



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: July 19, 2017 REPORT NO. HO-17-047

HEARING DATE: July 26, 2017

SUBJECT: KLEIN RESIDENCE CDP/SDP, Process Three Decision

PROJECT NUMBER: [441535](#)

OWNER/APPLICANT: Klein Family Trust, Owner  
Hilary Lowe, Alcorn Benton Architects, Architect/Agent

### SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development/Site Development Permit to demolish a single family dwelling unit and construct a two-story, single family dwelling unit with basement and an attached three-car garage located at 2585 Calle Del Oro in the La Jolla Community Plan area?

#### Staff Recommendations:

1. Adopt Mitigated Negative Declaration No. 441535 and Adopt the Mitigation Monitoring and Reporting Program; and
2. APPROVE Coastal Development Permit No. 1553878; and
3. APPROVE Site Development Permit No. 1553883.

Community Planning Group Recommendation: On June 2, 2016, the La Jolla Community Planning Association's voted 11-0-3 to recommend approval of this project with no conditions (Attachment 8).

La Jolla Shores Advisory Board: On November 17, 2015, the La Jolla Shores Advisory Board voted 4-0-1 to recommend approval of this project (Attachment 8).

Environmental Review: A Mitigated Negative Declaration No. 441535 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be

implemented to reduce, to a level below significance, potential impacts identified in the environmental review process.

## BACKGROUND

The existing home was built in 1961, along the west side of Calle Del Oro, north of Torrey Pines Road approximately five blocks east of the Pacific Ocean (Attachment 1). The surrounding properties are fully developed and form a well-established single dwelling unit residential neighborhood (Attachment 3). The existing structure is more than 45 years old; however, staff evaluated the home and conclude it is not historically significant, and is not eligible for historic designation under local, state or federal criteria.

The 20,028-square-foot project site is located in the SF Zone (Single Family Zone) of the La Jolla Shores Planned District, Coastal Overlay Zone (Non-Appealable), Coastal Height Limitation Overlay Zone, Coastal Parking Impact Overlay Zone, and within the La Jolla Community Plan area. The proposal would demolish the existing home and construct a new 8,980-square-foot, two-story dwelling unit with basement and an attached three car garage. A Coastal Development Permit is required by the San Diego Municipal Code (SDMC) Section 126.0702 for the proposed demolition and construction on property within the Coastal Overlay Zone. A Site Development Permit is required by the SDMC Section 1510.0201(d) for major development within the La Jolla Shores Planned District.

## DISCUSSION

The La Jolla Community Plan designates the site as Very Low Density Residential (0-5 DU/acre). The residential use of the property is consistent with that land use designation at a density of 2.17 DU/acre. The site does not contain any form of Environmentally Sensitive Lands as defined in Section 113.0103 of the Land Development Code. The proposed new residence will be located within the previously developed portion of the property. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed residence was found to be in general conformity with setbacks and bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF Zone. All surface drainage will be conveyed through a drain system to the storm drain within the Calle Del Oro public right-of-way. The project conforms to all development regulations of the La Jolla Shores Planned District Ordinance's SF Zone, along with the applicable regulations of the Coastal Overlay Zone.

The design of the proposed residence is similar in architectural design and building materials as other residences in the vicinity. The proposed residence includes smooth finish stucco and wall siding panel weathered cypress finish exterior walls with a glass tempered window system with laminated low-e glazing and a flat roof. The project proposes 4,171 cubic yards of cut grading and 253 cubic yards of fill, with 3,918 cubic yards of export. The proposed residence will be approximately 25 feet, 6 inches in height, under the allowed 30-foot height limit.

The project site is located approximately five blocks east of the Pacific Ocean, and is not located within or adjacent to a public view, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. The project site is not located between the ocean and the First Public Roadway.

In addition, the project site is not identified as containing any form of pedestrian access by the La Jolla Community Plan and Local Coastal Land Use Plan. Based on the review of the project plans, conformance with public access and coastal public views the proposed redevelopment of this property was found to be in conformance with the La Jolla Community Plan and Local Coastal Program Land Use Plan.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1553878/Site Development Permit No. 1553883, with modifications.
2. Deny Coastal Development Permit No. 1553878/Site Development Permit No. 1553883, if the findings required to approve the project cannot be affirmed.

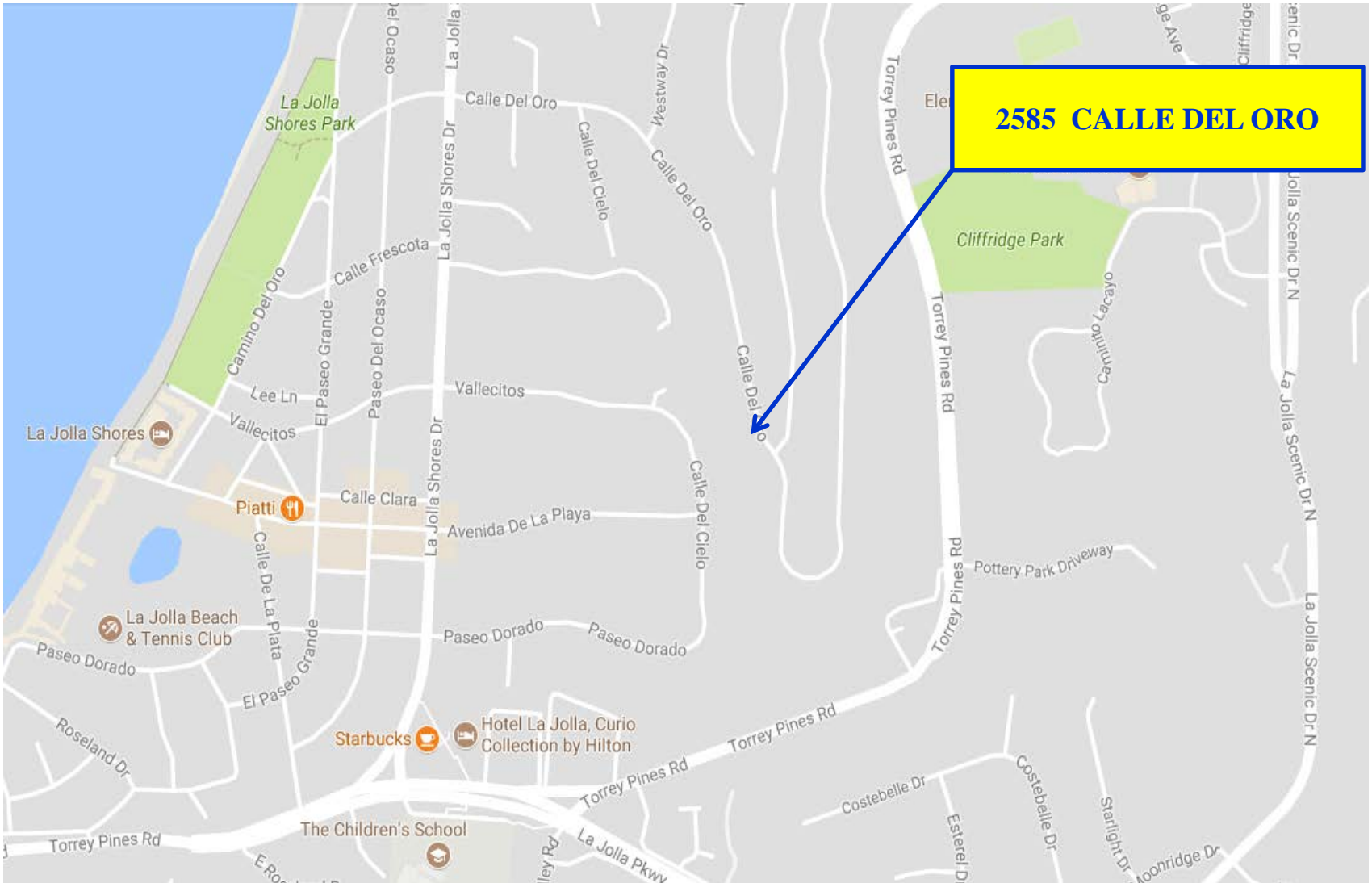
Respectfully submitted,



Glenn Gargas, Development Project Manager

Attachments:

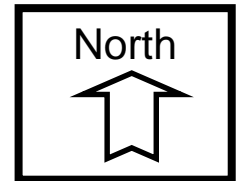
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Draft Environmental Resolution
8. Community Planning Group Recommendations
9. Ownership Disclosure Statement
10. Project Plans



## Project Location Map



**KLEIN RESIDENCE CDP / SDP - 2585 CALLE DEL ORO**  
**PROJECT NO. 441535**

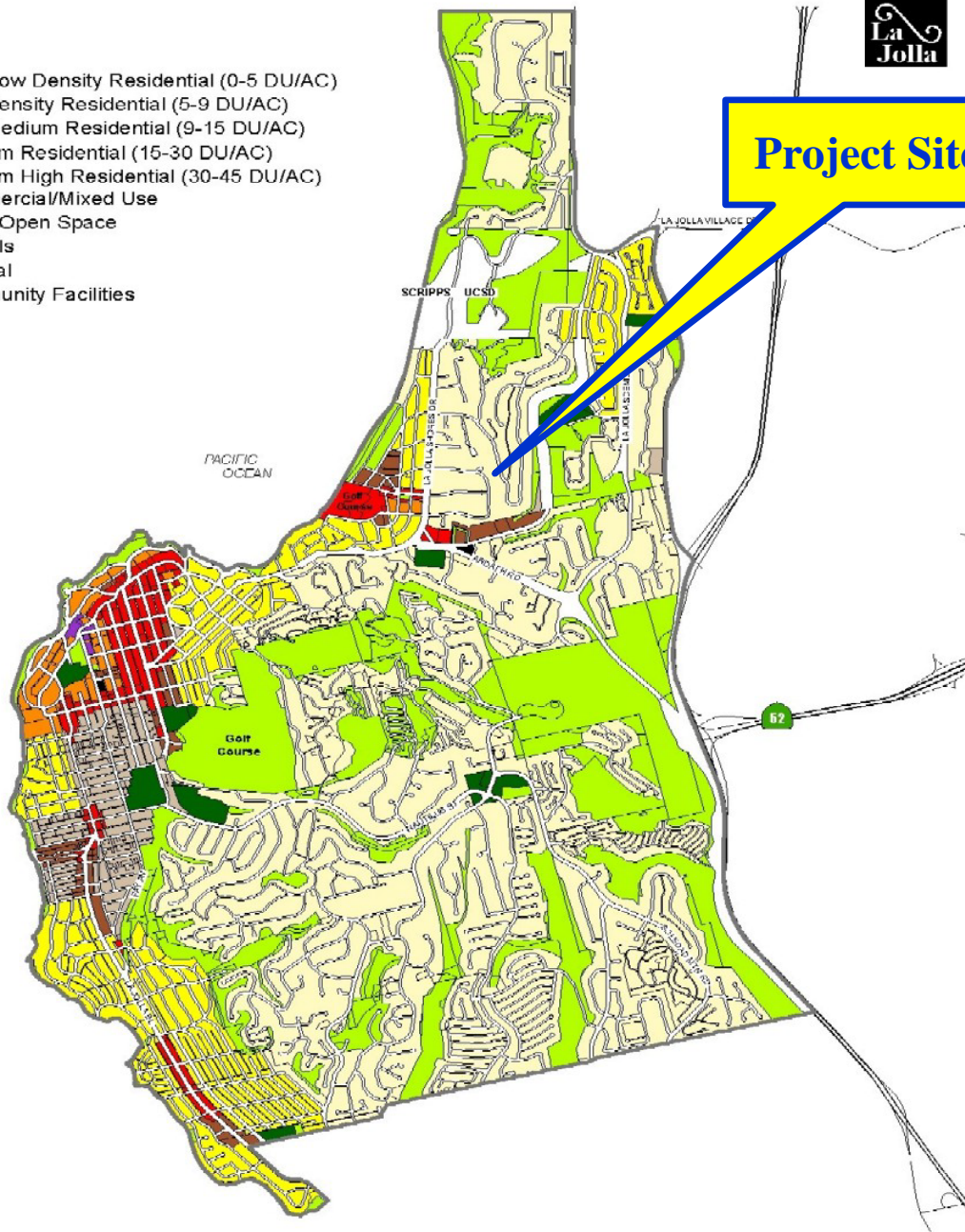




Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities

**Project Site**



### Community Land Use Map

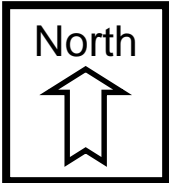


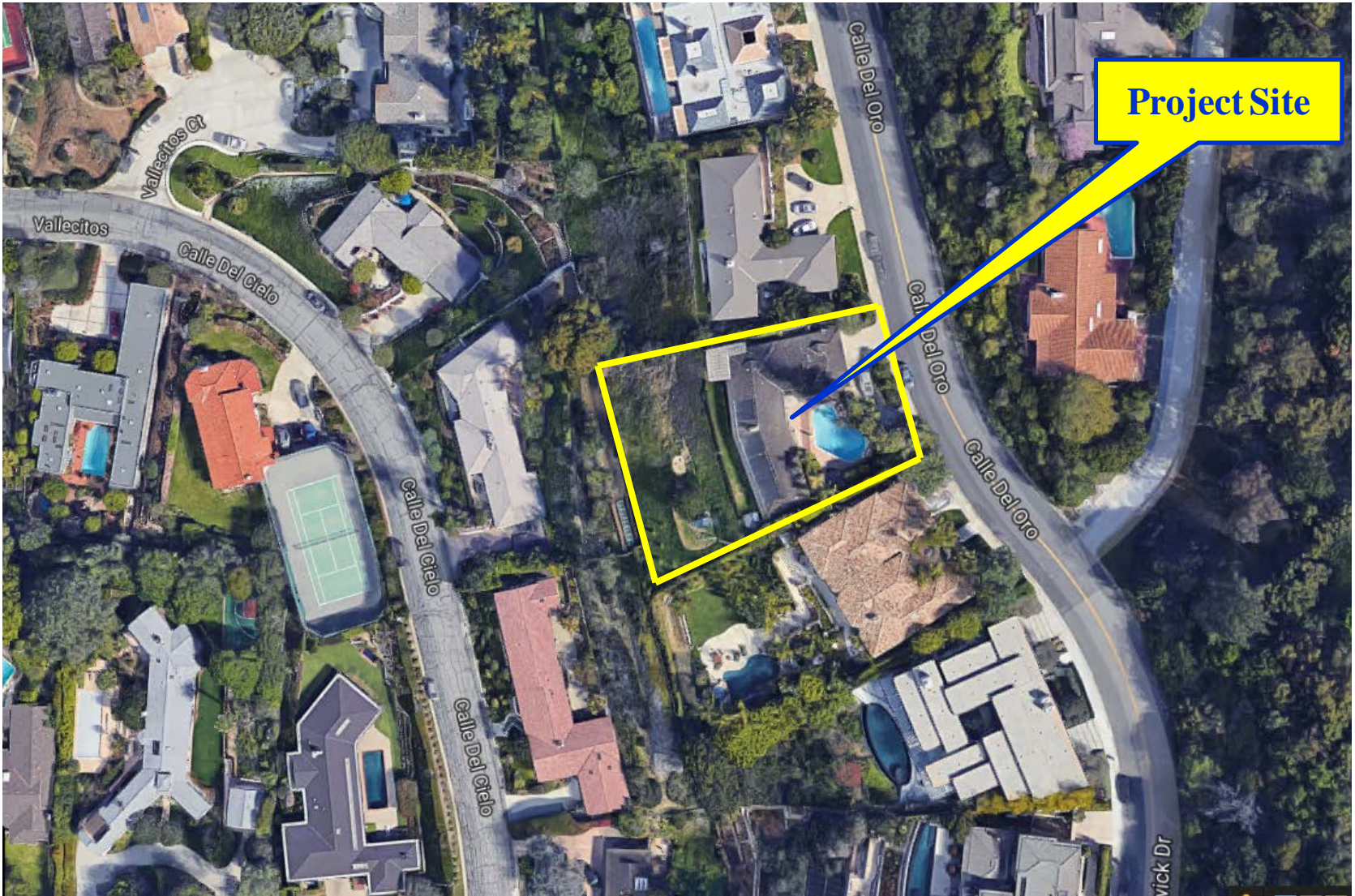
**La Jolla Community Plan**  
City of San Diego · Planning Department



### Land Use Map

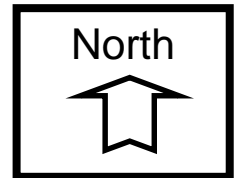
**KLEIN RESIDENCE CDP / SDP - 2585 CALLE DEL ORO**  
**PROJECT NO. 441535 La Jolla**





## Aerial Photo

**KLEIN RESIDENCE CDP SDP - 2585 CALLE DEL ORO**  
**PROJECT NO. 441535**



<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Klein Residence CDP / SDP – Project No. 441535	
<b>PROJECT DESCRIPTION:</b>	CDP & SDP for demolition of an existing residence and construction of a new, two-story, 8,980 square-foot single-family residence with a three-car garage on a 20,028-square-foot property.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit & Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Very Low Density Residential (0-5 DUs per acre)	
<b>ZONING INFORMATION:</b>		
<b>ZONE:</b> SF Zone La Jolla Shores Planned District		
<b>HEIGHT LIMIT:</b> 30 Foot maximum height limit – 25 feet 6 inches proposed.		
<b>LOT SIZE:</b> Approx. 8,000 square-foot minimum lot size – existing lot 20,028 sq. ft.		
<b>FLOOR AREA RATIO:</b> NA – 0.389 proposed		
<b>FRONT SETBACK:</b> NA – 24 feet 4 inches proposed		
<b>SIDE SETBACK:</b> NA - 8 feet 4 inches (north) & 10 feet 4 inches (south) proposed		
<b>STREETSIDE SETBACK:</b> NA		
<b>REAR SETBACK:</b> NA – 51 feet 3 inches proposed		
<b>PARKING:</b> 2 parking spaces required –3 proposed.		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>SOUTH:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>EAST:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>WEST:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence

**ATTACHMENT 4**

<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	The La Jolla Community Planning Association voted 11-0-3 to recommended approval the project at their June 2, 2016 meeting.



**HEARING OFFICER RESOLUTION NO. \_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 1553878/  
SITE DEVELOPMENT PERMIT NO. 1553883  
KLEIN RESIDENCE CDP/SDP - PROJECT NO. 441535**

WHEREAS, Klein Family Trust, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish an existing residence and construct a two-story residential dwelling unit with basement and an attached three-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1553878 and 1553883), on portions of a 0.46-acre property;

WHEREAS, the project site is located at 2585 Calle Del Oro, in the SF Zone of the La Jolla Shores Planned District, SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (Non-Appealable), Coastal Height Limitation Overlay Zone and Parking Impact Overlay Zone (Coastal), within the La Jolla Community Plan area;

WHEREAS, the site is legally described as; Lot 13, Prestwick Estates, Unit No. 1, City of San Diego, County of San Diego, State of California According to Map No. 4392 filed in the Office of the County Recorder of San Diego County, November 13, 1959;

WHEREAS, on July 26, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1553878/Site Development Permit No. 1553883, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated July 26, 2017.

FINDINGS:

**Coastal Development Permit - Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is currently developed with a one-story residence. The project proposes to demolish the residence and construct a new, two-story, single-family dwelling unit with basement and a three-car garage. The proposed structure will be sited in approximately the same location as the existing residential structure. The project site is located approximately five blocks from the Pacific Ocean coastline. The proposed project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast. The project site is not located within the First Public Roadway and the Pacific Ocean and there are no identified public accessways to the Pacific Ocean on or adjacent to the project site.

## ATTACHMENT 5

The project site is located on the west side, mid-block, of Calle Del Oro and the La Jolla Community Plan and Local Coastal Program does not identified a public view on or adjacent to the project site. As the proposal will meet all setbacks requirements, the proposed home will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the La Jolla Local Coastal Program land use plan and the project will not encroach into any identified public view. Therefore, the proposed redevelopment will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Program.

### **2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The previously graded project site is currently developed with a single-family dwelling unit and within a residential neighborhood developed since 1961. Review of resource maps, aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA) designated lands. The project proposes to demolish the existing single-family dwelling unit and construct a new, two-story single-family dwelling unit with basement and an attached three-car garage in approximately the same location on the lot as the existing residence. Site drainage currently drains predominately toward Calle Del Oro. All surface drainage from the project will be conveyed to Calle Del Oro. The environmental review determined that this project may have a significant environmental effect on Paleontological Resources and the City prepared a Mitigated Negative Declaration (MND) in accordance with the California Environmental Quality Act (CEQA). The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for potential impacts to Paleontological Resources to reduce the potential impacts to a level below significance. Thus, this proposed redevelopment of an existing residence will not adversely affect Environmentally Sensitive Lands.

### **3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project proposes to demolish a single-family dwelling unit and construction of a new two-story, single family dwelling unit with an attached three-car garage in approximately the same location on the lot as the existing structure. The proposed project is located in an area identified as Very Low Density (0-5 DU/acre) Residential within the La Jolla Community Plan (LJCP). The residential use of the property is consisted with the land use designation and density. The project site is located approximately five blocks from the coastline and the La Jolla Community Plan and Local Coastal Program Land Use Plan does not identified any public view on or adjacent to the subject property. The project site is not located in an area identified as containing pedestrian access. The Calle del Oro street frontage will remain with improved public right-of-way. The new project design will eliminate one of the existing two driveways to conform to current driveway development regulations. Project development will be fully contained within the existing legal lot area. Due to these factors the proposed residential dwelling unit redevelopment of this property is in conformity with the certified

La Jolla Community Plan and the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The 20,028-square-foot site, currently developed with an existing residence, is located approximately five blocks from the Pacific Ocean coastline and is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, this finding is not applicable to this project.

**Site Development Permit - Municipal Code Section 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes to demolish a single-family dwelling unit and construction of a new 8,980 square foot, two-story, single-family dwelling unit with basement and an attached three-car garage in approximately the same location on the lot as the existing structure. The proposed project is located in an area identified as Very Low Density (0-5 DU/acre) Residential within the La Jolla Community Plan (LJCP). The residential use of the property is consistent with the land use designation and density. The project site is located approximately five blocks from the coastline and the La Jolla Community Plan and Local Coastal Program Land Use Plan does not identify any public view on or adjacent to the subject property. The project site is not located in an area identified as containing pedestrian access. The Calle de Oro street frontage will remain with improved public right-of-way. Project development will be fully contained within the existing legal lot area. The proposed single-family dwelling unit was found consistent with the SF Zone of the La Jolla Shores Planned District development regulations, allowed density and design recommendations. Thus, this single family residential dwelling unit redevelopment will not adversely affect the La Jolla Community land use plan.

**2. The proposed development will not be detrimental to the public health, safety and welfare.**

The proposed demolition of a single-family dwelling unit and construction of a new 8,980-square-foot, two-story, single-family dwelling unit with basement and an attached three-car garage has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District and the Coastal Overlay Zone. The project's new site design includes a new single driveway design and closure of the non-utilized driveway to meet current code requirement, which improves traffic safety. The environmental review determined that this project may have a significant environmental effect on Paleontological Resources and the City prepared a Mitigated Negative Declaration (MND), in accordance with the California Environmental Quality Act (CEQA). The MND's Mitigation Monitoring and Reporting Program (MMRP) incorporates mitigation measures into the project for potential impacts to Paleontological Resources, to reduce the potential impacts to a level below significance. The environmental analysis did not find any significant impacts to public health and safety. The project will not have any impact on the provision of essential public

services. The project will not be detrimental to public health, safety and welfare in that the permit controlling the development contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed demolition of a single-family dwelling unit and construction of a new 8,980-square-foot, two-story, single-family dwelling unit with basement and an attached three-car garage, will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone and Local Coastal Program for the La Jolla Community Plan area. There are no proposed variances or deviations to the development regulations of the Land Development Code. City staff reviewed the building setbacks, drainage, lot coverage, building mass, building height, landscaping, public views, public access, and found that the project will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1553878/Site Development Permit No. 1553883 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1553878 and 1553883, a copy of which is attached hereto and made a part hereof.

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Glenn R. Gargas  
Development Project Manager  
Development Services

Adopted on: July 26, 2017.

Job Order No. 24006154

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006154

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1553878/SITE DEVELOPMENT PERMIT NO. 1553883  
**KLEIN RESIDENCE - PROJECT NO. 441535**  
HEARING OFFICER

This Coastal Development Permit No. 1553878/Site Development Permit No. 1553883 is granted by the Hearing Officer of the City of San Diego to Klein Family Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0704 and 1510.0201. The 0.46-acre site is located at 2585 Calle Del Oro in the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (Non-Appealable), Coastal Height Limitation Overlay Zone and Parking Impact Overlay Zone (Coastal), within the La Jolla Community Plan area. The project site is legally described as: Lot 13, Prestwick Estates, Unit No. 1, City of San Diego, County of San Diego, State of California, According to Map No. 4392, filed in the Office of the County Recorder of San Diego County, November 13, 1959;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing dwelling unit and construct a new two-story dwelling unit with basement and an attached garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 26, 2017, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing dwelling unit and construction of a 8,980-square-foot two-story dwelling unit with basement and an attached three-car garage;
- b. Proposed Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Site walls, fencing, retaining walls, patio, pool, spa, trellis and fire pit; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 9, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 441535, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No. 441535, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered

to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Paleontological Resources

**CLIMATE ACTION PLAN REQUIREMENTS:**

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

15. The project proposes to export 3,918 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new 12-foot maximum width driveway per current City Standards, adjacent to the site on Calle Del Oro in a manner satisfactory to the City Engineer.

19. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of a non-utilized driveway with current City Standard curb, gutter, and sidewalk, adjacent to the site on Calle Del Oro in a manner satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.



22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix G of the City's Storm Water Standards.

23. Prior to the issuance of any construction permit, the Technical Report will be subject to final review and approval by the City Engineer.

**LANDSCAPE REQUIREMENTS:**

24. Prior to the issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with the La Jolla Shores Planned District Ordinance [LDC 1520.0304(h)] not less than 30% of the total lot area requirement, the La Jolla Community Plan Residential Street Tree Districts, and the Land Development Manual-Landscape Standards.

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans (Exhibit "A"), including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

26. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

28. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking space widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**GEOLOGY REQUIREMENTS:**

31. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

32. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 26, 2017, by Resolution No. \_\_\_\_.

Permit Type/PTS Approval No.: CDP No. 1553878 SDP No. 1553883  
Date of Approval: July 26, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Glenn R. Gargas  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Klein Family Trust  
Owner/Permittee

By \_\_\_\_\_  
Trevor Klein, Trustee of Klein Family Trust

Klein Family Trust  
Owner/Permittee

By \_\_\_\_\_  
Staci Klein, Trustee of Klein Family Trust

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

RESOLUTION NUMBER R- \_\_\_\_\_

KLEIN RESIDENCE CDP SDP – PROJECT NO. 441535

ADOPTED ON JULY 26, 2017

WHEREAS, on September 21, 2015, Hilary Lowe submitted an application to the Development Services Department for a Coastal Development Permit and Site Development Permit for the Klein Residence Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on July 26, 2017; and

WHEREAS, under Charter section 280(a) (2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 441535 prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review

process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA92101 or City Clerk, 202 C Street, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
Glenn Gargas,  
Development Project Manager

ATTACHMENT(S):      Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**

**MITIGATION MONITORING AND REPORTING PROGRAM**

Site Development Permit No. 1553883

PROJECT NO. 441535

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No.441535 shall be made conditions of Site Development Permit No. 1553883 as may be further described below.

**A. GENERAL REQUIREMENTS - PART I**  
**Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** - The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS - PART II**  
**Post Plan Check (After permit issuance/Prior to start of construction)**

**1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

***Qualified Paleontological Monitor***

**Note:**

**Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

**2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) No. 441535 and /or Environmental Document No. 441535, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

**Note:**

**Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

**3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

***Not Applicable***

**4. MONITORING EXHIBITS**

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE:**

**Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

**5. OTHER SUBMITTALS AND INSPECTIONS:**

The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

**DOCUMENT SUBMITTAL/INSPECTION CHECKLIST**

Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Paleontology	Paleontology Reports	Paleontology Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**PALEONTOLOGICAL RESOURCES**

**I. Prior to Permit Issuance**

**A. Entitlements Plan Check**

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

**B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**



- A. Verification of Records Search
  - 1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
  - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- B. PI Shall Attend Precon Meetings
  - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
    - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
  - 2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
  - 3. When Monitoring Will Occur
    - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
    - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

**III. During Construction**

- A. Monitor Shall be Present During Grading/Excavation/Trenching
  - 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
  - 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or

when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.

3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
  3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
    - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
    - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
    - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

**IV. Night and/or Weekend Work**

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.
    - a. No Discoveries  
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.
    - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
    - c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
  1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**V. Post Construction**

- A. Preparation and Submittal of Draft Monitoring Report
  1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
    - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with the San Diego Natural History Museum  
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
  2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  4. MMC shall provide written verification to the PI of the approved report.
  5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
  1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
  2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
  1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
  2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)

## **ATTACHMENT 7**

1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

La Jolla Community Planning Association Minutes

Regular Meeting June 2, 2016

**FINAL MINUTES**

**Trustees Present:** Patrick Ahern, Helen Boyden, Tom Brady, Bob Collins, Dan Courtney, Dede Donovan, Steve Haskins, Cindy Greatrex, Dave Little, Phil Merton, Alex Outwater, Jim Ragsdale, Bob Steck,

**Trustees Absent:** Janie Emerson, Ray Weiss, Brian Will

**1.0 Welcome and Call To Order** at 6:00 pm by Cindy Greatrex, President. She asked attendees to turn off or silence their mobile devices and announced that the meeting was being recorded: in audio by the LJCPA and in video by another party who does not wish to be identified.

Cindy acknowledged passing of Ed Ward, former LJCPA and LJ Town Council Trustee, and thanked him for his Service to the Community.

**2.0 Adopt the Agenda**

Approved Motion: To approve the Agenda for June 2 2016 as posted (Brady, Ragsdale 8-0-1).

In favor: Boyden, Brady, Collins, Haskins, Little, Merton, Ragsdale, Steck,

Abstain: Greatrex (Chair)

Not Available to Vote: Ahern, Courtney, Donovan, Outwater, Rasmussen

**3.0 Meeting Minutes Review and Approval:** 5 May 2016

Approved Motion: To approve the minutes of May 5, 2016 as distributed (Steck, Brady 7-0-3 )

In favor: Boyden, Brady, Collins, Haskins, Little, Ragsdale, Steck

Abstain: Merton, Outwater, Greatrex (Chair),

Not Available to Vote: Ahern, Courtney, Donovan, Rasmussen

**4.0 Elected Officials**

**4.1 Council District 1:** Council President Sherri Lightner

Rep: Justin Garver 619-236-6611 [jgarver@sandiego.gov](mailto:jgarver@sandiego.gov)

Office is looking to fill vacancies on parking advisory board, community forest advisory Board, board of library commissioners, and youth commission, email [jgarver@sandiego.gov](mailto:jgarver@sandiego.gov) if interested in serving on one of these boards.

Torrey Pines at Coast Walk; pavement project is finished in time for the summer moratorium.

Traffic Signal Authorization equipment is in place at the Throat. They are the camera's attached to the 3' pole and will be fully functional in the next few weeks.

**4.2 78<sup>th</sup> Assembly District:** Speaker Emeritus of the Assembly Toni Atkins

Rep: Victor Brown 619-645-3090 [victor.brown@asm.ca.gov](mailto:victor.brown@asm.ca.gov). Victor will be attending meetings every other month and this is his off month. He requested that members bring new, clean socks to the July Meeting for the Stand Down Sock Drop for homeless veterans held annually in July.

event, beginning 6 AM until Friday afternoon August 26 12:00 PM for load out and final clean up.

*T&T Recommendation:* Motion to Approve No Parking on Coast Boulevard for the Taste of the Cove. 7-0-0

**10.6 LA JOLLA MUSIC SOCIETY Outdoor Summerfest Concert -Temporary No Parking on Coast Boulevard** adjacent to Scripps Park. This request relates to the 8<sup>th</sup> annual La Jolla Music Society Summerfest Concert held on Wednesday August 3<sup>rd</sup>. Commencing the day before the Event, August 2 at 8 am, and continuing until midnight August 3<sup>rd</sup> the day of the Event, temporary No Parking is requested for the twelve (12) street parking spaces closest to the sidewalk (by the Restrooms) that will lead to the Stage. The spaces will be used during the day for production vehicles to set up and during the evening for the Artists drop-off and pick-up. Per requirements, no-parking signage will be posted several days before the event.

*T&T Recommendation:* Motion to Approve La Jolla Music Society Outdoor Summerfest Concert Temporary No Parking as proposed. 7-0-0

**Motion to Approve Consent Agenda Items 10.1 Adamick Residence, 10.2 IS Architecture, 10.5 Taste of the Cove and 10.6 La Jolla Music Society Summerfest (Outwater/Steck 13-0-1**

In favor: Ahern, Boyden, Brady, Collins, Donovan. Haskins, Little, Merton, Outwater, Ragsdale, Rasmussen, Steck

Abstain: Greatrex (Chair)



**11.0 KLEIN RESIDENCE** 2585 Calle de Oro CDP, SDP

**ACTION ITEM** (Process 3) Coastal Development Permit/Site Development Permit to demolish an existing single dwelling unit and construct a new 10,938 square foot two story single dwelling unit with garage attached. The 0.46-acre site is located within the Coastal Overlay Zone(Non-Appealable) at 2585 Calle Del Oro in the LSPD-SF zone(s) of the La Jolla Shores Planned District within the La Jolla Community Plan area and Council District 1. Original SF 2867.

*PRC RECOMMENDATION:* Findings **CANNOT** be made to approve a Coastal Development Permit/Site Development Permit to demolish an existing single dwelling unit and construct a new 10,938 square foot two story single dwelling unit with garage attached 5-0-1 for reasons cited below:

1. The proposed main (upper) level massing creates a monolithic appearance on the south elevation, which as a design principal is in opposition to the La Jolla Shores Design Manual and the La Jolla Shores PDO regulations.
2. The proposed extension of the house westward beyond the existing conforming western building line increases possibility of a cumulative impact of more and future development extending beyond the edge of the top of the "Calle del Oro" slope. Public views from La Jolla Shores beach, Torrey Pines Road, and identified public viewpoints in the community should be considered important to determining findings for the proposed development.
3. The proposed dual curb cuts do not comply with the Coastal Parking Impact Overlay zone, regulations since the existing garage is proposed to be demolished. The removal and reduction of the curb cuts are necessary to improve the visual unity of greenway and front yard landscape street scene along Calle del Oro.

4. A proposed development more in keeping with the footprint forms of the adjacent homes may achieve a compatible option. [http://www.lajollacpa.org/minutes/prc15\\_1223min.pdf](http://www.lajollacpa.org/minutes/prc15_1223min.pdf)

Approved Motion in February 2016 by the Board, (Boyden/Steck 8-2-1) was to ask the applicant to return to LJCPA when all issues raised by neighbors and committee members were addressed. Paul Benton represented the applicant via a power point presentation that addressed each of the committees 4 original concerns in February and each remediation for those concerns. **Trustee Merton** represented **Trustee Donovan** in negotiations with the applicant and both Trustee's recused themselves and left the room. Trustee Comments by G.Rasmussen, D.Courtney, T.Brady, P.Ahern, B.Steck, A.Outwater and D.Little.

**Motion: Findings CAN be made to support the project: ( Little/Haskins 11-0-3)**

In favor: Ahern, Boyden, Brady, Collins, Courtney, Haskins, Little, Outwater, Ragsdale, Rasmussen, Steck

Recused: Donovan, Merton

Abstained: Greatrex ( Chair)

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**12.0 West Muirlands Drive Road Humps** proposal to install two new Road Humps. Resident of West Muirlands Drive presented a proposal for the city to install two road humps for traffic calming measures in addition to a pre- existing traffic island and also the addition of pylons. Resident states traffic island that was installed has been minimally effective and the City added pylons to help the traffic island, but that has not been very effective in reducing the speeds.

T&T Recommendation: Motion to approve City proposal to install two new road humps on West Muirlands Drive 10-0-0

A community resident appeared at last month's meeting to pull the project off consent. There has been no communication from him and he is not present at this Meeting. There is no other opposition to the project.

**Motion to Approve West Muirlands Drive Road Humps: (Outwater/Steck 9-0-3)**

In favor: Ahern, Boyden, Brady, Collins, Donovan, Outwater, Ragsdale, Rasmussen, Steck

Abstained: Little, Merton, Greatrex (Chair)

Not Available to Vote: Courtney,Haskins,

Comment made by **Trustee Little** that this vote was made too quickly and without proper notification. Drivers who do not live here but travel on the street will object to them. Road Humps are going up on some streets and being taken down on other streets, it is becoming controversial. Cindy clarified that this project was heard by the Streets Division four months ago. City approved and funded it, it was heard by T&T 2 months ago in a full review supported by the Board 10-0-0. Project has been discussed several times. Dave believes speeding problems will not be resolved with this type of traffic calming device. There should be a city policy established for traffic calming because speed bumps are not the answer.

## La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

**Project:** 441535 Klein Residence **Item:** B **Date:** November 17, 2015

**Applicant:** Nathalie Aragno

**Description:** Coastal Development Permit/Site Development Permit (Process 3) to demolish an existing single dwelling unit and construct a 10,938 square foot two story single dwelling unit with garage attached. The 0.46-acre site is located within the Coastal Overlay Zone (Non-Appealable) and LJSPD-SF zone.

**Recommendation**

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Board Signatures**

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		Abstain
Dan Goese	Approve	
Jane Potter	Approve	
Susan Starr	Approve	
Susanne Weissman	Approve	

**Absentees:**

Trustee Donovan abstains. She has been an active participant in conversations with the applicant team on the project design and potential impacts to her property views

\_\_\_\_\_  
Dan Goese  
Chairperson





City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

Project Title: Klein Residence Project No. For City Use Only: 402144  
 Project Address: 2585 Calle Del Oro, La Jolla, CA 92037

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): Trevor Klein  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: 2585 Calle Del Oro  
 City/State/Zip: La Jolla, CA 92037  
 Phone No: 858-880-6296 Fax No:  
 Signature: *Trevor Klein* Date: 8/24/15

Name of Individual (type or print): Staci Klein  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: 2585 Calle Del Oro  
 City/State/Zip: La Jolla, CA 92037  
 Phone No: 858-880-6296 Fax No:  
 Signature: *Staci Klein* Date: 8/24/15

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature: Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature: Date:

ABBREVIATIONS

A  
 ADJ adjacent, adjustable, adjoining  
 AFF above finished floor  
 ALT alternate  
 ALU aluminum  
 M  
 APP approximate  
 RO  
 X  
 AV average  
 G  
 B  
 BLD building  
 G  
 BO bottom  
 T  
 BR bearing  
 G  
 C  
 CJ control Joint  
 CL ceiling  
 G  
 CO concrete  
 NC  
 CO continuous  
 NT  
 CT ceramic Tile  
 CW cold water  
 D  
 DET detail  
 E  
 EA each  
 EL elevation  
 ELE electric  
 C  
 EQ equal  
 EXI existing  
 ST  
 EXT exterior  
 F  
 FG finish grade  
 FIN finish  
 FLR floor  
 FT foot, feet  
 FTG footing  
 G  
 GAL galvanized  
 V  
 GI galvanized iron  
 GL glass  
 GY gypsum board  
 P  
 BD  
 H  
 HD hardware  
 W  
 HO horizontal  
 RIZ  
 HT height  
 HW hot water  
 I  
 INT interior

ABBREVIATIONS

J  
 JT joint  
 L  
 LF linear feet  
 M  
 MF manufacturer  
 R  
 MIN minimum  
 MIS miscellaneous  
 C  
 N  
 NIC not in contract  
 NTS not to scale  
 O  
 OC on center  
 P  
 PAR parallel  
 PL property line  
 PLA plastic laminate  
 M  
 PLY plywood  
 WD  
 PSI pounds per square inch  
 PV pavement  
 MT  
 R  
 R radius/ riser  
 S  
 SEC section  
 T  
 SIM similar  
 SPE specification  
 C  
 STL steel  
 STR structural  
 UCT  
 T  
 TEL telephone  
 TO top of concrete  
 C  
 TO Top of curb  
 C  
 TOS top of slab/steel  
 TO top of wall  
 W  
 TS tube steel  
 TYP typical  
 U  
 UNF unfinished  
 IN  
 UN unless noted otherwise  
 O  
 V  
 VER vertical  
 T  
 W  
 W/ with  
 W/O without  
 WC water closet

FLOOR PLAN TYPICAL SYMBOLS

FLOOR DRAIN: 3" SQUARE FLOOR DRAIN. SLOPE FLOOR TO DRAIN 2% MIN. DRAIN FINISH TO MATCH HARDWARE FINISH. PROVIDE SCUPPER AT EXTERIOR DECK CONDITIONS.

CARBON MONOXIDE DETECTOR

COMBINATION SMOKE/CARBON MONOXIDE DETECTOR

EXHAUST FAN

EXHAUST FAN WITH HEAT

REMOTE EXHAUST FAN

STEP IN FLOOR: ADJUST SUBFLOOR AND CONCRETE SLAB TO ACCOMMODATE STEP.

WINDOW TAG, SEE WINDOW SCHEDULE.

DOOR TAG, SEE DOOR SCHEDULE.

GRID LINE TAG

SECTION SYMBOL, SEE INDICATED SHEET.

ELEVATION MARKER, SEE INDICATED SHEET.

PROJECT SPECIFIC NOTES

- SITE DRAINS WATER INTO THE STREET.
- NOT USED
- THE DRAINAGE SYSTEM SHOWN ON THE APPROVED PLAN IS SUBJECT THE APPROVAL OF THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE APPLICANT SHALL ASSURE, BY PERMIT AND BOND, THE REPLACEMENT OF THE EXISTING DRIVEWAY ON PASEO DEL OCAJO WITH A 12-FOOT DRIVEWAY AND THE REPLACEMENT OF THE CURB WITH CITY STANDARD CURB AND GUTTER ON PASEO DEL OCAJO, TO ALLEVIATE THE PROBLEM OF STANDING WATER, ALL SATISFACTORY TO THE CITY ENGINEER. ALL SHALL COMPLY WITH LDC SECTION 142.0560(J)(1).
- THE CONTRACTOR SHALL SUBMIT BUILDING PAD CERTIFICATION SIGNED BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR, CERTIFYING THE PAD ELEVATION BASE ON USGS DATUM IS IN ACCORDANCE WITH THE APPROVED PLANS.
- PRIOR TO BUILDING OCCUPANCY THE APPLICANT SHALL CONFORM TO SECTION 62.0203 OF THE MUNICIPAL CODE: "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FOR THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (JFC 904.1.1)
- THE LANDSCAPE AREA SHALL BE NO LESS THAN THIRTY PERCENT OF THE TOTAL PARCEL AREA IN ACCORDANCE WITH THE STANDARDS OF SDMC 103.0304.1(M)(1)
- THE PROPOSED SITE WALL WILL NOT BE MORE THAN 6' ABOVE THE LOWEST ADJACENT GRADE

DEVELOPMENT SUMMARY INFO

PROJECT NAME: KLEIN RESIDENCE  
 PROJECT ADDRESS: 2585 CALLE DEL ORO LA JOLLA, CA 02037  
 APN 346-331-03-00  
 OWNER THE TREVOR AND STACI KLEIN TRUST  
 ARCHITECT: STUDIO WILLIAM HEFNER  
 PROJECT MANAGER: NATHALIE ARAGNO  
 5820 WILSHIRE BLVD, SUITE 500  
 LOS ANGELES, CA 90036  
 (P): 323-931-1365  
 EMAIL: NATHALIE@WILLIAMHEFNER.COM  
 ARCHITECT ASSOCIATE: ALCORN & BENTON ARCH  
 7757 GIRARD AVE  
 LA JOLLA, CA 92037  
 858.459.0805 (p)  
 858.459.1350 (f)  
 paul@alcornbenton.com  
 PALEONTOLOGICAL: BRIAN F. SMITH & ASSOCIATES  
 14010 POWAY ROAD, STE. A  
 POWAY, CA. 92064  
 (858) 484-0915  
 http://www.bfsa-ca.com/  
 RESUBMITTAL DATE APRIL 24, 2017  
 SHEETS: 1 OF 21

SHEET INDEX - CDP SET

0.0	COVER SHEET
0.1	EXISTING SURVEY
0.2	FAR & LOT COVERAGE
0.3	300' RADIUS & FIRE HYDRANTS
1.0	DEMOLITION PLAN
1.1	SITE DEVELOPEMENT PLAN
1.2	PRELIMINARY GRADING PLAN
1.3	EROSION CONTROL PLAN
1.4	DETAILS
2.0	BASEMENT FLOOR PLAN
2.1	FIRST FLOOR PLAN
2.2	SECOND FLOOR PLAN
2.3	ROOF PLAN
3.1	EXTERIOR ELEVATIONS
3.2	EXTERIOR ELEVATIONS
4.1	BUILDING SECTIONS
L-1.0	LANDSCAPE DEVELOPMENT PLAN
L-2.0	LANDSCAPE PLANTING PLAN
L-3.0	LANDSCAPE IRRIGATION PLAN
L-3.1	WATER EFFICIENT LANDSCAPE ORDINANCE WORKSHEET
L-3.2	WATER EFFICIENT LANDSCAPE ORDINANCE WORKSHEET



PROJECT DATA

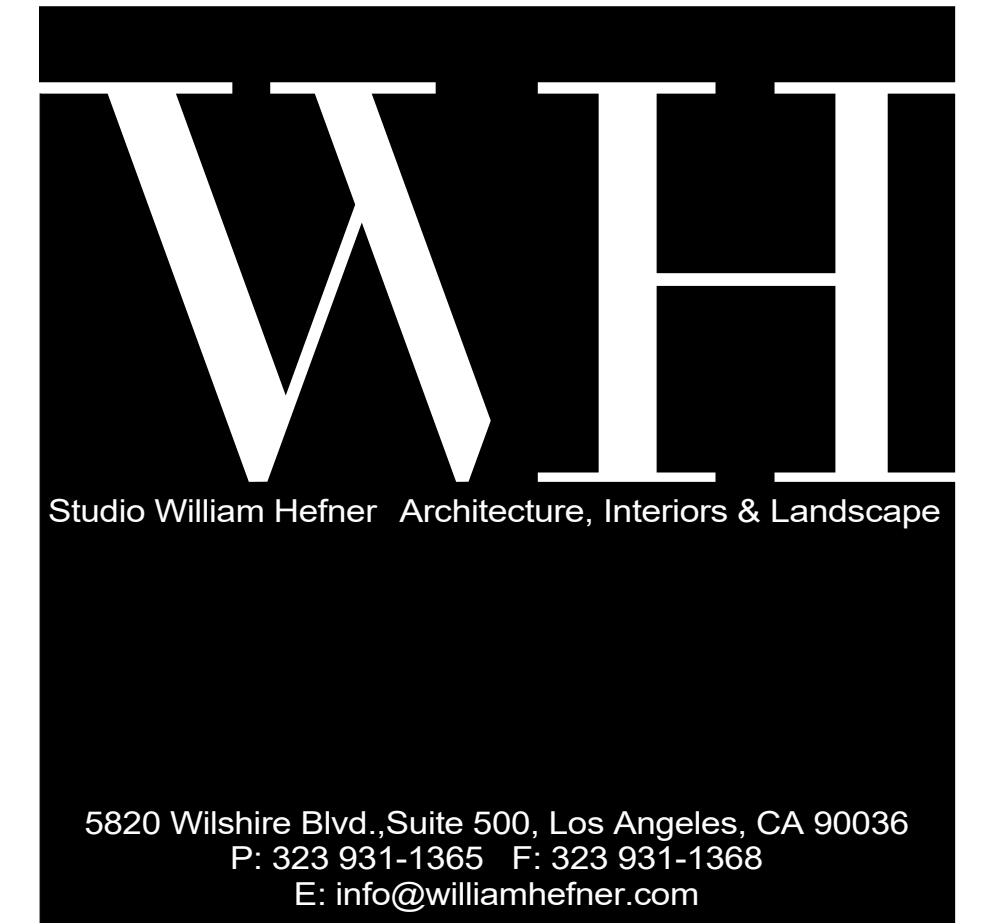
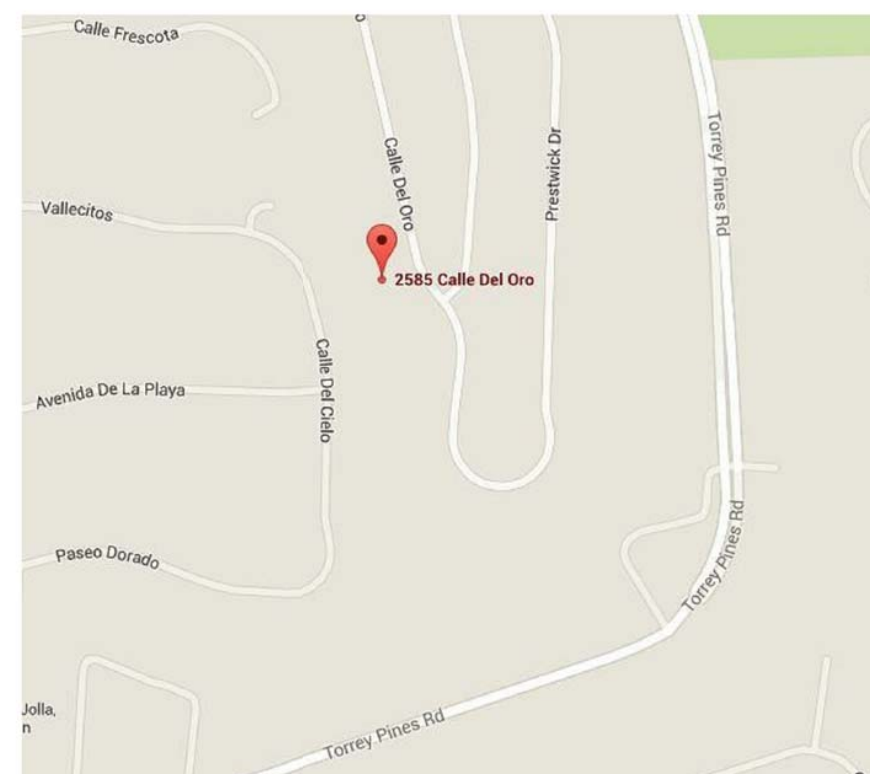
PROJECT DESCRIPTION:  
 DEMOLITION OF EXISTING ONE STORY RESIDENCE.  
 CONSTRUCTION OF A NEW TWO- STORY SINGLE FAMILY DWELLING WITH BASEMENT, AND TWO ATTACHED GARAGES.  
 EXISTING USE: SINGLE-FAMILY RESIDENCE  
 PROPOSED USE: SINGLE-FAMILY RESIDENCE  
 OVERLAYS:  
 -COASTAL DEVELOPMENT & SITE PLAN DEVELOPMENT REVIEW  
 -LA JOLLA SHORES PLANNED DISTRICT REVIEW  
 -COASTAL HEIGHT LIMITATION OVERLAY ZONE  
 -BEACH PARKING IMPACT OVERLAY ZONE  
 -RESIDENTIAL TANDEM PARKING OVERLAY  
 -TRANSIT AREA OVERLAY  
 -GEOLOGIC HAZARD CATEGORY: 52

PROJECT DATA INFORMATION

PROJECT ADDRESS: 2585 CALLE DEL ORO LA JOLLA, CA 92037  
 APN 346-331-03-00  
 LEGAL DESCRIPTION: LOT 13 OF PRESTWICK ESTATES UNIT No. 1 IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF No. 4392  
 EXISTING ZONING: LJSPD-SF  
 TOTAL LOT AREA: 20,028 SF  
 REQUIRED SETBACKS: BUILDING SETBACKS ARE BASED ON EXISTING SETBACKS IN THE VICINITY AND FROM EXISTING STRUCTURE.  
 EXISTING/ SETBACKS: PROPOSED SETBACKS:  
 FRONT: 21' - 4" FRONT: 24' - 4"  
 REAR: 73' - 6" REAR: 51' - 3"  
 SIDE: 10' - 4" - SIDE: 9' SIDE: NORTH: 8' - 4" - SOUTH: 10'-4 5/8" - 4"  
 EXISTING STORIES: 1 PROPOSED STORIES: TWO (2) STORIES AND ONE (1) BASEMENT LEVEL  
 ALLOWABLE HEIGHT: 30'-0" PROPOSED HEIGHT NORTH WING: 16'- 9" SOUTH WING: 17'- 9"  
 OCCUPANCY: R-3 -  
 CONSTRUCTION: V -B NON RATED  
 DATE CONSTRUCTED: 1961  
 NEW BUILDING SQUARE FOOTAGE: BASEMENT (UTILITY ROOM) 283 SF  
 FIRST FLOOR: 3,739 SF  
 SECOND FLOOR: 4,068 SF  
 GARAGE/STORAGE: 872 SF  
 BALCONY AREA: 660 SF  
 OTHER GFA AREA: 160 SF

(E) GROSS FLOOR AREA:	(N) GROSS FLOOR AREA:
3,562 / 20,028 = 17.8%	8839 / 20,028 = 44.1%
(E) LOT COVERAGE:	(N) LOT COVERAGE:
3,562 / 20,028 = 17.8%	4,540 / 20,028 = 22.7%

VICINITY MAP



5820 Wilshire Blvd., Suite 500, Los Angeles, CA 90036  
 P: 323 931-1365 F: 323 931-1368  
 E: info@williamhefner.com

Klein Residence  
 2585 Calle Del Oro  
 La Jolla, CA 92037

scale: 1/4" = 1'-0" issue date: 04.24.2017

N.T.S IF PRINTED 11 X 17

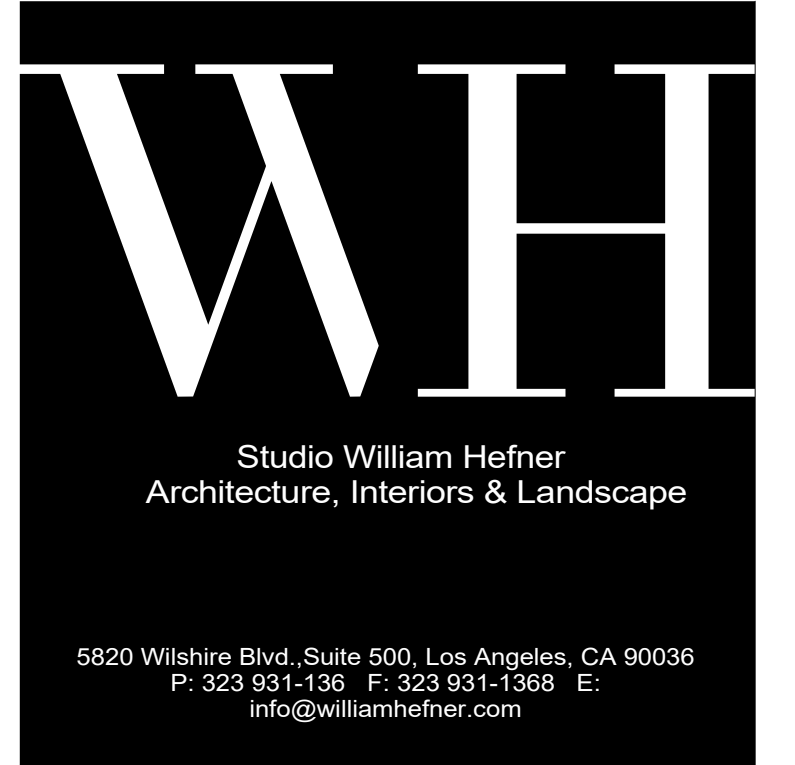
Revision Schedule		
#	Description	Date

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COVER SHEET

0.0

Not For Construction



**PROJECT DATA**

EXISTING STORIES: 1 STORY  
 PROPOSED STORIES: 2 STORIES  
 1 BASEMENT LEVEL

NEW BUILDING SQUARE FOOTAGE: 283 SF BASEMENT  
 3,739 SF FIRST FLOOR  
 4,068 SF SECOND FLOOR  
 890 SF GARAGE  
 125 SF PATIO AT GRADE  
 301 SF EXT BALCONIES

(E) FLOOR AREA RATIO: 3,562 / 20,028 = 17.8%

(N) FLOOR AREA RATIO: 8,980 / 20,028 = 44.8%

(E) LOT COVERAGE: 3,562 / 20,028 = 18%

(N) LOT COVERAGE: 4,540 / 20,028 = 22.7%

**DEVELOPMENT SUMMARY INFO**

PROJECT NAME: KLEIN RESIDENCE  
 PROJECT ADDRESS: 2585 CALLE DEL ORO  
 LA JOLLA, CA 92037  
 APN: 346-331-03-00  
 OWNER: THE TREVOR AND STACI KLEIN TRUST  
 ARCHITECT: STUDIO WILLIAM HEFNER  
 PROJECT MANAGER: NATHALIE ARAGNO  
 5820 WILSHIRE BLVD., SUITE 500  
 LOS ANGELES, CA 90036  
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 ARCHITECT ASSOCIATE: ALCORN & BENTON ARCH  
 7757 GIRARD AVE  
 LA JOLLA, CA 92037  
 858 459 0805 (p)  
 858 459 1350 (f)  
 paul@alcornbenton.com  
 CDP DATE: JUNE 2 2016  
 SHEET: 03 OF 21

**Klein Residence**  
 2585 Calle Del Oro  
 La Jolla, CA 92037

issue date: 06/29/2016

scale: 1/16" = 1'-0"

**N.T.S IF PRINTED IN 11 X 17**

Revision Schedule		
#	Description	Date

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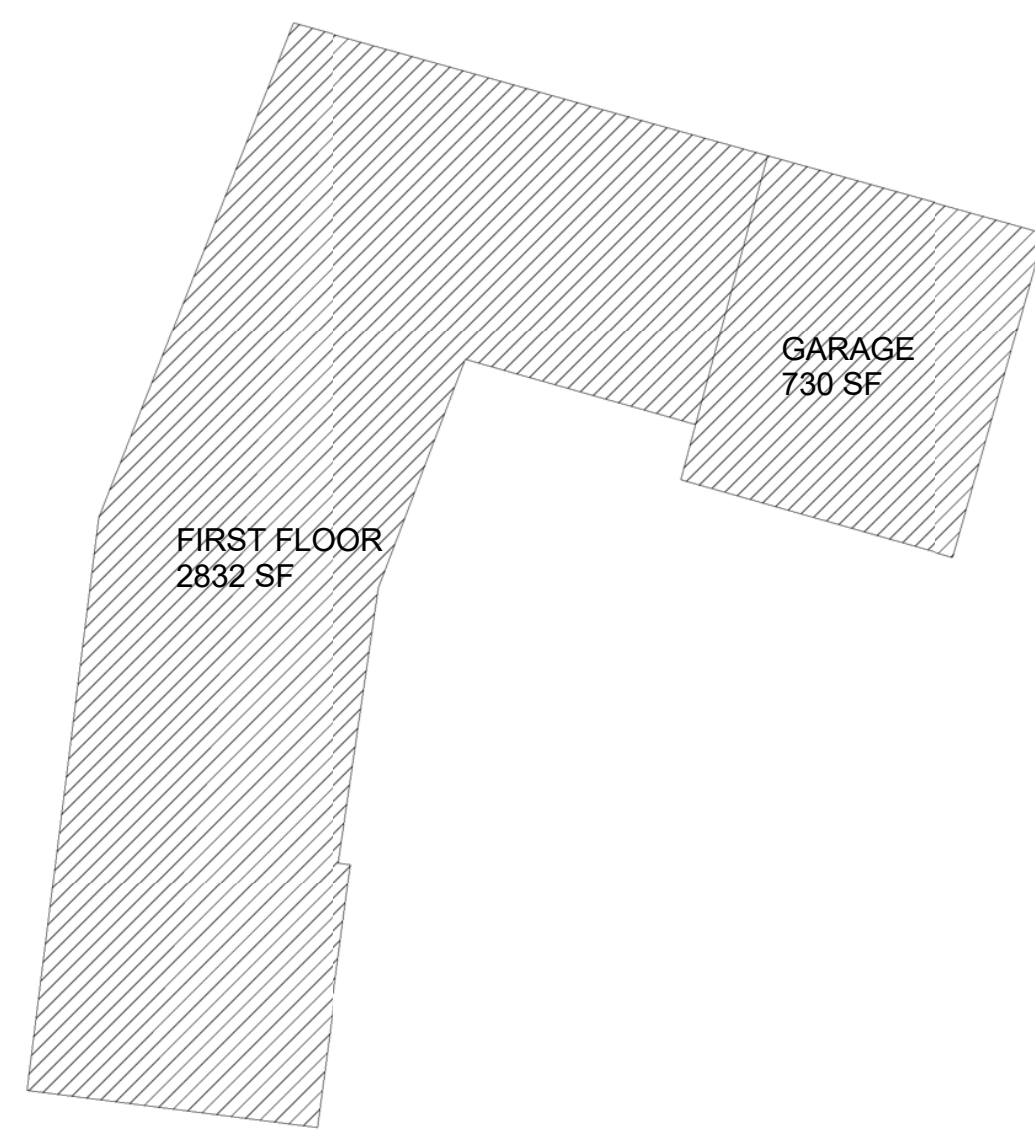
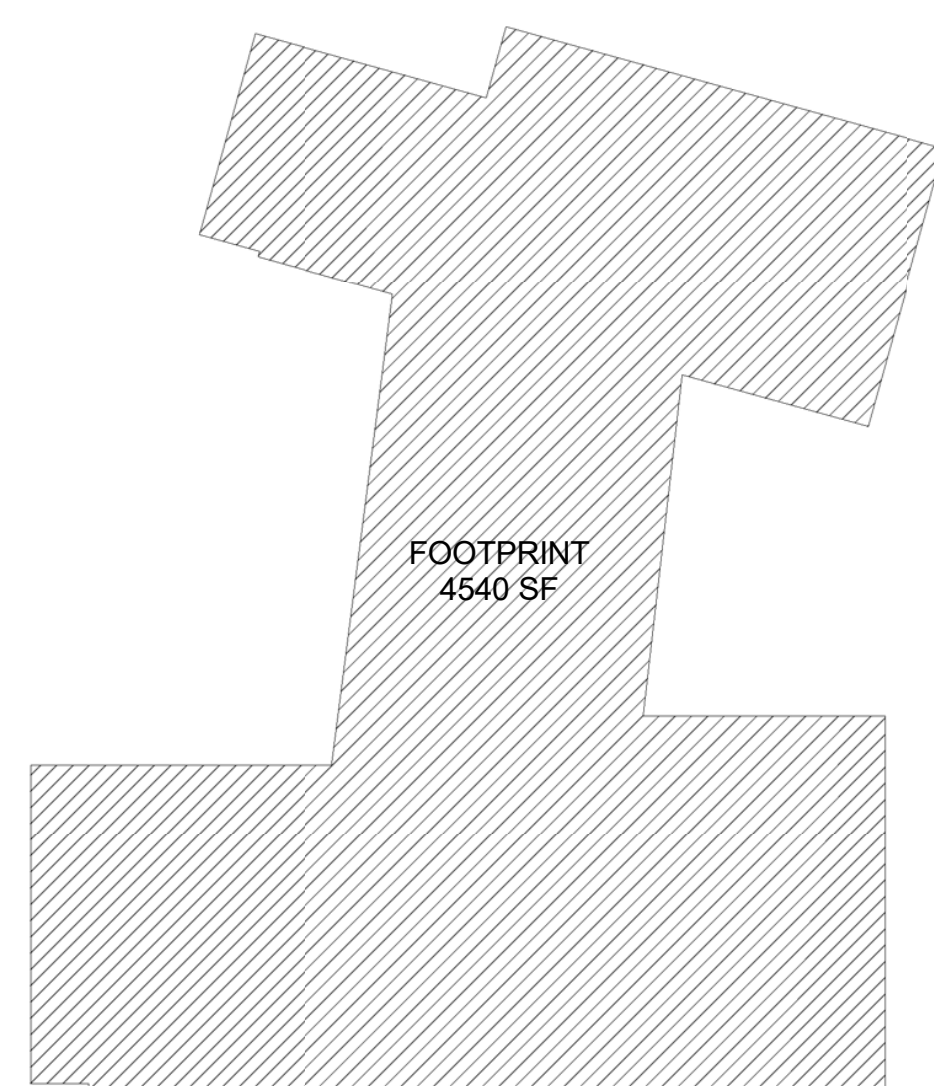
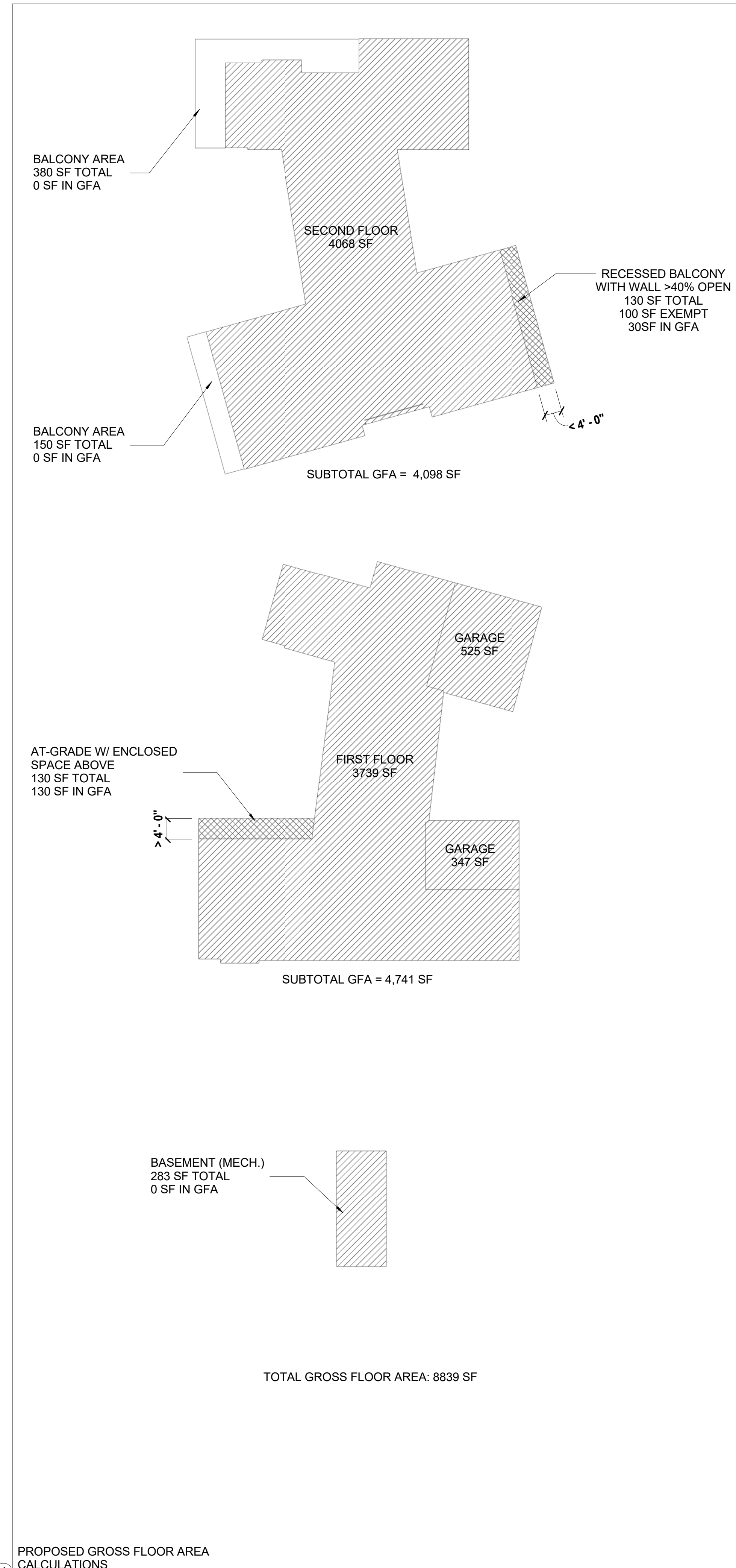
sheet no. sheet title

**FAR & LOT COVERAGE DIAGRAMS**

**0.2**

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Properties within a 300' Radius										
Address	APN	Year	Lot Size (sf)	Building Size (sf)	FAR	Side Setback 1 (ft)	Side Setback 2 (ft)	Front Setback (ft)	Rear Setback (ft)	
<b>Proposed 2585 Calle Del Oro</b>	<b>346-331-03-00</b>	<b>N/A</b>	<b>20028</b>	<b>8980</b>	<b>0.45</b>	<b>8.33</b>	<b>10.33</b>	<b>24.33</b>	<b>10.38</b>	
1 2431 Vallecitos Court	346-321-02-00	1966	22215.6	3650	0.16	22.75	20	15	35	
2 2476 Avenida De La Playa	346-310-05-00	1987	35283.6	4523	0.13	10	10	15	40	
3 8152 Calle Del Cielo	346-321-03-00	1973	20908.8	4608	0.22	60	10	20	40	
4 2496 Avenida De La Playa	346-321-04-00	1960	20037.6	3066	0.15	10	24	32	25	
5 2466 Vallecitos Court	346-250-06-00	1965	20473.2	3637	0.18	25	7	58	20	
6 2486 Vallecitos Court	346-250-07-00	1965	22215.6	4447	0.20	4	20	40	40	
7 8171 Calle Del Cielo	346-322-01-00	1958	23958	2220	0.09	4	5.5	20	20	
8 8151 Calle Del Cielo	346-322-02-00	1980	21344.4	3173	0.15	10	30	15	35	
9 8131 Calle Del Cielo	346-322-03-00	1990	20473.2	3664	0.18	8	8	15	45	
10 8111 Calle Del Cielo	346-322-04-00	1959	20908.8	2450	0.12	20	5	15	45	
11 8081 Calle Del Cielo	346-422-01-00	1960	19602	2168	0.11	10	5	23	70	
12 2553 Calle Del Oro	346-261-04-00	1996	20037.6	4556	0.23	13	9	15	90	
13 2563 Calle Del Oro	346-331-01-00	1989	20037.6	5002	0.25	5	9.5	15	75	
14 2575 Calle Del Oro	346-331-02-00	1965	20037.6	2416	0.12	5	5	15	75	
<b>15 (E) 2585 Calle Del Oro</b>	<b>346-331-03-00</b>	<b>1961</b>	<b>20027</b>	<b>3562</b>	<b>0.18</b>	<b>10.33</b>	<b>9.33</b>	<b>21.33</b>	<b>73.5</b>	
16 2595 Calle Del Oro	346-331-04-00	1963	20473.2	4369	0.21	8	7.5	18	105	
17 2605 Calle Del Oro	346-331-05-00	2008	22215.6	6580	0.30	5	10	20	135	
18 2621 Calle Del Oro	346-431-01-00	2007	19602	9738	0.50	8	10	19	120	
19 2631 Calle Del Oro	346-431-02-00	2005	20037.6	5204	0.26	6	8	15	75	
20 2552 Calle Del Oro	346-262-09-00	1997	42253.2	9945	0.24	25	10	85	15	
21 2572 Calle Del Oro	346-332-01-00	1966	20037.6	4244	0.21	8	6	70	6.75	
22 2586 Calle Del Oro	346-332-02-00	1965	20473.2	2511	0.12	45	30	35	11.25	
23 8244 Prestwick Drive	346-262-07-00	1975	20908.8	4478	0.21	10	8	15	100	
24 8230 Prestwick Drive	346-262-06-00	1985	20473.2	4067	0.20	6.5	10	15	110	
25 8216 Prestwick Drive	346-333-01-00	1971	20908.8	3538	0.17	10	8	15	112	
26 8204 Prestwick Drive	346-333-02-00	1990	21344.4	3317	0.16	9	8	15	115	
27 8194 Prestwick Drive	346-333-03-00	1975	21780	2475	0.11	5	12	15.5	115	
28 8182 Prestwick Drive	346-333-04-00	1964	24829.2	4513	0.18	6	7	16.5	135	
29 8172 Prestwick Drive	346-333-05-00	1972	22651.2	3044	0.13	5	8	15.5	130	
30 8156 Prestwick Drive	346-432-01-00	1969	20908.8	4637	0.22	5	5	15	120	



5 LOT COVERAGE DIAGRAM  
1/16" = 1'-0"

4 EXISTING GROSS FLOOR AREA  
CALCULATIONS  
1/16" = 1'-0"

1 PROPOSED GROSS FLOOR AREA  
CALCULATIONS  
1/16" = 1'-0"

Not For Construction



**DEVELOPMENT SUMMARY INFO**

**PROJECT NAME:** KLEIN RESIDENCE  
**PROJECT ADDRESS:** 2585 CALLE DEL ORO  
 LA JOLLA, CA 02037  
**APN:** 346-331-03-00  
**OWNER:** THE TREVOR AND STACI KLEIN TRUST  
**ARCHITECT:** STUDIO WILLIAM HEFNER  
 PROJECT MANAGER: NATHALIE ARAGNO  
 5820 WILSHIRE BLVD, SUITE 500  
 LOS ANGELES, CA 90036  
 (P): 323-931-1365  
 EMAIL: NATHALIE@WILLIAMHEFNER.COM  
**ARCHITECT ASSOCIATE:** ALCORN & BENTON ARCH  
 7757 GIRARD AVE  
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 858.459.0805 (p)  
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 paul@alcornbenton.com  
**PALEONTOLOGICAL:** BRIAN F. SMITH & ASSOCIATES  
 14010 POWAY ROAD, STE. A  
 POWAY, CA. 92064  
 (858) 484-0915  
 http://www.bfsa-ca.com/  
**RESUBMITTAL DATE:** APRIL 24, 2017  
**SHEETS:** 5 OF 21

Not For Construction

**Bid Document**

The drawings and specifications are "Bid Documents" which indicate the general extent of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical and utility systems and an outline of major architectural elements of the construction. As "Bid Documents", the drawings and specifications are intended to indicate or describe generally all work required for full performance completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of work.

**Klein Residence**  
 2585 Calle Del Oro  
 La Jolla, CA 92037

scale: As indicated issue date: 04.24.2017

N.T.S IF PRINTED 11 X 17

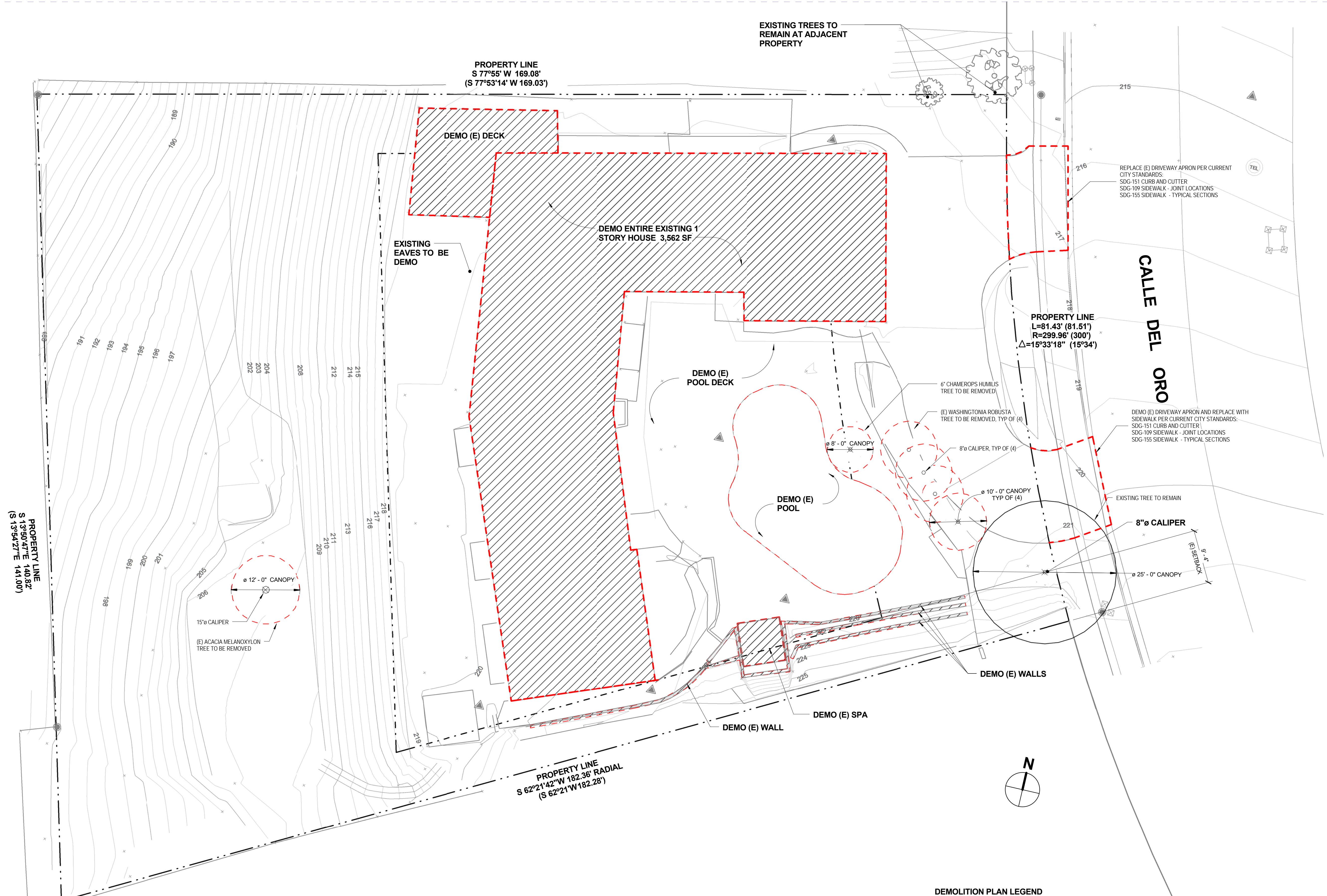
Revision Schedule		
#	Description	Date

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**DEMOLITION PLAN**

**1.0**

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**DEMOLITION PLAN LEGEND**

- DENOTES DASHED LINE AS EXISTING AREA TO BE DEMOLISHED
- 100% OF WALLS TO BE DEMOLISHED
- DENOTES DASHED LINE AS EXISTING TREES TO BE REMOVED AS NOTED
- DENOTES SOLID LINE AS EXISTING TREES TO REMAIN AS NOTED



**SITE DEVELOPEMENT PLAN...**

- 1 THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE ADJACENT PROPERTIES.
- 2 NO PRIVATE IMPROVEMENTS SHALL BE ALLOWED IN THE CALLE DEL ORO'S RIGHT-OF-WAY.
- 3 PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION
- 4 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- 5 TO IMPEMENT THE MITIGATION MEASURES RELATED TO PALEONTOLOGICAL RESOURCES AS REQUIRED, THE OWNER WILL PROVIDE PALEONTOLOGICAL MONITORING DURING ANY GRADING ACTIVITIES.

**HEIGHT LIMIT CALCULATION**

LOWEST ADJACENT GROUND ELEVATION AT 5' FROM EXTERIOR WALL OF THE BUILDING 200.5'

HIGHEST ADJACENT GROUND ELEVATION AT 5' FROM EXTERIOR WALL OF THE BUILDING 214.5'

MAXIMUM HEIGHT LIMIT IN PROPOSITION 'SF' ZONE 30'

REFERENCE DATUM : DIFFERENCE BETWEEN LOWEST AND HIGHEST ADJACENT GROUND ELEVATION IS GREATER THAN 10' DATUM 210.46'

HEIGHT LIMIT CALCULATION: 240.46'

HIGHEST PROPOSED PROJECTION 236'

**SPECIAL NOTE:**  
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET. HIGHEST POINT ON THE ROOF EQUIPMENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

**(E) IMPERVIOUS AREAS**

TOTAL (E) IMPERVIOUS AREAS: 9,754 SF

**(P) IMPERVIOUS AREAS**

DRIVEWAY:	1,404 SF
CONCRETE WALK:	667 SF
STONE PAVING:	239 SF
PEDESTRIAN STEP STONE:	143 SF
WOOD DECK:	2,474 SF
POOL:	1,186 SF
HOUSE:	4,547 SF
<b>TOTAL:</b>	<b>10,660 SF</b>

PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

**DEVELOPMENT SUMMARY INFO**

**PROJECT NAME:** KLEIN RESIDENCE  
**PROJECT ADDRESS:** 2585 CALLE DEL ORO LA JOLLA, CA 02037  
**APN:** 346-331-03-00  
**OWNER:** THE TREVOR AND STACI KLEIN TRUST  
**ARCHITECT:** STUDIO WILLIAM HEFNER  
 PROJECT MANAGER: NATHALIE ARAGNO  
 5820 WILSHIRE BLVD, SUITE 500  
 LOS ANGELES, CA 90036  
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 EMAIL: NATHALIE@WILLIAMHEFNER.COM  
**ARCHITECT ASSOCIATE:** ALCORN & BENTON ARCH  
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 858.459.0805 (p)  
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**Klein Residence**  
 2585 Calle Del Oro  
 La Jolla, CA 92037

scale: As indicated issue date: 04.24.2017

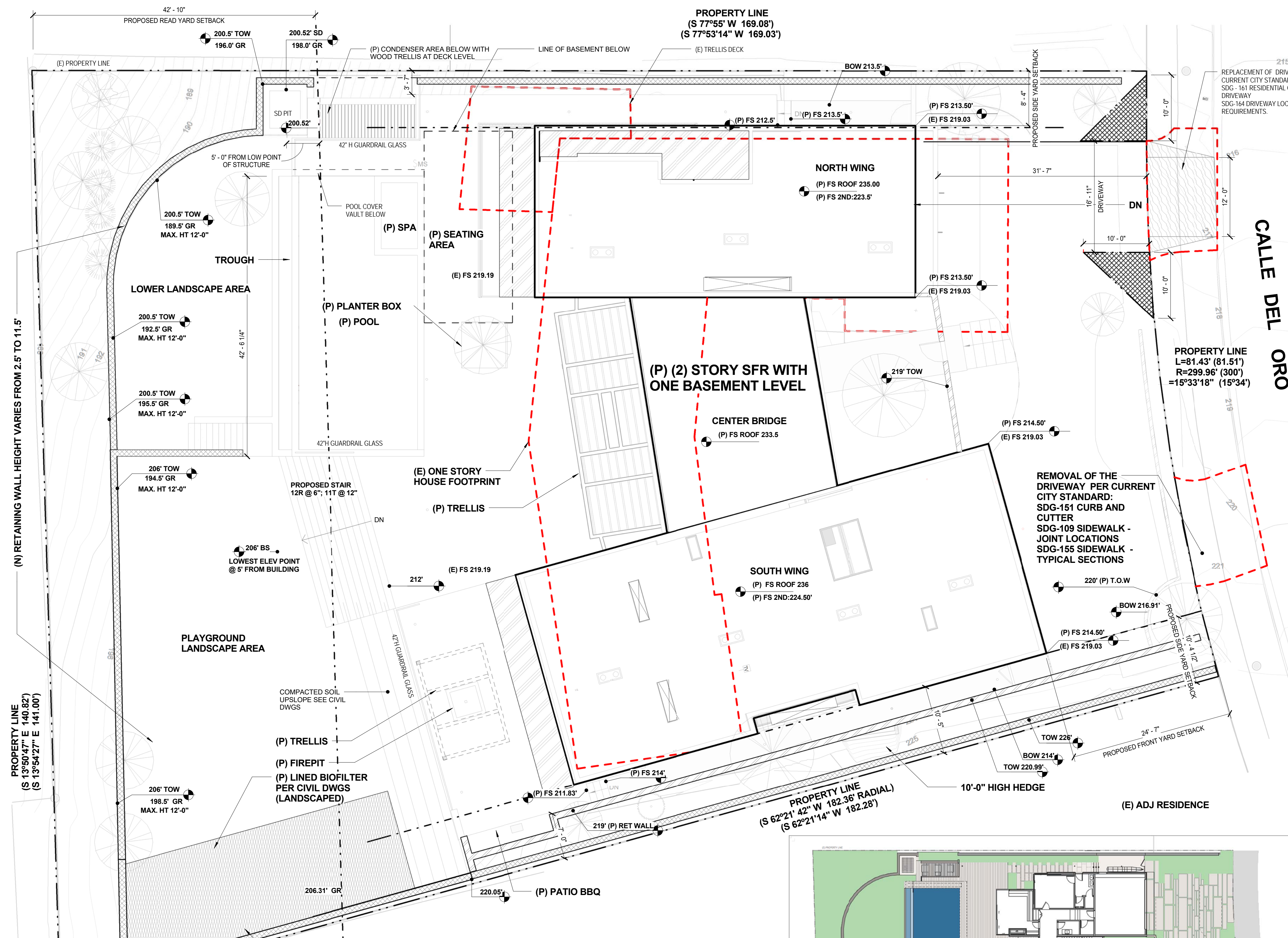
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Revision Schedule		
#	Description	Date
10	Revision 5	Date 2.1.2017

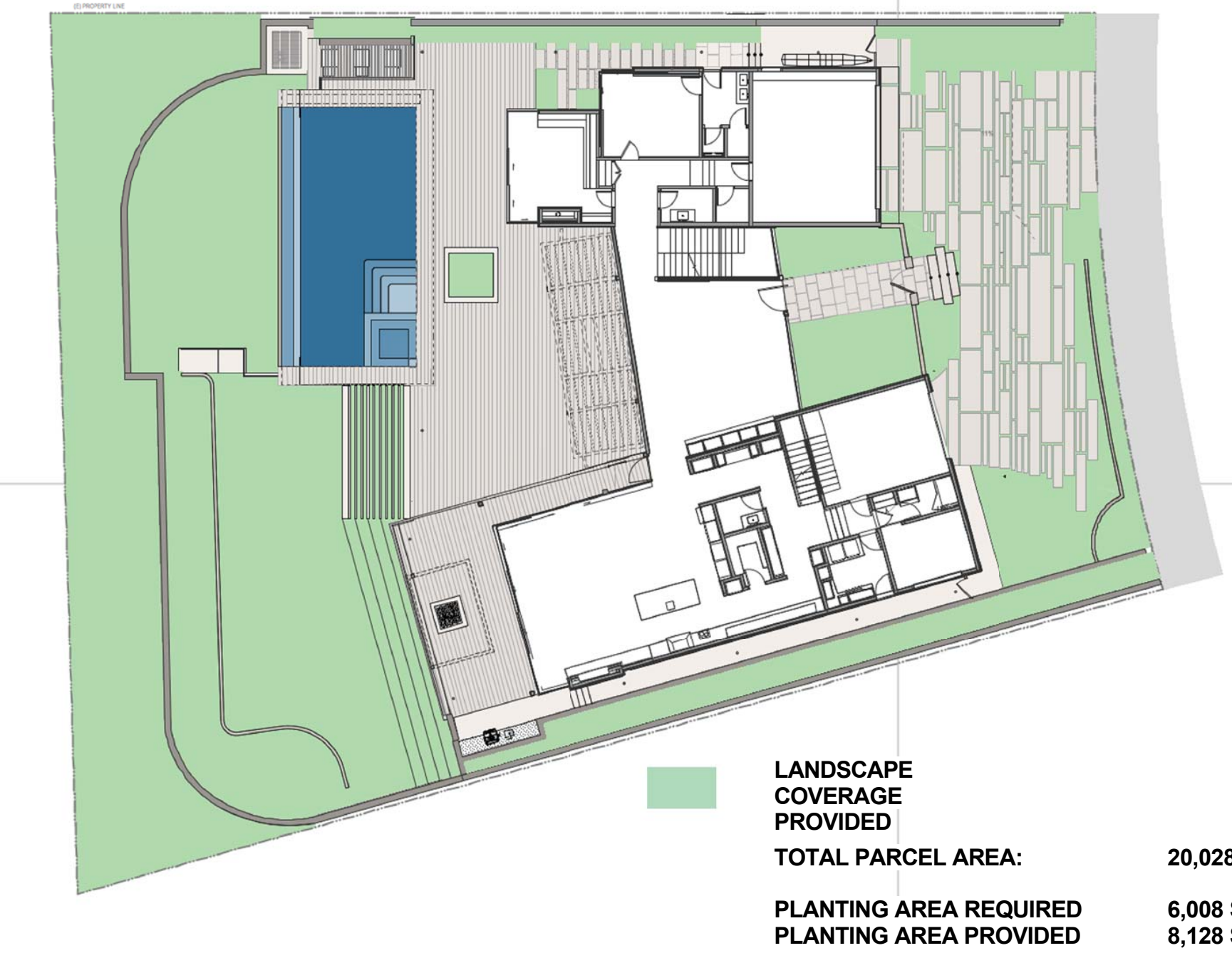
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**SITE DEVELOPEMENT PLAN**

**1.1**



- SITE PLAN LEGEND**
- (P) LANDSCAPE - SEE SHEET L-2.0
  - (P) PAVED AREA
  - (P) STONE PATH AND PAVERS - SEE SHEET L-2.0
  - (P) CONCRETE DRIVEWAY@ (E) DRIVEWAY
  - (P) 2ND FLOOR UNCOVERED DECK WITH BUILDING BELOW VISIBILITY AREA
  - (P) BIO-FILTER GROUND
  - PROPERTY LINE
  - SETBACK LINE
  - EASEMENT LINE
  - (E) HOUSE TO BE DEMOLISHED DRAIN FOR LAWN AND PLANTING FLOOR DRAIN, DRAIN FOR HARD SURFACES
  - AD
  - FD



**LANDSCAPE COVERAGE PROVIDED**

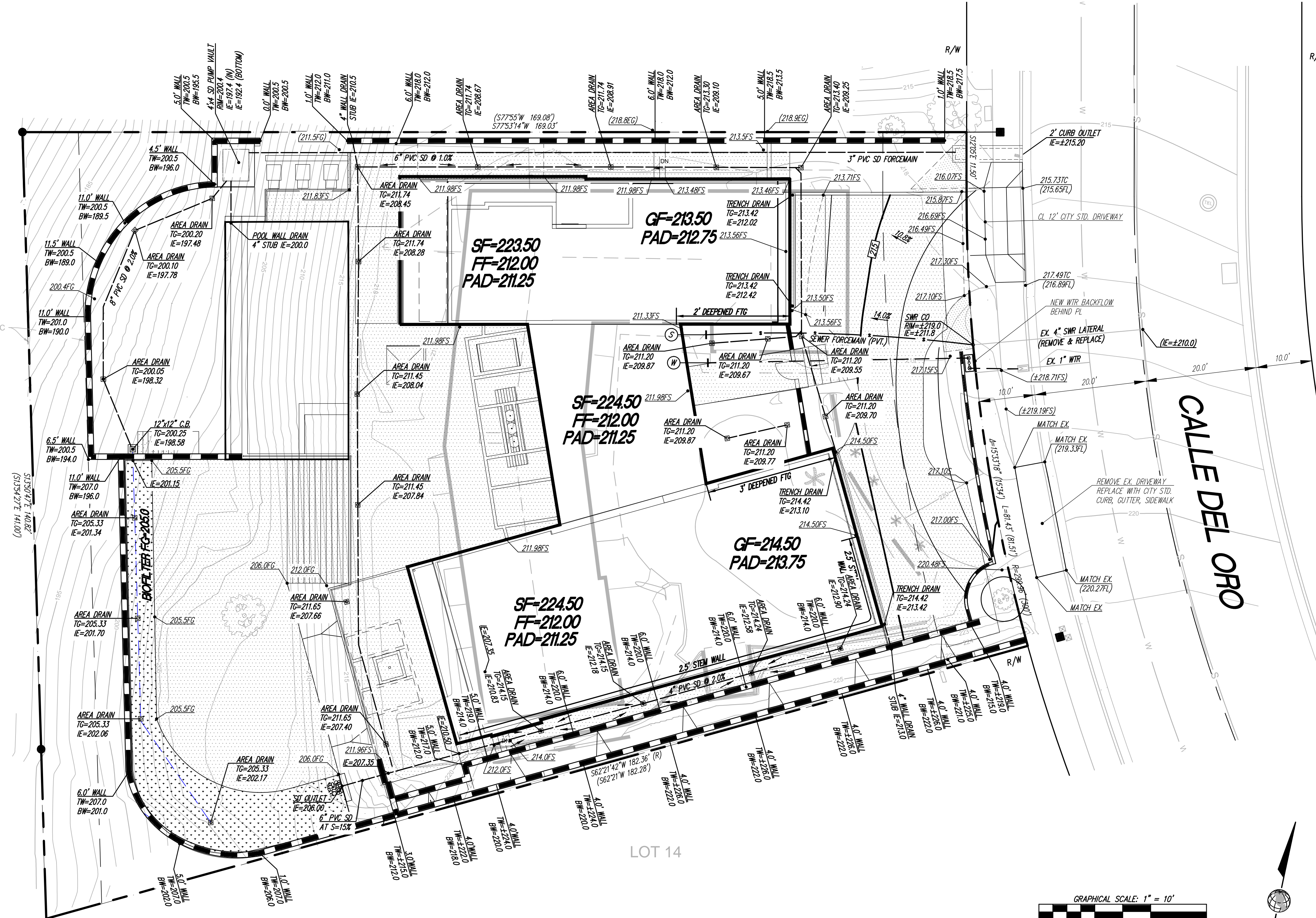
TOTAL PARCEL AREA: 20,028 SF

PLANTING AREA REQUIRED: 6,008 SF (30%)

PLANTING AREA PROVIDED: 8,128 SF (40.1%)

1 SITE PLAN 1/8" = 1'-0"

Not For Construction



**WORK TO BE DONE**  
 THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS & THE SPECIFICATIONS & STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

**STANDARD SPECIFICATIONS:**

DOCUMENT NO. DESCRIPTION  
 PITS070112-01 STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION  
 PITS070112-02 CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2012  
 PITS070112-04 CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012  
 PITS070112-06 CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STD. SPECIFICATIONS, 2010

**STANDARD DRAWINGS:**

DOCUMENT NO. DESCRIPTION  
 PITS070112-03 CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION  
 PITS070112-05 CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION

**LEGEND**

ITEM	SYMBOL
PROJECT BOUNDARY	---
PROPOSED COURTYARD	---
PROPOSED STORM DRAIN (PVT)	---
PROPOSED GROUND/SECOND FLOOR ELEVATION	GF/SF=52.00
PROPOSED PAD ELEVATION	PAD=40.00
PROPOSED TOP OF CURB ELEVATION	xx.xxTC
PROPOSED PAVEMENT ELEVATION	xx.xxP
PROPOSED TOP OF WALL ELEVATION	xx.xxTW
PROPOSED BASE OF WALL ELEVATION	xx.xxBW
PROPOSED INVERT ELEVATION	xx.xxIE
PROPOSED FINISHED GRADE ELEVATION	xx.xxFG
PROPOSED SLOPE	1.75%
PROPOSED CURB	---
PROPOSED SEWER POINT OF CONNECTION	S
PROPOSED DOMESTIC WATER POINT OF CONNECTION	W
PROPOSED WATER SERVICE W/METER	---
PROPOSED SMALL SERVICE BACKFLOW	---
PROPOSED RETAINING WALL	---
EXISTING CONTOURS	215
EXISTING PAVEMENT	---
EXISTING WATER METER	---
EXISTING WATER LINE	---
EXISTING FENCE	---
PROJECT BOUNDARY	---

**GRADING NOTES**

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE LANDSCAPING PLANS FOR HYDROSEED MIX.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BMPs NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

**GRADING DATA**

TOTAL AMOUNT OF SITE TO BE GRADED: 0.46 ACRES (20,028 SF).

PERCENT OF TOTAL SITE FINE GRADED: 100 %

GRADED AREA	0.46 [ACRES]	MAX. CUT DEPTH	19 FT
CUT QUANTITIES	4,171 [CY]	MAX. CUT SLOPE RATIO	2:1 MAX
FILL QUANTITIES	253 [CY]	MAX. FILL DEPTH	11 MAX
EXPORT QUANTITIES	3,918 [CY]	MAX. FILL SLOPE RATIO	2:1 MAX

**SPECIAL NOTES**

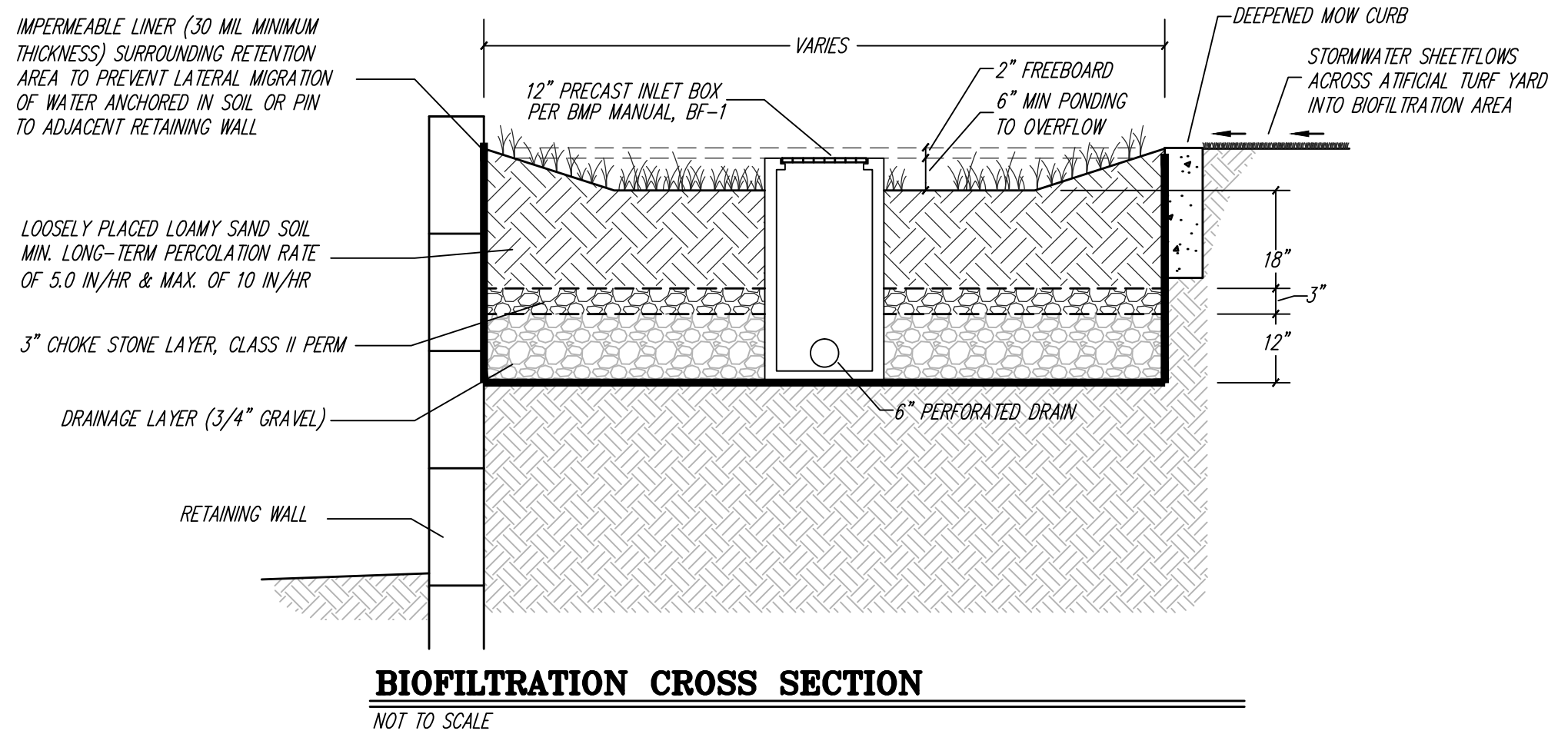
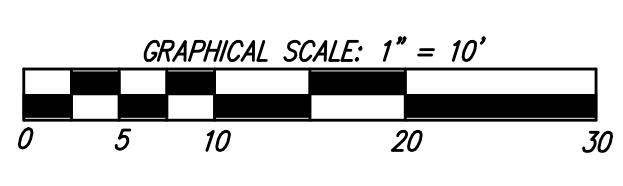
- THE CONTRACTOR SHALL PREFORM THEIR OWN TAKEOFF QUANTITIES AND SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES SHOWN HEREON AND BALANCING THE EARTHWORK ON SITE. IF THE CONTRACTOR DETERMINES THERE IS A DISCREPANCY OR CHANGE IN THE EARTHWORK, THEY SHALL NOTIFY THE ENGINEERING OF RECORD IMMEDIATELY IN WRITING.
- THE ENGINEER OF WORK SHALL PROVIDE AREAS OF ADJUSTMENT TO THE CONTRACTOR OR THE CONTRACTOR SHALL IMPROVE OR EXPORT AS REQUIRED TO BALANCE THE SITE. CONTRACTOR SHALL CONSTRUCT AREA DRAINS ABOVE FINISHED GRADE ELEVATION AND ARE TO BE ADJUSTED TO MATCH FINISHED LANDSCAPE AND PROVIDE POSITIVE DRAINAGE. SHALL ANY DISCREPANCY ARISE THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF WORK IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, PADS, CURBS, INLETS AND SIDEWALKS ARE BUILT IN ACCORDANCE WITH THESE PLANS AND APPLICABLE CODES AND LAWS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER AT (858) 634-8620.
- SURVEY MONUMENTS SHALL BE PRESERVED & REFERENCED BEFORE CONSTRUCTION & REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.

**BMP MAINTENANCE NOTE**

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

**WPCP NOTE**

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP) THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORMWATER STANDARDS.



**LIST OF ABBREVIATIONS:**

AD = AREA DRAIN	(") = INCHES OR SECONDS
BF = BASEMENT FLOOR	IE = INVERT ELEVATION
BW = BOTTOM OF WALL	N = NORTH OR NORTHING
CONC = CONCRETE	P = PAVEMENT GRADE
CL = CENTER LINE	PCC = PORTLAND CEMENT CONC.
CO = CLEAN OUT	PE = PROFESSIONAL ENGINEER
CY = CUBIC YARDS	PV = POST INDICATOR VALVE
(°) = DEGREES	PROP. = PROPOSED
E = EAST OR EASTING	PVC = POLYVINYL CHLORIDE
EA = EACH	PVT = PRIVATE
EG = EXISTING GRADE	R = RADIUS
EL = ELEVATION	RD = ROOF DRAIN
EP = EDGE OF PAVEMENT	R/W = RIGHT OF WAY
EX = EXISTING	SD = STORM DRAIN
(') = FEET OR MINUTES	SS = SANITARY SEWER
FF = FINISHED FLOOR	SNR = SEWER
FG = FINISH GRADE	TC = TOP OF CURB
FL = FLOW LINE	TF = TOP OF FOOTING
GB = GRADE BREAK	TYP = TYPICAL
GR = GRATE ELEVATION	TW = TOP OF WALL
HDPE = HIGH DENSITY POLYETHYLENE	WM = WATER METER

**OWNER / APPLICANT** THE TREVOR AND STAD KLEIN TRUST  
 3820 SHURE BLVD, SUITE 500  
 LOS ANGELES, CA 90036  
 323-931-1365

**SITE ADDRESS:** 2585 CALLE DEL ORO  
 LA JOLLA, CA 02037

**LEGAL DESCRIPTION**  
 LOT 13 OF THE PRESTWICK ESTATES, UNIT NO.1 IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 4392

**DRAINAGE NOTE:**  
 THIS PROJECT WILL NOT INCREASE THE PEAK STORM WATER DISCHARGE FLOWRATES TO THE ADJACENT PROPERTY. STORMWATER GENERATED BY THE SITE WILL NOT BE DISCHARGED DIRECTLY TO THE LA JOLLA AREA OF SPECIAL BIOLOGICAL SIGNIFICANCE (ASBS).

**PROPOSED SITE AREA SUMMARY:**

BUILDING FOOTPRINT	5,300 SF
PATIOS, SIDEWALK, DRIVEWAY, ETC.	7,100 SF
POOL	1,000 SF
LANDSCAPE (PERVIOUS)	6,628 SF
TOTAL	20,028 SF

**Alcorn & Benton**  
 ARCHITECTS  
 7757 Grand Avenue, La Jolla, California 92037  
 P: 858.450.0805 F: 858.450.1350

**OMEGA**  
 ENGINEERING CONSULTANTS  
 4340 VIEWRIDGE AVE, SUITE B  
 SAN DIEGO, CALIFORNIA 92123  
 Phone: (858) 634-8620

**KLEIN**  
 RESIDENCE

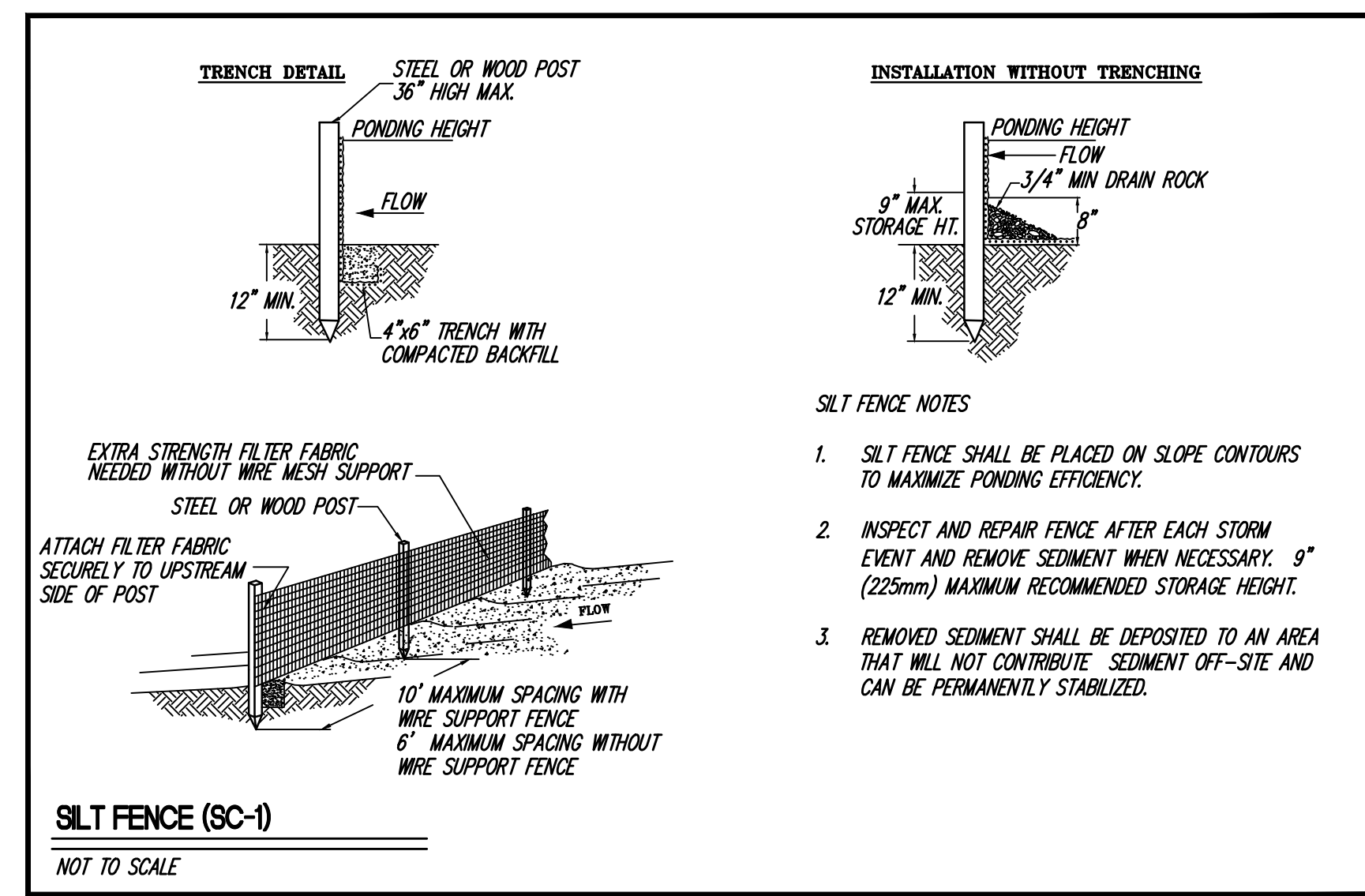
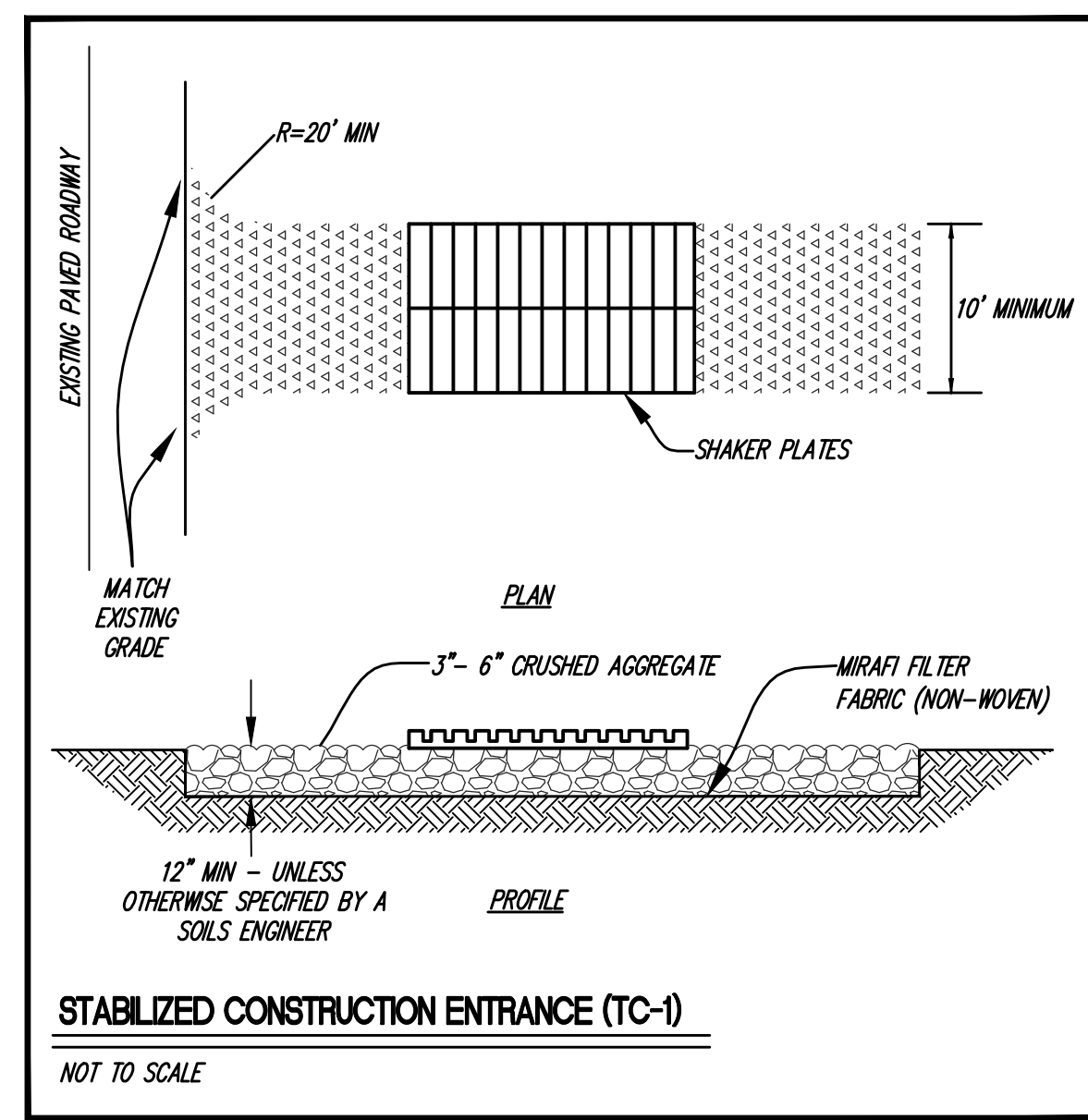
2585 Calle Del Oro  
 La Jolla, California 92037

Date	August 23, 2016
Project No.	0357
Design/ Drawing	SS/NS
Sheet	C-1
Scale	1"=10'

CONCEPTUAL GRADING PLAN

1.2





**MATERIAL + WASTE MANAGEMENT CONTROL BMPs**

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-3 STOCKPILE MANAGEMENT
- WM-4 SPILL PREVENTION AND CONTROL
- WM-5 SOLID WASTE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- Gravel Bag Protection
- Silt Fence (SC-1)
- Stabilized Construction Entrance (TC-1) (Shaker Plates Only)

**STREET SWEEPING NOTE**

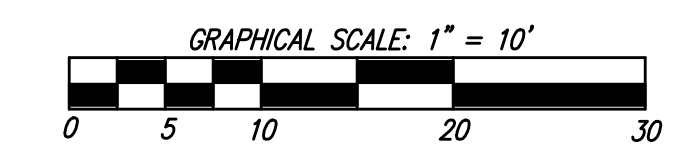
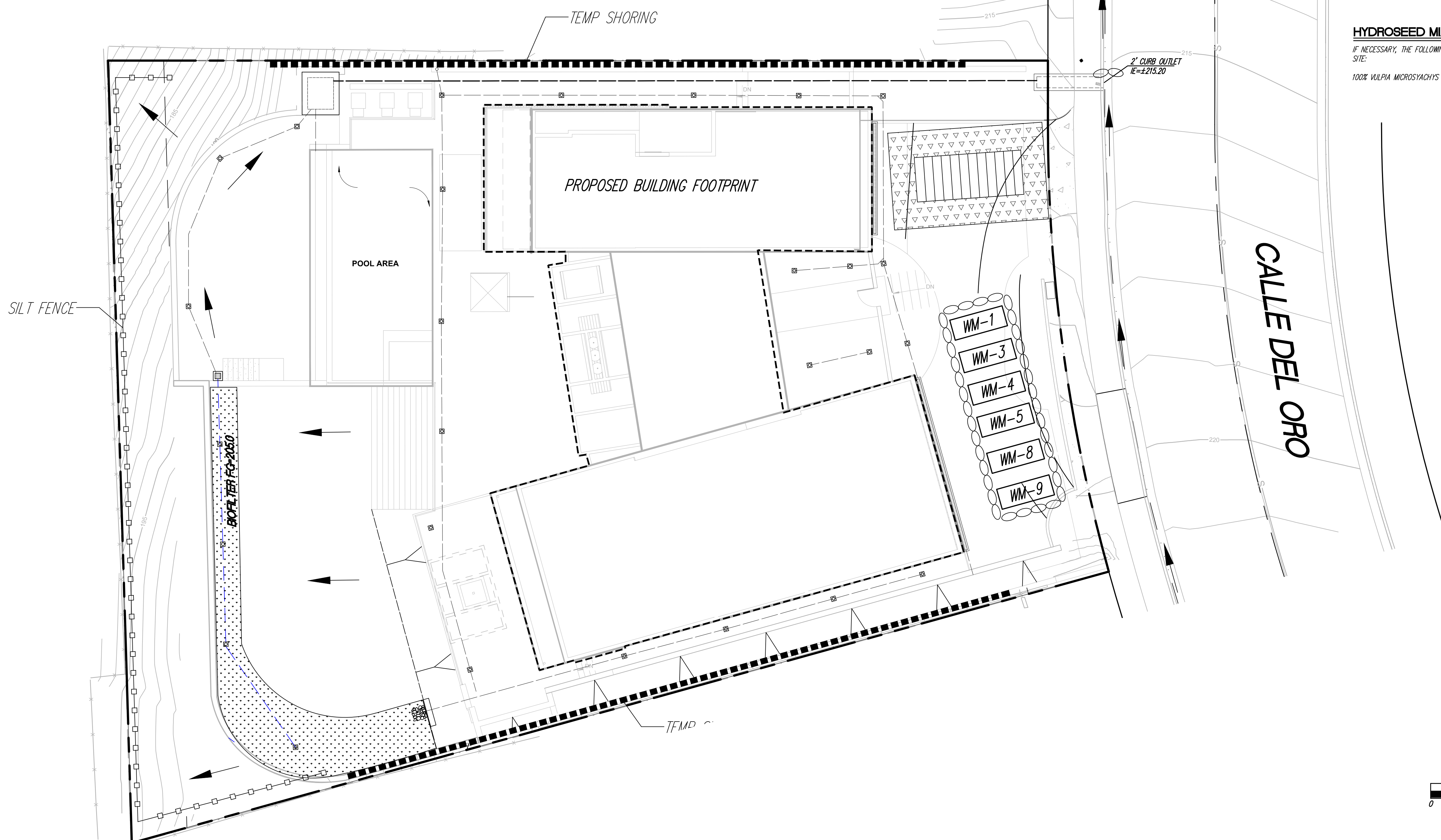
STREET SWEEPING SHALL BE CONDUCTED ON CALLE DEL ORO ON AN AS-NEEDED BASIS.

**DISTURBED AREA NOTE**

ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED VEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.

**HYDROSEED MIX**

IF NECESSARY, THE FOLLOWING HYDROSEED MIX SHALL BE APPLIED TO DISTURBED AREAS OF THE SITE:  
 100% VULPIA MICROSYACHYS @ 20 LBS PER ACRE, PROMATRIX TACKIFIER @ 3000 LBS PER ACRE



**Alcorn & Benton**  
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 7757 Girard Avenue, La Jolla, California 92037  
 P: 858.459.1350 F: 858.459.1350

**OMEGA**  
 ENGINEERING CONSULTANTS  
 4340 VIEWRIDGE AVE, SUITE B  
 SAN DIEGO, CALIFORNIA 92123  
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**KLEIN**  
 RESIDENCE

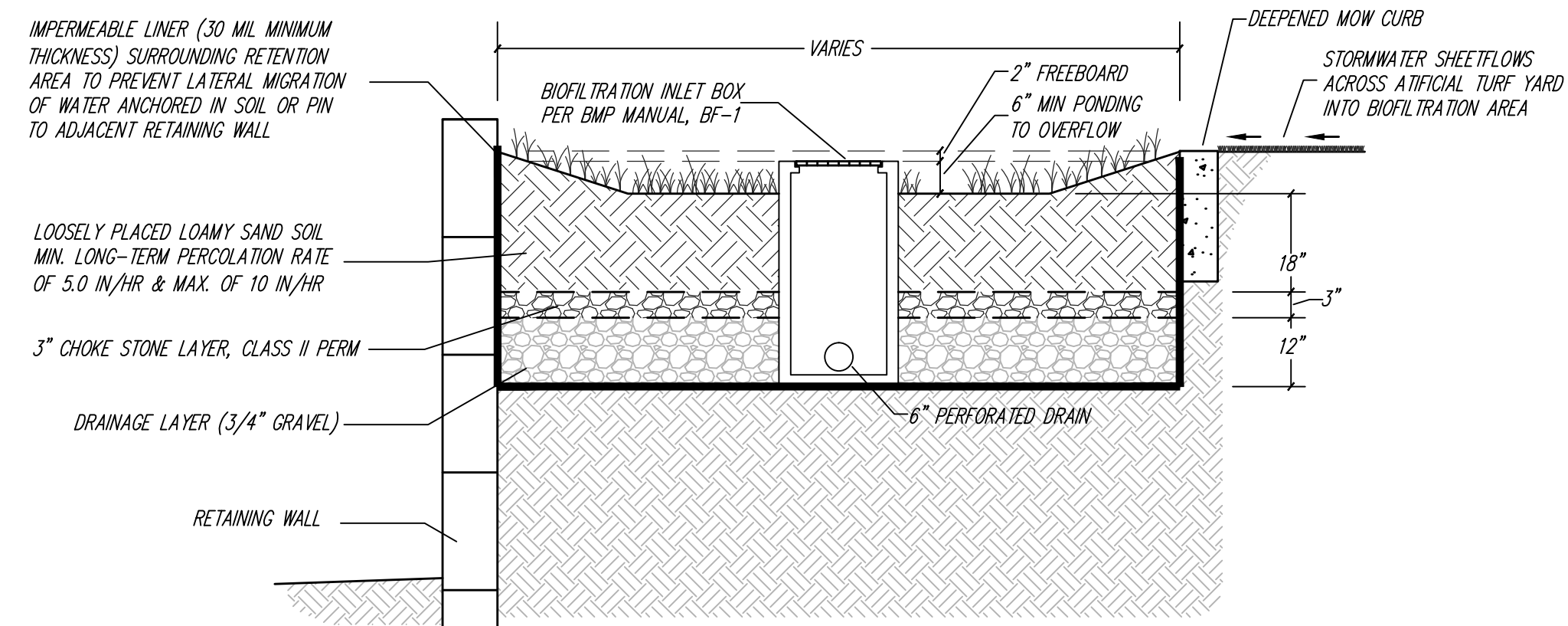
**2585 Calle Del Oro**  
 La Jolla, California 92037

Date	August 23, 2016
Project No.	0357
Design/ Drawing	SS/NS
Sheet	C-2
Scale	1"=10'

EROSION CONTROL PLAN

1.3





**BIOFILTRATION CROSS SECTION**

NOT TO SCALE

**DMA DATA TABLE**

DMA-NO.	TOT. AREA	IMPERVIOUS AREA	IMPERVIOUS %	TYPE/TREATED BY
DMA-1	16,784 SF	14,101 SF	84.0%	IMP-1, BIOFILTRATION AREA
-	-	-	-	-

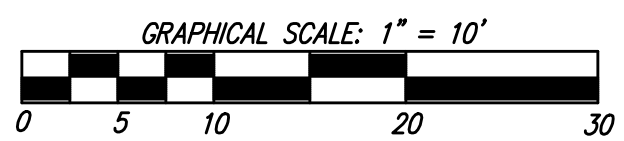
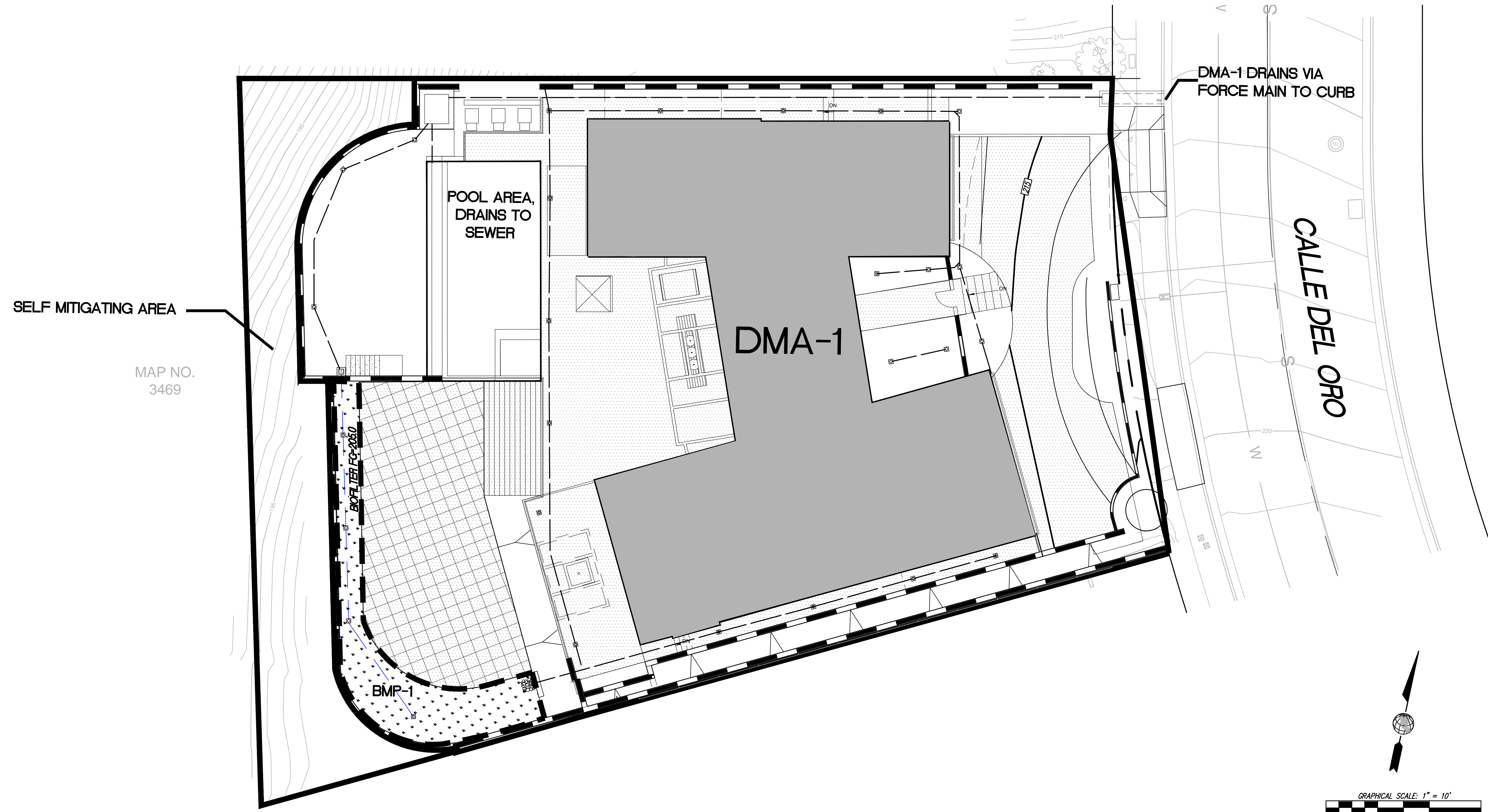
**STRUCTURAL BMP DATA TABLE**

IMP-#	TREATING	IMP TYPE	REQ'D FOOTPRINT	PROPOSED FOOTPRINT
IMP-1	DMA-1	BIOFILTRATION	402 SF	600 SF
-	-	-	-	-

**LEGEND:**

- BASIN BOUNDARY
- DRAINAGE ARROWS
- DRAINAGE MANAGEMENT AREA NO.
- SELF-MITIGATING AREA NO.
- INTEGRATED MANAGEMENT PRACTICE (IMP)
- BUILDING AREA
- HARDSCAPE AREA (IMPERVIOUS)
- LANDSCAPED AREA
- ARTIFICIAL TURF
- BIOFILTRATION/PONDING AREA

DMA-#  
SMA-#  
IMP-#



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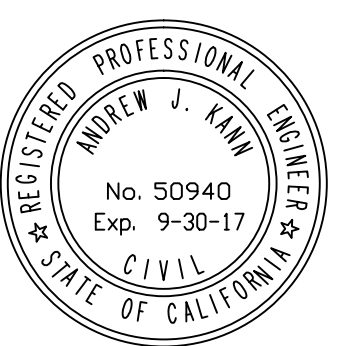
**KLEIN**  
RESIDENCE

2585 Calle Del Oro  
La Jolla, California 92037

Date	December 8, 2016
Project No.	0357
Design/ Drawing	SS/NS
Sheet	C-3
Scale	1"=10'

DETAILS

1.4



**Alcorn & Benton**  
ARCHITECTS

7757 Girard Avenue, La Jolla, California 92037  
P:858.450.0805 F:858.450.1350





**DEVELOPMENT SUMMARY INFO**

**PROJECT NAME:** KLEIN RESIDENCE  
**PROJECT ADDRESS:** 2585 CALLE DEL ORO  
 LA JOLLA, CA 02037  
**APN** 346-331-03-00  
**OWNER** THE TREVOR AND STACI KLEIN TRUST  
**ARCHITECT:** STUDIO WILLIAM HEFNER  
 PROJECT MANAGER: NATHALIE ARAGNO  
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**ARCHITECT ASSOCIATE:** ALCORN & BENTON ARCH  
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 paul@alcornbenton.com  
**PALEONTOLOGICAL:** BRIAN F. SMITH & ASSOCIATES  
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 (858) 484-0915  
 http://www.bfsa-ca.com/  
**RESUBMITTAL DATE** APRIL 24, 2017  
**SHEETS:** 10 of 21

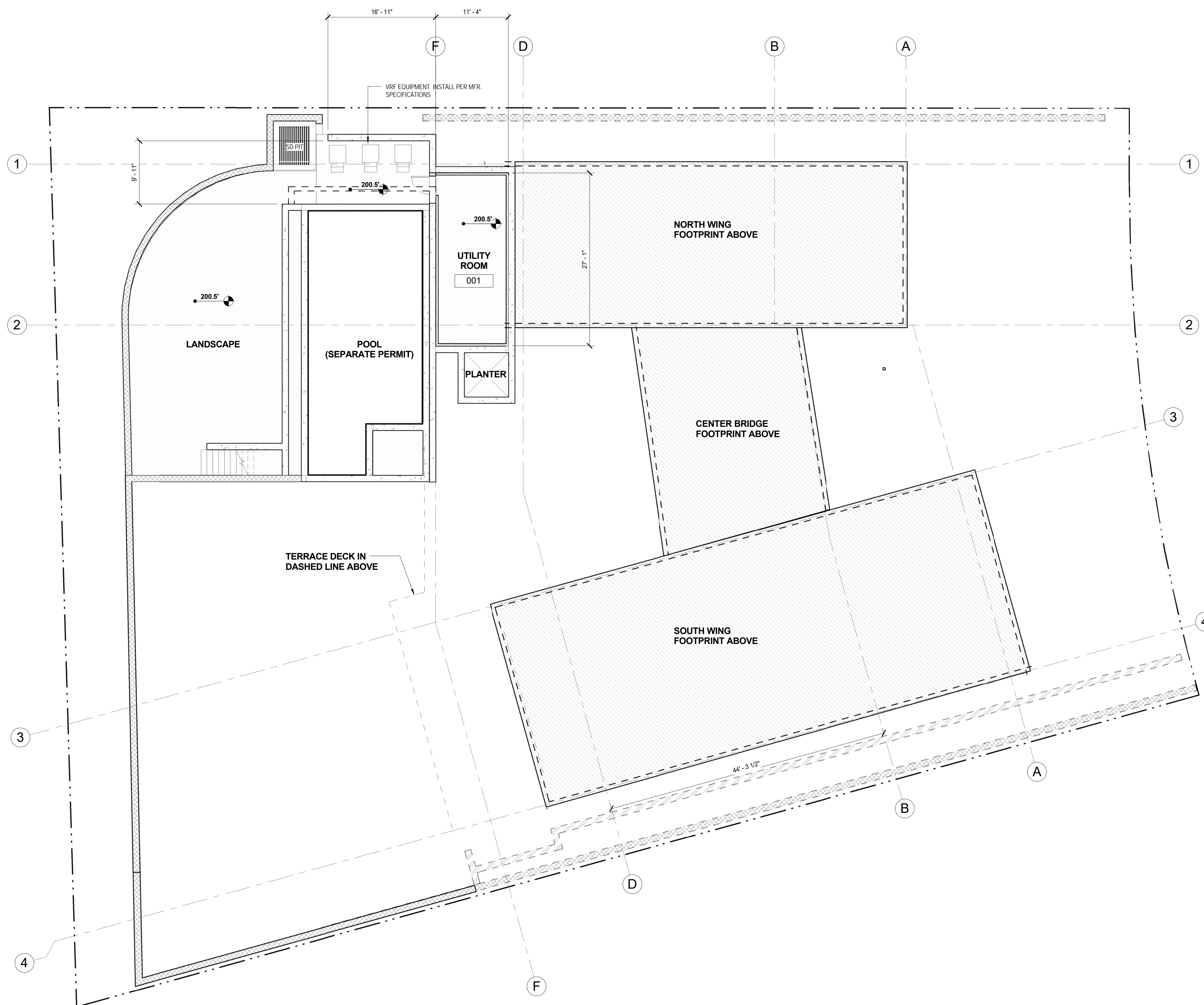
Not For Construction

**WALL TYPE LEGEND:**

- ① EXTERIOR 12" STRUCTURAL WALL PER STRUCTURE DWG. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - ② EXTERIOR CMU WALL WITH BRICK VENEER. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - ③ EXTERIOR CMU WALL PLASTER FINISH. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - ④ INTERIOR 5 1/2" NON RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS AND FINISH SCHEDULE.
  - ⑤ EXTERIOR WOOD FINISH W/ 5 1/2" FIRE RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - ⑥ EXTERIOR BRICK FINISH W/ 5 1/2" FIRE RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS AND FINISH SCHEDULE.
  - ⑦ INTERIOR 3 1/2" STUD FURRED WALL - SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - ⑧ INTERIOR POCKET WALL - 5" CAVITY SPACE BETWEEN 6x STUD ON ONE SIDE & 4x STUD @ 16" O.C. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - ⑨ EUROLINE STEEL FRAME GLASS WALL SYSTEM.
- DENOTES PROPERTY LINE

**PLUMBING FIXTURES AND FITTINGS FOR RESIDENTIAL BUILDINGS AS FOLLOW:**

- KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GPM AT 60 PSI - Response: "WATER SENSE LABELED" USING AERATOR ACCESSORY FOR FIXTURE EFFICIENCY
- STANDARD DISHWASHERS: 3.5 GALLONS PER CYCLE Response: Level "CEE" Tier 1 = 3.5 Gals
- COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE Response: Level "CEE" Tier 1 3.5 Gals
- CLOTHES WASHERS: WATER FACTOR OF 6 GALS PER CUBIC FT. OF DRUM CAPACITY Response: Level "CEE" Tier 2 = 4.5 Gals



① BASEMENT PLAN  
 1/8" = 1'-0"



Klein Residence  
 2585 Calle Del Oro  
 La Jolla, CA 92037

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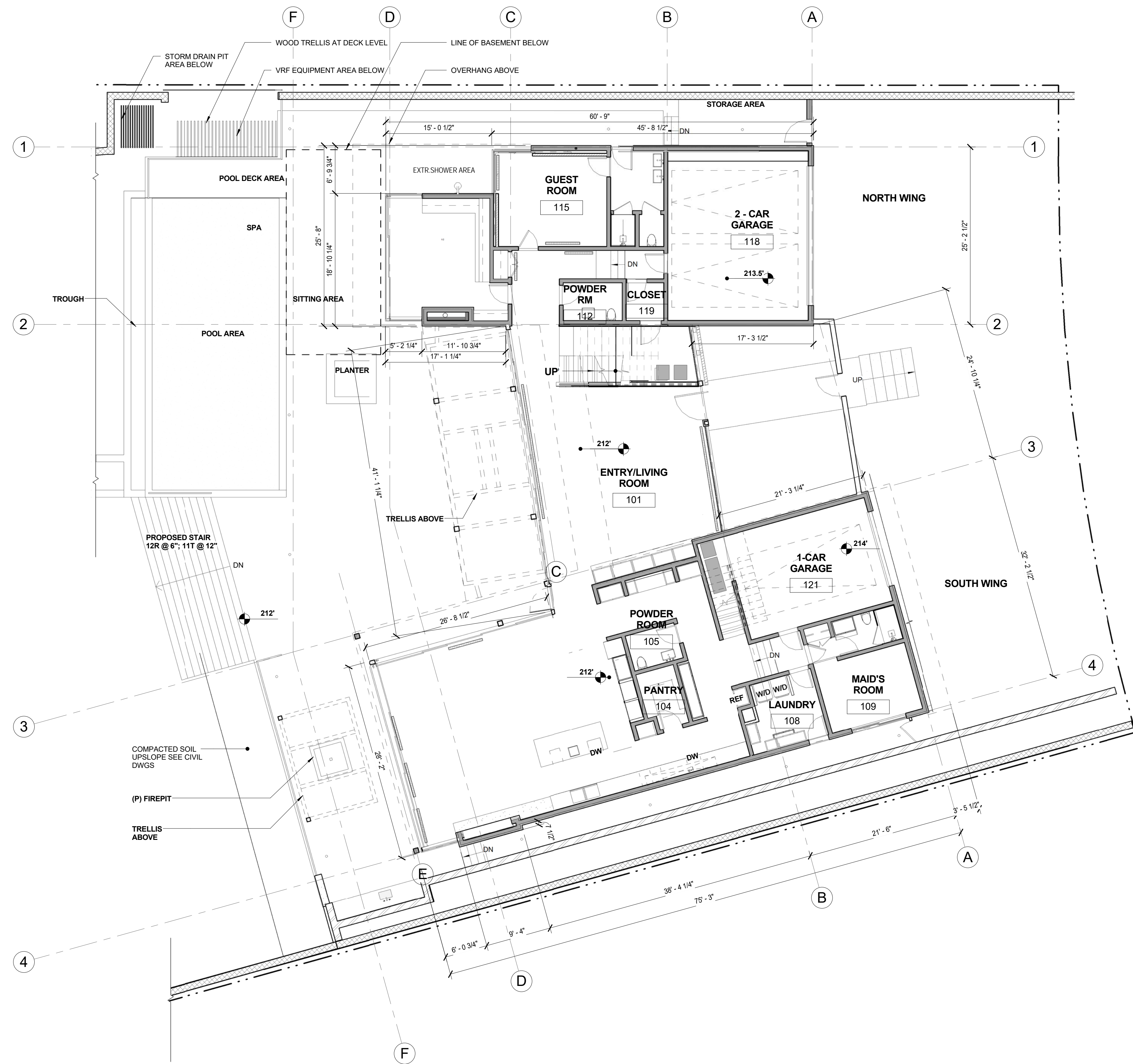
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Revision Schedule		
#	Description	Date

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**BASEMENT FLOOR PLAN**

2.0



**WALL TYPE LEGEND:**

- 1 EXTERIOR 12" STRUCTURAL WALL PER STRUCTURE DWG. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
- 2 EXTERIOR CMU WALL WITH BRICK VENEER. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
- 3 EXTERIOR CMU WALL PLASTER FINISH. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
- 4 INTERIOR 5 1/2" NON RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS AND FINISH SCHEDULE.
- 5 EXTERIOR WOOD FINISH W/ 5 1/2" FIRE RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
- 6 EXTERIOR BRICK FINISH W/ 5 1/2" FIRE RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS AND FINISH SCHEDULE.
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- 8 INTERIOR POCKET WALL - 5" CAVITY SPACE BETWEEN 6x STUD ON ONE-SIDE & 4x STUD @ 16" O.C. - SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
- 9 EUROLINE STEEL FRAME GLASS WALL SYSTEM.
- DENOTES PROPERTY LINE

**PLUMBING FIXTURES AND FITTINGS FOR RESIDENTIAL BUILDINGS AS FOLLOWS:**

- KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GPM AT 60 PSI = Response: "WATER SENSE LABELED" USING AERATOR ACCESSORY FOR FIXTURE EFFICIENCY
- STANDARD DISHWASHERS: 3.5 GALLONS PER CYCLE Response: Level "CEE" Tier 1 = 3.5 Gals
- COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE Response: Level "CEE" Tier 1 3.5 Gals
- CLOTHES WASHERS: WATER FACTOR OF 6 GALS PER CUBIC FT. OF DRUM CAPACITY Response: Level "CEE" Tier 2 = 4.5 Gals.

**DEVELOPMENT SUMMARY INFO**

**PROJECT NAME:** KLEIN RESIDENCE  
**PROJECT ADDRESS:** 2585 CALLE DEL ORO LA JOLLA, CA 02037  
**APN:** 346-331-03-00  
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 http://www.bfsa-ca.com/  
**RESUBMITTAL DATE:** APRIL 24, 2017  
**SHEETS:** 11 of 21

1 FIRST FLOOR PLAN  
 1/8" = 1'-0"



Klein Residence  
 2585 Calle Del Oro  
 La Jolla, CA 92037

scale: As indicated issue date: 04.24.2017

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Revision Schedule		
#	Description	Date

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**FIRST FLOOR PLAN**

2.1

Not For Construction

PRINTED 04/24/2017



**DEVELOPMENT SUMMARY INFO**

**PROJECT NAME:** KLEIN RESIDENCE  
**PROJECT ADDRESS:** 2585 CALLE DEL ORO  
 LA JOLLA, CA 02037  
**APN:** 346-331-03-00  
**OWNER:** THE TREVOR AND STACI KLEIN TRUST  
**ARCHITECT:** STUDIO WILLIAM HEFNER  
 PROJECT MANAGER: NATHALIE ARAGNO  
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**ARCHITECT ASSOCIATE:** ALCORN & BENTON ARCH  
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 POWAY, CA. 92064  
 (858) 484-0915  
 http://www.bfsa-ca.com/  
**RESUBMITTAL DATE:** APRIL 24, 2017  
**SHEETS:** 12 of 21

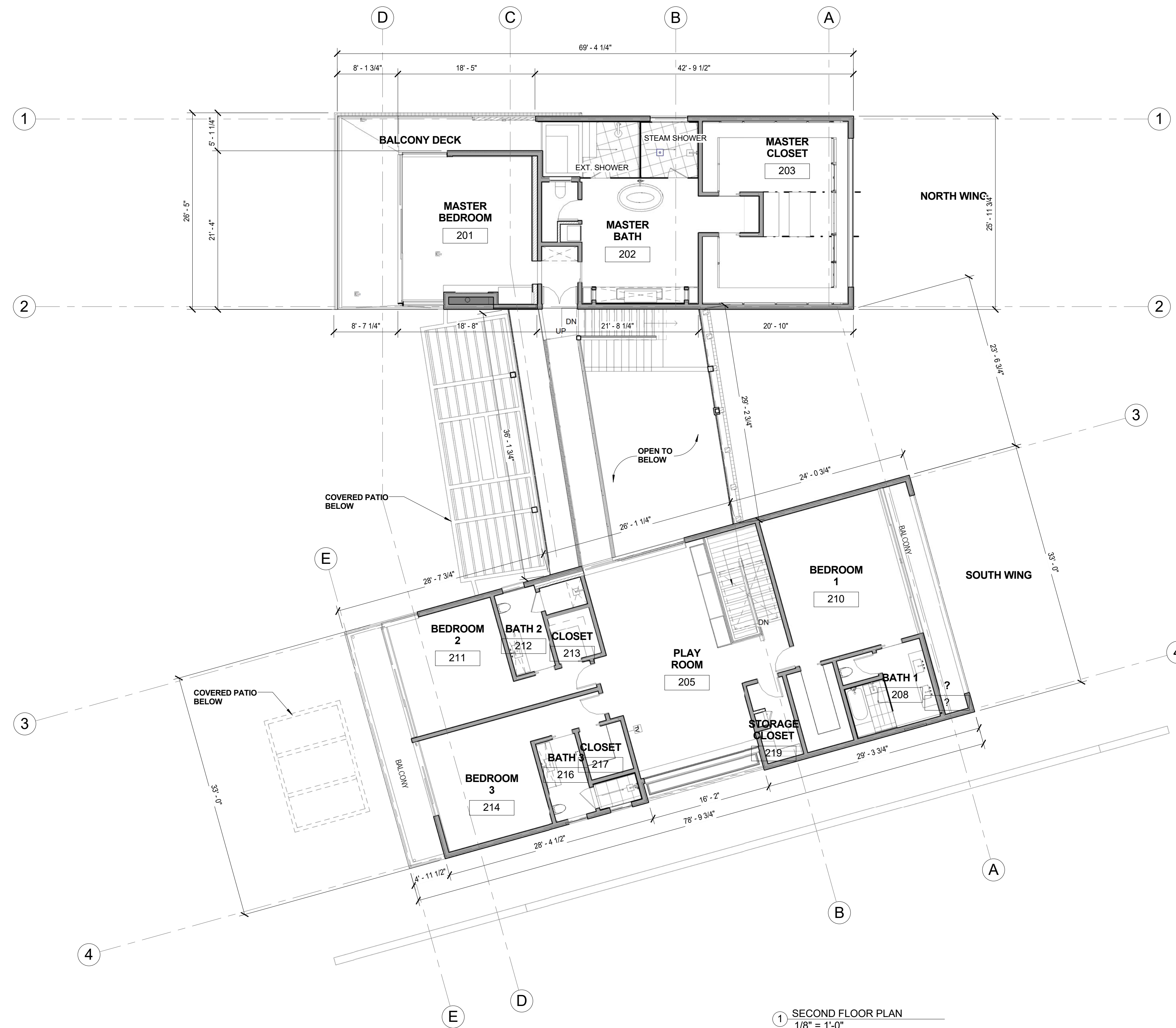
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**WALL TYPE LEGEND:**

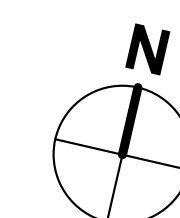
- 1 EXTERIOR 12" STRUCTURAL WALL PER STRUCTURE DWG. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - 2 EXTERIOR CMU WALL WITH BRICK VENEER. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - 3 EXTERIOR CMU WALL PLASTER FINISH. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - 4 INTERIOR 5 1/2" NON RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS AND FINISH SCHEDULE.
  - 5 EXTERIOR WOOD FINISH W/ 5 1/2" FIRE RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - 6 EXTERIOR BRICK FINISH W/ 5 1/2" FIRE RATED WD STUD WALL @ 16" O.C. SEE WALL TYPE FOR DETAILS AND FINISH SCHEDULE.
  - 7 INTERIOR 3 1/2" STUD FURRED WALL - SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - 8 INTERIOR POCKET WALL - 5" CAVITY SPACE BETWEEN 6x STUD ON ONE-SIDE & 4x STUD @ 16" O.C. SEE WALL TYPE FOR DETAILS & FINISH SCHEDULE.
  - 9 EUROLINE STEEL FRAME GLASS WALL SYSTEM.
- DENOTES PROPERTY LINE

**PLUMBING FIXTURES AND FITTINGS FOR RESIDENTIAL BUILDINGS AS FOLLOWS:**

- KITCHEN FAUCETS: MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GPM AT 60 PSI +  
 Response: "WATER SENSE LABELED" USING AERATOR ACCESSORY FOR FIXTURE EFFICIENCY
- STANDARD DISHWASHERS: 3.5 GALLONS PER CYCLE  
 Response: Level "CEE" Tier 1 = 3.5 Gals
- COMPACT DISHWASHERS: 3.5 GALLONS PER CYCLE  
 Response: Level "CEE" Tier 1 = 3.5 Gals
- CLOTHES WASHERS: WATER FACTOR OF 6 GALS PER CUBIC FT. OF DRUM CAPACITY  
 Response: Level "CEE" Tier 2 = 4.5 Gals.



1 SECOND FLOOR PLAN  
 1/8" = 1'-0"



Klein Residence  
 2585 Calle Del Oro  
 La Jolla, CA 92037

scale: As indicated issue date: 04.24.2017

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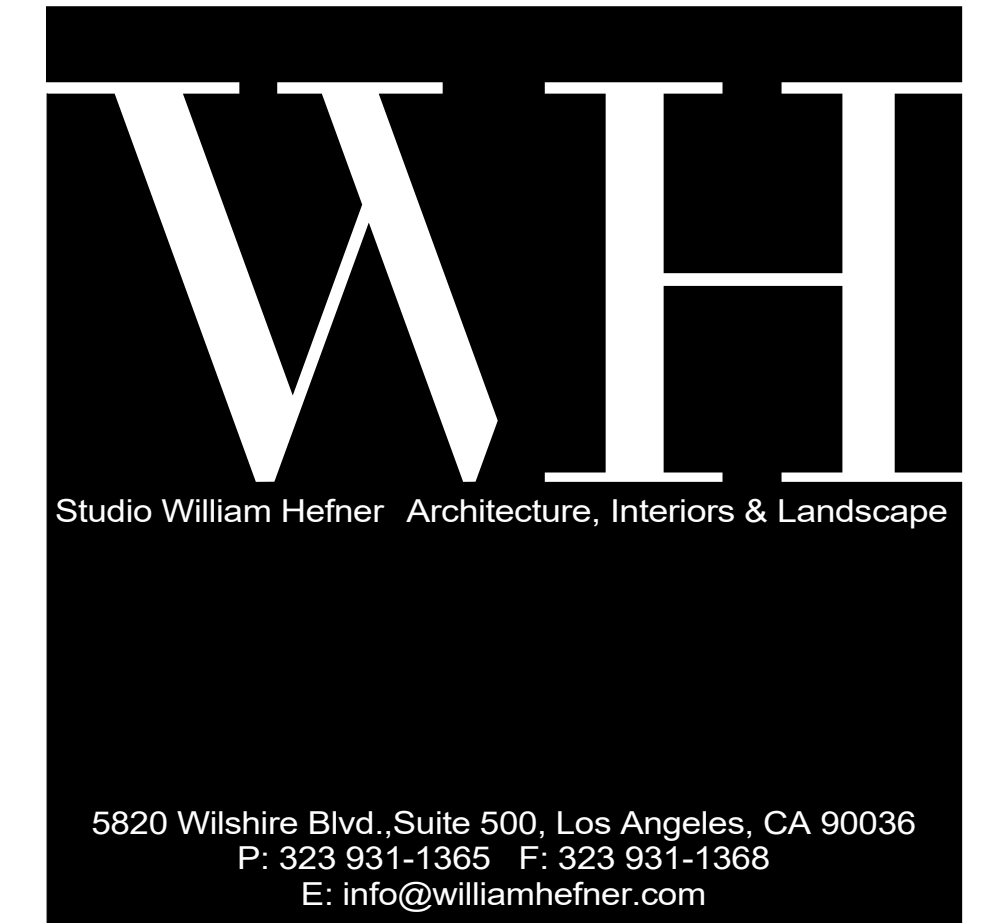
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**SECOND FLOOR PLAN**

2.2

PRINTED 10/24/2017



NOTE:  
 NO MECHANICAL EQUIPMENT OR SCREENING ELEMENTS WILL BE ON THE ROOF OR VISIBLE FROM THE STREET  
 MAX BUILDING ALLOWABLE HEIGHT: 30'-0"

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**RESUBMITTAL DATE:** APRIL 24, 2017  
**SHEETS:** 13 of 21

Not For Construction

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 La Jolla, CA 92037

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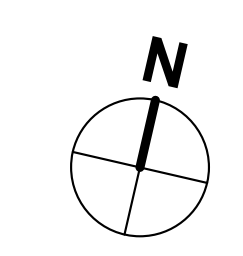
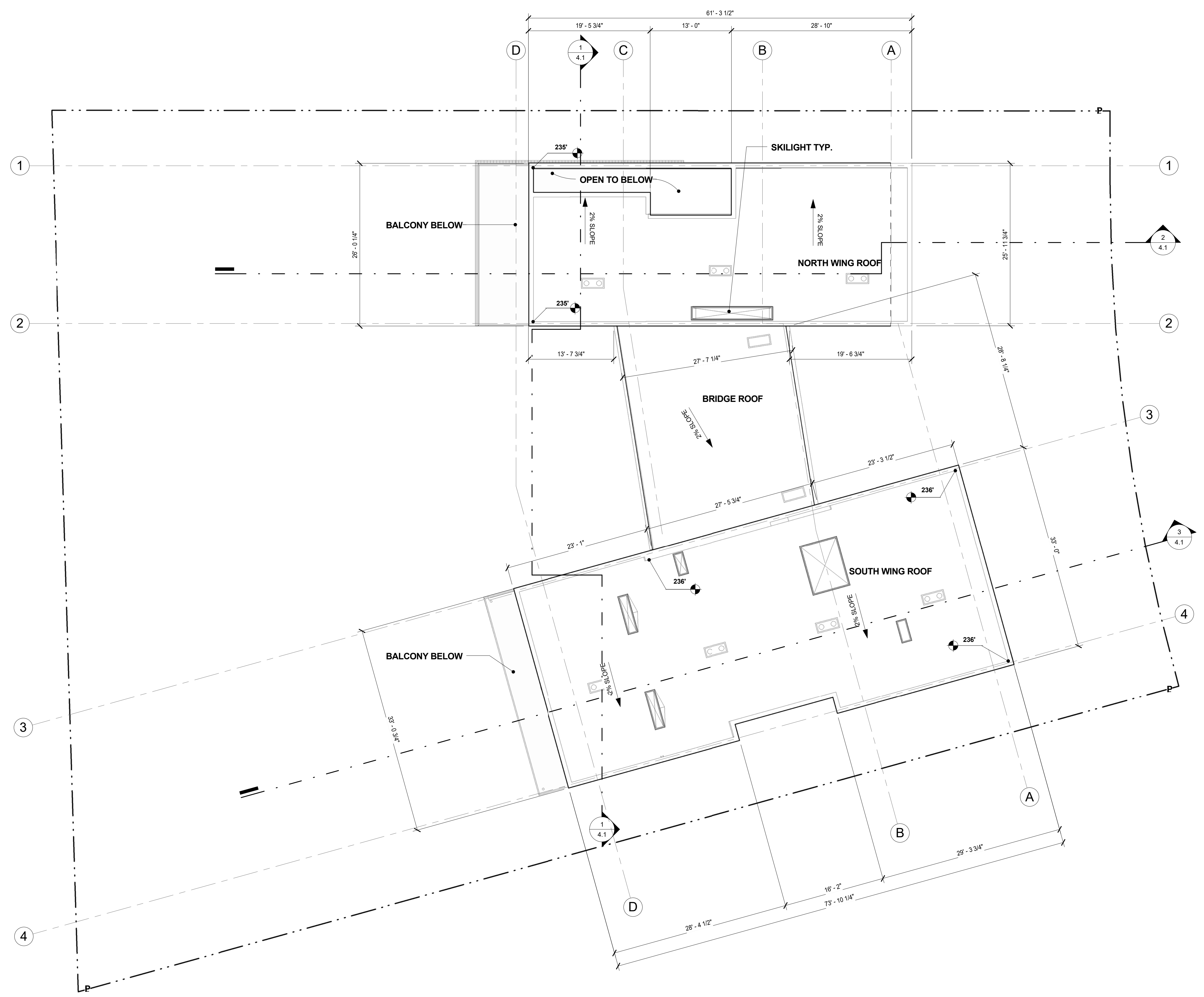
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**ROOF PLAN**

**2.3**





**DEVELOPMENT SUMMARY INFO**

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**RESUBMITTAL DATE:** APRIL 24, 2017  
**SHEETS:** 14 of 21

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 La Jolla, CA 92037

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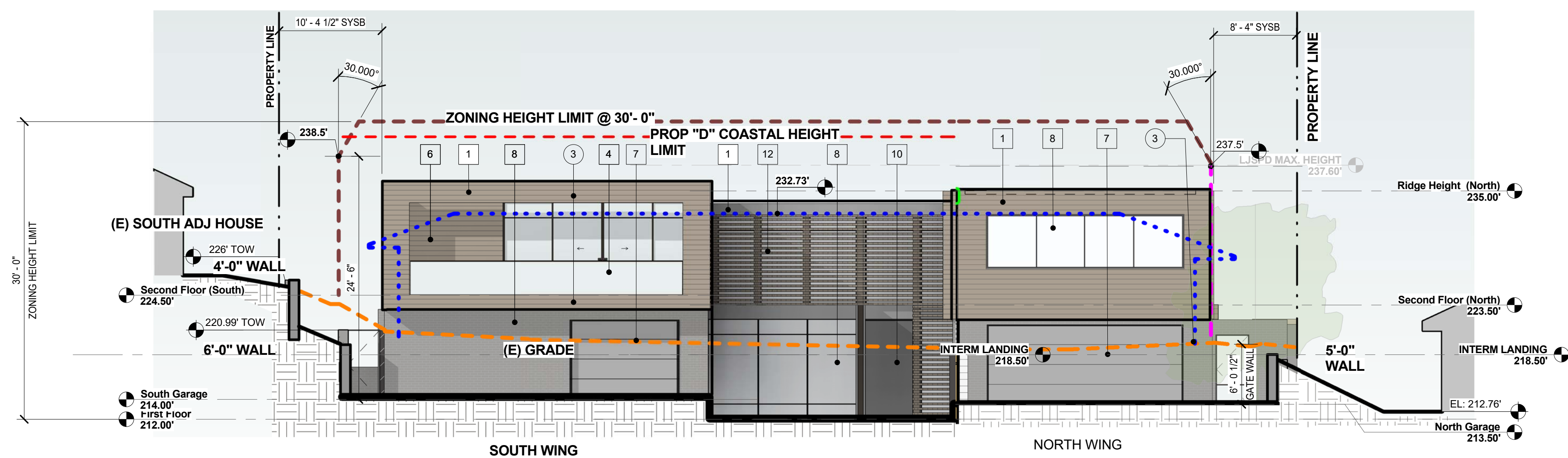
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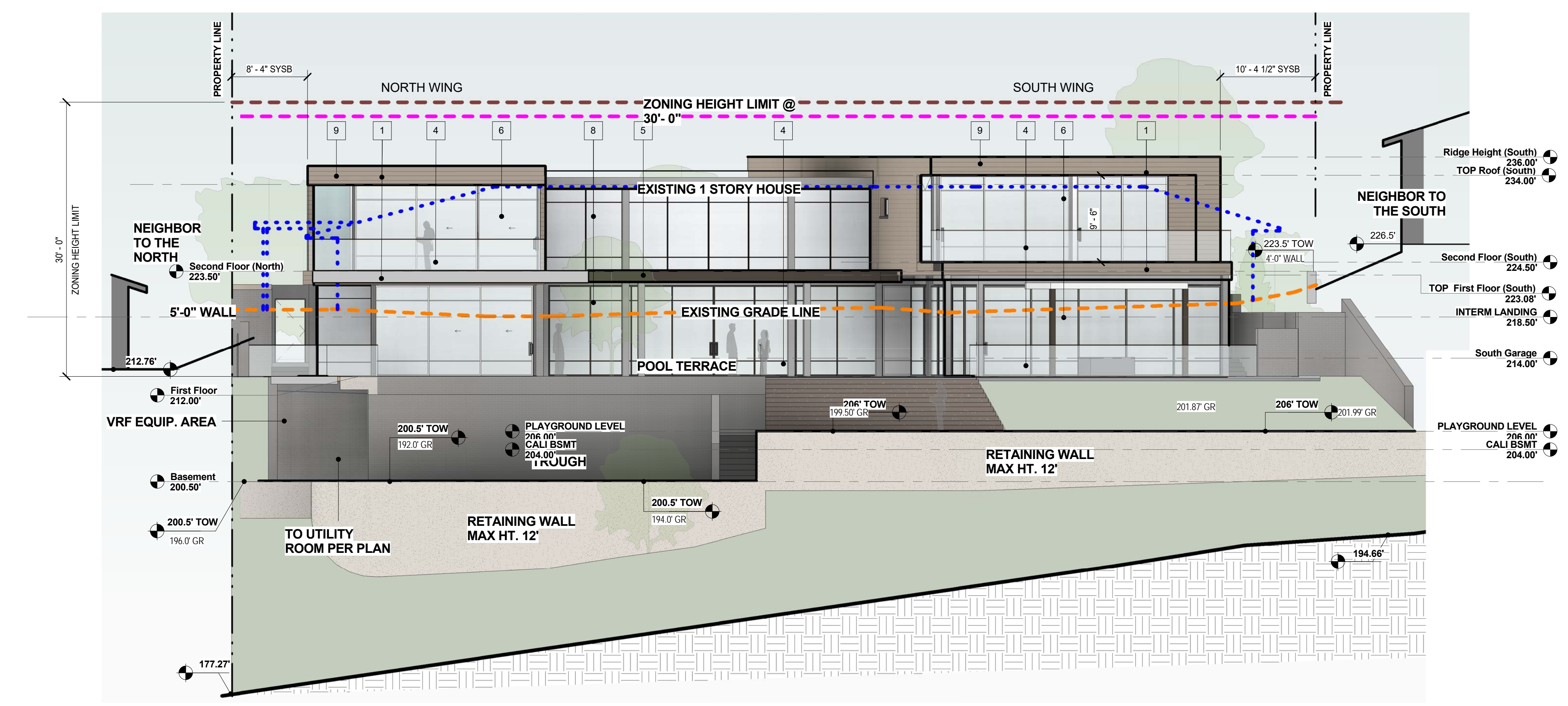
**EXTERIOR ELEVATIONS**

3.1

- ELEVATION KEYNOTES**
- | KEY | DESCRIPTION                                                                                                               |
|-----|---------------------------------------------------------------------------------------------------------------------------|
| 1   | WALL SIDING PANEL WEATHERED CYPRESS FINISH, PROVIDE ALTERNATE BID FOR WEATHERED TEAK WOOD. SEE FINISH SCHEDULE            |
| 2   | BACK PAINTED TEMPERED GLASS LAMINATE SYSTEM.                                                                              |
| 3   | EXTERIOR STUCCO, SMOOTH FINISH AND PAINTED, COLOR SELECTED BY ARCHITECT.                                                  |
| 4   | CONTINUOUS STAINLESS STEEL TOP RAIL AND SEAMLESS GLASS PANELING SYSTEM, SELECTED BY ARCHITECT                             |
| 5   | CANOPY OVERHANG BY "RESYSTA", COLOR SELECTED BY ARCHITECT.                                                                |
| 6   | CUSTOM-FIT BI-FOLD / SLIDING GLASS DOOR SYSTEM (TBD) GLASS TEMPERED WITH LAMINATED LOW-E GLAZING, REFER TO SCHEDULE       |
| 7   | CUSTOM FIT GARAGE DOOR, PAINTED / FACTORY FINISH                                                                          |
| 8   | GLASS TEMPERED WINDOW SYSTEM WITH LAMINATED LOW-E GLAZING, SEE SCHEDULE                                                   |
| 9   | CUSTOM SKYLIGHT AT ROOF BY OTHERS.                                                                                        |
| 10  | STEEL ENTRY DOOR FRAME & HARDWARE ASS'Y REFER TO DOOR SCHEDULE                                                            |
| 11  | CUSTOM SCREEN LOUVER WITH "WEATHERED CYPRESS" FINISH AT 2"X 3" IN SIZE - COLOR SELECTED BY ARCHITECT. SEE FINISH SCHEDULE |
| 12  | GUARDRAIL AT 42' A.F.F. W/ METAL PANELING SYSTEM COLOR SELECTED BY ARCHITECT                                              |
| 13  | STACKED BRICK VENEER FINISH, PAINTED                                                                                      |
| 14  | FASCIA BUILT-UP GUTTER PER SHT DETAIL A5.03.                                                                              |
| 15  | INSIDE WALL DOWNSPOUT                                                                                                     |



6 EAST ELEVATION  
 1/8" = 1'-0"



1 WEST ELEVATION  
 1/8" = 1'-0"

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Revision Schedule		
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7	CDP SUBMITTAL R2	06.29.2016

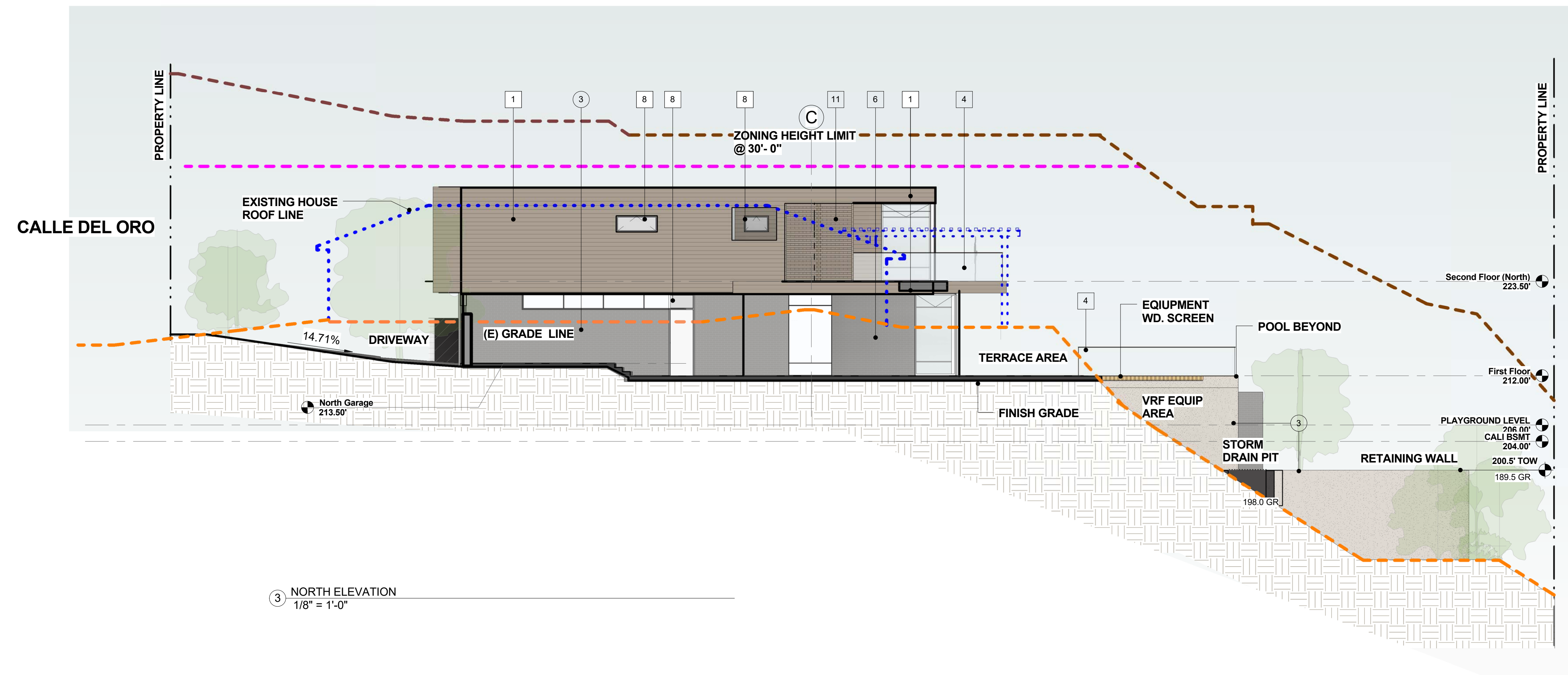
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**EXTERIOR ELEVATIONS**

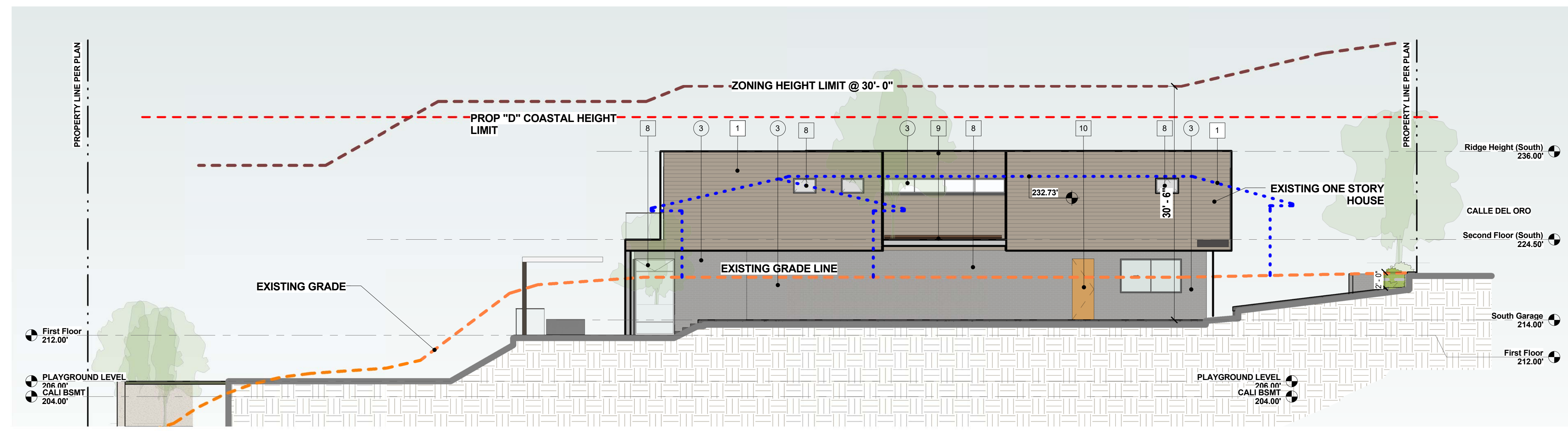
3.2

**ELEVATION KEYNOTES**

- | KEY | DESCRIPTION                                                                                                               |
|-----|---------------------------------------------------------------------------------------------------------------------------|
| 1   | WALL SIDING PANEL WEATHERED CYPRESS FINISH, PROVIDE ALTERNATE BID FOR WEATHERED TEAK WOOD. SEE FINISH SCHEDULE            |
| 2   | BACK PAINTED TEMPERED GLASS LAMINATE SYSTEM.                                                                              |
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| 8   | GLASS TEMPERED WINDOW SYSTEM WITH LAMINATED LOW-E GLAZING, SEE SCHEDULE                                                   |
| 9   | CUSTOM SKYLIGHT AT ROOF BY OTHERS.                                                                                        |
| 10  | STEEL ENTRY DOOR FRAME & HARDWARE ASSY REFER TO DOOR SCHEDULE                                                             |
| 11  | CUSTOM SCREEN LOUVER WITH "WEATHERED CYPRESS" FINISH AT 2"X 3" IN SIZE - COLOR SELECTED BY ARCHITECT. SEE FINISH SCHEDULE |
| 12  | GUARDRAIL AT 42' A.F.F. W/ METAL PANELING SYSTEM COLOR SELECTED BY ARCHITECT                                              |
| 13  | STACKED BRICK VENEER FINISH, PAINTED                                                                                      |
| 14  | FASCIA BUILT-UP GUTTER PER SHT DETAIL A5.03.                                                                              |
| 15  | INSIDE WALL DOWNSPOUT                                                                                                     |



3 NORTH ELEVATION  
 1/8" = 1'-0"



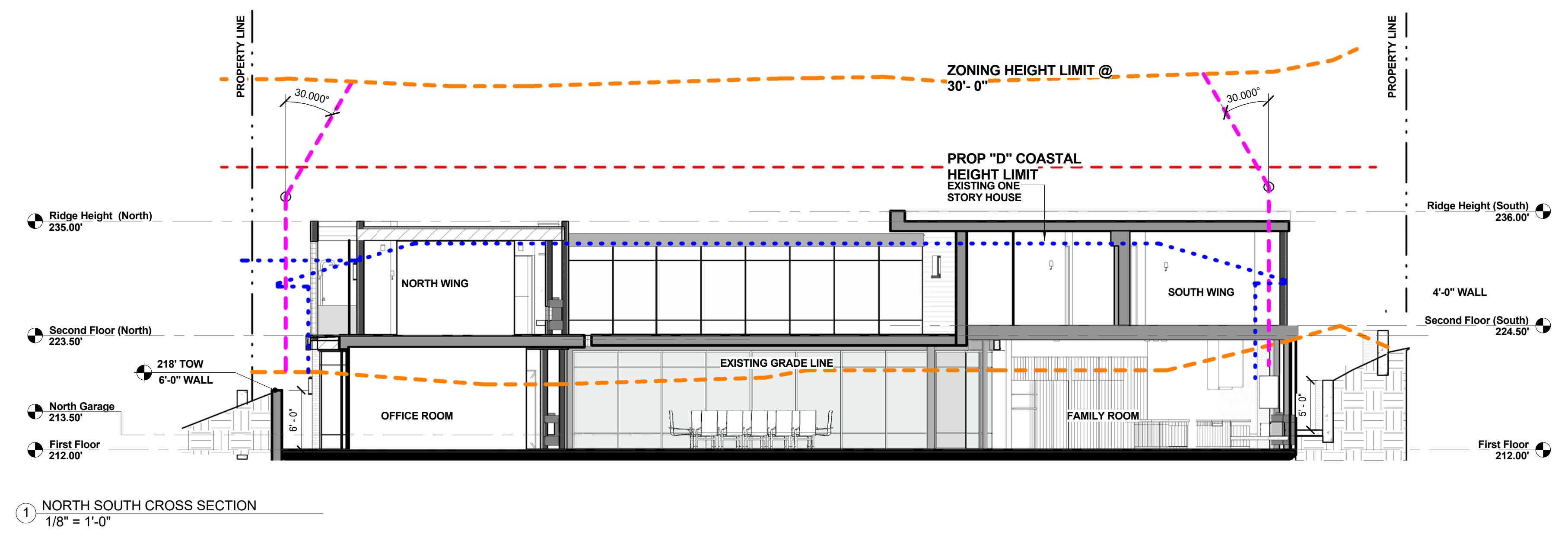
4 SOUTH ELEVATION AT SOUTH WING (3'-0" LOWER)  
 1/8" = 1'-0"



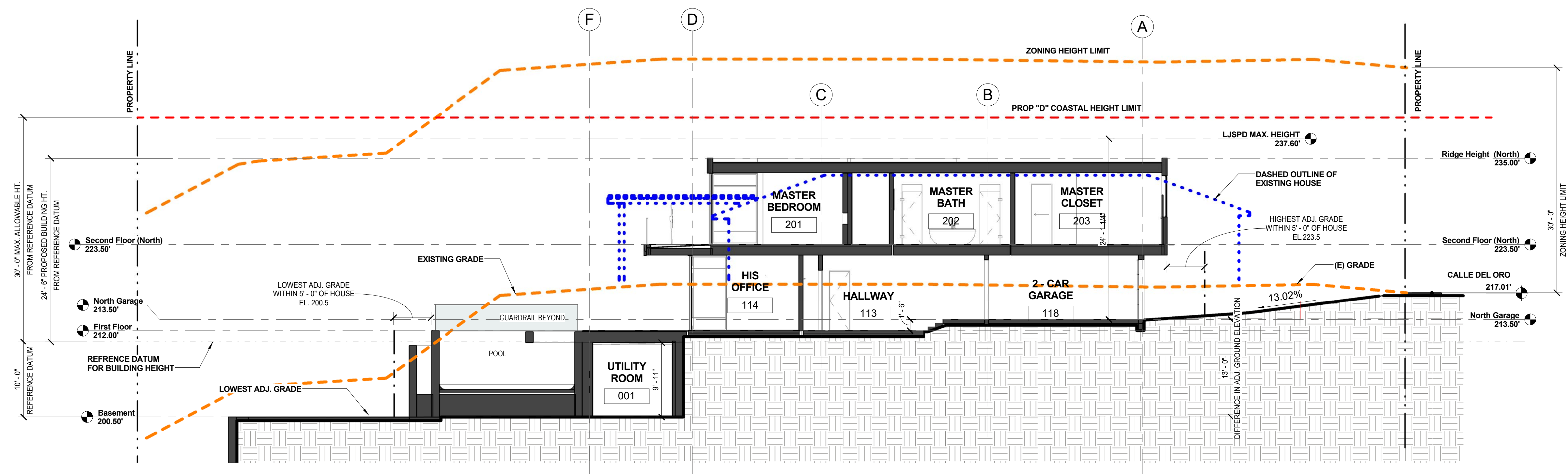
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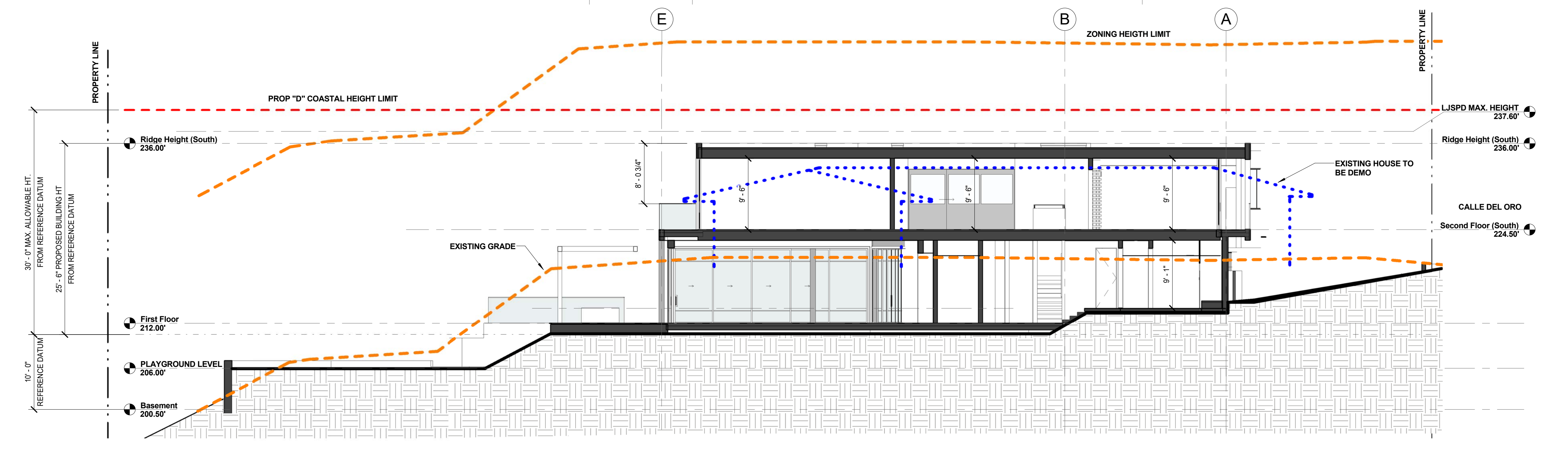
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1 NORTH SOUTH CROSS SECTION  
 1/8" = 1'-0"



2 NORTH WING SECTION  
 1/8" = 1'-0"



3 SOUTH WING SECTION  
 1/8" = 1'-0"

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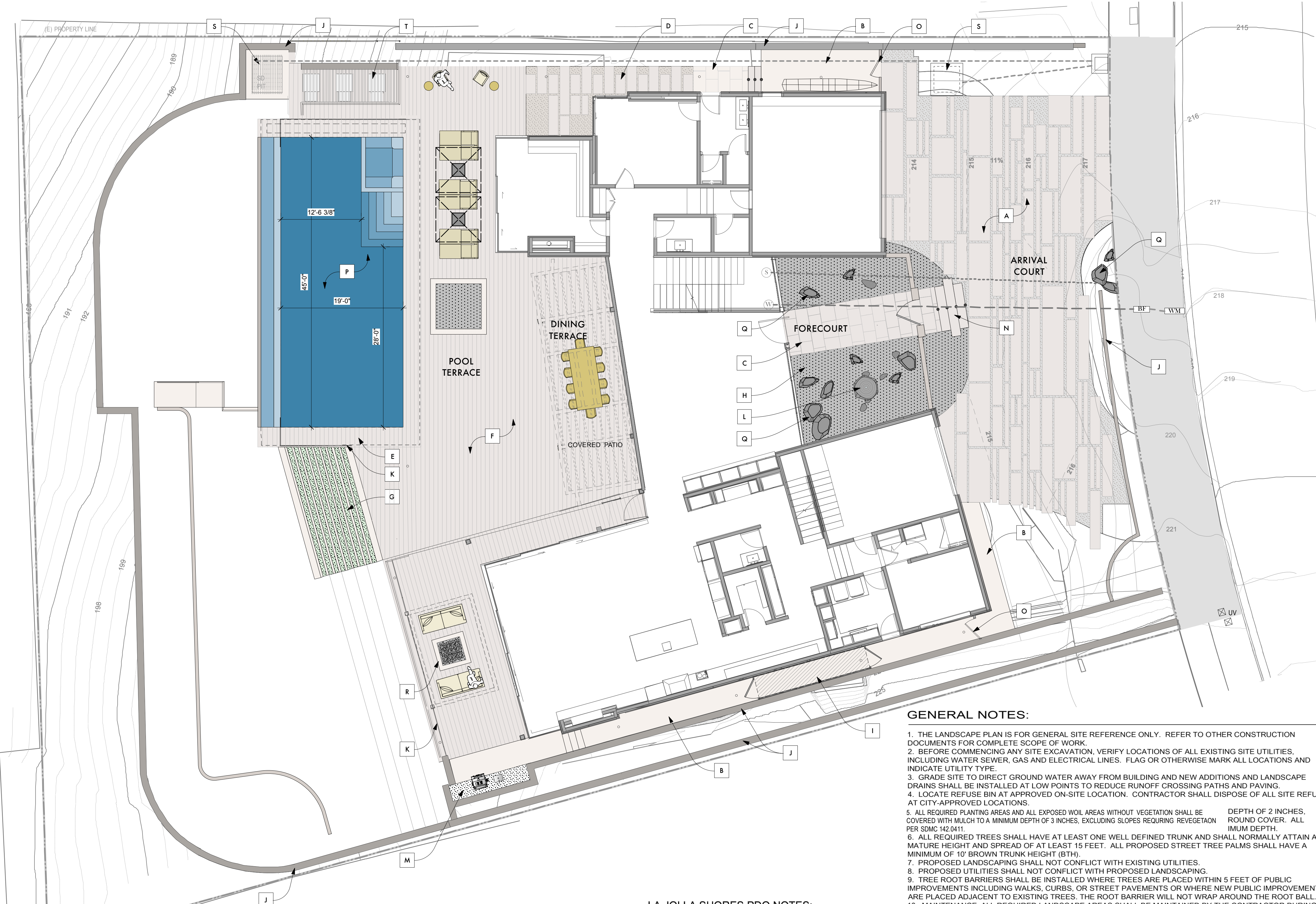
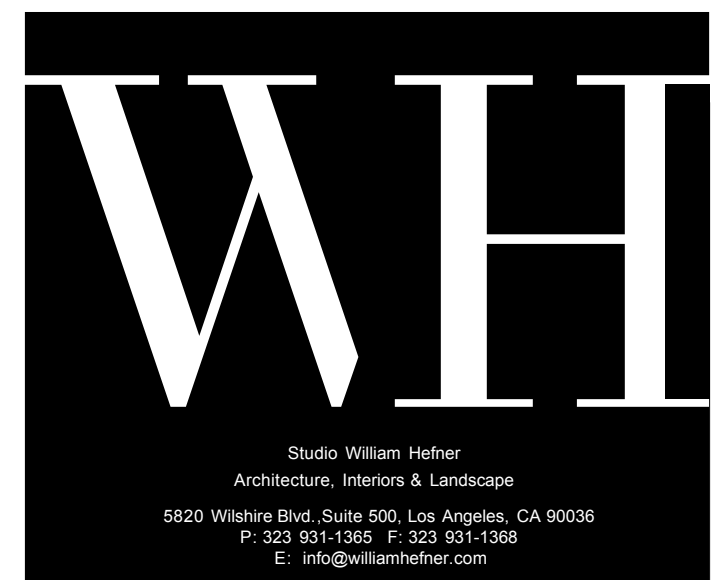
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BUILDING SECTIONS

4.1

04/20/17 15:40:20 PM



**HARDSCAPE LEGEND:**

**PROPOSED HARDSCAPE MATERIAL LEGEND:**

- A** HARDSCAPE PAVING 'A' 1,404 S.F. (1,783 S.F. including planted joints)  
Open grid stone pavers:  
5" THICK SEEDED AGGREGATE INTEGRAL COLOR CONCRETE SLAB WITH #4 EPOXY COATED REBAR @ 16" OCEW OVER 4" CLASS II BASE OVER 90% COMPACTED CERTIFIED FILL. (REFERENCE STRUCTURAL ENGINEER'S DRAWINGS AND GEOTECHNICAL ENGINEER'S REPORT)  
(GROUT COLOR PER OWNER APPROVED ONSITE SAMPLE)  
NOTE: REINFORCED CONCRETE GRADE BEAMS TO SUPPORT ALL DRIVEWAY PADS. REFERENCE STRUCTURAL ENGINEER'S DRAWINGS.
- B** HARDSCAPE PAVING 'B' 667 S.F.  
Non-porous paving:  
4" THICK INTEGRAL COLOR CONCRETE w/ TOPCAST #3 FINISH OVER 4" CLASS II BASE OVER 90% COMPACTED SUBGRADE (REFERENCE STRUCTURAL ENGINEER'S DRAWINGS & GEOTECHNICAL REPORT)
- C** HARDSCAPE PAVING 'C' 239 S.F.  
Unattached unit pavers:  
4" THICK SEEDED AGGREGATE INTEGRAL COLOR CONCRETE WITH #4 EPOXY COATED REBAR @ 16" OCEW OVER 4" CLASS II BASE OVER 90% COMPACTED CERTIFIED FILL
- D** HARDSCAPE PAVING 'D' 143,152 S.F. (255 S.F. including planted joints)  
Open grid stone pavers:  
2" (50mm) THICK PRE-CAST INTEGRAL COLOR CONCRETE PAVERS OVER 4" CLASS II BASE OVER 90% COMPACTED CERTIFIED FILL. (REFERENCE GEOTECHNICAL ENGINEER'S REPORT)  
(GROUT COLOR PER OWNER APPROVED ONSITE SAMPLE)
- E** HARDSCAPE PAVING 'E' 265 S.F.  
Unattached unit pavers:  
3/4" THICK WOOD COPING OVER SLEEPERS / PEDESTAL SYSTEM OVER REINFORCED CONCRETE POOL STRUCTURE (REFERENCE STRUCTURAL ENGINEER'S DRAWINGS) OVER CERTIFIED FILL. (REFERENCE GEOTECHNICAL REPORT)
- F** HARDSCAPE PAVING 'F' 2,474,077 S.F.  
Unattached unit pavers:  
3/4" THICK WOOD DECK OVER SLEEPERS / PEDESTAL SYSTEM OVER SUBSLAB  
REFERENCE ARCHITECTURAL, CIVIL ENGINEER'S, AND STRUCTURAL ENGINEER'S DRAWINGS FOR SUBSLAB AREA DRAIN LOCATIONS)
- G** HARDSCAPE PAVING 'G' 105 S.F. (232 S.F. including planted joints)  
Open grid concrete stairs:  
CAST-IN-PLACE 6" THICK RISER x 4" THICK TREAD INTEGRAL COLOR CONCRETE STAIRS w/ TOPCAST #3 FINISH OVER 4" CLASS II BASE OVER 90% COMPACTED SUBGRADE, WATERPROOF CONCRETE (REFERENCE STRUCTURAL ENGINEER'S DRAWINGS & GEOTECHNICAL REPORT)
- H** HARDSCAPE PAVING 'H' 493 S.F.  
Porous paving:  
1" TO 8" DIA. 'SAN QUINTIN' BLACK MEXICAN BEACH PEBBLES OVER WEED BLOCK CLOTH  
VENDOR: BOUGET BROS. BUILDING MATERIALS

**LANDSCAPE KEY NOTES:**

- I** COVERED AND SCREENED REFUSE STORAGE
- J** PLASTER RETAINING WALL 539 S.F.  
8" CMU BLOCK WALL (REFERENCE STRUCTURAL ENGINEER'S DRAWINGS) w/ PLASTER FINISH TO MATCH ARCHITECTURE
- K** GLASS GUARDRAIL
- L** BOULDER FOUNTAIN
- M** BARBECUE GRILL
- N** STONE STAIR 480.75 S.F.  
TREADS: 18"  
RISERS: 6"  
LENGTH: 9'-0" & 7'-0" (PER PLAN)  
6" LIMESTONE STAIR TREADS OVER REINFORCED CONCRETE STAIR STRUCTURE OVER 4" CLASS II BASE OVER 90% COMPACTED SUBGRADE
- O** SIDEYARD GATE WITH POOL COMPLIANT GATE LATCH AND HARDWARE
- P** POOL
- Q** BASALT BOULDERS PER OWNER APPROVED SAMPLE
- R** FIRE PIT
- S** SUMP PUMP VAULT REFERENCE CIVIL ENGINEER'S DRAWINGS
- T** MECHANICAL CONDENSER REFERENCE CIVIL ENGINEER'S DRAWINGS

**GENERAL NOTES:**

1. THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
2. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
3. GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS AND LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
4. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
5. ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411. DEPTH OF 2 INCHES, ROUND COVER. ALL MULCH DEPTH.
6. ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM OF 10" BROWN TRUNK HEIGHT (BTH).
7. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
8. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
9. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. LANDSCAPE TO BE MAINTAINED BY THE OWNER AFTER CONSTRUCTION AND MAINTENANCE PERIOD.
11. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
12. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL. LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
13. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
14. ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL AS SHOWN ON THE APPROVED EXHIBIT "A": LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
15. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
16. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL. SEE SHEET C-2 FOR HYDROSEED MIX DETAILS AND SPECIFICATIONS.
17. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES, THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE CONSISTENT WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [LDC 1520.0 04(f)] 30% AREA REQUIREMENT, THE LA JOLLA COMMUNITY PLAN RESIDENTIAL STREET TREE DISTRICTS, AND THE LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARD.
18. THE OWNER/PERMITTEE SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS SHOWN ON THE APPROVED PLANS, INCLUDING IN THE RIGHT-OF-WAY, CONSISTENT WITH THE LANDSCAPE STANDARDS UNLESS LONG-TERM MAINTENANCE OF SAID LANDSCAPING WILL BE THE RESPONSIBILITY OF A LANDSCAPE MAINTENANCE DISTRICT OF OTHER APPROVED ENTITY.
19. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
20. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENTS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.

**LA JOLLA SHORES PDO NOTES:**

1. IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
2. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
3. ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

**LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:**

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:  
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE  
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE [LDC 1510.0304(H)].

TOTAL PARCEL AREA:	20,027 S.F.
PLANTING AREA REQUIRED:	6,008 S.F. (30%)
PLANTING AREA PROVIDED:	8,128 S.F. (40.1%)
EXCESS AREA PROVIDED:	2,120 S.F.
ROOF AREA	4,808 S.F.

SEE SHEET 1.1 FOR PLANTING AREA DIAGRAM.

**IRRIGATION NOTE:**

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM. ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP. NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
2. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUT-OFF DEVICE.

**DRAINAGE NOTES:**

1. THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
2. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
3. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

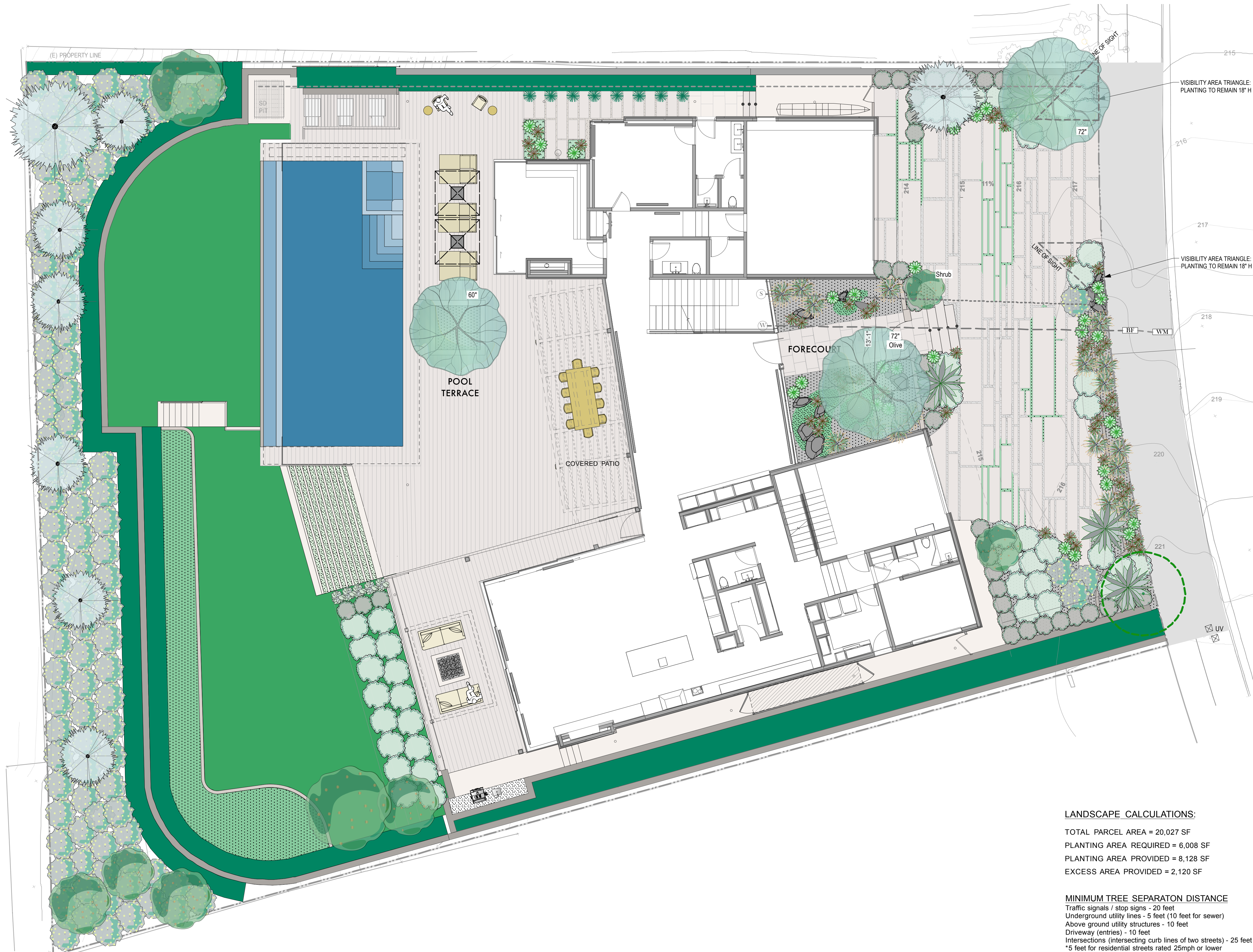
**DEVELOPMENT SUMMARY INFO**

PROJECT NAME:	KLEIN RESIDENCE
PROJECT ADDRESS:	2585 CALLE DEL ORO LA JOLLA, CA 92037
APN:	346-331-03-00
OWNER:	THE TREVOR & STACI KLEIN TRUST
ARCHITECT:	STUDIO WILLIAM HEFFNER PROJECT MANAGER: NATHALIE ARAGNO 5820 WILSHIRE BLVD. SUITE 500 LOS ANGELES, CA 90036 323.931.1365 (P) nathalie@williamheffner.com
ARCHITECT ASSOCIATE:	ALCORN & BENTON ARCH 7757 GIRARD AVE. LA JOLLA, CA 92037 858.459.0808 (P) 858.459.1350 (F) psai@alcornbenton.com
SHEET:	17 OF 21

<b>KLEIN RESIDENCE</b>			
LOT 13 MAP NO. 4392			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT 17 OF 21 SHEETS		I.O. NO. PROJECT NO. 441535	
FOR CITY ENGINEER			
DESCRIPTION	BY	DATE	FILMED
ORIGINAL	DEC	06.22.2017	
		1021-0251 NADES COORDINATES	
		252-1682 LAMBERT COORDINATES	
AS-BUILT	DATE STARTED: _____		
CONTRACTOR	DATE STARTED: _____		
INSPECTOR	DATE STARTED: _____		
Issue date:	06.22.2017		
Scale:	1/8" = 1'-0"		
<b>N.T.S. # PRINTED IN 11 X 17</b>			
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<b>LANDSCAPE DEVELOPMENT PLAN</b>			
<b>L-1.0</b>			

Not For Construction





PLANTING LEGEND

PROPOSED PLANT MATERIAL LEGEND:	QTY.	SIZE
EVERGREEN GROUND COVER Low growing ground cover - 24" tall and spreading Acacia redolens 'Desert Carpet'	109	5 gallon Prostrate Acacia
EVERGREEN BORDER Small scale succulent - 18" tall x 24" wide Agave 'Blue Glow'	43	15 gallon Blue Glow Agave
EVERGREEN BORDER Small scale succulent - 24" tall x 24" wide Agave celsii var. albicans 'UCB'	30	15 gallon Albicans Agave
EVERGREEN ACCENT Medium scale succulent - 48" tall x 72" wide Agave weberi 'Reiner's Selection'	4	24" box Reiner's Agave
EVERGREEN ACCENT Medium scale shrub - 48" tall x 72" wide Calothamnus quadrifidus 'Seaside'	6	24" box Seaside One-sided Bottlebrush
EVERGREEN PERENNIAL ACCENT Medium scale succulent - 36" tall x 36" wide Chondropetalum tectorum 'El Campo'	17	15 gallon Small Cape Rush
EVERGREEN BORDER Small scale succulent - 30" tall x 30" wide Crassula x arborea 'Bluebird'	5	5 gallon NCN
EVERGREEN VERTICAL ACCENT TREE Large scale shrub / tree - 30" tall x 8" wide Cupressus guadalupensis	8	36" box Guadalupe Island Cypress
EVERGREEN PERENNIAL ACCENT Low growing ground cover - 12" tall and spreading Dianella revoluta 'Baby Bliss'	8	2 gallon Black Anther Flax Lily
EVERGREEN GROUND COVER Low growing ground cover - <1" tall (126 s.f. at 4" o.c.) Dymondia margaritae	2	flats Silver Carpet
EVERGREEN GROUND COVER (BIO-SWALE) Low growing ground cover - 1" tall and 18" wide (484 s.f.) Festuca rubra	sod	Red Fescue
EVERGREEN VERTICAL ACCENT TREE Medium scale tree - 25" tall x 10" wide Olea europaea 'Swan Hill'	3	as noted Swan Hill Fruitless Olive Tree
EVERGREEN SCREENING HEDGE Medium screen shrub - 48" tall x 48" wide Olea europaea 'Little Olive'	41	15 gallon Dwarf Fruitless Olive
EVERGREEN SCREENING HEDGE Large screen shrub - 12" tall x 6" wide (30" o.c.) Podocarpus gracilior	255	24" box Fern Podocarpus
EVERGREEN BORDER Small scale shrub - 18" tall x 72" wide Rhogodia spinescens	44	5 gallon Creeping Australian Saltbush
EVERGREEN GROUND COVER Low growing ground cover - less than 12" tall and spreading Myoporum parvifolium	12	flats Creeping Myoporum
EXISTING TREE TO PROTECT-IN-PLACE Olea europaea		Olive Tree

LANDSCAPE CALCULATIONS:

TOTAL PARCEL AREA = 20,027 SF  
 PLANTING AREA REQUIRED = 6,008 SF  
 PLANTING AREA PROVIDED = 8,128 SF  
 EXCESS AREA PROVIDED = 2,120 SF

MINIMUM TREE SEPARATION DISTANCE

Traffic signals / stop signs - 20 feet  
 Underground utility lines - 5 feet (10 feet for sewer)  
 Above ground utility structures - 10 feet  
 Driveway (entries) - 10 feet  
 Intersections (intersecting curb lines of two streets) - 25 feet  
 \*5 feet for residential streets rated 25mph or lower

SEE SHEET 1.1 FOR PLANTING AREA DIAGRAM

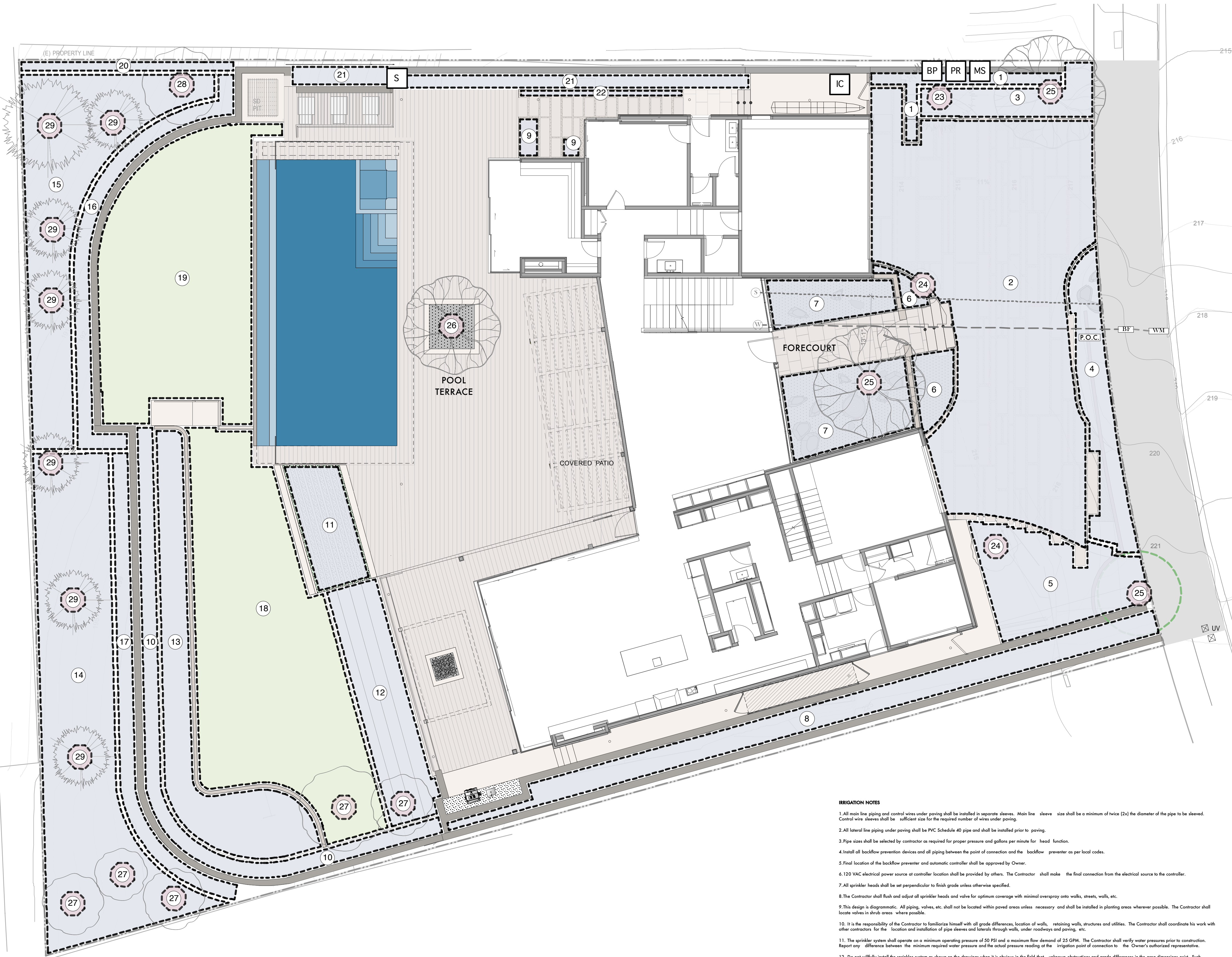
DEVELOPMENT SUMMARY INFO

PROJECT NAME: KLEIN RESIDENCE  
 PROJECT ADDRESS: 2888 CALLE DEL ORO  
 LA JOLLA, CA 92037  
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 858.459.0805 (P)  
 858.459.1350 (F)  
 paul@alcornbenton.com  
 SHEET: 18 OF 21

KLEIN RESIDENCE		LOT 13 MAP NO. 4392	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT 18 OF 21 SHEETS		I.O. NO. PROJECT NO. 441535	
FOR CITY ENGINEER	DATE		
DESCRIPTION BY	APPROVED DATE	DATE	FILMED
ORIGINAL	OEC	06.22.2017	1920-6251
		NAD83 COORDINATES	
		252.1692	
		LAMBERT COORDINATES	
AS-BUILT	DATE STARTED		
CONTRACTOR	DATE STARTED		
INSPECTOR	DATE STARTED		
DATE:	06.22.2017		
SCALE:	1/8" = 1'-0"		

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**IRRIGATION NOTES**

- All main line piping and control wires under paving shall be installed in separate sleeves. Main line sleeve size shall be a minimum of twice (2x) the diameter of the pipe to be sleeved. Control wire sleeves shall be sufficient size for the required number of wires under paving.
- All lateral line piping under paving shall be PVC Schedule 40 pipe and shall be installed prior to paving.
- Pipe sizes shall be selected by contractor as required for proper pressure and gallons per minute for head function.
- Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- Final location of the backflow preventer and automatic controller shall be approved by Owner.
- 120 VAC electrical power source of controller location shall be provided by others. The Contractor shall make the final connection from the electrical source to the controller.
- All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- The Contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overwatering onto walks, streets, walls, etc.
- This design is diagrammatic. All piping, valves, etc. shall not be located within paved areas unless necessary and shall be installed in planting areas wherever possible. The Contractor shall locate valves in shrub areas, where possible.
- It is the responsibility of the Contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The Contractor shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc.
- The sprinkler system shall operate on a minimum operating pressure of 50 PSI and a maximum flow demand of 25 GPM. The Contractor shall verify water pressures prior to construction. Report any difference between the minimum required water pressure and the actual pressure reading of the irrigation point of connection to the Owner's authorized representative.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions and grade differences in the area dimensions exist. Such obstructions or differences should be brought to the attention of the Owner. In the event the notification is not performed, the Contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The intent of the contract is to provide 100% coverage to all planting areas. As part of the Scope of Work, provide any additional heads, special nozzles, or patterns to achieve proper coverage with a minimum of overwatering or no additional cost to the Owner.
- Installation for control wires shall follow mainline routing.
- Sprinkler heads specified are available in varying degrees of arcs. Contractor shall provide, at each head, the arc most suited to provide adequate coverage and prevent overwatering on walks, roads, buildings, etc.
- New main line piping to be as follows:
  - a. Downstream of B.F.P.: PVC 1120, Schedule 40 solvent welded plastic pipe (1/2" Min 1")
  - b. Downstream of B.F.P.: PVC 1120 Class 315 solvent welded plastic pipe (2" to 31")
- Sleeves required to facilitate installation of irrigation piping and control wires conduit through new walls shall be PVC Schedule 40 installed by the irrigation contractor. Coordinate all work with wall contractor. Waterproof all openings after installation of piping or conduit.
- Where trees, light standards, etc. are an obstruction of sprays, piping sprinkler heads shall be adjusted and/or relocated as necessary to obtain full coverage without excessive overwater. Do not exceed spacing per manufacturer's instructions.
- Testing of the Irrigation System
  - No pipe shall be backfilled before inspection and testing.
  - Test all pressure lines under hydrostatic pressure of 150 PSI for not less than two hours. Lateral piping test under existing static pressure. If leaks develop, repair and retest until entire system proves water tight. Testing shall be done prior to installation of remote control valves.
- Coverage Test
  - When the irrigation system is completed, perform a coverage test to determine if the water coverage for planting areas is complete and adequate. Complete all work required to correct any inadequacies of coverage due to deviations from plans or where the system has been willfully installed improperly without bringing this to the attention of the owner. This test shall be accomplished prior to planting.
- Adjusting the System
  - The Contractor shall flush and adjust all sprinkler heads for optimum performance and prevention of overwatering onto walks and buildings.
- Completion Cleaning
  - Upon completion of the work, make ground surface level, remove excess materials, rubbish, debris, etc., and remove construction and installation equipment from the premises.

- IRRIGATION LEGEND:**
- Zone 1, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 2, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 3, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 4, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 5, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 6, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 7, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 8, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 9, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 10, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 11, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 12, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 13, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 14, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 15, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 16, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 17, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 18, Hunter PROS-6-CV spray bodies with Rainbird 8,10,12,15 series MPR (F,H,Q) spray nozzles.
  - Zone 19, Hunter PROS-6-CV spray bodies with Rainbird 8,10,12,15 series MPR (F,H,Q) spray nozzles.
  - Zone 20, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 21, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 22, Rainbird XFS-09-12-500 subsurface drip line (12" spacing) with XCZ-100-PRB-IC Drip Control Zone Kit. Install per manufacturer's most recent printed installation instructions.
  - Zone 23, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)
  - Zone 24, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)
  - Zone 25, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)

- Zone 26, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)
- Zone 27, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)
- Zone 28, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)
- Zone 29, Hunter RZWS-36-25-CV Sub surface tree bubbler (install 2 per tree 48-60" box, 3 per tree 84" box+)

- IC** Weather-based Irrigation Controller  
Model: SL4800 with SLM12 Module and Smart Line weather station  
Add two (2) additional SLM Modules to the station (Model SLW 15 weather station)  
Manufacturer: Weathermatic  
Tel: 888.484.3776  
Website: weathermatic.com  
Vendor: Aquafo Supply
- S** Sensor  
(Smart Irrigation Controller Weather Station)  
Model: Model SLW 15 weather station  
Manufacturer: Weathermatic  
Tel: 888.484.3776  
Website: weathermatic.com
- PR** Water Pressure Regulator  
Model: Wilkins 500 size as required  
Manufacturer: Wilkins  
Tel: 805.238.7100  
Website: www.zurn.com
- BP** Backflow Preventer  
Model: Wilkins size as required  
Manufacturer: Wilkins  
Tel: 805.238.7100  
Website: www.zurn.com
- V** Control Valves  
Irritol 100 series remote control valve. Reference Irrigation details sheet L-3.2 (Size as required)
- MS** Main Line Shut Off  
Locate in irrigation utility area as required
- P.O.C.** Point of Connection
- WM** Irrigation Water Meter  
(Relocate existing and install separate irrigating and install separate irrigation water meter as required)

- DRIP IRRIGATION AREA**
- SPRAY IRRIGATION AREA**
- BUBBLERS**

FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	OEC		06.22.2017
			1920-6251
			NAD83 COORDINATES
			292-1692
			LAMBERT COORDINATES

**DEVELOPMENT SUMMARY INFO**

PROJECT NAME: KLEIN RESIDENCE  
 PROJECT ADDRESS: 2885 CALLE DEL ORO LA JOLLA, CA 92037  
 APN: 346-331-03-00  
 OWNER: THE TREVOR & STACI KLEIN TRUST  
 ARCHITECT: STUDIO WILLIAM HEFFER PROJECT MANAGER: N ATHALIE ANAGNO 8820 WILSHIRE BLVD. SUITE 500 LOS ANGELES, CA 90038 323.931.1965 (P) nathalie@williamheffer.com  
 ARCHITECT ASSOCIATE: ALCORN & BENTON ARCH 7757 GIRARD AVE. LA JOLLA, CA 92037 858.459.0805 (P) 858.459.1350 (F) paul@alcornbenton.com  
 SHEET: 19 OF 21

**KLEIN RESIDENCE**  
 LOT 13 MAP NO. 4392  
 CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT 18 OF 21 SHEETS PROJECT NO. 441535  
 I.O. NO. PROJECT NO. 441535  
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 1/8" = 1'-0"  
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**LANDSCAPE IRRIGATION PLAN**  
**L-3.0**

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