



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: November 29, 2017 REPORT NO. HO-17-076

HEARING DATE: December 6, 2017

SUBJECT: 9880 CAMPUS POINT. Process Three Decision

PROJECT NUMBER: [549731](#)

OWNER/APPLICANT: ARE-9880 Campus Point, LLC/Jon Ohlson

### SUMMARY

Issue: Should the Hearing Officer approve the demolition of an existing two story building to construct a new five story laboratory/office building over a basement on a 4.6-acre site located at 9880 Campus Point Drive in the University Community Plan area?

#### Staff Recommendation(s):

1. Adopt Mitigated Negative Declaration No. 549731 and Adopt the Mitigated, Monitoring and Reporting Program; and
2. Approve Site Development Permit No. 1941151.

Community Planning Group Recommendation: On October 10, 2017, the University Community Planning Group voted 11-0-4 to recommend approval of the proposed project without conditions (Attachment 10).

Environmental Review: A Mitigated Negative Declaration Report No. 549731, has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process (Attachment 8).

### BACKGROUND

The project site is located at 9880 Campus Point Drive, east of Genesee Avenue and east of Interstate 5. The site is within Subarea 10 of the University Community Plan (UCP), the Community Plan Implementation Overlay Zone (CPIOZ) Type B, and is within the IP-1-1 (Industrial Park) zone and it is identified as Prime Industrial Lands in the [Economic Prosperity Element \(Figure EP-1\)](#) of the

General Plan (Attachments 1, 2 and 3). In addition, the property is located within the Airport Influence Area (MCAS Miramar Review Areas 1 and 2), Airport Safety Zone (MCAS Miramar – Transition Zone), Federal Aviation Administration (FAA) Part 77 Notification Area (MCAS-Miramar), Parking Impact Overlay Zone (Campus Impact Area), and the Transit Priority Area. The IP-1-1 zone allows for research and development uses with some limited manufacturing. The UCP designates the land use as Industrial, and the Industrial Element of the plan more specifically identifies the site for Scientific Research. The 4.6-acre site is developed with a 72,818 square-foot research and development (R&D) building constructed in 1985. The facilities were constructed in accordance with the underlying zone and did not require a Development Permit. The project site is bounded by Genesee Avenue to the west, to the north Scripps Health Campus Point Campus, to the southeast is the Nissan Design America Campus. There is an existing natural canyon (mapped Multiple Habitat Planning Area) with a slope height up to approximately 150 feet existing directly east, adjacent to Campus Point Drive, across the street from the project site. However, the project is not within or adjacent to environmentally sensitive lands and is located outside the Coastal Overlay Zone. The site is irregular in shape and slopes down 30 feet from the southwest corner to the northeast corner from manufactured grade.

## DISCUSSION

### Project Description

The project includes the demolition of the existing 72,818 square-foot industrial structure and removal of the existing hardscape, landscaping, and utilities for the construction of a new 102,649-square-foot R&D building, consisting of a five-story structure with 82,190 square feet of research/office space in addition to a 20,459-square-foot basement. All equipment would be located in the basement, including a boiler room (with three boilers), a cooling tower, air handling units, and a standby emergency generator. Proposed structure height would be 89 feet above ground level to the top of the rooftop mechanical screening. An enclosure screen installed around the perimeter of the roof will conceal rooftop mechanical equipment. Pedestrian paths would be installed to provide access between the structure, parking areas, and Campus Point Drive. Pedestrian access to Campus Point Drive would be fully separated from the vehicular access driveway. The project would provide a total of 271 parking spaces including 264 standard spaces and 7 accessible spaces. The entire site is proposed to be graded consisting of 22,500 cubic yards of cut and 1,500 cubic yards of fill with a maximum depth of 17.5 feet (Attachment 11).

The entire site will be landscaped in accordance with the City of San Diego Landscape Ordinance and will preserve 28 of the 58 mature eucalyptus and pine trees on site. Twenty-eight of the parking will be equipped with electric vehicle charging capabilities, with an additional 8 spaces installed with the capacity for potential future electric vehicle charging capabilities. A temporary bike parking area will be provided and an approximately 3,500 square-foot amenity view deck is also proposed for the third floor of the building, which will provide the tenants with a coffee bar, lounge area and other tenant features. The project conforms to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program, the City Council's Sustainable Building Policy by meeting the Leadership in Energy and Environmental Design (LEED) Silver Certification requirements and would provide a minimum of 15 percent of total building energy from self-generation using renewable energy technologies.

The approval needed for the project includes a Site Development Permit pursuant to SDMC Section [126.0502](#) for a development in the CPIOZ area designated "Type B".

### Community Plan Analysis

The project site is identified in the General Plan's Economic Prosperity Element as Prime Industrial Land on Figure EP-I. Prime industrial lands are areas that support export-oriented base sector activities such as warehouse distribution, heavy or light manufacturing, and R&D uses. This area provides a significant benefit to the regional economy and meeting the General Plan goals and objectives to encourage a strong economic base. The development would help provide additional quality job opportunities including middle-income jobs and secondary employment and supporting uses. Retention and growth of scientific research use in this area would also provide greater opportunities for collaboration with other scientific research uses in the Torrey Pines Mesa area of the community as well as with the University of California San Diego. The project will also provide amenity space to serve the tenants of the R&D campus, thereby implementing the goals and policies of the UCP to provide amenities and support services to the primary scientific research and other industrial uses in industrial areas.

The UCP indicates that discretionary review of projects should ensure that new developments are consistent with the design guidelines contained in the Plan's CPIOZ-B requirements. These requirements include compliance with pedestrian circulation, Marine Corps Air Station (MCAS) Miramar Airport Land use Compatibility Plan (ALUCP) and that the architecture, grading, lot coverage, height, bulk and orientation of buildings are compatible with surrounding development.

The proposed project meets the CPIOZ-B requirements of Subarea 10 by providing pedestrian circulation between the structure, parking areas, and Campus Point Drive; it was determined to be compatible with the MCAS Miramar Airport Land Use Compatibility Plan; it is in compliance with lot coverage and will not be grading into natural hillsides. The architecture of the building will be composed of a steel frame and glass with finish accents of wood, metal, concrete and plaster. The building is oriented towards Campus Point Drive, allowing the parking lot to be screened, consistent with neighboring R&D developments in the area. Additionally, the height of the building will be compatible with other structures and partially blocked by intervening slopes and eucalyptus trees adjacent to Genesee Avenue.

The proposed project is located on private property and is consistent with the recommended land use designation, design guidelines, and development standards for the site.

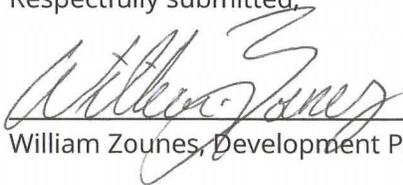
### Conclusion

The proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted University City Community Plan, San Diego Municipal Code, and the General Plan.

ALTERNATIVES

1. Approve Site Development Permit No. 1941151, with modifications.
2. Deny Site Development Permit No. 1941151, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

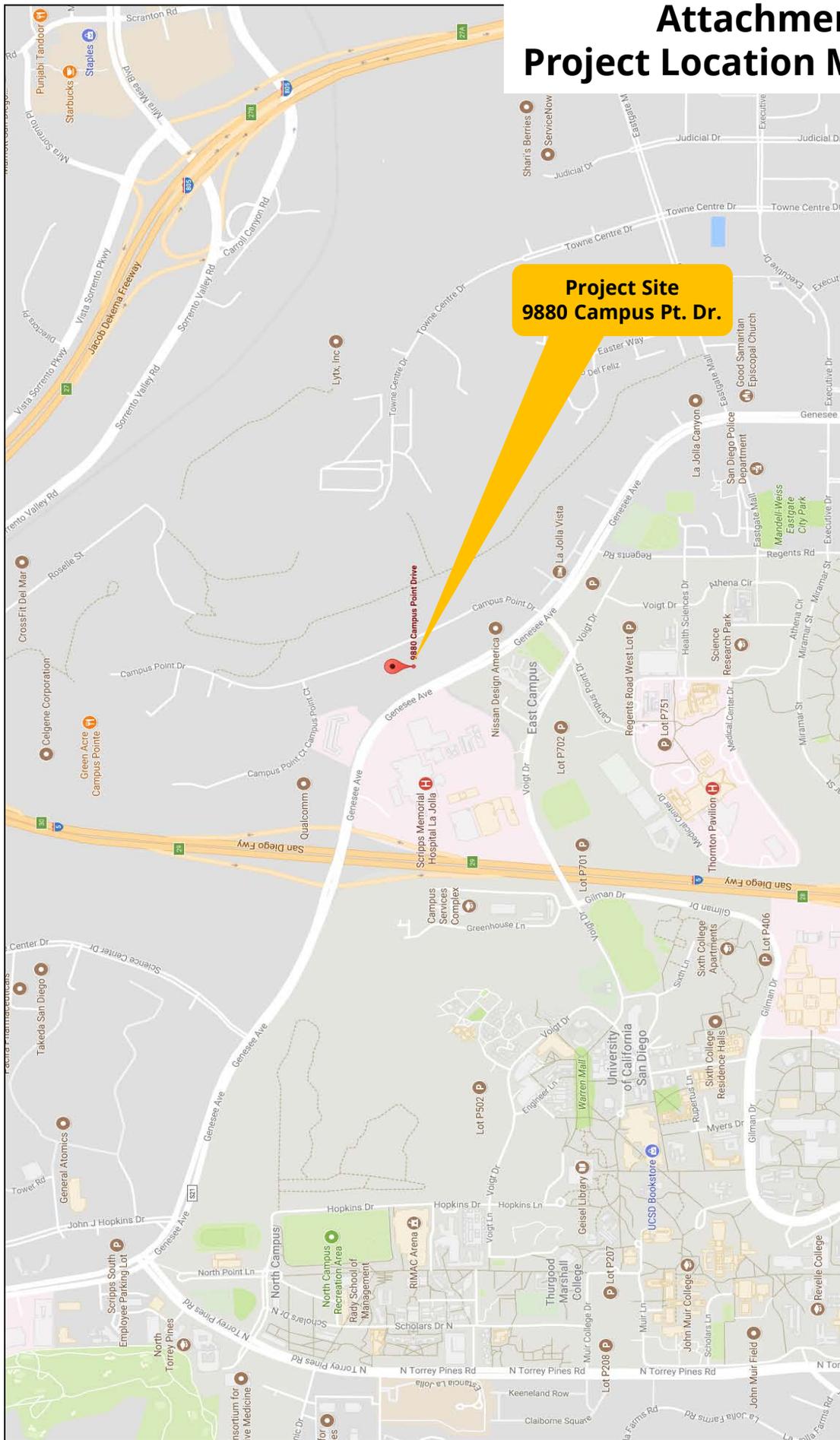


William Zounes, Development Project Manager

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Draft Permit Resolution with Findings
7. Draft Permit with Conditions
8. Draft MND Resolution
9. Ownership Disclosure Statement
10. Community Planning Group Recommendation
11. Project Plans

# Attachment 1 Project Location Map



## Project Location Map

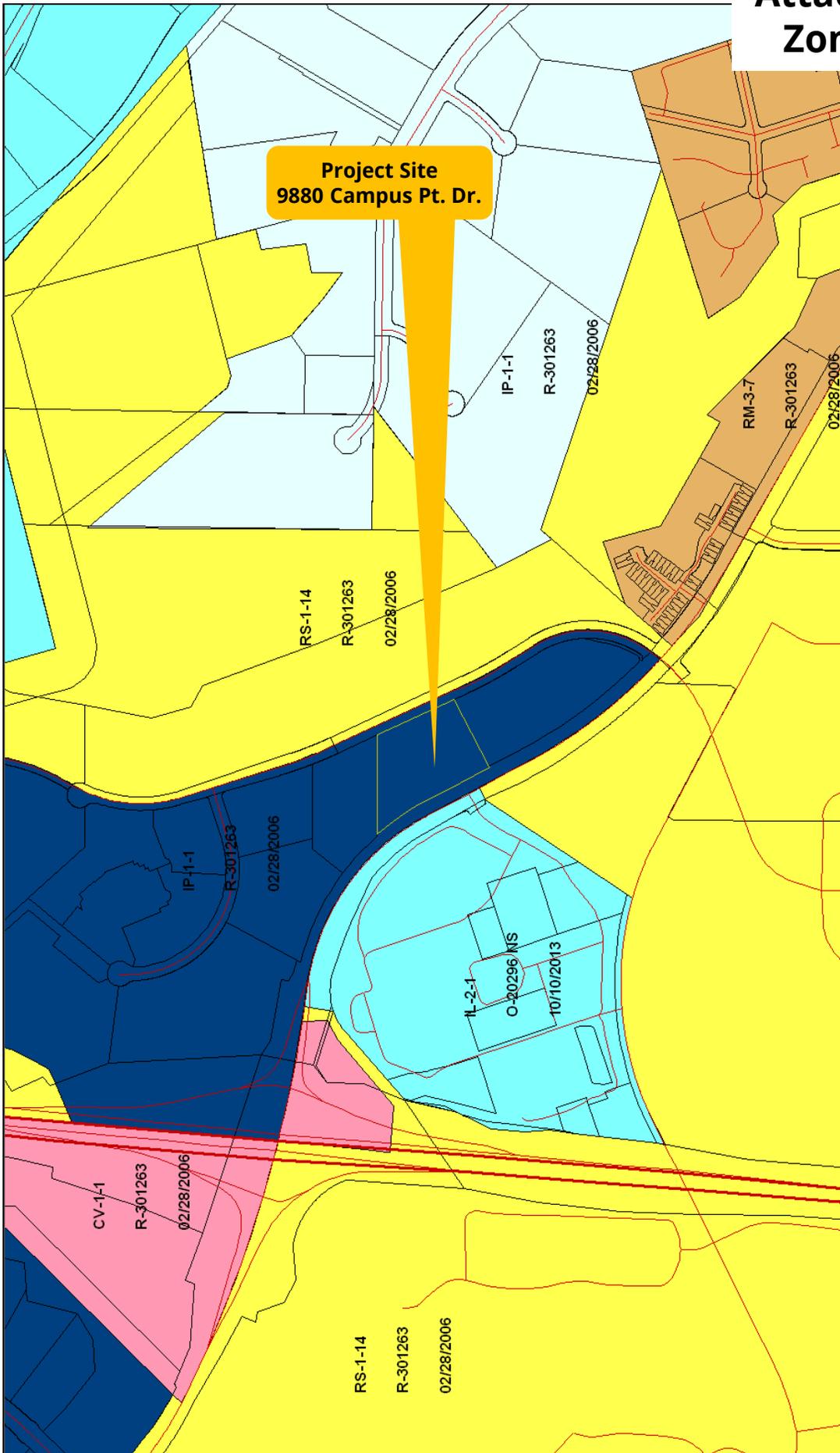
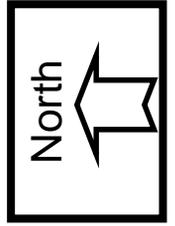
**9880 Campus Point Project No. 549731**

**9880 Campus Point**





# Attachment 3 Zoning Map

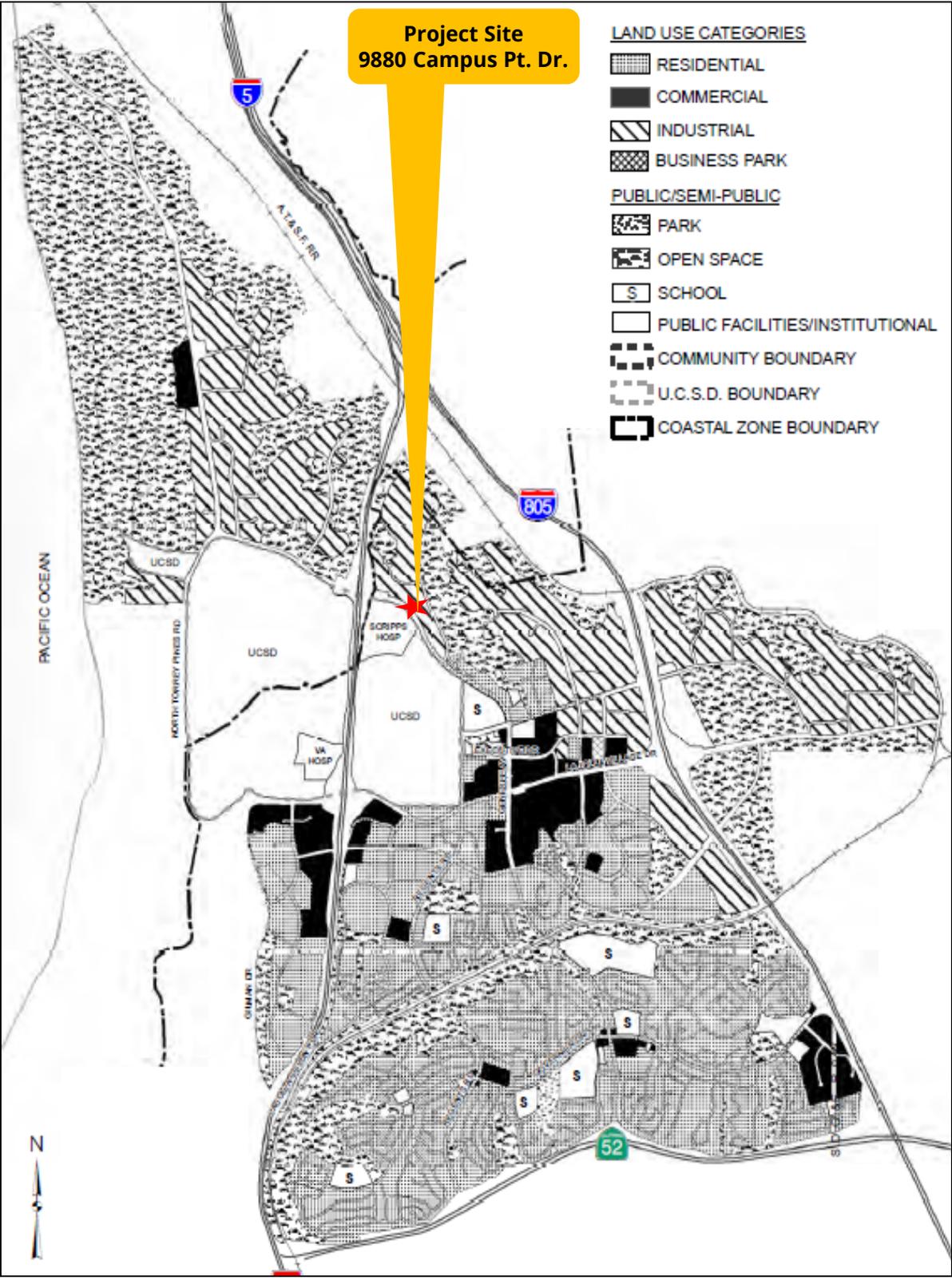


## Zoning Map

9880 Campus Point Project No. 549731  
9880 Campus Point



# Attachment 4 University Land Use plan



## Land Use Plan (University)

9880 Campus Point Project No. 549731  
9880 Campus Point



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	549731	
<b>PROJECT DESCRIPTION:</b>	The demolition of the existing industrial structure and removal of the existing hardscape, landscaping, and utilities for the construction of a new Research & Development building, consisting of a five-story structure with 82,190 square feet of research/office space in addition to a 20,459-square-foot basement.	
<b>COMMUNITY PLAN AREA:</b>	University	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Industrial	
<b><u>ZONING INFORMATION:</u></b>		
<p><b>ZONE:</b> IP-1-1</p> <p><b>HEIGHT LIMIT:</b> None</p> <p><b>LOT SIZE:</b> 4.6-acres</p> <p><b>FLOOR AREA RATIO:</b> 2.0</p> <p><b>FRONT SETBACK:</b> 20/25 feet</p> <p><b>SIDE SETBACK:</b> 15 feet</p> <p><b>STREETSIDE SETBACK:</b> 20 feet</p> <p><b>REAR SETBACK:</b> 25 feet</p> <p><b>PARKING:</b> 271 spaces</p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Industrial IP-1-1/RS-1-14	Research and Development Companies
<b>SOUTH:</b>	Industrial/ IP-1-1/RS-1-14	Research and Development Companies
<b>EAST:</b>	Park/RS-1-14	Canyon
<b>WEST:</b>	Public Facility & Institutional/ IL-2-1	Scripps Hospital
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On October 10, 2017, the University Community Planning Group voted 11-0-4 to recommend approval of the proposed project without conditions.	

**ATTACHMENT 6**  
**Draft Permit Resolution with Findings**

HEARING OFFICER  
RESOLUTION NO. \_\_\_\_\_  
SITE DEVELOPMENT PERMIT NO. 1941151  
**9880 CAMPUS POINT PROJECT NO. 549731 MMRP**

WHEREAS, ARE-9880 CAMPUS POINT, LLC, a Delaware limited liability company, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing two story building and construct a new five story laboratory/office building over a basement (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1941151), on portions of a 4.6-acre site;

WHEREAS, the project site is located at 9880 Campus Point Drive in the IP-1-1 zone of the University Community Plan area;

WHEREAS, the project site is legally described as Parcel 1 of Parcel Map No. 10410 in the City of San Diego, State of California, filed in the Office of the County Recorder of San Diego, September 4, 1980;

WHEREAS, on December 6, 2017, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1941151 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 6, 2017.

**A. SITE DEVELOPMENT PERMIT San Diego Municipal Code (SDMC) Section 126.0504**

**1. Findings for all Site Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

The 4.6-acre project site is located at 9880 Campus Point Drive within the Campus Point Subarea 10 of the University Community Plan (UCP) and designated Scientific Research. The site is also located within the IP-1-1 zone, Community Plan Implementation Overlay Zone (CPIOZ-B), Airport Land Use Compatibility Overlay Zone, and Prime Industrial Lands Overlay Zone. The project would demolish the existing 72,818 square-foot building on the site and construct a new Research and Development (R&D) building with new surface parking and landscaping within the same area of the existing building's footprint.

The project site is identified in the General Plan's Economic Prosperity Element as Prime Industrial Land on Figure EP-I. Prime industrial lands are areas that support export-oriented base sector activities such as warehouse distribution, heavy or light

## **ATTACHMENT 6**

### **Draft Permit Resolution with Findings**

manufacturing, R&D uses. This area provides a significant benefit to the regional economy and meeting the General Plan goals and objectives to encourage a strong economic base. The development would help provide additional quality job opportunities including middle-income jobs and provide secondary employment and supporting uses. Retention and growth of scientific research use in this area would also provide greater opportunities for collaboration with other scientific research uses in the Torrey Pines Mesa area of the community as well as with University of California San Diego. The project will also provide amenity space to serve the tenants of the R&D campus; thereby, implementing the goals and policies of the UCP.

The UCP indicates that discretionary review of projects should ensure that new developments are consistent with the design guidelines contained in the Plan's CPIOZ-B requirements. These requirements include compliance with pedestrian circulation, Marine Corps Air Station (MCAS) Miramar Airport Land use Compatibility Plan (ALUCP) and that the architecture, grading, lot coverage, height, bulk and orientation of buildings are compatible with surrounding development.

The proposed project meets the CPIOZ-B requirements of Subarea 10 by providing pedestrian circulation between the structure, parking areas, and Campus Point Drive; it was determined to be compatible with the MCAS Miramar Airport Land Use Compatibility Plan; it is in compliance with lot coverage and will not be grading into natural hillsides. The architecture of the building will be composed of a steel frame and glass with finish accents of wood, metal, concrete and plaster. The building is oriented towards Campus Point Drive, allowing the parking lot to be screened, consistent with neighboring R&D developments in the area. Additionally, the height of the building will be compatible with other structures and partially blocked by intervening slopes and eucalyptus trees adjacent to Genesee Avenue.

The proposed project is located on private property and is consistent with the recommended land use designation, design guidelines, and development standards for the site. Therefore, the propose project would not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project proposes the demolition of an existing two story structure and construction of a new five story laboratory/office building over a basement. Mitigated Negative Declaration No. 549731 has been prepared in accordance with the State of California Environmental Quality Act (CEQA) and potentially significant environmental effects relative to paleontological resources will be mitigated to below a level of significance.

The proposed project including the review of grading design, provisions of a new driveway, private drainage, architecture, landscape, and environmental impacts, has been designed to conform with the City of San Diego's codes, policies, and regulation with the primary focus of protecting the public's health, safety and welfare. The

**ATTACHMENT 6**  
**Draft Permit Resolution with Findings**

conditions of approval of the project requires compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare for those who would work at the site and within the community. Conditions of approval address parking, driveway, landscaping and grading. Storm water impacts from the project will be mitigated through the implementation and installation of Low Impact Development site design features, such as source control and treatment control Best Management Practices and a Water Pollution Control Plan.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction and continued operation of the development apply to this site to prevent adverse effects to those persons or other properties in the vicinity. Prior to the actual construction of the project, City staff will review construction plans against the Uniform Building Code to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed development would be located on private property and has been designed to address height, bulk and scale, materials, colors, sustainable features, and signs as required through application of CPIOZ-B. The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

The proposed development complies with the applicable zoning and development regulations of the Land Development Code including requirements regulating industrial developments. The proposed project was reviewed for compliance with the IP-1-1 zone land development requirements which include but are not limited to height, setbacks, landscape, parking, and floor area ratio. The proposed project meets the CPIOZ-B requirements of Subarea 10 by providing pedestrian circulation between the structure, parking areas, and Campus Point Drive; it was determined to be compatible with the MCAS Miramar Airport Land Use Compatibility Plan; it is in compliance with lot coverage, and it will not be grading into a natural hillsides. Architecture of the building will be composed of a steel frame and glass with finish accents of wood, metal, concrete and plaster and oriented towards Campus Point Drive, allowing the parking lot to be screened and consistent with neighboring R&D developments in the area. An approximately 3,500 square-foot amenity view deck is also proposed for the third floor of the building which will provide the tenants with a coffee bar, lounge area and other tenant features. Additionally, the height of building will be compatible with other structures and partially blocked by intervening slopes and eucalyptus trees adjacent to Genesee Avenue.

**ATTACHMENT 6**  
**Draft Permit Resolution with Findings**

No deviations are proposed with the project. The project proposes a 82,190 square foot, five-story research and development (R&D) building over a 20,459 square foot basement. The project would include construction of parking areas, pedestrian hardscape, landscaping, retaining walls, infrastructure (e.g., water, sewer), and site access. The project would conform to Council Policy 900-14 criteria by meeting Leadership in Energy and Environmental Design (LEED) Silver Certification requirements and the project would provide a minimum of 15 percent of total building energy, at a minimum, from self-generation using renewable energy technologies. All equipment would be located in the basement, including a boiler room (with three boilers), a cooling tower, air handling units, and a standby emergency generator; thus, meeting the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program and the City Council's Sustainable Building Policy by meeting Leadership in Energy and Environmental Design (LEED) Silver Certification requirements and would provide a minimum of 15 percent of total building energy from self-generation using renewable energy technologies. Therefore, the project complies with the applicable zoning and development regulations of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1941151 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1941151, a copy of which is attached hereto and made a part hereof.

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William Zounes  
Development Project Manager  
Development Services

Adopted on: December 6, 2017

IO#: 24007284

**ATTACHMENT 7**  
**Draft Permit with Conditions**

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

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INTERNAL ORDER NUMBER: 24007284 SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 1941151  
**9880 CAMPUS POINT PROJECT NO. 549731: MMRP**  
HEARING OFFICER

This Site Development Permit No. 1941151 is granted by the Hearing Officer of the City of San Diego to ARE-9880 CAMPUS POINT, LLC, a Delaware Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0505. The 4.6 -acre site is located at 9880 Campus Point Drive in the IP-1-1 zone of the University Community Plan area. The project site is legally described as: Parcel 1 of Parcel Map No. 10410 in the City of San Diego, State of California, filed in the Office of the County Recorder of San Diego, September 4, 1980;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing two story building and construct a new five story laboratory/office building over a basement described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 6, 2017, on file in the Development Services Department.

The project shall include:

- a. The demolition an existing two story building totaling 72,818 square feet and the construction of a new five story 82,190 square-foot laboratory/office building over a 20,459 square-foot basement.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. A Leadership in Energy and Environmental Design (LEED) Silver certification, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

## ATTACHMENT 7 Draft Permit with Conditions

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

### **STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 20, 2020.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

**ATTACHMENT 7**  
**Draft Permit with Conditions**

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 549731 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 549731 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas: Paleontological Resources

## **ATTACHMENT 7**

### **Draft Permit with Conditions**

#### **CLIMATE ACTION PLAN REQUIREMENTS:**

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

#### **ENGINEERING REQUIREMENTS:**

15. The project proposes to export 21,000 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard 30-foot wide driveway, adjacent to the site on Campus Point Drive, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

22. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

**ATTACHMENT 7**  
**Draft Permit with Conditions**

23. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

**LANDSCAPE REQUIREMENTS:**

24. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

25. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-sq.ft. area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section §142.0403(b)5.

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

## **ATTACHMENT 7**

### **Draft Permit with Conditions**

#### **PLANNING/DESIGN REQUIREMENTS:**

29. Prior to issuance of any building permits, the construction documents shall note all criteria included in the design and construction of the industrial project to meet a Leadership in Energy and Environmental Design (LEED) Silver Certification.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **TRANSPORTATION REQUIREMENTS:**

31. No fences/shrubs higher than 36-inches in height are permitted in the visibility areas of the proposed driveways and street intersections.

32. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

33. Prior to the issuance of any construction permits, the Owner/Permittee shall implement a Transportation Demand Management (TDM) Plan (as outlined in memo dated June 15, 2017; prepared by USAI) in order to meet the goals of Climate Action Plan. The TDM Plan at a minimum shall include Unbundled/Paid Parking, Telework Program, Flexible or Alternative work hours, On-site bike sharing, Participation in SANDAG iCommute Program, Transit Subsidies to reduce the cost of transit passes by 25 percent for qualified employees, shower facilities, bike lockers/storage should be provided on -site, carpooling priority parking.

34. A Transportation Demand Management (TDM) Monitoring Report shall be prepared by the Owner/Permittee every year for a period of five years and submitted to the Development Services Department, Transportation Development Review, satisfactory to the City Engineer.

#### **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

35. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation if connected to potable water), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.

36. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.

**ATTACHMENT 7**  
**Draft Permit with Conditions**

37. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.
38. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
39. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
40. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral.
41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 6, 2017.

**ATTACHMENT 7  
Draft Permit with Conditions**

Site Development Permit No.: 1941151  
Date of Approval: December 6, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
William Zounes  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ARE-9880 CAMPUS POINT, LLC, a Delaware  
Limited Liability Company

Owner/Permittee

By \_\_\_\_\_  
Vincent R. Ciruzzi  
Chief Development Officer

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
RESOLUTION NUMBER \_\_\_\_\_

A RESOLUTION ADOPTING MITIGATED NEGATIVE DECLARATION NO. 549731 AND  
THE MITIGATION MONITORING AND REPORTING PROGRAM FOR THE  
**9880 CAMPUS POINT - PROJECT NO. 549731 [MMRP]**

WHEREAS, on June 15, 2017, Jon Ohlson, submitted an application to the Development Services Department for a Site Development Permit for the 9980 Campus Point project (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on December 6, 2017; and

WHEREAS, the Hearing Officer considered the issues discussed in the Mitigated Negative Declaration No. 549731 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the

**ATTACHMENT 8**  
**Draft MND Resolution**

changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: \_\_\_\_\_  
William Zounes  
Development Project Manager  
Development Services Department

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

**EXHIBIT A**

**MITIGATION MONITORING AND REPORTING PROGRAM**

Site Development Permit No. 1941151  
PROJECT NO. 549731

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 549731 shall be made conditions of Site Development Permit No. 194115 as may be further described below.

**A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: Paleontological Monitor

**Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division 858-627-3200.**
  - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360.**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 549731 and/or Environmental Document Number 549731, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

**Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit

Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**

4. **MONITORING EXHIBITS:** All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**Note: Surety and Cost Recovery – When deemed necessary by the DSD Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>DOCUMENT SUBMITTAL/INSPECTION CHECKLIST</b>		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Paleontology	Paleontology Reports	Paleontology Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**PALEONTOLOGICAL RESOURCES**

***I. Prior to Permit Issuance***

***A. Entitlements Plan Check***

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans, but prior to the first precon meeting, whichever is applicable, the ADD

Environmental designee shall verify that the requirements for paleontological monitoring have been noted on the appropriate construction documents.

*B. Letters of Qualification have been submitted to ADD*

1. The applicant shall submit a letter of verification to MMC identifying the PI for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**

*A. Verification of Records Search*

1. The PI shall provide verification to MMC that a site-specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

*B. PI Shall Attend Precon Meetings*

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a precon meeting that shall include the PI, CM, and/or Grading Contractor, RE, BI, if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related precon meetings to make comments and/or suggestions concerning the paleontological monitoring program with the CM and/or Grading Contractor.
  - a. If the PI is unable to attend the precon meeting, the Applicant shall schedule a focused precon meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored - Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
  - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.

- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

**III. During Construction**

*A. Monitor Shall be Present During Grading/Excavation/Trenching*

1. The monitor shall be present full time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The CM is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the CSV. The CSVs shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

*B. Discovery Notification Process*

1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

*C. Determination of Significance*

1. The PI shall evaluate the significance of the resource.
  - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
  - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.

- c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils), the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
- d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

**IV. Night and/or Weekend Work**

- A. *If night and/or weekend work is included in the contract.*
  - 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  - 2. The following procedures shall be followed.
    - a. No Discoveries - In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8 A.M. on the next business day.
    - b. Discoveries - All discoveries shall be processed and documented using the existing procedures detailed in Section III - During Construction.
    - c. Potentially Significant Discoveries - If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
    - d. The PI shall immediately contact MMC, or by 8 A.M. on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
  - 1. The CM shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**V. Post Construction**

- A. *Preparation and Submittal of Draft Monitoring Report*
  - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the paleontological monitoring program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
    - a. For significant paleontological resources encountered during monitoring, the paleontological recovery program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with the San Diego Natural History Museum - The PI shall be responsible for recording (on the appropriate forms) any

significant or potentially significant fossil resources encountered during the paleontological monitoring program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

*B. Handling of Fossil Remains*

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.

*C. Curation of fossil remains: Deed of Gift and Acceptance Verification*

1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

*D. Final Monitoring Report(s)*

1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

# Ownership Disclosure Statement



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

**Approval Type:** Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title** **Project No. For City Use Only**  
ARE 9880 Campus Point Drive 549731

**Project Address:**  
9880 Campus Point Drive, San Diego, CA 92121

### Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Additional pages attached**  Yes  No

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Project Title:

ARE 9880 Campus Point Drive

Project No. (Page 2 of 2)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

- Corporation  Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_
- Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached**  Yes  No

Corporate/Partnership Name (type or print):  
ARE-9880 Campus Point, LLC

Owner  Tenant/Lessee

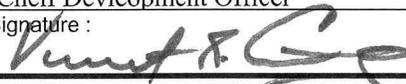
Street Address:  
10996 Torreyanna Road, Suite 250

City/State/Zip:  
San Diego, CA 92121

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
858.638.2804

Name of Corporate Officer/Partner (type or print):  
Vincent R. Ciruzzi For: ARE-9880 CAMPUS POINT, LLC, By: ALEXANDRIA REAL ESTATE EQUITIES, L.P., By: ARE-QRS CORP.

Title (type or print):  
Chief Development Officer

Signature :  Date: 4-13-17

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

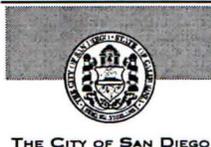
City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101

## Community Planning Committee Distribution Form Part 2

<b>Project Name:</b> 9880 Campus Point -SDP		<b>Project Number:</b> 549731	<b>Distribution Date:</b> 06/15/2017
<b>Project Scope/Location:</b> UNIVERSITY - (PROCESS 3) **SUSTAINABLE EXPEDITE PROGRAM** Site Development Permit to demolish an existing two story building totaling 72,818 square feet and construct five story building lab/office over a basement totaling 102,649 square feet at 9880 Campus Point Drive. The 4.49-acre site is located in the IP-1-1 zone(s) of the University Community Plan area within Council District 1.			
<b>Applicant Name:</b> Jon Ohlson		<b>Applicant Phone Number:</b> (619) 685-3990	
<b>Project Manager:</b> Will Zonues	<b>Phone Number:</b> (619) 687-5942	<b>Fax Number:</b> (619) 446-5245	<b>E-mail Address:</b> wzounes@sandiego.gov
<b>Committee Recommendations (To be completed for Initial Review):</b>			
<input checked="" type="checkbox"/> Vote to Approve	<b>Members Yes</b> 11	<b>Members No</b> 0	<b>Members Abstain</b> 4 chair
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b> doesn't vote
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> Vote to Deny	<b>Members Yes</b>	<b>Members No</b>	<b>Members Abstain</b>
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
<b>CONDITIONS:</b>			
<b>NAME:</b> Janay KRUGER		<b>TITLE:</b> chair	
<b>SIGNATURE:</b> <i>Janay Kruger</i>		<b>DATE:</b> 10/10/17	
<i>Attach Additional Pages If Necessary</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at <a href="http://www.sandiego.gov/development-services">www.sandiego.gov/development-services</a> . Upon request, this information is available in alternative formats for persons with disabilities.			



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2350 Fifth Avenue, Suite 115, San Diego, CA 92103 619-485-3990  
1720 8th Street, Sacramento, CA 95811 916-441-6800

**PROJECT TEAM**

**OWNER**  
ALEXANDRIA REAL ESTATE EQUITIES, INC  
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**ENVIRONMENTAL**  
RECON ENVIRONMENTAL INC.  
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**CONTACT:** JENNIFER CAMPOS  
TEL: 619-388-8333 x123  
EMAIL: JCAMPOS@RECONENVIRONMENTAL.COM

**CODE ANALYSIS**

**APPLICABLE CODES**  
DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES TO INCLUDE BUT NOT LIMITED TO THE MOST CURRENT VERSION OF THE FOLLOWING DOCUMENTS:

- 2016 CALIFORNIA BUILDING CODE PART 2 OF TITLE 24
- 2016 CALIFORNIA ELECTRIC CODE PART 3 OF TITLE 24
- 2016 CALIFORNIA MECHANICAL CODE PART 4 OF TITLE 24
- 2016 CALIFORNIA PLUMBING CODE PART 5 OF TITLE 24
- 2016 CALIFORNIA ENERGY CODE PART 6 OF TITLE 24
- 2016 CALIFORNIA ELEVATOR CODE PART 7 OF TITLE 24
- 2016 CALIFORNIA FIRE CODE PART 8 OF TITLE 24
- ACCESSIBILITY REGULATIONS AS PRESCRIBED BY THE 2016 CALIFORNIA BUILDING CODE, CHAPTER 11
- AMERICANS WITH DISABILITIES ACT (ADULTS), AS AMENDED, 28 CFR PART 36 AND 36, CFR 1911.
- ALL CODES AND ORDINANCES ADOPTED BY THE CITY OF SAN DIEGO.
- CALIFORNIA ELEVATOR SAFETY CODE
- CALIFORNIA CODE OF REGULATIONS, TITLE 8, DIVISION 1 DEPARTMENT OF INDUSTRIAL RELATIONS CHAPTER 4 DIVISION OF INDUSTRIAL SAFETY, SUBCHAPTER 8 ELEVATOR SAFETY ORDERS, GROUP 3 - NEW ELEVATOR INSTALLATIONS (SECTIONS 3120-0.3139)

**PROPOSED BUILDING**

TYPE OF CONSTRUCTION: TYPE III-A - FULLY FIRE SPRINKLERED

OCCUPANCY GROUP: B

NUMBER OF STORIES: 5 OVER FULLY BURIED BASEMENT

OVERALL BUILDING HEIGHT: 89'-0" (TOP OF ROOF SCREEN)

HEIGHT OF BUILDING TO AVERAGE ROOF HEIGHT: 75'-0"

HEIGHT TO HIGHEST FLOOR: 60'-0"

**SYMBOLS**

1. GRID LINE NUMBER OR LETTER GRID LINE

1. DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN. SAME DISCIPLINE DETAIL

1. SECTION NUMBER SHEET WHERE SECTION IS DRAWN. SAME DISCIPLINE SECTION

DELTA SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION DRAWING REVISION

KEYED NOTES SEE DESCRIPTION LIST ON SAME SHEET KEYNOTE

ELEVATION ABOVE DATUM POINT DATUM POINT

GRADE ELEVATION IN PLAN GRADE POINT

PLAN NORTH NORTH ARROW

FILLED LINE INDICATES PLAN NORTH

DASHED ARROW INDICATES TRUE NORTH

**DEVELOPMENT SUMMARY**

**PROJECT DESCRIPTION**

- DEMOLITION OF THE EXISTING 72,816 SF TWO STORY TILT-UP CONCRETE STRUCTURE AND ASSOCIATED LANDSCAPING, HARDSCAPING, AND UTILITIES.
- CONSTRUCTION OF A NEW 82,160 GFA BUILDING SHOWN ON EXHIBIT 'A' TO THIS PERMIT.
- OFF-STREET PARKING FACILITIES PER CITY OF SAN DIEGO STANDARDS (CHAPTER 14, ARTICLE 2, DIVISION 5)
- CONSTRUCTION OF ASSOCIATED SITE IMPROVEMENTS INCLUDING GRADING, SITE UTILITIES, DRAINAGE SYSTEM, LANDSCAPING, IRRIGATION AND HARDSCAPE
- ACCESSORY IMPROVEMENTS DETERMINED BY THE CITY MANAGER TO BE CONSISTENT WITH THE LAND USE AND DEVELOPMENT STANDARDS IN EFFECT FOR THIS SITE PER THE ADOPTED COMMUNITY PLAN, CALIFORNIA ENVIRONMENTAL QUALITY ACT GUIDELINES, PUBLIC AND PRIVATE IMPROVEMENT REQUIREMENTS OF THE CITY ENGINEER, THE UNDERLYING ZONE, CONDITIONS OF THIS PERMIT, AND ANY OTHER APPLICABLE REGULATIONS OF THE SDMC FOR THIS SITE.
- THIS DEVELOPMENT IS SITHIN SUBAREA 10 OF THE UNIVERSITY COMMUNITY, WITHIN SUBAREA 2, CENTRAL.

**LEGAL DESCRIPTION**  
PARCEL 1 OF PARCEL MAP NO. 10410 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 4, 1983.

**ASSESSOR'S PARCEL NO. 343-230-44**

**SITE ADDRESS**  
9880 CAMPUS POINT DRIVE  
SAN DIEGO, CA 92121

**EXISTING CONDITIONS**  
THE EXISTING BUILDING, BUILT IN 1985, IS LEASED AT THIS TIME. THE BUILDING DOES NOT MEET CURRENT CBC STANDARDS AND STUDIES TO UPGRADE THE BUILDING HAVE PROVEN THAT UPGRADES ARE NOT ECONOMICALLY FEASIBLE.

**EXISTING DEVELOPMENT PERMITS**  
HILLS DE REVIEW PER HR-134 ENVIRONMENTAL IMPACT REPORT - EOD 78-07-44C

**BUILDING USE**  
EXISTING USE - "RESEARCH AND DEVELOPMENT"  
PROPOSED USE - "RESEARCH AND DEVELOPMENT" (NO CHANGE IN USE)

**REQUIRED PERMITS FOR NEW DEVELOPMENT**  
NEW SITE DEVELOPMENT PERMIT (SDP)  
GRADING PERMIT (FUTURE)  
DEMOLITION PERMIT (FUTURE)  
NEW BUILDING PERMIT (FUTURE)

**LAND USE INFORMATION AND OVERLAY ZONES**

**ZONING:** P-14  
**CENSUS TRACT:** 83.39  
**SCHOOL DISTRICT:** SAN DIEGO UNIFIED  
**COMMUNITY PLAN:** UNIVERSITY COMMUNITY PLAN, SUB AREA 10, ADOPTED BY CITY COUNCIL 7/7/1987 GP/CE 15' ADDED, 1/12/1988

**OVERLAYS:**  
AIRPORT INFLUENCE AREA  
COMMUNITY PLAN IMPLEMENTATION ZONE B  
FIRE BRUSH ZONES 300 BUFFER  
FIRE HAZARD SEVERITY ZONE  
PARKING IMPACT  
PRIME INDUSTRIAL LAND

**ENVIRONMENTALLY SENSITIVE LANDS - SENSITIVE BIOLOGICAL RESOURCES**  
FAA PART 77 NOTIFICATION AREA  
MIRAMAR ALUOP PARTIAL 1/2" OVERLAY, MAX 300 PEOPLE PER ACRE

**SITE AREA / DEVELOPMENT INFORMATION**

SITE AREA (GROSS SITE AREA PER PARCEL MAP 10410) 4.842 ACRES (202,206 SF)

LANDSCAPE AREA 1.78 ACRES (77,585 SF)

HARDSCAPE AREA 2.25 ACRES (95,948 SF)

**SETBACKS**

FRONT YARD: REQUIRED MIN. 20' STD 25'  
STREET SIDE YARD: 15' N/A  
INTERIOR SIDE YARD: 2' N/A  
REAR YARD: 25' 25'

**PROJECT DATA**

**DEVELOPMENT INTENSITY PER UNIVERSITY COMMUNITY PLAN**  
THE EXISTING DEVELOPMENT WAS DEVELOPED IN 1985 PER TO THE ADOPTION OF THE UNIVERSITY COMMUNITY PLAN. THE COMMUNITY PLAN WHICH WAS ADOPTED IN 1987 FROZE THE DEVELOPMENT INTENSITY FOR SITES DEVELOPED PRIOR TO ITS ADOPTION. THE PROPERTY (PARCEL 2, PREVIOUSLY LOT 17) WHICH SHARES THE NORTH PROPERTY LINE WITH THIS PROJECT WAS ALLOWED AN INTENSITY OF 18,000 SF PER ACRE PER THE COMMUNITY PLAN, WHICH IS A COMMON DEVELOPMENT INTENSITY FOR MANY AREAS OF THE UNIVERSITY COMMUNITY. THIS SITE DEVELOPMENT APPLICATION SEEKS TO INCREASE THE DEVELOPMENT INTENSITY FOR THIS SITE TO APPROXIMATELY 18,000 SF PER ACRE, WHICH WOULD RESULT IN A MAXIMUM DEVELOPMENT INCREASE OF APPROXIMATELY 10,000 SF.

**EXISTING GROSS FLOOR AREA**  
BUILDING AREA PER PROFESSIONAL SURVEY: 72,816 SF

**PROPOSED BUILDING FLOOR AREA:**

BASEMENT FLOOR AREA (INCLUDING MECHANICAL)	20,459 SF (NOT INCLUDED IN GFA)
FIRST LEVEL FLOOR AREA	16,438 SF GFA
SECOND LEVEL FLOOR AREA	16,438 SF GFA
THIRD LEVEL FLOOR AREA	16,438 SF GFA
FOURTH LEVEL FLOOR AREA	16,438 SF GFA
FIFTH LEVEL FLOOR AREA	16,438 SF GFA
TOTAL FLOOR AREA (INCLUDING BASEMENT)	72,816 SF

**TOTAL GROSS FLOOR AREA (EXCLUDES NON-GFA FLOOR AREA): 82,160 SF GFA**

**AS DEFINED BY THE CITY OF SAN DIEGO MUNICIPAL CODE**

TOTAL BUILDING AREA PER CBC = 126,319 SF (INCLUDES ALL GFA AND NON-GFA FLOOR AREA)

FLOOR AREA RATIO (TOTAL SITE) 42

**DEVELOPMENT SUMMARY NOTES:**

- GROSS FLOOR AREA IS AS DEFINED BY THE CITY OF SAN DIEGO MUNICIPAL CODE
- MECHANICAL SPACE IS EXEMPT IN THE CALCULATION OF GROSS FLOOR AREA PER THE UNIVERSITY COMMUNITY PLAN
- THE BASEMENT LEVEL GROSS FLOOR AREA IS EXEMPT FROM INCLUSION IN THE GROSS FLOOR AREA CALCULATION PER MUNICIPAL CODE SECTION 113.0234 A, B
- GROSS FLOOR AREA (GFA) DOES NOT INCLUDE PORCHES, EXIT PORCHES, ETC., WHEN NOT COMPLETELY ENCLOSED ON ALL SIDES AND INDUSTRIAL ZONES PER MUNICIPAL CODE SECTION 113.0234 (C) 2. (TOTAL PORCH FLOOR AREA = 19,839 SF)

**PARKING INFORMATION**

EXISTING TOTAL SITE PARKING PROVIDED	208 PARKING SPACES
STANDARD SPACES (8'6" X 20')	81 SPACES (39%)
COMPACT SPACES (7'6" X 15')	121 SPACES (58%)
ADA SPACES (9' X 18')	7 SPACES (3%)

EXISTING PARKING RATIO: 72,816 GFA = 2.8/1000 SF

NEW TOTAL SITE PARKING PROVIDED: 271 PARKING SPACES  
STANDARD SPACES: 284 SPACES  
ADA SPACES: 7 SPACES

NEW PARKING RATIO: (82,160 GFA) 3.3/1000 SF

MINIMUM PARKING RATIO FOR RESEARCH AND DEVELOPMENT = 2.5 PARKING SPACES / 1000 SF (205)  
MAXIMUM PARKING RATIO FOR RESEARCH AND DEVELOPMENT = 4.0 PARKING SPACES / 1000 SF (329)

**MINIMUM PARKING STALL REQUIREMENTS**  
STANDARD STALLS 8'-0" W X 18'-0" L  
ACCESSIBLE STALLS 9'-0" W X 18'-0" L WITH 5'-0" ACCESSIBLE OR 8'-0" ACCESSIBLE AT VAN SPACE

**OTHER PARKING PROVIDED (NOTE: CARPOOL AND 7E ARE INCLUDED ABOVE)**

LOADING	1 SPACE
ZERO EMISSION CARPOOL, MINIMUM REQUIRED	10% OF 271 TOTAL PARKING SPACES: 27 SPACES
FUTURE EMISSION CARPOOL, PROVIDED	26 SPACES
FUTURE ELECTRIC VEHICLE CHARGING MINIMUM REQUIRED:	6% OF 271 TOTAL PARKING SPACES: 16 SPACES
FUTURE ELECTRIC VEHICLE CHARGING PROVIDED:	8 SPACES
ELECTRIC VEHICLE SPACES WITH CHARGER PROVIDED:	8 SPACES
MOTORCYCLE MINIMUM REQUIRED:	2% OF 271 TOTAL PARKING SPACES: 6 SPACES
MOTORCYCLE PROVIDED:	7 SPACES
SHORT TERM BICYCLE PARKING REQUIRED	5% OF 271 TOTAL PARKING SPACES: 14 SPACES
LONG TERM BICYCLE PARKING PROVIDED:	14 SPACES
LONG TERM BICYCLE PARKING MINIMUM REQUIRED (WITH LOCKERS OR COVERED LOCKABLE ROOM WITH RACKS):	5% OF 271 TOTAL PARKING SPACES: 14 SPACES
LONG TERM BICYCLE PARKING PROVIDED:	14 SPACES

**DRAWING INDEX**

DRAWING NO.	DRAWING NAME	MSR SUBMITTAL #	SDP CYCLE #1 REVIEW	SDP CYCLE #2 REVIEW
G-000	COVER SHEET			
CIVIL				
C-001	EXISTING CONDITIONS			
C-002	EXISTING CONDITIONS			
C-100	PRELIMINARY GRADING & DRAINAGE			
C-200	CIVIL FUNDAMENTAL UTILITY PLAN			
C-300	SECTIONS AND DETAILS			
ARCHITECTURAL				
A-001	EXISTING OVERALL SITE PLAN			
A-002	DEMOLITION SITE PLAN			
A-003	POLYMERIZED SITE PLAN			
A-004	FIRE DEPARTMENT ACCESS SITE PLAN			
A-101	FLOOR PLANS - LEVELS 1, 2 & 3			
A-102	FLOOR PLANS - LEVELS 3, 4 & 5			
A-103	ROOF PLAN			
A-201	SHELL BUILDING CONCEPTUAL ELEVATIONS			
A-301	SITE SECTIONS			
LANDSCAPE				
L-1	OVERALL PLAN			
L-2	TREE PROTECTION PLAN			
L-3	MATERIALS PLAN			
L-4	PLANTING PLAN			

**STAMP**

**KEY PLAN**

**SAN DIEGO STORM WATER QUALITY**

W-1 THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF:  
A. ORDER NO. R6-2013001, THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT AND WASTE DISCHARGE REQUIREMENTS FOR DISCHARGE FROM THE MUNICIPAL SEWERAGE AND WASTEWATER TREATMENT PLANT (MSWWT) DRAWING THE WATERSHEDS WITHIN THE SAN DIEGO REGION, ADOPTED BY THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD ON MAY 8, 2013.  
B. THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE  
C. THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL

**SITE NOTES**

**WATER SEWER NOTES**

- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ANY NEW WATER AND SEWER SERVICE(S), IF REQUIRED, OUTSIDE OF ANY DRIVEWAY, AND THE DISCONNECTION AT THE MOUTH OF THE EXISTING UNSEWERED WATER SERVICE ADJACENT TO THE PROJECT SITE, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACKFLOW PREVENTION DEVICES, ON EACH WATER SERVICE (DOMESTIC, FIRE AND IRRIGATIONAL) IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.
- ALL ON-SITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK. IN ADDITION, THE DEVELOPER SHALL SUBMIT CALCULATIONS, SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES, FOR SIZES OF THE SPACES SEWER LATERAL FROM THE PROPERTY LINE TO ITS CONNECTION WITH THE PUBLIC SEWER MAIN.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND SEWER FACILITIES.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATION OF OCCUPANCY, ALL PUBLIC WATER AND SEWER FACILITIES SHALL BE COMPLETE AND OPERATIONAL, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.

**SITE SPECIFIC WASTE MANAGEMENT**

A SITE SPECIFIC WASTE MANAGEMENT PLAN COVERING PRE-CONSTRUCTION, DEMOLITION, CONSTRUCTION, AND POST CONSTRUCTION USE AND INFORMATION ON ADEQUATE LANDFILL SPACE AVAILABLE TO SERVE THE SITE IS REQUIRED TO BE SUBMITTED BY THE APPLICANT AND APPROVED BY THE CITY'S ENVIRONMENTAL SERVICES DEPARTMENT, PRIOR TO OBTAINING ANY FUTURE DEVELOPMENT PERMITS. IN ADDITION, THE PLAN SHOULD INCLUDE INFORMATION ON HOW THE PROJECT WOULD COMPLY WITH THE CITY'S WASTE MANAGEMENT AND RECYCLING ORDINANCES, AND STATE AND FEDERAL STATUTES.

**SCREENING FROM PUBLIC VIEW**

ALL MECHANICAL EQUIPMENT, TRASH STORAGE, SERVICE AREAS AND UTILITY APURTAINANCES SHALL BE SCREENED FROM PUBLIC VIEW. SCREENING MAY INCLUDE WALLS AND LANDSCAPING.

**NOTE:**  
PROCESSING, MANUFACTURING, OR STORAGE OF BULK QUANTITIES OF HAZARDOUS MATERIALS GREATER THAN 10,000 GALLONS SHALL NOT BE PERMITTED ON THE PREMISES.

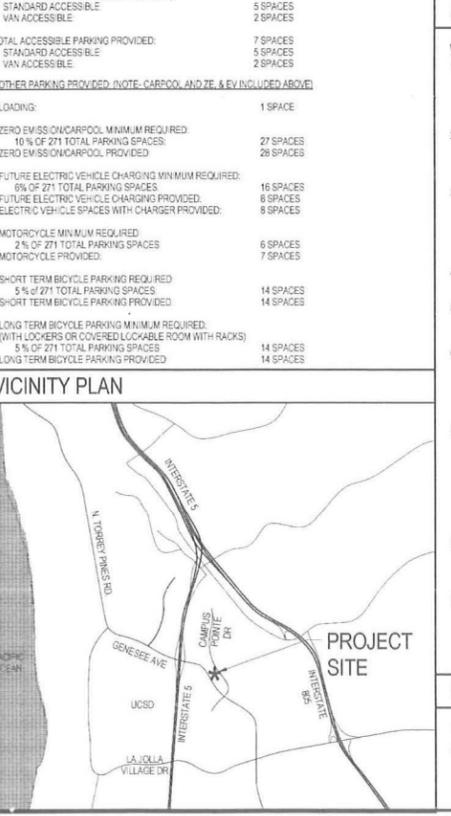
**SUSTAINABILITY**

- THE NEW BUILDING SHALL BE LEED SILVER OR BETTER
- THE CONSERVATION ELEMENT OF THE CITY'S GENERAL PLAN CONTAINS CLIMATE CHANGE AND SUSTAINABLE DEVELOPMENT GOALS AND POLICIES WHICH EXCEED THE EXPECTATIONS OF THE SUSTAINABLE BUILDING EXPEDITE PROGRAM. SEE SHEET G-003 FOR A LIST OF THE PROPOSED SUSTAINABLE, CLEAN, AND GREEN BUILDING DEVELOPMENT ELEMENTS PROPOSED.

**CLIMATE ACTION PLAN (CAP)**

A PROJECT CLIMATE ACTION PLAN CHECKLIST HAS BEEN COMPLETED FOR THIS PROJECT. SOME FEATURES TO BE INCLUDED WITH THIS PROJECT ARE:

- COOL ROOF - SOLAR REFLECTION EQUAL TO OR GREATER THAN VOLUNTARY MEASURES OF THE CALIFORNIA GREEN BUILDING CODE.
- PLUMBING FIXTURES AND FITTINGS THAT DO NOT EXCEED THE MAX. FLOW RATES (VOLUNTARY MEASURES) OF THE CALIFORNIA GREEN BUILDING CODE.
- 5% IMPROVEMENT FOR INDOOR LIGHTING AND MECHANICAL SYSTEMS OVER CURRENT CODE.
- SHOWER FACILITIES
- BULLETIN BOARDS IN CENTRAL LOCATIONS ENCOURAGING ALTERNATIVE TRANSPORTATION PROGRAMS
- REQUEST TENANTS IMPLEMENT TELECOMUTE AND STAGGERED WORK HOURS
- BIKE LOCKERS/STORAGE WILL BE PROVIDED ON SITE
- CARPPOOLING/PRIORITY PARKING
- OFFER TRAVEL PASSES FOR EMPLOYEES WHO DON'T USE PARKING AT A 25% DISCOUNT
- OFFER A BIKESHARE PROGRAM TO EMPLOYEES
- ENCOURAGE PARTICIPATION IN THE SANDAG COMMUTE PROGRAM OR EQUIVALENT.



**COVER SHEET**

**SHEET 1 OF 19**

**G-000**

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**DESIGN TEAM**

**Civil Engineer**  
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**LANDSCAPE ARCHITECT**  
McCULLOUGH LANDSCAPE ARCHITECTURE  
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619-296-3150

**NO DESCRIPTION DATE**

MR SDP CYCLE #1 SUBMITTAL	4.27.2017
SDP CYCLE #1 REVIEW	6.15.2017
SDP CYCLE #2 REVIEW	7.31.2017







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**Landscape Architect**  
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619 296 3150

**Environmental Engineer**  
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**Traffic Engineer**  
**URBAN SYSTEMS**  
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STAMP

KEY PLAN

NO.	DESCRIPTION	DATE
1	MIR SDP CITY SUBMITTAL	4.27.2017
2	SDP CYCLE #1 REVIEW	6.15.2017
3	SDP CYCLE #2 REVIEW	7.31.2017

CLIENT **Alexandria Real Estate Equities**

PROJECT **9880 Campus Pointe Drive**

ADDRESS **9880 Campus Pointe Drive**

PROJECT NO. **17024**

SCALE **AS SHOWN**

TITLE

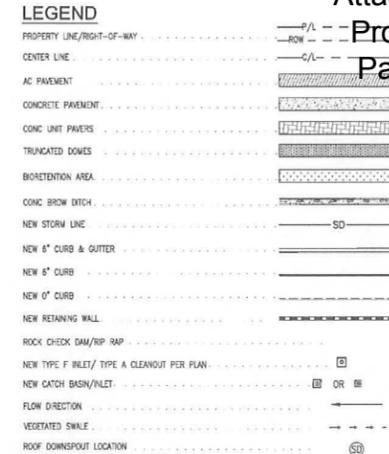
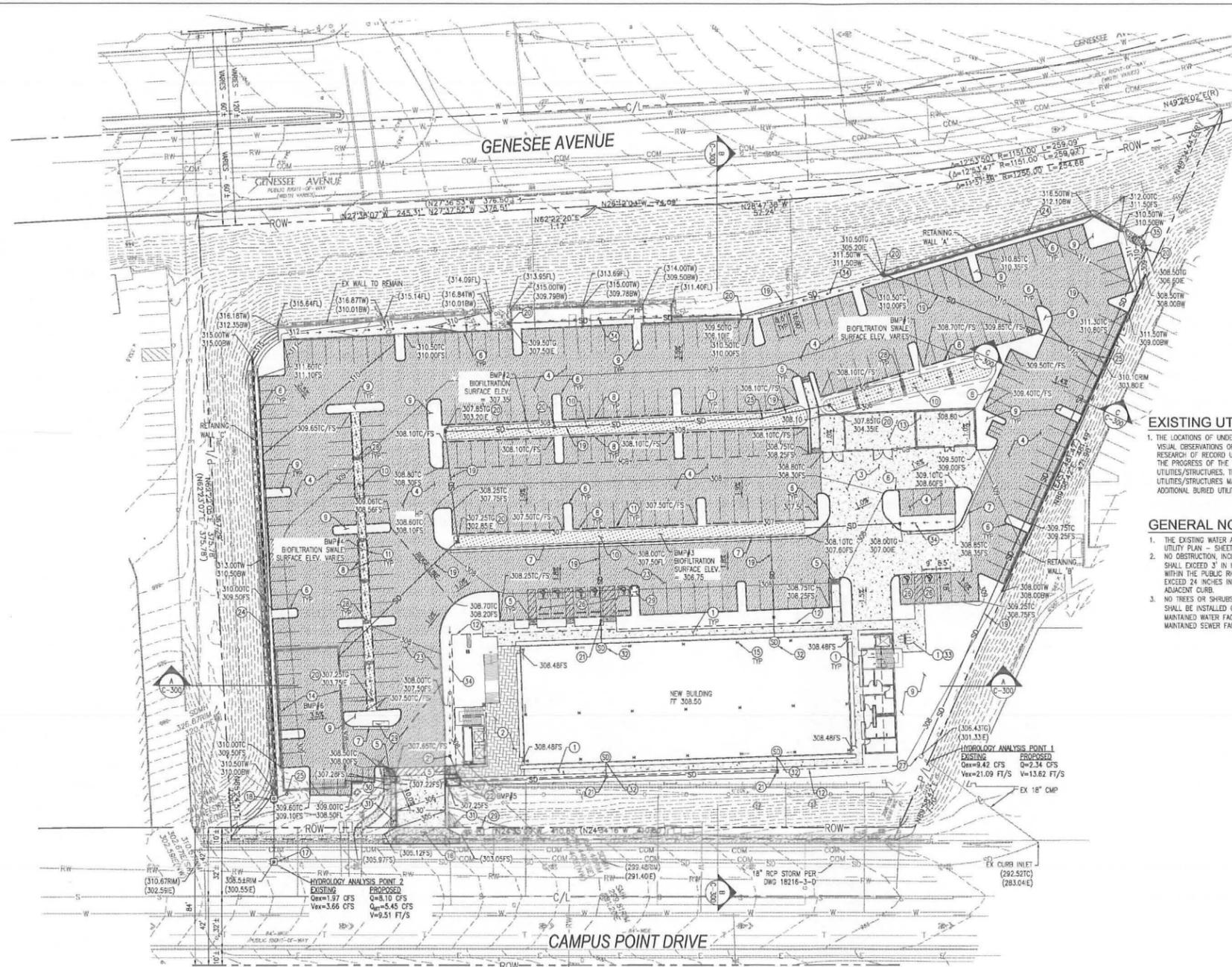
PRELIMINARY  
GRADING &  
DRAINAGE

SHEET 4 OF 19

C-100

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- CONSTRUCTION NOTES**
- STORM DRAIN PDC, SEE PLUMBING PLANS FOR CONTINUATION
  - NEW PEDESTRIAN CONCRETE PAVEMENT PER DETAIL H/C-300
  - NEW CONCRETE UNIT PAVERS PER LANDSCAPE PLANS
  - NEW VEHICULAR CONCRETE PAVEMENT (HEAVY TRAFFIC) PER DETAIL H/C-300
  - NEW ASPHALT PAVEMENT (LIGHT VEHICULAR TRAFFIC) PER DETAIL I/C-300
  - NEW TRUNCATED DOWNS
  - NEW 6" CURB
  - NEW 6" CURB & GUTTER WITH CURB CUTS
  - NEW 0" CURB
  - NEW LANDSCAPED AREA
  - NEW BIOTRITATION AREA PER DETAIL D/C-300
  - NEW WHEELSTOP PER LANDSCAPE PLANS
  - ROOF OVERHANG PER ARCH PLANS
  - NEW TRASH ENCLOSURE/MECHANICAL YARD
  - NEW UNDERGROUND STORMWATER DETENTION SYSTEM WITH PARTIAL INFILTRATION PER DETAIL F/C-300
  - NEW COLUMN PER ARCH PLANS
  - NEW 30" WIDE COMMERCIAL CONCRETE DRIVEWAY PER SDD-163
  - TYPE 'A' STORM CLEANOUT PER D-09
  - TYPE 'F' STORM INLET PER SDD-119
  - NEW STORM PIPE SIZE PER PLAN
  - NEW PRECAST CATCH BASIN
  - 12" SQUARE ATRIUM DRAIN GRATE NDS OR EQUAL
  - MODULAR WETLAND STORMWATER TREATMENT SYSTEM PER DETAIL E/C-300
  - NEW ASPHALT PAVEMENT (FIRE LANE) PER DETAIL I/C-300
  - NEW CONCRETE BROOM DITCH PER SDD-106, TYPE B
  - NEW PVC STORM DRAIN CLEANOUT
  - NEW ADA PARKING
  - CONNECT NEW STORM PIPE TO EX CATCH BASIN
  - ROCK CHECK DAM
  - CONC UTILITY PAD - SEE SHEET C-200
  - PORTION OF EX ADA RAMP TO REMAIN
  - 10'x10' VISIBILITY TRIANGLE, SEE GENERAL NOTE 2
  - NEW ROOF DOWNSPOUT
  - BICYCLE PARKING AREA PER ARCH PLANS
  - VEGETATED SWALE PER DETAIL G/C-300
  - RP RAP ENERGY DISSIPATOR

- EXISTING UTILITY SURVEY NOTES**
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON VISUAL OBSERVATIONS OF ABOVE GROUND UTILITIES/STRUCTURES AND RESEARCH OF RECORD UTILITIES. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THE TOPOGRAPHIC SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THE LOCATION OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.

- GENERAL NOTES**
- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN. SEE THE UTILITY PLAN - SHEET C-200.
  - NO OBSTRUCTION, INCLUDING SOLID WALLS, IN THE VISIBILITY AREA, SHALL EXCEED 3' IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
  - NO TREES OR SHRUBS WHOSE HEIGHT WILL REACH 3' AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

**GRADING TABULATIONS**

TOTAL LOT SIZE: 4.50 AC  
TOTAL DISTURBANCE AREA: 4.43 AC  
TOTAL CUT/MAX DEPTH OF CUT: 22,500 CY/17.5 FT  
TOTAL FILL/MAX DEPTH OF FILL: 1,500 CY/3.2 FT  
MAX HEIGHT OF FILL SLOPE/SLOPE RATIO: 2:1  
MAX HEIGHT OF CUT SLOPE/SLOPE RATIO: 2:1  
TOTAL EXPORT: 21,000 CY

- NOTES**
- GRADING QUANTITIES ARE ESTIMATED FOR DESIGN & PERMITTING PURPOSES ONLY AND SHALL BE INDEPENDENTLY VERIFIED BY THE GRADING CONTRACTOR PRIOR TO BIDDING. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE LOSSES, CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR TO NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO GRADING.
  - REMEDIAL GRADING IS NOT INCLUDED IN GRADING TABULATIONS, BUT MAY BE REQUIRED AS DIRECTED BY THE GEOTECHNICAL ENGINEER OF RECORD. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

**RETAINING WALL SCHEDULE**

WALL	LENGTH	MAX HEIGHT
A	154'	5.0'
B	212'	2.5'
C	270'	3.0'

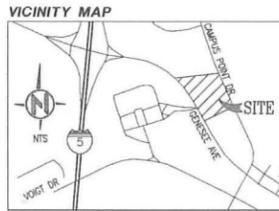
**BENCHMARK**

A BRASS PLUG ON TOP OF CURB INLET AT THE SOUTHEAST CURB RETURN OF GENESSEE AVENUE AND LA JOLLA VILLAGE DRIVE, AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BOOK.

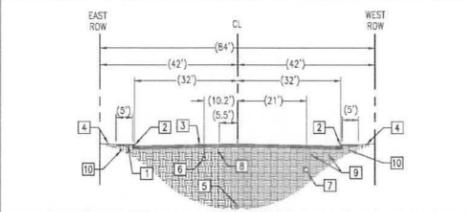
ELEVATION = 364.177 (NGVD 29) M.S.L.

**LEGAL DESCRIPTION**

PARCELS 1 OF PARCEL MAP NO. 10410, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 4, 1980.



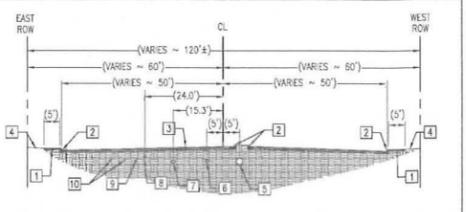
TYPICAL STREET SECTION: CAMPUS POINT DR.



CAMPUS POINT DRIVE NOTES	DEPTH (APPROX.)	REFERENCE DRAWINGS
1 CONCRETE SIDEWALK		
2 6" CONCRETE CURB & GUTTER		
3 AC PAVEMENT		
4 LANDSCAPE AREA		
5 10" PVC SEWER	~18"	DWG 18415-5-D
6 12" ACW WATER	~3.5'	DWG 18415-6-D
7 18" RCP STORM	~4'	DWG 18415-5-D
8 6" FC GAS	~2.5'	SDG&E GAS ASSET MAP 15720-119370
9 COMMUNICATION LINES (SIZE UNKNOWN)	~3'	FIELD MARKOUT
10 ELECTRICAL LINES	~3.5'	WATER ATLAS MAP 120
11 8" PVC RECLAIMED WATER	~3.5'	DWG 27357-38-D

\*\* ALL DIMENSIONS AND DEPTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD\*\*

TYPICAL STREET SECTION: GENESSEE AVE.



GENESSEE AVENUE NOTES	DEPTH (APPROX.)	REFERENCE DRAWINGS
1 CONCRETE SIDEWALK		
2 6" CONCRETE CURB & GUTTER		
3 AC PAVEMENT		
4 LANDSCAPE AREA		
5 24" SCRW WATER	~4'	DWG 18416-16-D
6 10" ACW WATER	~3.5'	DWG 18416-16-D
7 24" OALC RECLAIMED WATER	~3.5'	DWG 27357-28-D
8 GAS LINE	~2.5'	SDG&E GAS ASSET MAP 15720-119370
9 COMMUNICATION LINES (SIZE UNKNOWN)	~3'	COW CABLE MAP
10 ELECTRICAL LINES	~3.5'	SDG&E GAS ASSET MAP 15720-119370

\*\* ALL DIMENSIONS AND DEPTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD\*\*

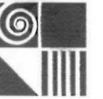
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2550 Fifth Avenue, Suite 115, San Diego, CA 92101 619-685-3990  
1720 8th Street, Sacramento, CA 95811 916-441-4800

DESIGN TEAM

**Civil Engineer**  
**BWE**  
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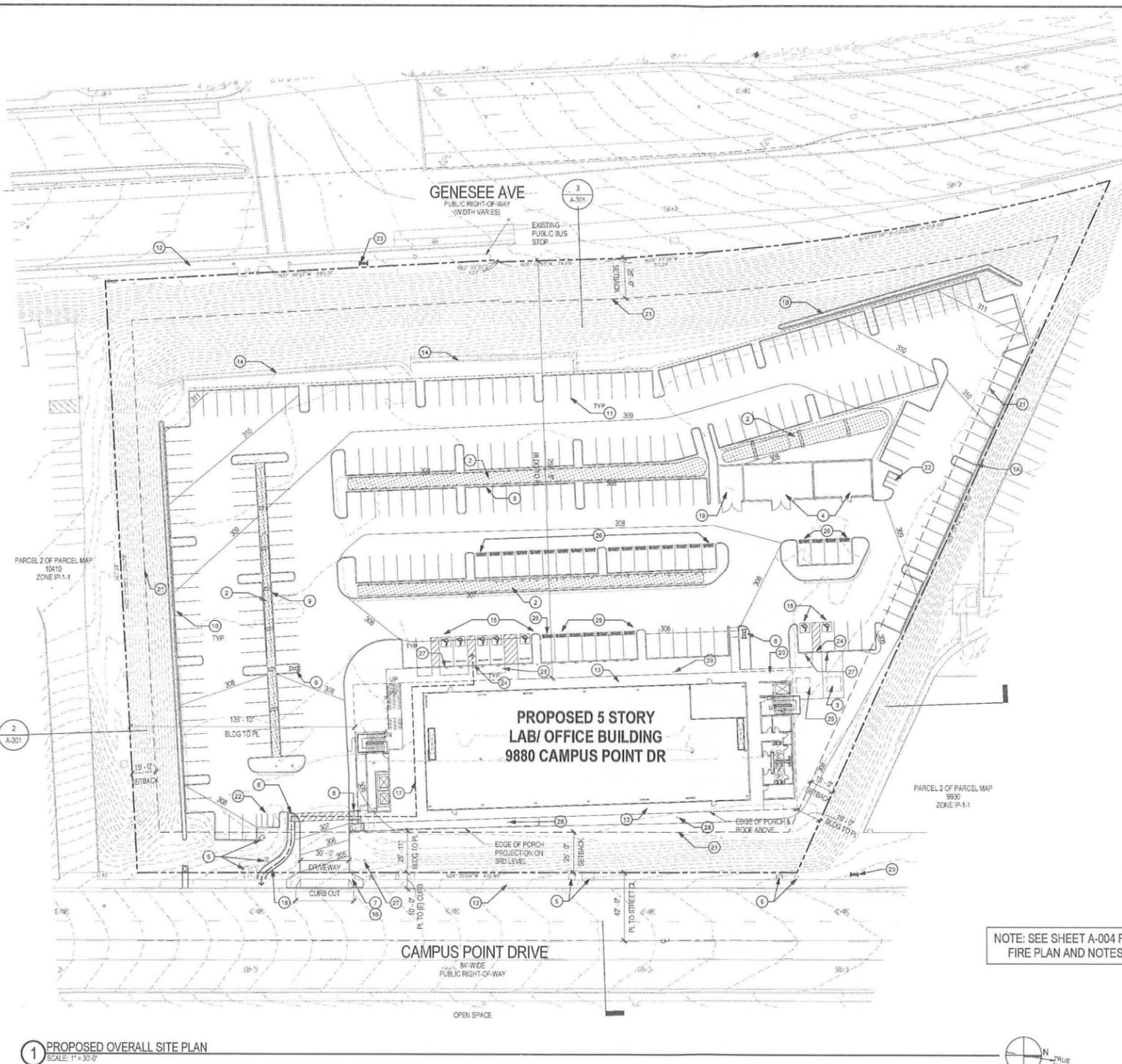
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**Environmental Engineer**  
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658-558-6900

**Traffic Engineer**  
**URBAN SYSTEMS**  
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San Diego, CA 92126  
658-560-4911

STAMP

KEY PLAN



1 PROPOSED OVERALL SITE PLAN  
SCALE: 1" = 30'-0"

NOTE: SEE SHEET A-004 FOR  
FIRE PLAN AND NOTES.

SITE PLAN KEY NOTES

- 1A PROPOSED RETAINING WALL - MAX 2'-6" HIGH
- 1B PROPOSED RETAINING WALL - MAX 6'-0" HIGH
- 2 BIOFILTRATION AREA WITH VEGETATION
- 3 SOG&E TRANSFORMER, ENCLOSURE, & TRELLIS
- 4 NEW MECHANICAL ENCLOSURE & EQUIPMENT YARDS
- 5 EXISTING SITE UTILITY TO REMAIN
- 6 PROPOSED FIRE HYDRANT LOCATION
- 7 EXISTING CURB CUT TO BE REPLACED
- 8 CURB RAMP TO COMPLY WITH CURRENT CITY OF SAN DIEGO STANDARD DRAWINGS FOR CURB RAMP AND DETECTABLE WARNING TILES.
- 9 PROPOSED ZERO CURB AT BIO-FILTRATION ISLAND
- 10 PROPOSED CONCRETE CURB
- 11 PROPOSED SURFACE PARKING STALL, 8'-6" X 18'-0" U.O.N.
- 12 EXISTING SIDEWALK TO REMAIN
- 13 PROPOSED CONCRETE SIDEWALK
- 14 EXISTING SITE WALL TO REMAIN
- 15 PROPOSED ACCESSIBLE PARKING STALL
- 16 PROPOSED PAVED DRIVEWAY PER CIVIL. NEW DRIVEWAY TO COMPLY WITH CURRENT SAN DIEGO CITY STANDARD SOG-983 COMMERCIAL CONCRETE DRIVEWAYS.
- 17 LINE DENOTES ACCESSIBLE PATH OF TRAVEL
- 18 PROPOSED ACCESSIBLE SITE RAMP
- 19 NEW REFUSE AND RECYCLING AREA (88 SF)
- 20 PROPOSED LOADING DOCK
- 21 SETBACK LINE PER CITY OF SAN DIEGO MUNICIPAL CODE
- 22 PROPOSED MOTOR CYCLE PARKING
- 23 EXISTING FIRE HYDRANT TO REMAIN
- 24 PROPOSED ZERO CURB AT ACCESSIBLE PARKING STALLS
- 25 CLEAN AIR/VAN/POOL/VEV PARKING STALLS
- 26 CLEAN AIR/VEV STALLS WITH ROUGH IN FOR FUTURE ELECTRIC VEHICLE CHARGING
- 27 PROPOSED ADA SIGNAGE
- 28 ROOF DRAINS TO DRAIN TO ADJACENT LANDSCAPE
- 29 SHORT TERM BICYCLE RACKS

BEST MANAGEMENT PRACTICES

- 1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

WATER & SEWER DEVELOPMENT

- 1. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACKFLOW PREVENTION DEVICES, ON EACH WATER SERVICE (DOMESTIC, FIRE, & IRRIGATION) IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER. BFPDS SHALL BE LOCATED ABOVE GROUND ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT OF WAY. THE U.D. WILL NOT PERMIT THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
- 2. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ALL PUBLIC WATER AND SEWER FACILITIES ARE TO BE IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO WATER AND SEWER DESIGN GUIDES.
- 3. ALL PUBLIC WATER AND SEWER FACILITIES ARE TO BE IN ACCORDANCE WITH THE ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO WATER AND SEWER DESIGN GUIDES.
- 4. ALL PROPOSED PRIVATE WATER AND SEWER FACILITIES LOCATED WITHIN A SINGLE LOT ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND WILL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
- 5. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.
- 6. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL ASSURE, BY PERMIT AND BOND, TO CAP (ABANDON) AT THE PROPERTY LINE ANY EXISTING UNUSED SEWER LATERAL AND INSTALL NEW SEWER LATERALS WHICH MUST BE LOCATED OUTSIDE OF ANY DRIVEWAY OR VEHICULAR USE AREA.
- 7. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL ASSURE, BY PERMIT AND BOND, TO REMOVE (KILL) AT THE MAIN ANY EXISTING UNUSED WATER SERVICE.

MCAS MIRAMAR CLUP REQUIREMENTS

- 1. NO SUBSTANCES WILL BE RELEASED INTO THE AIR, NOR ELECTROMAGNETIC EMISSIONS, OR LIGHT EMISSIONS THAT WILL AFFECT AIRCRAFT TO GROUND INSTRUMENTATION.
- THE CONSTRUCTION ASSEMBLIES OF THE SHELL BUILDING SHALL BE SUCH THAT THE INDOOR NOISE LEVELS ATTRIBUTABLE TO THE AIRPORT OPERATIONS OF MCAS MIRAMAR SHALL NOT EXCEED THE LEVEL INDICATED IN THE COMPREHENSIVE LAND USE PLAN.

ENGINEERING NOTES

- 1. SEE SHEETS C-001 & C-002 FOR EXISTING EASEMENTS.
- 2. SEE SHEET C-200 FOR EXISTING AND PROPOSED UTILITIES.
- 3. SEE SHEET A-301 AND C-300 FOR SITE SECTIONS.

SITE LIGHTING NOTES

- 1. SITE LIGHTING TO BE DIRECTED OR SHIELDED TO PREVENT LIGHT FROM SHINING OFF THE PREMISES.

ENVIRONMENTAL NOTES

- 1. SEE BIOLOGY REPORT BY RECON ENVIRONMENTAL.
- 2. STORMWATER RUNOFF WILL BE CONTROLLED PER THE CIVIL DRAWINGS C-100 AND C-300 WITH THE REQUIRED SWPPP WHICH INCLUDES THE BEST MANAGEMENT PRACTICES AND THE NOTICE OF INTENT TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD.

DISABLED ACCESS NOTES

SEE SITE PLAN FOR THE CLOSEST PUBLIC TRANSPORTATION STOP ON GENESSEE AVE.

SUSTAINABLE BUILDING DESIGN NOTES

THIS PROJECT WILL COMPLY WITH THE USGBC REQUIREMENTS FOR A LEED SILVER RATING OR BETTER (LEED V4 FOR BD-C CORE AND SHELL). LEED CREDITS UNDER CONSIDERATION AT THIS POINT ARE THE FOLLOWING: (NOTE FINAL POINTS MAY VARY BASED ON DESIGN DEVELOPMENT, BUT IN NO EVENT PRODUCE LESS THAN A LEED SILVER RATING.)

- 1. **LOCATION AND TRANSPORTATION**  
CREDITS  
- LEED FOR NEIGHBORHOOD DEVELOPMENT LOCATION  
- SENSITIVE LAND PROTECTION  
- HIGH PRIORITY SITE  
- SURROUNDING DENSITY AND DIVERSE USES  
- ACCESS TO QUALITY TRANSIT  
- BICYCLE FACILITIES  
- REDUCED PARKING FOOTPRINT  
- GREEN VEHICLES
- 2. **SUSTAINABLE SITES**  
CREDITS  
- CONSTRUCTION ACTIVITY POLLUTION PREVENTION  
- SITE ASSESSMENT  
- SITE DEVELOPMENT - PROTECT OR RESTORE HABITAT  
- OPEN SPACE  
- RAINWATER MANAGEMENT  
- HEAT ISLAND REDUCTION  
- LIGHT POLLUTION REDUCTION  
- TENANT DESIGN AND CONSTRUCTION GUIDELINES
- 3. **WATER EFFICIENCY**  
CREDITS  
- OUTDOOR WATER USE REDUCTION  
- INDOOR WATER USE REDUCTION  
- BUILDING-LEVEL WATER METERING  
CREDITS  
- OUTDOOR WATER USE REDUCTION  
- INDOOR WATER USE REDUCTION  
- COOLING TOWER WATER USE  
- WATER METERING
- 4. **ENERGY AND ATMOSPHERE**  
CREDITS  
- FUNDAMENTAL COMMISSIONING AND VERIFICATION  
- MINIMUM ENERGY PERFORMANCE  
- BUILDING-LEVEL ENERGY METERING  
- FUNDAMENTAL REFRIGERANT MANAGEMENT  
CREDITS  
- ENHANCED COMMISSIONING  
- OPTIMIZE ENERGY PERFORMANCE  
- ADVANCED ENERGY METERING

- 5. **MATERIALS AND RESOURCES**  
CREDITS  
- STORAGE AND COLLECTION OF RECYCLABLES  
- CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT  
PLANNING  
CREDITS  
- BUILDING LIFE-CYCLE IMPACT REDUCTION  
- BUILDING PRODUCT DISCLOSURE AND OPTIMIZATION - ENVIRONMENTAL PRODUCT DECLARATIONS  
- BUILDING PRODUCT DISCLOSURE AND OPTIMIZATION - SOURCING OF RAW MATERIALS  
- BUILDING PRODUCT DISCLOSURE AND OPTIMIZATION - MATERIAL INGREDIENTS  
- CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT

- 6. **INDOOR ENVIRONMENTAL QUALITY**  
CREDITS  
- MINIMUM INDOOR AIR QUALITY PERFORMANCE  
- ENVIRONMENTAL TOBACCO SMOKE CONTROL  
CREDITS  
- ENHANCED INDOOR AIR QUALITY STRATEGIES  
- LOW-EMITTING MATERIALS  
- CONSTRUCTION INDOOR AIR QUALITY MANAGEMENT PLAN  
- DAYLIGHT  
- QUALITY VIEWS
- 7. **INNOVATION**  
CREDITS  
- LEED ACCREDITED PROFESSIONAL
- 8. **REGIONAL PRIORITY**  
CREDITS  
- REGIONAL PRIORITY - SPECIFIC CREDIT

SITE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- ACCESSIBLE ROUTE
- (E) FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED STORM DRAIN - SEE CIVIL
- WHEEL STOPS

SITE PLAN GENERAL NOTES

- 1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY 7-0-8 (JFC 90144).
- 2. NO EXISTING OR PROPOSED EASEMENTS ON SITE
- 3. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS
- 4. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES
- 5. MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
- 6. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS
- 7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER

ALEXANDRIA

CLIENT Alexandria Real Estate Equities

PROJECT 9880 CAMPUS POINT DRIVE

ADDRESS 9880 Campus Point Drive  
San Diego, CA 92121

PROJECT NO. 17024

SCALE AS SHOWN

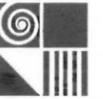
TITLE

PROPOSED SITE PLAN

SHEET 9 OF 19

A-003





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**Landscape Architect**  
**McCullough Landscape Architecture**  
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656-558-6900

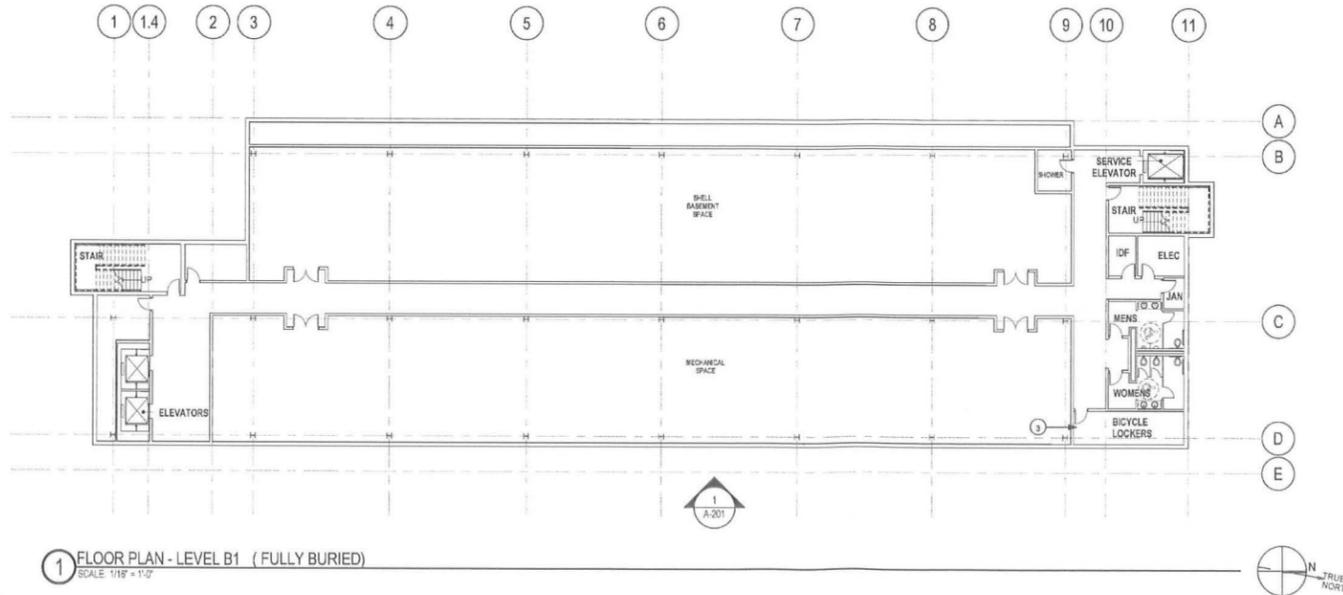
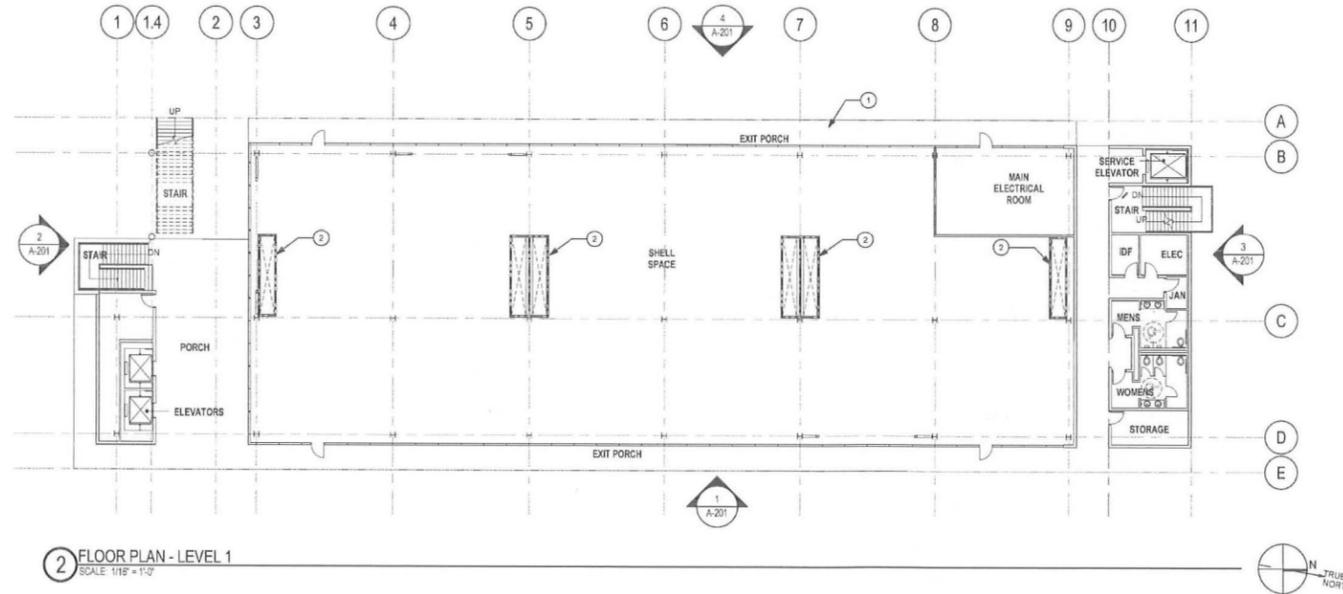
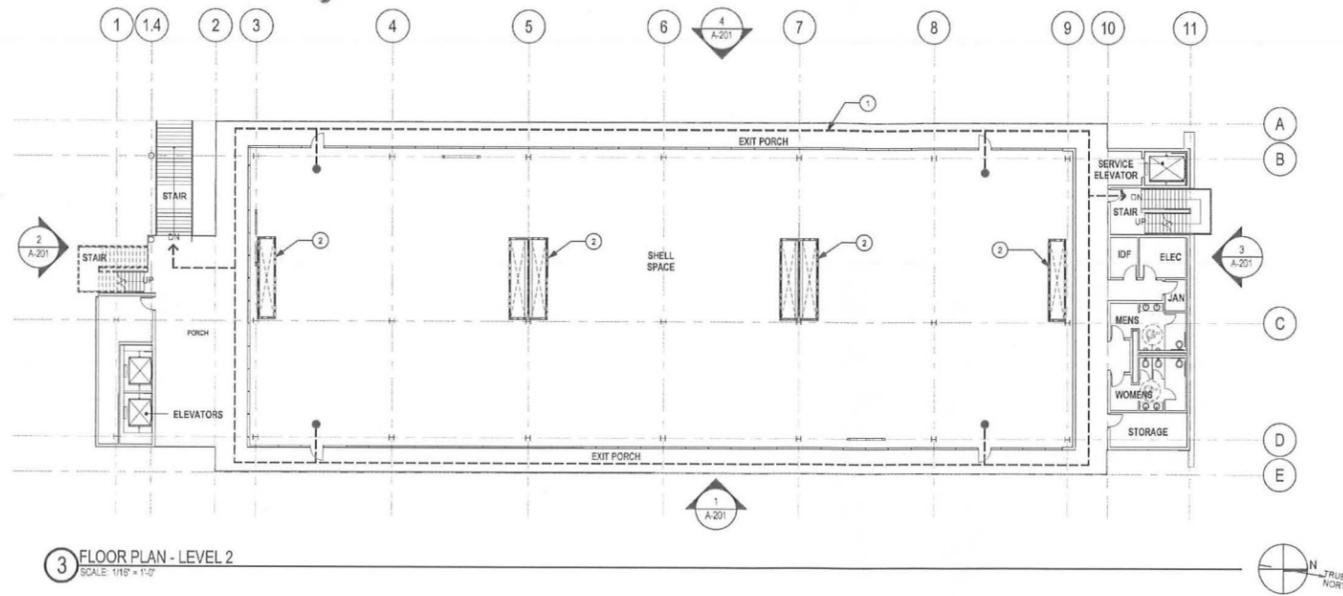
**Traffic Engineer**  
**URBAN SYSTEMS**  
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San Diego, CA 92126  
656-560-4911

FLOOR PLAN GENERAL NOTES

F-1 ALL GLASS TO BE TEMPERED

FLOOR PLAN KEY NOTES

- 1 PATH OF EGRESS
- 2 FUTURE MECHANICAL SHAFT
- 3 LOCKABLE BICYCLE ROOM WITH PERMANENTLY-ANCHORED BICYCLE RACKS FOR 16 BICYCLES
- 4 STAIR TO ROOF



STAMP

KEY PLAN

NO.	DESCRIPTION	DATE
1	MR SDP CITY SUBMITTAL	4.27.2017
2	SDP CYCLE #1 REVIEW	6.15.2017
3	SDP CYCLE #2 REVIEW	7.31.2017



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FLOOR PLANS - LEVELS  
B1, I, & 2

SHEET 11 OF 19

A-101



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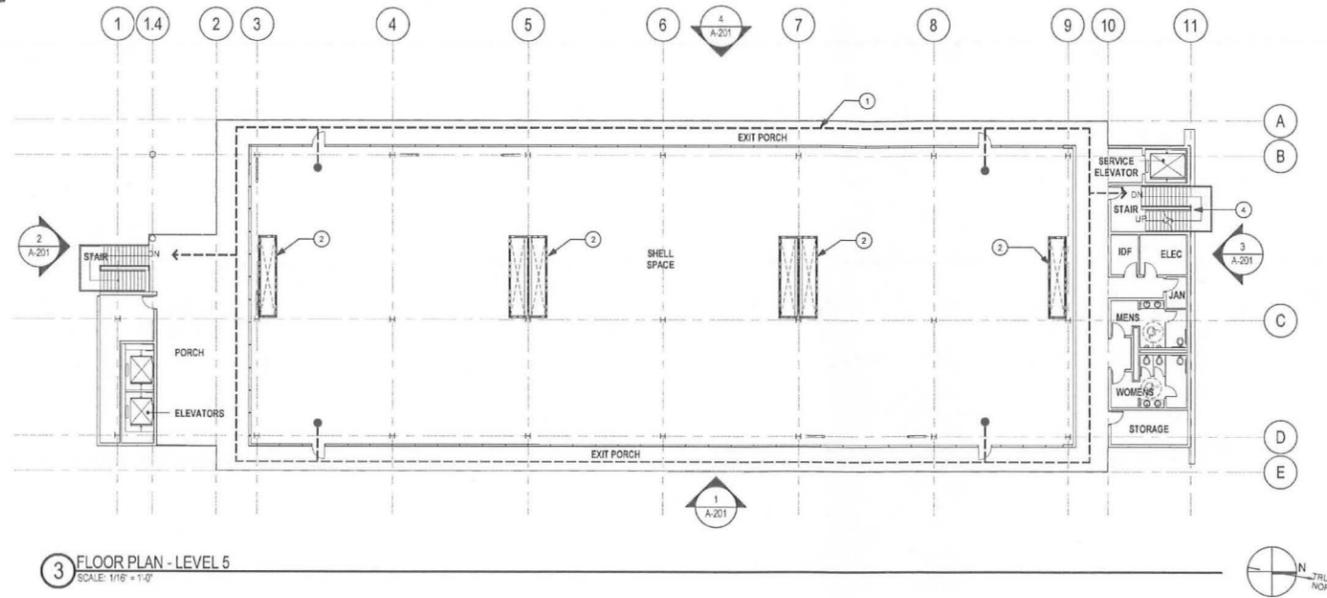
**Traffic Engineer**  
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FLOOR PLAN GENERAL NOTES

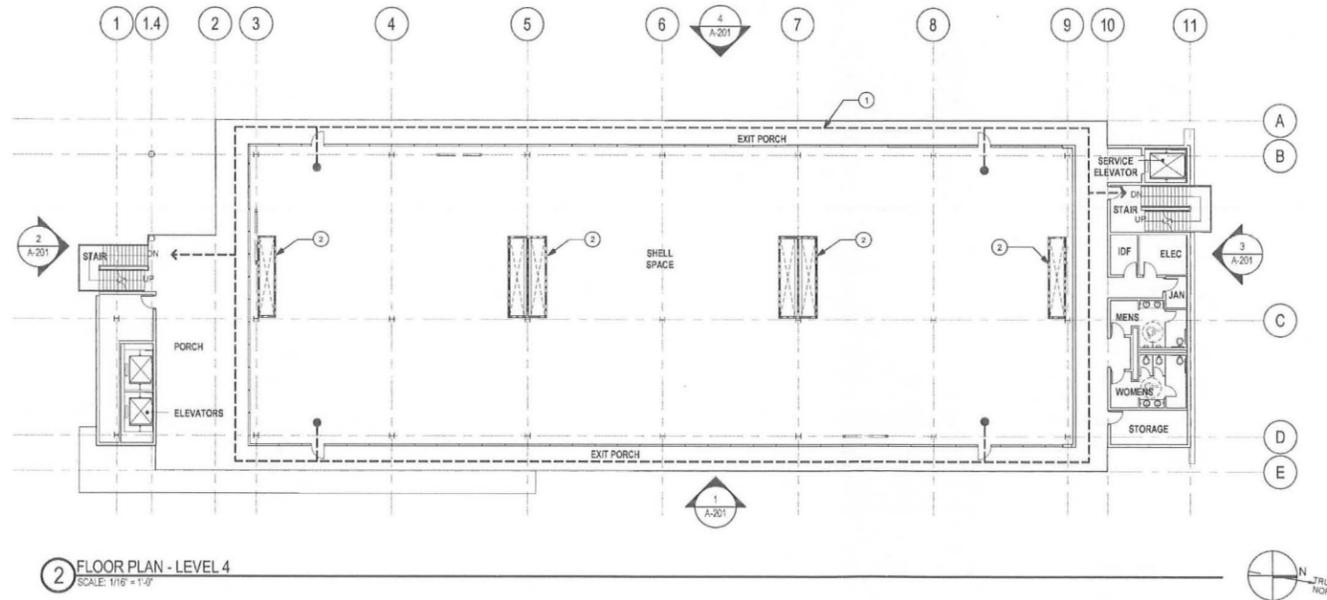
F-1 ALL GLASS TO BE TEMPERED

FLOOR PLAN KEY NOTES

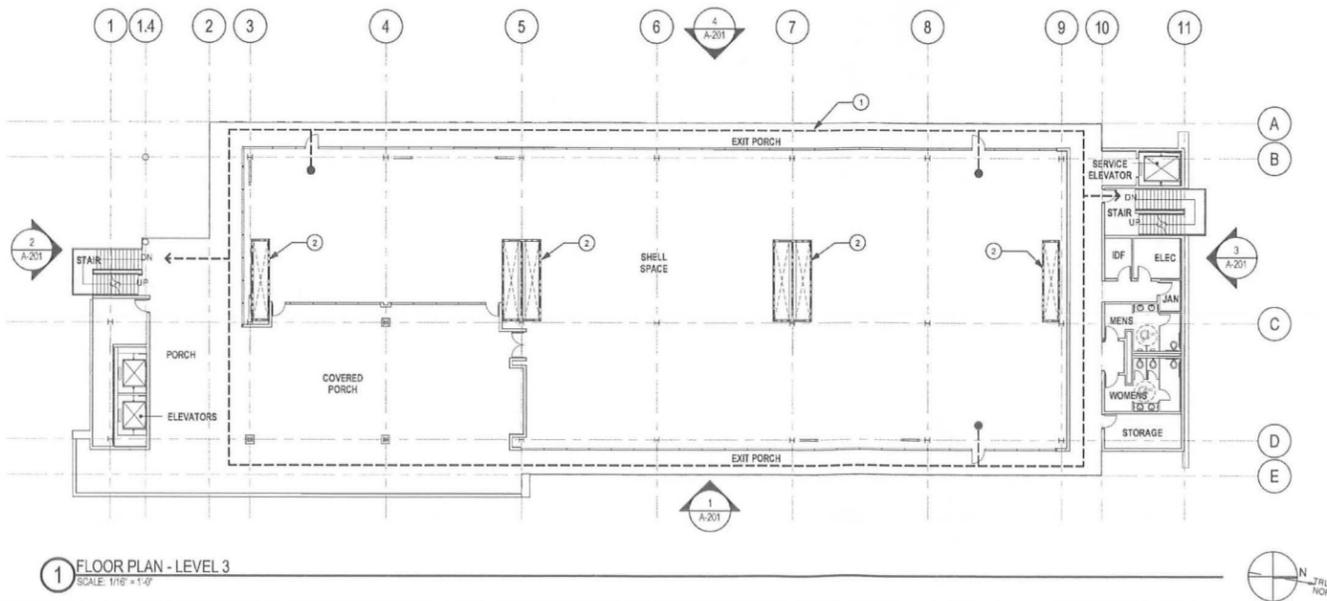
- ① PATH OF EGRESS
- ② FUTURE MECHANICAL SHAFT
- ③ LOCKABLE BICYCLE ROOM WITH PERMANENTLY-ANCHORED BICYCLE RACKS FOR 16 BICYCLES
- ④ STAIR TO ROOF



③ FLOOR PLAN - LEVEL 5  
SCALE: 1/16" = 1'-0"



② FLOOR PLAN - LEVEL 4  
SCALE: 1/16" = 1'-0"



① FLOOR PLAN - LEVEL 3  
SCALE: 1/16" = 1'-0"

STAMP

KEY PLAN

NO.	DESCRIPTION	DATE
MR SDP CITY SUBMITTAL	4.27.2017	
SDP CYCLE #1 REVIEW	6.15.2017	
SDP CYCLE #2 REVIEW	7.31.2017	



ALEXANDRIA.

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PROJECT 9880 CAMPUS POINT DRIVE

ADDRESS 9880 Campus Point Drive  
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PROJECT NO. 17024

SCALE AS SHOWN

TITLE

FLOOR PLANS - LEVELS 3,  
4, & 5

SHEET 12 OF 19

A-102















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STAMP

KEY PLAN

NO.	DESCRIPTION	DATE
1	MIR SDP CITY SUBMITTAL	4.27.2017
2	SDP CYCLE #1 REVIEW	6.15.2017
3	SDP CYCLE #2 REVIEW	7.31.2017

**ALEXANDRIA.**

CLIENT **Alexandria Real Estate Equities**

PROJECT **9880 CAMPUS POINT DRIVE**

ADDRESS **9880 Campus Point Drive  
San Diego, CA 92121**

PROJECT NO. **17024**

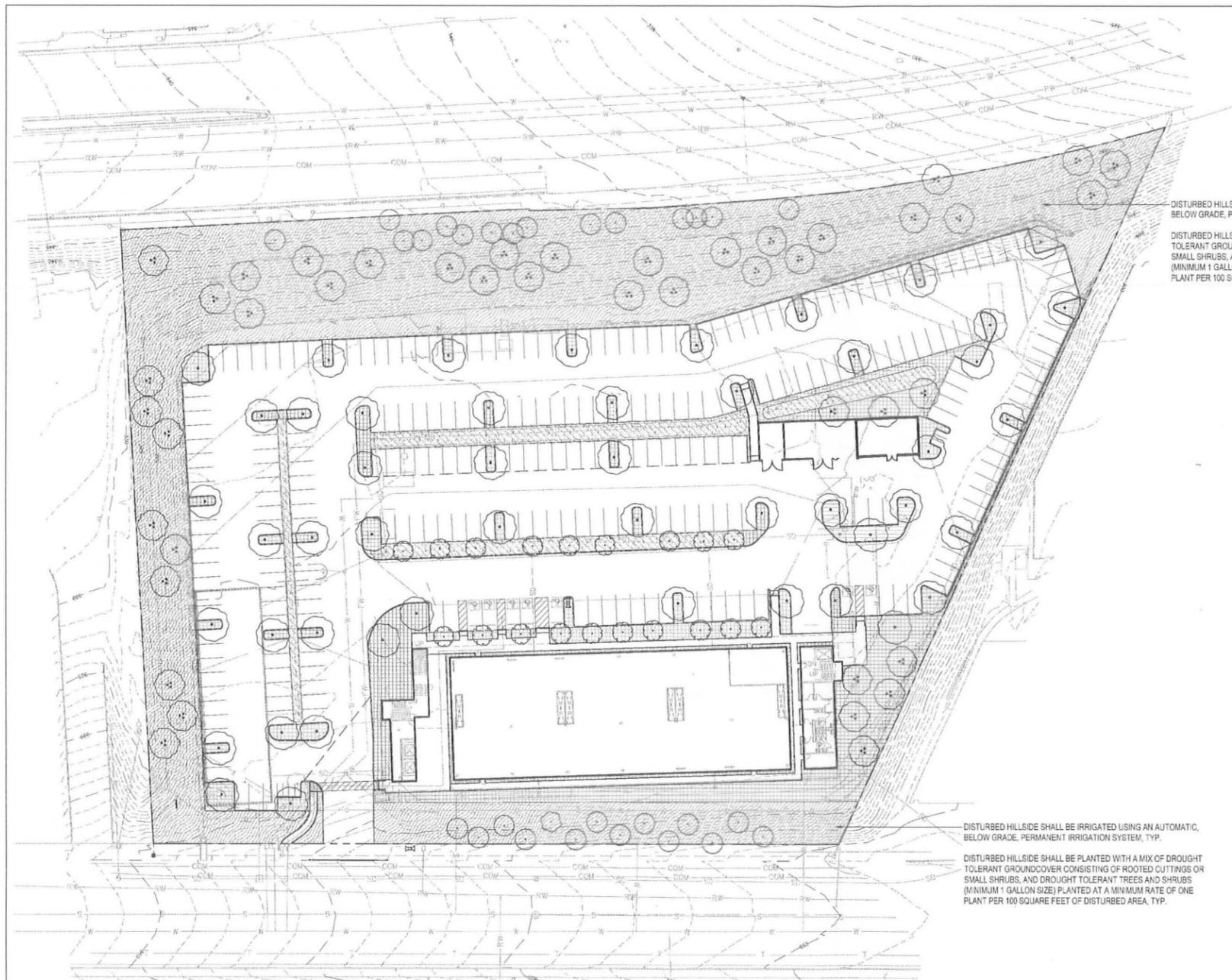
SCALE **AS SHOWN**

TITLE

**PLANTING  
PLAN**

SHEET 19 OF 19

**L4**



DISTURBED HILLSIDE SHALL BE IRRIGATED USING AN AUTOMATIC, BELOW GRADE, PERMANENT IRRIGATION SYSTEM, TYP.

DISTURBED HILLSIDE SHALL BE PLANTED WITH A MIX OF DROUGHT TOLERANT GROUND COVER CONSISTING OF ROOTED CUTTINGS OR SMALL SHRUBS, AND DROUGHT TOLERANT TREES AND SHRUBS (MINIMUM 1 GALLON SIZE) PLANTED AT A MINIMUM RATE OF ONE PLANT PER 100 SQUARE FEET OF DISTURBED AREA, TYP.

DISTURBED HILLSIDE SHALL BE IRRIGATED USING AN AUTOMATIC, BELOW GRADE, PERMANENT IRRIGATION SYSTEM, TYP.

DISTURBED HILLSIDE SHALL BE PLANTED WITH A MIX OF DROUGHT TOLERANT GROUND COVER CONSISTING OF ROOTED CUTTINGS OR SMALL SHRUBS, AND DROUGHT TOLERANT TREES AND SHRUBS (MINIMUM 1 GALLON SIZE) PLANTED AT A MINIMUM RATE OF ONE PLANT PER 100 SQUARE FEET OF DISTURBED AREA, TYP.

**CONCEPTUAL PLANT LEGEND**

- EXISTING STREET TREES TO REMAIN (PROTECT IN PLACE)  
LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEETGUM
- STREET TREES - 30" BOX MIN.  
LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEETGUM
- SPECIMEN TREES - 30" BOX MIN.  
ACACIA FARNESIANA / SWEET ACACIA  
RHUS LANCEA / AFRICAN SUMAC
- PARKING LOT TREES - 30" BOX MIN.  
PROGOPYR CHILZENSIS / THORNLESS CHILEAN MESQUITE  
GUEJERA PARVIFLORA / AUSTRALIAN WILLOW  
RHUS LANCEA / AFRICAN SUMAC
- ACCENT TREES - 30" BOX MIN.  
CERCIS OCCIDENTALIS / WESTERN REDBUD  
TIPUANA TIPU / TIPU TREES
- HILLSIDE TREES - 30" BOX MIN.  
PLATANUS MEXICANA / MEXICAN SYCAMORE  
PLATANUS RACEMOSA / CALIFORNIA SYCAMORE  
QUERCUS AGROFILIA / COAST LIVE OAK  
RHUS LANCEA / AFRICAN SUMAC
- BIORETENTION PLANTINGS - 1 GAL. MIN. @ 30" O.C.  
CAREX SPICATA / SAN DIEGO SEDGE  
RIS DOUGLASSIANA / DOUGLAS IRIS  
JUNCUS PATENS / BLUE JUNCUS  
LEWISIA CONDENSATA / CANYON PRINCE / DWARF MAT RUSH  
MIMULUS CARDINALIS / SCARLET MONKEYFLOWER  
ZEPHYRANTHES CITRINA / RAIN LILY
- BUILDING PERIMETER PLANTINGS - 1 GAL. MIN. @ 30" O.C.  
AGAVE VILMORIANA / OCTOPUS AGAVE  
ALOE X BLUE ELF / BLUE ELF ALOE  
ALOE VERA / COMMON ALOE  
ANGONANTHOS BUSH BALLAD / KANGAROO PAW  
BULBINE FRUTESCENS / BULBINE  
NEPETA X FAASSENII / WALKERS LOW CATMINT  
PODOCARPUS HEWELII / LONG LEAFED YELLOW WOOD FINE  
SENECIO MANDRAUSCAE / BLUE CHALKSTICKS
- PARKING ISLAND PLANTINGS - 1 GAL. MIN. @ 30" O.C.  
AGAVE VILMORIANA / OCTOPUS AGAVE  
ALOE X BLUE ELF / BLUE ELF ALOE  
ALOE VERA / COMMON ALOE  
ANGONANTHOS BUSH BALLAD / KANGAROO PAW  
BULBINE FRUTESCENS / BULBINE  
NEPETA X FAASSENII / WALKERS LOW CATMINT  
SENECIO MANDRAUSCAE / BLUE CHALKSTICKS
- HILLSIDE PLANTING / EROSION CONTROL - 1 GAL. MIN. @ 30" O.C.  
AGAVE VILMORIANA / OCTOPUS AGAVE  
ALOE X BLUE ELF / BLUE ELF ALOE  
ALOE VERA / COMMON ALOE  
ANGONANTHOS BUSH BALLAD / KANGAROO PAW  
BULBINE FRUTESCENS / BULBINE  
NEPETA X FAASSENII / WALKERS LOW CATMINT  
SENECIO MANDRAUSCAE / BLUE CHALKSTICKS

**MINIMUM TREE SEPARATION DISTANCES**

IMPROVEMENT TYPE	MINIMUM DISTANCE
TRAFFIC SIGNALS & STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY ENTRIES	10 FEET
INTERSECTING CURB LINES OF TWO (2) STREETS	25 FEET

**UTILITIES LEGEND**

- W WATER SERVICE LINE  
RE: CIVIL PLANS
- S STORM DRAIN LINE  
RE: CIVIL PLANS
- G GAS SERVICE LINE  
RE: CIVIL PLANS
- RW RECLAIMED WATER LINE  
RE: CIVIL PLANS

**TREE PROTECTION LEGEND**

- EXISTING TREE TO REMAIN (PROTECT IN PLACE)
- REFER TO SHEET L2 FOR TREE PROTECTION PLAN AND DETAILS.

**LANDSCAPE DESIGN STATEMENT:**

- COMPLEMENT THE PROJECT ARCHITECTURE USING SUSTAINABLE DESIGN PRACTICES AND PLANT MATERIALS APPROPRIATE TO THE SPECIFIC SITE.
- THE LANDSCAPE SPECIES CHOSEN ARE INTENDED TO BE DROUGHT TOLERANT, NATIVE, OR NATURALIZED WHEREVER POSSIBLE. THE PLANTS CHOSEN CONTRIBUTE DESIGN ELEMENTS OF CONTRAST, TEXTURE, AND COLOR AND HAVE BEEN LOCATED IN A WAY THAT COMPLIMENTS THE PROJECT ARCHITECTURE AND SURROUNDING LAND USES.
- ALTHOUGH THE LANDSCAPE AREA ALONG GENESEE AVE. IS CONDENSED A STREET YARD, THE LEVEL OF SLOPE PLANTING INCREASES THE SITES NATURALIZED VEGETATION VALUE AND FUNCTIONS AS A BUFFER/SCREEN FOR THE PUBLIC, THEREFORE THE LANDSCAPE AREA IS ACCEPTABLE AS REMAINING YARD.

- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN FIVE (5) FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN THIRTY (30) DAYS OF DAMAGE.
- IRRIGATION DESIGN SHALL BE AS WATER EFFICIENT AS POSSIBLE. PLANT AREAS SHALL BE RESPONSIBLY IRRIGATED AND MANAGED BY AN AUTOMATED IRRIGATION SYSTEM.

**EROSION CONTROL AND MULCHING NOTES:**

**LANDSCAPE DESIGN NOTES:**

- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER OR OWNER APPROVED AGENT. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER OR OWNER APPROVED AGENT. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE SIX (6) FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE SIXTEEN (16) FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE §142.0403(3)(10).
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
  - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
  - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL SHORTAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
  - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
  - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
- MULCH ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC §142.0411.

- A MINIMUM OF 50% OF THE TOTAL SLOPE AREA SHALL BE PLANTED WITH DEEP ROOTING GROUNDCOVERS. FOR SEEDED PLANTINGS, AT LEAST 50% OF THE VIABLE SEED COUNT SHALL BE DEEP ROOTING SPECIES.
- ALL PLANT MATERIALS SHALL BE APPROPRIATE TO THE SITE CONDITIONS, WATER CONSERVING AND APPROPRIATELY SPACED TO CONTROL SOIL EROSION.
- JUTE NETTING AND OTHER APPROVED GEOTEXTILE MATERIALS SHALL BE INSTALLED AND SECURED PER MANUFACTURER'S SPECIFICATIONS AND IN A MANNER PRECLUDING SHEET FLOWS AND RILLING BELOW THE MATERIAL SURFACE.
- STRAW MULCH SHALL BE UNIFORMLY SPREAD AT THE RATE OF TWO TONS PER ACRE.
- STRAW ON ALL CUT SLOPES SHALL BE 'TACKED' WITH BINDER AT A MINIMUM RATE OF 160 POUNDS PER ACRE. THE BINDER SHALL BE AN ORGANIC DERIVATIVE OR PROCESSED ORGANIC ADHESIVE.
- STRAW ON ALL FILL SLOPES SHALL BE INCORPORATED INTO THE SOIL WITH A BLADED ROLLER SO THAT THE STRAW WILL NOT SUPPORT COMBUSTION OR BLOW AWAY AND WILL LEAVE A UNIFORM SURFACE.
- SHREDDED WOOD PRODUCTS SHALL BE UNIFORMLY SPREAD TO A MINIMUM DEPTH OF TWO INCHES.
- WHEN USED IN CONJUNCTION WITH INDIGENOUS NATIVE CONTAINER STOCK, MULCH SHALL BE APPLIED AT THE CONCLUSION OF THE INITIATION 90-DAY MAINTENANCE PERIOD.

