



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: August 2, 2017 REPORT NO. HO-17-051

HEARING DATE: August 9, 2017

SUBJECT: THE INSTITUTE, Process Three Decision

PROJECT NUMBER: [537928](#)

OWNER/APPLICANT: SR19 Mark II Portfolio, LLC, Arka Miramar II, L.P., and Pacifica Real Estate III, LLC, Owners/Jillon Augustine, Augustine Design Group

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit for a private school for special needs children in an existing, two-story, two-building commercial office complex located at 9524 Kearney Villa Road within the Mira Mesa Community Planning area?

Staff Recommendation: APPROVE Conditional Use Permit No. 1901386.

Community Planning Group Recommendation: On February 23, 2017, the Mira Mesa Community Planning Group voted unanimously (no specific vote given) to recommend approval of the proposed project without conditions.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on June 29, 2017, circulated and the opportunity to appeal that determination ended July 14, 2017.

BACKGROUND

The project site is currently developed with a 21,482-square foot, two-story, multi-tenant, two-building commercial office complex, located on the west side of Kearney Villa Road, north of Miramar Road and west of Interstate 15, at 9524 Kearney Villa Road (Attachment 1). The surrounding properties are fully developed with a mix of commercial office and light industrial buildings (Attachment 3). The existing commercial office building was built in 1986.

The 1.46-acre project site is located in the IL-2-1 Zone, Airport Land Use Compatibility Overlay Zone (MCAS Miramar), Airport Influence Area, FAA Part 77 Noticing Area within the Mira Mesa Community

Planning area. "Educational facilities" such as private schools require a Conditional Use Permit in accordance with a Process 3 Decision, pursuant to San Diego Municipal Code (SDMC) Section 126.0303 (a) and 131.0622 and Table 131-068.

DISCUSSION

The proposed project would operate a private school for up to 75 special needs students ages 3 through 12 and in grades kindergarten through the ninth grade within 10 classrooms and one 1,600-square-foot multipurpose room. The school will provide a service for students with severe communication, learning, social, and behavior problems associated with autism and other developmental disorders. Students are enrolled on contract with public school districts and on contract with private families. The students require precise, specific instruction in small groups with many one on one opportunities in order to learn new skills.

This project for the proposed school will occupy the entire, two-story, 21,482-square-foot two-building commercial office complex and involve interior tenant improvements for the facility with limited improvements to the exterior of the building. Re-stripping of the parking lot, driveway improvements, additional on-site sidewalks, converting an open exterior courtyard area to a synthetic surface playground area and handicap access upgrades are proposed. The restriping will produce 49 parking spaces, one more than the required 48 off-street parking spaces. A proposed permit condition would set the student drop off and pick times to help control parking lot traffic flow and improve pedestrian safety in the parking lot and on the adjacent public sidewalk (ATTACHMENT 6, CONDITION No. 20). The draft permit also limits the maximum enrollment at 75 students (ATTACHMENT 6, CONDITION No. 17).

This project was reviewed for conformance with the Marine Air Station Miramar Land Use Compatibility Plan. It was determined by the Marine's Community Plans and Liaison Office and LDR-Planning staff that the proposed project is consistent with Land Use Compatibility Plan, pursuant to the plan's noise and safety compatibility guidelines.

As the project is in conformance with IL-2-1 development regulations, off-street parking and traffic circulation for the proposed private school use. Through the approval of this Conditional Use Permit, as conditioned, the proposed private school will function in harmony with the surrounding uses in this Industrial land use designated area.

ALTERNATIVES

1. Approve Conditional Use Permit, No. 1901386, with modifications.
2. Deny Conditional Use Permit, No. 1901386, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


Glenn Gargas, Development Project Manager

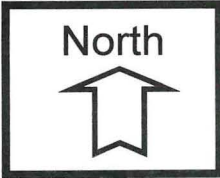
Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Notice of Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans

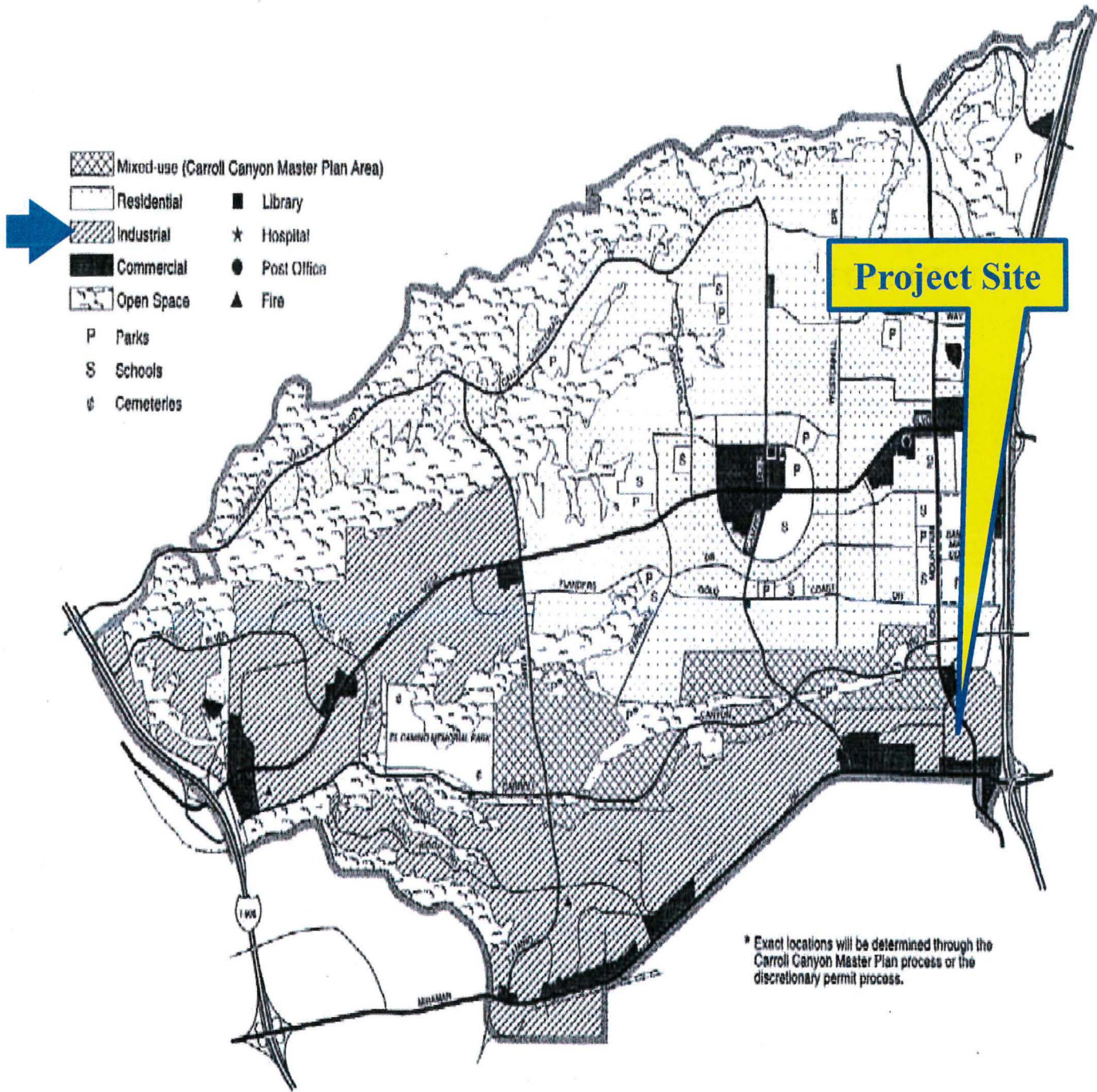


Project Location Map

**THE INSTITUTE CUP - 9524 KEARNEY VILLA ROAD
PROJECT NO. 537928**



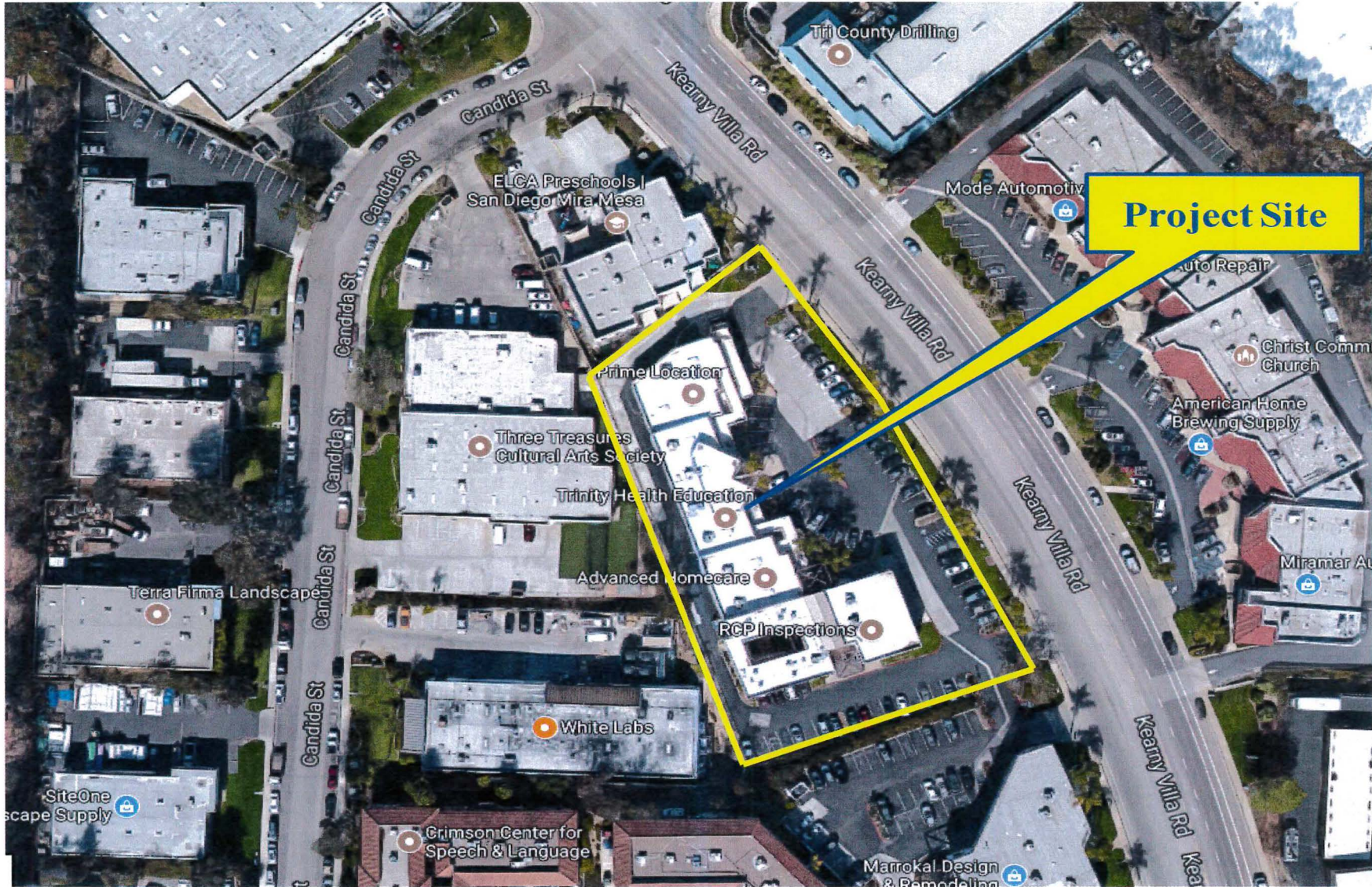
ATTACHMENT 1



Land Use Map

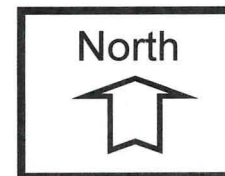
**THE INSTITUTE CUP - 9524 KEARNEY VILLA ROAD
PROJECT NO. 537928 Mira Mesa**





Aerial Photo

**THE INSTITUTE CUP - 9524 KEARNEY VILLA ROAD
PROJECT NO. 537928**



PROJECT DATA SHEET

PROJECT NAME:	THE INSTITUTE CUP – Project No. 537928	
PROJECT DESCRIPTION:	CUP for a private school for special needs children to be located within an existing 21,482-square-foot, two-story, two-building commercial office complex on a 63,957-square-foot property.	
COMMUNITY PLAN AREA:	Mira Mesa	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial	
<u>ZONING INFORMATION:</u>		
<p>ZONE: IL-2-1 Zone</p> <p>HEIGHT LIMIT: No height limit, except as limited by overlay zones – approx. 28 foot existing.</p> <p>LOT SIZE: 15,000 square-foot minimum lot size – existing lot 63,957 square-foot.</p> <p>FLOOR AREA RATIO: 2.0 – 0.34 existing.</p> <p>FRONT SETBACK: 20 feet minimum standard – 65 feet existing</p> <p>SIDE SETBACK: 10 feet minimum - 24 feet (north) & 58 feet (south) existing</p> <p>STREETSIDE SETBACK: NA</p> <p>REAR SETBACK: 15 feet minimum standard – 18 feet existing</p> <p>PARKING: 48 parking spaces required – 49 spaces proposed.</p>		
<u>ADJACENT</u> PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Industrial Park; IL-2-1 Zone	Commercial Office
SOUTH:	Industrial Park; IL-2-1 Zone	Commercial Office
EAST:	Industrial Park; IL-2-1 Zone	Commercial Office
WEST:	Industrial Park; IL-2-1 Zone	Light Industrial/Commercial Office
DEVIATIONS OR VARIANCES REQUESTED:	None	

ATTACHMENT 4

GROUP RECOMMENDATION:	unanimously to recommended approval the project at their February 23, 2017 meeting.
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HEARING OFFICER RESOLUTION NO. ____
CONDITIONAL USE PERMIT NO. 1901386
THE INSTITUTE - PROJECT NO. 537928

WHEREAS, SR19 MARK II PORTFOLIO, LLC, a California Limited Liability Company, ARKA MIRAMAR II, L.P., a California Limited Partnership, and PACIFICA REAL ESTATE III, LLC, a California Limited Liability Company, Owners and THE INSTITUTE FOR EFFECTIVE EDUCATION, Permittee, filed an application with the City of San Diego for a permit to operate a private school for special needs children in an existing two-building commercial office complex (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1901386), on portions of a 1.47-acre property;

WHEREAS, the project site is located at 9524 Kearney Villa Road, in the IL-2-1 Zone, Airport Land Use Compatibility Overlay Zone (MCAS Miramar), Airport Influence Area, FAA Part 77 Noticing Area , and within the Mira Mesa Community Plan area;

WHEREAS, the project site is legally described as All of Lots; 7, 8, 12, 13, 14, 15, 16, 17 and 18 of Mark II Industrial Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 9310, filed in the Office of the County Recorder of San Diego County, July 30, 1979;

WHEREAS, on August 9, 2017, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 1901386 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 9, 2017.

CONDITIONAL USE PERMIT FINDINGS:

1. The proposed development will not adversely affect the applicable land use Plan.

The project site is designated for Industrial land use by the Mira Mesa Community Plan. The Industrial designation is intended to accommodate a mixture of research, development, manufacturing and distribution activities. The proposed use for a private school for special needs children is not an Industrial use. However, the underlying Zone is IL-2-1 and allows for "educational facilities" such as private school use, if approved through a Conditional Use Permit. The purpose of the IL zones is to provide for a wide range of manufacturing and distribution activities. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including nonindustrial uses in some instances, such as the proposed private school.

The proposed private school project is in conformance with IL-2-1 Zone's development regulations, including off-street parking, on-site vehicular and pedestrian traffic circulation. There are no deviations. The project is conditioned to set specific student drop off and pick-up times to

help control on-site traffic flow. The project is also conditioned to set the maximum enrollment at 75 students. Through the approval of a Conditional Use Permit, the proposed private school will function in harmony with the surrounding uses this Industrial land use designated area. For these stated reasons the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project will be located within an existing, two-story, two-building commercial office complex within an urbanized portion of the City and will have adequate levels of essential public services available, including police, fire, and emergency medical services. The project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations. The project site and building will be improved to all current development standards and will therefore not be detrimental to the public. The street improvements associated with this development are required to comply with City Engineering and Fire Department Standards and will improve public safety. In addition, conditions of approval require the review and approval of all construction plans (tenant improvements) by City staff prior to construction to determine the construction of the project will comply with all building code regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations.

This project was reviewed for conformance with the "MCAS Miramar AICUZ Study Area". It was determined by the MCAS Community Plans and Liaison Office and LDR-Planning staff that the proposed project is consistent with AICUZ noise and safety compatibility guidelines. This site is outside the Airport Safety Zones, does not occur in an Airport Approach Overlay Zone, and is not on Prime Industrial Lands, which is consistent with the requirements for education of kindergarten to twelfth grade within the defined overlay zones. Therefore, the project as proposed will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The 1.47-acre project site is currently developed with a multi-tenant, two-building commercial office complex. The project proposes to operate a private school use for special needs children within the entire existing office buildings. This project proposes interior tenant improvements for the facility with limited improvements to the exterior of the buildings. Re-stripping of the parking lot, driveway improvements, additional on-site sidewalks, converting an open court yard area to a synthetic surface playground area and handicap access upgrades are proposed. The proposed private school facility complies with all the development regulations of the IL-2-1 Zone, including off-street parking, on-site vehicular and pedestrian traffic circulation. There are no deviations with this proposal. Therefore, the proposed development for a private school will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The 1.47-acre project site is currently developed with a two-story, multi-tenant, two-building commercial office complex. The project proposes to operate a private school use for special needs children within the existing office buildings. The project site is designated for Industrial land use by the Mira Mesa Community Plan. However, the underlying Zone is IL-2-1, which is intended to implement the Community Plan's land use designation allows for private school use, if approved through a Condition Use Permit. The purpose of the IL zones is to provide for a wide range of manufacturing and distribution activities. The development standards of this zone are intended to encourage sound industrial development by providing an attractive environment free from adverse impacts associated with some heavy industrial uses. The IL zones are intended to permit a range of uses, including nonindustrial uses in some instances, such as the proposed private school.

This proposed private school site is bordered by a mix of commercial office buildings and light industrial buildings/uses. The proposed private school project is in conformance with IL-2-1 Zone's development regulations, including off-street parking, on-site vehicular and pedestrian traffic circulation. The project is conditioned to set specific student drop off and pick-up times to help control on-site traffic flow and improve pedestrian safety. The project is also conditioned to set the maximum enrollment at 75 students. Through the approval of a Conditional Use Permit, the proposed private school will function in harmony with the surrounding uses this Industrial land use designated area. There, for these reasons, the proposed private school use is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1901386, is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1901386, a copy of which is attached hereto and made a part hereof.

Glenn R. Gargas
Development Project Manager
Development Services

Adopted on: August 9, 2017

IO#: 24007190

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007190

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1901386
THE INSTITUTE - PROJECT NO. 537928
HEARING OFFICER

This Conditional Use Permit No. 1901386 is granted by the Hearing Officer of the City of San Diego to SR19 MARK II PORTFOLIO, LLC, a California Limited Liability Company, ARKA MIRAMAR II, L.P., a California Limited Partnership, and PACIFICA REAL ESTATE III, LLC, a California Limited Liability Company, Owners and THE INSTITUTE FOR EFFECTIVE EDUCATION, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0203. The 1.47-acre site is located at 9524 Kearney Villa Road, in the IL-2-1 Zone, Airport Land Use Compatibility Overlay Zone (MCAS Miramar), Airport Influence Area, FAA Part 77 Noticing Area, and within the Mira Mesa Community Plan area. The project site is legally described as: All of Lots 7, 8, 12, 13, 14, 15, 16, 17 and 18 of Mark II Industrial Park, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 9310, filed in the Office of the County Recorder of San Diego County, July 30, 1979.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners and Permittee to operate a private school in an existing, two-story, two-building commercial office complex described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 9, 2017 on file in the Development Services Department.

The project shall include:

- a. Improvements to operate a private school in an existing 21,482-square-foot, two-story, two-building commercial office complex. The private school will accommodate 75 special needs students, ages three to twelve, in a grades kindergarten through ninth grade program within ten classrooms and one 1,600-square-foot multipurpose room.
- b. Existing Landscaping (planting, irrigation and landscape related improvements);
- c. Existing off-street parking;
- d. New, approximate 3,000-square-foot play area, new security fence/gate and existing precast concrete planters; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 24, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the driveways per current City Standards, adjacent to the site on Kearny Villa Road, to the satisfaction of the City Engineer.

14. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

15. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

16. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

17. The maximum student capacity shall not exceed 75 special needs students. An amendment to CUP 1901386 is required if the number of students increases.

18. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

19. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

20. All Drop-off of students shall occur on-site between 8:15AM - 8:45AM, and all Pick-up of students shall occur on-site between 1:15 PM - 1:45PM.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

21. Prior to the issuance of any Certificate of Occupancy, all public water and/or sewer facilities necessary to serve the development (including services and laterals) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

22. Prior to the issuance of any Certificate of Occupancy, any existing sewer lateral proposed to be reused must be inspected by a California licensed plumbing contractor using closed-circuit television to verify (to the satisfaction of the City Engineer) that the lateral is in good condition, free of all debris, properly connected to a public sewer main, and in all other ways suitable for reuse. If it is not, the Owner/Permittee or Subdivider is required to repair, remove and replace, or abandon and cap the lateral at the property line in a manner satisfactory to the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 9, 2017, by Resolution No.

_____.

ATTACHMENT 6

Permit Type/PTS Approval No.: CUP No. 1901386
Date of Approval: August 9, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Glenn R. Gargas
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ARKA MIRAMAR II, L.P.

Owner

SR19 Mark II Portfolio, LLC

Owner

By _____
Manager
Vincent Arthur

By _____
Charles J. Stos II
Manager

PACIFIC REAL ESTATE III, LLC

Owner

The Institute for Effective Education

Permittee

By _____
Steven C. Leonard, Manager

By _____
Ken Traupman
CEO, Executive Director

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 29, 2017

**NOTICE OF RIGHT TO APPEAL
ENVIRONMENTAL DETERMINATION
DEVELOPMENT SERVICES DEPARTMENT**

SAP No. 24007190

PROJECT NAME/NUMBER: THE INSTITUTE CUP/537928

COMMUNITY PLAN AREA: Mira Mesa Community Plan

COUNCIL DISTRICT: 6

LOCATION: 9524 Kearney Villa Road, San Diego, CA 92126

PROJECT DESCRIPTION: Conditional Use Permit (CUP) to convert an existing commercial development at 9524 Kearny Villa Road into a private school to serve a maximum of 70 students. The private school will accommodate special needs students ages 3-12 in a K-9 program within 10 classrooms and one 1,600 square foot multipurpose room. The existing building and site is currently mixed-use and contains offices and service businesses including a dentist, deli, chiropractor, jeweler, and others. The site is in an IL-2 zone and the project is processing a CUP to bring the new school use into conformity with the General Plan, Community Plan, land use, and zoning designation. No construction or new development is proposed.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Environmental Analysis Section

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) which allows for the permitting of existing private structures involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Since the project is permitting an allowable use which would not substantially increase capacity the exemption is appropriate. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effects on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Glenn Gargas
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5142

On June 29, 2017 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (Friday, July 14, 2017). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

POSTED IN THE OFFICE OF DSD
Posted JUN 26 2017 *mc*
Removed JUL 17 2017
Posted by *myralee*

**Mira Mesa Community
Planning Group**

10606-8 Camino Ruiz #230
San Diego, CA 92126

ATTACHMENT 8



Jillon Augustine
Augustine Design Group
February 28, 2017

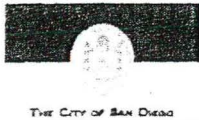
Jillon,

This letter is to confirm that the Mira Mesa Community Planning Group voted unanimously to recommend approval of the project you presented for The Institute of Effective Education at our meeting on February 23, 2017.

Sincerely,



Jeffrey L. Stevens
Chair
Mira Mesa Community Planning Group



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title _____ **Project No. For City Use Only** _____

The Institute for Effective Education

Project Address:

9524 Kearny Villa Road, San Diego, CA 92126

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

Street Address: _____

City/State/Zip: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Phone No: _____

Fax No: _____

Signature: _____

Date: _____

Signature: _____

Date: _____

Name of Individual (type or print): _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

Street Address: _____

City/State/Zip: _____

City/State/Zip: _____

Phone No: _____

Fax No: _____

Phone No: _____

Fax No: _____

Signature: _____

Date: _____

Signature: _____

Date: _____

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability (or General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property) A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
The Institute for Effective Education

Owner Tenant/Lessee

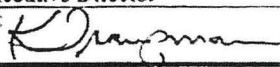
Street Address:
2255 Camino del Rio South

City/State/Zip:
San Diego, CA 92108

Phone No: _____ Fax No: _____
() 243-1327

Name of Corporate Officer/Partner (type or print):
Ken Traupman

Title (type or print):
CEO, Executive Director

Signature:  Date: 1/10/17

Corporate/Partnership Name (type or print):
SR19 MARK II PORTFOLIO, LLC

Owner Tenant/Lessee

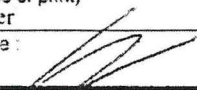
Street Address:
669 2ND STREET

City/State/Zip:
ENCINITAS

Phone No: _____ Fax No: _____
(858) 703-6289 (760) 400-4499

Name of Corporate Officer/Partner (type or print):
Charles J. Stos II

Title (type or print):
Manager

Signature:  Date: 1/10/17

Corporate/Partnership Name (type or print):
ARKA MIRAMAR II, L.P.

Owner Tenant/Lessee


Street Address:
9350 Wilshire Blvd., Suite 402

City/State/Zip:
Beverly Hills, CA 90212

Phone No: _____ Fax No: _____
(310) 274-2259 (310) 274-1798

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature:  Date: 1/6/17

Corporate/Partnership Name (type or print):
PACIFICA REAL ESTATE III, LLC

Owner Tenant/Lessee

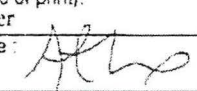
Street Address:
P.O. Box 710

City/State/Zip:
Rancho Santa Fe, CA 92067

Phone No: _____ Fax No: _____
(858) 759-6800

Name of Corporate Officer/Partner (type or print):
Steven C. Leonard

Title (type or print):
Manager

Signature:  Date: 1/6/17

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

THE INSTITUTE FOR EFFECTIVE EDUCATION CONDITIONAL USE PERMIT SUBMITTAL

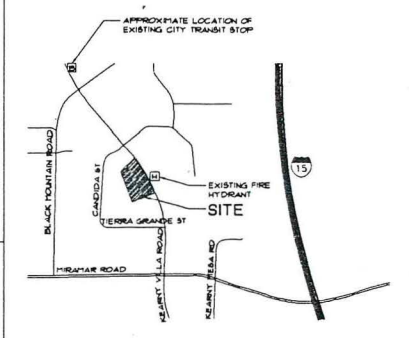
PROJECT DATA

SCOPE OF WORK	CONDITIONAL USE PERMIT TO CONVERT AN EXISTING COMMERCIAL BUILDING INTO A PRIVATE SCHOOL. THE SITE IS ZONED LIGHT INDUSTRIAL (L1-7) AND K-8 SCHOOLS ARE CONDITIONALLY ALLOWED PER SDGIC TABLE 19-10.4. SCOPE OF WORK INCLUDES INTERIOR-ONLY TENANT IMPROVEMENT OF EXISTING BUILDING, CONVERSION OF SOME EXISTING PARKING SPACES INTO AN OUTDOOR PLAYGROUND AREA AND BUS DROP OFF, AND SITE LANDSCAPE IMPROVEMENTS, INCLUDING HARDSCAPE AND ACCESSIBILITY UPGRADES.
PROJECT TEAM	PROPOSED OCCUPANT: THE INSTITUTE FOR EFFECTIVE EDUCATION 2500 CAMINO DEL RIO SOUTH SAN DIEGO, CA 92108 P. 619.243.3371 CONTACT: KEN TRUUMPHMAN, CEO/EXECUTIVE DIRECTOR APPLICANT/ENGINEER: AUGUSTINE DESIGN GROUP 273 FIRST AVENUE SAN DIEGO, CA 92101 P. 619.243.3884 CONTACT: JILLON AUGUSTINE, PRINCIPAL JAL ADAMS, PROJECT DESIGNER ARCHITECT: STUDIO E ARCHITECTS 2280 FIRST AVENUE SAN DIEGO, CA 92101 P. 619.238.3042 CONTACT: JOHN SHEEHAN KEVIN BUNNETT GC: ATLAS CIVIL DESIGN 290 EL CAMINO REAL, SUITE 700K OCEANVIEW, CA 92094 P. 619.331.8478 CONTACT: A.J. HARTIGER, PRESIDENT AJLIAN BLEVINS, PROJECT MANAGER LANDSCAPE ARCHITECT: HOWARD ASSOCIATES LANDSCAPE ARCHITECTURE 2447 SECOND AVENUE SAN DIEGO, CA 92101 P. 619.783.9848 CONTACT: JAKE HOWARD, PRESIDENT PERMIT CONSULTANT: BARBARA HARRIS PERMITTING SERVICE, LLC 1438 SPRINGDALE ST. POWAY, CA 92064 P. 619.238.3775 CONTACT: UN HARRIS, MANAGER AREA FIRM/OWNER: 3368 HILSHIRE BLVD., SUITE 407 DENVILLE, CA 95019 3800 PARK E HORTON RD. LLC 849 2ND STREET TUCUMCARI, CA 95284 PACIFICA REAL ESTATE II, LLC P.O. BOX 780 RANCHO SANTA FE, CA 92061
CURRENT OWNERS	

SHEET INDEX

TS	TITLE SHEET
C1.0	CONCEPTUAL GRADING PLAN
C2.0	UTILITY PLAN
C3.0	SECTIONS
L1	LANDSCAPE CONCEPT PLAN
A-1	SITE PLAN
A-2	PHOTOGRAPHIC KEY MAP
A-3.1	DEMOLITION/EXISTING USE PLAN, FIRST FLOOR
A-3.2	DEMOLITION/EXISTING USE PLAN, SECOND FLOOR
A-4.1	PARTITION PLAN, FIRST FLOOR
A-4.2	PARTITION PLAN, SECOND FLOOR

VICINITY MAP



SITE DATA

ASSESSOR PARCEL NUMBER	341-730-19-00
LEGAL DESCRIPTION PROJECT SITE	LOTS 8, 7, AND 8 OF PARK II INDUSTRIAL PARK, IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1386 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 30, 1978.
LEGAL DESCRIPTION ABUTTING PROPERTIES	NORTH: LOT 9 OF PARCEL MAP 1330 SOUTH: LOT 9 OF PARCEL MAP 1330 WEST: LOTS 7, 8, AND 22 OF PARCEL MAP 1330
ZONING DESIGNATION/OVERLAYS	ZONE: L1-7 APPROPRIATE: 1. AIRPORT INFLUENCE REVIEW AREA 1 (PCAS) (PARKWAY 80-85 OMI) 7. PARK PART 71 NOTICED AREA CONSISTENCY PLAN: MIRA MESA
GROSS SITE AREA	63,907 SF (1.468 ACRES)
LANDSCAPE AREA	EXISTING: 7,500 SF APPROXIMATE PROPOSED: 3,533 SF APPROXIMATE ADDITIONAL
GROSS FLOOR AREA	EXISTING: 8,416 SF APPROXIMATE PROPOSED: UNCHANGED
GEOLOGICAL HAZARD CATEGORY	31 - LEVEL MESA3 - UNDERLAIN BY TERRACE DEPOSITS AND BEDROCK, NORMAL RISK 33 - OTHER LEVEL AREAS, GENTLE SLOPING TO STEEP TERRAIN, FAVORABLE GEOLOGIC STRUCTURE, LOW RISK.

BUILDING DATA

YEAR CONSTRUCTED	1996 ORIGINAL BUILDING CONSTRUCTION
CONSTRUCTION TYPE	EXISTING: V-19, NON-RATED, NON-SPRINKLERED PROPOSED: V-19, NON-RATED, FULLY SPRINKLERED
BUILDING HEIGHT (EXISTING)	20'-0" O.A. EXTERIOR
INTERIOR CEILING HEIGHT (EXISTING)	8'-0" - 9'-0" (VARIES)
OCCUPANCY	EXISTING: B, OFFICE (CONTRACTOR HOME CARE SERVICES HEALTH EDUCATION) B, PROFESSIONAL SERVICES (DENTAL CONSTRUCTION) U, RETAIL (RETAIL) PROPOSED: E, EDUCATION (PRIMARY) B, OFFICE (ADMINISTRATION) A3, ADMINISTRATIVE (MULTI-PURPOSE)

AUGUSTINE DESIGN GROUP
273 FIRST AVENUE
SAN DIEGO, CA 92101
P. 619.243.3884



THE INSTITUTE FOR EFFECTIVE EDUCATION
9524 KEARNY VILLA ROAD
SAN DIEGO, CA 92126

SCOPE DOCUMENT
EXISTING AND PROPOSED GRADING AND DRAINAGE PLAN
FOR THE INSTITUTE FOR EFFECTIVE EDUCATION
PROJECT
273 FIRST AVENUE
SAN DIEGO, CA 92101
P. 619.243.3884

DATE: 10/20/2023
FOR: JILLON AUGUSTINE
SHEET: 1000

DATE: 10/20/2023
FOR: JILLON AUGUSTINE
SHEET: 1000

DATE: 10/20/2023
FOR: JILLON AUGUSTINE
SHEET: 1000

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SHEET: 1000

DATE: 10/20/2023
FOR: JILLON AUGUSTINE
SHEET: 1000

DATE: 10/20/2023
FOR: JILLON AUGUSTINE
SHEET: 1000



PROJECT

STUDIO E
ARCHITECTS

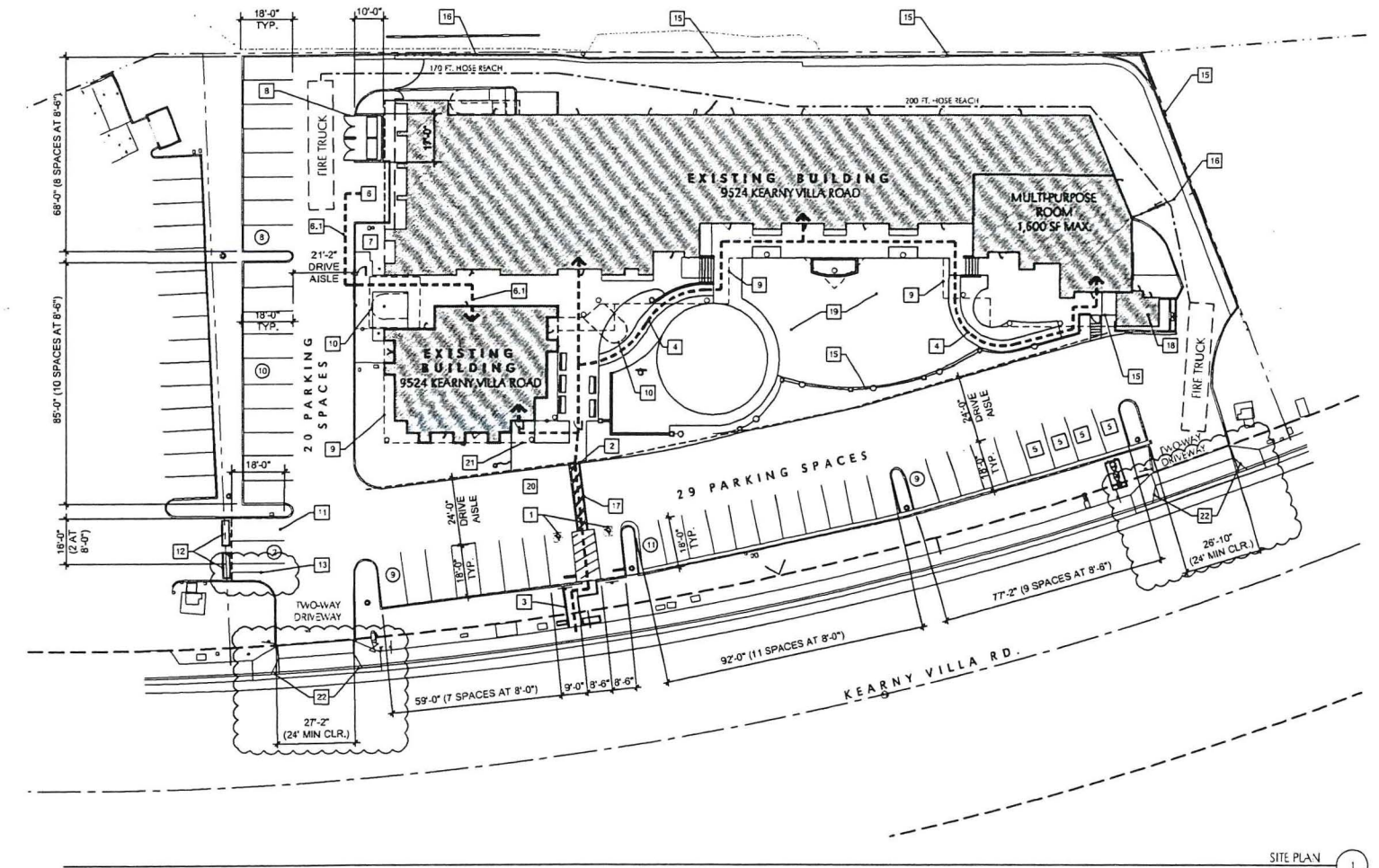
2338 First Avenue

San Diego California 92101

mail@studioearchitects.com

T 619.235.9262 F 619.235.0622

THE INSTITUTE FOR EFFECTIVE EDUCATION
9524 KEARNY VILLA ROAD
SAN DIEGO, CA 92126



Key Notes

- 1 EXISTING ACCESSIBLE PARKING SPACE AND UNLOADING ZONE
- 2 EXISTING ACCESSIBLE CURB RAMP
- 3 EXISTING PEDESTRIAN PATH FROM PUBLIC STREET TO PRIMARY BUILDING ENTRY
- 4 PROPOSED ACCESSIBLE PATH OF TRAVEL
- 5 PROPOSED DESIGNATED PARKING SPACE FOR CARPOOL OF ZERO EMISSIONS VEHICLE
- 6 PROPOSED LONG TERM BICYCLE ENCLOSURE SPACE SHALL BE COVERED LOCKABLE ENCLOSURE LOCABLE BICYCLE ROOM OR BICYCLE LOCKER WITH PERMANENTLY ANCHORED BICYCLE RACK
- 6.1 PATH OF TRAVEL FROM LONG TERM BICYCLE ENCLOSURE TO BUILDING
- 7 PROPOSED SHORT TERM BICYCLE SPACE WITH PERMANENTLY ANCHORED BICYCLE RACK. REFER TO LANDSCAPE DRAWINGS
- 8 PROPOSED TRASH ENCLOSURE WITH REUSE AREA AND RECYCLING AREA. APPROX. 140 SQ FT CLEAR INSIDE
- 9 LINE OF EXISTING PLUMBING ABOVE
- 10 LINE OF EXISTING STAIR ABOVE
- 11 NEW 8' x 18' PARKING SPACE STRIPING AT EXISTING ABANDONED DRIVE AISLE
- 12 EXISTING 3' x 9' MICROASPHALT CONCRETE PLANTED CURBS TO REMAIN
- 13 PROPOSED 3' x 9' MOTORCYCLE PARKING SPACE TOTAL
- 14 EXISTING DRIVEWAY TO REMAIN
- 15 NEW 6'0" HIGH SECURITY FENCE AND GATE
- 16 NEW 6'0" HIGH GATE
- 17 NEW PEDESTRIAN PATH STRIPING AT EXISTING DRIVE AISLE
- 18 EXISTING ELECTRICAL ROOM TO REMAIN
- 19 NEW PLAY AREA. REFER TO LANDSCAPE DRAWINGS
- 20 NOT USED
- 21 NEW BUILDING ADDRESS NUMBERS ON PARKING AND DRIVEWAYS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- 22 NEW ACCESSIBLE DRIVEWAY FROM AND VISIBLY PER CITY STANDARD. REFER TO CIVIL DRAWINGS FOR DIMENSIONS

SITE PLAN
SCALE: 1" = 10'

Project Notes

1. ALL PROPOSED WATER AND SEWER FACILITIES, BOTH PUBLIC AND PRIVATE, WHICH ARE TO BE LOCATED WITHIN THE PUBLIC ROW OR PUBLIC RIGHT-OF-WAY MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CODES ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER AND SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, AND PRACTICES PERTAINING THERETO.
2. NO TREES OR SHRUBS ABOVE HEIGHT WILL EXCEED 3 FT AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5 FT OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.
3. THIS PROJECT WILL GENERATE PEDESTRIAN ACTIVITY. ALL PUBLIC IMPROVEMENTS ADJACENT TO THIS PROJECT SHALL BE COMPLIANT WITH THE LATEST CITY STANDARDS AND ACCESSIBILITY REQUIREMENTS.

Project Parking Data

REQUIRED PARKING
From Table 143.0502: 2.0 spaces per 1,000 sq ft of assembly area, 30 spaces per 1,000 sq ft
10 Classroom Modules x 2.0 = 20 parking spaces required
Assembly Area 1,000 sq ft max. 30 = 30 parking spaces required
Assembly Area parking, therefore 48 parking spaces provided
Per CBC Table 11-9-058.2: 75-50 spaces = 2 accessible spaces required and provided
Per SDMC 142.0530(a) and CA Green 5-106.5.3: 75-50 spaces = 3 carpool/zero emissions vehicle spaces required and provided
Per CA Green 5-106.5.3: 25-50 = 2 EV charging spaces required and provided

MOTORCYCLE PARKING
From SDMC 142.0530(a): Provide 2 min. or 1% of parking required, whichever is greater. 1% of 50 = 0.5, therefore 1 required and provided.

BICYCLE PARKING
From SDMC 142.0530(a) Short term: Provide 2 min. or 3.1 per 1,000 sq ft of parking area or 5% of parking required, whichever is greater.
Apportion: 19,000 sq ft / 1,000 sq ft = 19.5% of 50 = 2.5, therefore 3 required and provided
CAL Green 5-106.4.1: 1 requires 5% of parking or 2 min. therefore 3 provided.
Long term: Provide 1 min. or 2% of parking required for buildings with more than 10 full-time employees, whichever is greater.
5% of 50 = 2.5, therefore 3 long-term covered, lockable enclosures or lockers required and provided. CAL Green 5-106.4.1: 2 requires 5% of parking or 1 min. therefore 3 provided.

PARKING SUMMARY

EXISTING PARKING	
STANDARD	56 SPACES
COMPACT	04 SPACES
ACCESSIBLE	04 SPACES
TOTAL	64 SPACES
PROPOSED PARKING	
STANDARD	47 SPACES
COMPACT	00 SPACES
ACCESSIBLE	02 SPACES
TOTAL	49 SPACES PROVIDED
MINIMUM REQUIRED	48 SPACES REQUIRED <<< OK
CARPOOL ZERO EMISSIONS VEHICLES	
EV CHARGING STATIONS	2 SPACES REQUIRED & PROVIDED (NOT IN A POSITION)
MOTORCYCLE PARKING	
MOTORCYCLE PARKING	2 SPACES REQUIRED AND PROVIDED
SHORT TERM BICYCLE PARKING	
LONG TERM BICYCLE PARKING	3 SPACES REQUIRED AND PROVIDED

Site Plan Legend

--- ACCESSIBLE PATH OF TRAVEL

SCALE DOCUMENT
SHEET 101 OF 101
DATE: 10/14/17
PROJECT: THE INSTITUTE FOR EFFECTIVE EDUCATION
PROJECT FILE: 17-0000-0010

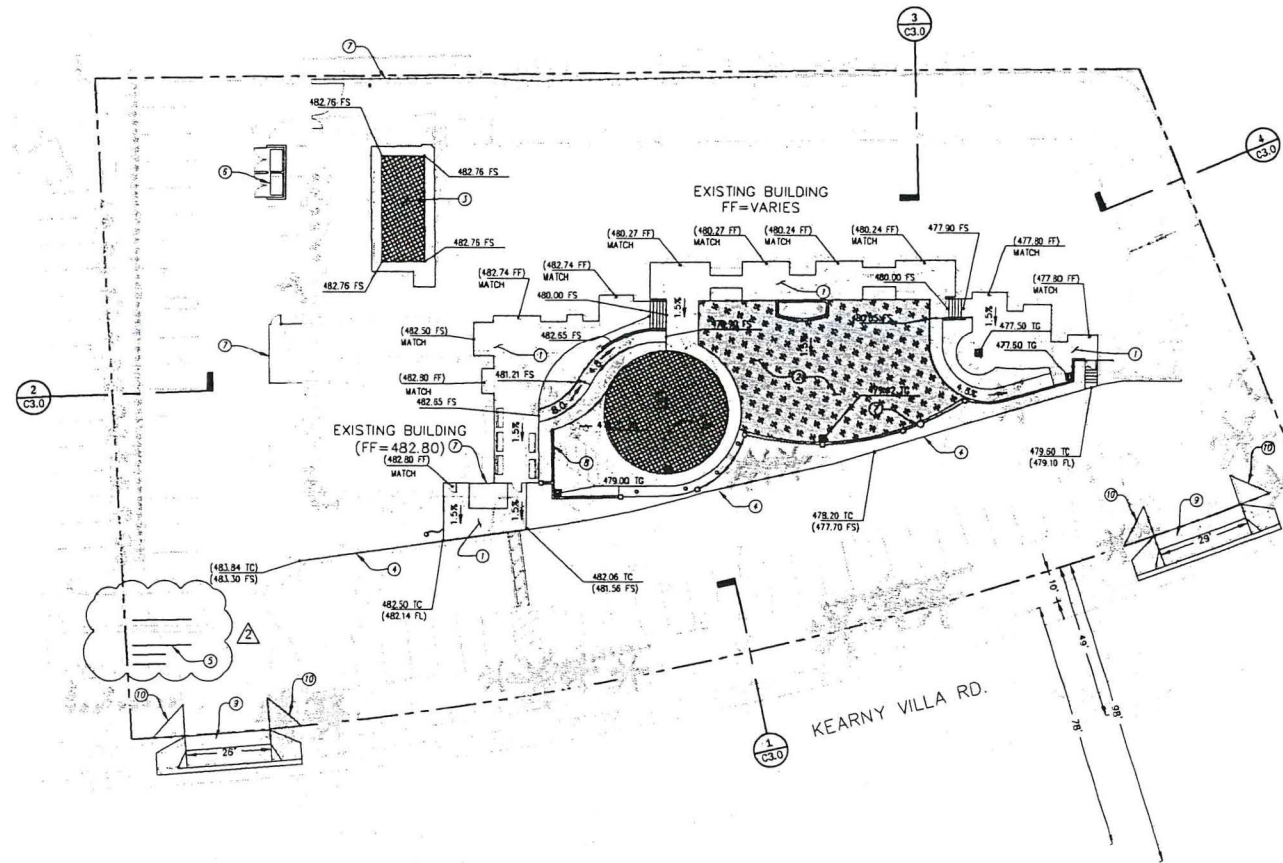
NO.	DATE	BY	DESCRIPTION
1	10/14/17	DP	INITIAL
2	10/14/17	ST	FINAL RESPONSE
3	10/14/17	ST	FINAL RESPONSE

SITE PLAN

SHEET NO. A1



PRELIMINARY GRADING PLAN FOR:
THE INSTITUTE FOR EFFECTIVE EDUCATION
 CITY OF SAN DIEGO, CALIFORNIA



LEGEND

---	PROPERTY LINE
- - -	EXISTING CONTOURS
x 142.72'	EXISTING SPOT ELEVATION
	EXISTING BUILDING
	EXISTING TREE
---	EXISTING WALL
□	PROPOSED STORM DRAIN INLET
○	PROPOSED AREA DRAIN

DEFINED TERMS:

AB	AGGREGATE BASE	NTS	NOT TO SCALE
AC	ASPHALT CONCRETE	PCC	PORTLAND CEMENT CONCRETE
BC	BACK OF CURB	PL	PROPERTY LINE
CF	CURB FACE	RL	RIDGE LINE
CL	CENTERLINE	SL	SIDE LINE
E	EAST	R/W	RIGHT-OF-WAY
ELY	EASTERLY	S	SOUTH
EP	EDGE OF PAVEMENT	S/S	SEWER OR SOUTH
EX	EXISTING	STD.	STANDARD
FF	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE	TO	TOP OF GRADE
FL	FLOW LINE	IE	INVERT ELEVATION
FS	FINISHED SURFACE	TP	TYPICAL
GB	GRADE BREAK	C.C.	CORNER
HP	HIGH POINT	W	WEST
INLET	INLET	W/W	WATER OR WEST
MH	MANHOLE	XXX.XX	PROPOSED ELEVATION
N	NORTH	(XXX.XX)	EXISTING ELEVATION

PROJECT INFORMATION:
 OWNER/DEVELOPER: CONTACT: KEN TRALUPMANN, CEO/EXEC
 2255 CAINING DEL RIO SOUTH SAN DIEGO, CA 92108 P: 619.243.1327
 619.243.1327 UTIVE DIRECTOR

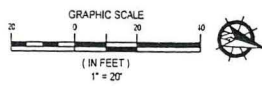
LOT AREA : 81.46 ACRE (883,957 SF)
 DISTURBED AREA: 810,000 SF
 SITE ADDRESS : 9524 KEARNY VILLA RD.
 SAN DIEGO, CA 92128
 APN NO. : 341-230-79-00
 FLOOD ZONE : X (OTHER AREAS)

LEGAL DESCRIPTION:
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO, AND IS DESCRIBED AS FOLLOWS:
 LOTS 16, 17, AND 18 OF MARK 8 INDUSTRIAL PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8310, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 30, 1979.

BENCHMARK:
 CITY OF SAN DIEGO BENCHMARK: BEING A BRASS PLUG IN SOUTH CURB, KEARNY VILLA ROAD & CANDIDA STREET.
 ELEVATION 486.52 FEET (MEAN SEA LEVEL).

EARTHWORK:
 FILL: 300 C.Y.
 CUT: 100 & C.Y.
 IMPORT: 200 & C.Y.
 MAX. CUT: 2.5' ±
 MAX. FILL: 2.5' ±

- CONSTRUCTION NOTES**
- PROPOSED SIDEWALK/PCC
 - PROPOSED SYNTHETIC TURF
 - PROPOSED RUBBERIZED PLAY SURFACE
 - PROPOSED 6" CURB
 - PROPOSED STRIPING PER ARCH PLANS
 - PROPOSED TRASH ENCLOSURE
 - PROPOSED FENCE/GATE PER ARCH PLANS
 - PROPOSED WALL BY OTHERS
 - PROPOSED DRIVEWAY PER SDGSD, SDG-159
 - 10x10 VISIBILITY TRIANGLE, NO OBSTRUCTION INCLUDING LANDSCAPING OR WALLS IN THE VISIBILITY AREA SHALL EXCEED 3' HIGH



THE INSTITUTE FOR EFFECTIVE EDUCATION
 9524 KEARNY VILLA ROAD
 SAN DIEGO, CA 92128

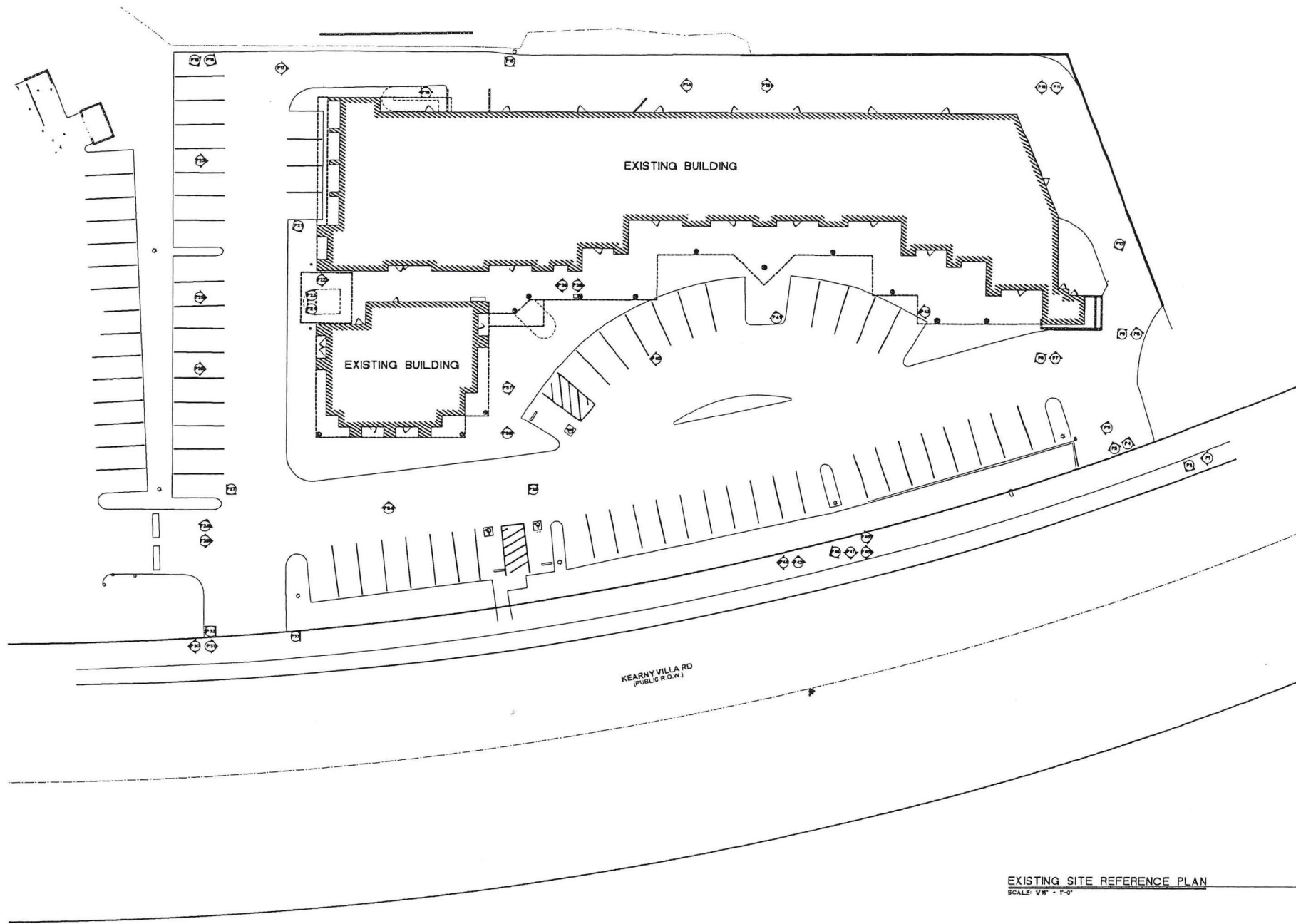
SCOPE DOCUMENT
 THIS DOCUMENT IS THE PROPERTY OF ATLAS CIVIL DESIGN, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ATLAS CIVIL DESIGN, INC.

DATE: 08/14/17
 SHEET NO.: 10
 1. 08/17 01P SUBMITTAL
 2. 08/17 FIRST CYCLE RESPONSE
 3. 08/17 SECOND CYCLE RESPONSE

CONCEPTUAL GRADING PLAN

SHEET NO.

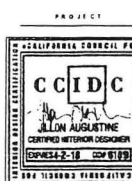
C1.0



EXISTING SITE REFERENCE PLAN
SCALE: 1/8" = 1'-0"



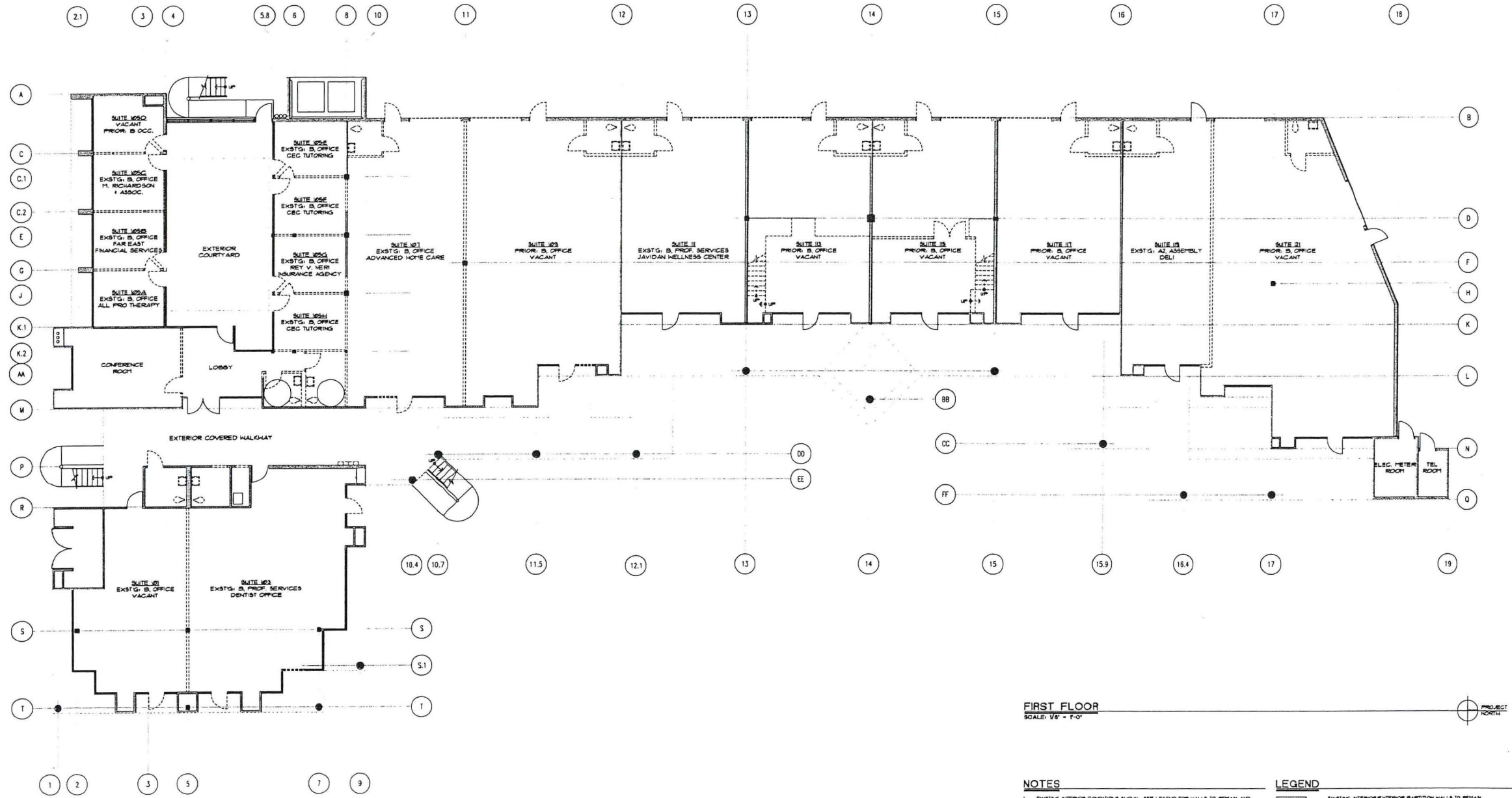
AUGUSTINE DESIGN GROUP
 2177 First Avenue San Diego, CA 92101
 Phone: 619.594.8888 Fax: 619.594.8889



THE INSTITUTE FOR EFFECTIVE EDUCATION
 9524 KEARNY VILLA ROAD
 SAN DIEGO, CA 92126

SCOPE DOCUMENT
 APPROVED FOR THE PROJECT BY THE ARCHITECT AND ENGINEER AND THE ARCHITECT AND ENGINEER'S LICENSE NO. 10000 AND THE ARCHITECT AND ENGINEER'S LICENSE NO. 10000. THE ARCHITECT AND ENGINEER'S LICENSE NO. 10000 AND THE ARCHITECT AND ENGINEER'S LICENSE NO. 10000.

PROJECT NO.	001
DATE	08/20/08
PROJECT NAME	THE INSTITUTE FOR EFFECTIVE EDUCATION
SHEET NO.	A-2
TOTAL SHEETS	10
DATE	08/20/08
PROJECT	THE INSTITUTE FOR EFFECTIVE EDUCATION
LOCATION	9524 KEARNY VILLA ROAD, SAN DIEGO, CA 92126
OWNER	THE INSTITUTE FOR EFFECTIVE EDUCATION
DESIGNER	AUGUSTINE DESIGN GROUP
ARCHITECT	ALTON AUGUSTINE
ENGINEER	ALTON AUGUSTINE



FIRST FLOOR
SCALE: 1/8" = 1'-0"
PROJECT NORTH

- NOTES**
- EXISTING INTERIOR CONDITIONS SHOWN. SEE LEGEND FOR WALLS TO REMAIN AND WALLS TO BE REMOVED UNDER FUTURE BUILDING PERMIT.
- LEGEND**
- EXISTING INTERIOR/EXTERIOR PARTITION WALLS TO REMAIN
 - EXISTING PARTITION/DOOR/FUTURE TO BE REMOVED
 - EXISTING DRIP LINE/SPLIT TO REMAIN
 - EXISTING AREA OF OPENINGS AT EXISTING EXTERIOR DRIP LINE/SPLIT

AUGUSTINE DESIGN GROUP
2115 TOWN CENTER BOULEVARD, SUITE 100
SAN DIEGO, CALIFORNIA 92108
PHONE: 619.594.1111 FAX: 619.594.1112



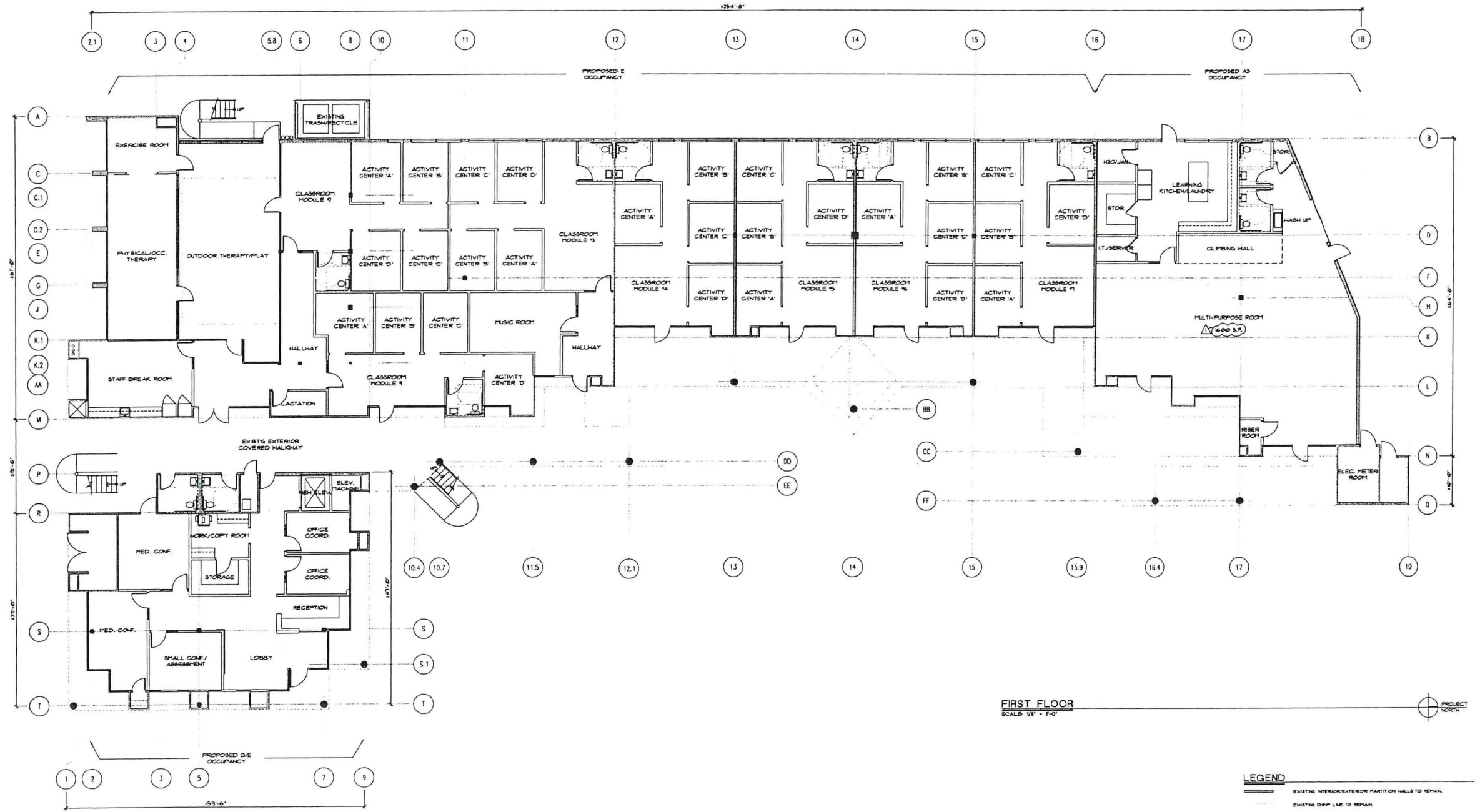
THE INSTITUTE FOR EFFECTIVE EDUCATION
9524 KEARNY VILLA ROAD
SAN DIEGO, CA 92126

SCOPE DOCUMENT

THIS DOCUMENT DESCRIBES THE SCOPE OF WORK FOR THE DEMOLITION AND EXISTING USE PLAN OF THE FIRST FLOOR OF THE INSTITUTE FOR EFFECTIVE EDUCATION BUILDING. THE SCOPE OF WORK IS LIMITED TO THE DEMOLITION OF THE EXISTING INTERIOR PARTITIONS, WALLS, AND CEILING, AND THE REMOVAL OF THE EXISTING INTERIOR DRIP LINES AND SPLIT SYSTEMS. THE EXISTING EXTERIOR DRIP LINES AND SPLIT SYSTEMS WILL BE REMOVED UNDER A FUTURE BUILDING PERMIT.

NO.	DATE	DESCRIPTION
1	08/14/19	ISSUE FOR PERMIT
2	08/14/19	ISSUE FOR PERMIT
3	08/14/19	ISSUE FOR PERMIT
4	08/14/19	ISSUE FOR PERMIT
5	08/14/19	ISSUE FOR PERMIT
6	08/14/19	ISSUE FOR PERMIT
7	08/14/19	ISSUE FOR PERMIT
8	08/14/19	ISSUE FOR PERMIT
9	08/14/19	ISSUE FOR PERMIT
10	08/14/19	ISSUE FOR PERMIT
11	08/14/19	ISSUE FOR PERMIT
12	08/14/19	ISSUE FOR PERMIT
13	08/14/19	ISSUE FOR PERMIT
14	08/14/19	ISSUE FOR PERMIT
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19	08/14/19	ISSUE FOR PERMIT
20	08/14/19	ISSUE FOR PERMIT
21	08/14/19	ISSUE FOR PERMIT

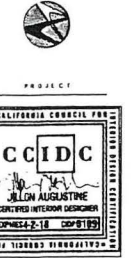
DEMOLITION/
EXIST'G USE PLAN
FIRST FLOOR
SHEET 03



FIRST FLOOR
SCALE: 1/8" = 1'-0"

- LEGEND**
- EXISTING INTERIOR/EXTERIOR PARTITION WALLS TO REMAIN
 - EXISTING DROP LINE TO REMAIN
 - - - - EXISTING AREA OF OPENINGS AT EXISTING EXTERIOR SLOTT
 - ▬ NEW INTERIOR PARTITION WITH R-13 BATT INSULATION TO 4" ABOVE SFD.

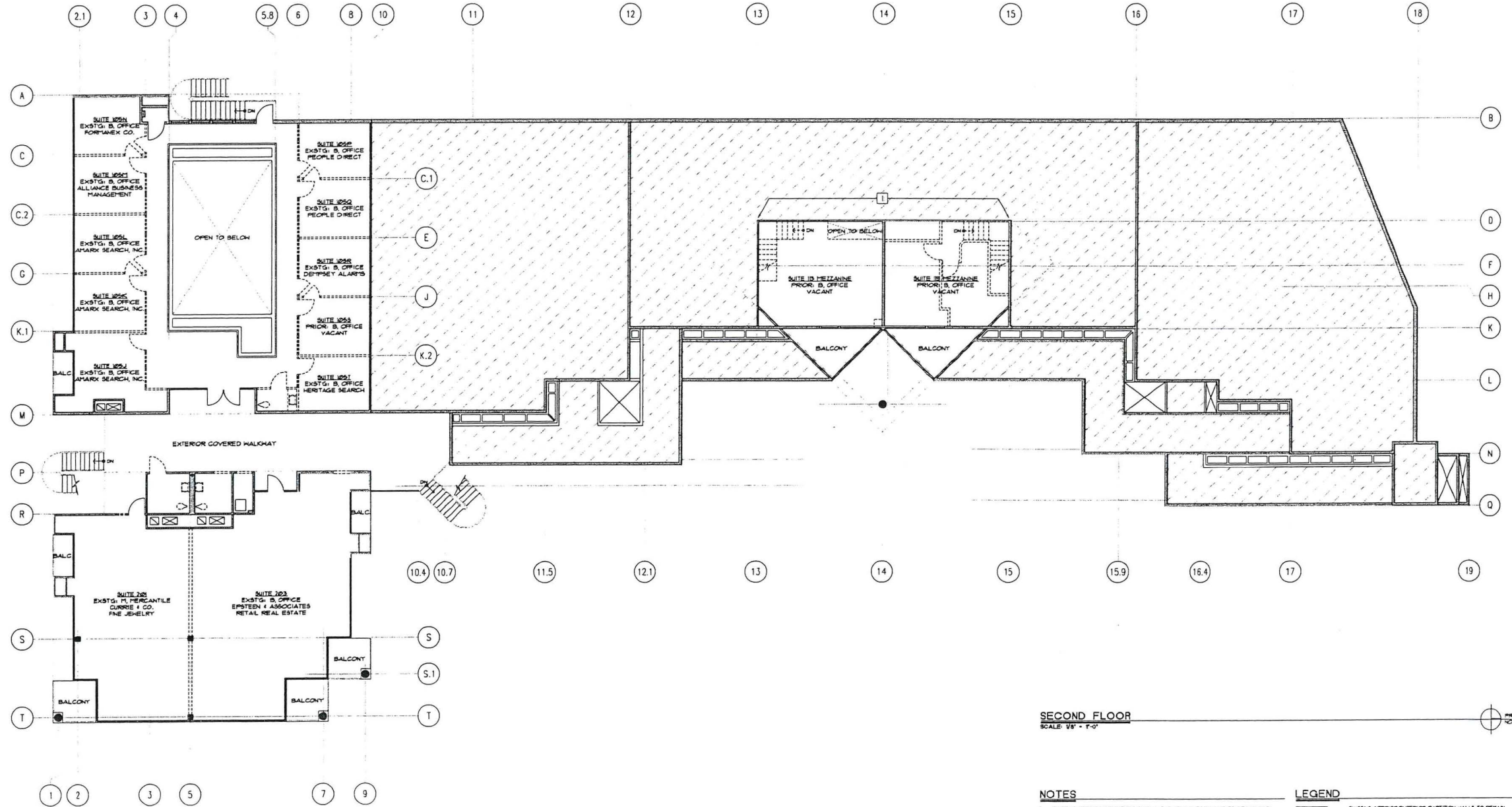
AUGUSTINE DESIGN GROUP
 2022 PINE AVE. SUITE 200, SAN DIEGO, CA 92101
 PHONE: 619.444.2844 FAX: 619.444.2844



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DATE	BY	REVISION



SECOND FLOOR
SCALE: 1/8" = 1'-0"

NOTES

- 1. EXISTING INTERIOR CONDITIONS SHOWN. SEE LEGEND FOR WALLS TO REMAIN AND WALLS TO BE REMOVED UNDER FUTURE BUILDING PERMIT.

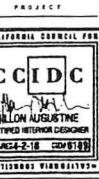
KEYNOTES

- 1. EXISTING MEZZANINE AND RELATED STAIRS TO BE REMOVED UNDER FUTURE BUILDING PERMIT.

LEGEND

- EXISTING INTERIOR/EXTERIOR PARTITION WALLS TO REMAIN
- EXISTING PARTITION/DOOR/FURNITURE TO BE REMOVED
- EXISTING DROP LINE TO REMAIN
- EXISTING AREA OF OPENINGS AT EXISTING EXTERIOR SPLIT
- EXISTING ROOF AREA

ARGENTINE DESIGN GROUP
2777 TOWN CENTER, SAN DIEGO, CA 92108
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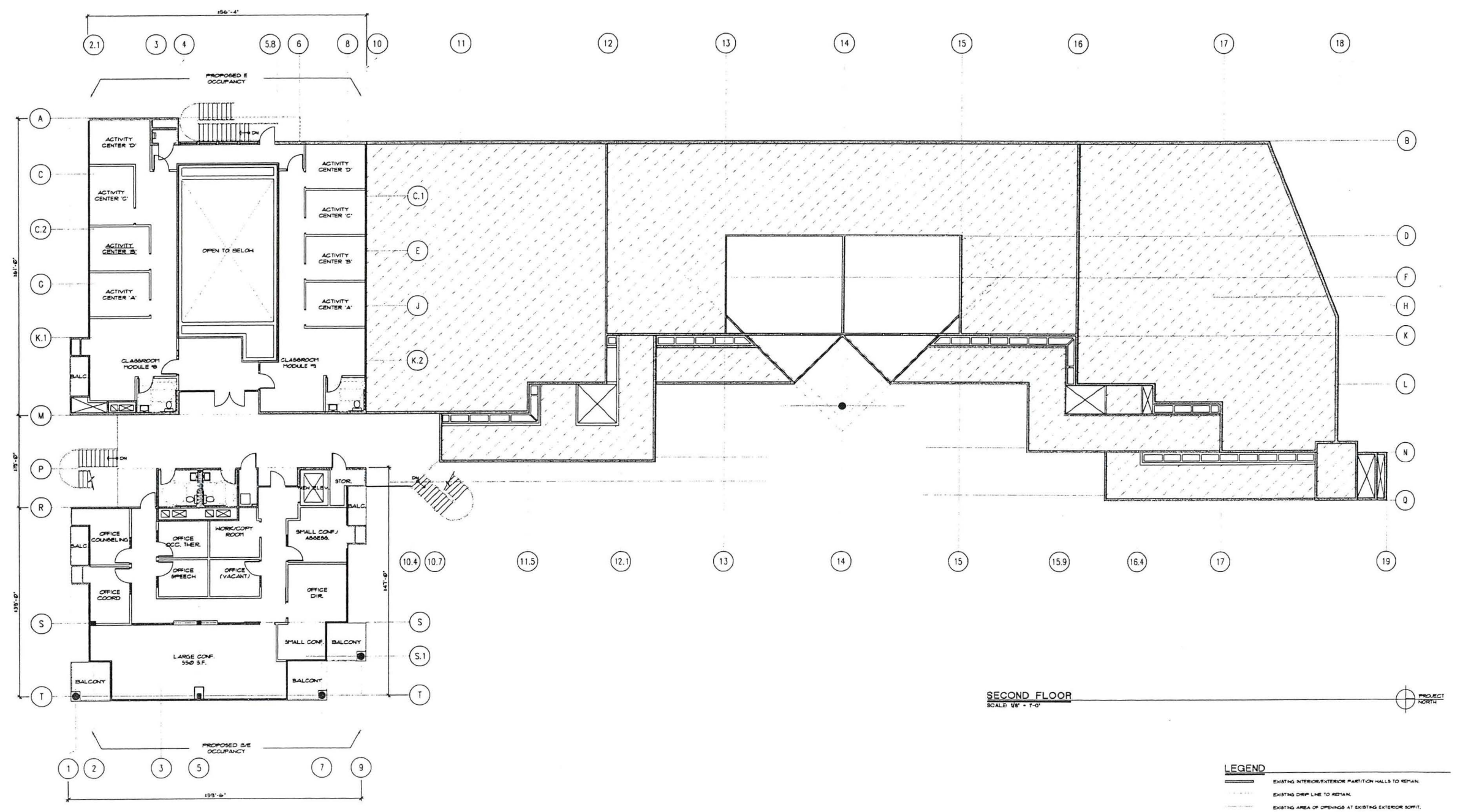


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SCOPE DOCUMENT
PREPARED FOR THE CLIENT BY ARGENTINE DESIGN GROUP
DATE: 08/14/18
PROJECT NO: 18-001
SHEET 15 OF 22

PROJECT NO: 18-001
SHEET 15 OF 22
DATE: 08/14/18
DRAWN BY: JARGENTINE
CHECKED BY: JARGENTINE

DEMOLITION/
EXSTG USE PLAN
SECOND FLOOR
SHEET 15



SECOND FLOOR
SCALE: 1/8" = 1'-0"

- LEGEND**
- EXISTING INTERIOR/EXTERIOR PARTITION WALLS TO REMAIN.
 - EXISTING DROP LINE TO REMAIN.
 - EXISTING AREA OF OPENINGS AT EXISTING EXTERIOR SOFFITS.
 - NEW INTERIOR PARTITION WITH R-13 BATT INSULATION TO 6' ABOVE GRADE.
 - EXISTING ROOF AREA.

AUGUSTINE DESIGN GROUP
 2025 FIVE STAR AVENUE SUITE 200
 PALM SPRING, CALIFORNIA 92262
 PHONE 951.762.1000 FAX 951.762.1008



PROJECT



THE INSTITUTE FOR EFFECTIVE EDUCATION
 8524 NEARBY VILLAS ROAD
 SAN DIEGO, CA 92128

SCOPE DOCUMENT
 THIS DOCUMENT IS A PRELIMINARY DESIGN AND SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS OF THE EXISTING STRUCTURE AND UTILITIES BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION AFTER COMPLETION OF THE WORK.

NO.	REVISION	DATE

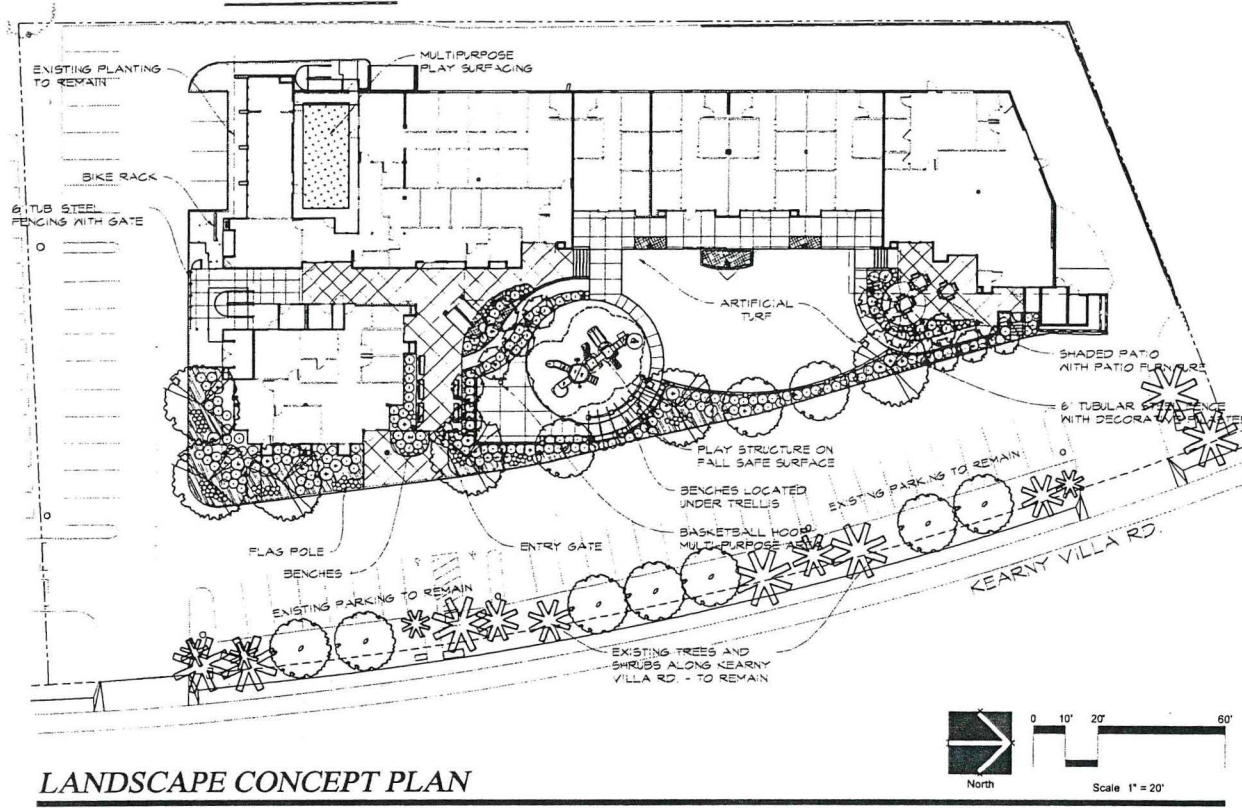
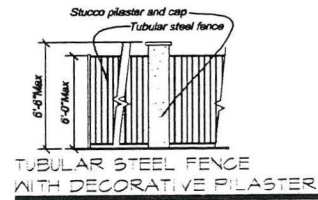
PARTITION PLAN
SECOND FLOOR

SHEET NO.

A-42

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
SEWER LINES	10'
ABOVEGROUND UTILITY STRUCTURES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'

ADDITIONAL NOTE:
NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.



LANDSCAPE CONCEPT PLAN

Plant Legend

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	PECOLS	MATURE SIZE
LARGE PERIMETER TREES:					
(Symbol)	GEORGIA DESERT MUSEUM TIPIANA TIPI	DESERT MUSEUM PALO VERDE TIPI TREE	24" BOX	L	30' x 30'
MEDIUM ACCENT TREES:					
(Symbol)	ARBUUS MARINA	STRAWBERRY TREE	24" BOX	L	20' x 20'
(Symbol)	GEORGIA DESERT MUSEUM RHAS LANGEA	DESERT MUSEUM PALO VERDE AFRICAN SUAG	24" BOX	L	30' x 30'
(Symbol)	GEORGIA DESERT MUSEUM RHAS LANGEA	DESERT MUSEUM PALO VERDE AFRICAN SUAG	24" BOX	L	20' x 20'
SMALL ACCENT TREES:					
(Symbol)	CORDUS CANADENSIS FOREST PSY	REDBUD	24" BOX	L	15' x 15'
(Symbol)	GITALPA TASHKENTENSIS	GITALPA	24" BOX	L	20' x 20'
LARGE ACCENT SHRUBS:					
(Symbol)	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	L	4' x 4'
(Symbol)	AGAVE AMER. VAR. MARGINATA	STRIPED CENTURY PLANT	5 GAL	L	5' x 5'
(Symbol)	BOISSAUVILLEA TORCH SLOW	BOISSAUVILLEA	5 GAL	L	3' x 3'
(Symbol)	FELOA SELLOMANA	PINEAPPLE QUAVA	5 GAL	L	15' x 15'
(Symbol)	KALANGRUE BEHARSIS	ELEPHANT EAR	5 GAL	L	8' x 8'
PERIMETER SHRUBS:					
(Symbol)	AGAVE SANDWICH	N.C.A.	1 GAL	L	1' x 2'
(Symbol)	AGAVE BLUE SLOW	BLUE SLOW AGAVE	5 GAL	L	4' x 4'
(Symbol)	ALOE SPP	ALOE	1 GAL	L	3' x 3'
(Symbol)	BOISSAUVILLEA ROSSENKA	BOISSAUVILLEA	5 GAL	L	3' x 3'
(Symbol)	KALANGRUE GRANDIFLORA	ROCK PURSLANE	1 GAL	L	2' x 2'
(Symbol)	KALANGRUE LUCIDAE	PADDLE PLANT	1 GAL	L	1' x 1'
(Symbol)	LANTANA X NEW SLOW	LANTANA	1 GAL	L	2' x 2'
(Symbol)	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	1 GAL	L	2' x 3'
(Symbol)	PSALOM FRUITCOSA	JERUSELM SAGE	5 GAL	L	3' x 3'
(Symbol)	PROSTRAT. BUDING SLOW	NEW ISLAND FLAX	5 GAL	L	4' x 4'
(Symbol)	ROSMARINUS TUSCAN BLUE	TUSCAN BLUE ROSEMARY	5 GAL	L	2' x 3'
(Symbol)	SALVIA GRESHII	TEXAS SAGE	5 GAL	L	2' x 3'
(Symbol)	SALVIA LEGANTHA	SAGE BRUSH	5 GAL	L	3' x 3'
INTERIOR MASSING SHRUBS:					
(Symbol)	ABELIA GRANDIFLORA	ABELIA	3 GAL	L	3' x 3'
(Symbol)	CITRUS SPP	INDIAN CITRUS	5 GAL	L	3' x 3'
(Symbol)	RHAMNOLIPS INDICA	INDIAN HARTHORN BALLERINA	5 GAL	L	2' x 2'
(Symbol)	STELTIA REGINA	BIRD OF PARADISE	5 GAL	L	3' x 3'
(Symbol)	WESTRINGIA FRUITCOSA	COAST ROSEMARY	5 GAL	L	3' x 3'
GROUNDCOVERS:					
(Symbol)	ARGOSTEMMUM PACIFIC MST	MANZANTA	1 GAL	L	1' x 8'
(Symbol)	ACROGON COLINDRIGUS	NARROW CHALK STICKS	1 GAL	L	1' x 2'
(Symbol)	LANTANA MONTEVIDENSIS	TRAILING LANTANA	1 GAL	L	2' x 8'
(Symbol)	TRACHYSPERMUM JASHNOIDES	STAR JASMINE	5 GAL	M	2' x 4'
(Symbol)	ARTIFICIAL TURF (PERMEABLE)				

STANDARD LANDSCAPE NOTES

- 1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - 2. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
 - 3. MAINTENANCE: ALL LANDSCAPE SHOWN ON THIS PLAN SHALL BE MAINTAINED BY THE BUSINESS OWNER. THE LANDSCAPE AREAS SHALL BE KEPT FREE OF LITTER AND DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - 4. ROOT BARRIER: SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF IMPROVEMENTS INCLUDING WALLS, WALKS, CURBS OR STREET PAVEMENT. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOT BALL.
 - 5. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH INORGANIC MULCH TO MINIMUM DEPTH OF 3 INCHES.
- IRRIGATION NOTES
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT, BELOW GRADE, AUTOMATIC IRRIGATION SYSTEM UTILIZING LOW-FLOW ROTATOR HEADS AND SUBSURFACE DRIP LINES, AND A WEATHER BASED AUTOMATIC IRRIGATION SMART CONTROLLER.
- THE IRRIGATION SYSTEM WILL BE DESIGNED TO AFFORD OPTIMUM COVERAGE FOR THE SUPPORT OF PLANT GROWTH. THE COVERAGE WILL MEET THE WATER REQUIREMENTS FOR THE SELECTED PLANT MATERIAL AND WITHIN THE GIVEN PLANTING AREAS.
- THE DESIGN WILL TAKE INTO CONSIDERATION THE TYPE OF EXPOSURE THE SYSTEM WILL HAVE. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH RESPECT TO WATER CONSERVATION. IRRIGATION HEADS SHALL BE CHOSEN FOR MAXIMUM COVERAGE WITH LOW-GALLONAGE AND PRECIPITATION QUALITIES. THE IRRIGATION SYSTEM SHALL BE A FULLY AUTOMATIC SYSTEM AND AS MAINTENANCE-FREE AS POSSIBLE. THE MATERIALS FOR THE SYSTEM WILL BE OF AN EXTREMELY DURABLE NATURE, AND WILL HAVE BEEN SELECTED FOR WEAR RESISTANCE AND LONG LIFE. THE OVERALL SYSTEM SHALL BE DESIGNED FOR EASE OF MAINTENANCE. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITYWIDE LANDSCAPE REGULATIONS AND THE LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS. A SEPARATE IRRIGATION SUB-WATER METER SHALL BE INSTALLED.

HYDROZONE MAP

North

LEGEND

- LOW- 2,433 SQFT
- MODERATE-1,100 SQFT
- EXISTING LANDSCAPE (N.A.P.)

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET _r)	41	Project Type	Non-Residential	0.45		
Reference Evapotranspiration (ET _r)	41	Project Type	Non-Residential	0.45		
Description	Planting Factor (PF)	Irrigation Method	ET _r x PF (E _f)	Area (Sq Ft)	Area (Sq Ft)	Estimated Total Water Use (GPD)
Regular Landscape Areas						
1. Low water use	0.30	drip	0.31	3,337	3,433	901
2. Mod. water use	0.35	drip	0.31	3,462	1,102	379
		drip	0.31	3,205	3	0
						0
						0
						0
						0
						0
						0
Special Landscape Areas						
						0
						0
						0
						0
						0
						0
						0
						0
Total						
					ET _r x Area	46,045
					Maximum Allowed Water Allowance (WAWA)	26,329

ET_r Calculations

Regular Landscape Areas	Average ET _r for Regular Landscape Areas must be 0.35 or below for residential areas, and 0.48 or below for non-residential areas.
Total ET _r x Area	1599
Total Area	3530
Average ET _r	0.45

All Landscape Areas

Regular Landscape Areas	Average ET _r for Regular Landscape Areas must be 0.35 or below for residential areas, and 0.48 or below for non-residential areas.
Total ET _r x Area	1599
Total Area	3530
Average ET _r	0.45



2442 second avenue, san diego ca 92101 619 718 9660

