



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: October 11, 2017 REPORT NO. HO-17-064

HEARING DATE: October 18, 2017

SUBJECT: ARDATH ROAD CDP SDP, Process Three Decision

PROJECT NUMBER: [531990](#)

OWNER/APPLICANT: Pacific Asset Investment II, Owners  
Dinesh Korat, Agent

### SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit/Site Development Permit for an addition/remodel to a single family dwelling unit with an attached two-car garage located at 2509 Ardath Road in the La Jolla Community Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 1876820/Site Development Permit No. 2010836.

Community Planning Group Recommendation: On August 3, 2017, the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the project with no conditions. (Attachment 8).

La Jolla Shores Advisory Board: On July 17, 2017, the La Jolla Shores Advisory Board voted 5-0-0 to recommend approval of the project without conditions (Attachment 8).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Sections 15301(e) Existing Facilities, 15304(a) Minor Alterations to Land, and 15332 Infill Development Projects (a) through (e). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 6, 2017, that determination was circulated and the opportunity to appeal that determination ended September 21, 2017.

### BACKGROUND/PROJECT DESCRIPTION

The existing home on the project site was built in 1949, and is located on the south side of Ardath Road just north and east of Hidden Valley Road, approximately one mile east of the Pacific Ocean

(Attachment 1). The surrounding properties are fully developed and form a well-established single-dwelling-unit residential neighborhood (Attachment 3). As the existing structure is more than 45 years old, staff evaluated the home and concluded it is not significant, and not eligible for historic designation under local, state or federal criteria.

The 0.34-acre project site is located in the Single Family Zone (SF Zone) of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact (Coastal and Campus) Overlay Zone, and within the La Jolla Community Plan area. The proposal would demolish a portion of the home and construct a 344-square-foot, one-story addition with a roof deck to an existing, 3,576-square-foot, one-story, single family dwelling unit on the property. A Coastal Development Permit is required by the San Diego Municipal Code (SDMC) Section 126.0702 for the proposed partial demolition and construction on a property within the Coastal Overlay Zone. A Site Development Permit is required by SDMC Section 1510.0201(d) for major development within the La Jolla Shores Planned District. Findings must be made in the affirmative to approve these permits (Attachment 5).

#### DISCUSSION

The project proposes an addition/remodel of an existing single dwelling unit located within an established residential neighborhood. The La Jolla Community Plan designates the site as Very Low Density (0-5 DU/acre) Residential. The residential use of the property is consistent with that land use designation at 2.94 DU/acre. The site does not contain any Environmentally Sensitive Lands. The proposed addition to the existing residence will be located within the previously developed portion of the property. Based on a submitted neighborhood survey of the existing development pattern and bulk and scale comparisons, the proposed addition/remodel was found to be in general conformity with setbacks, bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance SF Zone. All surface drainage run-off will be conveyed through an existing drain system to Ardath Road. The project proposes 22 cubic yards of cut grading and zero cubic yards of fill, with 22 cubic yards of export. Following the remodel the residence will be approximately 18 feet, 6 inches in height, and in compliance with the 30-foot height limit.

The project site is located approximately one mile east of the Pacific Ocean, and is not located within or adjacent to any public view identified within the La Jolla Community Plan and Local Coastal Land Use Plan. The project site is not located between the ocean and the First Public Roadway.

The project site is not identified as containing any form of pedestrian access by the La Jolla Community Plan and Local Coastal Land Use Plan. Based on the review of the project's plans, conformance with public access and coastal public views the proposed redevelopment of this property was found to be in conformance with the La Jolla Community Plan and Local Coastal Land Use Plan.

#### ALTERNATIVES

1. Approve Coastal Development Permit No. 1876820/Site Development Permit No. 2010836, with modifications.

2. Deny Coastal Development Permit No. 1876820/Site Development Permit No. 2010836, if the findings required to approve the project cannot be affirmed.

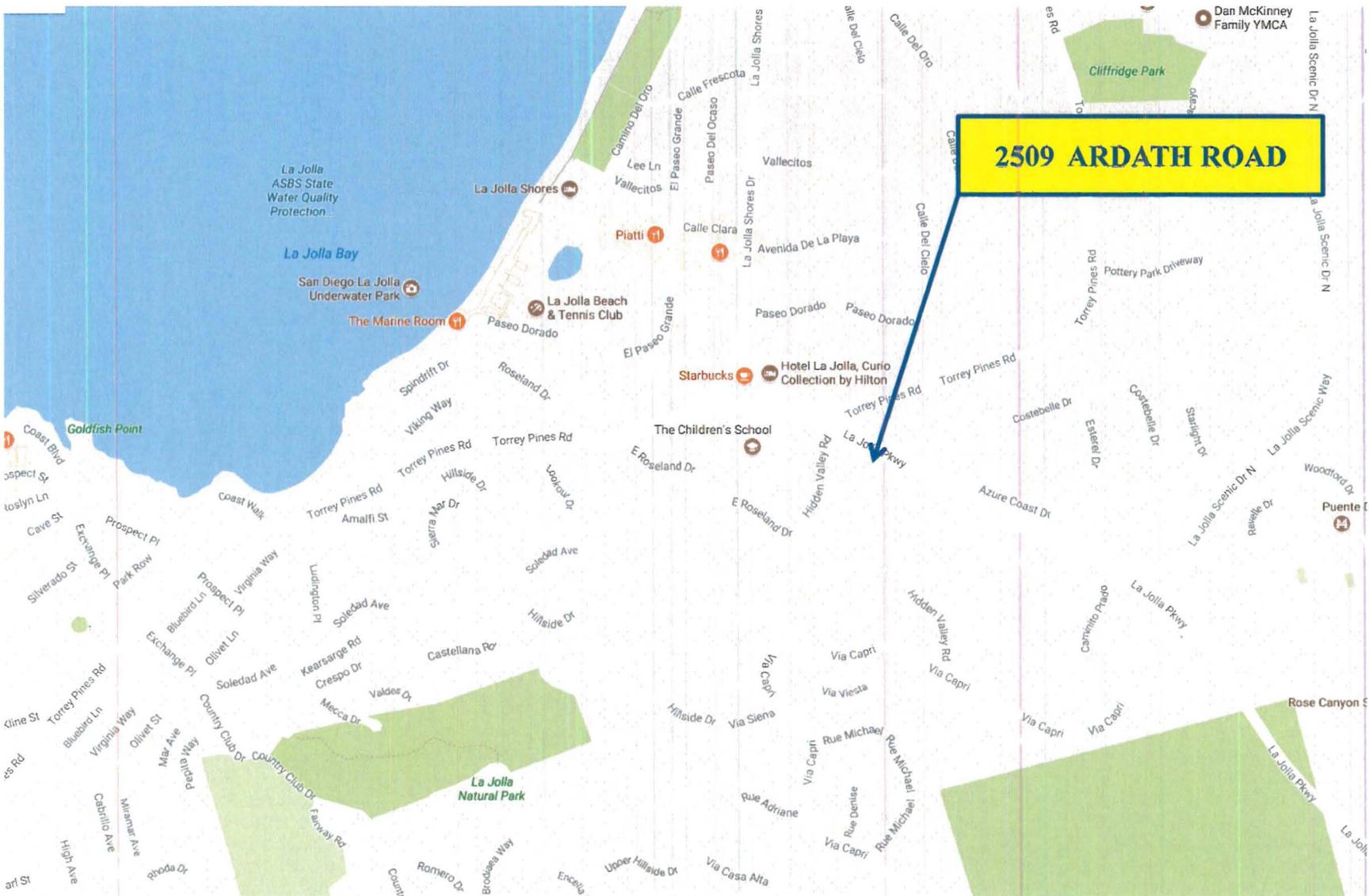
Respectfully submitted,



Glenn Gargas, Development Project Manager

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal Environmental Determination
8. Community Planning Group Recommendations
9. Ownership Disclosure Statement
10. Project Plans



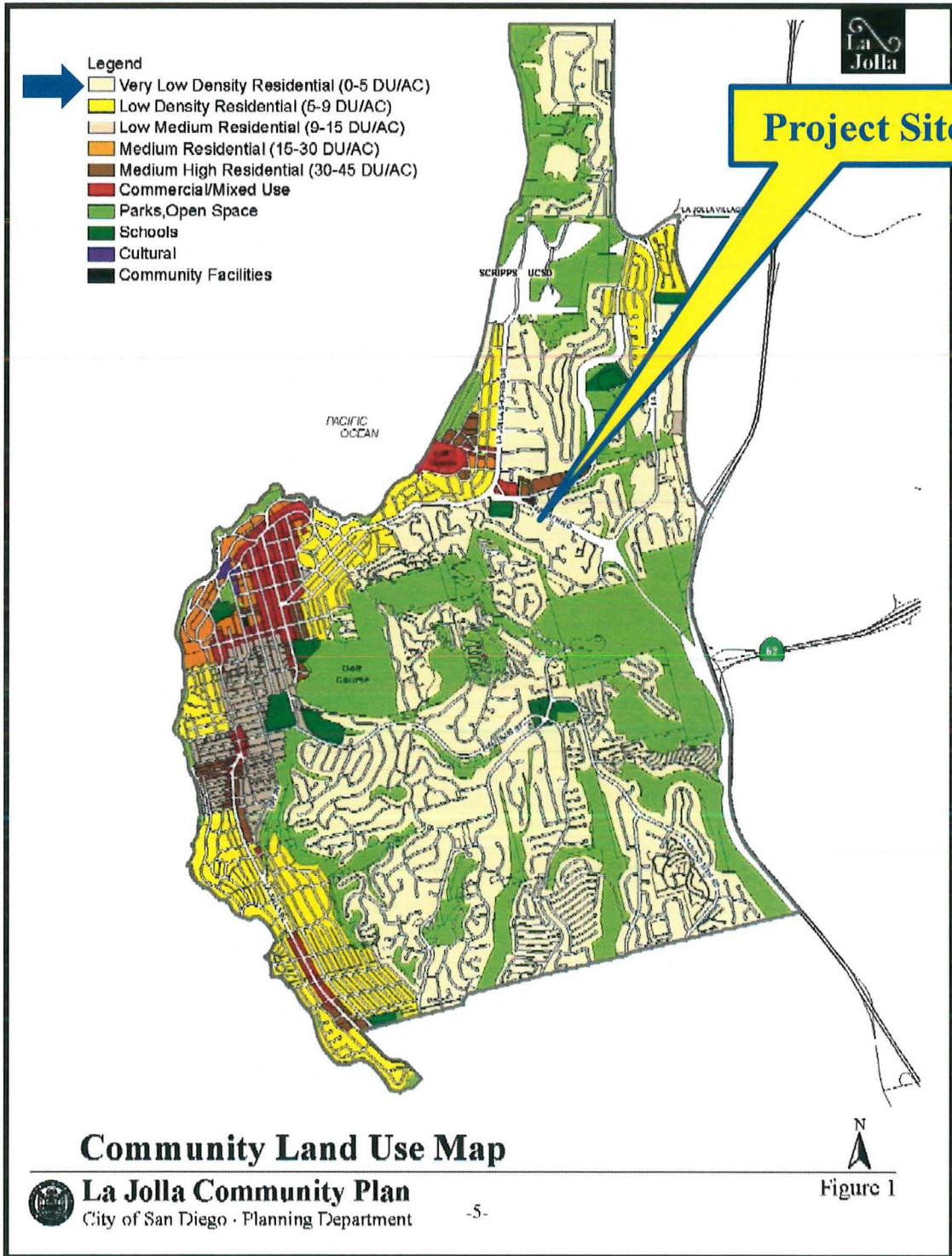
**2509 ARDATH ROAD**



## Project Location Map

**ARDATH ROAD CDP/SDP - 2509 ARDATH ROAD  
PROJECT NO. 531990**





**Land Use Map**

**ARDATH ROAD CDP / SDP - 2509 ARDATH ROAD**  
**PROJECT NO. 531900 La Jolla**





## Aerial Photo

ARDATH ROAD CDP/SDP - 2509 ARDATH ROAD  
PROJECT NO. 531900



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Ardath Road CDP/SDP – Project No. 531990	
<b>PROJECT DESCRIPTION:</b>	Add 344 square feet to a one-story 3,576-square-foot, one-story, single-family dwelling unit on a 0.34-acre property.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit/Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Very Low Density Residential (0-5 DUs per acre)	
<b>ZONING INFORMATION:</b>		
<b>ZONE:</b> SF Zone La Jolla Shores Planned District		
<b>HEIGHT LIMIT:</b> 30/24-Foot maximum height limit.		
<b>LOT SIZE:</b> Approx. 8,000-square-foot minimum lot size – existing lot 15,000 sq. ft.		
<b>FLOOR AREA RATIO:</b> NA – 0.21 proposed		
<b>FRONT SETBACK:</b> 19 feet 6 inches proposed		
<b>SIDE SETBACK:</b> 8 and 6 feet existing and proposed		
<b>STREETSIDE SETBACK:</b> NA		
<b>REAR SETBACK:</b> 58 feet 8 inches existing		
<b>PARKING:</b> 2 parking spaces required –2 spaces existing		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>SOUTH:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>EAST:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>WEST:</b>	Very Low Density Residential; SF Zone La Jolla Shores PDO	Single Family Residence
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	

**ATTACHMENT 4**

<p><b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b></p>	<p>The La Jolla Community Planning Association voted 13-0-1 to recommended approval the project at their August 3, 2017 meeting.</p>
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HEARING OFFICER RESOLUTION NO. \_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 1876820/SITE DEVELOPMENT PERMIT NO. 2010836  
ARDATH ROAD CDP/SDP - PROJECT NO. 531990

WHEREAS, Pacific Asset Investment II, a Limited Liability Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a portion of a dwelling unit and construct an addition/remodel to an existing single family dwelling unit with an attached two-car garage and pool (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1876820 and 2010836), on portions of a 0.34-acre property;

WHEREAS, the project site is located at 2509 Ardath Road, in the SF Zone of the La Jolla Shores Planned District, Coastal Overlay Zone (non-appealable), Coastal Height Limitation Overlay Zone, Parking Impact (Coastal and Campus) Overlay Zone, and within the La Jolla Community Plan area;

WHEREAS, the site is legally described as; a portion of Pueblo Lot 1288 of the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by James Pascoe in 1870, a copy of which said Map was filed in the Office of the County recorder of San Diego County, November 14, 1921, and is known as Miscellaneous Map No. 36.

WHEREAS, on September 6, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15301(e) Existing Facilities, 15304(a) Minor Alterations to Land, and 15332 Infill Development Projects (a) through (e) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 18, 2017, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1876820/Site Development Permit No. 1885808, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 18, 2017.

FINDINGS:

**Coastal Development Permit - Section 126.0708**

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is currently developed with an existing, one-story, residence. This project proposes an addition/remodel to the existing single-family dwelling unit. The proposed addition/remodel will be situated in a previously disturbed area directly adjacent to and in approximately the same location

as the existing residential structure. The project site is located approximately one mile from the Pacific Ocean coastline. The proposed project is contained within the existing legal lot area which will not encroach upon any existing or proposed physical access to the coast. The project site is not located within the First Public Roadway and the Pacific Ocean. As the proposal will meet all setback requirements, the proposed addition/remodel will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the La Jolla Local Coastal Program land use plan.

The project site is located along the south side of Ardath Road and there is no identified public view on or adjacent to the project site identified within the La Jolla Community Plan and Local Coastal Program Land Use Plan. The proposed addition/remodel will not negatively impact a public view to the ocean.

As the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

### **2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The fully graded project site is currently developed with a single-family dwelling unit and within a residential neighborhood developed since 1949. Review of resources maps, and aerial and street level photography shows that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. The project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA) designated lands. The project proposes an addition/remodel to the existing single-family dwelling unit with an attached two car garage and pool. The proposed addition/remodel is located directly adjacent to the existing residential structure in a previously disturbed portion of the site. A Preliminary Geotechnical Investigation indicates that this area has been cut and filled to accommodate the existing home. Site drainage currently drains toward Ardath Road. All surface drainage from the project will be conveyed to Ardath Road. The project site was previously graded and addition/remodel to this site proposes 25 cubic yards of cut, zero cubic yards of fill, for a total export of 25 cubic yards. This previously disturbed project site does not contain any form of environmentally sensitive lands. Thus, this proposed addition/remodel of the existing residence will not adversely affect Environmentally Sensitive Lands.

### **3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed addition/remodel to an existing, one-story, residential dwelling unit is located on a site which has a Very Low Density Residential (0-5 DU/AC) land use designation. Based on the review of the project plans along with a setback and bulk/scale neighborhood survey of the surrounding development pattern, the project's design was determined to be in conformity with all of the applicable development regulations of the La Jolla Shores Planned District's SF-Zone and the Coastal Overlay Zone.

The project site is located approximately one mile from the coastline and the La Jolla Community Plan and Local Coastal Program Land Use Plan does not identify any public view on or adjacent to the subject property. The project site is not located in an area identified as containing pedestrian access. The Ardath Road street frontage will remain with improved public right-of-way. Project development will be fully contained within the existing legal lot area. Due to these factors the proposed addition/remodel of the residential dwelling unit is in conformity with the certified La Jolla Community Plan and the certified Local Coastal Program Land Use Plan and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Therefore, the finding is not applicable.

**Site Development Permit - Municipal Code Section 126.0504**

**1. The proposed development will not adversely affect the applicable land use plan.**

The project proposes a 344-square-foot, one-story addition/remodel to an existing, 3,576-square-foot, one-story, single family dwelling unit with an attached two-car garage within a previously disturbed portion of the project site. The proposed project is located in an area identified as Very Low density (0-5 DU/acre) residential within the La Jolla Community Plan (LJCP). The residential use of the property is consistent with the land use designation at 2.9 DU/acre. The project site does not contain or is not adjacent to any identified public access or any identified public views identified by the La Jolla Community Plan and Local Coastal Land Use Plan. The proposed addition/remodel was found consistent with the SF Zone of the La Jolla Shores Planned District development regulations, allowed density and design recommendations. Thus, this single family residential dwelling unit addition/remodel will not adversely affect the La Jolla Community land use plan.

**2. The proposed development will not be detrimental to the public health, safety and welfare.**

The proposed proposes a 344-square-foot, one-story addition to an existing, 3,576-square-foot, one-story, single family dwelling unit with an attached two-car garage within a previously disturbed portion of the project site which has been designed to comply with all of the applicable development regulations, including those of the SF Zone of the La Jolla Shores Planned District. The environmental review, determined that the project would not have a significant environmental effect and found it categorically exempt under the California Environmental Quality Act (CEQA). The environmental analysis did not identify any significant impacts to public health and safety. The project will not have any impact on the provision of essential public services. The permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons

residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the project will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The proposed 344-square-foot, one-story addition to an existing, 3,576-square-foot, one-story, single family dwelling unit with an attached two-car garage is located within a previously disturbed portion of the project site, will comply with the development regulations of the SF Zone of the La Jolla Shores Planned District. Based on a submitted neighborhood survey of the existing development pattern, bulk and scale comparisons, the proposed addition/remodeled residence was found to be in general conformity of setbacks, bulk and scale as encouraged by the La Jolla Shores Planned District Ordinance's SF Zone. There are no proposed variances or deviations to the development regulations of the Land Development Code. The building setbacks, drainage, lot coverage, building mass, building height, landscaping, public views and public access will comply with all of the required development regulations. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1876820/Site Development Permit No. 2010836 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1876820 and 2010836, a copy of which is attached hereto and made a part hereof.

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Glenn R. Gargas  
Development Project Manager  
Development Services

Adopted on: October 18, 2017.

Job Order No. 24007152

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24007152

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1876820/SITE DEVELOPMENT PERMIT NO. 2010836  
**2509 ARDATH ROAD - PROJECT NO. 531990**  
HEARING OFFICER

This Coastal Development Permit No. 1876820/Site Development Permit No. 2010836 is granted by the Hearing Officer of the City of San Diego to Pacific Asset Investment II, a Limited Liability Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0707. The 0.34-acre site is located at 2509 Ardath Road, in the SF Zone of the La Jolla Shores Planned District Ordinance, Coastal (non-appealable) Overlay Zone, Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone and within the La Jolla Community Plan area. The project site is legally described as: a portion of Pueblo Lot 1288 of the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof made by James Pascoe in 1870, a copy of which said Map was filed in the Office of the County recorder of San Diego County, November 14, 1921, and is known as Miscellaneous Map No. 36.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an addition/remodel to an existing single family dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 18, 2017, on file in the Development Services Department. The project shall include:

- a. For construction of a 344-square-foot addition/remodel of a 3,576 square-foot, one-story, dwelling unit with an attached two-car garage, resulting in a 3,920-square-foot single family dwelling unit on a 0.34-acre property;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking, two parking spaces;
- d. Site walls, fences, patio and swimming pool; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by November 2, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

12. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the existing non-standard driveway on Ardath Road.

13. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

14. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

15. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**PLANNING/DESIGN REQUIREMENTS:**

17. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking space widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit

are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 18, 2017, by Resolution No.

\_\_\_\_\_.

Permit Type/PTS Approval No.: CDP No. 1876820/SDP No. 2010836  
Date of Approval: Oct. 18, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Glenn R. Gargas  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Pacific Asset Investment II  
Owner/Permittee

By \_\_\_\_\_  
Dinesh Korat  
Managing Member

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: September 13, 2017

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24007152

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**PROJECT NAME/NUMBER:** Ardath Road CDP/SDP: 531990

**COMMUNITY PLAN AREA:** La Jolla Community Planning Area

**COUNCIL DISTRICTS:** 1

**LOCATION:** 2509 Ardath Road, San Diego, CA

**PROJECT DESCRIPTION** Coastal Development Permit and Site Development Permit for a remodel and addition to an existing single family unit. The size of the existing unit would increase from 3,576 square-feet to 3,920. The project would also replace the existing flat roof with a new pitched roof. The proposed project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the facility. The 0.34 acre site is located at 2509 Ardath Road in the Coastal (Non- Appealable) overlay zone within the LJSPD-SF base zone of the La Jolla community plan area.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego, Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorical Exemption Section 15301 (Existing Facilities)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego, Development Services Department

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities). The exemption allows for the addition of up to 10,000 square-feet in areas where all public services and facilities are available and where the project would not be located on a site containing sensitive resources. Since the site is located in an area where public services exist, is devoid of sensitive resources, and would only add approximately 350 square feet to the existing structure the project qualifies to be categorical exempt from CEQA and the exceptions listed in CEQA Section 15300.2 would not apply.

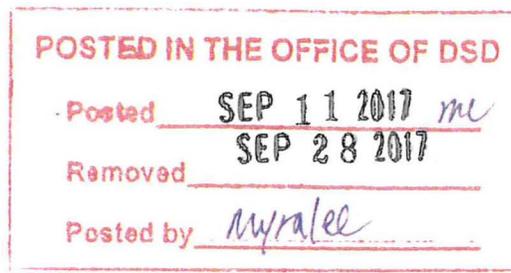
**DEVELOPMENT PROJECT MANAGER:** Glen Gargas  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER:** (619) 446-5142

---

On September 13, 2017 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice and therefore the appeal would end on September 27, 2017. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.





La Jolla Community Planning Association

Date: August 17, 2017

To: G. Gargas, City of San Diego

CC: D. S. Korat

Subject: La Jolla Community Planning Association Vote

RE: Ardath Residence-2509 Ardath Road

On August 3, 2017 at the Regular meeting of the La Jolla Community Planning Association (LJCPA) Trustees reviewed the Ardath Residence as an action item on the consent agenda.

10.7 Ardath Residence-2509 Ardath Road. Coastal Development Permit and Site Development Permit for the addition of 344 square feet and remodel of existing residential single dwelling unit for a total of 3,920 square feet of construction. The 0.34 acre site is located at 2509 Ardath Road in the Coastal (Non-Appealable) overlay zone within the LJSPD-SF base zone of the La Jolla community plan area within council district 1.

PRC Motion: Findings CAN be made for Coastal Development Permit and Site Development Permit for Project #531990. 7-0-0.

The LJCPA voted on consent to accept the recommendation of the PRC subcommittee.

Sincerely,

Helen Boyden, Vice President (s)  
Acting as Chair

858-456-7900

# La Jolla Shores Planned District (LJSPD) Advisory Board Agenda Item Record

**Project:** PTS 531990 – Ardath Road CDP/SDP - ACTION ITEM

**Item:** B

**Date:** 7/17/17

**Presenter:** Jose Martinez, [josemartinezarch@hotmail.com](mailto:josemartinezarch@hotmail.com), (619) 634-3847

**Address:** 2509 Ardath Road

**Description:** Proposal for a 344 sf addition/remodel of an existing 3,576 sf single-story home on a 15,000 sf lot.

**Recommendation:**

- A. Minor Project-Process 1. Project conforms to the LJSPD as adopted by the City Council.
- B. Major Project-Process 3. Project conforms to the LJSPD as adopted by the City Council
- C. Denial. The project does not conform to the LJSPD as adopted by the City Council
- D. Approval subject to the following modifications to ensure conformity to the LJSPD.

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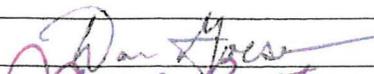
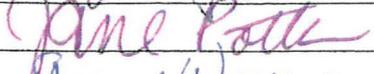
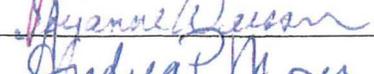
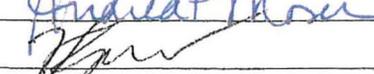


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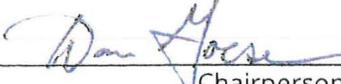
- E. No recommendation due to a lack of four affirmative votes.
- F. Concept Review Only \_\_\_\_\_

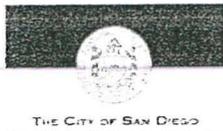
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**Board Signatures**

Trustee	Approve	Disapprove/Abstain
Dolores Donovan		
Dan Goese		
Jane Potter		
Susanne Weissman		
Andrea Moser		
Herbert Lazerow		

Absentees:

  
 \_\_\_\_\_  
 Chairperson



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title** **Project No. For City Use Only**  
 Pacific Asset Investment II La Jolla House 531990  
**Project Address:**  
 2509 Ardath Rd, La Jolla, CA 92037

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address:  
 City/State/Zip:  
 Phone No: Fax No:  
 Signature : Date:

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation     Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**     Yes     No

Corporate/Partnership Name (type or print):  
Pacific Asset Investment II LLC

Owner     Tenant/Lessee

Street Address:  
7817 Hendricks Dr

City/State/Zip:  
San Diego CA 92126

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
( 6198133345 )

Name of Corporate Officer/Partner (type or print):  
Dinesh Korat

Title (type or print):  
Managing Member

Signature : \_\_\_\_\_ Date: 01/10/2017

Corporate/Partnership Name (type or print):  
Pacific Asset Investment II LLC

Owner     Tenant/Lessee

Street Address:  
7817 Hendricks Dr

City/State/Zip:  
San Diego CA 92126

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
( 6198133345 )

Name of Corporate Officer/Partner (type or print):  
Dilipkumar Korat

Title (type or print):  
Managing Member

Signature : \_\_\_\_\_ Date: 1/10/2017

Corporate/Partnership Name (type or print):  
Pacific Asset Investment II LLC

Owner     Tenant/Lessee

Street Address:  
594 Apollo St

City/State/Zip:  
Brea, CA 92821

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
( 714-496-3321 )

Name of Corporate Officer/Partner (type or print):  
Rakesh Bajarla

Title (type or print):  
Managing Member

Signature : \_\_\_\_\_ Date: 1/10/2017

Corporate/Partnership Name (type or print):  
Pacific Asset Investment II LLC

Owner     Tenant/Lessee

Street Address:  
2401 E. DIVISION STREET

City/State/Zip:  
NATIONAL CITY, CA 91950

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
TRUE GEM LLC

Title (type or print):  
Managing Member

Signature : \_\_\_\_\_ Date: 1/10/2017

Corporate/Partnership Name (type or print):  
Pacific Asset Investment II LLC

Owner     Tenant/Lessee

Street Address:  
14674 BLAZING STAR DRIVE

City/State/Zip:  
CORONA, CA 92880

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
PRAFUL BAJARIA

Title (type or print):  
member

Signature : \_\_\_\_\_ Date: 1/10/2017

Corporate/Partnership Name (type or print):  
Pacific Asset Investment II LLC

Owner     Tenant/Lessee

Street Address:  
28235 PINE MEADOW WAY

City/State/Zip:  
YORBA LINDA, CA 92887

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):  
CHHAGANLAL KHENI

Title (type or print):  
member

Signature : \_\_\_\_\_ Date: 1/10/2017

DS-318  
Pacific Asset Investment II LLC  
Attachment

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DUDHAT INVESTMENT LLC  
117 RIDGEVIEW ROAD  
NORTH WALES, PA 19454

Member

---

TRIBHOVAN DHANANI  
407 CASTLE ROCK  
MCDONOUGH, GA 30253

Member

---

ASHOK UKANI  
2714 GLENCOE AVENUE  
SIMI VALLEY, CA 93063-2237

Member

---

NEHA SAVALIA  
3 TEMPLETON  
IRVINE, CA 92602

Member

---

NIRAV SAVALIA  
180 NEWPORT CENTER DRIVE, SUITE 170  
NEWPORT BEACH, CA 92660

Member

---

Dinesh  
Korat  
PROJECT: *A House  
Addition  
and  
Remodel*

ADDRESS:  
2509 Ardatth Road  
La Jolla, Ca. 92037  
BUILDING DATA:  
APN: 352-083-05  
Existing House: 3,576 sqft.  
New Addition: 344 sqft.  
Total: 3,920 sqft.

Taller de Arquitectura  
PLANNING AND DESIGN  
4645 Ruffner Street, Ste. 0, San Diego, Ca. 92110, Tel: (619) 427-4161, Fax: (619) 342-8553  
Email: Address: jasmur@tallerdearquit.com

No.	Date	Issues and Revisions
05/18/15		Preliminary Design
08/24/15		City Corrections
07/13/16		Plan Change
07/15/16		City Corrections
05/12/17		City Corrections

Stamp and Signature

Project Name: 2509 Ardatth Rd.  
Project No:  
Date:  
Cad File:  
Description:

Sheet No.

PROJECT DIRECTORY

OWNER:  
PACIFIC ASSET INVESTMENT II LLC.  
1811 HENDRICKS DR.  
SAN DIEGO, CA. 92037-3502  
TEL: (619) [REDACTED]

DESIGNER:  
JOSE M. MARTINEZ  
4645 RUFFNER ST  
STE. 0  
SAN DIEGO, CA. 92111  
VOICE: (619) 427-4161  
FAX: (619) 342-8553

ENGINEER:  
CARLOS R. HERNANDEZ  
1163 ALPINE AVENUE  
CHULA VISTA, CA. 91911  
TEL: (619) 616-0918  
SITE ADDRESS:  
2509 ARDATH RD.  
LA JOLLA, CA 92037-3502

Occupancy Category:  
SINGLE FAMILY RESIDENTIAL;  
ZONING: LUSPD-5F

CONSTRUCTION TYPE:  
TYPE VNON SPRINKLER

HOUSE YEAR BUILT:  
1949

Geologic Hazard Category:  
21.22.52

SQUARE FOOTAGE  
EXISTING HOUSE: 3,576. SQ FT  
NEW ADDITION: 344. SQ FT  
TOTAL: 3,920 SQ FT

LOT SIZE: 15,000. SQ FT/0.34 AC  
LOT COVERAGE: 26%  
F.A.R.: 0.21

PARCEL NUMBER:  
352-083-05

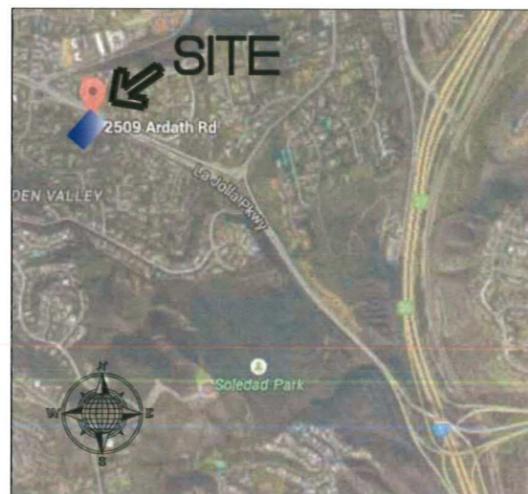
LOT NUMBER: 1288  
SUBDIVISION: PUEBLO LANDS OF SAN DIEGO  
MAP REF: M100036  
CITY/TOWN/TWP: SAN DIEGO

SCOPE OF WORK  
HOUSE ADDITION AND REMODEL. REPLACE FLAT ROOF WITH NEW 4/12 PITCH ROOF WITH EAGLE TERRACOTA CONCRETE TILES 'TERRACOTA' OUTSIDE TO HAVE SMOOTH FINISH PLASTER WITH EARTH LIGHT WHITE COLOR.  
EXCEED MORE THAN 10% OF EXISTING WOOD STUDS, INSPECTOR FLAG CONTRACTOR. EXISTING STUDS HAVE DAMAGE BY TERMITE AND HAVE TO DO A COASTAL DEVELOPMENT PERMIT

BUILDING CODES  
BUILDING CODE: 2013 CBC / 2012 IBC.  
\* PLANS SHALL COMPLY WITH 2013 EDITION OF THE CALIFORNIA BUILDING CODE OF REGULATIONS (TITLE-24) WITH ADOPTS THE FOLLOWING MODEL CODES: 2012 IRC, 2012 IBC, 2013 UPC, 2013 UFC AND 2014 NEC.  
\* THIS PROJECT WILL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING ORDINANCE THIS PROPERTY IS SERVICE BY NATURAL GAS.

SHEET INDEX

ARCHITECTURAL	STRUCTURAL
A1-0 TITLE SHEET AND SITE PLAN	
A1-1 PHOTOGRAPHIC SURVEY	
A2-1 FLOOR PLAN	
A2-2 FLOOR PLAN	
A2-3 ROOF PLAN	
A3-1 ELEVATIONS	
A3-2 ELEVATION AND SECTIONS	
STORM WATER FORMS	MECHANICAL



Vicinity Map

NOTES

- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- PROJECT IS LOCATED WITHIN ASB5 WATERSHED. OWNER/PERMITTEE WILL COMPLY WITH ALL REQUIREMENTS OF ASB5 WATERSHED ACCORDINGLY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

KEY NOTES:

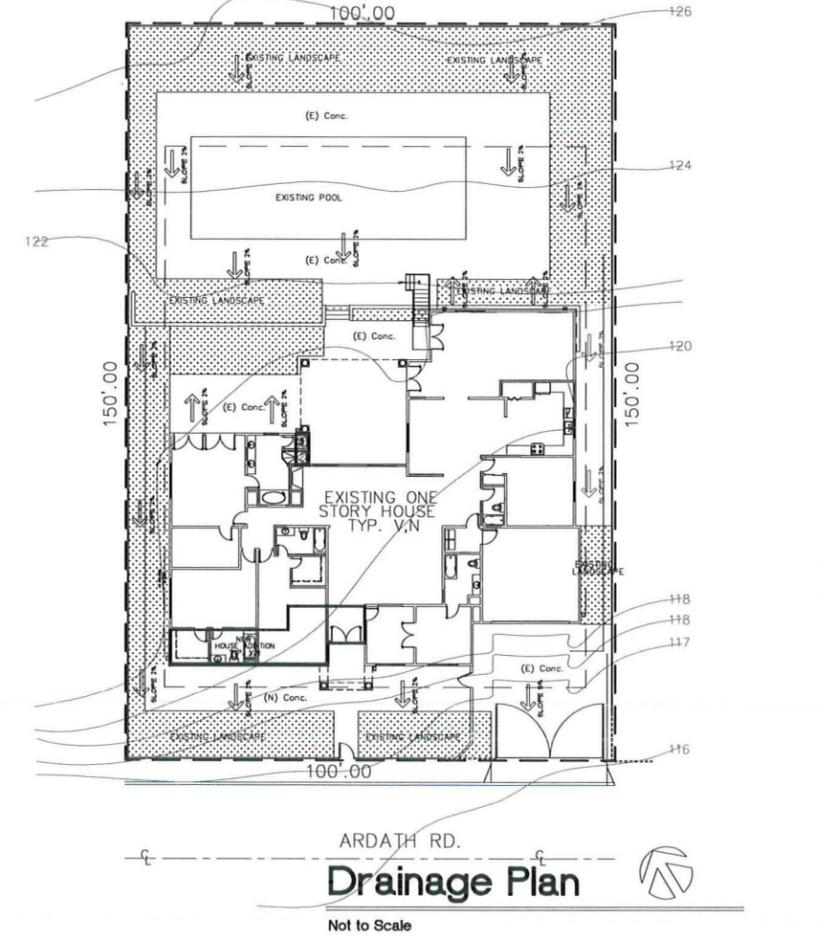
1 PROPERTY LINE	10 EXISTING CONCRETE SIDEWALK	19 EXISTING NON STANDARD DRIVEWAY
2 EXISTING CONCRETE DRIVEWAY	11 EXISTING WROUGHT IRON GATES	20 FACE OF CURB
3 CUT EXISTING BLOCK WALL UP TO 3 FEET FROM FINISH GROUND	12 EXISTING POOL	21 NOT USED
4 SHOWN SET BACK LINES	13 EXISTING 5' CINDER BLOCK FENCE WITH STUCCO PLASTER	22 EXISTING 6' CINDER BLOCK WITH STUCCO PLASTER
5 SHOW AREA OF ADDITION	14 EXISTING 3' RETAINING WALL	23 EXISTING 3' CINDER BLOCK WITH STUCCO AND 3 FEET OF WROUGHT IRON FENCE ON TOP
6 SHOWN CENTER LINE OF STREET	15 NOT USED	24 VISIBILITY AREA
7 SHOWN AREA OF REMODEL	16 (E) CONCRETE SIDEWALK	25 GUTTER AND DOWNSPOUT WITH SPLASH GUARD
8 EXISTING HOUSE	17 EXISTING LANDSCAPE	26 EDGE OF EXISTING CONC. WALKWAY
9 EXISTING WATER METER	18 NOT USED	

SPECIAL INSPECTION REQ.  
SPECIAL INSPECTION REQUIRED AS NOTED

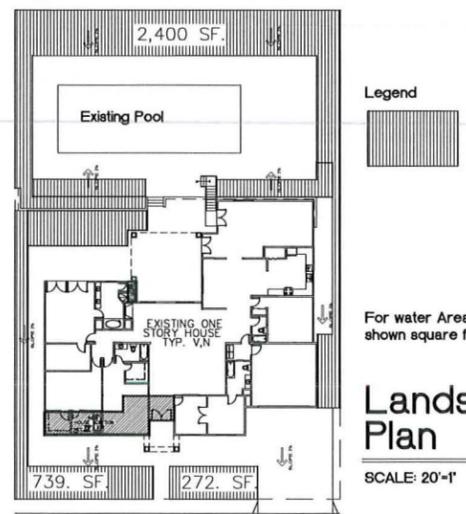
NO GRADING REQUIRED UNDER THIS PERMIT.

AMOUNT OF CUBIC YARDS: 25 CY.

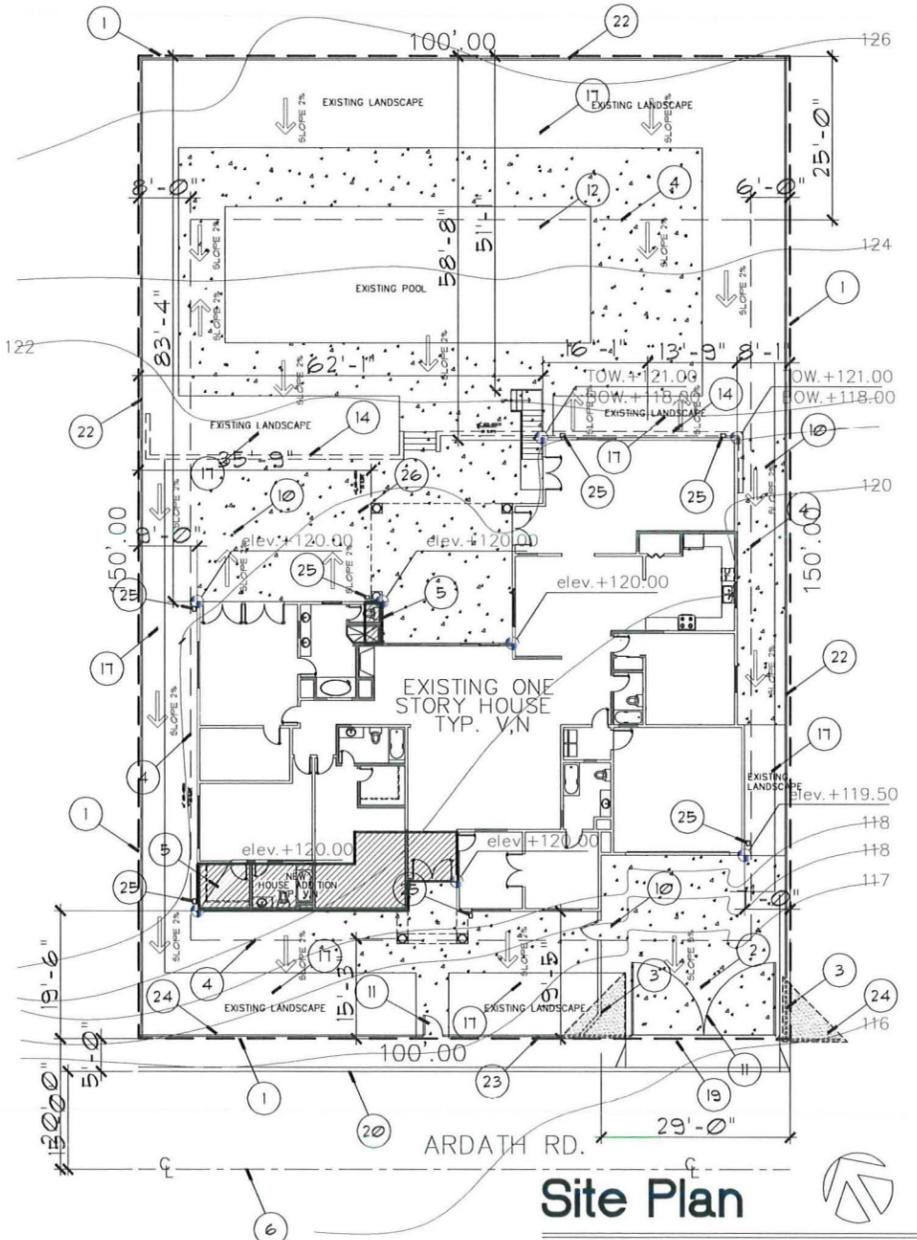
GREATEST DEPTH OF EXCAVATION: 3 FEET BELOW FINISH GRADE FOR FOUNDATION ONLY



Drainage Plan  
Not to Scale



Landscape Plan  
SCALE: 20'=1'



SPECIAL INSPECTIONS LIST:  
ANCHOR BOLTS PER PLAN  
EPOXY ANCHORS: SPECIFY SPECIAL INSPECTIONS FOR INSTALLATION OF EPOXY ANCHORS IN ACCORDANCE WITH THE SPECIFICATIONS PRESCRIBED ON THE ICC LISTING APPROVAL REPORT, ON THE STATEMENT OF SPECIAL INSPECTIONS. (NEW ISSUE).

Site Plan  
SCALE: 10'=1'

PACIFIC ASSET INVESTMENT 79, LLC

Dinesh Korat  
PROJECT: A House Addition and Remodel

ADDRESS: 2509 Ardath Road  
La Jolla, Ca. 92037

BUILDING DATA:  
APN: 352-083-05  
Existing House: 3,576 sqft.  
New Addition: 344 sqft.  
Total: 3,920 sqft.

Taller de Arquitectura

PLANNING AND DESIGN

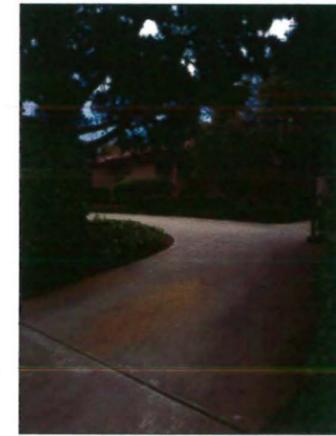
4645 Rufiner Street, Ste G, San Diego, Ca. 91916, Tel: (619) 427-4161, Fax: (619) 342-8553  
Email: Address: josemaria@tallerarch.com

Issues and Revisions		
No.	Date	Issues and Revisions
05/18/15		Preliminary Design
06/14/15		City Corrections
07/13/15		Plan Change
07/15/16		City Corrections
05/13/2017		City Corrections

Stamp and Signature

Project Name: 2509 Ardath Rd.  
Project No:  
Date:  
Cad File:  
Description:

Sheet No.



2523 ARDATH ROAD



A



2523 ARDATH ROAD

A



DRIVEWAY

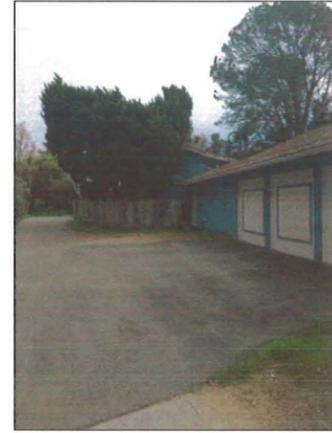
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2539 ARDATH ROAD

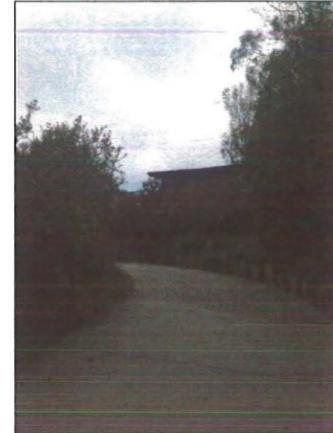


C

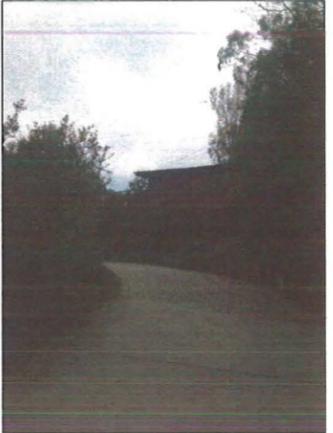


2539 ARDATH ROAD

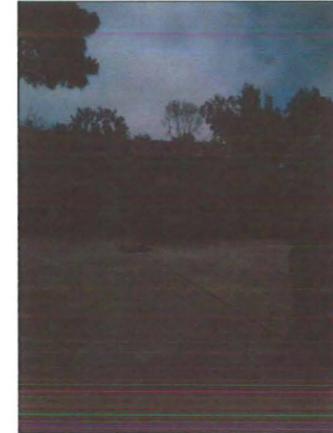
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2535 ARDATH ROAD



D



2535 ARDATH ROAD

D



2503 ARDATH ROAD



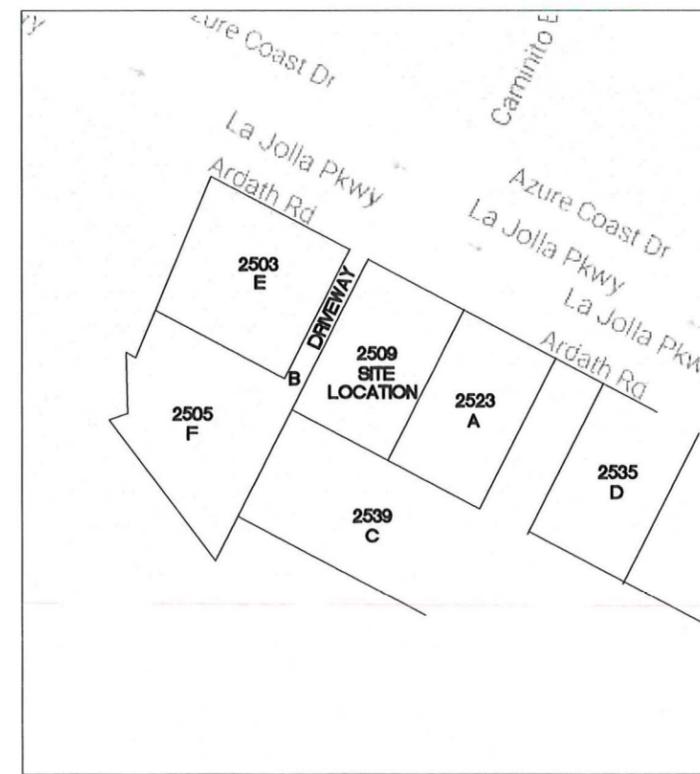
E



2505 ARDATH ROAD



F



PHOTOGRAPHIC SURVEY

PACIFIC ASSET  
INVESTMENT 79, LLC

Dinesh  
Korat

PROJECT: *A House  
Addition  
and  
Remodel*

ADDRESS:  
2509 Ardath Road  
La Jolla, Ca. 92037

BUILDING DATA:  
APN: 352-083-05  
Existing House: 3,576 sq.ft.  
New Addition: 344 sq.ft.  
Total: 3,920 sq.ft.

*Taller de Arquitectura*

PLANNING AND DESIGN

4645 Rufiner Street, Ste. 0, San Diego, Ca. 91910, Tel: (619) 427-4161 Fax: (619) 342-9553  
Email: Address: jsserrano@tallerarch.com



(A)



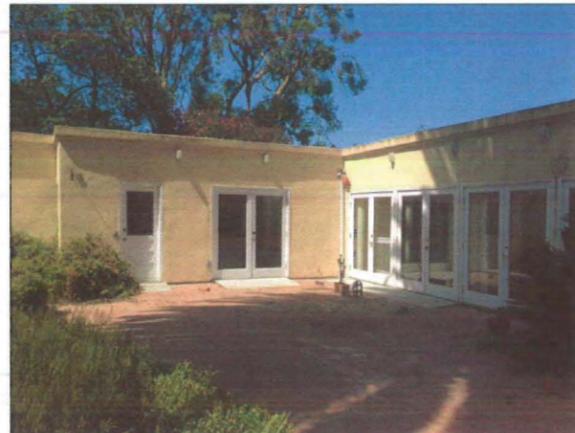
(B)



(C)



(D)



(E)



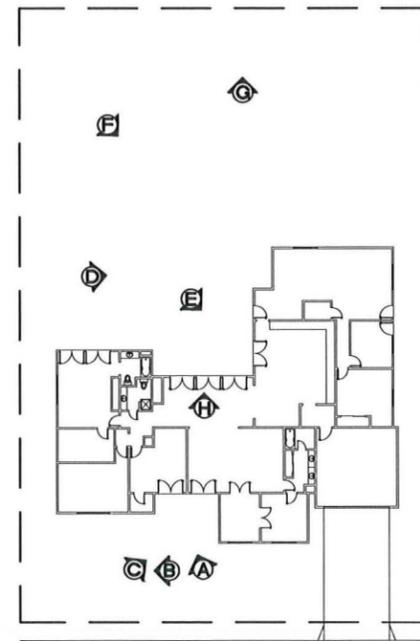
(F)



(G)



(H)



ARDATH RD.  
HISTORIC SITE

Issues and Revisions		
No.	Date	Issues and Revisions
06/18/05		Preliminary Design
06/24/05		City Corrections
07/13/05		Plan Change
07/18/05		City Corrections
09/21/07		City Corrections

Stamp and Signature

Project Name: 2509 Ardath Rd.  
Project No:  
Date:  
Old File:  
Description:

Sheet No.

PACIFIC ASSET INVESTMENT 99, LLC

Dinesh Korat

PROJECT: A House Addition and Remodel

ADDRESS: 2509 Ardath Road La Jolla, Ca. 92037

BUILDING DATA: APN: 352-083-05 Existing House: 3,576 sq.ft. New Addition: 344 sq.ft. Total: 3,920 sq.ft.

Taller de Arquitectura

PLANNING AND DESIGN

4645 Ruffner Street, Ste. G, San Diego, Ca. 92110, Tel: (619) 427-4161 Fax: (619) 342-8553 Email: Address: jpasmar@tallerdearquit.com

No.	Date	Issues and Revisions
05/18/15		Preliminary Design
08/24/15		City Corrections
07/13/16		Plan Changes
07/15/16		City Corrections
05/21/2017		City Corrections

Stamp and Signature

Project Name: 2509 Ardath Rd.  
Project No.:  
Date:  
Cnd File:  
Description:

Sheet No.

A2-0

**WALL LEGEND**  
WALL TYPE WALL LEGEND

EXISTING WALL TO REMAIN

DOOR PER DOOR SCHEDULE  
WINDOW PER SCHEDULE

WALL PER LEGEND

ROOM NUMBER PER FINISH SCHEDULE.

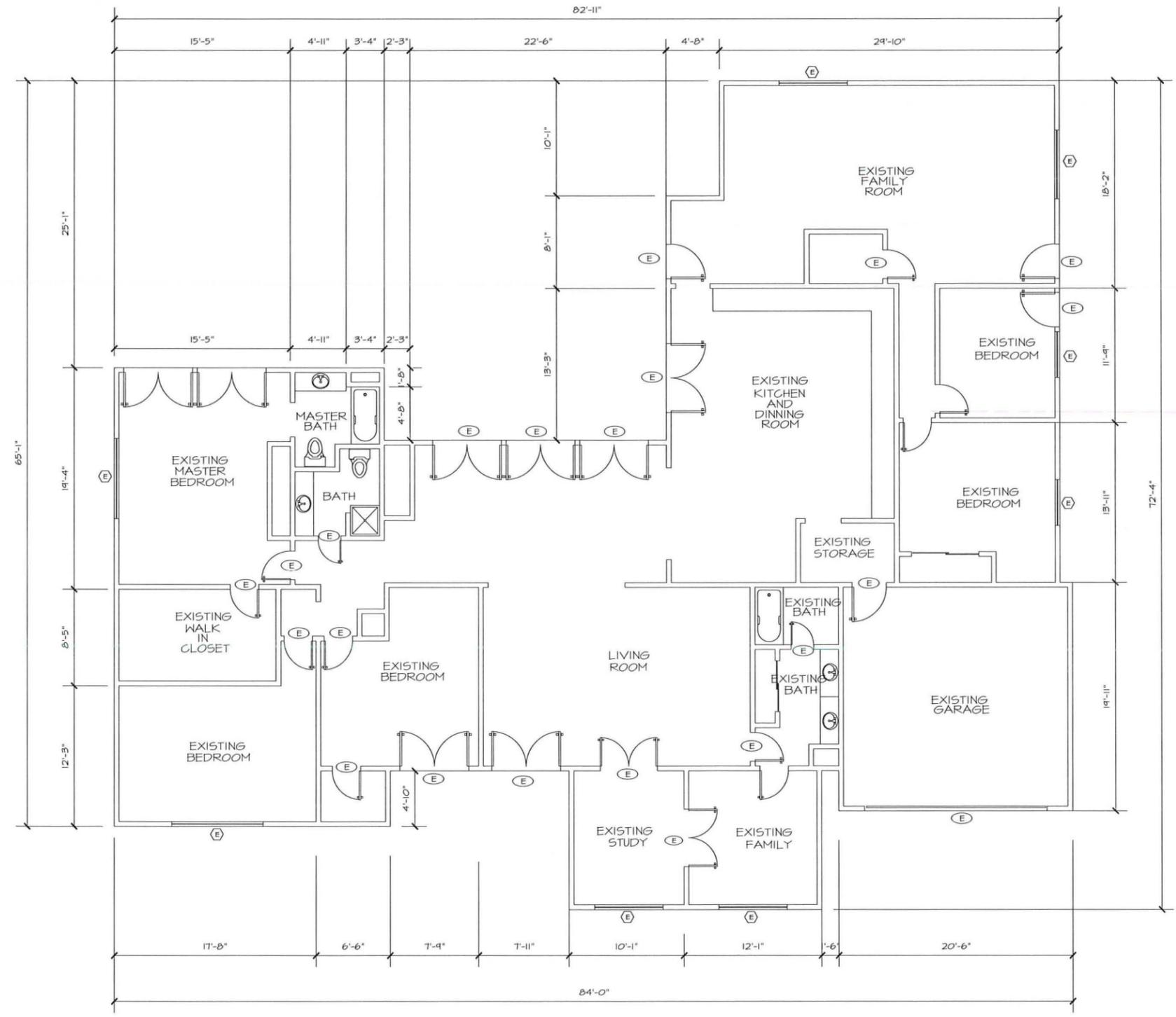
FURNACE UNIT

**LEGEND:**

- SHOWN EXTERIOR LIGHT FIXTURE, BY OWNER (PER ELEC. SEC. 210 - 70 - a) CONTRACTOR TO INSTALL
- NEW SMOKE DETECTORS TO BE HARD WIRED (SEC.310.9).
- NEW ELECTRICAL OUTLET
- NEW GFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
- NEW AFCII ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
- NEW TELEPHONE OUTLET
- NEW TV OUTLET
- NEW COMBO EXHAUST LOW NOISE FAN TO BE 120 CFM AND FLUORESCENT LIGHT FIXTURE
- NEW ELECTRICAL SWITCH
- NEW 3 WAY ELECTRICAL SWITCH
- DIMMER SWITCH
- OCCUPANT SENSOR
- OCCUPANT SENSOR WITH PHOTO CONTROL
- NEW INCANDESCENT LIGHT FIXTURE
- NEW LIGHT FIXTURE BY OWNER CONTRACTOR TO INSTALL
- SPOT LIGHT FIXTURE W/ FLUORESCENT LIGHT BULB, WATER-PROOF
- NEW BELL FOR DOOR
- NEW DOOR BELL
- NEW 240 V. ELECTRICAL OUTLET
- NEW WATER PROOF GFCI ELECTRICAL SWITCH
- NEW SPOT LIGHT FIXTURE
- NEW SMOKE DETECTOR
- CARBON MONOXIDE ALARM INTERCONNECTED AND HARD WIRE WITH BATTERY BACK-UP

**KEY NOTES**

- SECTION OF WALL TO BE DEMOLISHED
- NEW OUTSIDE SHOWER, SAW CUT FLOOR FOR PLUMBING
- EXISTING ARCHES AND DECK
- EXISTING WATER FOUNTAIN
- DECK ABOVE TO MATCH EXISTING
- NEW CANTERA STONE COLUMNS
- NEW STRONG WALL BY SIMPSON
- EXISTING HOUSE
- NEW WROUGHT IRON FENCE TO MATCH EXISTING
- EXISTING DECK AND WROUGHT IRON FENCE
- PLASTER SOFFIT, SMOOTH FINISH LIGHTER COLOR
- FILL WITH BLOCK PER STRUCTURAL DETAILS
- EXISTING CHIMNEY
- PT VALVE TO OUTSIDE
- NOT USED
- NOT USED
- NOT USED
- NOT USED



**EXISTING FLOOR PLAN**

SCALE: 1/4" = 1'-0"

PACIFIC ASSET INVESTMENT 79, LLC

Dinesh Korat  
A House Addition and Remodel

PROJECT:  
ADDRESS:  
2509 Ardat Road  
La Jolla, Ca. 92037  
BUILDING DATA:  
APN: 352-083-05  
Existing House: 3,576 sqft.  
New Addition: 344 sqft.  
Total: 3,920 sqft.

Taller de Arquitectura

PLANNING AND DESIGN

4645 Ruffner Street, Ste G, San Diego, Ca. 92116, Tel. (619) 427-4161, Fax (619) 342-8553  
Email Address: josernarlinezarch@attmail.com

No.	Date	Issues and Revisions
05/18/15		Preliminary Design
08/24/15		City Corrections
07/13/16		Plan Change
07/15/16		City Corrections
09/30/16		City Corrections

Stamp and Signature

Project Name: 2509 Ardat Rd.  
Project No.:  
Date:  
Civil File:  
Description:

Sheet No.

**WALL LEGEND**  
WALL TYPE WALL LEGEND

--- WALL TO BE DEMOLISHED

==== EXISTING WALL TO REMAIN  
WOOD STUDS @ 16" o.c. WITH 5/8" TYPE 'X' GYP.BD. ON BOTH SIDES  
BLOCKING @ 4'-0" o.c. 1 HR. WALL.

100 DOOR PER DOOR SCHEDULE  
WINDOW PER SCHEDULE

A WALL PER LEGEND

100 ROOM NUMBER PER FINISH SCHEDULE.

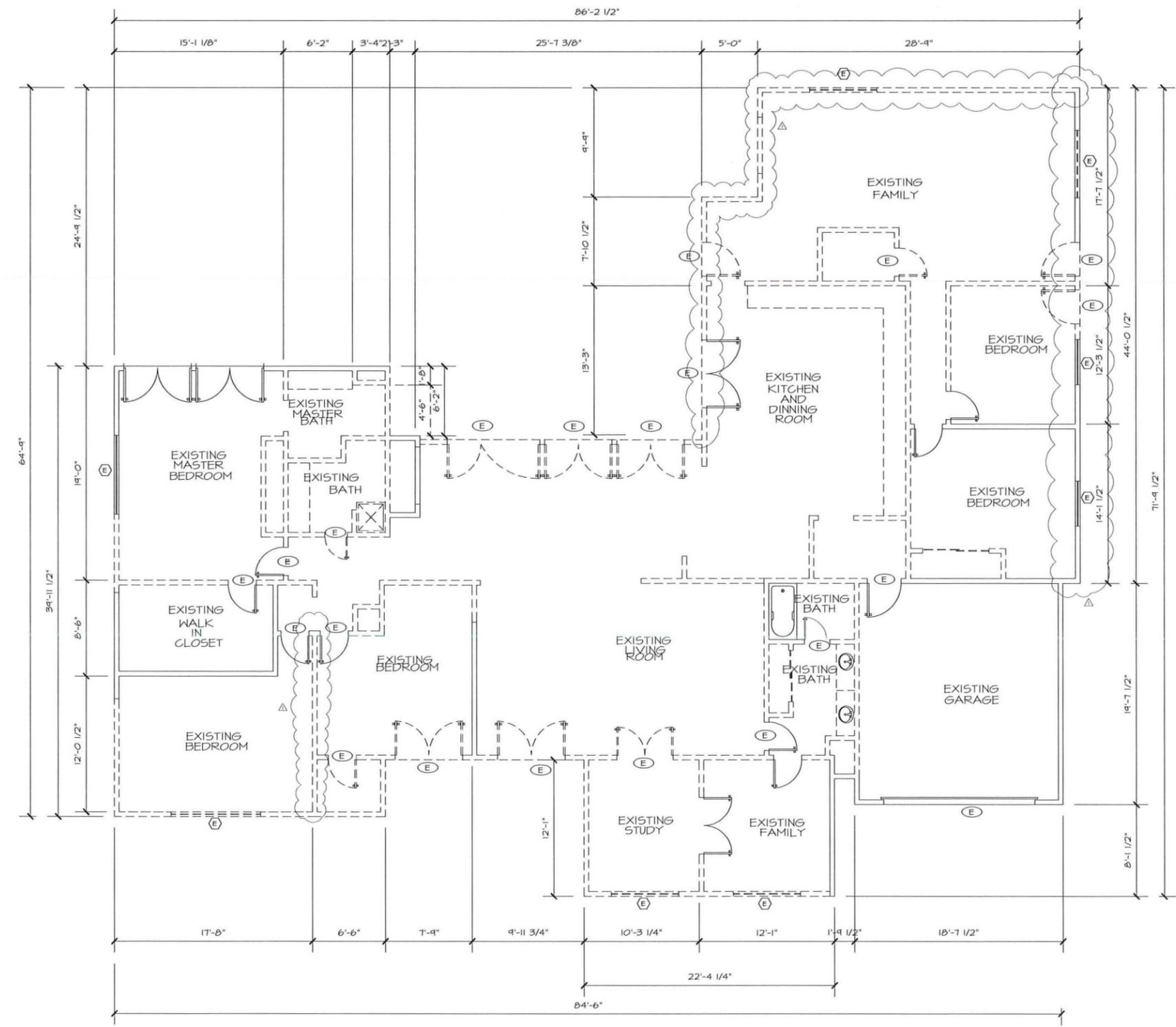
FUR FURNACE UNIT

**LEGEND:**

- SHOWN EXTERIOR LIGHT FIXTURE, BY OWNER (PER ELEC. SEC. 210 - 10 - a) CONTRACTOR TO INSTALL
- NEW SMOKE DETECTORS TO BE HARD WIRED (SEC.310.9).
- ⊕ NEW ELECTRICAL OUTLET
- ⊕<sub>GFCI</sub> NEW GFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-B)
- ⊕<sub>AFCI</sub> NEW AFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-B)
- ☎ NEW TELEPHONE OUTLET
- TV NEW TV OUTLET
- ⊕ NEW COMBO EXHAUST LOW NOISE FAN TO BE 120 CFM AND FLUORESCENT LIGHT FIXTURE
- ⊕ NEW ELECTRICAL SWITCH
- ⊕<sub>3</sub> NEW 3 WAY ELECTRICAL SWITCH
- ⊕<sub>D</sub> DIMMER SWITCH
- ⊕<sub>OS</sub> OCCUPANT SENSOR
- ⊕<sub>OSP</sub> OCCUPANT SENSOR WITH PHOTO CONTROL
- NEW INCANDESCENT LIGHT FIXTURE
- ⊗ NEW LIGHT FIXTURE BY OWNER CONTRACTOR TO INSTALL
- ⊗ SPOT LIGHT FIXTURE W/ FLUORESCENT LIGHT BULB, WATER-PROOF
- ⊕ NEW BELL FOR DOOR
- ⊕ NEW DOOR BELL
- ⊕<sub>240</sub> NEW 240 V. ELECTRICAL OUTLET
- ⊕<sub>WP</sub> NEW WATER PROOF GFCI ELECTRICAL SWITCH
- ⊗ NEW SPOT LIGHT FIXTURE
- <sub>SD</sub> NEW SMOKE DETECTOR
- ⊕ CARBON MONOXIDE ALARM INTERCONNECTED AND HARD WIRE WITH BATTERY BACK-UP

**KEY NOTES**

- 1 SECTION OF WALL TO BE DEMOLISHED
- 2 NEW OUTSIDE SHOWER, SAW CUT FLOOR FOR PLUMBING
- 3 EXISTING ARCHES AND DECK
- 4 EXISTING WATER FOUNTAIN
- 5 DECK ABOVE TO MATCH EXISTING
- 6 NEW GANTERA STONE COLUMNS
- 7 NEW STRONG WALL BY SIMPSON
- 8 EXISTING HOUSE
- 9 NEW WROUGHT IRON FENCE TO MATCH EXISTING
- 10 EXISTING DECK AND WROUGHT IRON FENCE
- 11 PLASTER SOFFIT, SMOOTH FINISH LIGHTER COLOR
- 12 FILL WITH BLOCK PER STRUCTURAL DETAILS
- 13 EXISTING CHIMNEY
- 14 PT VALVE TO OUTSIDE
- 15 NOT USED
- 16 NOT USED
- 17
- 18



TOTAL LENGTH IN LINEAR FEET OF ALL EXISTING EXTERIOR WALLS 340'-5"  
 TOTAL LENGTH IN LINEAR FEET OF ALL EXISTING EXTERIOR WALLS TO BE REMOVED 200'-5"  
 TOTAL LENGTH IN LINEAR FEET OF ALL EXISTING EXTERIOR WALLS TO REMAIN 140'-0"

TOP & BOTTOM PLATE WILL REMAIN. THE REST WILL BE REPLACED WITH VERTICAL STUDS, CAUSE TERMITE

REPLACE WALLS IN EXISTING FAMILY ROOM AND EXISTING BEDROOM AREAS  
 ADJUST WALL'S AXE AT THE RIGHT SIDE OF THE HOUSE  
 PT5#500948

**DEMO FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

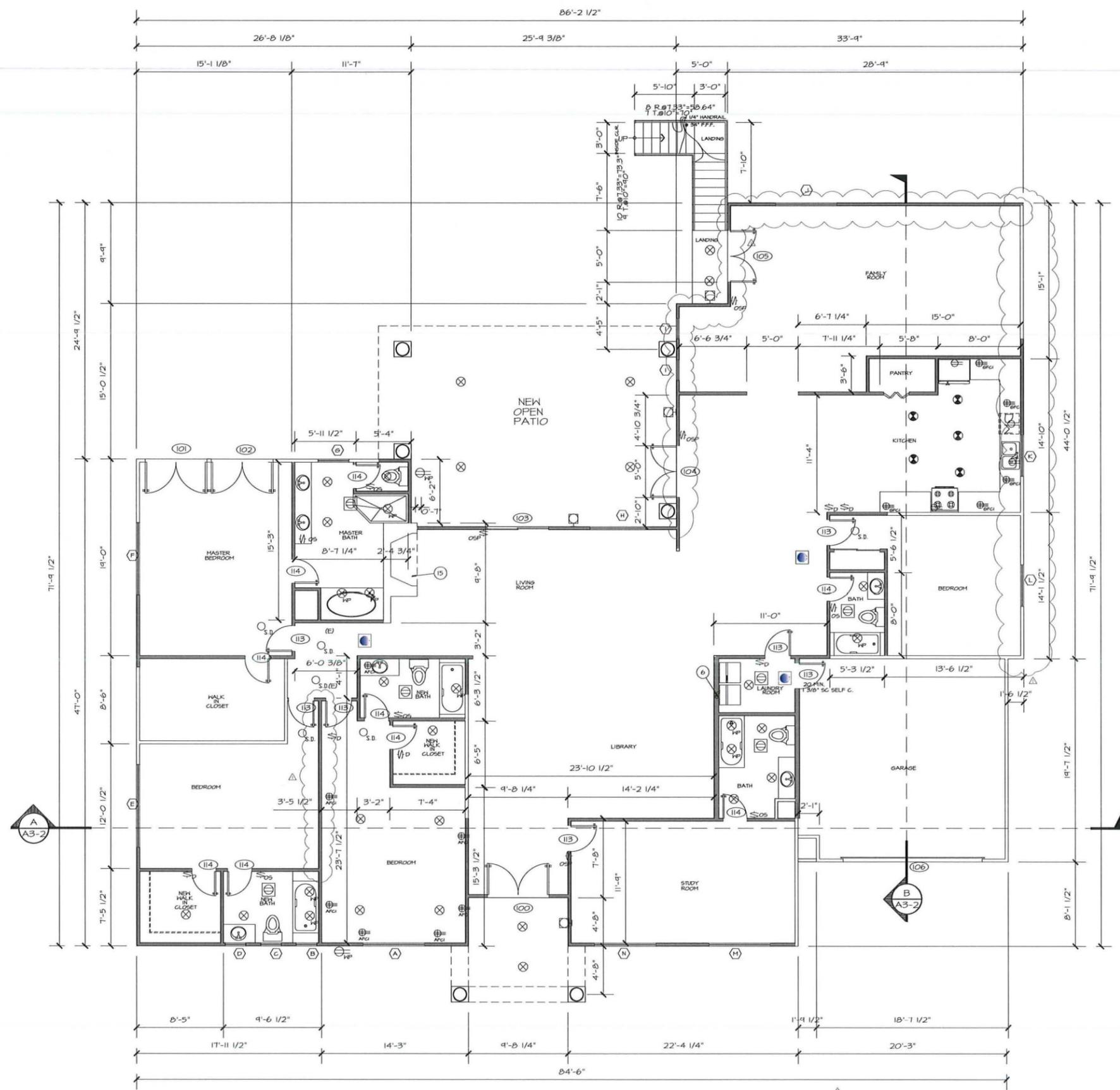
Issues and Revisions

No.	Date	Issues and Revisions
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08/24/15		City Corrections
07/13/16		Plan Change
07/19/16		City Corrections
09/3/2017		City Corrections

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Project Name: 2509 Ardash Rd.  
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Description:

Sheet No.



EXTERIOR WALLS HERE INCORRECTLY DEMONSTRATED ON THE ORIGINAL PERMIT SET (12-11) AS WELL AS THE LINEAR FEET THAT IS DEMONSTRATED ON THE PROPOSED FLOOR PLAN (11-11/2)

PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

**WALL LEGEND**

WALL TYPE WALL LEGEND

- 2 x 4 WOOD STUD @ 16" o.c.
- 2 x 6 WOOD STUD @ 16" o.c.
- 2 x 8 WOOD STUD @ 16" o.c.
- 2 x 12 WOOD STUD @ 16" o.c.
- 2 x 36 WOOD STUD @ 16" o.c.
- WALL TO BE DEMOLISHED
- WALL WITH 1/2" GYP.BD. ON BOTH SIDES OR FLYND. AND PLASTER ON THE OUTSIDE
- EXISTING WALL TO REMAIN
- WOOD STUDS @ 16" o.c. WITH 5/8" TYPE "X" GYP.BD. ON BOTH SIDES BLOCKING @ 4'-0" o.c., 1 HR. WALL.

DOOR PER DOOR SCHEDULE  
WINDOW PER SCHEDULE  
WALL PER LEGEND  
ROOM NUMBER PER FINISH SCHEDULE.  
FURNACE UNIT

**LEGEND:**

- SHOWN EXTERIOR LIGHT FIXTURE, BY OWNER (PER ELEC. SEC. 210 - 70 - a) CONTRACTOR TO INSTALL
- NEW SMOKE DETECTORS TO BE HARD WIRED (SEC.310.9).
- NEW ELECTRICAL OUTLET
- NEW GFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
- NEW AFCI ELECTRICAL OUTLET PER SECT. (N.E.C.210-8)
- NEW TELEPHONE OUTLET
- NEW TV OUTLET
- NEW COMBO EXHAUST LOW NOISE FAN TO BE 120 CFM AND FLUORESCENT LIGHT FIXTURE
- NEW ELECTRICAL SWITCH
- NEW 3 WAY ELECTRICAL SWITCH
- DIMMER SWITCH
- OCCUPANT SENSOR
- OCCUPANT SENSOR WITH PHOTO CONTROL
- NEW INCANDESCENT LIGHT FIXTURE
- SPOT LIGHT FIXTURE W/ FLUORESCENT LIGHT BULB
- NEW BELL FOR DOOR
- NEW DOOR BELL
- NEW 240 V. ELECTRICAL OUTLET
- NEW WATER PROOF GFCI ELECTRICAL SWITCH
- NEW SPOT LIGHT FIXTURE "LED"
- NEW SMOKE DETECTOR
- CARBON MONOXIDE ALARM INTERCONNECTED AND HARD WIRE WITH BATTERY BACK-UP

**KEY NOTES**

- SECTION OF WALL TO BE DEMOLISHED
- NEW OUTSIDE SHOWER, SAW CUT FLOOR FOR PLUMBING
- EXISTING ARCHES AND DECK
- EXISTING WATER FOUNTAIN
- DECK ABOVE TO MATCH EXISTING
- 4" EXHAUST ONE ELBOW STRAIGHT TO ROOF, MAX LENGTH 14', METAL DUCT FOR DRYER
- NEW STRONG WALL BY SIMPSON
- EXISTING HOUSE
- NEW WROUGHT IRON FENCE TO MATCH EXISTING
- EXISTING DECK AND WROUGHT IRON FENCE
- PLASTER SOFFIT, SMOOTH FINISH LIGHTER COLOR
- FILL WITH BLOCK PER STRUCTURAL DETAILS
- NEW CHIMNEY
- PT VALVE TO OUTSIDE
- NEW 42" GAS/WOOD FIRE PLACE BY HEAT & GO, MODEL RH-42, UL 127 AND ULC-5610
- NOT USED
- NOT USED
- NOT USED

**NOTES**  
THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

PACIFIC ASSET  
INVESTMENT 99, LLC

Dinesh  
Korat  
PROJECT: A House  
Addition  
and  
Remodel

ADDRESS:  
2509 Ardath Road  
La Jolla, Ca. 92037  
BUILDING DATA:  
APN: 352-083-05  
Existing House: 3,576 sqft.  
New Addition: 344 sqft.  
Total: 3,920 sqft.

Taller de Arquitectura

PLANNING AND DESIGN

4645 Rufiner Street, Ste. G, San Diego, Ca. 92116, Tel: (619) 427-4161, Fax: (619) 342-8653  
Email: Address: jessamuel@tallerarch.com

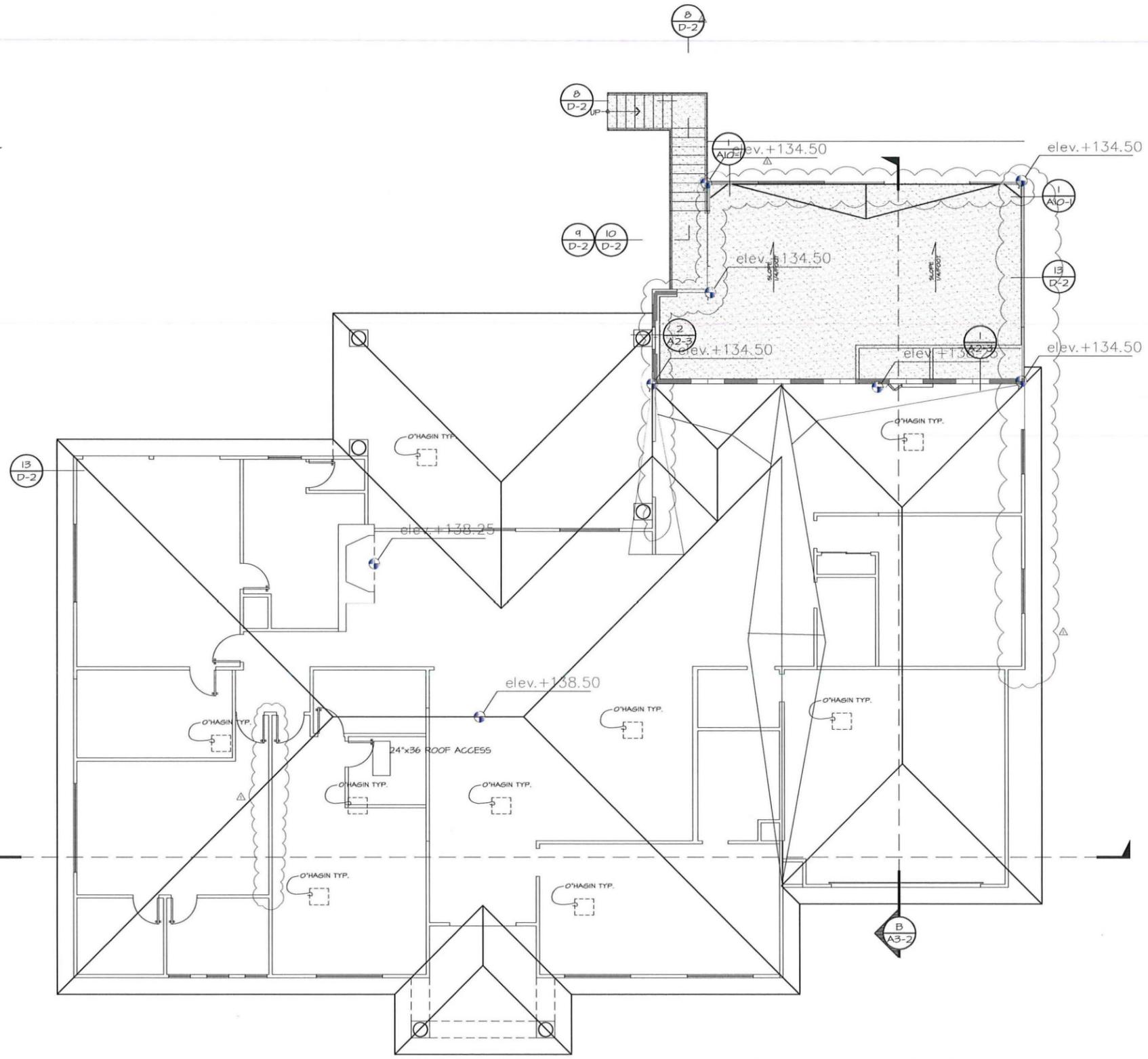
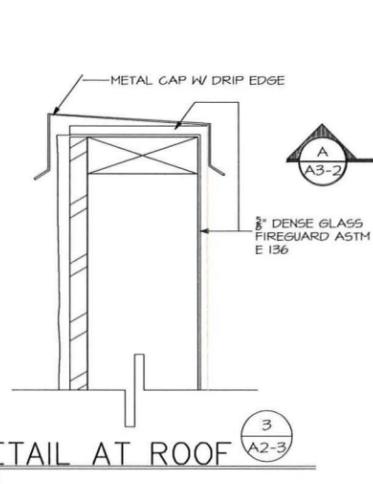
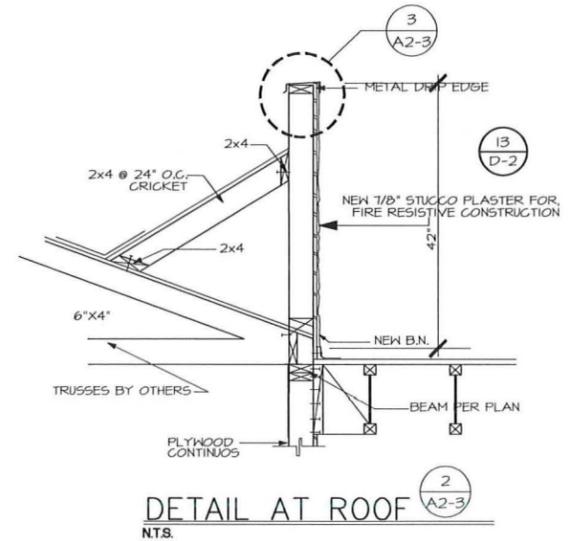
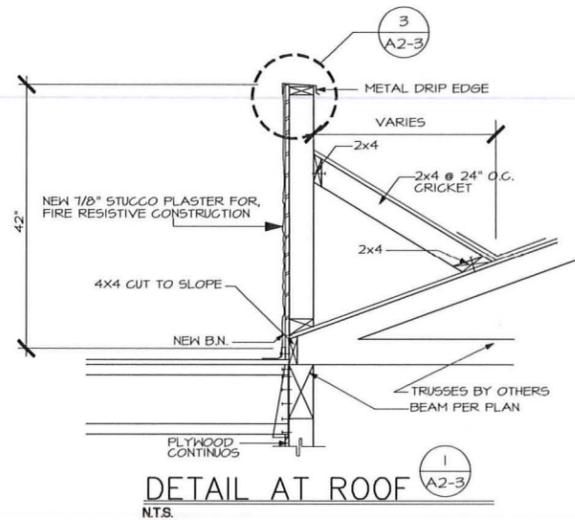
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Stamp and Signature

Project Name: 2509 Ardath Rd.  
Project No:  
Date:  
Cnd File:  
Description:

Sheet No.

A2-3



- 22. PER 2013 GREEN CODE SEC. 4.501.2 HVAC WAS DESIGN BASE ON SQUARE FOOTAGE, 3,920 SF /400 (Zone 1)= 9.8 equal to Two 5 Ton Units/ 2 zone
- 23. A SIGNED AFFIDAVIT FROM INSTALLER ATANTING METHOD USED FOR SELECTION OF HEATING AND AIR CONDITIONING EQUIPMENT AND THAT SUCH EQUIPMENT WAS INSTALLED IN ACCORDANCE TO THAT METHOD. IS REQUIRED; THIS AFFIDAVIT SHALL BE PRESENTED TO THE BUILDING INSPECTOR BEFORE FINAL INSPECTION.

CONDENSATE CONTROL  
PROVIDE CORROSION-RESISTANT PAN  
UNDER COOLING COILS WITH DISCHARGE  
TO OUTSIDE, SEE CN:8 MECHANICAL, 11#12.

ROOF PLAN

SCALE: 1/4" = 1'-0"



Dinesh  
Korat

PROJECT: *A House  
Addition  
and  
Remodel*

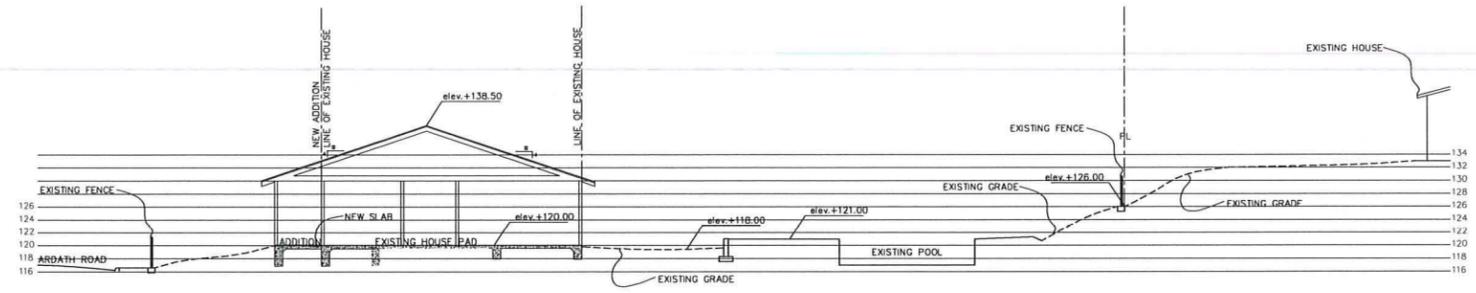
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BUILDING DATA:  
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Taller de Arquitectura

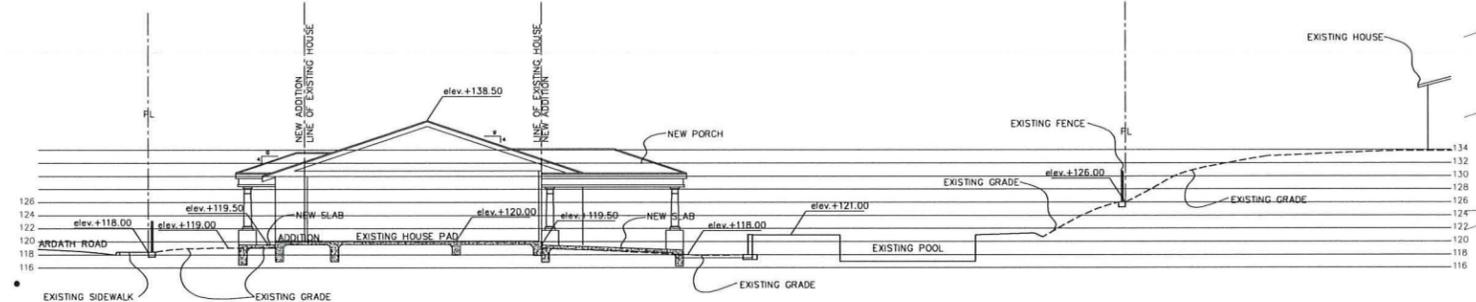
PLANNING AND DESIGN

4645 Rufiner Street, Ste. G, San Diego, Ca. 92116, Tel: (619) 427-4161 Fax: (619) 342-8563  
Email: Address: josemar.linares@tallerdi.com



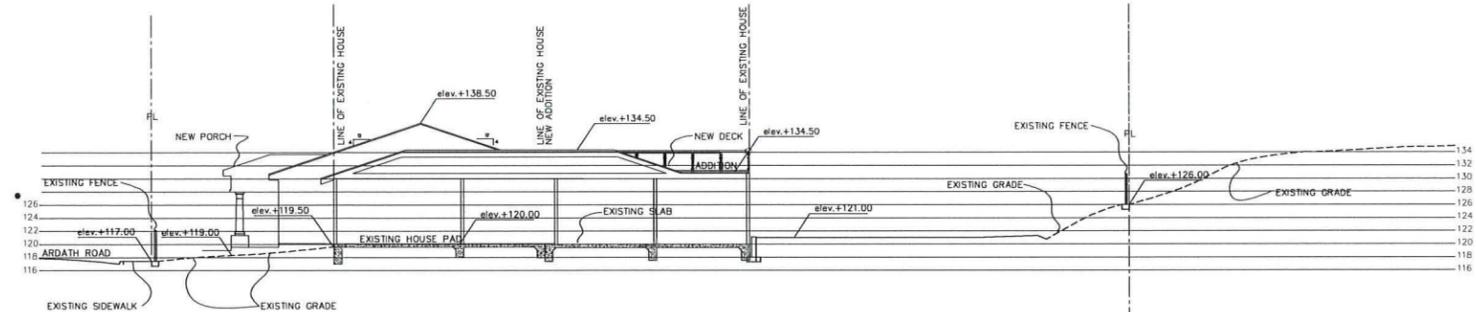
Section A-A'

SCALE: 10'-1"



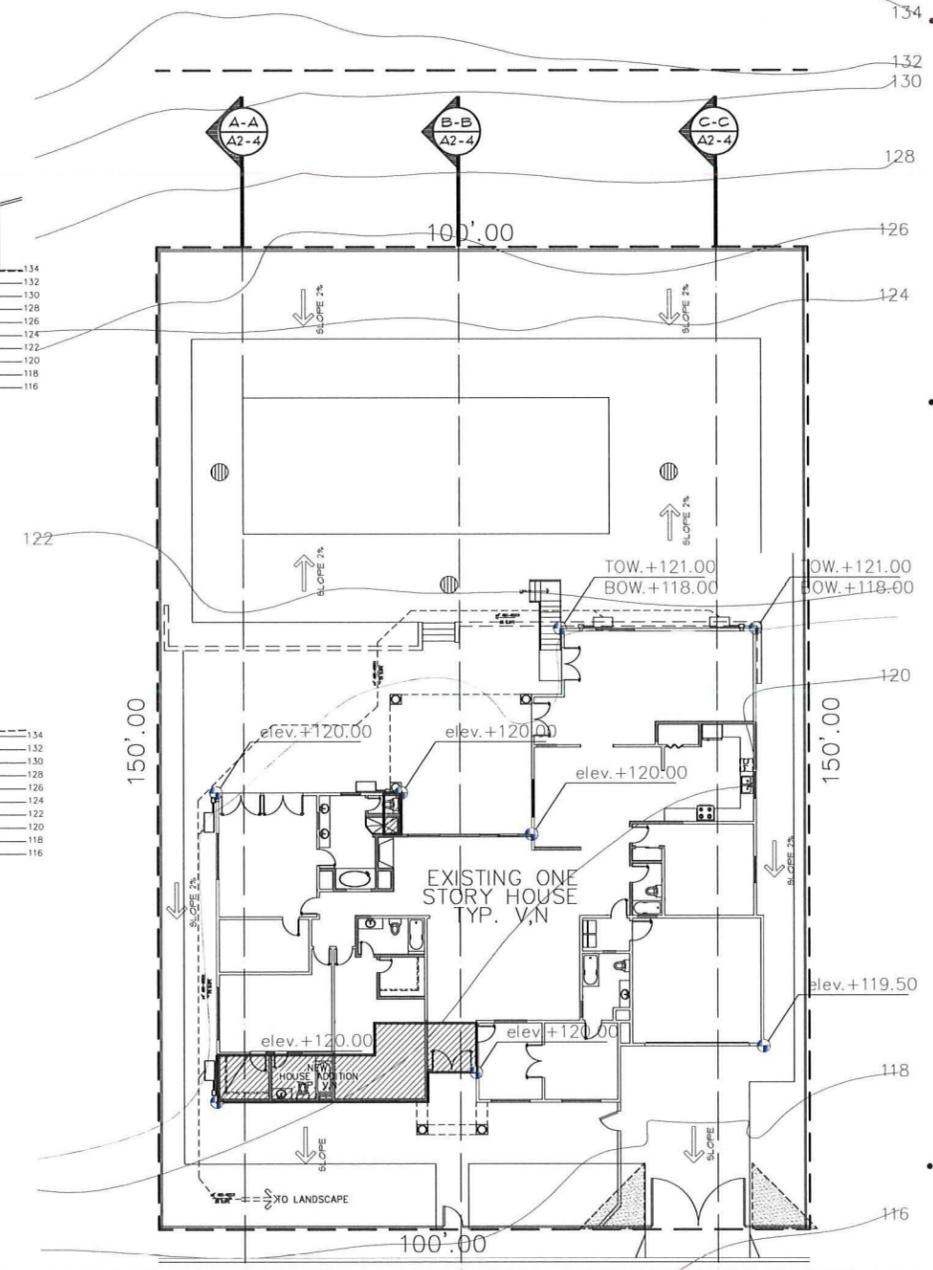
Section B-B'

SCALE: 10'-1"



Section C-C'

SCALE: 10'-1"



Cross Sections

SCALE: 10'-1"

Issues and Revisions		
No.	Date	Issues and Revisions
05/18/15		Preliminary Design
08/14/15		City Corrections
07/13/16		Plan Change
07/13/16		City Corrections
05/31/2017		City Corrections

Stamp and Signature

Project Name: 2509 Ardash Rd.  
Project No:  
Date:  
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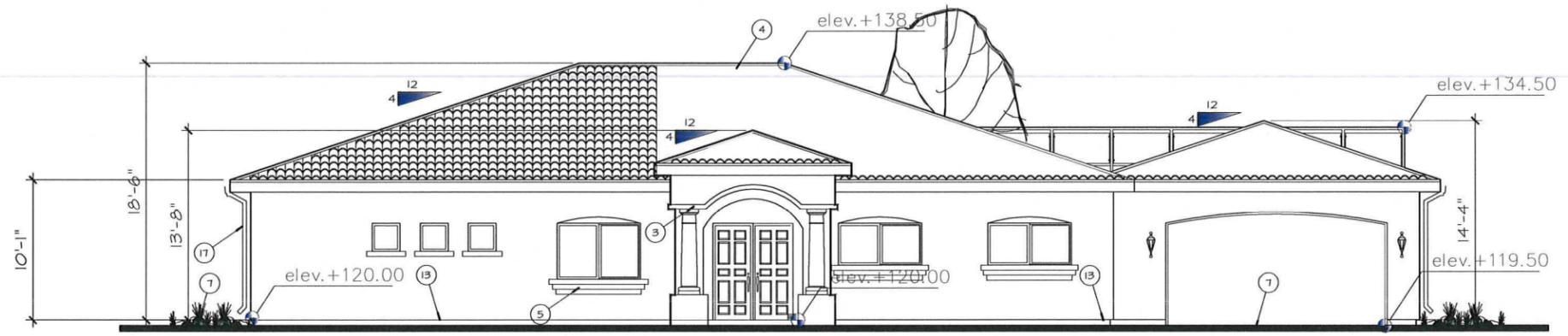
PACIFIC ASSET INVESTMENT 79, LLC

Dinesh Korat  
A House Addition and Remodel

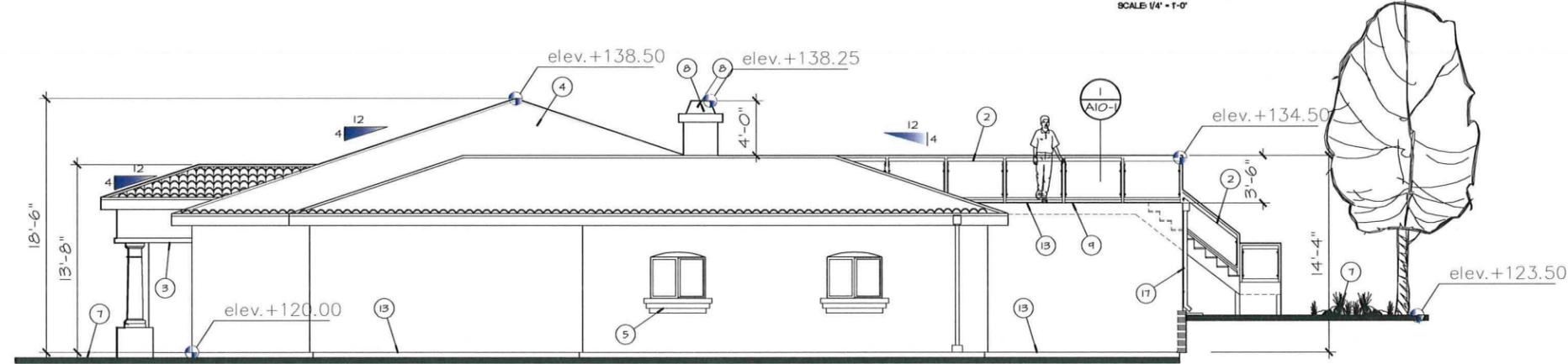
PROJECT: A House Addition and Remodel  
ADDRESS: 2509 Ardatth Road La Jolla, Ca. 92037

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Taller de Arquitectura  
PLANNING AND DESIGN  
4645 Rufner Street, Ste G, San Diego, Ca. 92116, Tel: (619) 427-4161 Fax: (619) 342-8563  
Email: Address: josemaria@taller.com



**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

Issues and Revisions		
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05/12/17		City Corrections

Stamp and Signature

Project Name: 2509 Ardatth Rd.  
Project No:  
Date:  
Cad File:  
Description:

Sheet No.

**NOTES**

1. IN ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS.
2. PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES.
3. EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID-CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATINGS OF NOT LESS THAN 20 MINUTES.
4. THE FIRST FIVE FEET OF FENCES AND OTHER ITEMS ATTACHED TO A STRUCTURE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR MEET THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE.
5. ALL VENTS MUST BE LOUVERED AND COVERED WITH 1/8" NON-COMBUSTIBLE, CORROSION-RESISTANT METAL MESH. TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.
6. ALL PROJECTIONS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, FIRE RETARDANT TRATED WOOD, HEAVY TIMBER CONSTRUCTION.
7. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
8. GUTTERS AND DOWN SPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LETTERM AND DEBRIS.
9. COMBUSTIBLE EAVES, SOFFITS AND FASCIAS SHALL BE CONSTRUCTED AS REQUIRED IN GUIDANCE DOCUMENT DPLU# 19B.
10. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
11. ROOFING SHALL HAVE A MINIMUM CLASS 'A' FIRE RATING
12. SURFACE WATER WILL DRAIN AWAY FROM BUILDING.

**KEY NOTES**

1	NEW SMOOTH FINISH STUCCO PLASTER, HAND TROWTH, COLOR BY TALLER DE ARQUITECTURA	4	SPANISH RIVIERA MIX LITE CONCRETE TILES BY EAGLE, CLASS "A" WITH 2 PLAY UNDERLAYMENT ESR-1754, CRRC ID 0840-0006 COLOR BY TALLER DE ARQUITECTURA	8	1/8" SPARKS ARRESTORS	13	FINISH FLOOR
2	1/2" TEMPERED GLASS	5	EFS MOLDINGS, PER MANUFACTURER RECCOM.	9	DEX-O-TEX WATER-PROOFING DECK	14	EXISTING HOUSE
3	CANOPY, TO HAVE UNDER CEILING IS FELT PAPER AND WIRE MESH AND 1/8" PLASTER FOR FIRE PROOFING.	6	CANTERA STONE COLUMNS	10	R-13 INSULATION	15	TRUSSES BY OTHERS
		7	FINISH GRADE	11	R-30 INSULATION	16	EXISTING RETAINING WALL
				12	LOUVER VENTS	17	GUTTER & DOWNSPOUT WITH SPLASH GUARD

**ELEVATIONS**  
SCALE 1/4" = 1'-0"

PACIFIC ASSET INVESTMENT 99, LLC

Dinesh Korat  
A House Addition and Remodel

PROJECT: A House Addition and Remodel  
ADDRESS: 2509 Ardatth Road La Jolla, Ca. 92037

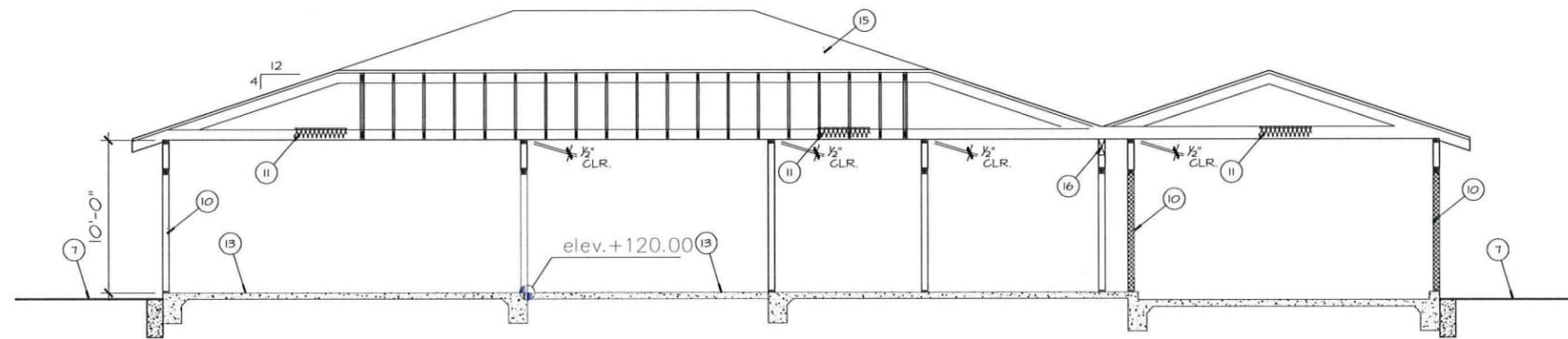
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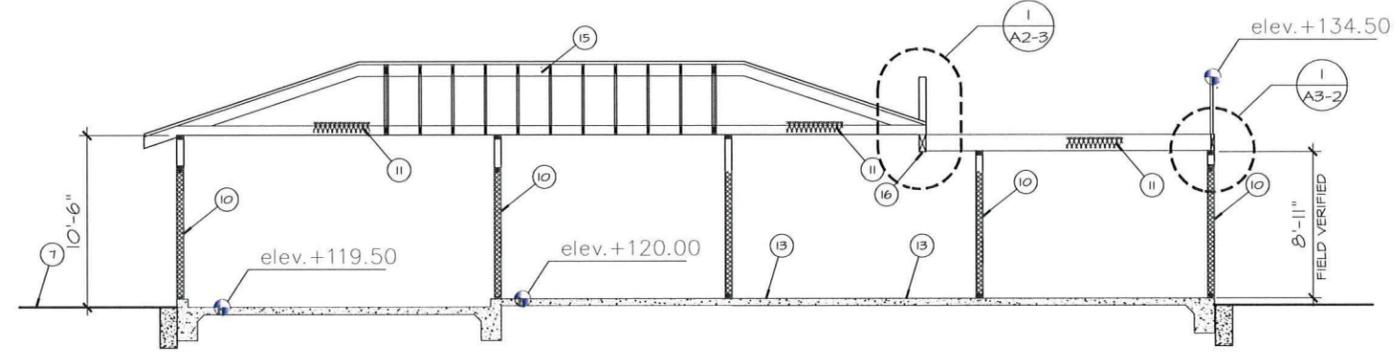
1. INTALLATION OF SMOKE DETECTORS WILL COMPLY WITH UBC (SEC. 310.4).
2. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
3. ALL LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND OTHER ROOMS AND OTHER ROOMS SHALL BE HIGH EFFICIENCY OR BE CONTROLLED BY AN OCCUPANT SENSOR.
4. OUTDOOR LIGHTNING SHALL BE HIGH EFFICACY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTO CONTROL-MOTION SENSOR COMBINATION.
5. FLUORESCENT FIXTURES MUST BE OF THE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS WITH A MINIMUM EFFICACY OF 40 LUMENS PER WATT.
6. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
7. KITCHEN GENERAL APPLIANCES RECEPTACLES SHALL BE ON A MINIMUM OF 2-20 AMP BRANCH CIRCUITS.
8. BATHROOMS OUTLETS ARE TO BE ON A DEDICATED 20 AMP CIRCUIT WITH NO OTHER DEVICES OR EACH BATHROOM TO BE ON ITS OWN DEDICATED 20 AMP CIRCUIT WITH ONLY THAT BATHROOMS DEVICES ON THAT CIRCUIT.
9. ALL NEW OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS RECREATION ROOMS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE AFCI (ARC-FAULT CIRCUIT-INTERRUPTER COMBINATION TYPE)
10. ALL NEW 125-VOLT, 15-AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
11. EACH FAUCET SHALL NOT EXCEED A WATER FLOW OF 1.5 GPM. PER GAL. GREEN CODE REG. 5.303.2.3
12. ALL LUMINARIES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND OTHER ROOMS SHALL BE HIGH EFFICIENCY OR CONTROLLED BY AN OCCUPANT SENSOR.
13. EACH TOILET SHALL NOT EXCEED A WATER FLOW OF 1.20 GPM.
14. USE VAPOR RETARDER REQUIRED ON THE WARM SIDE, PER IBC.
15. THE RETURN AIR PLENUM SERVING THE MECHANICAL EQUIPMENT MUST BE FULLY DUCTED FROM THE EQUIPMENT TO THE CONDITIONED SPACE, DROP CEILING WALL CAVITIES AND EQUIPMENT PLATFORMS MAY NOT BE USE AS PLENUMS.
16. ANY SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED. SECTION R314.3.2.
17. 100 SQ. INCHES OF MAKE UP AIR IS REQUIRED IN LAUNDRY ROOM.
18. NEW PLUMBING SHOWER HEADS MAY NOT EXCEED 2.0 E.P.M. OF FLOW, SECTION 403 AND 408.
19. EXISTING HOUSE WAS BUILT BEFORE 1944 NON COMPLIANCE FIXTURES (TOILETS THAT USE MORE THAN 1.6 G.P.M. OF WATER FLUSH SHOWER HEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.2 G.P.M. OF WATER SHALL BE REPLACE CERTIFICATION OF COMPLIANCE SHALL GIVEN TO BUILDING INSPECTOR TO FINAL APPROVAL, CALIF. SB 407.



WEST ELEVATION  
SCALE 1/4" = 1'-0"



SECTION 'A'  
SCALE 1/4" = 1'-0"



SECTION 'B'  
SCALE 1/4" = 1'-0"

NOTES

1. IN ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERINGS AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS.
2. PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES.
3. EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID-CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATINGS OF NOT LESS THAT 20 MINUTES.
4. THE FIRST FIVE FEET OF FENCES AND OTHER ITEMS ATTACHED TO A STRUCTURE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR MEET THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE.
5. ALL VENTS MUST BE LOUVERED AND COVERED WITH 1/8" NONCOMBUSTIBLE, CORROSION-RESISTANT METAL MESH, TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.
6. ALL PROJECTIONS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, FIRE RETARDANT TRATED WOOD, HEAVY TIMBER CONSTRUCTION.
7. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
8. GUTTERS AND DOWN SPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LETTERM AND DEBRIS.
9. COMBUSTIBLE EAVES, SOFFITS AND FASCIAS SHALL BE CONSTRUCTED AS REQUIRED IN GUIDANCE DOCUMENT DPLU# 198.
10. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
11. ROOFING SHALL HAVE A MINIMUM CLASS 'A' FIRE RATING
12. SURFACE WATER WILL DRAIN AWAY FROM BUILDING.

KEY NOTES

1 NEW SMOOTH FINISH STUCCO PLASTER, HAND TROUGH, COLOR BY TALLER DE ARQUITECTURA	4 SPANISH RIVIERA MIX LITE CONCRETE TILES BY EAGLE, CLASS 'A' WITH 2 PLY UNDERLAYMENT ESR-1154, GRRC ID 0840-0006 COLOR BY TALLER DE ARQUITECTURA	8 1/8" SPARKS ARRESTORS	13 FINISH FLOOR
2 1/2" TEMPERED GLASS	5 EFS MOLDINGS, PER MANUFACTURER RECCOM.	9 DEX-O-TEX WATER-PROOFING DECK	14 EXISTING HOUSE
3 CANOPY, TO HAVE UNDER CEILING 15 FELT PAPER AND WIRE MESH AND 1/8" PLASTER FOR FIRE PROOFING.	6 CANTERA STONE COLUMNS	10 R-13 INSULATION	15 TRUSSES BY OTHERS
	7 FINISH GRADE	11 R-30 INSULATION	16 BEAM PER PLAN
		12 LOUVER VENTS	17 NOT USED

Issues and Revisions

No.	Date	Issues and Revisions
05/18/15		Preliminary Design
08/14/15		City Corrections
07/13/16		Plan Change
07/15/16		City Corrections
05/13/2017		City Corrections

Stamp and Signature

Project Name: 2509 Ardatth Rd.  
Project No:  
Date:  
Cad File:  
Description:

Sheet No.