



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 6, 2017 REPORT NO. HO-17-082

HEARING DATE: December 13, 2017

SUBJECT: VERIZON WIRELESS FORT ROSECRANS. Process Three Decision

PROJECT NUMBER: [483717](#)

OWNER/APPLICANT: City of San Diego/Verizon Wireless

SUMMARY

Issue: Should the Hearing Officer approve a new Wireless Communication Facility (WCF) at 203 Catalina Boulevard within the Peninsula Community Planning area?

Staff Recommendation(s):

1. Approve Coastal Development Permit No. 2040237, Neighborhood Development Permit No. 2040238, and Neighborhood Use Permit No. 2040239.

Community Planning Group Recommendation: On March 16, 2017, the Peninsula Community Planning Board voted 10-0-0 to recommend approval of the proposed project without any conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 26, 2017, and the opportunity to appeal that determination ended November 9, 2017.

BACKGROUND

Verizon Wireless is proposing to install a new Wireless Communication Facility at 203 Catalina Boulevard. The property is zoned RS-1-11 and the [Peninsula Community Plan](#) designates the property for single family residences (Attachment 2). The site is surrounded with military industries and directly adjacent to the [SPAWAR Systems Center Pacific \(Attachment 1\)](#). This City owned property is used by the Public Utilities Department (PUD) and contains two 75-foot tall water tanks (the older, original tank is anticipated to be removed in the near future). Verizon Wireless originally obtained a Coastal Development Permit and a Neighborhood Use Permit supporting twelve

antennas on a 30-foot tall monopine and associated equipment on April 11, 2007. This WCF was removed in 2016 to accommodate a new water tank on site. As a result, Verizon was approved to install a temporary facility during the transition between the installation of the new water tank and the expected removal of the old water tank.

Currently, there is one other wireless carrier on site belonging to AT&T whose antennas are mounted directly onto the new water tank. Verizon's request to locate their WCF on the new water tank was denied due to security concerns and the current PUD policy prohibiting additional objects on the water tank.

DISCUSSION

Verizon Wireless submitted a new Coastal Development Permit (CDP), Neighborhood Development Permit (NDP), and Neighborhood Use Permit (NUP) application on April 15, 2016 for a permanent WCF at this location. Verizon's application proposes eight antennas concealed on a new 30-foot tall mono-eucalyptus tree and two antennas in a stacked configuration on a new 30-foot tall slim line pole (Attachments 10 and 11). In an effort to reach the intended coverage objective, Verizon's Radio Frequency engineer required two separate poles. Furthermore, the old water tank is still present which would limit Verizon's coverage objective without the second proposed structure (Attachment 12).

San Diego Municipal Code (SDMC) [Section 126.0707\(b\)](#) requires a CDP (Process 3) application because the WCF is located within the Coastal Overlay Zone's appealable area. The associated 476 square foot chain link fence enclosure exceeds the 250-square foot equipment enclosure size limitation and pursuant to [SDMC Section 141.0420\(g\)\(3\)](#), an NDP is required. Lastly, the project is located in the RS-1-11 zone and an NUP is required pursuant to [SDMC Section 141.0420\(d\)\(2\)](#). These permits shall be consolidated and processed as a Process Three Hearing Officer decision, appealable to the Planning Commission.

The faux-eucalyptus tree is proposed directly in front of other landscaping with similar height and species required by the [City's WCF Design Guidelines \(Guidelines\)](#). The result will allow the faux eucalyptus tree to blend in with the surrounding mature landscaping which meets the purpose and intent of the [City's General Plan for WCF](#). The faux eucalyptus tree is also designed to comply with the Guidelines, which includes a high density branch count, 24-inch branching configuration, and antenna socks. The secondary slim line pole will be painted to appear as a wooden pole and will only be limited to two stacked antennas. This application is utilizing the least visually intrusive antennas and no other lower preference level locations were identified with the exception of the right-of-way which will not be able to accommodate a macro facility. A macro facility is a WCF that is designed to provide significant cellular coverage and data capacity. The equipment associated with this project is appropriately set back from the right-of-way and screened by the existing water tanks and has minimal visibility. Due to the existing landscaping on the rear and side yard setbacks, the equipment will not require any additional screening.

The project complies with all applicable zoning requirements and has been determined to be consistent with the General Plan and the Peninsula Community Plan. Staff recommends that the Hearing Officer approve CDP No. 2040237, NDP No. 2040238, and NUP No. 2040239.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2040237, Neighborhood Development Permit No. 2040238, and Neighborhood Use Permit No. 2040239, with modifications.
2. Deny Coastal Development Permit No. 2040237, Neighborhood Development Permit No. 2040238, and Neighborhood Use Permit No. 2040239, if the Hearing Officer makes findings based on substantial evidence that the approval is not authorized by state or local zoning law and if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



A handwritten signature in blue ink, appearing to read 'Simon Tse', is written over a horizontal line. The signature is stylized and somewhat cursive.

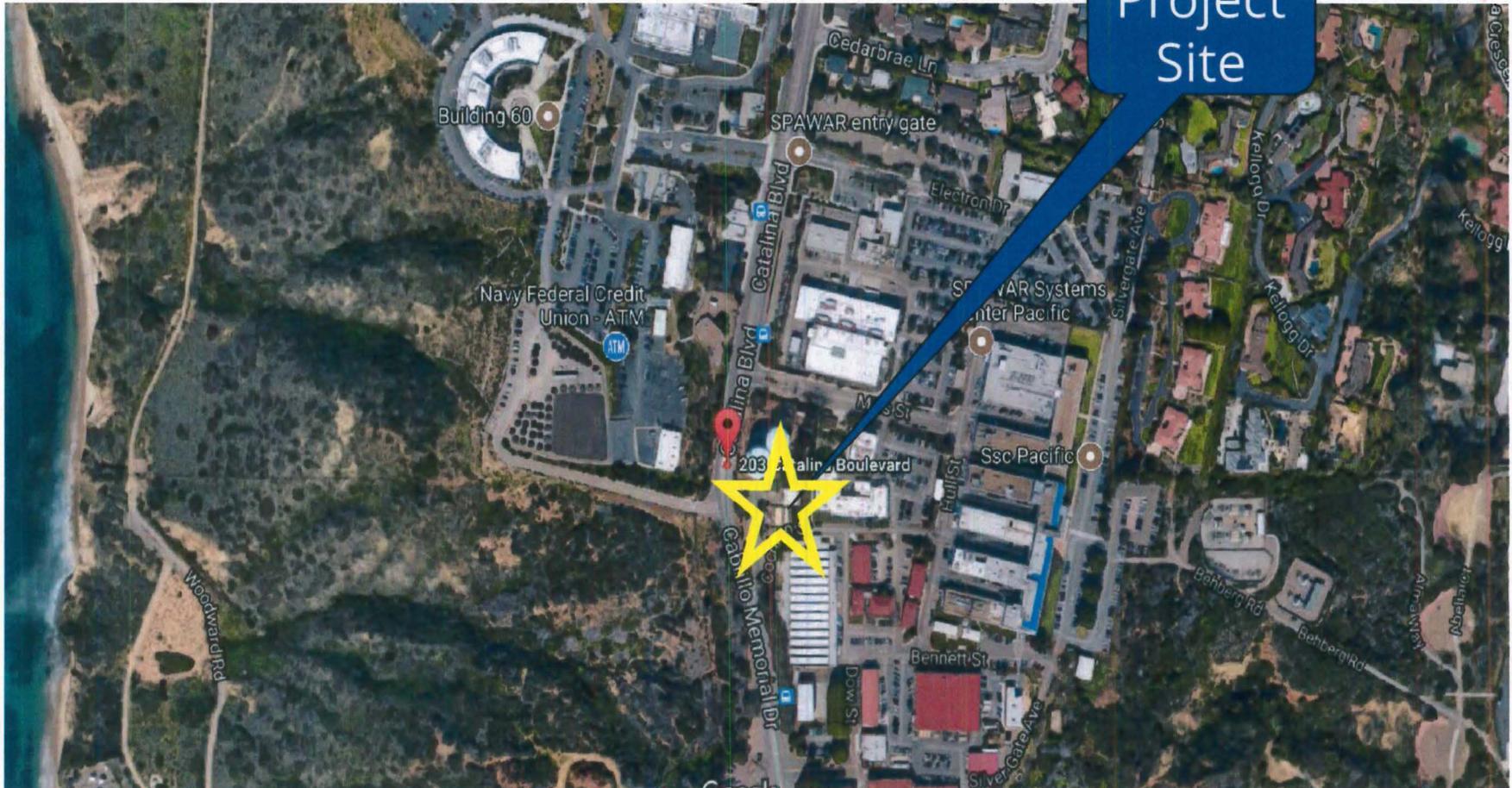
Simon Tse, Development Project Manager

Attachments:

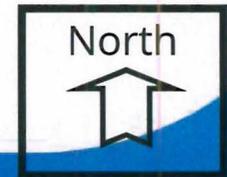
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Project Plans
10. Photosurvey
11. Photosimulations
12. Site Justification Analysis



Aerial Photo



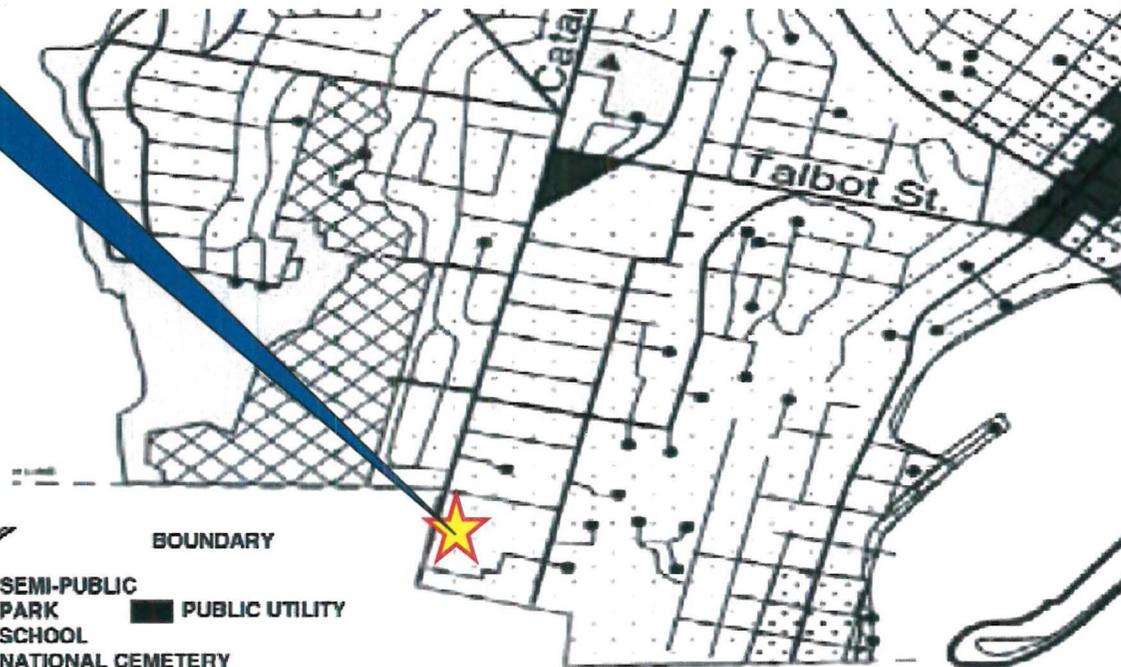
Verizon Wireless Fort Rosecrans (Peninsula Community)
203 Catalina Boulevard, San Diego, CA 92106





Community Plan

Project Site



- SEE INSERT FOR SOUTHERN PENINSULA AREA
- | | | |
|--------------------|---------------------------|--|
| RESIDENTIAL | SINGLE FAMILY | PUBLIC UTILITY |
| | MULTI-FAMILY | PARK |
| COMMERCIAL | COMMERCIAL | SCHOOL |
| | COMMERCIAL / RECREATION | NATIONAL CEMETERY |
| | COMMERCIAL OFFICE | PUBLIC LIBRARY |
| INDUSTRIAL | COMMERCIAL FISHING | HISTORIC SITE |
| | MARINE-RELATED INDUSTRY | FIRE STATION |
| | MILITARY-RELATED INDUSTRY | SPECIAL STUDY AREA |
| | | POSSIBLE FUTURE SCHOOL SITE FOR NAVY HOUSING (EXACT LOCATION TO BE DETERMINED) |
- BOUNDARY

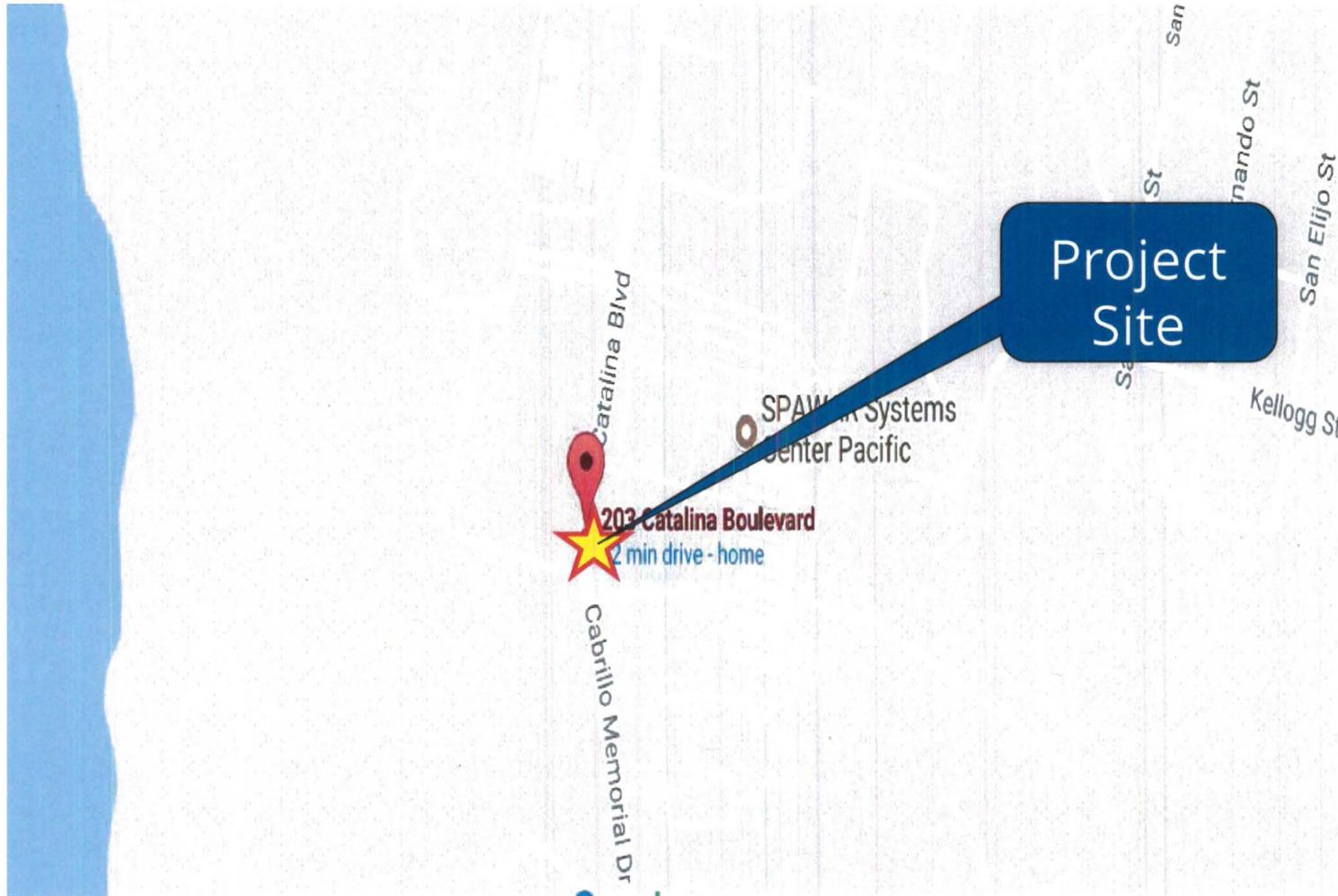


ATTACHMENT 2

Verizon Wireless Fort Rosecrans (Peninsula Community)
203 Catalina Boulevard, San Diego, CA 92106



Project Location Map



Verizon Wireless Fort Rosecrans (Peninsula Community)
203 Catalina Boulevard, San Diego, CA 92106

PROJECT DATA SHEET		
PROJECT NAME:	Verizon Wireless Fort Rosecrans	
PROJECT DESCRIPTION:	A Coastal Development Permit, Neighborhood Development Permit and a Neighborhood Use Permit (Process 3) applications for a Wireless Communication Facility located at 203 Catalina Blvd in the RS-1-11 zone of the Peninsula Community Planning area. The project includes one 30-foot-tall pole supporting two antennas façade mounted and one 30-foot-tall mono-eucalyptus tree supporting eight antennas. The equipment associated with this project will continue to operate inside a 476-square foot chain link fence enclosure, screened by existing landscaping.	
COMMUNITY PLAN AREA:	Peninsula	
DISCRETIONARY ACTIONS:	Coastal Development Permit, Neighborhood Development Permit and a Neighborhood Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Single-Family Residential	
ZONING INFORMATION:		
ZONE:	RS-1-11	
HEIGHT LIMIT:	30 feet (Coastal Height Limit Overlay Zone)	
FRONT SETBACK:	20 feet	
SIDE SETBACK:	6 feet	
STREETSIDE SETBACK:	10 feet	
REAR SETBACK:	10 feet	
PARKING:	N/A	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Single-Family Residence; RS-1-11	Military related-industry
SOUTH:	Single-Family Residence; RS-1-11	Military related-industry
EAST:	Single-Family Residence; RS-1-11	Military related-industry
WEST:	Single-Family Residence; RS-1-14	Commercial
DEVIATION REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 16, 2017, the Peninsula Community Planning Board voted 10-0-0 to recommend approval without any condition.	

Hearing Officer Resolution No. HO-XX-XXX
Coastal Development Permit No. 2040237
Neighborhood Development Permit No. 2040238
Neighborhood Use Permit No. 2040239
Verizon Wireless Fort Rosecrans **Project No. 483717**

WHEREAS, CITY OF SAN DIEGO, Owner and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego on April 15, 2016 for a permit to install a Wireless Communication Facility (WCF) as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit (CDP) No. 2040237, Neighborhood Development Permit (NDP) No. 2040238, and Neighborhood Use Permit (NUP) No. 2040239;

WHEREAS, the project site is located at 203 Catalina Boulevard in the RS-1-11 zone of the Peninsula Community Plan;

WHEREAS, the project site is legally described as that portion of Pueblo Lot 102 together with the southerly half of Catalina Street adjoining the northerly line of the property herein described as closed to public use in the City of San Diego, County of San Diego, State of California, according to map thereof made by James Pascoe and filed in the Office of the County Recorder of San Diego County, being more particularly described as follows:

Commencing at the southwest corner of said Pueblo Lot 102, thence running northerly 208.56 feet along the boundary line between said Pueblo Lot 102 and Pueblo Lot 66, thence running at right angles easterly 208.56 feet, thence running at right angles southerly 208.56 feet, thence running at right angles westerly to the point of beginning. Excepting therefrom the westerly 30.00 feet. Also excepting therefrom that portion lying within the United States Military Reservation pursuant to Declaration of Taking recorded 5/17/1943 in Book 1494, page 256 of official records of San Diego County, California;

WHEREAS, on October 26, 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 13, 2017, the Hearing Officer of the City of San Diego considered CDP No. 2040237, NDP No. 2040238, and NUP No. 2040239 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 13, 2017.

COASTAL DEVELOPMENT PERMIT – SAN DIEGO MUNICIPAL CODE SECTION 126.0708

Findings for all Coastal Development Permits:

(1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476 square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

There is no access pathway or view corridor on or adjacent to the project site. The project improvements will take place on the existing site and will observe all required setback and height requirements. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan and the proposed coastal development will continue to preserve views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

(2) The proposed coastal development will not adversely affect environmentally sensitive lands;

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30 foot tall faux eucalyptus tree supporting eight panel antennas and a new 30 foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75 foot tall water tank within a 476 square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The project site is located on a previously developed lot used by the Public Utilities Department for a 75 foot tall water tank and all proposed improvements will take place on this property. The site is not located near environmentally sensitive lands or within the Multi-Habitat Planning Area. The site is not located near environmentally sensitive lands or within the Multi-Habitat Planning Area.” Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The Local Coastal Program (LCP) Land Use Plan generally focuses on preserving the characteristics of the community. Although the Peninsula LCP does not have specific language to Wireless Communication Facilities, there are sections within Land Use Plan that focuses on the visual resources. Recommendations includes ensuring that new development is consistent with regard to overall design to adjacent properties. The adjacent properties consist of industrial military uses and the WCF blends in accordingly with the surrounding mature landscaping as a faux tree and as a slim line wooden pole design. The existing water tank also screens the WCF from public views and the design of the faux tree and the slim line pole will be minimally visible based on their proposed locations. Additionally, the conduits associated with this WCF will be undergrounded and is consistent the Peninsula Implementation Plan that recommends the removal of overhead power lines to reduce clutter.

The proposed WCF will not impact the existing Water Department operations nor will it impact the character of the area. It is in conformity with the certified Local Coastal Program Land Use Plan and it complies with all regulations of the certified Implementation Program.

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The project is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. Furthermore, the site is

approximately 1900 feet away from the ocean located on the east side of Catalina Boulevard and it does not interfere with access or views to or from the ocean.

NEIGHBORHOOD DEVELOPMENT PERMIT SAN DIEGO MUNICIPAL CODE
(SDMC) SECTION 126.0205

Findings for all Neighborhood Development Permits:

(1)The proposed development will not adversely affect the applicable land use plan;

The Peninsula Community Plan does not address Wireless Communication Facility (WCF) however, under Section UD-A.15 of the Urban Design Section of the City of San Diego's General Plan it requires that the visual impact of all wireless facilities be minimized. Furthermore, the General Plan requires that all WCF must be concealed in existing structures when possible, or otherwise use camouflaging and screening techniques to hide or blend the facilities into the surrounding area.

The project is proposing a new WCF that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The proposed WCF has been designed to comply with the City's General Plan for wireless facilities. The proposed 30-foot tall slim line pole and the 30-foot tall mono-eucalyptus tree will be minimally visible and located to blend in with the surrounding mature landscaping. Furthermore, by limiting the antenna count for each structure, the overall visual impact will be reduced resulting in a design that is more pleasing and respectful of the neighborhood context. The slim line pole will only support two antennas and the antennas will be installed without the use of a pipe mounts to reduce the air space separation. This type of configuration is preferred when using a slim line pole design. Similarly, the 30-foot tall faux eucalyptus tree will be configured to reduce visual impact with a high density branch count, 24-inch branch extension, and the utilization of antenna socks. The combination of the camouflaging techniques, the existing water tank, and the surrounding mature landscaping will help integrate this WCF to comply with the City's General Plan requirements for WCF. Therefore, the proposed WCF development will not adversely affect the applicable land use plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare; and

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the

property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The project was determined to be exempt from CEQA pursuant to Section 15303 (New Construction) The conditions of approval for the project will require compliance with several operational constraints and development controls intended to ensure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to ensure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunications Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared by Verizon Wireless, which concluded that the project is in compliance with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction and the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

SDMC Section 141.0420 and the City's WCF Design Guidelines regulate development of WCFs. The purpose and intent is to conceal WCFs from public views by integrating them accordingly based on the location and design. Specifically, SDMC Section 141.0420 requires all WCF to use the smallest and least visually intrusive antennas. Additionally, WCFs shall be designed to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The WCF designs are consistent with SDMC Section 141.0420(g) and the City's WCF Design Guidelines. The proposed 30-foot tall slim line pole will only be limited to two antennas and mounted directly onto the pole to comply with SDMC Section 141.0420(g)(8). Additionally, the pole and antennas will be painted to appear as a wooden pole to blend in with the existing mature landscaping. The proposed 30-foot tall faux eucalyptus tree will support only eight antennas and consistent with the SDMC Section 141.0420(g)(6), the faux tree will be surrounded by other live eucalyptus trees. The faux tree has been designed to comply with the WCF Design Guidelines with a heavy density branch count, 24-inch branch extension for maximum antenna coverage, and antenna socks design to meet the current industry standards.

The equipment associated with this WCF will continue to operate and inside a 476-square foot chain link fence enclosure and is minimally visible from Catalina Boulevard. Due to the location of the equipment surrounded by existing mature landscaping and by the existing water tank, no additional screening was proposed or required. Pursuant to SDMC Section 141.0420(g)(3), enclosures greater than 250 square feet in size require a Neighborhood Development Permit (NDP).

The combination of the camouflaging techniques, the existing water tank, and the surrounding mature landscaping will help integrate this WCF to comply with the applicable regulations of the Land Development Code.

NEIGHBORHOOD USE PERMIT SAN DIEGO MUNICIPAL CODE (SDMC)
SECTION 126.0205

Findings for all Neighborhood Use Permits:

(1) The proposed development will not adversely affect the applicable land use plan;

The Peninsula Community Plan does not address Wireless Communication Facility (WCF) however, under Section UD-A.15 of the Urban Design Section of the City of San Diego's General Plan it requires that the visual impact of all wireless facilities be minimized. Furthermore, the General Plan requires that all WCF must be concealed in existing structures when possible, or otherwise use camouflaging and screening techniques to hide or blend the facilities into the surrounding area.

The project is proposing a new WCF that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The proposed WCF has been designed to comply with the City's General Plan for wireless facilities. The proposed 30-foot tall slim line pole and the 30-foot tall mono-eucalyptus tree will be minimally visible and located to blend in with the surrounding mature landscaping. Furthermore, by limiting the antenna count for each structure, the overall visual impact will be reduced resulting in a design that is more pleasing and respectful of the neighborhood context. The slim line pole will only support two antennas and the antennas will be installed without the use of a pipe mounts to reduce the air space separation. This type of configuration is preferred when using a slim line pole design. Similarly, the 30-foot tall faux eucalyptus tree will be configured to reduce visual impact with a high density branch count, 24-inch branch extension, and the utilization of antenna socks. The combination of the camouflaging techniques, the existing water tank, and the surrounding mature landscaping will help integrate this WCF to comply with the City's General Plan requirements for WCF. Therefore, the proposed WCF development will not adversely affect the applicable land use plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare; and

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

The project was determined to be exempt from CEQA pursuant to Section 15303 (New Construction) The conditions of approval for the project will require compliance with several operational constraints and development controls intended to ensure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to ensure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunications Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." An Electromagnetic Energy Exposure Report was prepared by Verizon Wireless, which concluded that the project is in compliance with FCC standards for RF emissions. Therefore, the project will not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction and the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is proposing a new Wireless Communication Facility (WCF) that consists of a 30-foot tall faux eucalyptus tree supporting eight panel antennas and a new 30-foot tall slim line pole supporting two panel antennas for a total of ten panel antennas. The equipment associated with this project will operate on the southeasterly portion of the property, behind the existing 75-foot tall water tank within a 476-square foot chain link fence enclosure. As part of this application, the existing temporary utility pole supporting three antennas will be removed for this permanent solution.

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SDMC Section 141.0420 and the City's WCF Design Guidelines regulate development of WCFs. The purpose and intent is to conceal WCFs from public views by integrating them accordingly based on the location and design. Specifically, SDMC Section 141.0420 requires all WCF to use the smallest and least visually intrusive antennas. Additionally, WCFs shall be designed to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions.

The WCF designs are consistent with SDMC Section 141.0420(g) and the City's WCF Design Guidelines. The proposed 30-foot tall slim line pole will only be limited to two antennas and mounted directly onto the pole to comply with SDMC Section 141.0420(g)(8). Additionally, the pole and antennas will be painted to appear as a wooden pole to blend in with the existing mature landscaping. The proposed 30-foot tall faux eucalyptus tree will support only eight antennas and consistent with the SDMC Section 141.0420(g)(6), the faux tree will be surrounded by other live eucalyptus trees. The faux tree has been designed to comply with the WCF Design Guidelines with a heavy density branch count, 24-inch branch extension for maximum antenna coverage, and antenna socks design to meet the current industry standards.

The equipment associated with this WCF will continue to operate inside a 476-square foot chain link fence enclosure and is minimally visible from Catalina Boulevard. Due to the location of the equipment surrounded by existing mature landscaping and by the existing water tank, no additional screening was proposed or required. Pursuant to SDMC Section 141.0420(g)(3), enclosures greater than 250 square feet in size require a Neighborhood Development Permit. Furthermore, A Neighborhood Use Permit is required pursuant to SDMC Section 141.0420(d)(2) since the proposed WCF is located more than 100 feet away from 100 feet from the property line of the following primary uses: day cares, elementary and middle schools, single or multi-unit residences.

The combination of the camouflaging techniques, the existing water tank, and the surrounding mature landscaping will help integrate this WCF to comply with the applicable regulations of the Land Development Code. The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2040237, Neighborhood Development Permit No. 2040238, and Neighborhood Use Permit No. 2040239 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. Coastal Development Permit No. 2040237, Neighborhood Development Permit No. 2040238, and Neighborhood Use Permit No. 2040239, a copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: December 13, 2017

IO#: 24006621

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO

**PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

INTERNAL ORDER NUMBER: 24006621

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Coastal Development Permit No. 2040237
Neighborhood Development Permit No. 2040238
Neighborhood Use Permit No. 2040239

VERIZON WIRELESS FORT ROSECRANS PROJECT NO. 483717
HEARING OFFICER

This Coastal Development Permit No. 2040237, Neighborhood Development Permit No. 2040238, and Neighborhood Use Permit No. 2040239 is granted by the Hearing Officer of the City of San Diego to City of San Diego, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0201, 126.0401, 126.0701, 131.0401, and 141.0420. The site is located at 203 Catalina Boulevard in the RS-1-11 zone of the Peninsula Community Plan. The project site is legally described as that portion of Pueblo Lot 102 together with the southerly half of Catalina Street adjoining the northerly line of the property herein described as closed to public use in the City of San Diego, County of San Diego, State of California, according to map thereof made by James Pascoe and filed in the Office of the County Recorder of San Diego County, being more particularly described as follows:

Commencing at the southwest corner of said Pueblo Lot 102, thence running northerly 208.56 feet along the boundary line between said Pueblo Lot 102 and Pueblo Lot 66, thence running at right angles easterly 208.56 feet, thence running at right angles southerly 208.56 feet, thence running at right angles westerly to the point of beginning. Excepting therefrom the westerly 30.00 feet. Also excepting therefrom that portion lying within the United States Military Reservation pursuant to Declaration of Taking recorded 5/17/1943 in Book 1494, page 256 of official records of San Diego County, California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to install a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 13, 2017 on file in the Development Services Department.

The project shall include:

- a.** A WCF consisting of a 30-foot tall faux eucalyptus tree (by SCI) supporting eight antennas with the following dimensions: 72.72" by 7.1" by 11.85". Additionally, the faux tree will also support eight Remote Radio Units (RRUs) and two raycaps; and
- b.** A WCF that consists of a 30-foot tall pole supporting two antennas with the following dimensions: 72" by 13.8" by 8.2". The antennas shall extend no more than 13.5" from the face of the pole to the face of the antennas. Additionally, a total of two RRUs (on an H-Frame) and one raycap shall be placed at the base of the pole. The pole, antennas, mounting apparatus and conduits shall be painted to appear as a wooden pole to the satisfaction of the Development Services Department; and
- c.** Maintain a 476-square-foot chain link fence equipment enclosure; and
- d.** Removal of the existing temporary WCF facility and to restore the impacted area back to its original condition to the satisfaction of the Development Services Department; and
- e.** Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 29, 2020.
- 2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
- 3. This CDP, NDP, and NUP and corresponding use of this site shall expire on December 29, 2027. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
- 4. No later than ninety (90) days prior to the expiration of this approval, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.

5. Under no circumstances does approval of this permit authorize the Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
10. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
11. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
13. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable

processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AIRPORT REQUIREMENTS:

15. Prior to issuance of a building permit, the Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA] to the Development Services Department.

ENGINEERING REQUIREMENTS:

16. The project proposes to export 87 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

19. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

20. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP) to the Development Services Department. The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

21. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020

LANDSCAPE REQUIREMENTS:

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

23. If trees with a trunk width of 4 inches or more (measured by caliper, 4 feet above grade) are removed or significantly trimmed for the installation or operation of the wireless communication facility, then replacement trees of a similar size shall be planted to the satisfaction of the Development Services Department.

24. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with a similar size and species of plant to the satisfaction of the Development Services Department.

PLANNING/DESIGN REQUIREMENTS:

25. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.

26. Photo simulations shall be printed on the construction plans.

27. Antennas mounted on the pole shall be painted and textured to match the pole to the satisfaction of the Development Services Department.

28. All conduits related to this project shall be concealed inside the proposed side and bottom skirts painted to match the surface to which they are attached to the satisfaction of the Development Services Department. Bottom chin covers shall be installed to current and future antennas. Chin covers shall be molded fiberglass to match the exact antenna dimensions and profile to the satisfaction of the Development Services Department. The chin covers shall be painted to match the antennas.

29. No exposed pipes or mounting apparatus absent antennas shall be present at any time. Mounting pipes shall not be longer than the antennas.
30. All bottom-fed conduits from the antennas and Remote Radio Units/Raycaps shall be routed directly into the port-holes at the same height level to avoid any excessive looping. All conduits must be organized and grouped within reason to the satisfaction of the Development Services Department.
31. (Faux Tree) All proposed hand-holes shall be covered with bark material to match the monoecalyptus trunk to the satisfaction of the Development Services Department.
32. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. "Doghouse" cable housings are not permitted.
33. All branches at the antenna level shall extend a minimum of 24 inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department. Antenna socks do not count toward the 24-inch requirement. There must be a sufficient number of branches at the antenna level so that overall tree silhouette has the appearance of a live tree.
34. (Faux Tree) Starting branch height shall be no lower than 11 feet, as illustrated on the stamped, approved Exhibit "A."
35. (Faux Tree) All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
36. (Faux Tree) RF socks fully covering the front and back of the antennas (and any other components) shall be used.
37. (Faux Tree) The applicant shall provide color samples of the monoecalyptus branches and bark prior to Building Permit issuance. This is to ensure that the proposed components integrate with the surrounding landscape. Development Services Department staff will pre-approve the color sample prior to Building Permit issuance. The exact samples shall be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built monoecalyptus.

INFORMATION ONLY:

- A Telecom Inspection is required by the Development Services Department prior to construction permit completion.
- The City of San Diego reserves the right to rescind any approval made under Section 6409(a) or the Spectrum Act should any portion of Section 6409(a) or the Spectrum Act, of the FCC's interpretation thereof, be deemed unconstitutional by a court of law, the FCC or any other competent authority.
- Per SDMC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as

specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.

- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 13, 2017 and [Approved Resolution Number].

Coastal Development Permit No. 2040237
Neighborhood Development Permit No. 2040238
Neighborhood Use Permit No. 2040239
December 13, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CITY OF SAN DIEGO
Owner

By _____
NAME
TITLE

VERIZON WIRELESS
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION*(Check one or both)*

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name: Verizon Fort Rosecrans**Project No. / SCH No.:** 483717**Project Location-Specific:** The project site is located at 203 Catalina Boulevard, San Diego, CA 92106.**Project Location-City/County:** San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Coastal Development Permit (CDP), Neighborhood Development Permit (NDP), and a Neighborhood Use Permit (NUP) to allow for a Wireless Communication Facility (WCF) consisting of eight antennas concealed on a 30-foot-tall faux mono-eucalyptus tree and four antennas mounted on a 30-foot-tall utility pole. The project would also remove existing temporary antennas from utility poles. The equipment associated with this project will continue to operate inside a chain-link fence enclosure. The project site is designated and zoned for residential use in the Peninsula Community Plan area.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Shelly Kilbourn
PlanCom Inc.
302 State Place, Suite 200
Escondido, CA 92029
(619) 208-4685

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
 Declared Emergency (Sec. 21080(b)(3); 15269(a));
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: CEQA Section 15301 (Existing Facilities) and CEQA Section 15303 (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, as explained above in the Project Description section of this notice, is not an expansion of use. The project is also exempt from CEQA pursuant to CEQA Guidelines Section 15303 which addresses the construction and location of limited numbers of new, small facilities or structures and the installation of small new equipment and facilities in small structures. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

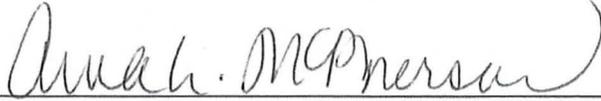
Lead Agency Contact Person: Anna L. McPherson AICP

Telephone: (619) 446-5276

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



/Senior Planner

November 13, 2016

Signature/Title

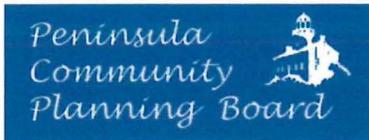
Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:



MINUTES

Meeting Date: March 16, 2017

The regularly scheduled meeting of the Peninsula Community Planning Board was held on March 16, 2017, at the Point Loma/Hervey Branch Library, located at 3701 Voltaire Street, San Diego, California 92106.

The meeting was called to order by Chair Linney at 6:35 PM.

All Board members present, with the exception of Patricia Clark and Paul Webb and Election Subcommittee members Robert Goldyn, Mark Krencik and Laura Miller who were absent staffing the polls during the Board's annual election.

1. Approval of Agenda. M/J Hare, S/D. Dick to approve the agenda as posted and amended to (i) move New/Old Business Item #1 (Parliamentary Item) to the end of the Action Item agenda, (ii) trail until the April meeting Action Item #5 (PCPB invoices and reimbursement) and (iii) remove Action Item #6 (PCPB PRC).
Approved: 9/0/0 (Chair not voting)
Yes: Coons, Dick, Hare, Herrin, Holasek, Lohla, Nystrom, Quinn, Sevrens
No: None
Abstain: None
Absent: Clark, Krencik, Golden, Miller, Webb
2. Approval of Minutes. M/D. Dick, S/J. Lohla to approve the Minutes of the February 16, 2017 meeting as circulated and subsequently revised.
Approved: 7/0/2 (Chair not voting)
Yes: Dick, Hare, Herrin, Holasek, Lohla, Nystrom, Quinn
No: None
Abstain: Coons (not present); Sevrens (unable to review)
Absent: Clark, Krencik, Goldyn, Miller, Webb
3. Secretary's Report. No report.
4. Treasurer's Report. The PCPB bank account has a balance of \$416.09, including a recent donation of \$20 by Don Sevrens.
5. Chair's Report. Chair Linney reported on recent correspondence to the San Diego Metropolitan Transit System requesting that a member of their staff address the Board at a future meeting regarding bus service on the Peninsula.

Peninsula Community Planning Board
 Meeting Minutes
 March 16, 2017
 Page 2

Non-Agenda Public Comment

Name	Subject
Nicole Burgess	City had given a lukewarm response to the request that the NATCO Guidelines be used in connection with future street resurfacing projects.
Liz Manning	Proposed street vacation adjacent to 2323 Locust Street.
Steve Heise	Proposed street vacation adjacent to 660 San Dionico Street.

Government Reports

1. Council District 2. C. Wear not present. No report.
2. Planning Department. T. Kempton not present. No report.
3. San Diego Police Department. Officer Surwilo not present. No report.

New/Old Business

None.

Information Items

1. Affordable Housing Presentation
 Michael Pavco, SVP, San Diego Housing Commission
 Emily Jacobs, VP San Diego Housing Commission
 Wendy Dewitt, Director, San Diego Housing Commission

Presentation summarizing the role and programs of the San Diego Housing Commission in connection with providing affordable and subsidized housing in the City of San Diego.

Action Items

1. Point Loma Summer Concert Series.

Martha Phillips gave a brief presentation on the upcoming Point Loma Summer Concert Series.

M/D. Sevrens, S/J. Holasek to approve letter from the Board to Ms. Phillips supporting the 2017 Point Loma Summer Concert Series.

Approved 10/0/0 (Chair not voting) (M. Krencik had returned from Election Subcommittee duties).

Yes: Coons, Dick, Hare, Herrin, Holasek, Krencik, Lohla, Nystrom, Quinn, Sevrens

No: None

Abstain: None

Absent: Clark, Krencik, Goldyn, Miller, Webb

2. Carleton Mixed Use CDP, SDP & NDP, Project No. 482073, 2930 Carleton Street, Zone CC-4-2 to demolish an existing residence with detached garage and construct a 10,331 square foot, 3-storey mixed use building consisting of 3 residential units over 2 commercial units with below-grade parking on a 0.114 acre site. Applicant Elizabeth Carmichael was present.

M/D. Dick, S/B. Herrin, to adopt the recommendation of the Project Review Subcommittee (PRC) denying the proposed project for the reasons stated in the minutes of the PRC meeting of March 9, 2017.

Approved 10/0/0 (Chair not voting) (M. Krencik had returned from Election Subcommittee duties).

Yes: Coons, Dick, Hare, Herrin, Holasek, Krencik, Lohla, Nystrom, Quinn, Sevrens

No: None

Abstain: None

Absent: Clark, Krencik, Goldyn, Miller, Webb

3. Verizon Fort Rosecrans CDP, NDP & NUP, Project No. 483171, 203 Catalina Blvd., Sone RS-1-11 to install a Wireless Communications Facility consisting of 8 antennae mounted on a 30-foot tall mono-eucalyptus tree and 4 antennae mounted on a 30-foot tall utility pole. Applicant Jill Cleveland was present.

M/D. Sevrens, S/J. Holasek to approve the project as presented.

Peninsula Community Planning Board
Meeting Minutes
March 16, 2017
Page 4

Approved 10/0/0 (Chair not voting) (M. Krencik had returned from Election Subcommittee duties).

Yes: Coons, Dick, Hare, Herrin, Holasek, Krencik, Lohla, Nystrom, Quinn, Sevrens

No: None

Abstain: None

Absent: Clark, Krencik, Goldyn, Miller, Webb

Subcommittees & Liaisons

1. Airport Authority. P. Webb – No present.
2. Traffic and Transportation. P. Nystrom – Double left turn pocket at Chatsworth/Catalina intersection is in the process of being installed.
3. Long Range Planning. J. Hare – February subcommittee meeting focused on prioritization of issues.
4. Parks and Recreation. D. Sevrens – Big flower bloom along Sunset Cliffs Natural Park rivals the bloom in the desert. The proposed aquatics facility at Liberty Station still appears to have some life.
5. Project Review. M. Krencik – 405 San Antonio (Bayfront Townhomes) has been trailed to a future meeting date.
6. Liberty Station. No report.
7. Midway Community Planning Group (Liaison). J. Hare – Reported that Councilmember Lori Zapf and Stacey Spector will make a presentation on homelessness at the next MCPG meeting in April.
8. Code Compliance Subcommittee. J. Quinn – Still waiting for response from City of San Diego Code Compliance on request for training at a future meeting.

The meeting was adjourned by Chair Linney at 9:02 PM.

Minutes prepared and submitted by David Dick.

PHOTOGRAPHIC STUDY AND KEY MAP

VZW Fort Rosecrans

202 Catalina Blvd.
San Diego, CA

Prepared for:

City of San Diego

1222 First Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.

Contractor Representatives for
VZW

302 State Place

Escondido, CA 92029

Contact: Shelly Kilbourn, Land Use Consultant
(619) 208-4685

April 13, 2016



View from the West – Photo 3



View to the West

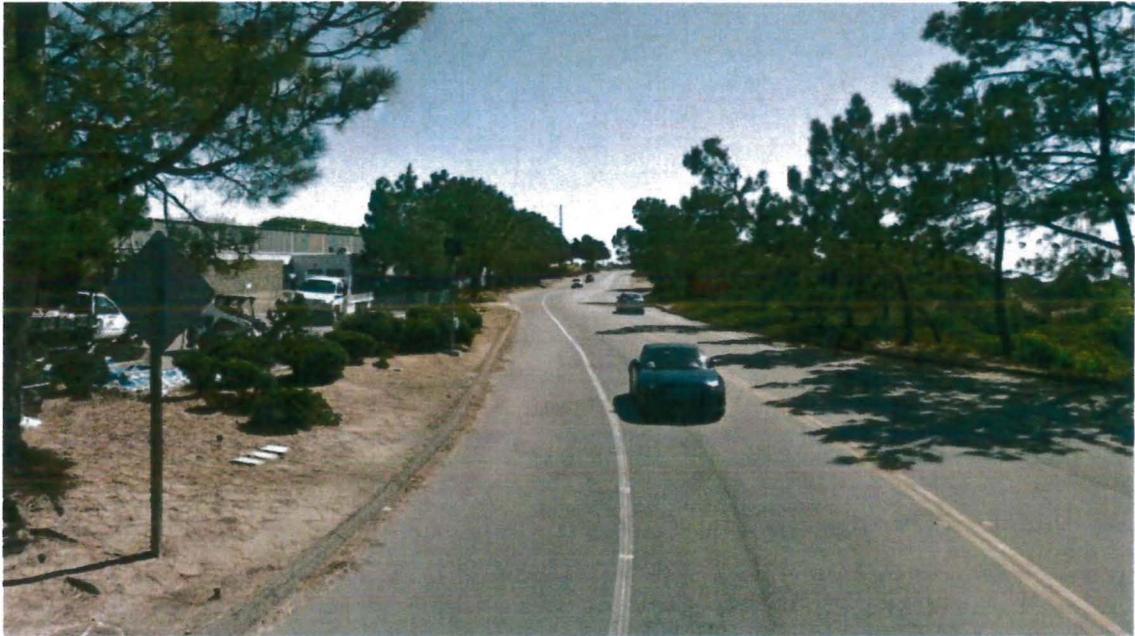


Photo 1 – View from the South

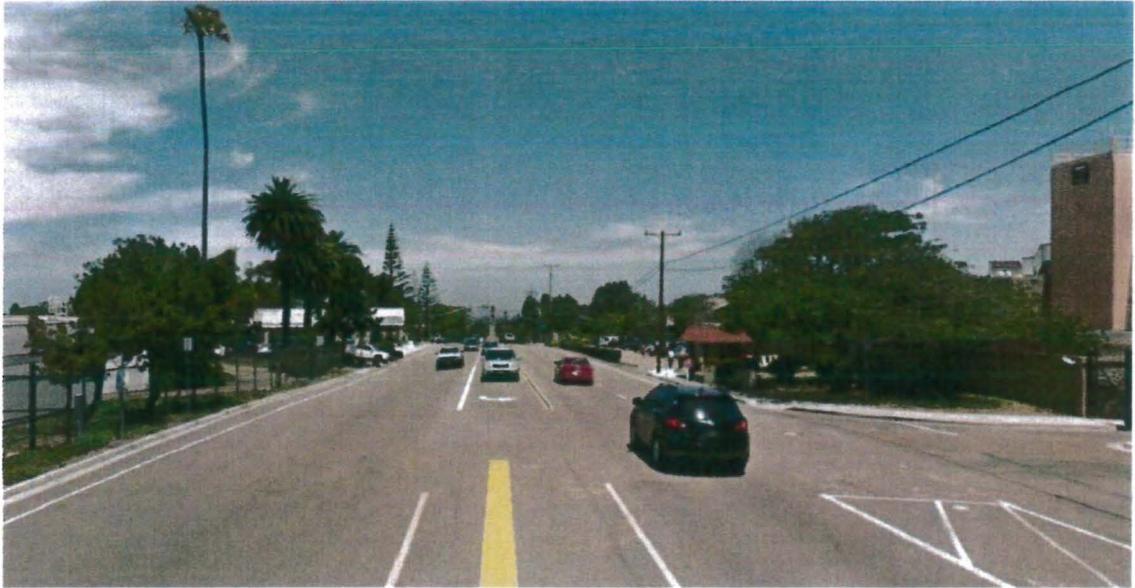


Photo 2 – View from the North

View to the East



View to the South



View to the North



View to the East

Aerial Photo

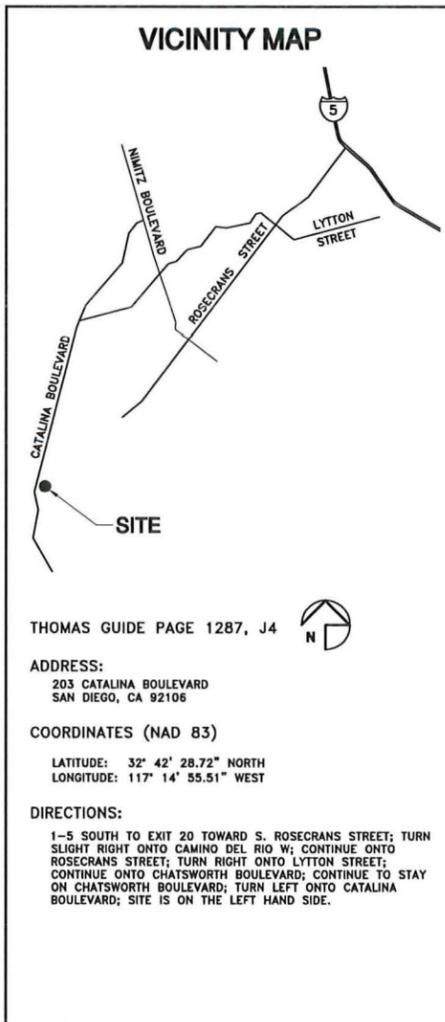




**FORT ROSECRANS
PERMANENT SITE
203 CATALINA BOULEVARD
SAN DIEGO, CA 92106
MTX-40**



PREPARED FOR
verizon
P.O. BOX 19707
IRVINE, CA 92623-9707



SCALE
THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

CONSULTANT TEAM

ARCHITECT:
BOOTH & SUAREZ ARCHITECTURE, INC.
1283 EAST MAIN STREET, SUITE 200
EL CAJON, CA 92021
(619) 749-1305
(619) 749-1391 (FAX)

SURVEYOR:
FLOYD SURVEYING, INC.
26081 VIA REMOLINA
MISSION VIEJO, CA 92691
CONTACT: DAVID FLOYD
(949) 583-9082

LEASING:
PLANCOM, INC.
BRENT HELMING
302 STATE PLACE
ESCONDIDO, CA 92029
(760) 533-6065

PLANNING:
PLANCOM, INC.
SHELLY KILBOURN
302 STATE PLACE
ESCONDIDO, CA 92029
(619) 208-4685

MONO-EUCALYPTUS ENGINEER:
VECTOR ENGINEERS
9138 S. STATE STREET, STE. 101
SANDY, UT 84070
(801) 990-1775

MONO-EUCALYPTUS MANUFACTURER:
SCI
SOLAR COMMUNICATION INTERNATIONAL, INC.
8885 RIO SAN DIEGO DR.
SAN DIEGO, CA 92108
(619) 243-2250

PERMITS REQUIRED

- COASTAL DEVELOPMENT PERMIT
- NEIGHBORHOOD USE PERMIT
- NEIGHBORHOOD DEVELOPMENT PERMIT (PROCESS 3)

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: BRENT HELMING
PHONE: (760) 533-6065

OWNER: CITY OF SAN DIEGO
A CALIFORNIA MUNICIPAL CORPORATION
SAN DIEGO, CA 92101
1200 THIRD AVENUE, SUITE 1700-M551A
CONTACT: ENZA MORENO
PHONE: (619) 236-6052

JURISDICTION: CITY OF SAN DIEGO

PROJECT DESCRIPTION:

- INSTALLATION OF THREE (3) VERIZON ANTENNA SECTORS, FOUR (4) ANTENNAS EACH AT SECTORS 'A' & 'B', TWO (2) ANTENNAS AT SECTOR 'C' (TOTAL OF 10 ANTENNAS). ANTENNAS SHALL BE MOUNTED ON A 30'-0" HIGH FAUX MONO-EUCALYPTUS & 30'-0" UTILITY POLE
- INSTALLATION OF FOUR (4) VERIZON RRUS UNITS EACH AT SECTORS 'A' & 'B', FOUR (4) RRUS UNITS AT SECTOR 'C' (TOTAL OF 12) AND THREE (3) RAYCAP DISTRIBUTION BOXES ON CROSS ARMS OF PROPOSED MONO-EUCALYPTUS & AT BASE OF 30'-0" UTILITY POLE
- INSTALLATION OF THREE (3) VERIZON RAYCAP DISTRIBUTION BOXES ON UTILITY H-FRAME ADJACENT TO VERIZON EQUIPMENT
- RE-ROUTE POWER & TELCO THROUGH UNDERGROUND CONDUITS FROM METER PEDESTAL TO EQUIPMENT ENCLOSURE
- REMOVE EXISTING TEMP ANTENNAS FROM UTILITY POLES. TWO (2) ANTENNAS EACH (TOTAL OF 6 ANTENNAS).
- REMOVE TEMPORARY UTILITY CONDUITS (POWER & TELCO) FROM EXISTING CHAINLINK FENCE
- NO LANDSCAPE OR IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID PUEBLO LOT 102; THENCE RUNNING NORTHERLY 208.56 FEET ALONG THE BOUNDARY LINE BETWEEN SAID PUEBLO LOT 102 AND PUEBLO LOT 66; THENCE RUNNING AT RIGHT ANGLES EASTERLY 208.56 FEET; THENCE RUNNING AT RIGHT ANGLES SOUTHERLY 208.56 FEET; THENCE RUNNING AT RIGHT ANGLES WESTERLY TO THE POINT OF BEGINNING

PROJECT ADDRESS: 203 CATALINA BOULEVARD
SAN DIEGO, CA 92106

ASSESSORS PARCEL NUMBER: 532-400-01

TOTAL SITE AREA: 34,015 SQ. FT.
= 0.78 ACRES

EXISTING ENCLOSURE AREA: 476 SQ. FT.

TYPE OF CONSTRUCTION: TYPE V-B UNSPRINKLERED

EXISTING BUILDING OCCUPANCY & USE:
WATER TANK: U
TWO MAINTENANCE BUILDINGS: B

PROPOSED OCCUPANCY: NONE
OUTDOOR EQUIPMENT AREA

PROJECT LEASE AREA: EQUIPMENT ENCLOSURE: 476 SQ. FT.

EXISTING ZONING: RS-1-11

PERMIT TYPE: COASTAL DEVELOPMENT PERMIT
NEIGHBORHOOD USE PERMIT
NEIGHBORHOOD DEVELOPMENT PERMIT (PROCESS 3)

NOTE:
THERE ARE TWO EXISTING TELECOMMUNICATION FACILITIES ON THE SITE (AT&T & VERIZON)

SHEET SCHEDULE

T-1	TITLE SHEET & PROJECT DATA
A-0	SITE PLAN
A-0.0	SPECIAL INSPECTIONS
A-0.1	GENERAL NOTES & SPECIFICATIONS
A-0.2	CONCRETE SPECIFICATIONS
A-0.3	STORM WATER MANAGEMENT PLAN
A-0.4	STORM WATER MANAGEMENT FORMS (DS 560 & 570)
A-1	ENLARGED SITE PLAN
A-2	EXTERIOR ELEVATIONS
A-3	EXTERIOR ELEVATIONS
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS
E-1	ELECTRICAL SPECIFICATIONS
E-2	UTILITY ROUTE PLAN
E-3	POWER SINGLE LINE DIAGRAM, PANEL SCHEDULE & GROUNDING PLAN
E-4	ELECTRICAL DETAILS
C-1	TOPOGRAPHIC SURVEY

30'-0" MONO-EUCALYPTUS TREE DRAWINGS BY SCI

T-1	TITLE SHEET
S-1	ELEVATION VIEW & NOTES
S-2	DETAILS
S-3	DETAILS
S-4	DETAILS
S-5	PIER FOUNDATION

30'-0" MONOPOLE DRAWINGS BY SCI

T-1	TITLE SHEET
S-1	ELEVATION VIEW & NOTES
S-2	DETAILS
S-3	PIER FOUNDATION

VERIZON PROJECT DATA

PROJECT TYPE: AWS, CELLULAR, LTE, PCS LTE
RFDS: 03252016 OTHRUP

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA BUILDING CODE, TITLE 24, 2016 EDITION
CALIFORNIA PLUMBING CODE, 2016 EDITION
CALIFORNIA MECHANICAL CODE, 2016 EDITION
CALIFORNIA ELECTRICAL CODE, 2016 EDITION
CALIFORNIA FIRE CODE, 2016 EDITION
CALIFORNIA ENERGY CODE, 2016 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**FORT ROSECRANS
PERMANENT SITE**

203 CATALINA BOULEVARD
SAN DIEGO, CA 92106
MTX - 40
SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (ic)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (ss) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (ss) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE

**TITLE SHEET
&
PROJECT DATA**

PROJECTS\VERIZON\12048

T-1

Attachment 10

BASIS OF BEARINGS: (NAD 83; EPOCH 2002)
 THE BEARINGS SHOWN HEREON ARE BASED ON TRUE NORTH AS DETERMINED BY G.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.
BASIS OF ELEVATIONS: NGVD 1929
 ELEVATIONS ARE BASED ON CITY OF SAN DIEGO BENCHMARK LOCATED AT THE BP IN ISLAND NOSE S SIDE OF GARDEN LANE AND CATALINA BOULEVARD.
 ELEVATION IS NGVD 1929 = 309.45'.

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 1283 EAST MAIN STREET SUITE 200
 EL CAJON, CA 92021 (619) 749-1305

PREPARED FOR
verizon
 P.O. BOX 19707
 IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

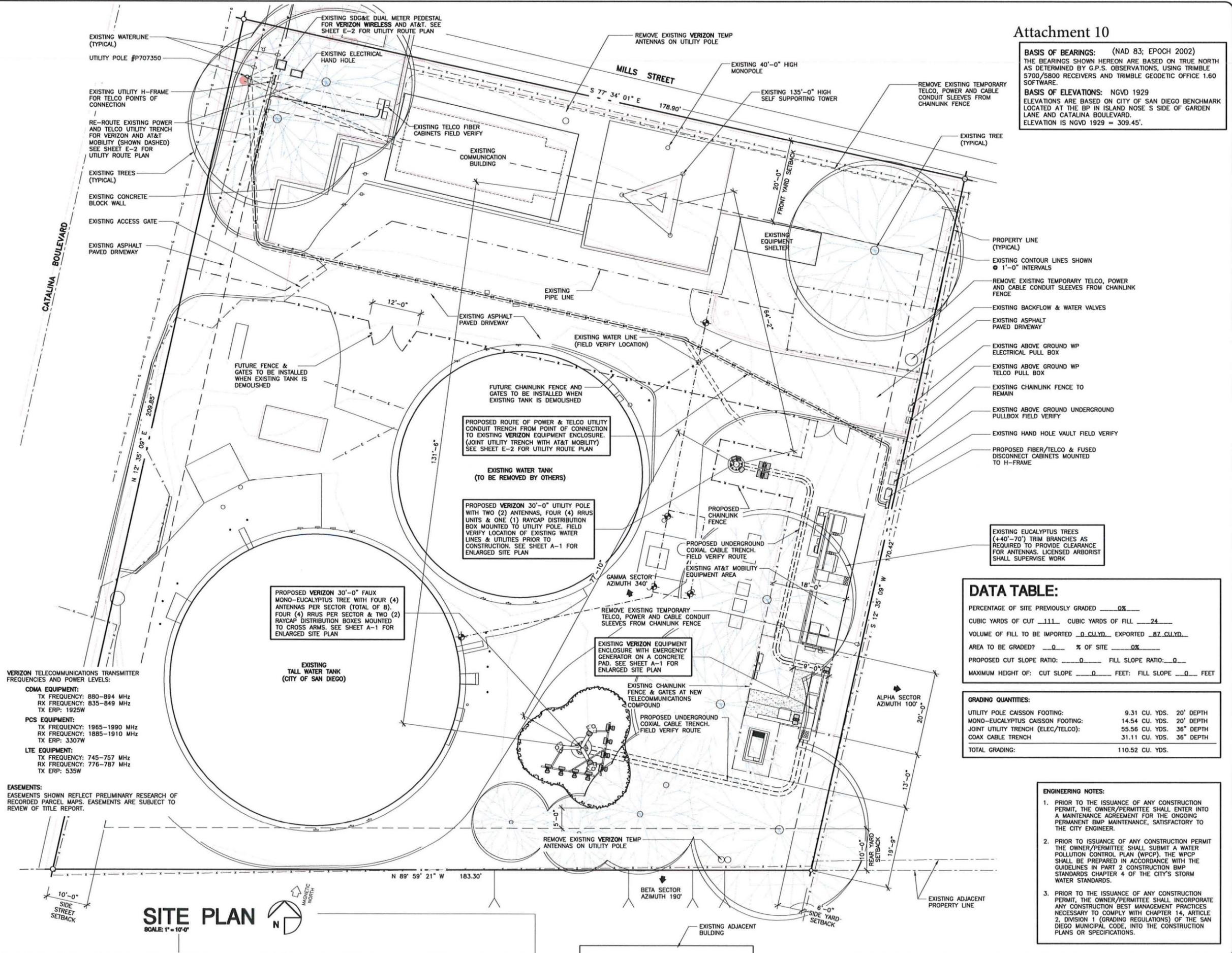
PROJECT NAME
FORT ROSECRANS PERMANENT SITE
 203 CATALINA BOULEVARD
 SAN DIEGO, CA 92106
MTX - 40
 SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (ic)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (se) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (se) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE
SITE PLAN
 PROJECTS\VERIZON\12048

A-0



DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED: 0%

CUBIC YARDS OF CUT: 111 CUBIC YARDS OF FILL: 24

VOLUME OF FILL TO BE IMPORTED: 0 CU.YD. EXPORTED: 87 CU.YD.

AREA TO BE GRADED: 0 % OF SITE: 0%

PROPOSED CUT SLOPE RATIO: 0 FILL SLOPE RATIO: 0

MAXIMUM HEIGHT OF: CUT SLOPE 0 FEET: FILL SLOPE 0 FEET

GRADING QUANTITIES:

UTILITY POLE CAISSON FOOTING:	9.31 CU. YDS. 20' DEPTH
MONO-EUCALYPTUS CAISSON FOOTING:	14.54 CU. YDS. 20' DEPTH
JOINT UTILITY TRENCH (ELEC./TELCO):	55.56 CU. YDS. 36" DEPTH
COAX CABLE TRENCH	31.11 CU. YDS. 36" DEPTH
TOTAL GRADING:	110.52 CU. YDS.

- ENGINEERING NOTES:**
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

VERIZON TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

CDMA EQUIPMENT:
 TX FREQUENCY: 880-894 MHz
 RX FREQUENCY: 835-849 MHz
 TX ERP: 1925W

PCS EQUIPMENT:
 TX FREQUENCY: 1965-1990 MHz
 RX FREQUENCY: 1885-1910 MHz
 TX ERP: 3307W

LTE EQUIPMENT:
 TX FREQUENCY: 745-757 MHz
 RX FREQUENCY: 776-787 MHz
 TX ERP: 535W

EASEMENTS:
 EASEMENTS SHOWN REFLECT PRELIMINARY RESEARCH OF RECORDED PARCEL MAPS. EASEMENTS ARE SUBJECT TO REVIEW OF TITLE REPORT.

SITE PLAN
 SCALE: 1" = 10'-0"



CONCRETE EXPANSION ANCHORS

CONCRETE EXPANSION ANCHORS

1. INSTALLATION: INSTALL EXPANSION ANCHORS IN ACCORDANCE WITH THE REQUIREMENTS GIVEN IN ICC RESEARCH COMMITTEE RECOMMENDATIONS FOR THE SPECIFIC ANCHOR. (ICC ESR-1917) SPECIAL INSPECTION IS REQUIRED.

WHEN INSTALLING DRILLED-IN ANCHORS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. MAINTAIN A MINIMUM CLEARANCE OF ONE-INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN.

2. JOB TESTING: FOR VERIFYING SATISFACTORY INSTALLATION WORKMANSHIP, PERFORM PROOF LOAD TESTS FOR EXPANSION ANCHORS ACTING IN SHEAR AND/OR TENSION IN THE PRESENCE OF THE PROJECT INSPECTOR. SUBMIT REPORT OF TEST RESULTS TO ENFORCEMENT AGENCY. IF ANY ANCHORS FAIL THE TENSION-TESTING REQUIREMENTS, THE ADDITIONAL TESTING REQUIREMENTS SHALL BE ACCEPTABLE TO THE ENFORCEMENT AGENCY.

A. WHEN EXPANSION-TYPE ANCHORS ARE USED FOR SILL PLATE BOLTING APPLICATIONS, 10% OF THE ANCHORS SHALL BE TENSION TESTED.

B. WHEN EXPANSION-TYPE ANCHORS ARE USED FOR OTHER STRUCTURAL APPLICATIONS, ALL SUCH EXPANSION ANCHORS SHALL BE TENSION TESTED. EXPANSION-TYPE ANCHORS SHALL NOT BE USED AS HOLD-DOWN BOLTS.

C. WHEN EXPANSION-TYPE ANCHORS ARE USED FOR NON-STRUCTURAL APPLICATIONS, SUCH AS EQUIPMENT ANCHORAGE, 50% OR ALTERNATE BOLTS IN A GROUP SHALL BE TENSION TESTED.

D. PROOF LOAD TEST THE EXPANSION ANCHORS TO THE TORQUE PROOF LOAD INDICATED FOR THAT PARTICULAR ANCHOR. IF ANY ANCHOR FAILS, THEN TEST ALL ANCHORS NOT PREVIOUSLY TESTED UNTIL (20) CONSECUTIVE PASS, THEN RESUME INITIAL TESTING FREQUENCY.

E. THE PROOF LOAD MAY BE APPLIED BY ANY METHOD THAT WILL EFFECTIVELY MEASURE THE TENSION IN THE ANCHOR, SUCH AS DIRECT PULL WITH A HYDRAULIC JACK, A TORQUE WRENCH CALIBRATED FOR USE WITH A SPECIFIC ANCHOR, CALIBRATED SPRING-LOADED DEVICES, ETC. ANCHORS IN WHICH TORQUE IS USED TO EXPAND THE ANCHOR WITHOUT APPLYING TENSION TO THE BOLT MAY NOT BE VERIFIED WITH A TORQUE WRENCH.

3. CONCRETE ANCHORS: HILTI KB TZ (ICC ESR-1917)

2500 PSI HARDROCK CONCRETE

ANCHOR DIA. (IN)	MINIMUM EMBEDMENT (IN)	MINIMUM TENSION PROOF LOAD (lbs) CARBON STEEL	MINIMUM TENSION PROOF LOAD (lbs) STAINLESS STEEL	MINIMUM TORQUE PROOF LOAD (FT-LB)
3/8	2	1105	1155	25
1/2	2	1490	1490	40
1/2	3 1/4	2420	2530	40
5/8	4	4015	4215	60
3/4	4 3/4	4690	5290	110

SPECIAL INSPECTIONS

REQUIRED SPECIAL INSPECTIONS

Attachment 10

A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK AND ALL FIELD REPORTS FOR WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO FINAL APPROVAL FOR OCCUPANCY

WORK REQUIRING SPECIAL INSPECTION:

- SOILS COMPACTION & FOOTING EXCAVATION REINFORCING
- CAISSON FOUNDATION:
 - OBSERVATION DRILLING OPERATION & MAINTAIN COMPLETE ACCURATE RECORDS OF CAISSON (CONTINUOUS)
 - VERIFY PLACEMENT & PLUMBNESS, CONFIRM CAISSON DIAMETER, LENGTHS & EMBEDMENTS (CONTINUOUS)
 - VERIFY USE OF REQUIRED DESIGN MIX (PERIODIC)
 - CONCRETE TEST SPECIMENS: VERIFY 4000 PSI TYPE II CEMENT (CONTINUOUS)
 - PLACEMENT & INSPECTION OF REINFORCING STEEL (PERIODIC)
 - PLACEMENT OF CONCRETE (CONTINUOUS)
- CONCRETE EXPANSION BOLTS IN CONCRETE: SEE DETAIL: "35/D2", "38/D2", "39/D2" & "40/D2" & NOTES THIS SHEET

SPECIAL INSPECTION NOTES

- THE SPECIAL INSPECTOR MUST BE APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION.
- THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES, FOR TESTING FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND, EQUIPMENTS.
- A PROPERTY OWNER'S FINAL REPORT OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED BY THE PROPERTY OWNER, PROPERTY OWNER'S AGENT OF RECORD, ARCHITECT OF RECORD, OR ENGINEER OF RECORD AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
- AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES FOR APPROVAL PRIOR TO FABRICATION.
- A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
- THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE, IN ADDITION TO, AND NOT A SUBSTITUTE FOR, THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY A CITY'S BUILDING INSPECTOR.
- FABRICATOR MUST BE REGISTERED AND APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES FOR THE FABRICATION OF MEMBERS AND ASSEMBLIES ON THE PREMISES OF THE FABRICATOR'S SHOP
- FABRICATOR SHALL SUBMIT AN "APPLICATION TO PERFORM OFF-SITE FABRICATION" TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO COMMENCEMENT OF FABRICATION

TABLE 1704.4_0910 CALIFORNIA BUILDING CODE
REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION

APPLIES TO THIS PROJECT	VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD	IBC REFERENCE
X	1. Inspection of reinforcing steel, including prestressing tendons, and placement.	—	X	ACI 318: 3.5, 7.1-7.7	1913.4
X	2. Inspection of anchors installed in hardened concrete.	—	X	ACI 318: 3.8.6, 8.1.3, 21.2.8	1912.1
X	3. Verifying use of required design mix.	—	X	ACI 318: Ch. 4, 5.2-5.4	1904.2.2, 1913.2, 1913.3
X	4. At the time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of the concrete.	X	—	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8	1913.10
X	5. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased or where strength design is used.	X	—	ACI 318: 8.1.3, 21.2.8	1911.5, 1912.1
X	6. Inspect formwork for shape, location and dimensions of the concrete member being formed.	—	X		

For SI: 1 inch = 25.4mm.
a. Where applicable, see also Section 1707.1, Special Inspection for seismic resistance.

TABLE 1704.7_0910 CALIFORNIA BUILDING CODE
REQUIRED VERIFICATION AND INSPECTION OF SOILS

APPLIES TO THIS PROJECT	VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
X	1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	—	X
X	2. Verify excavations are extended to proper depth and have reached proper material.	—	X
X	3. Perform classification and testing of compacted fill materials.	—	X
X	4. Verify use of proper materials, densities and lift thickness during placement and compaction of compacted fill.	X	—
X	5. Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly.	—	X



APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
FORT ROSECRANS PERMANENT SITE
203 CATALINA BOULEVARD
SAN DIEGO, CA 92106
MTX - 40
SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (lc)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (se) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (se) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE
SPECIAL INSPECTIONS

PROJECTS\VERIZON\12048

A-0.0

GENERAL NOTES

- THIS FACILITY IS AN (UNMANNED) CELLULAR TELEPHONE EQUIPMENT FACILITY. THE OCCUPANCY CLASSIFICATION IS PUBLIC UTILITY PER P.U.C. DECISION #8606-058.
- THIS FACILITY IS EXEMPT FROM HANDICAP REQUIREMENTS PER TITLE 24, SECTION 2-712. (B) 5. THIS FACILITY IS NON-OCCUPABLE SPACE AND ENTERED ONLY BY SERVICE PERSONNEL. THIS SPACE IS NOT FOR HUMAN OCCUPANCY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO SUBMITTING BIDS, AND PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS AND NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL INSURE ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE CAUSED TO THE UTILITIES DURING THE EXECUTION OF THE WORK.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY AND BY LAW, SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT DRAWINGS TO THE ARCHITECT AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, TOILET FACILITIES AND PEDESTRIAN PROTECTION MEASURES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY/CODES.
- ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST U.B.C. AND ALL OTHER GOVERNING CODES, INCLUDING THE CALIFORNIA ADMINISTRATIVE CODES TITLE 8, 19, AND 24. THE MOST RESTRICTIVE CODE WILL GOVERN.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- WHEN REQUIRED STORAGE OF MATERIALS OCCUR, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
- THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:

NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION O'HARE INTERNATIONAL CENTER 10255 W. HIGGINS ROAD, SUITE 600 ROSEMONT, IL 60018
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION 4201 LAFAYETTE CENTER DRIVE CHANTILLY, VA 20151-1209
IILP	INTERNATIONAL INSTITUTE FOR LATH AND PLASTER 820 TRANSFER ROAD ST. PAUL, MN 55114-1406
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY NOTED TO THE CONTRARY, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL OR U.L. APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
- THE CONTRACTOR IS TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2A10-BC WITHIN 75 FT. OF MAX. TRAVEL DISTANCE FOR EACH 6,000 OR PORTION THEREOF ON EACH FLOOR.
- WHERE SPECIFIED, MATERIAL TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
- BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING AND CONSTRUCTION EFFORT AS MANDATED BY THE GOVERNING AGENCY.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER CEC ARTICLES 250 AND 810.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE ARE TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATION (IF REQUIRED).
- NO PIPES, DUCTS, SLEEVES, CHASES, ETC., SHALL BE PLACED IN SLABS, BEAMS OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC. UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR LOCATIONS.

GENERAL NOTES (CONT'D)

- SUBMITTALS:
 - MANUFACTURER'S DATA: FOR INFORMATION ONLY, SUBMIT COPIES OF MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR EACH SYSTEM COMPONENT REQUIRED. INCLUDE REPORTS AND OTHER DATA AS MAY BE REQUIRED TO SHOW COMPLIANCE WITH THESE SPECIFICATIONS.
 - SHOP DRAWINGS: SUBMIT SHOP DRAWING DETAILS AND DATA OF SYSTEMS SPECIFIED.
- CLEANING AND PROTECTION:
 - CLEAN EXPOSED SURFACES OF FINISHES AND EQUIPMENT AS REQUIRED. COMPLY WITH MANUFACTURER'S INSTRUCTIONS FOR CLEANING AND TOUCH-UP OF MINOR FINISH DAMAGE. REMOVE AND REPLACE WORK WHICH CANNOT BE SUCCESSFULLY CLEANED AND REPAIRED TO PERMANENTLY ELIMINATE EVIDENCE OF DAMAGE.
 - THE INSTALLER SHALL ADVISE THE CONTRACTOR OF REQUIRED PROTECTION FOR ANY FINISHES, INCLUDING TEMPERATURE AND HUMIDITY LIMITATIONS AND DUST CONTROL, SO THAT THE WORK WILL BE WITHOUT DAMAGE AND DETERIORATION AT THE TIME OF ACCEPTANCE BY THE OWNER.

GENERAL REQUIREMENTS

THE FOLLOWING STANDARD VERIZON WIRELESS SPECIAL REQUIREMENTS SHALL BE A PART OF THIS SPECIFICATIONS, BUT NOT INCLUDED IN THE CONSTRUCTION DRAWINGS:

- INSTRUCTIONS TO BIDDERS
- INVITATION FOR BIDS
- BID FORM
- LIST OF SUBCONTRACTORS
- APPLICATION FOR PAYMENT
- CHANGE ORDERS
- SCHEDULE OF VALUES
- LIEN WAIVER
- GENERAL CONDITIONS
- SUPPLEMENTAL GENERAL CONDITIONS
- SPECIAL CONDITIONS

SITE WORK SPECIFICATIONS

- DEMOLITION**
- WORK INCLUDED:
 - DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION AS NECESSARY TO PREPARE FOR NEW CONSTRUCTION.
 - CLEANUP AND DISPOSAL OF RUBBISH, DEBRIS AND SALVAGE.
 - PROTECTION AND BARRICADES TO PROTECT PERSONNEL AND PREMISES.
 - DUST ABATEMENT.
 - GENERAL REQUIREMENTS:
 - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ESTABLISH EXTENT OF WORK UNDER THIS SECTION IN ACCORDANCE WITH PERTINENT PROVISIONS OF THE GENERAL CONDITIONS.
 - THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (USA 1-800-422-4133) 48 HOURS PRIOR TO ANY EXCAVATION.
 - FIELD CONDITIONS:
 - VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS. INSPECT RELATED WORK AND ADJACENT SURFACES AND REPORT TO ARCHITECT ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.
 - VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, EASEMENTS, BUILDINGS, ROADWAY CURB AND GUTTERS, UTILITIES AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. UTILITY INFORMATION INCLUDES STORM DRAIN, SEWER, WATER, ELECTRICAL, GAS, TELEPHONE AND CABLE TV. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER OR ARCHITECT FOR DIRECTION ON HOW TO PROCEED.
 - CODES AND STANDARDS: CONFORM TO THE UNIFORM BUILDING CODES, 1997 EDITION, AND ANY OTHER REFERRED TO CODES AND STANDARDS. IN CASE OF CONFLICT BETWEEN THE ABOVE AND THIS SECTION, THE MORE STRINGENT SHALL GOVERN. COMPLY WITH STATE OF CALIFORNIA, CONSTRUCTION SAFETY ORDERS, LATEST REGISTER (CAL/OSHA).
 - PROVIDE PEDESTRIAN SAFETY BARRIERS AS REQUIRES TO PROTECT THE PUBLIC AT ALL TIMES, I.E. CONES AND SAFETY TAPE FOR AREAS UNDER CONSTRUCTION TO ISOLATE FROM PEDESTRIAN ACCESS. KEEP ALL AREAS OF WORK CLEAN, NEAT AND ORDERLY ON A DAILY BASIS.
 - UTILITIES
 - EXCAVATION IN THE VICINITY OF UTILITIES SHALL BE UNDERTAKEN WITH CARE. ACTIVE UTILITIES SHALL BE PROTECTED BY AND AT EXPENSE OF THE CONTRACTOR. KEEP ANY UTILITIES WHICH ARE TO REMAIN CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
 - DUST AND NOISE ABATEMENT:
 - EXERCISE ALL POSSIBLE PRECAUTIONS TO KEEP NOISE TO A MINIMUM AND TO KEEP DUST FROM CIRCULATING AND CONTAMINATING ADJACENT BUILDING OPERATIONS AND AREAS.
 - PROTECTION AND SAFETY:
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING IMPROVEMENTS, INCLUDING FINISH (EXTERIOR AND INTERIOR) WITH OR OUTSIDE WORKING AREA. REPAIR OR REPLACE EXISTING IMPROVEMENTS DAMAGED DURING WORK OF THIS SECTION WITH MATERIAL OF SAME KIND, QUALITY AND SIZE. MATERIAL OR EQUIPMENT TEMPORARILY REMOVED FOR PROTECTION AND NOT DAMAGED SHALL BE REINSTALLED.
 - SEQUENCE OF WORK:
 - GENERAL INTENT: THE DRAWINGS AND THESE SPECIFICATIONS INDICATE IN GENERAL TERMS THE REQUIREMENTS OF THE WORK TO BE DONE AND THE MANNER IN WHICH THE WORK IS TO BE DONE. THE CONTRACTOR, HOWEVER, MAY ORGANIZE HIS WORK AND SELECT THE SPECIFIC METHODS OF PROCEDURE HE FEELS ARE SUITABLE AND CORRECT FOR THE WORK TO BE DONE, CONSISTENT WITH THE RESULTS REQUIRED AND THE SAFETY OF THE STRUCTURE AND ALL AFFECTED PREMISES AND PERSONS. HE SHALL, HOWEVER, BEFORE COMMENCING WITH ANY SIGNIFICANT PARTS OF THE WORK, MEET WITH THE VERIZON WIRELESS PROJECT MANAGER AND SHALL INFORM THEM OF HIS METHODS, PROCEDURES AND SEQUENCE OF WORK AND HE SHALL COMPLY WITH ANY REASONABLE SUGGESTIONS THEY MAY MAKE IN THE INTEREST OF VERIZON WIRELESS OR THE SAFETY OF THE STRUCTURE.
 - DEMOLITION:
 - CONCRETE CUTTING: CONCRETE CONSTRUCTION INDICATED TO BE CUT, BROKEN AND REMOVED SHALL BE NEATLY CUT USING CONCRETE CUTTING SAWS WITH DIAMOND OR ABRASIVE BLADES, DETERMINE EXTENT OF CUT AND DRILL PILOT HOLES IN CORNERS SUFFICIENTLY LARGE ENOUGH TO PREVENT OVERRUN OF SAW BLADE. SAWCUTS SHALL BE MADE STRAIGHT, EVEN AND DEEP ENOUGH INTO ELEMENT BEING CUT TO ASSURE THAT SUBSEQUENT BREAKING AND REMOVING OF REMAINING SECTION WILL NOT RESULT IN CRACKING, SPALLING OR CHIPPING OF ANY EXPOSED SURFACE OR EDGE. CUT REINFORCING STEEL TO BE REMOVED WITH GAS CUTTING TORCHES, TAKING CARE NOT TO DAMAGE ADJACENT CONSTRUCTIONS.
- SITE CLEARING / EARTHWORK**
- WORK INCLUDED:
 - PROTECTION OF EXISTING EARTH BANKS AND SLOPES, INCLUDING TEMPORARY SHORING.
 - CONTROL OF SURFACE AND GROUND WATER.
 - EXCAVATION FOR ALL FOOTINGS, SLABS, AND OTHER BUILDING AND/OR STRUCTURAL ELEVATIONS.
 - SAND BACKFILL AND COMPACTION OF SAME.

SITE WORK SPECIFICATIONS (CONT'D)

- SUBGRADE PREPARATION FOR ON-GRADE CONCRETE.
- REQUIREMENTS FOR TRENCHING OPERATIONS.
- CLEAN UP AND DISPOSAL.
- SITE CLEARING
- RELATED WORK:
 - TESTING AND INSPECTION OF WORK OF THIS SECTION
- QUALITY ASSURANCE
 - CODES
 - UNIFORM BUILDING CODE LATEST EDITION.
 - STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS (CAL/OSHA) LATEST REGISTER.
 - STANDARDS
 - AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM). SPECIFICATIONS AS INDICATED BY NUMBER HEREIN.
 - TESTS AND INSPECTIONS
 - COMPACTION METHOD SHALL CONFORM TO ASTM D1557-70 SPECIFIED DENSITIES RELATE TO MAXIMUM DRY DENSITIES OBTAINED THEREBY.
 - SOILS TESTING AGENCY SHALL BE NOTIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF EARTHWORK AND SHALL PERFORM AND REPORT THE FOLLOWING PROCEDURES:
 - A VISUALLY APPROVE BACKFILL MATERIAL; PERFORM SUITABILITY TESTS IF REQUIRED.
 - SUPERVISE PLACEMENT OF CONTROLLED BACKFILLS, PERFORM FIELD DENSITY TESTS AS REQUIRED TO VERIFY PROPER COMPACTION DENSITIES.
 - INSPECT AND APPROVE COMPLETED AND PREPARED EXAMINATIONS.
- SITE VISITATION:
 - IN PREPARING HIS PROPOSAL, THE CONTRACTOR IS ASSUMED TO HAVE VISITED THE SITE, CAREFULLY EXAMINED THE DRAWINGS AND SPECIFICATIONS AND DETERMINED TO HIS SATISFACTION THE METHODS OF REMOVAL AND STORAGE OF MATERIALS, THE SEQUENCING OF HIS OPERATIONS AND THE PROBLEMS ATTENDANT THERETO. NO ALLOWANCE WILL BE MADE, SUBSEQUENTLY TO THE CONTRACTOR FOR ANY ERROR THROUGH NEGLIGENCE IN OBSERVING THE SITE CONDITIONS.
- JOB CONDITIONS:
 - PROTECTION: MAINTAIN PROTECTION TO RETAIN EARTH AND TO PROTECT ADJOINING GRADES AND STRUCTURES FROM CAVING, SLIDING, EROSION OR OTHER DAMAGE PROVIDING SUITABLE PROTECTION AGAINST BODILY INJURY, COMPLY WITH ALL LOCAL CODES AND REGULATIONS. ERECT TEMPORARY BARRICADES AS NEEDED FOR SAFETY AND CONSTRUCT TEMPORARY BERMS, DAMS AND DITCHES AS NEEDED TO PREVENT SLOPE AND BANK EROSION. DO NOT ALLOW EXPOSED SOILS TO DRY OUT AND SPRINKLE AS DIRECTED OR REQUIRED.
 - DEWATERING: KEEP THE WHOLE OF THE EXCAVATIONS CONTINUOUSLY FREE FROM WATER AND FLUIDS OF ANY KIND.
- UNDERGROUND PIPES, CONDUITS AND UTILITIES
 - THE CONTRACTOR SHALL NOTIFY VERIZON WIRELESS PROJECT MANAGER AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EARTHWORK. THE CONTRACTOR SHALL NOTIFY A UTILITY LOCATING SERVICE. NO EARTHWORK SHALL BE PERFORMED UNTIL A LOCATING SERVICE IS PRESENT AT THE SITE AND WORK IS AUTHORIZED.
 - OBSERVE APPLICABLE REGULATIONS IN WORK AFFECTING ALL OTHER UNDERGROUND UTILITIES. PROTECT ACTIVE UTILITIES FROM DAMAGE AND REMOVE OR RELOCATE ONLY AS INDICATED OR SPECIFIED. REMOVE AND PLUG OR CAP INACTIVE OR ABANDONED UTILITIES ENCOUNTERED IN EXCAVATING OR GRADING. IN ABSENCE OF SPECIFIC REQUIREMENTS, PLUG OR CAP AT LEAST 5 FEET OUTSIDE BUILDING WALLS.
 - EXCAVATION OR TRENCHING FOR NEW PIPE, CONDUIT OR UTILITY LINES WITHIN FIVE FEET OF BUILDING LINES AND UNDER EXTERIOR WALKS, SLABS, DRIVES OR PAVEMENT IS SUBJECT TO PROVISIONS OF THIS SPECIFICATION WITH RESPECT TO PROTECTION FROM MOISTURE, BACKFILLING AND GRADING.
 - LINES CONTAINING LIQUID: CHECK FOR LEAKS AND CERTIFY CONDITION TO OWNER. RUN SUCH LINES AT LEAST 5 FEET OUTSIDE BUILDING LINES WHEREVER POSSIBLE.
- MATERIALS:
 - BACKFILL MATERIAL: ONLY MATERIALS APPROVED BY THE GEO-TECHNICAL ENGINEER SHALL BE USED FOR ALL BACKFILLING OPERATIONS. BACKFILL MATERIALS SHALL CONSIST OF GRAVEL, SAND AND APPROVED BLENDS OF SAND AND NATURAL MATERIALS.
- EXCAVATION:
 - EXCAVATE FOR FOOTINGS AND OTHER REQUIREMENTS TO DEPTHS INDICATED ON THE DRAWINGS. ELEVATIONS AND DEPTHS OF EXCAVATIONS SHOWN ON THE DRAWINGS SHALL GOVERN AND WILL BE BASIS FOR BIDDING AND EXECUTION OF THE WORK EXCEPT AS OTHERWISE MAY BE DIRECTED BY THE ARCHITECT. GREATER OR LESS QUANTITIES OF EXCAVATION REQUIRED BY AUTHORIZED INSTRUCTIONS SHALL BE ADJUSTED IN ACCORDANCE WITH GENERAL CONDITIONS.
 - EXCEPT WHERE EXTRA EXCAVATION IS ORDERED BY THE ARCHITECT, SHOULD EXCAVATIONS BE MADE TO A GREATER DEPTH OR SIZE THAN INDICATED OR REQUIRED, SUCH ADDITIONAL DEPTH OR SIZE SHALL BE FILLED WITH CONCRETE AS SPECIFIED UNDER SECTION 03300 "CONCRETE" AT THE CONTRACTOR'S EXPENSE.
 - ALL EXCAVATIONS SHALL BE SUFFICIENT SIZE TO PERMIT INSTALLATION AND REMOVAL OF ANY REQUIRED FORMS AND ALL OTHER REQUIRED WORK.
 - SIDES OF FOOTINGS MAY BE FORMED BY NEAT EXCAVATIONS WHERE BANKS WILL STAND WITHOUT CAVING AND THE NEAT TRENCHES ARE CUT 1" WIDER ON EACH SIDE THAN THE FOOTING DIMENSIONS INDICATED ON THE DRAWINGS. IF BANKS CAVE, FORM FOOTINGS AND WIDEN TRENCHES TO PERMIT FORMING, BRACING AND INSPECTION, MINIMUM 1'-0" EACH SIDE.
 - CONTACT THE ARCHITECT FOR INSTRUCTION SHOULD ANY UNSUITABLE SOIL OR ANY OTHER ADVERSE SUBSURFACE CONDITION BE ENCOUNTERED.
 - MACHINE EXCAVATION MAY BE USED DOWN TO ROUGH ELEVATIONS. PERFORM FINAL GRADING AND TRIMMING BY HAND METHODS.
 - TRENCHES: EXCAVATE TRENCHES TO WIDTHS REQUIRED FOR PROPER LAYING OF PIPE WITH BANKS AS NEARLY VERTICAL AS PRACTICAL. BRING BOTTOMS OF TRENCHES TO REQUIRED DEPTHS AND ACCURATELY GRADE TO PROVIDE UNIFORM BEARING ON UNDISTURBED SOIL FOR ENTIRE LENGTH OF EACH SECTION OF PIPE.
- BACKFILLING:
 - AFTER CONCRETE HAS BEEN PLACED AND ALL WORK APPROVED, THE EXCAVATIONS SHALL BE BACKFILLED WITH APPROVED BACKFILL MATERIAL TO INDICATED OR REQUIRED GRADES. ALL RUBBISH AND WOOD SHALL BE REMOVED FROM THE EXCAVATIONS BEFORE PLACING BACKFILL.
 - PLACE BACKFILL IN 6-INCH LOOSE LAYERS, BRING TO OPTIMUM MOISTURE CONTENT AND COMPACT TO 90% OF MAXIMUM DENSITY, SLOPING DOWN AND AWAY FROM BUILDING.
 - THE AMOUNT OF WATER USED SHALL BE RIGIDLY CONTROLLED TO INSURE OPTIMUM MOISTURE CONDITIONS FOR THE TYPE OF FINAL MATERIAL USED. EXCESSIVE AMOUNTS OF WATER CAUSING SATURATION OF EARTH WILL NOT BE PERMITTED. COMPACTION BY FLOODING OR JETTING IS PROHIBITED.
- SUBGRADE PREPARATION FOR CEMENT:
 - PREPARE SUBGRADE FOR CONCRETE CASE ON EACH BY CUTTING, FILLING AND COMPACTION AS REQUIRED AND SPECIFIED HEREIN AND BRING TO OPTIMUM MOISTURE CONTENT. FINISH SUBGRADE WITHIN A 3/8" TOLERANCE WHEN TESTED WITH A 10 FT. STRAIGHTEDGE IN ANY DIRECTION AND LOCATION. COMPACT TO THE DENSITY SPECIFIED FOR FILL AND MAINTAIN CONTENT UNTIL CONCRETE IS PLACED.
- DISPOSAL AND CLEAN UP
 - BURNING COMBUSTIBLE RUBBISH ON SITE IS PROHIBITED.
 - RUBBISH, DEBRIS AND ROCKS SHALL BE HAULED AWAY FROM THE SITE PROMPTLY AND LEGALLY DISPOSED OF.
 - EXCESS EARTH RESULTING FROM CUTTING AND EXCAVATION SHALL BE LEGALLY DISPOSED OF OFF THE SITE.
 - DUST AND NOISE ABATEMENT: DURING ENTIRE PERIOD OF CONSTRUCTION AND DURING LOADING, KEEP AREA AND MATERIAL BEING LOADED SPRINKLED TO REDUCE DUST IN AIR AND ANNOYANCE TO PREMISES AND NEIGHBORHOOD. EXERCISE ALL RESPONSIBLE MEANS TO ABATE UNDUE NOISE.
 - CLEAN UP SITE, REMOVE ALL DEBRIS AND LEAVE PREMISES IN CLEAN AND ORDERLY CONDITION.

SEALANT SPECIFICATIONS

- WORK INCLUDED:
 - THIS SPECIFICATION IS INTENDED TO BE GENERAL IN ITS SCOPE AS TO WHERE CAULKING OR SEALANT IS TO BE INSTALLED THE CONTRACTOR SHALL CHECK ALL DRAWINGS AND DETAILS AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE EXTENT OF THE CAULKING OR SEALING INVOLVED. ONLY A COMPLETE AND ABSOLUTELY WATERTIGHT JOB WILL BE ACCEPTED.
- GUARANTEE:
 - PROVIDE GUARANTEE, IN FORM REQUIRED BY GENERAL CONDITIONS, FOR PERIOD OF TWO (2) YEARS.
 - DEFECTIVE WORK WILL BE JUDGED A FAILURE DUE TO LEAKAGE, HARDENING, CRACKING, CRUMBLING, MELTING, SHRINKAGE OR RUNNING OF CAULKING COMPOUND OR SEALANT OR STAINING OF ANY ADJACENT WORK.
- SEALANT:
 - ONE PART, ELASTOMERIC-TYPE COMPOUND CONFORMING TO ESTI-S-00230C, TYPE II CLASS A. THE COMPOUND SHALL BE SUPPLIED IN A READY TO USE FORM WHICH REQUIRES NO ON THE JOB MIXING. USE FOR ALL EXTERIOR WORK EXCEPT AREAS SUBJECT TO FOOT TRAFFIC.
 - NON-TRACKING SEALANT FOR AREAS SUBJECT TO FOOT TRAFFIC (INTERIOR OR EXTERIOR), TWO COMPONENT POLYURETHANE SEALANT, AS MANUFACTURED BY NEMCO INTERNATIONAL (VULKEM 245); SONNEBORN AND SONS (SONOCLASTIC, PAVING JOINT SEALANT); W.R. GRACE CO. (DARASEAL - U TRAFFIC GRADE); OR EQUAL.

FINISH SPECIFICATIONS

- MATERIALS
 - USE FACTORY-MIXED PAINTS, ENAMELS, STAINS, VARNISH, LACQUER, FILLER, THINNER, AND ALL SIMILAR "PAINT" PRODUCTS. LABEL FOR TYPE, COLOR AND MANUFACTURER. DELIVER IN ORIGINAL FACTORY CONTAINERS. USE PRODUCTS FOLLOWING AS LISTED IN "PAINTING SCHEDULE".
 - AMERTONE PAINT CORP.
 - DUNN-EDWARDS CORP.
 - PPG INDUSTRIES
 - SINCLAIR PAINT COMPANY
 - PAINT THINNER: EXACT TYPE RECOMMENDED BY MANUFACTURER OF MATERIAL TO BE THINNED.
- PAINT FINISH SCHEDULE
 - IN ORDER TO ESTABLISH THE STANDARDS OF DURABILITY AND APPEARANCE REQUIRED OF THE PAINTER'S FINISHES, THE COATINGS ITEMIZED IN THE PAINT FINISH SCHEDULE HAVE BEEN SELECTED FROM THE CURRENT CATALOGS OF THE DUNN-EDWARDS PAINT COMPANY.
- PAINTING SCHEDULE
 - EXTERIOR METAL (FERROUS - SHOP PRIMED)
 - FIRST COAT BLOC-RUST (43-4)
 - SECOND COAT COMPO (42-1)
 - THIRD COAT SYN-LUSTRO (10)
 - SHOP PRIMED STEEL NEEDS TO BE COMPLETELY REPRIMED BEFORE APPLYING TOPCOATS.
 - EXTERIOR METAL (FERROUS - GALVANIZED)
 - PRE-TREATMENT GALVA-ETCH (GE 123)
 - FIRST COAT GALV-ALUM (00 43-7)
 - SECOND COAT COMPO (42-1)
 - THIRD COAT SYN-LUSTRO (9)
 - INTERIOR METAL (FERROUS - SHOP PRIMED)
 - FIRST COAT CORROBAR (43-5)
 - SECOND COAT SUPPER (1-165 (E22-1)
 - THIRD COAT SYN-LUSTRO (9)

Booth & Suarez
 ARCHITECTURE INCORPORATED
 1283 EAST MAIN STREET SUITE 200
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PREPARED FOR
verizon
 P.O. BOX 19707
 IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
FORT ROSECRANS PERMANENT SITE
 203 CATALINA BOULEVARD
 SAN DIEGO, CA 92106
MTX - 40
 SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (lc)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (sa) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (sa) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (sb)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE
GENERAL NOTES & SPECIFICATIONS

PROJECTS\VERIZON\12048

A-0.1

CONCRETE EXPANSION ANCHORS

CONCRETE EXPANSION ANCHORS

1. INSTALLATION: INSTALL EXPANSION ANCHORS IN ACCORDANCE WITH THE REQUIREMENTS GIVEN IN ICC RESEARCH COMMITTEE RECOMMENDATIONS FOR THE SPECIFIC ANCHOR. SPECIAL INSPECTION IS REQUIRED.

WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. MAINTAIN A MINIMUM CLEARANCE OF ONE-INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN.

2. JOB TESTING: FOR VERIFYING SATISFACTORY INSTALLATION WORKMANSHIP, PERFORM PROOF LOAD TESTS FOR EXPANSION ANCHORS ACTING IN SHEAR AND/OR TENSION IN THE PRESENCE OF THE PROJECT INSPECTOR. SUBMIT REPORT OF TEST RESULTS TO ENFORCEMENT AGENCY. IF ANY ANCHORS FAIL THE TENSION-TESTING REQUIREMENTS, THE ADDITIONAL TESTING REQUIREMENTS SHALL BE ACCEPTABLE TO THE ENFORCEMENT AGENCY.

A. WHEN EXPANSION-TYPE ANCHORS ARE USED FOR SILL PLATE BOLTING APPLICATIONS, 10% OF THE ANCHORS SHALL BE TENSION TESTED.

B. WHEN EXPANSION-TYPE ANCHORS ARE USED FOR OTHER STRUCTURAL APPLICATIONS, ALL SUCH EXPANSION ANCHORS SHALL BE TENSION TESTED. EXPANSION-TYPE ANCHORS SHALL NOT BE USED AS HOLD-DOWN BOLTS.

C. WHEN EXPANSION-TYPE ANCHORS ARE USED FOR NON-STRUCTURAL APPLICATIONS, SUCH AS EQUIPMENT ANCHORAGE, 50% OR ALTERNATE BOLTS IN A GROUP SHALL BE TENSION TESTED.

D. PROOF LOAD TEST THE EXPANSION ANCHORS TO THE TORQUE PROOF LOAD INDICATED FOR THAT PARTICULAR ANCHOR. IF ANY ANCHOR FAILS, THEN TEST ALL ANCHORS NOT PREVIOUSLY TESTED UNTIL (20) CONSECUTIVE PASS, THEN RESUME INITIAL TESTING FREQUENCY.

E. THE PROOF LOAD MAY BE APPLIED BY ANY METHOD THAT WILL EFFECTIVELY MEASURE THE TENSION IN THE ANCHOR, SUCH AS DIRECT PULL WITH A HYDRAULIC JACK, A TORQUE WRENCH CALIBRATED FOR USE WITH A SPECIFIC ANCHOR, CALIBRATED SPRING-LOADED DEVICES, ETC. ANCHORS IN WHICH TORQUE IS USED TO EXPAND THE ANCHOR WITHOUT APPLYING TENSION TO THE BOLT MAY NOT BE VERIFIED WITH A TORQUE WRENCH.

3. CONCRETE ANCHORS: HILTI KB TZ (ICC ESR-1917)

2500 PSI HARDROCK CONCRETE

ANCHOR DIA. (IN)	MINIMUM EMBEDMENT (IN)	MINIMUM TENSION PROOF LOAD (lbs) CARBON STEEL	MINIMUM TENSION PROOF LOAD (lbs) STAINLESS STEEL	MINIMUM TORQUE PROOF LOAD (FT-LB)
1/2	3 1/4	2420	2530	40

4. ANCHOR DIAMETER REFERS TO THE THREAD SIZE FOR THE WEDGE CATEGORIES AND TO THE ANCHOR OUTSIDE DIAMETER FOR THE SLEEVE CATEGORY.

5. APPLY PROOF TEST LOADS TO WEDGE ANCHORS WITHOUT REMOVING THE NUT IF POSSIBLE. IF NOT, REMOVE NUT AND INSTALL A THREADED COUPLER TO THE SAME TIGHTNESS AS THE ORIGINAL NUT USING A TORQUE WRENCH AND APPLY LOAD.

6. REACTION LOADS FROM TEST FIXTURES MAY BE APPLIED CLOSE TO THE ANCHOR BEING TESTED, PROVIDED THE ANCHOR IS NOT RESTRAINED FROM WITHDRAWING BY THE FIXTURE(S)

7. TEST EQUIPMENT (INCLUDING TORQUE WRENCHES) IS TO BE CALIBRATED BY AN APPROVED TESTING LABORATORY IN ACCORDANCE WITH STANDARD RECOGNIZED PROCEDURES.

8. THE FOLLOWING CRITERIA APPLY FOR THE ACCEPTANCE OF INSTALLED ANCHORS:

HYDRAULIC RAM METHOD:

THE ANCHOR SHOULD HAVE NO OBSERVABLE MOVEMENT AT THE APPLICABLE TEST LOAD. FOR WEDGE AND SLEEVE TYPE ANCHORS, A PRACTICAL WAY TO DETERMINE OBSERVABLE MOVEMENT IS THAT THE WASHER UNDER THE NUT BECOMES LOOSE.

TORQUE WRENCH METHOD:

THE APPLICABLE TEST TORQUE MUST BE REACHED WITHIN THE FOLLOWING LIMITS; WEDGE OR SLEEVE TYPE:
ONE-HALF (1/2) TURN OF THE UNIT
ONE-QUARTER (1/4) TURN OF THE NUT FOR THE 3/8" SLEEVE ANCHOR ONLY

9. TESTING SHOULD OCCUR A MINIMUM OF 24 HOURS AFTER INSTALLATION OF THE SUBJECT ANCHOR.

10. IF THE MANUFACTURE'S RECOMMENDED INSTALLATION TORQUE IS LESS THAN THE TEST TORQUE NOTED IN THE TABLE, THE MANUFACTURER'S RECOMMENDED INSTALLATION TORQUE SHOULD BE USED IN LIEU OF THE TABULATED VALUES.

11. ALL TESTS SHALL BE PERFORMED IN THE PRESENCE OF THE SPECIAL INSPECTOR.

STRUCTURAL CONCRETE SPECIFICATIONS

A. GENERAL

1. PRECEDENCE: UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE.

A. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.

B. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.

C. MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.

2. OTHER TRADES: SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN.

3. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.

4. SHORING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.

5. SAFETY: THESE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.

6. WATERPROOFING: WATERPROOFING AND DRAINAGE DETAILS AND SPECIFICATIONS, ALTHOUGH SOMETIMES SHOWN ON STRUCTURAL DRAWING ARE OF GENERAL INFORMATION PURPOSES ONLY. WATERPROOFING AND DRAINAGE ARE SOLELY THE DESIGN RESPONSIBILITY OF THE ARCHITECT.

B. CONCRETE

1. STRENGTH: CONCRETE FOR THE PROJECT SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:

LOCATION	STRENGTH	WEIGHT	SUMP	ADMIXTURE
A. MONO-EUC. CAISSON	4000 PSI	290 PCF	4"	NONE

SITE SOILS ARE ASSUMED TO BE SULFATE CONTAINING SOILS WITH "SEVERE SULFATE" PER TABLE 4.3.1 OF ACI 311-05

2. DETAIL, PREPARE, FORM, CURE AND PLACE CONCRETE IN ACCORDANCE WITH ACI 315, ACI 318, ACI DETAILING MANUAL AS SPECIFIED CHAMFER: 1 INCH ON EXPOSED CORNERS U.N.O.

3. REBAR GRADES: REINFORCING STEEL SHALL BE CLEAN PREFORMED BARS CONFORMING AS FOLLOW:

NON-WELDED REINFORCING..... ASTM A615, GRADE 60
WELDED REINFORCING..... ASTM A706, GRADE 60

4. CEMENT: FOUNDATIONS & SLABS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
PIER / CAISSON FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150

5. AGGREGATE: FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C-33. FOR LIGHT WEIGHT CONCRETE SHALL CONFORM TO ASTM C-330. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:
A. FOUNDATIONS & SLABS 9" OR LESS: 3/4" GRAVEL
B. PIER / CAISSON FOOTING: 1" GRAVEL

6. WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION. MAXIMUM WATER/CEMENT RATIO SHALL NOT EXCEED 0.45

7. MIXING: PREPARATION OF CONCRETE SHALL CONFORM TO ASTM C-94. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY A TESTING AGENCY.

8. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE FLOPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, CAISSON, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES, TRUNKS OR PUMP HOSE SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FEET.

9. SPLICES OF REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 DIAMETERS AND SECURELY WIRED TOGETHER. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE.

10. REAR CLEARANCE: MINIMUM COVERAGE FOR JOISTS, BEAMS, GIRDERS AND COLUMNS SHALL BE TO FACE OF STIRRUPS OR TIES. UNLESS OTHERWISE NOTED, CONCRETE COVERAGE FOR REINFORCING BARS TO FACE OF BAR SHALL BE AS FOLLOW:

A. CAST-IN PLACE CONCRETE
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"

B. CONCRETE EXPOSED TO EARTH OR WEATHER
#5 BAR AND #6 THROUGH #18 BAR.....2"
#4 AND SMALLER.....1 1/2"

C. CONCRETE NOT EXPOSED TO EARTH OR WEATHER
SLAB, WALL, JOISTS:
#14 THROUGH #18 BAR.....1 1/2"
#11 BAR AND SMALLER.....3/4"

BEAMS, COLUMNS
PRIMARY REINFORCEMENT,
TIES, STIRRUPS, SPIRALS.....1 1/2"

11. PENETRATIONS: NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATIONS OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE SLEEVES. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.

12. EMBEDDED ITEMS: CONDUIT PLACED IN A CONCRETE SLAB SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/4 THE THICKNESS OF THE SLAB. CONDUIT SHALL NOT BE EMBEDDED IN A SLAB THAT IS LESS THAN 3-1/2" THICK, UNLESS SLAB IS LOCALLY THICKENED. MINIMUM CLEAR DISTANCE BETWEEN CONDUITS SHALL BE SIX INCHES.

13. ANCHORING: ALL ANCHOR BOLTS, REINFORCING STEEL, DOWELS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.

B. CONCRETE CONT.

15. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUNDS USED ON CONCRETE WHERE TILE OR FLOOR COVERING IS TO BE BONDED TO THE CONCRETE SURFACE SHALL BE APPROVED BY THE TILE OR FLOOR COVERING MANUFACTURER. KEEP SLAB WET FOR A 7 DAY MINIMUM PERIOD.

16. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.

17. ALL WELDED WIRE MESH SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED 12" MINIMUM.

18. LAP SPLICES SHALL BE AS FOLLOWS:
CONCRETE:.....CLASS B AS DEFINED IN ACI-318
MASONRY:.....48 BARS DIAMETER OR 18" MINIMUM U.O.N.

19. DETAILING, BENDING AND PLACEMENT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE" LATEST EDITION.

20. SEE DETAILS FOR GENERAL BEND AND LAP SPlice INFORMATION.

21. ALL BARS SHALL BE CLEAN SO THAT PROPER BOND IS DEVELOPED.

22. ALL BARS AND EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE PRIOR TO CONCRETE PLACEMENT

23. WELDING OF REINFORCING STEEL SHALL CONFORM TO ANSI/AWS D1.4.

24. CONTRACTOR NOTE:
THE CONTRACTOR SHALL PROVIDE A 500 LB. REINFORCEMENT CONTINGENCY FOR PLACEMENT AS DIRECTED BY THE ENGINEER UPON STRUCTURAL FIELD OBSERVATION. ANY UNUSED PORTION OF THE CONTINGENCY SHALL BE CREDITED BACK TO THE OWNER.

25. READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-94.

26. ADMIXTURES CONTAINING CHLORIDE SALTS ARE NOT ALLOWED.

27. WORKMANSHIP SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

28. NON-SHRINK GROUT SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS PER ASTM C-1019. GROUTING OF BASE PLATES SHALL BE DONE ONLY AFTER COLUMNS ARE PLUMBED.

Booth & Suarez
ARCHITECTURE ■ INCORPORATED
1283 EAST MAIN STREET SUITE 200
EL CAJON, CA 92021 (619) 749-1305



PREPARED FOR

verizon

P.O. BOX 19707
IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**FORT ROSECRANS
PERMANENT SITE**

203 CATALINA BOULEVARD
SAN DIEGO, CA 92106

MTX - 40

SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (lc)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (sa) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (sa) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVISION 1 (job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE

**CONCRETE
SPECIFICATIONS**

PROJECTS\VERIZON\12048

A-0.2

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**FORT ROSECRANS
PERMANENT SITE**

203 CATALINA BOULEVARD
SAN DIEGO, CA 92106
MTX - 40
SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (ic)
07/08/16	REVISED ZD #7 (sv)
	(PLANNING COMMENTS)
	(NEW RFDS)
08/24/16	REVISED ZD #8 (ss)
	(PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (ss)
	(TOPOGRAPHIC SURVEY)
04/10/17	90X CD REVIEW (Job)
05/24/17	90X CD REVISION 1 (pl)

SHEET TITLE

**STORM WATER
MANAGEMENT FORMS
(DS 560 & DS 570)**

PROJECTS\VERIZON\12048

A-0.4

City of San Diego Development Services 1222 First Ave., MS-202 San Diego, CA 92101 (619) 445-5000

Storm Water Requirements Applicability Checklist FORM DS-560 February 2016

Project Address: _____ Project Number (for City Use Only): _____

SECTION 1. Construction Storm Water BMP Requirements
All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Water Resources Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)
 Yes; SWPPP required, skip questions 2-4 No; next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity that results in ground disturbance and contact with storm water runoff?
 Yes; WPCP required, skip 2-4 No; next question
- Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
 Yes; WPCP required, skip 4 No; next question
- Does the project only include the following Permit types listed below?
• Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit
• Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
• Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalks and driveway apron replacement, post boring, curb and gutter replacement, and retaining wall encroachments.
 Yes; no document required
 If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B
 If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.
 If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/development-services
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (02-16)

Page 2 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist

PART B: Determine Construction Site Priority
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continue to Section 2

- ASBS
a. Projects located in the ASBS watershed.
- High Priority
a. Projects 1 acre or more determined to be Risk Level 2 or Risk Level 3 per the Construction General Permit and not located in the ASBS watershed.
b. Projects 1 acre or more determined to be LUP Type 2 or LUP Type 3 per the Construction General Permit and not located in the ASBS watershed.
- Medium Priority
a. Projects 1 acre or more but not subject to an ASBS or high priority designation.
b. Projects determined to be Risk Level 1 or LUP Type 1 per the Construction General Permit and not located in the ASBS watershed.
- Low Priority
a. Projects requiring a Water Pollution Control Plan but not subject to ASBS, high, or medium priority designation.

SECTION 2. Permanent Storm Water BMP Requirements.
Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements.
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements."

If "no" is checked for all of the numbers in Part C continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water? Yes No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces? Yes No
- Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair). Yes No

City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist Page 3 of 4

PART D: PDP Exempt Requirements.
PDP Exempt projects are required to implement site design and source control BMPs. If "yes" was checked for any questions in Part D, continue to Part E and check the box labeled "PDP Exempt."
If "no" was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
 - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards Manual? Yes; PDP exempt requirements apply No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?
 Yes; PDP exempt requirements apply No; project not exempt. PDP requirements apply

PART E: Determine if Project is a Priority Development Project (PDP).
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F.
If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project."

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. Yes No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. Yes No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. Yes No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). Yes No

Page 4 of 4 City of San Diego • Development Services Department • Storm Water Requirements Applicability Checklist

- New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 3,000 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). Yes No
- New development or redevelopment projects of a retail gasoline outlet (RGO) that creates and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 6,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. Yes No
- New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surface. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 8541, 7822-7834, or 7836-7839. Yes No
- Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sq ft of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they abut flow to surrounding pervious surface. Yes No

PART F: Select the appropriate category based on the outcomes of PART C through PART E.

- The project is NOT SUBJECT TO STORM WATER REQUIREMENTS.
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydro modification plan management.

Name of Owner or Agent (Please Print): _____ Title: _____
Signature: *Kenneth K. Ringer* Date: *05/18/16*

City of San Diego Development Services 1222 First Ave., MS-202 San Diego, CA 92101 (619) 445-5000

"Minor" Water Pollution Control Plan (MWPCP) FORM DS-570 October 2012

MWPCP REQUIREMENTS
The City requires a Water Pollution Control Plan (WPCP), a Minor Water Pollution Control Plan (MWPCP) or a Storm Water Pollution Prevention Plan (SWPPP), for all construction projects that have potential for storm water pollution. Some construction project types, such as interior plumbing, electrical and mechanical work, may be considered exempt. The appropriate plan is determined by the following guidelines:

- Any project subject to the Construction General Permit (CGP) (typically projects with 1 acre or more of ground disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (Permit which requires a SWPPP) is not required for the project, see below.
- The following approval types (see Form DS-3032) require a WPCP: Grading, Public Right-of-Way, and Demolition/Removal. Exceptions may be made allowing use of this MWPCP for minor work.
- The following approval types (see Form DS-3032) require a WPCP whenever a submission for Drainage and Grades review is required. Exceptions may be made allowing use of this MWPCP for minor work.
- This MWPCP may be utilized for projects that create less than 5,000sf of ground disturbance and have less than a 5ft elevation differential over the entire project area.

NOTE: It is the responsibility of the project owner to ensure that all construction activities comply with local and state regulations, including San Diego Municipal Code Sec. 43.03. The guidance and template provided here is for the applicant's convenience and do not alleviate responsibility on part of the project owner to determine the appropriate level of BMP planning and implementation to prevent pollutant discharges.

STEP 1. IDENTIFY RELEVANT PROJECT INFORMATION

Applicant Name: Verizon Wireless Contact Name: Ken Ringer Project Number: 483717
Mailing Address: 325 Carlsbad Village Dr., Suite D2 City: Carlsbad State: CA Zip Code: 92008
Telephone No.: (760) 434-8474 E-mail Address: ringer@boothsuarez.com
Project Information: Address: 203 Catalina Blvd City: San Diego State: CA Zip Code: 92106
AFN: 532-400-01 Permit Application Number: _____

Brief Project Description:
Installation of 12 total antennas on new 30'-0" high faux eucalyptus & new 30'-0" high utility pole with ancillary equipment, and construct 2 coax cable trenches and 1 power/telco trench.

Improvements (overall square footage): 33 S.F. Estimate Project Start Date: _____ Estimate Project Finish Date: _____
Total Lot Size in Acre: 34.015 ac Estimated Amount of Disturbed Differential Acreage: 813 S.F. Estimate Elevation over entire Project Area: _____

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-570 (10-12)

Page 2 of 2 City of San Diego • Development Services Department • "Minor" Water Pollution Control Plan (MWPCP)

STEP 2: IDENTIFY CONSTRUCTION STORM WATER BMPs
Unprotected construction sites have the potential to discharge sediment and other pollutants into local waterways. All construction projects are required to reduce pollution to the maximum extent practicable by implementing best management practices (BMPs). Section 5 of the Storm Water Standards Manual outline the requirements for Construction Stormwater BMPs. There are five categories:

- Erosion control practices
- Velocity reduction
- Sediment control practices
- Offsite sediment tracking control
- General site and materials management

BMPs from each of the five categories must be used together as a system in order to prevent potential discharges.

If you answer "Yes" to any of the questions below, your project is subject to Table 1 on the following page (Minimum Required Standard Construction Stormwater BMPs). As noted in the table, please select at least the minimum number of required BMPs, or as many as are feasible for your project. If no BMP is selected, an explanation must be given in the box provided. The following questions are intended to aid in determining construction BMP requirements for your project, please check box either "Yes" or "No."

- Will there be soil disturbing activities that will result in exposed soil areas? (This includes minor grading and trenching).
Reference Table 1 items A Yes No
- Will there be asphalt paving, including patching?
Reference Table 1 items C and E Yes No
- Will there be slurries from mortar mixing, coring, or concrete saw cutting?
Reference Table 1 items C and E Yes No
- Will there be solid wastes from concrete demolition and removal, wall construction, or form work?
Reference Table 1 items C and E Yes No
- Will there be stockpiling (soil, compost, asphalt, concrete, solid waste) for over 24 hours?
Reference Table 1 items B and C Yes No
- Will there be dewatering operations?
Reference Table 1 items B and C Yes No
- Will there be temporary on-site storage of construction materials, including mortar mix, raw landscaping and soil stabilization materials, treated lumber, rebar, and plated metal fencing materials?
Reference Table 1 items D and E Yes No
- Will trash or solid waste product be generated from this project?
Reference Table 1 item E Yes No
- Will construction equipment be stored on site (e.g. fuels, oils, trucks, etc.)?
Reference Table 1 item E Yes No
- Will Portable Sanitary Services ("Porta-potty") be used on the site?
Reference Table 1 item E Yes No

City of San Diego • Development Services Department • "Minor" Water Pollution Control Plan (MWPCP) Page 3 of 3

**TABLE 1
MINIMUM REQUIRED STANDARD CONSTRUCTION STORMWATER BMPs**
(Source: CALTRANS Storm Water Quality Handbook)

Minimum Required Best Management Practices	CALTRANS Stormwater Handbook Detail	Check at least one BMP from each section below	If your project requires no BMP from any of the sections below, please explain within space provided
A. Select Erosion Control Method			
Vegetation Stabilization Planting (Summer)	SS-2, SS-4	<input type="checkbox"/>	
Hydraulic Stabilization Hydroseeding (Summer)	SS-4	<input type="checkbox"/>	
Rounded Fiber Matrix or Stabilized Fiber Matrix (Winter)	SS-3	<input type="checkbox"/>	
Physical Stabilization Erosion Control Blanket (Winter)	SS-7	<input checked="" type="checkbox"/>	
Lok Perimeter Protection Detail Application	SC-2	<input type="checkbox"/>	
Mulch, Straw, Woodchips, Soil Application	SS-4, SS-8	<input checked="" type="checkbox"/>	
B. If Runoff or Dewatering Operation is concentrated, velocity must be controlled using an energy dissipater			
Energy Dissipater Outlet Protection	SS-10	<input type="checkbox"/>	
C. Select Sediment Control method for all disturbed areas (Choose at least one)			
Silt Fence	SC-1	<input type="checkbox"/>	
Fiber Rolls (Straw Mattings)	SC-5	<input checked="" type="checkbox"/>	
Gravel Bags	SC-4, SC-8	<input checked="" type="checkbox"/>	
Dewatering Filtration	NS-3	<input type="checkbox"/>	
Storm Drain Inlet Protection	SC-10	<input type="checkbox"/>	
D. Select method for preventing offsite tracking of sediment (choose at least one)			
Stabilized Construction Entrance	TC-1	<input checked="" type="checkbox"/>	
Entrance/Exit Tire Wash	TC-3	<input type="checkbox"/>	
Street Sweeping & Vacuuming	SC-7	<input type="checkbox"/>	
E. Select the General Site Management BMPs for each waste that will be on site			
Material Delivery & Storage	WM-1	<input checked="" type="checkbox"/>	
Spill Prevention & Control	WM-4	<input checked="" type="checkbox"/>	
Concrete Waste Management	WM-8	<input checked="" type="checkbox"/>	
Solid Waste Management	WM-5	<input checked="" type="checkbox"/>	
Rainwater Waste Management	WM-6	<input checked="" type="checkbox"/>	
Hazardous Waste Management	WM-4	<input checked="" type="checkbox"/>	

The applicant must print and sign the following certification before a permit will be issued. I have read and understand that the City of San Diego has adopted minimum requirements for managing urban runoff, including storm water, from construction and land development activities. I certify that the BMPs selected on this form will be implemented to minimize the potentially negative impacts of this project's construction and land development activities on water quality. I further agree to install, maintain, repair, or replace the selected BMPs to ensure their effectiveness. I also understand that non-compliance with the City's Storm Water Standards may result in enforcement by the City, including fines, cease and desist orders, or other actions.

Signature: *K. Ringer* Date: *05/18/16*

**STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S**

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT

SEE SHEET A-0.4 FOR CITY OF SAN DIEGO STORM WATER FORMS DS-560 & DS-570

BMP LEGEND

DIRECTION OF LOT DRAINAGE → →

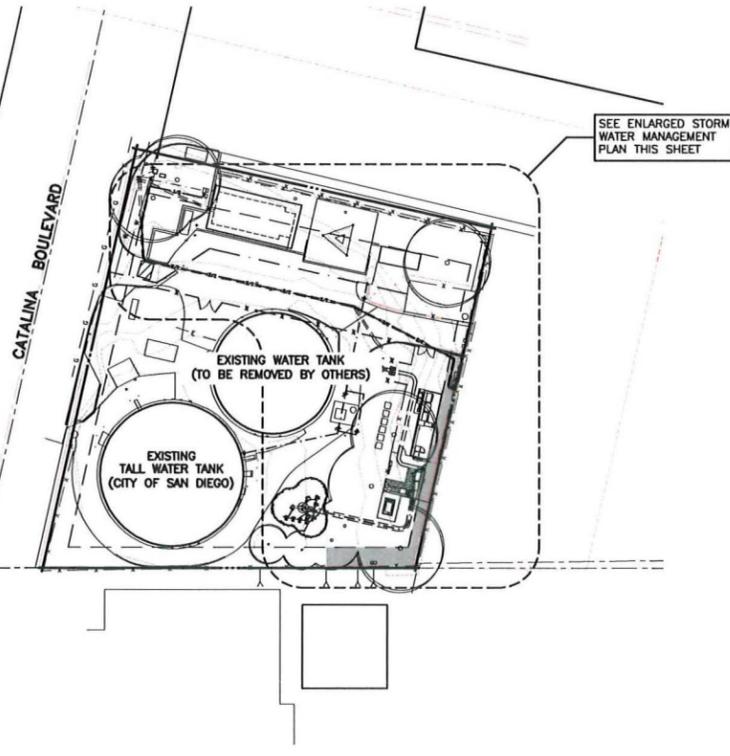
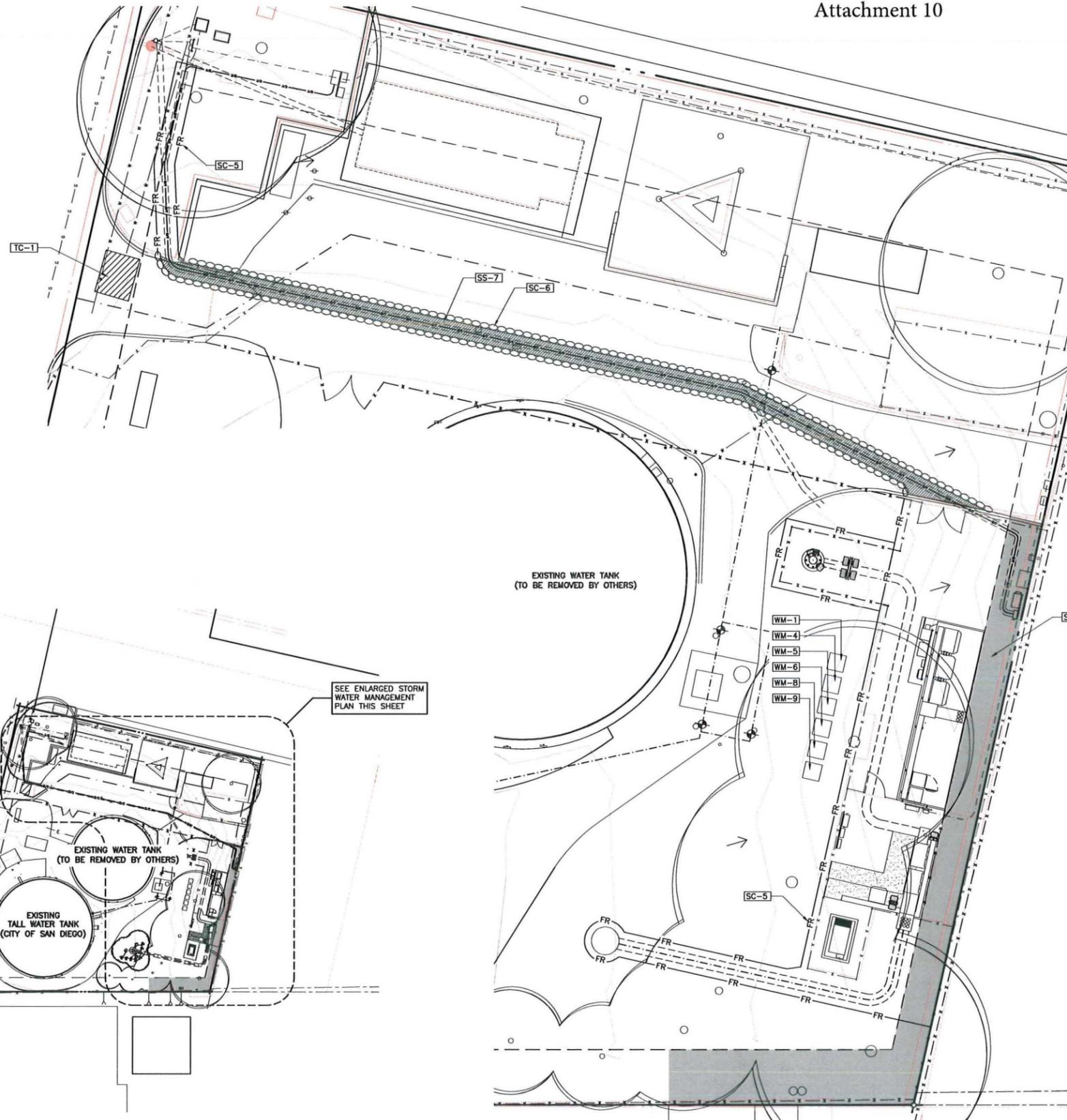
TABLE 1 MINIMUM REQUIRED STANDARD CONSTRUCTION:

[SS-7]	EROSION CONTROL BLANKET	[Symbol]
[SS-6, SS-8]	MULCH, STRAW, WOOD CHIPS, SOIL APPLICATION	[Symbol]
[SC-5]	FIBER ROLLS	[Symbol]
[SC-6]	GRAVEL BAGS	[Symbol]
[TC-1]	STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
[WM-1]	MATERIAL DELIVERY & STORAGE	[Symbol]
[WM-4]	SPILL PREVENTION & CONTROL	[Symbol]
[WM-5]	SOLID WASTE MANAGEMENT	[Symbol]
[WM-6]	HAZARDOUS WASTE MANAGEMENT	[Symbol]
[WM-8]	CONCRETE WASTE MANAGEMENT	[Symbol]
[WM-9]	SANITARY WASTE MANAGEMENT	[Symbol]

LAND DISTURBANCE:

UTILITY TRENCH:	500 SQ. FT.
COAX CABLE TRENCH:	280 SQ. FT.
UTILITY POLE CAISSON FOOTING:	13 SQ. FT.
MONO-EUCALYPTUS CAISSON FOOTING:	20 SQ. FT.
TOTAL:	813 SQ. FT.

1. STORM WATER MANAGEMENT FOR SITE GRADING AND CONSTRUCTION ACTIVITIES SHALL INCLUDE THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) AS OUTLINED IN THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK.
2. SAND OR GRAVEL BAGS SHALL BE PLACED AND MAINTAINED IN FLOW LINE AREAS TO FACILITATE SEDIMENT CONTROL.
3. CONTRACTOR WILL PROVIDE A "WEATHER TRIGGERED" BMP ACTION PLAN DURING THE DRY SEASON.
4. ALL TRENCH SEGMENTS EXCAVATED SHALL BE FILLED AND COVERED WITHIN 24 HOURS.
5. PROVIDE A TEMPORARY CONCRETE WASHOUT FACILITY.



STORM WATER MANAGEMENT PLAN

SCALE: 1" = 40'-0"



ENLARGED STORM WATER MANAGEMENT PLAN

SCALE: 1" = 10'-0"



Booth & Suarez

ARCHITECTURE INCORPORATED
1283 EAST MAIN STREET SUITE 900
EL CAJON, CA 92021 (619) 749-1305

PREPARED FOR
verizon

P.O. BOX 19707
IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**FORT ROSECRANS
PERMANENT SITE**

203 CATALINA BOULEVARD
SAN DIEGO, CA 92106

MTX - 40

SAN DIEGO COUNTY

DRAWING DATES

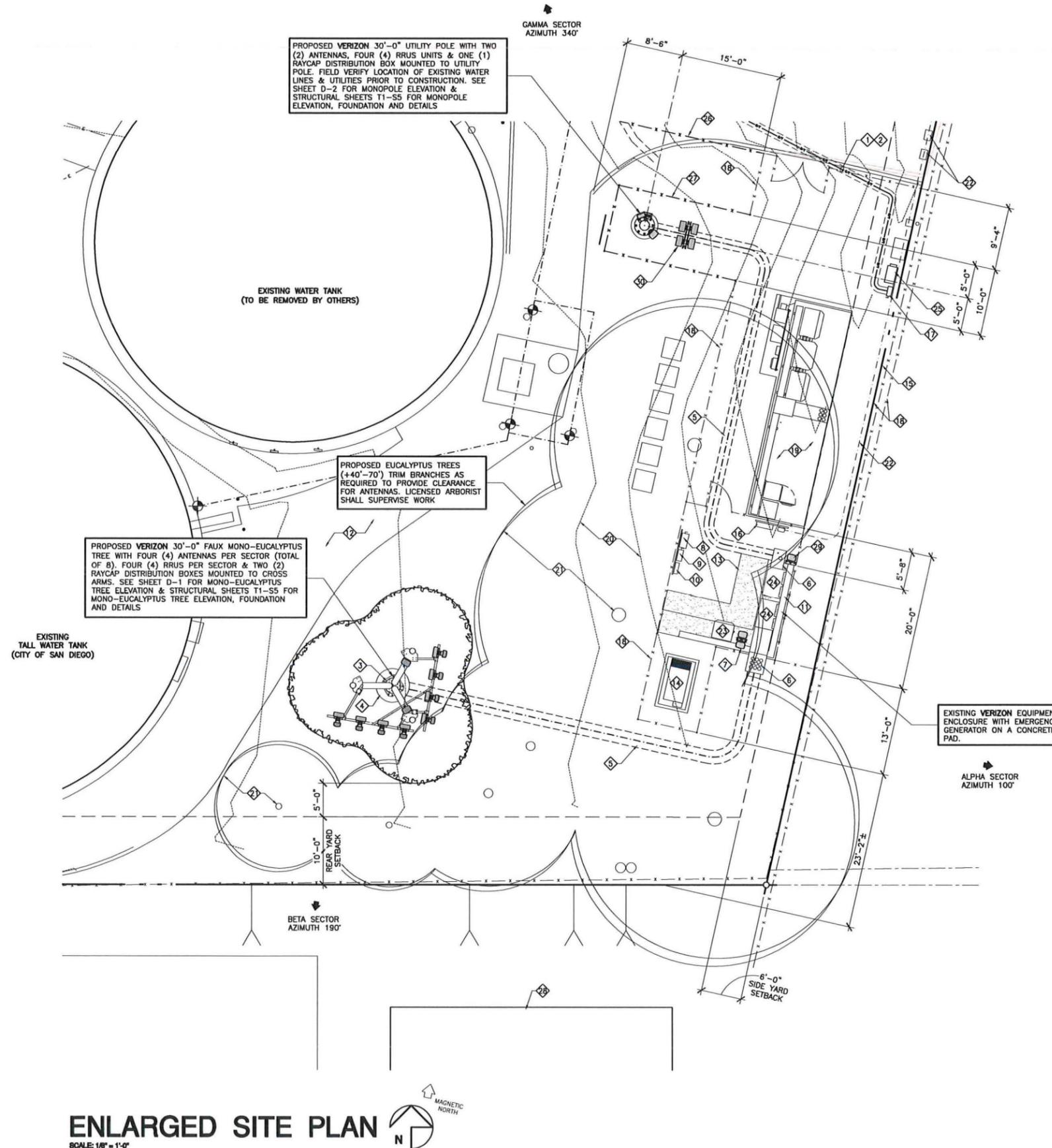
05/23/16	REVISED ZD #6 (lc)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (se) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (se) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (Job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE

**STORM WATER
MANAGEMENT PLAN**

PROJECTS\VERIZON\12048

A-0.3



ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

EQUIPMENT PLAN NOTES:

- 1 PROPOSED TELCO CONDUIT TRENCH
- 2 PROPOSED ELECTRICAL CONDUIT TRENCH
- 3 PROPOSED FAUX MONO-EUCALYPTUS 30'-0" HIGH TREE
- 4 PROPOSED FAUX MONO-EUCALYPTUS CONCRETE FOOTING
- 5 PROPOSED UNDERGROUND CABLE TRENCH. FIELD VERIFY ROUTE (SHOWN DASHED)
- 6 PROPOSED SHEET METAL COAXIAL CABLE SHROUD
- 7 PROPOSED TWO (2) RAYCAP DEMARCATION BOXES ON UTILITY H-FRAME ADJACENT TO EXISTING EQUIPMENT. SEE DETAIL 15 16 D1 D1
- 8 EXISTING AT'S MOUNTED TO EXISTING H-FRAME
- 9 EXISTING MTS MOUNTED TO EXISTING H-FRAME
- 10 EXISTING ELECTRICAL PANEL MOUNTED TO EXISTING H-FRAME
- 11 EXISTING CABLE TRAY, SURFACE MOUNTED AND ROUTED BEHIND EXISTING EQUIPMENT CABINETS
- 12 EXISTING ASPHALT PAVED ACCESS ROAD
- 13 EXISTING RAISED CONCRETE PAD.
- 14 EXISTING VERIZON EMERGENCY GENERATOR ON AN EXISTING CONCRETE CONTAINMENT CURB
- 15 PROPERTY LINE (TYPICAL)
- 16 EXISTING TELCO CABINET MOUNTED TO EXISTING H-FRAME
- 17 EXISTING FUSED DISCONNECT SWITCH MOUNTED TO EXISTING H-FRAME FIELD VERIFY
- 18 EXISTING CHAINLINK FENCE TO REMAIN (TYPICAL)
- 19 EXISTING AT&T EQUIPMENT ENCLOSURE
- 20 EXISTING CONTOUR LINES SHOWN AT 1'-0" INTERVALS
- 21 EXISTING TREES TO REMAIN (TYPICAL)
- 22 REMOVE EXISTING TEMPORARY TELCO, POWER & CABLE CONDUIT FROM CHAINLINK FENCE
- 23 EXISTING VERIZON TELECOMMUNICATIONS EQUIPMENT INSIDE A EXISTING CHAINLINK FENCE ENCLOSURE
- 24 EXISTING VERIZON OUTDOOR EQUIPMENT OR BATTERY CABINETS MOUNTED ON EXISTING CONCRETE SLAB (TYPICAL).
- 25 EXISTING FIBER/TELCO CABINETS MOUNTED TO EXISTING H-FRAME FIELD VERIFY
- 26 PROPOSED CHAINLINK FENCE AND GATES INSTALLED BY VERIZON. FIELD VERIFY LOCATION WITH CITY OF SAN DIEGO WATER DISTRICT
- 27 INSTALL NEW CHAINLINK FENCE
- 28 EXISTING ADJACENT BUILDING
- 29 PROPOSED ONE (1) RAYCAP DEMARCATION BOX MOUNTED ON UTILITY H-FRAME ADJACENT TO EXISTING EQUIPMENT. SEE DETAIL 15 16 D1 D1
- 30 RRU'S TO BE ATTACHED TO H-FRAME UNISTRUT. H-FRAME TO BE PAINTED TO MATCH POLE. ALL CABLES TO BE UNDERGROUND INTO POLE TO AVOID OR MINIMIZE EXPOSED CABLES. SEE DETAIL 50 D3

PREPARED FOR
verizon

P.O. BOX 19707
IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
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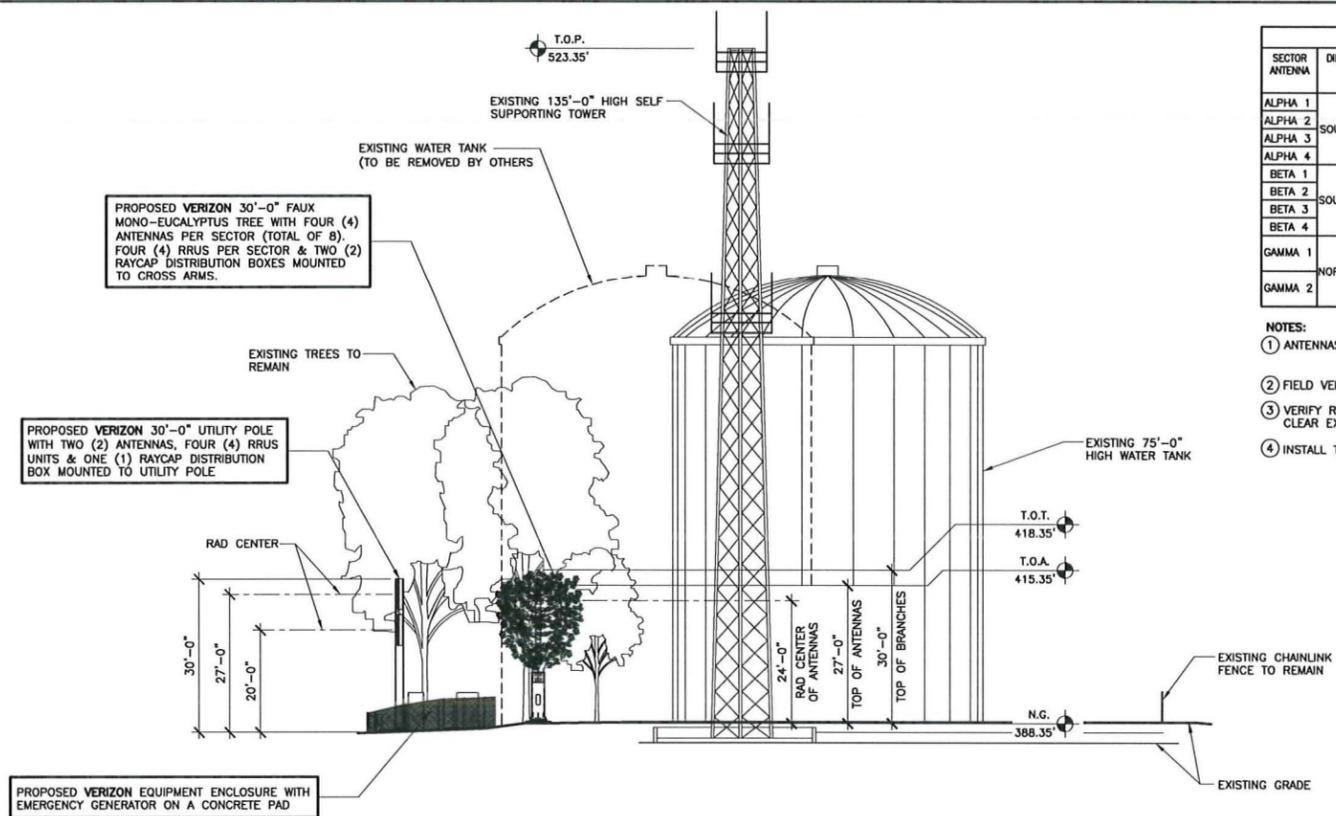
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SHEET TITLE

ENLARGED SITE PLAN

PROJECTS\VERIZON\12048

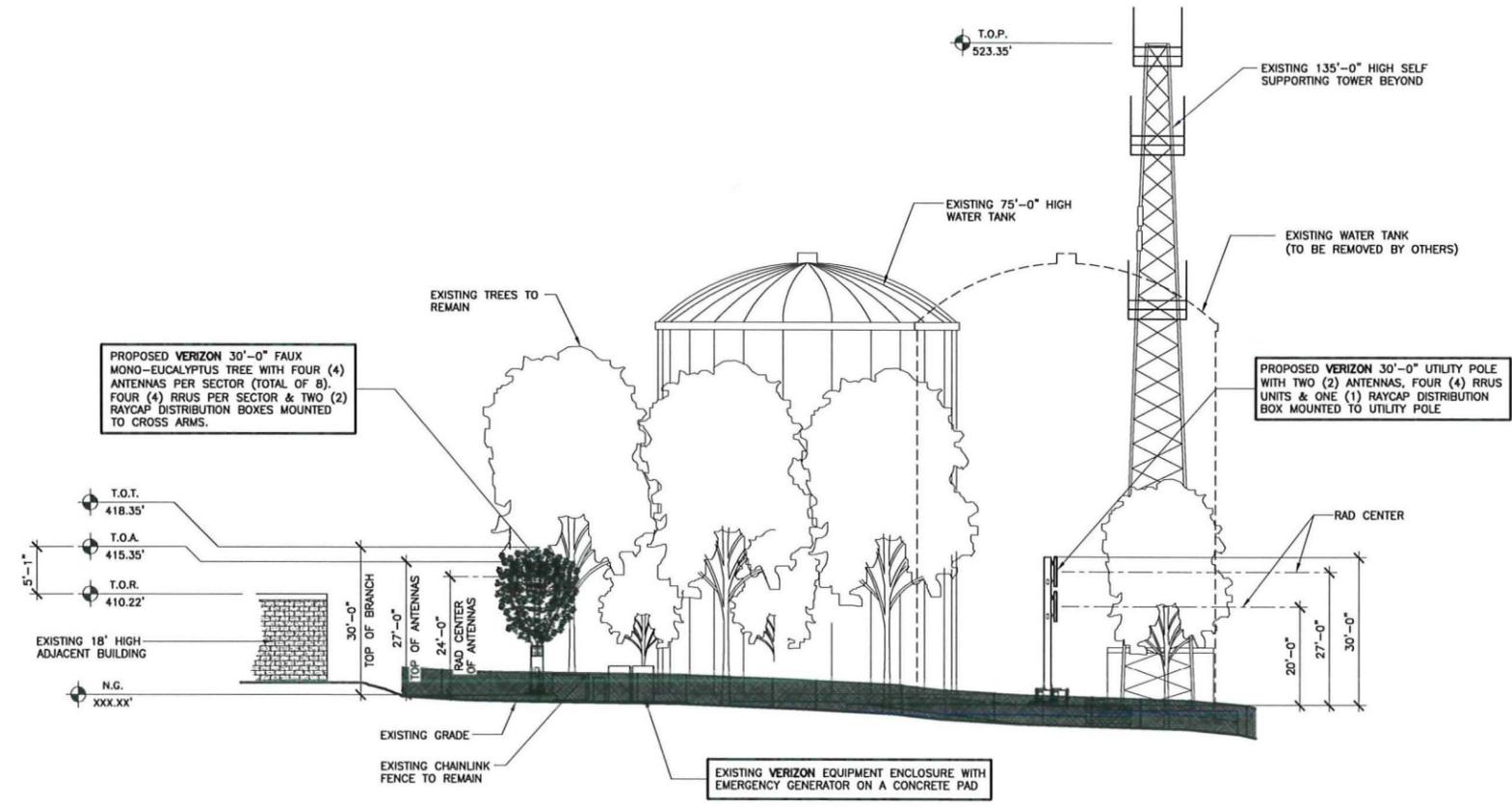
A-1



NORTH ELEVATION
SCALE: 1/16" = 1'-0"

ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	DOWNTILT	SKEW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR (+ / - 5)	COAX. CABLE LENGTH (+ / - 3)	JUMPER LENGTH (+ / - 3)	COAX SIZE
ALPHA 1	SOUTHEAST	100°	COMMSCOPE: SBHH-1D65B	0°	0°		6	85'-0"	6'-0"	7/8"
ALPHA 2			COMMSCOPE: SBHH-1D65B							
ALPHA 3			COMMSCOPE: SBHH-1D65B							
ALPHA 4			COMMSCOPE: SBHH-1D65B							
BETA 1	SOUTHWEST	190°	COMMSCOPE: SBHH-1D65B	0°	0°		6	85'-0"	6'-0"	7/8"
BETA 2			COMMSCOPE: SBHH-1D65B							
BETA 3			COMMSCOPE: SBHH-1D65B							
BETA 4			COMMSCOPE: SBHH-1D65B							
GAMMA 1	NORTHWEST	340°	COMMSCOPE: JHH-65B-R3B	0°	0°		6	85'-0"	6'-0"	7/8"
GAMMA 2			COMMSCOPE: JHH-65B-R3B							

- NOTES:
- ANTENNAS: COMMSCOPE: SBHH-1D65B 72.7" LONG x 11.9" WIDE x 7.1" DEEP, WEIGHT: 47.4 LBS
COMMSCOPE: JHH-65B-R3B 72.0" LONG x 13.8" WIDE x 8.2" DEEP, WEIGHT: 63.3 LBS
 - FIELD VERIFY ALL CABLE LENGTHS PRIOR TO ORDERING CABLE.
 - VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE OF EXISTING EQUIPMENT.
 - INSTALL THREE (3) POWER AND FIBER CABLES FROM EQUIPMENT AREA TO ANTENNAS.



EAST ELEVATION
SCALE: 1/16" = 1'-0"

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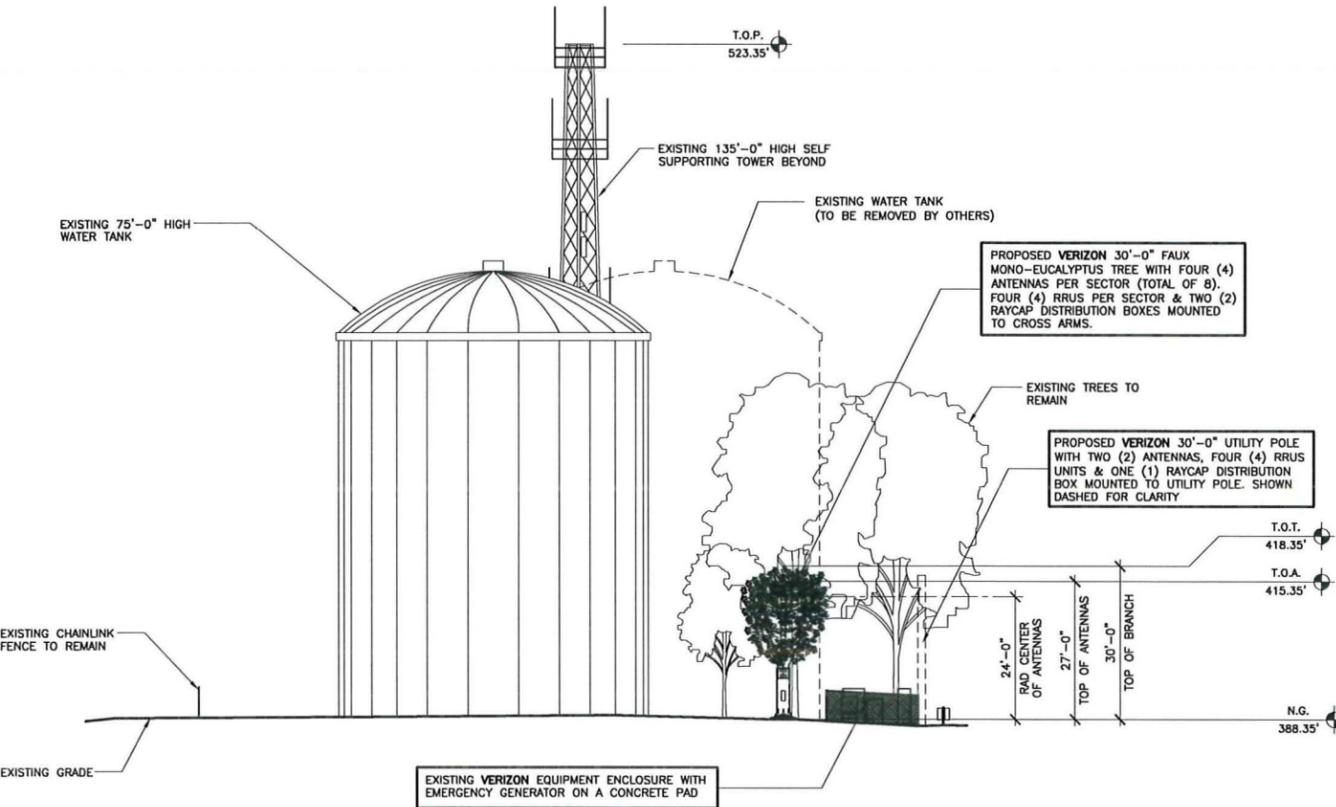
PROJECT NAME
FORT ROSECRANS PERMANENT SITE
203 CATALINA BOULEVARD
SAN DIEGO, CA 92106
MTX - 40
SAN DIEGO COUNTY

DRAWING DATES

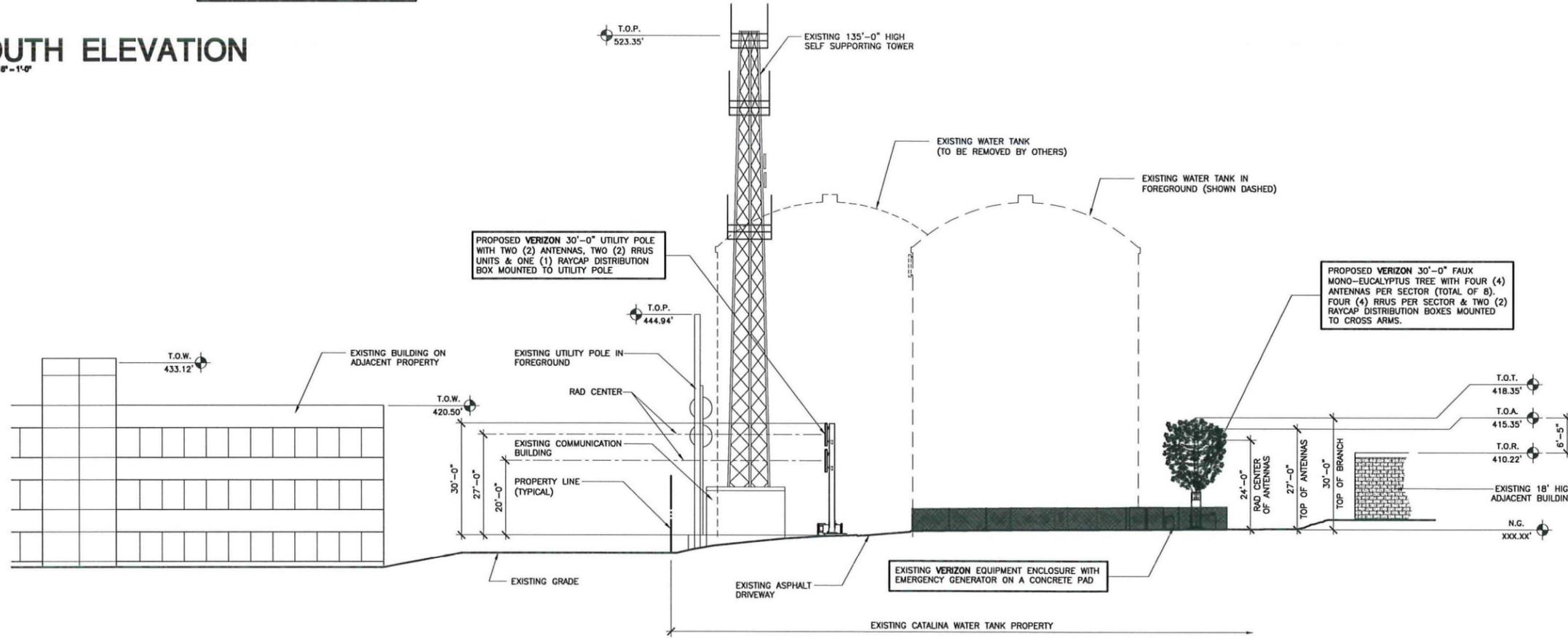
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05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\VERIZON\12048



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"



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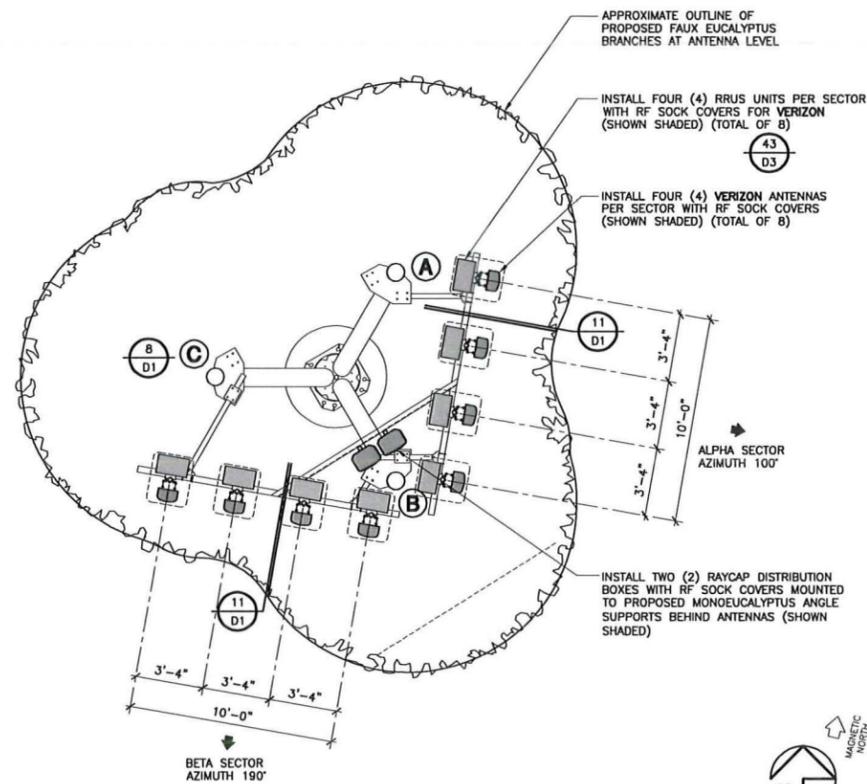
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SHEET TITLE

EXTERIOR ELEVATIONS

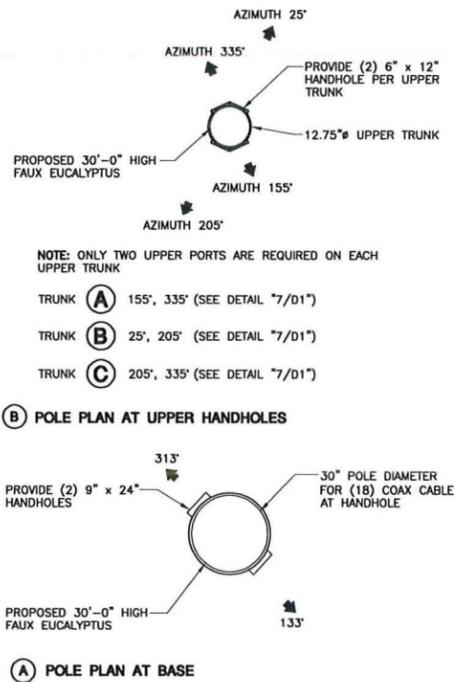
PROJECTS\VERIZON\12048



ANTENNA PLAN

SCALE: 1/4"=1'-0"

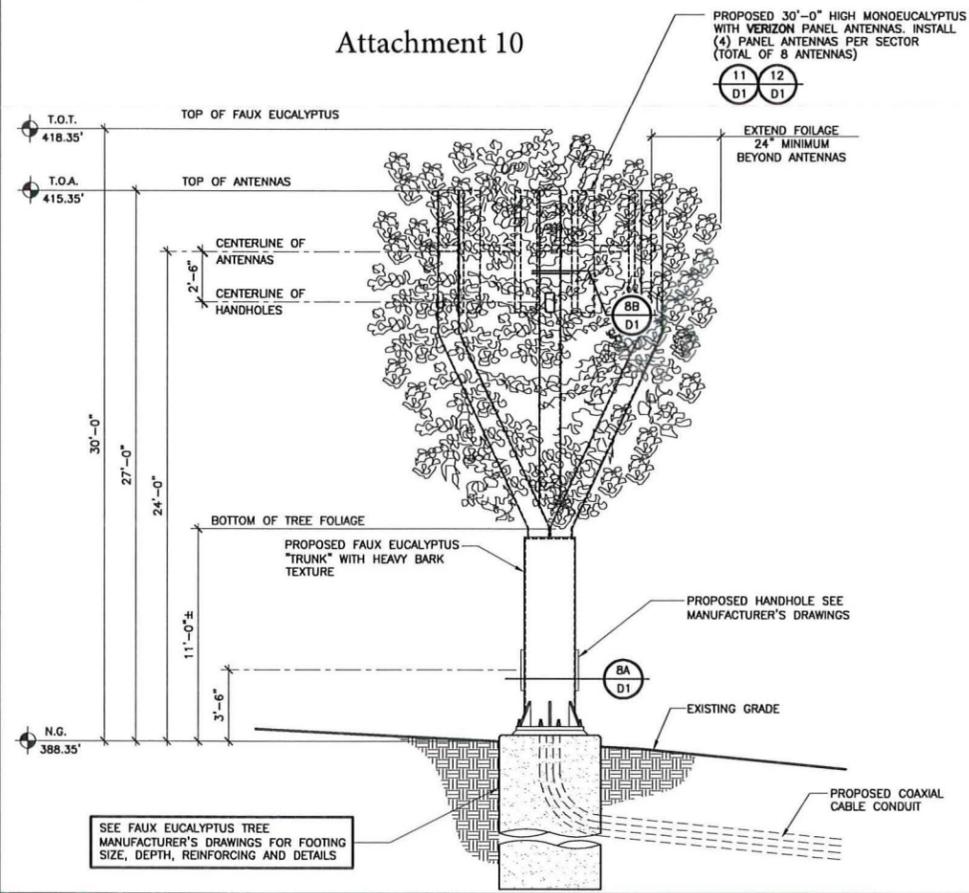
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FAUX MONO-EUCALYPTUS DETAIL

SCALE: 1/2"=1'-0"

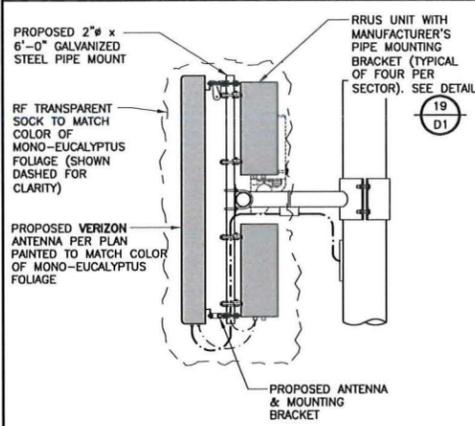
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MONO-EUCALYPTUS ELEVATION VIEW

SCALE: 1/4"=1'-0"

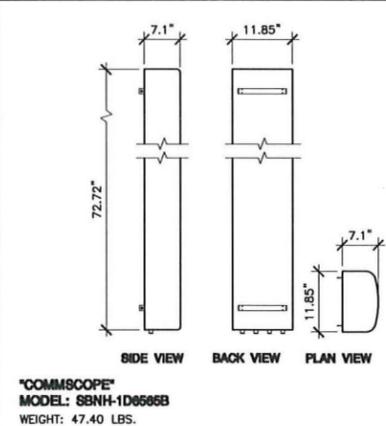
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PROPOSED ANTENNA MOUNTING DETAIL

SCALE: 1/2"=1'-0"

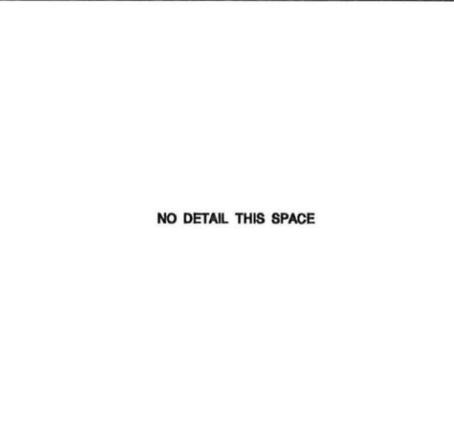
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ANTENNA SPECS

SCALE: 3/4"=1'-0"

12



DISTRIBUTION BOX SPECS

SCALE: 1/2"=1'-0"

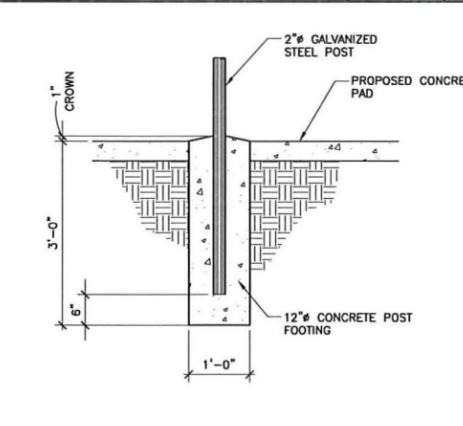
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RRUS MOUNTING DETAIL

SCALE: 1"=1'-0"

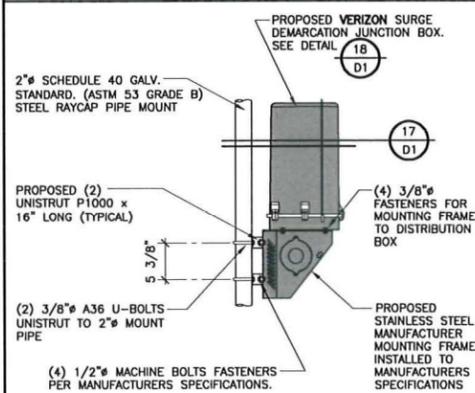
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DISTRIBUTION BOX MOUNT

SCALE: N.T.S.

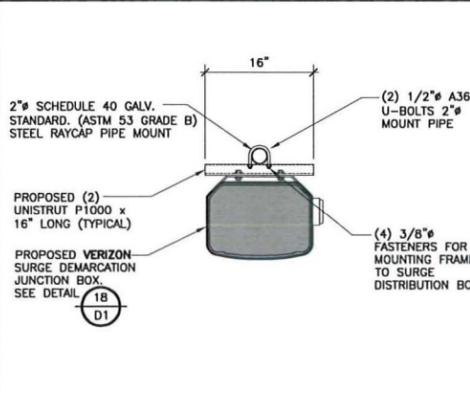
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DISTRIBUTION BOX MOUNT

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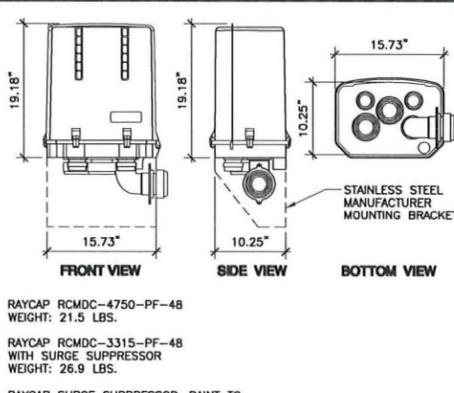
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DISTRIBUTION BOX MOUNT

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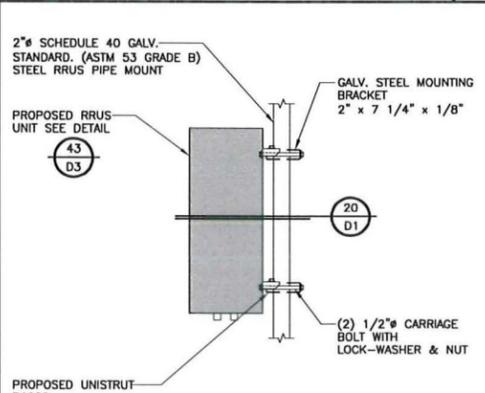
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DISTRIBUTION BOX SPECS

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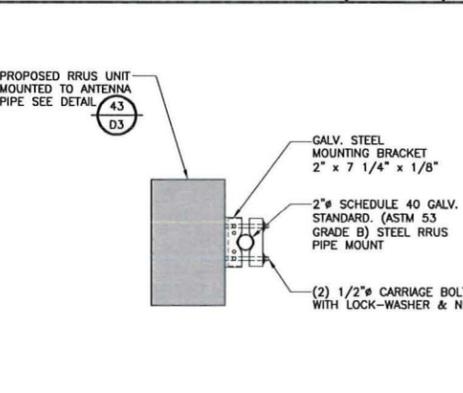
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RRUS MOUNTING DETAIL

SCALE: 1"=1'-0"

19



RRUS MOUNTING DETAIL

SCALE: 1"=1'-0"

20

Booth & Suarez
ARCHITECTURE INCORPORATED
1083 EAST MAIN STREET SUITE 200
EL CAJON, CA 92021 (619) 749-1305

PREPARED FOR
verizon
P.O. BOX 19707
IRVINE, CA 92623-9707

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SHEET TITLE
DETAILS

PROJECTS\VERIZON\12048

D-1

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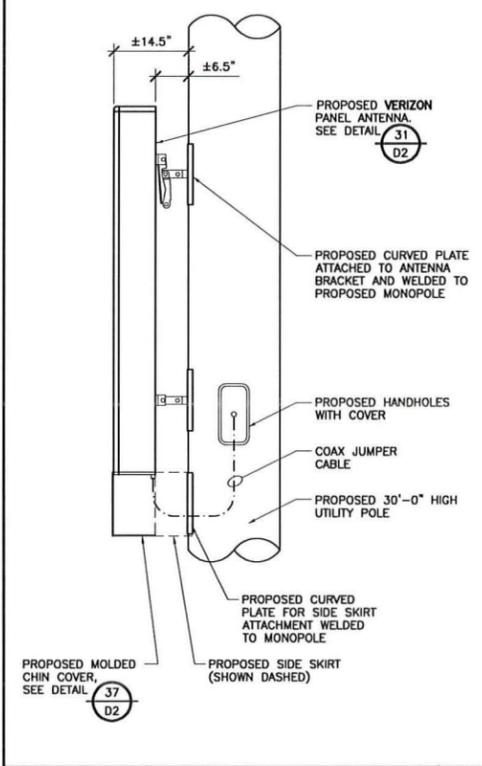
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SHEET TITLE

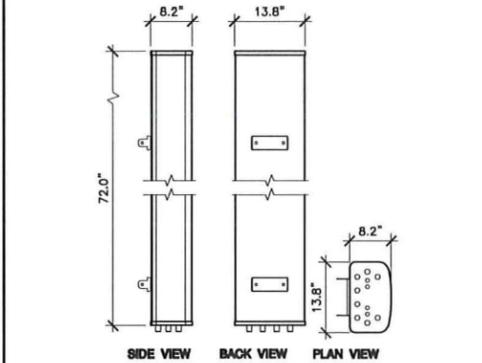
DETAILS

PROJECTS\VERIZON\12048

D-2

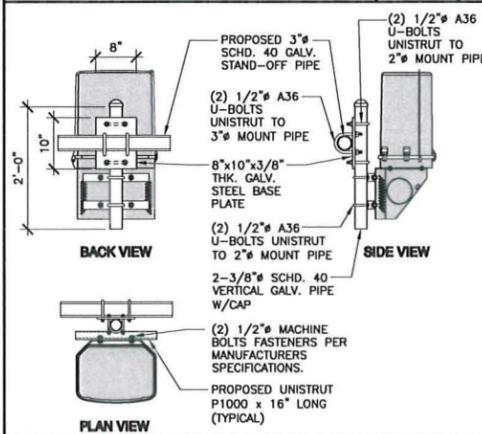


ANTENNA MOUNTING DETAIL
 SCALE: 3/4" = 1'-0" **26**

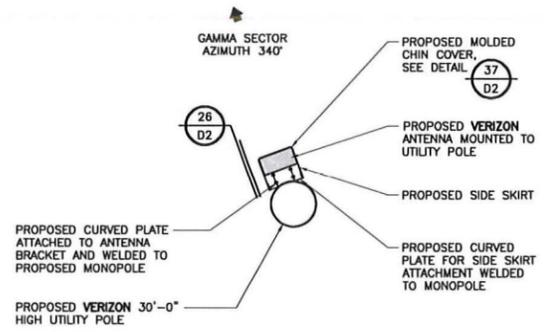


'COMMSCOPE'
 MODEL: JAHH-65B-R38
 WEIGHT: 63.3 LBS.

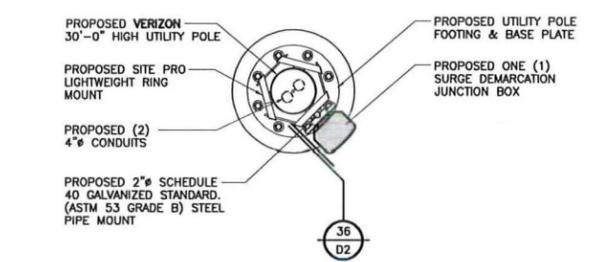
ANTENNA SPECS
 SCALE: N.T.S. **31**



SURGE DEMARCATION JUNCTION BOX MOUNT
 SCALE: N.T.S. **36**

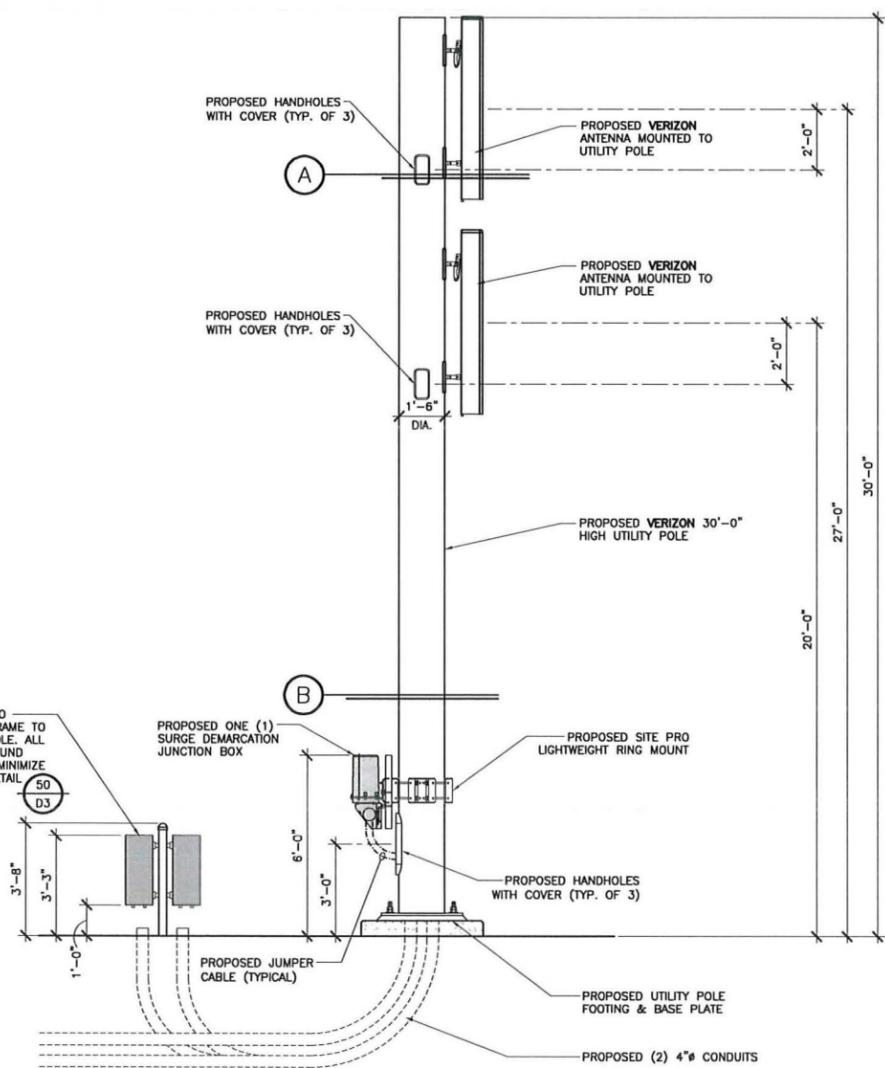


ANTENNA PLAN
 SCALE: 3/4" = 1'-0" **A**



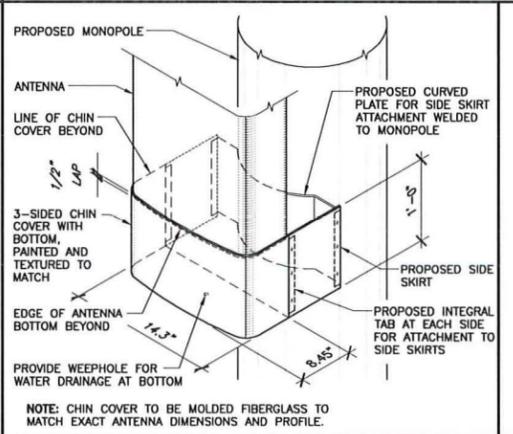
JUNCTION BOX & UTILITY POLE PLAN
 SCALE: 3/4" = 1'-0" **B**

RRU'S TO BE ATTACHED TO H-FRAME UNISTRUT. H-FRAME TO BE PAINTED TO MATCH POLE. ALL CABLES TO BE UNDERGROUND INTO POLE TO AVOID OR MINIMIZE EXPOSED CABLES. SEE DETAIL.



UTILITY POLE ELEVATION
 SCALE: 3/4" = 1'-0"

NOTE: PAINT AND TEXTURE THE UTILITY POLE TO REFLECT A WOODEN UTILITY POLE APPEARANCE
 NOTE: ALL ANTENNAS, MOUNTING APPARATUS, CHIN COVERS, AND EQUIPMENT ON UTILITY POLE SHALL BE PAINTED TO MATCH



MOLDED CHIN COVER
 SCALE: N.T.S. **37**

NO DETAIL THIS SPACE

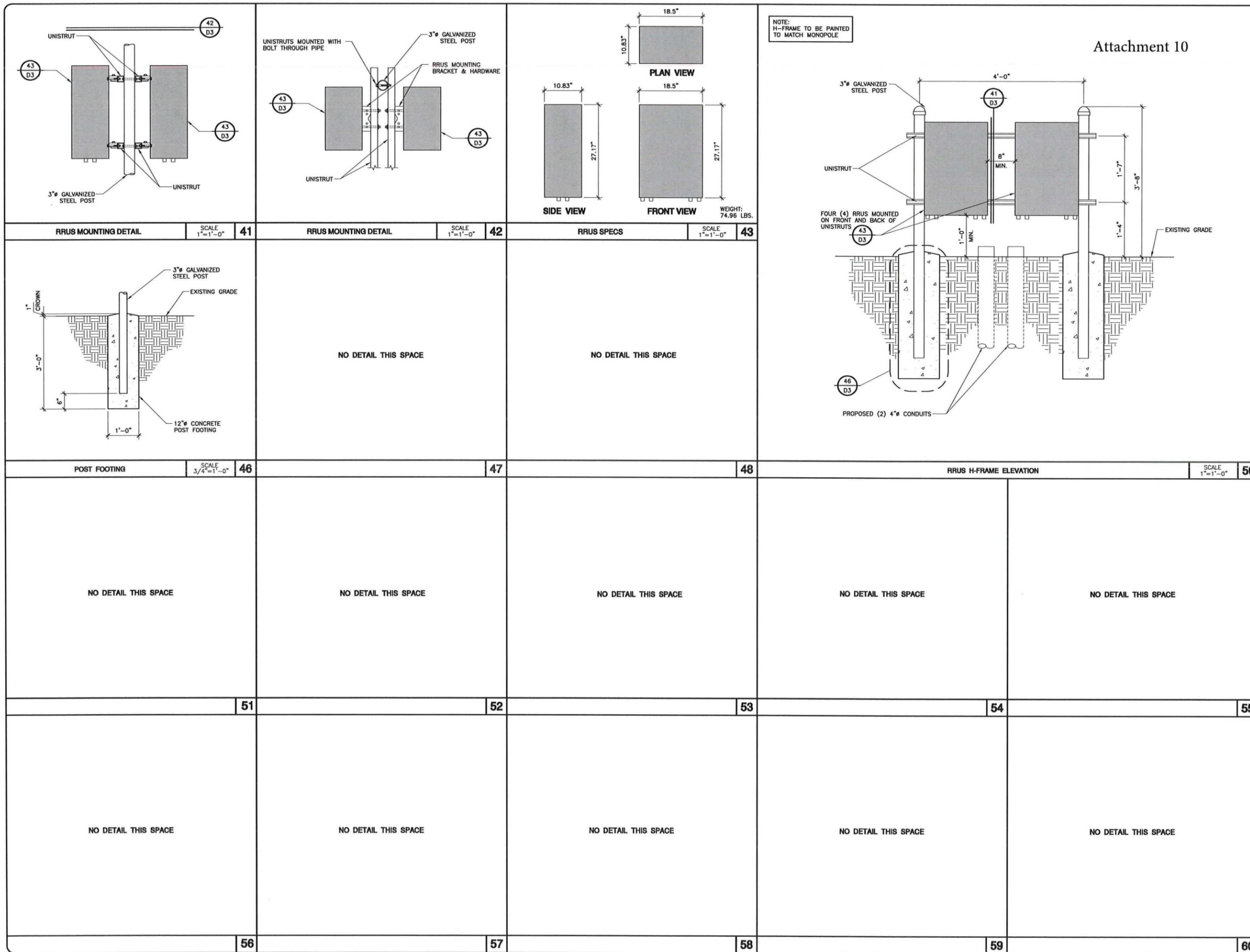
NO DETAIL THIS SPACE

NO DETAIL THIS SPACE

38

39

40



Attachment 10

Booth & Suarez
ARCHITECTURE INCORPORATED
1283 EAST MAIN STREET SUITE 200 EL CAJON, CA 92021 (619) 749-1305

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SHEET TITLE
DETAILS

PROJECTS\VERIZON\12048

D-3

ELECTRICAL NOTES

TELEPHONE NOTES

Attachment 10

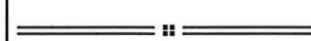
- ALL WORK AND MATERIAL SHALL BE IN COMPLETE COMPLIANCE WITH THE LATEST EDITION OF THE N.E.C. AND ALL REGULATIONS, LAWS, SAFETY ORDERS, ORDINANCES OR CODES AND ANY OTHER LAWFUL OWNER OR ANY PUBLIC AUTHORITY WITH JURISDICTION BEARING ON THIS PROJECT, IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE REQUIREMENT SHALL PREVAIL.
- THE SEISMIC BRACING AND ANCHORAGE OF ELECTRICAL CONDUITS AND WIREWAYS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA STATE BUILDING CODE, CHAPTER 23 AND "GUIDELINE FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS", PUBLISHED BY SMACNA AND PPIC, OR THE SUPERSTRUT-SEISMIC RESTRAINT SYSTEM, OR THE EQUIVALENT.
- ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE NEW AND FREE FROM DEFECTS AND SHALL BE LISTED BY UNDERWRITER'S LABORATORIES (UL) AND BEAR THEIR LABEL, OR SHALL BE LISTED AND CERTIFIED BY A NATIONALLY RECOGNIZED TESTING AUTHORITY WHERE UL DOES NOT HAVE A LISTING. CUSTOM MADE EQUIPMENT SHALL HAVE COMPLETE TEST DATA SUBMITTED BY THE MANUFACTURER ATTESTING TO ITS SAFETY. IN ADDITION, THE MATERIALS, EQUIPMENT, AND INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES AND REGULATIONS:
 AMERICAN SOCIETY OF TESTING MATERIALS (ASTM)
 INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
 NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
 AMERICAN STANDARD ASSOCIATION (ASA)
 NATIONAL FIRE PROTECTION AGENCY (NFPA)
 AMERICAN NATIONAL STANDARD INSTITUTE (ANSI)
 NATIONAL ELECTRICAL CODE (NEC)
 CALIFORNIA CODE OF REGULATIONS TITLE 24 (CCR)
 INSULATED POWER CABLE ENGINEERS ASSOCIATION (IPCEA)
 ALL LOCAL CODES HAVING JURISDICTION
- THE CONTRACTOR SHALL VISIT THE SITE INCLUDING ALL AREAS INDICATED ON THE DRAWINGS AND SHALL BECOME THOROUGHLY FAMILIAR WITH THE EXISTING CONDITIONS AS WELL AS THE ELECTRICAL AND GROUNDING REQUIREMENTS OF THIS PROJECT AND BY SUBMITTING A BID, ACCEPTS THE CONDITIONS UNDER WHICH HE OR SHE SHALL BE REQUIRED TO PERFORM THE WORK.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN A COMPLETE SET OF CONTRACT DOCUMENTS, ADDENDA, DRAWINGS AND SPECIFICATIONS AS WELL AS THE LATEST EDITION OF ANY AT&T MOBILITY DESIGN SPECIFICATIONS. THE CONTRACTOR SHALL CHECK THE DRAWINGS FOR ALL TRADES AND SHALL CAREFULLY READ ALL NOTES AND SPECIFICATIONS AND DETERMINE HIS OR HER RESPONSIBILITIES. FAILURE TO DO SO SHALL NOT RELEASE THE CONTRACTOR FROM DOING THE WORK IN COMPLETE ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS AND NOTES.
- THE CONTRACTOR SHALL COORDINATE HIS OR HER WORK WITH OTHER TRADES AT THE SITE. ANY COSTS TO INSTALL WORK TO ACCOMPLISH SAID COORDINATION WHICH DIFFERS FROM THE WORK AS SHOWN ON THE DRAWINGS SHALL BE INCURRED BY THE CONTRACTOR. ANY DISCREPANCIES, AMBIGUITIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE AT&T MOBILITY CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING PRIOR TO SUBMITTING A BID. ANY SUCH CONFLICTS NOT CLARIFIED PRIOR TO BID SHALL BE SUBJECT TO THE INTERPRETATION OF THE AT&T MOBILITY CONSTRUCTION MANAGER AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL OBTAIN AND KEEP UP-TO-DATE A COMPLETE RECORD SET OF DRAWINGS. UPON COMPLETION OF THE WORK, A COMPLETE SET OF CONTRACT DRAWINGS SHALL BE OBTAINED FROM THE AT&T MOBILITY CONSTRUCTION MANAGER. ANY CHANGES AS NOTED ON THE RECORD SET OF DRAWINGS SHALL BE INCORPORATED THEREON BY THE CONTRACTOR WITH RED INK IN A NEAT, LEGIBLE, UNDERSTANDABLE AND PROFESSIONAL MANNER.
- ALL INTERRUPTION OF ELECTRICAL POWER SHALL BE KEPT TO A MINIMUM. HOWEVER, WHEN AN INTERRUPTION IS NECESSARY, THE SHUT-DOWN MUST BE COORDINATED WITH THE AT&T MOBILITY CONSTRUCTION MANAGER AND THE PROPERTY OWNER A MINIMUM OF 14 DAYS PRIOR TO THE OUTAGE. ANY OVERTIME PAY REQUIRED TO COMPLETE OFF-HOURS WORK SHALL BE INCLUDED IN THE CONTRACTOR'S BID. WORK IN EXISTING SWITCHBOARDS OR PANELBOARDS SHALL BE COORDINATED WITH THE AT&T MOBILITY CONSTRUCTION MANAGER AND THE BUILDING OWNER PRIOR TO REMOVING ACCESS PANELS OR DOORS.
- SHOP DRAWINGS SHALL BE SUBMITTED FOR ITEMS INDICATED ON PLANS. SHOP DRAWINGS SHALL INCLUDE ALL DATA WITH CAPACITIES, SIZES, DIMENSIONS, CATALOG NUMBERS AND MANUFACTURER'S BROCHURES.
- AFTER ALL REQUIREMENTS OF THE SPECIFICATIONS AND THE DRAWINGS HAVE BEEN FULLY COMPLETED, REPRESENTATIVES OF AT&T MOBILITY WILL INSPECT THE WORK. THE CONTRACTOR SHALL PROVIDE COMPETENT PERSONNEL TO DEMONSTRATE THE OPERATION OF ANY ITEM OR SYSTEM TO THE FULL SATISFACTION OF THOSE REPRESENTATIVES. FINAL ACCEPTANCE OF THE WORK WILL BE MADE BY AT&T MOBILITY AFTER RECEIPT OF APPROVAL AND RECOMMENDATION OF ACCEPTANCE FROM EACH REPRESENTATIVE.
- THE CONTRACTOR SHALL FURNISH A ONE YEAR WRITTEN GUARANTEE OF MATERIALS AND WORKMANSHIP FROM THE DATE OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AS TO THE EXACT LOCATION OF THEIR RESPECTIVE EQUIPMENT AND SHALL SUPPLY POWER AND MAKE CONNECTIONS TO EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
- THE EXACT METHOD AND LOCATION OF CONDUIT PENETRATIONS AND OPENINGS IN CONCRETE WALLS OR FLOORS OR STRUCTURAL STEEL MEMBERS SHALL BE AS DIRECTED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR SHALL CORE, SAWCUT, PATCH AND REFINISH EXISTING WALLS AND SURFACES WHEREVER PENETRATIONS ARE NECESSARY. OPENINGS SHALL BE SEALED IN A CODE APPROVED METHOD TO MEET THE FIRE RATING OF THE PARTICULAR WALL, FLOOR OR CEILING ASSEMBLY THAT IS PENETRATED.
- UTILITY PENETRATIONS OF ANY KIND IN FIRE AND SMOKE PARTITIONS AND CEILING ASSEMBLIES, SHALL BE FIRESTOPPED AND SEALED WITH A CODE APPROVED MATERIAL SECURELY INSTALLED.
- CONNECTIONS TO VIBRATING EQUIPMENT AND SEISMIC SEPARATIONS SHALL BE MADE WITH LIQUID-TIGHT FLEXIBLE STEEL CONDUIT IN BOTH DRY INTERIOR LOCATIONS AND IN AREAS EXPOSED TO WEATHER, DAMP LOCATIONS, CONNECTIONS TO TRANSFORMER ENCLOSURES, AND AT FINAL CONNECTIONS TO MOTORS. PROVIDE A SEPARATE INSULATED GROUNDING CONDUCTOR IN FLEXIBLE CONDUIT RUNS. MAXIMUM LENGTH SHALL BE SIX FEET UNLESS OTHERWISE NOTED.
- ROUTE ALL CONDUIT WHETHER EXPOSED OR CONCEALED, PARALLEL AND PERPENDICULAR TO WALL AND ADJACENT EXISTING PIPING. ARRANGE CONDUIT TO MAINTAIN HEADROOM AND TO PRESENT A NEAT APPEARANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAWCUTTING, TRENCHING, BACKFILLING, COMPACTION AND PATCHING OF CONCRETE AND ASPHALT AS REQUIRED TO PERFORM HIS WORK.

ATTENTION IS CALLED TO THE FACT THAT THERE MAY BE EXISTING UNDERGROUND UTILITY LINES THAT WERE NOT ABLE TO BE DOCUMENTED OR SHOWN ON PLANS. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND COORDINATION WITH ALL PROPERTY OWNERS, TENANTS, UTILITIES AND THE APPROPRIATE "DIG-ALERT" UNDERGROUND MARKING AGENCY. THE CONTRACTOR SHALL ALWAYS USE EXTREME CAUTION WHEN TRENCHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER AND APPROVED REPAIR OF ANY AND ALL DAMAGE TO EXISTING UNDERGROUND FACILITIES CAUSED DURING THE COURSE OF HIS WORK.

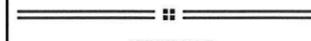
- WHENEVER A DISCREPANCY IN QUANTITY OR SIZE OF CONDUIT, WIRE, EQUIPMENT CONDUIT ROUTE, INSTALLATION DETAILS AND SPECIFIC PROJECT PARAMETERS WITH THE AT&T MOBILITY SINGLE POINT OF CONTACT (SPOC) PRIOR TO BEGINNING ANY WORK IN THE FIELD. THE AT&T MOBILITY SPOC IS ERIC SVENONIUS AT (760) 315-8000
- THE PROJECT ADDRESS AND ANY SPECIFIC UNIT NUMBER MUST BE PROVIDED TO THE AT&T MOBILITY SPOC MINIMUM (1) WEEK PRIOR TO FINAL INSPECTION TO AVOID DELAY IN INSTALLATION OF SERVICE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND FACILITIES AS SHOWN AND DETAILED ON THE PLANS AND AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- CONDUIT SPECIFICATIONS SHALL BE AS FOLLOWS:
 - GENERAL: ALL TELEPHONE SERVICE CONDUIT SHALL RUN FROM POLE, VAULT, PULL-BOX, MANHOLE OR OTHER POINT OF CONNECTION ESTABLISHED BY AT&T MOBILITY SPOC AND SHALL RUN CONTINUOUS TO AN EDGE OF THE TELEPHONE TERMINAL BACKBOARD.
 - UNDERGROUND CONDUIT AND SWEEPS SHALL BE MINIMUM 4" DIAMETER DIRECT BURIAL SCHEDULE 40 PVC. SEE PLANS FOR SPECIFIC CONDUIT SIZES. TRENCH DEPTH SHALL PROVIDE FOR MINIMUM 24" COVER OVER CONDUIT. CONDUIT SHALL NOT BE RUN CLOSER THAN 24" TO ANY PROPERTY LINE. FOR JOINT TRENCH CONSTRUCTION, THE MINIMUM SEPARATION REQUIRED BETWEEN TELCO AND POWER CONDUIT SHALL BE 12". CONDUIT RUN SHALL BE NO MORE THAN 150 FEET IN LENGTH OR HAVE NO MORE THAN (2) 90° BENDS (OR EQUIVALENT) BETWEEN PULL BOXES
 - PULL BOXES SHALL BE 17" X 30" X 15" DEEP CONCRETE BOXES WITH DEPTH EXTENSIONS AND CONCRETE BOLT DOWN COVERS. STEEL COVERS SHALL BE PROVIDED WHERE BOXES ARE EXPOSED TO VEHICULAR TRAFFIC.
 - ABOVE GROUND CONDUIT AND CONDUIT INSIDE BUILDINGS SHALL BE 2" DIAMETER EMT WITH FITTINGS AS NOTED IN ELECTRICAL NOTES. PROVIDE A UL APPROVED 12" HIGH X 12" WIDE X 6" DEEP WEATHER RESISTANT NEMA 3R RATED PULL BOX ON ALL ABOVE GRADE CONDUIT RUNS AT INTERVALS NOT TO EXCEED 150 FEET OR (2) 90° BENDS (OR EQUIVALENT).
 - OVERHEAD EXTERIOR FEEDS SHALL BE 2" DIAMETER RIGID GALVANIZED CONDUIT WITH A WEATHERHEAD OF A TYPE AND AT A HEIGHT APPROVED BY AT&T MOBILITY SPOC (MINIMUM 20 FEET ABOVE FINISHED GRADE)
- ONE (MINIMUM) 3/8" YELLOW POLYPROPYLENE PULL STRING WITH MINIMUM 200 POUNDS OF PULLING CAPACITY SHALL BE INCLUDED IN EVERY CONDUIT.
- PROVIDE A UL APPROVED 30" WIDE X 36" HIGH X 9" DEEP WEATHER RESISTANT NEMA 3R RATED METAL TELEPHONE SPLICE BOX AT TERMINATION OF THE TELEPHONE SERVICE. THE SPLICE BOX SHALL CONTAIN A 3/4" THICK PLYWOOD BACKBOARD AND SHALL HAVE FULL HINGES AND A LOCKABLE DOOR. THE SPLICE BOX SHALL BE GALVANIZED STEEL AND SHALL BE PAINTED INSIDE AND OUT. THE SPLICE BOX SHALL HAVE KNOCKOUTS ON THE BOTTOM SURFACE ONLY. THERE SHALL BE A MINIMUM OF 36" CLEAR FROM THE BOTTOM OF THE SPLICE BOX TO GROUND LEVEL OR FINISHED SURFACE BELOW AND THERE SHALL BE MINIMUM 36" WIDE CLEAR ACCESS TO THE FRONT OF THE SPLICE BOX.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABILITY OR SHALL PROVIDE A NEW 120V POWER SOURCE MINIMUM 12" FROM TELEPHONE TERMINAL BACKBOARD FOR USE OF POWER TOOLS, TEST SETS, ETC.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A #6 SOLID GREEN INSULATED COPPER GROUND WIRE FROM A GROUND SOURCE APPROVED BY AT&T MOBILITY SPOC. MINIMUM STANDARD SOURCE SHALL BE A 5/8" DIAMETER X 8'-0" LONG COPPER CLAD STEEL GROUND ROD.
- ALL INSIDE WIRE RUNS SHALL BE (2) #22 GAUGE SHIELDED WIRE AS APPROVED AND RATED FOR AT&T MOBILITY AND THE FCC. INSIDE WIRE LINES SHALL BE TERMINATED AND IDENTIFIED BY UNIT NUMBER ON THE 66MI PIN BLOCK LOCATED ON THE TELEPHONE TERMINAL BACKBOARD.
- ALL OUTDOOR ELECTRICAL DEVICES, BOXES OR EQUIPMENT SHALL BE OF WEATHERPROOF TYPE.
- ALL PANELS, DISCONNECT SWITCHES, TRANSFER SWITCHES AND ALL OTHER EXPOSED ELECTRICAL DEVICES SHALL BE SUPPLIED WITH A LOCKABLE DEVICE PER AT&T MOBILITY REQUIREMENTS.
- ALL GROUNDING SHALL BE PER N.E.C. SECTION 250 AND 810 AND THE GROUNDING REQUIREMENTS OF THESE DRAWINGS. PROTECTORS MUST BE GROUND TO A GROUNDING SYSTEM ACCEPTABLE TO THE AT&T MOBILITY CONSTRUCTION MANAGER SUCH AS THE STRUCTURAL STEEL FRAME OF A BUILDING WHERE THE FRAME IS EFFECTIVELY GROUND, A CONCRETE ENCASED ELECTRODE OR A BURIED GROUND RING.
- SEE SHEET E-3 FOR ALL TELECOMMUNICATIONS EQUIPMENT, CABLE TRAY AND ANTENNA GROUND WIRE CONNECTIONS TO GROUND BUS BARS, GROUND RINGS, ETC.
- ALL METALLIC GROUND WIRE CONDUIT SHALL BE GROUND TO THE GROUND WIRE USING SET SCREW CONNECTIONS AT CONDUIT END CAPS AND CRIMP CONNECTIONS AT THE WIRE.
- COAT ALL BOLTED LUG & BUS BAR GROUND CONTACT SURFACES WITH KOPR-SHIELD, NO-OX, OR EQUAL PRIOR TO ATTACHMENT.
- MAIN CIRCUIT BREAKER SHALL BE RATED FOR STANDARD A.I.C. RATING HIGHER THAN INCOMING A.I.C.
- ALL EQUIPMENT SHALL BE BRACED FOR STANDARD A.I.C. RATING HIGHER THAN INCOMING FROM UTILITY COMPANY
- ALL CORING CLEARANCES SHALL BE FIELD VERIFIED AND ALL CONDUIT ROUTING SHALL BE COORDINATED WITH PROPERTY OWNERS REPRESENTATIVE.
- ALL CONNECTIONS TO EXISTING MAIN SWITCHGEAR INCLUDING "BUS-TAPS" AND/OR "HOT-TAPS" REQUIRE CERTIFICATION AND APPROVAL. FABRICATION AND CERTIFICATION SHALL BE FURNISHED BY A CONTRACTOR APPROVED BY THE APPLICABLE UTILITY.
- CONTRACTOR SHALL COORDINATE SERVICE FEEDS WITH UTILITY COMPANIES FOR FINAL AND EXACT WORK AND MATERIAL REQUIREMENTS. ALL UTILITY FEEDS SHALL BE CONSTRUCTED TO UTILITY COMPANY ENGINEERING PLANS AND SPECIFICATIONS ONLY.
- ALL BROCHURES, OPERATION MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO THE AT&T MOBILITY CONSTRUCTION MANAGER AT THE COMPLETION OF WORK.
- ALL INTERIOR GROUNDING WIRE SHALL BE TELCOFLEX-IV OR KS24194-L4 TELECOMMUNICATIONS TYPE WIRING FOR SAWC CUT LARGER WIRE AND TELCOFLEX-III OR KS24194-L3 TELECOMMUNICATIONS TYPE WIRING FOR 14AWG THROUGH 10AWG WIRE. ONLY WHEN SPECIFIC TO OEM INSTALLATION REQUIREMENTS SPECIFYING CLASS B STRAND DC WIRING REQUIREMENTS (SOMETIMES NECESSARY FOR TERMINAL CLAMP TYPE DC POWER INPUT CONNECTIONS) IT SHALL BE ACCEPTABLE TO DEPLOY TELCOFLEX-III OR KS24194-L3 TYPE WIRING IN OTHER WIRING SIZES WHEN ADDITIONALLY IN COMPLIANCE WITH ALL OTHER REQUIREMENTS SPECIFIED WITHIN THE AT&T MOBILITY SPECIFICATIONS MANUAL.

- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE POINT OF CONNECTION, CONDUIT ROUTE, INSTALLATION DETAILS AND SPECIFIC PROJECT PARAMETERS WITH THE AT&T MOBILITY SINGLE POINT OF CONTACT (SPOC) PRIOR TO BEGINNING ANY WORK IN THE FIELD. THE AT&T MOBILITY SPOC IS ERIC SVENONIUS AT (760) 315-8000
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PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY SERVICE IS STRICTLY PROHIBITED.



PREPARED FOR
verizon
 P.O. BOX 19707
 IRVINE, CA 92623-9707



APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
**FORT ROSECRANS
 PERMANENT SITE**
 203 CATALINA BOULEVARD
 SAN DIEGO, CA 92106
MTX - 40
 SAN DIEGO COUNTY

DRAWING DATES

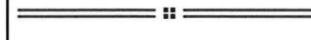
05/23/16	REVISED ZD #6 (ic)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDs)
08/24/16	REVISED ZD #8 (se) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (se) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (lab)
05/24/17	90% CD REVISION 1 (pl)



SHEET TITLE
**ELECTRICAL
 SPECIFICATIONS**



PROJECTS\VERIZON\12048



E-1

PREPARED FOR
verizon

P.O. BOX 19707
 IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**FORT ROSECRANS
 PERMANENT SITE**

203 CATALINA BOULEVARD
 SAN DIEGO, CA 92106
MTX - 40
 SAN DIEGO COUNTY

DRAWING DATES

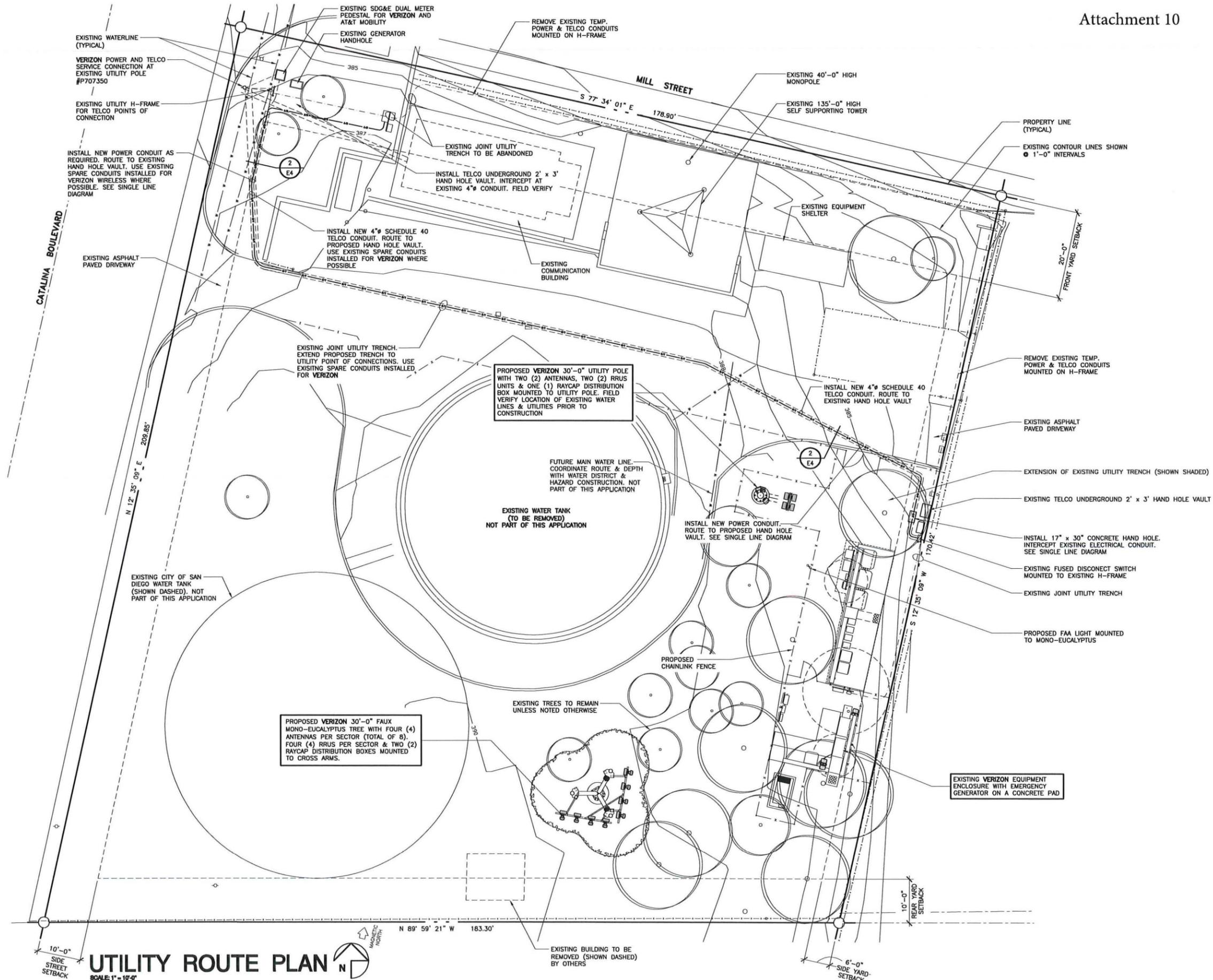
05/23/16	REVISED ZD #6 (lc)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (ss) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (ss) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE

UTILITY ROUTE PLAN

PROJECTS\VERIZON\12048

E-2

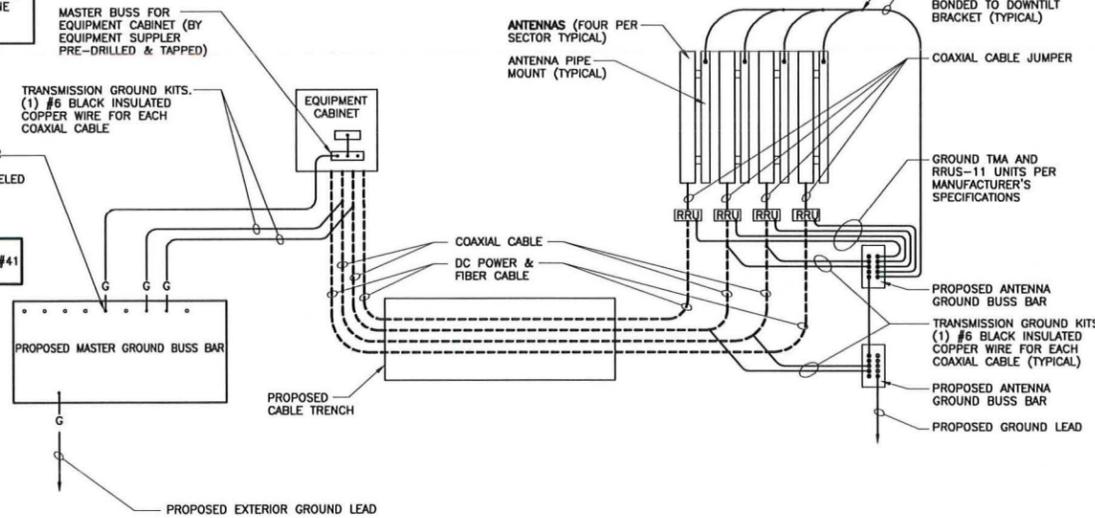


UTILITY ROUTE PLAN
 SCALE: 1" = 10'-0"
 N

THIS DRAWING IS A SCHEMATIC LAYOUT OF COAXIAL CABLE, ANTENNA & FIXTURE GROUNDING FOR ONE SECTOR ONLY. SEE SHEET A-5 FOR COMPLETE ANTENNA LAYOUT, QUANTITY AND LOCATION

CONNECT TO GROUND BUSS WITH "BURNDY" (OR EQUIVALENT) TWO (2) HOLE COMPRESSION TYPE "HYLUG" CONNECTOR WITH THREADED BOLT, BEVELED LOCK WASHER, AND NUT. (TYPICAL FOR ALL CONNECTIONS TO ALL GROUND BUSS)

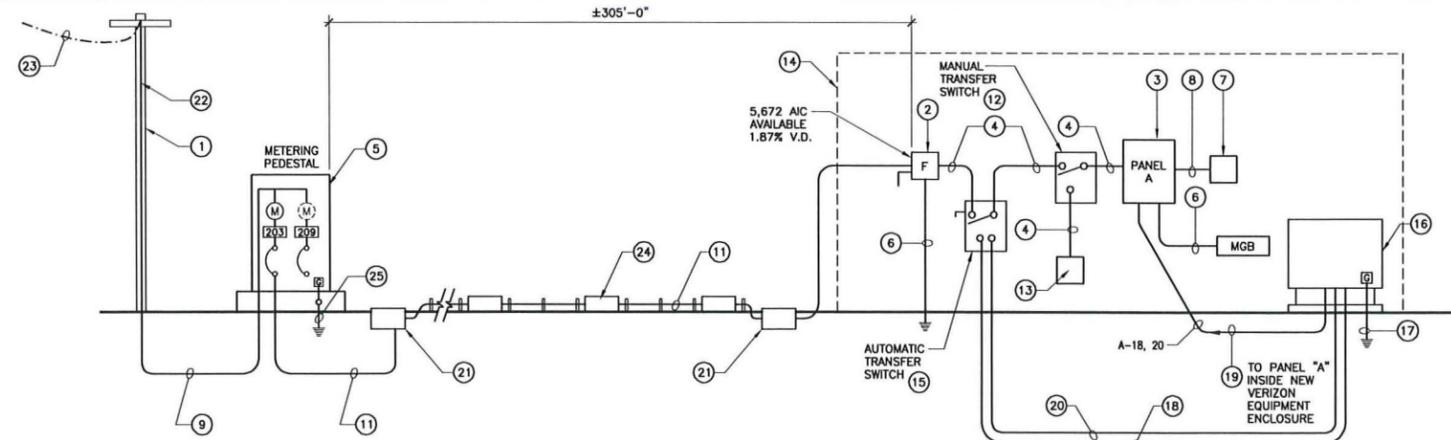
INTERIOR GROUNDING WIRE NOTE: SEE ELECTRICAL NOTES ON SHEET E-1, NOTE #41 FOR INTERIOR GROUNDING WIRE SPECIFICATION



GROUNDING GENERAL NOTES

1. PROVIDE A COMPLETE GROUNDING SYSTEM PER NATIONAL ELECTRICAL CODE ARTICLE 250 AND EQUIPMENT MANUFACTURER'S REQUIREMENTS. USE THESE DRAWINGS AS A MINIMUM SCHEMATIC GUIDELINE TO IMPLEMENT AT&T MOBILITY CONSTRUCTION GUIDELINES
2. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND MOUNTING OF FACILITIES & FIXTURES MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
3. ALL GROUNDING CONDUCTORS SHALL BE COPPER.
4. ALL GROUND WIRE BELOW GRADE SHALL BE #2 TINNED SOLID COPPER WIRE BURIED @ 30" MINIMUM. ALL CONDUIT BELOW GRADE SHALL BE PVC SCHEDULE 80.
5. ALL GROUND WIRE ABOVE GRADE SHALL BE STRANDED COPPER UNLESS NOTED OTHERWISE. SIZE AS SHOWN ON PLANS.
6. USE MINIMUM #2/0 AWG COPPER CONDUCTORS FOR COMMUNICATION SERVICE GROUNDING CONDUCTORS.
7. ALL GROUND CONNECTIONS SHALL BE U.L. LISTED FOR THE PURPOSE INTENDED.
8. ALL LUG CONNECTORS SHALL BE "BURNDY" TWO (2) HOLE COMPRESSION TYPE "HYLUG" CONNECTOR OR EQUIVALENT APPROVED BY AT&T MOBILITY CONSTRUCTION MANAGER
9. ALL IRREVERSIBLE COMPRESSION TYPE CONNECTORS SHALL BE INSTALLED USING A 12 TON HYDRAULIC PRESS MINIMUM.
10. ALL CONNECTIONS AT BELOW GRADE APPLICATIONS SHALL BE CAD WELDED.
11. MINIMUM BEND RADIUS FOR GROUNDING CONDUCTORS #2 AND LARGER SHALL BE 12". MINIMUM RADIUS FOR SMALLER CONDUCTORS SHALL BE 8".
12. INSTALL GROUNDING AND BONDING CONDUCTORS WITH SUFFICIENT SLACK TO AVOID BREAKING DUE TO SETTLEMENT AND MOVEMENT OF CONDUCTORS AT ATTACHED POINTS.
13. COAT ALL EXTERIOR GROUND CONNECTIONS AND ALL BOLTED LUG & BUS GROUND CONTACT SURFACES WITH KOPR-SHIELD, NO-OX, OR EQUAL PRIOR TO ATTACHMENT.
14. GROUND RODS WHERE NEEDED SHALL BE 5/8" DIAMETER x 10'-0" LONG COPPER CLAD STEEL. WHEN SHOWN, CONTRACTOR SHALL INCLUDE IN HIS BID, A GROUND RING AND AS MANY GROUND RODS AS ARE NECESSARY TO ATTAIN A 5 OHM VALUE OR LESS.
15. WHERE MULTIPLE GROUND RODS ARE INSTALLED, THEY SHALL NOT BE LESS THAN 8 FEET NOR MORE THAN 16 FEET APART UNLESS APPROVED BY AT&T MOBILITY CONSTRUCTION MANAGER.
16. WHEN PROPOSED EARTH GROUND SYSTEM IS REQUIRED, DRIVEN GROUND RODS SHALL BE USED EXCEPT WHERE SPECIFIC SITE CONDITIONS PRESENT DIFFICULTY, IN WHICH CASE A ELECTROLYTIC (CHEMICAL) ROD SYSTEM MAY BE USED, SUCH AS MANUFACTURED BY LYNCOLE XIT GROUNDING SYSTEM OR EQUAL. USE OF CHEMICAL GROUND SHALL BE APPROVED IN ADVANCE BY AT&T MOBILITY CONSTRUCTION MANAGER AND SHALL BE INCLUDED IN CONTRACTORS BID.
17. CONTRACTOR SHALL PERFORM GROUND RESISTANCE TEST AT "MGB" AND PERFORM FALL OF POTENTIAL TEST PER IEEE STANDARD NO. 81; SECTION 9.04 ON THE MAIN GROUNDING ELECTRODE TO VERIFY THAT RESISTANCE SHALL NOT EXCEED 5 OHMS AND SHALL SUBMIT AN INDEPENDENT TESTING REPORT INDICATING RESISTANCE VALUES OBTAINED.
18. FINAL GROUND TEST SHALL BE CONDUCTED BY THE AT&T MOBILITY CONSTRUCTION MANAGER PRIOR TO ACCEPTANCE OF WORK.
19. OMIT LIGHTNING SPIKES IN ALL INSTANCES.

GROUNDING SCHEMATIC AND GENERAL NOTES



POWER SINGLE LINE DIAGRAM NOTES

- 1 POWER SERVICE CONNECTION AT EXISTING ELECTRICAL UTILITY POLE #P707350
- 2 EXISTING 200 AMPERE 120/240 VOLT, 2-POLE, 3-WIRE, HEAVY DUTY FUSED DISCONNECT SWITCH, SQUARE "D" #H224N, NEMA 3R ENCLOSURE, CLASS RK1, 200 AMP FUSES, BUSSMANN TYPE LPN-RK-SP, CL, DE, TD
- 3 EXISTING PANEL "A". SEE SCHEDULE.
- 4 EXISTING 2 1/2" - 3#3/0, 1#6 GROUND, CU, THHN/THWN-2
- 5 EXISTING TESCO 400 AMP, 120/240 VOLT, 1-PHASE, 3-WIRE, NEMA 3R UTILITY SERVICE PEDESTAL COMBINATION DUAL METERING WITH (2) 200 AMP/2-POLE 200 AMP CIRCUIT BREAKERS & METERS 5-CLIP METER SOCKETS 42kAC, COMPLY WITH SDG&E REQUIREMENTS
- 6 EXISTING 1/2" - 1#2 CU BOND TO MASTER GROUND BAR "MGB"
- 7 EXISTING SURGE ARRESTOR (SUPPLIED BY VERIZON WIRELESS)
- 8 EXISTING 1-1/2" - 3#1, 1#8 GROUND, CU, THHN/THWN-2
- 9 EXISTING 3" SCHEDULE 40 PVC CONDUIT WITH PULL CORD. SDG&E POWER SERVICE CONDUIT. SEE SHEET E-2
- 10 EXISTING #4CU GROUND, 3/4" X 8'-0" COPPER CLAD STEEL GROUND ROD
- 11 EXISTING 3" SCHEDULE 40 PVC CONDUIT - 3 #250K MIL, 1#4 GRD, CU, THHN/THWN-2 MOUNTED ON PROPOSED FRAME
- 12 EXISTING MANUAL TRANSFER SWITCH, 200 AMP, 240 VOLT, 2 POLE, 3 WIRE, GROUND, DOUBLE THROW, NON-FUSED, SQUARE "D" #82254, 10,000 AIC, NEMA 3R ENCLOSURE.
- 13 200 AMPERE, 120/240 VOLT, 4-WIRE, 4-POLE, REVERSE SERVICE, EMERGENCY GENERATOR WEATHERPROOF RECEPTACLE APPLINGTON #AR20044RS
- 14 EXISTING WIRELESS EQUIPMENT ENCLOSURE (SHOWN DASHED)
- 15 EXISTING AUTOMATIC TRANSFER SWITCH GENERAC MODEL #0048402, 200 AMP, 120/240V, 1-PHASE, 3-WIRE, 2-POLE, 42KAC, NEMA 3R ENCLOSURE.
- 16 EXISTING 20KW 120/240 VOLTS, SINGLE PHASE, TWO POLE, THREE WIRE ENCLOSED STANDBY DIESEL GENERATOR. ALL AS APPROVED BY VERIZON. 100 AMP/2 POLE OUTPUT CIRCUIT BREAKER, 52 GALLON DOUBLE WALL SUB BASE FUEL TANK. GENERATOR SHALL BE LISTED OR EVALUATED TO COMPLY WITH UL 2200 & UL 142.
- 17 EXISTING 5/8" x 8'-0" COPPER CLAD STEEL GROUND ROD AND #4 CU GROUND
- 18 EXISTING 2" - 3#1, 1#8 GROUND, CU, THHN/THWN-2
- 19 EXISTING 1" - 3#10, 1#10 GROUND, CU, THHN/THWN-2
- 20 EXISTING 1" - GENERATOR CONTROL WIRING
- 21 ASSOCIATED CONCRETE PRODUCTS 17" x 30" x 15" DEEP UNDERGROUND PULL-BOX WITH STEEL BOLT-DOWN COVERS AT PAVING AND CONCRETE BOLT-DOWN COVERS AT PLANTER AREAS. PROVIDE DEPTH EXTENSIONS AS REQUIRED. GROUND BOND STEEL COVER WITH #6 AWG, STRANDED FLEXIBLE COPPER WIRE TO 3/4" x 8'-0" COPPER CLAD STEEL GROUND ROD.
- 22 EXISTING SERVICE CONDUIT RISER & WEATHER HEAD
- 23 EXISTING OVERHEAD SERVICE FEED
- 24 EXISTING ABOVE GROUND 18" x 18" x 6" WP PULL-BOX OUTDOOR AS REQUIRED
- 25 EXISTING #4CU GROUND, 3/4" X 8'-0" COPPER CLAD STEEL GROUND ROD

POWER SINGLE LINE DIAGRAM

VOLTS: 120/240		FEED: 200A		MAIN: MLO		MOUNTING		EXTERIOR		PANEL: A		
PHASE: 1#		BUS: 200A		22KAIC		NEMA 3R,		SURFACE				
WIRE: 3												
LOAD	#A	#B	LTS	REC	BRKR	CKT	CKT	BRKR	REC	LTS	#B	#A
LIGHTING (NOTE #5)	260					1	2	40			2000	2000
RECEPTACLES		360				3	4	2			2000	2000
SPACE						5	6	40			2000	2000
SPACE						7	8	2			2000	2000
SPACE						9	10	40			2000	eNB
SPACE						11	12	2			2000	SPARE
SPACE						13	14	20				SPARE
SPACE						15	16	20				SPARE
SURGE SUPPRESSOR					60	17	18	20			1000	GENERATOR (NOTE #5)
						19	20	20			1000	ACCESSORIES (NOTE #5)
TOTALS (KW)	260	360									7,000	7,000
VA/PHASE:				PHASE A: 7,260			PHASE B: 7,360					
AMPS/PHASE:				PHASE A: 61			PHASE B: 62					
TOTAL VA:				VA: 16,060								
CIRCUIT BREAKERS 22,000 A.I.C. 14,620 VA + 65 LCL = 14,685 = TOTAL AMPS AT 240V, 1# = 62												

NOTES:

1. ALL EQUIPMENT (FUSES, CIRCUIT BREAKERS, BUSSING, ETC.) SHALL HAVE A SHORT CIRCUIT RATING EQUAL TO, OR GREATER THAN, THE AVAILABLE SHORT CIRCUIT CURRENT AT THE LOCATION.
2. ALL ELECTRICAL EQUIPMENT SHALL BE U.L. LISTED.
3. ALL ELECTRICAL EQUIPMENT EXPOSED TO THE WEATHER SHALL BE LISTED FOR EXTERIOR USE.
4. SQUARE "D" NOOD PANELBOARD
5. HANDLE CLIP

PANEL SCHEDULE

PREPARED FOR
verizon
P.O. BOX 19707
IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
FORT ROSECRANS PERMANENT SITE
203 CATALINA BOULEVARD
SAN DIEGO, CA 92106
MTX - 40
SAN DIEGO COUNTY

DRAWING DATES

05/23/16	REVISED ZD #6 (ic)
07/08/16	REVISED ZD #7 (sv) (PLANNING COMMENTS) (NEW RFDS)
08/24/16	REVISED ZD #8 (se) (PLANNING COMMENTS)
09/26/16	REVISED ZD #9 (se) (TOPOGRAPHIC SURVEY)
04/10/17	90% CD REVIEW (job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE
POWER SINGLE LINE DIAGRAM, PANEL SCHEDULE & GROUNDING PLAN

PROJECTS\VERIZON\12048

	<p>NOTES:</p> <ol style="list-style-type: none"> 1) ALL DIMENSIONS SHOWN ARE MINIMUM CLEAR. 2) ELECTRICAL CONTRACTOR TO INCLUDE REMOVAL OF SPOILS. 3) VERIFY TRENCH DIMENSIONS AND DETAILS WITH SDG&E REQUIREMENTS AND LATEST SBC SITE DESIGN SPECIFICATIONS MANUAL. THE STRICTEST REQUIREMENTS SHALL BE USED. 	NO DETAIL THIS SPACE	NO DETAIL THIS SPACE	Attachment 10 NO DETAIL THIS SPACE
GROUNDING RING SCALE: N.T.S. 1	TYPICAL UTILITY TRENCH SCALE: 3/4"=1'-0" 2	3	4	5
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16	17	18	19	20

Booth & Suarez
ARCHITECTURE ■ INCORPORATED
1283 EAST MAIN STREET SUITE 200
EL CAJON, CA 92021 (619) 749-1305

PREPARED FOR
verizon
P.O. BOX 19707
IRVINE, CA 92623-9707

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
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PROJECT NAME
**FORT ROSECRANS
PERMANENT SITE**
203 CATALINA BOULEVARD
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04/10/17	90% CD REVIEW (Job)
05/24/17	90% CD REVISION 1 (pl)

SHEET TITLE
**ELECTRICAL
DETAILS**

PROJECTS\VERIZON\12048

E-4



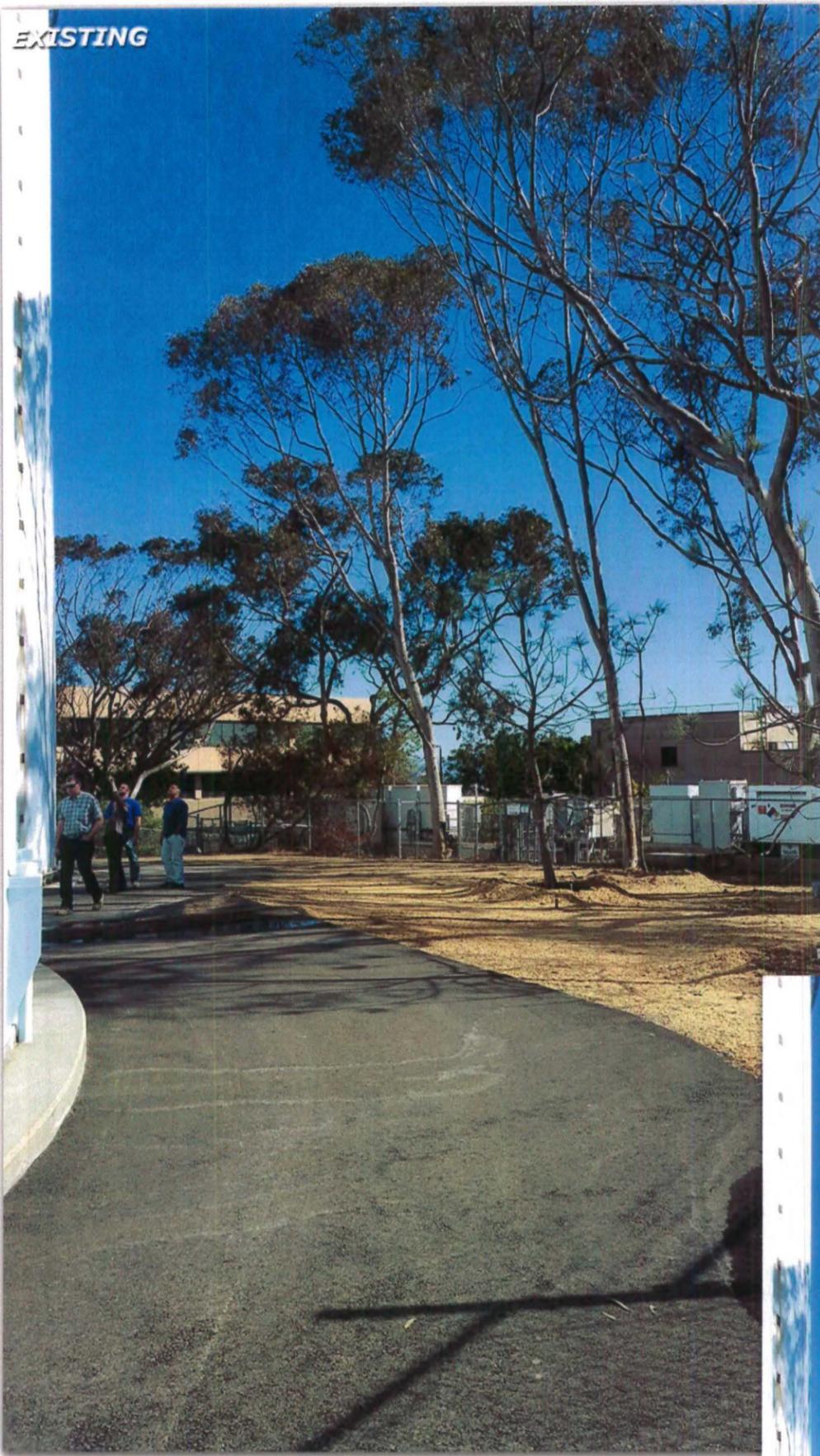
EXISTING



PROPOSED

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings
4/13/2016

EXISTING

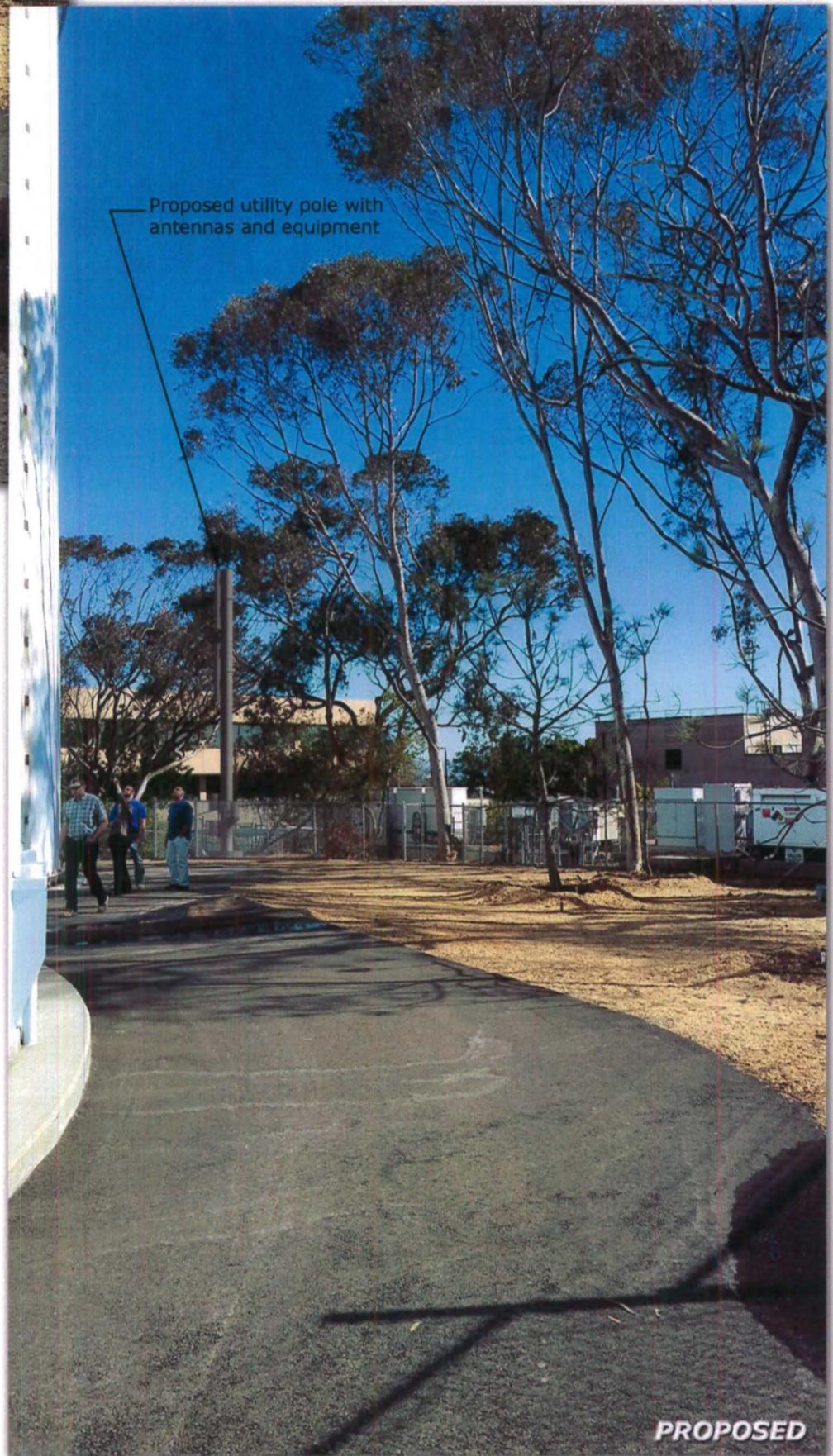


Attachment 11

Fort Rosecrans Permanent Site
203 Catalina Blvd.
San Diego, CA 92106



Proposed utility pole with
antennas and equipment



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings
7/19/2016

Photosimulation of proposed telecommunications site

SITE JUSTIFICATION
Verizon "Fort Rosecrans"
202 Catalina Blvd.
San Diego, CA 92106

PROJECT DESCRIPTION

This application seeks to permit a new Wireless Communications Facility (WCF) for Verizon Wireless located at 202 Catalina Blvd on a City owned water tank facility. The new WCF will consist of twelve (12) antennas and twelve (12) Remote Radio Units (RRUs) on a 30 foot monoecalyptus and on a 30 foot pole. Verizon Wireless had a previous WCF on the property located on a 30 foot monopine. The monopine was removed in order for the City to install a second water tank on the property. Verizon moved to a temporary location on the property during the water tank construction. The proposed facility will replace the previous facility and the temporary facility.

SITE DESIGN

Specifically the project calls for the installation of three (3) sectors of four (4) antennas with one (1) RRU per antenna. Eight (8) antennas and eight (8) RRUs will be located on a 30 foot monoecalyptus tree on the south side of the property. Four (4) antennas and four (4) RRUs will be located on a 30 foot pole located at the rear (east side) of the property. Two structures are proposed for this facility, because the two existing water tanks are located so that they block the RF signal across the property. By splitting the antenna sectors onto two (2) structures, the RF signal is able to cover the intended coverage areas to the north and south. The associated equipment necessary to operate the facility is located at the rear of the property behind the two water tanks. No change is proposed to the equipment enclosure.

PREFERENCE 2 LOCATION:

The proposed facility is located on a residentially zoned property developed with two City owned Water tanks. The subject property is a Preference 2 location for a WCF as the property is zoned for residential uses but developed with a non-residential use and more than 100 feet from a residential property. The closest Preference 1 location is the Fresh and Easy shopping center. The property is approximately one mile from the subject property and at a lower elevation. In addition to having very limited space on which to locate a WCF, the property does not meet the coverage objective as demonstrated on the attached network coverage exhibit.

We believe that the proposed facility as designed is consistent with all relevant regulations and provides the best design option to achieve the necessary visual integration and to maintain the existing network coverage.

CO-LOCATION OF WIRELESS FACILITIES

AT&T is located on the property with antennas are located on the new water tank.

VZW Kearny Mesa
Page 2 of 2

foot pole located at the rear (east side) of the property. Two structures are proposed for this facility, because the two existing water tanks are located so that they block the RF signal across the property. By splitting the antenna sectors onto two (2) structures, the RF signal is able to cover the intended coverage areas to the north and south. The associated equipment necessary to operate the facility is located at the rear of the property behind the two water tanks. No change is proposed to the equipment enclosure.

The project is located within the RS-1-7 zone. The property is a developed with a City owned water tank facility and surrounded by navy facilities. Based on the underlying zone and development of the property, the WCF requires a Process 2, Neighborhood Use Permit.

All requirements listed in IB-536 and items relevant to this submittal have been included.

Pursuant to the FCC's "shot-clock" rules (FCC Declaratory Ruling dated November 18, 2009) review must be completed and a final decision rendered within 150 days of the application being filed. Therefore, I would request that staff make a decision as soon as possible so that this deadline can be met including any applicable appeal periods.

Sincerely,

Shelly A.
Kilbourn

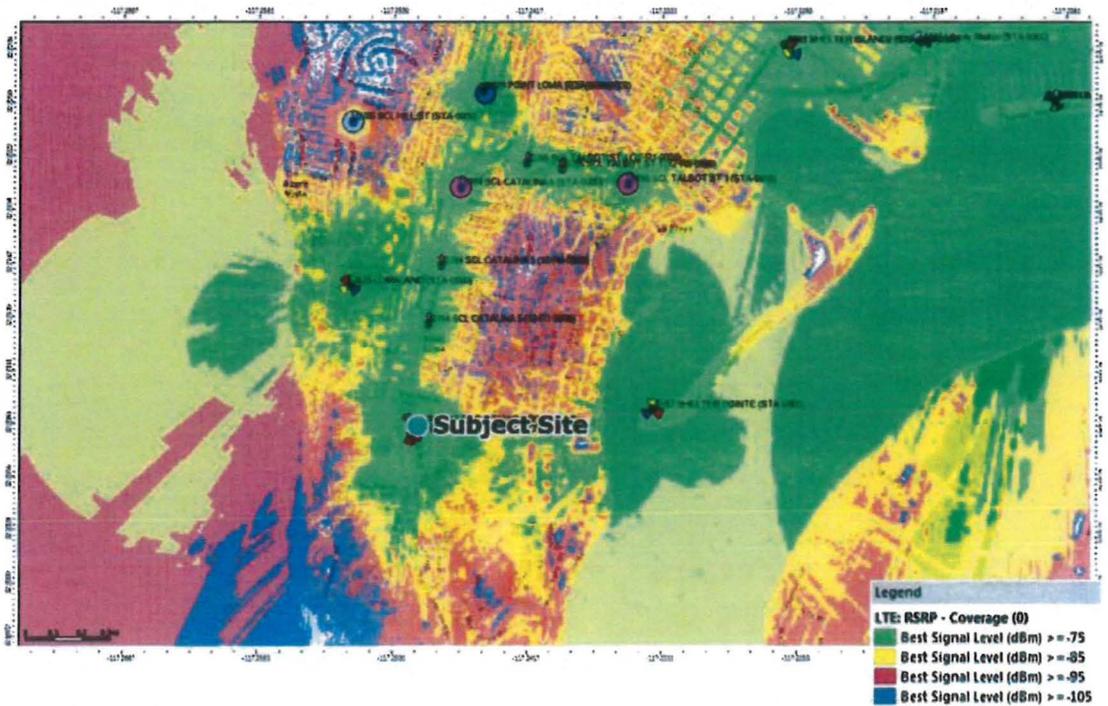
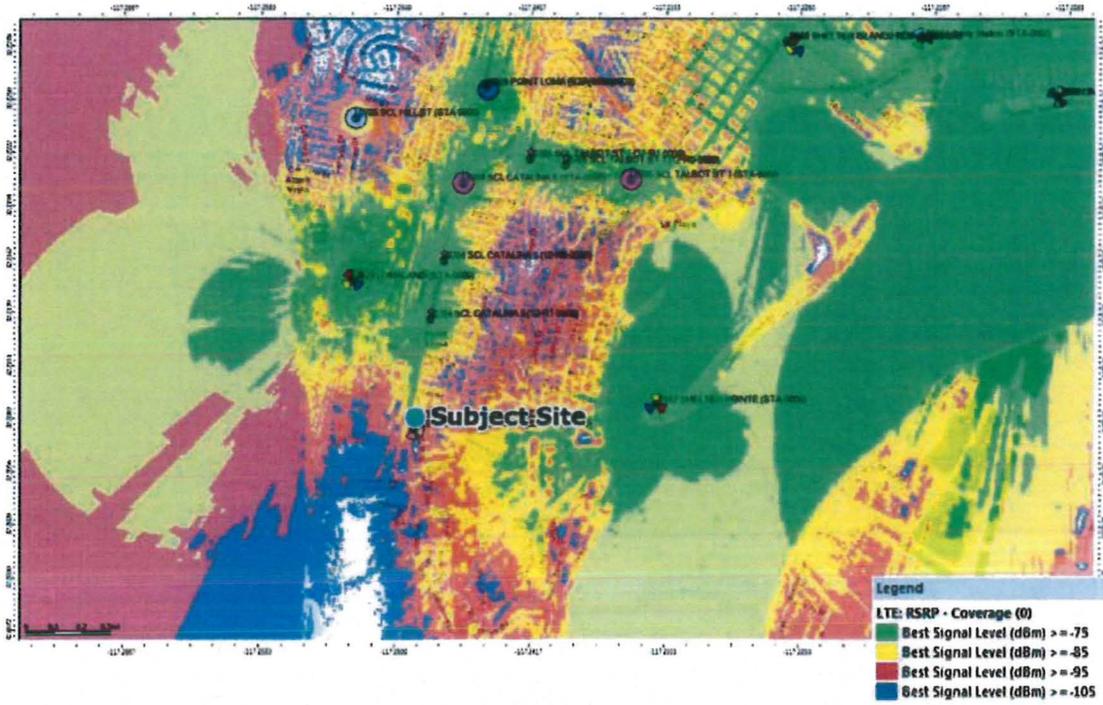
Digitally signed by Shelly A. Kilbourn
DN: cn=Shelly A. Kilbourn, o, ou,
email=shellykilbourn@cox.net, c=US
Date: 2016.04.13 19:12:31 -0700

Shelly A. Kilbourn
Contract Representative for
Verizon Wireless

Fort Rosecrans Permanent Site
 203 Catalina Blvd.
 San Diego, CA 92106



Coverage without site



Coverage with site