



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 6, 2017 REPORT NO. HO-17-087

HEARING DATE: December 13, 2017

SUBJECT: VALLEY GREENS CORP. Process Three Decision

PROJECT NUMBER: [515221](#)

OWNER/APPLICANT: Adatto Family Trust, Owner / Blake Marchand, Applicant (Attachment 13)

SUMMARY

Issue: Should the Hearing Officer approve a Marijuana Outlet to operate within a 2,183-square-foot tenant space in an existing 17,767-square-foot building on a 1.01-acre site located at 2835 Camino Del Rio South, Suite 100, within the Mission Valley Community Plan area?

Staff Recommendation: APPROVE Conditional Use Permit No. 1811038.

Community Planning Group Recommendation: On April 5, 2017, the Mission Valley Planning Group voted 11-5-1 to recommend denial of the proposed project (Attachment 11).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303, New Construction or Conversion of Small Structures, and an appeal of the CEQA determination was filed on September 13, 2017. The City Council denied the CEQA appeal on November 6, 2017. The scope of the subject hearing considers only the project and not the environmental determination.

BACKGROUND

In 1996, the people of the State of California passed Proposition 215, the Compassionate Use Act, which allows the use of marijuana for medical purposes when recommended by a physician and exempts the patient and the primary caregiver from criminal prosecution. In 2004, Senate Bill 420, the Medical Marijuana Program Act (MMP) became law. The MMP requires the California Department of Public Health (DPH) to establish and maintain a program for the voluntary registration of qualified medical marijuana patients and their primary caregivers through a statewide identification card system, sets possession guidelines for cardholders, and recognizes a qualified right to collective and cooperative cultivation of medical marijuana. In 2008, the California

Attorney General established guidelines for Medical Marijuana Collective Operations and allowed cities to adopt and enforce laws consistent with the MMP.

On March 25, 2014, the City of San Diego adopted Ordinance No. O-20356 to implement zoning regulations for Medical Marijuana Consumer Cooperatives (MMCC), which allowed MMCCs with a Process Three, Conditional Use Permit (CUP), and limited them to four per Council District for a total of 36 MMCCs City-wide. A total of 15 MMCCs have been approved to date.

The Adult Use of Marijuana Act (AUMA) took effect on November 9, 2016, which requires a state license to engage in commercial non-medical marijuana activities. The State Departments of Food and Agriculture (cultivation), Consumer Affairs (retail sales, transportation, and storage and distribution), and Public Health (manufacturing and testing) will each be responsible for developing regulations and licensing requirements by January 2018. A local jurisdiction may adopt and enforce local ordinances that regulate local zoning and land use requirements, business license requirements, and other requirements it deems necessary to reduce potential impacts associated with commercial marijuana use.

On February 22, 2017, Ordinance No. O-20793 was approved, which included amendments to the Land Development Code and the Local Coastal Program, replacing the MMCC use with a new retail sales use, Marijuana Outlet (Outlet). The Ordinance became effective in areas of the City of San Diego outside of the Coastal Overlay Zone on April 12, 2017, and within the Coastal Overlay Zone on October 12, 2017. An Outlet may be approved with a Process Three, CUP, and are limited to no more than four per Council District, and 36 City-wide. City of San Diego issued permits would allow an Outlet to sell both medicinal and recreational marijuana. However, retail sales are prohibited until the State begins issuing licenses for commercial marijuana activities, as defined in California Business and Professional Code section 26001. A total of two Outlets have been approved to date; both within Council District 7. The 15 previously approved MMCCs would become Outlets and allowed retail sale of marijuana upon obtaining the required State License.

The 1.01-acre site is located at 2835 Camino Del Rio South, west of Interstate 805, in the MV-CO Zone of the Mission Valley Planned District (MVPD) within the Mission Valley Community Plan (MVCP) area. The project site is also located within the Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport influence Area (Review Area 2) for San Diego international Airport (SDIA) and Montgomery Field, the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field), and Council Districts 3 and 7. The site is designated for Commercial Office use in the MVCP (Attachment 2).

The site is currently developed with an existing commercial building that was constructed in 1986, and includes several professional office and commercial service suites. The proposed project will be located within building suite No. 100, which is located within Council District 7. Adjacent uses include multi-story commercial office buildings to the east and west, open space/hillside to the south, and multi-story commercial office buildings, the California Institute of Arts and Technology and a restaurant across Camino Del Rio South under the freeway overpass, and Interstate-8 to the north. The project site abuts the North Park Community Plan area to the south.

DISCUSSION

This CUP application was deemed complete on October 19, 2016, prior to the effective date of the Outlet regulations. However, the applicant has elected to process this application under the current regulations and is requesting a CUP for an Outlet. The project proposes to operate an Outlet in a 2,183-square-foot tenant space, Suite 100, located on the first floor of an existing 17,767-square-foot, three-story commercial office building. The proposed Outlet, classified as retail sales, is allowed in the MV-CO-CV Zone of the MVPD with a CUP pursuant to San Diego Municipal Code (SDMC) [Section 141.0504](#) and [SDMC Section 1514.0305\(b\)](#). The project has been determined to be exempt from the MVPD pursuant [SDMC Section 1514.0201\(b\) \(1\)](#) as the project proposes interior modifications with no change in use pursuant to [Table 1514-03\]](#) of the MVPD Ordinance, which considers similar development characteristics and intensity of use between commercial marijuana outlets and commercial office/service uses. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to [Section 132.1505\(c\)\(1\)](#) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Project Description:

The proposed Outlet features interior improvements that include an entry and security check area, a waiting area, reception, dispensary area, accounting/employee room, office and camera room, and a break room totaling 2,183 square feet in Gross Floor Area. The project proposes to retain Suites 115 and 230, located on the first and second floors of the building and totaling 2,499 square feet vacant throughout the duration of the CUP as conditioned (Condition No. 29). The vacant floor space is not to be used for any purpose, including storage. The improvements will require compliance with the California Building Code, Plumbing Code, Mechanical Code, Electrical Code, Fire Code and all adopted referenced standards, and will be reviewed for conformance during the construction permit application phase. Public improvements include the replacement of the existing curb ramp, and driveway to a 24-foot wide driveway consistent with current City Standards, and removal of the AC berm. The project will also construct an ADA accessible path of travel from Camino Del Rio South public right of way to the building entrance.

The project complies with the 54 required off-street parking for all uses on the premises, including 11 spaces for the proposed 2,183-square-foot Outlet at a rate of five spaces per 1,000 square feet of floor area, and 43 spaces for the remaining commercial services and office use within the building at a rate of 3.3 spaces per 1,000 square feet of floor area.

Community Plan Consistency:

The project site is designated for Commercial Office use in the MVCP (Attachment 2). This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan land use designation and objective of encouraging a range of retail uses integrated with other uses, and with a Conditional Use Permit, is a compatible use with the surrounding commercial establishments.

Separation Criteria:

The SDMC allows the operation of Outlets in limited areas of the City and imposes minimum separation requirements between an Outlet and specified uses in order to minimize potential adverse impacts on the community. [SDMC Section 141.0504\(a\)](#) requires a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten and grades 1 to 12. There is also a 100-foot minimum separation requirement from a residential zone. Per [SDMC Section 113.0225\(c\)](#), when measuring distance between Outlets and uses, natural topographical barriers and constructed barriers such as freeways or flood control channels that would impede direct physical access between the uses can be taken into consideration. In such cases, the distance can be measured as the most direct route around the barrier in a manner that establishes direct access.

City staff has reviewed the 1,000-foot radius map (Attachment 6) and 1,000-foot spreadsheet exhibit (Attachment 7) provided by the applicant identifying all the existing uses. City staff has determined that the project complies with the separation requirements as explained below.

1. Residential Zone - The project site abuts the RS-1-1 Zone to the south, which is designated Open Space in the North Park Community Plan (Attachment 8). Per the Community Plan, the open space designation is intended to provide for preservation and community character and form (page 15). A slope analysis shows the proposed Outlet is separated from the residential use located at the top a hillside with an overall slope gradient of 50 percent and an elevation difference of approximately 240 feet (Attachment 9). In accordance with SDMC Section 113.0225(c), where there is a natural topographical barrier, distance can be measured as the most direct route around the barrier in a manner that established direct access. A street route to this site from the proposed Outlet would be greater than 1,000 feet. Therefore, the proposed Outlet is in compliance with the minimum separation requirement.
2. Academy of Our Lady of Peace located at 2710 Copley Avenue - This is a private school located approximately 350 feet southwest of the project site, measured property line to property line. The school is located on top of a hillside with a slope gradient greater than 25% and an elevation difference of approximately 240 feet, which is considered a natural topographic barrier that impedes direct access to the proposed Outlet. A street route to this site from the proposed Outlet would be greater than 1,000 feet. Therefore, the proposed Outlet is in compliance with the minimum separation requirement.
3. Gateway Christian Fellowship Church located at 2667 Camino del Rio South, Suite 215 - This church is located in a suite within a multi-tenant office building approximately 600 feet east of the proposed Outlet, measured property line to property line. City staff was unable to locate any building permits for a change of use from office to church and lacks evidence to support its operation as legally permitted at this location. Code Enforcement (CE) Case No. 236987 was opened on May 23, 2017 in response to a complaint of a possible illegal church at this location. This investigation has been completed and a Civil Penalty Notice and Order was issued on August 1, 2017. In a letter dated November 2, 2017, Pastor Lou Wilburn, Senior Pastor and Chairman of Gateway Christian Fellowship Church, confirms the church plans to relocate to a

larger facility (Attachment 12). Because this church does not currently have legal status, City staff has determined that the proposed Outlet is in compliance with the separation requirements as it relates to the church.

Operational and Security Requirements:

The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504(b) – (m), which have also been incorporated as conditions in the CUP (Attachment 5). These include: (1) prohibition of consultation by medical professionals on-site; (2) prohibition of the use of specified vending machines except by a responsible person (as defined by the SDMC); (3) provision of interior and exterior lighting, operable cameras, alarms, and a security guard; (4) restriction of hours of operation to between 7:00 am and 9:00 pm daily; maintenance of area and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours; and (5) restriction of signage to business name, two-colors signs, and alphabetic characters. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The applicant has also voluntarily agreed to the following additional security conditions in order to improve the safety of the building and surrounding neighborhood and prevent potential adverse impacts on the community:

- The provision of operable surveillance cameras and a metal detector;
- Use of cameras with a recording device that maintains records for a minimum of 30 days;
- An additional security guard present on the premises 24 hours a day, seven days a week;
- Installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees; and
- Installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room.

CONCLUSION

City staff has reviewed the application for a CUP for an Outlet at this location and has determined that the project is consistent with the recommended land use and development standards in effect for this site per the MVCP and the SDMC, including the minimum separation requirements. The project is not requesting, nor does it require any deviation or variance from the applicable regulations and policy documents. The permit has been conditioned to ensure the proposed Outlet would not be detrimental to the public, health, safety and welfare. Staff has prepared draft findings (Attachment 4) for consideration and is recommending approval of the project as proposed.

ALTERNATIVES

1. Approve Conditional Use Permit No. 1811038, with modifications.
2. Deny Conditional Use Permit No. 1811038, if the findings required to approve the project cannot be affirmed.

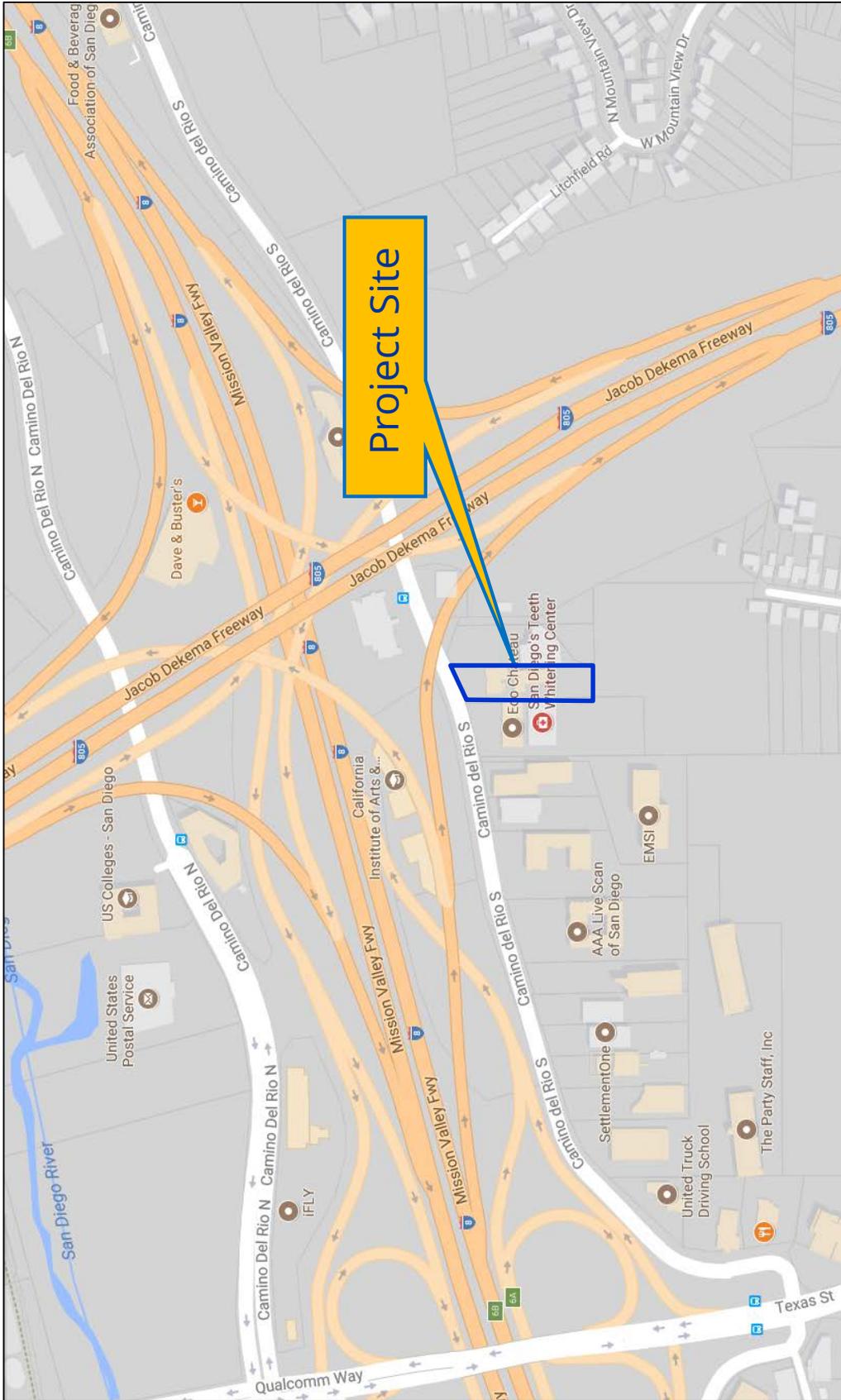
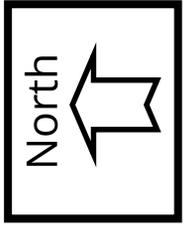
Respectfully submitted,



Firouzeh Tirandazi, Development Project Manager

Attachments:

1. Project Location Map
2. Mission Valley Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. 100/1000-Foot Radius Map
7. 100/1000-Foot Radius Spreadsheet Exhibit
8. North Park Land Use Map
9. Slope Exhibit
10. Environmental Exemption
11. Community Planning Group Recommendation
12. Letter from Pastor Lou Wilburn
13. Ownership Disclosure Statement
14. Project Plans



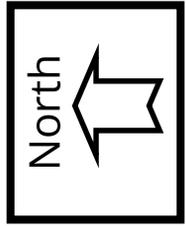
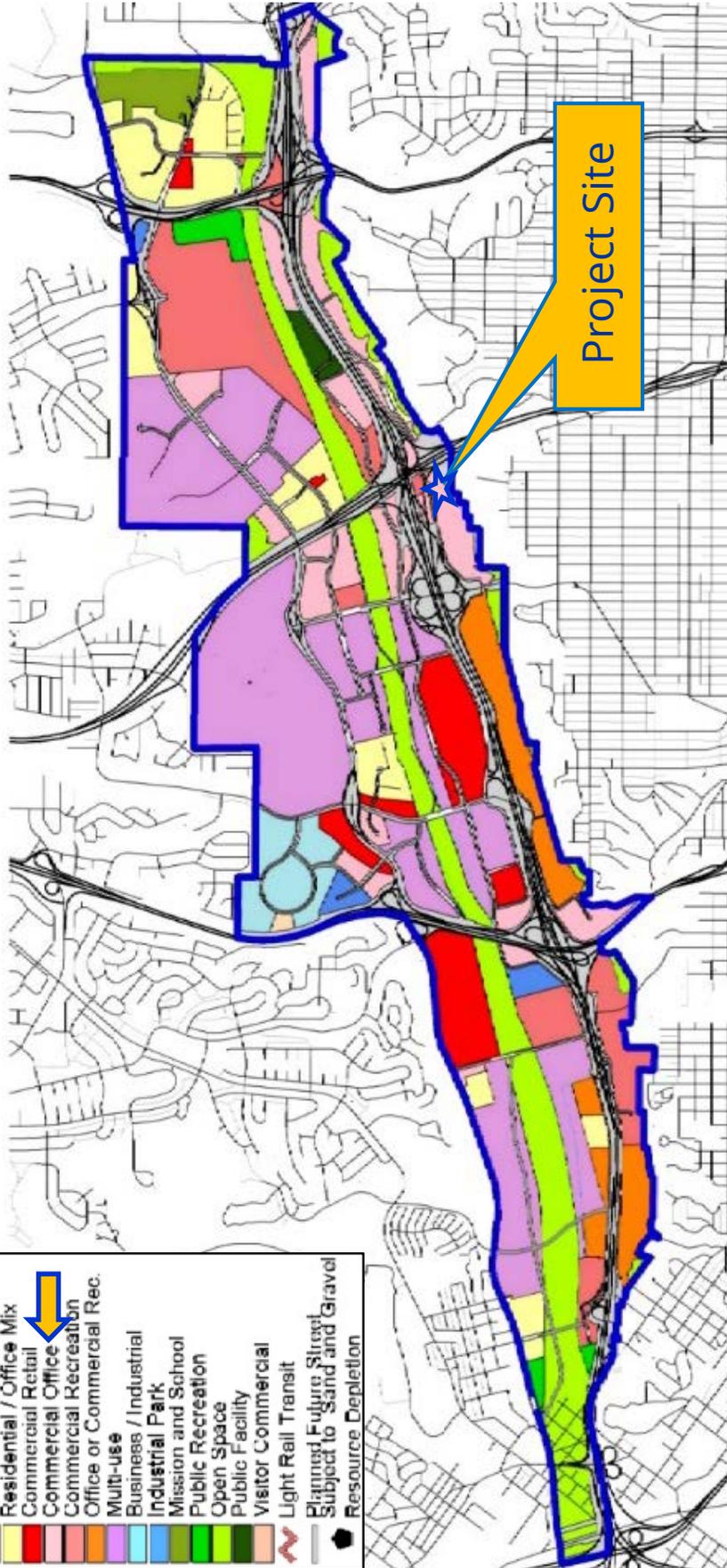
Project Location Map

Valley Greens Corp./2835 Camino Del Rio South
PROJECT NO. 515221



City of San Diego Planning Department
Mission Valley Community Plan Land Use

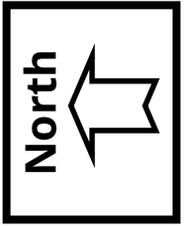
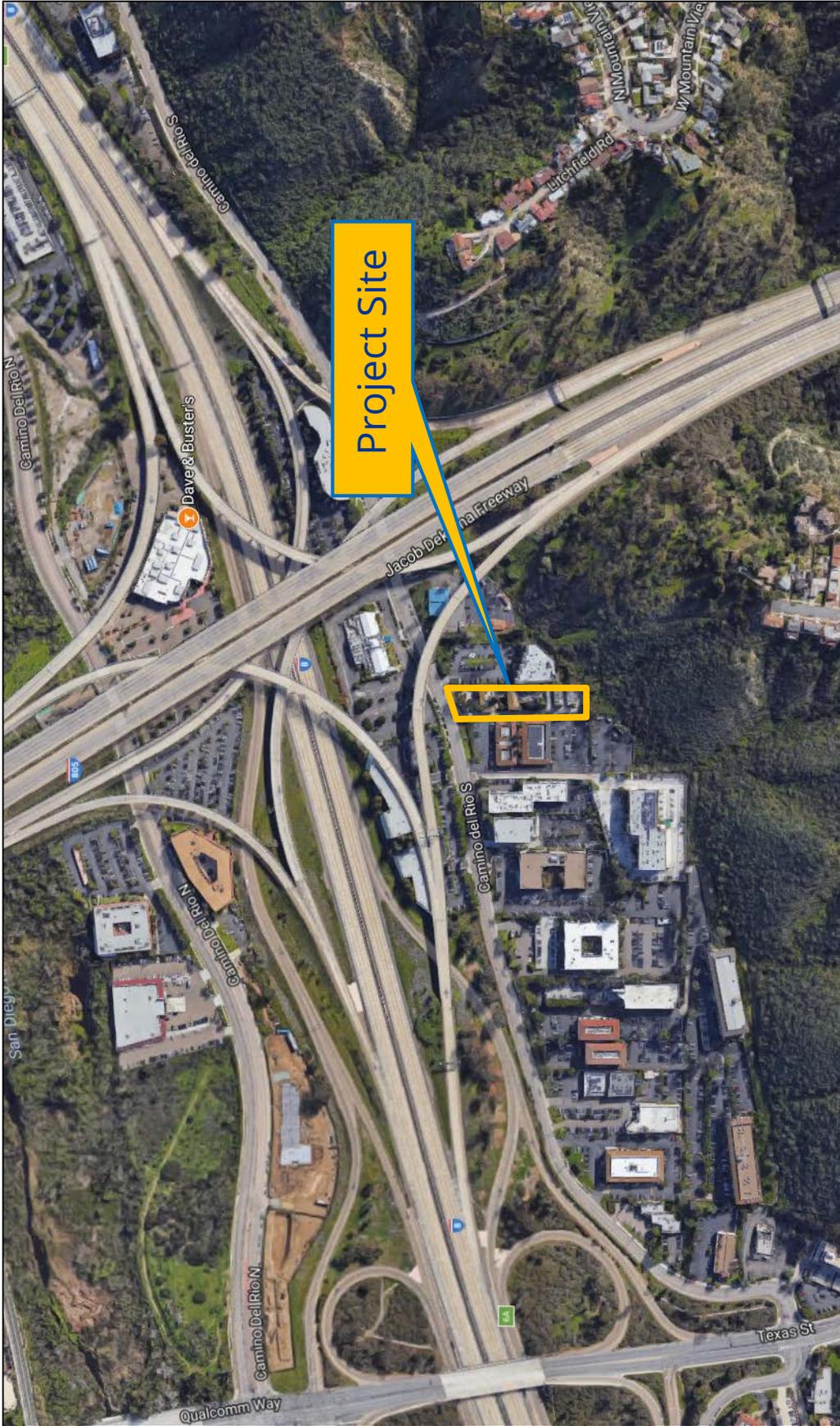
LEGEND	
	Residential
	Residential / Office Mix
	Commercial Retail
	Commercial Office
	Commercial Recreation
	Office or Commercial Rec.
	Multi-use
	Business / Industrial
	Industrial Park
	Mission and School
	Public Recreation
	Open Space
	Public Facility
	Visitor Commercial
	Light Rail Transit
	Planned Future Street
	Subject to Sand and Gravel
	Resource Depletion



Community Land Use Map

Valley Greens Corp./2835 Camino Del Rio South
 PROJECT NO. 515221





Aerial Photograph
Valley Greens Corp./2835 Camino Del Rio South
PROJECT NO. 515221



HEARING OFFICER RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 1811038
VALLEY GREENS CORP - **PROJECT NO. 515221**

WHEREAS, ADATTO FAMILY TRUST, Owner, and BLAKE MARCHAND, Permittee, filed an application with the City of San Diego for a permit to operate a Marijuana Outlet in a 2,183-square-foot tenant space, in Suite 100, located on the first floor of an existing 17,767-square-foot, three-story commercial office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1811038, on portions of a 1.01-acre site;

WHEREAS, the project site is located at 2835 Camino Del Rio South, Suite 100, in the MV-CO Zone of the Mission Valley Planned District (MVPD), and the Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport influence Area (Review Area 2) for San Diego international Airport (SDIA) and Montgomery Field, the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field), within the Mission Valley Community Plan Area;

WHEREAS, the project site is legally described as Portion of Pueblo Lot 1113 of the Pueblo Lands of San Diego, in the City of San Diego County of San Diego, State of California, according to Map thereof made by James Pascoe in 1870, a copy which was filed in the Office of the County Recorder of San Diego County;

WHEREAS, on August 29 2017, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and the Environmental Determination was appealed to City Council, which heard and denied the appeal on November 6, 2017 pursuant to Resolution No. R-311389;

WHEREAS, on December 13, 2017, the Hearing Officer of the City of San Diego considered Conditional Use Permit No.1811038 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated December 13, 2017.

FINDINGS:

Conditional Use Permit Approval – SDMC Section 126.0305

(a) The proposed development will not adversely affect the applicable land use plan.

The project is an application for a Conditional Use Permit (CUP) to allow the operation of a Marijuana Outlet (Outlet) in a 2,183-square-foot tenant space, Suite 100, located on the first

floor of an existing 17,767-square-foot, three-story commercial office building. The 1.01-acre project site is located at 2835 Camino Del Rio South within the Mission Valley Community Plan (MVCP) area.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments at this location with a Conditional Use Permit. Therefore, the proposed Outlet will not adversely affect the applicable land use plan.

(b) The proposed development will not be detrimental to the public health, safety, and welfare.

Approval of this application would allow the sale of marijuana to be conditioned in order to prevent potential adverse impacts on the community. The proposed Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504(b) – (m), which have also been incorporated as conditions in the CUP, including: (1) prohibiting consultation by medical professionals on-site; (2) prohibiting the use of specified vending machines except by a responsible person (as defined by the SDMC); (3) provision of interior and exterior lighting, operable cameras, alarms, and a security guard; (4) restriction of hours of operation to between 7:00 am and 9:00 pm daily; (5) maintenance of the project site and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours; and (6) restriction of signage to business name, two-color signs, and alphabetic characters.

In addition to the above, the CUP includes additional security conditions including: (1) the provision of operable surveillance cameras and a metal detector; (2) use of cameras with a recording device that maintains records for a minimum of 30 days; (3) an additional security guard present on the premises 24 hours a day, seven days a week; (4) installation of bullet resistant glass, plastic, or laminate shield at the reception area to protect employees; and (5) installation of bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, in all walls adjoining common areas and other tenants, and vault room. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. The CUP is valid for five years, and may be revoked if the owner/permittee violates the terms, conditions, lawful requirements, or provision of the permit.

Furthermore, construction of the project authorized through this permit will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors.

The City of San Diego conducted an environmental review of this project in accordance with the State of California Environmental Quality Act (CEQA) guidelines, and concluded there would be no environmental impacts associated with the proposed project. Including the

requirements above, the proposed development will not be detrimental to the public's health, safety, and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval to assure the project's compliance with applicable local, regional, state, and federal codes and rules. These regulations, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent adverse impacts to the public and community at large.

(c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the operation of an Outlet in a 2,183-square-foot tenant space on the first floor of an existing 17,767-square-foot, three-story commercial office building. The proposed Outlet, classified as retail sales, is allowed in the MV-CO Zone of the MVPD with a CUP pursuant to SDMC Sections 141.0504 and 1514.0305(b). The project has been determined to be exempt from the MVPD Ordinance regulations pursuant to SDMC Section 1514.0201(b) (1) as the project proposes interior modifications with no change in use pursuant to [Table 1514-03J](#) of the MVPD Ordinance, which considers similar development characteristics and intensity of use between commercial Outlets and commercial office/services uses. Furthermore, the proposed Outlet is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) as the project is limited to interior modifications and will not increase the density, floor area ratio or height of the existing structure.

Pursuant to SDMC Section 141.0504(a), Outlets are subject to separation requirements including a 1,000-foot separation from resource and population-based city parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten grades 1 to 12. There is also a 100-foot minimum separation from a residential zone. The proposed Outlet is in compliance with these required separation requirements as explained below.

The project site abuts the RS-1-1 Zone to the south, which is designated Open Space in the North Park Community Plan. Per the Community Plan, the open space designation is intended to provide for preservation and community character and form. The proposed Outlet is separated from the residential use located at the top a hillside with an overall slope gradient of 50 percent and an elevation difference of approximately 240 feet. In accordance with SDMC Section 113.0225(c), where there is a natural topographical barrier, distance can be measured as the most direct route around the barrier in a manner that established direct access. A street route to this site from the proposed Outlet would be greater than 1,000 feet, and therefore, the proposed Outlet is in compliance with the minimum separation requirement.

Academy of Our Lady of Peace is a private school located at 2710 Copley Avenue approximately 350 feet southwest of the proposed Outlet, measured property line to property line. The school is located on top of a hillside with a slope gradient greater than 25% and an elevation difference of approximately 240 feet, which is considered a natural

topographic barrier that impedes direct access to the proposed Outlet. A street route to this site from the proposed Outlet would be greater than 1,000 feet. Therefore, the proposed Outlet is in compliance with the minimum separation requirement.

Gateway Christian Fellowship Church is located at 2667 Camino del Rio South, Suite 215 within a multi-tenant office building approximately 600 feet east of the proposed Outlet , measured property line to property line. City staff was unable to locate any building permits for a change of use from office to church and lacks evidence to support its operation as legally permitted at this location. Code Enforcement (CE) Case No. 236987 was opened on May 23, 2017 in response to a complaint of a possible illegal church at this location. This investigation has been completed and a Civil Penalty Notice and Order was issued on August 1, 2017. Furthermore, the Church has notified City staff that it will be relocating to a larger facility. Because this church does not currently have legal status, City staff has determined that the proposed Outlet is in compliance with the separation requirements as it relates to the church.

The project is proposed within a structure constructed in 1986 in accordance with all applicable development regulations. The project is required to provide 54 off-street parking spaces; 11 for the proposed 2,183-square-foot Outlet and 43 for the remaining office/commercial service uses. The project will retain approximately 2,499 square feet of building floor area within the 17,767-square-foot building as vacant and unoccupied during the term of the CUP.

The CUP for the project includes various conditions and corresponding exhibits of approval relevant to achieving compliance with the SDMC relative to parking, signage, lighting, security measures, hours of operation, and site maintenance. No variance or deviations are requested as part of this application. Therefore, the proposed development will comply with the regulations of the Land Development Code.

(d) The proposed use is appropriate at the proposed location.

The proposed project is a request for a CUP to operate an Outlet in a 2,183-square-foot tenant space on the first floor of an existing 17,767-square-foot, two-story commercial office building. The existing three-story office building was constructed in 1986 and includes several professional office and commercial service suites. The project site is surrounded by multi-story commercial office buildings to the east and west, open space/hillside to the south, and multi-story commercial office buildings, the California Institute of Arts and Technology and a restaurant across Camino Del Rio South under the freeway overpass, and Interstate-8 to the north. The project site abuts the North Park Community Plan area to the south.

The project site is designated for Commercial Office use in the MVCP. This land use designation is intended to support multi-tenant office buildings, single purpose office-administrative facilities, professional-medical buildings, and financial institutions. The MVCP further encourages a range of retail uses and multi-use development in which commercial uses are combined or integrated with other uses. The proposed Outlet, classified as a retail sales use category, is consistent with the community plan objective of encouraging a range

of retail uses integrated with other uses, and is a compatible use with the surrounding commercial establishments.

The proposed Outlet is allowed in the MV-CO Zone of the MVPD with a CUP and is subject to separation requirements set forth in SDMC Section 141.0504(a) including a 1,000-foot separation from resource and population-based parks, other Outlets, churches, child care centers, playgrounds, libraries owned and operated by the City of San Diego, minor oriented facilities, residential care facilities, and schools including private or public institutions of learning providing instruction in kindergarten grades 1 to 12. There is also a 100-foot minimum separation requirement from a residential zone. The proposed Outlet is in compliance with the required separation requirements.

Outlets are also subject to specific operational requirements and restrictions set forth in SDMC Section 141.0504(b) – (m), which have also been incorporated as conditions in the CUP, including: (1) prohibiting consultation by medical professionals on-site; (2) prohibiting the use of specified vending machines except by a responsible person (as defined by the SDMC); (3) provision of interior and exterior lighting, operable cameras, alarms, and security guards; (4) restriction of hours of operation to between 7:00 am and 9:00 pm daily; (5) maintenance of the project site and adjacent public sidewalks free of litter and graffiti, and removal of graffiti within 24 hours; and (6) restriction of signage to business name, two-color signs, and alphabetic characters. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation.

The SDMC limits Outlets to commercial and industrial zones and the number of Outlets to only four per Council District, 36 city-wide, in order to minimize the impact on the City and residential neighborhoods. A total of 15 Medical Marijuana Consumer Cooperatives and two Outlets, two of which are within Council District 7, have been approved to date. Surrounding development is also within the MV-CO Zone and consistent with the Commercial Office designation of the community plan and compatible uses with an Outlet. Therefore, based on the commercial nature of the use, compliance with the separation requirements, and conditions of approval, the proposed development is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 1811038 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1811038, a copy of which is attached hereto and made a part hereof.

Firouzeh Tirandazi
Development Project Manager
Development Services

Adopted on: December 13, 2017

IO#: 24007039

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007039

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 1811038
VALLEY GREENS CORP. - PROJECT NO. 515221
HEARING OFFICER

This Conditional Use Permit No. 1811038 is granted by the Planning Commission of the City of San Diego to Adatto Family Trust, Owner, and Blake Marchand, Permittee pursuant to San Diego Municipal Code [SDMC] section 126.0305. The 1.01-acre site is located at 2835 Camino Del Rio South, Suite 100, in the MV-CO Zone of the Mission Valley Planned District (MVPD), and the Montgomery Field Airport Land Use Compatibility Overlay Zone, Airport influence Area (Review Area 2) for San Diego international Airport (SDIA) and Montgomery Field, the Federal Aviation Authority (FAA) Part 77 Noticing Area (SDIA and Montgomery Field), within the Mission Valley Community Plan Area. The project site is legally described as: Portion of Pueblo Lot 1113 of the Pueblo Lands of San Diego, in the City of San Diego County of San Diego, State of California, according to Map thereof made by James Pascoe in 1870, a copy which was filed in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to operate a Marijuana Outlet within an existing building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 20, 2017, on file in the Development Services Department.

The project shall include:

- a. Operation of a Marijuana Outlet in a 2,183-square-foot tenant space, located on the first floor of an existing 17,767-square-foot, three-story commercial office building at 2835 Camino Del Rio South, Suite 100;
- b. Suite No. 115 located on the first floor and Suite No. 230 located on the second floor of the 17,767-square-foot building, and totaling 2,499 square feet as shown on Exhibit "A", to remain vacant, and unoccupied for the term of the subject Conditional Use Permit.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 28, 2020.
2. This Conditional Use Permit [CUP] and corresponding use of this Marijuana Outlet shall expire on December 28, 2022. The Owner/Permittee may request that the expiration date be extended in accordance with SDMC Section 141.0504(n).
3. In addition to other provisions of the law, the Marijuana Outlet must comply with Chapter 4, Article 2, Division 15 and Chapter 14, Article 1, Division 5 of the San Diego Municipal Code.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns this Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
 - c. A Marijuana Outlet Permit issued by the Development Services Department is approved for all responsible persons in accordance with SDMC Section 42.1504.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

13. The use within the 2,183-square-foot tenant space shall be limited to a Marijuana Outlet and any use permitted by right in the MVPD-MV-CO Zone.
14. The sale of recreational marijuana shall be prohibited without a valid license from the State authorizing such activity.
15. Consultations by medical professional shall not be a permitted accessory use at the Marijuana Outlet.
16. Lighting shall be provided to illuminate the interior of the Marijuana Outlet, façade, and the immediate surrounding area, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented so as to deflect light away from adjacent properties.
17. Security shall include operable cameras and a metal detector to the satisfaction of Development Services Department. This Marijuana Outlet shall also include alarms and two security guards. The security guards shall be licensed by the State of California. Two security guards must be on the premises during business hours. At least one security guard must be on the premises 24 hours a day, seven days a week. The security guards should only be engaged in activities related to providing security for the Marijuana Outlet, except on an incidental basis. The cameras shall have and use a recording device that maintains the recordings for a minimum of 30 days.
18. The Owner/Permittee shall install a combination of full-height bullet resistant glass, plastic or laminate shield and bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at the reception area.
19. The Owner/Permittee shall install full-height bullet resistant armor panels or solid grouted masonry block walls, designed by a licensed professional, at all walls adjoining common areas and other tenants, and vault room
20. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations and shall further be restricted by this permit. Ground signs shall not be pole signs. A primary sign shall be posted on the outside of the Marijuana Outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors.
21. The Owner/Permittee shall post and maintain a sign showing the name and emergency contact phone number of an operator or manager in a location visible from outside the Marijuana Outlet in character size at least two inches in height.
22. The Marijuana Outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.
23. The use of vending machines which allow access to marijuana and marijuana products except by a responsible person, as defined in the San Diego Municipal Code Section 42.1502, is prohibited.

For purposes of this Section, a vending machine is any device which allows access to marijuana and marijuana products without a human intermediary.

24. The Owner/Permittee shall maintain the Marijuana Outlet, adjacent public sidewalks, and areas under the control of the Owner/Permittee, free of litter and graffiti at all times.

25. The Owner/Permittee shall provide for daily removal of trash, litter, and debris. Graffiti shall be removed from the premises within 24 hours.

26. The facility shall provide a sufficient odor absorbing ventilation and exhaust system capable of eliminating excessive or offensive odors causing discomfort or annoyance to any reasonable person of normal sensitivities standing outside of the structural envelope of the permitted facility in compliance with SDMC Section 142.0710.

27. Medical marijuana, recreational marijuana or marijuana products shall not be consumed anywhere within the 1.01-acre site.

TRANSPORTATION REQUIREMENTS:

28. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

29. The Owner/Permittee shall enter into and maintain a lease for Suites 115 and 230, totaling 2,499 square feet, within the 17,767-square-foot building and retain it as vacant space. The lease shall specifically state that the additional 2,499-square-foot leased space is to be kept vacant and not to be occupied at any time during the entire term, for any use whatsoever, including storage space.

30. Prior to the issuance of any building permit, permittee shall remove the existing AC berm fronting project site at 2835 Camino Del Rio South, satisfactory to the City Engineer.

31. The Owner/Permittee shall construct and maintain an accessible path from the building entrance to the public right-of-way street.

ENGINEERING REQUIREMENTS:

32. The project proposes to export zero cubic yards of material from the project site. If plans change and material must be exported, all excavated material exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

33. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the improvement of the project frontage along Camino Del Rio South with curb, gutter,

and a five-foot contiguous sidewalk, and the construction of a new 24-foot driveway per current City Standards, satisfactory to the City Engineer.

34. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate an additional three feet of right-of-way to Camino Del Rio South to provide a ten-foot curb-to-property-line distance, satisfactory to the City Engineer.

35. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the existing storm drain catch basin in the Camino Del Rio South Right-of-Way.

36. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

37. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with current City of San Diego Storm Water Standards Manual and with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications, satisfactory to the City Engineer.

38. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

39. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A," on file in the Development Services Department.

40. Prior to issuance of any construction permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

41. Prior to issuance of any building permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around

each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(5).

42. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

43. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 13, 2017 and Resolution No. _____.

ATTACHMENT 5

Permit Type/PTS Approval No.: Conditional Use Permit No. 1811038
Date of Approval: December 13, 2017

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Firouzeh Tirandazi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ADATTO FAMILY TRUST
Owner

By _____
Alberto I. Adatto, Trustee

By _____
Ethel D. Adato, Trustee

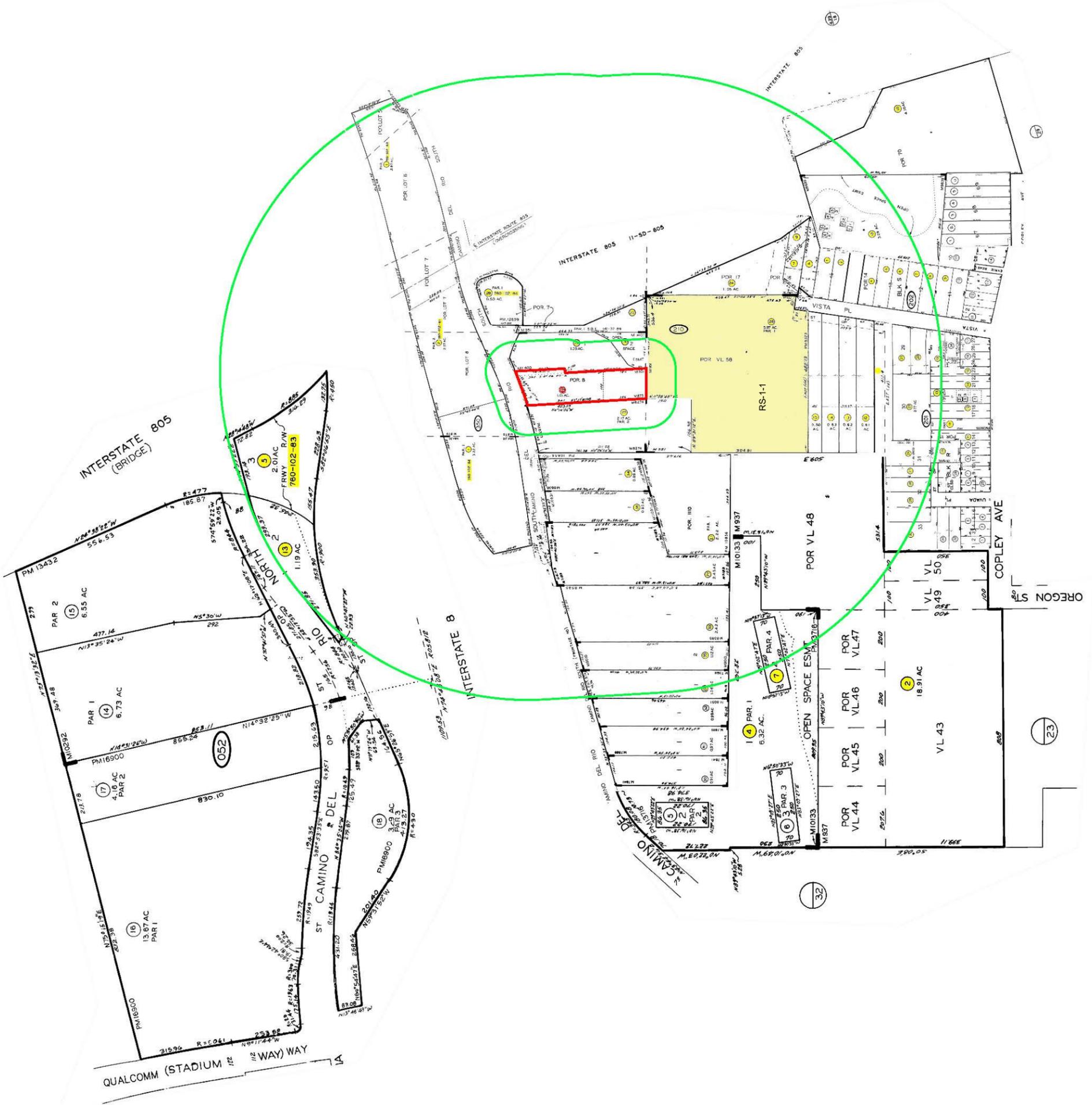
Blake Marchand
Permittee

By _____
Blake Marchand

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RADIUS-AREA MAP

- Subject Area
- 1000' 100FT Radial
- Within Radial
- RS-1-1





13520 Scarsdale Way
San Diego, CA 92128
www.titleprois.com

CERTIFICATION

I SEAN WILSON/ TITLE PRO INFORMATION SYSTEMS HEREBY CERTIFY THAT THE ATTACHED LIST CONTAINS THE NAMES, ADDRESSES AND PARCEL NUMBERS OF ALL PERSONS TO WHOM ALL PROPERTY IS ASSESSED AS THEY APPEAR ON THE LATEST AVAILABLE ASSESSMENT ROLL OF THE COUNTY WITHIN THE AREA DESCRIBED AND REQUESTED BY YOU THE CLIENT, THE REQUIRED RADIUS MEASURED FROM THE EXTERIOR BOUNDARIES OF THE PROPERTY REQUESTED AND DESCRIBED AS:

APN:

438-210-19 100FT/1000FT MMCC

PLAT DATE 11/17/2017

COUNTY OF: SAN DIEGO

CITY OF: SAN DIEGO

Sean Wilson

SEAN WILSON

TITLE PRO INFORMATION SYSTEMS

DATE:

11/27/2017

100 & 1000-FOOT RADIUS MAP SPREADSHEET

SUMMARY OF PARCELS							
APN: 438-210-19 100FT MMCC - RESIDENTIAL SEARCH							
#	Use Description	Site Address	City	State	Zip	Parcel Number	Owner/Business Name
1	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	438-210-19-00	TESORIERO
2	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
3	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	438-210-19-00	WINN SOLUTIONS LLC
4	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 120A	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
5	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 120C	SAN DIEGO	CA	92108	438-210-19-00	MARK A KAUPP A PSYCH. CORP.
6	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-210-19-00	DOBI & ASSOCIATES INC.
7	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-210-19-00	WILD HARMONY WELLNESS CTR.
8	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 215	SAN DIEGO	CA	92108	438-210-19-00	SAN DIEGO FAM. COUNSELING CTR.
9	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	438-210-19-00	A-STAR STAFFING
10	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	438-210-19-00	CETHRON PROPERTY MANAGEMENT
11	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-210-19-00	FALLS LISA
12	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 330	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
13	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 340	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
14	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 345	SAN DIEGO	CA	92108	438-210-19-00	SPANISH LANGUAGE CENTER
15	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 350	SAN DIEGO	CA	92108	438-210-19-00	CAO TIEN LAW OFFICES PC
16	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 355	SAN DIEGO	CA	92108	438-210-19-00	STEVEN LEE PROPERTIES
17	SINGLE FAMILY RESIDENCE	4990 VISTA PL	SAN DIEGO	CA	92116	438-210-26-00	FELTMAN, RICHARD I TRUST
18	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	438-210-27-00	AMERICAN GENERAL LIFE
19	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	438-210-27-00	ADULT HOME HEALTH CARE
20	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	438-210-27-00	BENEFIT ASSOCIATES INSURANCE SERVICES
21	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 104	SAN DIEGO	CA	92108	438-210-27-00	PRIDE LAW FIRM
22	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 107	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
23	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 109	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
24	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
25	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 112	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
26	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 201	SAN DIEGO	CA	92108	438-210-27-00	SHEILA LONDON
27	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 203	SAN DIEGO	CA	92108	438-210-27-00	STEWART ADRIENNE S ND
28	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
29	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
30	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 207	SAN DIEGO	CA	92108	438-210-27-00	SAN DIEGO INSTITUTE
31	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 209	SAN DIEGO	CA	92108	438-210-27-00	SOCIAL STARFISH
32	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON, KAREN M TR
33	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 214	SAN DIEGO	CA	92108	438-210-27-00	ENVIROAPPLICATIONS INC.
34	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 216	SAN DIEGO	CA	92108	438-210-27-00	ACCOMPLISHMENT COACHING INC.
35	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 217	SAN DIEGO	CA	92108	438-210-27-00	KOPY-KAT INC.

36	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 218	SAN DIEGO	CA	92108	438-210-27-00	MERIDIAN ACUPUNCTURE
37	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	438-210-27-00	KONING & ASSOC.
38	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	438-210-27-00	KARATE-JUTSU
39	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
40	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	438-210-27-00	AXIS REAL ESTATE
41	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	438-210-27-00	LAW OFFICES OF MARK DENIZ APLC
42	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 308	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
43	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 309	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
44	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	438-210-27-00	SPLENDOR WAX STUDIO
45	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 311	SAN DIEGO	CA	92108	438-210-27-00	LMT. FINANCIAL CONSLTNG. CNCPTS
46	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 313	SAN DIEGO	CA	92108	438-210-27-00	CARLL LAW
47	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-210-29-00	DESIGN ACADEMY
48	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-210-29-00	PROTECTION DESIGN & CONSULTING
49	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	438-210-29-00	VILLA LA JOLLA TOWNHOMES ASSN.
50	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-210-29-00	JODI STANLEY THERAPY
51	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 400	SAN DIEGO	CA	92108	438-210-29-00	2851 CAMINO DEL RIO
52	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 410	SAN DIEGO	CA	92108	438-210-29-00	MA ENGINEERS
53	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 420	SAN DIEGO	CA	92108	438-210-29-00	GRIFFIN PROFESSIONAL CORP.
54	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 430	SAN DIEGO	CA	92108	438-210-29-00	SACHDEV PUJA A
55	VACANT MISCELLANEOUS	VACANT/OPEN LAND	SAN DIEGO	CA	92108	438-210-30-00	2851 CAMINO DEL RIO
56	GOVERNMENTAL, PUBLIC	VACANT/PUBLIC AGENCY	SAN DIEGO	CA	92108	438-350-01-00	STATE OF CALIFORNIA
57	GOVERNMENTAL, PUBLIC	PUBLIC AGENCY (SEE 760-102-64)	SAN DIEGO	CA	92108	438-350-02-00	STATE OF CALIFORNIA
58	RESTAURANT, BAR, FOOD SERVICE	2828 CAMINO DEL RIO S	SAN DIEGO	CA	92108	760-102-61-00	TODAI RESTAURANT
59	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	760-102-64-00	SOLID SOLUTIONS ESCROW
60	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	760-102-64-00	OPPEDISANO JR. ALBERT
61	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	760-102-64-00	CANGELOSI INSURANCE AGENCY
62	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 104	SAN DIEGO	CA	92108	760-102-64-00	TELLER & SEEFELDT
63	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 106	SAN DIEGO	CA	92108	760-102-64-00	APEX RECOVERY CORPORATE OFC.
64	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 116	SAN DIEGO	CA	92108	760-102-64-00	OMNI-HAIR INTERNATIONAL
65	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	760-102-64-00	GINES NICHOLAS M
66	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	760-102-64-00	SAUNDERS ARLENE
67	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 212	SAN DIEGO	CA	92108	760-102-64-00	THOMAS,M MURRAY TRUST
68	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	760-102-64-00	U CA GENERAL INSURANCE
69	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 104	SAN DIEGO	CA	92108	760-102-64-00	THOMAS,M MURRAY TRUST
70	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	760-102-64-00	STUART MICHAEL L
71	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	760-102-64-00	THOMAS,M MURRAY TRUST
72	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 114	SAN DIEGO	CA	92108	760-102-64-00	EFFECTURE LLC
73	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	760-102-64-00	ENFORMATICA

74	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 211	SAN DIEGO	CA	92108	760-102-64-00	DURIS JOHN P LAW OFFICE
75	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 212	SAN DIEGO	CA	92108	760-102-64-00	THOMAS,M MURRAY TRUST
76	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 214	SAN DIEGO	CA	92108	760-102-64-00	THOMAS,M MURRAY TRUST
77	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 308	SAN DIEGO	CA	92108	760-102-64-00	MANALO LEIGH C
78	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	760-102-64-00	JOHN TRAN-STATE FARM INS AGENT
79	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 314	SAN DIEGO	CA	92108	760-102-64-00	RYAN BLANCO-REALTOR
<p>ONE RESIDENT/RESIDENTIAL ZONE FOUND WITHIN 100FT WHEN MEASURING FROM PARCEL TO PARCEL. THE SINGLE FAMILY RESIDENT IS SEPERATED FROM THE SUBJECT PROPERTY BY OPEN SPACE AND ELEVATION CHANGE. THE ACTUAL WALKING DISTANCE BETWEEN THE TWO USING CITY ROUTES IS ~1.8 MILES.</p>							

SUMMARY OF PARCELS							
APN: 438-210-19 1000FT MMCC - BUSINESS LIST							
#	Use Description	Site Address	City	State	Zip	Parcel Number	Owner/Business Name
1	GOVERNMENTAL/PUBLIC	VACANT/PARKING LOT	SAN DIEGO	CA	92108	438-052-05-00	STATE OF CALIFORNIA
2	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 100	SAN DIEGO	CA	92108	438-052-13-00	ASKOR MOHAMMED J PA
3	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 110	SAN DIEGO	CA	92108	438-052-13-00	HELEN DENTON
4	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 120	SAN DIEGO	CA	92108	438-052-13-00	ALLERGY PARTNERS OF CALIFORNIA INC.
5	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 140	SAN DIEGO	CA	92108	438-052-13-00	MISSION SPECIALTY MANAGEMENT
6	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 150	SAN DIEGO	CA	92108	438-052-13-00	ISAACSON JAMES H DDS
7	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 200	SAN DIEGO	CA	92108	438-052-13-00	ASPEN INSURANCE
8	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 310	SAN DIEGO	CA	92108	438-052-13-00	AHN SKIN & BEAUTY
9	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 320	SAN DIEGO	CA	92108	438-052-13-00	VIEWPOINT EQUITIES
10	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 330	SAN DIEGO	CA	92108	438-052-13-00	CALL DOCTOR MEDICAL GROUP
11	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 340	SAN DIEGO	CA	92108	438-052-13-00	WILCOX WENONAH
12	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 350	SAN DIEGO	CA	92108	438-052-13-00	PENN. LLC
13	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 360	SAN DIEGO	CA	92108	438-052-13-00	REIN TOWNSEND
14	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 425	SAN DIEGO	CA	92108	438-052-13-00	BENEFIT PRO INSURANCE
15	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 440	SAN DIEGO	CA	92108	438-052-13-00	THOMAS M DE BENEDETTO LAW OFC.
16	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 450	SAN DIEGO	CA	92108	438-052-13-00	CORNERSTONE
17	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 460	SAN DIEGO	CA	92108	438-052-13-00	VPSI INC.
18	STORES, RETAIL OUTLET	2655 CAMINO DEL RIO N STE 470	SAN DIEGO	CA	92108	438-052-13-00	SEAT ADVISOR
19	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
20	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	438-180-21-00	ALLIED PACIFIC FINANCIAL
21	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	438-180-21-00	ROMA MURPHY & HOROWITZ
22	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 112	SAN DIEGO	CA	92108	438-180-21-00	MULLEN PLUMMER
23	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 114	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
24	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 115	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
25	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 116	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
26	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 117	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
27	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 118	SAN DIEGO	CA	92108	438-180-21-00	INFLEXUS
28	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 122	SAN DIEGO	CA	92108	438-180-21-00	L F HODGE & ASSOC.
29	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 123	SAN DIEGO	CA	92108	438-180-21-00	LAW OFFICE OF HARRY E TEAR
30	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 124	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
31	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 126	SAN DIEGO	CA	92108	438-180-21-00	ALLIANT CONSULTING
32	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 1A	SAN DIEGO	CA	92108	438-180-21-00	DNA EMSI
33	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-180-21-00	A J U STEEL USA INC.
34	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	438-180-21-00	AUDIOSC GROUP
35	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 225	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
36	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
37	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 235	SAN DIEGO	CA	92108	438-180-21-00	ACTION COACH
38	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 240	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
39	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 245	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%

40	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 250	SAN DIEGO	CA	92108	438-180-21-00	INVICTUS ADVISORS
41	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 255	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
42	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 260	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
43	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 265	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
44	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 275	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
45	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 280	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
46	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 290	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
47	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-180-21-00	2815 CDRS LLC 99%
48	STORES, RETAIL OUTLET	2815 CAMINO DEL RIO S STE 350	SAN DIEGO	CA	92108	438-180-21-00	COMMUNITY HOUSINGWORKS
49	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 1	SAN DIEGO	CA	92108	438-180-27-00	POLESTAR PERFORMANCE PRGM. INC.
50	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	438-180-27-00	BARBARA B SAVAGLIO LAW OFFICES
51	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 104	SAN DIEGO	CA	92108	438-180-27-00	LEHBROS LTD.
52	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	438-180-27-00	SELF HELP WORKS INC.
53	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 123	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
54	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 125	SAN DIEGO	CA	92108	438-180-27-00	COWAN STEWART M
55	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 127	SAN DIEGO	CA	92108	438-180-27-00	CENTENNIAL ESCROW
56	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 131	SAN DIEGO	CA	92108	438-180-27-00	SE COWEN LAW
57	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 135	SAN DIEGO	CA	92108	438-180-27-00	CAVAN CO.
58	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 137	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
59	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 140	SAN DIEGO	CA	92108	438-180-27-00	SPENCER JOHNSON MCCAMMON LLP
60	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 150	SAN DIEGO	CA	92108	438-180-27-00	CROWN CAPITAL SECURITIES
61	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 156	SAN DIEGO	CA	92108	438-180-27-00	JUDITH A STUTZ BPKG & ACCTG.
62	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 160	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
63	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 1A	SAN DIEGO	CA	92108	438-180-27-00	JUDY'S KITCHEN
64	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 2	SAN DIEGO	CA	92108	438-180-27-00	EATON ESCROW
65	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 202	SAN DIEGO	CA	92108	438-180-27-00	DELL ACQUA LAW
66	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 206	SAN DIEGO	CA	92108	438-180-27-00	STEVEN E BATES LAW OFFICES
67	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 211	SAN DIEGO	CA	92108	438-180-27-00	LAW OFFICES OF JAMES SWINGLEY
68	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 215	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
69	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 219	SAN DIEGO	CA	92108	438-180-27-00	CHRISTY WHITE ACCOUNTANCY CORP.
70	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	438-180-27-00	MARK H BARBER LAW OFFICES
71	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 223	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
72	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 244	SAN DIEGO	CA	92108	438-180-27-00	SHEILA LONDON
73	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 246	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
74	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 248	SAN DIEGO	CA	92108	438-180-27-00	MORNEAU DANIEL ATTORNEY
75	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 250	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
76	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
77	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 311	SAN DIEGO	CA	92108	438-180-27-00	SCHNEIDER FAMILY SVC.
78	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 322	SAN DIEGO	CA	92108	438-180-27-00	DRAKULICH FIRM THME
79	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 323	SAN DIEGO	CA	92108	438-180-27-00	REALTY SOURCE
80	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 330	SAN DIEGO	CA	92108	438-180-27-00	LEONARD CORDOVA INSURANCE
81	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 333	SAN DIEGO	CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%

82	STORES, RETAIL OUTLET	2727 CAMINO DEL RIO S STE 337	SAN DIEGO CA	92108	438-180-27-00	SSEB EQUITIES LLC 40%
83	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 100	SAN DIEGO CA	92108	438-180-28-00	STERN CHIROPRACTIC CTR.
84	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 105	SAN DIEGO CA	92108	438-180-28-00	COUNTYWIDE REAL ESTATE
85	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 200	SAN DIEGO CA	92108	438-180-28-00	COURTESY MORTGAGE
86	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 201	SAN DIEGO CA	92108	438-180-28-00	THE HEALING POINT
87	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 202	SAN DIEGO CA	92108	438-180-28-00	PSYCHOLOGICAL HEALTH CTR.
88	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 204	SAN DIEGO CA	92108	438-180-28-00	TACWEST HOLDINGS LLC
89	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 300	SAN DIEGO CA	92108	438-180-28-00	INSTITUTE FOR PUBLIC STRTGS
90	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 301	SAN DIEGO CA	92108	438-180-28-00	CENTRAL TEXAS COLLEGE
91	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 400	SAN DIEGO CA	92108	438-180-28-00	LUNA & ASSOCIATES
92	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 401	SAN DIEGO CA	92108	438-180-28-00	INTERNATIONAL ORDER-THE BLUE
93	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 402	SAN DIEGO CA	92108	438-180-28-00	MARINO DESIGN CONSULTING
94	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 403	SAN DIEGO CA	92108	438-180-28-00	DR. CHARLIE SANDERS
95	STORES, RETAIL OUTLET	2615 CAMINO DEL RIO S STE 405	SAN DIEGO CA	92108	438-180-28-00	LIFESOURCE NETWORK CHIRO.
96	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 100	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
97	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 100A	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
98	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 100H	SAN DIEGO CA	92108	438-180-33-00	AFFILIATED DRUGS
99	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 101	SAN DIEGO CA	92108	438-180-33-00	INDEVIA ACCOUNTING
100	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 102	SAN DIEGO CA	92108	438-180-33-00	PACIFIC REO PROPERTIES
101	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 103	SAN DIEGO CA	92108	438-180-33-00	JOSHUA TEPERSON LAW OFFICE
102	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 104	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
103	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 105	SAN DIEGO CA	92108	438-180-33-00	A & G COUNSELING
104	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 106	SAN DIEGO CA	92108	438-180-33-00	MORTGAGE GROUP ASSOCIATES
105	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 107	SAN DIEGO CA	92108	438-180-33-00	FOUNDATION OF HEALTH CHIRO. CTR.
106	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 108	SAN DIEGO CA	92108	438-180-33-00	CHRIS BRAGG
107	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 109	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
108	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 110	SAN DIEGO CA	92108	438-180-33-00	SYLVIA EURO THERAPY
109	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 111	SAN DIEGO CA	92108	438-180-33-00	BELLE LA VIE DAY SPA
110	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 112	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
111	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 112B	SAN DIEGO CA	92108	438-180-33-00	DANA DEAN OPTOMETRY
112	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 1-A	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
113	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 1-C	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
114	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 200	SAN DIEGO CA	92108	438-180-33-00	HAUS OF YOGA
115	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 201	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
116	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 202	SAN DIEGO CA	92108	438-180-33-00	VAPURE ELECTRONIC CIGARETTE
117	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 203	SAN DIEGO CA	92108	438-180-33-00	2667 PARTNERS
118	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 203-1	SAN DIEGO CA	92108	438-180-33-00	GOLDEN SHINE CLEANING AGENCY
119	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 204	SAN DIEGO CA	92108	438-180-33-00	DAVID MCCARTHY LAW OFFICES
120	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 205	SAN DIEGO CA	92108	438-180-33-00	TEAM HILVERS
121	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 206	SAN DIEGO CA	92108	438-180-33-00	JUICING FOR WEIGHTLOSS
122	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 207	SAN DIEGO CA	92108	438-180-33-00	DESIGN FOR HEALTH INC.
123	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 208	SAN DIEGO CA	92108	438-180-33-00	GRASP TECHNOLOGIES INC.

124	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
125	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 211	SAN DIEGO	CA	92108	438-180-33-00	SHOW FREIGHT INTL.
126	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 213	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
127	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	438-180-33-00	LAWLOR JANET
128	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 302	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
129	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
130	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
131	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 304-1	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
132	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 305	SAN DIEGO	CA	92108	438-180-33-00	SHARP PROGRAM THE
133	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	438-180-33-00	ARIZMENDI LAW FIRM
134	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 306-1	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
135	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
136	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 308	SAN DIEGO	CA	92108	438-180-33-00	DANNY'S HOME HEALTH CARE INC.
137	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 309	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
138	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	438-180-33-00	SENIOR HELPERS OF SAN DIEGO CA
139	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 311	SAN DIEGO	CA	92108	438-180-33-00	SMARTRIDE AUTO GLASS
140	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 312	SAN DIEGO	CA	92108	438-180-33-00	PRO GREEN US INC.
141	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 313	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
142	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 314	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
143	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 315	SAN DIEGO	CA	92108	438-180-33-00	CHRISTINA ANN WILSON
144	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE 316	SAN DIEGO	CA	92108	438-180-33-00	2667 PARTNERS
145	STORES, RETAIL OUTLET	2667 CAMINO DEL RIO S STE A	SAN DIEGO	CA	92108	438-180-33-00	GILL'S FITNESS
146	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-180-34-00	MAGNUS SECURITY
147	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 200A	SAN DIEGO	CA	92108	438-180-34-00	UELAND ANDREAS W LAW OFC.
148	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 200B	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
149	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 201	SAN DIEGO	CA	92108	438-180-34-00	MIMIR SOFTWARE CORP.
150	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 201-1	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
151	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 201-4	SAN DIEGO	CA	92108	438-180-34-00	PRIME LENDING
152	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 201-6	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
153	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 201-7	SAN DIEGO	CA	92108	438-180-34-00	PINK FLAMINGO LANDSCAPING
154	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 202	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
155	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
156	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	438-180-34-00	SAN DIEGO CHIROPRACTIC
157	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 206	SAN DIEGO	CA	92108	438-180-34-00	OLGA NAZIMOVA & ASSOCIATION
158	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 207	SAN DIEGO	CA	92108	438-180-34-00	LAW OFFICES OF PIERRE VAUGHN
159	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 208	SAN DIEGO	CA	92108	438-180-34-00	MICHAEL SHAPIRO INC.
160	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 209	SAN DIEGO	CA	92108	438-180-34-00	SUPER SOCCER STARS
161	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
162	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 211	SAN DIEGO	CA	92108	438-180-34-00	SCARLET JANINA
163	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-180-34-00	KRIKORIAN & ASSOC. INC.
164	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 300C	SAN DIEGO	CA	92108	438-180-34-00	FILTERCON
165	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 300D	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING

166	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 300F	SAN DIEGO	CA	92108	438-180-34-00	FREIGHT ACES INC.
167	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	438-180-34-00	HEFFERNAN GROUP CO.
168	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	438-180-34-00	MJS TAX SVC.
169	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
170	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 305	SAN DIEGO	CA	92108	438-180-34-00	LAW OFFICES OF GLENN M. FINCH
171	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 306B	SAN DIEGO	CA	92108	438-180-34-00	SAN DIEGO JOURNEY TOURS
172	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 306C	SAN DIEGO	CA	92108	438-180-34-00	AMAROO ENTERPRISES
173	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	438-180-34-00	MATHEWS WILLIAM
174	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 308	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
175	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 309	SAN DIEGO	CA	92108	438-180-34-00	JAN SCHOLTZ REALTORS
176	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
177	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 312	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
178	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 313	SAN DIEGO	CA	92108	438-180-34-00	UNITED LABOR GROUP LLC
179	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 314	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
180	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 315	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
181	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 316	SAN DIEGO	CA	92108	438-180-34-00	FARMERS INSURANCE
182	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 317	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
183	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 318	SAN DIEGO	CA	92108	438-180-34-00	HOMEMODERN RENOVATION
184	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 319	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
185	STORES, RETAIL OUTLET	2801 CAMINO DEL RIO S STE 320	SAN DIEGO	CA	92108	438-180-34-00	BETA BUILDING
186	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	438-180-35-00	CLEAR POINT CREDIT COUNSELING
187	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	438-180-35-00	CHARMASSON BUCHACA & LEACH LLP
188	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 104	SAN DIEGO	CA	92108	438-180-35-00	LAW OFFICE OF ANDREW W. LOCKARD; MAIN NUMBER
189	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 109	SAN DIEGO	CA	92108	438-180-35-00	STELLA FRANK CPA
190	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	438-180-35-00	WINN KATHERINE
191	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-180-35-00	ACI COMMERCIAL
192	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 201	SAN DIEGO	CA	92108	438-180-35-00	PROSPECT S D LLC
193	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	438-180-35-00	FAMILIES 1ST LAW & MEDIATION
194	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 208	SAN DIEGO	CA	92108	438-180-35-00	AMERICAN FINANCIAL NTRWK. SN DG
195	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-180-35-00	QUALIFIED PLANNING
196	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 211	SAN DIEGO	CA	92108	438-180-35-00	AMERICA'S FINEST CITY MORTGAGE
197	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-180-35-00	ACI APARTMENTS
198	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	438-180-35-00	JOEL S WEISSER LAW OFFICES
199	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 302	SAN DIEGO	CA	92108	438-180-35-00	THE EVENT TEAM
200	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	438-180-35-00	PROSPECT S D LLC
201	STORES, RETAIL OUTLET	2635 CAMINO DEL RIO S STE 312	SAN DIEGO	CA	92108	438-180-35-00	GENMAR REAL ESTATE CORPORATION.; TENANT FINDERS
202	STORES, RETAIL OUTLET	2763 CAMINO DEL RIO S	SAN DIEGO	CA	92108	438-180-36-00	ID SOLUTIONS
203	RELIGIOUS	2710 COPLEY AVE	SAN DIEGO	CA	92116	438-190-02-00	ACADEMY OF OUR LADY OF PEACE
204	VACANT MISCELLANEOUS	VACANT/PARKING LOT	SAN DIEGO	CA	92108	438-190-04-00	MISSION HILLS PROPERTIES LLC
205	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 100A	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
206	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 106	SAN DIEGO	CA	92108	438-190-07-00	MCCULLAUGH JOSEPH M PHD
207	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 112	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC

208	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 135	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
209	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 140	SAN DIEGO	CA	92108	438-190-07-00	DELUXE BEAUTY GROUP
210	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 150	SAN DIEGO	CA	92108	438-190-07-00	SPINE ZONE
211	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 153	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
212	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 155	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
213	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	438-190-07-00	UNLIMITED SERVICES BLDG. MAINT.
214	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
215	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 225	SAN DIEGO	CA	92108	438-190-07-00	DETERS CHIROPRACTIC
216	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	438-190-07-00	HARRIS STEPHANIE J
217	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 235	SAN DIEGO	CA	92108	438-190-07-00	KOROGY CENTER FOR WHOLENESS
218	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 240	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
219	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 245	SAN DIEGO	CA	92108	438-190-07-00	HOXIE LEWIS
220	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 250	SAN DIEGO	CA	92108	438-190-07-00	LIFE CYCLE ENGINEERING INC.
221	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 255	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
222	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-190-07-00	DRS. TECHNICAL SVC. INC.
223	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
224	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	438-190-07-00	A JI LITIGATION MEDIA INC.
225	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 324	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
226	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 325	SAN DIEGO	CA	92108	438-190-07-00	SETTING SCOLIOSIS STRAIGHT
227	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 345	SAN DIEGO	CA	92108	438-190-07-00	CONSUMER ATTORNEYS-SAN DIEGO
228	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 350	SAN DIEGO	CA	92108	438-190-07-00	LIFE PERSPECTIVES
229	STORES, RETAIL OUTLET	2535 CAMINO DEL RIO S STE 355	SAN DIEGO	CA	92108	438-190-07-00	MISSION HILLS PROPERTIES LLC
230	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	438-210-19-00	TESORIERO
231	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
232	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 110	SAN DIEGO	CA	92108	438-210-19-00	WINN SOLUTIONS LLC
233	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 120A	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
234	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 120C	SAN DIEGO	CA	92108	438-210-19-00	MARK A KAUPP A PSYCH. CORP.
235	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-210-19-00	DOBI & ASSOCIATES INC.
236	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-210-19-00	WILD HARMONY WELLNESS CTR.
237	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 215	SAN DIEGO	CA	92108	438-210-19-00	SAN DIEGO FAM. COUNSELING CTR.
238	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 220	SAN DIEGO	CA	92108	438-210-19-00	A-STAR STAFFING
239	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	438-210-19-00	CETHRON PROPERTY MANAGEMENT
240	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-210-19-00	FALLS LISA
241	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 330	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
242	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 340	SAN DIEGO	CA	92108	438-210-19-00	ADATTO FAMILY TRUST
243	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 345	SAN DIEGO	CA	92108	438-210-19-00	SPANISH LANGUAGE CENTER
244	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 350	SAN DIEGO	CA	92108	438-210-19-00	CAO TIEN LAW OFFICES PC
245	STORES, RETAIL OUTLET	2835 CAMINO DEL RIO S STE 355	SAN DIEGO	CA	92108	438-210-19-00	STEVEN LEE PROPERTIES
246	GOVERNMENTAL/UTILITY	VACANT/OPEN LAND	SAN DIEGO	CA	92108	438-210-22-00	SAN DIEGO GAS & ELECTRIC CO
247	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 101	SAN DIEGO	CA	92108	438-210-27-00	AMERICAN GENERAL LIFE
248	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 102	SAN DIEGO	CA	92108	438-210-27-00	ADULT HOME HEALTH CARE
249	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 103	SAN DIEGO	CA	92108	438-210-27-00	BENEFIT ASSOCIATES INSURANCE SERVICES

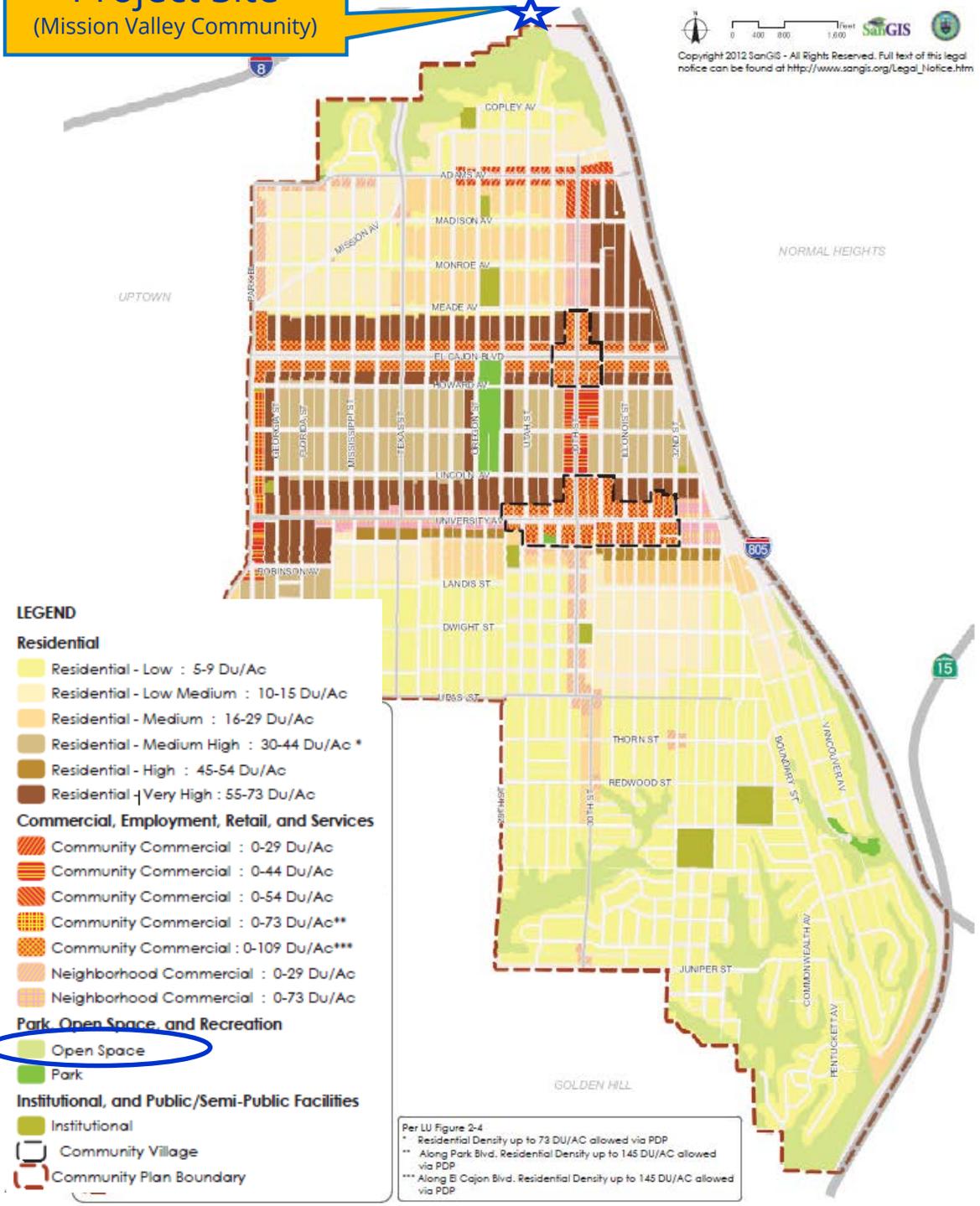
250	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 104	SAN DIEGO	CA	92108	438-210-27-00	PRIDE LAW FIRM
251	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 107	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
252	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 109	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
253	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 111	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
254	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 112	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
255	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 201	SAN DIEGO	CA	92108	438-210-27-00	SHEILA LONDON
256	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 203	SAN DIEGO	CA	92108	438-210-27-00	STEWART ADRIENNE S ND
257	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 204	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
258	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 205	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
259	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 207	SAN DIEGO	CA	92108	438-210-27-00	SAN DIEGO INSTITUTE
260	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 209	SAN DIEGO	CA	92108	438-210-27-00	SOCIAL STARFISH
261	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
262	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 214	SAN DIEGO	CA	92108	438-210-27-00	ENVIROAPPLICATIONS INC.
263	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 216	SAN DIEGO	CA	92108	438-210-27-00	ACCOMPLISHMENT COACHING INC.
264	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 217	SAN DIEGO	CA	92108	438-210-27-00	KOPY-KAT INC.
265	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 218	SAN DIEGO	CA	92108	438-210-27-00	MERIDIAN ACUPUNCTURE
266	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 301	SAN DIEGO	CA	92108	438-210-27-00	KONING & ASSOC.
267	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 303	SAN DIEGO	CA	92108	438-210-27-00	KARATE-JUTSU
268	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 304	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
269	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 306	SAN DIEGO	CA	92108	438-210-27-00	AXIS REAL ESTATE
270	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 307	SAN DIEGO	CA	92108	438-210-27-00	LAW OFFICES OF MARK DENIZ APLC
271	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 308	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
272	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 309	SAN DIEGO	CA	92108	438-210-27-00	CRAMPTON,KAREN M TR
273	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 310	SAN DIEGO	CA	92108	438-210-27-00	SPLENDOR WAX STUDIO
274	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 311	SAN DIEGO	CA	92108	438-210-27-00	LMT. FINANCIAL CONSLTNG. CNCPTS
275	STORES, RETAIL OUTLET	2831 CAMINO DEL RIO S STE 313	SAN DIEGO	CA	92108	438-210-27-00	CARLL LAW
276	COMMERCIAL MISCELLANEOUS	2919 CAMINO DEL RIO S	SAN DIEGO	CA	92108	438-210-28-00	QUALITY GARAGE DOOR REPAIR SVC.
277	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 200	SAN DIEGO	CA	92108	438-210-29-00	DESIGN ACADEMY
278	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 210	SAN DIEGO	CA	92108	438-210-29-00	PROTECTION DESIGN & CONSULTING
279	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 230	SAN DIEGO	CA	92108	438-210-29-00	VILLA LA JOLLA TOWNHOMES ASSN.
280	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 300	SAN DIEGO	CA	92108	438-210-29-00	JODI STANLEY THERAPY
281	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 400	SAN DIEGO	CA	92108	438-210-29-00	2851 CAMINO DEL RIO
282	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 410	SAN DIEGO	CA	92108	438-210-29-00	MA ENGINEERS
283	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 420	SAN DIEGO	CA	92108	438-210-29-00	GRIFFIN PROFESSIONAL CORP.
284	STORES, RETAIL OUTLET	2851 CAMINO DEL RIO S STE 430	SAN DIEGO	CA	92108	438-210-29-00	SACHDEV PUJA A
285	VACANT MISCELLANEOUS	VACANT/OPEN LAND	SAN DIEGO	CA	92108	438-210-30-00	2851 CAMINO DEL RIO
286	GOVERNMENTAL/PUBLIC	VACANT/PUBLIC	SAN DIEGO	CA	92108	438-340-01-00	STATE OF CALIFORNIA
287	GOVERNMENTAL/PUBLIC	VACANT/PUBLIC	SAN DIEGO	CA	92108	438-350-01-00	STATE OF CALIFORNIA
288	GOVERNMENTAL/PUBLIC	PUBLIC AGENCY (SEE 760-102-64)	SAN DIEGO	CA	92108	438-350-02-00	STATE OF CALIFORNIA
289	RESTAURANT, BAR, FOOD SERVICE	2828 CAMINO DEL RIO S	SAN DIEGO	CA	92108	760-102-61-00	TODAI RESTAURANT
290	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 100	SAN DIEGO	CA	92108	760-102-62-00	STOLIS RICHARDSON GROUP
291	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 115	SAN DIEGO	CA	92108	760-102-62-00	INTERSTATE PLAZA ASSOCIATES

292	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 120	SAN DIEGO CA	92108	760-102-62-00	RUBEN & WOODS
293	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 140	SAN DIEGO CA	92108	760-102-62-00	JR. GIVENS ESQUIRE
294	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 160	SAN DIEGO CA	92108	760-102-62-00	MURRAY LAMPERT DBR
295	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 200	SAN DIEGO CA	92108	760-102-62-00	OMEGA TURF ARTIFICIAL GRASS
296	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 210	SAN DIEGO CA	92108	760-102-62-00	MISSION VALLEY ORAL
297	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 220	SAN DIEGO CA	92108	760-102-62-00	PREFORMANCE CENTER
298	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 260	SAN DIEGO CA	92108	760-102-62-00	J K SPORT
299	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 300	SAN DIEGO CA	92108	760-102-62-00	MARZESKI STEVEN A
300	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 303	SAN DIEGO CA	92108	760-102-62-00	VACANT
301	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 310	SAN DIEGO CA	92108	760-102-62-00	INTERSTATE PLAZA ASSOCIATES
302	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 400	SAN DIEGO CA	92108	760-102-62-00	INTERSTATE PLAZA ASSOCIATES
303	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 402	SAN DIEGO CA	92108	760-102-62-00	HOME PLUS MORTGAGE
304	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 404	SAN DIEGO CA	92108	760-102-62-00	ARIZONA PAIN AND INJURY CENTER INC.
305	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 408	SAN DIEGO CA	92108	760-102-62-00	ULTRASOUND EXPERIENCE
306	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 410	SAN DIEGO CA	92108	760-102-62-00	TERZOSYS INC.
307	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 412	SAN DIEGO CA	92108	760-102-62-00	BLUFI LENDING CORP.
308	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 500	SAN DIEGO CA	92108	760-102-62-00	INTERSTATE PLAZA ASSOCIATES
309	STORES, RETAIL OUTLET	2878 CAMINO DEL RIO S STE 502	SAN DIEGO CA	92108	760-102-62-00	AMERICAN SYSTEMS CORP.
310	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 101	SAN DIEGO CA	92108	760-102-64-00	SOLID SOLUTIONS ESCROW
311	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 102	SAN DIEGO CA	92108	760-102-64-00	OPPEDISANO JR. ALBERT
312	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 103	SAN DIEGO CA	92108	760-102-64-00	CANGELOSI INSURANCE AGENCY
313	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 104	SAN DIEGO CA	92108	760-102-64-00	TELLER & SEEFELDT
314	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 106	SAN DIEGO CA	92108	760-102-64-00	APEX RECOVERY CORPORATE OFC.
315	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 116	SAN DIEGO CA	92108	760-102-64-00	OMNI-HAIR INTERNATIONAL
316	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 200	SAN DIEGO CA	92108	760-102-64-00	GINES NICHOLAS M
317	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 204	SAN DIEGO CA	92108	760-102-64-00	SAUNDERS ARLENE
318	STORES, RETAIL OUTLET	2810 CAMINO DEL RIO S STE 212	SAN DIEGO CA	92108	760-102-64-00	THOMAS, M MURRAY TRUST
319	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 100	SAN DIEGO CA	92108	760-102-64-00	U CA GENERAL INSURANCE
320	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 104	SAN DIEGO CA	92108	760-102-64-00	THOMAS, M MURRAY TRUST
321	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 110	SAN DIEGO CA	92108	760-102-64-00	STUART MICHAEL L
322	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 111	SAN DIEGO CA	92108	760-102-64-00	THOMAS, M MURRAY TRUST
323	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 114	SAN DIEGO CA	92108	760-102-64-00	EFFECTURE LLC
324	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 200	SAN DIEGO CA	92108	760-102-64-00	ENFORMATICA
325	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 211	SAN DIEGO CA	92108	760-102-64-00	DURIS JOHN P LAW OFFICE
326	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 212	SAN DIEGO CA	92108	760-102-64-00	THOMAS, M MURRAY TRUST
327	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 214	SAN DIEGO CA	92108	760-102-64-00	THOMAS, M MURRAY TRUST
328	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 308	SAN DIEGO CA	92108	760-102-64-00	MANALO LEIGH C
329	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 310	SAN DIEGO CA	92108	760-102-64-00	JOHN TRAN-STATE FARM INS AGENT
330	STORES, RETAIL OUTLET	2820 CAMINO DEL RIO S STE 314	SAN DIEGO CA	92108	760-102-64-00	RYAN BLANCO-REALTOR
331	VACANT COMMERCIAL	VACANT/PARKING LOT	SAN DIEGO CA	92108	760-102-83-00	OUTLOOK PROPERTIES INC
332	STORES, RETAIL OUTLET	2919 CAMINO DEL RIO S	SAN DIEGO CA	92108	760-102-84-00	QUALITY GARAGE DOOR REPAIR SVC.

ONE RELIGIOUS SCHOOL (ACADEMY OF OUR LADY OF PEACE) FOUND WITHIN 1000FT WHEN MEASURING FROM PARCEL TO PARCEL. THE SCHOOL IS SEPERATED FROM THE SUBJECT PROPERTY BY OPEN SPACE AND ELEVATION CHANGE. THE ACTUAL WALKING DISTANCE BETWEEN THE TWO USING CITY ROUTES IS ~1.4 MILES.

Project Site
(Mission Valley Community)

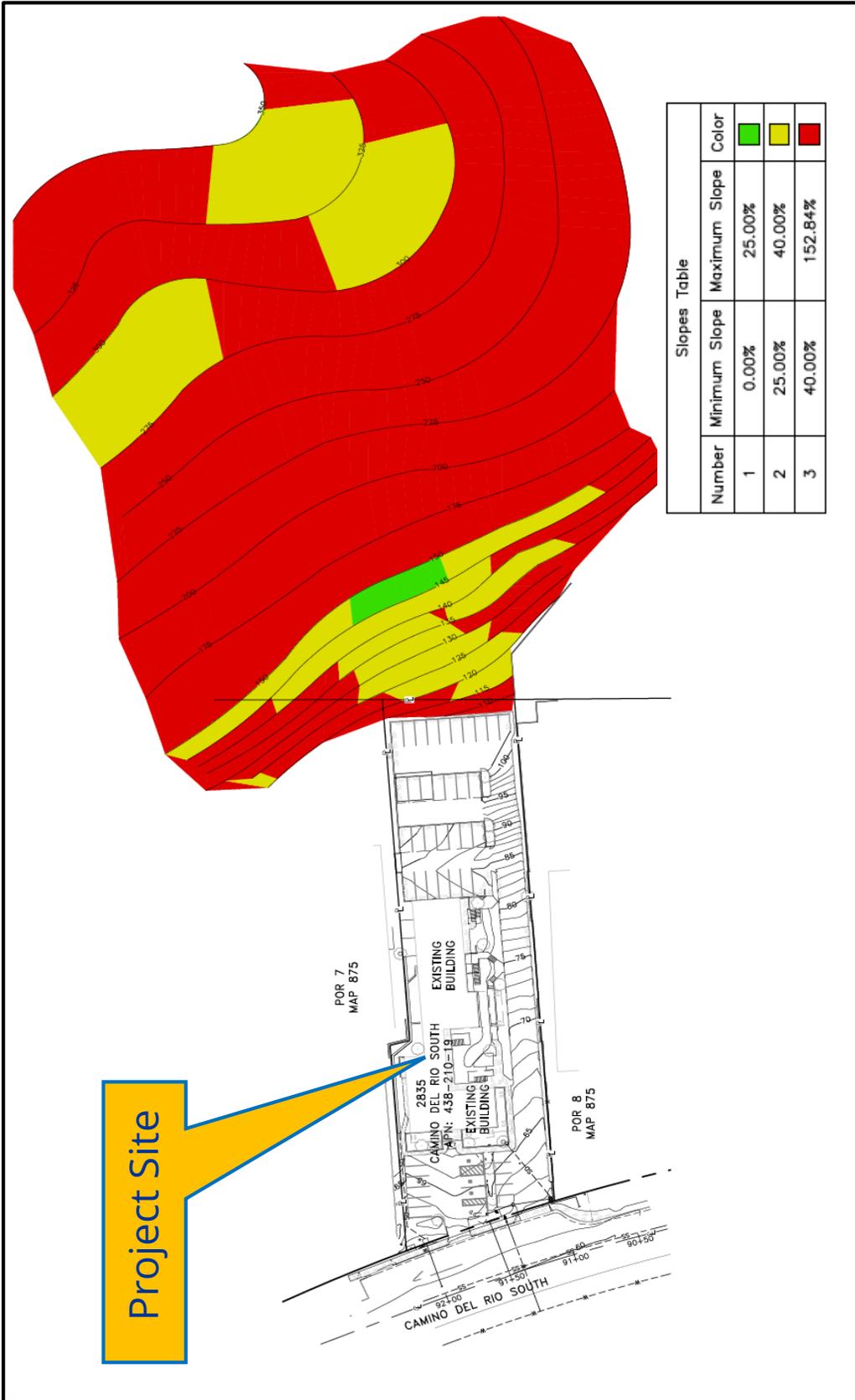
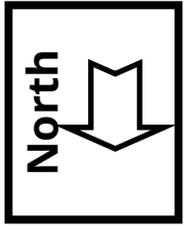
Copyright 2012 SanGIS - All Rights Reserved. Full text of this legal notice can be found at http://www.sangis.org/Legal_Notice.htm



North Park Land Use Map

Valley Greens Corp./2835 Camino Del Rio South
PROJECT NO. 515221





Slope Exhibit

Valley Greens Corp./2835 Camino Del Rio South
PROJECT NO. 515221



Project Site

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project No.: 515221

Project Title: Valley Greens Corp

Project Location-Specific: 2835 Camino del Rio South, Suite 100, San Diego, CA 92108

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Conditional Use Permit (CUP) for a marijuana outlet to operate within a 2,183-square-foot tenant space within an existing 17,767-square-foot commercial office building in the Mission Valley Community Plan area. The project is also required to maintain Suite 230, a 2,123-square-foot-tenant space within the building, as vacant for the duration of the CUP term. The project would provide an accessible path of travel from the adjacent public sidewalk to the project entrance, and would also reconstruct the existing driveway, adjacent to the site on Camino del Rio South, consistent with current standards in the Land Development Code. The site is designated for commercial office use and is zoned MV-CO (commercial office) in the Mission Valley Planned District.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Blake Marchand
 1545 Hotel Circle South, Ste 145
 San Diego, CA 92108
 (619) 890-4588

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15303 (New Construction or Conversion of Small Structures)

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project, as described in the Project Description section of this Notice, would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Guidelines Section 15303 which allows for the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. The exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Anna L. McPherson, AICP

Telephone: (619) 446-5276

If filed by applicant:

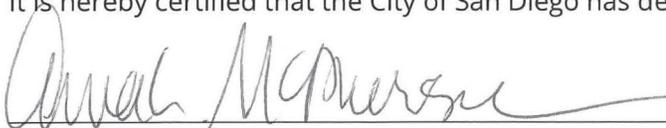
1. Attach certified document of exemption finding.

Revised 010410mjh

ATTACHMENT 10

2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 _____
Signature/Title AICP/Senior Planner

September 14, 2017
_____ Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

**MINUTES OF THE REGULAR MEETING OF THE
MISSION VALLEY PLANNING GROUP**

April 5, 2017

MEMBERS PRESENT

Steve Abbo
Paul Brown
Bob Cummings
Robert Doherty
Randall Dolph
Alan Grant
Mary Holland
Rob Hutzel
John La Raia
Elizabeth Leventhal
Andrew Michajlenko
Jim Penner
Keith Pittsford
Marco Sessa
Dottie Surdi
Rick Tarbell
Josh Weiselberg

MEMBERS ABSENT

Deborah Bossmeyer
Kaye Durant
Matthew Guillory
Kathy McSherry
Larry Wenell
Derek Hulse

CITY STAFF

Nancy Graham
Liz Saidkhanian

A. CALL TO ORDER

Verify Quorum: 17 members were present, constituting a quorum. Chairman Dotti Surdi called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:01 p.m. at the Mission Valley Library Community Room located at 2123 Fenton Parkway, San Diego, CA.

B. PLEDGE OF ALLEGIANCE – led by Robert Doherty.

C. INTRODUCTIONS / OPENING REMARKS

Dottie Surdi welcomed everyone to the meeting and reminded those present to sign the sign in sheets. Guests introduced themselves.

D. APPROVAL OF MINUTES:

Dotti Surdi asked for a motion to approve the March 1, 2017 minutes.
Jim Penner made a motion to move approval of the minutes to the May 3, 2017 meeting after incorporating the Community Plan Update Sub-Committee minutes. Bob Doherty seconded the motion. Unanimous Approval. Rob Hutzel, Mary Holland, Rick Tarbell abstained.

E. PUBLIC INPUT – NON-AGENDA ITEMS BUT WITHIN THE SCOPE OF AUTHORITY OF THE PLANNING GROUP.

“The Mission Valley Planning Group has been formed and recognized by the City Council to make recommendations to the City Council, Planning Commission, City staff, and other governmental agencies on land use matters, specifically concerning the preparation of, adoption of, implementation of, or amendment to, the General Plan or a land use plan when a plan relates to the Mission Valley community

Dottie Surdi as Chair appointed the members of the Sub-Committee as follows

Sub-Committee Qualcomm Stadium Site

Paul Brown - Chair
 Rob Hutsel – Co-Chair
 Josh Weiselberg
 Jim Penner
 Marco Sessa
 John La Raia
 Mary Holland
 Elizabeth Leventhal
 Rick Tarbell
 Dotti Surdi

MOTION:

Marco Sessa made a motion to send a letter to the Planning Commission and City Council stating that the initiative process trivializes the role of planning groups, both in Mission Valley and throughout the City, and that the MVPG does not support the initiative process being used for this site. Josh Weiselberg seconded the motion.

Ayes: 11 - Alan Grant, Robert Doherty, Josh Weiselberg, Steve Abbo, Randall Dolph, Dottie Surdi, Bob Cummings, Marco Sessa, John La Raia, Elizabeth Leventhal, Rick Tarbell.

Against: 4 - Rob Hutsel, Jim Penner, Paul Brown, Mary Holland.

Abstain: - 0

Recused: Keith Pittsford, Andrew Michajlenko.

The motion was passed.

→ 2) **Valley Greens Corp – Blake Marchand Presenting – Action Item (10 min)**

Project #515221 - The project consists of processing a Conditional Use Permit to operate a 2,183 square foot Medical Marijuana Consumer Cooperative (MMCC) at 2835 Camino Del Rio South, San Diego, CA 92108, within an existing 17,767 sq. ft. building.

Mr. Marchand briefly presented the project and distributed a 1,000 foot radius map of the area surrounding the proposed CUP site. A log of businesses within the 1,000 foot radius was also distributed.

Discussion included:

- A member of Gateway Church, which is operating within 1,000 feet of the proposed site, expressed several concerns:
 - o They were approached by a broker that a CUP had been applied for near their church and offered to help them find a new location. Subsequently the applicant also offered to help them find a new location to meet.
 - o The Church currently does not have formal plans to move, nor have any agreements to move been signed.
 - o At the March MVPG meeting, the members were told that the Church did not have a CUP to operate therefore they were not considered as an affecting issue within the 1,000 foot radius. The Church member refuted the CUP issue stating that the City informed them on two occasions that the church did not need a CUP to operate.
 - Nancy Graham stated that the church indeed did not need a CUP, but did fail to provide a change of use documentation.

- The property owner spoke in favor of the project, and stated that he has spoken with the other tenants in the building and two of the three who previously had concerns are more open to the proposed use.
- A non-resident of Mission Valley spoke against the proposed CUP stating that with recreational use being passed by the state ballot measure, that it opens up a host of concerning issues. In addition, store front retail will encourage expanded recreational use.

MOTION:

Alan Grant made a motion to deny the CUP application. Elizabeth Leventhal seconded the motion.

Ayes: 11 – Alan Grant, Robert Doherty, Keith Pittsford, Randy Dolph, Dottie Surdi, Bob Cummings, Jim Penner, John La Raia, Rick Tarbell, Elizabeth Leventhal, Mary Holland.

Against: 5 – Marco Sessa, Andrew Michajlenko, Paul Brown, Rob Hutzel, Steve Abbo.

Abstain: 1 – Josh Weiselberg.

The motion was passed.

3) Civita – Mark Radelow Presenting - Action Item (10 mins)

Quarry Falls LLC is requesting to transfer, as allowed by the Quarry Falls Specific Plan, 39 units from the Creekside West District to the Creekside East District and 14 units from the Foothills Southwest District to the Creekside East District. As this is a transfer between two districts it is a Process II and requires a presentation to the Mission Valley Planning Group.

MOTION:

Jim Penner made a motion to recommend approval of the transfer. Rob Hutzel seconded.

Unanimous vote with Marco Sessa and Alan Grant recusing themselves.

The motion was passed.

I. New Business: Information Items

1) City of San Diego Capital Improvements Program, Reyhaneh Martin, Project Manager Information Item - (10 min)

The Members were informed of the water / sewer line refurbishment happening throughout the city, and specifically the areas affected in Mission Valley.

The links below provide further information on the project:

Water Portion Project B-13186: <http://cipapp.sandiego.gov/cipdistrictnav.aspx>

Sewer Portion Project B-14069: <http://cipapp.sandiego.gov/cipdistrictnav.aspx>

2) Camino Del Rio South Bikeway Project - Brian Genovese, Deputy City Engineer, Bike Program Presenting – Information Item (15 min)

The Members were informed on the City’s efforts to include bikeways on Camino Del Rio S between Mission City Parkway and Fairmount Avenue. The proposed project has been introduced as a City connector for the SR15 Commuter Bikeway currently under construction by Caltrans. The Caltrans project extends from Adams Avenue to Camino Del Rio S. Currently, there are no bike facilities that would help cyclists make the connection between the San Diego River paths and the Kensington, Normal Heights, and Mid-City areas. The Caltrans segment is a partial effort but the remainder falls within City jurisdiction. In order to improve the bikeway network, City staff are considering a “Road Diet” (either the removal of a travel lane or the removal of on-street parking) in order to fit the proposed bikeway within the existing roadway.

- Member questions included how this might affect local business or residents for both parking and path of travel.

GATEWAY CHRISTIAN FELLOWSHIP

2667 Camino Del Rio South Suite 215. San Diego, CA 92025 619-487-9190

02 November 2017

City of San Diego
Development Services Department
Firouzeh Tirandazi
Development Project Manager

Via email

RE: Withdrawal of Appeal of Environmental Determination Valley Greens Medical Marijuana Dispensary (Project No. 515221)

Dear Ms. Tirandazi,

On behalf of the Gateway Christian Fellowship, we respectfully request to withdraw our CEQA Appeal of the proposed Valley Greens Medical Marijuana Dispensary at 2835 Camino Del Rio South.

The Gateway Board has voted to relocate to a larger facility and as such no longer need to pursue the Change of Use process. As a result, we are dropping all opposition to the Valley Greens proposal and do not plan to comment on their proposal any further.

We also respectfully request to withdraw our application for construction permits at 2667 Camino Del Rio South, Suite 215 for the Gateway Assembly Remodel Project No. 572094. This includes our applications for building, mechanical, electrical and plumbing permits.

Should you have any questions, please contact me directly at 760-224-7474.

Respectfully
Pastor Lou Wilburn – Senior Pastor and Chairman



cc: Norman Hester
Sam Whitley Jr.



City of San Diego
Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other CUP

Project Title

Valley Greens

Project No. For City Use Only

615221

Project Address:

2835 Camino Del Rio South, San Diego, California 92108

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of **all** persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Adatto Family Trust, Robert Adatto Trustee

Owner Tenant/Lessee Redevelopment Agency

Street Address:

2835 Camino Del Rio South

City/State/Zip:

San Diego, California 92108

Phone No:

(619) 295-1100 x103

Fax No:

Signature:

Robert Adatto, TRUSTEE

Date:

09/9/28/2016

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:



CLIENT:
VALLEY GREENS
 2835 CAMINO DEL RIO SOUTH SUITE 100 SAN DIEGO, CA 92108
 PROJECT:
VALLEY GREENS M.O.
 APN: 438-210-19-00
 2835 CAMINO DEL RIO SOUTH SUITE 100 SAN DIEGO, CA 92108

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/> PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/> PLAN CHECK 2	8/15/2017
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

SHEET TITLE / CONTENTS
TITLE SHEET
 TRH PROJECT#: 279-17
 SCALE: AS NOTED
 DRAWN BY: TRH
 DATE DRAWN: 5/2/2017
 CHECKED BY: KDS
 SHEET: 1 OF: 18
A0.1

NO FAA NOTIFICATION

City of San Diego Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

No FAA Notification Self-Certification Agreement

FORM DS-503
 Mar 2013

This agreement is made by and between the City of San Diego, a Municipal Corporation [City] and the owner or owner's duly authorized representative of real property [Property Owner], located at
2835 CAMINO DEL RIO SOUTH, SUITE 100, SAN DIEGO, CA 92108
 (PROPERTY ADDRESS)

and more particularly described as
SEE LEGAL DESCRIPTION THIS SHEET. 515221
 (LEGAL DESCRIPTION) (PROPERTY APPROVAL No.)

in the City of San Diego, County of San Diego, State of California [Property].

Per Section 77.15 of Title 14 of the Code of Federal Regulations (CFR Part 77), no person is required to notify the Federal Aviation Administration (FAA) for any object that would be shielded by existing structures of a permanent and substantial character or by natural terrain or topographic features of equal or greater height, and would be located in the congested area of a city, town, or settlement where it is evident beyond all reasonable doubt that the structure as shielded will not adversely affect safety in air navigation.

The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents provides certification on their plans along with their signature and registration stamp that the structure(s) or modification to existing structure(s) shown on the plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations (CFR Part 77), notification is not required.

In consideration of the grant of permission by the City of San Diego to allow the self certification of the determination of no requirement to notify FAA under section 77.15 of Title 14 of the Code of Federal Regulations (CFR Part 77), the applicant covenants and agrees with the City of San Diego as follows:

- Should it be subsequently determined by the City, Airport Land Use Commission, State, or the Federal Aviation Administration, or any other government agency that the proposed project is required to notify the Federal Aviation Administration under CFR Part 77, the City assumes no responsibility or liability for any changes required to the submitted construction drawings and documents and to the structures installed on the project site as a result of and to achieve consistency with the FAA's determination of No Hazard to Air Navigation.
- The applicant certifies that said owner(s) acknowledges and accepts that the construction drawings and documents that are part of the ministerial approval application as well as the construction in the field may have to be revised as necessary to comply with the FAA Determination of Hazard to Air Navigation. The applicant also acknowledges that if a Determination of Presumed Hazard is made by the FAA, that the City will stop all construction until a Determination of No Hazard to Air Navigation is made by the FAA for the project or a permit from the California Department of Transportation is obtained in accordance with Public Utilities Code Section 21659. The applicant acknowledges that this may cost the applicant more money in permitting and construction costs, as well as delays in project construction.
- Furthermore, the applicant certifies that said owner(s) acknowledges and accepts all responsibility for changes required to the submitted construction drawings and documents and to the structures installed on the project site as a result of and to achieve consistency with the FAA's determination. The applicant acknowledges and accepts that the City assumes no responsibility for said changes and the impacts that result to the development as a result. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents.
- Lastly, the applicant certifies that said owner acknowledges and accepts that additional plan review and inspection fees may be required if additional staff reviews of the revised drawings and documents or additional inspections are necessary to reflect the final design of the development to be consistent with a FAA Determination of Hazard to Air Navigation.

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
 Upon request, this information is available in alternative formats for persons with disabilities.
 DS-503 (06-13)

officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval or decision.

The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

(SIGNATURE)
 KYLE STEPHENS, ARCHITECT
 (PRINT NAME & TITLE)
 TRH, INC
 (CORPORATE ORGANIZATION NAME)
 5/23/2017
 (DATE)

SHEET INDEX

NO.	SHT.	SHEET TITLE - DESCRIPTION
1	A0.1	TITLE SHEET, VICINITY MAP, DATA, CALCULATIONS & NOTES
2	A1.1	SITE PLAN, NOTES, LEGEND AND KEYNOTES
3	A1.2	1000 FOOT RADIUS MAP
4	A2.0	EXISTING FIRST FLOOR PLAN, KEYNOTES & LEGEND
5	A2.1	PROPOSED FIRST FLOOR PLAN, KEYNOTES & LEGEND
6	A2.2	EXISTING SECOND FLOOR PLAN - FOR REFERENCE ONLY
7	A2.3	EXISTING THIRD FLOOR PLAN - FOR REFERENCE ONLY
8	A2.5	EXISTING ROOF PLAN - FOR REFERENCE ONLY
9	A4.1	EXISTING EXTERIOR ELEVATIONS
10	C1.1	EXISTING CONDITIONS AND TOPOGRAPHY PLAN
11	C1.2	EXISTING SLOPE ANALYSIS
12	C1.3	PROPOSED IMPROVEMENT PLAN, CROSS SECTIONS & STORMWATER FORMS
13	L1.1	LANDSCAPE DEVELOPMENT PLAN, LEGEND AND NOTES
14	L1.2	LANDSCAPE AREA DIAGRAM
15	L1.3	LANDSCAPE DEMOLITION PLAN
16	E1.1	PROPOSED SECURITY PLAN

PROJECT TEAM

OWNER:	ADATTO FAMILY TRUST, ROBERT ADATTO TRUSTEE
ADDRESS:	1545 HOTEL CIRCLE SOUTH, SUITE 145 SAN DIEGO, CA 92108
CONTACT/PHONE:	BLAKE MARCHANT/blake@blakemarchand.com/(619)890-4588
TENANT:	VALLEY GREENS
ADDRESS:	2835 CAMINO DEL RIO SOUTH, SUITE 100 SAN DIEGO, CA 92108
CONTACT/PHONE:	BLAKE MARCHANT/blake@blakemarchand.com/(619)890-4588
CIVIL ENGINEER:	SAN DIEGUITO ENGINEERING
ADDRESS:	482 STEVENS AVE #305 SOLANA BEACH, CA 92075
CONTACT/PHONE:	MICHAEL WOLFF/mwolff@sandiego.com/(858) 345-1149
LANDSCAPE ARCHITECT:	HUTTER DESIGNS, INC.
ADDRESS:	3845 RUFFIN ROAD, STE. 235 SAN DIEGO, CA 92122
CONTACT/PHONE:	STEVE HUTTER/steve@hutterdesigns.com/(619) 337-4044
DESIGNER:	TRH, INC.
ADDRESS:	1350 COLUMBIA STREET, SUITE 702 SAN DIEGO, CA 92101
CONTACT/PHONE:	TOBY HALLAL/toby@trhinc.com/(619) 230-1088

SITE DATA

GENERAL PLAN LAND USE: COMMERCIAL
 COMMUNITY PLAN: MISSION VALLEY
 ZONING: COMMERCIAL (MPVD-MV-CO)
 COUNCIL DISTRICTS: 3 AND 7
 HISTORICAL: NONE
 INFLUENCE AREA: AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE (ALUCOZ), THE AIRPORT (MONTGOMERY FIELD - REVIEW AREA 2), & THE FAA PART 77 NOTICING AREA 438-210-19-00

APN: 438
 MAP NUMBER: 438
 EXISTING USE: OFFICE ONLY
 PROPOSED USE: MARIJUANA OUTLET (MO) PER SDMC, SECTION 141.0504 & CHAPTER 4, ARTICLE 2, DIVISION 15

PERMITTED USES: RETAIL SALES, COMMERCIAL SERVICES, OFFICES & MARIJUANA OUTLETS
 PROPERTY CLASS: 3 STORY OFFICE/RETAIL BUILDING
 SITE AREA: 1.01 AC/43,996 S.F.

BUILDING DATA

TYPE OF CONSTRUCTION:	TYPE V (NON SPRINKLERED)
BUILDING CONSTRUCTED:	1986
OCCUPANCY GROUP:	M
1ST FLOOR AREA:	4,932 S.F.
2ND FLOOR AREA:	8,578 S.F.
3RD FLOOR AREA:	4,257 S.F.
TOTAL EXISTING BUILDING:	17,767 S.F.
EXISTING F.A.R.:	0.40
PROPOSED CUP AREA:	2,183 S.F. (SUITE 100, GROUND FLOOR)
VACANT SUITE 115:	376 S.F.
VACANT SUITE 230:	2,123 S.F.
(* THIS SUITE TO REMAIN VACANT DURING THE CUP TERM)	
PARKING REQUIRED:	54
PARKING PROVIDED:	54

BUILDING CODE

2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA FIRE CODE
 2016 ENERGY CODE / 2008 EES

BLDG. AREA CALCS

$I_f = [(324/522) - 0.25] 30 / 30 = 0.37$

$A_a = [9,000 + (9,000 \times 0.37)] = 12,330 \text{ S.F. ALLOWABLE PER CBC 506.2.4}$

FIRST FLOOR
 $B = 2,749 \text{ S.F.} / 12,330 \text{ S.F.} = 0.22$
 $M = 2,183 \text{ S.F.} / 12,330 \text{ S.F.} = 0.18$
 0.40 < 1

SECOND FLOOR
 $B = 8,578 \text{ S.F.} / 12,330 \text{ S.F.} = 0.69 < 1$

THIRD FLOOR
 $B = 4,257 \text{ S.F.} / 12,330 \text{ S.F.} = 0.35 < 1$

AGGREGATE BUILDING AREA
 1ST FLR. = 0.40
 2ND FLR. = 0.69
 3RD FLR. = 0.35
 1.44 < 2

BMP NOTES

- THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
 - ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
 - A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
 - THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
 - ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 - THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PARKING CALCULATIONS - SDMC 131.0530 TABLE 142-05E

ZONE	PARKING SPACES REQUIRED PER 1,000 SQUARE FEET OF FLOOR AREA UNLESS OTHERWISE NOTED (FLOOR AREA INCLUDES GROSS FLOOR AREAS PLUS BELOW GRADE FLOOR AREA AN EXCLUDES FLOOR AREA DEVOTED TO PARKING)	REQUIRED AUTOMOBILE PARKING SPACES ⁽¹⁾								
		MINIMUM REQUIRED RATIO OUTSIDE A TRANSIT AREA	MINIMUM REQUIRED RATIO WITHIN A TRANSIT AREA ⁽²⁾	MAXIMUM PERMITTED	ACCESSIBLE	VAN ACCESSIBLE	LOADING SPACES	SHORT-TERM BICYCLE PARKING SPACES	LONG-TERM BICYCLE PARKING SPACES	MOTORCYCLE PARKING SPACES
MISSION VALLEY		3.3	2.9	6.5	TABLE 11.B-208.2	TABLE 11.B-208.2		5%		2%
EXISTING 1ST FLOOR OFFICES (TABLE 142-05G)	2,749	9 REQUIRED 9 PROVIDED	N/A	N/A	SEE BELOW	SEE BELOW	N/A	SEE BELOW	N/A	SEE BELOW
(PROPOSED) M.O.	2,183	5.0 11 REQUIRED 11 PROVIDED	4.3 N/A	6.5 N/A	TABLE 11.B-208.2	TABLE 11.B-208.2	N/A	5%	N/A	2%
EXISTING 2ND & 3RD FLOOR OFFICES (TABLE 142-05G)	10,336	3.3 34 REQUIRED 34 PROVIDED	2.9 N/A	N/A	TABLE 11.B-208.2	TABLE 11.B-208.2	N/A	5%	N/A	2%
VACANT SUITE 115 VACANT SUITE 230	2,499	0 REQUIRED	N/A	N/A	TABLE 11.B-208.2	1 OF 3	N/A	5%		2%
TOTAL:	17,767	VARIES 54 REQUIRED 54 PROVIDED	N/A	N/A	TABLE 11.B-208.2	3 REQUIRED 3 PROVIDED	1 REQUIRED 1 PROVIDED	N/A	4 REQUIRED 4 PROVIDED	2 REQUIRED 2 PROVIDED

SITE NOTES

- PROVIDE BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UFC 901.4.4).
- ALL VEHICULAR PARKING SPACES TO BE MARKED WITH 4" WIDE WHITE STRIPES AT EACH SIDE OF STALL. SAID STRIPES FOR EACH PARKING SPACE SHALL BE MAINTAINED BY THE OWNER/TENANT AT ALL TIMES.
- LOT DRAINAGE MUST MEET CURRENT CITY ENGINEERING STANDARDS. RUNOFF SHALL NOT BE INCREASED WITHOUT THE ADDITION OF AN ON-SITE DETENTION FACILITY TO DECREASE RUNOFF.
- WHEEL STOPS ARE REQUIRED TO PROTECT FENCES AND LANDSCAPING ADJACENT TO AUTO VEHICULAR PARKING AREAS.
- VERIFY LOCATION OF ALL UTILITIES & STREET IMPROVEMENTS SHOWN ON THESE PLANS.
- NO OBJECTS HIGHER THAN 36" WILL BE IN THE VISIBILITY TRIANGLES.
- NO MECHANICAL EQUIPMENT, TANK, DUCT, ELEVATOR ENCLOSURE, COOLING TOWER OR MECHANICAL VENTILATOR OR AIR CONDITIONER SHALL BE ERRECTED, CONSTRUCTED, CONVERTED, ESTABLISHED, ALTERED, OR ENLARGED ON THE ROOF OF ANY BUILDING, UNLESS ALL SUCH EQUIPMENT AND APPURTENANCES ARE FULLY SCREENED AS REQUIRED BY THE CITY OF SAN DIEGO.
- THIS PROJECT IS NOT SUBJECT TO STEP 2 BECAUSE IT IS A USE PERMIT THAT DOES NOT RESULT IN THE EXPANSION OR ENLARGEMENT OF A BUILDING.
- ALL EXISTING DRIVE AISLES SHALL COMPLY TO SDMC 142.0560, TABLE 142-05 L.
- NEAREST MTS BUS STOP: 2826 CAMINO DEL RIO SOUTH, SAN DIEGO, CA 92108.
- DISTANCE TO NEAREST MTS BUS STOP = 334'.
- DISTANCE TO NEAREST FIRE HYDRANT = 37'.

- 1,000 FEET FROM RESOURCE AND POPULATION-BASED CITY PARKS, OTHER MARIJUANA OUTLETS, CHURCHES, CHILD CARE CENTERS, PLAYGROUNDS, LIBRARIES OWNED AND OPERATED BY THE CITY OF SAN DIEGO, MINOR-ORIENTED FACILITIES, RESIDENTIAL CARE FACILITIES, AND SCHOOLS. FOR PURPOSES OF THIS SECTION, SCHOOL MEANS ANY PUBLIC OR PRIVATE INSTITUTION OF LEARNING PROVIDING INSTRUCTION IN KINDERGARTEN OR GRADES 1 TO 12, INCLUSIVE, BUT DOES NOT INCLUDE ANY PRIVATE SCHOOL IN WHICH EDUCATION IS PRIMARILY CONDUCTED IN PRIVATE HOMES.
 - 100 FEET FROM A RESIDENTIAL ZONE.
- (A) LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE INTERIOR, FACADE, AND THE IMMEDIATE SURROUNDING AREA OF THE MARIJUANA OUTLET, INCLUDING ANY ACCESSORY USES, PARKING LOTS, AND ADJOINING SIDEWALKS. LIGHTING SHALL BE HOODED OR ORIENTED TO DEFLECT LIGHT AWAY FROM ADJACENT PROPERTIES.
- (B) SECURITY SHALL BE PROVIDED AT THE MARIJUANA OUTLET WHICH SHALL INCLUDE OPERABLE CAMERAS, ALARMS, AND A SECURITY GUARD. THE SECURITY GUARD SHALL BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENT ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARD SHALL ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS.
- (C) SECURITY SHALL INCLUDE OPERABLE CAMERAS AND A METAL DETECTOR TO THE SATISFACTION OF DEVELOPMENT SERVICES DEPARTMENT. THIS FACILITY SHALL ALSO INCLUDE ALARMS AND TWO ARMED SECURITY GUARDS TO THE EXTENT THE POSSESSION OF A FIREARM IS NOT IN CONFLICT WITH 18 U.S.C. § 922(G) AND 27 C.F.R. 478.11. NOTHING HEREIN SHALL BE INTERPRETED TO REQUIRE OR ALLOW A VIOLATION OF FEDERAL FIREARMS LAWS. THE SECURITY GUARDS SHALL BE LICENSED BY THE STATE OF CALIFORNIA. ONE SECURITY GUARD MUST BE ON THE PREMISES 24 HOURS A DAY, SEVEN DAYS A WEEK, THE OTHER MUST BE PRESENT DURING BUSINESS HOURS.
- (D) THE SECURITY GUARDS SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS. THE CAMERAS SHALL HAVE AND USE A RECORDING DEVICE THAT MAINTAINS THE RECORDS FOR A MINIMUM OF 30 DAYS.
- (E) PRIMARY SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE MARIJUANA OUTLET AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, WHICH SHALL CONTAIN ONLY ALPHABETIC CHARACTERS, AND SHALL BE LIMITED TO TWO COLORS.
- (F) THE NAME AND EMERGENCY CONTACT PHONE NUMBER OF AN OPERATOR OR MANAGER SHALL BE POSTED IN A LOCATION VISIBLE FROM OUTSIDE THE MARIJUANA OUTLET IN CHARACTER SIZE AT LEAST TWO INCHES IN HEIGHT.
- (G) THE MARIJUANA OUTLET SHALL OPERATE ONLY BETWEEN THE HOURS OF 7:00 A.M. AND 9:00 P.M., SEVEN DAYS A WEEK.
- (H) THE USE OF VENDING MACHINES WHICH ALLOW ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS EXCEPT BY A RESPONSIBLE PERSON, AS DEFINED IN SAN DIEGO MUNICIPAL CODE SECTION 42.1502, IS PROHIBITED. FOR PURPOSES OF THIS SECTION, A VENDING MACHINE IS ANY DEVICE WHICH ALLOWS ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS WITHOUT A HUMAN INTERMEDIARY.
- (I) THE MARIJUANA OUTLET, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE MARIJUANA OUTLET, SHALL BE MAINTAINED FREE OF LITTER AND GRAFFITI AT ALL TIMES.
- (J) THE MARIJUANA OUTLET SHALL PROVIDE DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED FROM THE PREMISES WITHIN 24 HOURS.
- (K) CONSULTATIONS BY MEDICAL PROFESSIONALS SHALL NOT BE A PERMITTED ACCESSORY USE AT A MARIJUANA OUTLET.
- (L) A CONDITIONAL USE PERMIT FOR A MARIJUANA OUTLET SHALL EXPIRE NO LATER THAN FIVE YEARS FROM THE DATE OF ISSUANCE. DELIVERIES SHALL BE PERMITTED AS AN ACCESSORY USE ONLY FROM MARIJUANA OUTLETS WITH A VALID CONDITIONAL USE PERMIT UNLESS OTHERWISE ALLOWED PURSUANT TO THE COMPASSIONATE USE ACT OF 1996.
- (M) THE OWNER/PERMITTEE SHALL INSTALL A COMBINATION OF FULL-HEIGHT BULLET RESISTANT GLASS, PLASTIC OR LAMINATE SHIELD AND BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT THE RECEPTION AREA.
- (N) THE OWNER/PERMITTEE SHALL INSTALL FULL-HEIGHT BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, IN COMMON AREAS WITH OTHER TENANTS, RECEPTION AREA AND VAULT ROOM.
- (O) A PERMIT SHALL BE OBTAINED AS REQUIRED PURSUANT TO CHAPTER 4, ARTICLE 2, DIVISION 15.
- (P) AN EXTENSION OF TIME FOR A CONDITIONAL USE PERMIT GRANTED TO A MARIJUANA OUTLET SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 126.0111, WITH THE FOLLOWING EXCEPTIONS:

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF LOT 1113 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE IN THE COUNTY RECORDER OF SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE WEST LINE OF PUEBLO LOT 1113 WITH THE SOUTHERLY LINE OF THE 100 FOOT STATE HIGHWAY, KNOWN AS CAMINO DEL RIO; THENCE NORTH 73° 39' 20" EAST ALONG SAID SOUTHERLY LINE OF SAID CAMINO DEL RIO, 162.35 FEET TO THE TRUE POINT OF BEGINNING, BEING THE NORTHWESTERLY CORNER OF A POINT IN SAID PUEBLO LOT CONVEYED TO JOHN A. JOHNSON, ET UX, BY DEED RECORDED SEPTEMBER 11, 1945 IN BOOK 1946, PAGE 87 OF OFFICIAL RECORDS; THENCE CONTINUING NORTH 73° 39' 30" EAST ALONG SAID SOUTHERLY LINE 65.47 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT IN SAID SOUTHERLY LINE, HAVING A RADIUS OF 1550 FEET; THENCE NORTH-EASTERLY ALONG SAID CURVE FOR A DISTANCE OF 48.53 FEET TO THE NORTH-EASTERLY CORNER OF THAT PARCEL OF LAND CONVEYED TO MARGARET L. MC CLURE, BY DEED RECORDED FEBRUARY 7, 1952 IN BOOK 4367, PAGE 100 OF OFFICIAL RECORDS; THENCE SOUTH 4° 06' 20" EAST LINE OF MC CLURE'S LAND, A DISTANCE OF 225 FEET; THENCE SOUTHWESTERLY ALONG A CURVE, CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 1550 FEET, A DISTANCE OF 15.0 FEET TO A POINT ON THE EASTERLY LINE OF LAND CONVEYED TO JOSEPH P. CANNON, ET UX, BY DEED RECORDED FEBRUARY 27, 1950 IN BOOK 3515, PAGE 383 OF OFFICIAL RECORDS; WHICH IS DISTANT THEREON SOUTH 4° 06' 20" EAST, 225 FEET FROM THE NORTHEASTERLY CORNER OF CANNON'S LAND; THENCE SOUTH 4° 06' 20" EAST ALONG THE EAST LINE OF CANNON'S LAND TO THE SOUTHEAST CORNER THEREOF, BEING A POINT ON THE SOUTHERLY LINE OF LOT 8 AS SHOWN ON MAP NO. 875, RECORDS OF SAN DIEGO COUNTY, ENTITLED "PLAN OF LOT 32 OF EX-MISSION RANCHO AND PART OF PUEBLO LOT 1113"; THENCE SOUTH 89° 54' 19" WEST ALONG THE SOUTHERLY LINE TO THE SOUTHWESTERLY CORNER OF JOHNSON'S LAND ABOVE MENTIONED; THENCE NORTH 4° 06' 20" WEST ALONG THE WESTERLY LINE OF SAID JOHNSON'S LAND TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION, IF ANY, LYING WITHIN THE BOUNDARIES OF VILLA LOT 58 OF UNIVERSITY HEIGHTS, ACCORDING TO MAP THEREOF NO. 951, ALSO EXCEPTING THEREFROM ANY PORTION THAT WOULD NOT, IF DESCRIBED OR LOCATED BY THE LOOKING MAP, BE WHOLLY WITHIN THE BOUNDARIES OF THAT CERTAIN TRACT OF LAND CONVEYED BY THE TRUSTEES OF THE CITY OF SAN DIEGO TO JOHN M. BATTLE BY DEED DATED JULY 26, 1870 AND RECORDED IN BOOK 10, PAGE 284 OF DEEDS, RECORDS OF SAN DIEGO COUNTY, WHICH DEED REFERRED TO THE PASCOE MAP APPARENTLY IS NOT A MAP OF RECORD BUT WAS INCORPORATED IN THE DESCRIPTIONS OF VARIOUS DEEDS OF RECORD ATTEMPTING TO CONVEYED THE HEREIN DESCRIBED PROPERTY.

ALSO EXCEPTING THEREFROM THAT PORTION LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF THE ABOVE DESCRIBED LAND; THENCE ALONG THE EASTERLY LINE OF SAID LAND SOUTH 03° 37' 00" EAST, 45.11 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 68° 28' 37" WEST, 1.73 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 1530.00 FEET, THROUGH A CENTRAL ANGLE OF 04° 19' 00", A DISTANCE OF 115.27 FEET TO THE WESTERLY LINE OF THE ABOVE DESCRIBED LAND.

SCOPE OF WORK

- PROCESS THREE CONDITIONAL USE PERMIT FOR A MARIJUANA OUTLET (M.O.) TO OPERATE WITHIN A 2,183-SQUARE-FOOT SPACE OF AN EXISTING 17,767-SQUARE-FOOT COMMERCIAL BUILDING LOCATED AT 2835 CAMINO DEL RIO SOUTH IN THE COMMERCIAL OFFICE (MV-CO) ZONE OF THE MISSION VALLEY PLANNED DISTRICT WITHIN THE MISSION VALLEY COMMUNITY PLAN AREA.
- RECONSTRUCT EXISTING DRIVEWAY TO CURRENT CITY STANDARDS WITH SDG-159 CONCRETE DRIVEWAY, ADJACENT TO THE SITE ON CAMINO DEL RIO SOUTH. NEW DRIVEWAY WIDTH SHALL COMPLY WITH SDMC TABLE 142-05M.
- PROPOSED ACCESSIBLE PATH OF TRAVEL FROM THE ADJACENT PUBLIC SIDEWALK TO THE PROJECT ENTRANCE.
- SUITE 230 (2,123 S.F.) PROPOSED TO BE VACANT DURING THE CUP TERM.

M.O. CODE PROVISIONS

SDMC SECTION 141.0504

MARIJUANA OUTLETS THAT ARE CONSISTENT WITH THE REQUIREMENTS FOR RETAILER OR DISPENSARY LICENSE REQUIREMENTS IN THE CALIFORNIA BUSINESS AND PROFESSIONS CODE MAY BE PERMITTED WITH A CONDITIONAL USE PERMIT DECIDED IN ACCORDANCE WITH PROCESS THREE IN THE ZONES INDICATED WITH A "C" IN THE USE REGULATIONS TABLES IN CHAPTER 13, ARTICLE 1 (BASE ZONES), PROVIDED THAT NO MORE THAN FOUR MARIJUANA OUTLETS ARE PERMITTED IN EACH CITY COUNCIL DISTRICT. MARIJUANA OUTLETS ARE SUBJECT TO THE FOLLOWING REGULATIONS:

MARIJUANA OUTLETS SHALL MAINTAIN THE FOLLOWING MINIMUM SEPARATION BETWEEN USES, AS MEASURED BETWEEN PROPERTY LINES, IN ACCORDANCE WITH SECTION 113.0225:

- 1,000 FEET FROM RESOURCE AND POPULATION-BASED CITY PARKS, OTHER MARIJUANA OUTLETS, CHURCHES, CHILD CARE CENTERS, PLAYGROUNDS, LIBRARIES OWNED AND OPERATED BY THE CITY OF SAN DIEGO, MINOR-ORIENTED FACILITIES, RESIDENTIAL CARE FACILITIES, AND SCHOOLS. FOR PURPOSES OF THIS SECTION, SCHOOL MEANS ANY PUBLIC OR PRIVATE INSTITUTION OF LEARNING PROVIDING INSTRUCTION IN KINDERGARTEN OR GRADES 1 TO 12, INCLUSIVE, BUT DOES NOT INCLUDE ANY PRIVATE SCHOOL IN WHICH EDUCATION IS PRIMARILY CONDUCTED IN PRIVATE HOMES.
- 100 FEET FROM A RESIDENTIAL ZONE.

(A) LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE INTERIOR, FACADE, AND THE IMMEDIATE SURROUNDING AREA OF THE MARIJUANA OUTLET, INCLUDING ANY ACCESSORY USES, PARKING LOTS, AND ADJOINING SIDEWALKS. LIGHTING SHALL BE HOODED OR ORIENTED TO DEFLECT LIGHT AWAY FROM ADJACENT PROPERTIES.

(B) SECURITY SHALL BE PROVIDED AT THE MARIJUANA OUTLET WHICH SHALL INCLUDE OPERABLE CAMERAS, ALARMS, AND A SECURITY GUARD. THE SECURITY GUARD SHALL BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENT ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARD SHALL ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS.

(C) SECURITY SHALL INCLUDE OPERABLE CAMERAS AND A METAL DETECTOR TO THE SATISFACTION OF DEVELOPMENT SERVICES DEPARTMENT. THIS FACILITY SHALL ALSO INCLUDE ALARMS AND TWO ARMED SECURITY GUARDS TO THE EXTENT THE POSSESSION OF A FIREARM IS NOT IN CONFLICT WITH 18 U.S.C. § 922(G) AND 27 C.F.R. 478.11. NOTHING HEREIN SHALL BE INTERPRETED TO REQUIRE OR ALLOW A VIOLATION OF FEDERAL FIREARMS LAWS. THE SECURITY GUARDS SHALL BE LICENSED BY THE STATE OF CALIFORNIA. ONE SECURITY GUARD MUST BE ON THE PREMISES 24 HOURS A DAY, SEVEN DAYS A WEEK, THE OTHER MUST BE PRESENT DURING BUSINESS HOURS.

(D) THE SECURITY GUARDS SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS. THE CAMERAS SHALL HAVE AND USE A RECORDING DEVICE THAT MAINTAINS THE RECORDS FOR A MINIMUM OF 30 DAYS.

(E) PRIMARY SIGNS SHALL BE POSTED ON THE OUTSIDE OF THE MARIJUANA OUTLET AND SHALL ONLY CONTAIN THE NAME OF THE BUSINESS, WHICH SHALL CONTAIN ONLY ALPHABETIC CHARACTERS, AND SHALL BE LIMITED TO TWO COLORS.

(F) THE NAME AND EMERGENCY CONTACT PHONE NUMBER OF AN OPERATOR OR MANAGER SHALL BE POSTED IN A LOCATION VISIBLE FROM OUTSIDE THE MARIJUANA OUTLET IN CHARACTER SIZE AT LEAST TWO INCHES IN HEIGHT.

(G) THE MARIJUANA OUTLET SHALL OPERATE ONLY BETWEEN THE HOURS OF 7:00 A.M. AND 9:00 P.M., SEVEN DAYS A WEEK.

(H) THE USE OF VENDING MACHINES WHICH ALLOW ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS EXCEPT BY A RESPONSIBLE PERSON, AS DEFINED IN SAN DIEGO MUNICIPAL CODE SECTION 42.1502, IS PROHIBITED. FOR PURPOSES OF THIS SECTION, A VENDING MACHINE IS ANY DEVICE WHICH ALLOWS ACCESS TO MARIJUANA AND MARIJUANA PRODUCTS WITHOUT A HUMAN INTERMEDIARY.

(I) THE MARIJUANA OUTLET, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE MARIJUANA OUTLET, SHALL BE MAINTAINED FREE OF LITTER AND GRAFFITI AT ALL TIMES.

(J) THE MARIJUANA OUTLET SHALL PROVIDE DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED FROM THE PREMISES WITHIN 24 HOURS.

(K) CONSULTATIONS BY MEDICAL PROFESSIONALS SHALL NOT BE A PERMITTED ACCESSORY USE AT A MARIJUANA OUTLET.

(L) A CONDITIONAL USE PERMIT FOR A MARIJUANA OUTLET SHALL EXPIRE NO LATER THAN FIVE YEARS FROM THE DATE OF ISSUANCE. DELIVERIES SHALL BE PERMITTED AS AN ACCESSORY USE ONLY FROM MARIJUANA OUTLETS WITH A VALID CONDITIONAL USE PERMIT UNLESS OTHERWISE ALLOWED PURSUANT TO THE COMPASSIONATE USE ACT OF 1996.

(M) THE OWNER/PERMITTEE SHALL INSTALL A COMBINATION OF FULL-HEIGHT BULLET RESISTANT GLASS, PLASTIC OR LAMINATE SHIELD AND BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, AT THE RECEPTION AREA.

(N) THE OWNER/PERMITTEE SHALL INSTALL FULL-HEIGHT BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, IN COMMON AREAS WITH OTHER TENANTS, RECEPTION AREA AND VAULT ROOM.

(O)



INC.
1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089



CLIENT:
VALLEY GREENS
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:
VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/> PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/> PLAN CHECK 2	8/15/2017
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

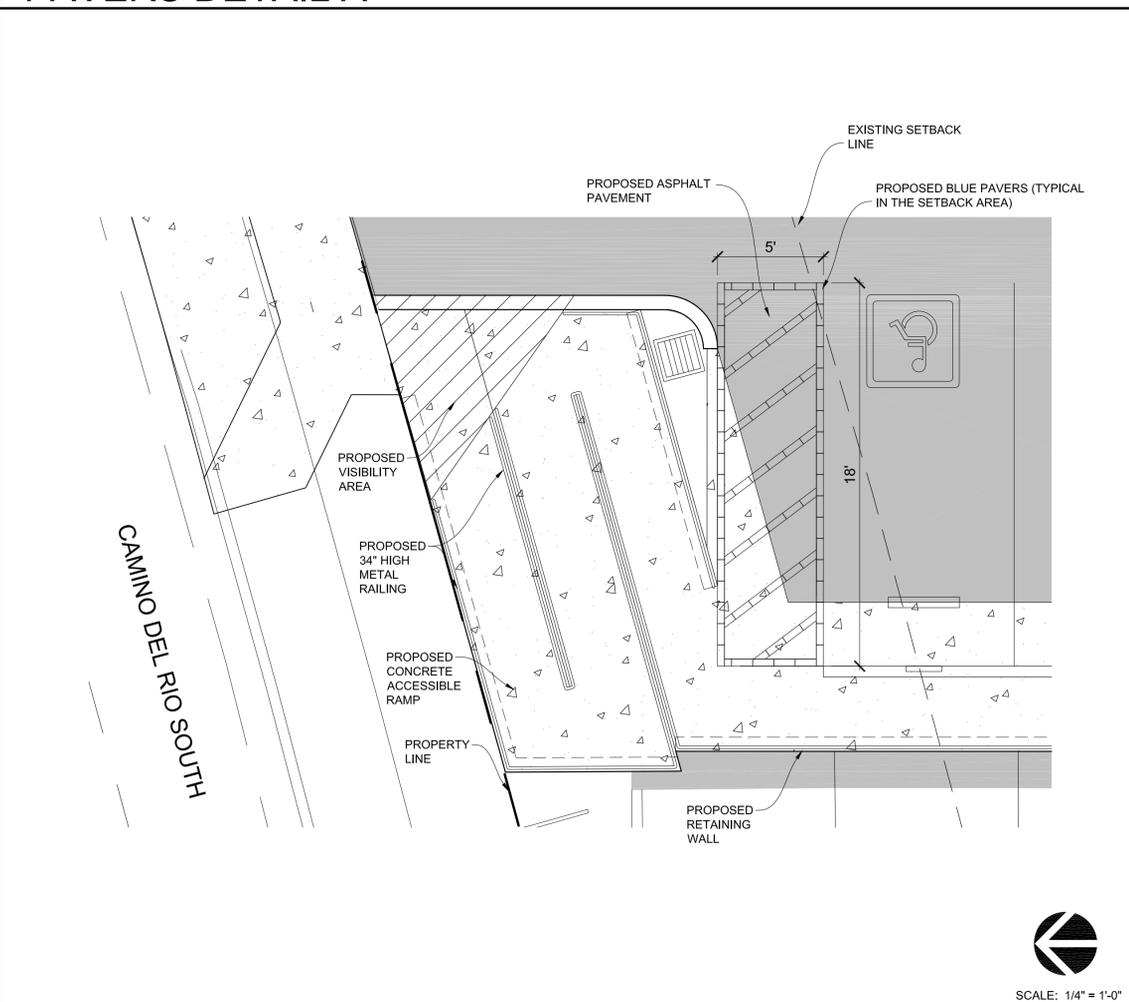
SHEET TITLE / CONTENTS
SITE PLAN, LEGEND & KEYNOTES

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 2 OF: 16

A1.1

PAVERS DETAIL A



ACCESSIBILITY STATEMENTS

I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

SIGNATURE:
PRINT NAME: KYLE STEPHENS DATE: 5/18/2017

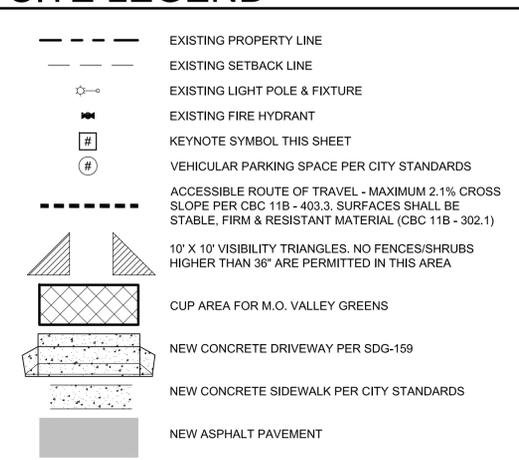
I AM THE DESIGNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE PREMISES AND DETERMINED THAT EXISTING RESTROOM(S) SERVING AREA(S) OF ALTERATION ARE ACCESSIBLE ACCORDING TO CURRENT REQUIREMENTS.

SIGNATURE:
PRINT NAME: KYLE STEPHENS DATE: 5/18/2017

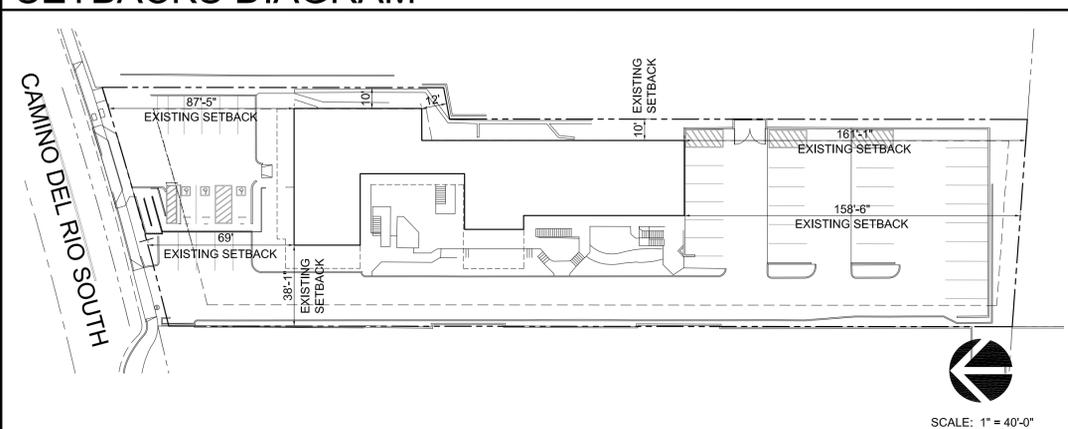
SETBACKS

LOCATION:	REQUIRED	EXISTING	APN:	ACRES:
FRONT STREET SETBACK (CAMINO DEL RIO SOUTH) MVPDO	20'-0"	87'-5" 69'-0"	438-210-19-00	1.01
SIDE YARD SETBACK	10'-0"	10'-0" 38'-1"		
REAR YARD SETBACK	8'-0"	161'-1" 158'-6"		
		TOTAL NO. OF PARCELS = 1 TOTAL NO. OF ACRES = 1.01		

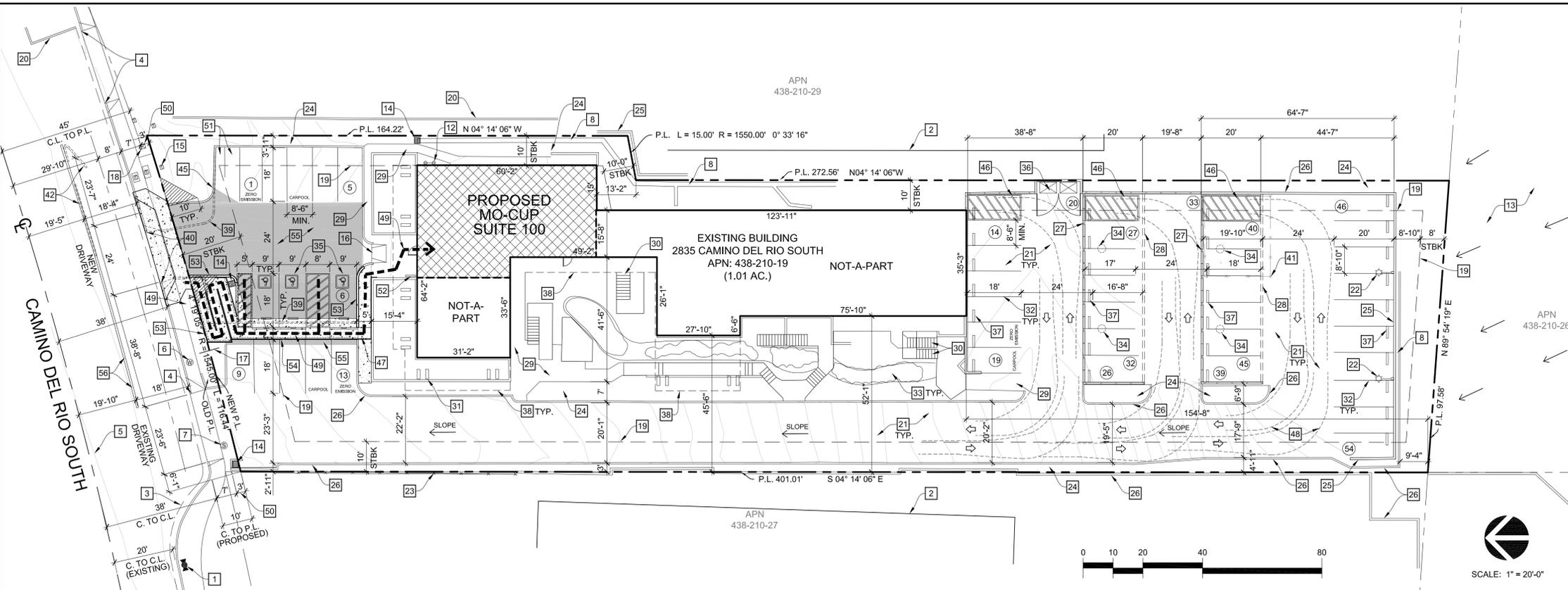
SITE LEGEND



SETBACKS DIAGRAM



SITE PLAN



GRADING TABLE

TOTAL AREA TO BE DISTURBED =	3,225 S.F. / 0.074 AC.
TOTAL AMOUNT OF CUT =	15 C.Y.
TOTAL AMOUNT OF FILL =	50 C.Y.
TOTAL AMOUNT OF EXPORT =	0 C.Y.
TOTAL AMOUNT OF IMPORT =	35 C.Y.

All ideas, designs, arrangements, and plans indicated by these drawings are owned by, and property of, TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



I N C.

1350 COLUMBIA ST.
SUITE 202
SAN DIEGO, CA 92101
TEL 619) 230-1088
FAX 619) 230-1089



SCHEDULES

DOOR SCHEDULE											
SYM.	WIDTH	HEIGHT	OPERATION TYPE	OPENING HARDWARE	HARDWARE	LATCH	MATERIAL	CLOSER	LOCK	PULL	REMARKS
③	3'-0"	7'-0"	SWINGING	LEVER	LOCKING	NO	WOOD	NO	YES	YES	EXISTING
④	3'-0"	6'-8"	SWINGING	LEVER	LOCKING	NO	WOOD	NO	YES	YES	EXISTING

- NO PROPOSED EXTERIOR GLAZED DOORS, OPENINGS WITHIN EXTERIOR DOORS OR GARAGE DOORS
- ALL DOORS AND GATES SHALL COMPLY WITH CBC 11B-404.2.2 & 11B-404.2.3
- ALL DOOR AND GATES SHALL BE MINIMUM 32 - INCH CLEAR WIDTH PER CBC FIG. 11B-404.2.3

WINDOW SCHEDULE					
SYM.	WIDTH	HEIGHT	OPERATION TYPE	HARDWARE	REMARKS
Ⓐ	5'-0"	4'-0"	FIXED	NO	WOOD EXISTING

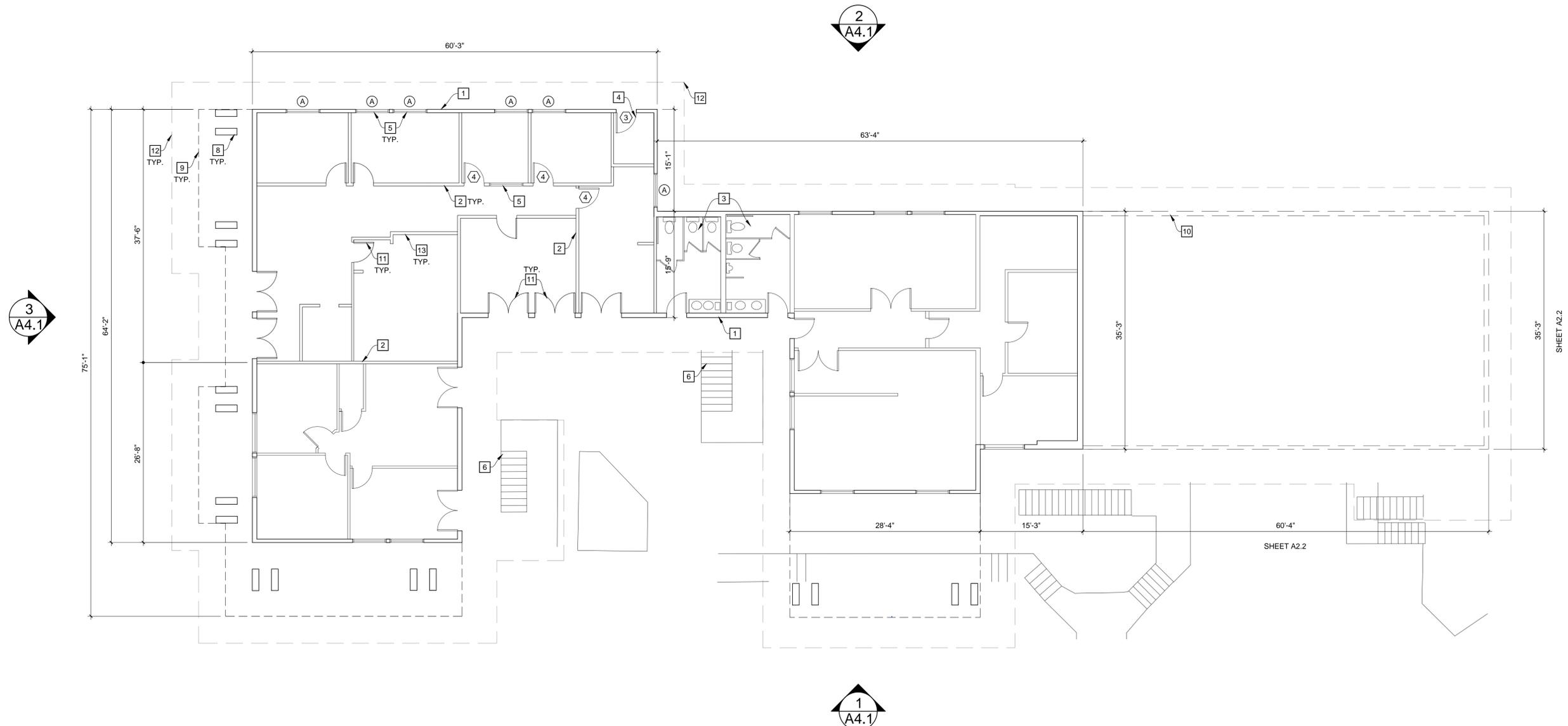
FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- EXISTING INTERIOR WALLS TO BE REMOVED
- DIMENSION TO CENTER OF STUD, COLUMN OR WALL
- DIMENSION TO FACE OF STUD, COLUMN OR WALL
- ACCESSIBLE PATH OF TRAVEL
- ROOM NUMBER
- KEYNOTE SYMBOL
- DOOR SYMBOL PER DOOR SCHEDULE
- WINDOW SYMBOL PER WINDOW SCHEDULE
- EXTERIOR ELEVATIONS DETAIL NUMBER
- EXTERIOR ELEVATIONS SHEET NUMBER

KEYNOTES

- EXISTING EXTERIOR WALL
- EXISTING INTERIOR WALL
- EXISTING RESTROOMS
- EXISTING DOOR
- EXISTING WINDOW
- EXISTING EXTERIOR STAIRS
- EXISTING ROOF OVERHANG ABOVE
- EXISTING COLUMNS TO REMAIN
- EXISTING SECOND FLOOR OVERHANG ABOVE
- EXISTING WALL ABOVE

EXISTING FIRST FLOOR PLAN



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION	ITEM	DATE

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/> PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/> PLAN CHECK 2	8/15/2017
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

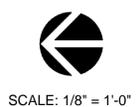
SHEET TITLE / CONTENTS

EXISTING 1ST FLOOR PLAN

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 4 OF: 16

A2.0



All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



I N C.

1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL: (619) 230-1088
FAX: (619) 230-1089



SCHEDULES

DOOR SCHEDULE

SYM.	WIDTH	HEIGHT	OPERATION TYPE	HARDWARE	HARDWARE	LATCH	MATERIAL	CLOSER	LOCK	PULL	REMARKS
①	3'-0"	6'-8"	SWINGING	LEVER	LOCKING	NO	ALUMINUM	NO	YES	YES	TSS BULLET RESISTANT ALUMINUM DOOR LEVEL 1
②	3'-0"	6'-8"	SWINGING	LEVER	LOCKING	NO	WOOD	NO	YES	YES	RELOCATED
③	3'-0"	7'-0"	SWINGING	LEVER	LOCKING	NO	WOOD	NO	YES	YES	EXISTING EXTERIOR DOOR
④	3'-0"	6'-8"	SWINGING	LEVER	LOCKING	NO	WOOD	NO	YES	YES	EXISTING INTERIOR DOOR

- NO PROPOSED EXTERIOR GLAZED DOORS, OPENINGS WITHIN EXTERIOR DOORS OR GARAGE DOORS
- ALL DOORS AND GATES SHALL COMPLY WITH CBC 11B-404.2.2 & 11B-404.2.3
- ALL DOOR AND GATES SHALL BE MINIMUM 32" CLEAR WIDTH PER CBC FIG. 11B-404.2.3

WINDOW SCHEDULE

SYM.	WIDTH	HEIGHT	OPERATION TYPE	HARDWARE	MATERIAL	REMARKS
A	5'-0"	4'-0"	FIXED	NO	WOOD	EXISTING
B	3'-0"	3'-0"	FIXED	NO	ACRYLIC	CRL ROUND LEVEL 1 CLEAR-VISION BULLET RESISTANT SPEAK-THRU

OCCUPANT LOAD CALCULATIONS

CONDITION	AREA / ROOM NAME	TENANT	AREA	OCCUP. FACTOR	OCCUP. LOAD	OCCUP. TYPE
PROPOSED	SUITE 100	VALLEY GREENS	2,183 S.F.	60	36.38	M V
TOTAL			2,183 S.F.		36.38	

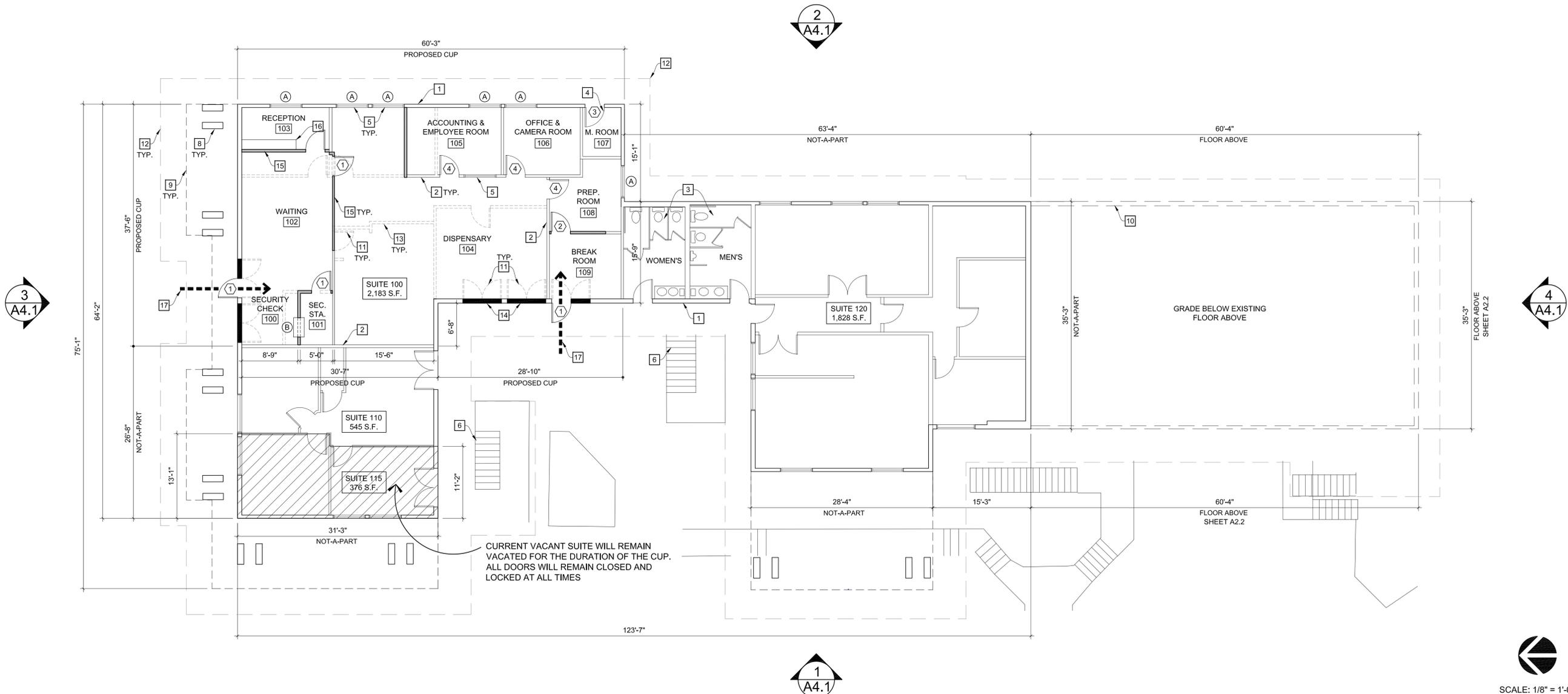
FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- - - EXISTING INTERIOR WALLS TO BE REMOVED
- PROPOSED EXTERIOR WALLS TO MATCH EXISTING
- PROPOSED INTERIOR WALLS TO MATCH EXISTING
- + + + DIMENSION TO CENTER OF STUD, COLUMN OR WALL
- + + + DIMENSION TO FACE OF STUD, COLUMN OR WALL
- - - ACCESSIBLE PATH OF TRAVEL
- # ROOM NUMBER
- # KEYNOTE SYMBOL
- # DOOR SYMBOL PER DOOR SCHEDULE
- # WINDOW SYMBOL PER WINDOW SCHEDULE
- ⊙ EXTERIOR ELEVATIONS DETAIL NUMBER
- ⊙ EXTERIOR ELEVATIONS SHEET NUMBER

KEYNOTES

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- EXISTING RESTROOMS TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING EXTERIOR STAIRS TO REMAIN
- (NOT USED)
- EXISTING COLUMNS TO REMAIN
- EXISTING SECOND FLOOR OVERHANG ABOVE
- EXISTING WALL ABOVE
- EXISTING DOOR TO BE REMOVED
- EXISTING ROOF OVERHANG ABOVE
- EXISTING WALL TO BE REMOVED
- PROPOSED EXTERIOR WALL TO MATCH EXISTING
- PROPOSED INTERIOR WALL TO MATCH EXISTING
- PROPOSED SERVICE COUNTER
- PROPOSED ACCESSIBLE PATH OF TRAVEL

PROPOSED FIRST FLOOR PLAN



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION	ITEM	DATE

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/> PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/> PLAN CHECK 2	8/15/2017
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

SHEET TITLE / CONTENTS

PROPOSED 1ST FLOOR PLAN

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 5 OF: 16

A2.1



All ideas, designs, arrangements, and plans indicated by these drawings are owned by and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



I N C.

1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION ITEM DATE

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

<input type="checkbox"/>	SCHEMATIC	
<input type="checkbox"/>	DESIGN DEV.	
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/>	PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/>	PLAN CHECK 2	8/15/2017
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	AS-BUILT	

SHEET TITLE / CONTENTS

EXISTING SECOND FLOOR PLAN

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

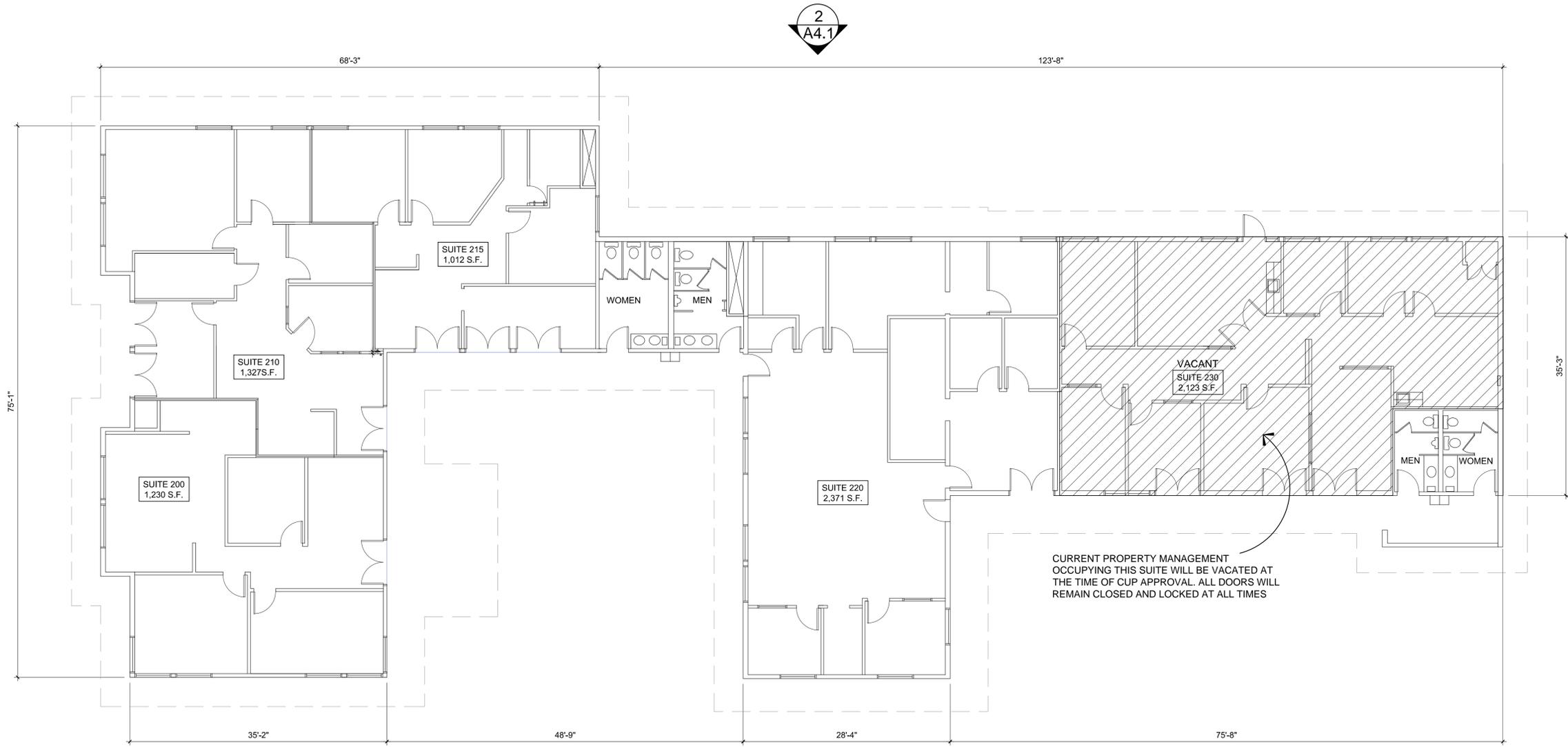
SHEET: 6 OF: 16

A2.2

FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- DIMENSION TO FACE OF STUD, COLUMN OR WALL
- EXTERIOR ELEVATIONS DETAIL NUMBER
- EXTERIOR ELEVATIONS SHEET NUMBER

EXISTING SECOND FLOOR PLAN - FOR REFERENCE ONLY (NOT-A-PART)



SCALE: 1/8" = 1'-0"

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



I N C.

1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION ITEM DATE

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

<input type="checkbox"/>	SCHEMATIC	
<input type="checkbox"/>	DESIGN DEV.	
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/>	PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/>	PLAN CHECK 2	8/15/2017
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	AS-BUILT	

SHEET TITLE / CONTENTS

EXISTING THIRD FLOOR PLAN

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

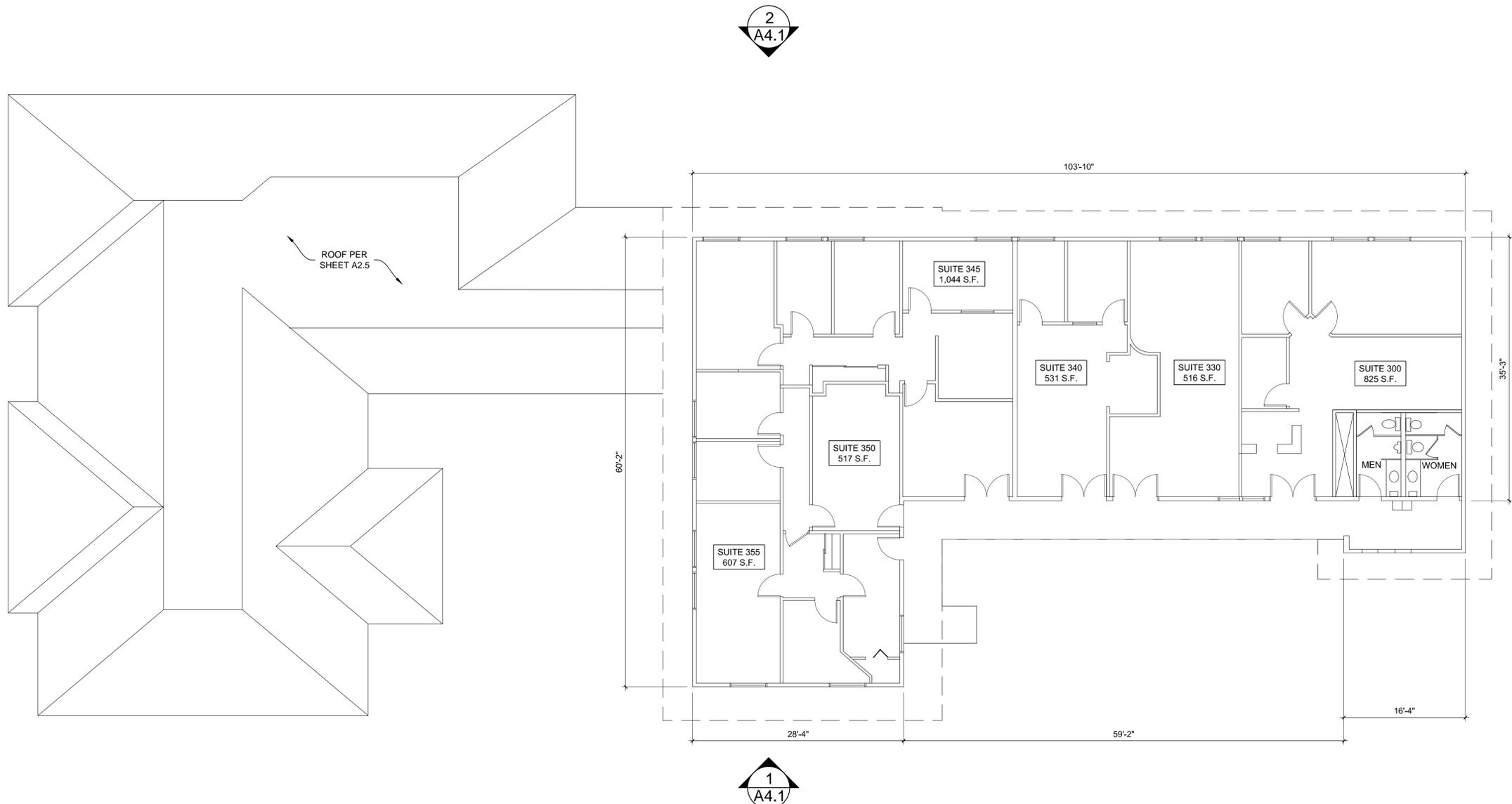
SHEET: 7 OF: 16

A2.3

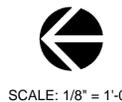
FLOOR PLAN LEGEND

- EXISTING EXTERIOR WALLS
- EXISTING INTERIOR WALLS
- DIMENSION TO FACE OF STUD, COLUMN OR WALL
- EXTERIOR ELEVATIONS DETAIL NUMBER
- EXTERIOR ELEVATIONS SHEET NUMBER

EXISTING THIRD FLOOR PLAN - FOR REFERENCE ONLY (NOT-A-PART)



All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



SCALE: 1/8" = 1'-0"

EXISTING ROOF PLAN - FOR REFERENCE ONLY (NOT-A-PART)



I N C.

1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION ITEM DATE

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

<input type="checkbox"/>	SCHEMATIC	
<input type="checkbox"/>	DESIGN DEV.	
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/>	PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/>	PLAN CHECK 2	8/15/2017
<input type="checkbox"/>	CONSTRUCTION	
<input type="checkbox"/>	AS-BUILT	

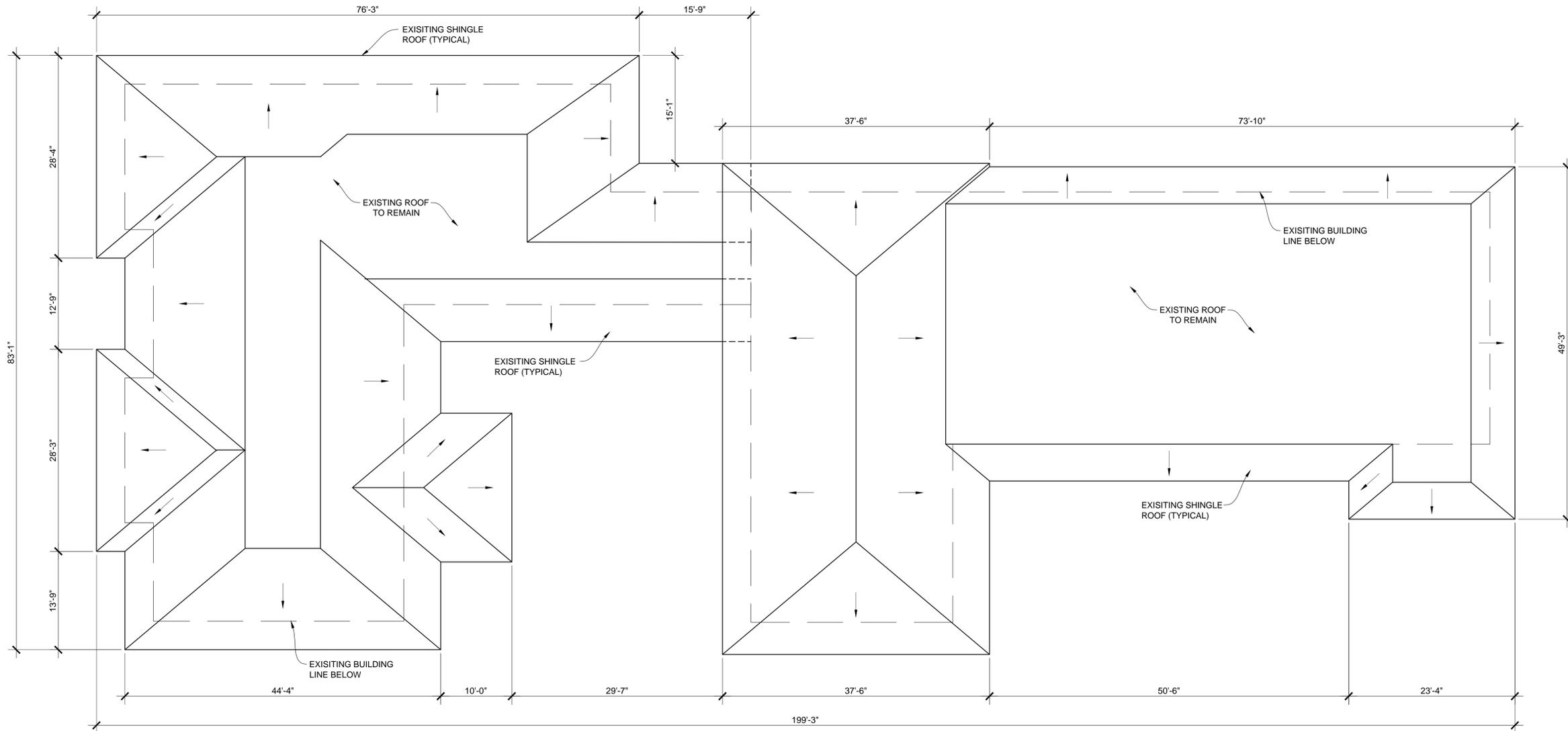
SHEET TITLE / CONTENTS

EXISTING ROOF PLAN

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 8 OF: 16

A2.5



SCALE: 1/8" = 1'-0"

All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



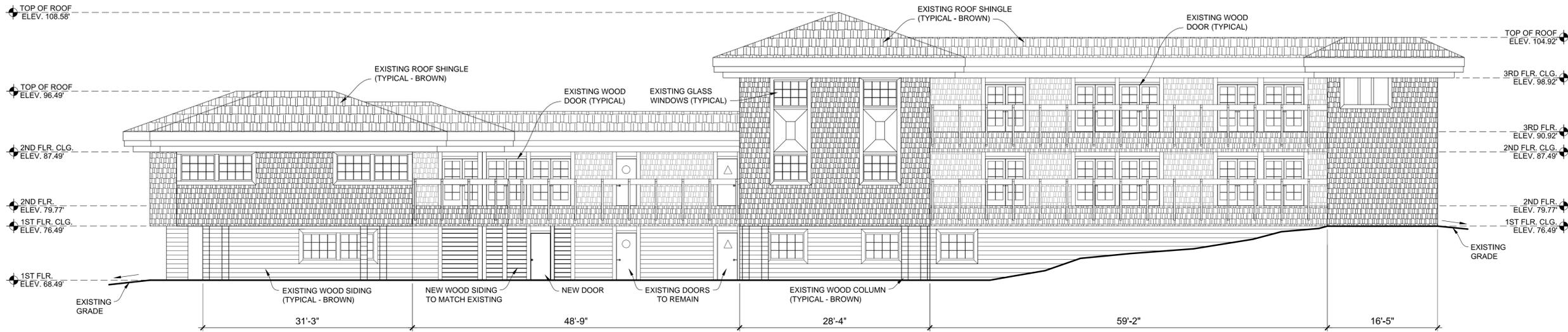
I N C.

1350 COLUMBIA ST.
SUITE 202
SAN DIEGO, CA 92101
TEL (619) 230-1088
FAX (619) 230-1089



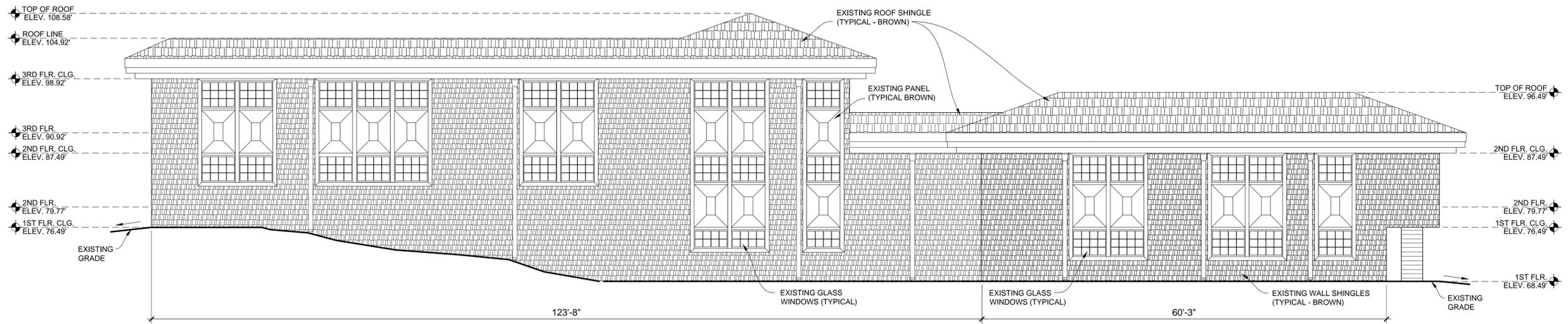
EXISTING WEST ELEVATION - 1

SCALE: 1/8" = 1'-0"



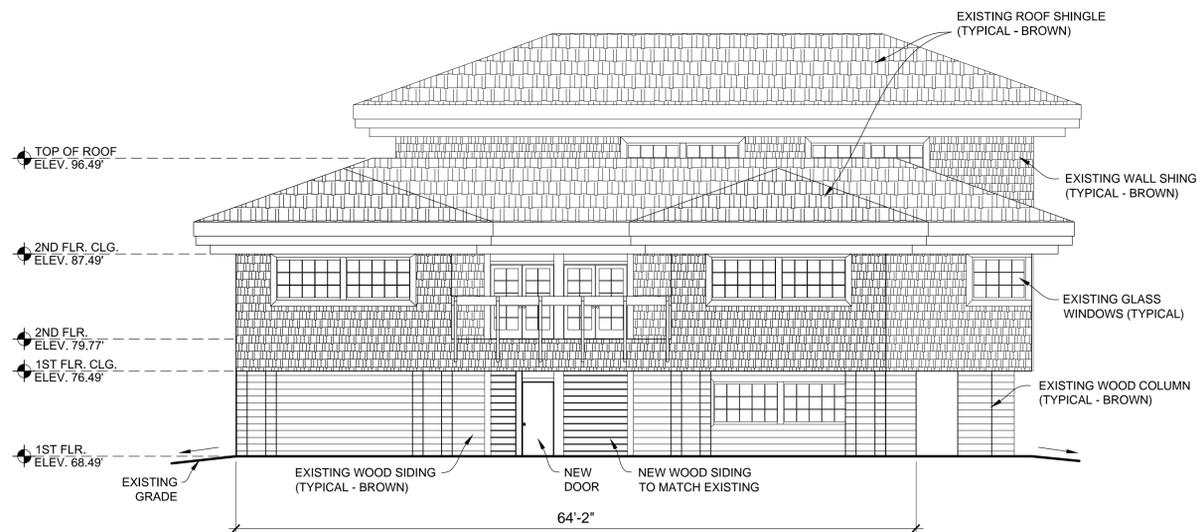
EXISTING EAST ELEVATION - 2

SCALE: 1/8" = 1'-0"



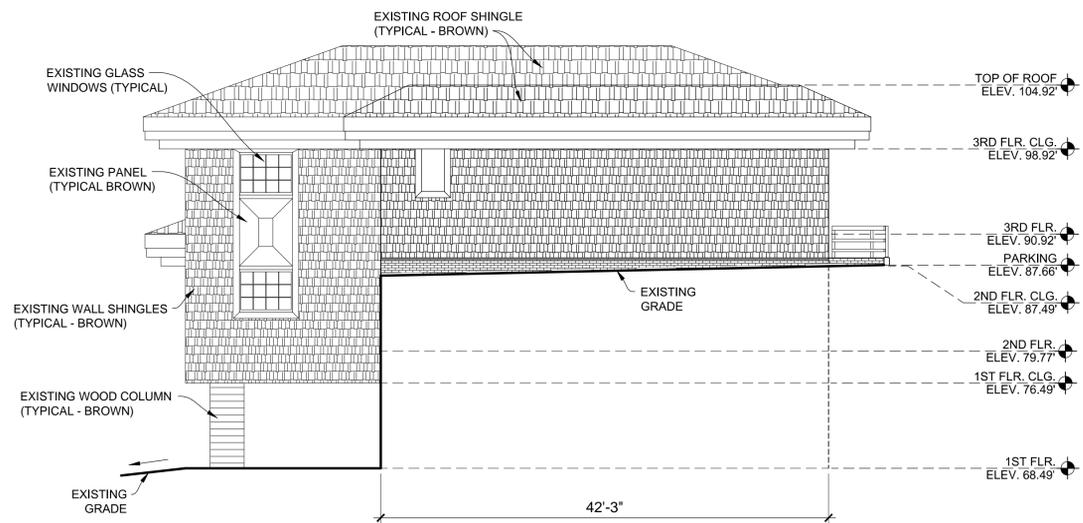
EXISTING NORTH ELEVATION - 3

SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION - 4

SCALE: 1/8" = 1'-0"



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

- SCHEMATIC
- DESIGN DEV.
- PERMIT SUBMITTAL 5/23/2017
- PLAN CHECK 1 6/27/2017
- PLAN CHECK 2 8/15/2017
- CONSTRUCTION
- AS-BUILT

SHEET TITLE / CONTENTS

EXISTING EXTERIOR ELEVATIONS

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 9 OF: 16

A4.1

All ideas, designs, arrangements, and plans indicated by these drawings are owned by, and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



SAN DIEGUITO ENGINEERING, INC
 462 STEVENS AVE. Ste. 305
 SOLANA BEACH, CA
 92075-2066
 PHONE: (858) 345-1149
 www.sdeinc.com
 CIVIL ENGINEERING • PLANNING
 LAND SURVEYING



CLIENT:
VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

PROJECT:
VALLEY GREENS M.O.

APN: 438-210-19-00
 2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

REVISION	ITEM	DATE

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input type="checkbox"/> PLAN CHECK 1	
<input type="checkbox"/> PLAN CHECK 2	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

SHEET TITLE / CONTENTS
EXISTING CONDITIONS

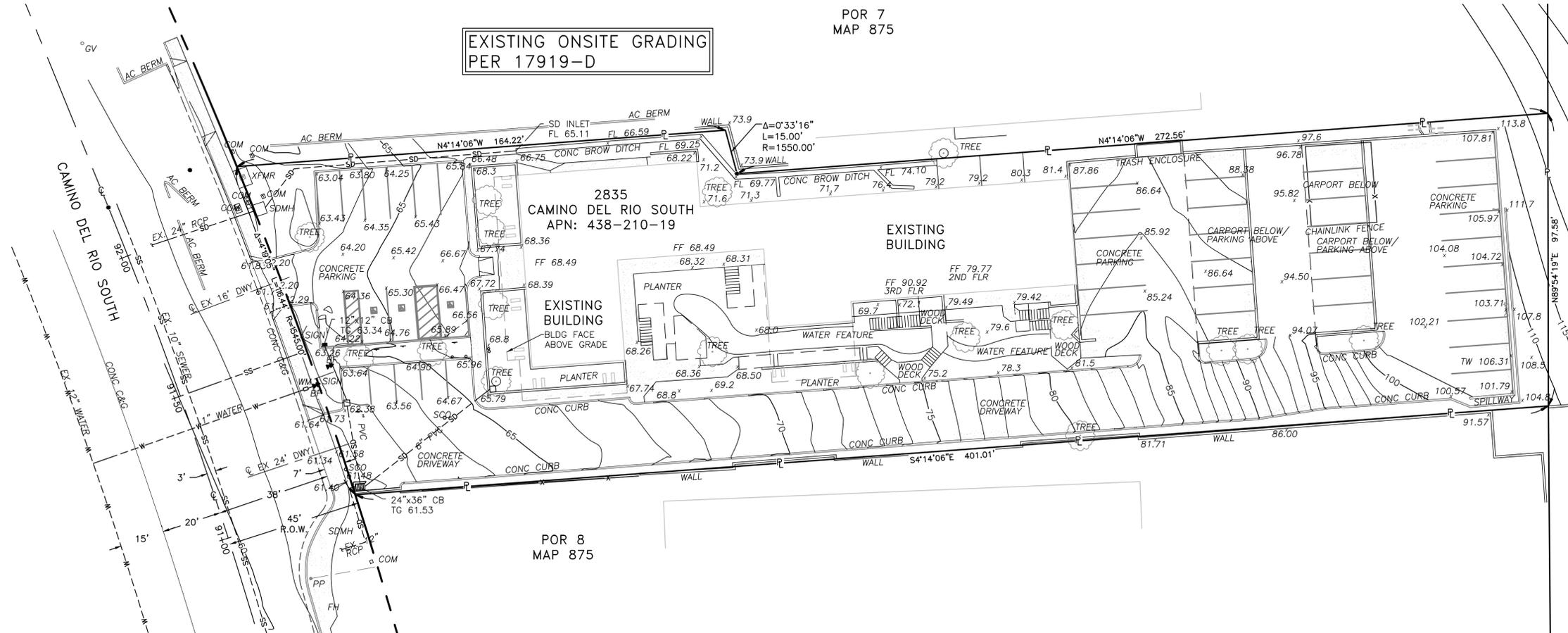
TRH PROJECT#: 279-17
 SCALE: AS NOTED
 DRAWN BY: SDE #5752
 DATE DRAWN: 5/2/2017
 CHECKED BY: MDW

SHEET: 09 OF: 13

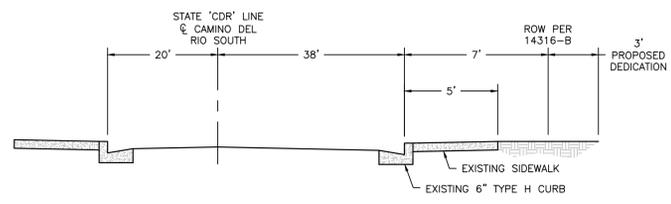
C1.1

EXISTING ONSITE GRADING
 PER 17919-D

POR 7
 MAP 875



POR 8
 MAP 875



TYPICAL SECTION - CAMINO DEL RIO SOUTH
 EXISTING STREET IMPROVEMENTS PER 17919-D
 (STA 91+50)
 NTS

LEGEND

WATER VALVE	⊗
COMMUNICATION RISER	⊞
WATER METER	⊞
SEWER MANHOLE	⊙
TELEPHONE VAULT	⊙
STREET LIGHT	⊙
FIRE HYDRANT	⊙
BACK FLOW PREVENTER	⊙
FOUND MONUMENT	•
POWER TRANSFORMER	⊞
SIGN	⊞
PROPERTY LINE	—
RIGHT OF WAY	—

LEGAL DESCRIPTION

APN'S: 438-210-19
 A PORTION OF LOT 1113 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

EXCEPTING THEREFROM THOSE PORTIONS LYING WITHIN THE BOUNDARIES OF VILLA LOT 58 OF UNIVERSITY HEIGHTS, ACCORDING TO MAP THEREOF NO. 951 AND THE PORTION CONVEYED TO JOHN M. BATTLE BY DEED DATED JULY 26, 1870 AND RECORDED IN BOOK 10, PAGE 264 OF DEEDS.

CLIENT

BLAKE MARCHAND
 1545 HOTEL CIRCLE SOUTH, #145
 SAN DIEGO, CA 92108

BASIS OF BEARINGS

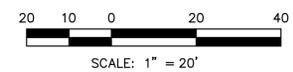
THE BASIS OF BEARINGS FOR THIS DRAWING IS THE EASTERLY LINE OF LOT 32 EXMISSION RANCHO & PART OF PUEBLO LOT NO. 1113 AND PORTION OF LOT 8 OF MAP NO. 875 AS SHOWN ON MAP NO. 11400.
 EG. N04°14'06"W

BENCHMARK

THE BENCH MARK USED FOR THIS SURVEY IS THE BRASS PLUG IN THE NORTHWESTERLY TOP OF CURB AT THE EASTERLY ENTRANCE TO 2820 CAMINO DEL RIO SOUTH.
 LISTED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.
 ELEV = 57.617' (MEAN SEA LEVEL)

NOTES

- EASEMENT AND OTHER TITLE DATA SHOWN HEREON CORRESPOND TO THE PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY, POLICY NO. 12207868-993-SD2-CFU DATED SEPTEMBER 18, 2016. SAN DIEGUITO ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR CONTENT, ACCURACY OR COMPLETENESS OF SAID TITLE REPORT.
- THIS SURVEY WAS PREPARED AT THE REQUEST OF BLAKE MARCHAND. NO RESPONSIBILITY WILL BE ACCEPTED BY SAN DIEGUITO ENGINEERING, INC. FOR SUBSEQUENT UNAUTHORIZED USE OF THE INFORMATION PROVIDED BY THIS SURVEY.
- THE PROPERTY BOUNDARY AND EASEMENTS ARE PRELIMINARY AND CALCULATED FROM RECORD DOCUMENTS.



All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of, TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, including changes must be submitted to this office for approval before proceeding with fabrication.



SAN DIEGUITO ENGINEERING, INC
 462 STEVENS AVE. Ste. 305
 SOLANA BEACH, CA
 92075-2066
 PHONE: (858) 345-1149
 www.sdeinc.com
 CIVIL ENGINEERING • PLANNING
 LAND SURVEYING



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
 2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

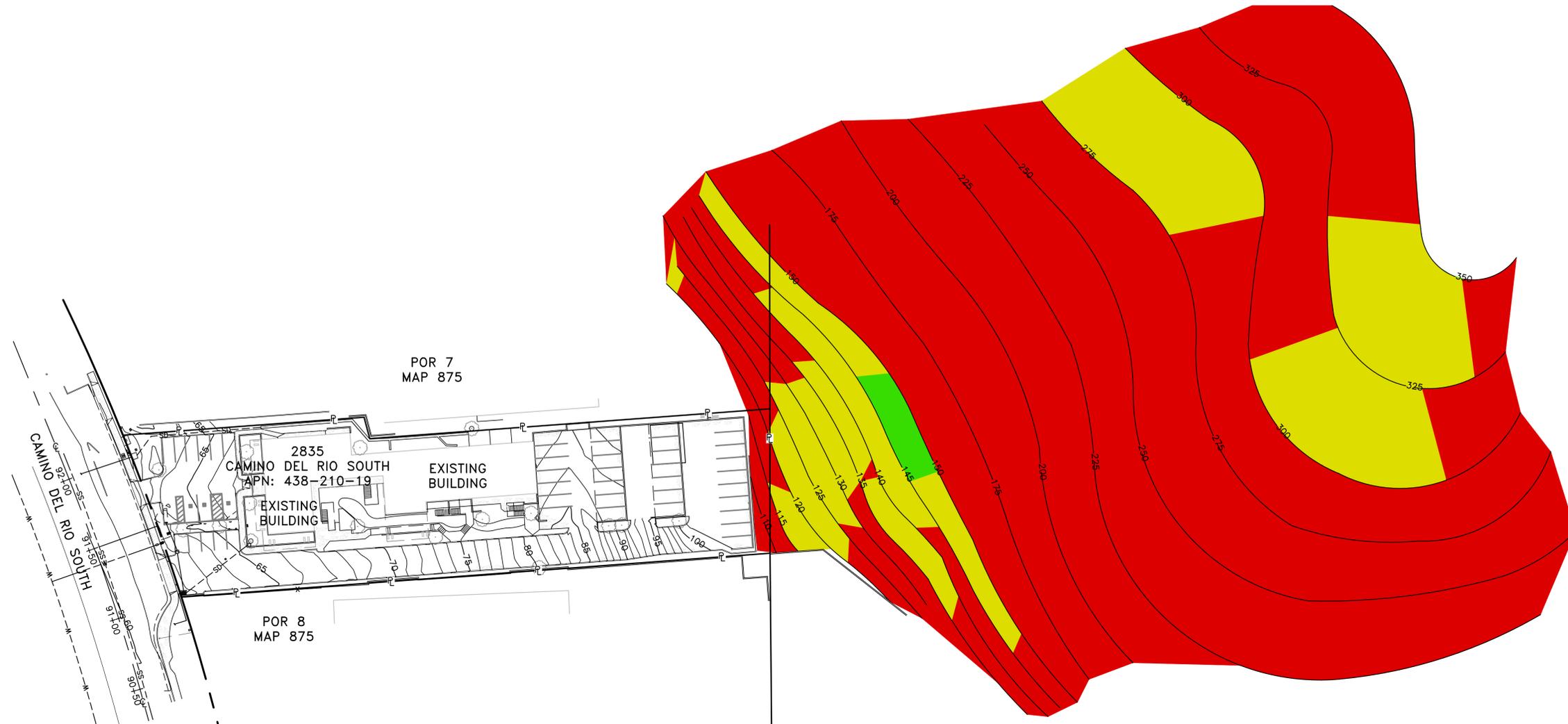
- SCHEMATIC _____
- DESIGN DEV. _____
- PERMIT SUBMITTAL 5/23/2017
- PLAN CHECK 1 _____
- PLAN CHECK 2 _____
- CONSTRUCTION _____
- AS-BUILT _____

SHEET TITLE / CONTENTS
SLOPE ANALYSIS

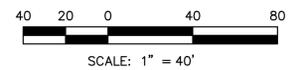
TRH PROJECT#: 279-17
 SCALE: AS NOTED
 DRAWN BY: SDE #5752
 DATE DRAWN: 5/2/2017
 CHECKED BY: MDW

SHEET: 10 OF: 13

C1.2



Number	Minimum Slope	Maximum Slope	Color
1	0.00%	25.00%	Green
2	25.00%	40.00%	Yellow
3	40.00%	152.84%	Red



All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, including changes must be submitted to this office for approval before proceeding with fabrication.



SAN DIEGO ENGINEERING, INC
 462 STEVENS AVE. Ste. 305
 SOLANA BEACH, CA
 92075-2066
 PHONE: (858) 345-1149
 www.sdeinc.com



CLIENT:
VALLEY GREENS
 2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

PROJECT:
VALLEY GREENS M.O.
 APN: 438-210-19-00
 2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input type="checkbox"/> PLAN CHECK 1	
<input type="checkbox"/> PLAN CHECK 2	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

SHEET TITLE / CONTENTS
IMPROVEMENT PLAN

TRH PROJECT#: 279-17
 SCALE: AS NOTED
 DRAWN BY: SDE #5752
 DATE DRAWN: 5/2/2017
 CHECKED BY: MDW

SHEET: 11 OF: 13

C1.3

Appendix A: Submittal Templates

Source Control BMP Checklist for Standard Projects Form I-4

All development projects must implement source control BMPs SC-1 through SC-6 and Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.

Note: All selected BMPs must be shown on the construction plans.

SC-1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-2 Storm Drain Stenciling or Signage	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-6 BMPs based on Potential Sources of Runoff Pollutants			
On-site storm drain inlets	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Interior parking garages	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Need for fence, indoor & structural pest control	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Landscape/Outdoor Furniture Use	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Refuse areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Fire Sprinkler Test Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-6A Large Trash Generating Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-6B Animal Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-6C Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SC-6D Automotive-related Uses	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A

Discussion / justification for all "No" answers shown above:

Storm Water Standards
 Part 1: BMP Design Manual
 January 2016 Edition
 A-11

Appendix A: Submittal Templates

Site Design BMP Checklist for Standard Projects Form I-5

All development projects must implement site design BMPs SD-1 through SD-8. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.

Note: All selected BMPs must be shown on the construction plans.

SD-1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SD-2 Conserve Natural Areas, Soils, and Vegetation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SD-3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SD-4 Minimize Soil Compaction	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SD-5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SD-6 Runoff Collection	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SD-7 Landscaping with Native or Drought Tolerant Species	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
SD-8 Harvesting and Using Precipitation	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> N/A

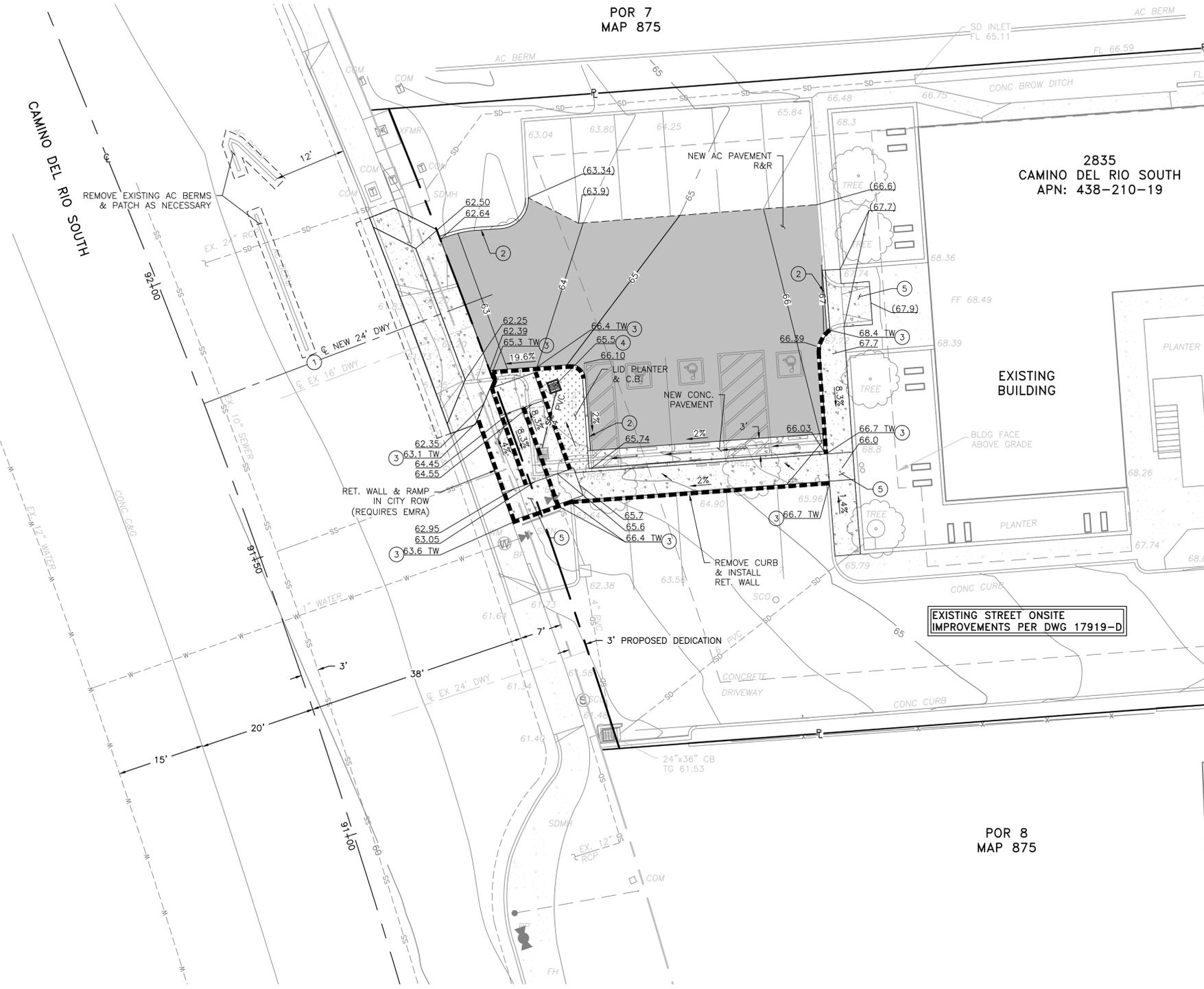
Discussion / justification for all "No" answers shown above:

It was decided not to implement downspout harvesting from roof due to the fact no work was being done in these areas

Answer for each source control and site design category shall be pursuant to the following:

- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

Storm Water Standards
 Part 1: BMP Design Manual
 January 2016 Edition
 A-12

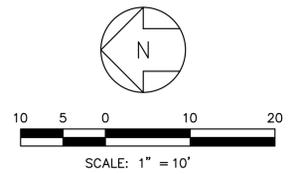


AREA ANALYSIS

ONSITE IMPERVIOUS SURFACE REMOVED AND REPLACED... 2,910 SF
 ONSITE PERVIOUS LID PLANTER AREA CREATED..... 125 SF
 OFFSITE IMPERVIOUS AREA REMOVED AND REPLACED..... 533 SF

CONSTRUCTION NOTES

- 24' COMMERCIAL DRIVEWAY PER SDG-159.
- 6" CURB PER SDG-150.
- MASONRY RETAINING WALL TYPE 4 PER SDRSD C-4.
- BROOKS 2424 CATCH BASIN.
- 4' WIDE (MIN.) SIDEWALK PER SDG-155.



All ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.

EXISTING TREE INFORMATION (SEE PLAN ABOVE FOR EXISTING TREE NOS. AND LOCATIONS.)				BTH = BROWN TRUNK HEIGHT (HT. WHERE PALM FRONDS EXTEND FROM TRUNK).				
TREE NOS.	BOTANICAL NAME	COMMON NAME	CALIPER	COMMENTS	SHRUBS - SYMBOL	BOTANICAL NAME	COMMON NAME	COMMENTS
1-2	FICUS RUBIGINOSA	RUSTY LEAF FIG	26'-30"	TO BE REMOVED	(AE)	ASPIDISTRA ELATIOR	CAST IRON PLANT	TO REMAIN
3,5,6,7	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	6'-18"	TO REMAIN	(DM)	DRACENA MARGINATA	DRAGON PLANT	TO REMAIN
4	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	6'	TO BE REMOVED	(FR)	PHOENIX RDEBELENNI	PYGMY DATE PALM	TO REMAIN
8	EUCALYPTUS CITRIODDRA	LEMONG SCENTED GUM	10'-60"	TO BE REMOVED	(PC)	PALMERA CHAMADOREA	CHAMADOREA	TO REMAIN
9	CUPANIDOPSIS ANACARDIIDESARRROT WOOD		10'	TO REMAIN	(ND)	NANDINA DOMESTICA	HEAVENLY BAMBOO	TO REMAIN
10	PINUS NIGRA	BLACK PINE	30'	TO REMAIN	(CA)	CAMELLIA SASANQUA	CAMELLIA	TO REMAIN
11-12	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	6'-18"	TO REMAIN	(DY)	DIETES VEGETA	FORTNIGHT LILIES	TO REMAIN
13-14	PINUS CANARIENSIS	CANARY ISLAND PINE	15'	TO REMAIN	(FI)	FATSIA JAPONICA	JAPANESE ARALIA	TO REMAIN
15	FICUS RUBIGINOSA	RUSTY LEAF FIG	26'-30"	TO REMAIN	(NC)	NEPHROLEPIS CORDIFOLIA	BOSTON SWORD FERN	TO REMAIN
16	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	6'	TO REMAIN	(PS)	PHILODENDRON SELLDUM	PHILODENDRON	TO REMAIN
17	HEVIA BRASILIENSIS	RUBBER TREE	7'	TO REMAIN	(SR)	STRELITZIA REGINAE	BIRD-OF-PARADISE	TO REMAIN
18	EUCALYPTUS CITRIODDRA	LEMONG SCENTED GUM	18"	TO REMAIN	(RE)	PHAPIS EXCELSA	LADY PALM	TO REMAIN
19-21	PINUS CANARIENSIS	CANARY ISLAND PINE	15'-20"	TO REMAIN	(CR)	CYCAS REVOLUTA	SAGO PALM	TO REMAIN
22-24	EUCALYPTUS CITRIODDRA	LEMONG SCENTED GUM	18"	TO REMAIN	(AM)	CLIVIA MINIATA	KAFFIR LILY	TO REMAIN
25	CUPANIDOPSIS ANACARDIIDESARRROT WOOD		8"	TO REMAIN	(CC)	CHILDROPHYTUM COMOSUM	SPIDER PLANT	TO REMAIN
26-30	OAK/ MISC. SPECIES	COAST LIVE OAK, ETC.	8'-20"	TO REMAIN	(CO)	GREVIA OCCIDENTALIS	LAVENDER STARFLOWER	TO REMAIN
31	ZELKOVA SERRATA	JAPANESE ZELKOVA	14"	TO REMAIN	(CI)	GAZANIA UNIFLORA	CLUMPING GAZANIA	TO REMAIN

SHRUBS SYMBOL	BOTANICAL NAME	COMMON NAME	COMMENTS
(AS)	ASPARAGUS SPRENGERII	ASPARAGUS FERN	TO REMAIN
(HE)	HEDERA HELIX 'NEEDLE POINT'	NEEDLE POINT IVY	TO REMAIN
(RH)	RHAPIDOLEPIS INDICA	INDIAN HAWTHORN	TO REMAIN
(PW)	PITTDSPORUM WHEELERI	MOCK ORANGE	TO REMAIN
(LA)	LANTANA CAMARA	LANTANA	TO REMAIN
(LI)	LIRIOPE MUSCARI	BIG BLUE LILY TURF	TO REMAIN

MINIMUM TREE SEPARATION DISTANCE:
 DRIVEWAYS - 10 FEET
 TRAFFIC SIGNAL, STOP SIGN - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
 INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 25 FEET
 ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, POLES, ETC.) - 10 FEET

IRRIGATION NOTE:
 1. IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.

NOTE:
 1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 2. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
 3. A RAISED CONCRETE OR OTHER CURB OF AT LEAST 6 INCHES IN HEIGHT WILL BE PROVIDED TO ALL LANDSCAPE AREAS IN OR ADJACENT TO ALL VUA AREAS FOR PROTECTION FROM VEHICULAR DAMAGE.

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
 MAWA = Maximum Applied Water Allowance per year (gallons).
 ET0 = Reference Evapotranspiration (inches).
 0.45 = ET Adjustment Factor
 LA = Landscape Area including Special Landscape Area (square feet)
 0.62 = Conversion factor
 SLA = Special Landscape Area (square feet)
 0.3 = Additional ET adjustment Factor for Special Landscape Area

Show Values:
 ET0 = 47.0 in./yr.
 LA = 4,305 Sq. Ft.
 SLA = 0 Sq. Ft.
 MAWA = (ET0) (0.62) (0.45 x LA) + (0.3 X SLA)
 MAWA = (47.0) (0.62) (0.45 X 4,305) = 56,451
 MAWA = 56,451 Gallons per Year

ESTIMATED TOTAL WATER USE
 90% of Landscape is Existing and Established.
 Owner will have contractor verify irrigation coverage, and repair or replace any irrigation components as necessary.

MAINTENANCE NOTE:
 ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER / HOMEOWNERS ASSOCIATION.
 THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT

NOTE:
 1. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
 2. TREE ROOT BARRIERS 'DEEP ROOT UB-24' SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, STREET PAVEMENT, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOTBALL.

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE ADJUSTED EXISTING SYSTEM SHALL INCLUDE NEW MATCHING LOW-PRECIPITATION NOZZLES FOR ALL HEADS IN THE IRRIGATION ZONE THAT ARE MODIFIED AND NEW IN-LINE DRIP IRRIGATION FOR ALL NEW PLANTED AREAS.

ALL PLANTERS SHALL RECEIVE 3" LAYER OF SHREDDED BARK MULCH

PLANT LEGEND

NEW TREE			
BOTANICAL NAME	COMMON NAME	SIZE	HT X SPD
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	24" BOX	20'X20'
PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX	20'X20'

LARGE ACCENT SHRUBS			
BOTANICAL NAME	COMMON NAME	SIZE	HT X SPD
COLEONEMA PULCHERUM	PINK BREATH OF HEAVEN	5 GAL.	18"x18"
LIGUSTRUM TEXANUM	TEXAS PRIVET	5 GAL.	18"x18"
RHAPIDOLEPIS INDICA 'PINK LADY'	PINK INDIA HAWTHORN	5 GAL.	16"x16"

MEDIUM ACCENT SHRUBS			
BOTANICAL NAME	COMMON NAME	SIZE	HT X SPD
COMPROSMA R. VARIEGATA	VAREGATED MIRROR PLANT	5 GAL.	2"x18"
CALLISTEMON CIT. 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	18"x18"
MYRTUS COMMUNIS COMPACTA	COMPACT MYRTLE	5 GAL.	15"x15"
PHORMIUM TENAX 'ATROPURPUREUM'	PURPLE NEW ZEALAND FLAX	5 GAL.	4'X4'

SMALL ACCENT SHRUBS			
BOTANICAL NAME	COMMON NAME	SIZE	HT X SPD
FESTUCA OVINA	BLUE FESCUE	1 GAL.	12"x12"
NANDINA DOMESTICA 'HARBOR DWARF'	HEAVENLY BAMBOO HYBRID	5 GAL.	12"x12"
LEYMUS CONDENSATUS	CANYON PRINCE WILD RYE	1 GAL.	12"x12"
TULBAGHIA WOLJACEA	SOCIETY GARLIC	1 GAL.	12"x12"

GROUND COVER			
BOTANICAL NAME	COMMON NAME	SIZE	HT X SPD
IMPATIENS WALLERANA	BUSY LIZZIE	FLATS	-
BOUGAINVILLEA SPP.	BOUGAINVILLEA VINE	5 GAL.	-
DISTICTIS BUCCINATORIA	RED TRUMPET VINE	5 GAL.	-



CLIENT:
VALLEY GREENS
 2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

PROJECT:
VALLEY GREENS M.O.
 APN: 438-210-19-00
 2835 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/18/2017
<input type="checkbox"/> PLAN CHECK 1	
<input type="checkbox"/> PLAN CHECK 2	
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

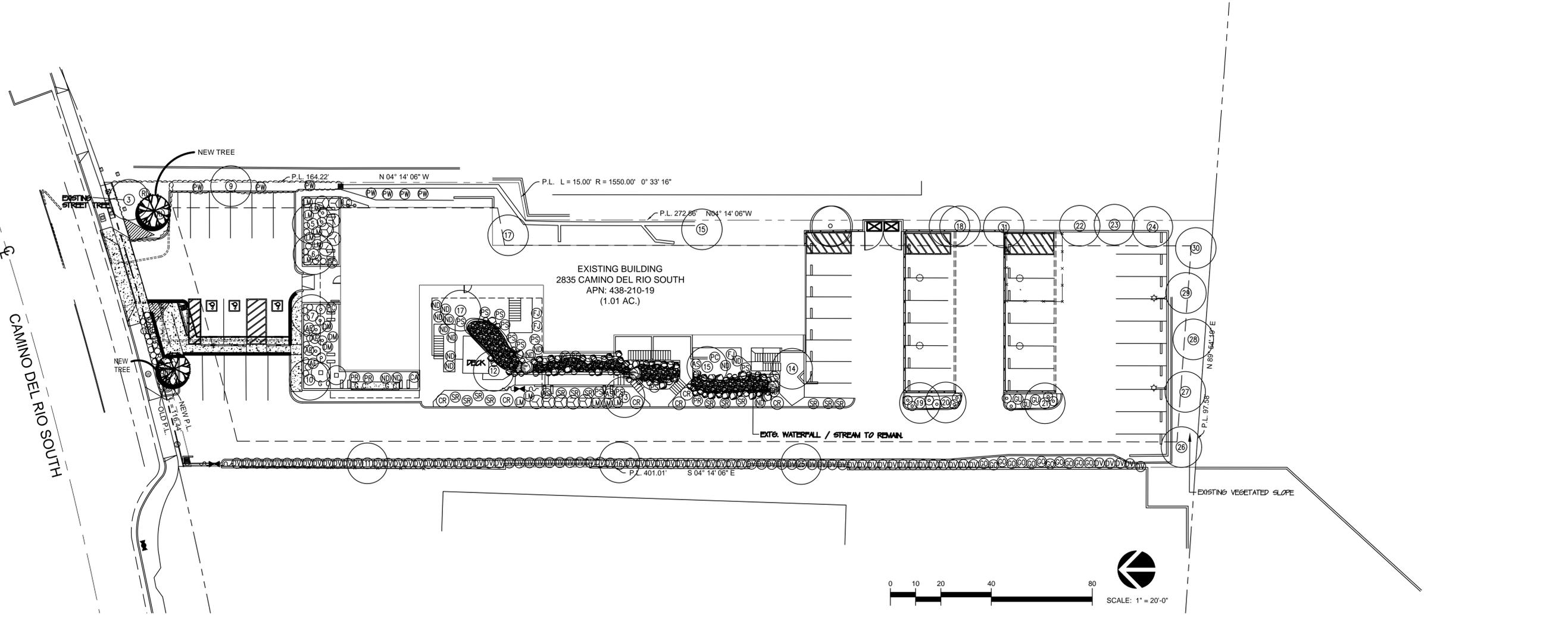
SHEET TITLE / CONTENTS
LANDSCAPE PLAN, LEGEND & KEYNOTES

TRH PROJECT#: 279-17
 SCALE: AS NOTED
 DRAWN BY: TRH
 DATE DRAWN: 5/2/2017
 CHECKED BY: KDS

SHEET: 12 OF: 13

L1.1

LANDSCAPE DEVELOPMENT PLAN





CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION ITEM DATE

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

<input type="checkbox"/>	SCHEMATIC	_____
<input type="checkbox"/>	DESIGN DEV.	_____
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL	5/18/2017
<input type="checkbox"/>	PLAN CHECK 1	_____
<input type="checkbox"/>	PLAN CHECK 2	_____
<input type="checkbox"/>	CONSTRUCTION	_____
<input type="checkbox"/>	AS-BUILT	_____

SHEET TITLE / CONTENTS

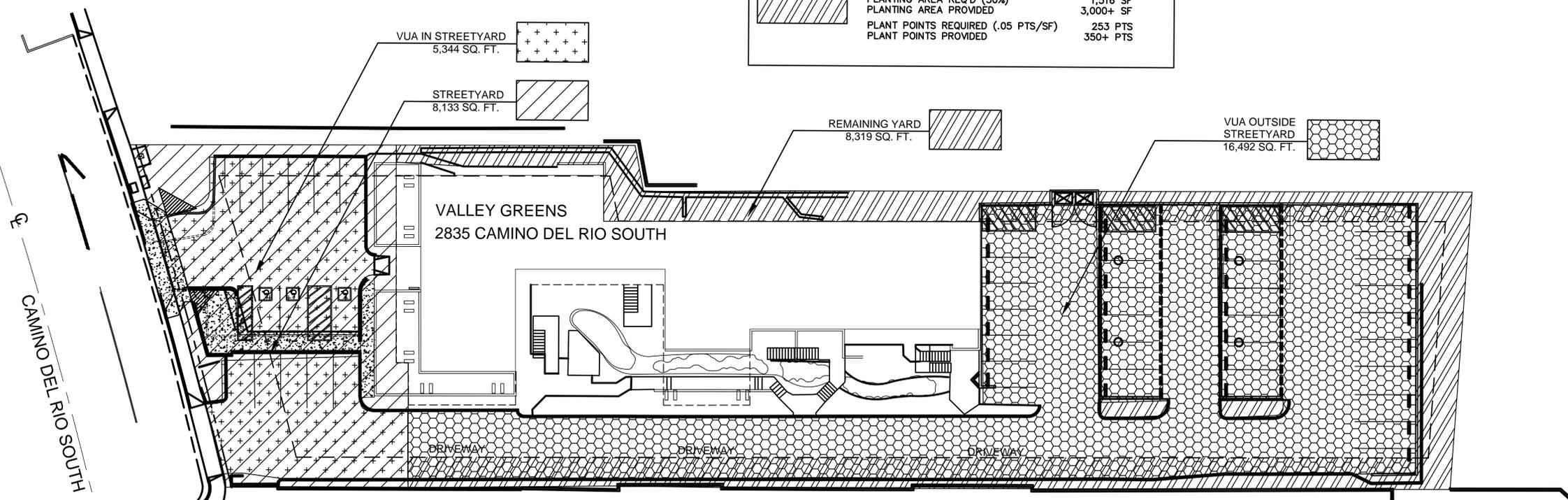
LANDSCAPE AREA DIAGRAM

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 13 OF: 13

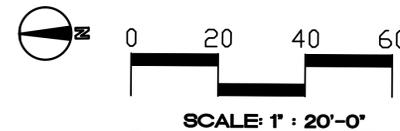
L1.2

LANDSCAPE CALCULATIONS	
STREET TREES IN PUBLIC RIGHT OF WAY	
LENGTH OF STREET FRONTAGE	116'
STREET TREES REQUIRED (⊙ 30' o.c.)	3.8
STREET TREES PROVIDED	4.0
STREET YARD	
CAMINO DEL RIO SOUTH	
TOTAL AREA	8,133 SF
PLANTING AREA REQ'D (25%)	2,033 SF
PLANTING AREA PROVIDED	2,432 SF
PLANT POINTS REQUIRED (.05 PTS/SF)	407 PTS
PLANT POINTS PROVIDED	500+ PTS
PTS ACHIEVED W/ TREES (50% MIN)	400+ PTS
VEHICLE USE AREA (INSIDE THE STREET YARD)	
TOTAL AREA	5,344 SF
40 SQ. FT. PER TREE PROVIDED	267 PTS
PLANT POINTS REQUIRED (.05 PTS/SF)	267 PTS
PLANT POINTS PROVIDED	300+ PTS
(1) TREE WITHIN 30' OF EACH PARKING SPACE.	PROVIDED
VEHICLE USE AREA (OUTSIDE THE STREET YARD)	
TOTAL AREA	16,492 SF
PLANTING AREA REQ'D (3%)	495 SF
PLANTING AREA PROVIDED	600+ SF
PLANT POINTS REQUIRED (.03 PTS/SF)	495 PTS
PLANT POINTS PROVIDED	550+ PTS
REMAINING YARD	
TOTAL AREA	5,052 SF
PLANTING AREA REQ'D (30%)	1,516 SF
PLANTING AREA PROVIDED	3,000+ SF
PLANT POINTS REQUIRED (.05 PTS/SF)	253 PTS
PLANT POINTS PROVIDED	350+ PTS



LANDSCAPE AREA DIAGRAM

SCALE 1" = 20'-0"



All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or corporation without the written consent of TRH, Inc. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Stop Drawing submissions, detailed changes must be submitted to this office for approval before proceeding with fabrication.



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION ITEM DATE

REVISION	ITEM	DATE
△		
△		
△		
△		
△		
△		

THIS SET ISSUE DATE

<input type="checkbox"/>	SCHEMATIC	_____
<input type="checkbox"/>	DESIGN DEV.	_____
<input checked="" type="checkbox"/>	PERMIT SUBMITTAL	5/18/2017
<input type="checkbox"/>	PLAN CHECK 1	_____
<input type="checkbox"/>	PLAN CHECK 2	_____
<input type="checkbox"/>	CONSTRUCTION	_____
<input type="checkbox"/>	AS-BUILT	_____

SHEET TITLE / CONTENTS

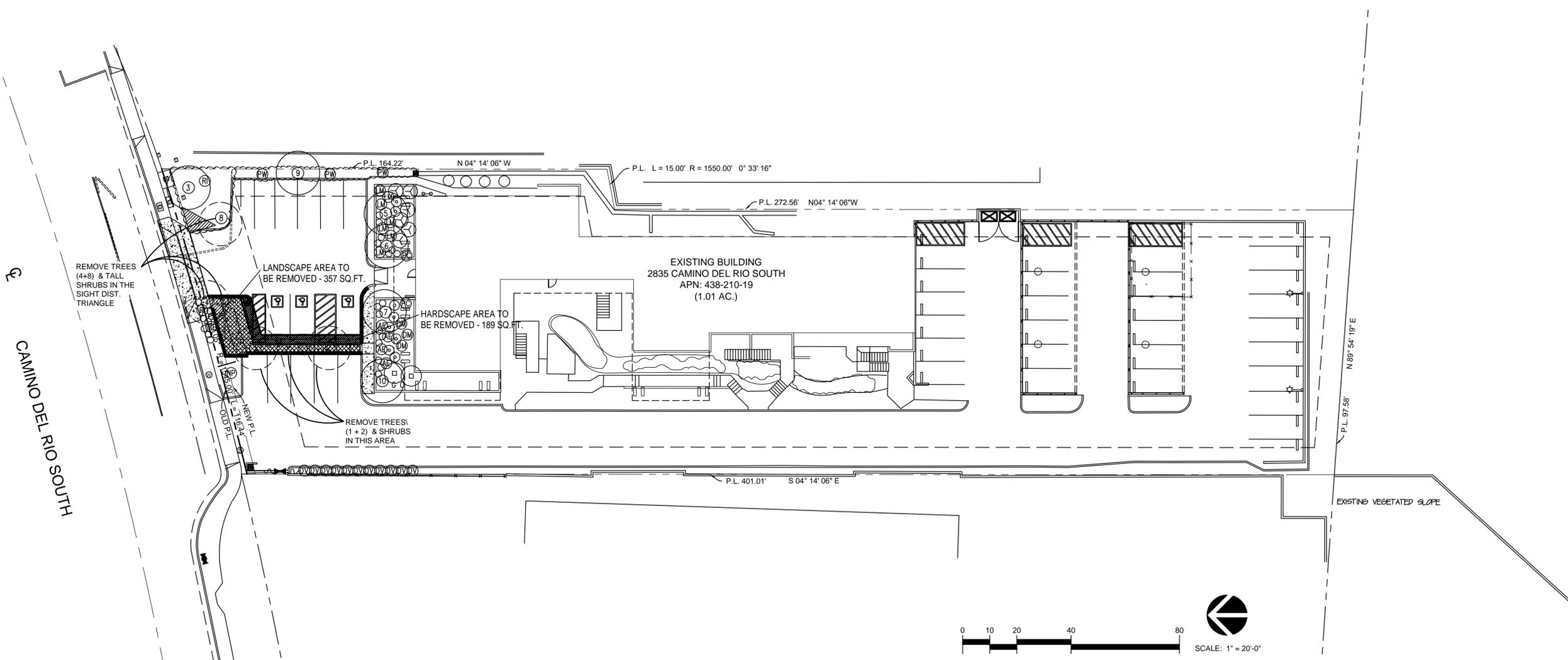
DEMOLITION PLAN

TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 15 OF: 16

L1.3

DEMOLITION PLAN



All ideas, designs, arrangements, and plans indicated or represented by these drawings are owned by, and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions and conditions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.



I N C.

1350 COLUMBIA ST.
SUITE 702
SAN DIEGO, CA 92101
TEL: (619) 230-1088
FAX: (619) 230-1089



CLIENT:

VALLEY GREENS

2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

PROJECT:

VALLEY GREENS M.O.

APN: 438-210-19-00
2835 CAMINO DEL RIO SOUTH
SUITE 100
SAN DIEGO, CA 92108

REVISION	ITEM	DATE

THIS SET	ISSUE DATE
<input type="checkbox"/> SCHEMATIC	
<input type="checkbox"/> DESIGN DEV.	
<input checked="" type="checkbox"/> PERMIT SUBMITTAL	5/23/2017
<input checked="" type="checkbox"/> PLAN CHECK 1	6/27/2017
<input checked="" type="checkbox"/> PLAN CHECK 2	8/15/2017
<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> AS-BUILT	

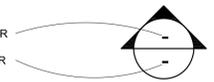
SHEET TITLE / CONTENTS

PROPOSED SECURITY PLAN, LEGEND & NOTES

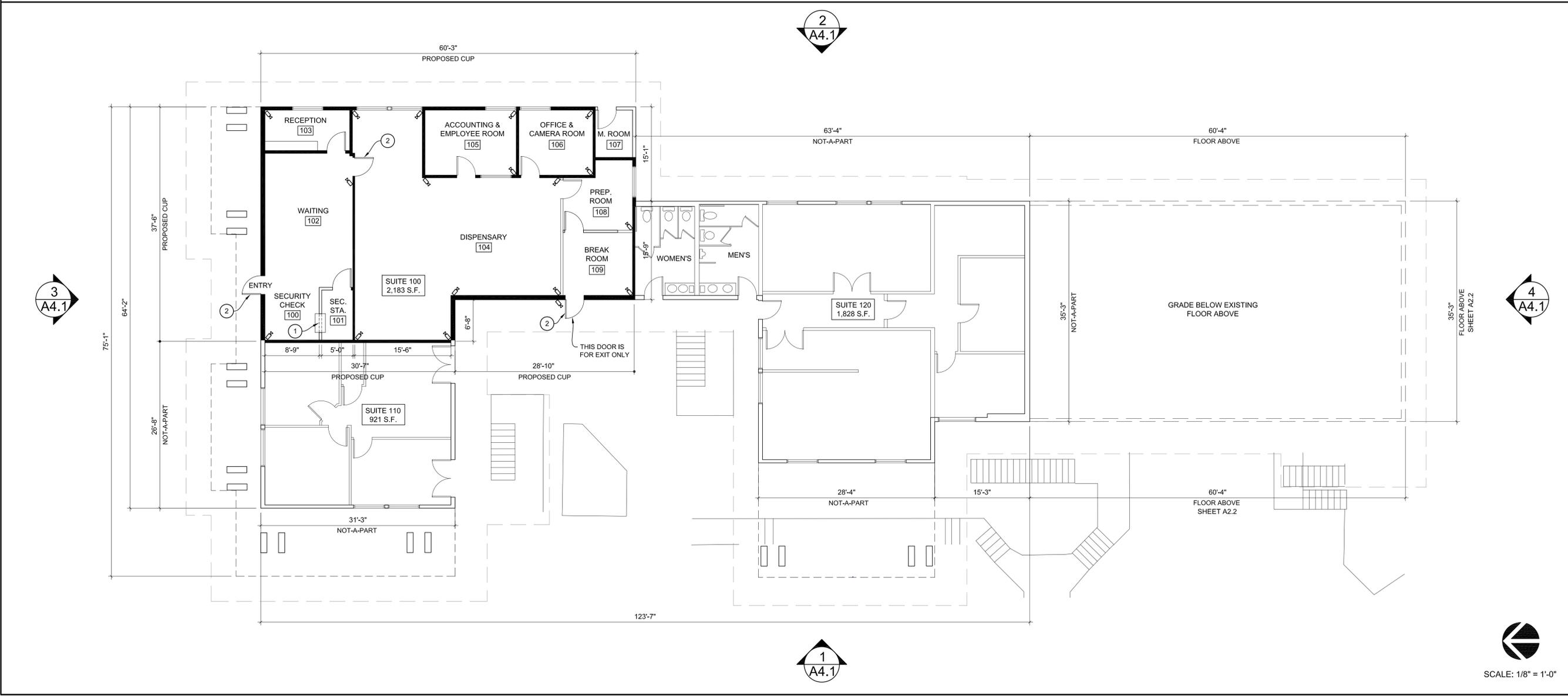
TRH PROJECT#: 279-17
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 5/2/2017
CHECKED BY: KDS

SHEET: 16 OF: 16

E1.1

SECURITY PLAN NOTES	SECURITY PLAN LEGEND	SECURITY KEYNOTES
<ol style="list-style-type: none"> REFER TO CONDITIONAL USE PERMIT FOR ADDITIONAL INFORMATION. ALL EXTERIOR WINDOWS SHALL BE PROVIDED WITH 1" LAMINATED GLASS MIN. ALL EXTERIOR DOORS SHALL BE BULLET RESISTANT. SECURITY SHALL INCLUDE OPERABLE CAMERAS AND A METAL DETECTOR TO THE SATISFACTION OF DEVELOPMENT SERVICES DEPARTMENT. THIS FACILITY SHALL ALSO INCLUDE ALARMS AND TWO ARMED SECURITY GUARDS TO THE EXTENT THE POSSESSION OF A FIREARM IS NOT IN CONFLICT WITH 18 U.S.C. §922(G) AND 27 C.F.R. § 478.11. NOTHING HEREIN SHALL BE INTERPRETED TO REQUIRE OR ALLOW A VIOLATION OF FEDERAL FIREARMS LAWS. THE SECURITY GUARDS SHALL BE LICENSED BY THE STATE OF CALIFORNIA. ONE SECURITY GUARD MUST BE ON THE PREMISES 24 HOURS A DAY, SEVEN DAYS A WEEK, THE OTHER MUST BE PRESENT DURING BUSINESS HOURS. THE SECURITY GUARDS SHOULD ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS. THE CAMERAS SHALL HAVE AND USE A RECORDING DEVICE THAT MAINTAINS THE RECORDS FOR A MINIMUM OF 30 DAYS. THE OWNER/PERMITEE SHALL INSTALL A COMBINATION OF FULL-HEIGHT BULLET RESISTANT GLASS, PLASTIC, OR LAMINATE SHIELD AND BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALL, DESIGNED BY A LICENSED PROFESSIONAL, AT THE RECEPTION AREA. THE OWNER/PERMITEE SHALL INSTALL A COMBINATION OF FULL-HEIGHT BULLET RESISTANT ARMOR PANELS OR SOLID GROUTED MASONRY BLOCK WALLS, DESIGNED BY A LICENSED PROFESSIONAL, IN COMMON AREAS WITH OTHER TENANTS, RECEPTION AREA, AND VAULT ROOM. THE OWNER/PERMITEE OR OPERATOR SHALL MAINTAIN THE MO. ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE OWNER OR OPERATOR, FREE OF LITTER AND GRAFFITI AT ALL TIMES. THE OWNER OR OPERATOR SHALL PROVIDE FOR DAILY REMOVAL OF TRASH, LITTER, AND DEBRIS. GRAFFITI SHALL BE REMOVED WITHIN 24 HOURS. 	<p>ARLO SECURITY CAMERAS </p> <p>ARMORCORE® FULL-HEIGHT BULLET RESISTANT FIBERGLASS PANELS LEVEL 1 BULLET RESISTANT WALL </p> <p>EXTERIOR ELEVATIONS DETAIL NUMBER </p> <p>EXTERIOR ELEVATIONS SHEET NUMBER </p>	<ol style="list-style-type: none"> CRL ROUND LEVEL 1 CLEAR-VISION BULLET RESISTANT ACRYLIC SPEAK-THRU TSS BULLET RESISTANT ALUMINUM DOOR LEVEL 1

PROPOSED SECURITY PLAN



All ideas, designs, arrangements, and plans indicated on these drawings are owned by and property of TRH, Inc., and were created, evolved, and developed as instruments of service on, and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm, or organization for any purpose whatsoever without written permission of TRH, Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions on the job. TRH, Inc. shall be notified of any variations from the dimensions shown on these drawings. Shop Drawing submittals, detailed changes must be submitted to this office for approval before proceeding with fabrication.

