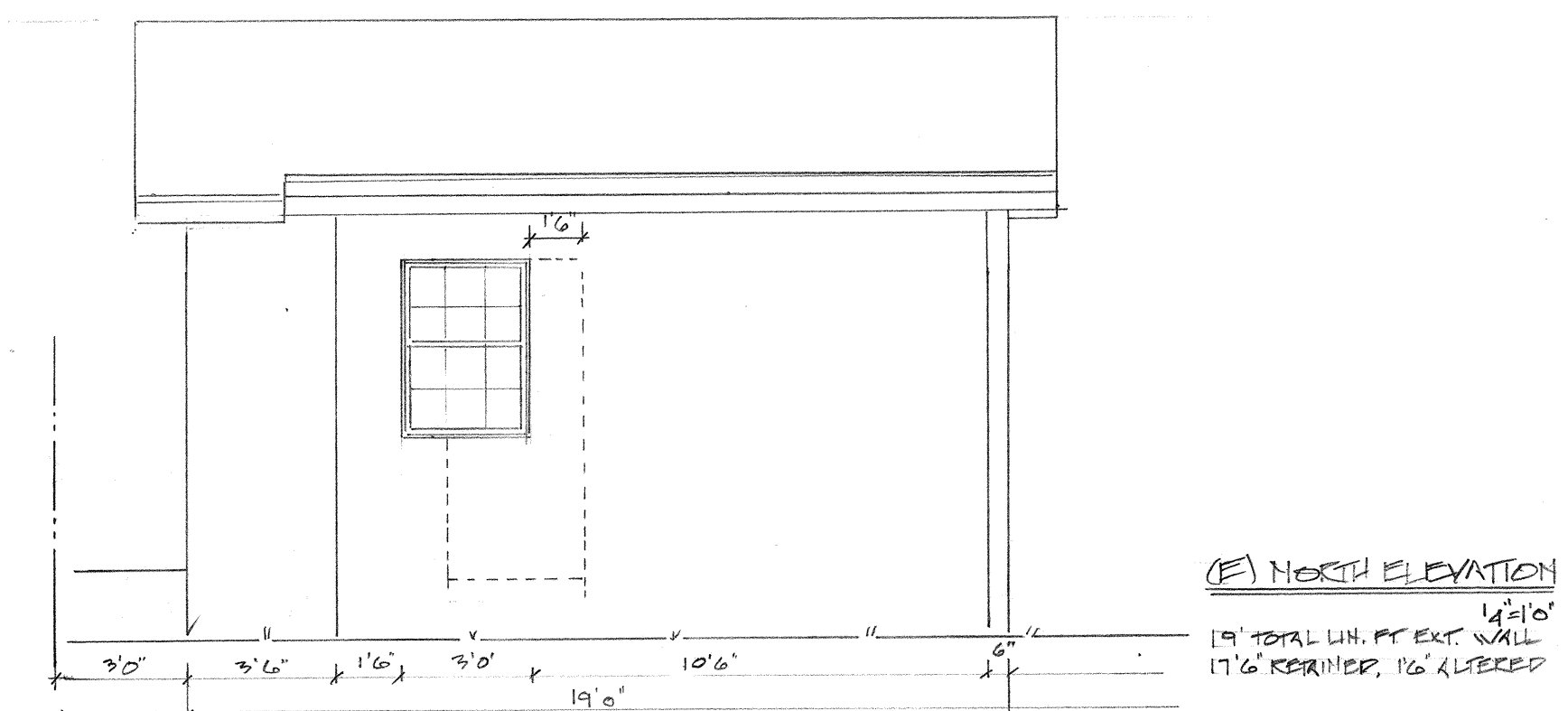
### Existing Exterior Walls Retained vs. Exterior Walls Removed

Total Lin. Ft. of Existing Exterior Walls: 90 lin. ft.

Total Exterior Walls to be altered/removed: 8 lin. ft.

9% of Existing Exterior Walls to be altered/removed

91% of Existing Exterior Walls to be retained.



















## Mione Residence

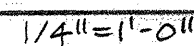
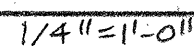
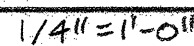
826 Pismo Court, San Diego, CA 92109  
Lot M, Block 184, Map 001809

DL DAVID LOMBARDI, Architect/Builder (858) 539-6900  
CA Arch. Lic. #C-29931, CA Contr. Lic.#606620

A



	EXISTING FIXTURE
	CEILING MOUNTED FIXTURE
	RECESSED FIXTURE
	DOUBLE OUTLET RECEPTACLE
	SWITCH (DIMMER)
	THREE-WAY SWITCH
	FLUSH MOUNTED CEILING LIGHT & EXH. FAN
	SMOKE DETECTOR
	TELEPHONE OUTLET
	T. V. CABLE OUTLET
	THERMOSTAT
	PUSH BUTTON
	DOOR CHIME
	DUPLEX OUTLET, SPLIT WIRE
	WALL MOUNTED FIXTURE
	FLUORESCENT FIXTURE



**WALL LEGEND**

--- EXISTING WALL REMOVED

== EXISTING WALL TO REMAIN

■ NEW WALL OR FILL-IN

▨ ENTIRE DECK, FOUNDATIONS, WALLS, STRIPS, GATES, & WARD STRUCTURE TO BE REMOVED FROM FISHBOAT CARRIER RAILROAD WAY.

24 X 35

**CLEARPRINT®**

**Contact:** David Lombardi, Architect/Builder  
739 Yarmouth Court  
San Diego, CA 92109  
(858) 733-2989

**WITE**  
**Mione Residence**  
**826 PISMO COURT**  
**SAN DIEGO, CA 92109**

Date
Scale
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Sheet
2
Of 5 Sheets

# ATTACHMENT 10



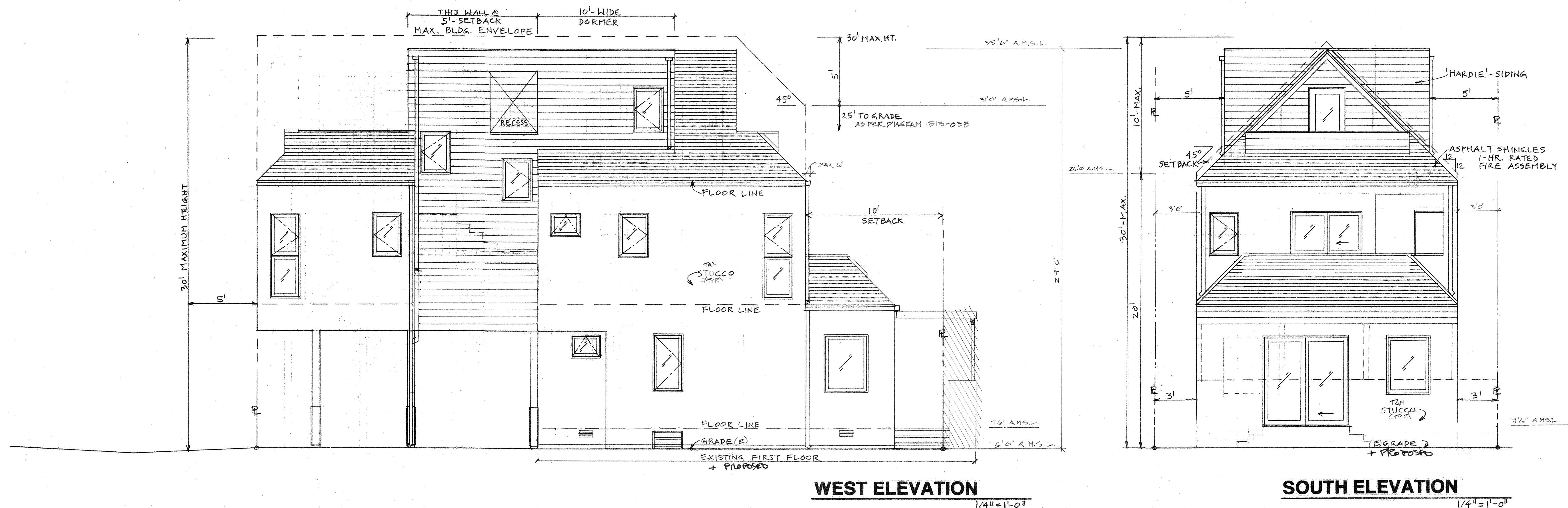
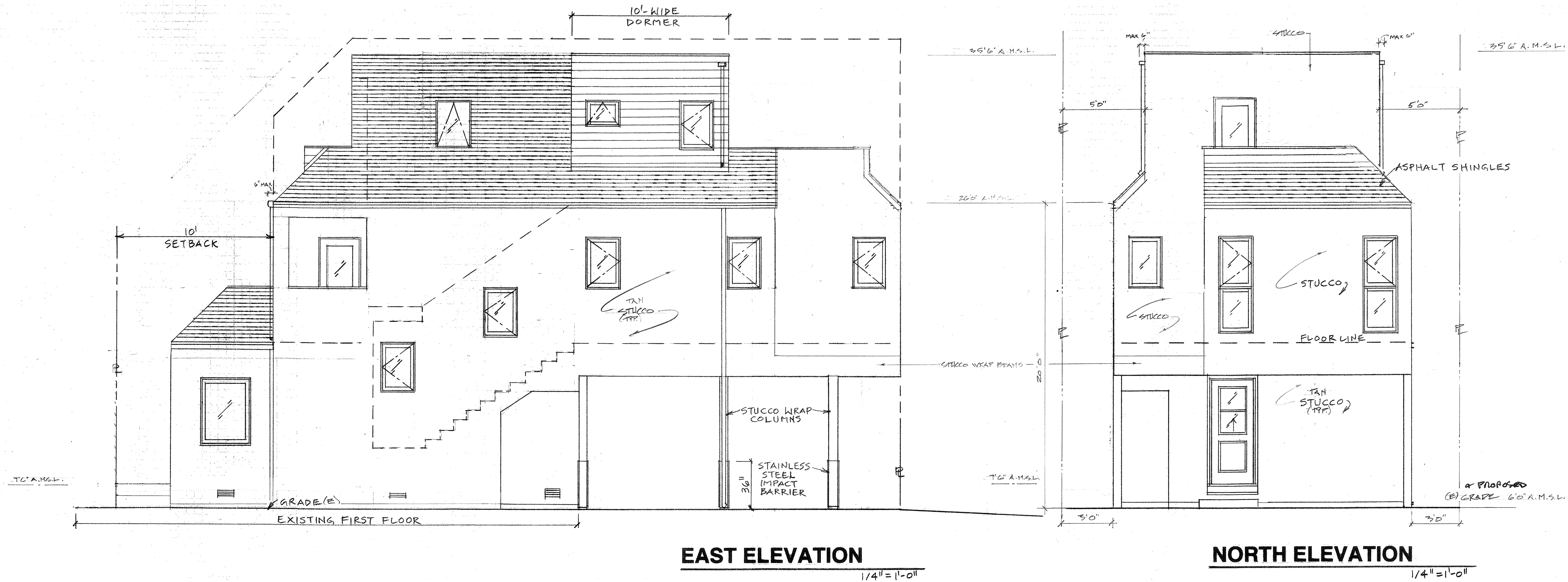
REVISIONS	BY

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 Contact: David Lombardi, Architect/Builder  
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 6778 JULIE LANE SITE  
 WEST HILLS, CA 91307  
**OWNER** (818) 730-5042

Mione Residence  
 826 PISMO COURT  
 SAN DIEGO, CA 92109  
**SITE**

Date
Scale
Drawn
Job
Sheet
3
Of 5 Sheets



/// = STRUCTURE TO BE REMOVED

Elevations sourced from benchmark indexed 2259 16925 at 4.088' A.M.S.L. C/L Mon.